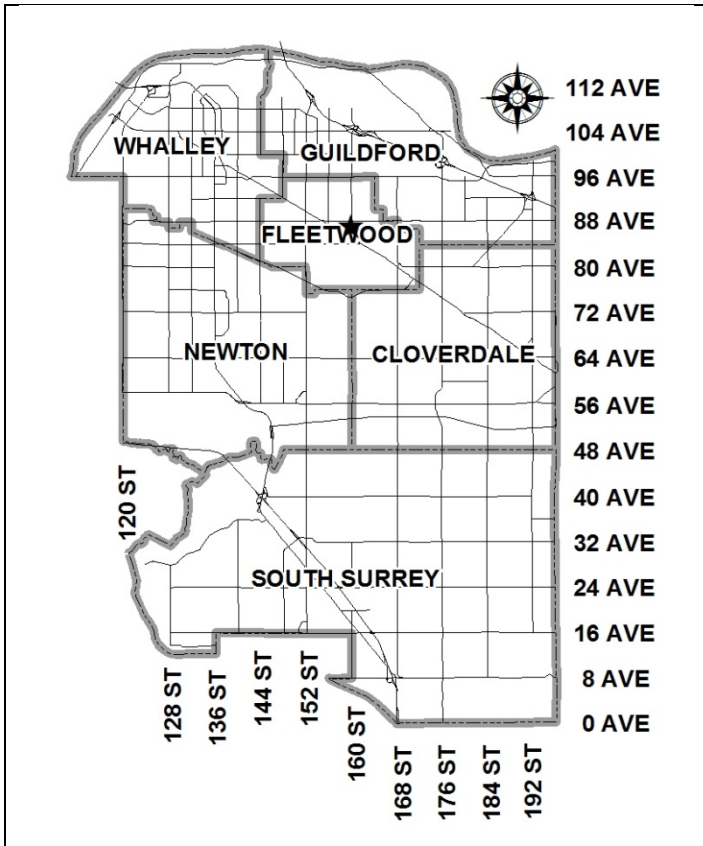


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0362-00

Planning Report Date: March 23, 2015

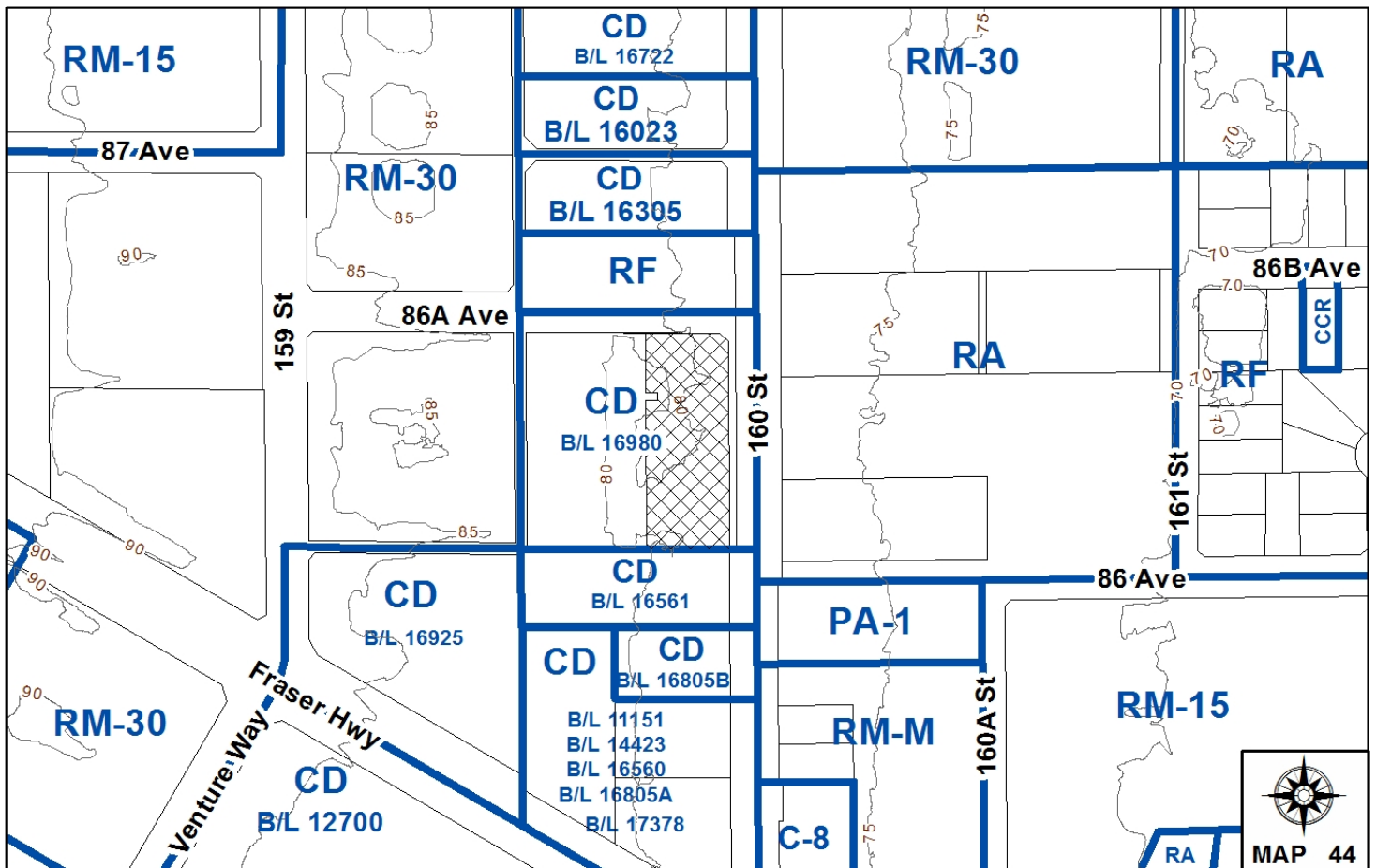


PROPOSAL:

- **Development Permit**

in order to permit the development of a two-storey commercial building in Fleetwood Town Centre.

LOCATION: 8645 - 160 Street
OWNER: JJM Estate Management Ltd.
ZONING: CD (By-law No. 16980)
OCP DESIGNATION: Town Centre
TCP DESIGNATION: Community Commercial



RECOMMENDATION SUMMARY

- Approval to vary through a comprehensive sign design package the maximum number of allowable fascia signs under the Sign By-law.
- Approval and issuance of Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking a variance to the Sign By-law to allow two additional fascia signs to be installed on the east façade of the proposed building.

RATIONALE OF RECOMMENDATION

- A previously approved Development Permit (No. 7907-0177-00) for the subject site permitted a four-storey mixed-use building. In response to market conditions, the applicant seeks a new Development Permit (DP) to eliminate the residential component to construct a two-storey commercial building.
- Complies with the Town Centre designation in the OCP and the "Community Commercial" designation in the Fleetwood Town Centre Plan (TCP). The proposal is also consistent with the existing CD Zone (By-law No. 16980).
- The proposed building design features high quality architectural elements and materials, and is acceptable to the Advisory Design Panel (ADP).
- The proposed number of fascia signs is appropriate for the size and scale of the proposed building and will assist with way-finding around the site.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
2. Council approve Development Permit No. 7914-0362-00 including a comprehensive sign design package and authorize the Mayor and Clerk to execute the Permit.

NOTE: If the Development Permit as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, including signage, Council may refer the Development Permit back to staff with direction regarding any of these matters.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant lot

Adjacent Area:

Direction	Existing Use	TCP Designation	Existing Zone
North (Across 86A Avenue):	Vacant acreage parcel	Community Commercial	RF
East (Across 160 Street):	Vacant acreage parcels	Community Commercial	RA
South:	Two-storey commercial building	Community Commercial	CD (By-law No. 16561)
West:	Four-storey apartment building (approved under Development Permit No. 7907-0177-00)	Community Commercial	CD (By-law No. 16980)

DEVELOPMENT CONSIDERATIONS

Background

- The 4,237-square metre (1 acre) subject site is located at 8645 – 160 Street in Fleetwood Town Centre. The site is designated Town Centre in the Official Community Plan (OCP), "Community Commercial" in the Fleetwood Town Centre Plan (TCP), and is zoned CD (By-law No. 16980).
- The subject lot was created in 2011 under Development Application No. 7907-0177-00. Under that application, the parent lot was rezoned from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)", and Development Permit No. 7907-0177-00 was issued in order to permit a mixed-use development consisting of two, four-storey buildings, on two separate lots as described below:
 - 8645 – 160 Street (subject site), was approved for a mixed-use building consisting of two storeys of retail and two storeys of residential above (Building A); and
 - 15956 – 86A Avenue (adjacent western lot), was approved for a four-storey apartment building. This building was completed in 2013 and is currently occupied (Building B).
- Building A on the subject site has not been constructed. The applicant has indicated that the current market conditions do not support a mixed-use building at this location.

Proposal

- The applicant is seeking a new Development Permit to permit construction of a two-storey commercial building on the subject lot, instead of the four-storey mixed-use building shown as Building A in Development Permit No. 7907-0177-00.
- The most significant proposed amendments to approved Development Permit No. 7907-0177-00, with respect to Building A, are summarized below:
 - Elimination of the residential component;
 - Reduction in the number of storeys from four to two; and
 - Reduction in the number of underground parking levels from two to one.
- The surface parking, vehicle and pedestrian circulation, and the building footprint, generally remain unchanged from Development Permit No. 7907-0177-00.
- The ground floor will consist of street-oriented retail units and the second floor will consist of office space and a proposed daycare with a rooftop deck. The rooftop deck is intended to provide outdoor play area for the daycare.
- A total of 1,860 square metres (20,000 sq. ft.) of retail space and 1,724 square metres (18,550 sq. ft.) of office space is proposed.
- The total floor area of the proposed building is 3,584 square metres (38,550 sq. ft.).

- The proposal complies fully with the provisions of the CD Zone (By-law No. 16980), as shown in the table below:

	Allowed	Proposed
Floor Area Ratio (FAR)	1.5 maximum (6,363 sq. m. / 68,500 sq. ft.)	0.85 (3,584 sq. m. / 38,550 sq. ft.)
Building Height	15 m. (49 ft.) maximum	10.8 m. (36 ft.)
Parking	91 minimum	98
Lot Coverage	80%	45.3%
Minimum Setbacks:		
Front (north):	2.0 m. (6.5 ft.)	3.07 m. (10 ft.)
Rear (south):	0 m. (0 ft.)	0 m. (0 ft.)
Exterior Side (east):	2.0 m. (6.5 ft.)	2.74 m. (9 ft.)

- The proposal 2-storey commercial building is also in keeping with the "Community Commercial" designation in the Fleetwood TCP.

DESIGN PROPOSAL AND REVIEW

Building Design

- The proposed two-storey building will be similar in height to the existing two-storey commercial building to the immediate south.
- The length of the building is approximately 100 metres (340 ft.). The horizontal massing will be visually broken up through subtle variations in colour and materials, with stronger design elements applied to the middle and northern portions of the building.
- Glazing is prominent along the ground floor of the eastern façade, to give the retail units a strong street presence.
- A glass canopy is provided at the first floor to offer weather protection for pedestrians.
- Secondary access to the ground floor retail units will be provided at the rear. Office uses, and a proposed daycare will occupy the second storey.
- Brick and painted concrete are proposed on the south end of the building which will match the texture and colour of the adjacent commercial building.
- Mechanical units proposed on the roof, will be screened, to reduce their visibility from the apartment building to the west.

Landscaping

- With the exception of additional shrubs and trees that will be planted in the surface parking lot at the rear of the proposed building, the landscaping that was approved in Development Permit No. 7907-0177-00 will generally remain unchanged.

Access and Parking

- A total of 98 parking spaces are proposed, consisting of 58 underground parking spaces and 40 surface parking spaces. The proposed parking exceeds the minimum 91 parking space requirement for this site based on a combination of office, retail and daycare uses proposed.
- Access to the underground parking will be via a ramp, in the southwest portion of the site, similar to approved DP No. 7907-0177-00.
- Similar to DP No. 7907-0177-00, a pedestrian breezeway bisects the building. This breezeway is in alignment with an entry into the neighbouring western apartment building (completed in Phase 1) to provide connectivity between the apartment building, the rear surface parking lot of the proposed Building A, and the proposed street-oriented retail along 160 Street. The breezeway also breaks up the horizontal massing of the proposed building.
- Vehicle circulation through the site will generally remain unchanged from DP No. 7907-0177-00.
- The proposed parking spaces and drive aisles comply with the minimum dimensional requirements of the Zoning By-law.

Proposed Signage

- The applicant proposes a total of 33 fascia signs, consisting of 16 fascia signs on the east façade, 2 fascia signs on the north façade, 14 fascia signs on the west façade and 1 fascia sign on the south façade.
- The Sign By-law allows a maximum of two (2) fascia signs for each premises provided that both of the fascia signs are not located on the same façade of the premises. The east façade exceeds this requirement by two fascia signs.
- The proposed fascia signs, which form part of the subject Development Permit application, are considered a comprehensive sign package. As a result, Council may approve the proposed signage through a Development Permit without the need for a Development Variance Permit. The applicable variance to the Sign By-law is described in Appendix II.
- The proposed fascia signs will consist of illuminated channel letters between 0.3 metre (1 ft.) and 0.6 metre (2 ft.) high, which is an appropriate scale for the building.
- Most of the fascia signs on the east façade (160 Street) and north façade, will be attached to horizontal steel elements, mounted beneath the glass canopy.
- The proposed east/west oriented retail units can be accessed from both the east (160 Street) and west sides of the building. It is intended that the west facing entries be secondary to the street-oriented entries. Therefore, the fascia signage is more prominent along the east (160 Street) façade, to establish this side as the primary entry into the retail units, and to enhance activity along 160 Street.

ADVISORY DESIGN PANEL (ADP)

The application was initially reviewed by the ADP on February 12, 2015. During this initial review, the ADP recommended subtle changes to the architectural composition of the proposed building, and requested that the project be brought back to the ADP for a second review.

