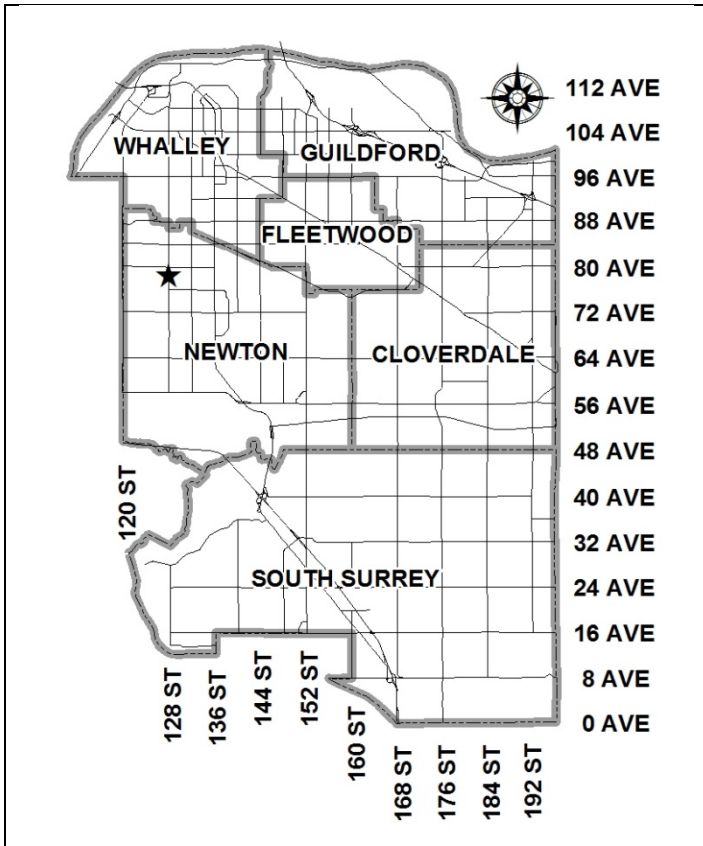


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0347-00

Planning Report Date: June 13, 2016



PROPOSAL:

- **Rezoning** from RA to CD (Based on IL)
- **Development Permit**
- **Development Variance Permit**

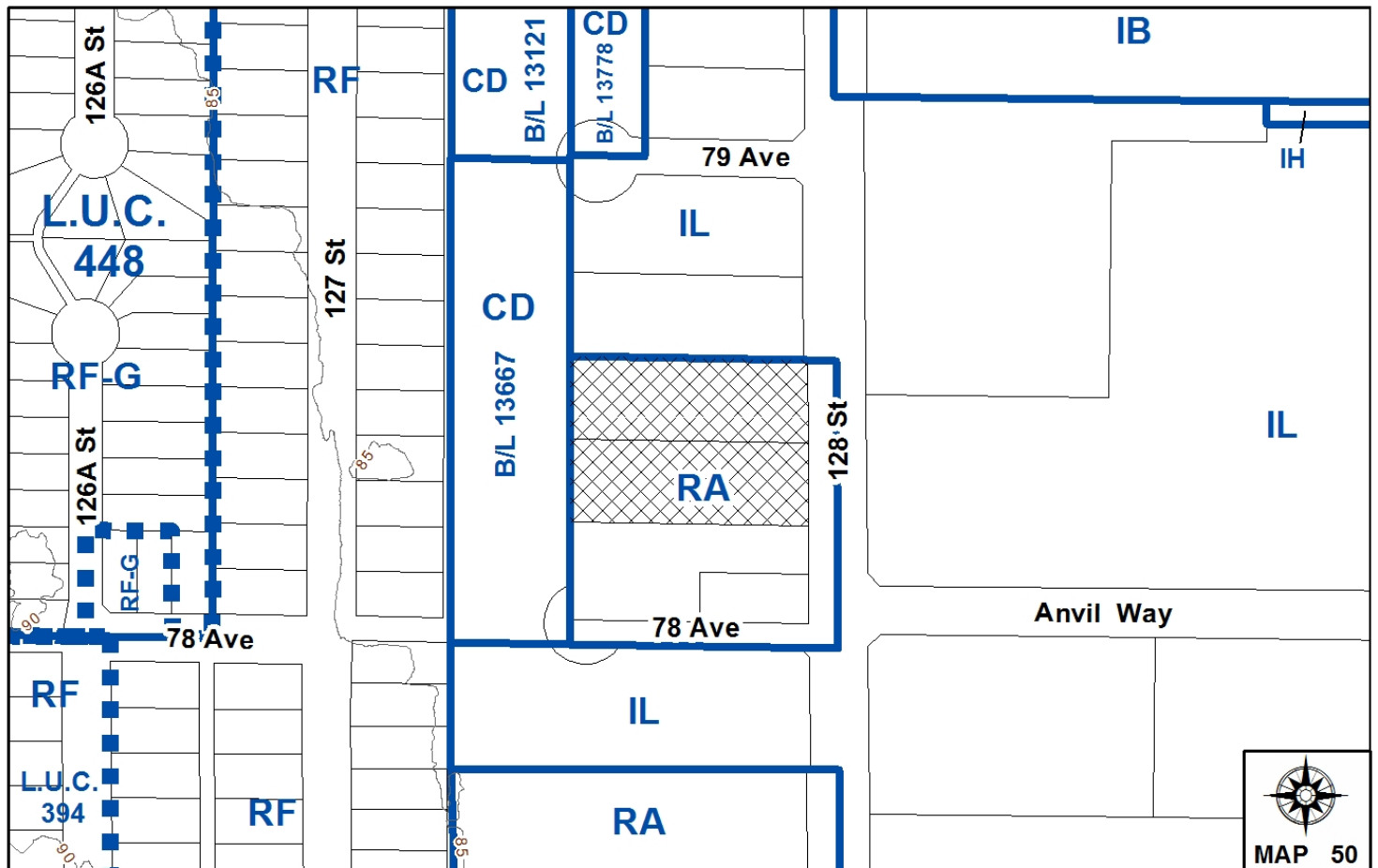
to permit the development of two multi-tenant industrial buildings.

LOCATION: 7825 - 128 Street
 7843 - 128 Street

OWNER: 646451 BC Ltd. et al

ZONING: RA

OCP DESIGNATION: Industrial



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning.
- Approval for Development Variance Permit to proceed to Public Notification.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to vary the Surrey Sign By-law in order to permit two (2) free-standing signs.

RATIONALE OF RECOMMENDATION

- The proposal complies with the “Industrial” designation in the Official Community Plan (OCP) and Employment Lands Strategy by preserving industrial designated properties for industrial land-uses.
- The proposed buildings will conform to the minimum requirements of the “Light Impact Industrial Zone” (IL) in terms of lot coverage, floor area ratio, building height and on-site parking.
- The proposed multi-tenant industrial buildings are considered attractive, well-designed and provide an appealing addition to 128 Street as well as establishes a high-standard for the form, design and character of future industrial buildings within this area of Newton.
- The variance of the Sign By-law is required to permit two free-standing signs within the front yard setback given that the businesses advertised on the free-standing sign are located within a building setback less than 5 metres (15 ft.) from the front lot line. The variance is supported given that the free-standing signs comply with the minimum setback requirement in the Sign By-law, there is no impact to sight lines for motorists exiting the property, and the signs appear similar to a free-standing sign that received support from Council as part of the previous development application (No. 7906-0483-00).

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone" (RA) to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7914-0347-00, including a comprehensive sign design package, generally in accordance with the attached drawings (Appendix II).
3. Council approve Development Variance Permit No. 7914-0347-00 (Appendix VI) varying the following to proceed to Public Notification:
 - (a) to permit two free-standing signs on 128 Street within the front yard setback that advertise businesses within a multi-tenant industrial building setback less than 5 metres (15 ft.) from the front lot line.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues, as discussed in this report, to the satisfaction of the Planning and Development Department;
 - (f) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
 - (h) registration of a reciprocal access easement between 7825 - 128 Street and 7843 - 128 Street along the shared lot line.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant parcels

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Multi-tenant industrial building	Industrial	IL
East (Across 128 Street):	Transportation industry and light impact industrial buildings	Industrial	IL
South:	Vacant parcel under application for a multi-tenant industrial building (File No. 7908-0135-00)	Industrial	RA
West:	Multi-tenant industrial building	Industrial	CD (By-Law 13667)

DEVELOPMENT CONSIDERATIONSBackground

- The subject properties are located north of 78 Avenue, west of 128 Street, and zoned “One-Acre Residential” (RA). The properties are designated “Industrial” in the Official Community Plan (OCP) and are currently vacant.
- The properties were previously under application for rezoning from “One-Acre Residential” (RA) to “Light Impact Industrial” (IL), a Development Permit (DP) and Development Variance Permit (DVP) in order to construct two multi-tenant industrial buildings (File No. 7906-0483-00). The application was subsequently closed and the rezoning by-law was filed by Council in October, 2013 due to inactivity.
- The adjacent properties (north and west) are similarly designated “Industrial” in the OCP and presently occupied by multi-tenant industrial buildings. The southerly properties (7803/7815 – 128 Street) are under application for rezoning to IL, a DP and DVP for a multi-tenant industrial building (File No. 7908-0135-00).

