

City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7914-0324-00

Planning Report Date: October 1, 2018

**PROPOSAL:**

- **Rezoning** from RF to CD (based on RM-30)
- **Development Permit**

to permit the development of 19 townhouse units.

**LOCATION:**

12869 - 111 Avenue  
 12855 - 111 Avenue  
 Portion of Road (128A Street)

**ZONING:**

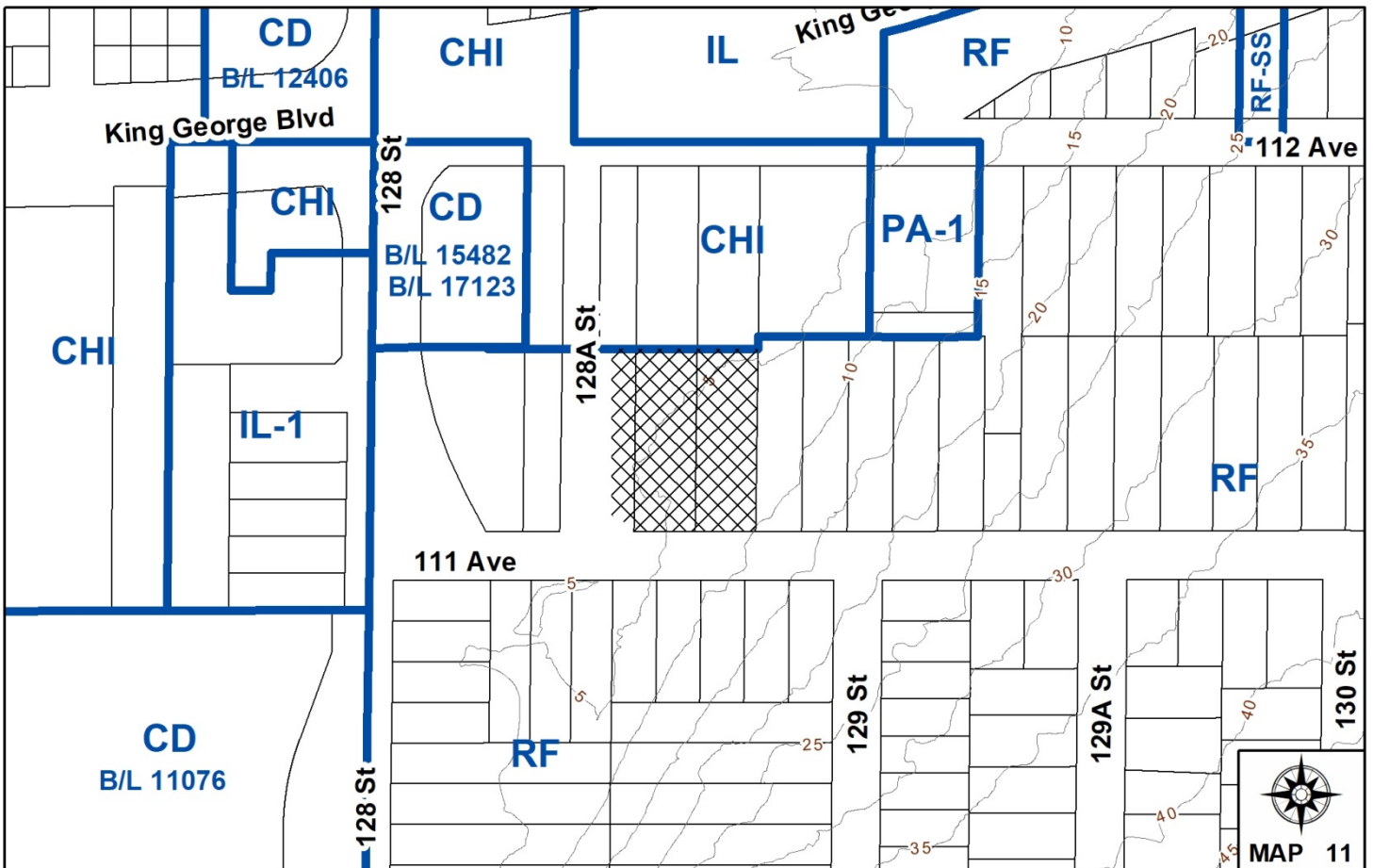
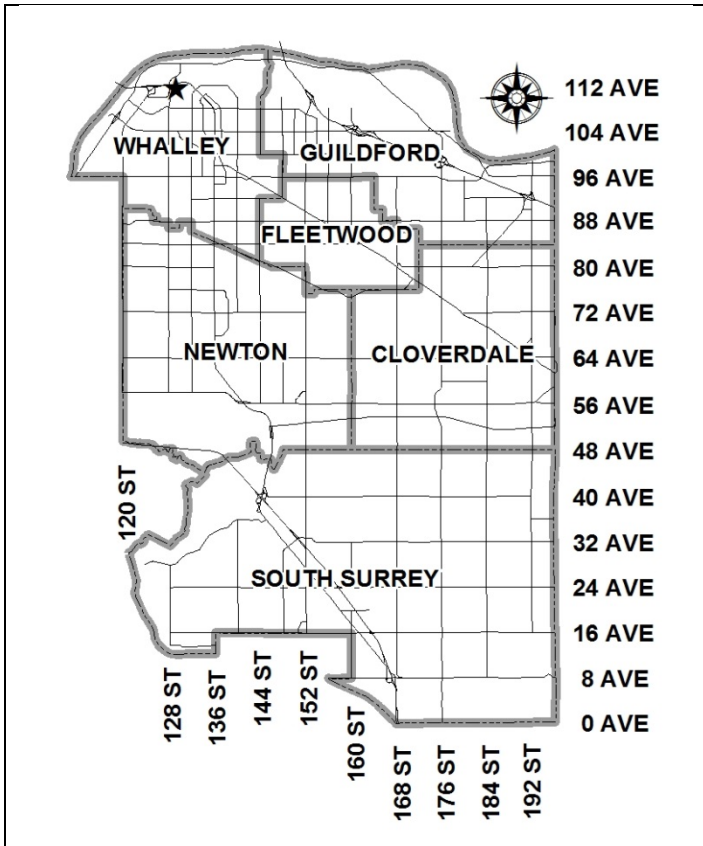
RF

**OCP DESIGNATION:**

Urban

**NCP DESIGNATION:**

Multiple Residential



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to eliminate indoor amenity space.
- Approval to draft Development Permit for Form and Character, Sensitive Ecosystems, and Hazard Lands.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None

### RATIONALE OF RECOMMENDATION

- The proposal complies with the Multiple Residential designation in the South Westminster Neighbourhood Concept Plan.
- The proposal complies with the Official Community Plan's Urban designation.
- Allocates a portion of the eastern side of the site for a Green Infrastructure Network (GIN) corridor, as identified in the Biodiversity Conservation Strategy.
- The proposed density and building form are appropriate for this part of South Westminster given the proximity to Scott Road SkyTrain Station.
- The proposed setbacks achieve a more urban, pedestrian-oriented streetscape that will enhance the urban context.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site and portion of road (128A Street) shown as Block A on the survey plan attached in Appendix II from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council approve the applicant's request to eliminate the required indoor amenity space.
3. Council authorize staff to draft Development Permit No. 7914-0324-00 generally in accordance with the attached drawings (Appendix II).
4. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (g) completion of the road closure and acquisition of a portion of 128A Street;
  - (h) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
  - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
  - (j) the applicant adequately address the impact of no indoor amenity space;
  - (k) address all requirements from Metro Vancouver with respect to the on-site Greater Vancouver Sewer & Drainage District right-of-ways;
  - (l) registration of a Section 219 Restrictive Covenant to restrict habitable floor area below the minimum Flood Construction Level (FCL) and to inform current and

future owners that the subject property is located within a flood plain area and that any buildings or structures constructed upon the lot may be damaged by flooding or erosion;

- (m) submission of a finalized geotechnical report; and
- (n) registration of a Section 219 Restrictive Covenant that requires the Owner to develop the site in accordance with the Geotechnical Assessment Report.

### REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

5 Elementary students at K.B. Woodward School  
2 Secondary students at Kwantlen Park School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring/Summer 2020.

Parks, Recreation & Culture: Parks supports the conveyance of land for GIN corridor purposes.

Surrey Fire Department: No concerns.

Metro Vancouver: Metro Vancouver has reviewed and granted preliminary approval to the site plan provided that Metro Vancouver's sanitary sewer is not impacted during site investigations, construction and post-construction.

SITE CHARACTERISTICS

Existing Land Use: Vacant, treed site encumbered by the Metro Vancouver sanitary sewer ROW.

Adjacent Area:

<b>Direction</b>	<b>Existing Use</b>	<b>OCP/NCP Designation</b>	<b>Existing Zone</b>
North:	Vehicle Sales	Urban in OCP / Multiple Residential in NCP	CHI
East:	Single Family Housing	Urban in OCP (not in NCP)	RF
South (Across 111 Avenue):	Single Family Housing	Urban in OCP (not in NCP)	RF
West (Across 128A Street):	Vacant site under application to rezone from RF to CHI to permit the development of two commercial buildings.	Mixed Employment in OCP / Highway Commercial in NCP	RF

DEVELOPMENT CONSIDERATIONSBackground

- The vacant 0.38-hectare (0.9-acre) subject property is located on the northeast corner of 111 Avenue and 128A Street.
- A Metro Vancouver Right-of-Way containing the North Surrey Interceptor Sewer Main traverses the site.
- The subject property is designated Urban in the Official Community Plan (OCP) and is currently zoned “Single Family Residential Zone (RF)”.
- The preferred land use designation for the subject site is Multiple Residential in the South Westminster Neighbourhood Concept Plan (NCP).

Current Proposal

- The applicant is proposing to rezone the subject property and portion of adjacent road allowance from “Single Family Residential Zone (RF)” to “Comprehensive Development Zone (CD)” (based on the RM-30 Zone), and Development Permits (DPs) for the development of 19 townhouse units.

- An unutilized portion of road allowance (722 m<sup>2</sup>) abuts the subject site to the west. The City's Transportation Division confirms that the portion of road allowance is not required and as such, it is proposed to be incorporated into the subject development.
- The northernmost 6 metres (20 ft.) of the subject site (362 m<sup>2</sup>) is proposed to be dedicated to the City as a greenway, linking 128A Street with the planned Green Infrastructure Network (GIN) corridor and, through redevelopment, to Poplar Park to the east. The applicant has also volunteered to convey to the City without compensation the southeast portion of the land (823 m<sup>2</sup>) identified as a GIN corridor as shown in the Official Community Plan. Also road dedication towards the ultimate width of 111 Avenue (98 m<sup>2</sup>) will be provided.
- After land acquisitions and road dedications, the developable site area is proposed to be 0.26 hectares (0.63 ac.). This developable area also takes into account the undevelopable Metro Vancouver (GVWSSD) right-of-way which encumbers the subject site. The undevelopable area is excluded for the purposes of calculating Floor Area Ratio (FAR) but can be used for the provision of outdoor amenity space and parking.
- The net density for the proposed 19-unit townhouse development is 74 units per hectare (19 units per acre) with a floor area ratio (FAR) of 1.09. The gross unit density for the proposed development is 46.9 units per hectare (18.97 units per acre) with a gross FAR of 0.69.
- The proposed unit density, complies with the maximum density of the Urban Designation of the OCP for sites within an NCP area. The proposal also meets the maximum unit density requirements of the RM-30 Zone which the CD Bylaw for the proposed development will be based upon. The proposed FAR of 1.09 is higher than FAR of 1.0 that the RM-30 zone typically would permit, due to the requirement to discount the undevelopable portion of the site.

### Policy Considerations

- The subject site is designated Urban in the Official Community Plan which supports a density of up to 72 units per hectare (30 units per acre) within approved Secondary Plan areas.
- The proposed development is supported by the following policies of the Official Community Plan:
  - A1.3 – Accommodate urban land development according to the following order of growth management priorities:
    - Serviced infill areas and redevelopment sites in appropriate locations within existing residential neighbourhoods, when developed compatibly with existing neighbourhood character.

*(The proposed development is located in a well-serviced area and will help to create a compatible transition between the commercial/industrial development to the west and the residential development to the east.*

  - A3.3 – require development and infill development to contribute to neighbourhood connectivity and walkability and to enhance public opens spaces and greenspaces within existing neighbourhoods.

*(The applicant will be required to construct new sidewalks along 111 Avenue and 128A Street in addition to conveying land at the north end of the site for Greenway dedication, and land at the east side of the site as part of the GIN corridor, enhancing the pedestrian environment and creating new greenspaces in the neighbourhood.)*

- A3.4 – Retain existing trees and natural and heritage features in existing neighbourhoods where possible, in order to preserve neighbourhood character and ecology.

*(The existing trees in the GIN corridor, outside of the Metro Vancouver ROW, that is to be conveyed to the City will have invasive species removed and all existing trees are to be retained.)*

- B4.6 – Direct higher residential densities to locations within walking distance of neighbourhood centres, along main roads, near transit routes and adjacent to major parks or civic amenities.

*(The subject site is located along an arterial roadway and is within walking distance to Scott Road Skytrain Station and its associated bus loop which is serviced by 6 TransLink routes.)*

- B4.7 – Design housing units to front directly onto public streets and/or public spaces, in order to facilitate a safe, welcoming, public streetscape and public realm.

*(The townhouse units adjacent to 111 Avenue and 128A Street will be required to front directly onto those respective streets.)*

- B4.9 – Plan for housing units to front onto riparian and green areas, where possible, to increase visibility into those areas and to increase the amenity features for those residents.

*(The townhouse units adjacent to the proposed greenway and GIN area will be required to front directly towards those respective areas.)*

- D1.4 – Preserve riparian areas and watercourses in their natural state and link them with upland natural areas to develop a connected network of natural areas throughout Surrey

*(The proposed development includes the voluntary conveyance of land required to complete the City's envisioned Green Infrastructure Network.)*

- D2.9 – Permit development in areas subject to flood hazards only when it is demonstrated by a Qualified Professional that the proposal meets current flood protection requirements, at the time of development, with respect to proposed uses, building materials, and required building elevations. A Save Harmless Covenant indemnifying the City is required for all development within flood prone areas.

*(All proposed habitable space has been demonstrated to be above FCL and the applicant will be required to register a Restrictive Covenant to restrict habitable floor area below the minimum Flood Construction Level (FCL) and to inform current and future owners that the subject property is located within a flood plain area.)*

- The subject site is located in the South Westminster NCP area and is designated as Multiple Residential. The site is also located within the NCP's Transit-Oriented Urban Village area which encourages compact developments that facilitate and encourage the use of transit and the creation of a pedestrian and cycle friendly environment.

*(The proposed development is multiple-unit, compact, and will house more residents in the vicinity of Scott Road SkyTrain Station. The proposed development will also include upgrades to the pedestrian realm adjacent to the development.*

### Transportation Considerations

- The proposed development will have vehicular access off of 128A Street from the west and parking will be provided via garages incorporated into each individual dwelling. Two (2) of the 19 proposed units (10.5%) are proposed to utilize a tandem parking configuration and 4 visitor parking spaces are proposed to be provided, meeting the Zoning By-law No. 12000's minimum parking requirements.
- As part of the development, the applicant is being required to construct 111 Avenue and 128A Street along the property lines to their respective road standards and the applicant will also be required to improve the pedestrian realm adjacent to the development through the installation of sidewalks along 111 Avenue and 128A Street, street lighting, and street trees.
- The proposed development is located approximately 90 metres (295 ft.) from the east/west cycle route that runs along the King George Boulevard multi-use pathway and approximately 750 metres (0.46 mi.) from the north/south 132 Street cycle route.
- The subject site is approximately a 900 metre (0.55 mi.) walk from Scott Road SkyTrain Station and its associated bus loop, which is serviced by 6 TransLink routes.

### PROPOSED CD BY-LAW

- The proposal is to rezone the site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" based on the "Multiple Residential 30 Zone (RM-30)" to accommodate a 19 unit townhouse development.
- The proposed CD By-law will utilize the permitted uses of the RM-30 Zone.



- The following table provides a comparison between the other requirements of the RM-30 Zone and the proposed CD By-law:

	RM-30	Proposed CD By-law
FAR	1.0	1.1
Unit Density	75 unit per hectare (30 u.p.a.)	75 unit per hectare (30 u.p.a.)
Lot Coverage	45%	49%
Principal Building Setbacks	7.5 metres (25 ft.) from all lot lines	<ul style="list-style-type: none"> <li>4.0 metres (13 ft.) to the front yard (south) lot line</li> <li>4.0 metres (13 ft.) to the rear yard (north) lot line</li> <li>4.0 metres (13 ft.) to the side yard (east) lot line</li> <li>5.0 metres (16 ft.) to the side yard (east) lot line</li> </ul>
Indoor Amenity Area	3.0 square metres (32 sq. ft.) per dwelling unit	Cash-in-lieu

- The maximum permitted FAR and lot coverage have been increased to reflect the impact of the undevelopable area within Metro Vancouver's Sanitary Sewer Right-of-Way on the project.
- The reduced setbacks along the north, south, and east yards are supportable as they bring the units closer to the street or open spaces, which will allow better engagement with the public realm. These setbacks are also consistent with similarly approved setbacks for other townhouse developments in the City.

#### DEVELOPMENT PERMITS FOR SENSITIVE ECOSYSTEMS AND HAZARD LANDS

- The proposed development is located in both Sensitive Ecosystems (Green Infrastructure Network) and Hazard Lands (Steep Slope and Flood Prone Areas) Development Permit Areas.

#### Sensitive Ecosystem Development Permit – Green Infrastructure Area

- The subject site is traversed by a GIN corridor identified in the City's Official Community and Biodiversity Conservation Strategy.
- To meet the Development Permit requirements, the applicant commissioned an Ecosystem Development Plan for the site.
- The Ecosystem Development Plan, prepared by Tracy Anderson, B.Sc., R.P. Bio of Envirowest Consultants Inc. and dated July 23, 2018 proposes the removal of the existing invasive species and replanting with native shrub species. Staff have requested that all mature trees in the GIN corridor that are outside of the Metro Vancouver ROW be retained.
- The applicants are proposing to convey the GIN corridor to the City through the proposed application, without compensation.

### Hazard Lands Development Permit – Steep Slopes / Flood Prone Areas

- The site is located in the Hazard Land Development Permit area for Steep Slopes and Flood Prone Areas.
- A geotechnical report, prepared by Anthony Yam, M.A.Sc., P. Eng. of Tony Yam Engineering Ltd. and dated April 6, 2012 outlines the site's conditions and generally how construction should proceed. Prior to Final Approval, the applicant will be required to submit a finalized geotechnical report and to register a Restrictive Covenant requiring the applicant to develop the site in accordance with that report.
- The applicant has demonstrated that all habitable floor area is above the Fraser River Flood Construction Level (FCL). A Restrictive Covenant to prohibit habitable floor area below the FCL and to inform current and future owners that the subject property is located within a flood plain area.

