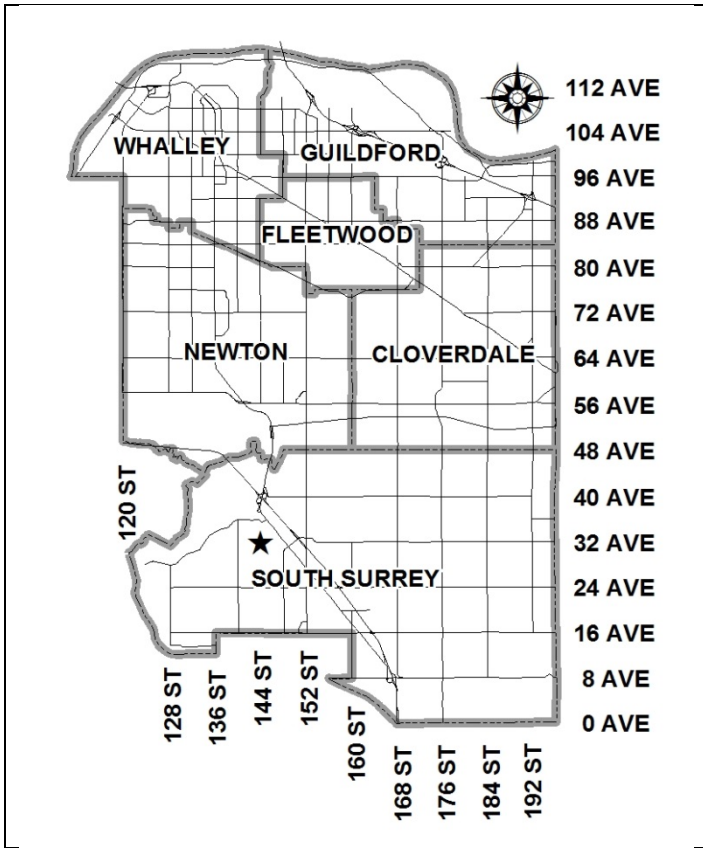


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0299-00

Planning Report Date: November 30 2015



PROPOSAL:

- Local Area Plan Amendment from “One Acre” to “Half Acre”
 - Rezoning from RA to RH
- to allow subdivision into 2 lots.

