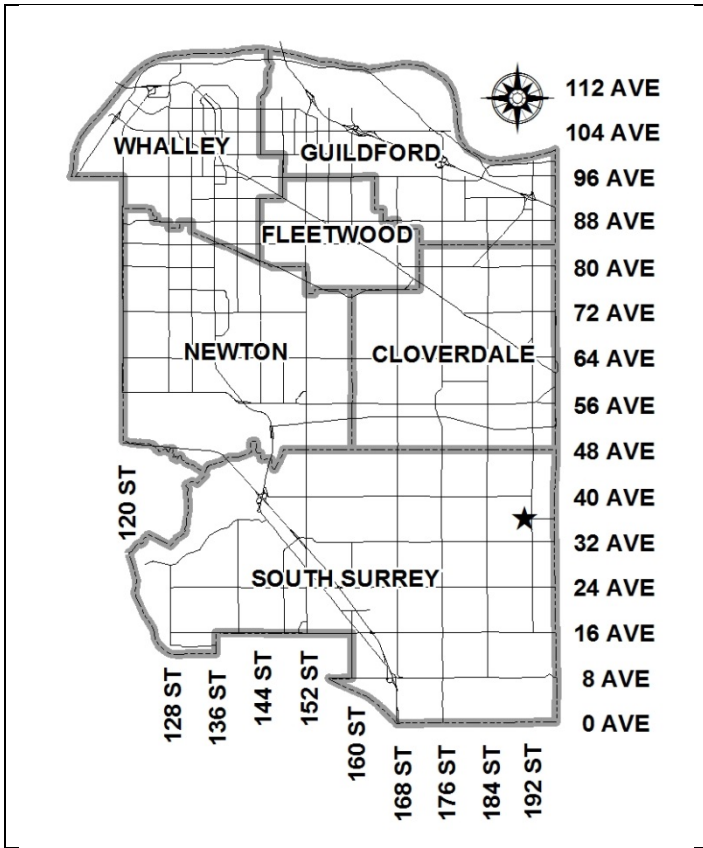


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0361-00

Planning Report Date: March 23, 2015



PROPOSAL:

- **Development Permit**

in order to permit the development of a 6,008 m² (64,672 ft²) light-industrial building.

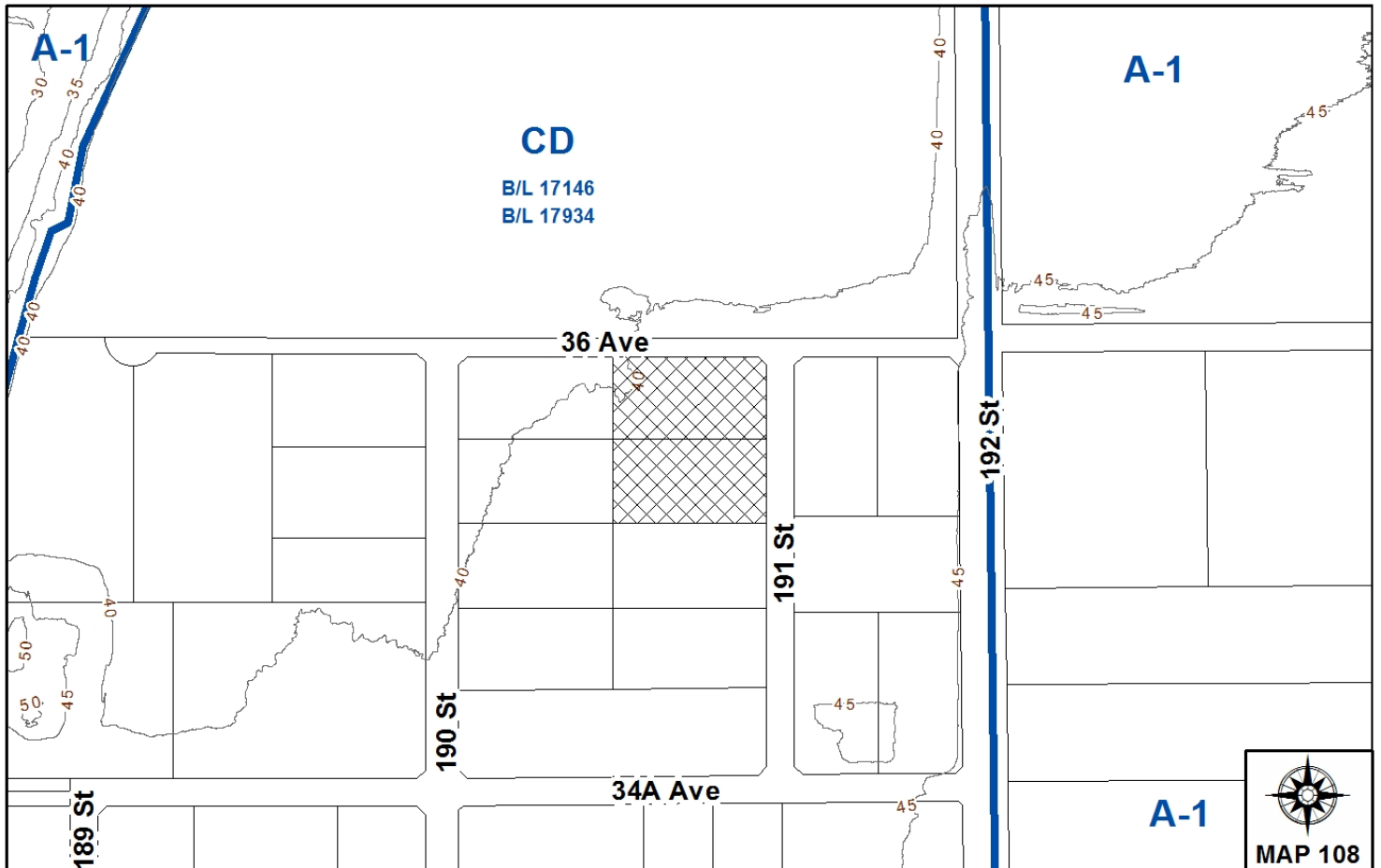
LOCATION: 19068 - 36 Avenue
 3563 - 191 Street

