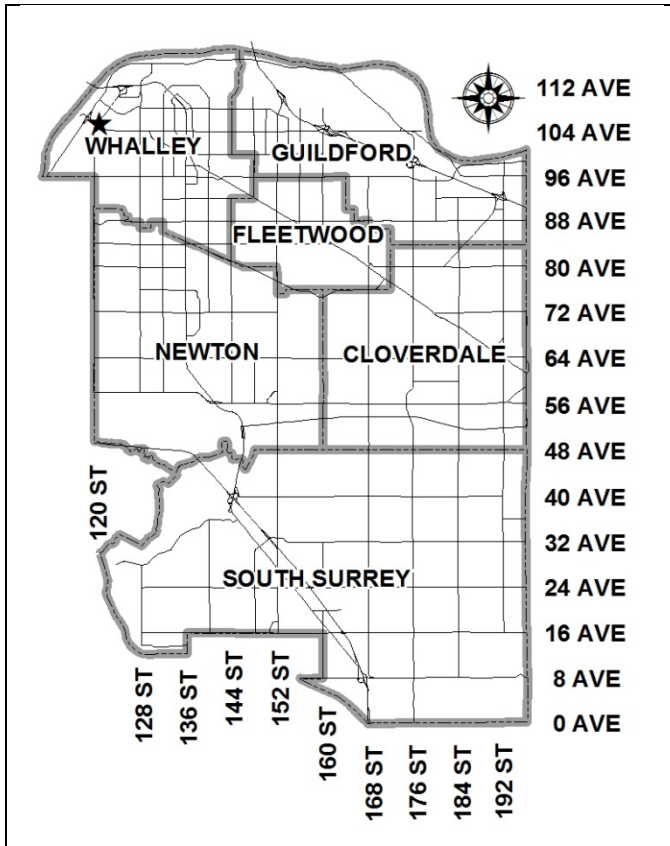


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0297-00

Planning Report Date: May 11, 2015

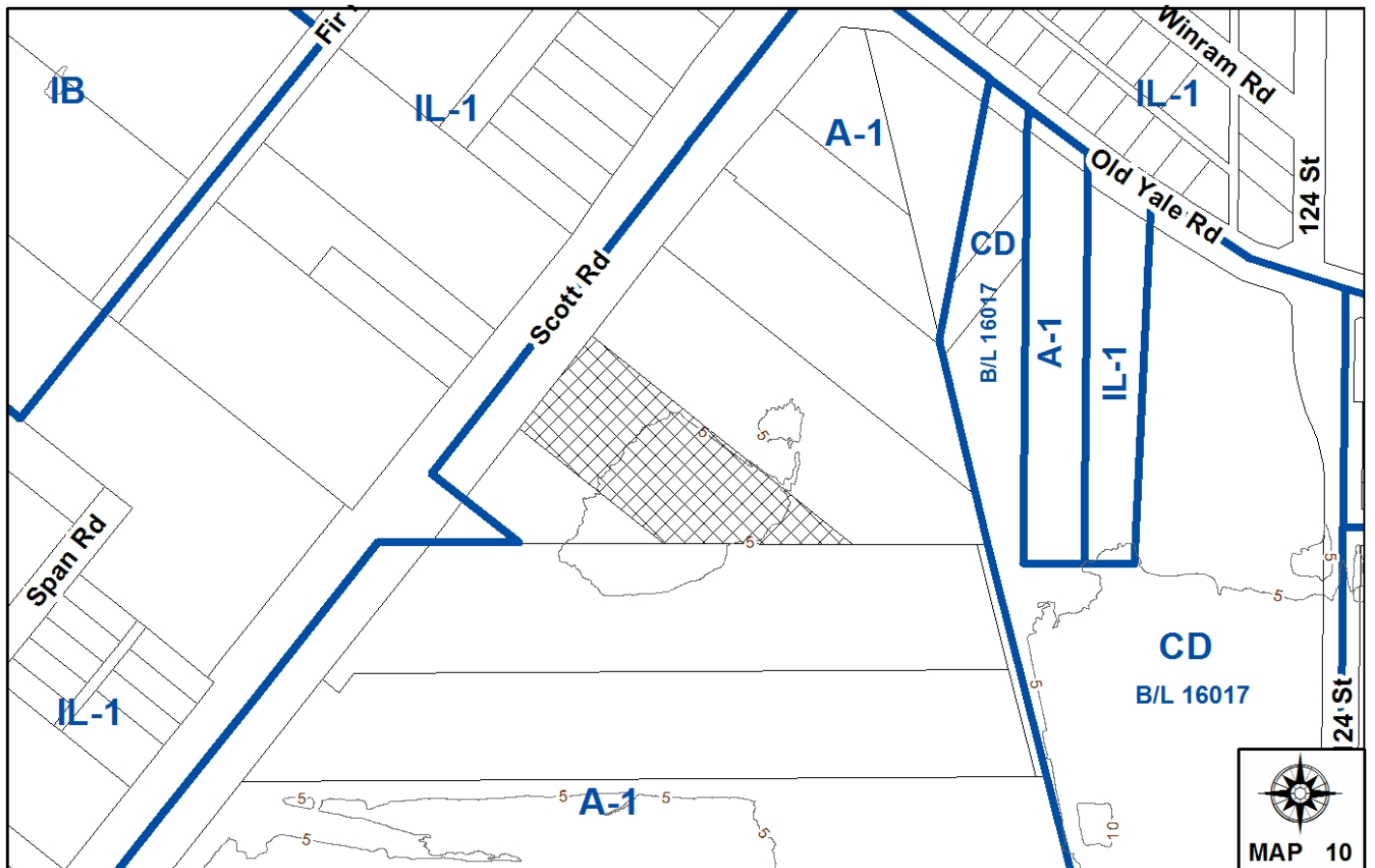


PROPOSAL:

- **Temporary Use Permit**

to permit a temporary truck parking facility for an additional 3 years from the date of expiry.

LOCATION: 10692 - Scott Road
OWNER: Mander Holdings Limited
ZONING: A-1
OCP DESIGNATION: Mixed Employment
NCP DESIGNATION: Highway Commercial



RECOMMENDATION SUMMARY

- Approval for Temporary Use Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Contrary to the South Westminster NCP.

RATIONALE OF RECOMMENDATION

- The initial Temporary Industrial Use Permit (TUP) No. 7910-0074-00 to allow temporary truck parking on the subject site, was approved by Council on April 23, 2012 and expired on April 24, 2014. The proposed 3-year TUP renewal will have an expiry date of April 24, 2017.
- The applicant is seeking a renewal of the expired TUP for truck parking to enable the applicant to continue their operation while searching for a permanent site for a truck parking facility.
- The proposed temporary truck parking facility will allow for the interim use of the land until it is economically viable for redevelopment.
- The proposal will continue to assist in providing much-needed truck parking spaces in the City.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Temporary Use Permit No. 7914-0297-00 (Appendix II) to proceed to Public Notification.
2. Council instruct staff to resolve the following issues prior to approval:
 - (a) remediation of existing landscaping, to the satisfaction of the Planning and Development Department;
 - (b) removal of the unauthorized tent structure, to the satisfaction of the Planning and Development Department; and
 - (c) submission of a temporary trailer permit application to the satisfaction of the Planning and Development Department.
