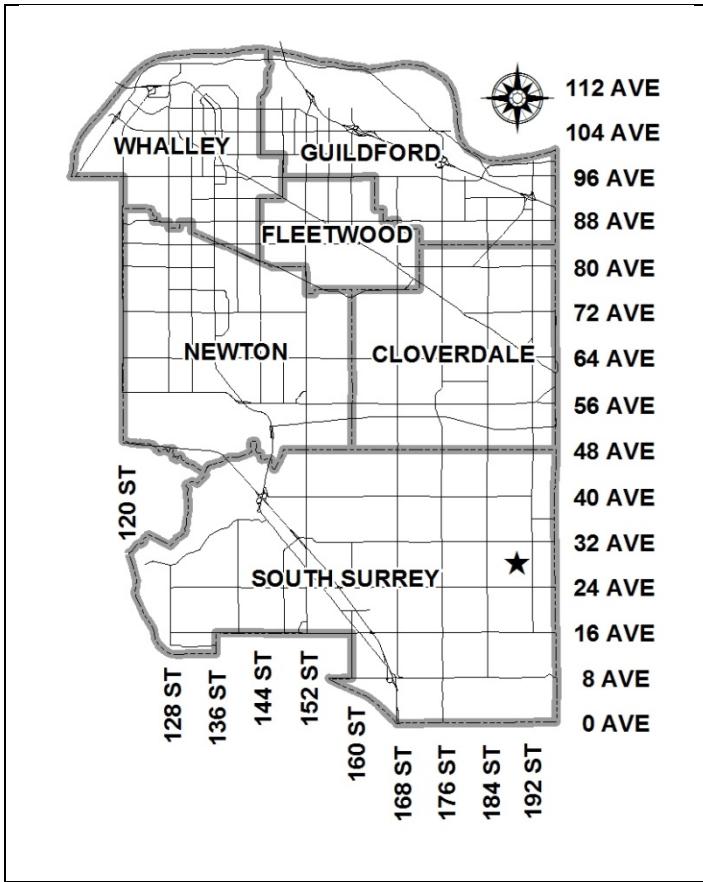


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0337-00

Planning Report Date: May 25, 2015



PROPOSAL:

- **Rezoning** from A-1 to IB-3
- **Development Permit**

to permit the development of a 19,895 m² (214,155 ft²) warehouse/light manufacturing facility.

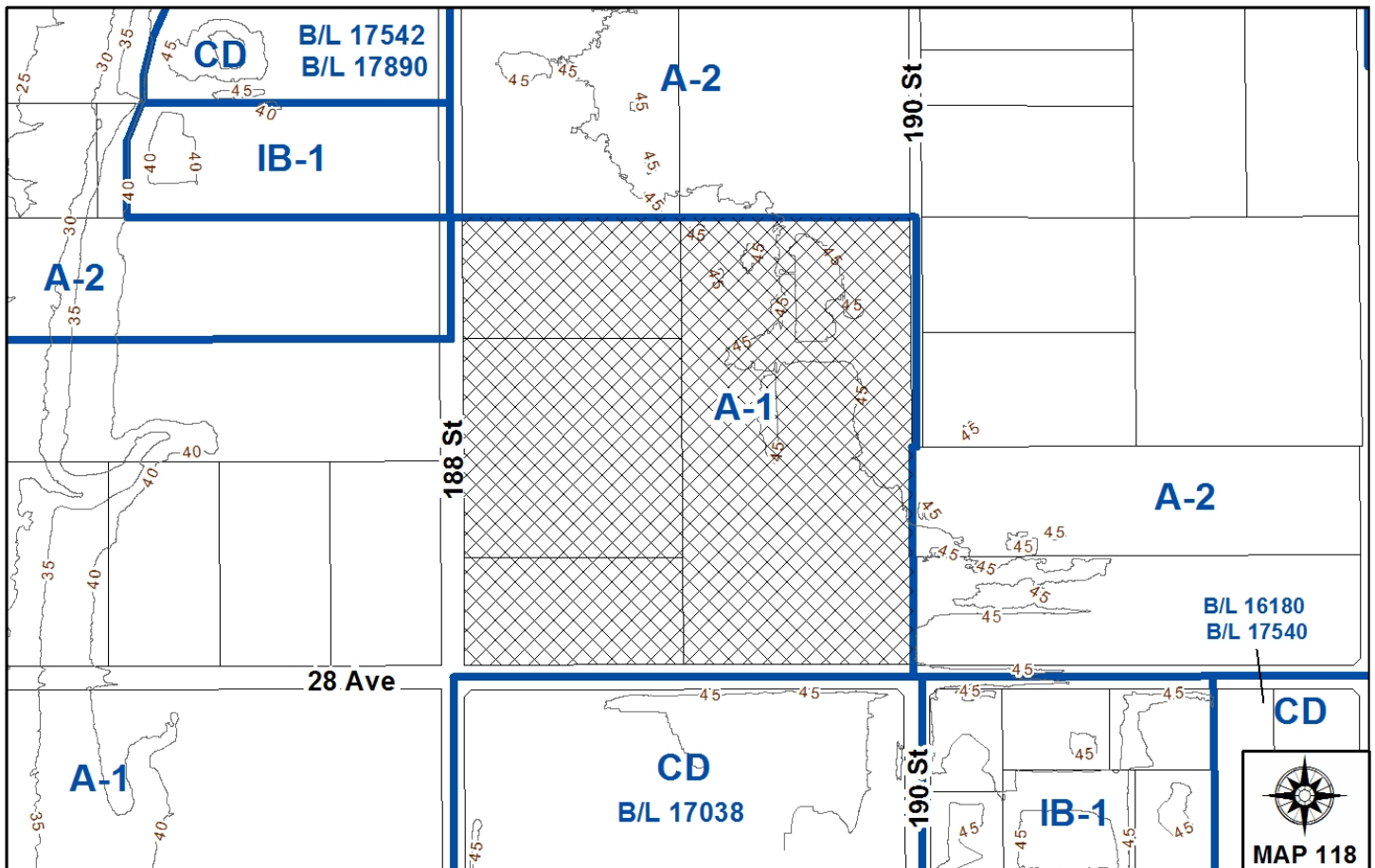
LOCATION: 2910, 2970, and 2830 - 188 Street
 2969 - 190 Street

OWNER: Fir Ridge Holdings Inc.
 Ronald. L Heppell
 Sandra L Heppell

ZONING: A-1

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park/Business Park (Office)



RECOMMENDATION SUMMARY

- By-law Introductions and set date for Public Hearing.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None

RATIONALE OF RECOMMENDATION

- The proposal complies with the Official Community Plan (OCP) and the Campbell Heights Local Area Plan (LAP) and is consistent with the established land use patterns in the Campbell Heights area.
- The form and character of the proposed light warehouse and distribution facility meets the intent of the Campbell Heights Development Design Guidelines.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "General Agricultural Zone (A-1)" to "Business Park 3 Zone (IB-3)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7914-0337-00 generally in accordance with the attached drawings (Appendix II).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
 - (g) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.

REFERRALS

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
- Surrey Fire Department: The City of Surrey Bylaw No. 15740 for Public Safety E- Comm Radio Amplification applies to this building.

SITE CHARACTERISTICS

Existing Land Use: Agricultural uses, including a large scale commercial greenhouse operation, and three single family residences.

Adjacent Area:

Direction	Existing Use	OCP/LAP Designation	Existing Zone
North (Across future 30 Avenue):	Some agricultural and greenhouse operations. 3052 - 188 Street is under development application 7914-0316-00 to permit an extension to the cold storage facility at 3188 - 188 Street.	Mixed Employment/ Business Park	A-2
East (Across future 90 Street):	Various agricultural uses, greenhouse operations	Mixed Employment/ Business Park/Business Park (Office)	A-2
South (Across 28 Avenue):	Loblaws cold storage warehouse	Mixed Employment/ Technology Park or Business Park	CD By-law No. 17038
West (Across 188 Street):	City Park, Agricultural Uses	Mixed Employment/ Open Space Corridors /Buffers/Business Park	A-1, A-2

DEVELOPMENT CONSIDERATIONSBackground

- The development site is comprised of four properties: 2910, 2970 and 2830 188 Street and 2969 190 Street. The site is bound by 188 Street to the west, 28 Avenue to the south and 190 Street to the east and mixed employment/business park designated properties to the north. The net site will measure approximately 14.52 hectares (35.87 acres) in area.
- The site is designated "Mixed Employment" in the Official Community Plan (OCP) and "Business Park"/"Business Park (Office)" in the Campbell Heights Local Area Plan (LAP).
- The site is zoned for General Agricultural (A-1) development. A large green house operation and several homes and agricultural structures (sheds, barn etc.) are presently located on site.

Proposal

- The applicant is proposing to consolidate and rezone the development site from "General Agricultural Zone (A-1)" to "Business Park 3 Zone (IB-3)" to permit the development of a large

19,895 m² (214,155 ft²) warehouse/light manufacturing facility, along the southern edge of the property, facing 28 Avenue.

- The use is in keeping with the OCP and the Campbell Heights LAP. A Development Permit is required to regulate the form and character of the facility.
- The facility is being developed by the Hopewell Development Corporation. The Corporation, one of the Hopewell Group of Companies, is a privately held company based in Calgary, specializing in commercial real estate and industrial and retail development.
- To date, the Hopewell Development Corporation has developed one of the largest Distribution Centres in Metro Vancouver. Located on the Port Metro Vancouver Lands in East Richmond, the final phase of the company's 73 acre centre is now nearing completion. When finished next year, the project will provide over 1.5 million square feet of industrial floor space.
- The subdivision process accompanying this rezoning will provide for the necessary road dedications along 190 Street and 30 Avenue to provide greater vehicular circulation in Campbell Heights and access to the property.

Future Development

- The current building is one of several which will be proposed for the site. The final number of buildings to be developed on the northern portion of the site has not yet been determined at this time. The site could accommodate up to three additional light impact warehouse and/or distribution facilities. Regardless any future buildings will be oriented to provide a presence fronting the streets and designed to the Campbell Heights Design Guidelines.
- It is also acknowledged a portion of the site may require outdoor storage in the future. While the IB-3 zone does not provide for outdoor storage, staff have indicated they would be willing to support a Development Variance Permit (DVP) for a limited amount of on-site outdoor storage, subject to the appropriate industrial business park screening and siting regulations.

IB-3 Zone Text Amendment

- To accompany this application, staff are also recommending a text amendment to the "Business Park IB-3 Zone", which will be processed separately and brought forward for Council consideration under By-law 18455.
- Specifically the IB-3 zone is a relatively new zone which accommodates business park developments with no accessory retail sales on site. The zone is being applied for the first time in Campbell Heights.
- In order to ensure consistency and to provide for greater setbacks and landscaping provisions in the Campbell Heights area, the text amendments will include setback and landscape provisions identical to the provisions found in the IB-1 and IB-2 zones, the prevalent property zonings in Campbell Heights.
- The new provisions will apply only to the Campbell Heights area and will provide consistency to the streetscapes and equity between owners and tenants in the Business Park.

Site Layout and Design

- The current warehouse/light manufacturing facility proposed at the southern edge of the development site will be a concrete tilt up structure measuring 19,895 m² (214,155 ft²) in area.
- The building will face three streets (188 and 190 Street, 28 Avenue) and encompass required areas needed for parking, loading, operations and landscaping.
- The site's parking lot, located along the building's perimeter will provide for a total of 273 employee and visitor parking stalls and meets the Zoning By-law requirements.
- The site will be accessed by four (4) entrances. The main vehicular entries to the site will be provided via the two (2) accesses proposed from 28 Avenue, while trucks will be able to access the site and the building's rear yard loading area from 190 and 188 Street. In all the building will be equipped with 50 rear yard loading bays.
- As part of the site's design, an effort was also made to retain and accommodate the significant on-site stand of 13 heathy Douglas Fir trees, located at the southwest corner of the site. These 13 protected trees will be preserved and incorporated into the site's green open amenity space, and will be situated directly across the street from the City's Kerry Park.