OWNER: 1022269 B.C. Ltd

ZONING: CD (By-laws No. 17146 & 17934)

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with the Official Community Plan (OCP) and the Campbell Heights Business Park Local Area Plan (LAP).
- The proposed development permit is consistent with the design guidelines outlined in the Campbell Heights Local Area Plan and the general development permit approved for Campbell Heights North.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7914-0361-00 generally in accordance with the attached drawings (Appendix II).
2. Council instruct staff to resolve the following issues prior to approval:
 - (a) consolidation of the two subject properties;
 - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no requirements relative to the Development Permit, as stated in Appendix III.

Surrey Fire Department: The Fire Department has no concerns with the proposal.

SITE CHARACTERISTICS

Existing Land Use: Undeveloped industrial land.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 36 Avenue):	Undeveloped industrial land under application for subdivision (no.7914-0294-00)	Industrial/Business Park	CD (Bylaws No. 17146 & 17934)
All other directions	Undeveloped industrial land	Industrial/Business Park	CD (Bylaws No. 17146 & 17934)

DEVELOPMENT CONSIDERATIONS

Context

- The subject site consists of two properties and is 1.3 ha (3.3 acres) in size. It is located in the Campbell Heights North area, which has recently been rezoned and subdivided. These properties, located in Phase Three of the Campbell Heights North business park, were created under subdivision application no. 7912-0159-00 in October 2014. The properties will need to be consolidated before the Development Permit can be approved.
- The site and surrounding properties are currently vacant, with little or no vegetation.
- On the property to the north (across 36 Avenue), a subdivision application is currently in process, for the creation of two very large parcels (8.5 ha and 13.7 ha / 21 acres and 34 acres).
- All other surrounding sites are unoccupied, with no development applications in-process.

Proposal

- The subject site will be occupied by Sun Processing for the purposes of fruit packaging and distribution.
- The application is for a 6,008 m² (64,672 ft²) light-industrial facility with a 5,417 m² (58,310 ft²) footprint and 591 m² (6,362 ft²) of second-floor office space. The total office floor area will be approximately 641 m² (6,900 ft²).
- The building will be 12.2 m (40.0 ft) tall, which is less than the 14.0 m (46 ft) maximum allowed under the CD Zone.
- The application is currently on two separate properties, which the applicant proposes to consolidate through the Land Titles Office. Consolidation must be finalized before the Development Permit can be approved.

PRE-NOTIFICATION

- The proposal was referred to the Little Campbell Watershed Society (LCWS) for review and comment. The LCWS has no concerns with regards to the health of the Little Campbell watershed or the Little Campbell River.

DESIGN PROPOSAL AND REVIEW

Parking, Access, and Circulation

- Two vehicle accesses are proposed: one on 36 Avenue and one on 191 Street, which will allow trucks to circulate around the rear of the building in two directions. Automobiles will be able to access parking at the front and sides of the building from both driveways (see Appendix II).

- All loading bays are located at the rear of the west side of the building. The loading area is recessed substantially so that the building in front will screen the overhead doors from view.
- Because the building has a fairly large office component (approximately 641 m² [6,900 ft²]), the parking requirement has been calculated separately for the office and the industrial uses. 54 spaces are required for the industrial portion of the building and 19 spaces are required for the office portion, for a total of 73 required parking spaces. The applicant proposes 75 stalls in total.
- Pedestrian pathways are proposed at the corner, where the employee amenity area is located, and on the north side of the building to allow access to the main entrance.

Building Design

- Building designs have not yet been finalized but are generally acceptable.
- The proposed building will cover 41% of the site, which is less than the 60% permitted under the CD By-law. It will have an FAR of 0.45, which is lower than the permitted 1.0.
- The proposed building and site plan are consistent with the design guidelines outlined in the Campbell Heights LAP and the Campbell Heights North Design Guidelines document.
- The building is proposed to be tilt-up concrete, painted in several shades of grey ("Cement Gray," "Storm," and "Kendall Charcoal.")
- Accents on the building will be made of pre-finished metal cladding and painted green ("Spruce Green"). The accent colour will be found on canopies and in horizontal bands on the east, north and west elevations.
- Grey-tinted glazing will be extensively used on the office portion of the building and a band of "Spruce-Green" spandrel glass is proposed on the warehouse side of the north elevation.
- A glazed canopy is proposed over the main building entrance.