Current Proposal

- The applicant is proposing to rezone the subject properties from “One-Acre Residential” (RA) to “Comprehensive Development” (CD) based on the “Light Impact Industrial Zone” (IL) as well as a Development Permit (DP) to facilitate the development of two multi-tenant industrial buildings with roughly 3,471 square metres (37,362 sq. ft.) of floor space for light impact industrial uses.
- A Development Variance Permit (DVP) is also proposed to allow two free-standing signs in the front yard.
- No property consolidation is currently proposed. As such, the applicant is required to register a reciprocal access easement along the shared lot line thereby providing access to/from 128 Street.

Proposed CD By-law

- The proposed CD Zone (Appendix V) is based on the IL Zone. The primary differences between the two zones are summarized in the table below:

	IL Zone	CD Zone
Permitted Land-uses	Light impact industry Recycling depots Transportation industry Automotive service uses Automobile painting and body work Vehicle storage Industrial equipment rentals General service uses (limited) Warehouse uses Distribution centres Office uses (limited) Accessory uses as follows: <ul style="list-style-type: none"> - Coffee shops - Recreation facilities - Community services - Assembly halls - Child care centres - Dwelling unit - Sales of rebuilt vehicles (less than 5000 lbs. G.V.W.) 	All land-uses permitted in the IL Zone except the following: <ul style="list-style-type: none"> - Recycling depots - Automotive service uses - Automobile painting and body work - Vehicle storage
Setbacks	Front: 7.5 metres (25 ft.) Rear: 7.5 metres (25 ft.) Side: 7.5 metres (25 ft.) or one side yard may be 0 metres (0 ft.) if the adjacent property is commercial or industrial	Front: 2.8 metres (9 ft.) Rear: 7.5 metres (25 ft.) Side: 7.5 metres (25 ft.) or one side yard may be 0 metres (0 ft.) if the adjacent property is commercial or industrial

- The most significant differences between the proposed CD Zone and IL Zone are the permitted land-uses. The IL Zone allows a broad range of uses. The parking requirement is determined based on land-uses. For a multi-tenant industrial building, the site must accommodate parking for the range of land-uses that can be expected. The uses that are proposed have been selected taking into account the parking requirement.
- The proposed industrial buildings will conform to the Floor Area Ratio (FAR), lot coverage, maximum building height and on-site parking requirements identified within the IL Zone.
- The applicant has chosen to remove several land-uses with higher parking rates including automotive service, automobile painting and body work, recycling depots as well as vehicle storage from the proposed CD By-law in order to apply a lower parking rate of 1.8 stalls per 100 square metres (1,075 sq. ft.) of gross floor area to the entire building.
- Under the previous development application (No. 7906-0483-00), the applicant had proposed an on-site parking rate of 1.15 stalls per 100 square metre (1,075 sq. ft.) of gross floor area. For a proposed multi-tenant building where the end-user is unknown, staff generally require 2 stalls per 100 square metres (1,075 sq. ft.) of gross floor area to account for land-uses that may require a higher parking rate under the Zoning By-law. The applicant is proposing a parking rate of 1.8 per 100 square metres (1,075 sq. ft.) in order to account for more parking intensive uses on-site without compromising the building footprint.
- Other aspects of the CD By-law that differ from the IL Zone are included to reflect the specific details of the proposed site design.
- The setback provisions in the CD By-law reflect the proposed layout whereby the multi-tenant buildings are located at zero-lot-line along the southern boundary of 7825 – 128 Street (Building B) as well as northern boundary of 7843 – 128 Street (Building A). The applicant is also proposing a 2.8 metre (9 ft.) setback along the front (east) lot line. The proposed setbacks are reasonable as similar setbacks are proposed for the multi-tenant building on the southerly properties located at 7803/7815 – 128 Street (File No. 7908-0135-00) and, therefore, provides for greater consistency in the streetscape. It should also be noted that similar setbacks were supported under the previous application on the site (No. 7906-0483-00).

DESIGN PROPOSAL AND REVIEW

- The applicant is proposing to construct two multi-tenant industrial buildings oriented east-west on the site with a total floor area of 3,471 square metres (37,362 sq. ft.). The gross floor area of Building A is 1,759 square metres (18,934 sq. ft.) and for Building B is 1,712 square metres (18,428 sq. ft.).
- The proposed concrete tilt-up building is attractive, well-designed, provides an appealing addition along 128 Street and establishes a high-standard of design for future industrial buildings in the surrounding neighbourhood. The building materials include upper-storey spandrel panels and anodized aluminum framed double-glazed ground-floor windows, rollerdoors, concrete reveals with decorative flashing as well as anodized aluminum canopies along portions of the eastern, northern and southern building facades for weather protection.

- The proposed multi-tenant industrial buildings will consist of painted concrete tilt-up panels with weather protection canopies above the entry of each unit and concrete reveals to provide visual interest. In addition, the proposed buildings include strong corner elements in the form of vertical spandrel projections that wrap around the southeast corner of Building A as well as northeast corner of Building B.
- The proposed multi-tenant industrial buildings have been reviewed internally by City staff and are deemed generally acceptable in terms of form, design and character. However, staff will continue to work with the applicant to resolve the following urban design issues:
 - Provide a minimum 1.5 metre (5 ft.) wide landscape strip along 128 Street;
 - Identify an alternate location for the proposed B.C. Hydro kiosk away from 128 Street, and provide appropriate screening;
 - Provide 6 metres (20 ft.) of decorative paving at the driveway entrance on 128 Street;
 - Remove additional sign bands from the eastern and southern façades of Building A as well as eastern and northern elevations of Building B not permitted under the Sign By-law; and
 - Modify the southern façade of Building A and northern façade of Building B in order to: [1] increase the ground-floor window heights as well as reduce or eliminate the second-floor windows; or [2] reduce the overall building height. These changes are required to prevent future second-floor office space and/or mezzanine space in these multi-tenant buildings given the lack of available on-site parking to accommodate the construction of additional upper-storey floor space.

On-site Parking, Driveway Access and Pedestrian Circulation

- The subject property will obtain driveway access from 128 Street. However, access will also be provided along the west lot line through the dedication of an 8 metre (26 ft.) rear lane. This lane will facilitate connection with the adjacent properties located to the north and south (i.e. 7803, 7815, 7877 and 7881 – 128 Street).
- In-lieu of consolidating the subject properties, the applicant is required to register a 7 metre (23 ft.) wide reciprocal access easement between 7825 – 128 Street and 7843 – 128 Street along the shared lot line.
- Future driveway access will be restricted to right-in/right-out movement only on 128 Street.
- The applicant is proposing to provide 1.8 spaces per 100 square metres (1,075 sq. ft.) of gross floor area to account for any future parking demand generated by the more parking intensive land-uses allowed under the CD Zone (e.g. general service uses, office uses, childcare centres, recreation facilities, etc.). The higher parking ratio has been reviewed and accepted by the Engineering Department – Transportation Division.
- On-site parking and loading/unloading bays are provided in front of each unit. Only five (5) parking spaces are proposed on the eastern boundary of the subject properties, adjacent 128 Street, in order to create an attractive streetscape.
- Pedestrian circulation is provided through two continuous sidewalks that extend directly from 128 Street along the building façade westward toward the rear lane.

Signage

- The applicant is proposing two free-standing signs, one on each property, with a maximum height of 3.7 metres (12 ft.) which complies with the maximum height requirement of 6 metres (20 ft.) under the Sign By-law.
- The free-standing signs are 3 metres (10 ft.) wide and double-sided resulting in a total sign area of 16.8 square metres (181 sq. ft.) which is within the maximum sign area of 27.8 square metres (300 sq. ft.) permitted under the Sign By-law.
- The free-standing signs will each consist of a steel frame with metal cladding, back-lit aluminum framed sign box and cultured stone finishing located around the sign base.
- The applicant is proposing landscaping around the sign base to improve the overall appearance, in the form of low-lying shrubs and groundcover.
- The proposed fascia signage includes one fascia sign per premise frontage and complies with the maximum allowable combined sign area.
- The fascia signs will consist of individual channel letters with background illumination. The proposed fascia signage will be located directly above the windows and/or doorway entrances to individual units.

