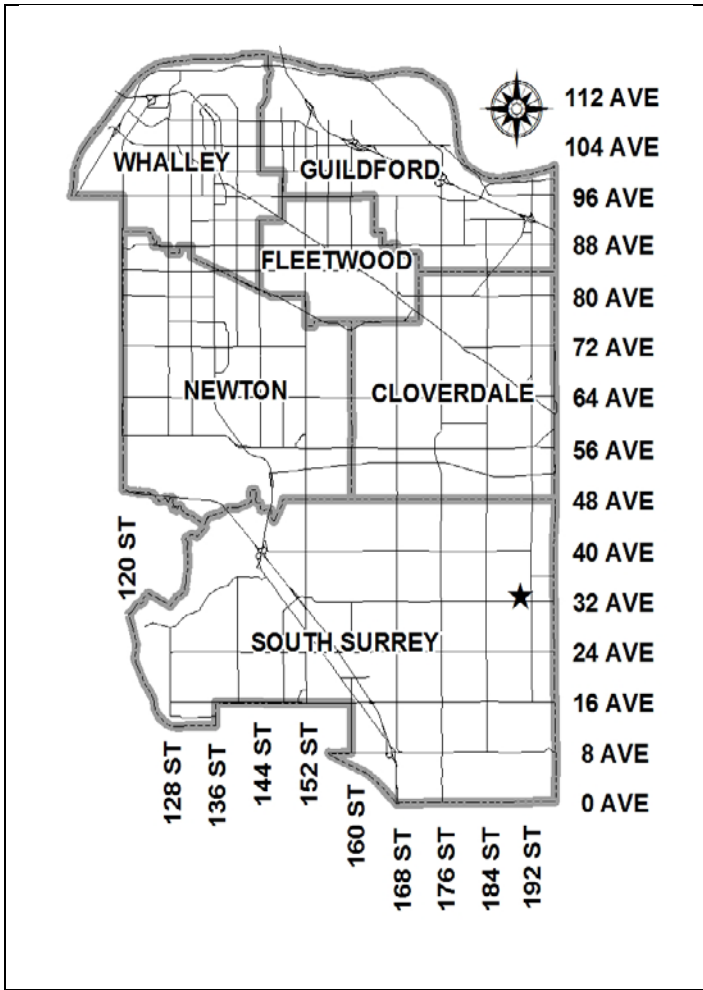


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7914-0358-00

Planning Report Date: January 11, 2016



**PROPOSAL:**

- Development Permit
- Development Variance Permit

to permit the development of two multi-unit light industrial buildings.

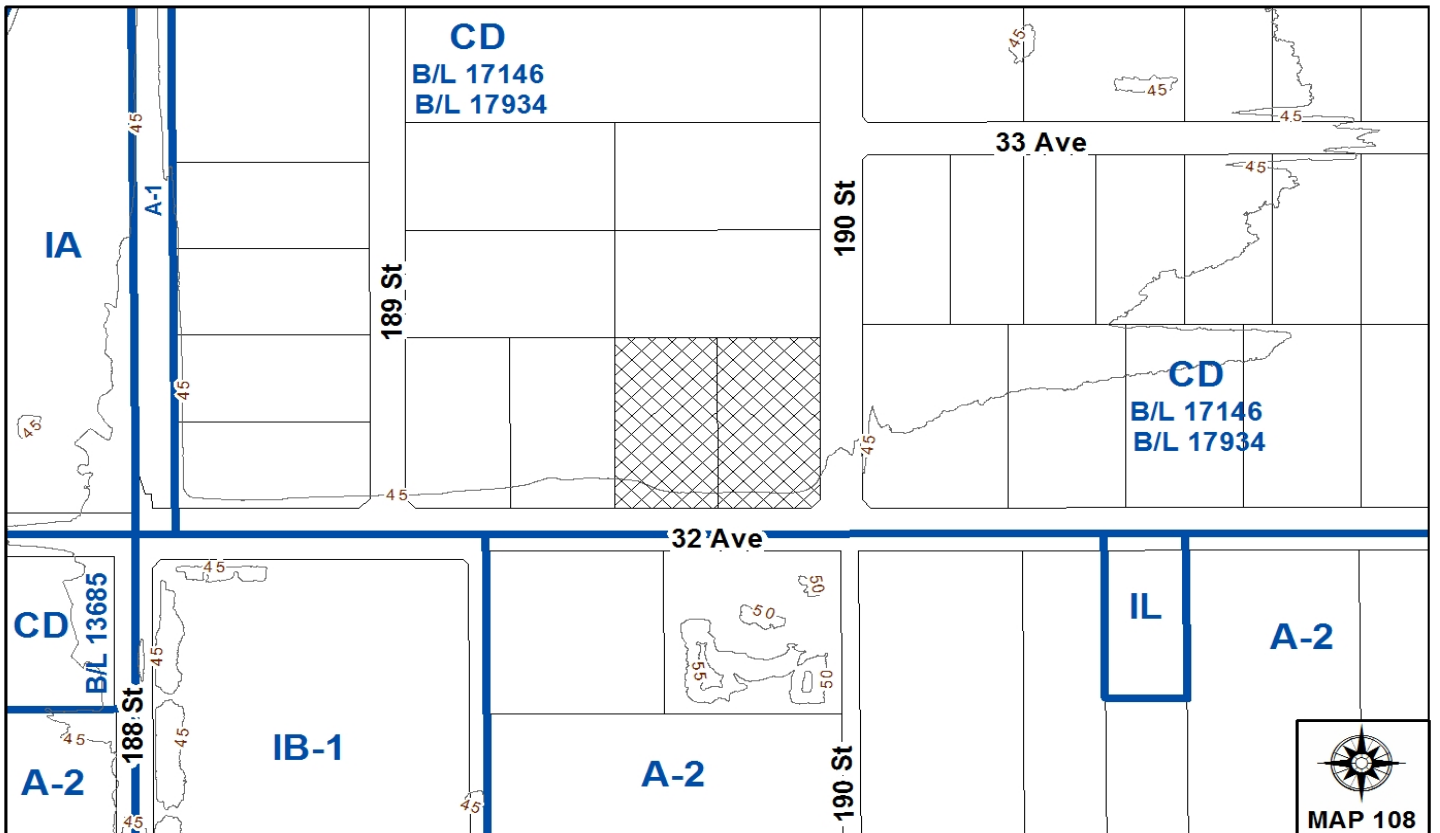
**LOCATION:** 18999 - 32 Avenue  
 18965 - 32 Avenue

**OWNER:** KJR Developments Ltd.

**ZONING:** CD (By-law Nos. 17146 & 17934)

**OCP DESIGNATION:** Mixed Employment

**LAP DESIGNATION:** Business Park with Landscaping Strip and a Walking/Cycling Pathway



### RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The Development Variance Permit is required to vary the rear (west) yard setback in the CD zone (By-law No. 17146) from 7.5 m (25 ft.) to 0.0 m.

### RATIONALE OF RECOMMENDATION

- The proposal complies with the Official Community Plan (OCP) and the Campbell Heights Business Park Local Area Plan (LAP).
- The proposed development is consistent with the design guidelines outlined in the Campbell Heights LAP and the general development permit approved for Campbell Heights North.
- The CD Zone permits one side yard setback to be reduced to 0.0 metres if the lot abuts a commercial or industrial lot, but requires that the rear yard setback be 7.5 m (25 ft.). The subject site is at the corner of 32 Avenue and 190 Street. While technically the west property line is a rear yard, it functions as a side yard. The buildings are primarily oriented towards 32 Avenue, which is the most publically visible frontage. Similarly, the north property line, while technically a side yard, functions as a rear yard and maintains a setback greater than the 7.5 m (25 ft.) required for a rear yard. The proposal meets the intention of the CD Zone by allowing only one setback at 0.0 m on an interior lot line.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7914-0358-00 generally in accordance with the attached drawings (Appendix II).
2. Council approve Development Variance Permit No. 7914-0358-00 (Appendix IV) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum rear (west) yard setback of the CD Zone from 7.5 m (25 ft.) to 0.0 m (0.0 ft.);
3. Council instruct staff to resolve the following issues prior to approval:
  - (a) consolidation of the two subject properties;
  - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project as outlined in Appendix III.

Surrey Fire Department: The Fire Department has no concerns with the proposed development.

SITE CHARACTERISTICS

Existing Land Use: Undeveloped industrial land.

Adjacent Area:

<b>Direction</b>	<b>Existing Use</b>	<b>OCP/LAP Designation</b>	<b>Existing Zone</b>
North, east (across 190 Street), and west:	Undeveloped industrial lots	Mixed Employment/Business Park	CD (By-Law Nos. 17146/17934)
South (Across 32 Avenue):	Agricultural lots	Mixed Employment/Business Park (Office) and Landscaping Strips	A-2

## DEVELOPMENT CONSIDERATIONS

### Context

- The subject site is 1.2 ha (3.0 acres) and consists of two properties. It is located at the northwest corner of 32 Avenue and 190 Street in the Campbell Heights North area.
- A right-of-way for a multi-use pathway was registered adjacent to 32 Avenue when the subject lots were created. The pathway has already been constructed.

### Proposal

- The applicant proposes a Development Permit for two multi-unit light industrial buildings. A Development Variance Permit is also proposed for a reduced rear yard setback. No specific tenants are known at this time.
- The gross floor area of both buildings will include 4,328 m<sup>2</sup> (46,591 ft<sup>2</sup>) of ground floor space, with a possible additional 1,731 m<sup>2</sup> (18,635 ft<sup>2</sup>) of mezzanine space. The gross floor area will therefore be a maximum of 6,060 m<sup>2</sup> (65,220 ft<sup>2</sup>), representing a net floor area ratio (FAR) of 0.50, which is below the maximum 1.0 FAR permitted.
- The building will be 8.4 m (27.5 ft.) tall.
- The application is currently on two separate properties, which the applicant proposes to consolidate through the Land Titles Office. Consolidation must be finalized before the Development Permit can be approved.
- The application includes a proposal to vary the minimum rear yard setback from 7.5 m (25 ft.) to 0.0 m.

## PRE-NOTIFICATION

- The proposal was referred to the Little Campbell Watershed Society (LCWS) for review and comment. The LCWS has no concerns with the current proposal.

## DESIGN PROPOSAL AND REVIEW

### Building Design

- The proposed building and site plan are consistent with the design guidelines outlined in the Campbell Height LAP and the Campbell Heights North Design Guidelines document.
- The building is proposed to be tilt-up concrete, painted in Sandy Brown, Hancock gray and Deer Granite.
- Cherry Creek Brick masonry is proposed as an accent material on the ground floor of the building.

- Glazing will be blue tinted.
- The southwest corner of Building A will be recessed slightly due to the possibility of a building being constructed with a 0.0 m setback on the neighbouring lot. The building recess, if it is mirrored on the adjacent building, will allow for a cohesive interface between the two frontages.
- Steel canopies are proposed above some unit entries. All entries will also be recessed by at least 1.0 m (3.3 ft.) to provide weather protection.
- The roof lines on the south side of Building A and the north side of Building B will include varied heights.

### Parking, Access, and Circulation

- Two vehicle accesses are proposed: one on 190 Street and one on 32 Avenue.
- At the time of subdivision, the circulation concept had been to allow only one driveway access on 32 Avenue for all four lots on this block. That driveway would have been shared between the two interior lots and would have been located on the shared lot line between the subject site and the lot to the west. As a result of the current proposal, the concept has been revised to allow two driveways on 32 Avenue.
- The site plan for the subject application has been designed to accommodate only smaller trucks. Larger trucks are not anticipated. Because a shared driveway would have required the design of this site to be altered to accommodate large trucks, and because the proposed consolidation will now allow a minimum 50 m (165 ft.) spacing between driveways, two driveways on 32 Avenue are acceptable.
- Driveway access on 32 Avenue is restricted to right-in/right-out movements only.
- The southern building will have ten overhead doors and the northern building will have nine. The two buildings could contain a maximum of 19 units in total.
- All loading bays are accessed from the interior drive-aisle, located between Buildings A and B. Pedestrian entries to the units will be on the south side of Building A and the north side of Building B.
- There are two proposed pedestrian entries to the site from the multi-use pathway on 32 Avenue. An additional pedestrian crossing is located near the 190 Street driveway.
- The proposal includes 93 parking spaces, which exceeds the 61 spaces required by the Zoning By-law.

### TREES

- An arborist report was not required because there are no trees and very little vegetation on the property.