TREES

- An arborist report was not required because there are currently no trees and very little vegetation at all on the property.

Landscaping

- The landscaping plan has not yet been finalized but is generally acceptable.
- The proposed landscaping must reflect the registered restrictive covenant for landscaping and storm-water management along 36 Avenue and 191 Street (north and east property lines). The restrictive covenant requires installation of a bio-swale and associated rain garden with planted trees, shrubs, and ground cover.

- The applicant proposes a 6.0 m (19.7 ft) landscaped area with bio-swale on the 36 Avenue frontage and a similarly-landscaped area 3.0 m (9.8 ft) wide on the 191 Street frontage. Both comply with the landscaping requirements of the CD By-law.
- An employee amenity area is proposed in the northeast corner of the site, with specialty paving, planting, tables and seating adjacent to the building and also across the drive-aisle within the landscaped setback. The staff lunch room will be located in this corner of the building with adjacent access to the amenity area.
- 58 trees, including maple, dogwood, beech, ash, and oak, are proposed to be planted within the landscaped areas.
- One garbage and recycling enclosure is located at the rear corner of the building. It will be screened from view.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on December 3, 2014. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The proposal is consistent with the Official Community Plan and the Campbell Heights Local Area Plan.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed FAR is 0.45, which is less than the maximum permitted density of 1.0.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The development incorporates low impact development standards in the form of absorbent soils, roof downspout disconnection, on-lot infiltration, bio-swales, sediment control devices, and perforated piping. • The proposal includes the planting of 58 trees on a lot where there is currently no vegetation.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • n/a
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • CPTED principles are considered through the design of the site lighting, glazing, and landscape planting.
6. Green Certification (F1)	<ul style="list-style-type: none"> • n/a
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • The facility is being designed specifically for the end-user. • The facility will be constructed to current ASHRAE standards, including sky-lighting, glazing, and envelope insulation.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix III. Engineering Summary

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by CTA Design Group and Jonathan Losee Ltd, respectively, dated March 9, 2015 and March 13, 2015.

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

MJ/da

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DRV 3/19/15 2:10 PM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: John Kristianson
CTA Design Group, Architecture and Engineering
Address: #101, 925 - West 8th Avenue
Vancouver, BC V5Z 1E4
Tel: 604-736-2554 - Work
604-736-2554 - Fax

2. Properties involved in the Application

(a) Civic Address: 19068 - 36 Avenue
3563 - 191 Street

(b) Civic Address: 19068 - 36 Avenue
Owner: 1022269 BC Ltd
Director Information
Matthew Bates

No Officer Information Filed
PID: 029-430-241
Lot 6 Section 28 Township 7 New Westminster District Plan EPP41342

(c) Civic Address: 3563 - 191 Street
Owner: 1022269 BC Ltd
Director Information
Matthew Bates

No Officer Information Filed
PID: 029-430-259
Lot 7 Section 28 Township 7 New Westminster District Plan EPP41342

3. Summary of Actions for City Clerk's Office

DEVELOPMENT DATA SHEET

Existing Zoning: CD (Bylaws No. 17146 & 17934)