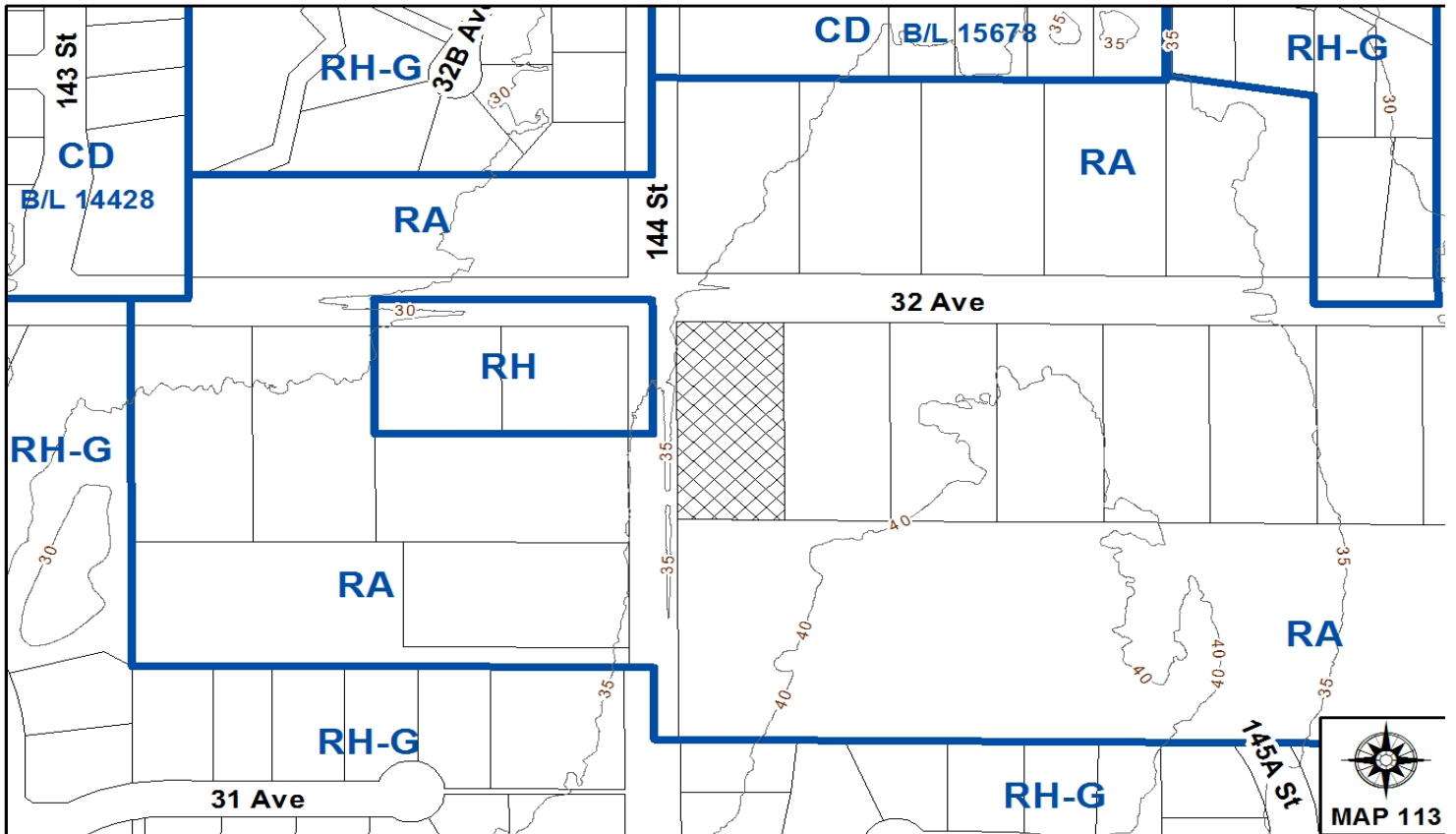
LOCATION: 3186 - 144 Street

OWNER: Huguette Dore

ZONING: RA

OCP DESIGNATION: Suburban

LAP DESIGNATION: One Acre (Central Semiahmoo Peninsula)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The subject site is designated "Suburban Residential (One-Acre)" in the Central Semiahmoo Peninsula Local Area Plan (LAP). The applicant is proposing to create half-acre lots, and therefore a LAP amendment from "Suburban Residential (One-Acre)" to "Suburban Residential (Half-Acre)" is required.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Suburban Official Community Plan designation.
- The proposed Local Area Plan amendment to facilitate the development of half-acre lots is consistent with the pattern of development recently established by other nearby development sites and is also consistent with the lot size of pre-existing lots in the vicinity of the site.
- No objections have been raised to the proposed development.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "One Acre Residential Zone" (RA) to "Half Acre Residential Zone (RH)" and a date be set for Public Hearing.
2. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) registration of a Section 219 restrictive covenant to ensure tree protection;
 - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
 - (f) the applicant address the concern that the development will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation and Culture;
3. Council pass a resolution to amend the Central Semiahmoo Peninsula Local Area Plan to redesignate the land from "Suburban Residential Half Acre" to "Suburban Residential One Acre" when the project is considered for final adoption.

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
Parks, Recreation and Culture:	No objections.

SITE CHARACTERISTICS

Existing Land Use: Single Family Dwelling (to be retained) on a single suburban lot.

Adjacent Area:

Direction	Existing Use	OCP/LAP Designation	Existing Zone
North (Across 32 Avenue):	Single Family Residential	Suburban/One Acre	RA
East:	Single Family Residential	Suburban/One Acre	RA
South:	Single Family Residential	Suburban/Half Acre Gross Density	RA
West (Across 144 Street):	Single Family Residential	Suburban/Half Acre Gross Density	RA and RH (Proposed RH-G rezoning given Third Reading (7912-0077-00))

JUSTIFICATION FOR PLAN AMENDMENT

- To facilitate the below detailed rezoning and subdivision proposal, the applicant is proposing an amendment to the Central Semiahmoo Local Area Plan (LAP) from “Suburban Residential (One Acre)” to “Suburban Residential (Half Acre)”.
- The LAP amendment can be supported as per the following:
 - The proposal complies and is consistent with the Suburban designation of the Official Community Plan;
 - The Development Application west of the subject site (7912-0077-00), was granted Third Reading by Council in 2013 and will result in half-acre gross density lots.
 - The areas surrounding the subject site are characterized by a mixture of RH-G, RH, and RH zoned lots of varying sizes. The proposed lot sizes are not inconsistent with the existing nature of surrounding areas.
 - No objections have been raised by area residents.

DEVELOPMENT CONSIDERATIONSContext & Proposal

- The subject site is located at the south-east corner of the intersection of 32 Avenue and 144 Street. The 3964 square metre (0.98 acre) lot is designated "Suburban" in the Official Community Plan (OCP) and "Suburban Residential (One-Acre)" in the Central Semiahmoo Peninsula Local Area Plan (LAP), and is zoned “One Acre Residential Zone”.

- The applicant is proposing to rezone the subject site from “One Acre Residential Zone” (RA) to “Half Acre Residential Zone” (RH), amend the Central Semiahmoo Peninsula Plan from “Suburban Residential (One-Acre) to “Suburban Residential (Half Acre)” and subdivide the site into two lots while retaining the existing 463 square metre (4,980 sq.ft.) house.
- Proposed Lot 1 is 1928.2 square metres (0.48 acre) and will contain the existing dwelling. This structure meets all of the floor area ratio, site coverage, and setback requirements of RH Zone. This dwelling was constructed in 2012 to a high standard.
- Proposed Lot 2 is 1854 square metres (0.46 acre). To accommodate the existing house meeting the maximum floor area ratio on Lot 1, the area of Lot 2 is slightly less than the RH Zone minimum. Part 4, Section 21.(h) of the City of Surrey Zoning By-law (No. 12000) permits a lot area reduction of up to 10% for one lot within a subdivision.

