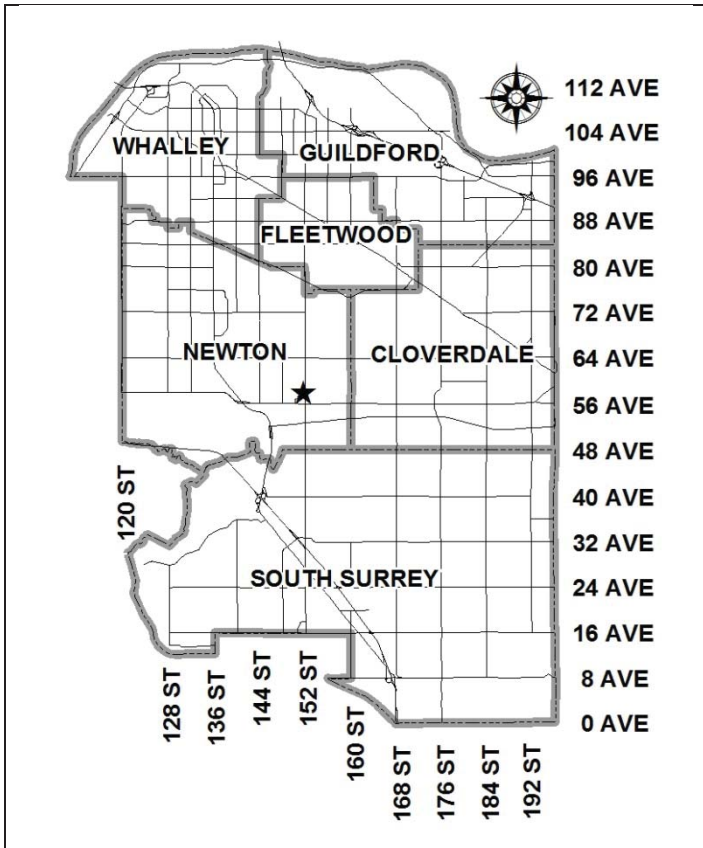


City of Surrey
ADDITIONAL PLANNING COMMENTS

File: 7914-0286-00

Planning Report Date: October 24, 2016



PROPOSAL:

- **Housing Agreement**

to regulate the tenure of a proposed 106-unit rental apartment building.

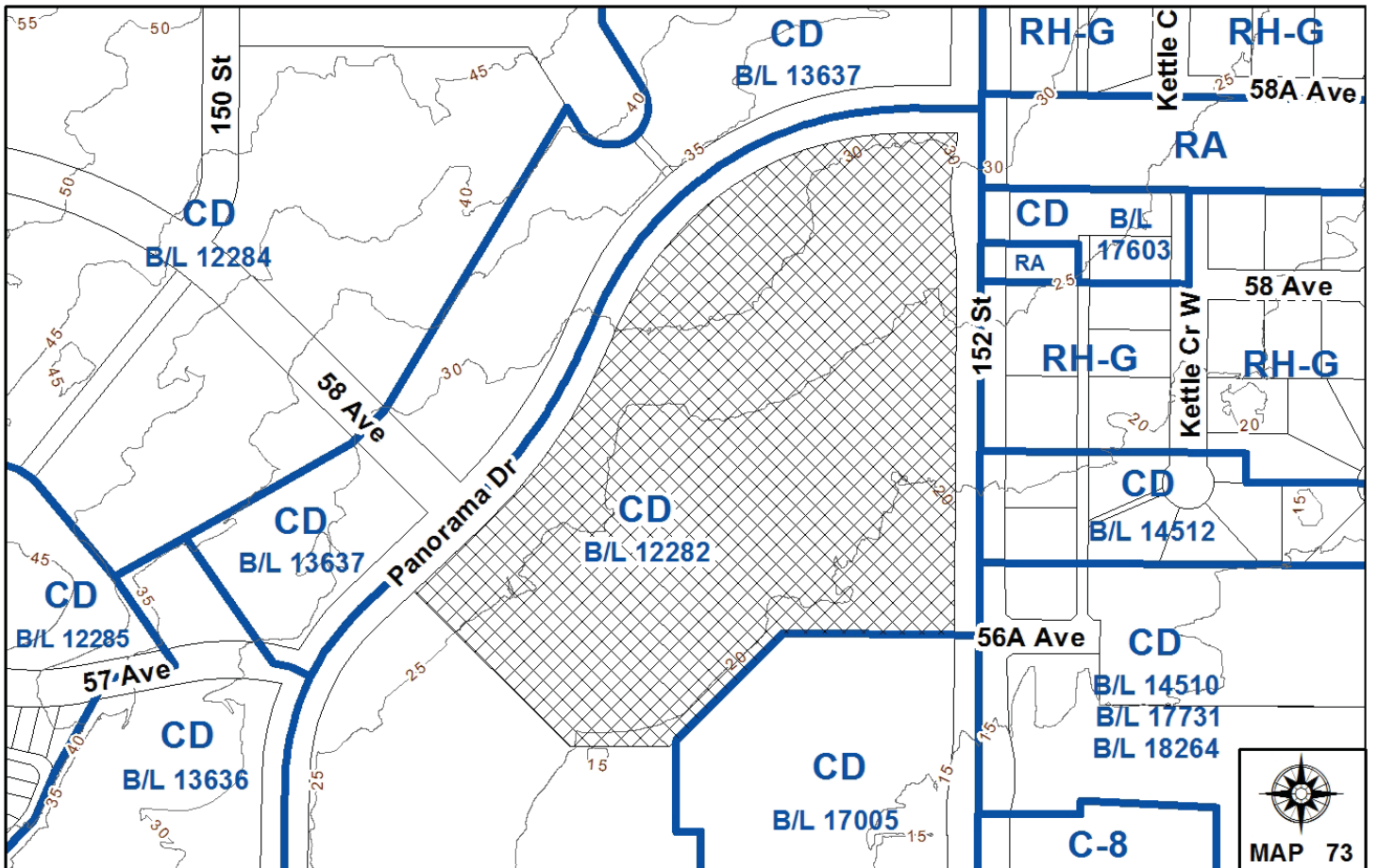
LOCATION: 5750 - Panorama Drive

OWNER: Redekop (Panorama) Homes Ltd.

ZONING: CD (By-law No. 12282)

OCP DESIGNATION: Commercial

NCP DESIGNATION: Institutional



RECOMMENDATION SUMMARY

- By-law Introduction, First, Second and Third Reading for the Housing Agreement.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- At the July 25, 2016 Regular Council – Land Use meeting, Council granted Third Reading to Application No. 7914-0286-00 (By-law Nos. 18683 and 18684) which allows for the development of 181 townhouse units, a commercial plaza and a 106-unit purpose-built rental housing apartment building. In addition to granting Third Reading, Council also made the following resolution:
 - That "staff work with the applicant to devise a housing agreement, prior to final adoption, to ensure the rental housing units will be secured via restrictive covenant" and "that the agreement also contain a specific clause denoting a set period of time before an amendment can be applied for strata conversion". (RES.R16-1576)
- The attached Housing Agreement, to be adopted by By-law and registered on title through a Restrictive Covenant, will restrict the apartment building to a rental tenure for 20 years. The Housing Agreement also stipulates that the rental building shall not be stratified during this 20-year period.
- The Housing Agreement By-law will be brought forward for final adoption concurrently with the Rezoning by-law when all issues associated with the rezoning are addressed.

RECOMMENDATION

The Planning & Development Department recommends that a By-law be introduced to enter into a Housing Agreement and be given First, Second and Third Reading.

DEVELOPMENT CONSIDERATIONS

- At the July 25, 2016 Regular Council – Land Use meeting, Council granted Third Reading to Application No. 7914-0286-00 (By-law Nos. 18683 and 18684) which allows for the development of 181 townhouse units, a commercial plaza and a 106-unit purpose-built rental housing apartment building. In addition to granting Third Reading, Council also made the following resolution:
 - That "staff work with the applicant to devise a housing agreement, prior to final adoption, to ensure the rental housing units will be secured via restrictive covenant" and "that the agreement also contain a specific clause denoting a set period of time before an amendment can be applied for strata conversion" (RES.R16-1576).
- Section 483 of the *Local Government Act*, authorizes Local Governments to enter into Housing Agreements for affordable and special needs housing.
- Typically Housing Agreements include the terms and conditions agreed to by the Local Government and the owner regarding:
 - the form of tenure of the housing units;
 - the occupancy of the housing units identified in the agreement (including their form of tenure and their availability to the classes of persons identified in the agreement);
 - the administration of the units (including the means by which the units will be made available to intended occupants); and
 - the rents and lease prices of units that may be charged and the rates at which these can be increased over time.
- The attached Housing Agreement, to be adopted by By-law and registered on title, will restrict the form of tenure to a rental tenure for a minimum period of 20 years from the date of the final inspection of the rental building. The Housing Agreement also stipulates that the rental building shall not be stratified during this 20 year period.
- The City may also from time to time require that the owner of the building provide written proof of compliance with the Agreement.
- The Housing Agreement By-law will be brought forward for final adoption concurrently with the Rezoning by-law when all issues associated with the rezoning are addressed.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary
- Appendix II. Proposed Housing Agreement By-law and Housing Agreement
- Appendix III. June 13, 2016 Planning Report for Development Application No. 7914-0286-00
(without appendices, except for a few relevant plans from Appendix II)

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

KB/da

CITY OF SURREY

BYLAW NO. _____

A by-law to authorize the City of Surrey to enter into a Housing Agreement
.....

WHEREAS the City of Surrey has received an application to enter into a housing agreement;

AND WHEREAS Section 483 of the Local Government Act, R.S.B.C. 2015 c.1, as amended (the "Local Government Act"), empowers the Council or the City of Surrey to enter into a housing agreement.

NOW, THEREFORE, the Council of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

1. The City of Surrey is hereby authorized and empowered to enter into a housing agreement in the form attached hereto as Schedule A and forming part of this By-law (the "Housing Agreement") with the following party:

REDEKOP (PANORAMA) HOMES LTD.
 Unit 102, 31324 - Peardonville Road
 Abbotsford, BC V2T 6K8

and with respect to that certain parcel or tract of lands and premises, situate lying and being in the City of Surrey, in the Province of British Columbia and being more particularly known and described as:

Parcel Identifier: 023-208-732
 Lot 13 Section 10 Township 2 New Westminster District Plan LMP24916

5750 – Panorama Drive

(the "Land")

2. The Mayor and Clerk are hereby empowered to execute the Housing Agreement on behalf of the City of Surrey.

3. The City of Surrey shall file in the Land Title Office a notice against the Lands in accordance with Section 483 of the *Local Government Act*, that the Lands are subject to the Housing Agreement.

4. This By-law shall be cited for all purposes as "The Redekop (Panorama) Homes Ltd. Housing Agreement, Authorization By-law, 2016, No. _____."

PASSED THREE READINGS on the _____ day of _____, 2016.

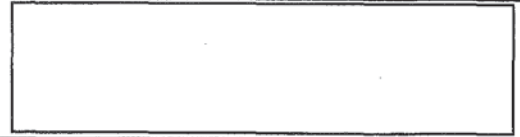
RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, _____.

_____ MAYOR

_____ CLERK

**LAND TITLE ACT
FORM C (Section 233) CHARGE
GENERAL INSTRUMENT - PART 1 Province of British Columbia**

Your electronic signature is a representation that you are a subscriber as defined by the Land Title Act, RSBC 1996 c.250, and that you have applied your electronic signature in accordance with Section 168.3, and a true copy, or a copy of that true copy, is in your possession.



1. APPLICATION: (Name, address, phone number of applicant, applicant's solicitor or agent)

LANDO & COMPANY LLP, Barristers and Solicitors
PO Box 11140
2010 - 1055 West Georgia Street
Vancouver BC V6E 3P3

File No.: 56761/0008 Housing Agreement Covenant
Client No.: 010394
Phone No.: 604-682-6821

Deduct LTSA Fees? Yes

2. PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND:
[PID] [LEGAL DESCRIPTION]

NO PID LOT 4 SECTION 10 TOWNSHIP 2 NWD PLAN EPP59961

STC? YES

3. NATURE OF INTEREST CHARGE NO. ADDITIONAL INFORMATION
SEE SCHEDULE

4. TERMS: Part 2 of this instrument consists of (select one only)

(a) Filed Standard Charge Terms D.F. No. (b) Express Charge Terms Annexed as Part 2
A selection of (a) includes any additional or modified terms referred to in Item 7 or in a schedule annexed to this instrument.

5. TRANSFEROR(S):

SEE SCHEDULE

6. TRANSFEREE(S): (including postal address(es) and postal code(s))

CITY OF SURREY

13450 104 AVENUE
SURREY

V3T 1V8

BRITISH COLUMBIA
CANADA

7. ADDITIONAL OR MODIFIED TERMS:

8. EXECUTION(S): This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

Officer Signature(s)

MURRAY A. BRAATEN
P.O. BOX 11140 PHONE 682-6821
2010 - 1055 WEST GEORGIA STREET
VANCOUVER, B.C. V6E 3P3
SOLICITOR

Execution Date

Y	M	D
16	10	14

Transferor(s) Signature(s)

REDEKOP (PANORMA) HOMES LTD. by its authorized signatory (ies):

Print Name:

Print Name:

OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

LAND TITLE ACT
FORM E

PAGE 3 OF 11 PAGES

SCHEDULE

NATURE OF INTEREST

CHARGE NO.

ADDITIONAL INFORMATION

Covenant

Section 219 Covenant

Entire Instrument

Person Entitled to Interest: Transferee

NATURE OF INTEREST

CHARGE NO.

ADDITIONAL INFORMATION

Priority Agreement

Granting the Covenant above priority over
Mortgage CA4212914 and Assignment of Rents
CA4212915

Persons Entitled to Interest: Transferee

Page 10

NATURE OF INTEREST

CHARGE NO.

ADDITIONAL INFORMATION

Priority Agreement

Granting the Covenant above priority over
Mortgage CA4329987

Persons Entitled to Interest: Transferee

Page 11

NATURE OF INTEREST

CHARGE NO.

ADDITIONAL INFORMATION

NATURE OF INTEREST

CHARGE NO.

ADDITIONAL INFORMATION

NATURE OF INTEREST

CHARGE NO.