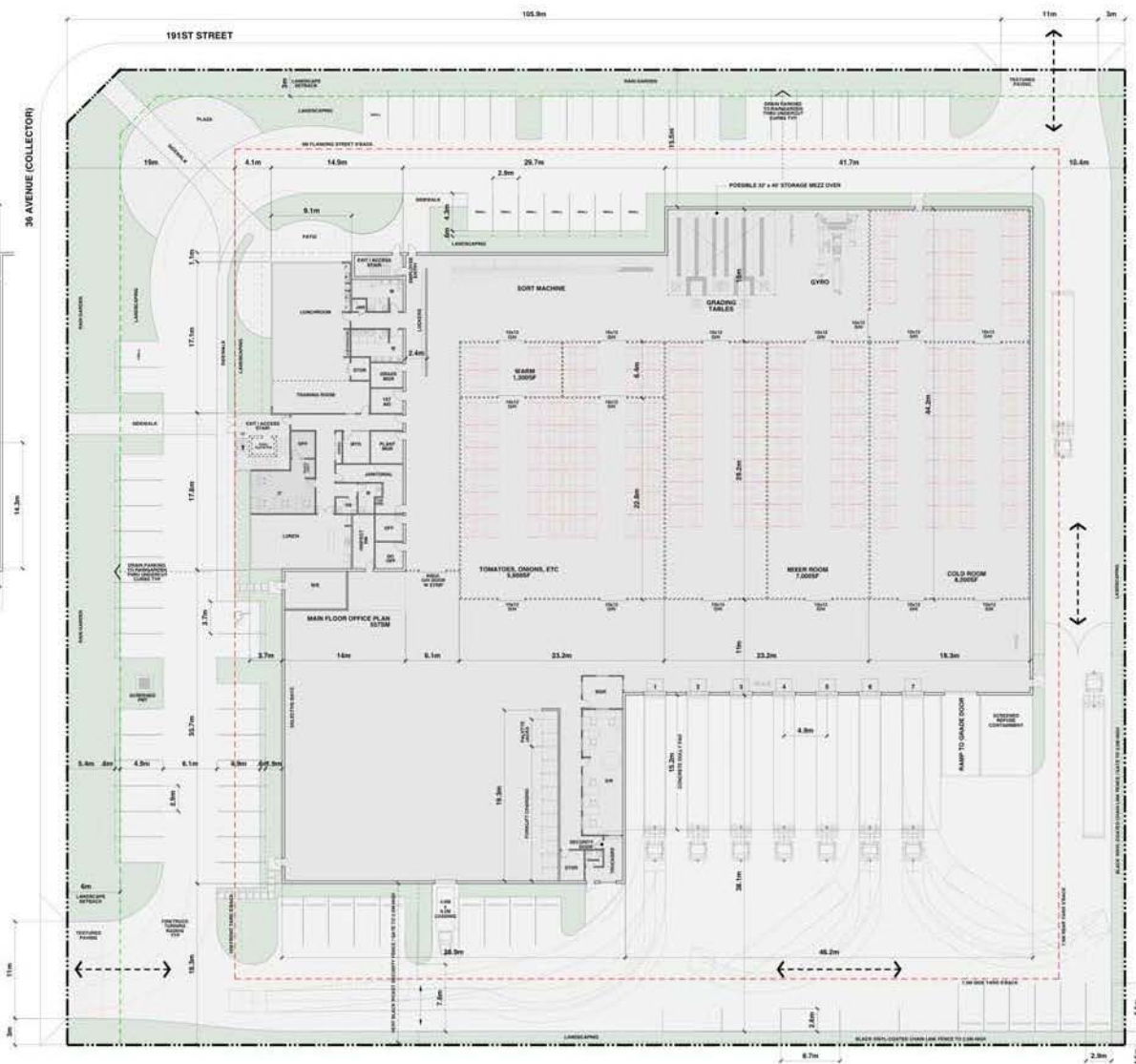
Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		13,245
Road Widening area		
Undevelopable area		
Net Total		13,245
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60%	41%
Paved & Hard Surfaced Areas		43%
Total Site Coverage		84%
SETBACKS (in metres)		
Front	16.0	19.0
Rear	7.5	10.4
East Side	9.0	15.5
West Side	0.0	18.3
BUILDING HEIGHT (in metres/storeys)		
Principal	14.0	12.2
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total	n/a	n/a
FLOOR AREA: Residential	n/a	n/a
FLOOR AREA: Commercial		
Retail		
Office		641
Total		
FLOOR AREA: Industrial		5,367
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		6,008

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

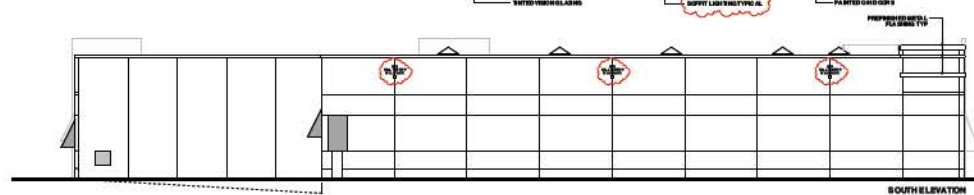
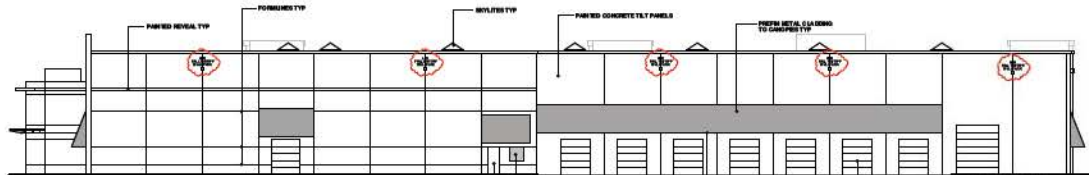
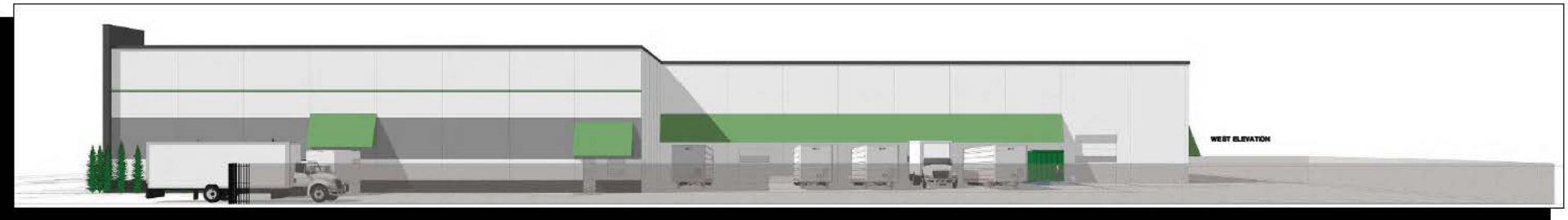
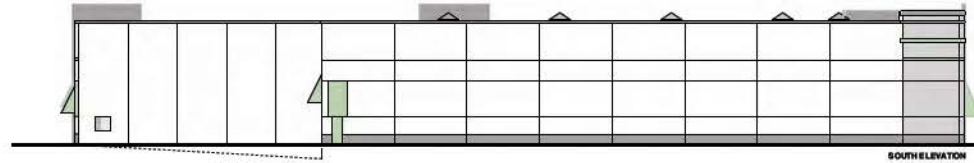
Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)	1.0	0.45
FAR (net)		
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial	73	75
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	73	75
Number of disabled stalls	1	1
Number of small cars	18	9
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