Design Proposal and Review

- The proposed building is generally consistent with the design guidelines outlined in the Campbell Heights Design Guidelines and is reflective of the standards within the area. The development concept behind Campbell Heights is a high quality, sustainable industrial business park.
- The main façade or expanse of the warehouse facing 28 Avenue, will be broken up with a series of defined, canopied entries consisting of higher walls, treated with spandrel and clear glass. It will also be enhanced with accent colors and reveals that add texture and provide visual continuity to the structure. The building itself has been designed so that it can be stratified and hold up to 13 individual tenants.
- Care and attention has also been given to the east and west elevations facing 188 and the future 190 Street. The facades along these portions of the building will be treated with large clear story windows, cast-in concrete reveals and painted vertical and horizontal elements related to the main elevation. The rear yard loading area will also be screened with 2.4 metre (8 ft.) concrete walls, in keeping with the Zoning By-law requirements.
- The exterior colours to be used on the building are based on Hopewell's own corporate colour scheme and will include a palette of light and dark greys (nickel and slate) with accents of red (terra cotta), silver (silver streak) and black.
- Pedestrian paths from the public sidewalk to the building will be provided at key entrances of the building. Roof air handling equipment will be located to minimize visibility from the street and wall mounted accent lighting is proposed to provide light and augment the building's soffit-mounted lighting.

Landscaping

- The landscaping plan calls for 170 new trees to be planted on-site (including Armstrong and Morgan Red Maple, Ash, Beech and Serbian Spruce), along with shrubs and vines and groundcover. Of the 170 trees, 141 trees will count as replacement trees on site.
- The majority of these trees and shrubs will be planted along the southern edge of the warehouse to help to break up the façade and the long expanse of the warehouse. Additional 1.5 metre (5 ft.) wide landscaping strips will also be provided at the east and west sides on the building.
- In anticipation of the text amendments to the IB-3 Zone, the project will provide the required 6.0 metre (20 ft.) wide landscaping strips along 190 Street and 28 Avenue and the 3.0 metre (10 ft.) wide landscaping strip along 188 Street.
- Each of the site's landscaping strips will incorporate bioswales as required by the Campbell Heights design guidelines to treat storm water runoff and allow for site bio-filtration. The existing multi-use path along 28 Avenue extends 1.5 metres (5 ft.) into the site. As such, only a 5.0 metre (16 ft.) wide planted bioswale will be required along 28 Avenue.
- The green landscaped amenity area at the southwest corner of the site, with the stand of preserved Douglas fir trees, will include benches and pedestrian paths and additional seating areas and bike racks will be placed around the perimeter of the site.
- Exterior security lighting around the site and the building will also be designed to work with the site's landscaping and minimize after-dark shaded areas.

PRE-NOTIFICATION

- A development sign was posted on the site in April 2015 and the project was referred to the Little Campbell Watershed Society (LCWS) for review and comment. The LCWS has indicated they have no objection to the proposal as there is no apparent short-term impact perceived on the Little Campbell River at this time.

TREES

- Trevor Cox, ISA Certified Arborist of Diamond Head Consulting Ltd., prepared an Arborist Assessment for the development site. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	0	-	-
Cottonwood	0	-	-
Deciduous Trees (excluding Alder and Cottonwood Trees)			

Big leaf Maple	1	-	1
Cherry	2	2	
English Walnut	1	1	
Pear	1	1	
Plum (Green)	1	1	
Plum (Red)	1		1
Coniferous Trees			
Douglas Fir	16	3	13
Lawson's Cypress	6	6	
Lodgepole Pine	4	4	
Western Hemlock	1		1
Western Red Cedar	1	1	
Total (excluding Alder and Cottonwood Trees)	35	19	16
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		141 (All deciduous)	
Total Retained and Replacement Trees		157	
Contribution to the Green City Fund		0	

*Numbers and estimates to be finalized with final review.

- The Arborist Assessment states that there are a total of 35 By-law sized trees on the site, none of which are alder or cottonwood trees. Of the 35 trees, 19 trees will need to be removed given the location of services, building footprints and proposed lot grading, while 16 remaining trees can be preserved on site.
- In lieu of this the applicant is proposing to plant 141 new trees along the south edge of the site, which will bring the total amount of retained and replacement trees on the site to 157, far in excess of the City's requirements.

SUSTAINABLE DEVELOPMENT CHECKLIST

In December 2014, the applicant prepared and submitted a sustainable development checklist for the development site. The table below summarizes the features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	• The development application is consistent with the OCP and the Campbell Heights Land Use Plan.
2. Density & Diversity (B1-B7)	• The project density is in keeping with the proposed IB-3 Zoning.
3. Ecology & Stewardship (C1-C4)	• The project will incorporate bio-swales and low impact development standards.

Sustainability Criteria	Sustainable Development Features Summary
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The project will include bike racks and lockers.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The site will utilize CPTED (Crime Prevention through Environmental Design) principles.
6. Green Certification (F1)	<ul style="list-style-type: none"> • The building will be designed to incorporate ASHRAE 90.1 standards.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • None

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III	Engineering Summary

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

- 1. (a) Agent: Name: Oleg Verbenkov
 Pacific Land Resource Group Inc.
 Address: 7485 - 130 Street, Unit 101
 Surrey, BC V3W 1H8

 Tel: 604-501-1624 - Work
 604-501-1624 - Fax

2. Properties involved in the Application

- (a) Civic Address: 2970 - 188 Street
 2910 - 188 Street
 2830 - 188 Street
 2969 - 190 Street

- (b) Civic Address: 2970 - 188 Street
 Owner: Fir Ridge Holdings Inc
 PID: 023-408-090
 Lot 1 Section 21 Township 7 New Westminster District Plan LMP28062

- (c) Civic Address: 2910 - 188 Street
 Owner: Fir Ridge Holdings Inc
 PID: 023-408-103
 Parcel Identifier: 023-408-103
 Lot 2 Section 21 Township 7 New Westminster District Plan LMP28062

- (d) Civic Address: 2830 - 188 Street
 Owner: Sandra L Heppell
 Ronald L Heppell

 PID: 023-408-111
 Lot 3 Section 21 Township 7 New Westminster District Plan LMP28062 Except Part
 Dedicated Road On Plan BCP41076

- (e) Civic Address: 2969 - 190 Street
 Owner: Fir Ridge Holdings Inc
 PID: 012-972-321
 East Half Legal Subdivision 10 Section 21 Township 7 New Westminster District Except Part
 Dedicated Road On Plan BCP41076

3. Summary of Actions for City Clerk's Office

- (a) Introduce a By-law to rezone the property

DEVELOPMENT DATA SHEET

Proposed Zoning: IB-3 (as amended)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)	-	15.33 hectares (37.88 acres)
Gross Total	-	8,102 m ²
Road Widening area	-	-
Undevelopable area	-	
Net Total	-	14.52 hectares (35.87 acres)
LOT COVERAGE (in % of net lot area)	60%	14%
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (W 190 Street)	16 m (52 ft.)	65.6 m (215 ft.)
Front (E 188 Street)	16 m (52 ft.)	21.7 m (71 ft.)
Side #1 (S)	9.0 m (30 ft)	23.7 m (78 ft.)
Side #2 (N)	9.0 m (30 ft.)	275 m (902 ft.)
BUILDING HEIGHT (in metres/storeys)		
Principal	14 m (46 ft.)	12.2 m (40 ft.)
Accessory	-	-
NUMBER OF RESIDENTIAL UNITS		
One Bed	-	-
Two Bedroom	-	-
Three Bedroom +	-	-
Total		
FLOOR AREA: Residential	-	-
FLOOR AREA: Commercial	-	-
Retail	-	-
Office	-	-
FLOOR AREA: Industrial	-	19,895.00 m ² (214,148 ft ²)
FLOOR AREA: Institutional	-	-
TOTAL BUILDING FLOOR AREA		19,895.00 m ² (214,148 ft ²)

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	-	-
# of units/ha /# units/acre (net)	-	-
FAR (gross)	-	-
FAR (net)	1.00	0.14
AMENITY SPACE (area in square metres)	-	-
Indoor	-	-
Outdoor	-	-
PARKING (number of stalls)		
Commercial	-	-
Industrial	199	273
Residential Bachelor + 1 Bedroom	-	-
2-Bed	-	-
3-Bed	-	-
Residential Visitors	-	-
Institutional	-	-
Total Number of Parking Spaces	-	-
Number of disabled stalls	13	13
Number of small cars	-	-
Tandem Parking Spaces: Number / % of Total Number of Units	-	-
Size of Tandem Parking Spaces width/length	-	-

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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PROPOSED DEVELOPMENT

188TH ST. 28TH AVENUE
SOUTH SURREY, BC.

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2	2015 04 09	ISSUED FOR DP

Hopewell

TITLE:

COVER SHEET

A0

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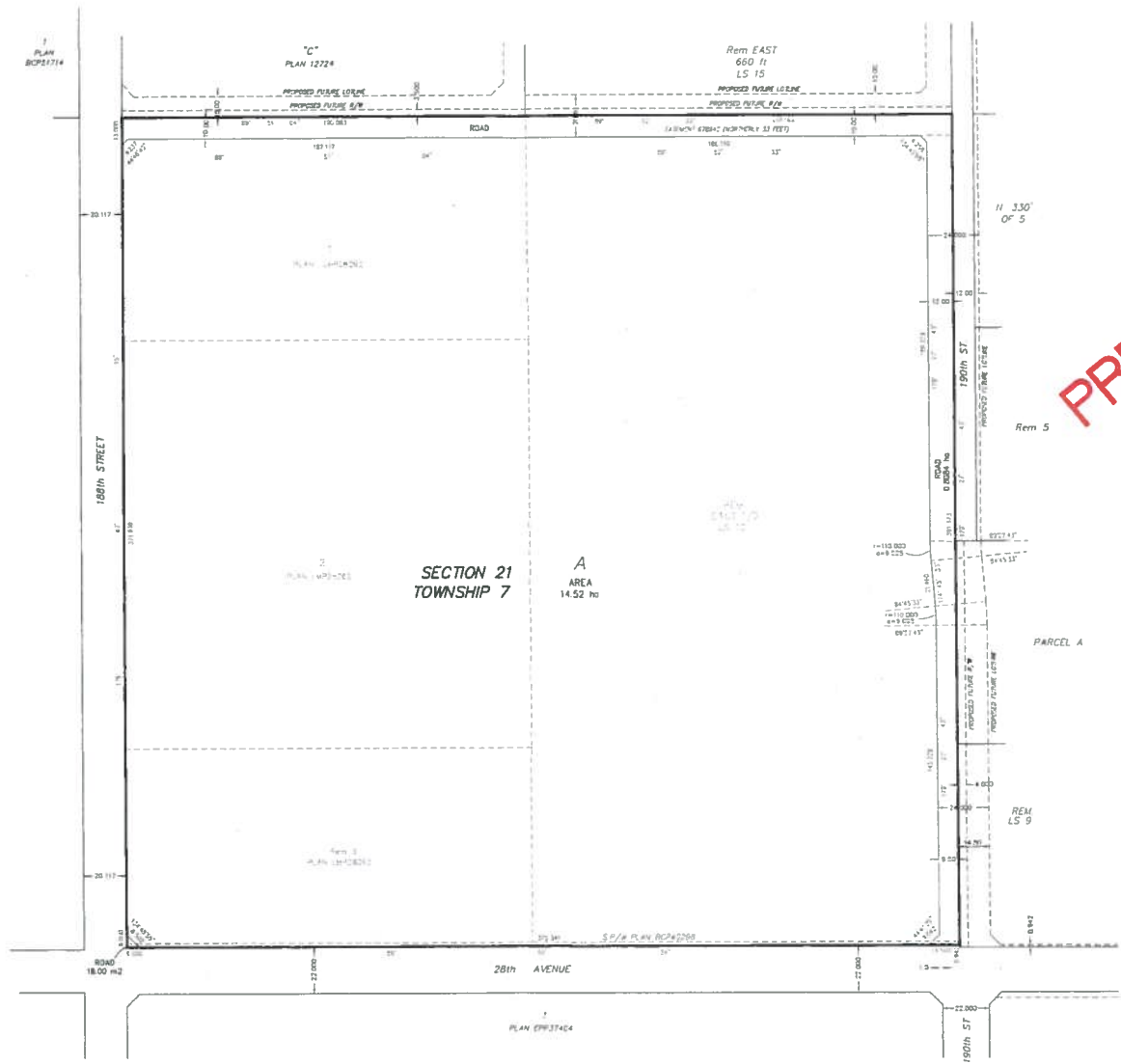
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PROPOSED SUBDIVISION PLAN OF LOTS 1, 2 AND REM 3 PLAN LMP28062
 AND REMAINDER OF THE EAST HALF LS 10
 ALL IN SECTION 21 TOWNSHIP 7
 NEW WESTMINSTER DISTRICT