Proposed Landscaping

- The applicant is proposing a 1.5 metre (5 ft.) landscape buffer along 128 Street to separate the boulevard and eastern façade of the proposed buildings. Specifically, the applicant is proposing low-profile planting in the form of small shrubs as well as additional groundcover and several medium-sized trees.
- A total of fifteen (15) replacement trees are proposed consisting of a variety of species including Red Horse Chestnut, Red Sunset Maple, Cornelian Cherry Dogwood, Whitebarked Himalayan Birch and Amanogawa Cherry.
- The applicant is proposing to install decorative paving materials at the driveway entrance on 128 Street.
- A sliding gate and appropriately screened garbage enclosure are proposed along the rear lane.

PRE-NOTIFICATION

Pre-notification letters were mailed out on September 2, 2015 and, to date, staff have received no responses.

TREES

- Monica Ardiel, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject properties. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	28	28	0
Cottonwood			
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Paper Birch	1	1	0
Bigleaf Maple	1	1	0
English Oak	1	1	0
Coniferous Trees			
Western Red Cedar	7	7	0
Douglas Fir	3	3	0
Falsecypress	4	4	0
Grand Fir	1	1	0
Western Hemlock	2	2	0
Spruce	1	1	0
Total (excluding Alder and Cottonwood Trees)	21	21	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		15	
Total Retained and Replacement Trees		15	
Contribution to the Green City Fund		\$16,500	

- The Arborist Assessment states that there are a total of twenty-one (21) protected trees on the site, excluding Alder and Cottonwood trees. Twenty-eight (28) existing trees, approximately fifty-seven percent (57%) of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of future services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of seventy (70) replacement trees on the site. Since only fifteen (15) replacement trees are proposed on-site, the deficit of fifty-five [55] replacement trees will require a cash-in-lieu payment of \$16,500, representing \$300 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.

- In addition to the replacement trees, boulevard street trees will be planted on 128 Street. This will be determined by the Engineering Department during the servicing design review process.
- In summary, a total of fifteen replacement trees are proposed with a contribution of \$16,500 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The proposal complies with the site's "Industrial" designation in the OCP.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • N/A
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The development incorporates Low Impact Development Standards (LIDS) in the form of sediment control devices, absorbent soils, perforated pipe systems, permeable materials and rainwater detention. • The development includes provisions for recycling pick-up and/or organic waste disposal.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The applicant is proposing electric vehicle plug-ins and visible/secure all-weather bicycle parking facilities.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The proposal includes Crime Prevention Through Environmental Design (CPTED) elements such as security gates/doors along the perimeter of the multi-tenant buildings, ground-floor safety glass and large ground-floor windows along 128 Street as well as doors connected to fire alarm and/or intrusion protection systems with proper lighting and CCTV cameras. • A caretaker suite is provided on-site for additional security.
6. Green Certification (F1)	<ul style="list-style-type: none"> • The proposal is seeking third-party rated green standards under ASHRAE 90.1.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • The proposal includes additional sustainability features in the form of thermal insulation and high-quality windows.

ADVISORY DESIGN PANEL

The proposed multi-tenant buildings were not forwarded to the Advisory Design Panel (ADP) for comment but reviewed internally by City staff and deemed generally acceptable in terms of form, density and character.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To permit two (2) free-standing signs along 128 Street, one for each property of the subject site, within the front yard setback that advertise businesses located within a building setback less than 5 metres (15 ft.) from the front lot line.

Applicant's Reasons:

- The proposed multi-tenant buildings are setback roughly 2.8 metres (9 ft.) from 128 Street which is similar to the setbacks proposed for the multi-tenant building on the adjacent properties to the south located at 7803/7815 – 128 Street (Development Application No. 7908-0135-00) and, therefore, provide greater consistency in the streetscape.
- A similar front yard setback was previously proposed for two multi-tenant industrial buildings on-site under the previous application (No. 7906-0483-00).
- The free-standing signs are required to provide greater advertising exposure on 128 Street for tenants that lack exposure along the eastern façade of the proposed multi-tenant buildings.

Staff Comments:

- Under the Sign By-law, a free-standing sign is not permitted within the front yard setback if the businesses advertised on the free-standing sign are located within a building setback less than 5 metres (15 ft.) from the front lot line. As noted above, the proposed multi-tenant buildings are setback roughly 2.8 metres (9 ft.) from 128 Street. As such, the applicant requires a variance to this provision in the Sign By-law.
- The proposed free-standing signs will comply with the minimum 2 metre (6 ft.) setback from all lot lines, as per the Sign By-law.
- The Engineering Department has reviewed the proposed location of the free-standing signs and supports the requested variance as there will not be an impact to sight lines.
- A similar free-standing sign along 128 Street had received support from Council as part of the previous development application on the subject site (No. 7906-0483-00).
- The free-standing signs will assist passing motorists in locating the driveway entrance without compromising the landscaping proposed along the 128 Street frontage.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevation Drawings and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	Proposed CD By-law
Appendix VI.	Development Variance Permit No. 7914-0347-00

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by WG Architecture and JHL Design Group Inc., respectively, dated May, 2016 and April, 2016.

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

MRJ/dk

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3. Summary of Actions for City Clerk's Office

- (a) Introduce a By-law to rezone the site.
- (b) Proceed with Public Notification of Development Variance Permit No. 7914-0347-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance as well as execution by the Mayor and City Clerk in conjunction with the final adoption of the associated Rezoning By-law.

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (Based on IL)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total	N/A	Lot A = 3,332.3 m ² Lot B = 3,342.8 m ²
Road Widening area		
Undevelopable area		
Net Total	N/A	Lot A = 2,952.8 m ² Lot B = 2,963.3 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage	60%	Lot A = 56% Lot B = 53%
SETBACKS (in metres)		
Front	2.8 m.	2.8 m.
Rear	7.5 m.	7.5 m.
Side #1 (North)	7.5 m./o m.	Lot A = 0 m. Lot B = +7.5 m.
Side #2 (South)	7.5 m./o m.	Lot A = +7.5 m. Lot B = 0 m.
BUILDING HEIGHT (in metres/storeys)		
Principal	18 m.	10.46 m.
Accessory	N/A	
NUMBER OF RESIDENTIAL UNITS		
One Bedroom	N/A	1
Two Bedroom	N/A	1
Total	2	2
FLOOR AREA: Residential	N/A	Lot A = 119.94 m ² Lot B = 87.80 m ²
FLOOR AREA: Commercial	N/A	N/A
FLOOR AREA: Industrial	N/A	Lot A = 1,639.25 m ² Lot B = 1,624.03 m ²
FLOOR AREA: Institutional	N/A	N/A
TOTAL BUILDING FLOOR AREA		3471.02 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed	
DENSITY			
# of units/ha /# units/acre (gross)	N/A	N/A	
# of units/ha /# units/acre (net)	N/A	N/A	
FAR (gross)	N/A	N/A	
FAR (net)	1.0	Lot A = 0.60 Lot B = 0.55	
AMENITY SPACE (area in square metres)	N/A	N/A	
Indoor			
Outdoor			
PARKING (number of stalls)			
Commercial	N/A	N/A	
Industrial	Lot A = 17 spaces Lot B = 16 spaces	Lot A = 30 spaces Lot B = 29 spaces	
Residential One Bedroom	2 spaces	2 spaces	
Residential Two Bedroom	2 spaces	2 spaces	
Residential Visitors	N/A	N/A	
Institutional	N/A	N/A	
Total Number of Parking Spaces	37 spaces	63 spaces	
Number of disabled stalls	1 space	2 spaces	
Number of small cars	9 spaces	4 spaces	
Heritage Site	NO	Tree Survey/Assessment Provided	YES



STREETSCAPE
SCALE 1 :360

SUBJECT SITE



SUBJECT SITE

CONTEXT PLAN
SCALE 1 :1000

No:	Date:	Revision Details:
1	2016-05-26	Revision as per Planning Department comments