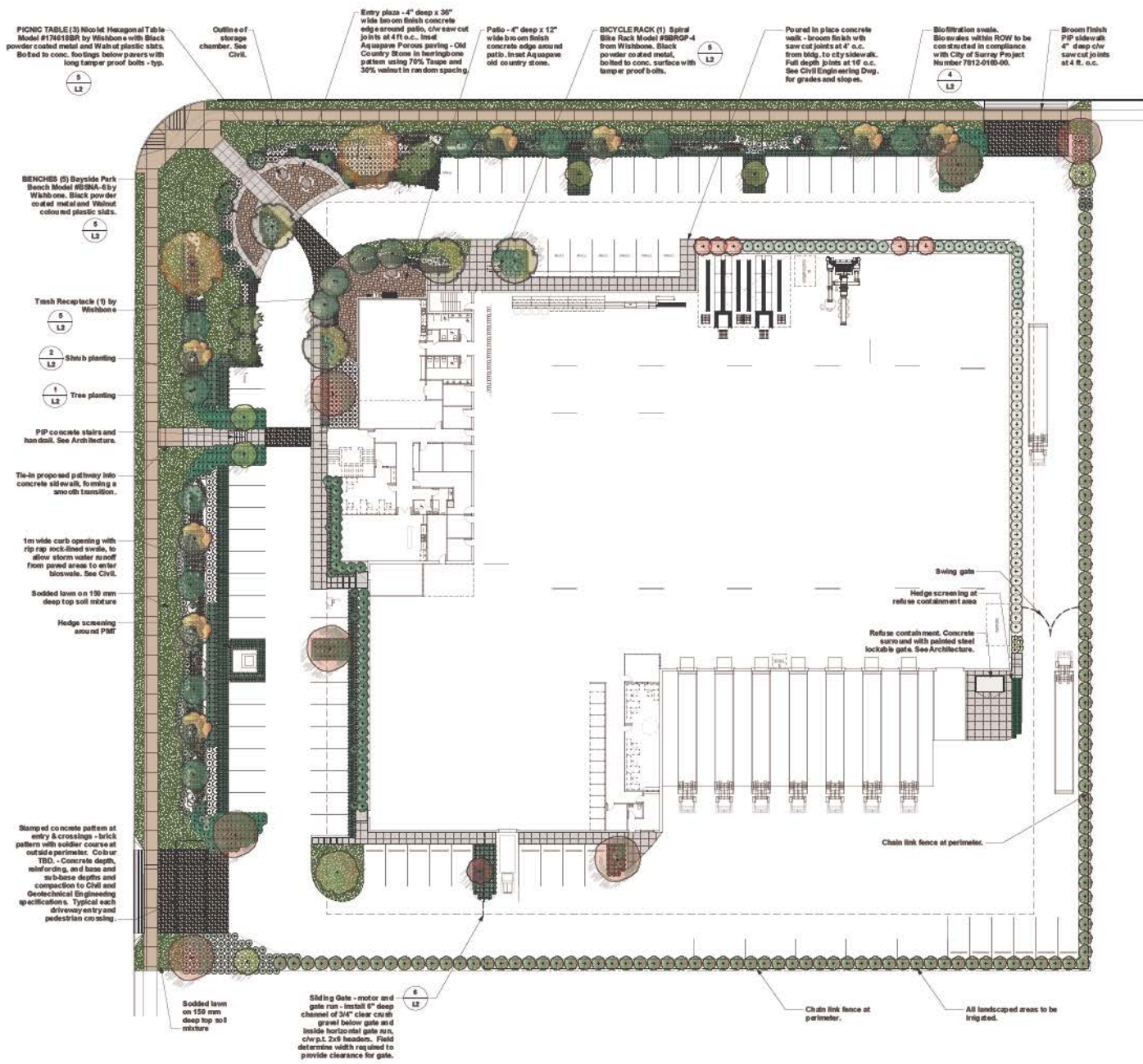
Heritage Site	NO	Tree Survey/Assessment Provided	NO
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<p>SITE DATA: MUNICIPAL ADDRESS: 1006 36TH AVE SOUTH SURREY BC LOCAL ZONING: C-128 & F-12C PER 128941882 COMB USE: 128 LIGHT IMPACT INDUSTRY, PRODUCT PACKAGING & DISTRIBUTION SITE AREA: APPROX 1.1 HA APPROX 1.5 ACRES OFFICE BUILDINGS: 10,000 SQ FT SITE COVERAGE: ALLOWED 60% PROPOSED 41% DENSE BLDG AREA: 8,000 SQ FT PAGE 9 OF 11</p>	<p>PROJECT YARD NORTH: 19.2M PROJECT YARD SOUTH: 19.2M PROJECT YARD EAST: 13.2M PROJECT YARD WEST: 13.2M BUILDING ALLOWED: 14.0M PROPOSED: 13.2M PARKING REQUIRED: 78 CARS, PROPOSED: 75 CARS (17% SMALL) OFFICE BUILDINGS: 10,000 SQ FT, PROPOSED: 10,000 SQ FT LOADING BAY PROVIDED TO EAST SIDE DOOR</p>	<p>REV: 1 DATE: 14 DEC 07 14 REVISIONS: 14 DP SUBMISSION</p>		<p>INCORPORATED & LICENSED 1000 WEST 10TH AVE VANCOUVER BC V6H 3G2 TEL: 604 271 1100 WWW.CEDAGROUP.COM CEDA DESIGN GROUP CONSULTANTS IN ARCHITECTURE, INTERIOR DESIGN, ENVIRONMENTAL DESIGN & LANDSCAPE ARCHITECTURE MEMBER OF THE CDA GROUP</p>			<p>NEW FACILITY FOR SUN PROCESSING 1006 36TH AVE SOUTH SURREY BC</p>	<p>TITLE: -SITE PLAN DRAWN: JK CHECKED: JK SCALE: 1:250 FILE: DRAWING NUMBER: A1 PROJECT: A</p>
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DRAWING NUMBER: A3	VERSION: B																																											