3. Council direct staff to bring forward this application approximately 3 months from the date of approval to proceed (i.e. first Council meeting of September 2015) for consideration of filing, if the above-noted issues have not been adequately fulfilled by the applicant.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Unauthorized truck park (Temporary Industrial Use Permit No. 7910-0074-00 expired on April 24, 2014).

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
Northeast:	Temporary truck park (TUP No. 7913-0182-00 approved for 3-year extension, expiring on July 11, 2016).	Highway Commercial	A-1
South:	Non-conforming truck park.	Highway Commercial	A-1
Southwest:	Vacant lot.	Highway Commercial	A-1
West (Across Scott Road):	Non-conforming auto wrecker business.	Highway Commercial	IL-1

DEVELOPMENT CONSIDERATIONS

Background

- The subject property is located at 10692 Scott Road and encompasses a site area of 0.98 hectare (2.4 acres). The subject property is designated Mixed Employment in the Official Community Plan (OCP), "Highway Commercial" in the South Westminster Neighbourhood Concept Plan (NCP), and is currently zoned "General Agriculture Zone (A-1)".
- With the adoption of the new OCP (By-law No. 18020) on October 20, 2014, the OCP designation for this site was amended from "Industrial" to "Mixed Employment."
- Temporary Industrial Use Permit (TUP) No. 7910-0074-00, to accommodate the existing truck park on the site, was approved by Council on April 23, 2012 and was valid for two years, expiring on April 23, 2014.
- Since the previous TUP has expired and as a result of By-law Enforcement efforts, the applicant has applied for a 3-year extension of the TUP. The expiry date for the proposed TUP extension will be April 23, 2017, which is 3 years from its initial expiry.