CITY OF SURVEY
 BCGS MAP SHEET 92G.007

20M 0 20 40M

ALL DISTANCES ARE IN METERS
 The intended post size of this plan is 360mm (28" in height)
 by 560mm (34" in width) when printed at a scale of 1:1000



PRELIMINARY

SOLIN TRASSER LAND SURVEYING LTD.
 B.C. LAND SURVEYORS
 SUITE 107 - 7405 135th STREET
 SURVEY, B.C. V3V 4W4
 TELEPHONE 604 397-1025
 FAX 1-800-662-2222

THIS PLAN LIES WITHIN THE JURISDICTION OF
 THE APPROVING OFFICER FOR THE CITY OF SURVEY
 THIS PLAN LIES WITHIN THE
 GREATER VANCOUVER REGIONAL DISTRICT
 PLAN WAS COMPLETED ON THE 16th DAY OF MARCH 2011
 DAVID S. DYER BLS (24-7)



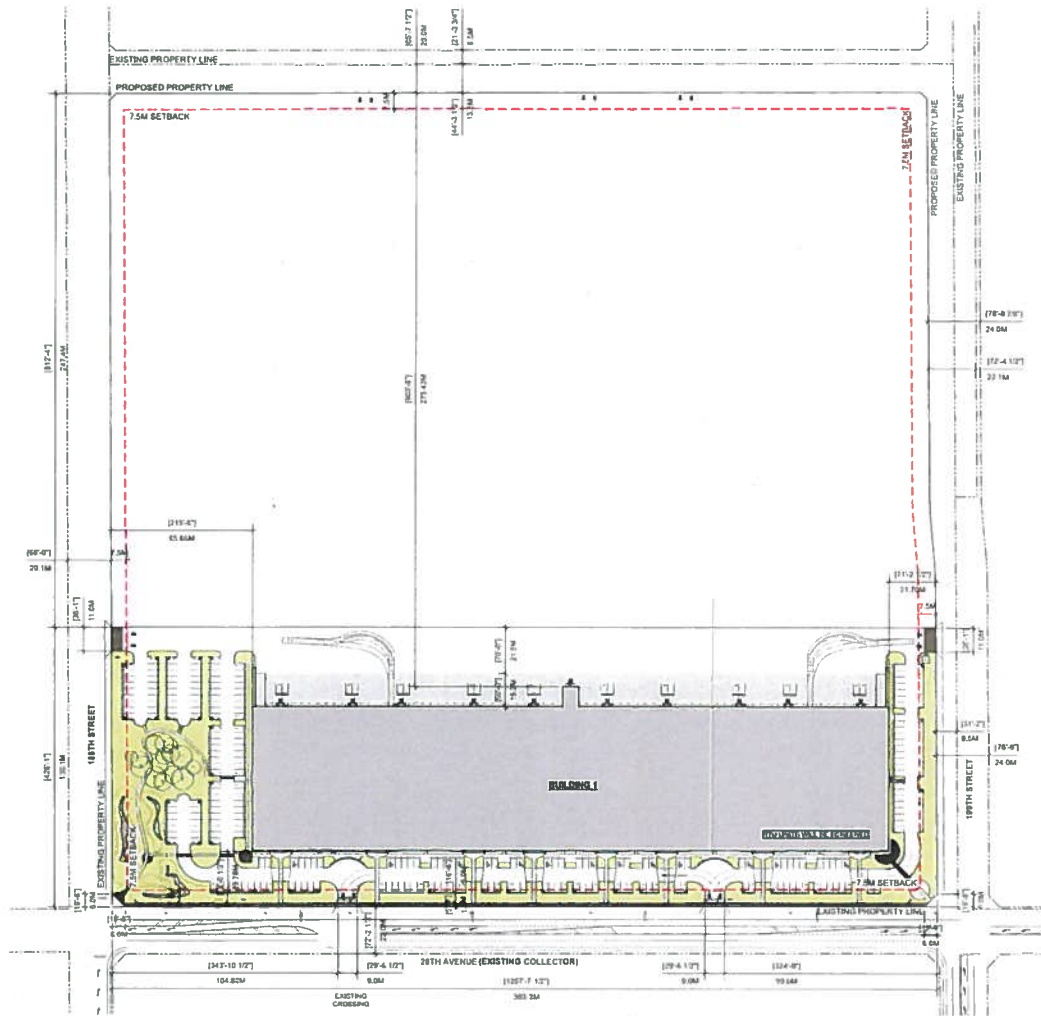
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3	2015 04 09	ISSUED FOR DP

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PROPOSED DEVELOPMENT
 180TH ST 28TH AVENUE
 SOUTH SURREY, BC

TITLE:
CONTEXT PLAN
 A1
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 E-mail: multi@ctadesign.net
 TEL: 604 336-2554
 FAX: 604 332-7451
 www.ctadesign.net
cta
cta design group
A PART OF THE LP LINTAS GROUP



SITE DATA

CIVIC ADDRESS

188TH STREET AND 28TH AVENUE
 CAMPBELL HEIGHTS BUSINESS PARK
 SURREY, BC.

LEGAL DESCRIPTION (EXISTING)

- LOT 3 SECTION 21 TOWNSHIP 7 NEW WESTMINSTER DISTRICT PLAN LMP28062 EXCEPT PART DEDICATED ROAD ON PLAN BCP41076
- EAST HALF LEGAL SUBDIVISION 10 SECTION 21 TOWNSHIP 7 NEW WESTMINSTER DISTRICT EXCEPT PART DEDICATED ROAD ON PLAN BCP41076
- LOT 2 SECTION 21 TOWNSHIP 7 NEW WESTMINSTER DISTRICT PLAN LMP28062
- LOT 1 SECTION 21 TOWNSHIP 7 NEW WESTMINSTER DISTRICT PLAN LMP28062

ZONING

EXISTING ZONING A-1
 PROPOSED ZONING IB-3 ZONING

PROJECT AREA

143 826.53 SM (+/-)

BUILDING AREA (FOOTPRINT) & GROSS FLOOR AREA

19,825.00 SM

FAR

PERMITTED 75
 PROPOSED 14

SITE COVERAGE

PERMITTED 60% (MAXIMUM)
 PROPOSED 13.8%

BUILDING HEIGHT

ALLOWED 14.0M
 PROPOSED 12.2M

SETBACKS

- FRONT YARD (WEST & EAST) 7.5 M PERMITTED
 65.66 M PROVIDED WEST
 21.76 M PROVIDED EAST
- SIDE YARD ON FLANKING STREET (NORTH & SOUTH) 7.5M PERMITTED
 23.78M PROVIDED (SOUTH)
 275.43M PROVIDED

PARKING REQUIRED (1/100SM) 199 SPACES (TOTAL)
 PROVIDED 273 SPACES (TOTAL)

ACCESSIBLE PARKING PROVIDED 13 SPACES

LOADING PROVIDED 50 SPACES

MASTER SITE PLAN
 1:1000



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3	2015 03 24	REISSUED FOR DP
4	2015 03 25	REISSUED FOR DP
5	2015 03 26	REISSUED FOR DP
6	2015 04 09	REISSUED FOR DP
7	2015 04 16	REISSUED FOR DP
8	2015 05 07	REISSUED FOR DP
9	2015 05 12	REISSUED FOR DP



PROPOSED DEVELOPMENT
 188TH ST, 28TH AVENUE
 SOUTH SURREY, BC.

TITLE

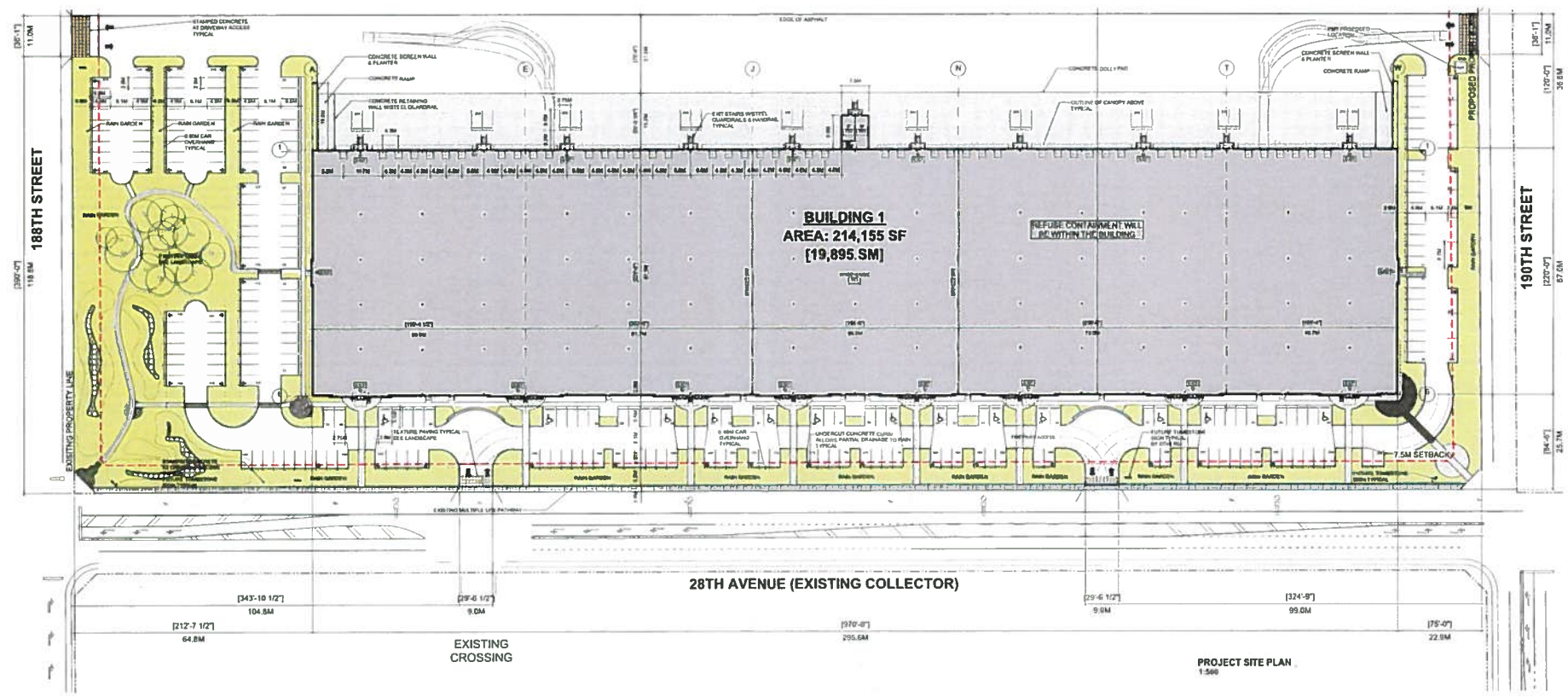
SITE PLAN & ROOF PLAN

A2

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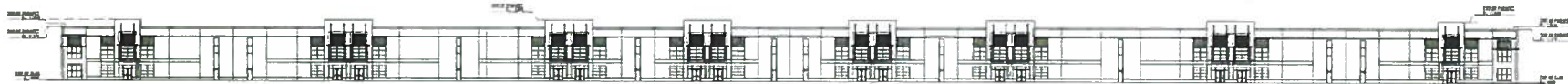
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3	2015 04 09	REISSUED FOR DP
4	2015 04 16	REISSUED FOR DP
5	2015 05 07	REISSUED FOR DP
6	2015 05 12	REISSUED FOR DP

Hopewell
PROPOSED DEVELOPMENT
188TH ST, 28TH AVENUE
SOUTH SURREY, BC.