### PRE-NOTIFICATION

Pre-notification letters were sent on February 24, 2016 and again with an updated version on August 20, 2018. Staff have not received any concerns in response to the pre-notification letters.

### DESIGN PROPOSAL AND REVIEW

- The proposed 19-unit townhouse project consists of four (4), three-storey buildings with garages accessed internally at grade.
- All unit are proposed to contain three (3) bedrooms.
- Seventeen (17) of the townhouse units will feature double car, side-by-side garages. Two (2) tandem garage units are proposed.
- The proposed townhomes feature strong vertical elements giving the individual units a distinctive definition. The proposed building materials include hardie panel/plank siding, and exterior stone veneer.
- The proposed unit doors and fascias will utilize natural red cedar.
- The individual units will have access to private outdoor amenity areas at ground-level and will all front onto a public street, greenway, or the development's proposed outdoor amenity area.

### Amenity Area

- The RM-30 Zone requires 57 square metres (614 sq. ft.) of indoor amenity space and 57 square metres (614 sq. ft.) of outdoor amenity space.
- The applicant proposes approximately 323.4 square metres (3,481 sq. ft.) of outdoor amenity space, which exceeds the minimum typically required under the RM-30 Zone.

- The outdoor amenity area, which utilizes the undevelopable area of the Metro Vancouver ROW, features benches, stepping logs and rounded boulders as natural play elements, a play area, and a number of small grassed areas.
- Given the size of the proposed townhouse development (19 units) as well as the constraints of the site, the applicant does not propose any indoor amenity space and will provide a monetary contribution of \$22,800 (based on \$1,200 per unit) in accordance with City policy to address this shortfall. The subject site is within close proximity to the future North Surrey Sport and Ice Complex, which will offer quality services and amenity space.

### Landscaping

- The landscaping for the site includes corner plazas, benches, opens space, a variety of shade trees, shrubs, and decorative concrete paving.
- The fencing to delineate between the development's outdoor amenity area and the GIN corridor will consist of a horizontal rail aluminum fence that will be permeable to wildlife utilizing the corridor.

### TREES

- Trevor Cox, ISA Certified Arborist of Diamond Head Consulting Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Red Alder (located in GIN)	3	0	3
Cottonwood	14	14	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>17</b>	<b>14</b>	<b>3</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>36</b>	
<b>Total Retained and Replacement Trees</b>		<b>39</b>	
<b>Contribution to the Green City Fund</b>		<b>N/A</b>	

- The Arborist Assessment states that there are no protected trees on the site, except for Alder and Cottonwood trees. Seventeen (17) existing trees, 100 % of the total trees on the site, are Alder and Cottonwood trees. It was determined that three (3) Alder trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for the Cottonwood trees. This will require a total of fourteen (14) replacement trees on the site. The applicant is proposing thirty-six (36) replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 111 Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Japanese Maples, Pacific Dogwood, Susan magnolia, and Douglas Fir species.
- In summary, a total of thirty-one (31) trees are proposed to be retained or replaced on the site with no contribution to the Green City Fund.

#### BIODIVERSITY CONSERVATION STRATEGY

- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Regional BCS Corridor within the subject site, in the Newton BCS management area, with a Medium ecological value.
- The BCS further identifies the GIN area of the subject site as having a Moderate habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target Corridor width of 50 meters.
- Protecting green infrastructure Hubs (large habitat areas) and Sites (smaller habitat areas) are critical to preserving natural habitat refuges and a diversity of habitat features while maintaining/enhancing Corridors ensures connectivity between fragmented hubs for genetic variation throughout the City.
- The development proposal conserves and enhances approximately 1,184 square meters (0.29 ac.) of the subject site through Parkland Conveyance. This method of GIN retention/enhancement will assist in the long term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.

#### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on August 16, 2018. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The proposed development is located in the South Westminster Neighbourhood Concept Plan area.</li> <li>• The proposed development is consistent with the NCP's Multiple</li> </ul>

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
	Residential designation. <ul style="list-style-type: none"> <li>• The subject site is located within 900 metres (0.5 mi.) walking distance of a SkyTrain Station and multiple bus routes.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>• The site plan can accommodate private community gardens adjacent to the outdoor amenity area without impacting the GIN corridor.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• The development proposes to preserve and enhance the GIN corridor through invasive species removal, native species replanting, and conveyance to the City.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>• Bicycle parking is provided.</li> <li>• A greenway is being dedicated along the north portion of the site which can accommodate a future multi-use path.</li> <li>• The pedestrian environment adjacent to the subject site will be upgraded through the proposed development.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>• The proposed development consists of street-oriented housing that provides “eyes on the street” along 111 Avenue, 128A Street, as well as the greenway and the site’s amenity areas.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• N/A</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• The surrounding community was notified via a pre-notification letter and a Development Proposal Sign as required by the City.</li> <li>• A Public Hearing will be required as part of the rezoning process.</li> </ul>

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary (Confidential) and Project Data Sheets
Appendix II.	Survey Plan, Site Plan, Building Elevations, and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	Proposed CD By-law
Appendix VII.	Aerial Photo of Subject Site

INFORMATION AVAILABLE ON FILE

- Geotechnical Study Prepared by Tony Yam Engineering Ltd. dated April 6, 2012
- Ecosystem Development Plan prepared by Envirowest Consultants Inc. dated September 17, 2018
- Complete Set of Architectural and Landscape Plans prepared by W G Architecture Inc. and PMG Landscape Architects, respectively, dated May 2018

*original signed by Ron Gill*

Jean Lamontagne  
General Manager  
Planning and Development

CW/cm

APPENDIX I HAS BEEN  
REMOVED AS IT CONTAINS  
CONFIDENTIAL INFORMATION

## DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on RM-30)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA*</b> (in square metres)		
Gross Total		3787 m <sup>2</sup>
Road Acquisition Area (128A Street)		+ 722 m <sup>2</sup>
Road Dedication Area (111 Avenue)		- 98 m <sup>2</sup>
Greenway Dedication		- 362 m <sup>2</sup>
GIN Dedication		- 823 m <sup>2</sup>
Undevelopable Area (MV ROW)		- 659 m <sup>2</sup>
Net Total		<b>2567 m<sup>2</sup></b>
<b>LOT COVERAGE</b> (in % of net lot area)		
Buildings & Structures		~ 39%
Paved & Hard Surfaced Areas		~ 39%
Total Site Coverage		~ 78%
<b>SETBACKS</b> ( in metres)		
Front (south)		4.0 m
Rear (north)		4.0 m
Side (west)		4.0 m
Side (east)		5 m
<b>BUILDING HEIGHT</b> (in metres/storeys)		
Principal		11.8 m
Accessory		N/A
<b>NUMBER OF RESIDENTIAL UNITS</b>		
Bachelor		0
One Bed		0
Two Bedroom		0
Three Bedroom +		19
Total		19
<b>FLOOR AREA: Residential</b>		2808.6 m <sup>2</sup>
<b>FLOOR AREA: Commercial</b>		N/A
Retail		N/A
Office		N/A
Total		N/A
<b>FLOOR AREA: Industrial</b>		N/A
<b>FLOOR AREA: Institutional</b>		N/A
<b>TOTAL BUILDING FLOOR AREA</b>		2808.6 m <sup>2</sup>

*\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.*



**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
<b>DENSITY</b>		
# of units/ha /# units/acre (gross)		46.9 uph / 18.97 upa
# of units/ha /# units/acre (net)		74.02 uph / 29.95 upa
FAR (gross)		0.69
FAR (net)		1.1
<b>AMENITY SPACE (area in square metres)</b>		
Indoor		Cash-In-Lieu
Outdoor		323.4 m <sup>2</sup>
<b>PARKING (number of stalls)</b>		
Commercial		N/A
Industrial		N/A
Residential		
Bachelor + 1 Bedroom		N/A
2-Bed		N/A
3-Bed	38	38
Residential Visitors	3	4
Institutional	N/A	N/A
Total Number of Parking Spaces	41	42
Number of disabled stalls	N/A	0
Number of small cars		2
Tandem Parking Spaces: Number / % of Total Number of Units		4 / 10.5%
Size of Tandem Parking Spaces width/length		4.66 m / 12 m

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

# MULTIPLE BUILDINGS DATA SHEET

Proposed/Existing Zoning RF / CD

Required Development Data	Building #1	Building #2	Building #3	Building #4
SETBACK (in metres)				
Front	21 m	4 m	21 m	51 m
Rear	21 m	52 m	21 m	4 m
Side (W)	4 m	4 m	22 m	4 m
Side (E)	42m	5 m	20m	11.5 m
BUILDING HEIGHT (in metres/storeys)	11.8 m / 3 Storeys	11.8 m / 3 Storeys	11.8 m / 3 Storeys	11.8 m / 3 Storeys
NUMBER OF RESIDENTIAL UNITS/ SIZE RANGE	4	4	4	7
Bachelor	0	0	0	0
One Bedroom	0	0	0	0
Two Bedroom	0	0	0	0
Three Bedroom +	4	4	4	7
TOTAL FLOOR AREA	602.06 m <sup>2</sup>	602.13 m <sup>2</sup>	541.99 m <sup>2</sup>	1046.67 m <sup>2</sup>
		5.94 m <sup>2</sup> (Elec. Rm.)		9.8 m <sup>2</sup> (Elec. Rm.)

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY  
 BYLAW NO. \_\_\_\_\_ OVER PART OF  
 SECTION 16 B5N R2W N.W.D. PLAN 493  
 FOR THE PURPOSE OF REZONING**

**APPENDIX II**

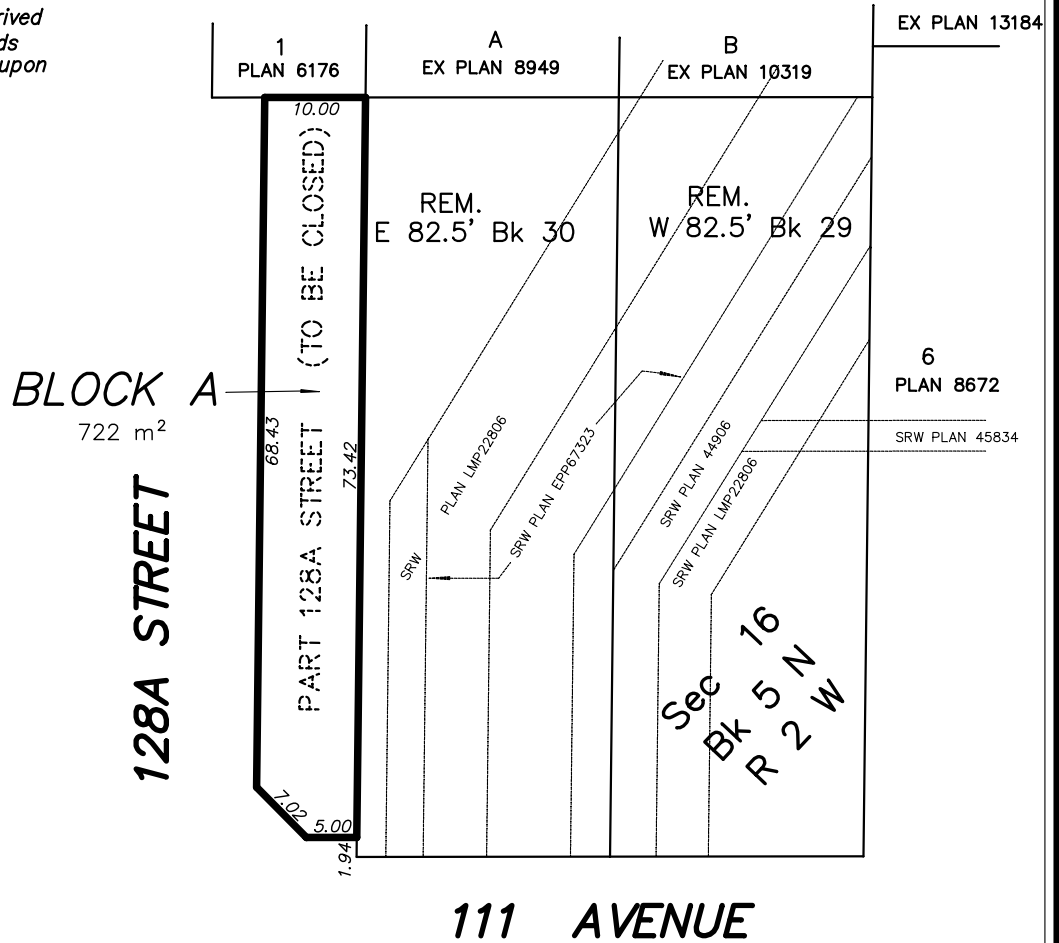
BCGS 92G016  
 CITY OF SURREY

LEGEND

SCALE  
 1: 750

ZONE	LEGAL DESCRIPTION	TOTAL AREA
BLOCK A	PART ROAD DEDICATED ON PLAN 84079	722m <sup>2</sup>

*—property dimensions are derived  
 from Land Title Office records  
 and are subject to change upon  
 field survey*



Date of Survey  
 13h day of September, 2018

© COPYRIGHT  
 DHALI WAL & ASSOCIATES  
 LAND SURVEYING INC.  
 216-12899 76th Avenue  
 Surrey, B.C.  
 V3W 1E6  
 (ph) 501-6188  
 email: info@dhaliwalsurvey.com  
 FILE: 1809001-Z01

**THIS DOCUMENT IS NOT VALID UNLESS  
 ORIGINALLY SIGNED AND SEALED**

**THIS PLAN LIES WITHIN THE  
 METRO VANCOUVER REGIONAL DISTRICT**

MARK J.R. DAILEY

BCLS 867

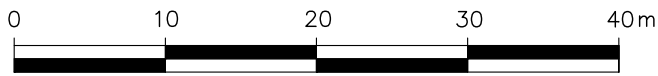
**PROPOSED SUBDIVISION PLAN OF WEST 82.5 FEET LOT 29 EXCEPT:  
 FIRSTLY: NORTH 33 FEET  
 SECONDLY: PARCEL "B" (EXPLANATORY PLAN 10319)  
 & EAST 82.5 FEET LOT 30 EXCEPT: PCL "A" (EP8949)  
 & ROAD AREA CLOSED (128A STREET)  
 BOTH OF SECTION 16 B5N R2W N.W.D. PLAN 493**

BCGS 92G016  
 CITY OF SURREY

Current Civic Address:  
 12855, 12869 111th Avenue  
 Surrey, B.C.

**LEGEND**

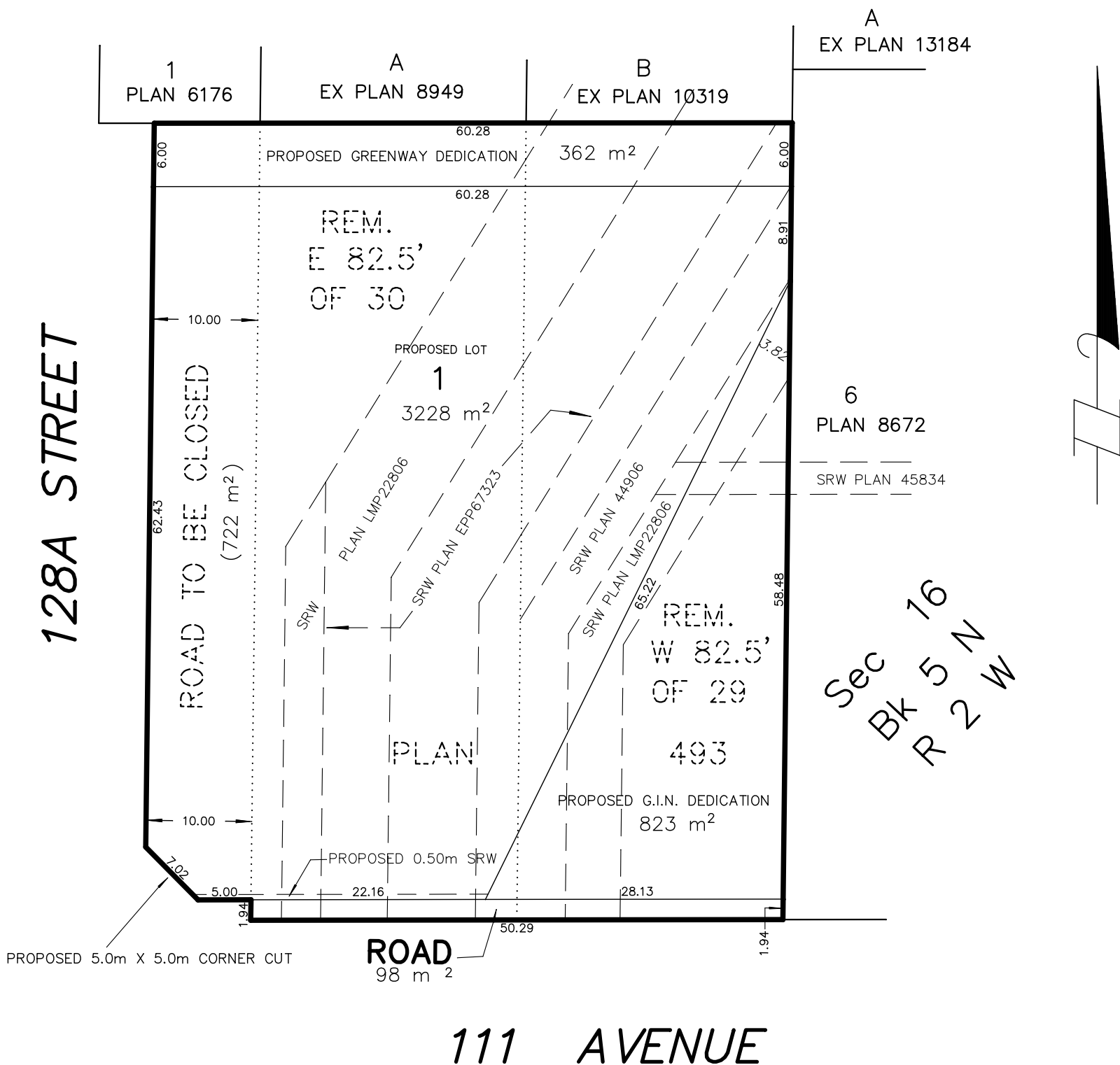
SCALE 1:500



(All distances are in metres)

Note:

- All dimensions are in metres.
- This plan is NOT to be used for location of property lines.
- This plan does not show non-plan charges, liens or interests.
- property dimensions are derived from Land Title Office records and are subject to change upon field survey



**DHALIWAL AND ASSOCIATES**  
 LAND SURVEYING INC.  
 216-12899 76th Avenue  
 Surrey, B.C. V3W 1E6  
 Phone: 604 501-6188  
 email: info@dhaliwalsurvey.com  
 File: 1809001-PS1

THIS PLAN LIES WITHIN THE  
 METRO VANCOUVER REGIONAL DISTRICT

THIS 11th DAY OF SEPTEMBER, 2018

Copyright Reserved  
 This plan and design are, and at all times remain the exclusive property of the architect/designer and cannot be used or reproduced without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office shall be informed of any variations from the dimensions and conditions shown on the drawing.