Building Design and Lot Grading:

- The applicant has retained Mike Tynan of Tynan Consulting Ltd. as the Design Consultant.
- The Design Consultant conducted a character study of the surrounding homes and based on the findings has proposed a set of Building Design Guidelines. A summary of the Building Design Guidelines is attached as Appendix V.
- The proposed guidelines are reflective of new single family dwellings constructed to a high architectural standard, meeting or exceeding standards found in most executive-estate subdivisions recently constructed post 2010 in RH and RH-G Zones. New homes are identifiable with the following design elements and styles:
 - "Traditional" , "Classical Heritage", "Neo-Heritage", and "Neo-Traditional "style homes;
 - Exterior building materials including stucco, cedar, hardiplank, brick and stone; and
 - Neutral and natural colours and the use of high trim and detail standards to reinforce style objectives.
- Staff have reviewed the proposed guidelines and found them to be generally acceptable.
- A preliminary lot grading and servicing plan was submitted and has also been reviewed by staff and found to be generally acceptable.

PRE-NOTIFICATION

Pre-notification letters were mailed to the owners of 35 properties within 100 metres of the site on July 15th, 2015. Two Development Proposal signs were installed on both frontages of the property. To date, staff have received no comments.

TREES

- Mike Fadum and Peter Mennel, ISA Certified Arborists of Mike Fadum Consulting, prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/Cottonwood	1	1	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Apple			
Cherry (Bitter)	2	1	1
Cascara	1	1	0
Cherry	2	2	0
Coniferous Trees			
Western Hemlock	1	0	1
Douglas Fir	14	10	4
Western Red Cedar	4	0	4
Total (excluding Alder and Cottonwood Trees)	24	14	10
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		TBD	
Total Retained and Replacement Trees		TBD	
Contribution to the Green City Fund		TBD	

- The Arborist report identifies a total of 24 protected trees on the site excluding Alder and Cottonwood trees. Ten trees can be retained as part of this development proposal, taking into consideration the health of the existing trees, location of services, proposed building envelopes, road dedication and proposed lot grading.
- Pursuant to the City’s Tree Protection By-law, a total of 29 replacement trees are required, based upon a ratio of 1:1 for Alder/Cottonwood trees, and 2:1 for all others.
- The number of replacement trees will be determined during the detailed design phase of the project. For all replacement trees that cannot be accommodated, a contribution of \$300 to the Green City Fund, per tree in deficit, will be required (in accordance with the City’s Tree Protection Bylaw).
- In addition to replacement trees, boulevard trees will be planted. This will be determined at the servicing stage by the Engineering Department.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Subdivision Layout
Appendix III.	Engineering Summary
Appendix IV	Building Design Guidelines Summary
Appendix V	Summary of Tree Survey and Tree Preservation
Appendix VI	Tree Replacement/Removal Plans

INFORMATION AVAILABLE ON FILE

- Arborist Report Prepared by Mike Fadum dated October 16, 2015
- Spatial Separation Report Prepared by Mike Tynan dated July 21, 2015
- Character Study Prepared by Mike Tynan Dated July 10, 2015
- Location Certificate Prepared by Dhaliwal & Associates dated July 20, 2015

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

DS/dk

\\file-server1\net-data\csdc\generate\areaproduct\save\31661387027.doc
KD 11/26/15 11:07 AM

SUBDIVISION DATA SHEET

Proposed Zoning: RH

Requires Project Data	Proposed
GROSS SITE AREA	
Acres	0.97
Hectares	0.39
NUMBER OF LOTS	
Existing	1
Proposed	2
SIZE OF LOTS	
Range of lot widths (metres)	42.8-45
Range of lot areas (square metres)	1854-1928
DENSITY	
Lots/Hectare & Lots/Acre (Gross)	5.1/2.0
Lots/Hectare & Lots/Acre (Net)	5.2/2.1
SITE COVERAGE (in % of gross site area)	
Maximum Coverage of Principal & Accessory Building	25
Estimated Road, Lane & Driveway Coverage	10
Total Site Coverage	35
PARKLAND	
Area (square metres)	-
% of Gross Site	-
Required	
PARKLAND	
5% money in lieu	NO
TREE SURVEY/ASSESSMENT	
	YES
MODEL BUILDING SCHEME	
	YES
HERITAGE SITE Retention	
	NO
FRASER HEALTH Approval	
	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others	NO