The application was subsequently reviewed by the ADP through an electronic review process during the week of March 9-13, as the ADP meeting scheduled for March 12, 2015, was cancelled. The applicant's revised submission addressed the ADP's previous comments, and the ADP supported the project.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Sign By-law Variance
Appendix III.	Draft ADP Comments
Appendix IV.	Context Plan
Appendix V.	Site Plan and Elevations of Building A from approved DP No. 7907-0177-00
Appendix VI.	Development Permit No. 7914-0362-00

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

JD/da

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DEVELOPMENT DATA SHEET

Existing Zoning: CD By-law No. 16980

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		4,241 sq. m.
Road Widening area		N/A
Undevelopable area		N/A
Net Total	N/A	4,241 sq. m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	80% maximum	45.3%
Paved & Hard Surfaced Areas		52.2%
Total Site Coverage		97.5%
SETBACKS (in metres)		
North (Front)	2.0 m.	3.07 m.
South (Rear)	0 m.	0 m.
East (Side Yard Flanking 160 Street)	2.0 m.	2.74 m.
West (Side Yard Flanking Public Lane)	2.0 m.	60 m.
BUILDING HEIGHT (in metres/storeys)		
Principal	15.0 m. (4 storeys)	10.82 m. (2 storeys)
Accessory	4.5 m.	N/A
NUMBER OF RESIDENTIAL UNITS		
Bachelor		N/A
One Bed		N/A
Two Bedroom		N/A
Three Bedroom +		N/A
Total		N/A
FLOOR AREA: Residential		N/A
FLOOR AREA: Commercial		
Retail		1,860 sq. m.
Office		1,724 sq. m.
Total		3,584 sq. m.
FLOOR AREA: Industrial		N/A
FLOOR AREA: Institutional		N/A
TOTAL BUILDING FLOOR AREA		3,584 sq. m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		N/A
# of units/ha /# units/acre (net)		N/A
FAR (gross)		
FAR (net)	1.5	0.85
AMENITY SPACE (area in square metres)		
Indoor		N/A
Outdoor		N/A
PARKING (number of stalls)		
Commercial	91	98
Industrial		N/A
Residential Bachelor + 1 Bedroom		N/A
2-Bed		
3-Bed		
Residential Visitors		N/A
Institutional		N/A
Total Number of Parking Spaces	91	98
Number of disabled stalls	1	2
Number of small cars	0	0
Tandem Parking Spaces: Number / % of Total Number of Units	N/A	N/A
Size of Tandem Parking Spaces width/length	N/A	N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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PROPOSED SIGN BY-LAW VARIANCE

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow two additional fascia signs to be installed on the east building façade.	A maximum of two (2) fascia signs are permitted for each premises provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a))	The additional fascia signs will provide building and tenant identification and assist in way-finding. The proposed signs are an appropriate size and scale in relation to the proposed building.

DRAFT

2. **5:00PM**

File No.:	7914-0362-00
New or Resubmit:	New
Last Submission Date:	N/A
Description:	DP for a 2-storey commercial retail building
Address:	8645-160 Street
Developer:	JJM Estate Management Ltd.
Architect:	Colin Hogan, Focus Architecture Inc.
Landscape Architect:	C. Kavolinas and Associates Inc.
Planner:	Jeff Denney
Urban Design Planner:	Mary Beth Rondeau

The Urban Design Planner presented an overview of the proposed project and highlighted that this is a new building.

- The project borders a portion of 160 Street, south of Fraser Hwy. Previously it was a 4-storey mixed-use proposal in the same form that is shown now (L-

shaped form). Directly behind the site, the developer recently finished the first phase of an apartment building.

- The breezeway has narrowed slightly and shows a future gate option, and the building appears long on the street frontage.
- Two-sided retail is proposed and there are a number of precedents for successful two-sided retail in Surrey. The street fronting is treated as primary frontage. The secondary frontage is located at the back parking side with less signage and windows.
- Staff have no specific issues with this proposal. There are some minor items regarding the impact for the existing residential apartment building overlooking (roof screening and mechanical, etc.).

The Project Architect presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes and highlighted the following:

- This project has a long frontage along 160 Street, breaking up the building into two (2) distinct sections by using a breezeway/bridge with a taller element. There is a massing feature at the corner, with more glass and some steel. Different materials on the south end have been used to relate to the existing retail building adjacent to it (brick and painted concrete). A decorative trellis element has been proposed in order to help keep the massing taller.
- A daycare is planned for the northern portion of the upper floor (complete with a secured roof-deck). Daycare entry would be allowed to happen from both the back parking and street side (red metal entry to help signify this area).
- The signage along 160 Street gives more prominence to the street-front retail and activates the street. The glass on the backside of the building is limited and has much less signage.
- With regard to underground parking, there is a security grill to close the space off at night. CPTED requirements are met.
- The main floor is intended to be entirely retail, broken up by the breezeway (which is host to a bike rack and mail boxes for tenants). The second floor will be office space.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- From the previous development, there is some existing landscaping that was installed (shrubs and some deciduous trees will remain; anything that is destroyed will be refurbished as this development goes progresses).
- This is a very urban environment so the street trees are in grates. The design incorporates what is currently going on in the Fleetwood-area (pedestrian-oriented and urban).

ADVISORY DESIGN PANEL STATEMENT OF REVIEW
DP for a 2-storey commercial retail building, 8645 - 160 Street
File No. 7914-0362-00

It was Moved by D. Newby
Seconded by C. Taylor
That the Advisory Design Panel (ADP)
recommends that the applicant address the following recommendations and
revise and resubmit to the ADP.

Carried

STATEMENT OF REVIEW COMMENTS

Site

- The site layout with the building at the street is supported as previously approved. It has good relationship with the residential project across the street.

Building Form and Character

- Commend the modern design that lacks some of the sentimentality that often comes with a project of this type.
- There is good articulation, though sometimes appears arbitrary and over-complex.
 - The elements could be simplified while accentuating the corner element and the breezeway.
 - There seems to be an awkward relationship between the projecting corner element and the cornices
 - The wood trellis at the daycare roof appears fussy and adds another type of façade.
 - The depth between some of the façade elements is minimal and appears as an arbitrary change of material.
- The weather projection is elevated too high to be useful.
- Logically the daycare will only have one (1) entry, and it should be placed near the elevator. The side entry cuts off access to the outdoor play area which will also need a portion covered. Daycare design should take better consideration of Health Authority guidelines.
- Retail windows should wrap at the breezeway.
- The individual letters on a framed support could tend to conflict with each other and hamper the legibility of the signage.
- The mechanical units on the roof are too small and need to be shrouded.

Landscaping

- Clarify the existing landscaping along the western edge of the parking.
- The landscaping is very urban and overall, creates a nice edge.
- At the expense of 3-5 parking spaces, adding in some trees for screening on the west side would be good.

CPTED

- The breezeway appears too tight and may create some CPTED issues. Allowing for more space and breathing room being built into the space, rather than relying on technology to solve safety issues would be more appropriate.

Accessibility

- Two (2) disabled parking stalls designated (one (1) in the underground).
- Where possible, ensure all washrooms and entrances have power doors.
- Emergency call buttons and all elevator buttons should be horizontal for easy accessibility.
- Ensure that the building follows fire code for emergency access.

Sustainability

- Weather protection could be lowered and do double duty with respect to increased solar shading in the wintertime (reduce some solar glare and the potential of overheating of retail spaces).
- The skylights added for daylighting are excellent as the tenants will not require any artificial lighting for approximately 90% of the time.
- Consider adding solar shading to the offices.
- Consider high albedo roof materials.
- Raised planters on the daycare roof could provide stormwater opportunities and interest.
- Protected bike parking underground would be useful for employees.

Panellists:

Leroy Mikkelsen
Stephen Vincent
Derek Newby
Mark Ehman
Mark Vance
Marc MacCaull

Support Staff:

M. Rondeau, Acting City Architect, Planning & Dev.
L. Luaifoa, Legislative Services

A. ELECTRONIC REVIEW

File No.:	7914-0362-00
New or Resubmit:	New
Last Submission Date:	N/A
Description:	DP for a 2-storey commercial retail building
Address:	8645-160 Street
Developer:	JJM Estate Management Ltd.
Architect:	Colin Hogan, Focus Architecture Inc.
Landscape Architect:	C. Kavolinas and Associates Inc.
Planner:	Jeff Denney
Urban Design Planner:	Mary Beth Rondeau

STATEMENT OF REVIEW COMMENTS**Building Form and Character**

The members were overall pleased with the revised design and felt that the applicant did a good job at responding to the Advisory Design Panel's comments. The following comments were provided:

- The additional screening, at ground level with the trees and at the roof top with the RTU shrouds significantly improves the interface with the adjacent residential building.
- The daycare access from the street and to the outdoor play area is significantly improved.
- Modifications to the landscape plan, particularly at the parking area and adjacent to the neighbouring development is an improvement, providing a better street experience and screening of lot from adjacent apartments.
- Treatment at the northeast corner addresses some of the comments offered.
- Passageway at the centre of the plan still seems narrow, despite the efforts to widen it. Generally improved though.
- Addition of secure bike parking in parkade is welcome. Recommend taking care to specify door and lock arrangement that is difficult to circumvent. Mesh enclosures allow great visibility, but allow thieves to "fish" the door hardware. Consider a concrete block face with

- conventional steel door with glass lite on the front face to allow good hardware and security, with mesh on adjacent side.
- Consider dropping canopies lower still or making wider.

Sustainability

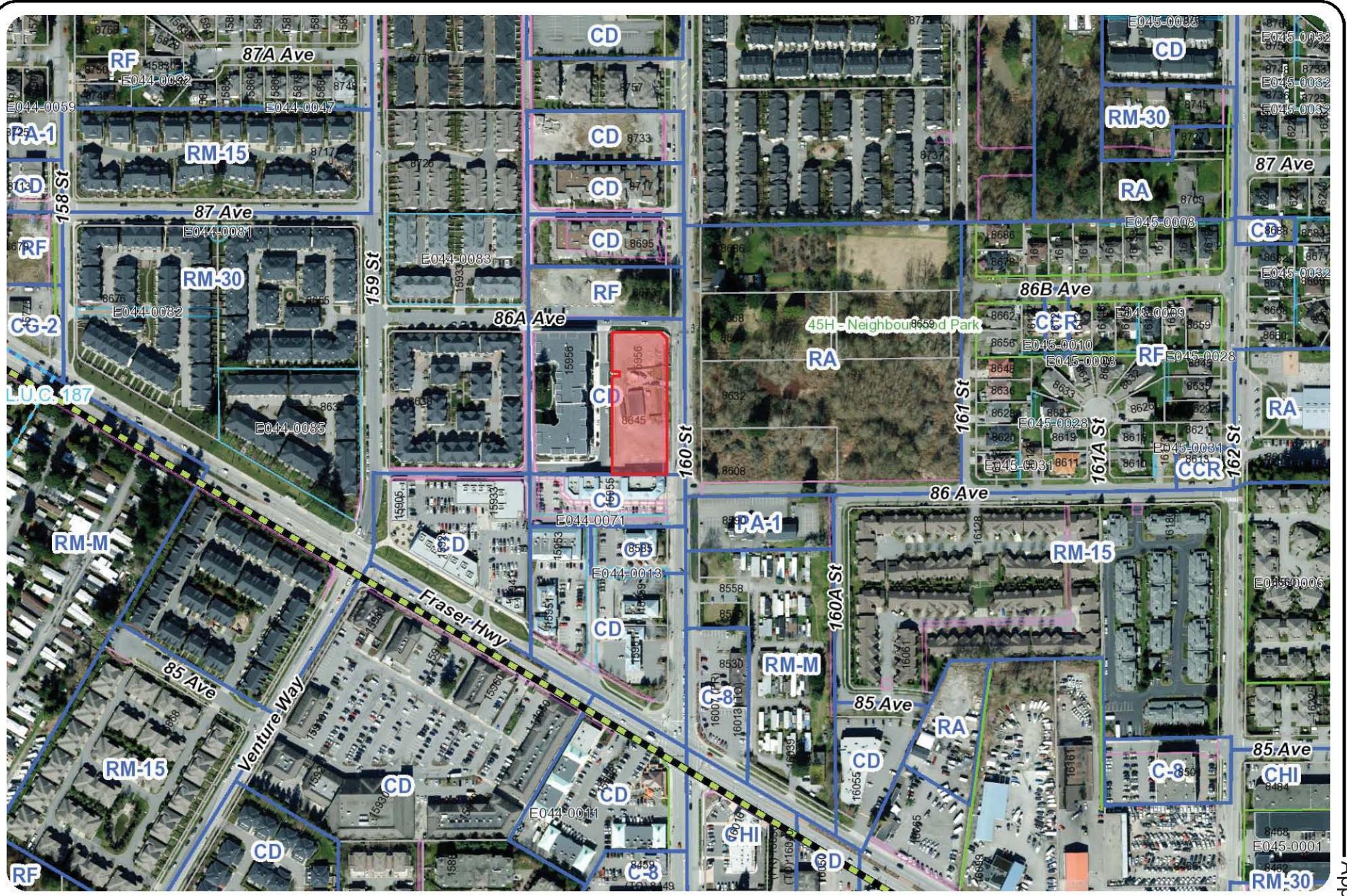
- Recommend that high albedo and sky lights be considered for natural lighting.
- Recommend that trees for shading be added to the day care area, or at least some form of shelter so play time can be extended outside.

B. NEXT MEETING

The next Advisory Design Panel is scheduled for Thursday, March 26, 2015, at 4:00 pm in 2E-Community Room-A.