### Landscaping

- The landscaping plan has not yet been finalized but is generally acceptable. Some minor revisions are still required.
- The proposed landscaping must reflect the registered restrictive covenant for landscaping and storm-water management along the street frontages. The restrictive covenant requires installation of a bio-swale and associated rain garden with planted trees, shrubs, and groundcover. In this regard, the applicant proposes a rain garden along both the 32 Avenue and 190 Street frontages.
- Planting in the rain gardens includes trees, shrubs, and ground cover and the swales contain boulders to slow water flow and collect sediment.
- A right-of-way has been registered for a multi-use pathway on the subject site, adjacent to 32 Avenue. The right-of-way is 4.0 m (13 ft.) wide. It includes a 3.5 m (11.5 ft.) asphalt pathway, which has already been constructed, and a 0.5 m (1.6 ft.) maintenance strip that will be planted with grass.
- The CD Zone requires a landscaping strip along both street frontages. On 32 Avenue, which is a major road, the By-law requires a landscaping strip that is 6.0 m (19.7 ft.) wide. For 190 Street, which is a local road, the landscaping strip must be a minimum of 3.0 m (9.8 ft.) wide.
- A 3.0 m (9.8 ft.) -wide planting strip will be provided adjacent to the 4.0 m right-of-way along 32 Avenue, for a total of 7.0 m (23 ft.) for the landscaped setback adjacent to 32 Avenue.
- 49 trees, including katsura, cherry, crabapple, ash, and maple, are proposed to be planted within the landscaped areas. Most trees will be located between the buildings and the streets.
- Additional plantings include azalea, heather, rhododendrons, laurel, grasses, and rushes.
- The garbage and recycling enclosure is located at the rear of the property, in the northwest corner, and will be screened from view. It will have swing gates with a decorative metal grill.

### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on January 4, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>The proposal is consistent with the Campbell Heights Local Area Plan.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>The proposed FAR of 0.50 is below the maximum permitted FAR of 1.0.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>The development incorporates roof downspout disconnection, rain gardens, and sediment control devices.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>A multi-use pathway is located on the subject property, adjacent to 32 Avenue.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>n/a</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>n/a</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>n/a</li> </ul>

### ADVISORY DESIGN PANEL

- The application was not referred to the Advisory Design Panel (ADP), but was reviewed by City Staff and found to be satisfactory. The proposed development was evaluated based on compliance with the design guidelines for Campbell Heights North and the OCP.

### BY-LAW VARIANCE AND JUSTIFICATION

#### (a) Requested Variance:

- Reduce the minimum rear (west) yard setback of the CD Zone (By-law No. 17146) from 7.5 m (25 ft.) to 0.0 m.

#### Applicant's Reasons:

- The CD By-law allows one building setback to be reduced to 0.0m, except that it is required to be a side yard setback. Because the subject site is on a corner, the side and the rear yards are not clearly differentiated. The applicant proposes to reduce the rear yard to 0.0 m but the side yard setback will be greater, at 15.8 m (51.7 ft.).

#### Staff Comments:

- Because of the dimensions of the lot, the west property line is considered to be the rear lot line.

- The CD Zone allows one side yard setback to be reduced to 0.0 m, but requires a minimum of 7.5 m to the rear property line.
- Staff support the proposed variance because the intention of the by-law is being met.

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	Development Variance Permit No. 7914-0358-00

#### INFORMATION AVAILABLE ON FILE

(All the following are optional depending on the individual case)

- Complete Set of Architectural and Landscape Plans prepared by Ionic Architecture and JHL Design Group, respectively, dated December 23, 2015.

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

MRJ/dk



Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Samuel M. Chan  
Ionic Architecture Inc.

Address: #201, 5500 - 152 Street  
Surrey, BC V3S 5J9

Tel: 778-571-0618

2. Properties involved in the Application

(a) Civic Address: 18999 - 32 Avenue  
18965 - 32 Avenue

(b) Civic Address: 18999 - 32 Avenue  
Owner: KJR Developments Ltd  
PID: 029-167-086  
Lot 9 Section 28 Township 7 New Westminster District Plan Epp31532

(c) Civic Address: 18965 - 32 Avenue  
Owner: KJR Developments Ltd  
PID: 029-167-094  
Lot 10 Section 28 Township 7 New Westminster District Plan Epp31532

3. Summary of Actions for City Clerk's Office

(a) Proceed with Public Notification for Development Variance Permit No. 7914-0358-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the final approval of the Development Permit.

## DEVELOPMENT DATA SHEET

**Existing Zoning:** CD (By-law Nos. 17146 & 17934)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total	12,167	
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage	60%	35%
SETBACKS ( in metres)		
Front	16.0	20.6
Rear	7.5	0.0
North Side	7.5	15.8
South Side	9.0	20.3
BUILDING HEIGHT (in metres/storeys)		
Principal	14	8.4
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		6,060
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		6,060

*\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

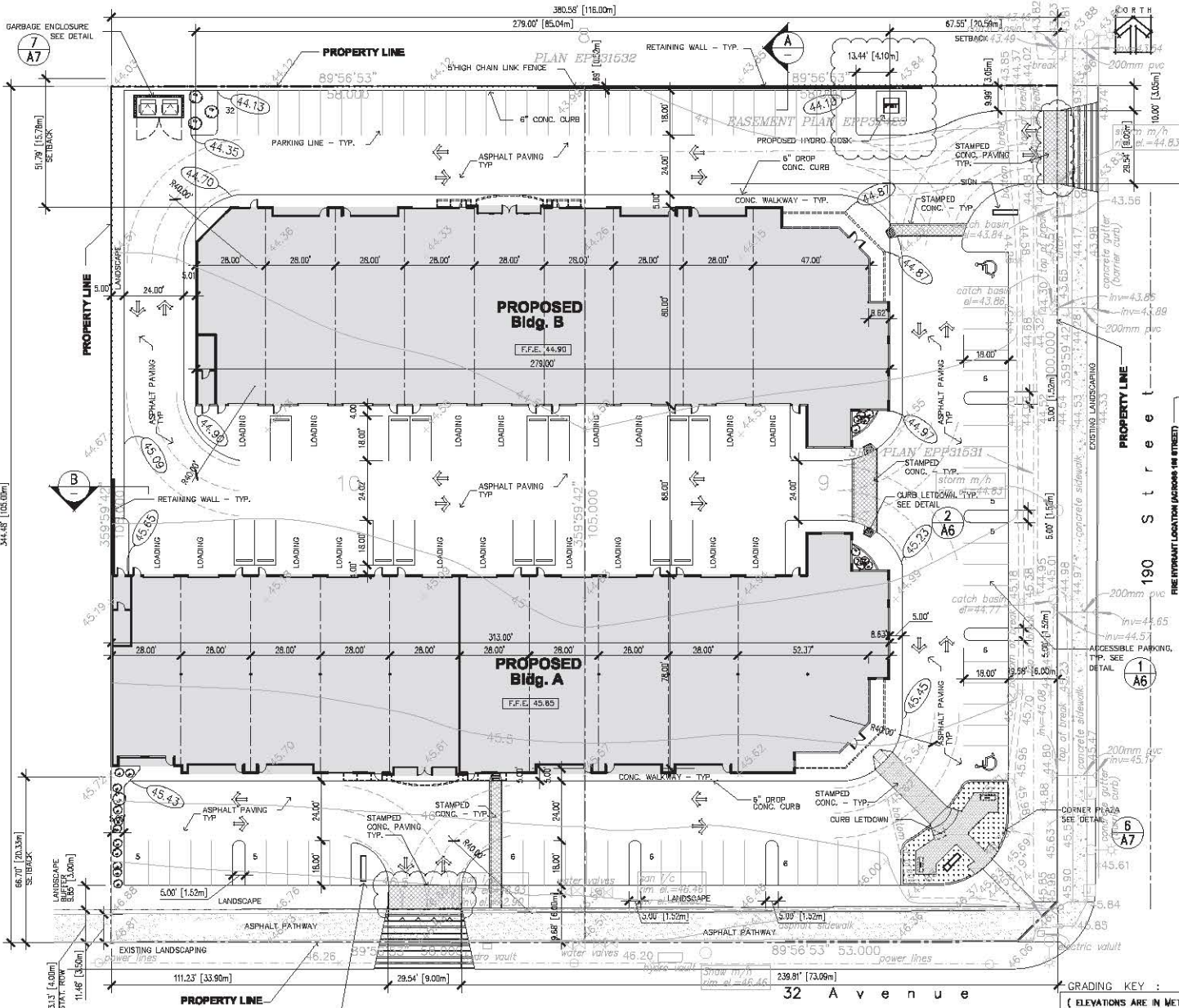
**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.0	0.5
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial	61	93
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces		93
Number of disabled stalls		2
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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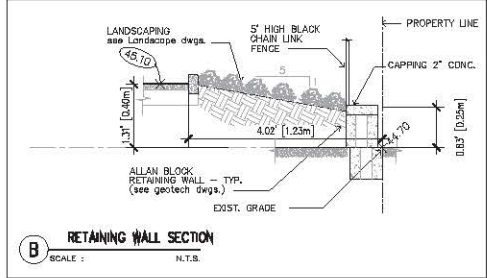
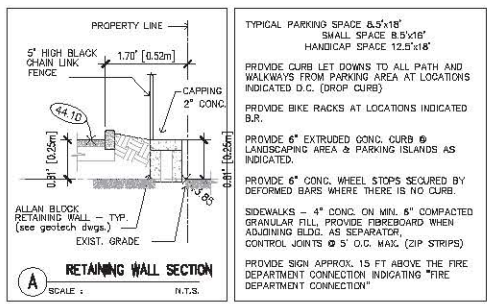




**site statistics**

LEGAL ADDRESS: LOT 9&10 SECTION 26 TOWNSHIP 7  
 NEW WESTMINSTER DISTRICT PLAN EPP31532  
 ADDRESS: 18965 & 18999 - 32nd Avenue, Surrey BC  
 ZONING : CD (BY-LAW NOS. 17146 / 17934)

DEVELOPMENT SITE AREA	(12,167 SQ.M.)	(1,217 ha = 3 acres)	130,966 S.F.
DENSITY ALLOWED	FAR OF 1.0		130,968 S.F.
GROUND FLOOR:			
BUILDING "A"			24,682 S.F.
BUILDING "B"			21,910 S.F.
			46,592 S.F.
DENSITY PROVIDED	0.36		
FUTURE MEZZANINE	40% X 46,046 S.F. = 18,418 S.F.		18,437 S.F.
COVERAGE ALLOWED	60 %		78,579 S.F.
COVERAGE PROVIDED	35 %		46,592 S.F.
SETBACK	REQ'D		
FRONT (E)	67.55' [20.58m]		
REAR (W)	0		
SIDE (N)	51.79' [15.78m]		
SIDE (S)	66.70' [20.33m]		
MAX. HEIGHT PROVIDED	27.00' [8.23m]		
PARKING REQUIRED (INCLUDING MEZZANINE)	65,229 S.F.		= 61 SPACES
PARKING PROVIDED	1075 S.F. PER CAR		= 93 SPACES
ACCESSIBLE SPACE	provided: 2 spaces	required: 1 PER 100 PARKING SPACES	



**CONSULTANTS:**  
 JHD DESIGN GROUP INC.  
 TEL : 604-583-8813  
 FAX : 1-888-277-9554  
 EMAIL: jhd@jhdgroup.com

**SURVEY:**  
 OVERWATER LAND SURVEYING LTD.  
 TEL : 604-574-7311  
 FAX : 604-574-3018  
 EMAIL: jhon@overwater.ca

**LANDSCAPING:**  
 JHD DESIGN GROUP INC.  
 TEL : 604-583-8813  
 FAX : 1-888-277-9554  
 EMAIL: jhd@jhdgroup.com

**APLN & MARTIN CONSULTANTS LTD**  
 TEL : 604-597-0956  
 FAX : 604-587-9081  
 EMAIL: general@aplinmartin.com

**SITE PLAN**

Scale 1"=20'