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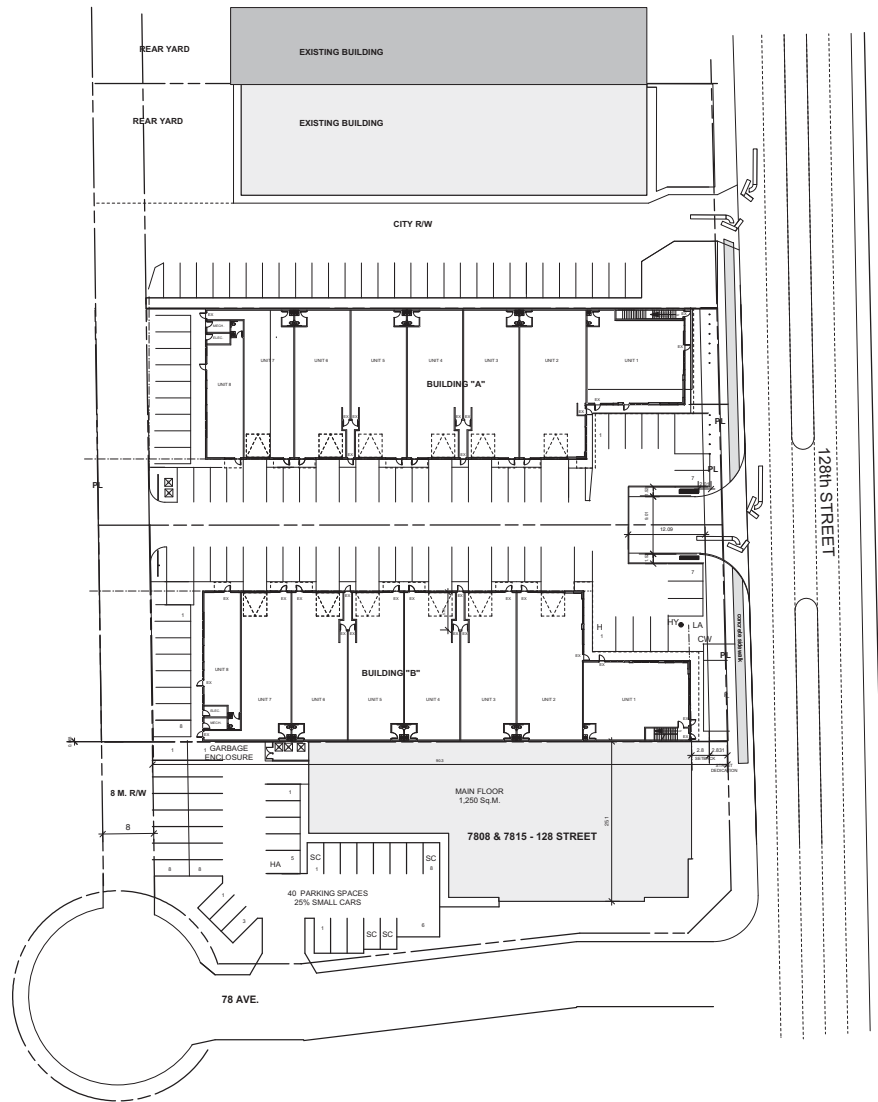
**WG
ARCHITECTURE
INC**
1030 - 470 GRANVILLE STREET
VANCOUVER, B.C. V6C 1V5
TEL: (604) 331 2378
FAX: (604) 683 7494

Project Title
INDUSTRIAL BUILDING
7843, 7825 128th ST.
SURREY, B.C.

Drawing Title
**STREETSCAPE
CONTEXT MAP**

Date: MAY, 2016
Scale: AS SHOWN
Drawn By: AM
Approved By: WG

Project Number: 1412
A02



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No:	Date:	Revision Details:
1	2016-05-06	Revision as per Planning Department comments



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 1030 - 470 GRANVILLE STREET
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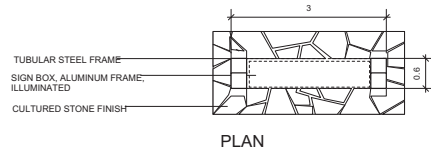
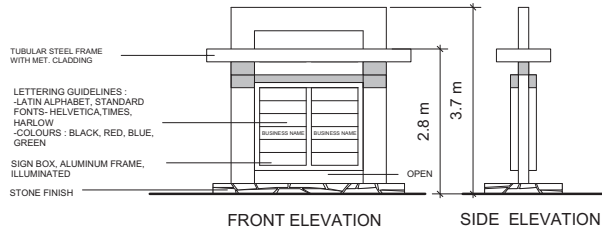
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INDUSTRIAL BUILDING
 7843, 7825 128th ST.
 SURREY, B.C.

Drawing Title:
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 Drawn By:
 AM
 Approved By:
 WG

Project Number:
 1412
A03

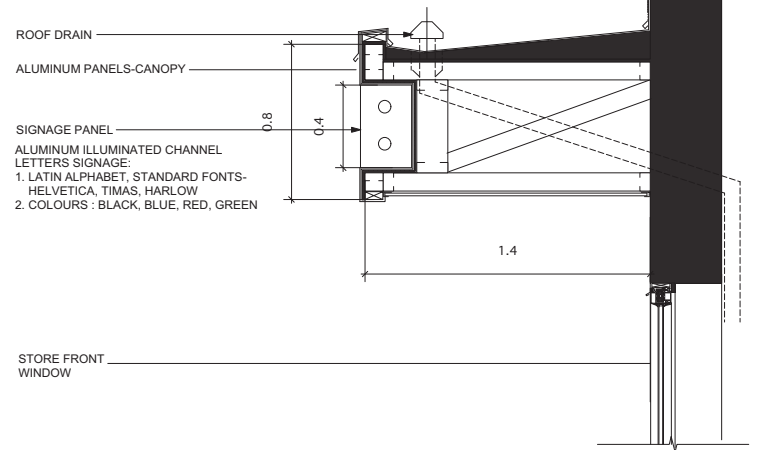
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1 FREESTANDING SIGNS FACING 128 ST.
A11 SCALE 1/4" = 1'0" AREA: 145.00 SF



WALL MOUNTED LIGHT FIXTURE



2 CANOPY CROSS SECTION
A11 SCALE: 1" = 1'-0"



VERTICAL SIGN FOR DISABLED PARKING SPACE

No.	Date:	Revision Details:
1	2016-05-05	Revision as per Planning Department comments



WG ARCHITECTURE INC
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Project Title:
INDUSTRIAL BUILDING
7843, 7825 128th ST.
SURREY, B.C.

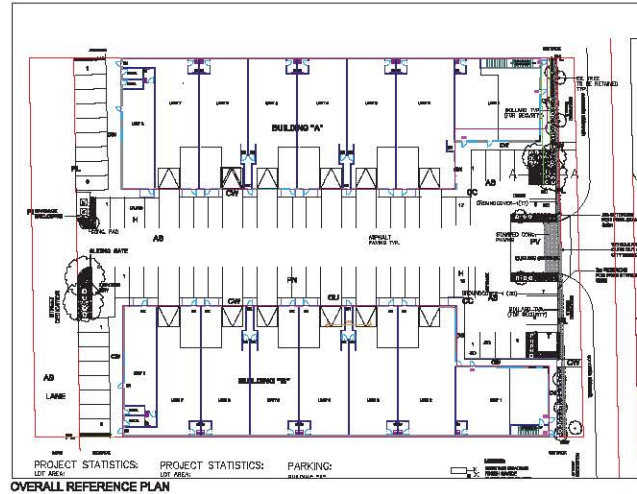
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SITE DETAILS

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Drawn By:	AM		
Approved By:	WG		