#	Date	Revision Notes
	FEB 15/16	SETBACK REDUCTION TO 4m

- 6m GREEN WAY DEDICATION
- GVRD ROW AREA - A
- GVRD ROW AREA - B

**PROJECT STATISTICS**

**CIVIC ADDRESS**  
 12855 + 12869  
 111th AVENUE  
 SURREY, B.C.

**LOT AREA CALCULATIONS**

EXISTING SITE AREA	3,787.10m <sup>2</sup>
ROAD ACQUISITION- 10m FROM 128A St	+ 665.78m <sup>2</sup>
GREEN WAY DEDICATION 6m	- 301.80m <sup>2</sup>
111th. AVE. DEDICATION 1.94m	- 97.56m <sup>2</sup>
GIN DEDICATION	- 822.61m <sup>2</sup>

**NET LOT AREA**  
 3230.90m<sup>2</sup> = 0.80 acre

**NET DENSITY**  
 23.75 UPA  
 58.80 UPH

GVRD AREA "A" 1,539.29 m<sup>2</sup>

**SETBACKS**

NORTH	- 4.0 m
SOUTH	- 4.0 m
EAST	- 21.4m
WEST	- 4.0 m

**BUILDING HEIGHT**  
 3 STOREYS  
 BLDG.#2 - 11.80m (39'-8")

**BUILDING FLOOR AREA:**

BUILDING 1 :	602.06 m <sup>2</sup>
BUILDING 2 :	602.13 m <sup>2</sup>
ELEC. RM.:	5.94 m <sup>2</sup>
BUILDING 3 :	541.99 m <sup>2</sup>
BUILDING 4 :	1,046.67 m <sup>2</sup>
ELEC. RM.:	9.80 m <sup>2</sup>
TOTAL :	2,808.59 m <sup>2</sup>

**GROSS FAR** 0.69  
**NET FAR** 0.87

**SITE COVERAGE:** 1,253.52 m<sup>2</sup>  
**GROSS SITE COVERAGE** 31%  
**NET SITE COVERAGE** 39%

**NUMBER OF UNITS**

BUILDING #1 :	4 (4 Double G.)
BUILDING #2 :	4 (4 Double G.)
BUILDING #3 :	4 (2 Double G. + 2 Tandem G)
BUILDING #4 :	7 (7 Double G.)

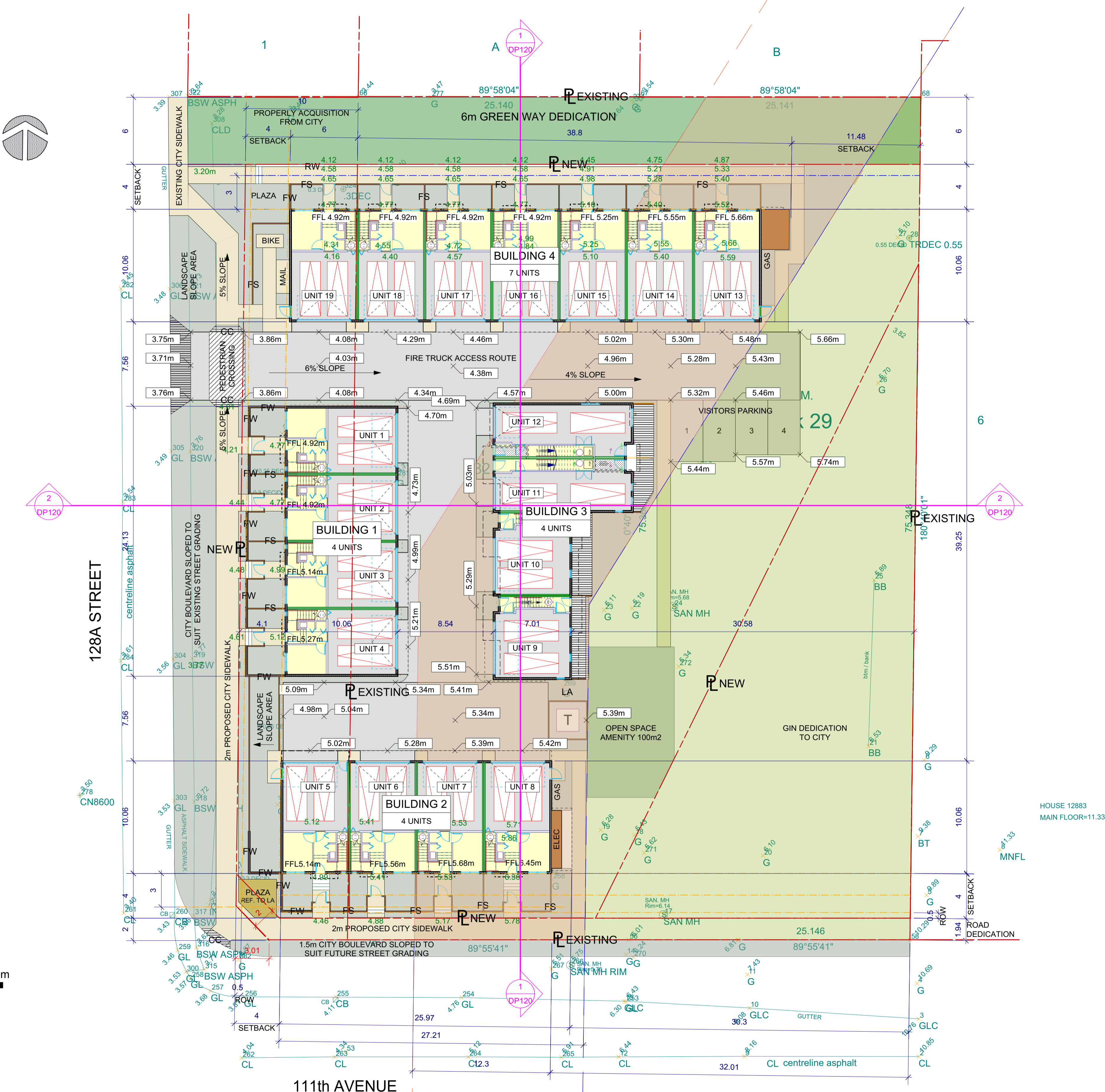
TOTAL 19 (2 Tandem G. + 17 Double G.)

**OFF - STREET PARKING**  
**RESIDENTS**  
 19 UNITS x 2 = 38

**VISITORS**  
 REQUIRED: 19 x 0.2 = 3.8 (4)  
 PROVIDED: 4  
 TOTAL PARKING PROVIDED 42

**OUTDOOR AMENITY**  
 REQUIRED 51sq.m.  
 PROVIDED 100.00 sq.m.

- LEGEND**
- EXISTING GRADING
  - FINISH GRADE
  - SURFACE DRAINAGE
  - ASPHALT PAVING
  - BIKE BICYCLE RACK
  - CATCH BASIN
  - CURB CUT
  - CONCRETE PAVERS
  - ROLL-OVER CURB
  - CONCRETE SIDEWALK
  - FIRE DEPT. ACCESS
  - PRIVACY FENCE/SCREEN
  - FENCE WITH RETAINING WALL
  - GAS METRES
  - LANDSCAPED AREA
  - MAIL MAIL BOX
  - P# PARKING SPACE
  - RW RETAINING WALL
  - T TRANSFORMER
  - TPZ TREE PROTECTION ZONE

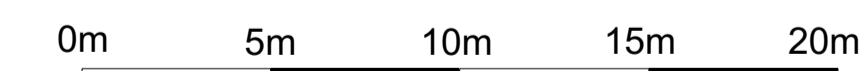


**FIRE FIGHTERS ACCESS**

**BUILDING #1**  
 ALL UNITS INCLUDING UNIT #1  
 HAVE FIRE FIGHTERS ACCESS FROM  
 128A STREET DISTANCE FROM CURB IS  
 LESS THAN 15m (10.5m AVERAGE)

**BUILDING #2**  
 ALL UNITS HAVE FIRE FIGHTERS  
 ACCESS FROM 111 AVENUE DISTANCE  
 FROM CURB IS LESS THAN 15m  
 (11.0m AVERAGE)

**BUILDING #3 & #4**  
 FIRE FIGHTER'S ACCESS IS FROM  
 FIRE TRUCK ACCESS ROUTE.  
 DISTANCE TO UNITS LESS THEN 45m  
 FIRE TRUCK ACCESS ROUTE  
 SHORTER THAN 90m (50m) DOES  
 NOT REQUIRE A TURN AROUND



Project Title:  
**RESIDENTIAL COMPLEX**  
 12855 + 12869  
 111th AVENUE  
 SURREY, BC

Sheet Title:  
**SITE PLAN**

Date: May 2018	Project Number: 1802
Scale: 1 : 200	Sheet Number: DP101
Drawn By: WG, NC	
Approved By: WG	















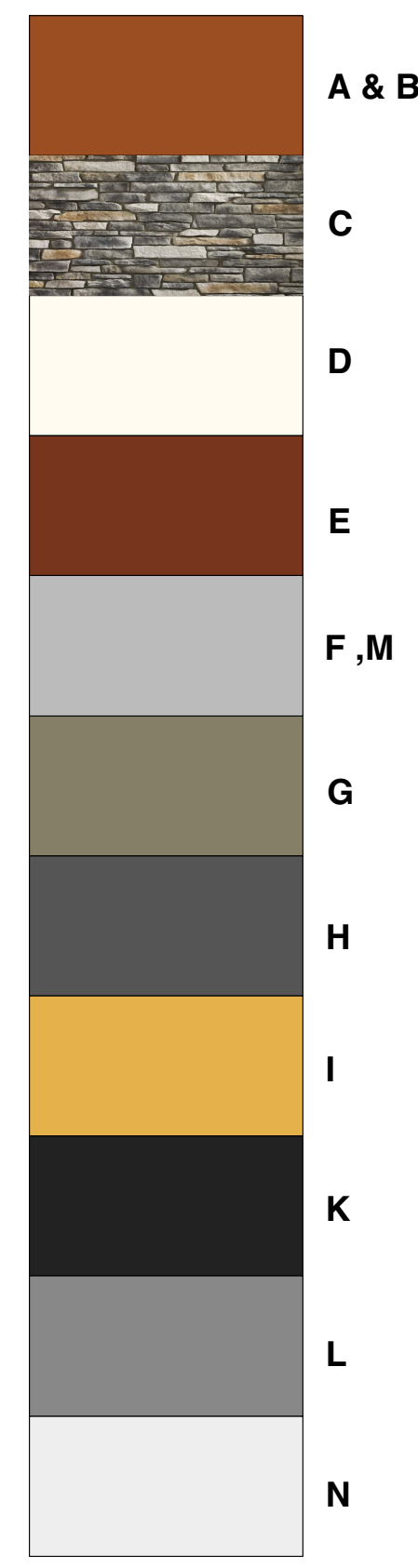
Copyright Reserved  
 This plan and design are, and at all times remain the exclusive property of the architect/designer and cannot be used or reproduced without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office shall be informed of any variations from the dimensions and conditions shown on the drawing.

#	Date	Revision Notes
2017/09/25		DRAWINGS FOR DP ADOPTION
2018/02/01		REV. DRAWINGS FOR DP ADOPTION



**COLOUR SCHEME**

- A. NATURAL RED CEDER - clear weather protection coating  
- Doors & Fascias
- B. "RED CENT" - SHERWIN-WILLIAM, ART: SW 6341 (124-C6)  
- Hardie Board Panels painted, General Paint
- C. "Scioto" - H1005 LEDGE STONE  
- Exterior stone veneer, Heritage Stone
- D. "WHITETAIL" - SHERWIN-WILLIAM, ART: SW 6385 (261-C1)  
- Hardie Board Panels painted, General Paint
- E. "SUN DRIED TOMATO" - SHERWIN-WILLIAM, ART: SW 7585 (275-C4)  
- Hardie Board Panels painted, General Paint
- F. "ONLINE" - SHERWIN-WILLIAM, ART: SW 7072 (235-C2)  
- Hardie Plank, Trim & Rim Board w/ wood texture
- G. "MONTEREY TAUPE" - pre-painted  
- 6" Hardie Plank, Trim & Rim Board w/ wood texture
- H. "WEB GRAY" - SHERWIN-WILLIAM, ART: SW 7075 (235-C6)  
- Hardie Board Panels painted, General Paint
- I. "BUTTERFIELD" - SHERWIN-WILLIAM, ART: SW 6676 (133-C5)  
- Hardie Board Panels painted, General Paint
- K. "CYBERSPACE" - SHERWIN-WILLIAM, ART: SW 7076 (235-C7)  
- Hardie Board Panels painted, General Paint
- L. "SOFTWARE" - SHERWIN-WILLIAM, ART: SW 7074 (235-C5)  
- Hardie Board Fascia & Panels painted, General Paint
- M. "ONLINE" - SHERWIN-WILLIAM, ART: SW 7072 (235-C2)  
- Garage Door painted and canopy metal cladding (amenity unit) General Paint
- N. "GRAY SCREEN" - SHERWIN-WILLIAM, ART: SW 7071 (235-C1)  
- Hardie Board Panels painted, General Paint



**WG ARCHITECTURE INC**  
 904 - 470 GRANVILLE STREET  
 VANCOUVER, B.C. V6C 1V5  
 TEL: (604) 331 2378  
 email: wg@wgarchitectureinc.com

Project Title:  
**RESIDENTIAL COMPLEX**  
 12855 + 12869  
 111th AVENUE  
 SURREY, BC

Sheet Title:  
**BUILDING 1 ELEVATIONS**

Date: January 2018	Project Number: 1802
Scale: 1/8" = 1' - 0"	Sheet Number: <b>DP301</b>
Drawn By: EB	
Approved By: WG	

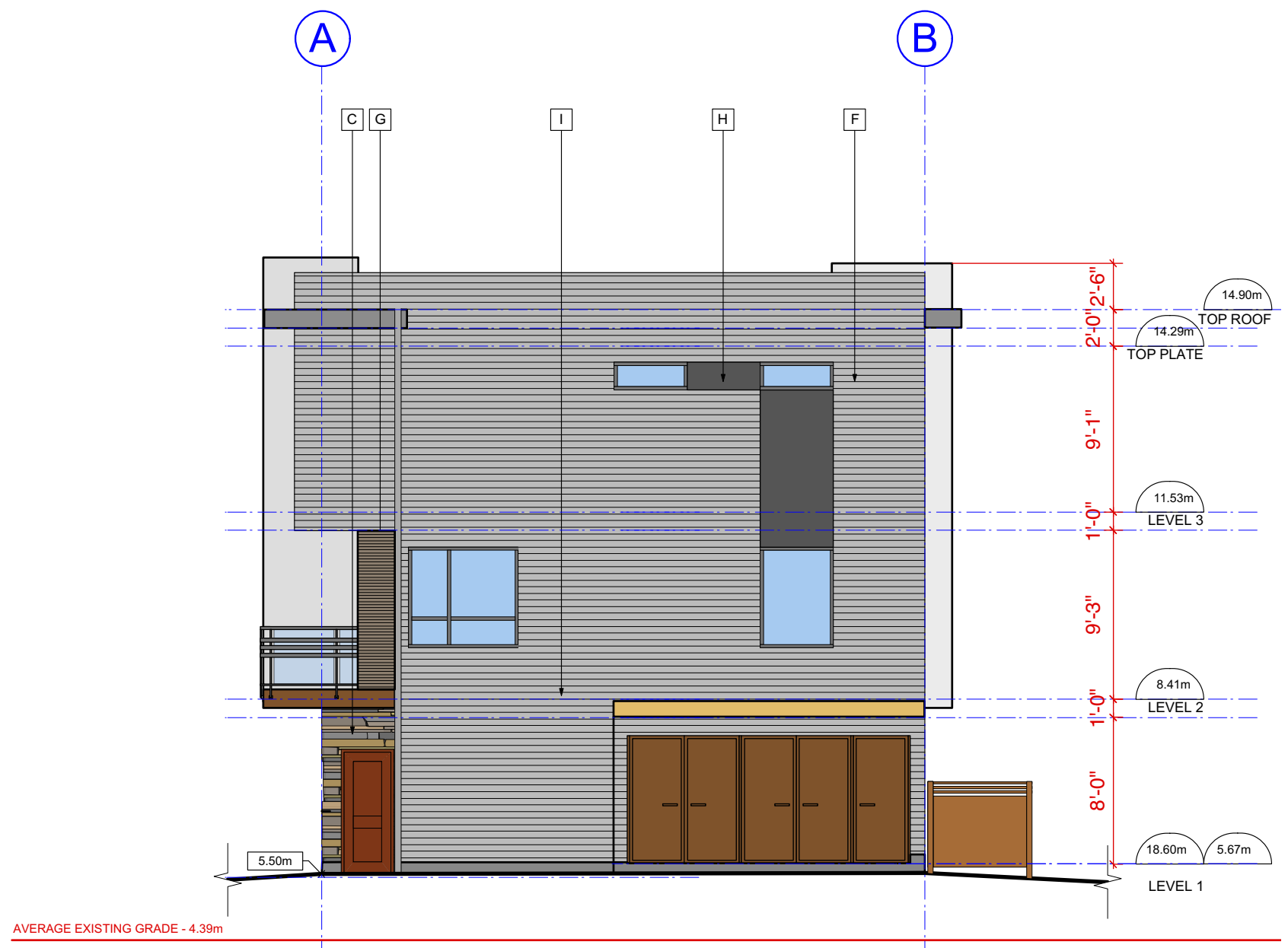
Order: 18-01-5  
 Time: 5:07:41 PM





Copyright Reserved  
 This plan and design are, and at all times remain the exclusive property of the architect/designer and cannot be used or reproduced without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office shall be informed of any variations from the dimensions and conditions shown on the drawing.