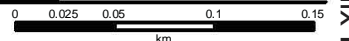
Jane Sullivan, City Clerk

Leroy Mickelson, Advisory Design Panel

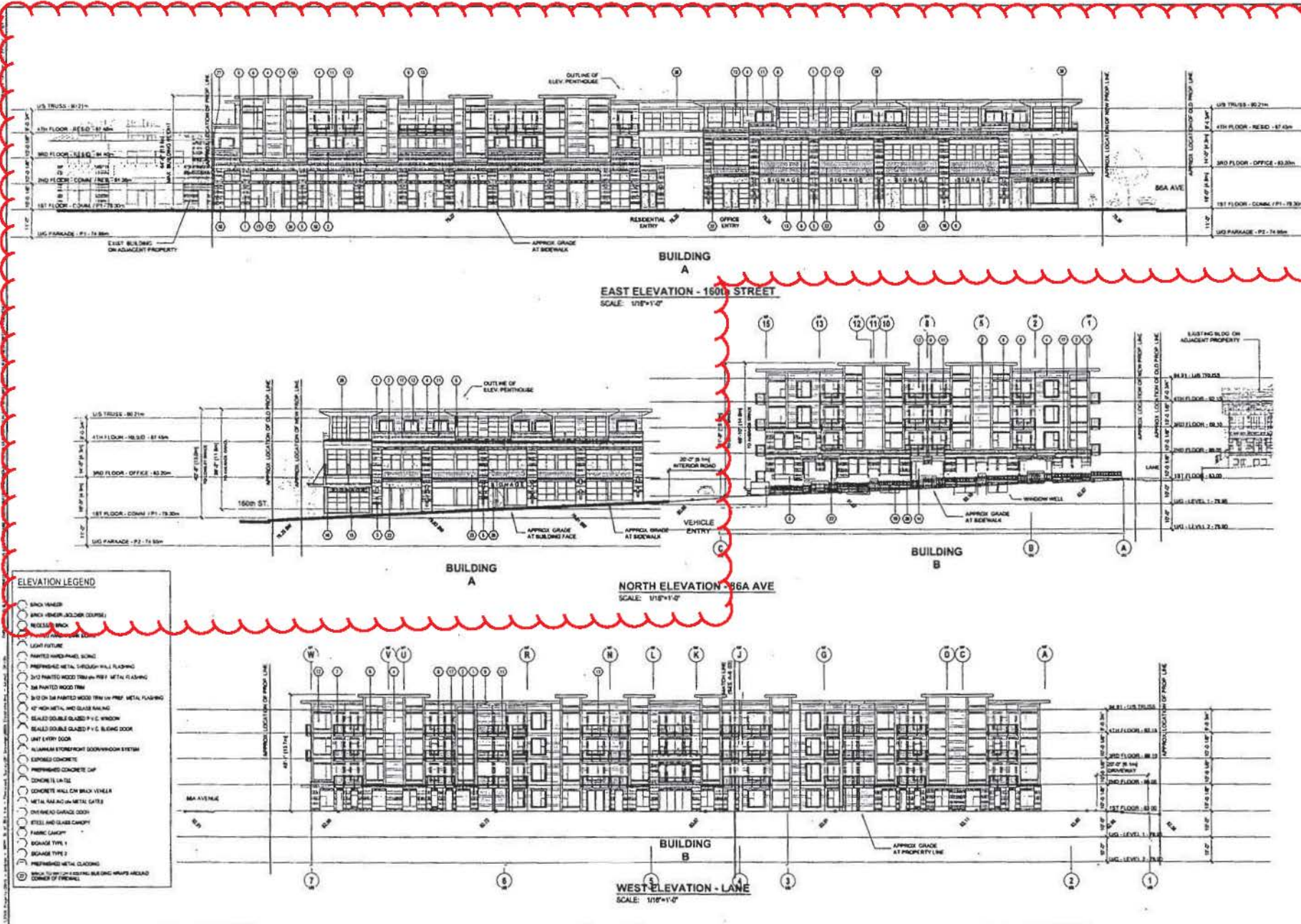


Scale: 1:3,794

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Map created on: 12/03/2015



- ELEVATION LEGEND**
- BRICK VENEER
 - BRICK VENEER JOINDER COURSE
 - RECESSED BRICK
 - LIGHT FUTURE
 - PAINTED WOOD PANEL Siding
 - PREFINISHED METAL THROUGH WALL FLASHING
 - 2x2 PAINTED WOOD TRIM OR PREF. METAL FLASHING
 - 3x4 PAINTED WOOD TRIM OR PREF. METAL FLASHING
 - 4x4 WOOD METAL AND GLASS RAILING
 - BEADED DOUBLE GLAZED P + C WINDOW
 - BEADED DOUBLE GLAZED P + C SLIDING DOOR
 - ANY ENTRY DOOR
 - ALUMINUM STORM DOOR / SCREEN DOOR SYSTEM
 - SUPPLEMENT CONCRETE
 - PREFINISHED CONCRETE CAP
 - CONCRETE IN PLACE
 - CONCRETE WALL ON BRICK VENEER
 - METAL RAILING ON METAL GATES
 - 2x4 WOOD GARAGE DOOR
 - STEEL AND GLASS CANOPY
 - FABRIC CANOPY
 - SIGNAGE TYPE 1
 - SIGNAGE TYPE 2
 - PREFINISHED METAL CLADDING
 - BRICK TO 20' ON EXISTING BUILDING WHITE BRICK AND CORNER OF FIREWALL

City of Surrey file number
7907-0177-00

June 13, 2010
ADP Revisions

Aug 25, 2009
Final Urban Design Issues

June 26, 2009
Submission for ADP Revisions

June 11, 2009
Submission for ADP evaluation

May 12, 2009
Issued for Development Permit Revisions

CONSULTANTS

PROJECT
PROPOSED MIXED USE DEVELOPMENT
- AMBROSIO Constructors -

LOCATION
160th Street at 86A Avenue
Fleetwood - Surrey, BC

DRAWING TITLE
ELEVATIONS

DRAWN MS	CHECKED
SCALE AS NOTED	DATE MAY 12, 2009
SHEET NO. DP-09	FILE NO. 0809

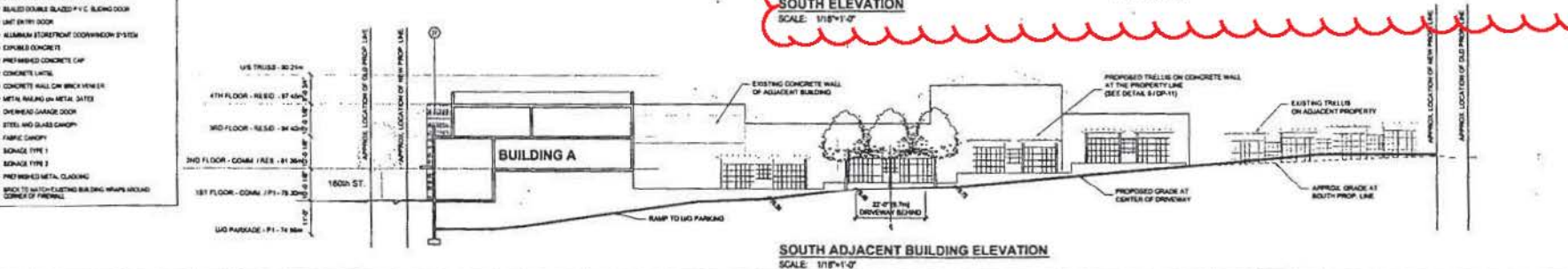
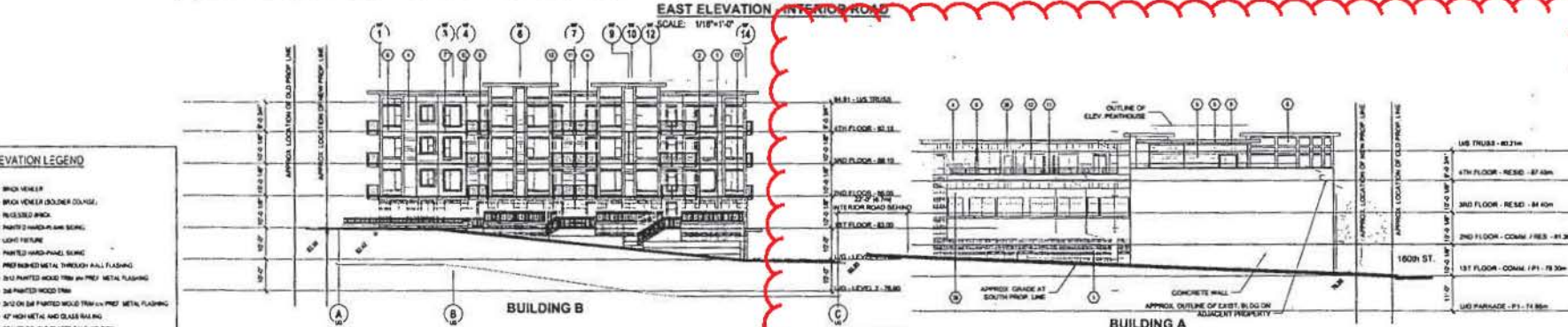
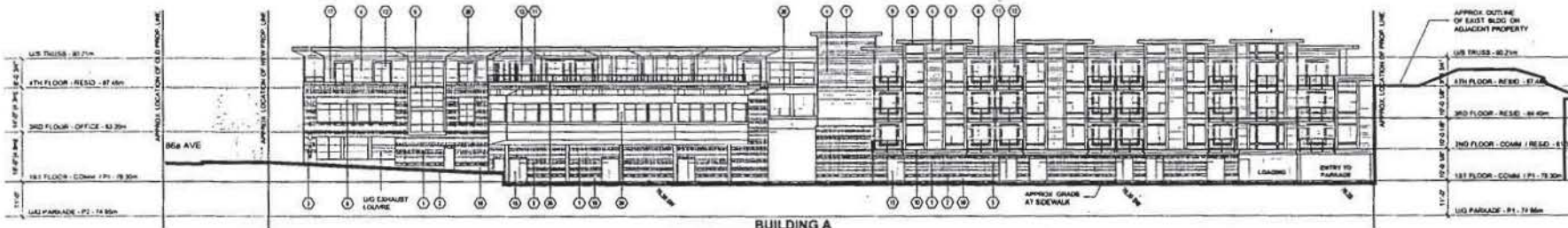
FOCUS ARCHITECTURE INCORPORATED

109 - 1528 McCallum Road
Abbotsford, BC V2S 8A3
Tel: 604.853.5222 Fax: 604.853.5443

www.focusarchitecture.com

Colin A. Hogan MAIBC
Janine J. Huppelle MAIBC MRASC
Cavan G.A. Hoffe BD-ABC ASCT

1907-0177-00C



- ELEVATION LEGEND**
- BRICK VENEER
 - BRICK VENEER (COLONIAL COLANGE)
 - RECESSED BRICK
 - PAINTED WOOD PANEL SIDING
 - LIGHT FUTURE
 - PAINTED WOOD PANEL SIDING
 - BRICK VENEER METAL THROUGH WALL FLASHING
 - 3/4" PAINTED WOOD TRIM AND PREP. METAL FLASHING
 - 3/4" PAINTED WOOD TRIM
 - 3/4" ON 3/4" PAINTED WOOD TRIM AND PREP. METAL FLASHING
 - 4" HIGH METAL AND GLASS SILLING
 - BRICK DOUBLE GLAZED P.V.C. WINDOW
 - BRICK DOUBLE GLAZED P.V.C. BLINDING DOOR
 - LIGHT ENTRY DOOR
 - ALUMINUM STOREFRONT COORDINATION SYSTEM
 - EXPANDED CONCRETE
 - PRECAST CONCRETE CURB
 - CONCRETE LATCH
 - CONCRETE WALL ON BRICK VENEER
 - METAL RAILING ON METAL SITES
 - OVERHEAD GARAGE DOOR
 - STEEL AND GLASS CANOPY
 - FRANK CANOPY
 - SIGNAGE TYPE 1
 - SIGNAGE TYPE 2
 - PREPARED METAL CLADDING
 - BRICK TO MATCH EXISTING BUILDING WALLS AROUND CORNER OF PANEL

City of Surrey file number
7907-0177-00

Sept. 13, 2010
ADP Revisions
Aug 25, 2009
Final Urban Design Issues

June 26, 2009
Submittal for ADP Revisions
June 11, 2009
Submittal for ADP evaluation
May 12, 2009
Issued for Development Permit Revisions

CONSULTANTS

PROJECT
PROPOSED MIXED USE DEVELOPMENT
- AMBROSIO Constructors -

LOCATION
160th Street at 86A Avenue
Fleewood - Surrey, BC

DRAWING TITLE
ELEVATIONS

DRAWN MS	CHECKED
SCALE AS NOTED	DATE MAY 12, 2009
SHEET NO. DP-10	FILE NO. 0809

FOCUS ARCHITECTURE INCORPORATED

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Abbotsford, BC V2S8A3
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Collin A. Hogan AA/IBC
Janine S. Kuepple MA/BC MB/AC
Caron G.A. Nofre SO/ABC AS/IT

7907-0177-00 C

CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT

NO.: 7914-0362-00

Issued To: JJM ESTATE MANAGEMENT LTD.

("the Owner")

Address of Owner: 10233 - 153 Street, Unit No. 200
Surrey, BC V3R 0Z7

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.

2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-576-853

Lot 1 Section 26 Township 2 New Westminster District Plan BCP47753 Except Phase One
Strata Plan EPS1391

8645 - 160 Street

(the "Land")

3. The Land has been designated as a Development Permit Area in Surrey Official Community Plan By-law, 2013, No. 18020, as amended.

4. The character of the development including landscaping and the siting, form, exterior design, finish of buildings, structures and comprehensive signage design package, shall be in accordance with the drawings numbered 7914-0362-00 (A) through to and including 7914-0362-00 (U) (the "Drawings") which are attached hereto and form part of this development permit.

5. Minor changes to the Drawings that do not affect the general form and character of the landscaping and the siting, form, exterior design, finish of buildings, structures and signage on the Land, may be permitted subject to the approval of the City.

6. (a) The Landscaping, as shown on the Drawings numbered 7914-0362-00 (T) and 7914-0362-00 (U) (the "Drawings"), shall be completed within six (6) months after the date of the final inspection of the buildings and structures referred to in the Drawings.
- (b) Prior to the issuance of the building permit for this development, security is to be submitted to ensure satisfactory completion of the Landscaping. The security for the Landscaping is to be submitted as follows:

An Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of \$150,000

(the "Security")

- (c)
 - i. When the Landscaping is substantially complete as determined by the City, without the City having to use the Security, 90% of the original Security will be returned. When the Landscaping receives final approval by the City, not earlier than twelve (12) months after the date of substantial completion of the Landscaping, 10% of the original Security will be returned.
 - ii. If final approval of the Landscaping is not given by the City, the City has the option of using the Security to complete the Landscaping and any remaining money shall be returned. The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Landscaping.
 - iii. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.
7. Surrey Sign By-law, 1999, No. 13656, as amended, is varied as outlined on Schedule A which is attached hereto and forms part of this development permit, and as shown on the Drawings numbered 7914-0362-00 (O) through to and including 7914-0362-00 (R) (the "Drawings").
8. This development permit supplements and amends Development Permit No. 7907-0177-00.
9. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.
10. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued, within two (2) years after the date this development permit is issued.