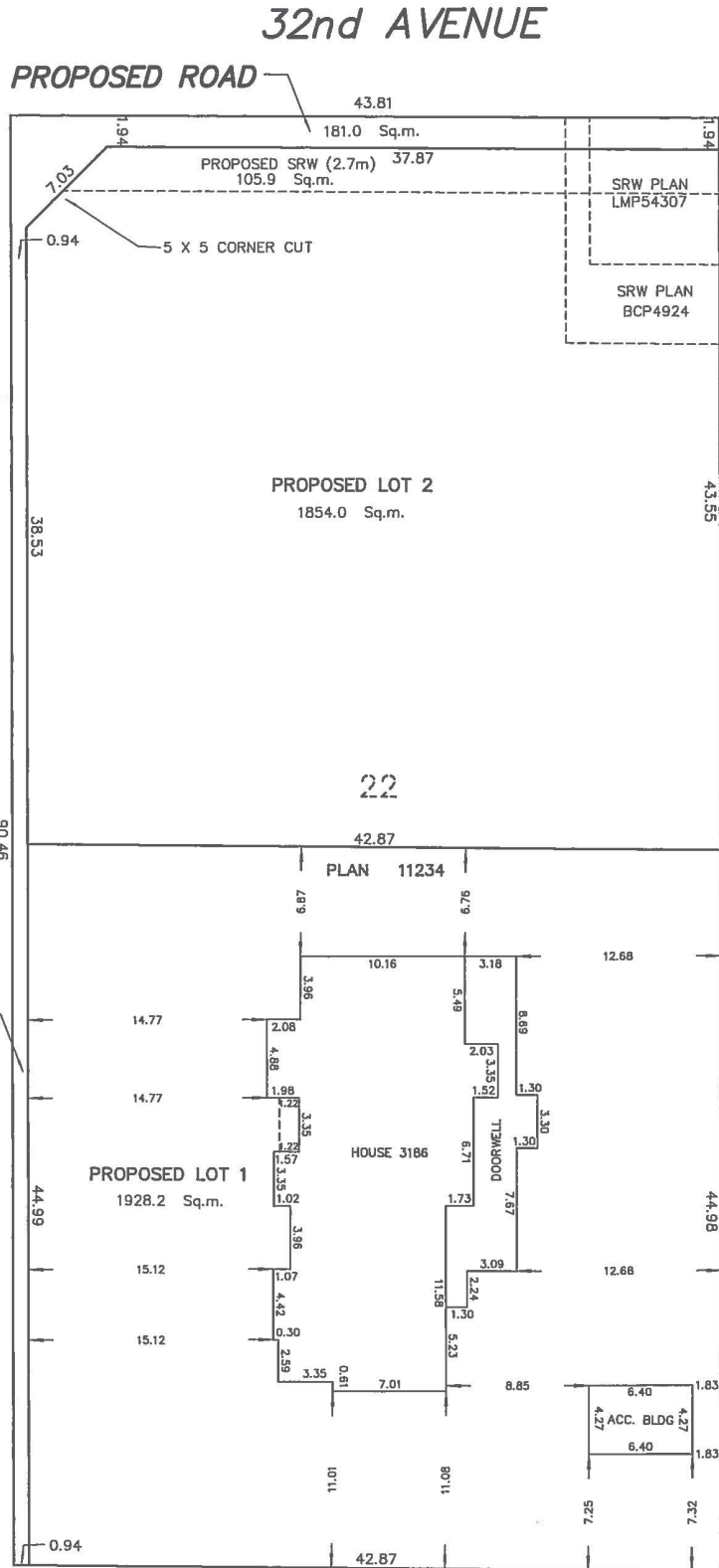
PLAN OF PROPOSED SUBDIVISION OF
LOT 22 SECTION 22 TOWNSHIP 1
NEW WESTMINSTER DISTRICT PLAN 11234

Current civic address:
3186 144th Street
Surrey, B.C.

SCALE 1:300

Notes:

- All dimensions are in metres.
- This plan is NOT to be used for location of property lines.
- All form dimensions correspond to outside face of exterior walls.
- *property dimensions are derived from Land Title Office records and are subject to change upon field survey*



144th STREET

32nd AVENUE

PROPOSED ROAD

DATE OF SURVEY: 10th DAY OF SEPTEMBER, 2015

Seal of Paul Nikusa, B.C.L.S., B.C.S.

THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED

© COPYRIGHT
 DHALIWAL & ASSOCIATES
 LAND SURVEYING INC.
 216-12899 76th Avenue
 Surrey, B.C.
 V3W 1E6
 (ph) 501-6188
 (fx) 501-6189
 FILE: 1006180-PS5

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **September 17, 2015** PROJECT FILE: **7814-0299-00**

RE: **Engineering Requirements
Location: 3186 144 Street**

REZONE/SUBDIVISION

Property and Right-of-Way (SRW) Requirements

- Dedicate 1.942 m on 32 Avenue for ultimate 24.0 m Collector standard.
- Dedicate 0.942 m on 144 Street for ultimate 22.0 m Collector standard.
- Dedicate 5.0 m x 5.0 m corner cuts at the intersection of 144 Street and 32 Avenue.
- Register 2.7 m SRW on 32 Avenue for Multi-Use-Pathway and Service Connection Works.

Works and Services

- Construct east side of 144 Street to modified Collector standard with ultimate 8.5 m pavement width, and 4.0 m wide Multi-Use-Pathway (MUP).
- Construct south side of 32 Avenue to Collector standard with ultimate 14.0 m pavement width, and 4.0 m MUP.
- Provide stormwater calculation to confirm downstream capacity to Anderson Creek including an analysis of future ultimate development if the remainder of 32 Avenue is rezoned to Half Acre Residential Zone (RH).
- Construct storm drainage system to service the proposed lots and frontage roads.
- Construct sanitary sewer on 32 Avenue.
- Construct water, storm drainage and sanitary service connection to service each lot.
- Pay Sanitary Developer Reimbursement fee (SDR)

A Servicing Agreement is required prior to Rezoning/Subdivision.