Current Proposal

- The proposed TUP is primarily for parking of 39 oversized trucks for a period not to exceed 3 years from the date of previous expiry. However, since the previous TUP was approved, the applicant has modified the layout to include two rows of passenger vehicles at the front of the site and an office trailer, which are intended to be retained as part of this TUP extension. The existing temporary trailer permit expired on January 28, 2015 and will need to be renewed in advance of TUP issuance.
- A garbage facility is located to the south of the entrance and a porta-potty is located behind the office trailer to the north of the entrance.
- The applicant has also installed a tent structure, without a permit, that has been used for cross docking. Prior to approval of the TUP, the tent structure will need to be removed.
- A Terasen Gas right-of-way traverses the southeast corner of the property. Due to the adverse soil conditions in this area, the applicant is not proposing truck parking for the area impacted by the gas pipeline.

Access

- Vehicular access, restricted to right-in/right-out only, is proposed to remain from Scott Road. The site will remain surfaced with gravel, with a paved driveway access into the site.
- In the future, direct access to/from Scott Road is not intended for lots fronting the east side of Scott Road between Tannery Road and Old Yale Road. Alternate access is planned through development, by the extension of 122 Street running parallel to Scott Road.
- A chain link fence will be maintained to provide site security.

Landscaping

- As a condition of the previous application landscaping, including a mix of trees and shrubs, was planted along the front property line. Though the plantings have fallen into disrepair, the applicant intends to remediate the landscaping to comply with the previous landscape plan.
- Improvements to the landscaping along Scott Road are included as a condition of approval of the subject TUP extension.

Future Plans

- The proposed extension of the TUP for truck parking would allow for an interim use on the land until it is economically viable for the property owner to develop the property for an ultimate use in compliance with the Highway Commercial designation in the NCP. This interim use would allow the applicant to temporarily park trucks until they redevelop the site.
- By allowing truck parking to operate for an additional 3 years the applicant will have the opportunity to generate income until such time that the economic conditions permit the applicant to redevelop the site.

PRE-NOTIFICATION

Pre-notification letters were sent to neighbouring property owners on November 17, 2014 and a Development Sign was installed on April 22, 2015. To date, staff have not received any correspondence or telephone calls regarding the proposal.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary
- Appendix II. Temporary Use Permit No. 7914-0297-00 (includes Site Plan and Landscape Plans)

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

JKS/da

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DRV 5/7/15 11:11 AM

CITY OF SURREY

(the "City")

TEMPORARY USE PERMIT

NO.: 7914-0297-00

Issued To: Mander Holdings Ltd
("the Owner")

Address of Owner: 7145 - 140 Street
Surrey, BC V3W 6R7

1. This Temporary Use Permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this Temporary Use Permit.
2. This Temporary Use Permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 008-968-471
Lot 3, Except: Part On SRW Plan LMP20327 Section 19 Block 5 North Range 2 West New
Westminster District Plan 3987

10692 Scott Road

(the "Land")

3. The authority to issue Temporary Use Permits is granted to municipalities under Sections 920.2 and 921 of the *Local Government Act* R.S.B.C. 1996, Chapter 323. Pursuant to Implementation, II(c) Implementation Instruments, Temporary Use Permits of Surrey Official Community Plan, 2013, No. 18020, as amended, the entire City of Surrey is designated a Temporary Use Permit area.
4. The temporary use permitted on the Land shall be as follows:
 - (a) truck parking facility, with the access, number of parking spaces, office trailers, the location of the structures, washrooms and garbage facilities substantially in compliance with Schedule A (the "Site Plan") which is attached hereto and forms part of this permit;