- 11. The terms of this development permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

- 12. This development permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

Authorized Agent: (Signature)

Name: (Please Print)

OR

Owner: (Signature)

Name: (Please Print)

Sign By-law Variance

#	Variance	Sign By-law Requirement
1	To allow two additional fascia signs to be installed on the east building façade.	A maximum of two (2) fascia signs per premises are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a))



ATRIUM PROFESSIONAL BUILDING

ATRIUM HOLDINGS

8645 160 Street Surrey, BC.

CONTEXT PLAN

2015.03.05

PLANS REVIEWED
BY MR Rondeau
DATE: March 17, '15
For DR only



ATRIUM PROFESSIONAL BUILDING

ATRIUM HOLDINGS

8645 160 Street Surrey, BC.

2015.03.05
RENDERING



OVERALL NORTH ELEVATION-86A AVE.



NORTH ELEVATION-86A AVE.



OVERALL WEST ELEVATION-INTERIOR ROAD



WEST ELEVATION-INTERIOR ROAD



WEST ELEVATION-INTERIOR ROAD

Photo courtesy of ATRIUM HOLDINGS



OVERALL SOUTH ELEVATION



SOUTH ELEVATION-INTERIOR ROAD

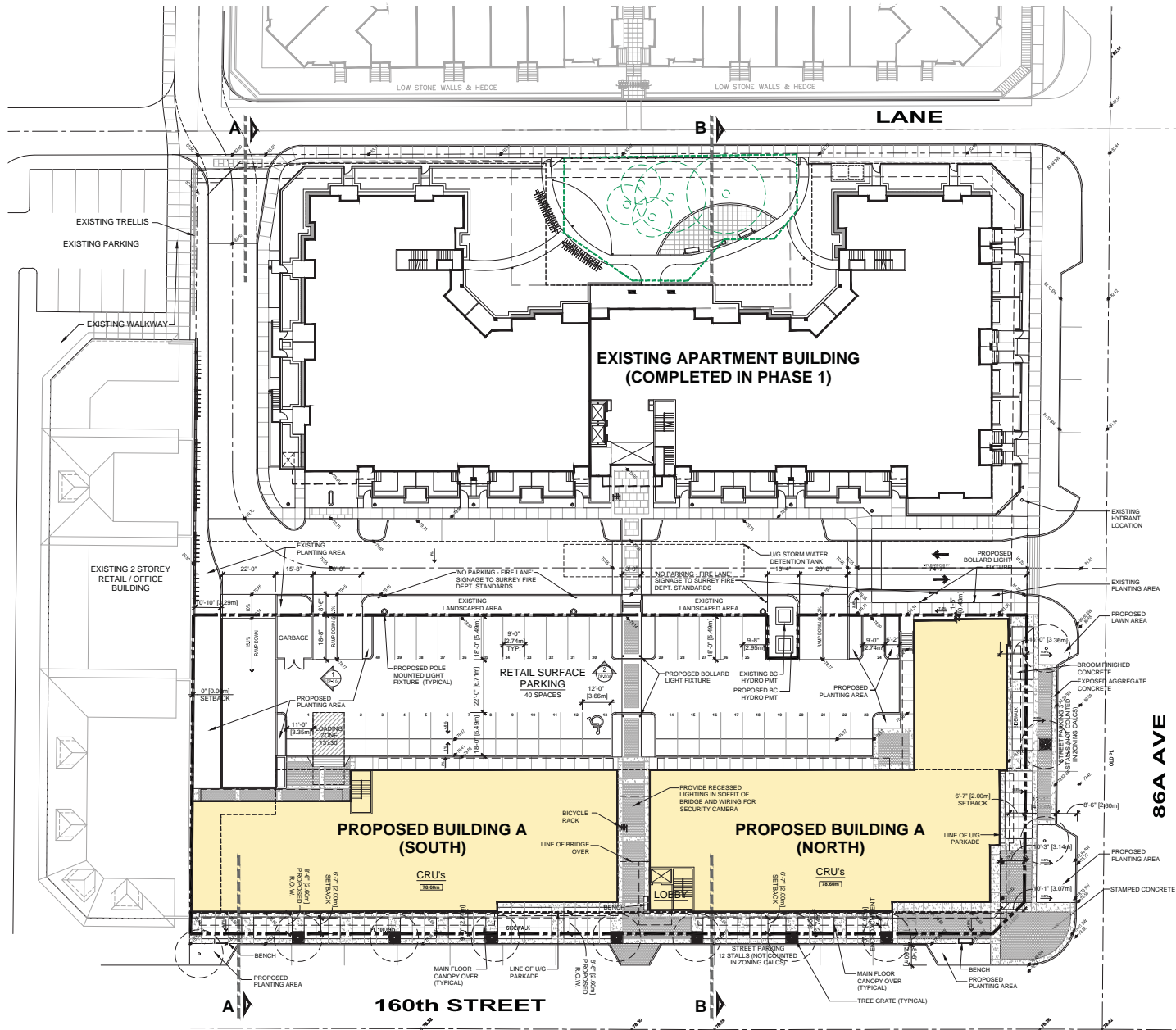
PROPOSED COMMERCIAL DEVELOPMENT

ATRIUM HOLDINGS

8645 160 Street, SURREY, BC.

2015-03-05
STREETSCAPE

7914-0362-00 (F) "Drawings"



SITE RECONCILIATION

LEGAL DESCRIPTION:
LOT 1 SECTION 26 TOWNSHIP 2 PLAN BC47753 NWD EXCEPT PLAN EPS191 PH1

CIVIC ADDRESS:
8645 - 160 STREET, SURREY, BC

ZONING INFORMATION:

ZONE:	EXISTING:	CD	
LOT AREA:	ALLOWED:	45,652.6 sq.ft. (4,241.3 m ² / 1.048 Acre / 0.424 Ha.)	
LOT SETBACKS:	ALLOWED:	FRONT YARD = 2.0m REAR YARD = 0.0m EXTERIOR SIDE = 2.0m	
	PROPOSED:	FRONT YARD (NORTH) = 3.07m REAR YARD (SOUTH) = 0.0m EXTERIOR SIDE YARD (EAST) = 2.74m	
	LOT COVERAGE:	ALLOWED: 80% = 45,652.6 x 0.80 = 36,522 sq.ft. (3,393.0 m ²) PROPOSED: 21,111.2 sq.ft. / 45,652.6 sq.ft. = 46.3%	
FLOOR AREA:	ALLOWED:	20,299 GSF (1,885.8 m ²)	
	PROPOSED:	18,229 GSF (1,693.4 m ²)	
	TOTAL:	38,527 GSF (3,579.2 m ²)	
DENSITY:	ALLOWED:	1.5 (66,478.9 sq.ft.)	
	PROPOSED:	0.85 (38,527 sq.ft. / 45,652.6 sq.ft.)	
	BUILDING HEIGHT:	ALLOWED: 49 ft. (15 m) PROPOSED: 35.5 ft. (10.82m) MAX. AT STREET-FACING ELEVATION	
PARKING:	REQUIRED:	OFFICE USE (18,229 sq.ft. / 1,693.4 m ² ON 2ND FLOOR) = 33.9 RETAIL USE (20,299 sq.ft. / 1,885.8 m ²) = 56.6 TOTAL = 90.5 SPACES PER 100 m ² (1,076 sq.ft.)	
	PROVIDED:	58 PARKING SPACES (UNDERGROUND) 60 PARKING SPACES (SURFACE) 98 PARKING SPACES TOTAL	

2015-03-05
ADP REVISIONS
2015-04-04
ISSUED FOR ADP

2014-12-08
ISSUED FOR DP AMENDMENT

REVISIONS

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CLIENT
ATRIM HOLDINGS

PROJECT
PROPOSED COMMERCIAL DEVELOPMENT
8645 160 STREET
SURREY, BC

DRAWING TITLE

SITE PLAN

DATE: 2014.11.20
DWN: RW
CHK: ch

SEAL
SHEET NO.
DP-1

LEGEND:
 ▲ 116.25 EXISTING GRADE
 ◆ 117.51 PROPOSED GRADE

SITE PLAN
 SCALE: 1"=20'-0"

2015-03-08	ADP REVISION
2015-04-08	ISSUED FOR ADP
2014-12-08	ISSUED FOR DP AMENDMENT

REVISIONS
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PROJECT
PROPOSED COMMERCIAL DEVELOPMENT
 8645 160 STREET
 SURREY, BC

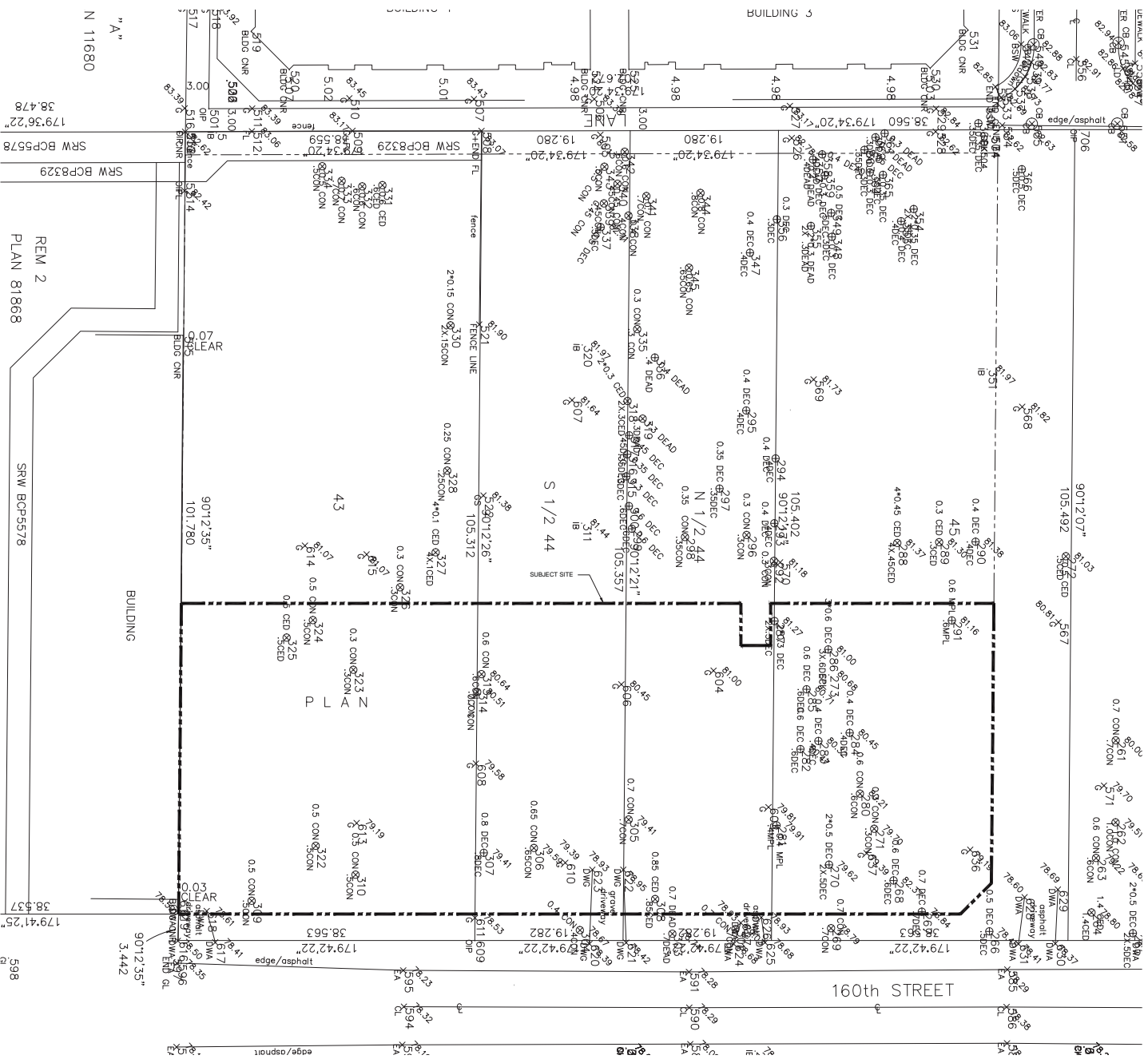
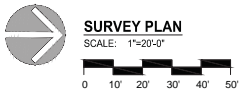
DRAWING TITLE

SURVEY PLAN

DATE 2014.11.20
 DWN: RW
 CHK: ch

SEAL SHEET NO.
DP-(

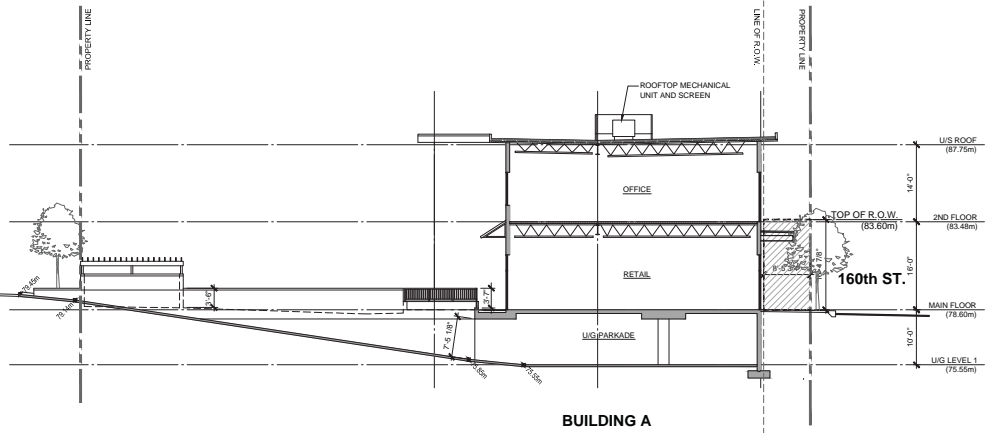
7914-0362-00 (H) "Drawings"



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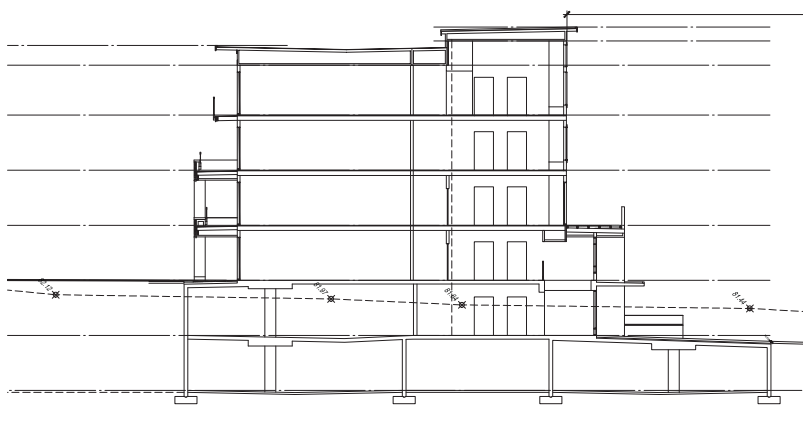


EXISTING APARTMENT BUILDING

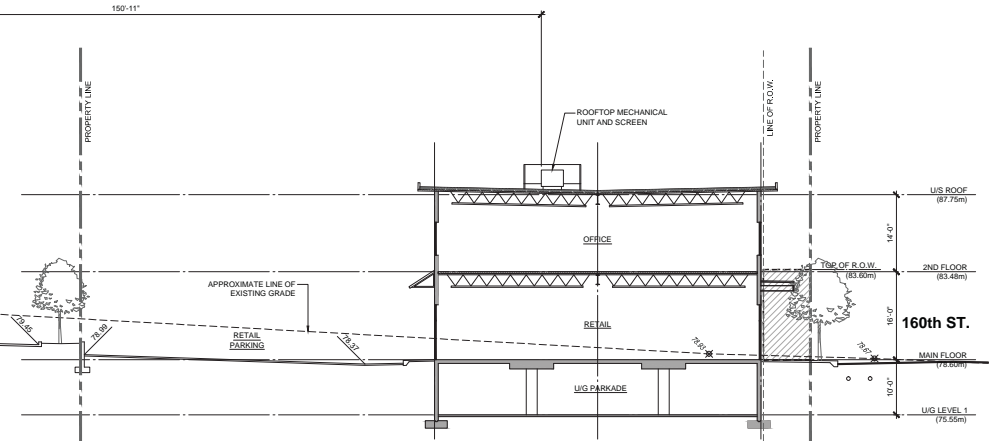


BUILDING A

SITE SECTION A
SCALE: 3/32" = 1'-0"



EXISTING APARTMENT BUILDING



BUILDING A

SITE SECTION B
SCALE: 3/32" = 1'-0"

The 2014 International Building Code (IBC) shall apply to all construction unless otherwise specified.