**GRADING KEY :**  
 ( ELEVATIONS ARE IN METRES )

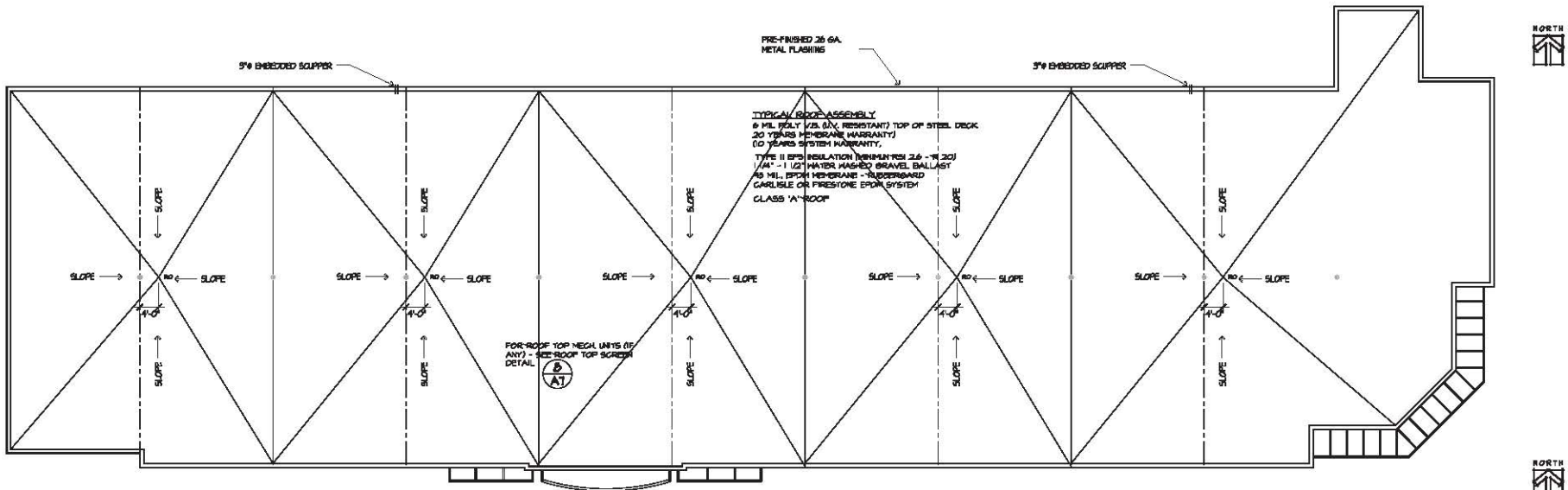
45.65	EXISTING GRADE
82.00	PROPOSED GRADE
	FINISH FLOOR ELEVATION

Issued For: **Site Plan and Project Data**

Project Title: **PROPOSED INDUSTRIAL BUILDINGS**  
 18965 & 18999 - 32nd Avenue  
 Surrey BC

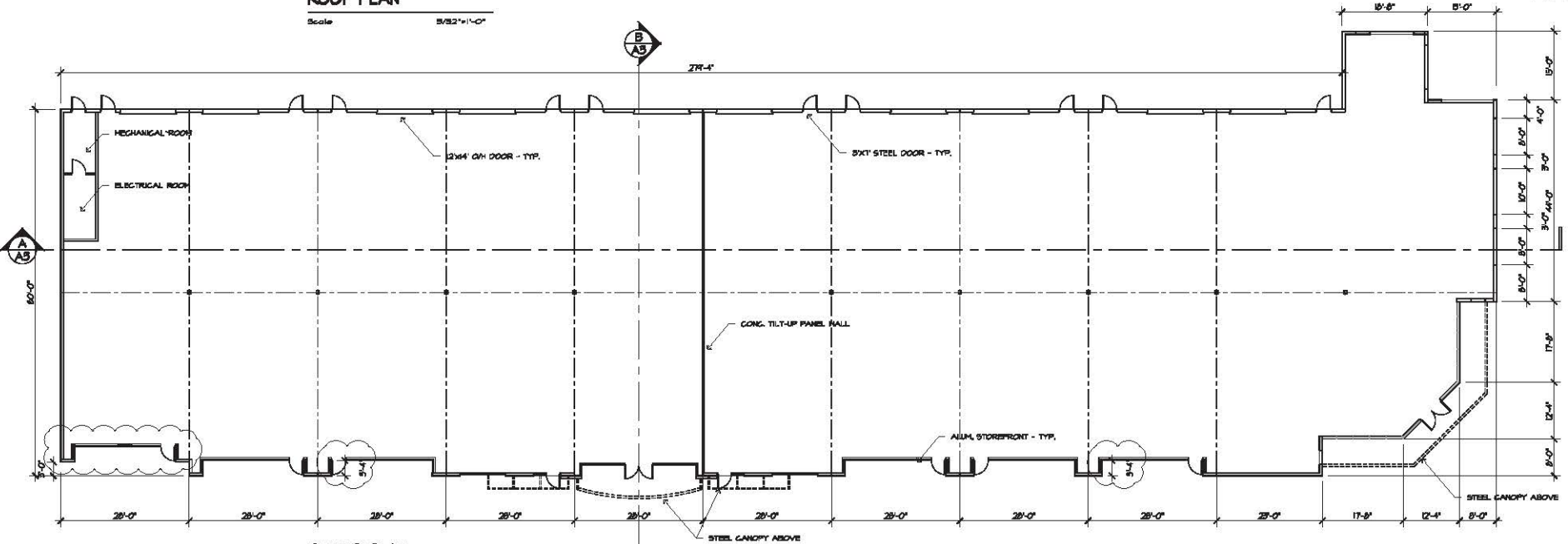
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02	11-03-19	ISSUED FOR DP
03	11-03-19	ISSUED FOR DP
04	11-03-19	ISSUED FOR DP
05	11-03-19	ISSUED FOR DP
06	12-23-19	ISSUED FOR DP

Scale: A-2  
 1/4"=14'-3/4"



**ROOF PLAN**

Scale: 5/32"=1'-0"



**FLOOR PLAN**

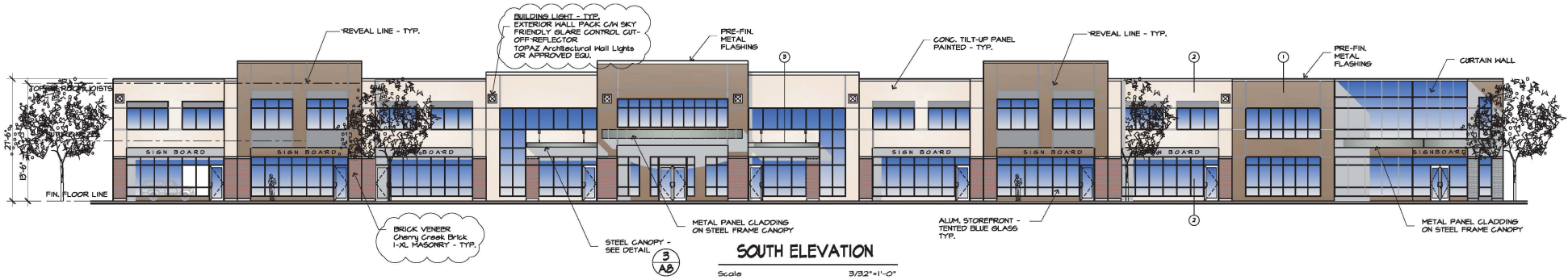
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**Bldg. A**

Rev.	Date	Description
01	12-08-14	ISSUED FOR DP
02	03-25-15	ISSUED FOR DP
03	03-25-15	ISSUED FOR DP
04	11-05-15	ISSUED FOR DP (REVISION)

**Ionic Architecture Inc.**  
 architect - member a.i.a.a.  
 241-1000 20th Street  
 Surrey, BC V4A 2G8  
 Tel: 604-591-0888  
 Fax: 604-591-0889  
 www.ionicarch.com  
 ionic@ionicarch.com

Project Title	Bldg. A - FLOOR & ROOF PLANS
Project Title	INDUSTRIAL PARK
Address	18865 & 18889 32nd Avenue Surrey, BC
Sheet No.	A-3
Project No.	14-1434
Date	07/2014
As Noted	



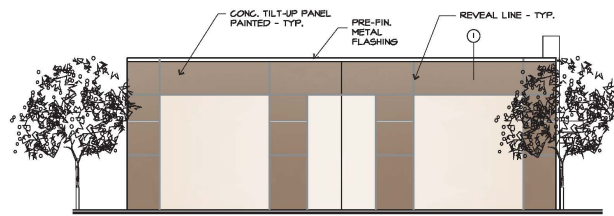
**SOUTH ELEVATION**

Scale 3/32"=1'-0"



**EAST ELEVATION**

Scale 3/32"=1'-0"



**WEST ELEVATION**

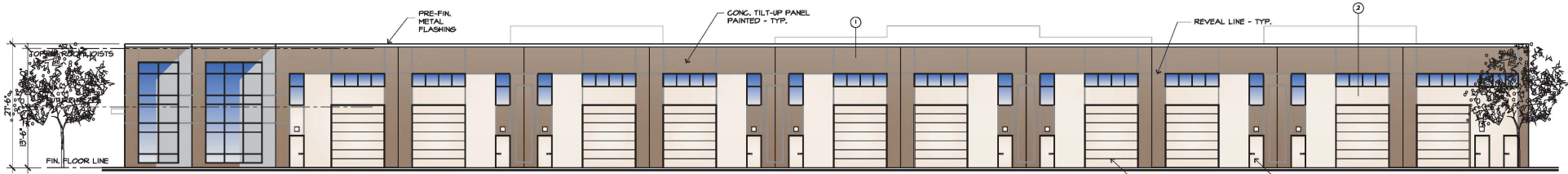
Scale 3/32"=1'-0"

REFER TO THE COLOR BOARD SUBMITTED

EXTERIOR MATERIALS & FINISHES :	
MATERIAL / FINISH	COLOR
① TILT-UP CONCRETE PANEL	SANDY BROWN CC-150
② TILT-UP CONCRETE PANEL	HANCOCK GRAY HC-41
③ METAL CANOPIES & FLASHING	DEER GRANTE GC-452
④ ALUM. HINDOOS & DOOR FRAMES (CLEAR ANODIZED ALUM)	TINTED BLUE GLASS

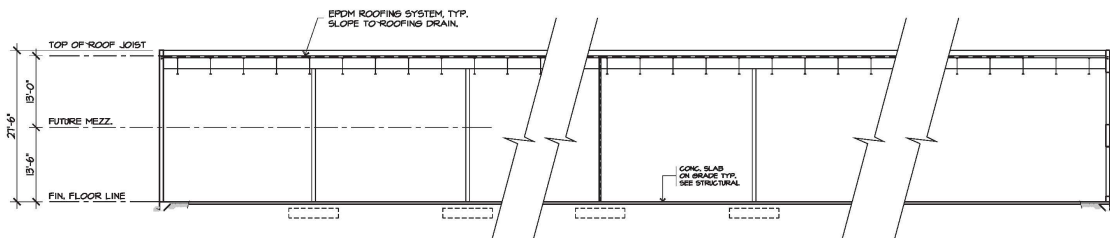
\* PAINT COLORS ARE BENEKIN MOORE

NOTES:  
 - 2 COATS OF ELASTOMERIC PAINT TO BE APPLIED TO EXTERIOR WALLS.  
 - TILT-UP PANEL JOINT TO HAVE 2 LINES OF GULKING (EXT. & INT.), KEEP HOLES AT BOTTOM.