- (b) the landscaping shall conform to drawings attached as Schedule B (the "Landscaping") which is attached hereto and forms part of this permit. The Landscaping must be maintained for the duration of the Temporary Use Permit.
5. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
- (a) Section B.3 of Part 4 General Provisions, the requirement to construct a permanent building, including washroom facilities, with a minimum area of 100 square meters (1,076 sq. ft.) is waived; and
 - (b) Section A.5 of Part 5 Off-Street Parking and Loading/Unloading, the requirement to pave the parking area with asphalt, concrete or other similar pavement, is modified to allow the use of other surfacing materials suitable for truck traffic as approved by the General Manager, Engineering.
6. The Owner covenants and agrees that the pre-servicing requirements attached as Schedule C (the "Pre-Servicing Requirements") which is attached hereto and forms part of this permit, have been completed and will be maintained for the duration of the Temporary Use Permit.
7. The temporary use shall be carried out according to the following conditions:
- (a) temporary washroom facilities are to be provided and maintained on the Land to the satisfaction of the General Manager, Planning and Development but in any case there shall be a minimum of one washroom facility on the Land;
 - (b) the parking spaces are to be visually delineated at all times to the satisfaction of the General Manager, Planning and Development so as to assist in ensuring the orderly parking of vehicles on the site at all times;
 - (c) the following activities are prohibited on the Land,:
 - i. vehicle washing;
 - ii. vehicle maintenance except if it is on an asphalt or concrete pad and excludes all oil, coolant or chemical use as per the Environmental Management Act, S.B.C. 2002 Chapter 43;
 - iii. truck fuel storage or refuelling;
 - iv. storage of waste petroleum fluids; and
 - v. parking or storage of vehicles containing Dangerous Goods as defined by the *Transport of Dangerous Goods Act* R.S.B.C. 1996, Chapter 458.
8. The Owner covenants and agrees as a condition of the issuance of this Temporary Use Permit to:
- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to this Temporary Use Permit; and

(b) restore the Land to the condition it was prior to the parking of vehicles;

all of which shall be done not later than the termination date set out on this Temporary Use Permit.

9. The Owner agrees that should the Owner not comply with the Temporary Use Permit, the City or its agents may enter upon the Land and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the Land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended. These costs and expenses are recoverable by the City as a debt and may be collected in the same manner and with the same remedies as ordinary taxes on land and improvements under Section 258.1(c) of the *Community Charter*, S.B.C. 2003, c. 26, as amended and if it is due and payable by December 31 and unpaid on that date, the debt is deemed to be taxes in arrears.

10. This Temporary Use Permit is not transferable.

ii. This Temporary Use Permit shall lapse on April 23, 2017.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE _____ DAY OF _____, 20____ .
ISSUED THIS _____ DAY OF _____, 20____ .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

Owner: Signature

Name: (Please Print)



Landscaping to be remediated

Temporary office trailer to have building permit extended

Tent structure to be removed

Scott Rd

10674

10692

10648

10626

Scale: 1:1,000



The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at cosmos.surrey.ca

Map created on: 06/05/2015

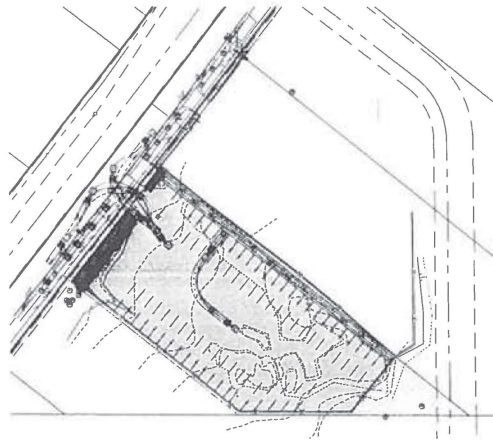
Schedule A

MULTI-TENANT DEVELOPMENT TRUCK PARK

SHEET KEY

L-001	COVER SHEET
L-002	TREE PROTECTION PLAN
L-003	SITE PLAN & TREE PLAN
L-004	WESTERN LAYOUT AND PLANTING PLAN
L-005	EASTERN LAYOUT AND PLANTING PLAN

PROPOSED SITE



GENERAL NOTES

NOTES:

- Contractor to confirm units and measurements. Should conflicting information or ambiguous references exist, the contractor must immediately contact the Owner/Consultant for clarification or confirmation.
- Prevent damage to all adjacent natural growth, landscaping, buildings, structures and underground and/or overhead utilities. Make good all damage to satisfaction of Owner/Consultant.
- Contract includes the removal and disposal of all branches, stumps, timbers, and other materials that hinder site development.
- Prior to clearing, verify limits of clearing with Owner/Consultant or their representative. Clarify any restrictions regarding preservation of natural features or improvements within or adjacent to specified limits of clearing.
- Dispose of cleared and grubbed material as work progresses and do not accumulate.
- Fires and burning of rubbish on site not permitted.
- Dispose of cleared and grubbed materials to approved off-site disposal area.
- Where possible, bulk excavation material may be retained for landscape purposes. Stockpile only in designated areas. Native material is not acceptable if it contains high moisture retention characteristics or if compaction is impossible to specifications.
- Leave ground surface in condition suitable for immediate grading operations.
- Remove all boulders or loose rock which may slide or roll into excavated areas.
- Conduct dust at all times for duration of contract.
- Provide temporary utilities and construction facilities in order to execute work expeditiously. Erect site shelters or temporary office only in designated area within contract limits, unless approved by Owner/Consultant.
- Confine work and operations of employees in accordance with contract documents. Do not unreasonably encumber premises with products.
- Provide hoarding as shown on Contract Drawings protecting public and private property from injury or damage.
- Provide temporary drainage and pumping as necessary to keep excavations and site free from water. Do not discharge water containing suspended materials into watercourses or drainage systems.
- Maintain existing conditions for parking and traffic around the site throughout construction, except in the staging area or when required for construction of key park elements. Take measures to re-route traffic or warn visitors to the site that heavy equipment and work crews are operating.

LOCATION MAP (1:2500m)



Plans checked by [Signature]
Planning & Development, City of Surrey

Date 2010/09/28
 Acceptable Not Acceptable

van der Zalm + associates inc.
Landscape Architecture • Urban Design • Parks & Recreation
Suite 1 8758 192 Street P 604-882-0224
Surrey, British Columbia F 604-882-0242
V4N 3V8E info@vzawm-inc.ca

NOTES:

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No.	Description	Date
1	Issue for review	Sept 21, 10

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF THE OWNER AND WILL BE RETURNED AT THE COMPLETION OF THE WORK.

PROJECT:
10692 Scott Road
Truck Park
7910-0074
LOCATION:
10692 Scott Road
Surrey, British Columbia

DRAWN	JL
CHECKED	MVDZ
APPROVED	MVDZ
SCALE	NTS
CAD FILE	L-001 COVER SHEET.DWG
DATE	Sept 21st 2010

COVER SHEET

DRAWING TITLE



PROJECT NO.
DP2010-20

DRAWING NO.
L-001

1 approved landscaping

Schedule B

7914-0297-00
(Copied from 7910-0074-00)



van der Zalm + associates Inc.
Landscape Architecture • Urban Design • Parks & Recreation
Scale: 1:800 192 Street P: 604-882-0024
Surrey, British Columbia F: 604-882-0042
V6A 1Y8 R: 604-882-0024

NOTES:

NO ENTRY
TREE PROTECTION ZONE
No entry into the designated zone is permitted unless authorized in writing by the City of Surrey. For information call Trees & Landscape Section (604) 882-0024.

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No.	Issue for Review	Sheet	Date

REVISIONS-DRAWING ISSUE

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PROJECT:
10692 Scott Road
Truck Park

LOCATION:
10692 Scott Road
Surrey, British Columbia

DRAWN	JL	CAD FILE	
CHECKED	MVDZ	DATE	Sept 21st 2010
APPROVED	MVDZ	1:000 TREE PROTECTION PLAN	
SCALE	1:200		

TREE PROTECTION PLAN

DRAWING TITLE



PROJECT NO.
DP2010-20

DRAWING NO.
L-002

11. There Are Obstacles to Installation Underneath Tree
If the removal root zone of any tree is within an existing building, asphalt or concrete parking, asphalt or concrete driveway, or any other structure, the barrier then must be constructed at the appropriate distance before the Building Permit will be issued.

Shared Ownership Trees and Neighbour's Trees

- The distance table above must be used to determine location of the protection fencing for shared trees and trees on adjacent properties of any size.
- Barriers for shared trees and trees on adjacent property must be installed to the property line.
- Where shared trees and trees on adjacent property may require removal, written authorization from the neighbour must be obtained before applying for a tree cutting permit.