016 - 2016 - May 6
Drawing Title: SITE DETAILS - A11

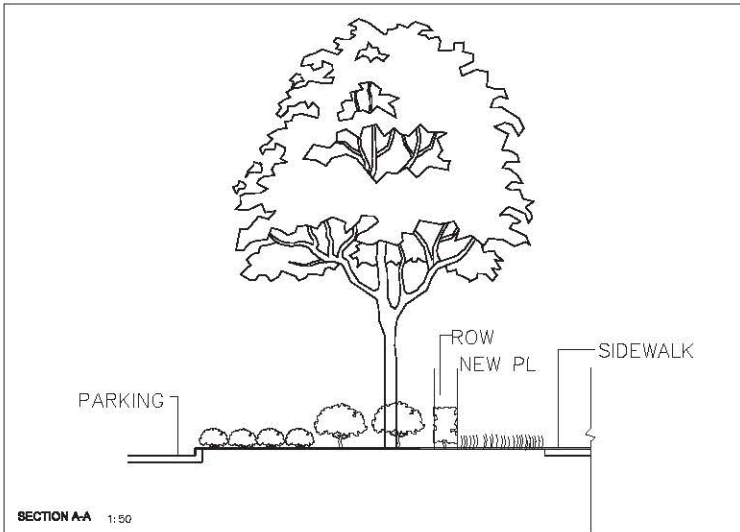
Quantity	Symbols	Botanical Name	Common Name	Size	Spacing
Trees					
1	A	Aesculus x Camia Britoli	Red Horse Chestnut	60cm cal B&B	as shown
1	B	Acer rubrum 'Red Sunset'	Red Sunset Maple	60cm cal B&B	as shown
1	C	Prunus serrulata 'Ama-nogawa'	Amanogawa Cherry	50cm cal B&B	as shown
1	D	Betula jacquemontii	Whitebarked Himalayan Birch	60cm cal B&B	as shown
2	E	Cornus mas	Cornelian Cherry Dogwood	50cm cal B&B	as shown
Shrubs & Others					
11	a	Azalea japonica 'Damen Lachs'	Azalea	#1 pot	as shown
35	b	Erica x darleyensis 'Mediterranean Pix'	Mediterranean Pix Heather	#1 pot	as shown
80	c	Buxus microphylla 'Winter Gem'	Asian Boxwood	#2 pot	as shown
0	d	Euonymus japonica 'Silver Queen'	Silver Queen Euonymus	#2 pot	as shown
0	e	Pieris japonica 'Variegata'	Pieris	#2 pot	as shown
3	f	Polystichum munifolium	Western Sword Fern	#2 pot	as shown
0	g	Cornus sericea 'Flaviramea'	Yellowing Dogwood	#2 pot	as shown
5	h	Cornus sericea	Redwing Dogwood	#2 pot	as shown
6	i	Rhododendron 'Mary Fleming'	Rhododendron	#2 pot	as shown
14	j	Rhododendron 'Cunningham White'	Rhododendron	#2 pot	as shown
31	k	Rose 'ugosa Alba'	Rose	#2 pot	as shown
0	l	Mahonia aquifolium 'Compact'	Dwarf Oregon Grape	#2 pot	as shown
26	m	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	4 high	as shown
0	n	Rosa 'mildredae' 'Carefree Delight'	Mildred Rose	#2 pot	as shown
64	o	Festuca glauca 'Blue Glow'	Blue Glow B or Fescue	#1 pot	as shown
8	p	Helictotrichon sempervirens	Blue Oat Grass	#1 pot	as shown
37	q	Carex morrowii 'Aureovariegata'	Vari striped Sedge	#1 pot	as shown
0	r	Iris sibirica 'Flight of Butterflies'	Siberian Iris	#1 pot	as shown
2	s	Parthenocissus quinquefolia	Virginia Creeper	#1 pot	as shown
47	t	Antennaria dioica var. arifolia	Vancouver Jade	10cm pot	12" o.c.
0	u	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	#2 pot	as shown

Notes:
15 replacement trees proposed
70 replacement trees required



NOTES:

- Maintain min. 2% slope away from building.
- All plants and landscape installation to conform to BCSLA Landscape Standards Latest Edition.
- All growing medium to be tested by PSAL (804-273-8226) and amended accordingly if necessary, and to be tested again at Substantial Completion.
- Minimum planting medium depths:
 lawn-6"/150mm, 9" on slab
 groundcover &
 shrubs-18"/450mm, min 18" on slab
 trees-12"/300mm, all around the rootball, 24" small trees on slab,
 30" medium sized trees on slab
 For detailed info see specifications
- Growing medium shall conform to Level 1 Low Traffic Lawn Area, Trees and Large Shrubs (2L/ Table 6-3, 2012 BCLNA Standards)
- All plant material shall meet minimum size requirements as indicated in plant list.
- Trees planted in lawn areas to have 1 m dia. mulched ring.
- Make sure twine around rootballs to be cut and removed to prevent girdling.
- All proposed trees should be planted min. 3 m away from building foundation or face of buildings or retaining walls.
- Install min. 2" of composted bark mulch on all shrub beds after planting and rake smooth. Mulch to be "9.5mm screened composted bark mulch".
- Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the Phytophthora ramorum virus (Sudden Oak Death).
- Contractor to report any discrepancies in plant numbers immediately to Landscape Architect.
- All on-site landscape to be irrigated with an automatic irrigation system.



Landscaping Cost Estimate			
Address of Project Site:		City of File No.	
Industrial Development, 7825-7845, 128 Street Surrey, BC		Date: April, 2016	
	Approximate Quantity	Unit Price	Total Price
1 Earthwork			
(a) Grading (lump sum)			\$750
(b) Topsoil (in cost per m ³)	118m ³	\$24/m ³	\$2,832
2 Decorative Paving (stamped conc.)	28m ²	\$90/m ²	\$2,520
3 Bollards	33	\$200/each	\$6,600
4 Garbage Enclosure	1	\$6,000	\$6,000
5 Plant Material (stamped)			
a) Trees			
6 cm cal	3	\$275/(labour incl.)	\$825
8 cm cal	12	\$250/(labour incl.)	\$3,000
b) Shrubs & Others			
hedge 4' high	26	\$45.00/(labour incl.)	\$1,170
#3 Pot	5	\$24.00/(labour incl.)	\$120
#2 pot	136	\$16.00/(labour incl.)	\$2,176
#1 pot	155	\$8.50 (labour incl.)	\$1,318
10cm pot	47	\$5.50 (labour incl.)	\$259
sub-total			\$27,569
10% Contingency			\$2,757
Total			\$30,326
GST 5%			\$1,516
Grand Total			\$31,842.00

LEGEND:	
	EXISTING GRADING
	FINISH GRADE
	SURFACE DRAINAGE
	CATCH BASIN
	HANDICAPPED PARKING SPACE
	ASPHALT PAVING
	CONCRETE CROSSING
	PAINTED LINE WHITE ON ASPHALT
	6" CONCRETE CURB
	LANDSCAPE AREA
	GARBAGE ENCLOSURE
	RECYCLING ENCLOSURE
	BICYCLE PARKING
	PROJECT SIGN
	CONCRETE WALKWAY
	SMALL CAR
	LAMP STANDARD
	TRANSFORMER
	HYDRANT
	FIRE DEPARTMENT CONNECTION
	SITY RIGHT-OF-WAY

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DATE	REVISIONS
April, 16	DP Submission

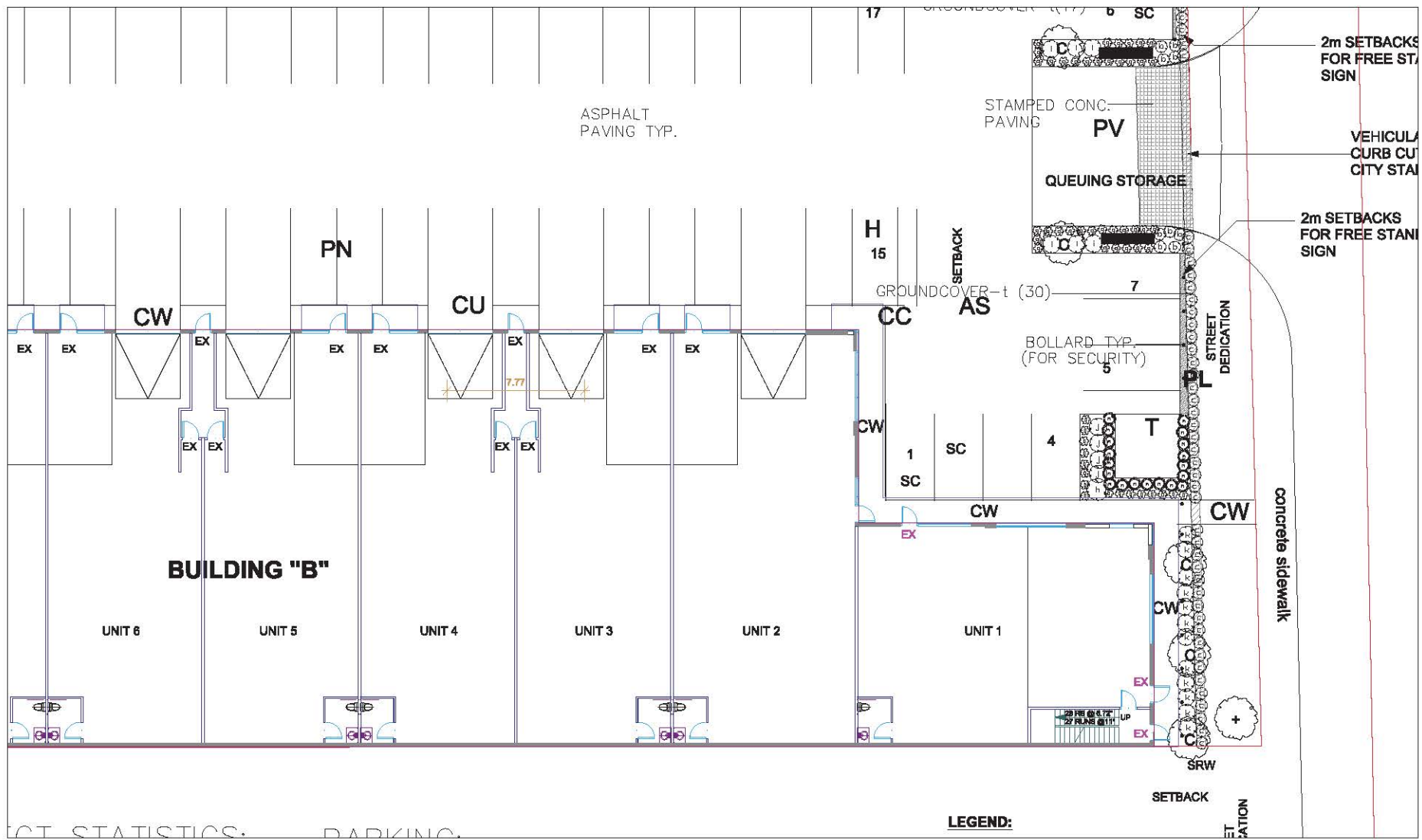


JHL Design Group Inc.
 Landscape Architecture + Urban Design
 4370, Maple Street, Vancouver, BC
 Tel: 604-263-8813
 Fax: 1-866-277-9554
 Email: jhl@jhlgroup.ca