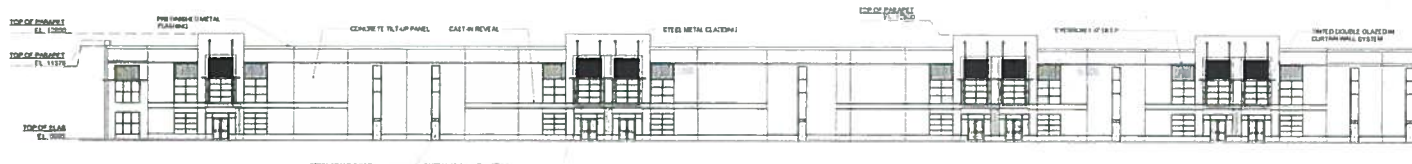
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A3

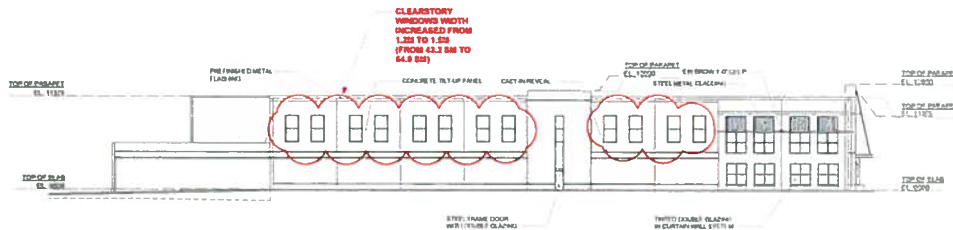
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E-mail: mail@ctadesign.net
TEL: 604 736-2554
FAX: 604 732-7451
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cta design group
CONCEPT DESIGN PHOTO: JAMES ANDERSON WALLACE
A PHOTOGRAPH BY JAMES ANDERSON WALLACE



OVERALL SOUTH ELEVATION
1:400



PARTIAL SOUTH ELEVATION
1:250



OVERALL WEST ELEVATION
1:250



ISO VIEW / SOUTH ELEVATION
NTS

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUM AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO CTA DESIGN GROUP. DO NOT PROCEED WITH ANY WORK UNTIL IN POSSESSION OF "FOR CONSTRUCTION" DRAWINGS. COPYRIGHT RESERVED. THIS DRAWING SHALL, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF CTA DESIGN GROUP AND MAY NOT BE REPRODUCED OR ALTERED WITHOUT WRITTEN CONSENT OF CTA DESIGN GROUP.

NO	DATE	REMARKS
1	2014 12 22	ISSUED FOR CLIENT REVIEW
2	2015 01 07	REISSUED FOR REVIEW
3	2015 04 09	REISSUED FOR DP
4	2015 05 06	REISSUED FOR DP

Hopewell
PROPOSED DEVELOPMENT
188TH ST 28TH AVENUE
SOUTH SURREY, BC

TITLE:
BUILDING ELEVATIONS

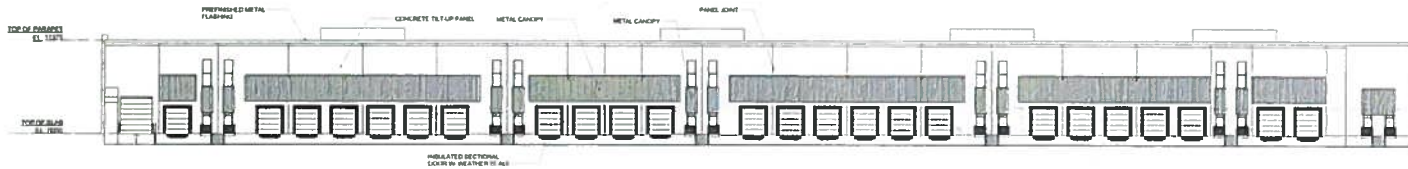
A4

DRAWN: GL CHECKED: KC SCALE: AS NOTED FILE: 1417

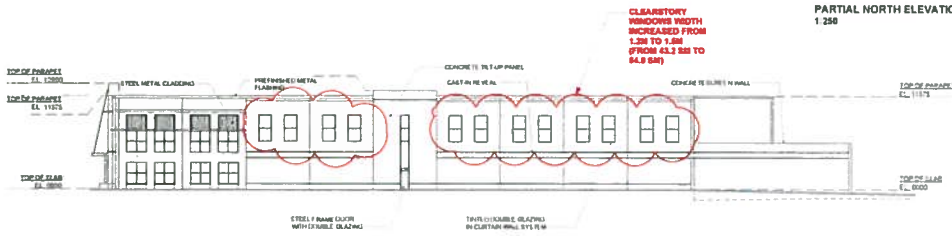
ARCHITECTURE AND ENGINEERING
101 - 925 WEST 8TH AVENUE
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www.ctadesign.net
cta design group



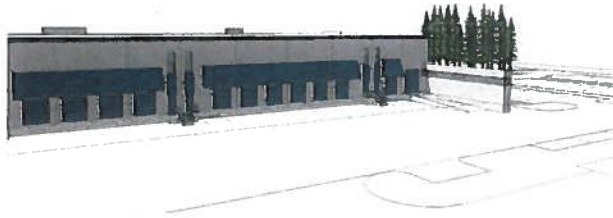
OVERALL NORTH ELEVATION
1.490



PARTIAL NORTH ELEVATION
1.250



EAST ELEVATION
1.250



ISO VIEW / SOUTH WEST CORNER
NTS

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO CTA DESIGN GROUP. DO NOT PROCEED WITH ANY WORK UNTIL IN POSSESSION OF "FOR CONSTRUCTION" DRAWINGS. COPYRIGHT RESERVED. THIS DRAWING SHALL AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF CTA DESIGN GROUP AND MAY NOT BE REPRODUCED OR ALTERED WITHOUT WRITTEN CONSENT OF CTA DESIGN GROUP.

NO	DATE	REMARKS
1	2014 12 22	ISSUED FOR CLIENT REVIEW
2	2015 01 07	REISSUED FOR REVIEW
3	2015 04 09	REISSUED FOR DP
4	2015 05 08	REISSUED FOR DP

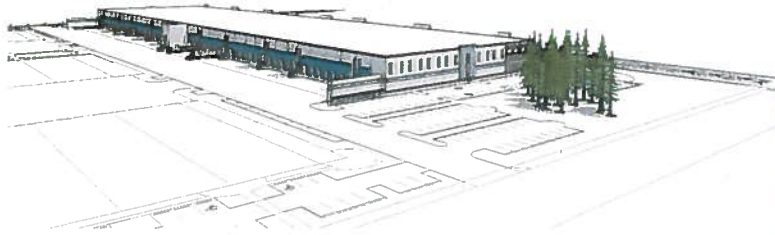
Hopewell
PROPOSED DEVELOPMENT
188TH ST, 28TH AVENUE
SOUTH SURREY, BC

TITLE
BUILDING ELEVATIONS **A5**
DRAWN: GL CHECKED: KC SCALE: AS NOTED FILE: 1417

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cta design group
Canadian Society of Engineers and Architects (C.S.E.A.)
A PROFESSIONAL SOCIETY OF ENGINEERS



BUILDING RENDERING
MTB



BUILDING RENDERING
MTB

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUM AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO CTA DESIGN GROUP. DO NOT PROCEED WITH ANY WORK UNTIL IN POSSESSION OF YOUR CONSTRUCTION DRAWINGS. COPYRIGHT RESERVED. THIS DRAWING SHALL AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF CTA DESIGN GROUP AND MAY NOT BE REPRODUCED OR ALTERED WITHOUT WRITTEN CONSENT OF CTA DESIGN GROUP.

NO.	DATE	REMARKS
1	2014 12 22	ISSUED FOR CLIENTS REVIEW
2	2015 01 07	REISSUED FOR REVIEW
3	2015 04 09	REISSUED FOR DP

Hopewell

PROPOSED DEVELOPMENT
108TH ST. 28TH AVENUE
SOUTH SURREY, BC.

TITLE:

ISO VIEWS

DRAWN: GL CHECKED: KC SCALE: 1/1000 FILE: 1417

A6

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cta design group
DESIGN, CONCEPT DESIGN, PLANNING AND INTERIOR ARCHITECTURE

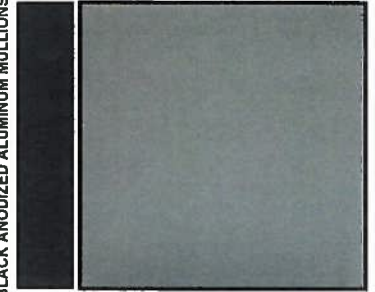


CM 12-2014 'TERRAZZITA'

BM 2119-40 'SILVER STREAK'

BM 2119-60 'NICKEL'

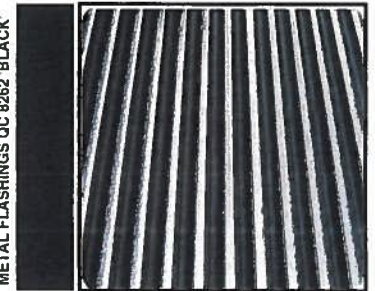
BLACK ANODIZED ALUMINUM MULLIONS



GREY-TINT DOUBLE GLAZING

METAL FLASHING CM 2009 'SLATE GREY'

METAL FLASHINGS QC 8262 'BLACK'



CORRUGATED CLADDING 'GALVALUME'

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cta
 cta design group
 CIARAN J DEERY P.ENG - JOHN E KRISTIANSON MAIBC
 A PARTNERSHIP OF LIMITED COMPANIES

EXTERIOR FINISHES

Hopewell

PROPOSED DEVELOPMENT

188TH STREET / 28TH AVENUE
 SOUTH SURREY BC

30TH AVE (FUTURE)

BUILDING 2
(FUTURE)

BUILDING 3
(FUTURE)

BUILDING 4
(FUTURE)

FUTURE PHASES

L-1a
L-2a

L-1b
L-2b

L-1c
L-2c

188TH STREET

190TH STREET (FUTURE)