ADDITIONAL INFORMATION

**LAND TITLE ACT
FORM E**

SCHEDULE

ENTER THE REQUIRED INFORMATION IN THE SAME ORDER AS THE INFORMATION MUST APPEAR ON THE FREEHOLD TRANSFER FORM, MORTGAGE FORM, OR GENERAL INSTRUMENT FORM.

5. TRANSFEROR(S):

REDEKOP (PANORAMA) HOMES LTD. (Inc. No. BC0996875) (as to Covenant)

CANADIAN WESTERN BANK (as to Priority)

KELSON INVESTMENTS LTD. (Inc. No. BC0754748) (as to Priority)

TERMS OF INSTRUMENT – PART II

**SECTION 219 COVENANT AND HOUSING AGREEMENT
(Occupancy)**

BETWEEN:

CITY OF SURREY, a Municipal Corporation having its municipal offices at
13450 104 Avenue, Surrey, British Columbia V3T 1V8

(the “City”)

OF THE FIRST PART

AND:

REDEKOP (PANORAMA) HOMES LTD., Inc. No. BC996875, 102 – 31324
Peardonville Road, Abbotsford, British Columbia V2T 6K8

(the “Covenantor”)

OF THE SECOND PART

WHEREAS:

- A. The Covenantor is the current registered owner of those certain lands and premises located at 5750 Panorama Drive, Surrey, B.C. and legally described as follows:

No PID

Lot 4 Section 10 Township 2 New Westminster District Plan EPP59961

(the “Lands”);

- B. Section 219 of the *Land Title Act* (RSBC 1996, c. 250) provides, inter alia, that a covenant, whether of a negative or positive nature, may be registered as a charge against the title to land, in favour of a municipality or the Crown, and that the covenant is enforceable against the Covenantor and the successors in title of the Covenantor;
- C. Section 483 of the *Local Government Act* (RSBC 2015, c. 1) authorizes the City by bylaw to enter into a housing agreement;
- D. The Covenantor desires to construct a building on a portion of the Lands containing 106 rental Dwelling Units (the “**Rental Building**”); and
- E. The Covenantor and the City wish to enter into this Agreement to restrict the use and occupancy of the Rental Building, on the terms and conditions set out herein, to have effect both as a covenant under section 219 of the *Land Title Act* and as a housing agreement under section 483 of the *Local Government Act*.

NOW THEREFORE THIS AGREEMENT WITNESSES THAT pursuant to section 219 of the *Land Title Act* and section 483 of the *Local Government Act*, and in consideration of the premises, the mutual covenants and agreements contained herein and other good and valuable consideration and the sum of One Dollar (\$1.00) now paid by the City to the Covenantor (the receipt and sufficiency whereof is hereby acknowledged), the parties hereto covenant and agree that the Lands shall not be used or built on except in accordance with this Covenant as follows:

1. **DEFINED TERMS**

1.1 In and for the purpose of this Agreement, the following words have the following meanings:

- (a) **“Agreement”** means this document and any amendments to or modifications of the same;
- (b) **“Dwelling Unit”** means the 106 private dwelling units to be constructed within the Rental Building; and
- (c) **“Term”** means 20 years, commencing on the first day of the month after the final inspection for the Rental Building is issued by the City.

2. **RESTRICTIONS ON OCCUPANCY OF DWELLING UNITS**

2.1 The Covenantor shall be solely responsible for leasing the Dwelling Units from time-to-time on such terms as the Covenantor determines, provided such terms are in accordance with this Agreement.

2.2 The Covenantor covenants and agrees to operate the Rental Building as a rental building and agrees that the Dwelling Units shall be rental units available for rent during the Term of this Agreement.

2.3 The Rental Building shall not be stratified during the Term.

2.4 This Agreement shall automatically terminate at the end of the Term on the day that is 20 years after the date of this Agreement and the City shall remove notice of this Agreement from title to the Lands at such time.

2.5 The City may from time to time require that the Covenantor provide written proof of compliance with section 2 of this Agreement and the Covenantor agrees to provide the City with such proof in a form reasonably satisfactory to the City.

3. **ENFORCEMENT**

3.1 If the Covenantor fails to enforce compliance with the terms and conditions of section 2 of this Agreement, then it is specifically understood and agreed that the City will be entitled, but will not be obliged, to enforce the terms and conditions of section 2 of this Agreement.

3.2 For the purpose of this Agreement, the Covenantor, without the need for further authorization, writing or documents, hereby irrevocably appoints the City as its agent with respect to the enforcement of this Agreement and with respect to exercising all remedies set out in this Agreement and all other remedies available at law to the Covenantor that relate to this Agreement.

4. **LIABILITY**

4.1 The Covenantor will indemnify and save harmless the City and each of its elected and appointed officials, employees and agents and their respective administrators, successors and permitted assigns, of and from all claims, demands, actions, damages, costs and liabilities, which all or any of them shall or may be liable for or suffer or incur or be put to by reasons of or arising out of failure of the Covenantor to comply with the terms and conditions of this Agreement.

4.2 Provided that the City is in compliance with the terms and conditions of this Agreement, the Covenantor hereby releases and forever discharges the City and each of its elected and appointed officials, employees and agents and their respective administrators, successors and permitted assigns, of and from any and all claims, demands, actions, damages, economic loss, costs and liabilities which the Covenantor now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by this Agreement.

5. **NOTICE**

5.1 Any notice or other documents to be given or delivered pursuant to this Agreement will be addressed to the property party as follows:

as to the City:

City of Surrey
14245 56th Avenue
Surrey, B.C. V3X 3A2
Attention: General Manager, Planning & Development Dept.

as to the Covenantor:

Redekop (Panorama) Homes Ltd.
102 – 31324 Peardonville Road
Abbotsford, B.C. V2T 6K8
Attention: President

or such other address as such party may direct. Any notice or other documents to be given or delivered pursuant to this Agreement will be sufficiently given or delivered if delivered to the particular party at its address set out or determined in accordance with this section and shall be deemed complete two (2) days after the day of delivery.

5.2 It is specifically agreed that for any notice or document to be validly given or delivered pursuant to this Agreement, such notice or document must be hand delivered and not mailed.

6. **MISCELLANEOUS**

6.1 The Covenantor acknowledges and agrees that:

- (a) this Agreement constitutes both a covenant under section 219 of the *Land Title Act* and a housing agreement under section 483 of the *Local Government Act*;
 - (b) the City is required to file a notice of housing agreement in the Land Title Office against title to the Lands; and
 - (c) once such a notice is filed, this Agreement binds all persons who acquire an interest in the Lands as a housing agreement.
- 6.2 The burden of the covenants herein provided for shall run with the Lands and will be personal and binding upon the Covenantor during the Covenantor's seisen of or ownership of any interest in the Lands.
- 6.3 Notwithstanding anything to the contrary, the Covenantor shall not be liable under any breach of any covenants and agreements contained herein after the Covenantor ceases to have any further interest in the Lands.
- 6.4 The fee simple estate in and to the Lands will not pass or vest in the City under or by virtue of these presents and the Covenantor may fully use and enjoy the Lands except only for the requirements provided for in this Agreement.
- 6.5 The covenants and agreements on the part of the Covenantor and herein provided for have been made by the Covenantor as contractual obligations as well as having been made pursuant to section 219 of the *Land Title Act* and section 483 of the *Local Government Act* and as such will be binding on the Covenantor.

7. **GENERAL**

- 7.1 The captions, section numbers and article numbers appearing in this Agreement are inserted for convenience of reference and shall in no way define, limit, construe or describe the scope of intent of this Agreement or in any way affect this Agreement.
- 7.2 Words importing the singular number only shall include the plural and vice versa, words importing the masculine gender shall include the feminine and neuter gender and vice versa and words importing persons shall include firms and corporations and vice versa.
- 7.3 Unless otherwise stated, a reference in this Agreement to a numbered or lettered article, section, paragraph or clause refers to the article, section, paragraph or clause bearing that number or letter in this Agreement.
- 7.4 The words "hereof", "herein" and similar expressions used in any section, paragraph or clause of this Agreement shall relate to the whole of this Agreement and not to that section, paragraph or clause only unless otherwise expressly provided.
- 7.5 Nothing in this Agreement:
- (a) affects or limits any discretion, rights, powers, duties or obligations of the City under any enactment or at common law, including in relation to the uses or subdivision of the Lands; or
 - (b) relieves the Covenantor from complying with any enactment, including the City's by-laws.

- 7.6 An alleged waiver by a party of any breach by another party of its obligations under this Agreement will be effective only if it is an express waiver of the breach in writing. No waiver of a breach of this Agreement is deemed or construed to be a consent or waiver of any other breach of this Agreement.
- 7.7 Time is of the essence of this Agreement. If any party waives this requirement, that party may reinstate it by delivering notice to the other party.
- 7.8 This Agreement shall be construed in accordance with and governed by the laws of the Province of British Columbia.
- 7.9 If a court of competent jurisdiction finds that any part of this Agreement is invalid, illegal or unenforceable, that part is to be considered to have been severed from the rest of this Agreement and the rest of this Agreement remains in force unaffected by that holding or by the severance of that part.
- 7.10 Upon request by the City, the Covenantor will promptly do such acts and execute such documents as the City may reasonably require, in the opinion of the City, to give effect to this Agreement.
- 7.11 This Agreement is the entire agreement between and among the parties concerning the subject matter hereof and there are no warranties, representations, conditions or collateral agreements relating to this Agreement, except as included in this Agreement.
- 7.12 This Agreement may be enforced by prohibitory and mandatory court order of the Court. In any action to enforce this Agreement, the City shall be entitled to court costs on a solicitor and own client basis.
- 7.13 This Agreement shall enure to the benefit of and be binding upon the parties and their successors and assigns.

MEMORANDUM AS TO ENCUMBRANCES, LIENS AND INTEREST

Mortgage CA4212914 and Assignment of Rents CA4212915 (the "**Charge**") in favour of CANADIAN WESTERN BANK (the "**Lender**")

C O N S E N T

IN CONSIDERATION of ONE (\$1.00) DOLLAR now paid to the Lender (the receipt of which is hereby acknowledged), the Lender covenants and agrees as follows:

The Lender, being the holder of the encumbrance or entitled to the lien or interest referred to in the memorandum above written, hereby consents to the registration of the within agreement. The Lender further covenants and agrees that the same will be binding upon its interest in or charge upon the said lands and will be an encumbrance upon the said lands in priority and prior to the Charge and in the same manner and to the same effect as if it had been dated and registered prior to the Charge.

MEMORANDUM AS TO ENCUMBRANCES, LIENS AND INTEREST

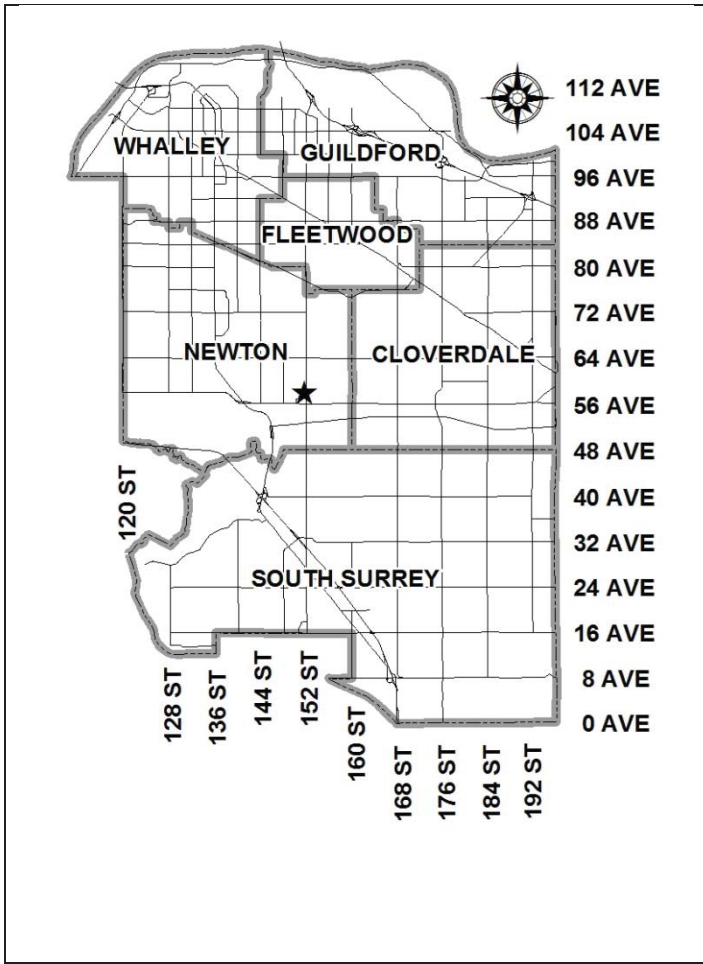
Mortgage CA4329987 (the "**Charge**") in favour of KELSON INVESTMENTS LTD.
(the "**Lender**")

C O N S E N T

IN CONSIDERATION of ONE (\$1.00) DOLLAR now paid to the Lender (the receipt of which is hereby acknowledged), the Lender covenants and agrees as follows:

The Lender, being the holder of the encumbrance or entitled to the lien or interest referred to in the memorandum above written, hereby consents to the registration of the within agreement. The Lender further covenants and agrees that the same will be binding upon its interest in or charge upon the said lands and will be an encumbrance upon the said lands in priority and prior to the Charge and in the same manner and to the same effect as if it had been dated and registered prior to the Charge.