R. Dubé

for

Rémi Dubé, P.Eng.
Development Services Manager

IK1

BUILDING GUIDELINES SUMMARY

Surrey Project no: 7914-0299-00
 Project Location: 3186 – 144 Street, Surrey, B.C.
 Design Consultant: Tynan Consulting Ltd., (Michael E. Tynan)

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.

1. Residential Character

1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

The subject site is located in an area in which all surrounding lots are zoned RH, RH(G), CD based on RF(G), or RA. There are no urban lots in this area. Lots are large, and most homes are set well back from the front lot line, many substantially concealed from street views by dense growth. The area has an old suburban character with a wide variety of homes, most larger than 3000 sq.ft. It should be noted that there is a new application for subdivision on the west side of 144 Street directly opposite the subject site. That new application, under Surrey project 7912-0077-00, is for ten suburban CD zone lots, based on the RH(G) zone. Construction has not yet begun at that site, but the future character of this area will be substantially impacted by the building scheme registered on those lots. The building scheme regulations for the 10 lot CD site should therefore be considered to provide important "architectural regulations context" for the subject site.

This area was built out over a time period spanning from the 1970's to present (one is home under construction). The age distribution from oldest to newest is: 40 years old (42%), 30 years old (8%), 20 years old (33%), less than 10 years old (16%). Most homes over 3000 sq.ft. in size. Home size distribution in this area is as follows : 1501-2000 sq.ft. (8%), 2001-2500 sq.ft. (17%), 2501-3000 sq.ft. (8%), 3001-3550 sq.ft. (42%), over 3550 sq.ft. (25%). Styles found in this area include : "West Coast Traditional" (17%), "West Coast Modern" (25%), "Modern California Stucco" (8%), "Rural Heritage" (8%), "Traditional English" (17%), and "Neo-Traditional" (25%). Home types include: Bungalow (17%), Split Level (8%), 1 ½ Storey (17%), and Two-Storey (58%).

The massing scale found on neighbouring homes ranges from "low mass" to "high scale". The massing scale distribution is: low mass structures (17%), mid-scale structures of average quality (42%), mid-scale structures with proportionally consistent, well balanced context quality massing designs (17%), mid-to-high-scale structures (8%), and high scale structures (17%). The scale range for the front entrance element is : one storey (82%), one storey front entrance veranda in heritage tradition (9%), 1 ½ storey front entrance (9%).

Most homes have a steeply sloped roof. Roof slopes include: low slope (flat to 5:12) = (16)%, moderate slope (6:12 to 7:12) = (23)%, and steeply sloped (8:12 and steeper) = (61)%. Main roof forms (largest truss spans) include: common hip (75%), common gable (17%), and Boston gable (8%). Feature roof projection types include: common hip (43%), common gable (50%), and Boston hip (7%). Roof surfaces include: roll roofing (8%), rectangular profile type

asphalt shingles (8%), shake profile asphalt shingles (8%), concrete tile (rounded Spanish profile) (8%), concrete tile (shake profile) (17%), and cedar shingles (50%).

Main wall cladding materials include: horizontal cedar siding (17%), horizontal waney edge cedar siding (8%), stucco cladding (67%), and full height brick at front (8%). Feature veneers on the front façade include: no feature veneer (27%), brick (36%), stone (27%), and Tudor style battens over stucco (9%). Wall cladding and trim colours include : Neutral (white, cream, grey, black) (45%), Natural (earth tones) (45%), Primary derivative (red, blue, yellow) (5%), Warm (pink, salmon, orange, flesh tones) (5%).

Covered parking configurations include: Single vehicle garage (10%), Double garage (40%), and Triple garage (50%).

A variety of landscaping standards are evident including: natural state' with substantial underbrush and native trees (8%), average old suburban (58%), high quality modern suburban (25%), and average old urban (8%). Driveway surfaces include : asphalt (50%), and exposed aggregate (50%).