SCALE: 1:50
 DATE: April, 16
 DRAWN: JL
 JOB NO.:

PROJECT TITLE: **Proposed Industrial Development**
7825-7845, 128 Street
Surrey, BC
 DRAWING TITLE: **PLANT LIST/ NOTES/ SECTION OVERALL REFERENCE PLAN**

L-1



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DATE	REVISIONS
April, 16	DP Submission



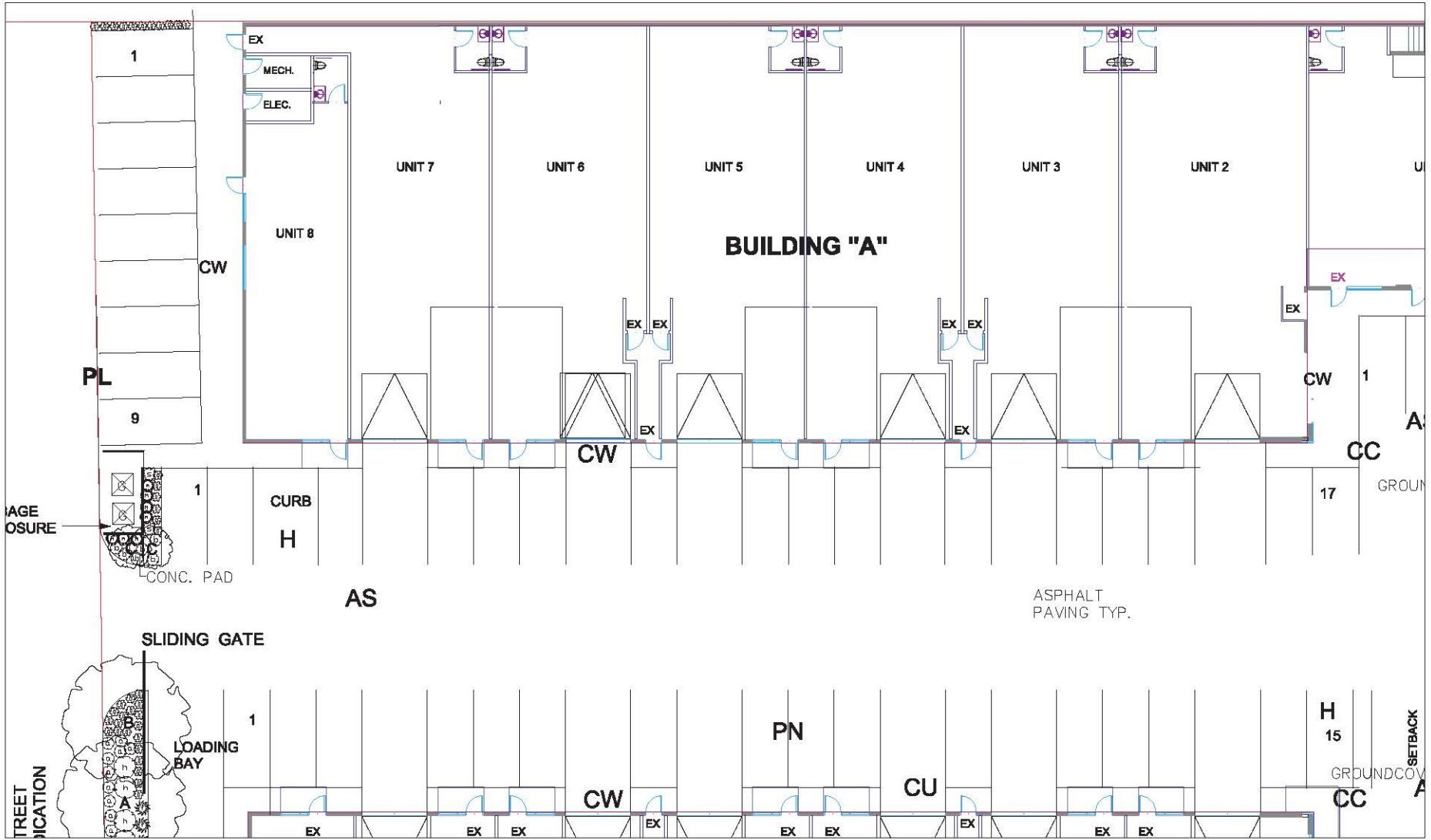
JHL Design Group Inc.
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 Fax: 1-866-277-9254
 Email: jhl@jhlgroup.com

SCALE	1:100
DATE	April, 16
DRAWN	JL
JOB NO.	

PROJECT TITLE
Proposed Industrial Development
 7825-7845, 128 Street
 Surrey, BC

DRAWING TITLE
LANDSCAPE PLAN/ PLANTING DESIGN

L-3



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DATE	REVISIONS
April, 16	DP Submission

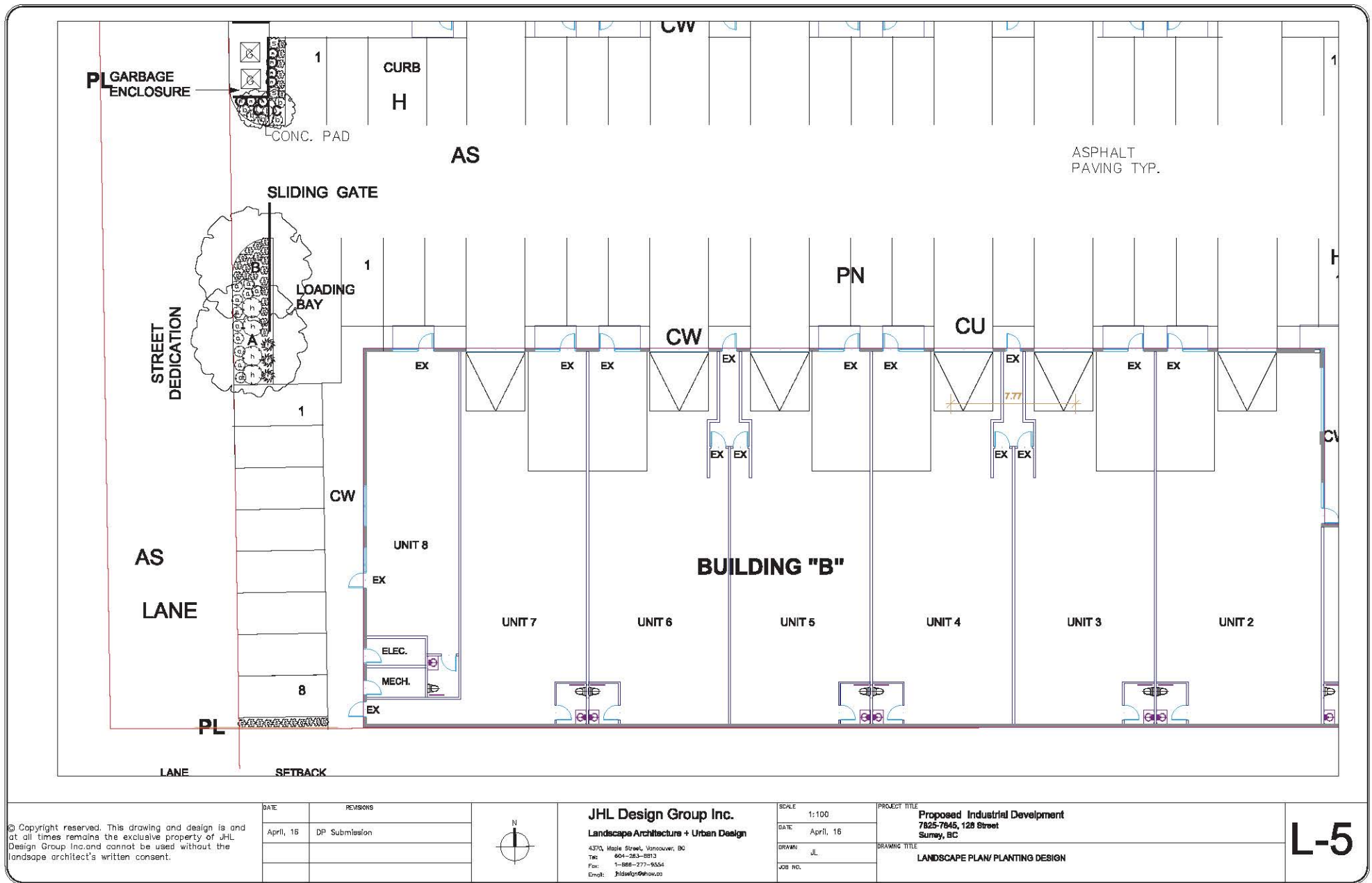


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SCALE	1:100
DATE	April, 16
DRAWN	JL
JOB NO.	