Mar 15, 2015	Pre-Review for City - Issued for final info - add circulation
Feb 24, 2015	Pre-Review for DP
Dec 08, 2014	Issue for DP
Dec 04, 2014	For Client Review
Dec 05, 2014	For Client Review
Dec 03, 2014	For Client Review

Revised:

Jonathan Loser Ltd.
Landscape Architecture

4102 - 1661 W. 2nd Ave.
Northwest, B.C. V8G 1Y1
Ph: 604-669-1033
Email: info@jonathanloser.com

Project:

Star Produce
36th Avenue & 191st Street
South Surrey, BC

Sheet Title:

Landscape Master Plan

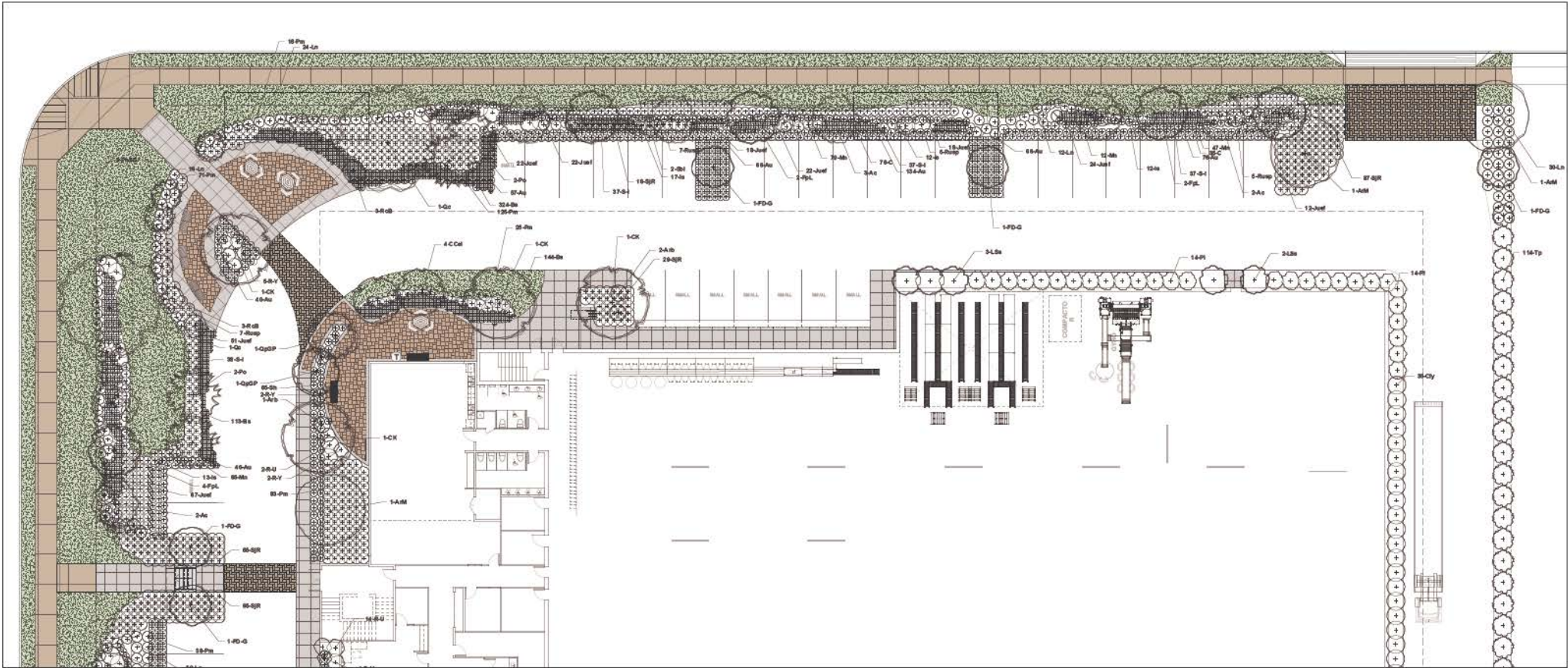
Scale: 1:250

Date: December 2014

Project No. 2014-08

L-1





LANDSCAPE NOTES

1. Size on the planting plan shall be consider of minimum size.
2. All landscape construction to meet the current edition of the British Columbia Landscape Standards as a minimum acceptable standard. Plant material to be the equivalent of the Landscape Standards for nursery stock. Extend search for plant material to Washington, Oregon, California, and BC.
3. Root balls to be free of perennials weeds.
4. Top soil mixture for the project shall be tested for particle size, Ph, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horizontal quality for the desired plant material, trees, or turf planting. Off site, min. soil depths are for lawn areas, 15" for shrub beds and ground cover plantings. Install 2 inches of composted organic mulch on all shrub beds after planting and make smooth.
5. Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixture and finish grading. Slope towards lawn basins at 1:1% - 4%.
6. Landscape Contractor to provide 90 days of maintenance after the date of Substantial Completion. Maintain to level 2 'Groomed' as per British Columbia Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
7. Protection of existing trees/shrubs to remain: install temporary tree protection fencing at drip line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of material/equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing and landscape as directed.
8. Planting material on City Boulevard to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
9. All landscaping to have high efficiency irrigation system to IAWC standard.

PLANT LIST	Quantity	Scheduled Size	Notes
TREES			
Ac	Acer circinnatum	Wine maple	11 2M Ht. B & B
AcSB	Acer Plantanoides 'Fairy Street'	Star Street Maple	1 6 Cal B&B
AcM	Acer vilmorinii 'October Glory'	Maple Tree Maple	7 6 cm cal B & B