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e info@focus.ca

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2015-03-04	ISSUED FOR ADP
2014-12-08	ISSUED FOR DP AMENDMENT
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PROJECT
PROPOSED COMMERCIAL DEVELOPMENT
8645 160 STREET
SURREY, BC

DRAWING TITLE

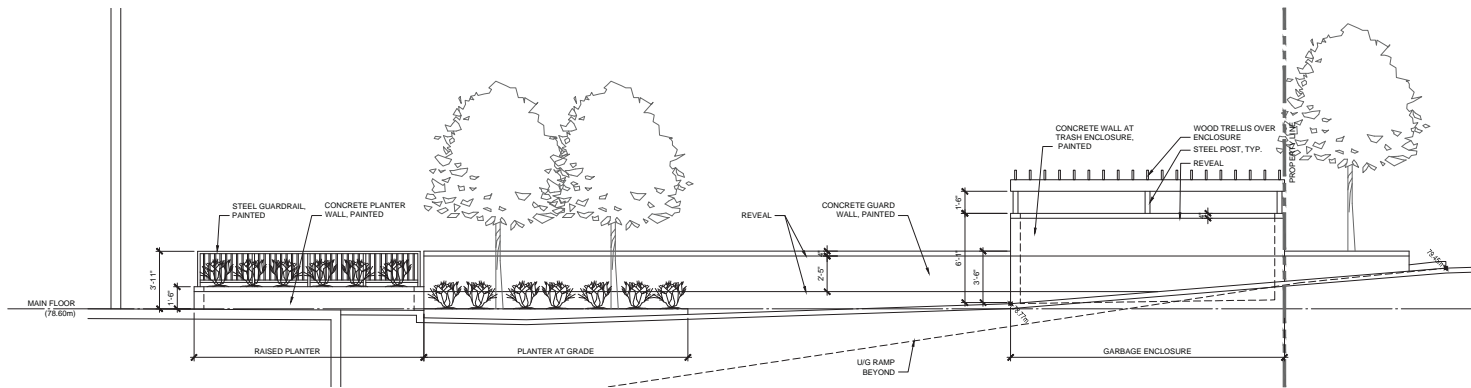
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DATE 2014.11.20 FILE
DWN: RW
CHK: ch 1

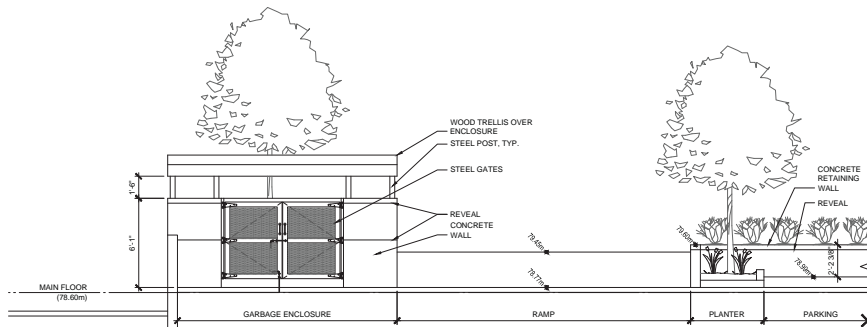
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DP-0

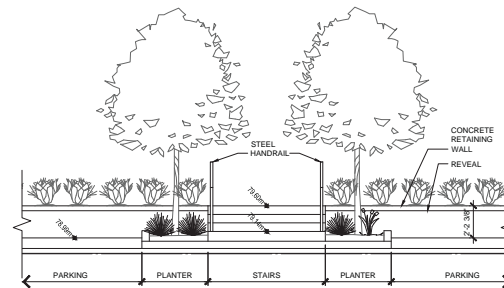
7914-0362-00 (1) "Drawings"



1 RETAINING WALL
SCALE: 1/4" = 1'-0"

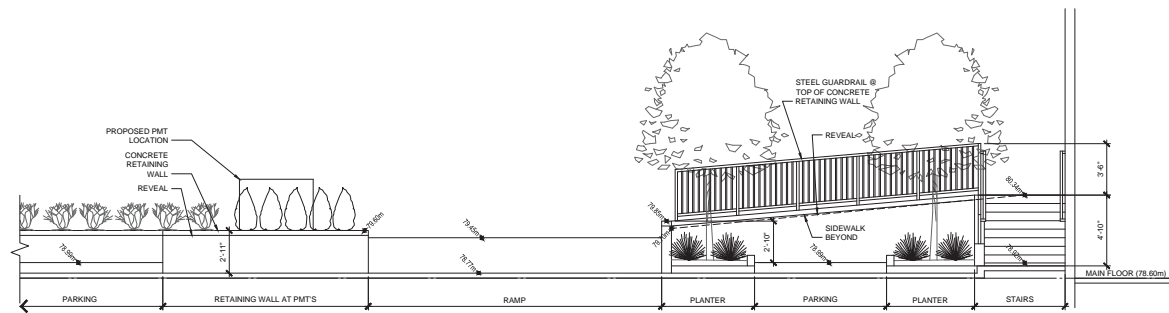


AT GARBAGE ENCLOSURE

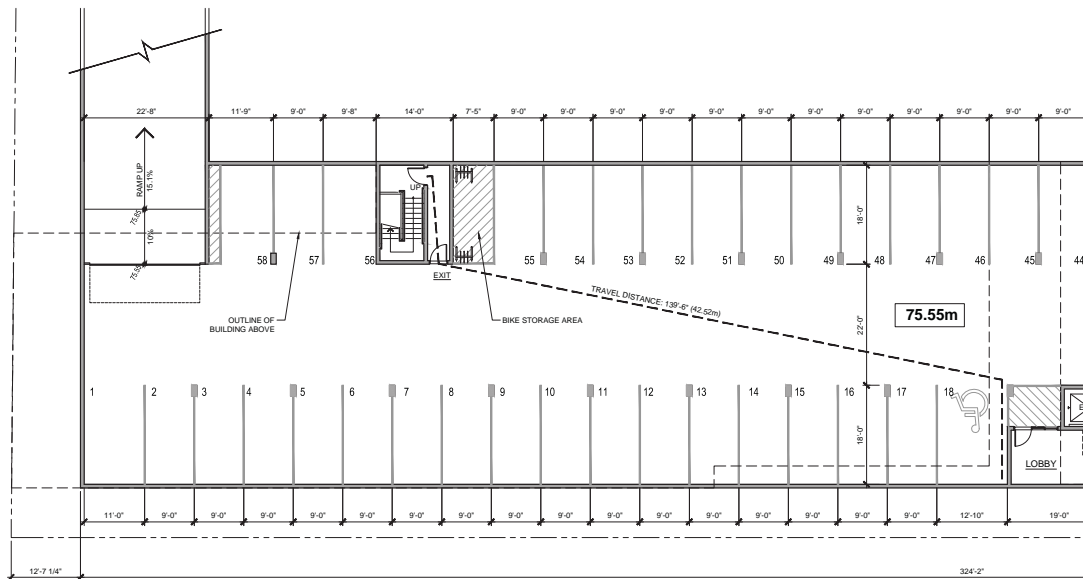


AT CENTRAL PEDESTRIAN PATH

2 RETAINING WALL
SCALE: 1/4" = 1'-0"

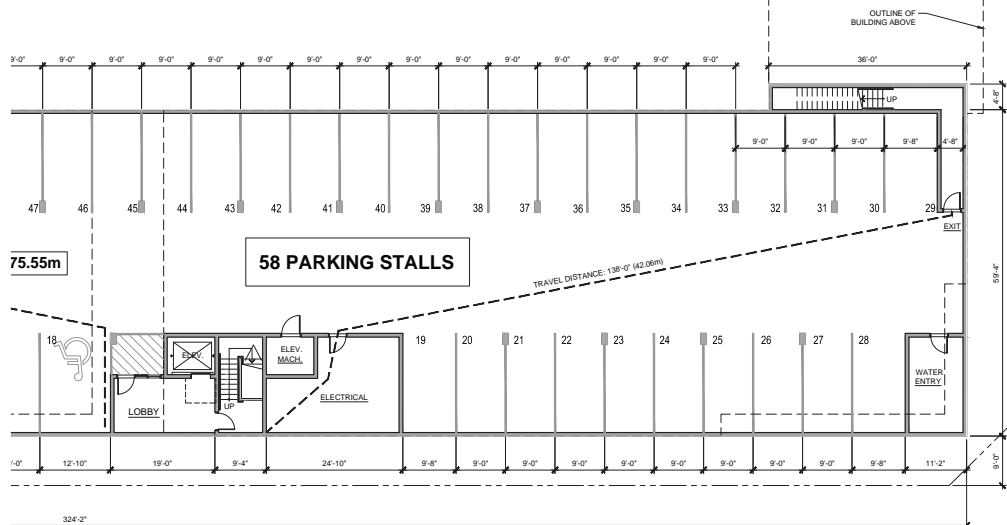


AT NORTH PEDESTRIAN PATH

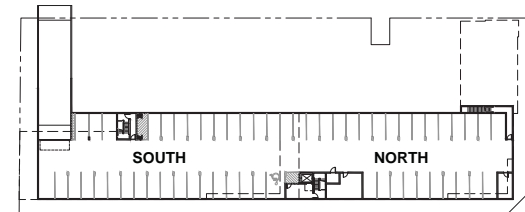


PARTIAL U/G PARKADE - SOUTH
SCALE: 3/32" = 1'-0"

- NOTE - CPTED REQUIREMENTS FOR UNDERGROUND PARKING**
- A) ALL WALLS & COLUMNS IN UNDERGROUND PARKING TO BE PAINTED WHITE
 - B) HARDWARE VIDEO SURVEILLANCE EQUIPMENT TO BE INSTALLED IN UNDERGROUND PARKING. INCLUDE WIRING FOR ONE EYE-LEVEL CAMERA AT EACH ENTRANCE TO PARKADE
 - C) CONVEX MIRRORS TO BE INSTALLED IN UNDERGROUND PARKING & STAIR AREAS (TO BE DETERMINED) TO AVOID HIDDEN CORNERS
 - D) ALL DOORS THAT LEAD TO PUBLIC AREAS IN UNDERGROUND PARKING, TO HAVE WINDOWS (VISION PANELS)
 - E) ELEVATOR LOBBY AREAS IN UNDERGROUND PARKING TO HAVE GLAZING TO PERMIT NATURAL SURVEILLANCE
 - F) UNDERGROUND PARKING TO BE WELL LIT
 - G) ROUGH SURFACE TO BE PROVIDED ON UNDERGROUND PARKING RAMPS, TO DETER SKATEBOARDERS



PARTIAL U/G PARKADE - NORTH
SCALE: 3/32" = 1'-0"



OVERALL U/G PARKADE - LEVEL P1 (FLOOR AREA: 18,979 GSF)
SCALE: 1" = 40'-0"

2015-03-05 ADP REVISIONS
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8645 160 STREET
SURREY, BC

DRAWING TITLE
UNDERGROUND PARKING LEVEL P1 PI

DATE 2014.11.20 FILE
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CHK: ch

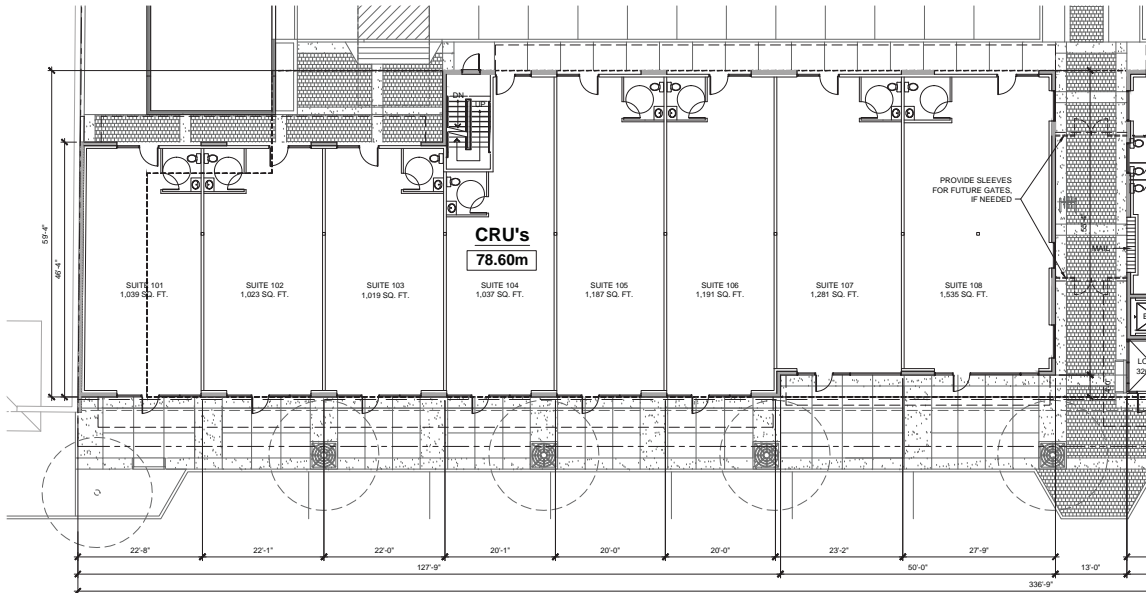
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SHEET NO.