END OF DOCUMENT

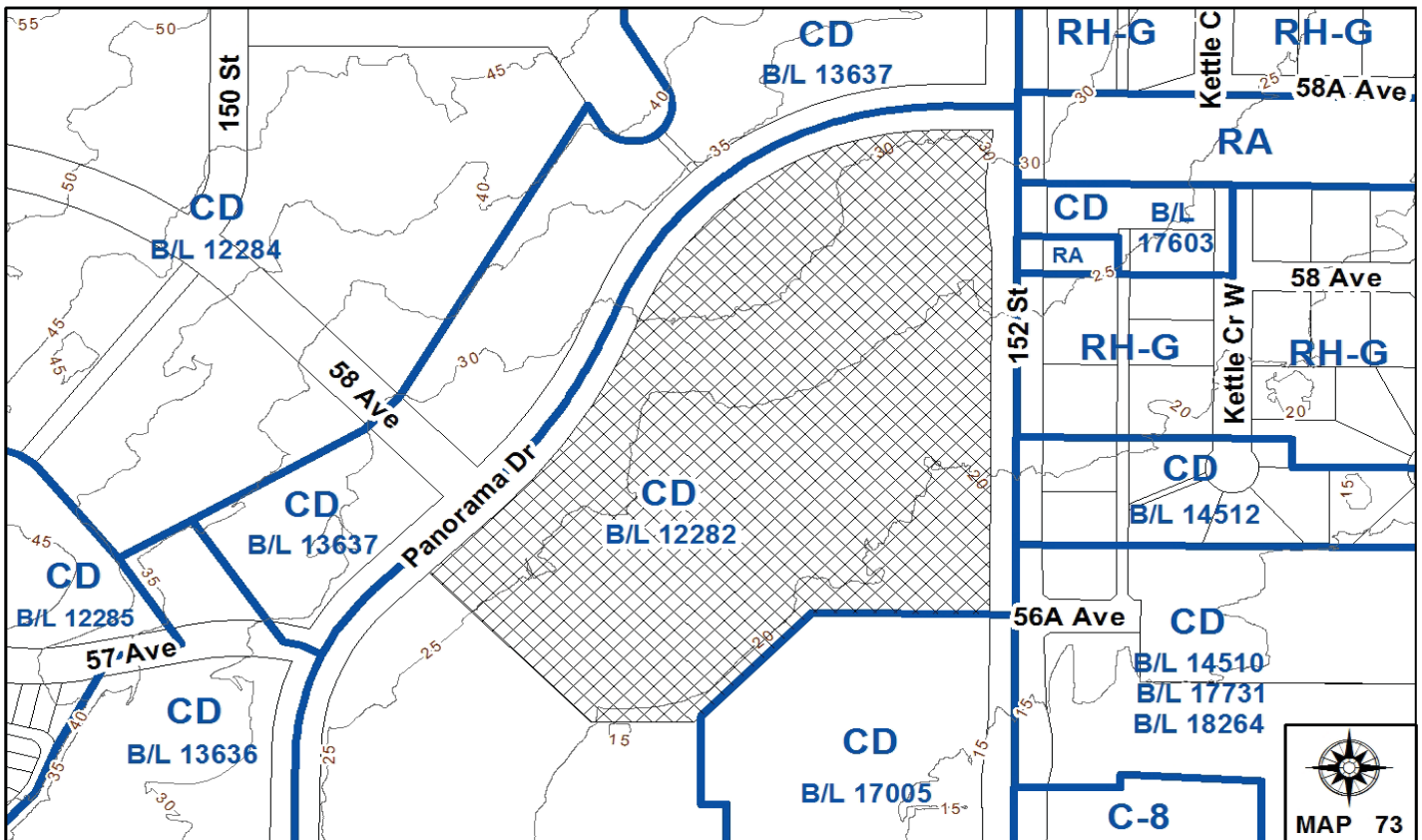


PROPOSAL:

- **Partial OCP Amendment** from “Commercial” to “Multiple Residential”
- **NCP Amendment** from “Institutional” to “Commercial”, “Townhouses 25 upa max”, “Apartment 65 upa max”, and “Park”
- **Rezoning** from CD (By-law No. 12282) to RA, C-8, RM-30 and RM-70
- **Development Permit**
- **Development Variance Permit**

to permit the development of 181 townhouse units, 106 apartment units and a commercial plaza.

LOCATION: 5750 Panorama Dr
OWNER: Redekop (Panorama) Homes Ltd
ZONING: CD (By-law No. 12282)
OCP DESIGNATION: Commercial
NCP DESIGNATION: Institutional



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing a partial OCP amendment to redesignate a portion of the site from “Commercial” to “Multiple-Residential”.
- The applicant is proposing an NCP amendment from “Institutional” to “Commercial”, “Townhouses 25 upa max” and “Apartments 65 upa max”.
- The applicant is seeking to reduce setbacks for the proposed townhouses, apartment and commercial buildings, to increase lot coverage for the apartment site, and to reduce parking requirements for the apartment site.

RATIONALE OF RECOMMENDATION

- At the March 7, 2016 Regular Council – Land Use meeting, Council considered the subject application and passed the following motion (RES.R16-410):
 - That Application No. 7914-0286-00 be referred back to staff to work with the Applicant to address concerns regarding the proposed density, public consultation and the potential negative impact on local schools.
- The March 7, 2016 Regular Council – Land Use minutes also state:
 - Council noted that there was a potential negative impact on local schools and a lack of indoor amenity space and requested the application be referred back to staff to address the concerns raised during the Regular Council Land Use meeting with thought of phasing in densification.
- Since the March 7, 2016 Regular Council – Land Use meeting, the applicant has worked to revise their proposal and respond to Council’s direction. The applicant also held a Public Information Meeting to apprise the local community of the revised proposal. The applicant has made the following revisions to their proposal:
 - reduced the number of proposed townhouse units by 17 units, from 198 units to 181 units;

- decreased the number of tandem parking units from 43% (86 units) to 22% (40 units) of the total number of townhouse units;
 - increased the size of 31 townhouse units to approximately 186 square metres (2,000 sq.ft.), and incorporated space for an elevator shaft in 28 units, in an effort to target more of an “empty-nester downsizer” demographic;
 - increased the amount of indoor amenity space for the townhouse portion of the site from 191 square metres (2,060 sq.ft.) to 546 square metres (5,880 sq.ft.), which exceeds the Zoning By-law requirement for indoor amenity space; and
 - provided a phasing plan (Appendix II) to demonstrate how the townhouse portion of the site will be built out over the next 4 years.
- The applicant has also held discussions with the Surrey School District, and the School District has provided updated comments. The School District’s 5-Year Capital Plan includes new space requests for both Sullivan Elementary and Sullivan Heights Secondary School. The provincial government also recently announced capital project approval for an addition to the Sullivan Elementary School.
- In light of the applicant’s proposed revisions to the townhouse portion of the site, the phasing of the project to occur over a 4-year period, and the new School District information provided since March 7, 2016, staff are of the view that Council’s concerns raised at the March 7, 2016 Regular Council – Land Use meeting have been addressed, and that the application is in order to receive Council’s consideration.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to partially amend the OCP by re-designating a portion of the subject site in Development Application No. 7914-0286-00 from “Commercial” to “Multiple Residential” and a date for Public Hearing be set (Appendix VIII of the March 7, 2016 planning report – attached).
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "Comprehensive Development Zone (By-law No. 12282)" (CD) to:
 - “Community Commercial Zone” (C-8) for the portion of the site shown as Block E on the attached zoning block plan (Appendix II);
 - “One-Acre Residential Zone” (RA) for the portion of the site shown as Block B on the attached zoning block plan (Appendix II);
 - "Multiple Residential 30 Zone” (RM-30) for the portions of the site shown as Blocks A and C on the attached zoning block plan (Appendix II);
 - “Multiple Residential 70 Zone” (RM-70) for the portion of the site shown as Block D on the attached zoning block plan (Appendix II);and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7914-0286-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix II).
5. Council approve Development Variance Permit No. 7914-0286-00 (Appendix IX of the March 7, 2016 planning report – attached) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum setback of the C-8 Zone from 7.5 metres (25 ft.) to:
 - i. 5.0 metres (16.5 ft.) for the east property line (along 152 Street);
 - ii. 4.25 metres (14 ft.) for the west property line; and
 - iii. 4.0 metres (13 ft.) for the north property line (along the new east-west road);

- (b) to reduce the minimum setback of the RM-30 Zone from 7.5 metres (25 ft.) to:
 - i. 4.5 metres (15 ft.) to the building face, and 3.5 metres (11 ft.) to the bay window, along Panorama Drive, the new east-west road and the new north-south road;
 - ii. 4.5 metres (15 ft.) to the building face, and 3.4 metres (11 ft.) to the bay window, along 152 Street;
 - iii. 3.0 (10 ft.) to the building face, and 1.9 metres (6 ft.) to the bay window, along the proposed park parcel; and
 - iv. 4.4 metres (14.5 ft.) for Townhouse Building 4 in the southwest corner of the site.
 - (c) to reduce the minimum setback of the RM-70 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for the west, south and north setbacks;
 - (d) to increase the maximum lot coverage of the RM-70 Zone from 33% to 40%; and
 - (e) to reduce the minimum number of on-site resident parking spaces for the apartment site from 151 parking stalls to 139 parking stalls.
6. Council instruct staff to resolve the following issues prior to final adoption:
- (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) submission of an acoustical report for the townhouse units adjacent to 152 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (g) registration of a Section 219 Restrictive Covenant on the townhouse site to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space; and
 - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.

7. Council pass a resolution to amend the South Newton NCP to redesignate the land from “Institutional” to “Commercial”, “Townhouses 25 upa max.”, “Apartments 65 upa max.” and “Park”, as well as adjust the road network when the project is considered for final adoption, per Appendix VII of the March 7, 2016 planning report (attached).

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III of the March 7, 2016 planning report.

School District: **Projected number of students from this development:**

57 Elementary students at Sullivan Elementary School
30 Secondary students at Sullivan Heights Secondary School

The applicant has advised that the first dwelling units in this project are expected to be constructed and ready for occupancy in Fall of 2017.

Parks, Recreation & Culture: Parks will acquire the proposed parkland, as shown in Appendix II. The applicant has agreed to provide improvements to the proposed park, including grading, drainage, hard surface pathway, landscape and design services as part of a community benefit in support of the proposed OCP amendment. Building elevations adjacent to parkland should ensure CPTED and urban design principles are applied. All fencing adjacent to parkland should be permeable and limited to 1.2 m in height. The applicant should set back any “up-hill” retaining walls adjacent to parkland.

Ministry of Transportation & Infrastructure (MOTI): Preliminary approval was granted for the rezoning under MOTI file #2014-05984.

Surrey Fire Department: No concerns.

Ministry of Environment: The site received a Certificate of Compliance dated December 5, 2013. The Certificate of Compliance states that “a qualified environmental consultant must be available to identify, characterize and appropriately manage any environmental media that may be contaminated and may be encountered during any future subsurface work at the site”. This will be a requirement of the Servicing Agreement, and the Building Permit, as applicable.

SITE CHARACTERISTICS

Existing Land Use: Vacant property.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North and West (Across Panorama Drive):	Townhouse units.	Multiple Residential / Apartments (45 upa max)	CD (By-law No. 13637)
East (Across 152 Street):	Single family residential.	Urban and Suburban	RH-G, RA and CD (By-law Nos. 17603, 18281, 14512, 14510, 17731 and 18264)
South:	Commercial complex with Market Place IGA, Shoppers Drug Mart and other CRUs	Commercial / Commercial	CD (By-law Nos. 17005 and 12282)

DEVELOPMENT CONSIDERATIONSBackground

- At the Regular Council – Land Use meeting of March 7, 2016, Council considered an initial Planning Report (Appendix III) which proposed:
 - to amend the Official Community Plan (OCP) from “Commercial” to “Multiple Residential” for a portion of the site;
 - to amend the South Newton Neighbourhood Concept Plan (NCP) to redesignate the subject site from “Institutional” to “Commercial”, “Townhouses 25 upa max.”, “Apartments 65 upa max.” and “Park” for portions of the site;
 - to rezone the site from from "Comprehensive Development Zone (By-law No. 12282)" (CD) to:
 - “Multiple Residential 30 Zone” (RM-30) for the townhouse portion;
 - “Multiple Residential 70 Zone” (RM-70) for the apartment portion;
 - “Community Commercial Zone” (C-8) for the commercial portion; and
 - “One-Acre Residential Zone” (RA) for the park portion;
 - a Development Permit to allow the development of 198 townhouse units, 106 apartment units and a 3-building commercial plaza; and
 - a Development Variance Permit to reduce setbacks for the proposed townhouses, apartment and commercial buildings, to increase lot coverage for the apartment site, and to reduce parking requirements for the apartment site.
- Subsequently, Council passed the following resolution (RES.R16-410):

- That Application No. 7914-0286-00 be referred back to staff to work with the Applicant to address concerns regarding the proposed density, public consultation and the potential negative impact on local schools.
- The March 7, 2016 Regular Council – Land Use minutes also state:
 - Council noted that there was a potential negative impact on local schools and a lack of indoor amenity space and requested the application be referred back to staff to address the concerns raised during the Regular Council Land Use meeting with thought of phasing in densification.

Current Proposal

- Since the March 7, 2016 Regular Council – Land Use meeting, the applicant has worked to revise the proposal. Specifically, the applicant has made the following revisions to their proposal:
 - The number of proposed townhouse units has been reduced by 17 units, from 198 units to 181 units. The reduction in townhouse units reduces the density on the townhouse portion of the site from 59 units per hectare (24 units per acre) to 55 units per hectare (22 units per acre).
 - The size of 31 townhouse units has been increased to approximately 186 square metres (2,000 sq.ft.), and incorporated space for an elevator shaft in 28 units, in an effort to target more of an “empty-nester downsizer” demographic.
 - The number of tandem parking units has been decreased from 43% (86 units) to 22% (40 units) of the total number of townhouse units.
 - The size of the indoor amenity space on the townhouse site has been significantly increased from 191 square metres (2,060 sq.ft.) to 546 square metres (5,880 sq.ft.), which exceeds the Zoning By-law requirements for indoor amenity space. The indoor amenity space will include a large games/activity room, a fitness room, a children’s learning centre room, washrooms and kitchen facilities.
 - A phasing plan (Appendix II) has been submitted which demonstrates how the townhouse portion of the site will be built out over the next 4 years. Phase 1 will have 33 units and has an estimated occupancy date in Fall 2017. Phase 2 will have 47 units and is expected to be ready for occupancy in Fall 2018. Phase 3 (51 units) and Phase 4 (50 units) are proposed for completion in Fall 2019 and Fall 2020, respectively.

School District Comments

- The School District has advised that they have been aware of the subject application for some time and in response:
 - have included the new residential units in the school projections;

- have increased the priority of an addition to Sullivan Elementary School in their capital plan;
 - have increased the priority of an addition to Sullivan Heights Secondary School in their capital plan; and
 - will in the future look to incorporate a request for a new elementary school in the South Newton area (in response to higher than expected density approvals, the continued residential development around Woodward Hill and the subject development).
- In May 2016, the government announced capital project approval for an addition to Sullivan Elementary, however details around the size of the addition and completion date are not yet finalized.
 - Although the School District has requested new space, timelines for future approvals are unknown and enrolment pressures remain very high in the area (requiring the district to increase portable allocations, make numerous catchment changes, cap enrolment at Sullivan Heights and propose choice- program reductions). Surrey is a rapidly growing urban centre and as NCPs build out and densities increase, the school district is concerned that capital investment from the Ministry of Education will not be available in a timely manner to support this local growth. The School District will continue to work with the City and Province to adjust our capital plans to request additional school spaces to meet local demands.