1.2 Prevailing Features of the Existing and Surrounding Dwellings Significant to the Proposed Building Scheme:

- 1) **Context Homes:** Forty two percent of homes can be considered 'context homes' (as identified in the residential character study herein), providing suitable architectural context for the subject site. The 'context homes' include: 3186 - 144 Street, 3138 - 144 Street, 3078 - 144 Street, 14386 - 32 Avenue, and 3227 - 144 Street. Fifty eight percent of homes can be considered 'non-context', and are not recommended for emulation.
- 2) **Style Character :** There are a wide variety of styles, with none dominant. The style character is therefore best described as "varied". The recommendation is to utilize styles that are compatible with suburban estate settings, such as a range of English or French "Traditional" styles, Heritage styles including "Craftsman Heritage", and "Cape Cod", plus "Neo-Traditional" and "Neo-Heritage".
- 3) **Home Types :** There are a variety of homes types including Bungalow, Two-Storey, Split Level, and 1 ½ Storey. It is reasonable therefore to permit a wide variety of types. Home type will not be regulated in the building scheme.
- 4) **Massing Designs :** Forty two percent of surrounding new homes provide desirable massing context. The homes are well balanced and correctly proportioned, which will be a requirement for any new home constructed at the subject site. The recommendation however, is to require that homes meet new standards for massing design found in most post year 2010 RH(G) zone developments, rather than to specifically emulate the massing designs of the context homes.
- 5) **Front Entrance Design :** Ninety one percent of homes have a single storey high front entrance element, which should be permitted. Nine percent have a 1½ storey high entrance element. The new homes are expected to be large, and a 1 ½ storey entrance element would be considered to be in proportion to the scale of the home. The recommendation therefore will be to permit front entrance porticos ranging from one to 1 ½ storeys in height.
- 6) **Exterior Wall Cladding :** Vinyl has not been used in this area, is not suitable generally for use on suburban-estate quality homes, and is not recommended.
- 7) **Roof surface :** Fifty percent of homes have a cedar shingle roof. However, many other materials have been used, including concrete roof tiles, asphalt shingles, and roll roofing. The roof surface is not a defining characteristic of this area, and so some flexibility is warranted.
- 8) **Roof Slope :** Roof pitch 8:12 or higher on most new homes.

Streetscape: This area has a distinct suburban character. The lots are large, and many of homes are large. Road edges are soft (no curb), and mature tree stands are abundant. Many homes are substantially concealed from street view by dense growth. There are a wide variety of home types and sizes, including numerous suburban-estate size homes. Many of the estate homes have desirable massing characteristics, with mass allocations distributed in a proportionally correct and balanced manner across the façade. Most homes have steeply sloped roofs. There are a variety of roof surface materials evident, including cedar shingles (used on 50% of all homes), concrete roof tiles, asphalt shingles and roll roofing. Wall cladding materials include stucco, cedar, brick, and stone in neutral and natural colours. Vinyl has not been used. Landscapes vary substantially from "near native" to above average standards for suburban RH and RH(G) zoned lots.

2. Proposed Design Guidelines

2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

- The new homes are constructed to a high architectural standard, meeting or exceeding standards found in most executive suburban-estate quality subdivisions in the City of Surrey. New homes are readily identifiable as one of the following styles: "Traditional" (including English Country, English Tudor, English Manor, Cape Cod and other sub-styles that impart a formal, stately character), Classical Heritage including Craftsman Heritage, Neo-Heritage, estate quality manifestations of the Neo-Traditional style, and other styles determined by the consultant to be compatible. Note that the proposed style range is not contained within the building scheme, but is contained within the residential character study which forms the basis for interpreting building scheme regulations.
- a new single family dwelling *constructed* on any *lot* meets year 2000's design standards, which include the proportionally correct allotment of mass between various street facing elements, the overall balanced distribution of mass within the front facade, readily recognizable style-authentic design, and a high trim and detailing standard used specifically to reinforce the style objectives stated above.
- trim elements will include several of the following: furred out wood posts, articulated wood post bases, wood braces and brackets, louvered wood vents, bold wood window and door trim, highly detailed gable ends, wood dentil details, stone or brick feature accents, covered entrance verandas and other style-specific elements, all used to reinforce the style (i.e. not just decorative).
- the development is internally consistent in theme, representation, and character.
- the entrance element will be limited in height (relative dominance) to 1 to 1 ½ storeys.

2.2 Proposed Design Solutions:

Interfacing Treatment with existing dwellings)

New homes should have massing designs that meet or exceed the standards found on neighbouring "context homes" at 3186 - 144 Street, 3138 - 144 Street, 3078 - 144 Street, 14386 - 32 Avenue, and 3227 - 144 Street. Standards should also meet or exceed standards commonly found in post year 2010 subdivisions in RH and RH(G) zones. Also, new dwellings should be similar in theme, representation and character with dwellings implied by the building scheme regulations for the new 10 lot suburban CD zone development (7912-0077-00) located on the west side of 144 Street, directly opposite the subject site.

Exterior Materials/Colours: Stucco, Cedar, Hardiplank, Brick, and Stone. No Vinyl.

“Natural” colours such as browns, greens, clays, and other earth-tones, and “Neutral” colours such as grey, white, and cream are permitted. “Primary” colours in subdued tones such as navy blue or forest green can be considered providing neutral trim colours are used, and a comprehensive colour scheme is approved by the consultant. “Warm” colours such as pink, rose, peach, salmon are not permitted. Trim colours: Shade variation of main colour, complementary, neutral, or subdued contrast.

Roof Pitch: Minimum 8:12.

Roof Materials/Colours: Cedar shingles, shake profile concrete roof tiles, and shake profile asphalt shingles with a raised ridge cap, and new environmentally sustainable roofing products providing that aesthetic properties of the new materials are equal to or better than that of the traditional roofing products. Grey, black, or brown

In-ground basements: Permitted, subject to determination that service invert locations are sufficiently below grade. Basements will appear underground from the front.

Treatment of Corner Lots: Significant, readily identifiable architectural features are provided on both the front and flanking street sides of the dwelling, resulting in a home that architecturally addresses both streets. One-storey elements on the new home shall comprise a minimum of 40 percent of the width of the front and flanking street elevations of the single family dwelling. The upper floor is set back a minimum of 0.9 metres [3'- 0"] from the one-storey elements.