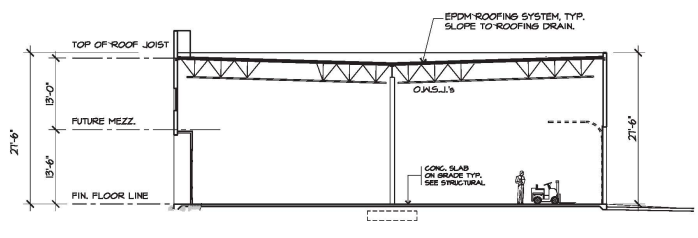
**NORTH ELEVATION**

Scale 3/32"=1'-0"



**A SOUTH - WEST SECTION**

Scale 3/32"=1'-0"



**B NORTH - SOUTH SECTION**

Scale 3/32"=1'-0"

**Bldg. A**

Rev.	Date	Description
04	11-01-15	ISSUED FOR PERMISSION
03	10-01-15	ISSUED FOR ITP
02	03-25-15	ISSUED FOR ITP
01	12-08-14	ISSUED FOR ITP

Sheet	As Noted	Revision
A-4	OCT 2014	14-1434

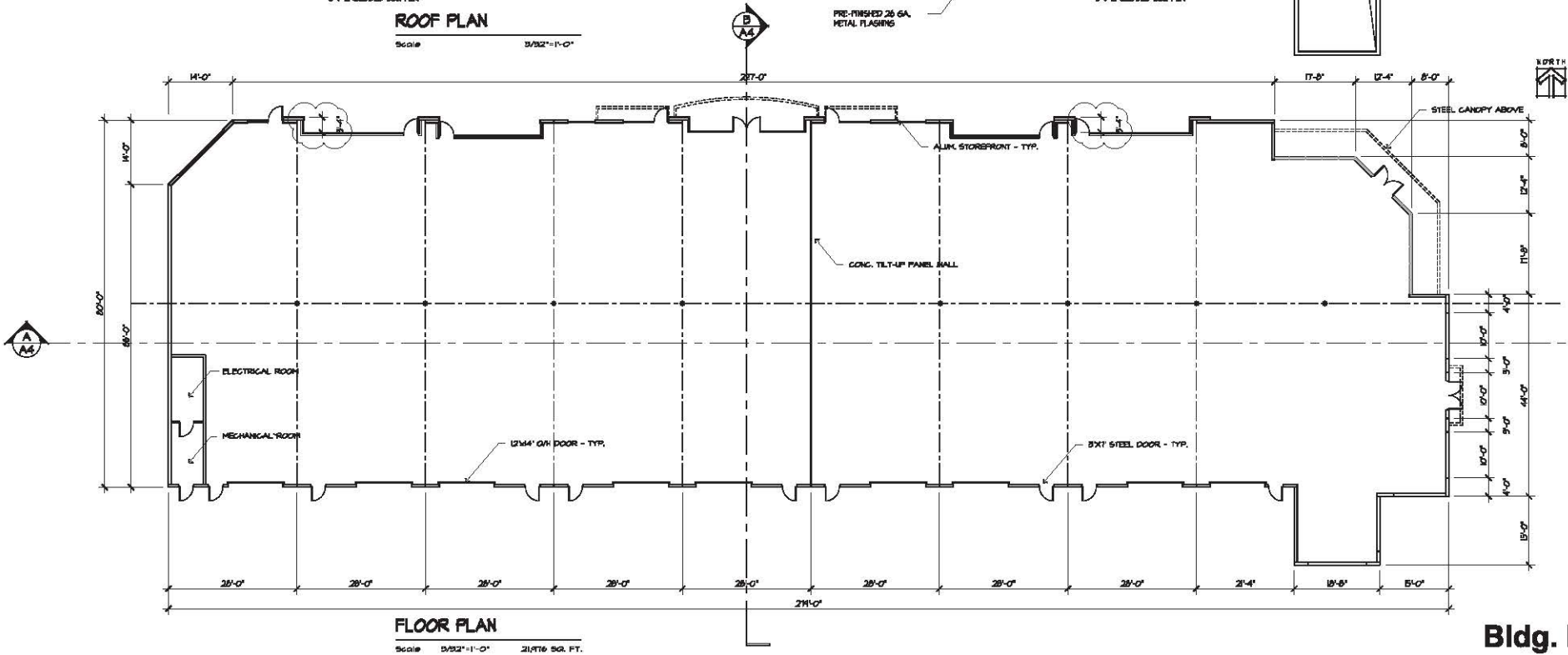
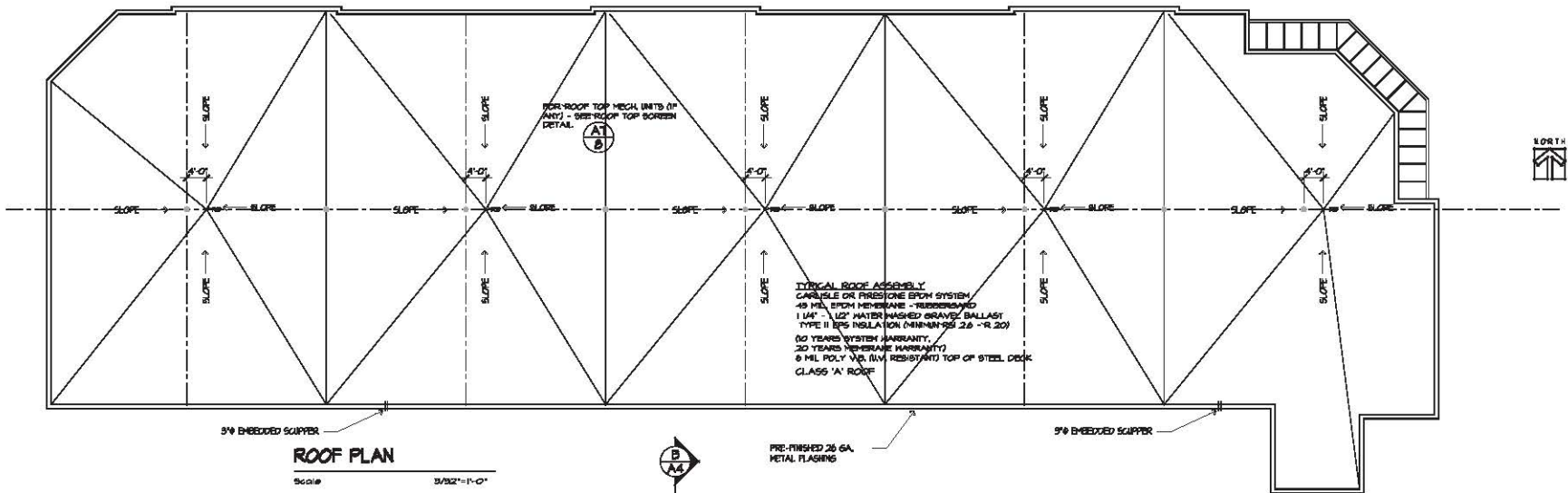
  

Project Title	Project No.
INDUSTRIAL PARK	18965 & 18999 32nd Avenue
	Surrey, BC

Company Title: **lonic Architecture Inc.**  
 architect-member a.i.b.c.  
 204-1200 W. 41st Ave. Suite 100  
 Surrey, B.C. V4A 4L7  
 Tel: 778-671-0088  
 Fax: 778-671-0089  
 www.ionic-architect.com





**Bldg. B**

Project Title	Bldg. B - FLOOR & ROOF PLANS
Client	INDUSTRIAL PARK
Address	18865 & 18999 32nd Avenue Surrey, BC
Revision	14-1434
Date	11-05-15
Issued For	ISSUED FOR SUBMISSION
Issued For I.P.	ISSUED FOR I.P.
Description	Description

**Ionic Architecture Inc.**  
architect-member a.i.b.c.  
all rights reserved  
www.ionicarch.com  
info@ionicarch.com

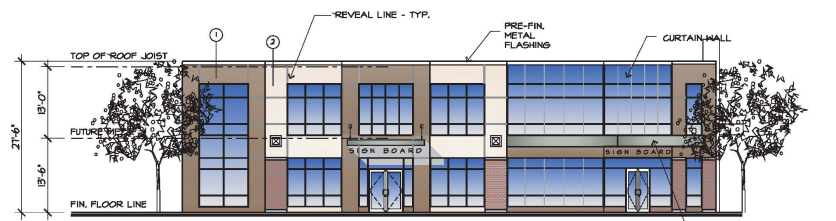




**NORTH ELEVATION**

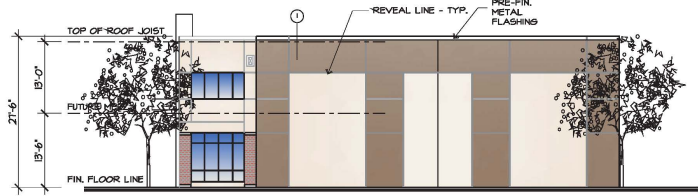
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3  
A-B



**EAST ELEVATION**

Scale: 3/32"=1'-0"



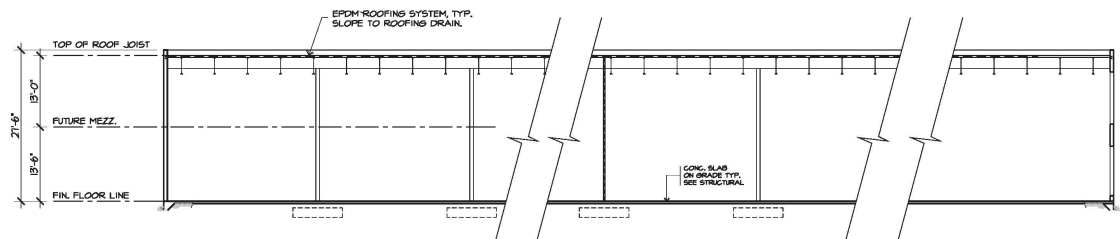
**WEST ELEVATION**

Scale: 3/32"=1'-0"



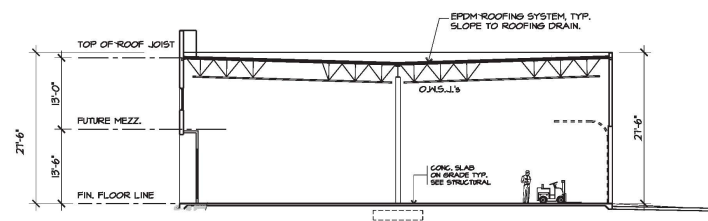
**SOUTH ELEVATION**

Scale: 3/32"=1'-0"



**A SOUTH - WEST SECTION**

Scale: 3/32"=1'-0"



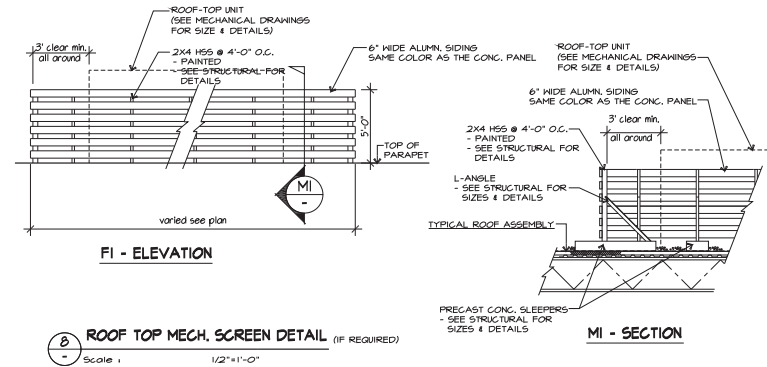
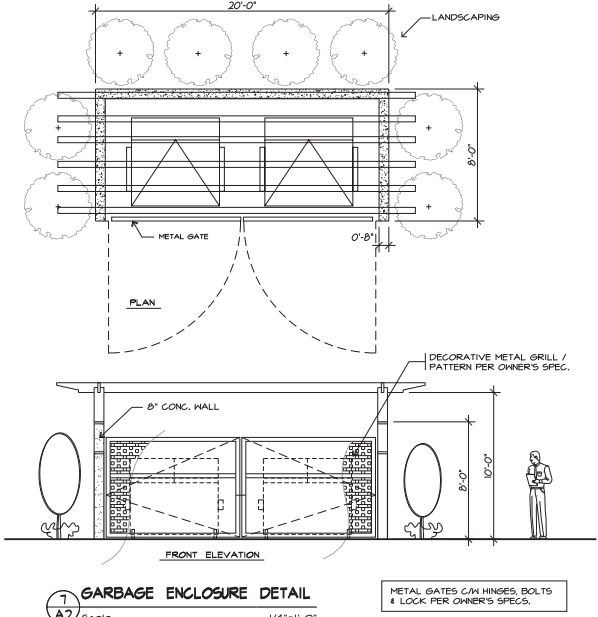
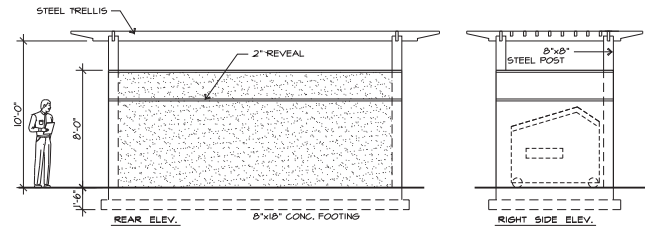
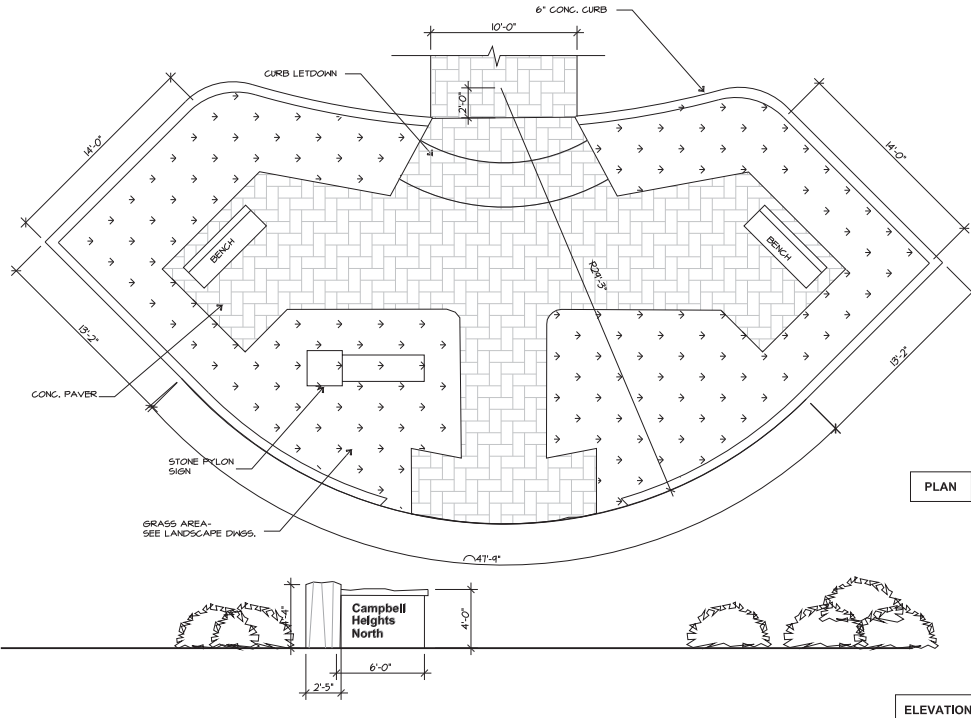
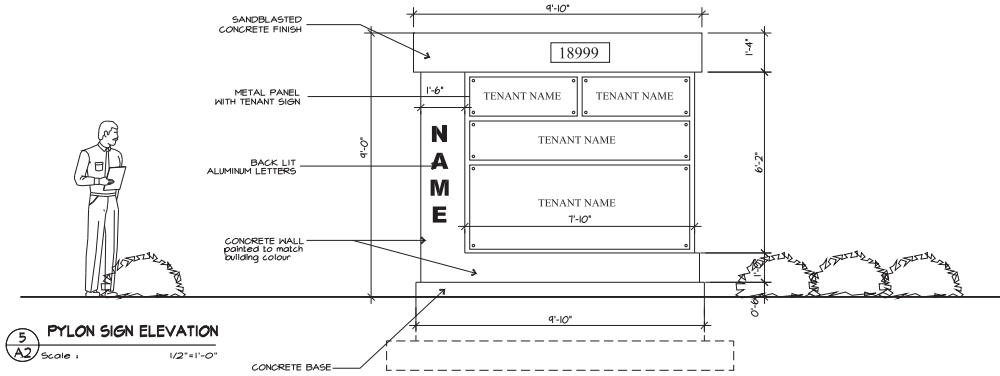
**B NORTH - SOUTH SECTION**