PUBLIC CONSULTATION

The applicant held a Public Information (PIM) meeting on May 9, 2016 at the Tong Louie Family YMCA to apprise the local community of the proposed revisions to the project. A total of 114 residents signed in, and 68 comment sheets or email responses were submitted. The comment sheet prepared by the applicant did not ask if the proposal was supported by attendees, however, the majority of feedback indicates concern with the proposed development. The primary concerns identified include overcrowding at local schools, traffic, parking and concerns about the proposed rental tenure of the apartment building.

Revised pre-notification letters were also mailed out on May 18, 2016. Staff have received the following correspondence since the March 7, 2016 Regular Council – Land Use meeting and in response to the revised notification and the applicant’s Public Information Meeting (PIM):

- 53 emails and 3 phone calls expressing concerns with the proposal. The following provides a summary of the concerns that were noted:
 - Overcrowding in local schools. Many residents are concerned that the proposed 181 townhouse units and 106 apartment will increase this issue; (See response below.)
 - Parking related concerns. Residents have expressed concern that the proposed number of residential units and the commercial development will add to parking congestion in the area. Many residents pointed out that they already experience parking shortages, exacerbated by the nearby YMCA;

(See response below.)

- Traffic related concerns. Many residents expressed concern that adding more people to the area will increase traffic.
(See response below.)
- Additionally, 20 letters were received from Grade 1 and 2 students at Cambridge Elementary School, which is located in close proximity to the proposal. Nineteen (19) of the letter writers were not in favour of the proposed development and 1 writer was in support of the development; and
- It should also be noted that 1 phone call was received from a nearby business owner who expressed support for the proposal.

In terms of the main issues raised by area residents, the following can be noted:

- Overcrowding in local schools;

(The School District's 5-Year Capital Plan includes new space requests for both the Sullivan Elementary and Sullivan Heights Secondary schools. The provincial government has announced capital project approval for an addition to the Sullivan Elementary School.)

- Lack of parking in neighbourhood;

(The revised proposal meets the Zoning By-law requirement for parking spaces for the townhouse and commercial portions of the site. A twelve (12) parking space reduction from the Zoning By-law requirement of 154 spaces (8% reduction) is proposed on the apartment portion, which is considered acceptable by staff given the site's proximity to existing transit services on 152 Street.

It should also be noted that additional on-street parking spaces will be available on Panorama Drive and the new east-west road proposed through the site; however these would be supplemental to the available parking on site. Based on a neighbourhood parking study conducted as part of the application, the number of on-street parking spaces provided exceeds the anticipated additional on-street parking demand that would be generated by the proposed development.

In addition, the applicant is proposing a reduction in the number of tandem parking units from what was proposed in the March 7, 2016 planning report, from 86 units (43%) to 40 units (22%).)

- Increase in traffic;

(The applicant was requested to conduct a Traffic Impact Analysis (TIA) to assess the impact of the anticipated site-generated traffic from the proposed development. The TIA confirms that the overall impact of the site-generated traffic on the operations of the existing transportation infrastructure will be modest. The proposed development assists in achieving a finer grained road network to distribute traffic, with the applicant providing a dedication for a new east-west road, connecting 152 Street to Panorama Drive.)

- Rental tenure proposed for apartment building.

(The proposed apartment building is of a high quality in terms of design and materials. The proposed rental tenure and unit type increases the housing diversity in the area, as there are few rental buildings in the South Newton NCP area. The proposed building form (no stairs) and tenure is attractive to aging residents who wish to remain in the area. The applicant advises that the units will be targeted to residents aged 55+. It should also be noted that tenure is not regulated by the City. Staff understands that there is a need for rental units throughout the City which this proposal could help to resolve.)

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary
- Appendix II. Phasing Plan, Site Plan, Building Elevations and Landscape Plans
- Appendix III. Planning Report No. 7914-0286-00, dated March 7, 2016 (Note: Architectural and Landscape Plans (Appendix II) are not included as they are superseded by the Plans attached to this report as Appendix II)

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

KB/dk

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PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC

SITE DATA



COMMERCIAL SITE

- PROPOSED ZONE: C3 (COMMUNITY COMMERCIAL ZONE)
- BY OTHERS

APARTMENT SITE

- SITE AREA: 71,398 S.F. (1.64 ACRES)
- DENSITY (FAR): 106.224 / 71,398 + 1.49 (MAX. 1.50)
- DENSITY (LPA): 106 / 1.64 = 64.6 (FO MAX)
- UNITS: 104 UNITS
- PARKING REQUIRED (ZONING BYLAW):
- RESIDENTS:
 - STUDIO, 1-BED UNITS: (4-17 UNITS - 21 UNITS) X1.3 - 27 STALLS
 - 1-BED-DEN, 2-BED, 2-BED-DEN: (28-30-27 - 85 UNITS) X1.5 = 127.5 STALLS
 - TOTAL: 152 RESIDENT STALLS REQUIRED
- VISITORS:
 - 104 UNITS X 0.2 = 21 VISITOR STALLS REQUIRED
 - TOTAL PARKING REQUIRED (ZONING BYLAW): 176 STALLS
 - PARKING PROVIDED (PROPOSED VIA VARIANCE):
 - RESIDENTS:
 - STUDIO UNITS: 4 UNITS X 1.1 (VARIANCE FROM 1.3) = 4.4 STALLS
 - 1-BED-DEN: 17 UNITS X 1.1 (VARIANCE FROM 1.3) = 18.7 STALLS
 - 1-BED + DEN UNITS: 29 X 1.08 (VARIANCE FROM 1.3) = 31.3 STALLS
 - 2-BED, 2-BED + DEN: (28-30-27 - 84 UNITS) X 1.5 (FO VARIANCE) = 84 STALLS
 - TOTAL: 139 RESIDENT STALLS REQUIRED (14 STALL VARIANCE)
 - VISITORS:
 - 104 UNITS X 0.2 = 21 VISITOR STALLS REQUIRED
 - TOTAL PARKING REQUIRED (PROPOSED VIA VARIANCE): 160 STALLS
 - (14 STALL VARIANCE: 9.7%)
 - PARKING PROVIDED:
 - RESIDENTS:
 - UNDERGROUND: 139 STALLS
 - TOTAL: 139 STALLS
 - VISITORS:
 - UNDERGROUND: 21 STALLS (PLUS OFF-SITE STREET PARKING)
 - TOTAL: 21 STALLS
 - TOTAL PARKING PROVIDED: 160 STALLS

PROPOSED TOWNHOUSE SITES REVISIONS

- PROPOSED ZONE: RM-30 MULTIPLE RESIDENTIAL (30 ZONE)
- TOTAL SITE AREA: 355,000 S.F. (8.15 ACRES)
- UNIT DENSITY (LPA): 181 / 8.15 = 22.2 (30 MAX)
- DENSITY (FAR): 277,891 / 355,000 S.F. = 0.78 (MAX. 0.9)
- PARKING REQUIRED:
- RESIDENTS:
 - REQUIRED: 181 UNITS X 0.2 = 36.2 STALLS
 - PROPOSED: 36.2 STALLS
 - TANDEN GARAGE STALLS: 141 UNITS (203 STALLS)
 - TANDEN:
 - 1 GARAGE + 1 BROWSEY STALL: 11 UNITS (22 STALLS)
 - TOTAL TANDEN STALLS: 40 UNITS / 181 UNITS = 22.1%
 - VISITORS:
 - REQUIRED: 181 UNITS X 0.2 = 36.2 STALLS
 - PROPOSED: 36 STALLS
 - INDOOR AMENITY AREA:
 - REQUIRED: 181 UNITS X 3.0 S.M. = 543 S.M. = 5,845 S.F.
 - PROPOSED (2 STOREY + BASEMENT): 1,815 S.F. = 1,940 S.F. + 1,940 S.F. = 5,738 S.F.
 - OUTDOOR AMENITY AREA:
 - REQUIRED: 181 UNITS X 3.0 S.M. = 543 S.M. = 5,845 S.F.
 - PROPOSED: 1919 S.F. + 2040 S.F. = 1076 S.F. + 1491 S.F. = 6,526 S.F. = 606 S.M.

TOWNHOUSE BUILDING DATA

TH-1 - 5 UNITS - BUILDING AREA: 3268 sq. ft.	TH-17 - 4 UNITS - BUILDING AREA: 3257 sq. ft.	TH-33 - 5 UNITS - BUILDING AREA: 3268 sq. ft.
TH-2 - 3 UNITS - BUILDING AREA: 1888 sq. ft.	TH-18 - 4 UNITS - BUILDING AREA: 2454 sq. ft.	TH-34 - 4 UNITS - BUILDING AREA: 2700 sq. ft.
TH-3 - 5 UNITS - BUILDING AREA: 1565 sq. ft.	TH-19 - 4 UNITS - BUILDING AREA: 2454 sq. ft.	TH-35 - 4 UNITS - BUILDING AREA: 2700 sq. ft.
TH-4 - 4 UNITS - BUILDING AREA: 1878 sq. ft.	TH-20 - 4 UNITS - BUILDING AREA: 2454 sq. ft.	TH-36 - 4 UNITS - BUILDING AREA: 2700 sq. ft.
TH-5 - 4 UNITS - BUILDING AREA: 3320 sq. ft.	TH-21 - 5 UNITS - BUILDING AREA: 3057 sq. ft.	TH-37 - 5 UNITS - BUILDING AREA: 3364 sq. ft.
TH-6 - 3 UNITS - BUILDING AREA: 2296 sq. ft.	TH-22 - 3 UNITS - BUILDING AREA: 2425 sq. ft.	TH-38 - 5 UNITS - BUILDING AREA: 3073 sq. ft.
TH-7 - 5 UNITS - BUILDING AREA: 2967 sq. ft.	TH-23 - 3 UNITS - BUILDING AREA: 2296 sq. ft.	TH-39 - 5 UNITS - BUILDING AREA: 3116 sq. ft.
TH-8 - 2 UNITS - BUILDING AREA: 1315 sq. ft.	TH-24 - 3 UNITS - BUILDING AREA: 1954 sq. ft.	TH-40 - 6 UNITS - BUILDING AREA: 3868 sq. ft.
TH-9 - 5 UNITS - BUILDING AREA: 3218 sq. ft.	TH-25 - 4 UNITS - BUILDING AREA: 2616 sq. ft.	TH-41 - 4 UNITS - BUILDING AREA: 3997 sq. ft.
TH-10 - 2 UNITS - BUILDING AREA: 1315 sq. ft.	TH-26 - 3 UNITS - BUILDING AREA: 1954 sq. ft.	TH-42 - 5 UNITS - BUILDING AREA: 3032 sq. ft.
TH-11 - 4 UNITS - BUILDING AREA: 3063 sq. ft.	TH-27 - 4 UNITS - BUILDING AREA: 2700 sq. ft.	TH-43 - 5 UNITS - BUILDING AREA: 3083 sq. ft.
TH-12 - 2 UNITS - BUILDING AREA: 1625 sq. ft.	TH-28 - 4 UNITS - BUILDING AREA: 2700 sq. ft.	TH-44 - 4 UNITS - BUILDING AREA: 3872 sq. ft.
TH-13 - 4 UNITS - BUILDING AREA: 2454 sq. ft.	TH-29 - 4 UNITS - BUILDING AREA: 2616 sq. ft.	TH-45 - 4 UNITS - BUILDING AREA: 2454 sq. ft.
TH-14 - 4 UNITS - BUILDING AREA: 2454 sq. ft.	TH-30 - 4 UNITS - BUILDING AREA: 2616 sq. ft.	TH-46 - 4 UNITS - BUILDING AREA: 2454 sq. ft.
TH-15 - 4 UNITS - BUILDING AREA: 2454 sq. ft.	TH-31 - 3 UNITS - BUILDING AREA: 1891 sq. ft.	TH-47 - 4 UNITS - BUILDING AREA: 3325 sq. ft.
TH-16 - 4 UNITS - BUILDING AREA: 3325 sq. ft.	TH-32 - 3 UNITS - BUILDING AREA: 1859 sq. ft.	

TOWNHOUSE UNIT TYPE DATA (UNIT AREAS EXCLUDE GARAGES)

- UNIT A1: 9 UNITS
- 3 BEDROOM + DEN: 1358 sq. ft.
- UNIT A2: 4 UNITS
- 3 BEDROOM + DEN: 1452 sq. ft.
- UNIT A3: 10 UNITS
- 3 BEDROOM + DEN: 1528 sq. ft.
- 18 UNITS
- UNIT A4: 4 UNITS
- 3 BEDROOM + DEN: 1450 sq. ft.
- UNIT B4: 31 UNITS
- 3 BEDROOM + DEN: 1515 sq. ft.
- UNIT B2: 18 UNITS
- 3 BEDROOM + DEN: 1516 sq. ft.
- UNIT B4: 10 UNITS
- 3 BEDROOM + DEN: 1592 sq. ft.
- UNIT E2: 3 UNITS
- 2 BEDROOM: 1330 sq. ft.
- UNIT F1: 3 UNITS
- 4 BEDROOM + DEN: 1890 sq. ft.
- UNIT F2: 3 UNITS
- 4 BEDROOM + DEN: 1950 sq. ft.
- UNIT G1: 7 UNITS
- 3 BEDROOM + DEN: 1407 sq. ft.
- UNIT G2: 7 UNITS
- 3 BEDROOM + DEN: 1422 sq. ft.
- UNIT H1: 4 UNITS
- 2 BEDROOM: 1191 sq. ft.
- UNIT H2: 4 UNITS
- 2 BEDROOM: 1259 sq. ft.
- UNIT J1: 4 UNITS
- 3 BEDROOM + DEN: 1689 sq. ft.
- UNIT J2: 4 UNITS
- 3 BEDROOM + DEN: 1758 sq. ft.
- UNIT K1: 3 UNITS
- 3 BEDROOM + DEN: 1948 sq. ft.
- UNIT K3: 2 UNITS
- 3 BEDROOM + DEN: 1924 sq. ft.
- UNIT K4: 2 UNITS
- 3 BEDROOM + DEN: 1948 sq. ft.