PROJECT TITLE	Proposed Industrial Development 7825-7845, 128 Street Surrey, BC
DRAWING TITLE	LANDSCAPE PLAN/ PLANTING DESIGN

L-4



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DATE	REVISIONS
April, 16	DP Submission

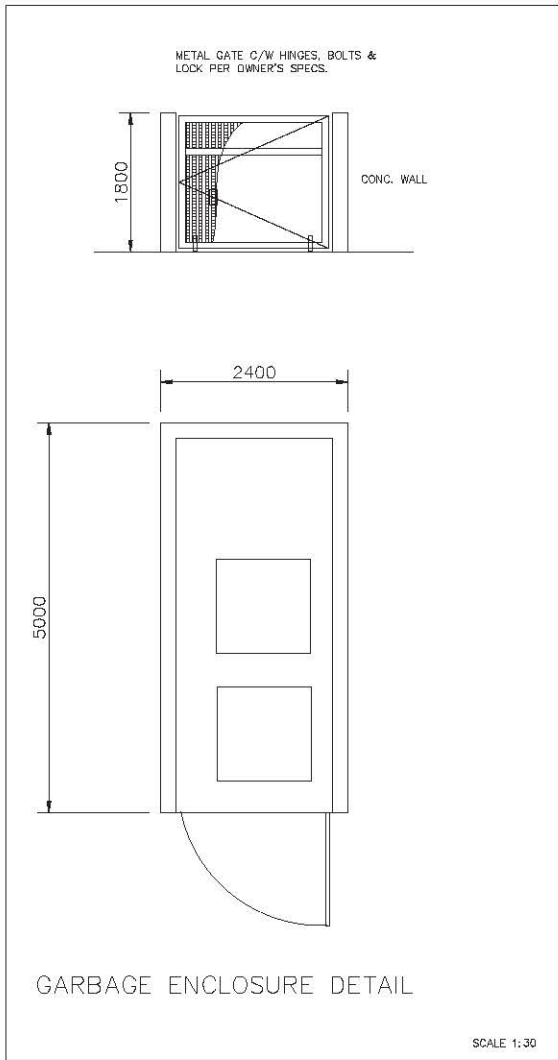


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 Email: jhl@jhl.com

SCALE	1:100
DATE	April, 16
DRAWN	JL
JOB NO.	

PROJECT TITLE	Proposed Industrial Development 7825-7845, 128 Street Surrey, BC
DRAWING TITLE	LANDSCAPE PLAN/ PLANTING DESIGN

L-5



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DATE	REVISIONS
April, 16	DP Submission



JHL Design Group Inc.
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 Tel: 1-866-277-8554
 Fax: 604-263-4013
 Email: jhl@jhlgroup.ca

SCALE	1:150
DATE	April, 16
DRAWN	JL
JOB NO.	

PROJECT TITLE	Proposed Industrial Development 7825-7845, 128 Street Surrey, BC
DRAWING TITLE	DETAILS

L-6

TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department

FROM: Development Services Manager, Engineering Department

DATE: June 7, 2016 **PROJECT FILE:** 7814-0347-00

RE: Engineering Requirements (Industrial)
Location: 7825/7843- 128 Street

REZONE

Property and Statutory Right-of-Way Requirements

- provide 3.14 metre arterial road dedication for 128 Street, together with adjacent 0.5 metre statutory right-of-way;
- dedicate 8.0 metres for an industrial standard lane; and
- acquire a minimum 5.0 metre wide off-site statutory right-of-way for storm sewer.

Works and Services

- extend storm sewer to the site from 78 Avenue, within an off-site statutory right-of-way;
- provide on-site stormwater management features in accordance with the area's Integrated Stormwater Management Plan; and
- construct a lane to industrial standard within the limits of the site.

A Servicing Agreement is required as condition of Rezone.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Rémi Dubé, P.Eng.
Development Services Manager

KMH

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 14-0347-00

Address: 7843 / 7825 - 128 Street, Surrey, BC

Registered Arborist: Monica Ardiel, ISA Certified Arborist PN - 7291A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	49
Protected Trees to be Removed	49
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 28 X one (1) = 28 - All other Trees Requiring 2 to 1 Replacement Ratio 21 X two (2) = 42 	70
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 	NA
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist:

Date: April 24, 2015



CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)
 TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 009-907-874
 Lot 2 Except: Part Dedicated Road On Plan LMP42367; Section 19 Township 2 New Westminster District Plan 14232

7825 - 128 Street

Parcel Identifier: 009-907-904
 Lot 3 Except: Part Dedicated Road On Plan LMP42388 Section 19 Township 2 New Westminster District Plan 14232

7843 - 128 Street

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of light impact industry, warehouse uses, distribution centres and limited office and service uses.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Light impact industry.*
2. *Transportation industry.*
3. *Industrial equipment rentals.*
4. *General service uses* limited to the following:
 - (a) Driving schools;
 - (b) Taxi dispatch offices;
 - (c) Industrial first aid training; and
 - (d) Trade schools.
5. *Warehouse uses.*
6. *Distribution centres.*
7. *Office uses* limited to the following:
 - (a) Architectural and landscape architectural offices;
 - (b) Engineering and surveying offices;
 - (c) General contractor offices;
 - (d) Government offices; and
 - (e) Utility company offices.
8. *Accessory uses* including the following:
 - (a) *Coffee shops* provided that the seating capacity shall not exceed 35 and the said *coffee shop* is not licensed by the *Liquor Control and Licensing Act*, R.S.B.C. 1996, c. 267, as amended.
 - (b) *Recreation facilities*, excluding go-kart operations, drag racing and rifle ranges;
 - (c) *Community services*;

- (d) *Assembly halls* limited to *churches*, provided that:
 - i. The *church* does not exceed a total floor area of 700 square metres [7,500 sq. ft.];
 - ii. The *church* accommodates a maximum of 300 seats; and
 - iii. There is not more than one *church* on the *Lands*.
- (e) *Child care centres*; and
- (f) *Dwelling unit* provided that the *dwelling unit* is:
 - i. Contained within the *principal building*;
 - ii. Occupied by the owner or a caretaker, for the protection of the businesses permitted;
 - iii. Restricted to a maximum of one dwelling unit in each *principal building*; and
 - iv. Restricted to a maximum floor area of 140 square metres [1,500 sq. ft.] for each *dwelling unit*.

C. Lot Area

Not applicable to this Zone.

D. Density

The *floor area ratio* shall not exceed 1.0.

E. Lot Coverage

The *lot coverage* shall not exceed 60%.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum setbacks:

Use	Setback	Front Yard [East]	Rear Yard [West]	Side Yard [North and South]
	<i>Principal Buildings and Accessory Buildings and Structures</i>		2.8 m. [9.2 ft.]	7.5 m. [25 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

*One *side yard setback* may be reduced to 0.0 metre.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings:* The *building height* shall not exceed 18 metres [60 ft.].
2. *Accessory buildings and structures:* The *building height* shall not exceed 6 metres [20 ft.].

H. Off-Street Parking

1. Refer to Table C.1 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. *Tandem parking* may be permitted for company fleet *vehicles*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.

4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping screen*, a solid decorative fence, or a combination thereof.
5. Open display and storage shall be completely screened to a height of at least 2.5 metres [8 ft.] by *buildings* and/or solid decorative fencing and/or substantial *landscaping strips* of not less than 2.5 metres [8 ft.] in height and not less than 1.5 metres [5 ft.] in width. No display or storage of material shall be piled up to a height of 2.5 metres [8 ft.] within 5 metres [16 ft.] of the said screen and in no case shall these materials be piled up to the height of more than 3.5 metres [12 ft.].

J. Special Regulations

1. The Lands and *structures* shall be used for the uses permitted in this Zone only if such uses:
 - (a) Constitute no unusual fire, explosion, or safety hazard;
 - (b) Do not emit noise in excess of 70 dB measured at any point on any boundary of the *lot* on which the use is located; and
 - (c) Do not produce heat or glare perceptible from any *lot line* of the *lot* on which the use is located.
2. Outdoor storage of any goods, materials or supplies is specifically prohibited between the front of the *principal building* and the *highway*.
3. *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
2,924 sq. m. [0.72 acre]	34 metres [111 ft.]	86 metres [282 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the IL Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2014, No. 18148, as may be amended or replaced from time to time, and the development cost charges shall be based on the IL Zone.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20 .