Signage to be posted on each side of the barrier:
11x17" minimum size

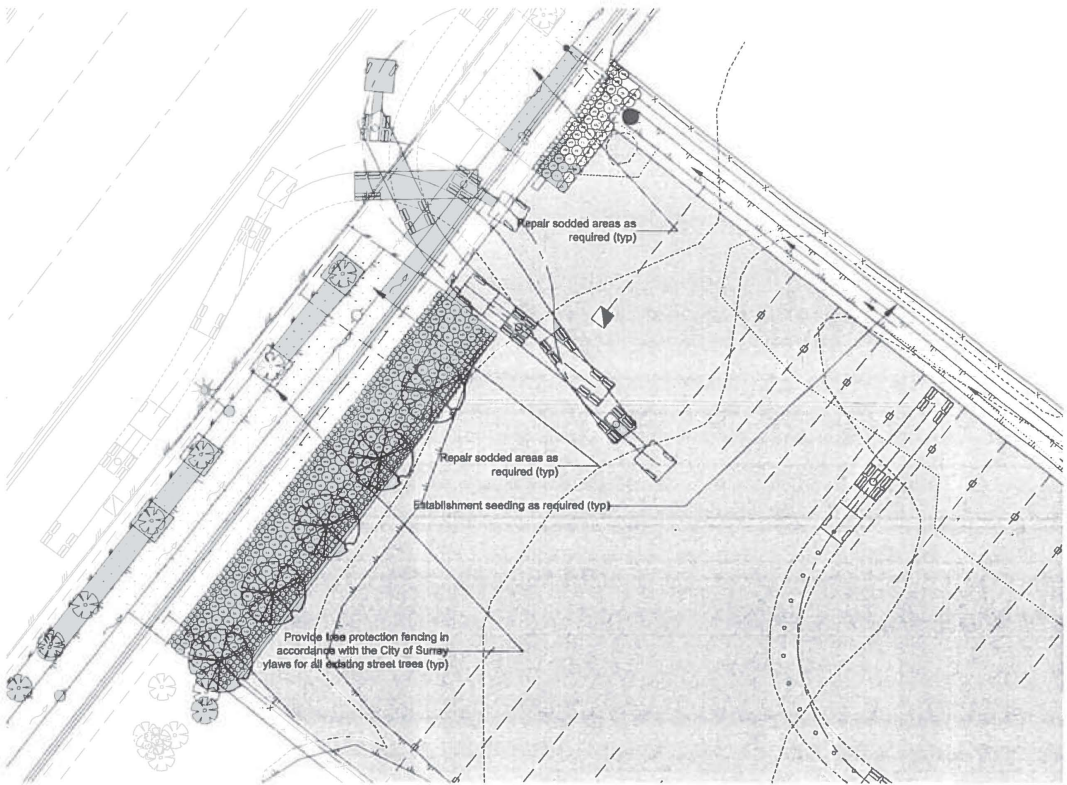
NO ENTRY TREE PROTECTION ZONE
No entry into the designated zone is permitted unless authorized in writing by the City of Surrey. For information call Trees & Landscape Section (604) 882-0024.