TOTAL OF 181 UNITS
 TOTAL BUILDING AREA: 117,671 sq. ft.
 LOT COVERAGE: 117,671 / 355,000 = 33.14%



SITE PLAN - OVERALL
SD9-2

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



SITE DATA

Site Area: 71,398 s.f.± (1.04 acres±)
 Building Area: 28,239 s.f.±
 Lot Coverage: 39.6% (max. 33%; requires variance)
 Proposed Zoning: RM70

Floor Areas:

- underground parking: 57,163 s.f.±
- 1st floor: 28,013 s.f.±
- 2nd floor: 27,493 s.f.±
- 3rd floor: 28,239 s.f.±
- 4th floor: 28,239 s.f.±
- total (residential): 111,984 s.f.±
- total (including u/g parkade): 169,147 s.f.±

Density:

- total residential floor area: 111,984 s.f.±
- indoor amenity area: 5,260 s.f.±
- total floor area for density calculation: 106,724 s.f.±
- density: 106,724 / 71,398 = 1.49 (max. 1.50)

Units:

- studio: 4 units
- 1-bed: 17 units
- 1-bed+den (den <97s.f.): 21 units
- 1-bed+den (den >97s.f.): 8 units
- 2-bed: 28 units
- 2-bed+den: 28 units
- total: 106 units (6 units are adaptable - 5.7% of total)

Parking Required (zoning bylaw):

- residents:
 - studio, 1-bed units, 1 bed+den (<97s.f.): (4 + 17 + 21 units = 42 units) x 1.3 = 54.6 stalls
 - 1-bed+den (den >97s.f.), 2-bed, 2-bed+den: (8+28+28 = 64 units) x 1.5 = 96 stalls
 - total: 151 resident stalls required
- visitors:
 - 106 units x 0.2 = 21 visitor stalls required

total parking required (zoning bylaw): 172 stalls

Parking Required (proposed via variance):

- residents:
 - studio units: 4 units x 1.1 (variance from 1.3) = 4.4 stalls
 - 1-bed units: 17 units x 1.1 (variance from 1.3) = 18.7 stalls
 - 1-bed+den units (den <97s.f.): 21 x 1.1 (variance from 1.3) = 23.1 stalls
 - 1-bed+den units (den >97s.f.): 8 x 1.1 (variance from 1.5) = 9.1 stalls
 - 2-bed, 2-bed+den: (28+28 = 56 units) x 1.5 (no variance) = 84 stalls
 - total: 139 resident stalls (12 stall variance)
- visitors:
 - 106 units x 0.2 = 21 visitor stalls required (no variance)

total parking required (proposed via variance): 160 stalls
 (12 stall variance: 7.0%)

Parking Provided:

- residents:
 - underground: 139 stalls
- visitors:
 - underground: 21 stalls (plus off-site street parking)

total parking provided: 160 stalls

Bicycle Parking:

- required:
 - residents: 106 units x 1.2 = 127 stalls required
 - visitors: 6 stalls required
- provided:
 - residents:
 - 129 in underground parkade (Bicycle Storage Room)
 - visitors: 6 stalls (Surface)

Amenity Areas:

- outdoor amenity area:
 - required: 3.0 s.m. x 106 = 318 s.m. = 3,423 s.f.
 - provided: 11,109 s.f.±
- indoor amenity area:
 - required 3.0 s.m. x 106 = 318 s.m. = 3,423 s.f.
 - provided: 1,807 + (4 x 475) = 3,707 s.f.±

Proposed Variances:

- lot coverage increased from 33% to 39.6%
- building setback (north, south & west) reduced from 7.5m to 4.50m
- parking relaxations:
 - studio units from 1.3 to 1.1 stalls per unit
 - 1-bed units from 1.3 to 1.1 stalls per unit
 - 1-bed+den units from 1.3 or 1.5 to 1.1 stalls per unit

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



NORTH-WEST ELEVATION
3/32" = 1'-0"



WEST ELEVATION (FAR)
3/32" = 1'-0"



WEST ELEVATION
3/32" = 1'-0"

MATERIAL LEGEND

- 1 ELDERADO STACKED STONE, COLOR: CHAPEL HILL
- 2 WOOD GRAIN ALUMINUM CLADDING OR SIMILAR, COLOR: LONGBOARD BARNWOOD OR SIMILAR
- 3 CEMENT BOARD HORIZONTAL LAP SIDING: 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 4 CEMENT BOARD HORIZONTAL LAP SIDING: 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 5 CEMENT BOARD HORIZONTAL LAP SIDING: 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE STONEWARE CSP-245
- 6 CEMENT BOARD FLAT PANEL SIDING: SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE VEGGALL CHARCOAL 1K-166
- 7 CEMENT BOARD FLAT PANEL SIDING: SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 8 CEMENT BOARD FLAT PANEL SIDING: SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 9 CEMENT BOARD FLAT PANEL SIDING: SMOOTH PROFILE (WITH COLOR MATCHED REVEALS), PAINTED BENJAMIN MOORE STONEWARE CSP-245
- 10 CEMENT BOARD FLAT PANEL SIDING: SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE BLACK
- 11 METAL CLADDING, COLOR: CHARCOAL
- 12 ASPHALT ROOF SHINGLES
- 13 WOOD TRIM BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 14 WOOD FASCIA BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 15 WOOD FASCIA BOARDS - VARIOUS WIDTHS, PAINTED TO MATCH WOOD GRAIN ALUMINUM SIDING
- 16 METAL FLASHING, COLOR TO MATCH BENJAMIN MOORE BARNWOOD CSP-115
- 17 REVEALS: EASY TRIM, COLOR: CLEAR ANODIZED (COLOR MATCHED ON STONEWARE PANEL SIDING)
- 18 STONE LINTEL
- 19 ARCHITECTURAL CONCRETE WALL c/w REVEALS, PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 20 METAL ALUMINUM RAILING, COLOR: BLACK
- 21 T&G CEDAR SOFFIT, COLOR TO MATCH WOOD GRAIN ALUMINUM SIDING
- 22 VINYL DOORS & WINDOWS, COLOR: CHARCOAL
- 23 ALUMINUM DOOR & FRAME, COLOR: CHARCOAL
- 24 METAL LOUVER, COLOR: CHARCOAL

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



NORTH ELEVATION

3/32" = 1'-0"



EAST ELEVATION

3/32" = 1'-0"

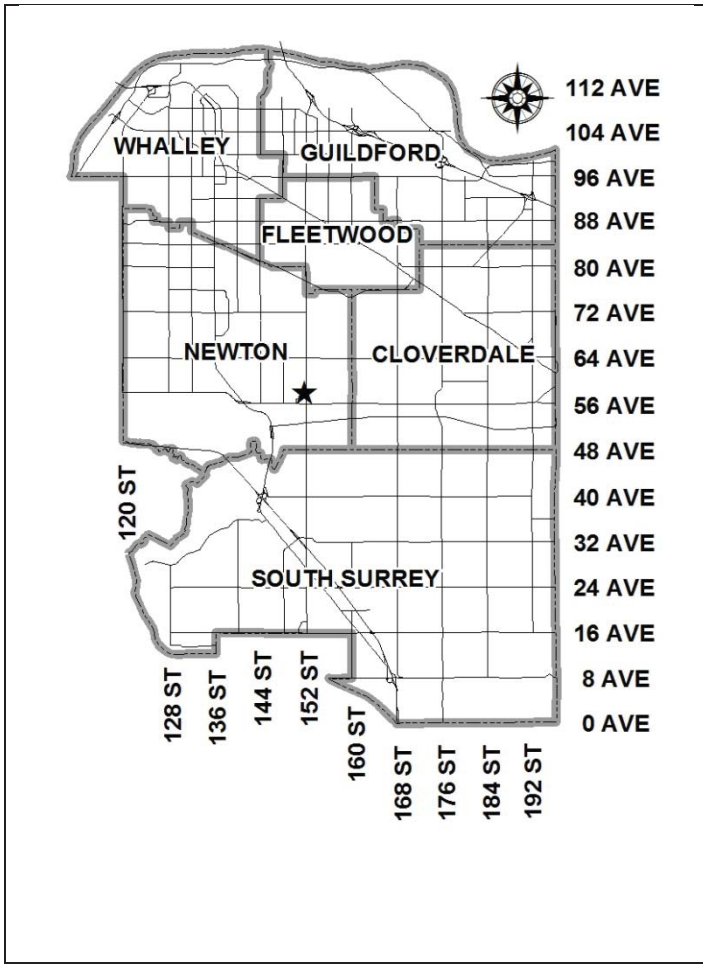
MATERIAL LEGEND

- 1 ELBORADO STACKED STONE, COLOR: CHAPEL HILL
- 2 WOOD GRAIN ALUMINUM CLADDING OR SIMILAR, COLOR: LONGBOARD BAMBOO OR SIMILAR
- 3 CEMENT BOARD HORIZONTAL LAP SIDING, 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 4 CEMENT BOARD HORIZONTAL LAP SIDING, 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 5 CEMENT BOARD HORIZONTAL LAP SIDING, 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE STONEWARE CSP-245
- 6 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE KENDALL CHARCOAL HC-166
- 7 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 8 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 9 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH COLOR MATCHED REVEALS), PAINTED BENJAMIN MOORE STONEWARE CSP-245
- 10 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE BLACK
- 11 METAL CLADDING, COLOR: CHARCOAL
- 12 ASPHALT ROOF SHINGLES
- 13 WOOD TRIM BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 14 WOOD FASCIA BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 15 WOOD FASCIA BOARDS - VARIOUS WIDTHS, PAINTED TO MATCH WOOD GRAIN ALUMINUM SIDING
- 16 METAL FLASHING, COLOR TO MATCH BENJAMIN MOORE BARNWOOD CSP-115
- 17 REVEALS, EASY TRIM, COLOR: CLEAR ANODOZED (COLOR MATCHED ON STONEWARE PANEL SIDING)
- 18 STONE LINTEL
- 19 ARCHITECTURAL CONCRETE WALL, c/w REVEALS, PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 20 METAL ALUMINUM RAILING, COLOR: BLACK
- 21 T&G CEDAR SOFFIT, COLOR TO MATCH WOOD GRAIN ALUMINUM SIDING
- 22 VINYL DOORS & WINDOWS, COLOR: CHARCOAL
- 23 ALUMINUM DOOR & FRAME, COLOR: CHARCOAL
- 24 METAL LOUVER, COLOR: CHARCOAL

City of Surrey
ADDITIONAL PLANNING COMMENTS

File: 7914-0286-00

Planning Report Date: July 25, 2016

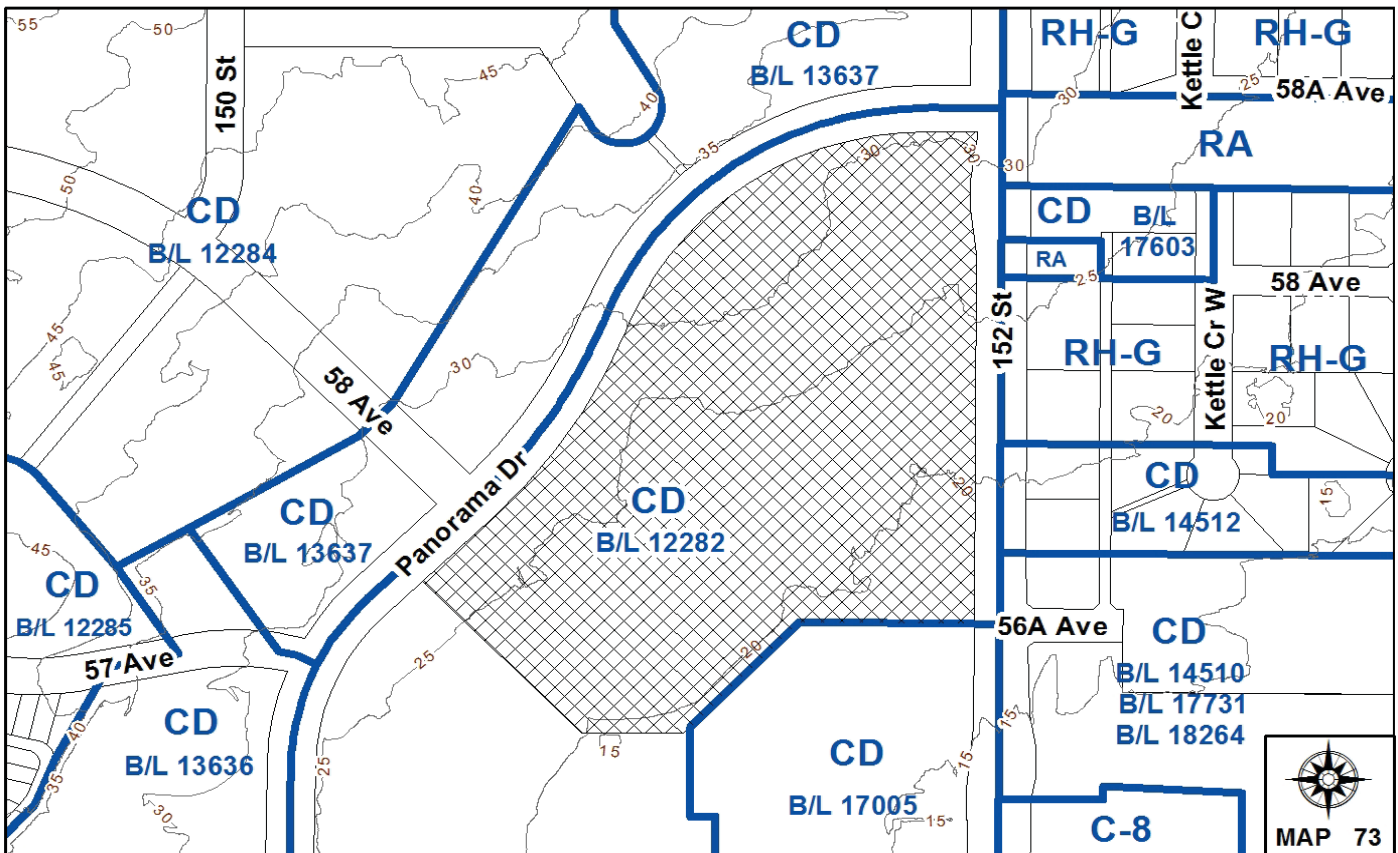


PROPOSAL:

- **Partial OCP Amendment** from “Commercial” to “Multiple Residential”
- **NCP Amendment** from “Institutional” to “Commercial”, “Townhouses 25 upa max”, “Apartment 65 upa max”, and “Park”
- **Rezoning** from CD (By-law No. 12282) to RA, C-8, RM-30 and RM-70
- **Development Permit**
- **Development Variance Permit**

to permit the development of 181 townhouse units, 106 apartment units and a commercial plaza.