Scale: 3/32"=1'-0"

**Bldg. B**

As Noted	Sheet	Project Title	18965 & 18959 32nd Avenue Surrey, BC
DATE	of	INDUSTRIAL PARK	
10/20/14	A-6		
14-1434			
ISSUED FOR D.P.	ISSUED FOR D.P.	ISSUED FOR D.P.	ISSUED FOR D.P.
11-03-15	10-07-15	12-08-14	
ISSUED FOR IP RESUBMISSION	ISSUED FOR IP	ISSUED FOR IP	ISSUED FOR IP
03	02	01	
Rev.	Date	Description	

**Ionic Architecture Inc.**  
 architect-member a.i.b.c.  
 200-666-8888  
 11770 67th Street  
 Surrey, B.C. V3W 2G9  
 office@ionicarchitecture.com

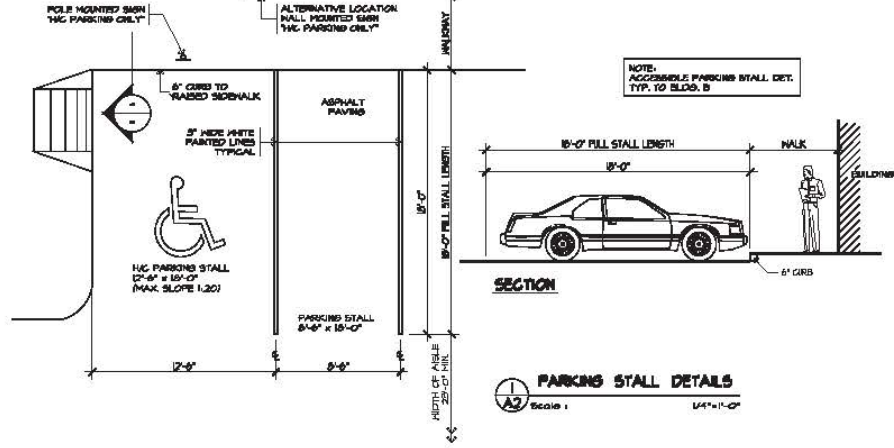


ISSUED FOR IP PERMISSION	04	11-03-15	Rev.	Date	Description
ISSUED FOR I/P	02	02-26-15			
ISSUED FOR I/P	01	12-08-14			

<b>ionic Architecture inc.</b> architect-member a.i.a.c. 20-5500 126th Street Surrey B.C. V4N 1G9 Tel: (778) 871-0088 Fax: (778) 871-0089 www.ionicarchitecture.com	Drawing Title: Project Title: 18999 & 18999 32nd Avenue Surrey, BC	DETAILS Sheet of A-7 As Noted Date: OCT 2014 Revision Project No. 14-1434
---	---	--

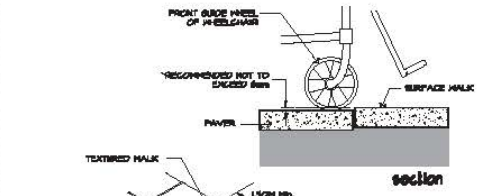
BCBC 3.3.5.4(1)  
ACCESSIBLE PARKING STALLS



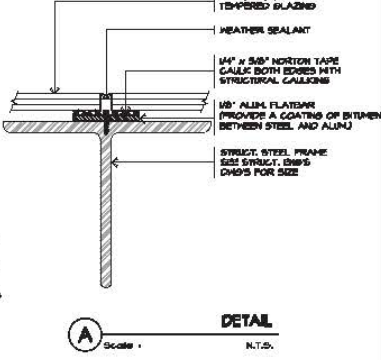
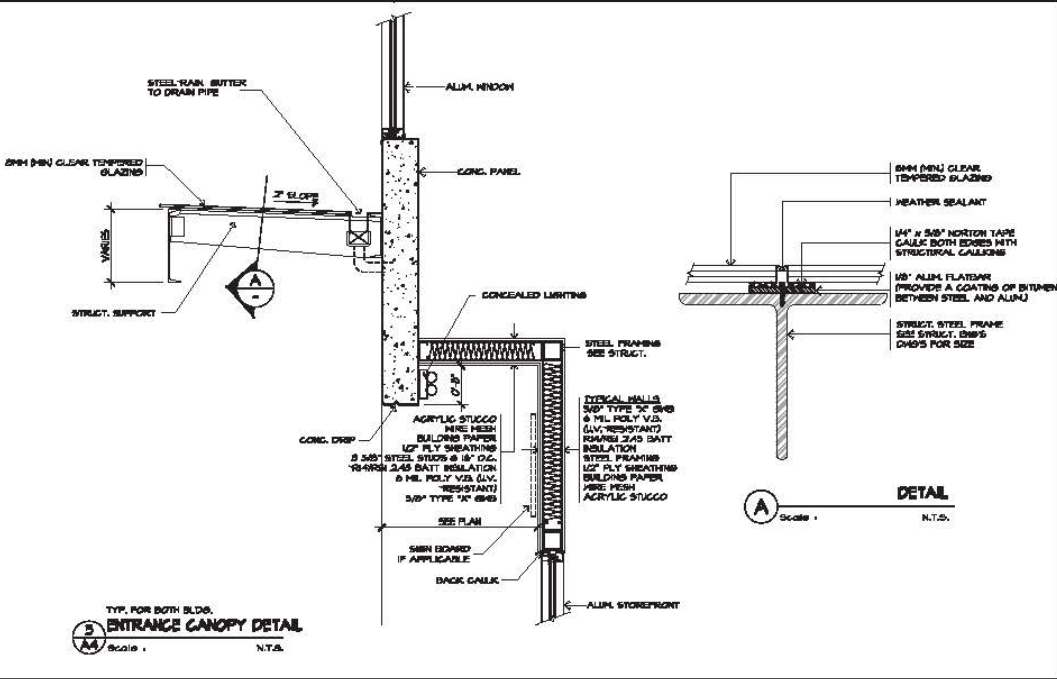
NOTE:  
ACCESSIBLE PARKING STALL DET.  
TYP. TO BLDG. B



CHAIN LINK FENCE  
Scale: N.T.S.

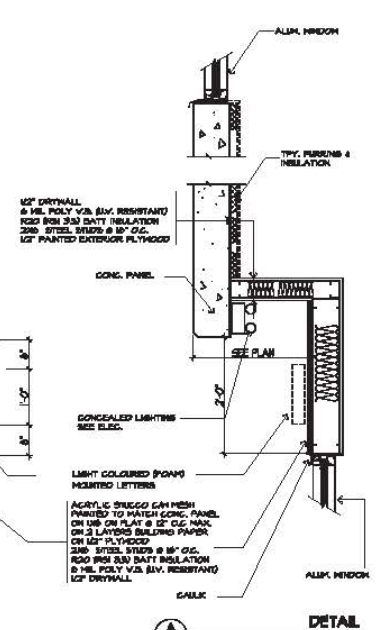
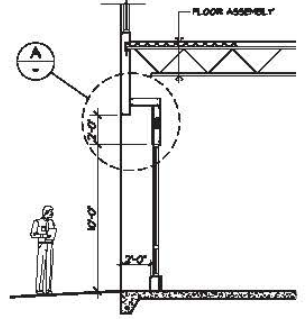


CURB LETDOWN DETAIL (TYPICAL)  
Scale: N.T.S.



TYP. FOR BOTH BLDG.  
ENTRANCE CANOPY DETAIL  
Scale: N.T.S.

DETAIL  
Scale: N.T.S.



1/2" DRYWALL @ 1/8\"/>

TYP. FOR BOTH BLDG.  
ENTRANCE SIGN DETAIL  
Scale: N.T.S.

DETAIL  
Scale: N.T.S.

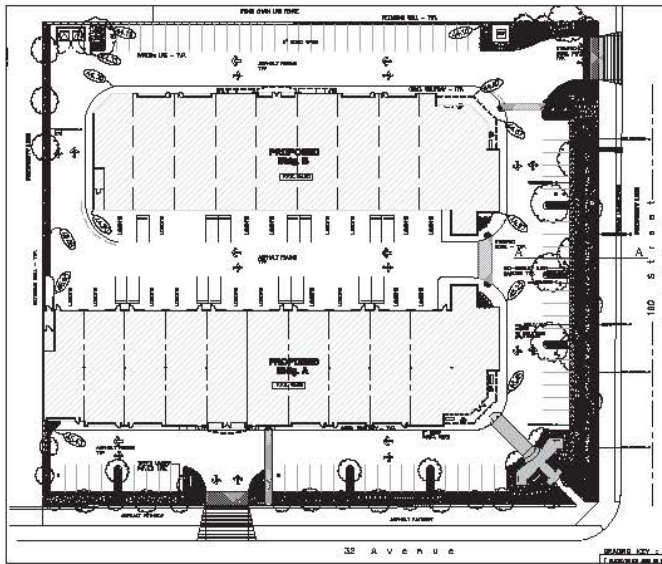
04	13-03-18	USED FOR REVISESION
03	13-05-18	ISSUED FOR R.I.P.
02	13-06-18	ISSUED FOR R.I.P.
01	13-08-18	ISSUED FOR R.I.P.
	Scale	Date

**Ionic Architecture Inc.**  
architect—member C.I.A.A.C.  
30-4615 10th Street NW  
Surrey, BC V4A 3Y6  
Tel: 604-581-9000  
www.ionicarch.com

Drawn: TMC  
Project: 14-1434  
**INDUSTRIAL PARK**  
18085 & 18090 32nd Avenue  
Surrey, BC