Landscaping: *Moderate modern urban standard:* Tree planting as specified on Tree Replacement Plan plus minimum 40 shrubs of a minimum 3 gallon pot size. The corner lot shall have an additional 20 shrubs of a minimum 3 gallon pot size, planted in the flanking street sideyard. Sod from street to face of home. Driveways: exposed aggregate, interlocking masonry pavers, or stamped concrete.

Compliance Deposit: \$5,000.00

Summary prepared and submitted by: Tynan Consulting Ltd. Date: July 10, 2015

Reviewed and Approved by:  Date: July 10, 2015

Tree Preservation Summary

Surrey Project No: 14-0029-00
 Address: 3186 - 144 Street
 Registered Arborist: Mike Fadum

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	25
Protected Trees to be Removed	15
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	10
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 1 X one (1) = 1 - All other Trees Requiring 2 to 1 Replacement Ratio 14 X two (2) = 28	29
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X 1 one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	0
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.	
Signature of Arborist:	Date: October 16, 2015



MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3W 0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Mobile: (604) 240-0309
 Email: mfadum@fadum.ca

CLIENT
 C/O HUB ENG

FILE NO.

PROJECT TITLE
 TREE PRESERVATION AND PROTECTION PLAN

3186 144 ST.,
 SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION

SHEET TITLE
 T1 - TREE PRESERVATION AND REMOVAL PLAN

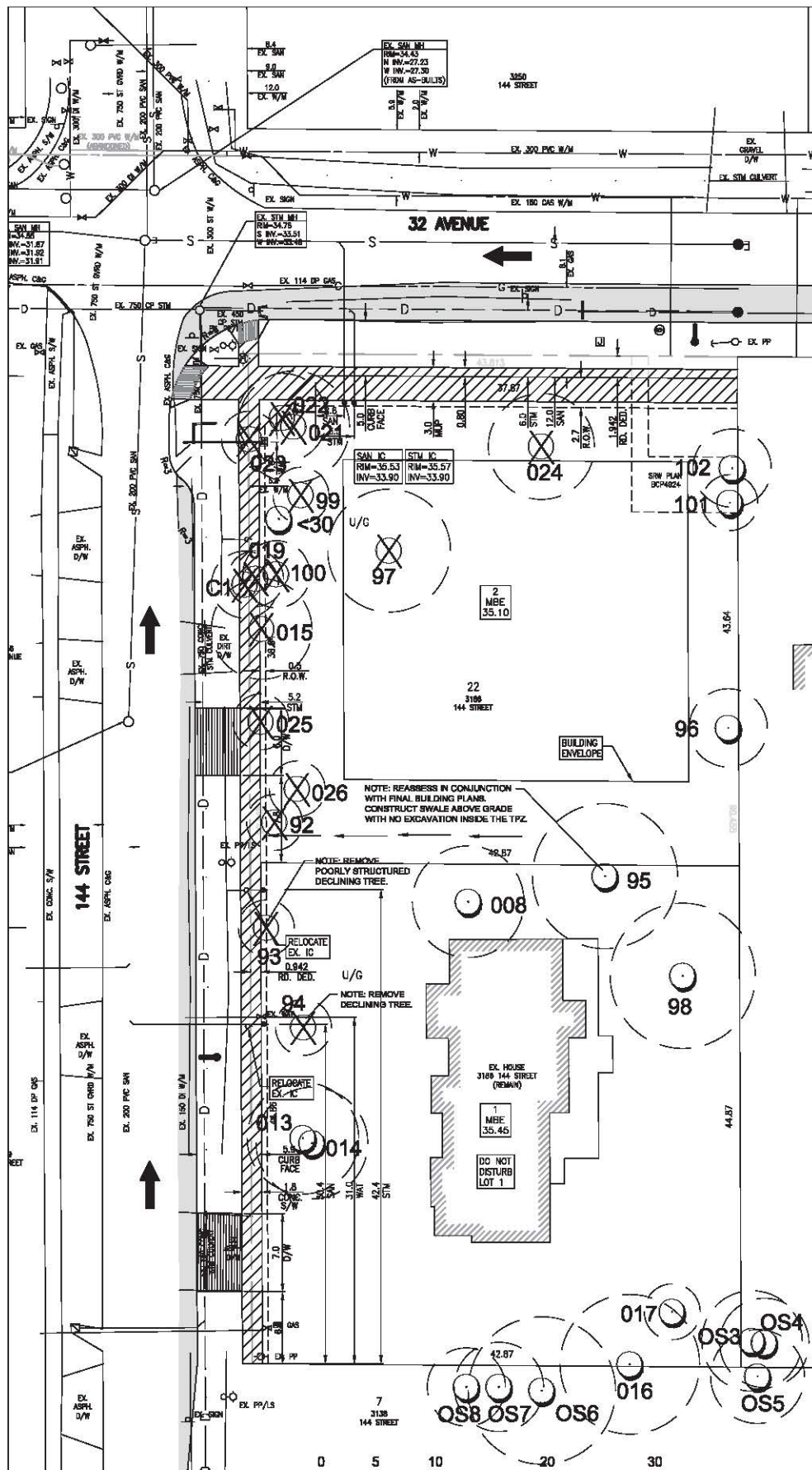
© Copyright Reserved. This drawing and design is the property of Mike Fadum and Associates Ltd. and may not be reproduced or used for other projects without their permission.