DP-1
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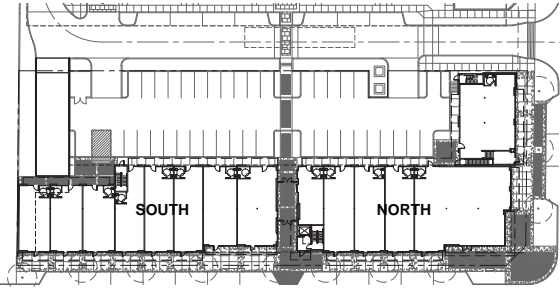
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PROJECT NUMBER: 7914-0362-00 (L) DRAWING NO. 7914-0362-00 (L)

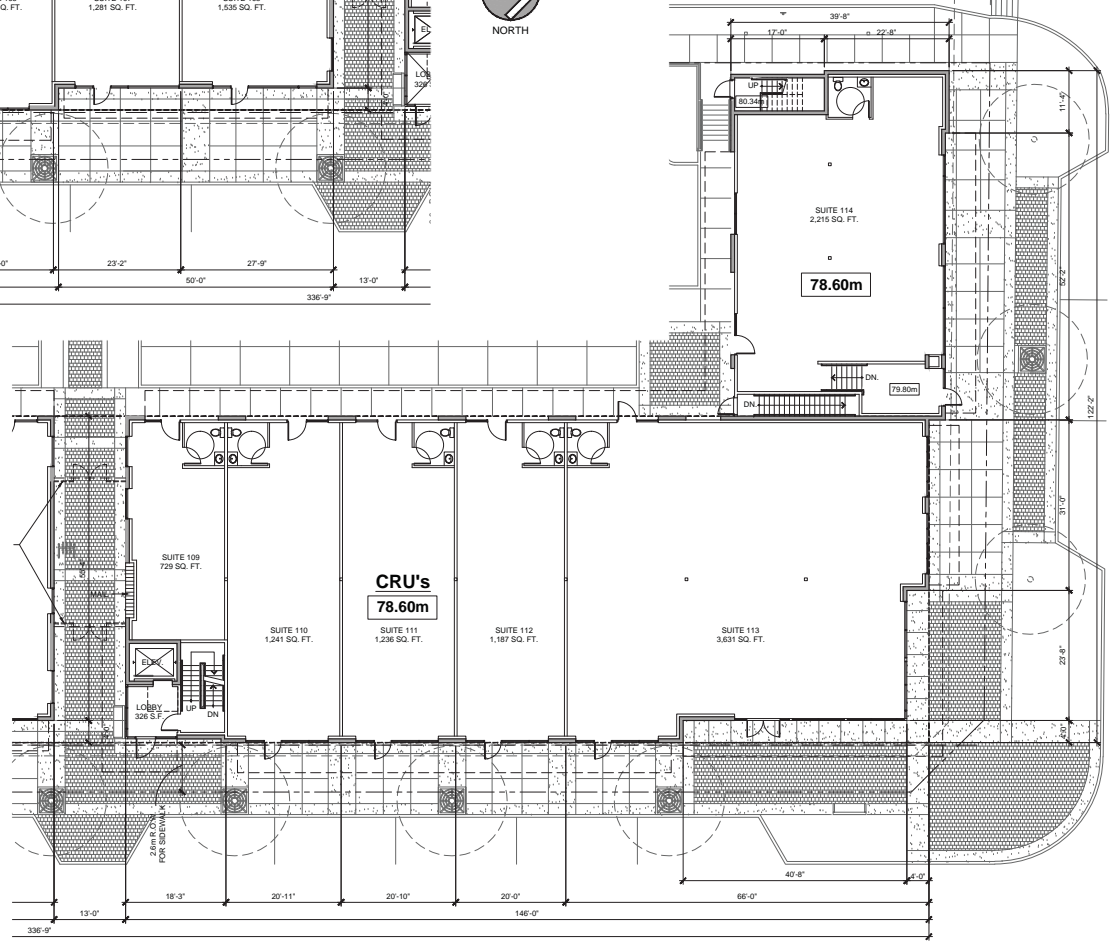
DATE: 2014.11.20
DWG: RW
CHK: ch



PARTIAL MAIN FLOOR PLAN - SOUTH (RETAIL AREA: 9,473 GSF)
SCALE: 3/32" = 1'-0"



OVERALL MAIN FLOOR PLAN
SCALE: 1" = 40'-0"



PARTIAL MAIN FLOOR PLAN - NORTH (RETAIL AREA: 10,826 GSF)
SCALE: 3/32" = 1'-0"

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DEVELOPMENT
8645 160 STREET
SURREY, BC

DRAWING TITLE

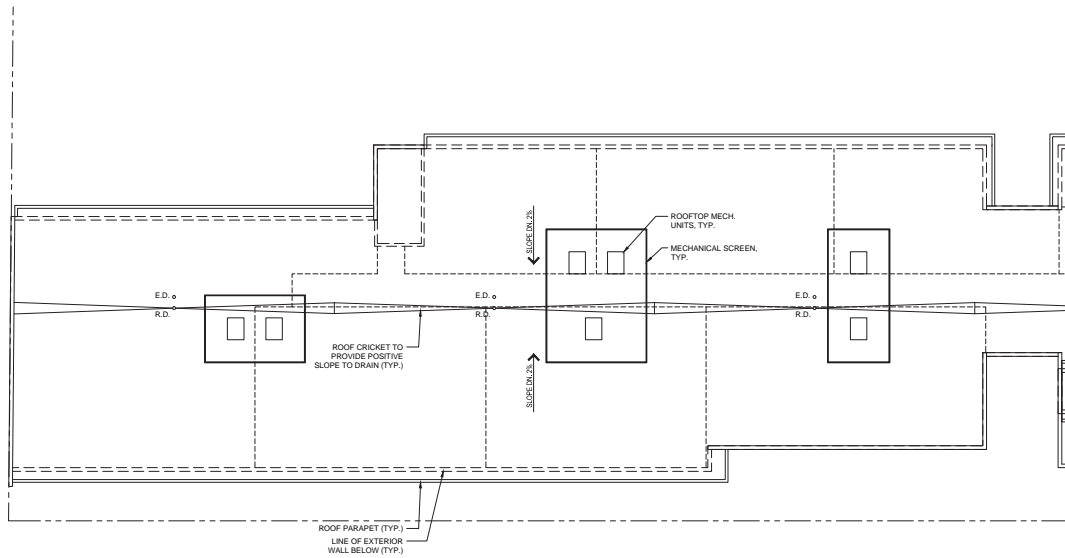
**MAIN FLOOR
PLAN**

DATE 2014.11.20
DWG: RW
CHK: ch

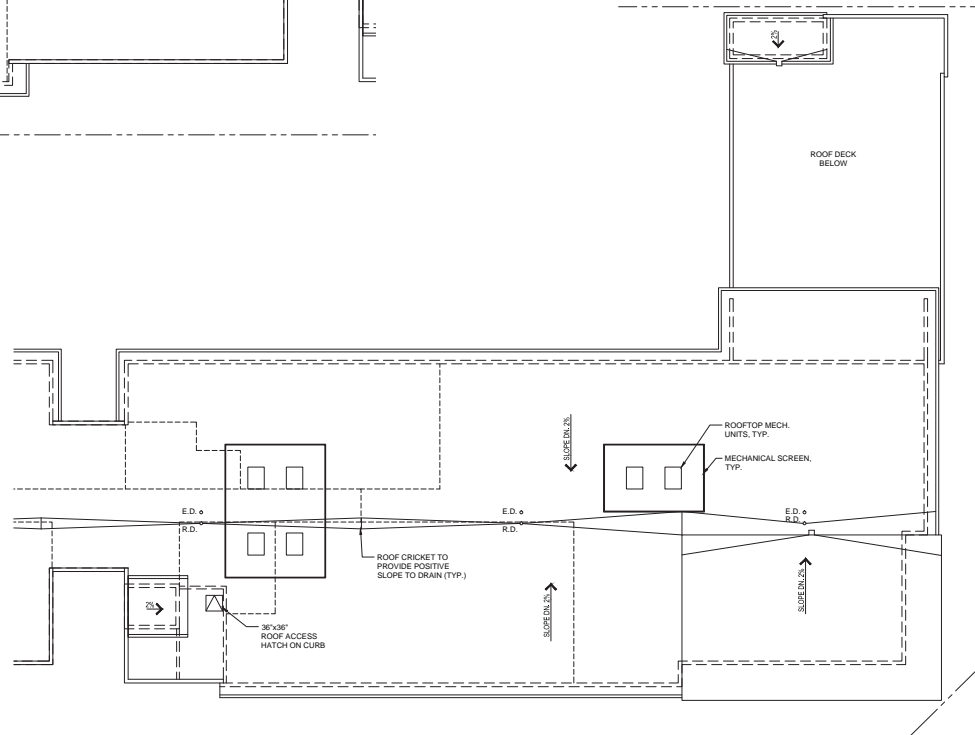
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DP-

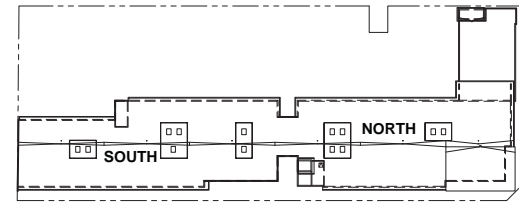
7914-0362-00 (L) "Drawings"



PARTIAL ROOF PLAN - SOUTH
SCALE: 3/32" = 1'-0"



PARTIAL ROOF PLAN - NORTH
SCALE: 3/32" = 1'-0"



OVERALL ROOF PLAN
SCALE: 1" = 40'-0"

2015-03-05	ADP REVISIONS
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PROJECT
PROPOSED COMMERCIAL DEVELOPMENT
8645 160 STREET
SURREY, BC

DRAWING TITLE

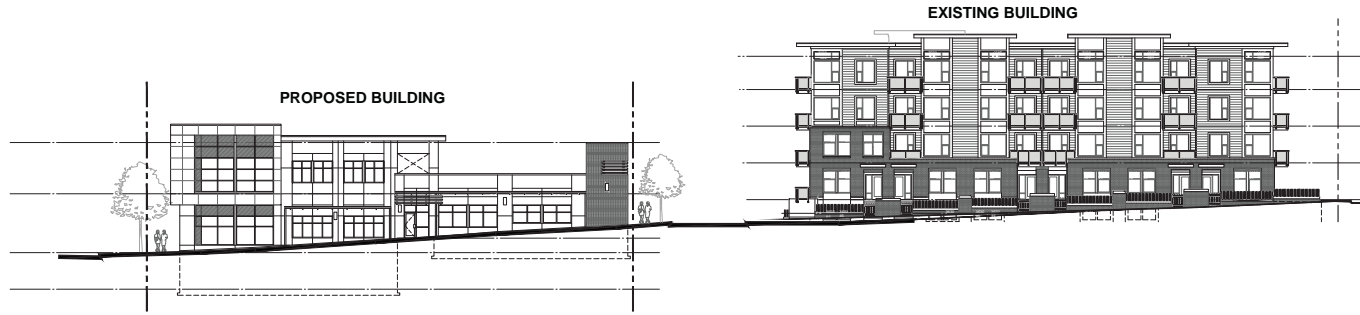
ROOF PLAN

DATE 2014.11.20
DWN: RW
CHK: ch

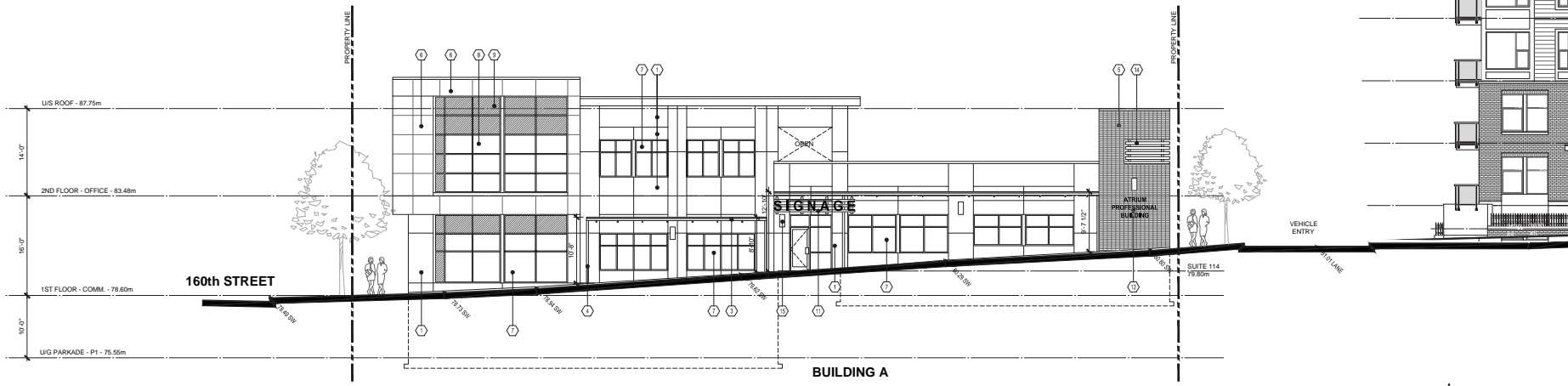
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SHEET NO.