BUILDING 1
AR: A 214,166 SF
(19,866 SM)
PHASE 1
BUILDING 1

28TH AVENUE

LEGEND

-  PIP concrete walkways
-  Patterned concrete - sidewalks
-  Patterned concrete - pedestrian nodes
-  Patterned concrete - driveway crossings
-  Sodded lawn - onsite
-  Sodded lawn - onsite
-  Sodded lawn - reforestation park mix

May 26, 2014	Pre-Review for DP
Apr 08, 2014	Pre-Review for DP
Feb 02, 2014	Review for Termination
Feb 02, 2014	Review for Pricing
Dec 17, 2014	Review for DP
Nov 26, 2014	For Pricing
Nov 18, 2014	For Preliminary Pricing
Nov 10, 2014	For Pricing
Oct 21, 2014	For Review
Jul 17, 2014	For Review

Prepared by

 Jonathan Essex Ltd.
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 Lawrence, B.C. V4L 2J3
 Tel: 604.681.9882
 E-mail: info@jonathanessex.com

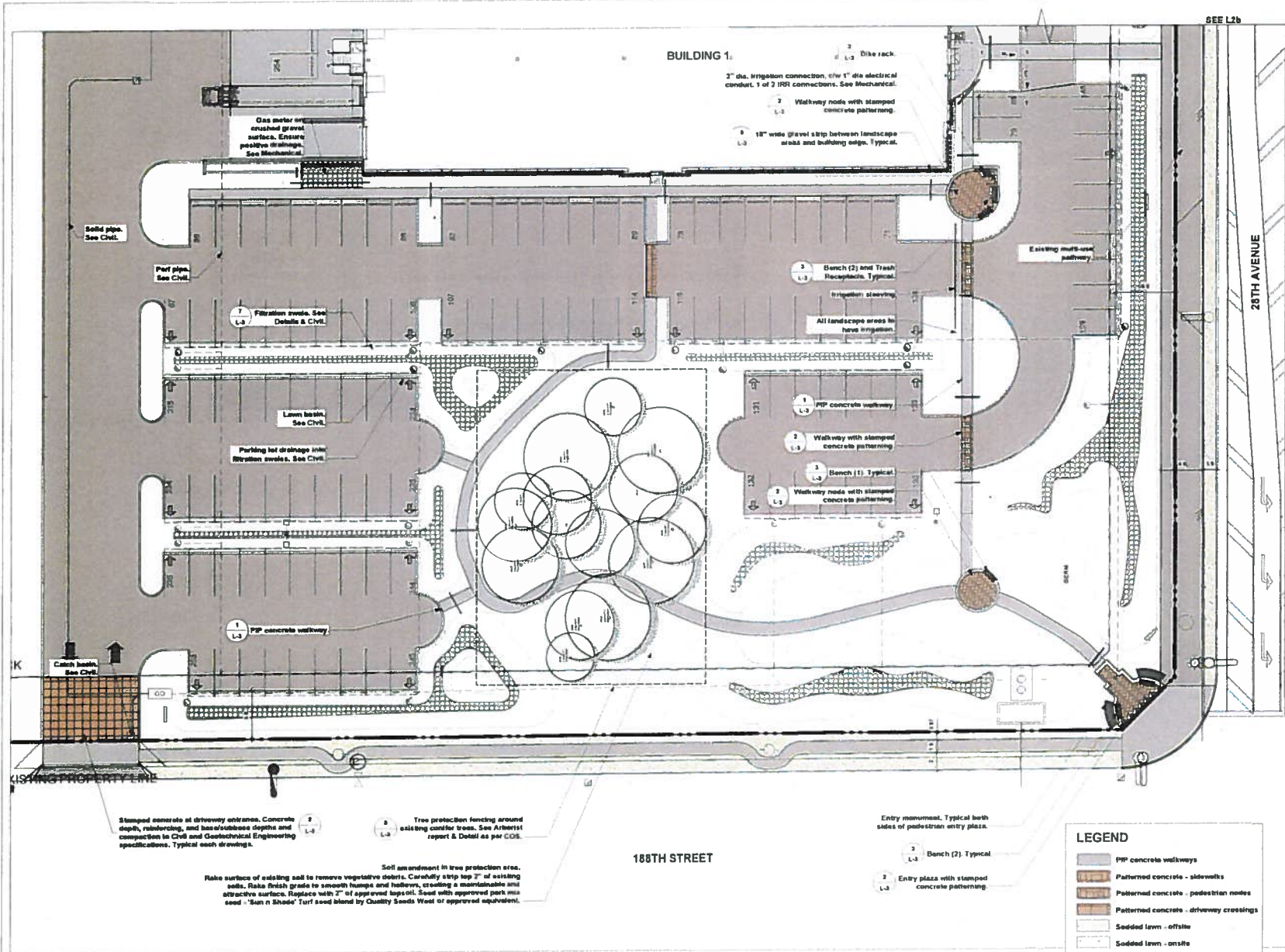
Project
Hopewell Development
 188th Street & 28th Avenue
 South Surrey, B.C.

Sheet Title
Landscape Key Plan

Scale 1:750
 Date July 2014
 Project No. 1214-07

L-1





May 28, 2016	Final Review for DP
Apr 08, 2016	Review for DP
Feb 26, 2016	Review for Tender
Feb 03, 2016	Pathway for Pricing
Dec 17, 2014	Issue for DP
Nov 20, 2014	For Pricing
Nov 10, 2014	For Preliminary Pricing
Nov 10, 2014	For Review
Oct 21, 2014	For Review
Jul 17, 2014	For Review

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Project
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188th Street & 28th Avenue
South Surrey, B.C.

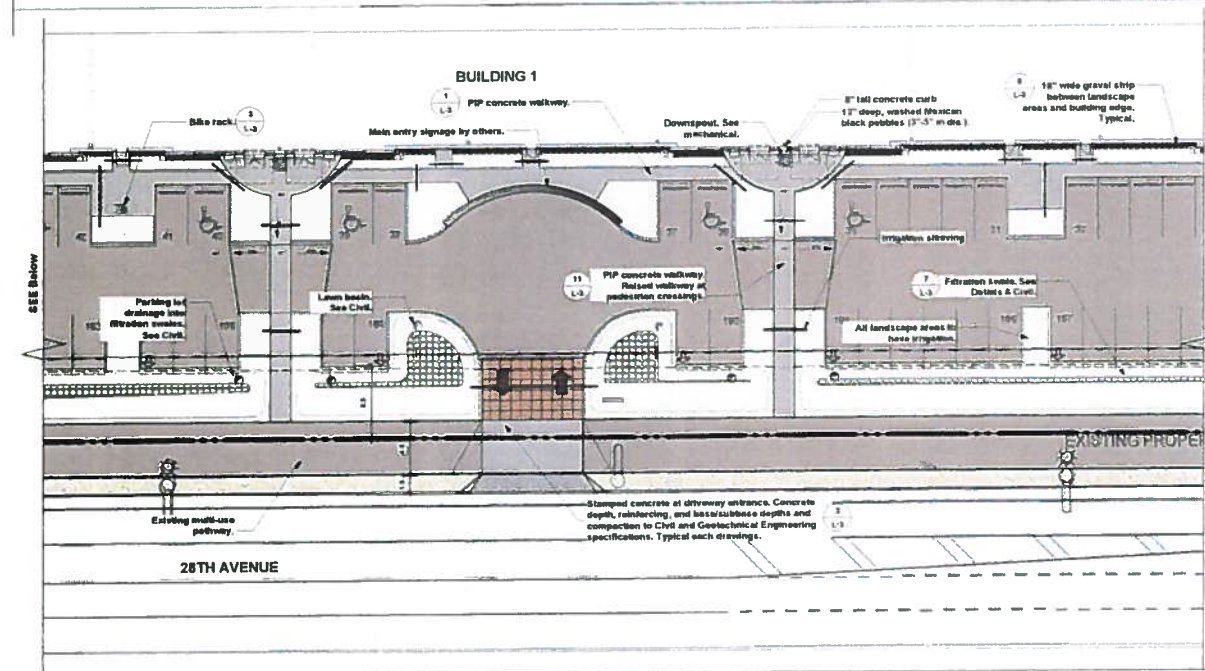
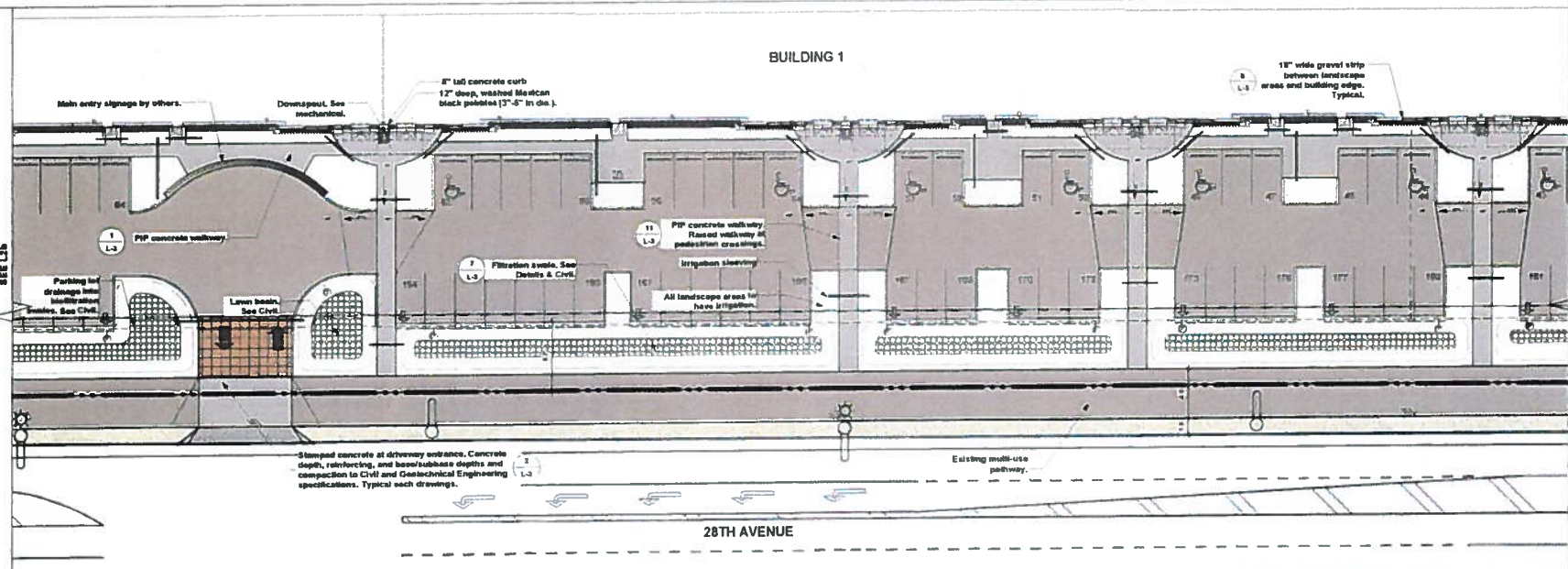
Draw Title
Landscape Layout Plan - SW Corner

Sheet 1 of 200

Date: July 2014
Project No: 2014-27

LEGEND

- PIP concrete walkways
- Patterned concrete - sidewalks
- Patterned concrete - pedestrian routes
- Patterned concrete - driveway crossings
- Sodded lawn - offsite
- Sodded lawn - onsite
- Sodded lawn - reforestation park mix



LEGEND

- PIP concrete walkways
- Patterned concrete - sidewalks
- Patterned concrete - pedestrian nodes
- Patterned concrete - driveway crossings
- Sodded lawn - offset
- Sodded lawn - onsite
- Sodded lawn - reforestation park mix

May 29, 2014	Revisions for DP
Apr 08, 2014	Pre-locate for DP
Feb 03, 2014	Issue for Vendor
Feb 03, 2014	Revisions for Pricing
Oct 17, 2013	Issue for DP
Nov 05, 2013	For Pricing
Nov 05, 2013	For Preliminary Pricing
Nov 05, 2013	For Review
Oct 31, 2013	For Review
Jul 17, 2013	For Review

Revisions

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Project

Hopewell Development
18th Street & 28th Avenue
South Surrey, B.C.