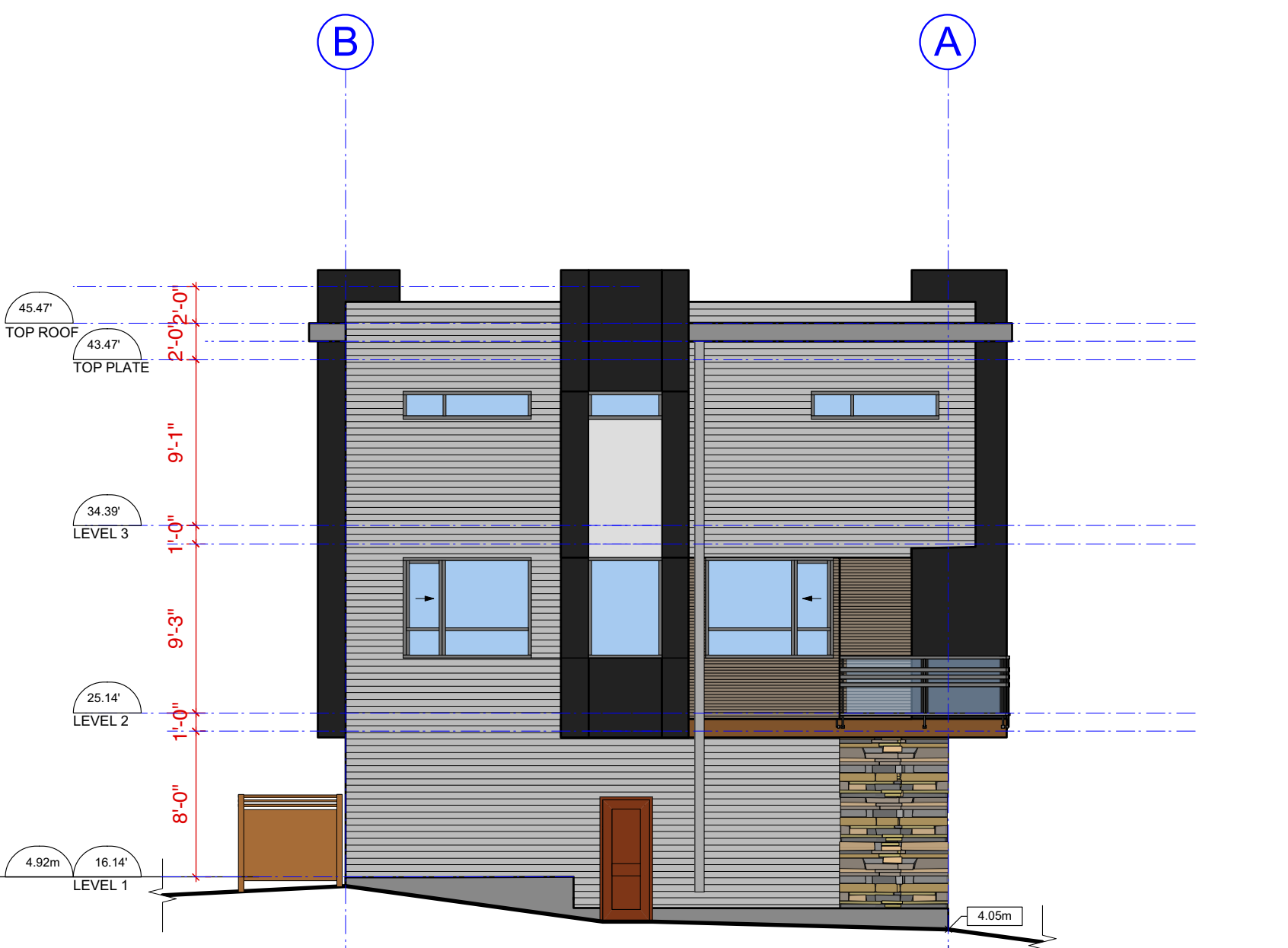
#	Date	Revision Notes
1	2017/09/25	DRAWINGS FOR DP ADOPTION
2	2018/02/01	REV. DRAWINGS FOR DP ADOPTION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



**WG ARCHITECTURE INC**  
 904 - 470 GRANVILLE STREET  
 VANCOUVER, B.C. V6C 1V5  
 TEL: (604) 331 2378  
 email: wg@wgarchitectureinc.com

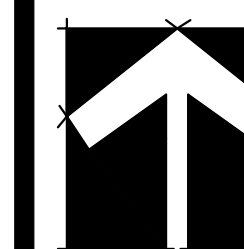
Project Title:  
**RESIDENTIAL COMPLEX**  
 12855 + 12869  
 111th AVENUE  
 SURREY, BC

Sheet Title:  
**BUILDING 4 ELEVATIONS**

Date: January 2018	Project Number: 1802
Scale: 1/8" = 1' - 0"	Sheet Number: <b>DP304</b>
Drawn By: EB	
Approved By: WG	

Date: 2018 September 6  
Time: 5:04:42 PM

SEAL



8	18.SEP.25	UPDATE PER CITY COMMENTS/REISSUE	CLG
7	18.SEP.07	UPDATE PER CLIENT COMMENTS /REISSUE	CLG
6	18.SEP.06	UPDATE PER CITY COMMENTS /REISSUE	CLG
5	18.JUN.01	REVISION AS PER ENVIROWEST REPORT	DO
4	18.MAY.30	NEW SITE PLAN/ CITY COMMENTS	DO
3	16.JUN.08	REVISIONS PER CITY REQUEST	DO
2	16.APR.06	UPDATE ROW AND REISSUE	CLG
1	16.AP.05	REISSUE	PC

NO. DATE REVISION DESCRIPTION DR.

CLIENT

PROJECT

**TOWNHOUSE DEVELOPMENT**

111 AVENUE AND 128A STREET  
SURREY, BC

DRAWING TITLE

**TREE MANAGEMENT PLAN**

DATE: 16.JUL.07 DRAWING NUMBER:

SCALE: 1/16"=1'-0"

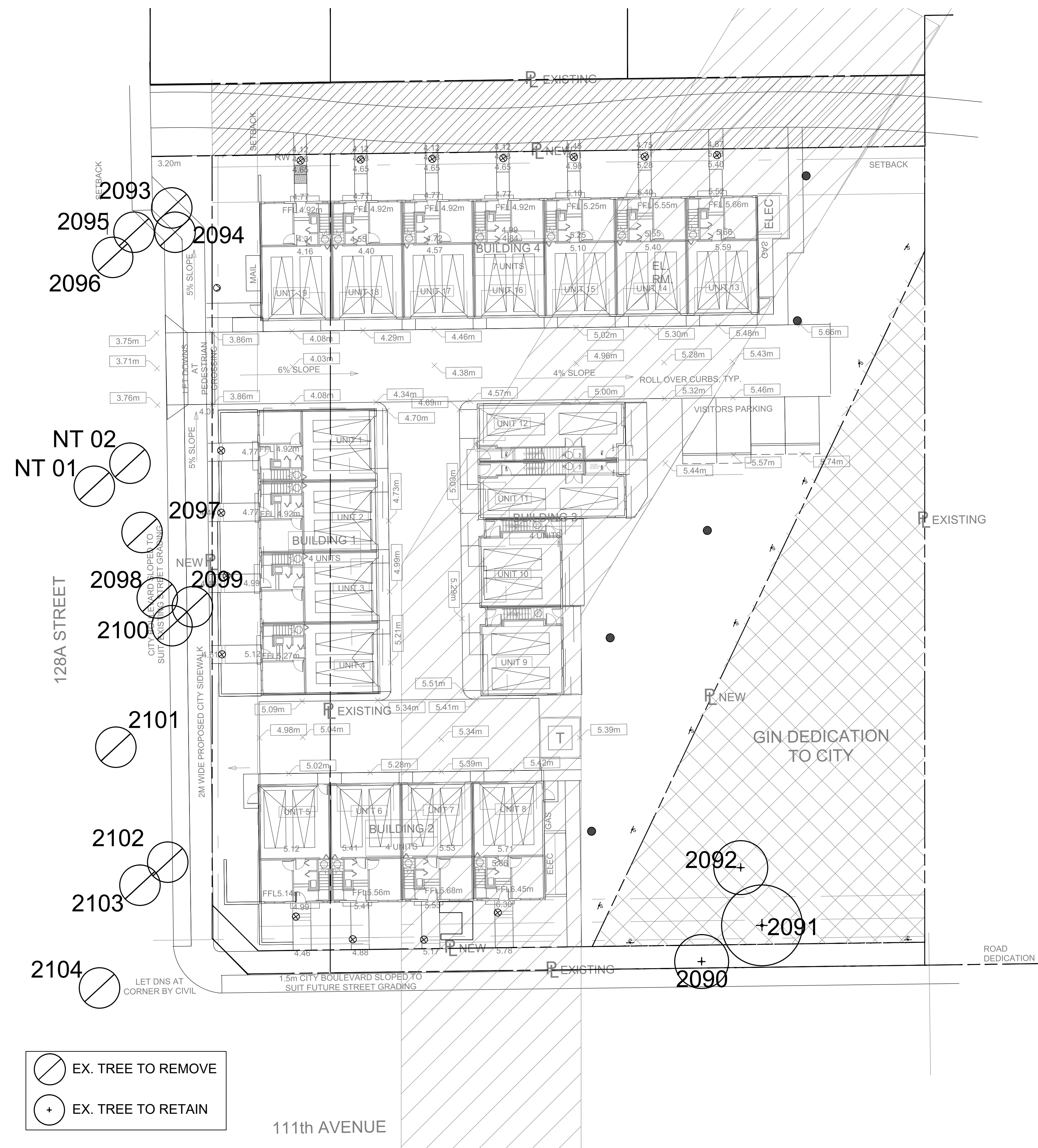
DRAWN: MR

DESIGN: MR

CHK'D: PC

**LO**

OF 6

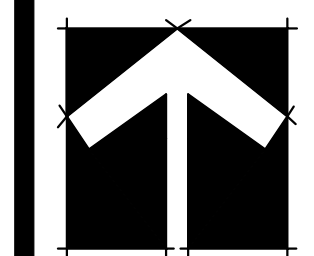


EX. TREE TO REMOVE  
 EX. TREE TO RETAIN





SEAL



NO.	DATE	REVISION DESCRIPTION	DR.
8	18.SEP.25	UPDATE PER CITY COMMENTS/REISSUE	CLG
7	18.SEP.07	UPDATE PER CLIENT COMMENTS / REISSUE	CLG
6	18.SEP.06	UPDATE PER CITY COMMENTS / REISSUE	CLG
5	18.JUN.01	REVISION AS PER ENVIROWEST REPORT	DD
4	18.MAY.30	NEW SITE PLAN / CITY COMMENTS	DD
3	16.JUN.08	REVISIONS PER CITY REQUEST	DD
2	16.APR.06	UPDATE ROW AND REISSUE	CLG
1	16.APR.05	REISSUE	PC

CLIENT

PROJECT

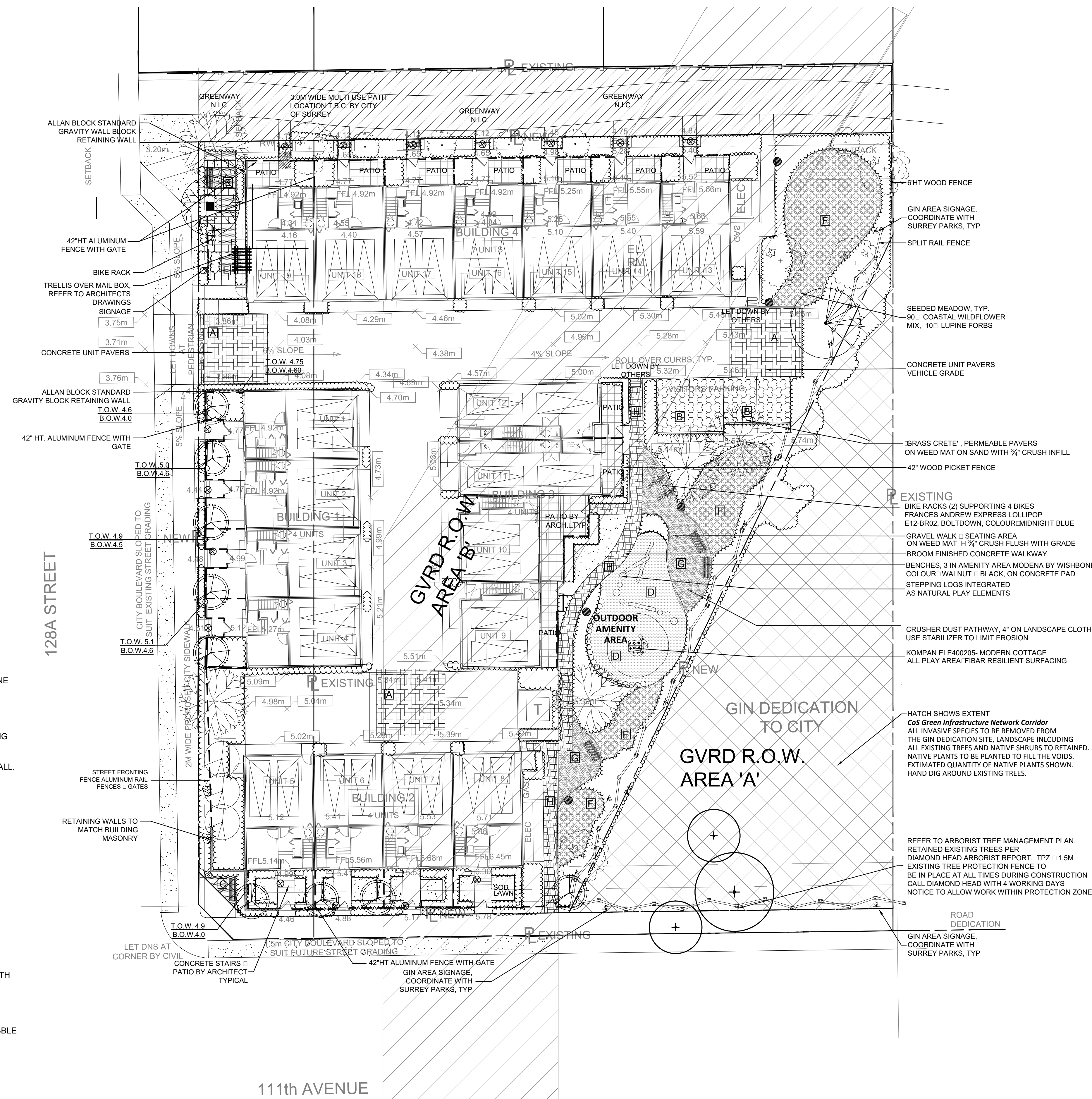
**TOWNHOUSE DEVELOPMENT**

111 AVENUE AND 128A STREET  
 SURREY, BC

DRAWING TITLE

**LANDSCAPE LAYOUT**

DATE	16.JUL.07	DRAWING NUMBER	
SCALE	1/16"=1'-0"		
DRAWN	MR		
DESIGN	MR		
CHK'D	PC		



**S F L**

S	M	L
11x WISHBONE INDUSTRIES MODENA PARK BENCH 'M-5' BLACK POWDERCOAT WALNUT COLOURED SLATS	BIKE RACK FRANCES ANDREW EXPRESS LOLLIPOP E12-BR02, BOLTDOWN, COLOUR: MIDNIGHT BLUE. USE TAMPER RESISTANT HARDWARE	BOULDERS, BURY 1 3RD MIN. 24" MAX 48" DIAMETER, WHERE POSSIBLE RECOVERATE FROM EXISTING SITE.
BALANCE LOGS, REFER TO DETAIL 17	BALANCE LOGS ON END, REFER TO DETAIL 17	KOMPAN ELE400205-3717GR GREEN COLOUR, IN-GROUND MOUNTING, MODERN COTTAGE

**L L**

S	M	L
LIGHTING BOLLARD	STEP LIGHT	SIGNAGE UPLIGHTING

**M L**

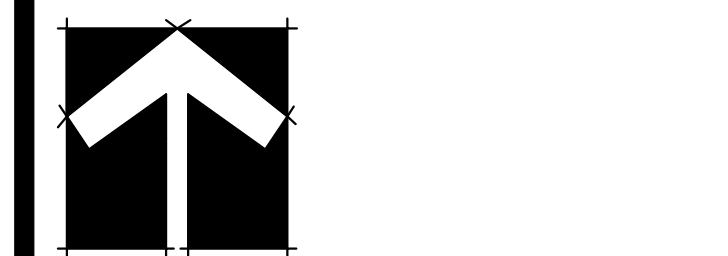
S	M	L
ABBOTSFORD CONCRETE PRODUCTS, CLASSIC STANDARD CONCRETE UNIT PAVER, 8.0CM DEPTH VEHICLE DUTY, COLOUR: SAND BROWN, HERRINGBONE PATTERN. INSTALL PER MANUFACTURERS SPECIFICATIONS	'GRASSCRETE, PERMEABLE PAVERS ON WEED MAT, SAND WITH 3/4" CRUSH INFILL. REFER TO MANUFACTURER'S SPECIFICATIONS AND ENGINEERING DRAWINGS FOR DRAINAGE AND BASE PREPARATION DETAILS. NOTIFY ENGINEERING CONSULTANT LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALL.	CONCRETE PATIO, BROOM FINISHED, DECORATIVE TROWEL TOOLING. REFER TO CIVIL DETAILS FOR STANDARD REINFORCEMENT AND SUBGRADE PREPARATION.
ENGINEERED WOOD FIBRE PLAY SURFACING: FIBAR OR APPROVED EQUIVALENT. 12" DEPTH. REFER TO DETAIL 'B' 'PLAYGROUND SAFETY SURFACE' FOR MORE INFORMATION.	CONCRETE BROOM FINISHED WALKWAY WITH ABBOTSFORD CONCRETE 1'X2' SATURNA HYDRAPRESSED SLAB BANDING, COLOUR 'DESERT SAND'.	WILDFLOWER AND GRASS MEADOW: SEEDED WITH 'COASTAL WILDFLOWER MIX WITH HARD FESCUE, PREMIER PACIFIC SEEDS LTD604 881-1323. OR APPROVED EQUIVALENT.
CRUSHER DUST PATH, 4" DEPTH ON LANDSCAPE CLOTH FOR WEED SUPPRESSION. MIX WITH NATURAL STABILIZER AVAILABLE FROM VERATEC.	CONCRETE STAIRS: PATIO BY ARCHITECT TYPICAL	ABBOTSFORD CONCRETE PRODUCTS, VENETIAN COBBLE PAVER, PEDESTRIAN GRADE, 6.0CM DEPTH.