LOCATION: 5750 Panorama Drive
OWNER: Redekop (Panorama) Homes Ltd.
ZONING: CD (By-law No. 12282)
OCP DESIGNATION: Commercial
NCP DESIGNATION: Institutional



RECOMMENDATION SUMMARY

- That Council grant Third Reading to Official Community Plan (OCP) Amendment By-law No. 18683 and Rezoning By-law No. 18684.
- That Development Variance Permit No. 7914-0286-00 be approved.

RATIONALE OF RECOMMENDATION

- At the June 27, 2016 Regular Council – Public Hearing meeting, Council considered the subject application and passed the following motion (RES.R16-1344):
 - That [Application No. 7914-0286-00] be referred back to staff to work with the Applicant, and the Surrey School Board, to determine how the project can be phased and structured to coincide with new school construction in South Newton.
- Since the June 27, 2016 Regular Council – Public Hearing meeting, the applicant has had discussions with the Surrey School District regarding phasing of the proposed development and new school construction in South Newton.
- As a result of these discussions, the applicant has revised their project phasing to be aligned with completion of the proposed addition to Sullivan Elementary School. Specifically, the first phase of the townhouse portion of the site (maximum unit occupancy) is being moved later, from Fall 2017 to March 2018.
- The proposed timeline would see the addition to Sullivan Elementary School ready by September 2018, which is when the first students from the proposed development would be entering the school system.

RECOMMENDATION

The Planning & Development Department recommends:

1. That Council grant Third Reading to Official Community Plan (OCP) Amendment By-law No. 18683 and Rezoning By-law No. 18684.
2. That Development Variance Permit No. 7914-0286-00, which has received Public Notification, be supported and that staff be authorized to bring the Permit forward for issuance and execution by the Mayor and City Clerk in conjunction with final adoption of the related rezoning bylaw.
3. In addition to the items identified in the June 13, 2016 planning report, Council instruct staff to resolve the following item prior to final adoption:
 - (a) registration of a Section 219 Restrictive Covenant to regulate the phasing of the residential portion of the site, as identified in this report.

BACKGROUND

- At the Regular Council – Land Use meeting of March 7, 2016, Council considered an initial Planning Report for the proposed development, and passed the following resolution (RES.R16-410):
 - That Application No. 7914-0286-00 be referred back to staff to work with the Applicant to address concerns regarding the proposed density, public consultation and the potential negative impact on local schools.
- Subsequent to the March 7, 2016 Regular Council – Land Use meeting, the applicant revised their proposal to respond to Council’s direction, including:
 - reducing the number of proposed townhouse units by 17 units, from 198 units to 181 units;
 - decreasing the number of tandem parking units from 43% (86 units) to 22% (40 units) of the total number of townhouse units;
 - increasing the size of 31 townhouse units to approximately 186 square metres (2,000 sq.ft.), and incorporating space for an elevator shaft in 28 units, in an effort to target more of an “empty-nester downsizer” demographic;
 - increasing the amount of indoor amenity space for the townhouse portion of the site from 191 square metres (2,060 sq.ft.) to 546 square metres (5,880 sq.ft.), which exceeds the Zoning By-law requirement for indoor amenity space; and
 - providing a phasing plan to demonstrate how the townhouse portion of the site will be built out over the next 4 years.
- The revised proposal was presented to Council at the June 13, 2016 Regular Council – Land Use meeting and received First and Second Reading and a Public Hearing date was set for June 27, 2016.

- At the June 27, 2016, Regular Council – Public Hearing meeting, Council considered the subject application and passed the following motion (RES.R16-1344):
 - That [Application No. 7914-0286-00] be referred back to staff to work with the Applicant, and the Surrey School Board, to determine how the project can be phased and structured to coincide with new school construction in South Newton.

DISCUSSION

- Since the June 27, 2016 Regular Council – Public Hearing meeting, the applicant has had discussions with the Surrey School District regarding phasing of the proposed development and new school construction in South Newton.
- As a result of these discussions, the applicant has revised their project phasing to be aligned with completion of the proposed addition to Sullivan Elementary School. Specifically, the first phase of the townhouse portion of the site (maximum unit occupancy) is being moved later, from Fall 2017 to March 2018. As a result, no students from the subject development are anticipated to enter the school system until September 2018, which is when the addition to Sullivan Elementary School will be ready.
- The revised phasing timeline, as shown in Table 1 below, would see the generation of approximately 87 students from the subject development who would attend the local public elementary and secondary schools.
- The School District has advised that there is funding in place to add 100-200 seats at Sullivan Elementary School by September 2018, which is the catchment elementary school for the subject site. A 150-200 seat addition that is anticipated to be completed by September 2018 is also approved for Woodward Hill Elementary School, which is located nearby in the South Newton area. In addition, the School District is requesting funding for a new elementary school in South Newton (500 seats) and an addition to the Sullivan Heights Secondary School (605 seats), but no timeline has been established yet for these proposals.
- To ensure that the applicant’s phasing timeline as outlined in Table 1 below is followed, a Section 219 Restrictive Covenant to regulate the phasing of the residential portion of the site will be required prior to final adoption.

Table 1.

	Projected Student Enrollment from the Subject Site*			Additional Approved Seats		Additional Requested Seats	
	Elementary	High School	Total	Sullivan Elem.	Woodward Hill Elem.	New S. Newton Elem.	Sullivan Heights Sec.
Sept. 2018	27	13	40	100-200**	150-200	500 – no timeline	605 – no timeline
Sept. 2019	16	8	24	-----	-----		
Sept. 2020	14	9	23	-----	-----		
Total	57	30	87	100-200**	150-200		

* Includes both the townhouse and apartment portions of the site.

** The approval of the subject application may influence the size of the Sullivan Elementary addition.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Phasing Site Plan
- Appendix III. June 13, 2016 Planning Report (without the appendices)

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

KB/dk

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC

OCCUPANCY PHASE LEGEND

TOWNHOMES	MAXIMUM NUMBER OF UNITS OCCUPIED	MAXIMUM UNITS OCCUPIED BY
PHASE 1	33 + INDOOR AMENITY	MARCH 2018
PHASE 2	47 (80)	NOVEMBER 2018
PHASE 3	51 (131)	NOVEMBER 2019
PHASE 4	50 (181)	NOVEMBER 2020
RENTAL APARTMENTS		
PHASE 1	106	JULY 2018



Appendix III

City of Surrey ADDITIONAL PLANNING COMMENTS

File: 7914-0286-00

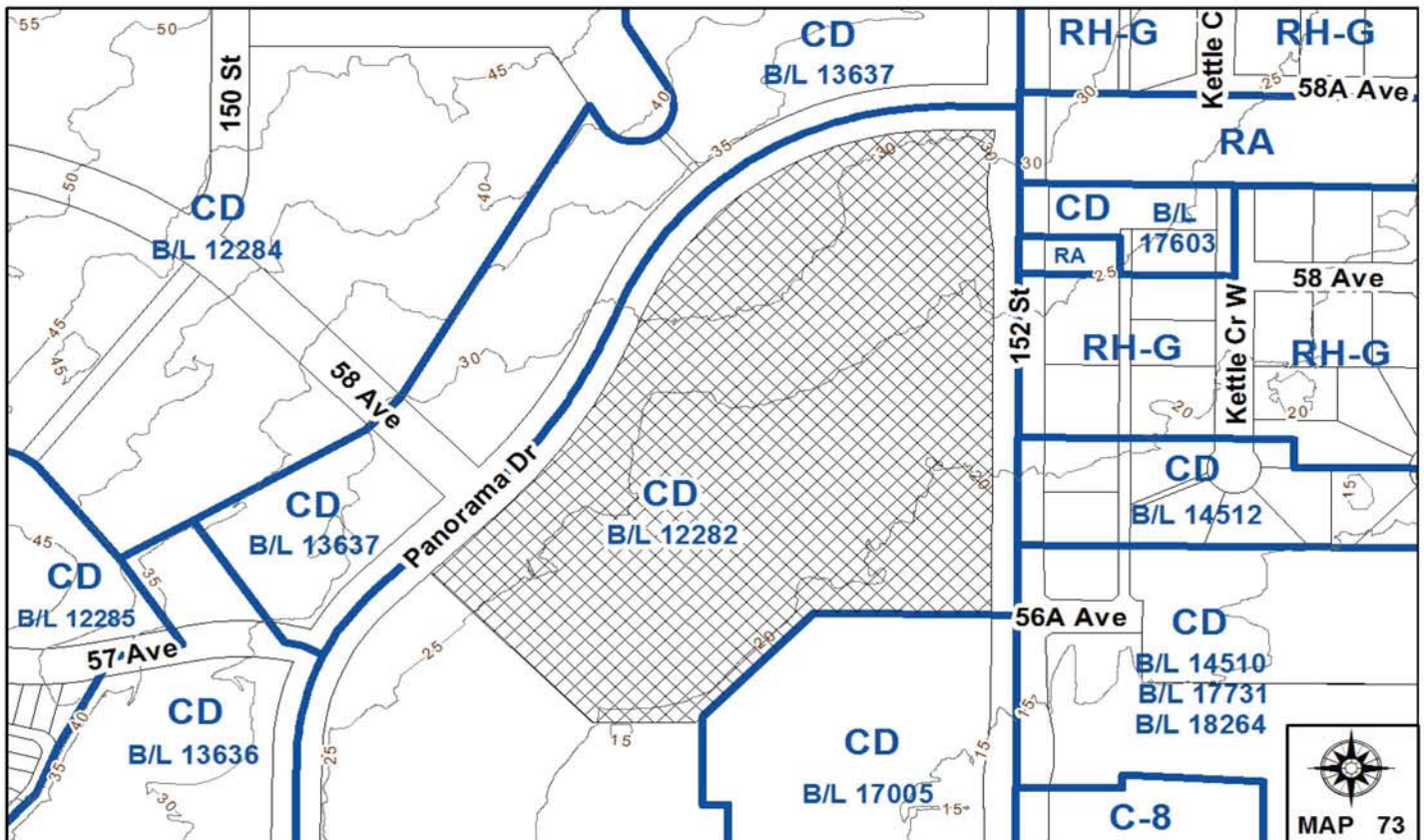
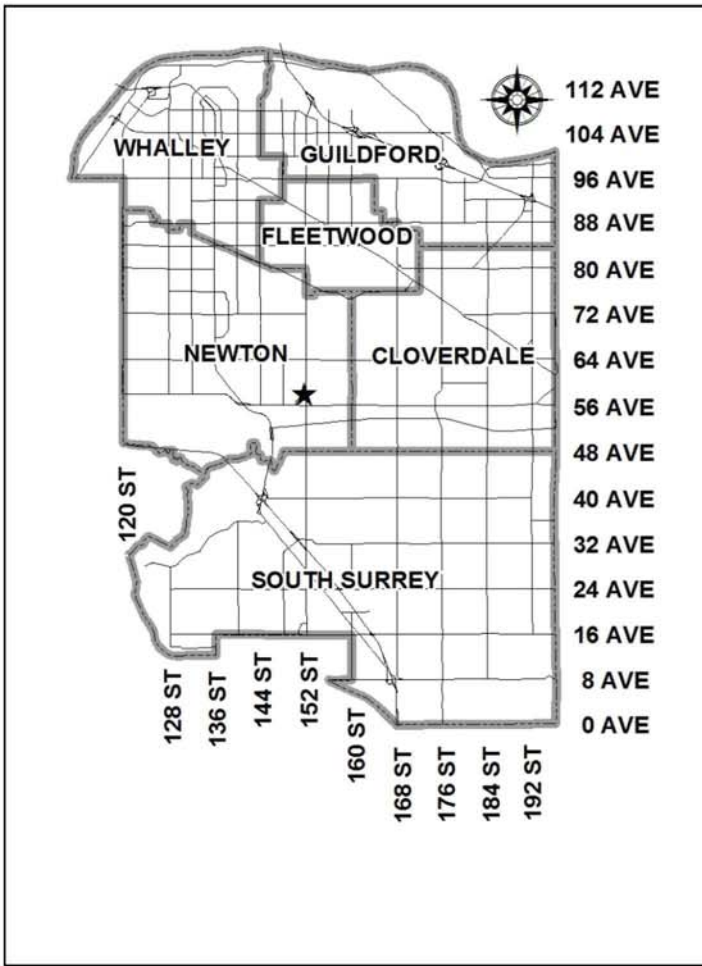
Planning Report Date: June 13, 2016

PROPOSAL:

- **Partial OCP Amendment** from “Commercial” to “Multiple Residential”
- **NCP Amendment** from “Institutional” to “Commercial”, “Townhouses 25 upa max”, “Apartment 65 upa max”, and “Park”
- **Rezoning** from CD (By-law No. 12282) to RA, C-8, RM-30 and RM-70
- **Development Permit**
- **Development Variance Permit**

to permit the development of 181 townhouse units, 106 apartment units and a commercial plaza.

LOCATION: 5750 Panorama Dr
OWNER: Redekop (Panorama) Homes Ltd
ZONING: CD (By-law No. 12282)
OCP DESIGNATION: Commercial
NCP DESIGNATION: Institutional



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing a partial OCP amendment to redesignate a portion of the site from “Commercial” to “Multiple-Residential”.
- The applicant is proposing an NCP amendment from “Institutional” to “Commercial”, “Townhouses 25 upa max” and “Apartments 65 upa max”.
- The applicant is seeking to reduce setbacks for the proposed townhouses, apartment and commercial buildings, to increase lot coverage for the apartment site, and to reduce parking requirements for the apartment site.