Sheet Title

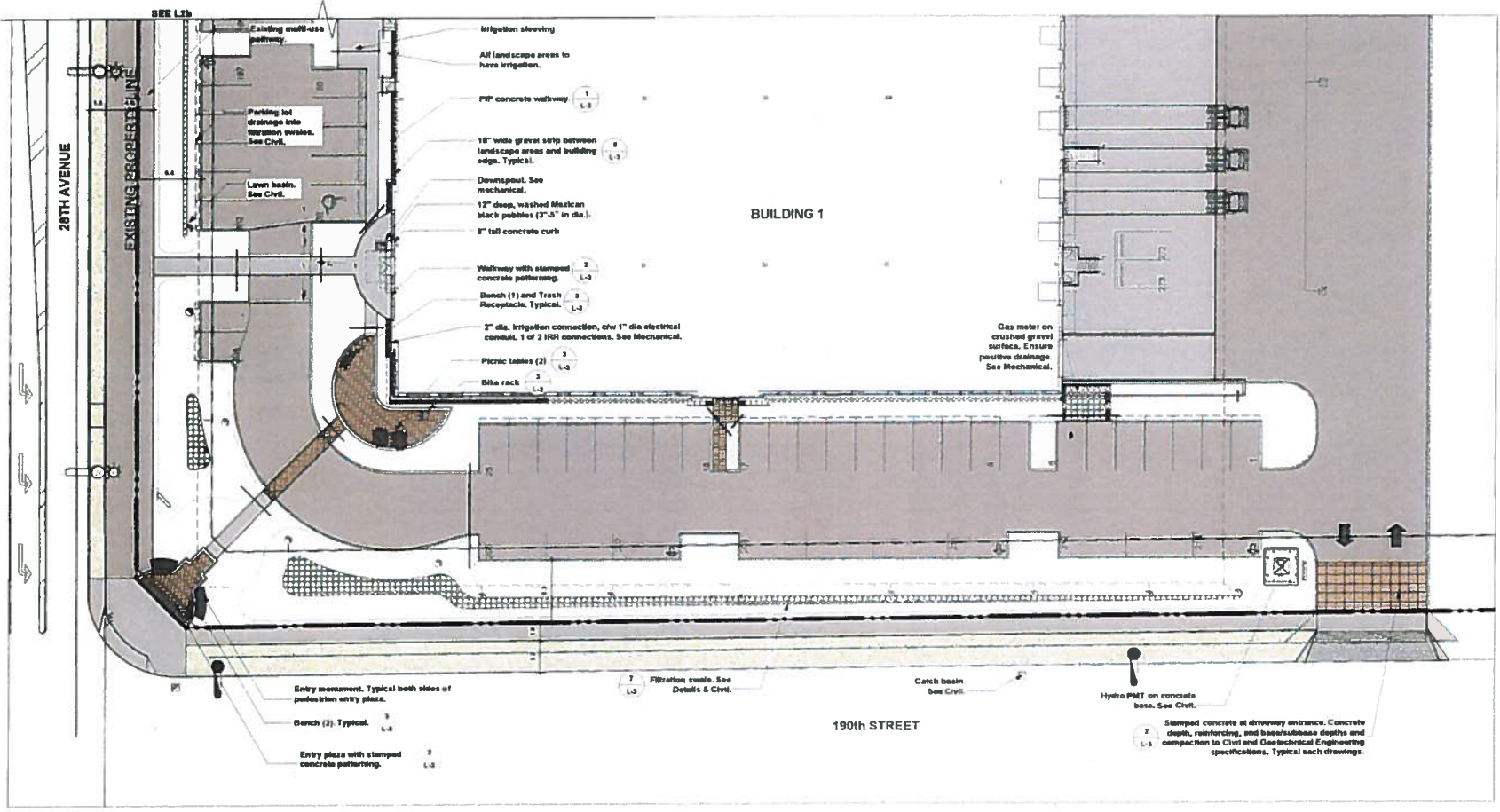
Landscape Layout Plan

Scale 1:200

Date: July 2014

Project No: 2014-27

L-1b



LEGEND

- PIP concrete walkways
- Patterned concrete - sidewalks
- Patterned concrete - pedestrian nodes
- Patterned concrete - driveway crossings
- Seeded lawn - offsite
- Seeded lawn - onsite
- Seeded lawn - reforestation park mix

May 20, 2014	Revisions for DP
Apr 08, 2014	Revisions for DP
Feb 20, 2014	Issues for Tender
Feb 02, 2014	Revisions for Pricing
Dec 17, 2014	Issues for DP
Nov 28, 2014	For Pricing
Nov 18, 2014	For Preliminary Pricing
Nov 19, 2014	For Review
Oct 31, 2014	For Review
Jul 17, 2014	For Review

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Project
Hopwell Development
188th Street & 28th Avenue
North Surrey, B.C.

Sheet Title
Landscape Layout Plan - SE Corner

Scale 1:300

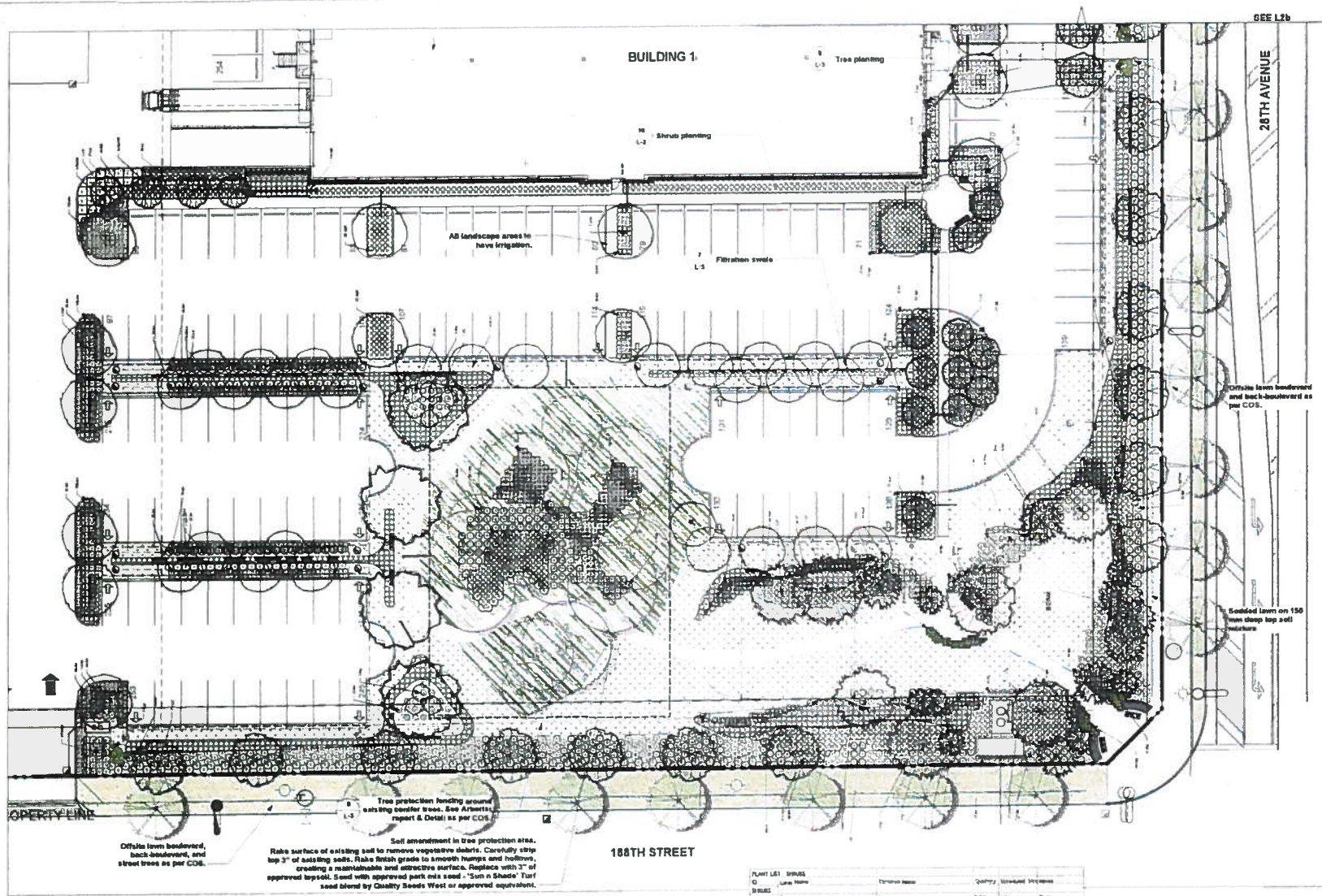
Date July 2014

Project No 2014 07

L-1C

LANDSCAPE NOTES

1. Start on the planting plan sheet to be worked on.
2. All landscape contributions to meet the amount of the City of Ottawa's Green Infrastructure Strategy as a minimum requirement. Plant material to be submitted for the year ahead. Contact the year ahead. Contact the year ahead. Contact the year ahead.
3. Plant beds to be low to the ground.
4. Top soil minimum for the project shall be 150mm. The soil shall be amended to 150mm. The soil shall be amended to 150mm. The soil shall be amended to 150mm.
5. Provide positive grades for lawn drainage and prevent lawn water and other water. Provide 1% slope. The proposed drainage shall be approved by the City of Ottawa. Provide 1% slope. The proposed drainage shall be approved by the City of Ottawa.
6. A minimum 100mm of topsoil shall be provided. The proposed drainage shall be approved by the City of Ottawa. Provide 1% slope. The proposed drainage shall be approved by the City of Ottawa.
7. Protection of existing trees shall be provided. Provide 150mm of topsoil. Provide 1% slope. The proposed drainage shall be approved by the City of Ottawa.
8. Planting material on City of Ottawa's Green Infrastructure Strategy as a minimum requirement. Plant material to be submitted for the year ahead. Contact the year ahead. Contact the year ahead.
9. All landscaping to have high efficiency irrigation system to be installed.



LEGEND

- PPP concrete walkways
- Patterned concrete - sidewalks
- Patterned concrete - pedestrian roads
- Patterned concrete - driveway crossings
- Seeded lawn - off-site
- Seeded lawn - on-site
- Seeded lawn - restoration park etc.

May 09, 2014	Re-issue for DP
Apr 09, 2014	Re-issue for DP
Feb 09, 2014	Issue for Tender
Feb 02, 2014	Final for Pricing
Dec 17, 2014	Issue for DP
Nov 08, 2014	For Pricing
Nov 04, 2014	For Preliminary Pricing
Nov 03, 2014	For Review
Oct 31, 2014	For Review
Jul 17, 2014	For Review

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Itopwell Development
168th Street & 28th Avenue
South Surrey, B.C.