CC	Cornus bicolor (White)	American Yellowwood	4 5cm cal B & B
CCM	Cornus 'Celestial'	Flowering Dogwood	4 1.5m Ht B&B
FD-D	Fagus sylvatica 'Dorset Woodcock'	Fastigate Oakleaf Leaf Branch	6 30cm cal B & B
FD	Fagus sylvatica 'Dorset Woodcock'	Fastigate Purple Leaf Branch	1 30cm cal B & B
FL	Fraxinus pennsylvanica 'Leprechaun'	Leprechaun Green Ash	8 60cm cal B & B
LH	Liquidambar styraciflua 'Bender Silverleaf'	Bender Silverleaf Sweet Gum	5 #10 pot Cont.
PL	Platanus occidentalis	Southern Sycamore	4 2 Ht. B & B
PR	Prunella 'Black Queen'	Black Queen Plum	3 20 Ht. B&B
QC	Quercus coccinea	Scarlet Oak	2 60cm cal B & B
QUP	Quercus umbrata 'Green Pillar'	Green Pillar Pin Oak	2 50cm cal B & B
SHRUBS			
Arb	Arbutus unedo 'Compacta'	Strawberry Tree	3 #2 pot
Clv	Cornus Floridaensis	White Red Dogwood	35 #2 pot
LH	Lonicera nigra 'Red Tiger'	Red Tiger Honeysuckle	242 #2 pot
Mn	Melicope nervosa	Small orange geranium	352 #1 pot
Pr	Prunella verticillata	Sword Plum	378 #1 pot
Pr	Prunus lauro-cerasifolia	Portuguese Laurel	28 #5 pot
R-H	Rhododendron 'Yalou'	Unique Rhododendron	41 #5 pot
R-H	Rhododendron carolinianum 'Bourneau'	Bourneau Rhododendron	6 #5 pot
R-Y	Rhododendron Yalou var.	Yalou variety Rhododendron	21 #5 pot
SB	Spiraea nana 'Black Pearl'	Black Pearl Spirea	4 #5 pot
SB	Spiraea japonica 'Tokyo Sunset'	Budburst Spirea	185 #2 pot
SB	Spiraea betulifolia	Birchleaf Spirea	5 #2 pot
TM	Taxus media 'Walden'	Walden Cedar	21 1.5m Ht B&B, P&B
TC	Thuja occidentalis 'Green Pillar'	Green Pillar Cedar	25 1.2m Ht B & B
TP	Thuja plicata 'Hedge'	Western Redcedar	114 2M Ht. B & B
GROUNDCOVER			
As	Asplenium platyneuron	Kidneyfern	1072 #1 pot
Ba	Baccharis spicata	Olive Fern	161 #1 pot
Bh	Brunnera macrocarpa	Sweet Box	154 #2 pot
ROSWAL			
C	Carex 'Ice Dance'	Sedge Grass	308 10cm pot
Is	Iris sibirica	Siberian Iris	82 10cm
Ju	Juncus effusus	Soft Rush	482 10cm
Ph	Phlox subulata	Subordinate Phlox	40 #1 pot
R-L	Rubus laetifolius	Red-stemmed Rubus	225 10cm

Mar. 13, 2018	Release for DP - remove green
Feb 24, 2018	Finalize for DP
Dec 08, 2014	Issues for DP
Dec 08, 2014	For Client Review
Dec 05, 2014	For Client Review
Dec 03, 2014	For Client Review

Revisions:



Jonathan Loeve Ltd.
Landscape Architecture

#107 - 1661 W. 2nd Ave.
Vancouver, B.C. V6J 1H3
Ph: 604-681-9102
E-mail: info@jloeve.com

Project:

Star Produce
36th Avenue & 191st Street
South Surrey, BC

Sheet Title:

Planting Plan - EAST

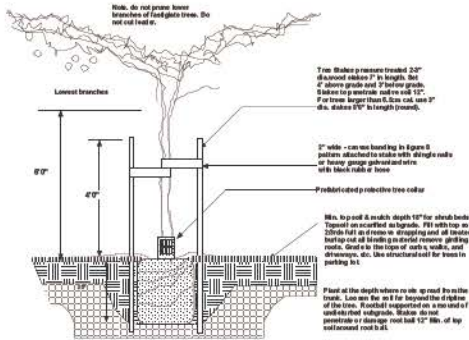
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Date: December 2014

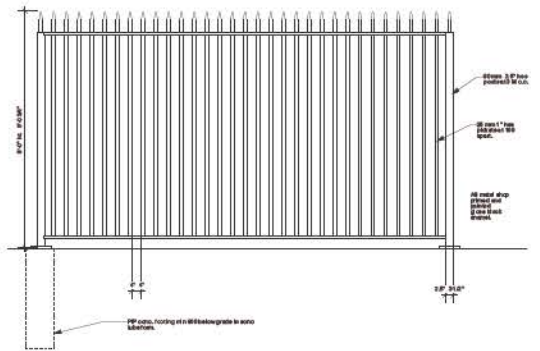
Project No: 2014-20



L-1a



5 Site Furniture
Scale: 1/2" = 1'-0"

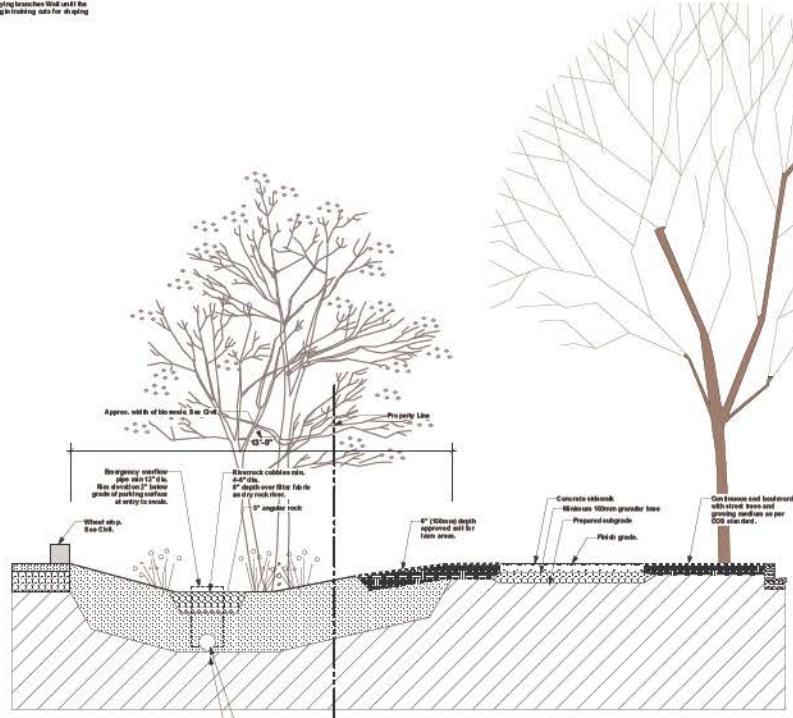


6 Metal Picket Fence
Scale: 1/2" = 1'-0"

1 Tree Planting
Scale: 1/2" = 1'-0"

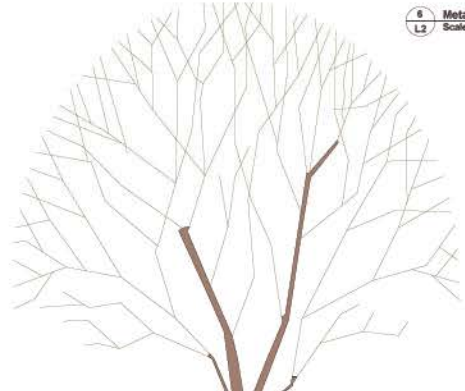


2 Shrub Planting
Scale: 1/2" = 1'-0"



4 Biofiltration swale planting
Scale: 1/2" = 1'-0"

Notes:
-Dimensions are in millim 4" wide and vary in length depending on location in site.
-There is one 12" wide curbout every 20 feet to allow runoff to enter the swales from the road surface.
-Check valves are installed every 50 feet to slow flow and encourage infiltration.
-Refer to civil drawings for subgrade specifications.
-Water the newly planted trees once a week, soaking the outplanted area thoroughly.



7 Old Country Stone - Aquascape Porous Paving System
Scale: 1/2" = 1'-0"

Min: 15, 2015	Pre-Review for DP - Review for final
Feb 26, 2016	Pre-Review for DP
1 Dec 08, 2014	Issue for DP
Dec 08, 2014	For Client Review
Dec 05, 2014	For Client Review
Dec 03, 2014	For Client Review

Address:
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1102 - 1661 W. 2nd Ave.
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Ph: 604-669-1033
Email: info@jonathanloeve.com

Project:
Star Produce
36th Avenue & 191st Street
South Surrey, BC

Sheet Title:
Landscape Details

Scale: as noted
Date: December 2014
Project No.: 2014-08
L-2