**F L**

S	M	L
42" HT. ALUMINUM FENCE, REFER TO LANDSCAPE DETAILS SHEET	6" HT. WOOD PERIMETER FENCE, REFER TO LANDSCAPE DETAILS SHEET	THREE RAIL SPLIT FENCE: REFER TO SURREY STANDARD DETAIL SSDPK6112



SEAL



NO.	DATE	REVISION DESCRIPTION	DR.
8	18.SEP.25	UPDATE PER CITY COMMENTS/REISSUE	CLG
7	18.SEP.07	UPDATE PER CLIENT COMMENTS /REISSUE	CLG
6	18.SEP.06	UPDATE PER CITY COMMENTS /REISSUE	CLG
5	18.JUN.01	REVISION AS PER ENVIROWEST REPORT	DD
4	18.MAY.30	NEW SITE PLAN / CITY COMMENTS	DD
3	16.JUN.08	REVISIONS PER CITY REQUEST	DD
2	16.APR.06	UPDATE ROW AND REISSUE	CLG
1	16.AP.05	REISSUE	PC

CLIENT

PROJECT

**TOWNHOUSE DEVELOPMENT**

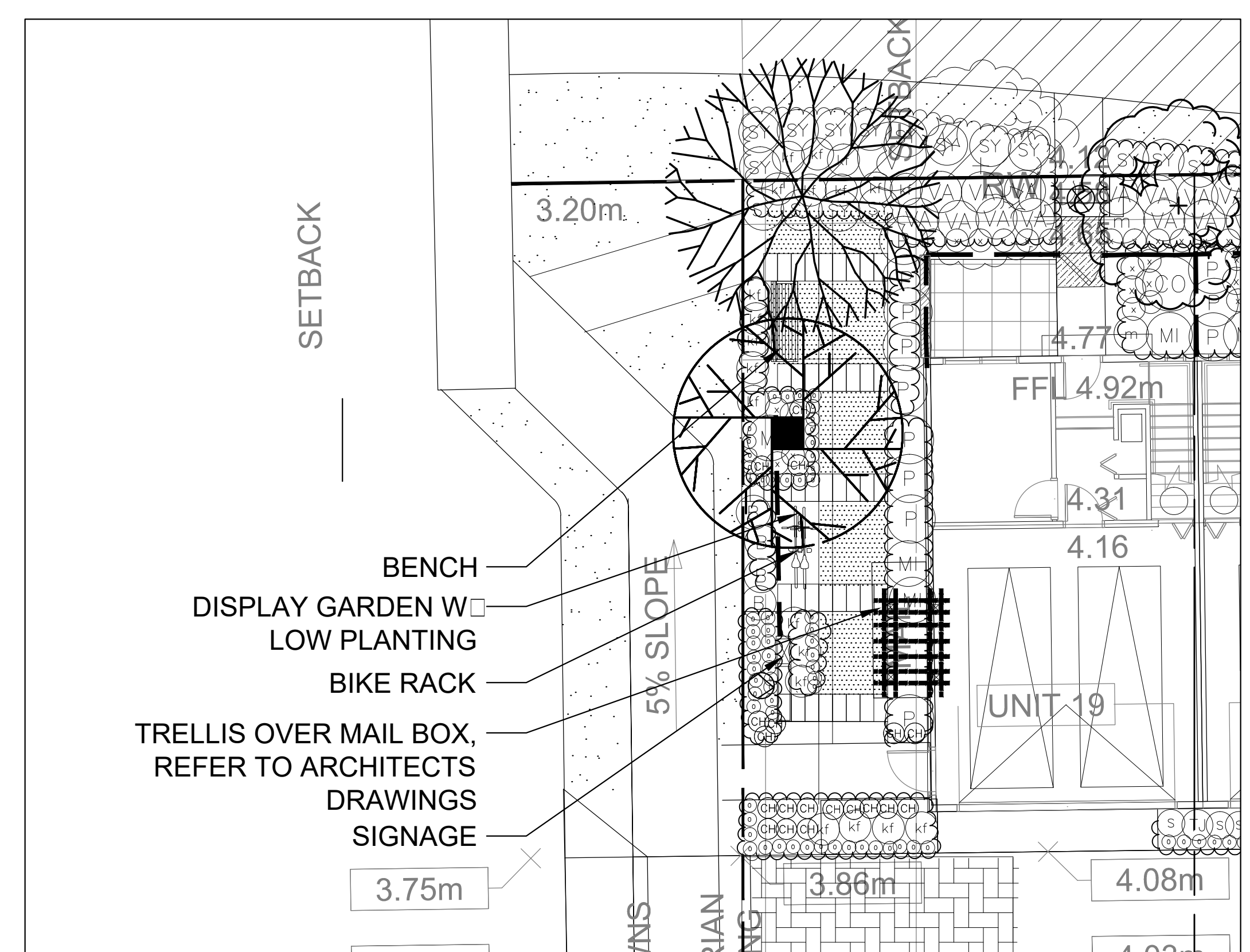
111 AVENUE AND 128A STREET  
 SURREY, BC

DRAWING TITLE  
**LANDSCAPE PLAN**

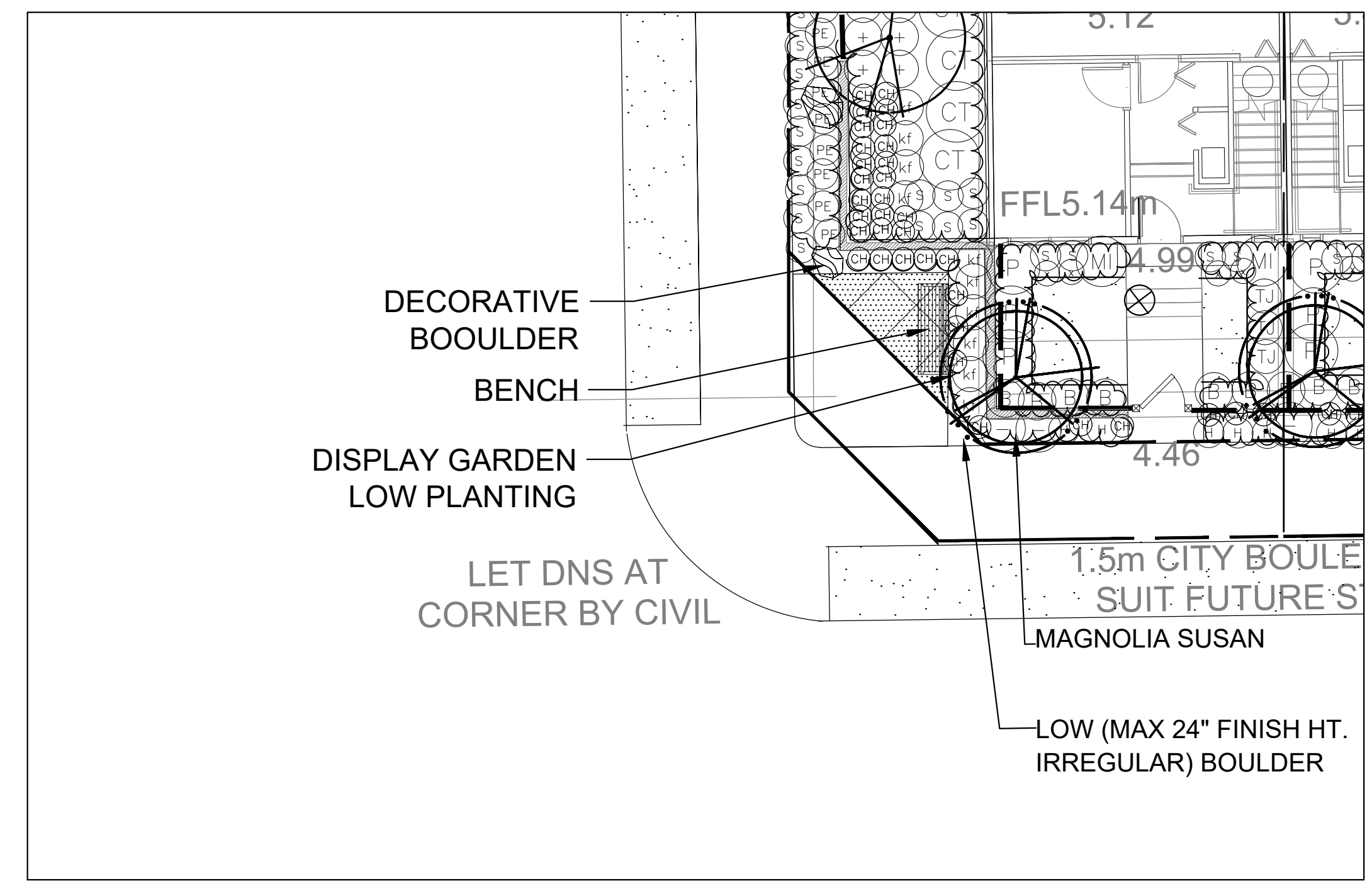
DATE: 16.JUL.07 DRAWING NUMBER:  
 SCALE: 1/16"=1'-0"  
 DRAWN: MR  
 DESIGN: MR  
 CHK'D: PC

**L1**

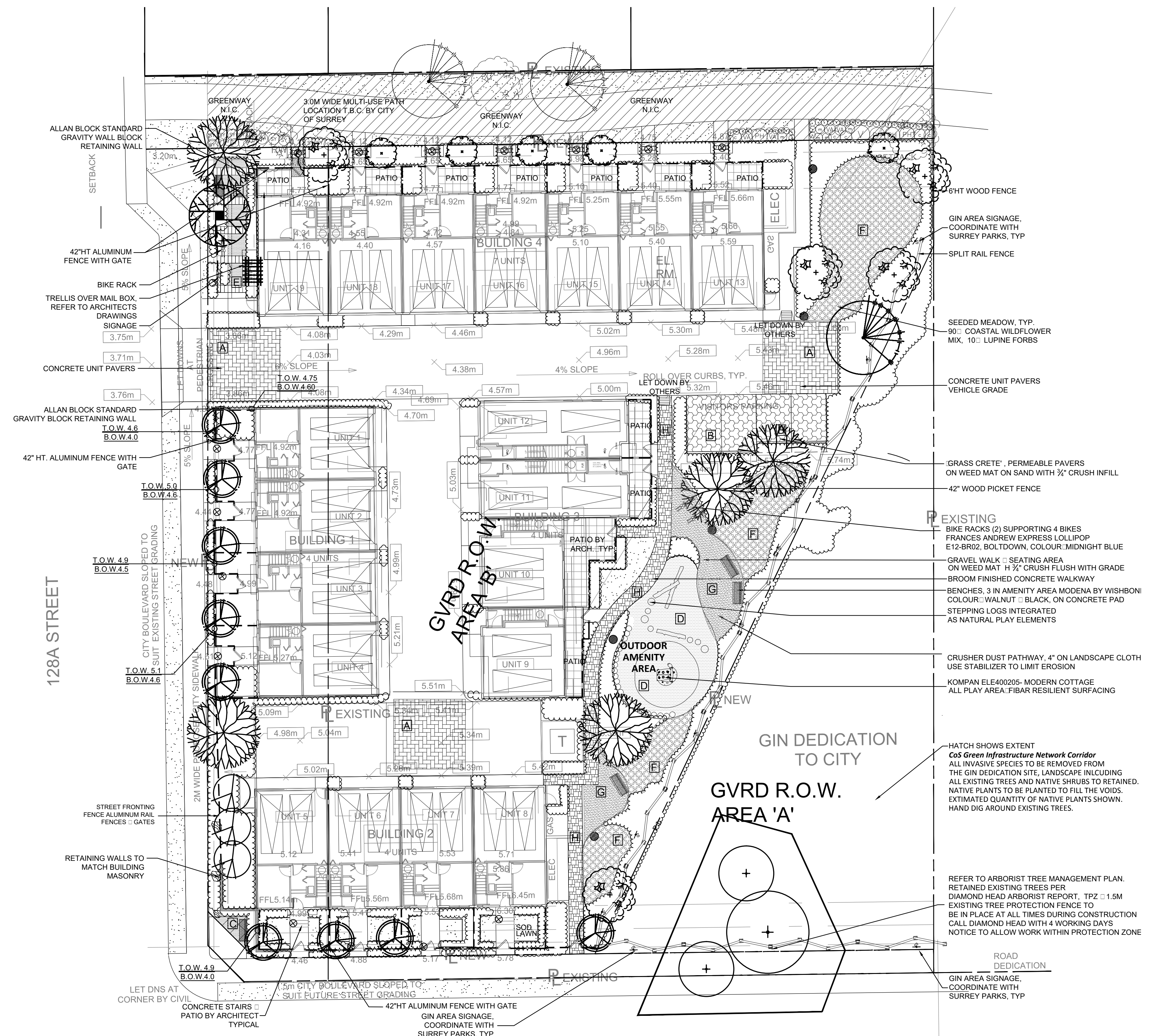
OF 6



**NORTH PLAZA**  
 1/8"=1'-0"



**SOUTH PLAZA**  
 1/8"=1'-0"



**PLANT SCHEDULE: TREES**

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
5	5	ACER PALMATUM 'SEIRYU'	SEIRYU JAPANESE MAPLE	5CM CAL. B. B
5	5	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	6CM CAL. 2M STD. B. B
5	5	CORNUS NUTTALLII	PACIFIC DOGWOOD	3M HT. B. B
9	9	MAGNOLIA x 'SUSAN'	SUSAN MAGNOLIA (RED-PURPLE)	5 CM CAL. B. B
1	1	PARROTIA PERSICA 'RUBY VASE'	RUBY VASE PERSIAN IRONWOOD	6CM CAL. 1.5M STD. B. B
1	1	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	3M HT. B. B
3	3	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	6CM CAL. 1.5M STD. B. B

NOTES: PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

PROPOSED REPLACEMENT TREES: 29



KOMPAN MODERN COTTAGE ELE400205



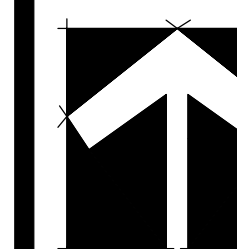
WISHBONE FURNISHINGS MODENA BENCH COLOUR, WALNUT BLACK POWDERCOAT



FRANCES ANDREW EXPRESS LOLLIPOP BIKE RACK



SEAL



8	18.SEP.25	UPDATE PER CITY COMMENTS/REISSUE	CLG
7	18.SEP.07	UPDATE PER CLIENT COMMENTS/REISSUE	CLG
6	18.SEP.06	UPDATE PER CITY COMMENTS/REISSUE	CLG
5	18.JUN.01	REVISION AS PER ENVIROWEST REPORT	DO
4	18.MAY.30	NEW SITE PLAN/ CITY COMMENTS	DO
3	16.JUN.08	REVISIONS PER CITY REQUEST	DO
2	16.APR.06	UPDATE ROW AND REISSUE	CLG
1	16.AP.05	REISSUE	PC

NO. DATE REVISION DESCRIPTION DR.

CLIENT

PROJECT

**TOWNHOUSE DEVELOPMENT**

111 AVENUE AND 128A STREET  
SURREY, BC

DRAWING TITLE

**SHRUB PLAN**

DATE: 16.JUL.07 DRAWING NUMBER:  
SCALE: 1/16"=1'-0"  
DRAWN: MR  
DESIGN: MR  
CHK'D: PC

**L3**

OF 6

**PLANT SCHEDULE- SHRUBS & GROUNDCOVERS** PMG FILE: 15-098

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
<b>SHRUB</b>				
(B)	132	BUXUS SEMPERVIRENS 'GREEN VELVET'	BOXWOOD	2 POT .60CM
(C)	8	CHOISYA TERNATA	MEXICAN MOCK ORANGE	3 POT .50CM
(D)	3	CORNUS SERICEA	RED OSIER DOGWOOD	2 POT .50CM
(E)	25	CORNUS STOLONIFERA	RED OSIER DOGWOOD	2 POT .50CM
(F)	24	MAHONIA A. UIFOLIUM	OREGON GRAPE	3 POT .50CM
(G)	15	OEMLERIA CERASIFORMIS	INDIAN PLUM	3 POT .50CM
(H)	61	PIERIS 'JAPONICA 'VALLEY VALENTINE'	PIERIS RED BLOOMS	3 POT .50CM
(I)	15	RUBUS SPECTABILIS	SALMONBERRY	2 POT .40CM
(J)	50	SYMPHORICARPOS MOLLIS	TRAILING SNOWBERRY	2 POT .30CM
(K)	53	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GEM HEDGING CEDAR	1.5M B.B
(L)	53	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	2 POT .50CM
<b>GRASS</b>				
(M)	112	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 POT
(N)	27	HAKONECHLOA MACRA 'AUREOLA'	GOLD VARIEGATED JAPANESE FOREST GRASS	1 POT
(O)	27	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 POT
(P)	27	MISCANTHUS SINENSIS 'YAKU JIMA'	YAKU JIMA GRASS	1 POT
(Q)	48	MISCANTHUS SINENSIS 'PURPURASCENS'	FLAME GRASS	2 POT
(R)	73	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	1 POT
<b>PERENNIAL</b>				
(S)	302	BERGENIA CORDIFOLIA	HEARTLEAF BERGENIA 'ROSE PINK	15CM POT
(T)	107	MONARDA 'PRAIRIE NIGHT'	BEE BALM 'PINK-VIOLET	15CM POT
(U)	96	NEPETA x FASSENII 'DROPMORE'	BLUE CATMINT	15 CM POT
(V)	20	PENSTEMON DAVIDSONII	DAVIDSON'S PENSTEMON	15 CM POT
<b>GC</b>				
(W)	120	ARCTOSTAPHYLOS UVA-URSI	KINNICKINICK	1 POT .20CM
(X)	355	GAULTHERIA SHALLON	SALAL	1 POT .20CM
(Y)	49	LONICERA PILEATA	HONEYSUCKLE	2 POT .25CM