Landscaping Plan - SW Corner

Sheet 1/20

Date: July 2014

Project No: 2014 27

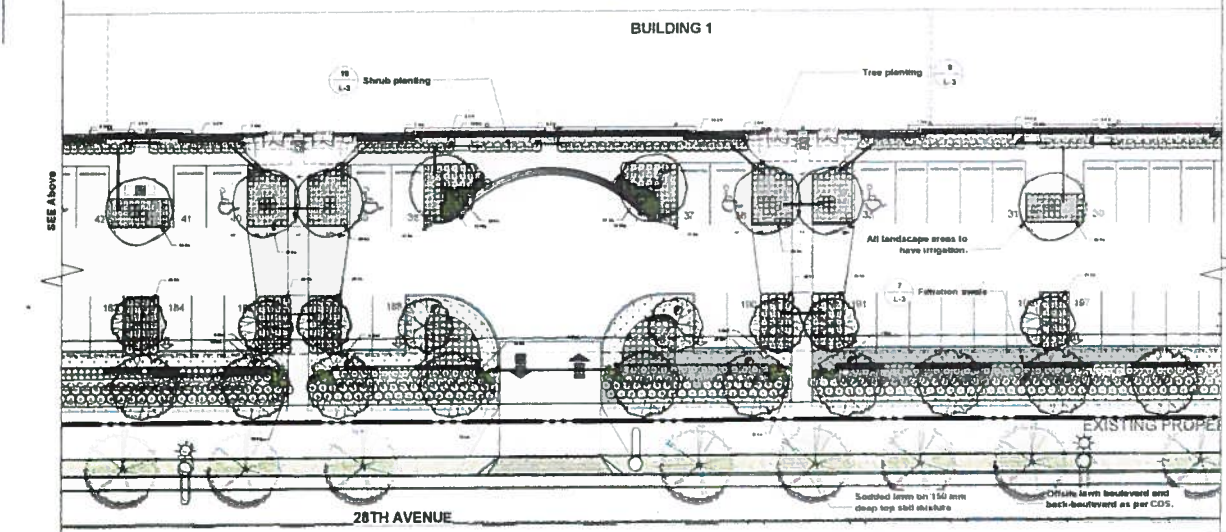
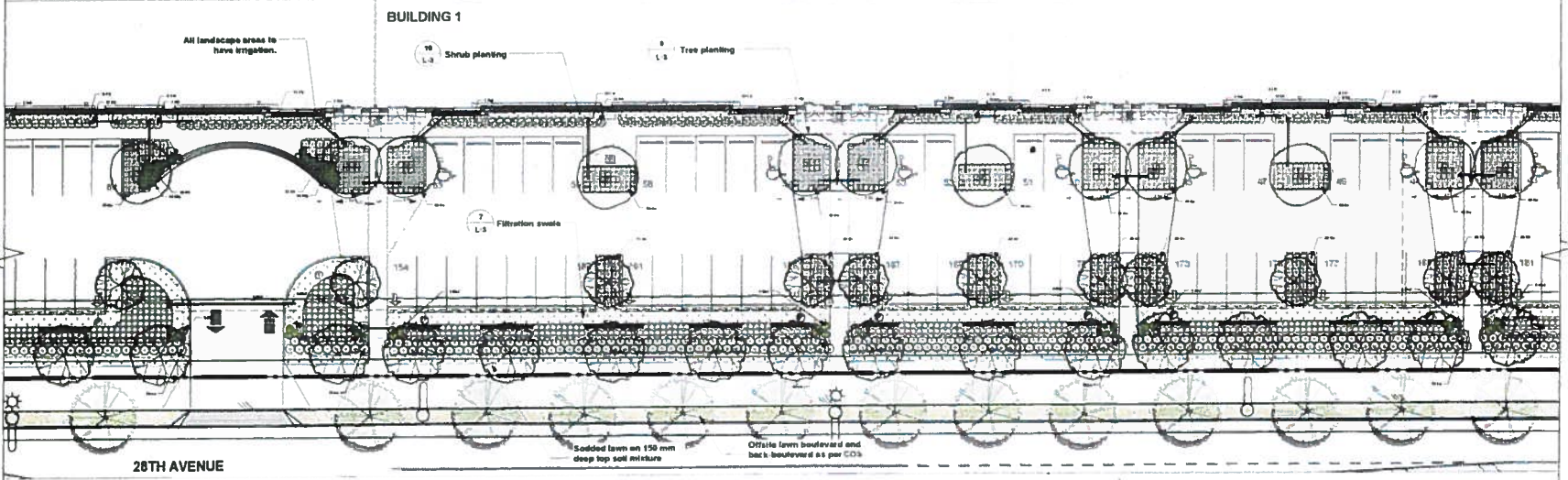
PLANT LIST - TREES	Latin Name	Common Name	Quantity	Substrate	Notes
FRS1	Acer glabrum	Smooth-barked Maple	25	100cm dia	0 & B
FRS2	Acer rubrum	Red Maple	40	100cm dia	0 & B
FRS3	Acer spicatum	Spiral-barked Maple	21	100cm dia	0 & B
FRS4	Thuja occidentalis	Green Cedar	10	100cm dia	0 & B
FRS5	Thuja occidentalis	Green Cedar	10	100cm dia	0 & B
FRS6	Thuja occidentalis	Green Cedar	10	100cm dia	0 & B
FRS7	Thuja occidentalis	Green Cedar	10	100cm dia	0 & B
FRS8	Thuja occidentalis	Green Cedar	10	100cm dia	0 & B
FRS9	Thuja occidentalis	Green Cedar	10	100cm dia	0 & B
FRS10	Thuja occidentalis	Green Cedar	10	100cm dia	0 & B

PLANT LIST - SHRUBS	Latin Name	Common Name	Quantity	Substrate	Notes
SHR1	Euonymus alatus	Winged Spindle Tree	10	100cm dia	0 & B
SHR2	Euonymus alatus	Winged Spindle Tree	10	100cm dia	0 & B
SHR3	Euonymus alatus	Winged Spindle Tree	10	100cm dia	0 & B
SHR4	Euonymus alatus	Winged Spindle Tree	10	100cm dia	0 & B
SHR5	Euonymus alatus	Winged Spindle Tree	10	100cm dia	0 & B

PLANT LIST - SHRUBS	Latin Name	Common Name	Quantity	Substrate	Notes
SHR1	Euonymus alatus	Winged Spindle Tree	10	100cm dia	0 & B
SHR2	Euonymus alatus	Winged Spindle Tree	10	100cm dia	0 & B
SHR3	Euonymus alatus	Winged Spindle Tree	10	100cm dia	0 & B
SHR4	Euonymus alatus	Winged Spindle Tree	10	100cm dia	0 & B
SHR5	Euonymus alatus	Winged Spindle Tree	10	100cm dia	0 & B



L-2a



LANDSCAPE NOTES

- Show on the planting plan must be consistent with the site plan.
- All landscape materials to meet the soil test results of the British Columbia Landscape Standards and a minimum of 10% organic matter. Plant material to be delivered to the site within 14 days of the start of construction. Plants to be delivered to the site within 14 days of the start of construction. Plants to be delivered to the site within 14 days of the start of construction.
- Plant beds to be free of petroleum products.
- The soil beneath the pavement shall be tested for petroleum products (oil, grease, and other petroleum products) and if found, the contractor shall be responsible for the removal of the petroleum products. The contractor shall be responsible for the removal of the petroleum products. The contractor shall be responsible for the removal of the petroleum products.
- Provide positive drainage away from building and avoid lawn areas and other areas. Slope away from building to be minimum 1%. The drainage shall be approved by the City of Vancouver. The drainage shall be approved by the City of Vancouver. The drainage shall be approved by the City of Vancouver.
- Landscape Contractor to provide 60 days of maintenance after the end of construction. Maintenance to include watering, weeding, and other maintenance. Maintenance to include watering, weeding, and other maintenance. Maintenance to include watering, weeding, and other maintenance.
- Provision of watering equipment to be provided. Watering equipment to be provided. Watering equipment to be provided. Watering equipment to be provided. Watering equipment to be provided.
- Planting material to be delivered to the site within 14 days of the start of construction. Planting material to be delivered to the site within 14 days of the start of construction. Planting material to be delivered to the site within 14 days of the start of construction.
- All landscaping to have high efficiency irrigation system to be provided.

PLANT LIST	TRAFFIC	CLIMATE	SCHEDULED DATE
1.01	1.01	1.01	1.01
1.02	1.02	1.02	1.02
1.03	1.03	1.03	1.03
1.04	1.04	1.04	1.04
1.05	1.05	1.05	1.05
1.06	1.06	1.06	1.06
1.07	1.07	1.07	1.07
1.08	1.08	1.08	1.08
1.09	1.09	1.09	1.09
1.10	1.10	1.10	1.10

PLANT LIST	TRAFFIC	CLIMATE	SCHEDULED DATE
1.11	1.11	1.11	1.11
1.12	1.12	1.12	1.12
1.13	1.13	1.13	1.13
1.14	1.14	1.14	1.14
1.15	1.15	1.15	1.15
1.16	1.16	1.16	1.16
1.17	1.17	1.17	1.17
1.18	1.18	1.18	1.18
1.19	1.19	1.19	1.19
1.20	1.20	1.20	1.20

PLANT LIST	TRAFFIC	CLIMATE	SCHEDULED DATE
1.21	1.21	1.21	1.21
1.22	1.22	1.22	1.22
1.23	1.23	1.23	1.23
1.24	1.24	1.24	1.24
1.25	1.25	1.25	1.25
1.26	1.26	1.26	1.26
1.27	1.27	1.27	1.27
1.28	1.28	1.28	1.28
1.29	1.29	1.29	1.29
1.30	1.30	1.30	1.30

LEGEND

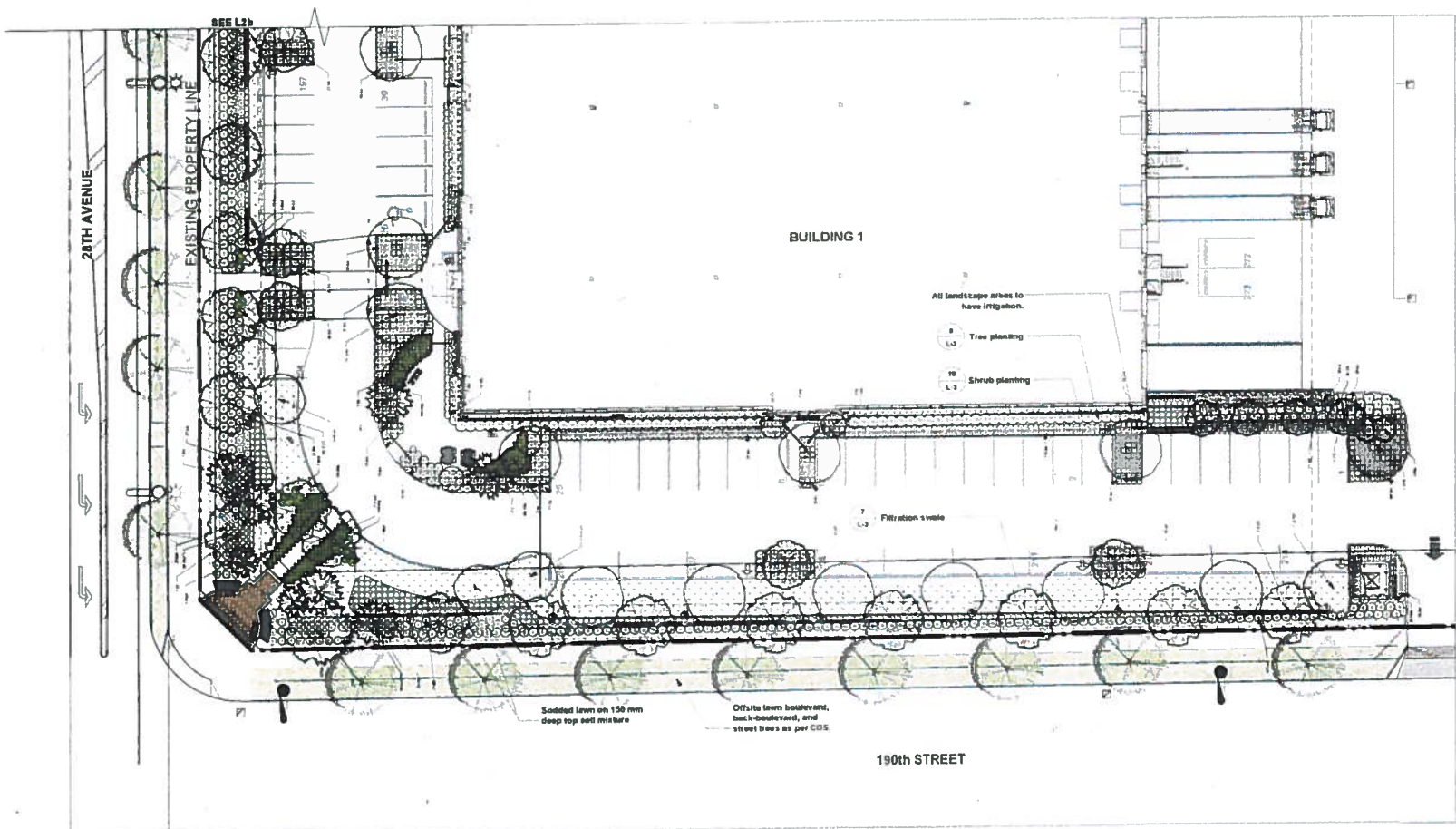
- PPP concrete sidewalks
- Patterned concrete - sidewalks
- Patterned concrete - pedestrian nodes
- Patterned concrete - driveway crossings
- Sodded lawn - office
- Sodded lawn - reforestation park mix