DRAWN
 JT

SCALE
 AS SHOWN

DATE
 JUNE 12, 2015

T-1
 SHEET 1 OF 2



LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- MINIMUM NO DISTURBANCE ZONE

MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3W 0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Mobile: (604) 240-0309
 Email: mfadum@fadum.ca

CLIENT
 C/O HUB ENG

FILE NO.

PROJECT TITLE
 TREE PRESERVATION
 AND PROTECTION PLAN

3186 144 ST.,
 SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION

SHEET TITLE

T2 - TREE PROTECTION
 AND PRESERVATION PLAN

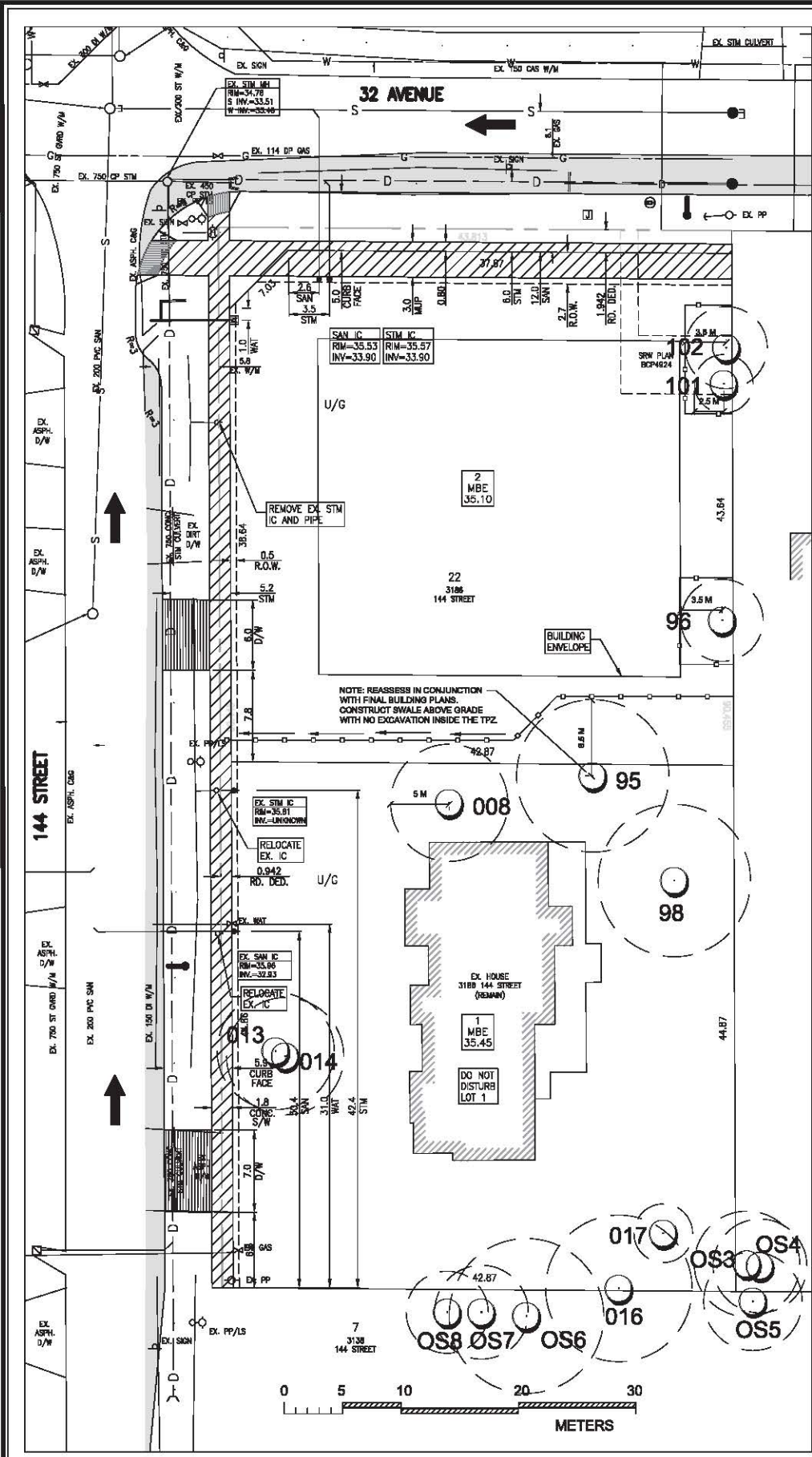
© Copyright Reserved. This drawing and design is the property of Mike Fadum and Associates Ltd. and may not be reproduced or used for other projects without their permission.

DRAWN
 JT

SCALE
 AS SHOWN

DATE
 JUNE 12, 2015

T-2
 SHEET 2 OF 2



LEGEND

- TREE TO BE RETAINED
- MINIMUM NO DISTURBANCE ZONE
- TREE PROTECTION FENCING