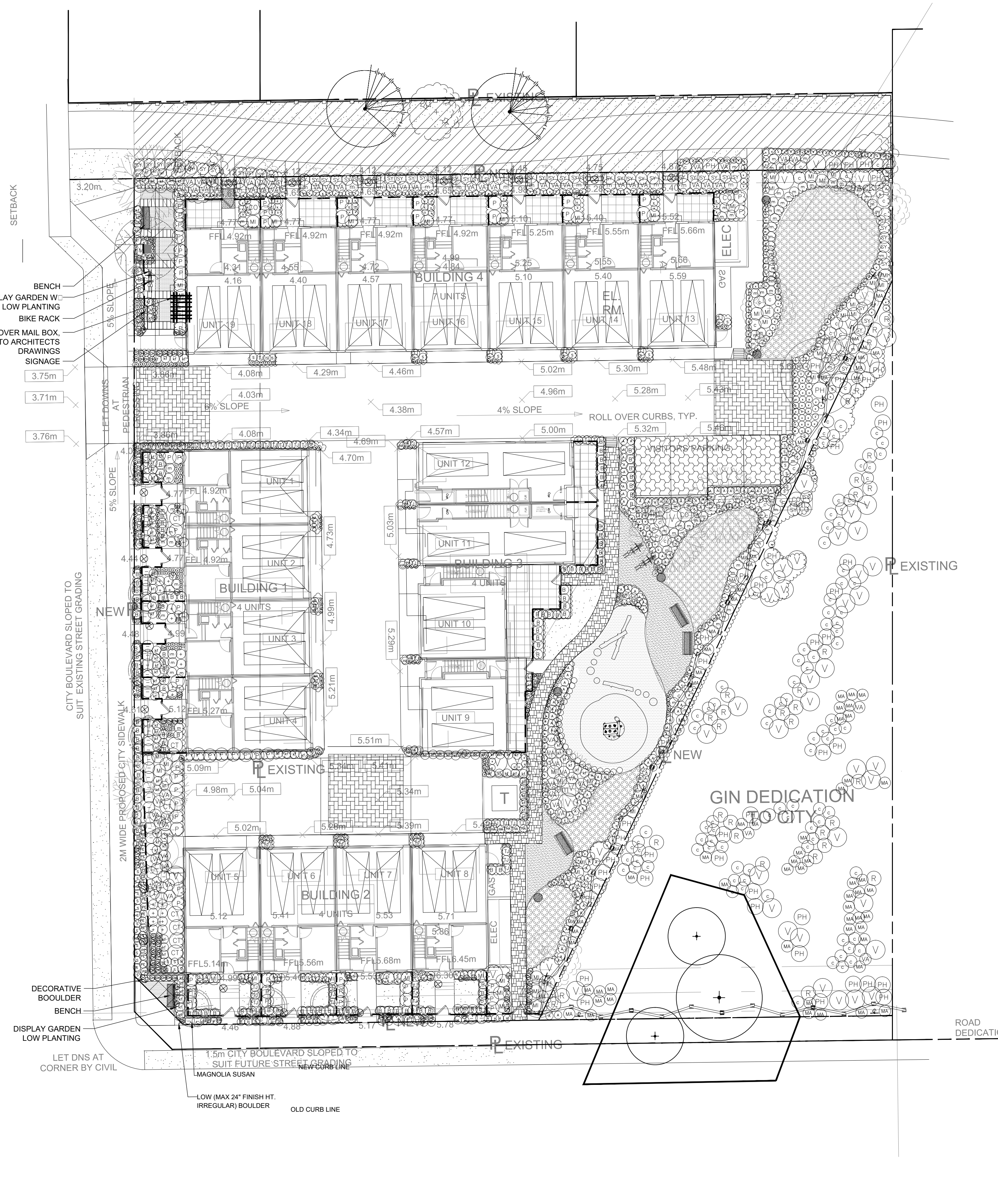
NOTES: PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

**PLANT SCHEDULE - GIN AREA ONLY** PMG PROJECT NUMBER: 15-098

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
<b>SHRUB</b>				
(C)	2	CORNUS SERICEA	RED OSIER DOGWOOD	2 POT .50CM
(E)	98	CORNUS STOLONIFERA	RED OSIER DOGWOOD	2 POT .50CM
(F)	52	MAHONIA A. UIFOLIUM	OREGON GRAPE	3 POT .50CM
(G)	36	OEMLERIA CERASIFORMIS	INDIAN PLUM	3 POT .50CM
(H)	32	RIBES SANGUINEUM	RED FLOWERING CURRANT	3 POT .80CM
(I)	29	RUBUS SPECTABILIS	SALMONBERRY	2 POT .40CM
(J)	2	SYMPHORICARPOS MOLLIS	TRAILING SNOWBERRY	2 POT .30CM
(K)	3	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	2 POT .50CM
<b>GC</b>				
(W)	2	ARCTOSTAPHYLOS UVA-URSI	KINNICKINICK	1 POT .20CM
(X)	12	GAULTHERIA SHALLON	SALAL	1 POT .20CM

NOTES: PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

128A STREET



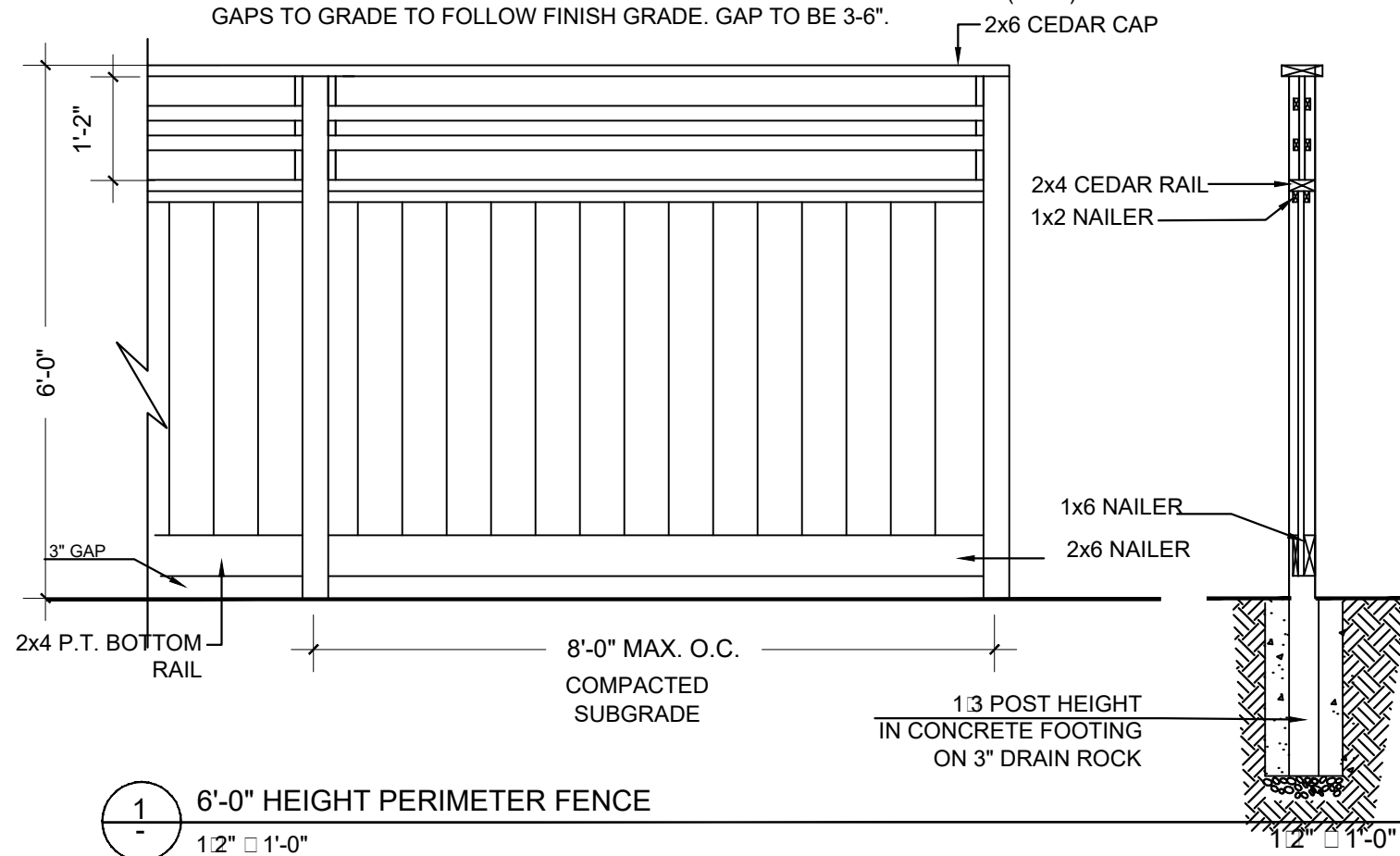
111th AVENUE





**NOTES:**

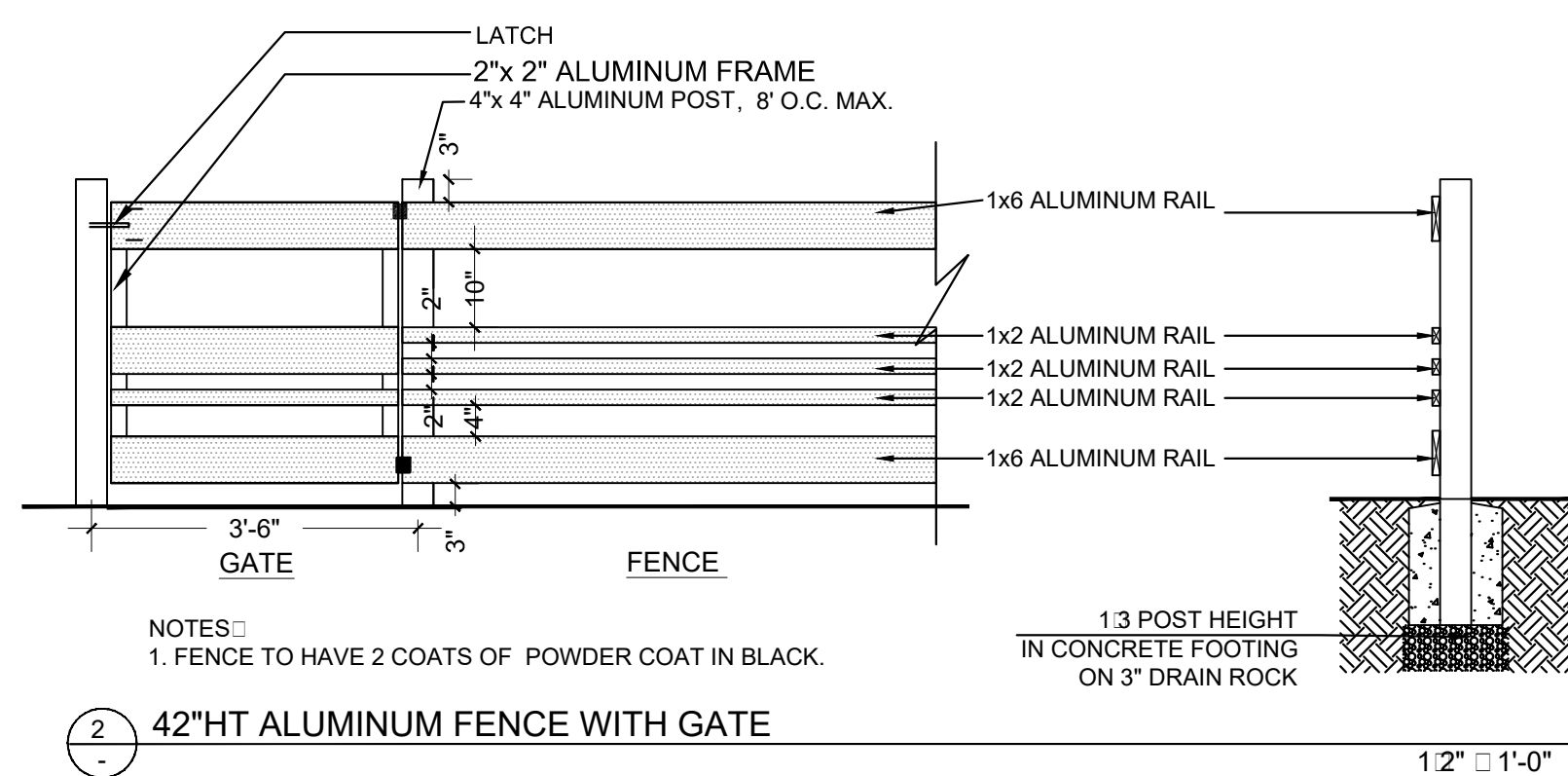
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL POSTS PRESSURE TREATED OTHER MEMBERS TO BE CEDAR. (2) (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3"-6".



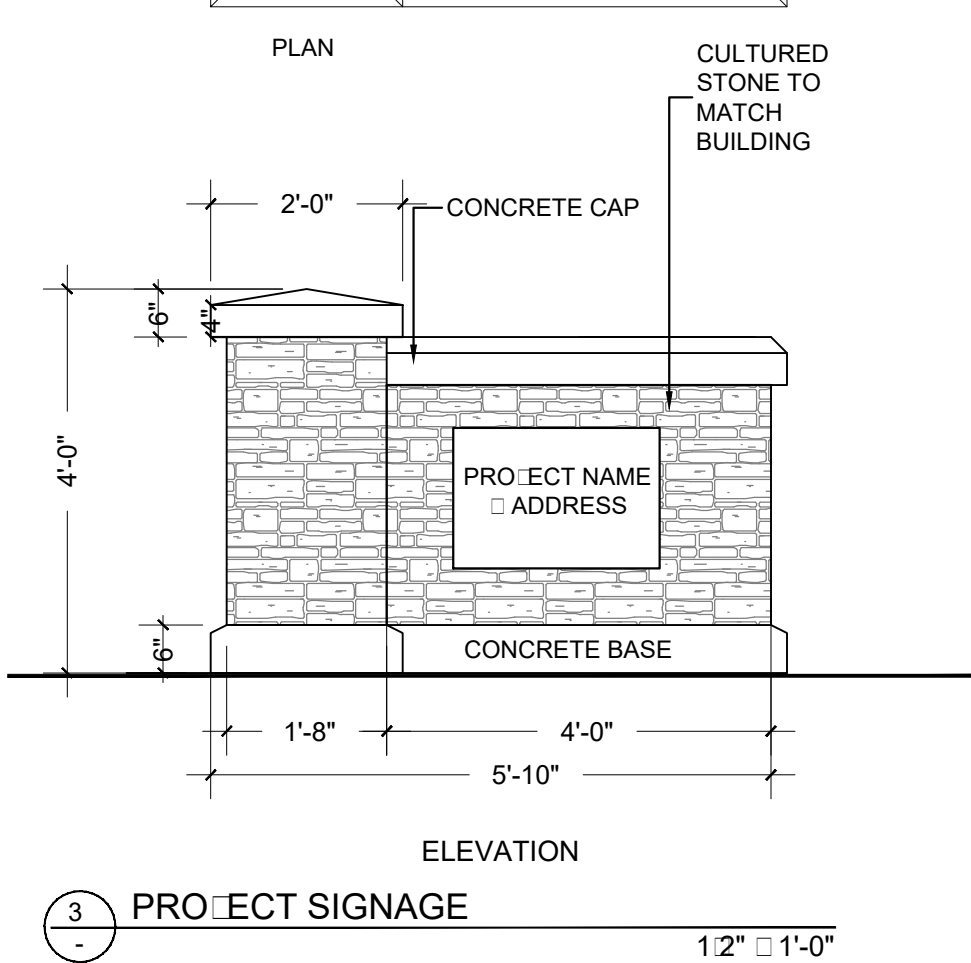
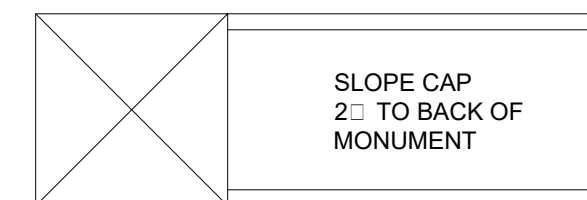
1 6'-0" HEIGHT PERIMETER FENCE  
1/2" = 1'-0"

**NOTES:**

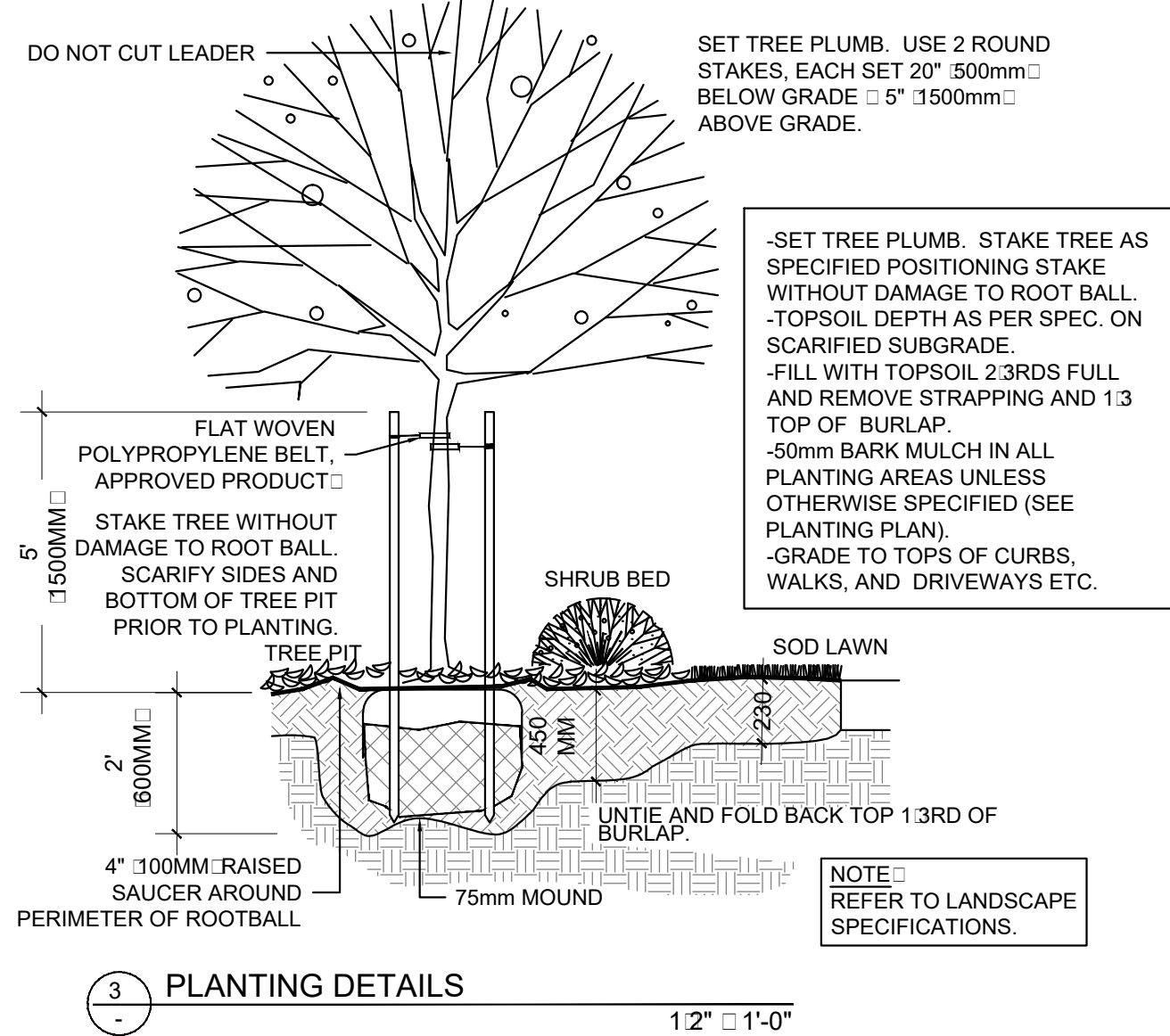
1. METAL MATERIAL ALUMINUM TO BE POWDER COATED BLACK, TWO COATS.
2. ALL HARDWARE TO BE HOT DIPPED GALVANIZED, MEDIUM GAUGE.
3. GATE HARDWARE TO BE CHOSEN BY OWNER. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
4. ALUMINUM FENCE TO BE POWDERCOATED SEM-GLOSS BLACK