DATE	DESCRIPTION	BY
May 20, 2014	Preparation for DP	
Apr 22, 2014	Preparation for DP	
Feb 20, 2014	Issue for Tender	
Feb 02, 2014	Revision for Pricing	
Dec 17, 2014	Issue for DP	
Nov 20, 2014	For Pricing	
Nov 18, 2014	For Pricing and Pricing	
Nov 10, 2014	For Pricing	
Oct 21, 2014	For Pricing	
Oct 17, 2014	For Pricing	

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Project
Hopewell Development
188th Street & 28th Avenue
North Surrey, B.C.

Sheet 1 of 1
Landscape Planting Plan
Scale 1:200
Date: July 2014
Project No: 2014-07
L-2b



- LANDSCAPE NOTES**
1. Refer to the planting plan and the associated schedule tables.
 2. All landscape construction to meet the current standards of the British Columbia Landscape Contractors Association. Landscape Contractors Association is a registered company. Please refer to the website for the Landscape Contractors for further details. Contact number: 604-273-1111. Website: www.landscapecontractors.ca.
 3. Plant beds to be level of pavement unless noted.
 4. Top soil material for the project shall be tested for particle size, PH, and nutrient levels. Test reports/requirements provided and amendments made to bring the soil up to acceptable horticultural quality for the amount of trees/shrubs. Trees are to be planted 1.5m apart. Minimum spacing area of 1m between trees. If for shade and privacy, trees are to be planted 2 metres or more apart. All other planting and note smooth.
 5. Provide profiles across site for tree beds and low wall curbs and other details. All work must be done as a minimum of 2-3. The profiles are to be approved by the Consultant prior to application of top soil and level and final grading. Slope lengths shall be as follows: 1:2.
 6. Landscape Contractor to be provide all the materials for the site of the project. All materials shall be approved by the Consultant prior to application of top soil and level and final grading. Slope lengths shall be as follows: 1:2.
 7. Timing of planting installation to be done. All trees to be planted in the spring of 2014. All trees to be planted in the spring of 2014. All trees to be planted in the spring of 2014. All trees to be planted in the spring of 2014.
 8. Planting material on site. Material to have the approval of the Planting Contractor. All materials to be approved at the time of installation.
 9. All landscaping to have high efficiency irrigation system to RABC.

PLANT LIST - TREES	Common Name	Scientific Name	Notes
T1	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
T2	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
T3	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
T4	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
T5	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
T6	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
T7	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
T8	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
T9	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
T10	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh

PLANT LIST - SHRUBS	Common Name	Scientific Name	Notes
S1	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
S2	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
S3	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
S4	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
S5	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
S6	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
S7	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
S8	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
S9	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
S10	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh

PLANT LIST - SHRUBS	Common Name	Scientific Name	Notes
S1	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
S2	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
S3	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
S4	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
S5	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
S6	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
S7	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
S8	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
S9	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh
S10	Amelanchier canadensis	Amelanchier canadensis	100 mm dbh

LEGEND

- PPP concrete sidewalks
- Patterned concrete - sidewalks
- Patterned concrete - pedestrian nodes
- Patterned concrete - driveway crossings
- Seeded lawn - off-site
- Seeded lawn - on-site
- Seeded lawn - reforestation park mix

Date	Revision
May 26, 2016	Re-issue for DP
Apr 28, 2016	For Review for DP
Feb 23, 2016	Issue for Tender
Feb 02, 2016	Re-issue for Pricing
Dec 17, 2014	Issue for DP
Nov 20, 2014	For Pricing
Nov 10, 2014	For Preliminary Pricing
Nov 03, 2014	For Review
Oct 21, 2014	For Review
Jul 17, 2014	For Review

Revisions

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1816 Street & 28th Avenue
South Surrey, B.C.

Sheet Title

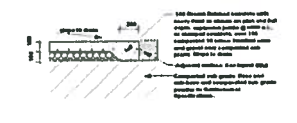
Landscape Planting Plan - SE Corner

Sheet 1/22

Date July 2014

Project No. 2014-27

L-2c



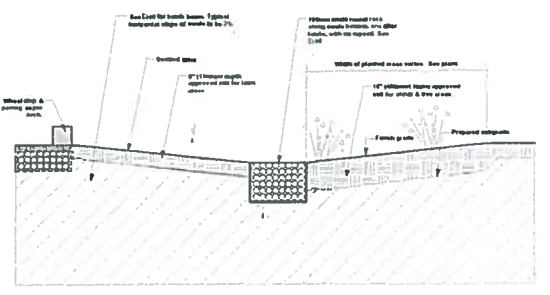
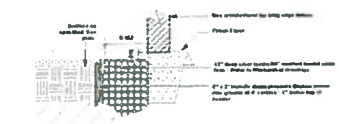
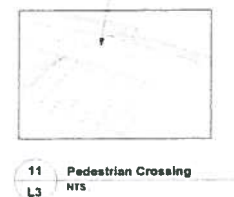
1 Concrete surfacing Scale: 1:24



2 Concrete stamping NTS



3 Site Furniture Scale: 1:24



7 Filtration section Scale: 1:24

May 1, 2015
BUDWING BUDWING

TREE BARRIER INSTALLATION AND INSPECTION

Live Protection Rules, 2006 No. 14300
 The System is available in its entirety at the City of Surrey website at: www.surrey.ca

Purpose:
 To provide the protection for trees and plants as required by the City of Surrey, in order to ensure that the trees and plants are not damaged or lost as a result of construction activities.

Background:
 The City of Surrey is committed to providing a high quality environment for its citizens. The City of Surrey is committed to providing a high quality environment for its citizens. The City of Surrey is committed to providing a high quality environment for its citizens.

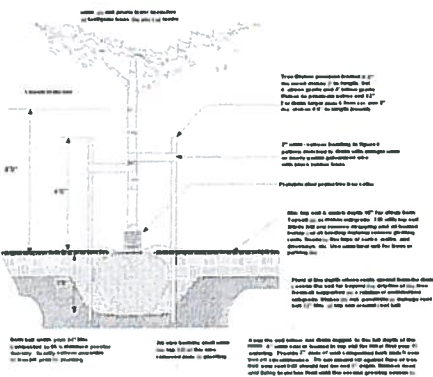
Objectives:
 To ensure that the trees and plants are protected during construction activities.

Key Elements:
 1. Live Protection Rules, 2006 No. 14300
 2. Tree Protection Rules, 2006 No. 14300
 3. Tree Protection Rules, 2006 No. 14300

Tree Size (DBH)	Tree Protection Method
Less than 75mm	Flare
75mm to 100mm	Flare or Tree Protection Box
100mm to 150mm	Tree Protection Box
150mm to 225mm	Tree Protection Box
225mm to 300mm	Tree Protection Box
300mm to 450mm	Tree Protection Box
450mm to 750mm	Tree Protection Box
750mm to 1000mm	Tree Protection Box
1000mm and over	Tree Protection Box

City of Surrey Planning & Development Department, 2015. All Rights Reserved.

8 Tree Protection Measures as per COS Scale: 1:24



9 Tree planting Scale: 1:24

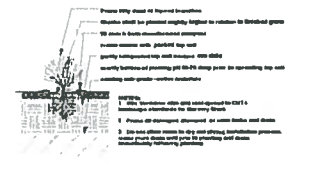
City of Surrey Planning & Development Department

TREE BARRIER INSTALLATION AND INSPECTION

11 Tree Barrier Installation and Inspection

This is a technical drawing showing the installation and inspection of tree barriers. It includes a diagram of a tree barrier and a list of inspection points.

Inspection Points:
 1. The barrier should be installed in a location that protects the tree from construction activities.
 2. The barrier should be made of a material that is durable and resistant to damage.
 3. The barrier should be installed at a height that is sufficient to prevent construction equipment from entering the tree's protective zone.



10 Shrub Planting Scale: 1:24

Jonathan Luxon Ltd
 LANDSCAPE ARCHITECTS

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 E-mail: info@jonathaneluxon.com

Project	Date	Phase
May 26, 2016	Final Review	Final Review
Apr 02, 2016	Final Review	Final Review
Feb 23, 2016	Final Review	Final Review
Dec 17, 2015	Final Review	Final Review
Nov 26, 2014	Final Review	Final Review
Nov 02, 2014	Final Review	Final Review
Nov 02, 2014	Final Review	Final Review
Oct 21, 2014	Final Review	Final Review
Jul 17, 2014	Final Review	Final Review

Project: **Hopewell Development**
 12886 Street 6, 28th Avenue
 South Surrey, BC

Sheet Title: **Landscape Details**

Drawn by: **[Name]**
 Date: July 2016
 Project No: 2014-27

L-3

INTER-OFFICE MEMO

TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department

FROM: Development Services Manager, Engineering Department

DATE: May 20, 2015 **PROJECT FILE:** 7814-0337-00

RE: Engineering Requirements (Commercial/Industrial)
Location: 2830, 2910 - 188 Street and 2969 - 190 Street

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 9.5 to 12.00 metres on 190 Street for an industrial through local road.
- Dedicate 10.00 metres on 30 Avenue for an industrial through local road.
- Dedicate 6.0m x 6.0m at all road intersections.
- Provide Statutory Rights-of-way (SRW) for construction of half roads as necessary.
- Provide 0.5 SRW on all road frontages for access to City infrastructure.

Works and Services

- Construct the west half of 190 Street to a through local industrial standard.
- Construct the east half of 188 Street to a through local industrial standard.
- Construct the north half of 30 Avenue to a through local industrial standard.
- Construct sanitary and storm sewers to service the development.
- Construct water mains to service the development.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Rémi Dubé, P.Eng.
Development Services Manager

LR

NOTE: Detailed Land Development Engineering Review available on file