Sheet	A-B
Date	14-1434



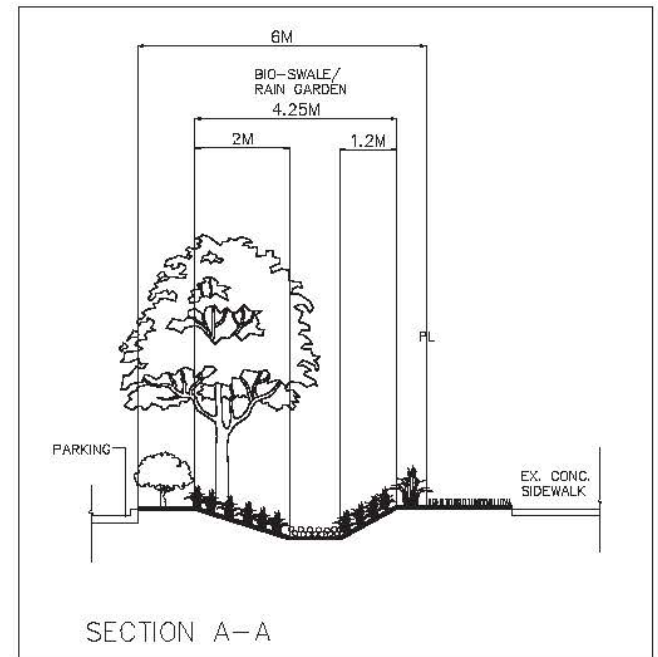
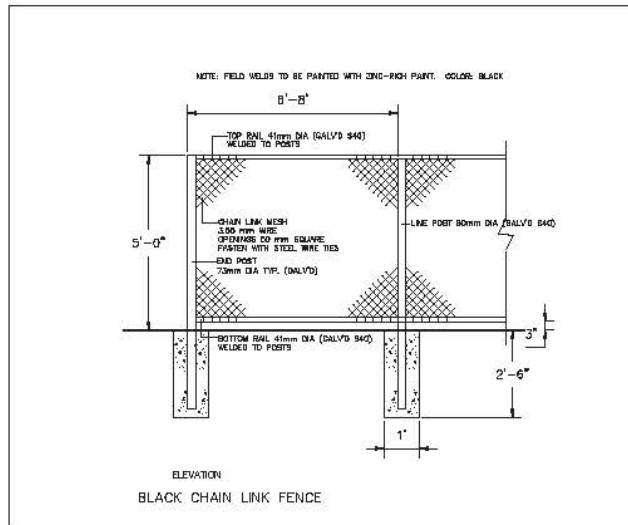


OVERALL REFERENCE PLAN

Quantity/Symbols	Botanical Name	Common Name	Size	Spacing
3	A	Cercidiphyllum japonica	Katsura	7cm cal B&B as shown
0	B	Chionodoxa lutea 'Verma Haka'	Throness Haka Honeylocust	7cm cal B&B as shown
0	C	Acer rubrum 'Sorrowful'	Sorrowful Maple	6cm cal B&B as shown
2	D	Fraxinus excelsior 'Golden Desert'	Golden Desert Ash	7cm cal B&B as shown
1	E	Acer rubrum 'Armstrong'	Armstrong Maple	6cm cal B&B as shown
6	F	Prunus pennsylvanica 'Kwanzan'	Kwanzan Cherry	6cm cal B&B as shown
0	G	Prunus japonica 'Kozasa'	Pink Japanese Snowball	6cm cal B&B as shown
2	H	Cornus nas	Comelian Cherry Dogwood	6cm cal B&B as shown
2	I	Pseudotsuga menziesii	Douglas Fir	3.5m High as shown
7	J	Malus zumi 'Caucarpa'	Zumi Caucarpe Crabapple	6cm cal B&B as shown
4	K	Acer circratum	Vine Maple	6cm cal B&B as shown
0	L	Sorbus aucuparia	Mountain Ash	6cm cal B&B as shown
4	M	Fraxinus ornus 'Ate Peter'	Manna Ash	7cm cal B&B as shown
5	N	Ambrosia 'er Grandifera' Autumn Brilliance'	Banecberry	6cm cal B&B as shown
<b>Shrubs &amp; Others</b>				
118	a	Azalea japonica 'Diamant Lachs'	Azalea	#2 pot as shown
169	b	Erica x darleyensis 'Mediterranean Pink'	Mediterranean Pink Heather	#1 pot as shown
149	c	Carex marlowi 'Aureovariegata'	Variegated Sedge	#1 pot as shown
65	d	Malva aquileum 'Compacta'	Dwarf Malva	#2 pot as shown
20	e	Cornus sericea	Redtwig Dogwood	#3 pot as shown
28	f	Polystichum muratum	Western Sword Fern	#2 pot as shown
247	g	Festuca daboensis	Bluebunch Fescue	#1 pot as shown
19	h	Prunus laurocerasus	Portugal Laurel	#2 pot as shown
101	i	Rosa mediana 'Bionca'	Rose	#2 pot as shown
66	j	Erica x darleyensis 'Fish Lemon'	Fish Lemon Heather	#1 pot as shown
31	k	Rhododendron 'Mary Fleming'	Rhododendron	#2 pot as shown
96	l	Euphorbia characias wulfenii	Evergreen Spurge	#2 pot as shown
15	m	Rubus coccineus 'Cristatum'	Coral Rubus	#2 pot as shown
81	n	Taxus x media 'Hicksii'	Hicks' Yew	4 high, B&B as shown
42	o	Buxus microphylla 'Winter Gem'	Asian Boxwood	3 high, B&B as shown
140	p	Helictotrichon sempervirens	Blue Oat Grass	#1 pot as shown
14	q	Campanula trachelium 'Variegata'	Variegated False Holly	#2 pot as shown
0	r	Parthenocissus quinquefolia	Virginia Creeper	#1 pot as shown
8	s	Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Reed Grass	#3 pot as shown
5	t	Photinia x Fraseri	Fraser's Photinia	#3 pot as shown
19	u	Impatiens 'Tight of Butterflies'	Siberian Iris	#1 pot as shown
42	v	Ilex x meserveae 'Blue Holly'	Blue Holly	#2 pot as shown
441	w	Juncus ensifolius	Dagger-leaf Rush	#1 pot 18" o.c.
387	x	Juncus acuminatus	Tapered Rush	#1 pot 18" o.c.
0	y	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	B&B 5' High as shown
173	z	Gaultheria phillyifolia	Gaultheria	#1 pot as shown

NOTE: Proposed plants include many varieties of drought tolerant plants and native plants to provide year round visual interest.

- NOTES:
- Maintain min. 2% slope away from building.
  - All plants and landscape installation to conform to BCSLA Landscape Standards Latest Edition.
  - All growing medium to be tested by PBAI (804-273-8226) and amended accordingly if necessary, and to be tested again at Substantial Completion.
  - Minimum planting medium depths:  
 lawn-8"/150mm, 8" on slab  
 groundcover & shrubs-18"/450mm, min 18" on slab  
 trees-12"/300mm, all around the rootball, 24" small trees on slab, 30" medium sized trees on slab  
 For detailed info see specifications
  - All plant material shall meet minimum size requirements as indicated in plant list.
  - Trees planted in lawn areas to have 1 m dia. mulched ring.
  - Make sure wires around rootballs to be cut and removed to prevent girdling.
  - All proposed trees should be planted min. 3 m away from building foundation or face of buildings or retaining walls.
  - Install min. 2" of composted bark mulch on all shrub beds after planting and rake smooth. Mulch to be "9.0mm screened composted bark mulch".
  - Contractor to ensure all plant material delivered to site is free from nurseries certified to be free from the Phytophthora ramorum virus (Sudden Oak Death).
  - Contractor to report any discrepancies in plant numbers immediately to Landscape Architect.
  - All on-site landscape to be irrigated with an automatic irrigation system.



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DATE	REVISIONS
Dec., 15	DP Submission



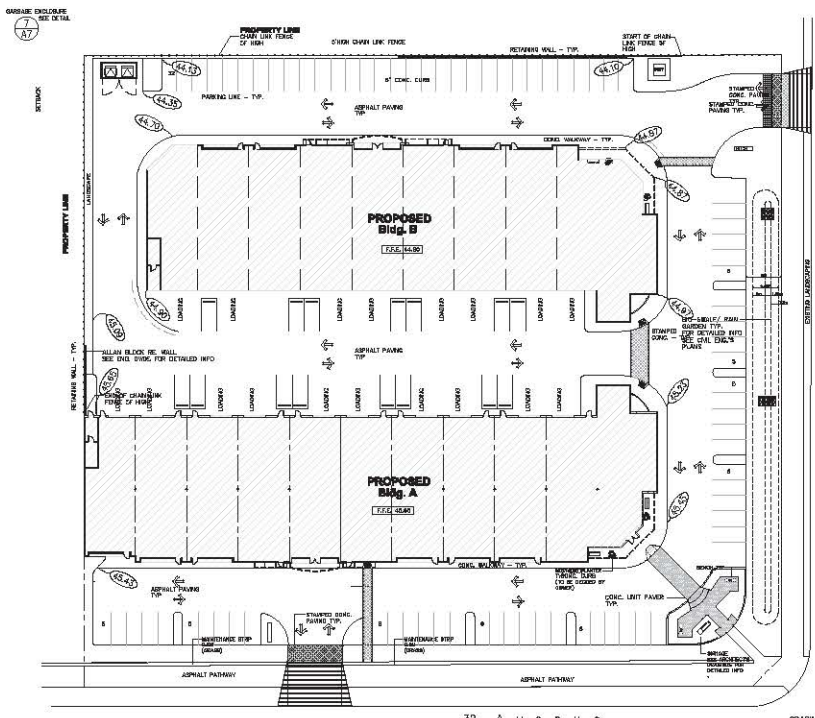
**JHL Design Group Inc.**  
 Landscape Architecture + Urban Design

4370, Markham Street, Vancouver, BC  
 Tel: 854-583-8673  
 Fax: 1-888-277-8554  
 Email: JHLdesign@shaw.ca

SCALE	PROJECT TITLE
DATE: Dec., 15	INDUSTRIAL DEVELOPMENT AT 18668 & 18668, 32nd AVENUE SURREY, BC
DRAWN: JL	DRAWING TITLE
JOB NO.	OVERALL REFERENCE PLAN/ PLANT LIST/ SECTION NOTERÉ DETAIL

DATE	REVISIONS
Dec., 15	DP Submission

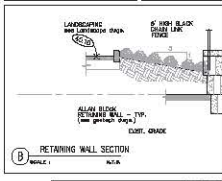
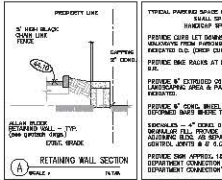
L-1



**site statistics**

LEGAL ADDRESS: LOT 5402 SECTION 28 TOWNSHIP 7  
 NEW WISSEMAN DISTRICT PLAN 07/19/2012  
 ADDRESS: 18965 & 18999 - 32nd Avenue, Surrey BC  
 ZONING: C-2 (D) (L) (M) (M) (T) (R) (S)

DEVELOPMENT SITE AREA (CLARIFIED)	(0.27 Net 3 ways)
DENSITY ALLOWED	FAR OF 1.0
BUILDING "A"	
BUILDING "B"	
DENSITY PROVIDED	0.30
FUTURE WISSEMAN	405 ± 4604 S.F. = 16,948 S.F.
COVERAGE ALLOWED	80 %
COVERAGE PROVIDED	29 %
SETBACK	PROVIDED
FRONT (S)	
REAR (N)	
SEC. (W)	
SEC. (E)	
MAX. HEIGHT PROPOSED	15.24 M (50 FT)
PARKING REQUIRED (INCLUDING WISSEMAN)	1 PER 100 PARKING SPACES
PARKING PROVIDED	280 SPACES
ACCESSIBLE SPACES	1 PER 100 PARKING SPACES



**GRADING KEY**  
 (ELEVATIONS ARE IN METRES)  
 42.85 ± EXISTING GRADE  
 43.00 ± PROPOSED GRADE  
 43.30 ± FINISH PAVEMENT ELEVATION

**CONSULTANTS**  
**SURVEY:**  
 HERRINGTON LAND SURVEYORS  
 TEL: 855-674-3311  
 FAX: 855-574-3318  
 EMAIL: jh@hlsurveys.com

**LANDSCAPE ARCHITECTURE:**  
 JHL DESIGN GROUP INC.  
 TEL: 855-674-3311  
 FAX: 855-574-3318  
 EMAIL: jhl@jhl.com

\* REFER TO CIVIL DRAWING FOR DETAILS

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DATE	REVISIONS
Dec. 15	DP Submission



**JHL Design Group Inc.**  
 Landscape Architecture + Urban Design

4370, Maple Street, Vancouver, BC  
 Tel: 855-674-3311  
 Fax: 855-574-3318  
 Email: jhl@jhl.com

SCALE: 1/32" = 1'-0"  
 DATE: Dec. 15  
 DRAWN: JL  
 JOB NO.:

PROJECT TITLE:  
**INDUSTRIAL DEVELOPMENT  
 AT 18965 & 18999, 32nd AVENUE  
 SURREY, BC**

DRAWING TITLE:  
**INFO ON RAIN BIO-SWALE/ RAIN GARDEN LAYOUT  
 AND SPECIAL PAVING MATERIALS**

**PROPERTY LINE**

5' HIGH CHAIN LINK FENCE

RETAINING WALL - TYP.