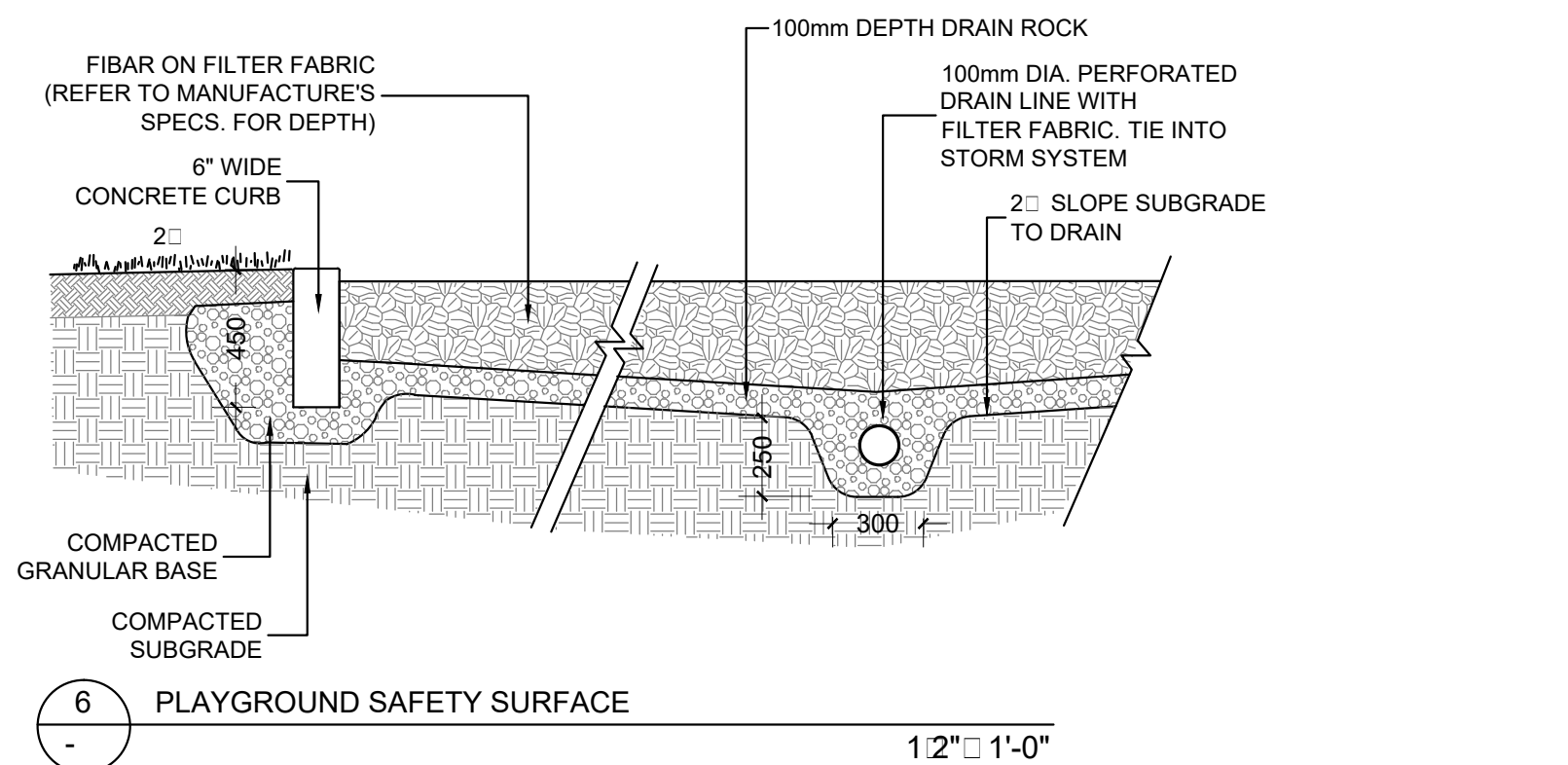
2 42"HT ALUMINUM FENCE WITH GATE  
1/2" = 1'-0"



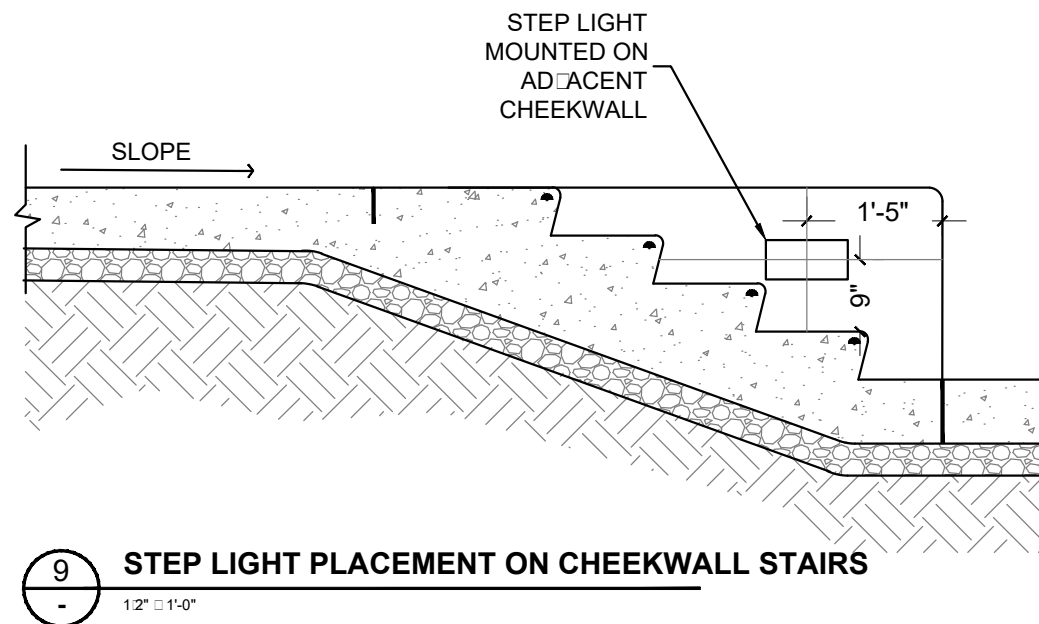
3 PROJECT SIGNAGE  
1/2" = 1'-0"



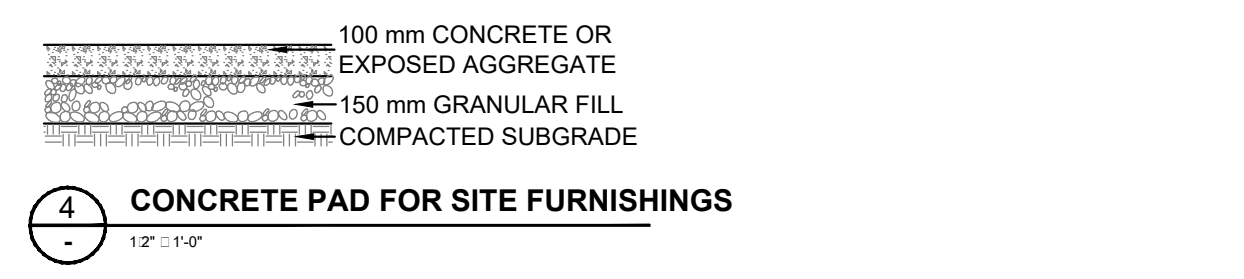
3 PLANTING DETAILS  
1/2" = 1'-0"



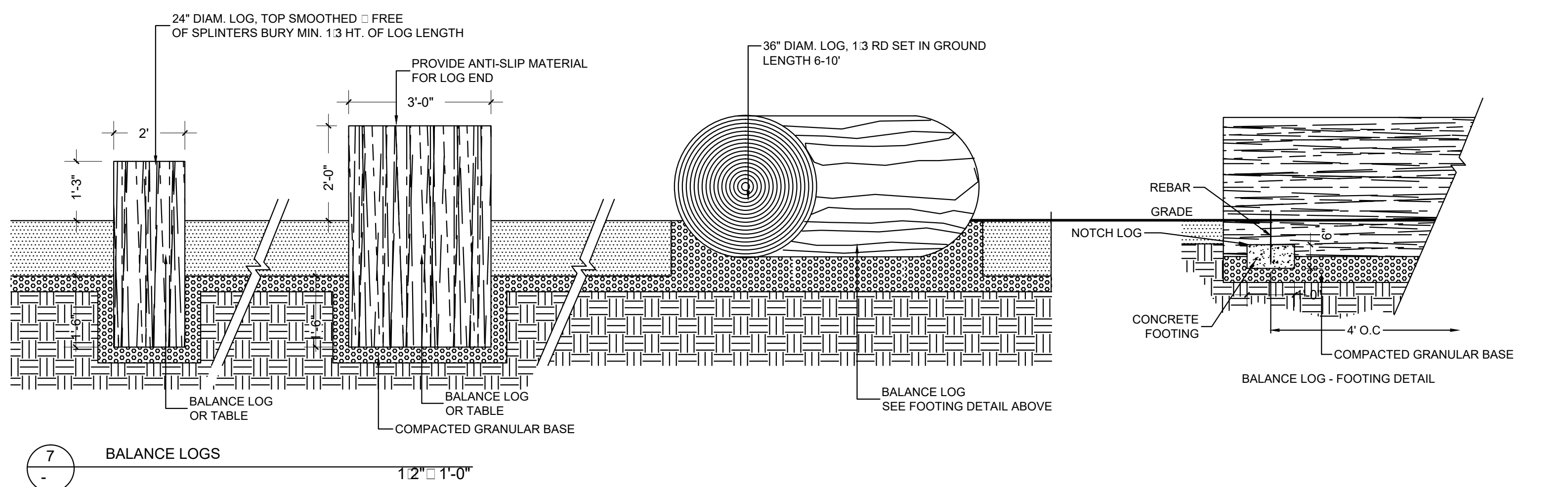
6 PLAYGROUND SAFETY SURFACE  
1/2" = 1'-0"



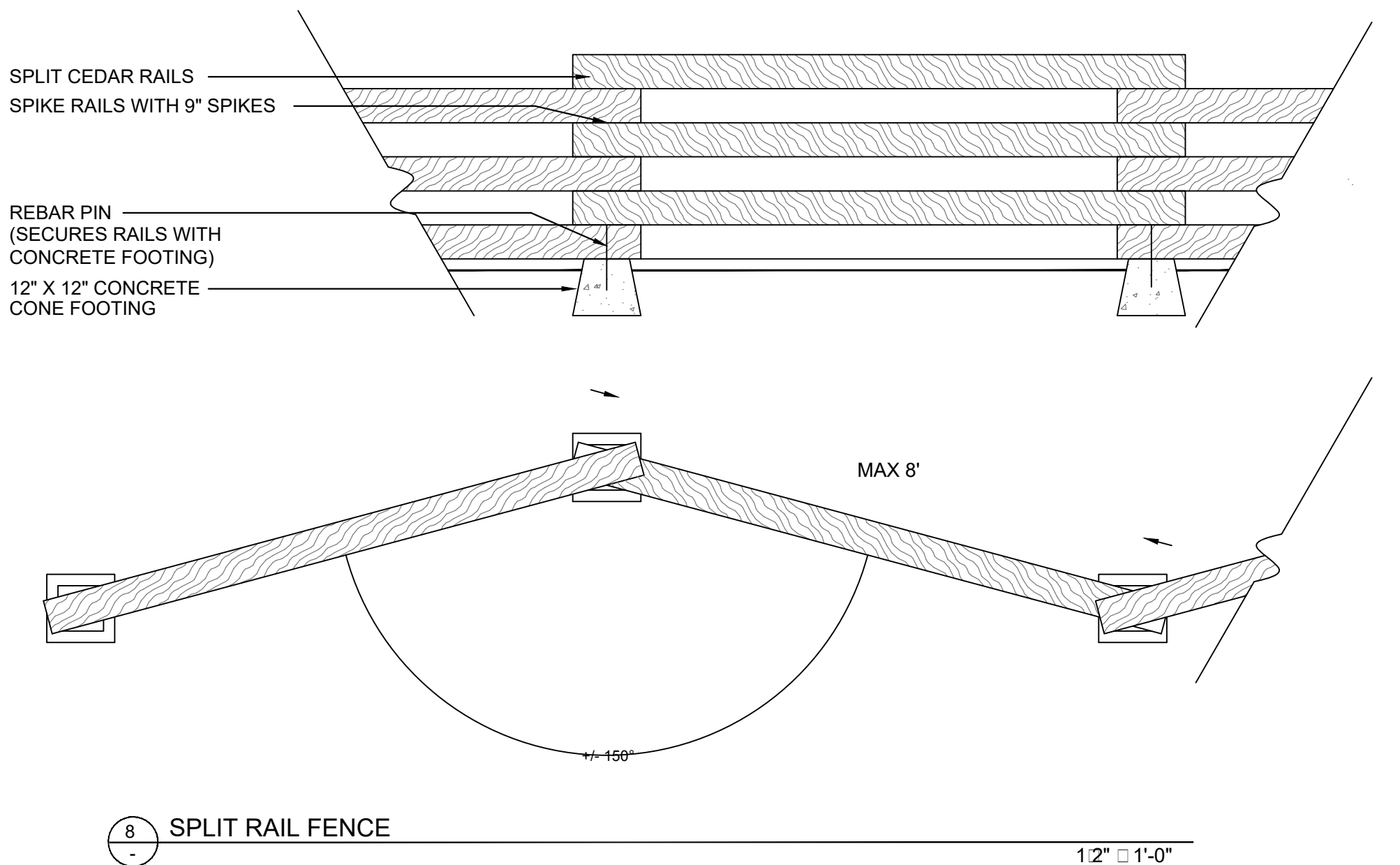
9 STEP LIGHT PLACEMENT ON CHEEKWALL STAIRS  
1/2" = 1'-0"



4 CONCRETE PAD FOR SITE FURNISHINGS  
1/2" = 1'-0"



7 BALANCE LOGS  
1/2" = 1'-0"



8 SPLIT RAIL FENCE  
1/2" = 1'-0"



SEAL

NO.	DATE	REVISION DESCRIPTION	DR.
8	18.SEP.25	UPDATE PER CITY COMMENTS/REISSUE	CLG
7	18.SEP.07	UPDATE PER CLIENT COMMENTS/REISSUE	CLG
6	18.SEP.06	UPDATE PER CITY COMMENTS/REISSUE	CLG
5	18.JUN.01	REVISION AS PER ENVIRONMENTAL REPORT	DO
4	18.MAY.30	NEW SITE PLAN/CITY COMMENTS	DO
3	16.JUN.08	REVISIONS PER CITY REQUEST	DO
2	16.APR.06	UPDATE ROW AND REISSUE	CLG
1	16.APR.05	REISSUE	PC

CLIENT:

PROJECT:

**TOWNHOUSE DEVELOPMENT**

111 AVENUE AND 128A STREET  
SURREY, BC

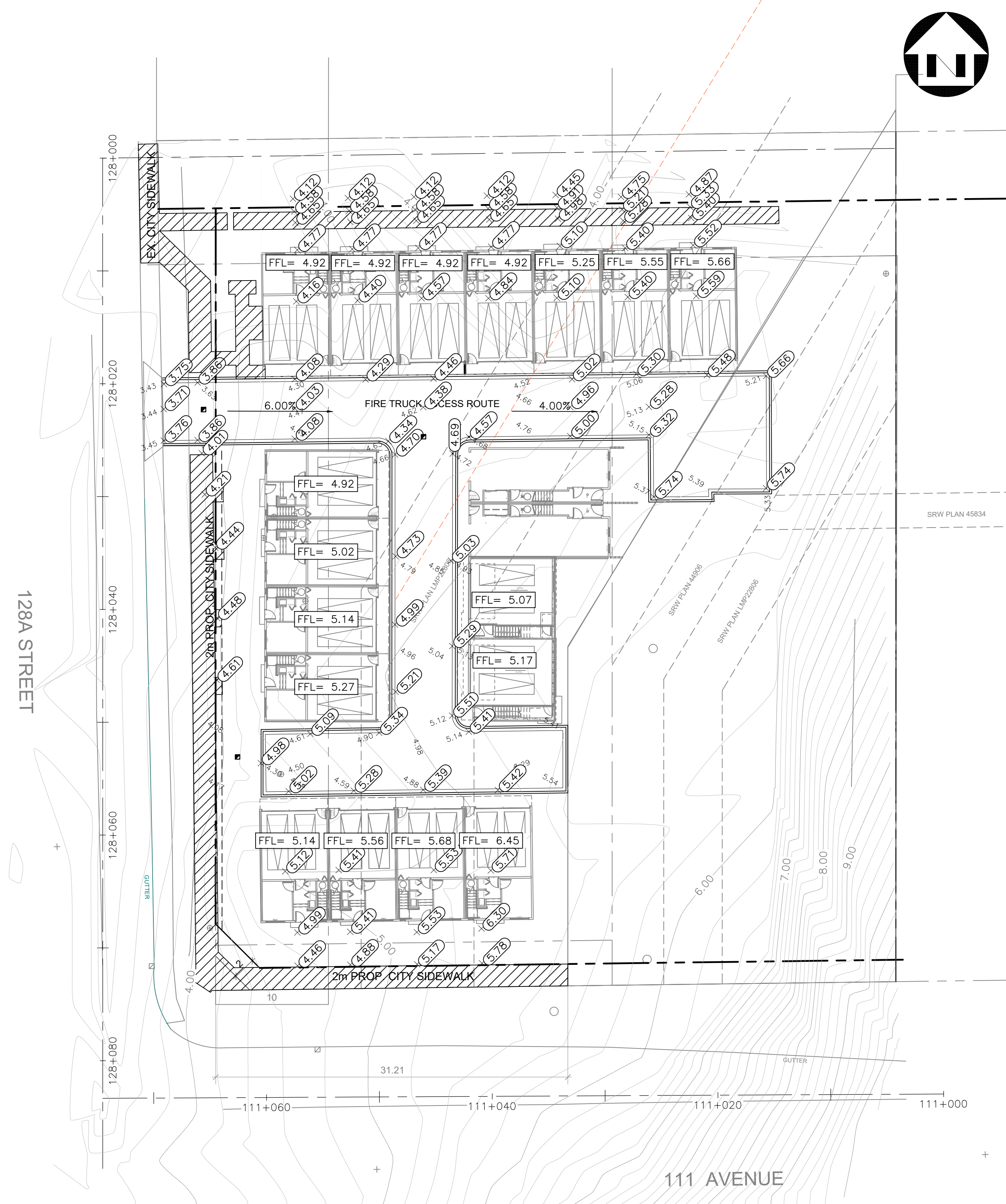
DRAWING TITLE:

**LANDSCAPE DETAILS**

DATE: 16.JUL.07 DRAWING NUMBER:  
SCALE: 1/16"=1'-0"  
DRAWN: MR  
DESIGN: MR  
CHK'D: PC

**L5**

OF 6



LEGEND	
LOT #	LOT NUMBER
	PROPOSED ELEVATIONS
	EXISTING ELEVATIONS
	PROPOSED SLOPES
	MINIMUM BUILDING ELEVATION
	EX. MAJOR CONTOURS
	EX. MINOR CONTOURS
	PROPOSED FENCE
	EXISTING DITCH
	PROPOSED DITCH
	SWALE BY OWNER'S CONTRACTOR
	SWALE BY BUILDER
	DIRECTION OF FLOW FOR SURFACE RUNOFF
	FILL >0.45m
	FILL >1.0m
	600mm LAWN BASIN
	MAJOR FLOW PATH (IN PIPE)
	MAJOR FLOW PATH (SURCHARGED PIPE)
	MAJOR FLOW PATH (OVERLAND)
MAJOR FLOW = 100YR FLOW	

**GRADING PLAN**  
SCALE 1:250

3	LC	DMBD	18/08/31	ISSUED FOR REVIEW	Benchmark CITY OF SURREY GEODETIC DATUM, MONUMENT NO.5344 ELEVATION = 30.328m  Scale AS-SHOWN	CLIENT	The Arlington Group		 <b>OMEGA &amp; ASSOCIATES ENGINEERING LTD.</b> CONSULTING CIVIL & STRUCTURAL ENGINEERS 3094 YOUNG ROAD CHILLIWACK, BC P 604.795.6652 F 604.372.4801 #217- 18525 53 AVENUE SURREY, BC V0S 7A4 P 604.372.4800 F 604.372.4801	DRAWN	AA	TITLE	SURREY PROJECT NUMBER		
2	MS	DMBD	18/07/13	ISSUED FOR REVIEW		PROJECT	PRELIMINARY SERVICING			DESIGNED	AA	GRADING PLAN		SURREY DRAWING NUMBER	
1	MS	DMBD	18/05/09	ISSUED FOR REVIEW			12855 & 12869 111th AVE			DATE	2016/03/18			OMEGA DRAWING NUMBER	
0	AA	DMBD	16/07/24	ISSUED FOR INFORMATION			SURREY, B.C.			APPROVED/CHECKED	D.M.B.D.			15-258-C-03	
REV.	BY:	CH:	DATE	REVISIONS						DATE	2016/03/18				

ISSUED FOR REVIEW AUGUST 31, 2018

TO: **Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

**FILE COPY**

FROM: **Development Engineer, Engineering Department**

DATE: **Sep 25, 2018**

PROJECT FILE: **7814-0324-00**

RE: **Engineering Requirements  
Location: 12855 111 Ave**

### OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment beyond those noted below.

### REZONE/SUBDIVISION

#### *Property and Right-of-Way Requirements*

- dedicate 1.942-metre along 111 Avenue collector road to achieve 12.0-metre from centerline.
- register 0.5-metre statutory right-of-way along 111 Avenue and 128A Street.

#### *Works and Services*

- construct northside of 111 Avenue to the collector.
- construct east side of 128A Street to the through local standard.
- construct storm mains to service the development and provide road drainage.
- Construct onsite features as outlined in the South Westminster Integrated Stormwater Management Plan.
- extend watermains to service the development and meet the domestic and fireflow requirements.
- complete analysis of the existing sanitary sewer infrastructure to confirm adequate capacity is available for the catchment, and complete upgrades as required.
- extend low pressure sanitary main along full frontage of 128A Street from the existing stub on 111 Avenue.
- construct storm, water, and sanitary service connections to the lot.
- secure necessary approvals from Metro Vancouver to support the development.
- Register applicable restrictive covenants as determined through the detail design.

A Servicing Agreement is required prior to Rezone/Subdivision.

### DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit beyond those noted above.



Tommy Buchmann, P.Eng.  
Acting Development Services Manager

SK2

NOTE: Detailed Land Development Engineering Review available on file



Planning

August 20, 2018

## THE IMPACT ON SCHOOLS

APPLICATION #: 14 0324 00

### SUMMARY

The proposed 19 townhouse units are estimated to have the following impact on the following schools:

#### Projected # of students for this development:

Elementary Students:	5
Secondary Students:	2

#### September 2017 Enrolment/School Capacity

<b>K.B. Woodward Elementary</b>	
Enrolment (K/1-7):	87 K + 519
Operating Capacity (K/1-7)	38 K + 419
<b>Kwantlen Park Secondary</b>	
Enrolment (8-12):	1459
Capacity (8-12):	1200

### School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

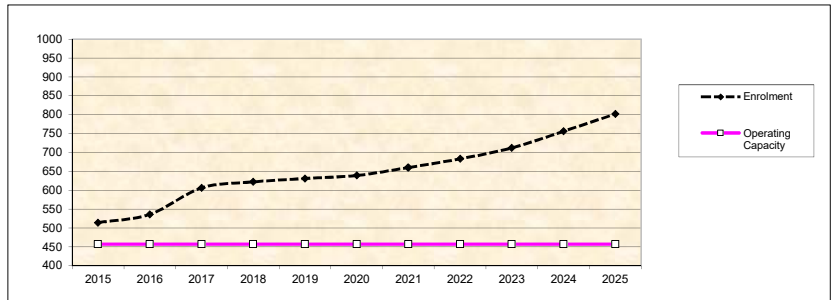
KB Woodward Elementary is operating at 133% capacity. The 10 year enrolment projections indicate that the school could grow as high as 900 students due to future development. As for September 2017, there are currently 6 portables on site used for enrolling space. Any immediate future growth will need to be addressed by bringing on portables.

There is potential for significant redevelopment located along King George Boulevard, in particular, with the current building form potentially changing into high rise residential development and/or mixed use. The timing of these future high rise developments, with good market conditions, will impact the enrolment growth upwards. Along with this development, growth could be further compounded with the densification of 104th Ave to meet LRT requirements.

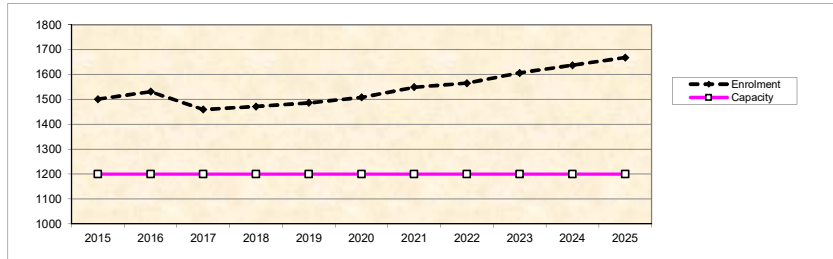
As part of the Surrey School District's 2018/19 Capital Plan submission to the Ministry of Education, the District is requesting a 200 capacity addition to relieve the short term pressure at the school. (The project has not been approved by the Ministry to move to design and construction) The District is considering the need to build another future elementary school in the area to accommodate longer term demand.

As of September 2017, Kwantlen Park Secondary is currently operating at 121% with 11 portables on site used for enrolling classes. Currently there are no capital plan requests for Kwantlen Secondary.

#### K.B. Woodward Elementary



#### Kwantlen Park Secondary



\* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.  
Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.



Table 4. Tree Preservation Summary

## TREE PRESERVATION SUMMARY

Surrey Project No:  
 Address: 12855 & 12869 111 Avenue, Surrey BC  
 Registered Arborist: Trevor Cox, MCIP  
 ISA Certified Arborist (PN1920A)  
 Certified Tree Risk Assessor (43)  
 BC Parks Wildlife and Danger Tree Assessor

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	<b>14</b>
<b>Protected Trees to be Removed</b>	<b>14</b>
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	<b>0</b>
<b>Total Replacement Trees Required:</b> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\frac{14}{1} \times \text{one (1)} = 14$ - All other Trees Requiring 2 to 1 Replacement Ratio $\frac{0}{2} \times \text{two (2)} = 0$	<b>14</b>
<b>Replacement Trees Proposed</b>	<b>36</b>
<b>Replacement Trees in Deficit</b>	<b>0</b>
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	<b>3</b>
Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	<b>0</b>
<b>Total Replacement Trees Required:</b> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\frac{0}{1} \times \text{one (1)} = 0$ - All other Trees Requiring 2 to 1 Replacement Ratio $\frac{0}{2} \times \text{two (2)} = 0$	<b>0</b>
<b>Replacement Trees Proposed</b>	<b>0</b>
<b>Replacement Trees in Deficit</b>	<b>0</b>

Summary prepared and submitted by:



September 10, 2018

Arborist

Date



2093  
2095  
2096

NT 02  
NT 01

2097  
2098  
2099  
2100

2101

2102  
2103

2104



HATCH SHOWS EXTENT  
**CoS Green Infrastructure Network Corridor**  
ALL INVASIVE SPECIES TO BE REMOVED FROM THE GIN DEDICATION SITE, LANDSCAPE INCLUDING ALL EXISTING TREES AND NATIVE SHRUBS TO BE RETAINED. NATIVE PLANTS TO BE PLANTED TO FILL THE VOIDS. ESTIMATED QUANTITY OF NATIVE PLANTS SHOWN. HAND DIG AROUND EXISTING TREES.

RETAINED EXISTING TREES PER DIAMOND HEAD ARBORIST REPORT. - EXISTING TREE PROTECTION FENCE TO BE IN PLACE AT ALL TIMES DURING CONSTRUCTION CALL DIAMOND HEAD WITH 4 WORKING DAYS NOTICE TO ALLOW WORK WITHIN PROTECTION ZONE

**LEGEND**

- TREE PROTECTION ZONE
- NO-BUILD ZONE
- TREE PROTECTION FENCE
- TREE TO BE RETAINED
- UN-SURVEYED TREE
- ✗ TREE TO BE REMOVED

**NOTES**

1. The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
2. All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
3. The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. ( $\frac{1}{2}$  the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
4. Any construction activities or grade changes within the Root Protection Zone must be approved by the project arborist.
5. This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
6. This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

**REFERENCE DRAWINGS**

1. Base Drawings by: The Arlington Group.



3559 COMMERCIAL STREET  
VANCOUVER BC | V5N 4E8  
T 604.733.4886 | F 604.733.4879

Project:  
Client: Arlington Group  
Address: 12855 & 12869 111 Avenue, Surrey BC

Date: 2018/09/07  
Drawn by: KW  
Page Size: TABLOID  
(11"x17")

Page #  
1 of 1

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended

.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 000-836-681

West 82 and ½ Feet Lot 29 Except: Firstly: North 33 Feet Secondly: Parcel "B" (Explanatory Plan 103019), Section 16 Block 5 North Range 2 West New Westminster District Plan 493  
12869 111 Avenue

Parcel Identifier: 000-890-936

The East 82.5 Feet of Lot 30 Except: Parcel "A" (Explanatory Plan 8949); Section 16 block 5 North Range 2 West New Westminister District Plan 493  
12855 111 Avenue

Portion of Road (128A Street) as shown on the Survey Plan attached hereto and forming part of this Bylaw, as Schedule A, certified correct by Mark J.R. Dailey, B.C.L.S. on the 13<sup>th</sup> day of September, 2018, containing 722.0 square metres, called Block A.

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

**A. Intent**

This Zone is intended to accommodate and regulate the development of medium density, ground-oriented multiple unit residential buildings and related amenity spaces.

**B. Permitted Uses**

The *Lands* and structures shall be used for ground-oriented multiple unit residential buildings only.

**C. Lot Area**

Not applicable to this Zone.

**D. Density**

For the purpose of *building* construction:

1. The *unit density* shall not exceed 2.5 *dwelling units* per hectare [1 u.p.a.]. The maximum *density* may be increased to that prescribed in Section D.2 of this Zone if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. (a) The *floor area ratio* shall not exceed 1.10; and  
(b) The *unit density* shall not exceed 75 *dwelling units* per hectare [30 u.p.a.].
4. The indoor *amenity space* required in Sub-section J.1(b) is excluded from the calculation of *floor area ratio*.

**E. Lot Coverage**

The *lot coverage* shall not exceed 49%.

**F. Yards and Setbacks**

*Buildings* and *structures* shall be sited in accordance with the following minimum *setbacks*:

<b>Setback</b>	<b>North Yard</b>	<b>South Yard</b>	<b>East Yard</b>	<b>West Yard</b>
<b>Use</b>				
<i>Principal Buildings</i>	4.0 m	4.0 m	5.0 m	4.0 m
<i>Accessory Buildings and Structures</i>	[13 ft.]	[13 ft.]	[16 ft.]	[13 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

**G. Height of Buildings**

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Principal buildings: The *building height* shall not exceed 13 metres [43 ft.].
2. Accessory buildings and structures:
  - (a) Indoor *amenity space buildings:* The *building height* shall not exceed 11 metres [36 ft.]; and
  - (b) Other *accessory buildings and structures:* The *height* shall not exceed 4.5 metres [15 ft.].

#### H. Off-Street Parking

1. Resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. All required resident *parking spaces* shall be provided as *parking within building envelope*.
3. Parking within the required north, west, and south *yard setbacks* is not permitted.
4. *Tandem parking* is permitted, subject to the following:
  - (a) A maximum of fifteen percent (15%) of all required resident *parking spaces* may be provided as *tandem parking spaces*;
  - (b) *Parking spaces* provided as *tandem parking* must be enclosed and attached to each *dwelling unit*;
  - (c) *Parking spaces* provided as *tandem parking* must be held by the same owner; and
  - (d) Access to *parking spaces* provided as *tandem parking* is not permitted within 6 metres [20 ft.] from *lot* entrances/exits.

#### I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping strip* of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.

4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping screen*, a solid decorative fence, or a combination thereof.

**J. Special Regulations**

1. *Amenity space* shall be provided on the *lot* as follows:
  - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
  - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.

**K. Subdivision**

*Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
800 sq.m. [0.20 acre]	25 metres [82 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

**L. Other Regulations**

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-30 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.

5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2016, No. 18664, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-30 Zone.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, \_\_\_\_\_, No. \_\_\_\_\_."

PASSED FIRST READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PASSED SECOND READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PUBLIC HEARING HELD thereon on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PASSED THIRD READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

\_\_\_\_\_ MAYOR

\_\_\_\_\_ CLERK

# SCHEDULE 'A'

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY  
BYLAW NO. \_\_\_\_\_ OVER PART OF  
SECTION 16 B5N R2W N.W.D. PLAN 493  
FOR THE PURPOSE OF REZONING**

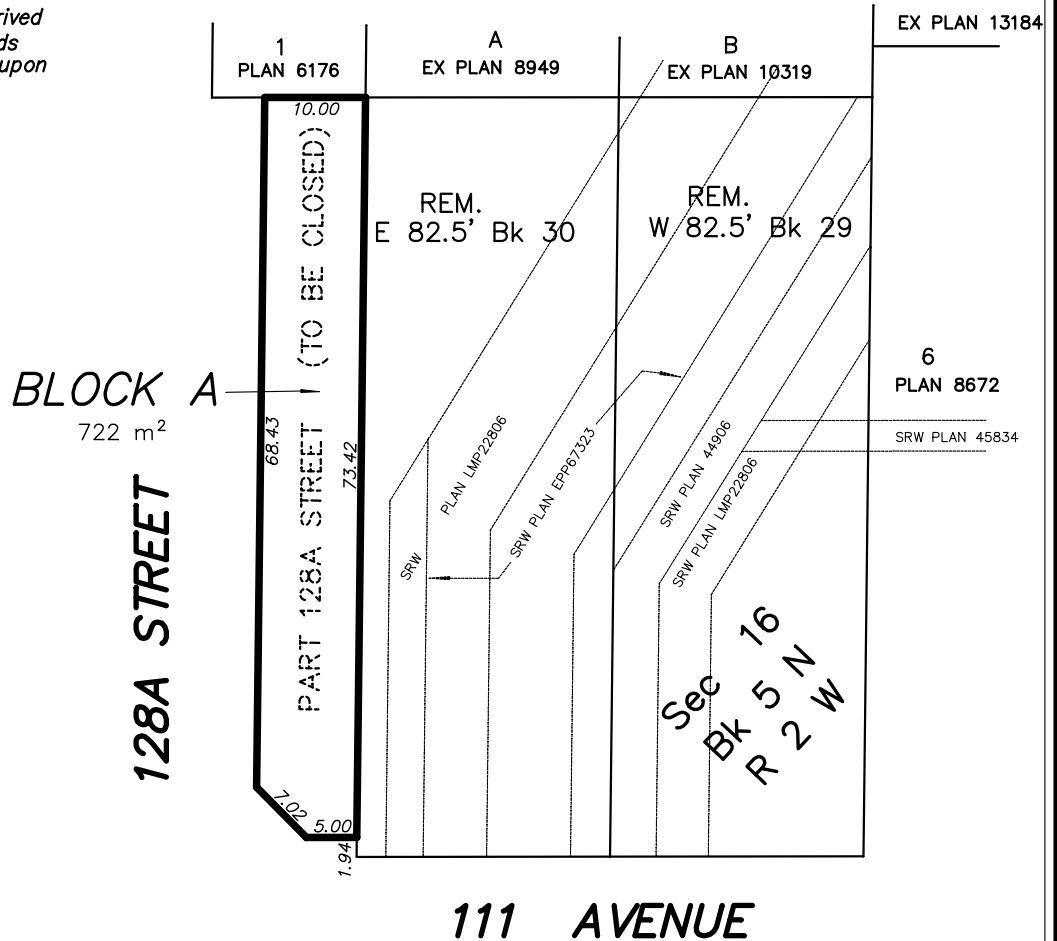
BCGS 92G016  
CITY OF SURREY

LEGEND

SCALE  
1: 750

ZONE	LEGAL DESCRIPTION	TOTAL AREA
BLOCK A	PART ROAD DEDICATED ON PLAN 84079	722m <sup>2</sup>

*—property dimensions are derived  
from Land Title Office records  
and are subject to change upon  
field survey*



Date of Survey  
13h day of September, 2018

© COPYRIGHT

DHALIWAL & ASSOCIATES  
LAND SURVEYING INC.

216-12899 76th Avenue

Surrey, B.C.

V3W 1E6

(ph) 501-6188

email: info@dhaliwalsurvey.com

FILE: 1809001-Z01

**THIS DOCUMENT IS NOT VALID UNLESS  
ORIGINALLY SIGNED AND SEALED**

**THIS PLAN LIES WITHIN THE  
METRO VANCOUVER REGIONAL DISTRICT**

MARK J.R. DAILEY

BCLS 867





7914-0324-00  
12855 & 12869 – 111 Avenue  
Aerial View of Site