RATIONALE OF RECOMMENDATION

- At the March 7, 2016 Regular Council – Land Use meeting, Council considered the subject application and passed the following motion (RES.R16-410):
 - That Application No. 7914-0286-00 be referred back to staff to work with the Applicant to address concerns regarding the proposed density, public consultation and the potential negative impact on local schools.
- The March 7, 2016 Regular Council – Land Use minutes also state:
 - Council noted that there was a potential negative impact on local schools and a lack of indoor amenity space and requested the application be referred back to staff to address the concerns raised during the Regular Council Land Use meeting with thought of phasing in densification.
- Since the March 7, 2016 Regular Council – Land Use meeting, the applicant has worked to revise their proposal and respond to Council’s direction. The applicant also held a Public Information Meeting to apprise the local community of the revised proposal. The applicant has made the following revisions to their proposal:
 - reduced the number of proposed townhouse units by 17 units, from 198 units to 181 units;

- decreased the number of tandem parking units from 43% (86 units) to 22% (40 units) of the total number of townhouse units;
 - increased the size of 31 townhouse units to approximately 186 square metres (2,000 sq.ft.), and incorporated space for an elevator shaft in 28 units, in an effort to target more of an “empty-nester downsizer” demographic;
 - increased the amount of indoor amenity space for the townhouse portion of the site from 191 square metres (2,060 sq.ft.) to 546 square metres (5,880 sq.ft.), which exceeds the Zoning By-law requirement for indoor amenity space; and
 - provided a phasing plan (Appendix II) to demonstrate how the townhouse portion of the site will be built out over the next 4 years.
- The applicant has also held discussions with the Surrey School District, and the School District has provided updated comments. The School District’s 5-Year Capital Plan includes new space requests for both Sullivan Elementary and Sullivan Heights Secondary School. The provincial government also recently announced capital project approval for an addition to the Sullivan Elementary School.
 - In light of the applicant’s proposed revisions to the townhouse portion of the site, the phasing of the project to occur over a 4-year period, and the new School District information provided since March 7, 2016, staff are of the view that Council’s concerns raised at the March 7, 2016 Regular Council – Land Use meeting have been addressed, and that the application is in order to receive Council’s consideration.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to partially amend the OCP by re-designating a portion of the subject site in Development Application No. 7914-0286-00 from "Commercial" to "Multiple Residential" and a date for Public Hearing be set (Appendix VIII of the March 7, 2016 planning report – attached).
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "Comprehensive Development Zone (By-law No. 12282)" (CD) to:
 - "Community Commercial Zone" (C-8) for the portion of the site shown as Block E on the attached zoning block plan (Appendix II);
 - "One-Acre Residential Zone" (RA) for the portion of the site shown as Block B on the attached zoning block plan (Appendix II);
 - "Multiple Residential 30 Zone" (RM-30) for the portions of the site shown as Blocks A and C on the attached zoning block plan (Appendix II);
 - "Multiple Residential 70 Zone" (RM-70) for the portion of the site shown as Block D on the attached zoning block plan (Appendix II);

and a date be set for Public Hearing.

4. Council authorize staff to draft Development Permit No. 7914-0286-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix II).
5. Council approve Development Variance Permit No. 7914-0286-00 (Appendix IX of the March 7, 2016 planning report – attached) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum setback of the C-8 Zone from 7.5 metres (25 ft.) to:
 - i. 5.0 metres (16.5 ft.) for the east property line (along 152 Street);
 - ii. 4.25 metres (14 ft.) for the west property line; and
 - iii. 4.0 metres (13 ft.) for the north property line (along the new east-west road);

- (b) to reduce the minimum setback of the RM-30 Zone from 7.5 metres (25 ft.) to:
 - i. 4.5 metres (15 ft.) to the building face, and 3.5 metres (11 ft.) to the bay window, along Panorama Drive, the new east-west road and the new north-south road;
 - ii. 4.5 metres (15 ft.) to the building face, and 3.4 metres (11 ft.) to the bay window, along 152 Street;
 - iii. 3.0 (10 ft.) to the building face, and 1.9 metres (6 ft.) to the bay window, along the proposed park parcel; and
 - iv. 4.4 metres (14.5 ft.) for Townhouse Building 4 in the southwest corner of the site.
 - (c) to reduce the minimum setback of the RM-70 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for the west, south and north setbacks;
 - (d) to increase the maximum lot coverage of the RM-70 Zone from 33% to 40%; and
 - (e) to reduce the minimum number of on-site resident parking spaces for the apartment site from 151 parking stalls to 139 parking stalls.
6. Council instruct staff to resolve the following issues prior to final adoption:
- (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) submission of an acoustical report for the townhouse units adjacent to 152 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (g) registration of a Section 219 Restrictive Covenant on the townhouse site to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space; and
 - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.

7. Council pass a resolution to amend the South Newton NCP to redesignate the land from “Institutional” to “Commercial”, “Townhouses 25 upa max.”, “Apartments 65 upa max.” and “Park”, as well as adjust the road network when the project is considered for final adoption, per Appendix VII of the March 7, 2016 planning report (attached).

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III of the March 7, 2016 planning report.

School District: **Projected number of students from this development:**

57 Elementary students at Sullivan Elementary School
30 Secondary students at Sullivan Heights Secondary School

The applicant has advised that the first dwelling units in this project are expected to be constructed and ready for occupancy in Fall of 2017.

Parks, Recreation & Culture: Parks will acquire the proposed parkland, as shown in Appendix II. The applicant has agreed to provide improvements to the proposed park, including grading, drainage, hard surface pathway, landscape and design services as part of a community benefit in support of the proposed OCP amendment. Building elevations adjacent to parkland should ensure CPTED and urban design principles are applied. All fencing adjacent to parkland should be permeable and limited to 1.2 m in height. The applicant should set back any “up-hill” retaining walls adjacent to parkland.

Ministry of Transportation & Infrastructure (MOTI): Preliminary approval was granted for the rezoning under MOTI file #2014-05984.

Surrey Fire Department: No concerns.

Ministry of Environment: The site received a Certificate of Compliance dated December 5, 2013. The Certificate of Compliance states that “a qualified environmental consultant must be available to identify, characterize and appropriately manage any environmental media that may be contaminated and may be encountered during any future subsurface work at the site”. This will be a requirement of the Servicing Agreement, and the Building Permit, as applicable.

SITE CHARACTERISTICS

Existing Land Use: Vacant property.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North and West (Across Panorama Drive):	Townhouse units.	Multiple Residential / Apartments (45 upa max)	CD (By-law No. 13637)
East (Across 152 Street):	Single family residential.	Urban and Suburban	RH-G, RA and CD (By-law Nos. 17603, 18281, 14512, 14510, 17731 and 18264)
South:	Commercial complex with Market Place IGA, Shoppers Drug Mart and other CRUs	Commercial / Commercial	CD (By-law Nos. 17005 and 12282)

DEVELOPMENT CONSIDERATIONSBackground

- At the Regular Council – Land Use meeting of March 7, 2016, Council considered an initial Planning Report (Appendix III) which proposed:
 - to amend the Official Community Plan (OCP) from “Commercial” to “Multiple Residential” for a portion of the site;
 - to amend the South Newton Neighbourhood Concept Plan (NCP) to redesignate the subject site from “Institutional” to “Commercial”, “Townhouses 25 upa max.”, “Apartments 65 upa max.” and “Park” for portions of the site;
 - to rezone the site from from "Comprehensive Development Zone (By-law No. 12282)" (CD) to:
 - “Multiple Residential 30 Zone” (RM-30) for the townhouse portion;
 - “Multiple Residential 70 Zone” (RM-70) for the apartment portion;
 - “Community Commercial Zone” (C-8) for the commercial portion; and
 - “One-Acre Residential Zone” (RA) for the park portion;
 - a Development Permit to allow the development of 198 townhouse units, 106 apartment units and a 3-building commercial plaza; and
 - a Development Variance Permit to reduce setbacks for the proposed townhouses, apartment and commercial buildings, to increase lot coverage for the apartment site, and to reduce parking requirements for the apartment site.
- Subsequently, Council passed the following resolution (RES.R16-410):

- That Application No. 7914-0286-00 be referred back to staff to work with the Applicant to address concerns regarding the proposed density, public consultation and the potential negative impact on local schools.
- The March 7, 2016 Regular Council – Land Use minutes also state:
 - Council noted that there was a potential negative impact on local schools and a lack of indoor amenity space and requested the application be referred back to staff to address the concerns raised during the Regular Council Land Use meeting with thought of phasing in densification.

Current Proposal

- Since the March 7, 2016 Regular Council – Land Use meeting, the applicant has worked to revise the proposal. Specifically, the applicant has made the following revisions to their proposal:
 - The number of proposed townhouse units has been reduced by 17 units, from 198 units to 181 units. The reduction in townhouse units reduces the density on the townhouse portion of the site from 59 units per hectare (24 units per acre) to 55 units per hectare (22 units per acre).
 - The size of 31 townhouse units has been increased to approximately 186 square metres (2,000 sq.ft.), and incorporated space for an elevator shaft in 28 units, in an effort to target more of an “empty-nester downsizer” demographic.
 - The number of tandem parking units has been decreased from 43% (86 units) to 22% (40 units) of the total number of townhouse units.
 - The size of the indoor amenity space on the townhouse site has been significantly increased from 191 square metres (2,060 sq.ft.) to 546 square metres (5,880 sq.ft.), which exceeds the Zoning By-law requirements for indoor amenity space. The indoor amenity space will include a large games/activity room, a fitness room, a children’s learning centre room, washrooms and kitchen facilities.
 - A phasing plan (Appendix II) has been submitted which demonstrates how the townhouse portion of the site will be built out over the next 4 years. Phase 1 will have 33 units and has an estimated occupancy date in Fall 2017. Phase 2 will have 47 units and is expected to be ready for occupancy in Fall 2018. Phase 3 (51 units) and Phase 4 (50 units) are proposed for completion in Fall 2019 and Fall 2020, respectively.

School District Comments

- The School District has advised that they have been aware of the subject application for some time and in response:
 - have included the new residential units in the school projections;

- have increased the priority of an addition to Sullivan Elementary School in their capital plan;
 - have increased the priority of an addition to Sullivan Heights Secondary School in their capital plan; and
 - will in the future look to incorporate a request for a new elementary school in the South Newton area (in response to higher than expected density approvals, the continued residential development around Woodward Hill and the subject development).
- In May 2016, the government announced capital project approval for an addition to Sullivan Elementary, however details around the size of the addition and completion date are not yet finalized.
 - Although the School District has requested new space, timelines for future approvals are unknown and enrolment pressures remain very high in the area (requiring the district to increase portable allocations, make numerous catchment changes, cap enrolment at Sullivan Heights and propose choice- program reductions). Surrey is a rapidly growing urban centre and as NCPs build out and densities increase, the school district is concerned that capital investment from the Ministry of Education will not be available in a timely manner to support this local growth. The School District will continue to work with the City and Province to adjust our capital plans to request additional school spaces to meet local demands.

PUBLIC CONSULTATION

The applicant held a Public Information (PIM) meeting on May 9, 2016 at the Tong Louie Family YMCA to apprise the local community of the proposed revisions to the project. A total of 114 residents signed in, and 68 comment sheets or email responses were submitted. The comment sheet prepared by the applicant did not ask if the proposal was supported by attendees, however, the majority of feedback indicates concern with the proposed development. The primary concerns identified include overcrowding at local schools, traffic, parking and concerns about the proposed rental tenure of the apartment building.

Revised pre-notification letters were also mailed out on May 18, 2016. Staff have received the following correspondence since the March 7, 2016 Regular Council – Land Use meeting and in response to the revised notification and the applicant’s Public Information Meeting (PIM):

- 53 emails and 3 phone calls expressing concerns with the proposal. The following provides a summary of the concerns that were noted:
 - Overcrowding in local schools. Many residents are concerned that the proposed 181 townhouse units and 106 apartment will increase this issue; (See response below.)
 - Parking related concerns. Residents have expressed concern that the proposed number of residential units and the commercial development will add to parking congestion in the area. Many residents pointed out that they already experience parking shortages, exacerbated by the nearby YMCA;

(See response below.)

- Traffic related concerns. Many residents expressed concern that adding more people to the area will increase traffic.
(See response below.)
- Additionally, 20 letters were received from Grade 1 and 2 students at Cambridge Elementary School, which is located in close proximity to the proposal. Nineteen (19) of the letter writers were not in favour of the proposed development and 1 writer was in support of the development; and
- It should also be noted that 1 phone call was received from a nearby business owner who expressed support for the proposal.

In terms of the main issues raised by area residents, the following can be noted:

- Overcrowding in local schools;

(The School District's 5-Year Capital Plan includes new space requests for both the Sullivan Elementary and Sullivan Heights Secondary schools. The provincial government has announced capital project approval for an addition to the Sullivan Elementary School.)

- Lack of parking in neighbourhood;

(The revised proposal meets the Zoning By-law requirement for parking spaces for the townhouse and commercial portions of the site. A twelve (12) parking space reduction from the Zoning By-law requirement of 154 spaces (8% reduction) is proposed on the apartment portion, which is considered acceptable by staff given the site's proximity to existing transit services on 152 Street.

It should also be noted that additional on-street parking spaces will be available on Panorama Drive and the new east-west road proposed through the site; however these would be supplemental to the available parking on site. Based on a neighbourhood parking study conducted as part of the application, the number of on-street parking spaces provided exceeds the anticipated additional on-street parking demand that would be generated by the proposed development.

In addition, the applicant is proposing a reduction in the number of tandem parking units from what was proposed in the March 7, 2016 planning report, from 86 units (43%) to 40 units (22%).)

- Increase in traffic;

(The applicant was requested to conduct a Traffic Impact Analysis (TIA) to assess the impact of the anticipated site-generated traffic from the proposed development. The TIA confirms that the overall impact of the site-generated traffic on the operations of the existing transportation infrastructure will be modest. The proposed development assists in achieving a finer grained road network to distribute traffic, with the applicant providing a dedication for a new east-west road, connecting 152 Street to Panorama Drive.)

- Rental tenure proposed for apartment building.

(The proposed apartment building is of a high quality in terms of design and materials. The proposed rental tenure and unit type increases the housing diversity in the area, as there are few rental buildings in the South Newton NCP area. The proposed building form (no stairs) and tenure is attractive to aging residents who wish to remain in the area. The applicant advises that the units will be targeted to residents aged 55+. It should also be noted that tenure is not regulated by the City. Staff understands that there is a need for rental units throughout the City which this proposal could help to resolve.)