DP-1

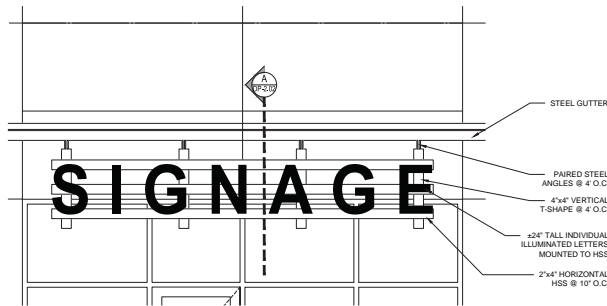
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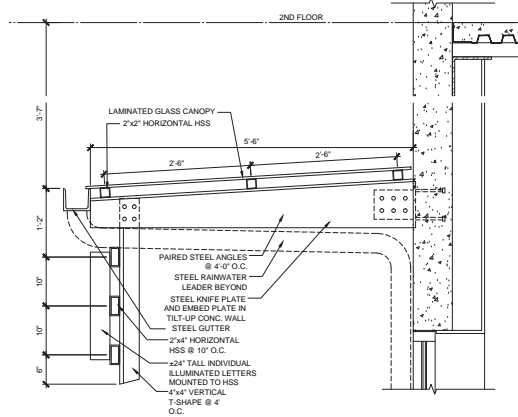
OVERALL NORTH ELEVATION - 86A AVE
SCALE: 1/16"=1'-0"



NORTH ELEVATION - 86A AVE
SCALE: 1/8"=1'-0"



CRU SIGNAGE TYPE 1 ELEVATION
SCALE: 1/2"=1'-0"



A CRU SIGNAGE TYPE 1
SCALE: 1"=1'-0"

ELEVATION MATERIAL LEGEND

- (1) PAINTED CONCRETE WALL w/ REVEALS, SMOOTH FINISH
- (2) NOT USED
- (3) GLASS CANOPY w/ GUTTER
- (4) RAINWATER LEADER
- (5) BRICK VENEER, STACK BOND
- (6) SMOOTH METAL PANEL SIDING, PRE-FINISHED
- (7) SEALED DOUBLE GLAZED WINDOW IN CLEAR ANODIZED ALUMINUM FRAME
- (8) SEALED DOUBLE GLAZED WINDOW IN CLEAR ANODIZED ALUMINUM FRAME
- (9) SPANDREL GLAZING
- (10) CORRUGATED METAL PANEL CANOPY
- (11) SIGNAGE TYPE 1, SEE DP-2.02
- (12) SIGNAGE TYPE 2, SEE DP-2.04
- (13) TENANT SIGNAGE IN RECESSED INTERNALLY ILLUMINATED SIGN BOX
- (14) HORIZONTAL 2x4 WOOD SLATS ANCHORED TO STEEL POSTS
- (15) EXTERIOR LIGHT FIXTURE
- (16) CEDAR SOFFIT
- (17) CANOPY WITH SMOOTH METAL PANEL SIDING
- (18) MECHANICAL SCREEN

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e info@focus.ca

2015-03-05
ADP REVISIONS
2015-02-04
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2014-12-08
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PROJECT
PROPOSED COMMERCIAL DEVELOPMENT
8645 160 STREET
SURREY, BC

DRAWING TITLE
EXTERIOR ELEVATION

DATE 2014.11.20
DWG: RW
CHK: ch

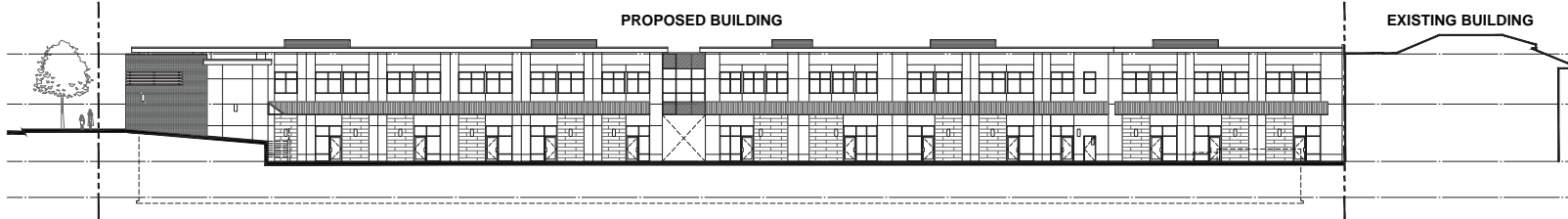
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DP-1 Drawings™

7914-0362-00 (P) "Drawings"

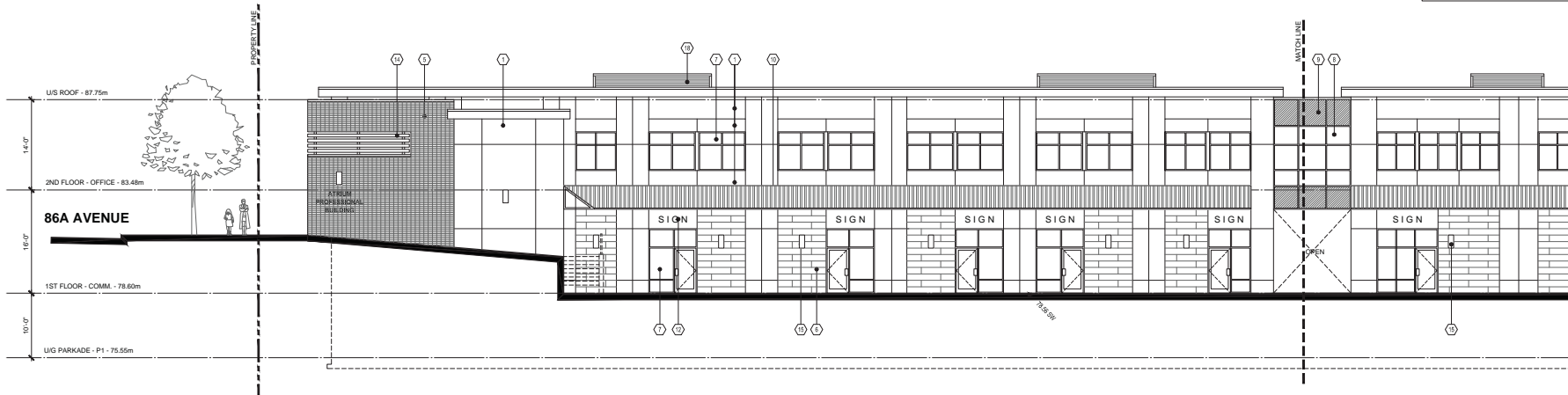
PROJECT NUMBER: 7914-0362-00 (A) DRAWING NUMBER: DP-2

DATE: 2014.11.20 FILED IN: 7914-0362-00 (A) DRAWING NUMBER: DP-2



OVERALL WEST ELEVATION - INTERIOR ROAD

SCALE: 1/16"=1'-0"



WEST ELEVATION - INTERIOR ROAD

SCALE: 1/8"=1'-0"



WEST ELEVATION - INTERIOR ROAD

SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND

- (1) PAINTED CONCRETE WALL w/ REVEALS, SMOOTH FINISH
- (2) NOT USED
- (3) GLASS CANOPY w/ GUTTER
- (4) RAINWATER LEADER
- (5) BRICK VENEER, STACK BOND
- (6) SMOOTH METAL PANEL SIDING, PRE-FINISHED
- (7) SEALED DOUBLE GLAZED WINDOW IN CLEAR ANODIZED ALUMINUM FRAME
- (8) SPANDREL GLAZING
- (9) CORRUGATED METAL PANEL CANOPY
- (10) SIGNAGE TYPE 1, SEE DP-2.02
- (11) SIGNAGE TYPE 2, SEE DP-2.04
- (12) TENANT SIGNAGE IN RECESSED INTERNALLY ILLUMINATED SIGN BOX
- (13) HORIZONTAL 2x4 WOOD SLATS ANCHORED TO STEEL POSTS
- (14) EXTERIOR LIGHT FIXTURE
- (15) CEDAR SOFFIT
- (16) CANOPY WITH SMOOTH METAL PANEL SIDING
- (17) MECHANICAL SCREEN

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2015-03-05
ADP REVISIONS
2015-04-08
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ATRIUM HOLDINGS

PROJECT
PROPOSED COMMERCIAL DEVELOPMENT
8645 160 STREET
SURREY, BC

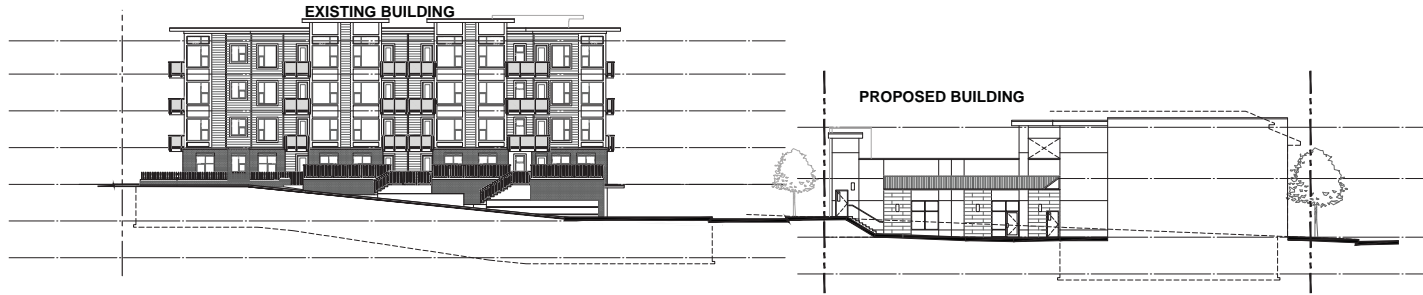
DRAWING TITLE
EXTERIOR ELEVATION:
7914-0362-00 (A) "Drawings"

DATE: 2014.11.20 FILED IN:
DWN: RW
CHK: ch

SEAL
SHEET NO.
DP-2

DRAWING NO. 7914-0362-00 (R) "Drawings"

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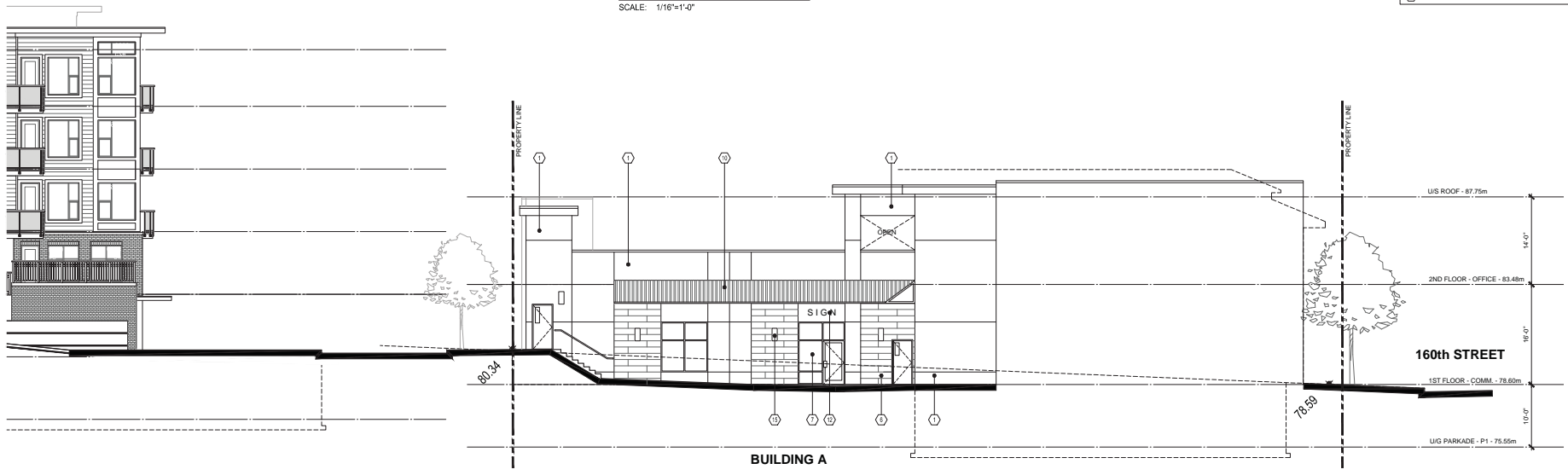


OVERALL SOUTH ELEVATION
SCALE: 1/16"=1'-0"

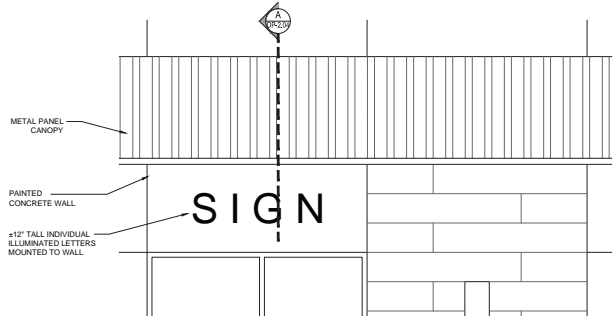
ELEVATION MATERIAL LEGEND

- (1) PAINTED CONCRETE WALL w/ REVEALS, SMOOTH FINISH
- (2) NOT USED
- (3) GLASS CANOPY w/ GUTTER
- (4) RAINWATER LEADER
- (5) BRICK VENEER, STACK BOND
- (6) SMOOTH METAL PANEL SIDING, PRE-FINISHED
- (7) SEALED DOUBLE GLAZED WINDOW IN CLEAR ANODIZED ALUMINUM FRAME
- (8) SEALED DOUBLE GLAZED WINDOW IN CLEAR ANODIZED CURTAINWALL FRAME
- (9) SPANDREL GLAZING
- (10) CORRUGATED METAL PANEL CANOPY
- (11) SIGNAGE TYPE 1, SEE DP-2.02
- (12) SIGNAGE TYPE 2, SEE DP-2.04
- (13) TENANT SIGNAGE IN RECESSED INTERNALLY ILLUMINATED SIGN BOX
- (14) HORIZONTAL 2x6 WOOD SLATS ANCHORED TO STEEL POSTS
- (15) EXTERIOR LIGHT FIXTURE
- (16) CEDAR SOFFIT
- (17) CANOPY WITH SMOOTH METAL PANEL SIDING
- (18) MECHANICAL SCREEN