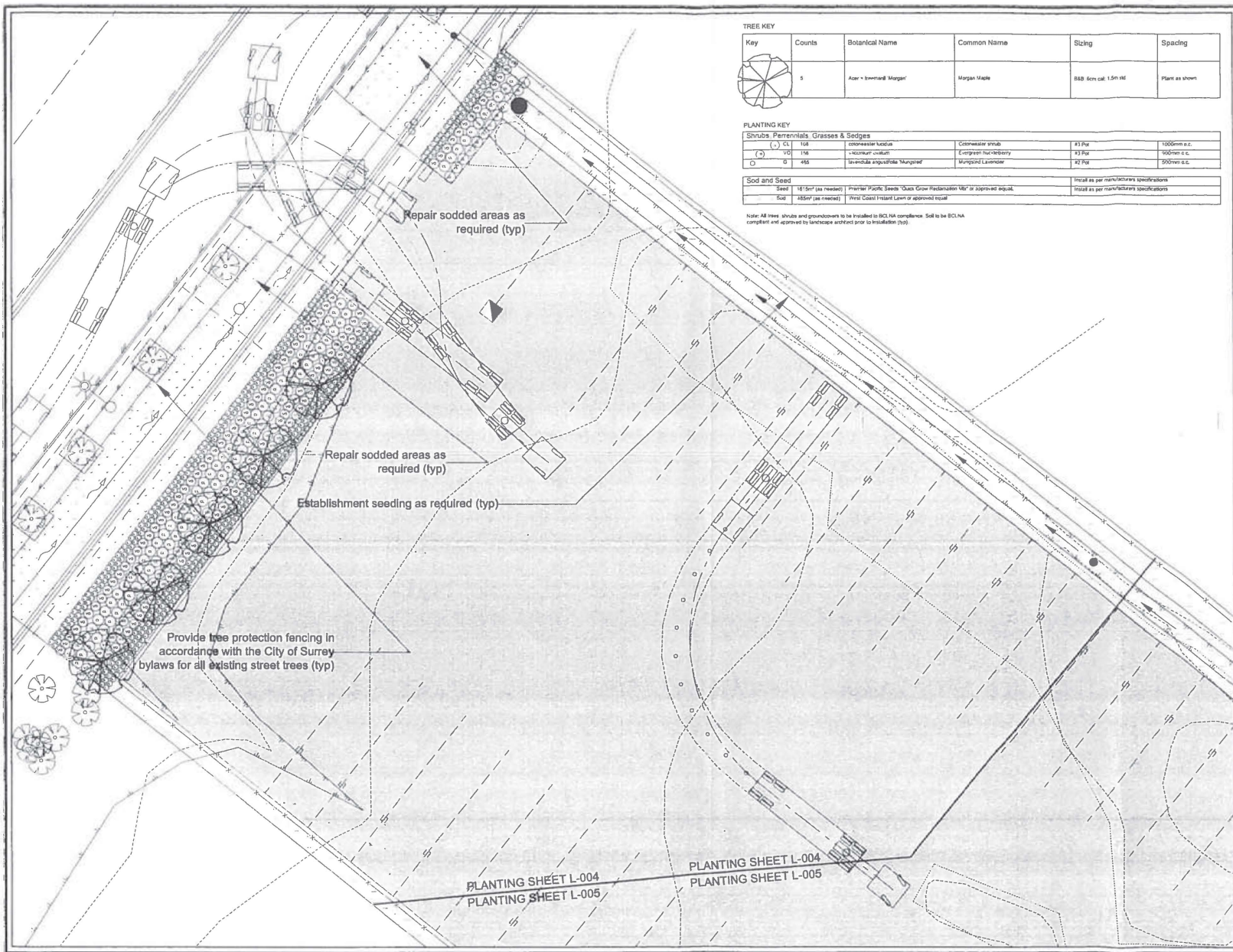
Specifications for Construction
Failure to meet these specifications will result in inspection failure and subsequent delay in issuing of a tree cutting permit.

1. 2" x 4" (1) barbed
2. 2" x 4" to be used for vertical posts, top and bottom rails, and crossmembers set on "X" braced, concrete or metal posts per the manufacturer's instructions.
3. Spacing between vertical posts to be no farther apart than 2' in (17") on centre.
4. Structures must be made with treated posts driven fully into the ground.
5. Continuous plastic mesh screening (e.g. white woven fabric).
6. Treated with water-repellent preservative that meets or exceeds the manufacturer's specifications.
7. Located at distances based on tree diameter, see table below.

Trunk Diameter (DBH) inches (mm)	Minimum Barrier Distance from the Tree
2" (50.8)	1.0 m (3.3')
3" (76.2)	1.5 m (4.9')
4" (101.6)	2.0 m (6.6')
5" (127)	2.5 m (8.2')
6" (152.4)	3.0 m (9.8')
7" (177.8)	3.5 m (11.5')
8" (203.2)	4.0 m (13.1')
9" (228.6)	4.5 m (14.8')
10" (254)	5.0 m (16.4')
11" (279.4)	5.5 m (18.0')
12" (304.8)	6.0 m (19.7')
13" (330.2)	6.5 m (21.3')
14" (355.6)	7.0 m (22.9')
15" (381)	7.5 m (24.6')
16" (406.4)	8.0 m (26.2')
17" (431.8)	8.5 m (27.9')
18" (457.2)	9.0 m (29.5')
19" (482.6)	9.5 m (31.2')
20" (508)	10.0 m (32.8')