PASSED SECOND READING on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

PASSED THIRD READING on the _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

MAYOR

CLERK

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M 6/8/16 10:39 AM

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7914-0347-00

Issued To: 646451 B.C. LTD.
("the Owner")

Address of Owner: 12729 – 70 Avenue
Surrey, B.C. V3W 0V4

Issued To: ALDERBROOK VENTURES LTD.
525448 B.C. LTD.
576624 B.C. LTD.
PAPA RONI'S PIZZA & CHICKEN LTD.
("the Owner")

Address of Owner: 13649 – 56 Avenue
Surrey, B.C. V3X 2Z7

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 009-907-874

Lot 2 Except: Part Dedicated Road on Plan LMP42367; Section 19 Township 2 New Westminster District Plan 14232

7825 – 128 Street

Parcel Identifier: 009-907-904

Lot 3 Except: Part Dedicated Road on Plan LMP42388 Section 19 Township 2 New Westminster District Plan 14232

7843 – 128 Street

(the "Land")

3. Surrey Sign By-law, 1999, No. 13656, as amended is varied as follows:
 - (a) In Part 5 “Signs in Commercial/Industrial Zones”, Section 27, Sub-section (1)(b) to permit a free-standing sign within the front (east) yard setback for a multi-tenant building whose setback adjacent to 128 Street is less than 5 metres (16 ft.).
4. This development variance permit applies to only the free-standing signs on 128 Street shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

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No.	Date	Revision Details
1	10/10/2016	PROPOSED EASEMENT

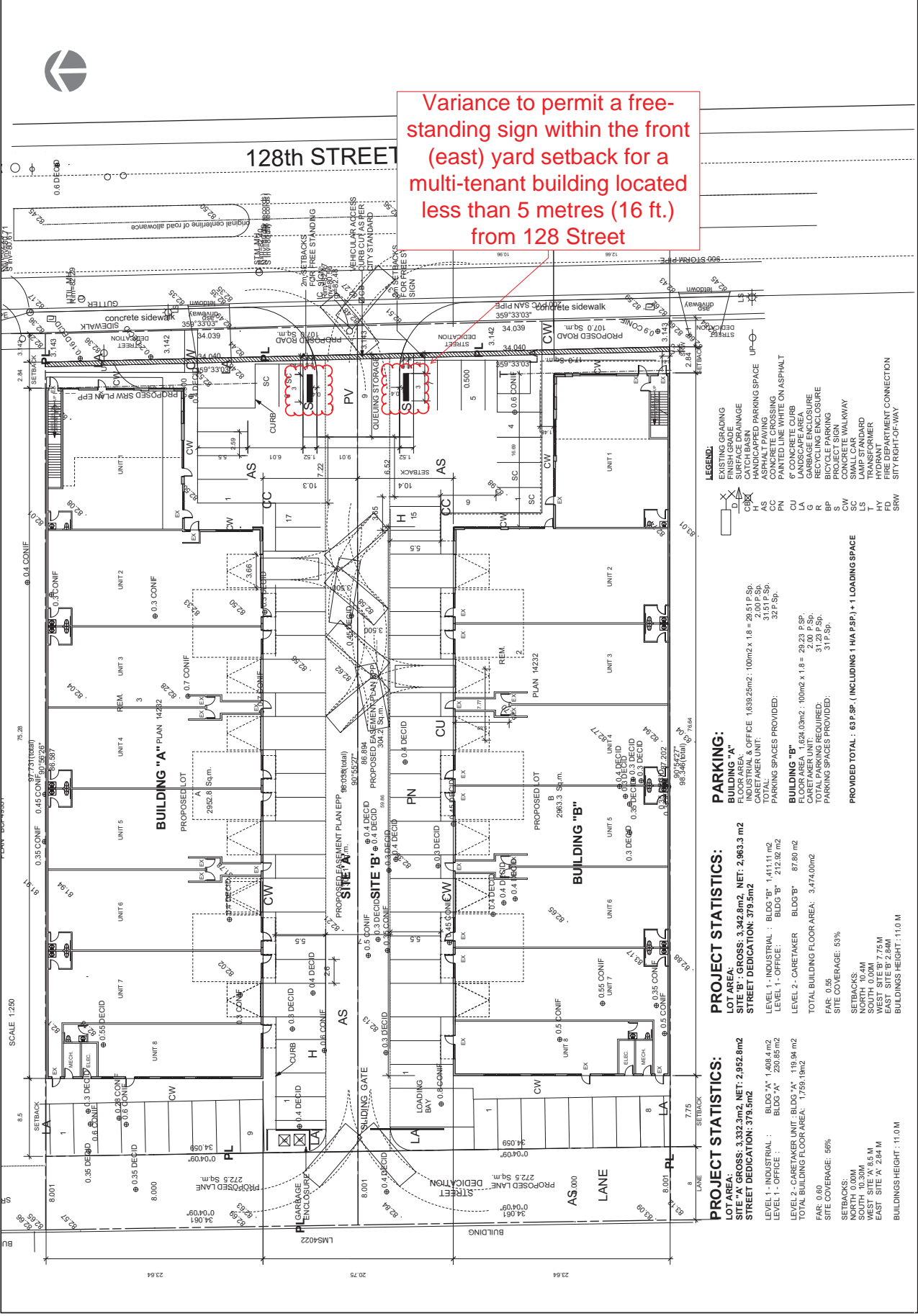


W G ARCHITECTURE INC
 1030 - 470 GRANVILLE STREET
 VANCOUVER B.C. V6C 1V5
 TEL: (604) 331 2378
 FAX: (604) 883 7484

Project Title:
INDUSTRIAL BUILDING
7843, 7825 128TH ST.
 SURREY, BC

Drawing Title:
SITE PLAN

Project Number:	1412
Date:	May, 2016
Scale:	1/1" = 1' - 0"
Drawn By:	VA, NC
Approved By:	W.G.



Variance to permit a free-standing sign within the front (east) yard setback for a multi-tenant building located less than 5 metres (16 ft.) from 128 Street

- LEGEND:**
- EXISTING GRADING
 - FINISH GRADE
 - SURFACE DRAINAGE
 - CONCRETE CURB
 - HANDICAPPED PARKING SPACE
 - ASPHALT PAVING
 - CONCRETE CROSSING
 - CONCRETE CURB
 - CONCRETE CURB ON ASPHALT
 - LANDSCAPE AREA
 - GARAGE ENCLOSURE
 - RECYCLING ENCLOSURE
 - PROJECT SIGN
 - CONCRETE WALKWAY
 - SMALL SIGN STAND
 - TRANSFORMER
 - HYDRANT
 - PIPE ENCLOSURE
 - PIPE ENCLOSURE CONNECTION
 - SIT RIGHT-OF-WAY

PARKING:

BUILDING "A"	FLOOR AREA: 1,624.03m ²	100m ² x 1.8 = 29.23 P.Sp.
BUILDING "B"	FLOOR AREA: 1,411.11m ²	100m ² x 1.8 = 25.40 P.Sp.
CARETAKER UNIT:	FLOOR AREA: 200.85m ²	2.00 P.Sp.
TOTAL:		31.51 P.Sp.
PROVIDED:		32 P.Sp.

PROVIDED TOTAL: 63 P.SP. (INCLUDING 1 HA P.SP.) + 1 LOADING SPACE

PROJECT STATISTICS:

LOT AREA:	3,342.8m ²
SITE "A" GROSS:	3,342.8m ² , NET: 2,963.3m ²
STREET DEDICATION:	379.5m ²
LEVEL 1 - INDUSTRIAL:	BLDG "A": 1,411.11m ²
LEVEL 1 - OFFICE:	BLDG "B": 212.92m ²
LEVEL 2 - CARETAKER:	BLDG "B": 87.80m ²
TOTAL BUILDING FLOOR AREA:	3,474.00m ²
FAR:	0.55
SITE COVERAGE:	59%

PROJECT STATISTICS:

LOT AREA:	3,342.8m ²
SITE "A" GROSS:	3,342.8m ² , NET: 2,963.3m ²
STREET DEDICATION:	379.5m ²
LEVEL 1 - INDUSTRIAL:	BLDG "A": 1,411.11m ²
LEVEL 1 - OFFICE:	BLDG "B": 212.92m ²
LEVEL 2 - CARETAKER:	BLDG "B": 87.80m ²
TOTAL BUILDING FLOOR AREA:	3,474.00m ²
FAR:	0.55
SITE COVERAGE:	59%