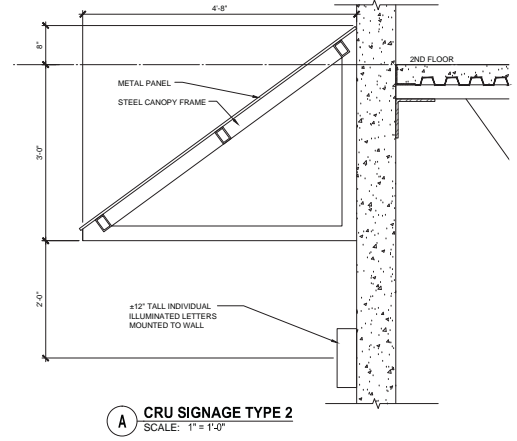
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Abbotsford, British Columbia V2S 8A3
t 804.853.5202 f 804.853.5462 e info@focus.ca



SOUTH ELEVATION
SCALE: 1/8"=1'-0"



CRU SIGNAGE TYPE 2 ELEVATION
SCALE: 1/2"=1'-0"



CRU SIGNAGE TYPE 2
SCALE: 1"=1'-0"

2015-03-05
ADP REVISIONS

2015-02-06
ISSUED FOR ADP

2014-12-08
ISSUED FOR DP AMENDMENT

REVISIONS
CONSULTANT

CLIENT
ATRIUM HOLDINGS

PROJECT
PROPOSED COMMERCIAL DEVELOPMENT
8645 160 STREET
SURREY, BC

DRAWING TITLE
EXTERIOR ELEVATION

DATE 2014.11.20
DWN: RW
CHK: ch

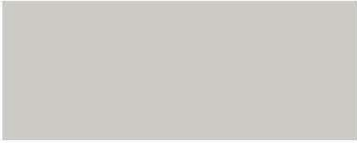
SEAL
SHEET NO.
DP-1

7914-0362-00 (R) "Drawings"



Painted Concrete 1:

Benjamin Moore: 2137-40 'Desert Twilight'



Painted Concrete 2:

Benjamin Moore: HC-170 'Stonington Gray'



Painted Concrete 3:

Benjamin Moore: CC-530 'Brandon Beige'



Fascia and Trim:

Benjamin Moore: HC-166 'Kendall Charcoal'



Brick:

Mutual Materials: 'Sea Gray' Mission

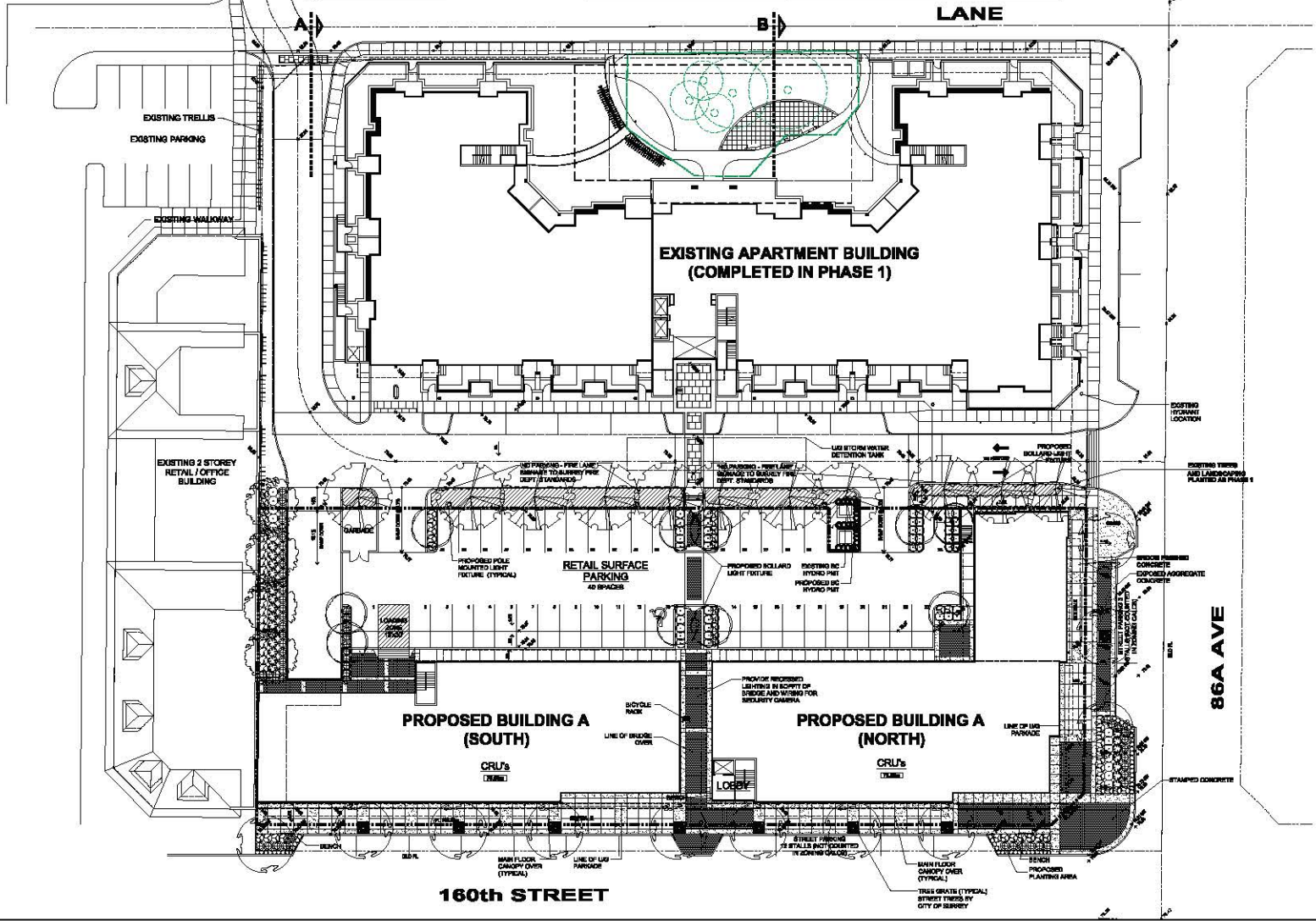
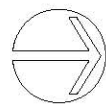


Metal Panel Siding 2:

Makin Metals: 'Surf White'

KEY	BOTANICAL NAME	PLANT LIST COMMON NAME	QTY.	SIZE	SPACING	REMARKS
○	MAGNOLIA BUTTERFLIES	YELLOW FLOWERING MAGNOLIA	4	6 CM. CAL.	AS SHOWN	B. & B.
○	ACER RUBRUM 'BONHALL'	BONHALL RED MAPLE	10	6 CM. CAL.	AS SHOWN	B. & B. STRUCTURAL SOIL REQUIRED
○	AZALEA JAPONICA 'MIRIO CRIMSON'	PRINZ AZALEA	6	42 POT	86 CM. O.C.	
○	PRUNUS LAURICERASIS 'OTTO LUXEN'	OTTO LUXEN LAUREL	62	42 POT	80 CM. O.C.	
○	RHOODODENDRON 'YAKUSHIMARIM 'ORITE'	YAK. RHOODODENDRON	13	42 POT	80 CM. O.C.	
○	SORBUS MICROPYLLA 'WATER OAK'	ASIAN BOWWOOD	66	42 POT	25 CM. O.C.	
○	ROSA MEDIALBA 'PRINZ'	PRINZ MEDIALBA ROSE	41	42 POT	80 CM. O.C.	
○	VIBURNUM TRICH SWARF	SPRING BLOSSOM VIBURNUM	17	42 POT	80 CM. O.C.	
○	VIBURNUM DANSE	VIBURNUM	54	42 POT	80 CM. O.C.	
○	RHOODODENDRON 'YAKUSHIMARIM 'TEDDY BEAR'	YAK. RHOODODENDRON	12	42 POT	80 CM. O.C.	
○	PIERS JAPONICA 'FOREST FLAME'	LILY-OF-THE-VALLEY	5	42 POT	80 CM. O.C.	
○	TRIMM OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	24	1.00 METERS	40 CM. O.C.	

REFER TO ARCHITECT'S DRAWINGS FOR GARBAGE ENCLOSURE DETAILS
REFER TO ARCHITECT'S DRAWINGS FOR RETAINING WALL DETAILS



feb/15	exp comments	1
016	ISSUES	0
	REVISIONS	

C.KAVOULIAS & ASSOCIATES INC.
BSLA OSLA
3482 JOHNSON COURT
ARLINGTON, B.C.
V2C 3J8
PHONE (604) 887-2378

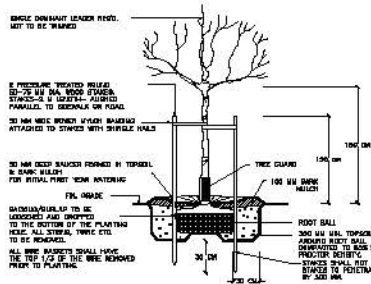
CLIENT
MRS. ANNE MARIE
ATRAUM HOLDINGS

TITLE
PLAN VIEW
LANDSCAPE PLAN
PROPOSED
COMMERCIAL DEVELOPMENT
PHASE 2
88A5 - 160 STREET
SURREY, B.C.

SCALE	1:250	DATE	NOV/14
DRAWN	DKD	CHECKED	
DATE	DKD	DATE	
APPROVED	AS BUILT	DATE	

PROJECT	JOB No.	
	DRAWING No.	L-1

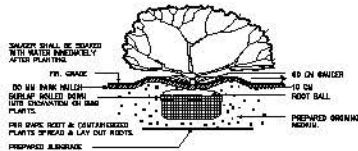
7914-0362-00 (T) "Drawings"



TREE PLANTING DETAIL

SECTION

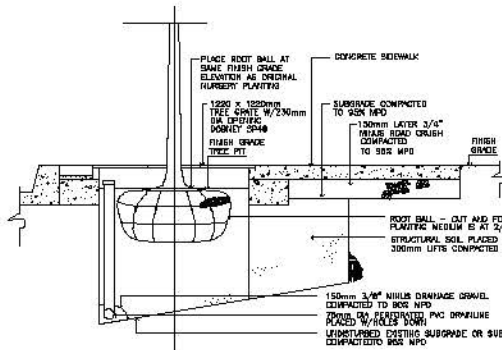
N.T.S.



PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS

SECTION

N.T.S.



TREE PLANTING - URBAN BOULEVARD

SCALE 1:30

NOTE TO VERIFY DESIGN AND STRUCTURE. SEE THE OTHER DRAWINGS IN THIS SET. THIS IS TO BE SELECTED FROM APPROVED LIST OF MANUFACTURERS. PROVIDE CONSTRUCTION DOCUMENTS. PROVIDE TREE FORMS, BRANCH SUPPORTS, TEMPERATURE AND PLANTING. PROVIDE ALL OTHER ALLIANCE DETAILS IN THE SPECIFICATIONS. PROVIDE THE PROPOSED BARRIERS. PROVIDE THE PROPOSED BARRIERS. PROVIDE THE PROPOSED BARRIERS. PROVIDE THE PROPOSED BARRIERS.

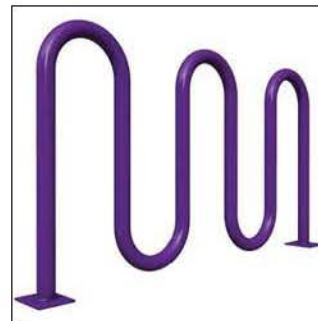
Victor Stanley, Inc.

PRODUCT SPECIFICATIONS

GRABER SEES C-138 Standard Length

FOR YOUR PROTECTION AND SECURITY THE HANDLE IS HEAVY DUTY ANNEALED STEEL

1. All details comply with the following specifications: 2. All materials shall be of the highest quality. 3. All materials shall be of the highest quality. 4. All materials shall be of the highest quality. 5. All materials shall be of the highest quality.



DERO ROLLING RACK FOR 7 BIKES

NOTES / GENERAL

- PLANT SEES IN THIS LIST ARE SPECIFIED ACCORDING TO BC LANDSCAPE STANDARD "LATEST EDITION". ALL OTHER SEES ARE SPECIFIED AS PER "LATEST EDITION" WITH PLANT SIZE AND COMMON USE. THE SEES ARE TO BE PROVIDED BY THE CONTRACTOR. ALL SEES ARE TO BE PROVIDED BY THE CONTRACTOR. ALL SEES ARE TO BE PROVIDED BY THE CONTRACTOR. ALL SEES ARE TO BE PROVIDED BY THE CONTRACTOR.
- Min. growing medium depths over prepared subgrade shall be:
 - Low area 150 mm
 - Old cover areas 200 mm
 - Shrub areas 400 mm
 - The job 300 mm around root ball
- Growing medium shall have physical and chemical properties as described in the Standards for Level 2 and Level 3 areas, except for areas over structures where the medium shall conform to the requirements for Level 1 applications. Procurement and mixing of growing medium components shall be done off-site using a pre-approved screening process. Proposed growing medium shall be tested by a recognized laboratory. The contractor shall guarantee that the soil submitted for testing is a representative sample taken from the soil that will be used on the site.
- Drains or leached soils shall satisfy the requirements of the Standards for growing medium. Soils shall be tested free from sodium, wood ash, heavy plant parts, weed or reproductive parts of weeds, plant pathogenic organisms, toxic materials, stones over 30 mm and foreign objects. All planting beds shall require min. 50 mm bark mulch.
- Plant species and varieties may not be substituted without the approval of the Landscape Architect.
- The contractor shall guarantee the materials and workmanship for a period of one (1) full year from the date of Final Acceptance, unless otherwise specified. All plant material not surviving in its year condition during the guarantee period must be replaced by the contractor at no extra cost to the Owner.
- The contractor shall clear away from the site all rubbish as it accumulates, and shall, at the completion of the work, leave the work and the site thereof in a clean and workable condition, free from all obstructions.

Rev/No	Change Description	1
DATE	REVISION	DATE
REVISION		

C. KAVOLINAS & ASSOCIATES INC.
 2024 100A
 2024 JACOBSON COURT
 HOUSTON, TEXAS 77058
 PHONE (832) 827-3370

U.S. ARCHITECTS
 ARCHITECTS

PLAN VIEW
 LANDSCAPE DETAILS
 PROPOSED
 COMMERCIAL DEVELOPMENT
 PHASE 2
 2845 - 140 STREET
 SLABEY, B.C.

SCALE	N.T.S.	DATE	NOV/14
DRAWN		CHECKED	
DATE		DATE	
APPROVED		DATE	

PROJECT	Job No.
DRAWING NO.	L-2