* For distances over 10m (32.8') use the DBH (in cm) by 1.5
* For 10m, 32.8' use 10.0m x 1.5 = 15.0m x 49.2'





TREE KEY

Key	Counts	Botanical Name	Common Name	Sizing	Spacing
	5	Acer + Inwardi Morgan	Morgan Maple	8.0m dia. 1.5m ht	Plant as shown

PLANTING KEY

Shrubs	Perennials	Grasses & Sedges				
(-)	CL	108	Conocarpus lucidus	Conocarpus shrub	#3 Pot	1000mm x c.
(-)	CL	118	Leucantherum cordatum	Leucantherum herbaceous	#3 Pot	1000mm x c.
(-)	G	465	Imperata sanguinalis Munganae	Munganae Lavender	#2 Pot	500mm x c.

Sod and Seed		
Sod	16" x 36" (as required)	Prattler P400C Sod
Seed	16" x 36" (as required)	Prattler P400C Sod
Sod	48" x 96" (as required)	First Coast Ireland Lawn or approved equal

Note: All tree shrubs and grasses to be installed in BC10A compliance. Sod to be BC10A compliant and approved by landscape architect prior to installation (typ).

van der Zaaij + associates Inc.
 Landscape Architecture - Urban Design - Parks & Recreation
 Suite 1 8938 152 Street
 Surrey, British Columbia
 V4N 1Y9
 P: 604.882.0024
 F: 604.882.0047
 info@van-der-zaaij.ca

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Issue No.	Issue Description	Issue Date
1	Issue for review	Sept 21, 18
2		
3		
4		
5		
6		
7		
8		
9		
10		

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

PROJECT:
10692 Scott Road Truck Park

LOCATION:
10692 Scott Road
Surrey, British Columbia

DRAWN:	JL
CHECKED:	MVDZ
APPROVED:	MVDZ
SCALE:	1:100
DATE:	Sept 21st 2010

WEST PLANTING PLAN

DRAWING TITLE

PROJECT NO. DP2010-20

DRAWING NO. L-004



TREE KEY

Key	Counts	Botanical Name	Common Name	Sizing	Spacing
	5	Acer + Freeman Morgan	Morgan Maple	848; 6m ckt. 1.5m slit	Plant as shown

PLANTING KEY

Shrubs, Perennials, Grasses & Sedges						
(L)	CL	108	Coloreaster kuskus	Coloreaster shrub	#3 Pot	1000mm o.c.
(P)	VO	156	vacillatum ovalum	Evergreen huckleberry	#3 Pot	900mm o.c.
(O)	O	485	lavendula angustifolia 'Mungstad'	Mungstad Lavender	#2 Pot	500mm o.c.
Sod and Seed						
-	Seed	15.15m ² (as needed)	Premier Pacific Seeds "Quick Grow Reclamation Mix" or approved equal.	Install as per manufacturers specifications		
-	Sod	485m ² (as needed)	West Coast Instant Lawn or approved equal	Install as per manufacturers specifications		

Note: All trees, shrubs and groundcovers to be installed in BCLNA compliance. Soil to be BCLNA compliant and approved by landscape architect prior to installation (typ).

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REVISIONS-DRAWING ISSUE		
No.	Description	Date
1	Issue for review	Sept 21, 18

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

PROJECT:
10692 Scott Road
Truck Park

LOCATION:
10692 Scott Road
Surrey, British Columbia

DRAWN: JL	
CHECKED: MVDZ	
APPROVED: MVDZ	CLD FILE L2C (EXTRACTING/PALING)
SCALE: 1:150	DATE: Sept 21st 2018

EAST PLANTING PLAN

DRAWING TITLE



PROJECT NO.
DP2010-20

DRAWING NO.
L-005

Pre-Servicing Requirements

Landscaping Requirements

- Remediation of landscaping to the specifications and satisfaction of the Planning and Development Department.

Planning Requirements

- The parking spaces in the truck parking lot are to be visually delineated at all times to the satisfaction of the General Manager, Planning and Development, so as to assist in ensuring the orderly parking of vehicles on the site at all times; and
- Adequate washroom facilities are to be provided on the site to the satisfaction of the General Manager, Planning and Development, but in any case there shall be a minimum of one such facility on the site.