6" CONC. CURB

TYP.



ASPHALT PAVING  
TYP.



44.10

PMT

STAMPED  
CONC. PAVING  
TYP.

CONC. WALKWAY - TYP.

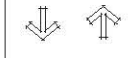
44.87

44.87

**PROPOSED  
Bldg. B**

F.F.E. 44.90

GROUNDCOVER-x



GROUNDCOVER-w

6

EXISTING LANDSCAPING

**PROPERTY LINE**

S t r e e t

LOCATION (ACROSS 190 STREET)

44.97

STAMPED  
CONC. - TYP.

BIO-SWALE / RAIN  
GARDEN TYP.

GROUNDCOVER-x

LOADING

LOADING

LOADING

LOADING

LOADING

LOADING



ASPHALT PAVING  
TYP.



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DATE	REVISIONS
Dec, 15	DP Submission



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Landscape Architecture + Urban Design

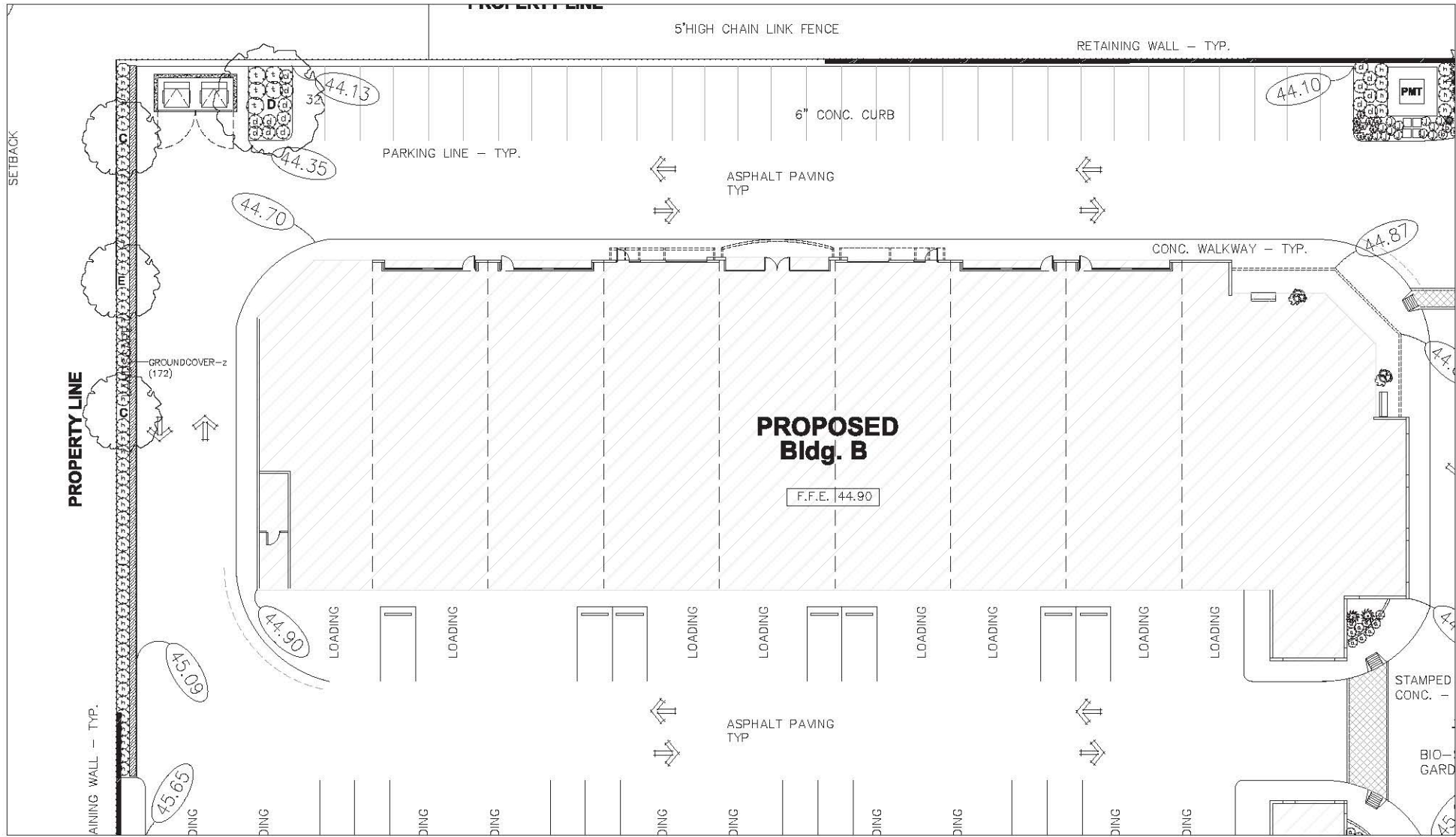
4370, Maple Street, Vancouver, BC  
Tel: 604-263-8613  
Fax: 1-800-377-8564  
Email: jhl@jhlinc.ca

SCALE	3/32"=1'-0"
DATE	Dec, 15
DRAWN	JL
JOB NO.	

PROJECT TITLE  
**INDUSTRIAL DEVELOPMENT  
AT 18865 & 18899, 32nd AVENUE  
SURREY, BC**

DRAWING TITLE  
**PLANTING DESIGN**





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DATE	REVISIONS
Dec, 15	DP Submission

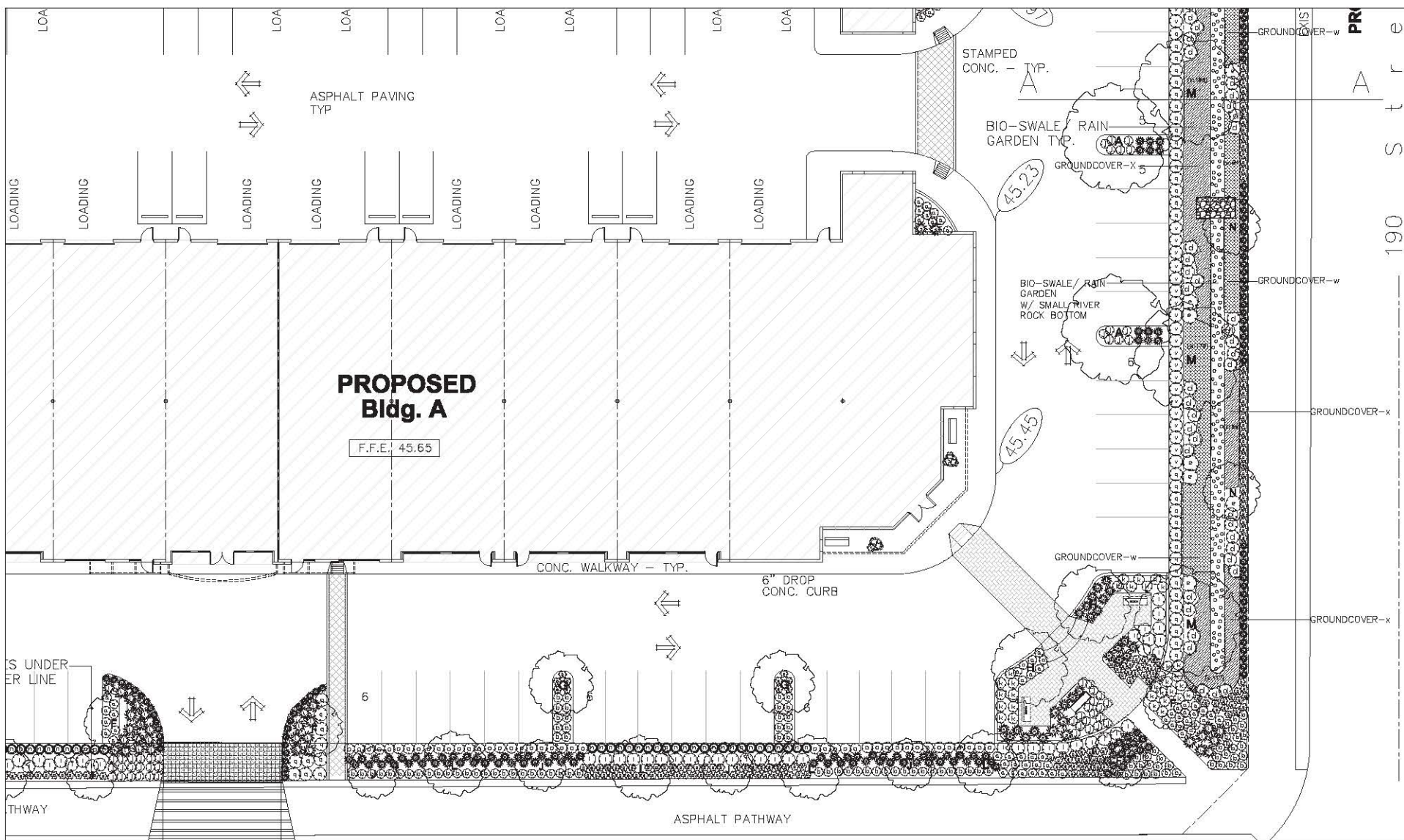


**JHL Design Group Inc.**  
**Landscape Architecture + Urban Design**  
 4370, Maple Street, Vancouver, BC  
 Tel: 604-263-8613  
 Fax: 1-888-277-8204  
 Email: [JHLdesign@shaw.ca](mailto:JHLdesign@shaw.ca)

SCALE	3/32" = 1'-0"
DATE	Dec, 15
DRAWN	JL
JOB NO.	

PROJECT TITLE	INDUSTRIAL DEVELOPMENT AT 18865 & 18868, 32nd AVENUE SURREY, BC
DRAWING TITLE	PLANTING DESIGN

L-4



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DATE	REVISIONS
Dec. 15	DP Submission



**JHL Design Group Inc.**  
 Landscape Architecture + Urban Design

4370, Maple Street, Vancouver, BC  
 Tel: 604-282-8613  
 Fax: 1-366-277-9554  
 Email: jhl@jhlinc.com

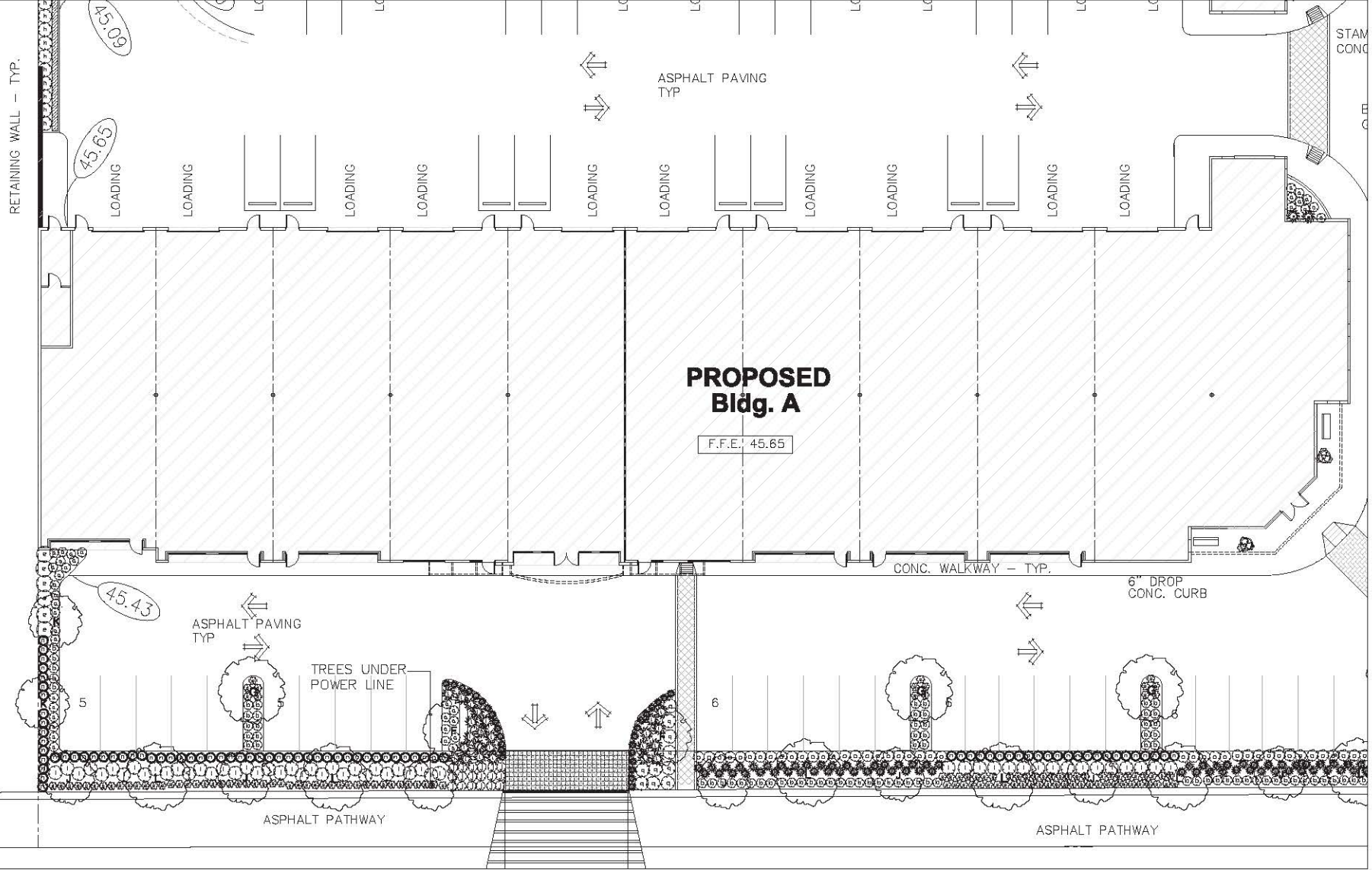
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DATE	Dec., 15
DRWN	JL
JOB NO.	

PROJECT TITLE  
**INDUSTRIAL DEVELOPMENT  
 AT 18966 & 18999, 32nd AVENUE  
 SURREY, BC**

DRAWING TITLE  
**PLANTING DESIGN**

**L-5**





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DATE	REVISIONS
Dec. 15	DP Submission



**JHL Design Group Inc.**  
 Landscape Architecture + Urban Design  
 4370, Maple Street, Vancouver, BC  
 Tel: 604-283-8813  
 Fax: 1-888-277-9554  
 Email: jhldesign@shaw.ca

SCALE	3/32" = 1'-0"
DATE	Dec., 15
DRAWN	JL
JOB NO.	

PROJECT TITLE  
**INDUSTRIAL DEVELOPMENT  
 AT 18965 & 18990, 32nd AVENUE  
 SURREY, BC**

DRAWING TITLE  
**PLANTING DESIGN**

---

TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **January 6, 2016** PROJECT FILE: **7814-0358-00**

---

RE: **Engineering Requirements (Commercial/Industrial)  
Location: 18965/18999 - 32 Avenue**

**SUB-DIVISION/DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT**

The following issues/requirements relative to the Sub-division/Development Permit/Development Variance Permit are to be addressed through the Building Permit Process as a condition of issuance of the Building Permit:

- Easement on 18999 32 Ave (E108-0003) can be discharged due to consolidation.
- Completion of servicing works associated with City project 7812-0160-00.
- Relocation of service connections as required and abandonment of redundant service connections as required.
- Construction of curb letdowns at proposed locations and associated modifications to drainage features if required (note that the letdown at 32 Avenue is at least 33 m from the west property line).
- Construction of onsite infiltration and water treatment features as per Campbell Heights Land Use Plan requirements and as described in servicing plans under City project 7812-0160-00.

The applicant is advised to review the registered sustainable drainage and water quality control restrictive covenants prior to submitting building permit application.



Rémi Dubé, P.Eng.  
Development Services Manager

LR

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7914-0358-00

Issued To: KJR DEVELOPMENTS LTD

("the Owner")

Address of Owner: Unit 100, 20120 - 64 Avenue  
Langley, BC V2Y 1M8

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
  
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 029-167-086  
 Lot 9 Section 28 Township 7 New Westminster District Plan EPP31532  
 18999 - 32 Avenue

Parcel Identifier: 029-167-094  
 Lot 10 Section 28 Township 7 New Westminster District Plan EPP31532  
 18965 - 32 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

\_\_\_\_\_

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

\_\_\_\_\_

4. Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 2010, No. 17146, as amended is varied as follows:
  - (a) In Subsection F, Yards and Setbacks, the minimum rear yard setback is reduced from 7.5 m (25 ft.) to 0.0 m (0 ft.) for Building A only.
5. The landscaping and the siting of buildings and structures shall be in accordance with the drawing numbered 7914-0358-00 (A) (the "Drawing") which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20   .  
ISSUED THIS      DAY OF      , 20   .

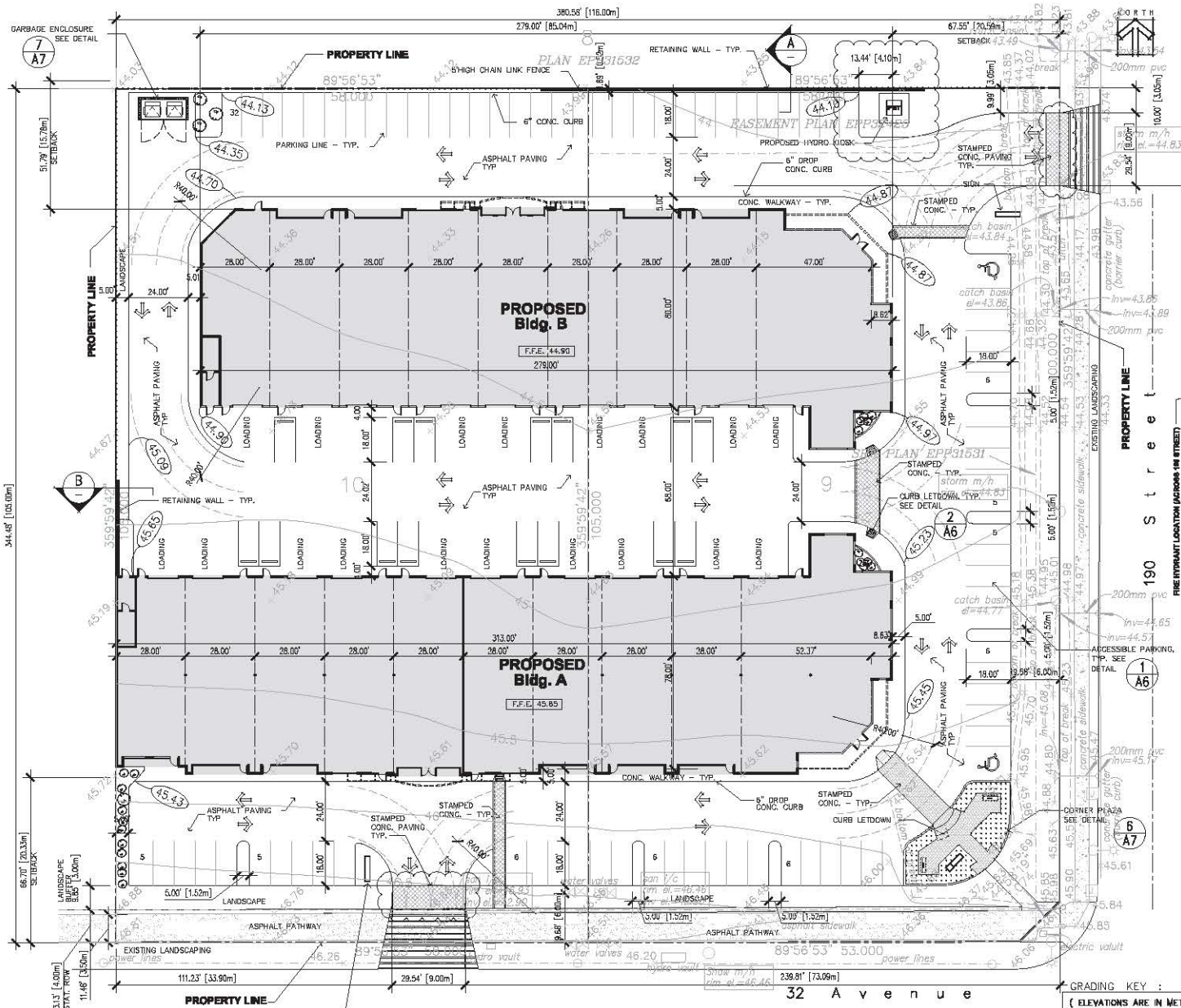
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Mayor – Linda Hepner

---

City Clerk – Jane Sullivan

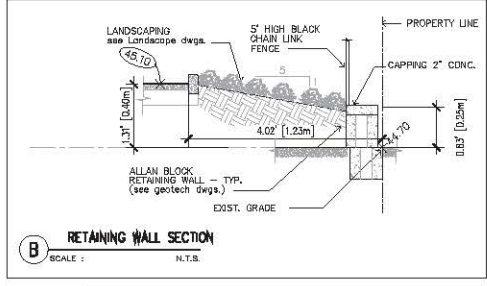
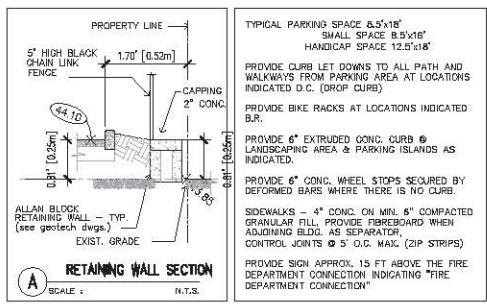




**site statistics**

LEGAL ADDRESS: LOT 9&10 SECTION 28 TOWNSHIP 7  
NEW WESTMINSTER DISTRICT PLAN EPP31532  
ADDRESS: 18965 & 18999 - 32nd Avenue, Surrey BC  
ZONING: CD (BY-LAW NOS. 17146 / 17834)

DEVELOPMENT SITE AREA	(12,167 SQ.M.) (1,217 ha = 3 acres)	130,966 S.F.
DENSITY ALLOWED	FAR OF 1.0	130,968 S.F.
GROUND FLOOR:		
BUILDING "A"		24,682 S.F.
BUILDING "B"		21,910 S.F.
		46,592 S.F.
DENSITY PROVIDED	0.36	
FUTURE MEZZANINE	40% X 46,046 S.F. = 18,418 S.F.	18,437 S.F.
COVERAGE ALLOWED	60 %	78,579 S.F.
COVERAGE PROVIDED	35 %	46,592 S.F.
SETBACK	REQ'D	
FRONT (E)		67.55' [20.58m]
REAR (W)		0
SIDE (N)		51.79' [15.78m]
SIDE (S)		66.70' [20.33m]
MAX. HEIGHT PROVIDED		27.00' [8.23m]
PARKING REQUIRED (INCLUDING MEZZANINE)	65,229 S.F.	1075 S.F. PER CAR = 61 SPACES
PARKING PROVIDED		93 SPACES
ACCESSIBLE SPACE	provided: 2 spaces	required: 1 PER 100 PARKING SPACES



**CONSULTANTS:**  
JHD DESIGN GROUP INC.  
TEL.: 604-574-3311  
FAX: 1-888-277-9554  
EMAIL: jhd@jhdgroup.com

**SURVEY:**  
OVERWATER LAND SURVEYING LTD.  
TEL.: 604-574-7311  
FAX: 604-574-3018  
EMAIL: jhon@overwater.ca

**LANDSCAPING:**  
JHD DESIGN GROUP INC.  
TEL.: 604-574-3311  
FAX: 1-888-277-9554  
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**CMV:**  
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Rev.	Date	Description
01	12-23-19	ISSUED FOR PERMITS
02	11-03-19	ISSUED FOR PERMITS
03	11-03-19	ISSUED FOR PERMITS
04	11-03-19	ISSUED FOR PERMITS
05	11-03-19	ISSUED FOR PERMITS
06	11-03-19	ISSUED FOR PERMITS
07	12-23-19	ISSUED FOR PERMITS

Drawing Title: **SITE PLAN AND PROJECT DATA**  
 Project Title: **USED INDUSTRIAL BUILDINGS**  
 201-0000 16000 Street  
 Surrey BC V4A 1G6  
 7914-0358-00 (A)