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary
- Appendix II. Phasing Plan, Site Plan, Building Elevations and Landscape Plans
- Appendix III. Planning Report No. 7914-0286-00, dated March 7, 2016 (Note: Architectural and Landscape Plans (Appendix II) are not included as they are superseded by the Plans attached to this report as Appendix II)

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

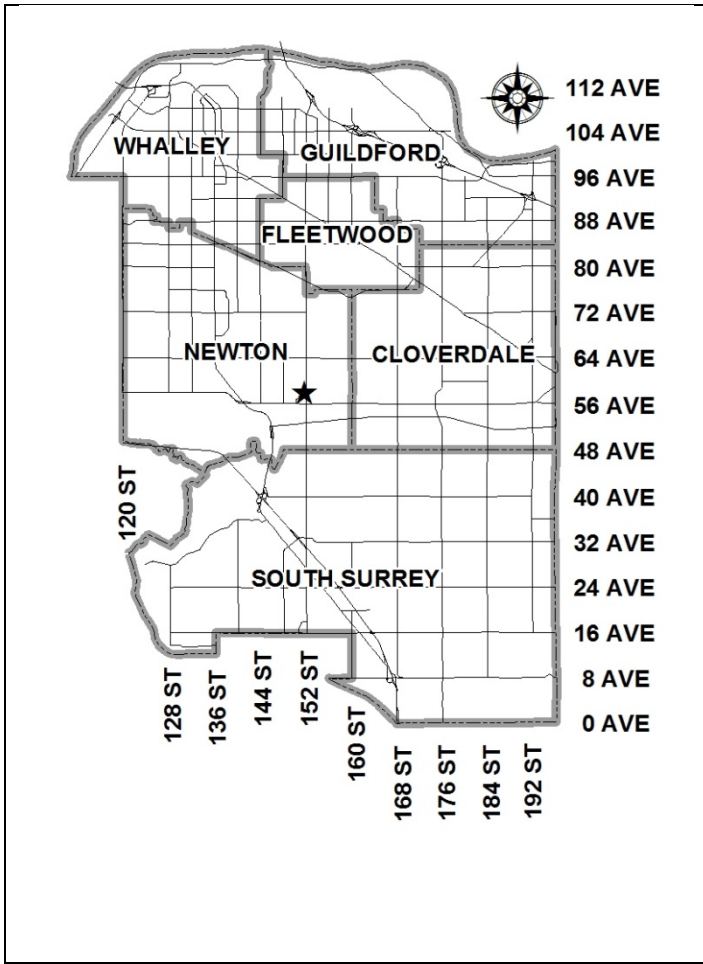
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City of Surrey
ADDITIONAL PLANNING COMMENTS

File: 7914-0286-00

Planning Report Date: June 13, 2016

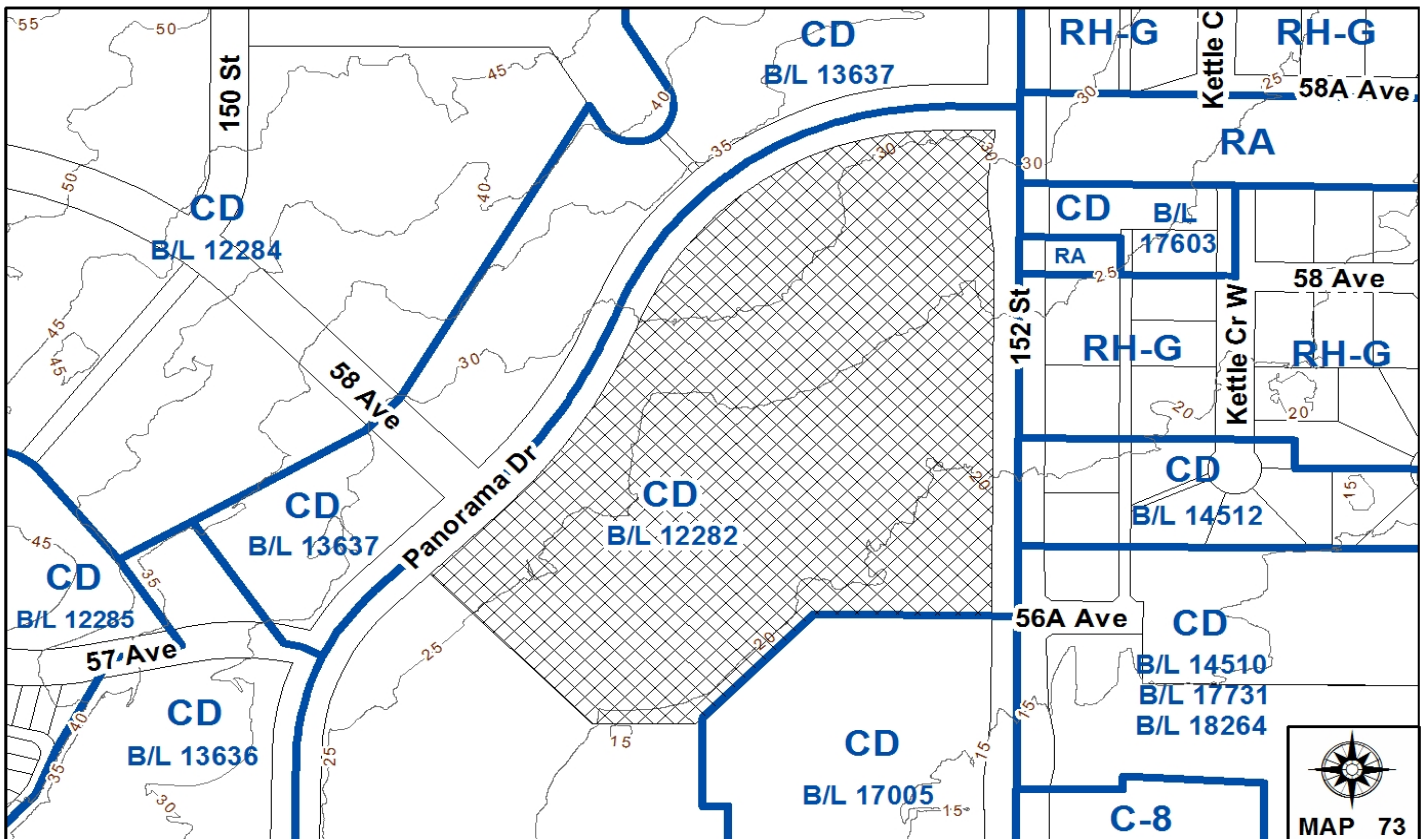


PROPOSAL:

- **Partial OCP Amendment** from “Commercial” to “Multiple Residential”
- **NCP Amendment** from “Institutional” to “Commercial”, “Townhouses 25 upa max”, “Apartment 65 upa max”, and “Park”
- **Rezoning** from CD (By-law No. 12282) to RA, C-8, RM-30 and RM-70
- **Development Permit**
- **Development Variance Permit**

to permit the development of 181 townhouse units, 106 apartment units and a commercial plaza.

LOCATION: 5750 Panorama Dr
OWNER: Redekop (Panorama) Homes Ltd
ZONING: CD (By-law No. 12282)
OCP DESIGNATION: Commercial
NCP DESIGNATION: Institutional



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing a partial OCP amendment to redesignate a portion of the site from “Commercial” to “Multiple-Residential”.
- The applicant is proposing an NCP amendment from “Institutional” to “Commercial”, “Townhouses 25 upa max” and “Apartments 65 upa max”.
- The applicant is seeking to reduce setbacks for the proposed townhouses, apartment and commercial buildings, to increase lot coverage for the apartment site, and to reduce parking requirements for the apartment site.

RATIONALE OF RECOMMENDATION

- At the March 7, 2016 Regular Council – Land Use meeting, Council considered the subject application and passed the following motion (RES.R16-410):
 - That Application No. 7914-0286-00 be referred back to staff to work with the Applicant to address concerns regarding the proposed density, public consultation and the potential negative impact on local schools.
- The March 7, 2016 Regular Council – Land Use minutes also state:
 - Council noted that there was a potential negative impact on local schools and a lack of indoor amenity space and requested the application be referred back to staff to address the concerns raised during the Regular Council Land Use meeting with thought of phasing in densification.
- Since the March 7, 2016 Regular Council – Land Use meeting, the applicant has worked to revise their proposal and respond to Council’s direction. The applicant also held a Public Information Meeting to apprise the local community of the revised proposal. The applicant has made the following revisions to their proposal:
 - reduced the number of proposed townhouse units by 17 units, from 198 units to 181 units;

- decreased the number of tandem parking units from 43% (86 units) to 22% (40 units) of the total number of townhouse units;
 - increased the size of 31 townhouse units to approximately 186 square metres (2,000 sq.ft.), and incorporated space for an elevator shaft in 28 units, in an effort to target more of an “empty-nester downsizer” demographic;
 - increased the amount of indoor amenity space for the townhouse portion of the site from 191 square metres (2,060 sq.ft.) to 546 square metres (5,880 sq.ft.), which exceeds the Zoning By-law requirement for indoor amenity space; and
 - provided a phasing plan (Appendix II) to demonstrate how the townhouse portion of the site will be built out over the next 4 years.
- The applicant has also held discussions with the Surrey School District, and the School District has provided updated comments. The School District’s 5-Year Capital Plan includes new space requests for both Sullivan Elementary and Sullivan Heights Secondary School. The provincial government also recently announced capital project approval for an addition to the Sullivan Elementary School.
 - In light of the applicant’s proposed revisions to the townhouse portion of the site, the phasing of the project to occur over a 4-year period, and the new School District information provided since March 7, 2016, staff are of the view that Council’s concerns raised at the March 7, 2016 Regular Council – Land Use meeting have been addressed, and that the application is in order to receive Council’s consideration.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to partially amend the OCP by re-designating a portion of the subject site in Development Application No. 7914-0286-00 from “Commercial” to “Multiple Residential” and a date for Public Hearing be set (Appendix VIII of the March 7, 2016 planning report – attached).
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "Comprehensive Development Zone (By-law No. 12282)" (CD) to:
 - “Community Commercial Zone” (C-8) for the portion of the site shown as Block E on the attached zoning block plan (Appendix II);
 - “One-Acre Residential Zone” (RA) for the portion of the site shown as Block B on the attached zoning block plan (Appendix II);
 - "Multiple Residential 30 Zone” (RM-30) for the portions of the site shown as Blocks A and C on the attached zoning block plan (Appendix II);
 - “Multiple Residential 70 Zone” (RM-70) for the portion of the site shown as Block D on the attached zoning block plan (Appendix II);

and a date be set for Public Hearing.

4. Council authorize staff to draft Development Permit No. 7914-0286-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix II).
5. Council approve Development Variance Permit No. 7914-0286-00 (Appendix IX of the March 7, 2016 planning report – attached) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum setback of the C-8 Zone from 7.5 metres (25 ft.) to:
 - i. 5.0 metres (16.5 ft.) for the east property line (along 152 Street);
 - ii. 4.25 metres (14 ft.) for the west property line; and
 - iii. 4.0 metres (13 ft.) for the north property line (along the new east-west road);

- (b) to reduce the minimum setback of the RM-30 Zone from 7.5 metres (25 ft.) to:
 - i. 4.5 metres (15 ft.) to the building face, and 3.5 metres (11 ft.) to the bay window, along Panorama Drive, the new east-west road and the new north-south road;
 - ii. 4.5 metres (15 ft.) to the building face, and 3.4 metres (11 ft.) to the bay window, along 152 Street;
 - iii. 3.0 (10 ft.) to the building face, and 1.9 metres (6 ft.) to the bay window, along the proposed park parcel; and
 - iv. 4.4 metres (14.5 ft.) for Townhouse Building 4 in the southwest corner of the site.
 - (c) to reduce the minimum setback of the RM-70 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for the west, south and north setbacks;
 - (d) to increase the maximum lot coverage of the RM-70 Zone from 33% to 40%; and
 - (e) to reduce the minimum number of on-site resident parking spaces for the apartment site from 151 parking stalls to 139 parking stalls.
6. Council instruct staff to resolve the following issues prior to final adoption:
- (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) submission of an acoustical report for the townhouse units adjacent to 152 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (g) registration of a Section 219 Restrictive Covenant on the townhouse site to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space; and
 - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.

7. Council pass a resolution to amend the South Newton NCP to redesignate the land from “Institutional” to “Commercial”, “Townhouses 25 upa max.”, “Apartments 65 upa max.” and “Park”, as well as adjust the road network when the project is considered for final adoption, per Appendix VII of the March 7, 2016 planning report (attached).

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III of the March 7, 2016 planning report.

School District: **Projected number of students from this development:**

57 Elementary students at Sullivan Elementary School
30 Secondary students at Sullivan Heights Secondary School

The applicant has advised that the first dwelling units in this project are expected to be constructed and ready for occupancy in Fall of 2017.

Parks, Recreation & Culture: Parks will acquire the proposed parkland, as shown in Appendix II. The applicant has agreed to provide improvements to the proposed park, including grading, drainage, hard surface pathway, landscape and design services as part of a community benefit in support of the proposed OCP amendment. Building elevations adjacent to parkland should ensure CPTED and urban design principles are applied. All fencing adjacent to parkland should be permeable and limited to 1.2 m in height. The applicant should set back any “up-hill” retaining walls adjacent to parkland.

Ministry of Transportation & Infrastructure (MOTI): Preliminary approval was granted for the rezoning under MOTI file #2014-05984.

Surrey Fire Department: No concerns.

Ministry of Environment: The site received a Certificate of Compliance dated December 5, 2013. The Certificate of Compliance states that “a qualified environmental consultant must be available to identify, characterize and appropriately manage any environmental media that may be contaminated and may be encountered during any future subsurface work at the site”. This will be a requirement of the Servicing Agreement, and the Building Permit, as applicable.

SITE CHARACTERISTICS

Existing Land Use: Vacant property.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North and West (Across Panorama Drive):	Townhouse units.	Multiple Residential / Apartments (45 upa max)	CD (By-law No. 13637)
East (Across 152 Street):	Single family residential.	Urban and Suburban	RH-G, RA and CD (By-law Nos. 17603, 18281, 14512, 14510, 17731 and 18264)
South:	Commercial complex with Market Place IGA, Shoppers Drug Mart and other CRUs	Commercial / Commercial	CD (By-law Nos. 17005 and 12282)

DEVELOPMENT CONSIDERATIONSBackground

- At the Regular Council – Land Use meeting of March 7, 2016, Council considered an initial Planning Report (Appendix III) which proposed:
 - to amend the Official Community Plan (OCP) from “Commercial” to “Multiple Residential” for a portion of the site;
 - to amend the South Newton Neighbourhood Concept Plan (NCP) to redesignate the subject site from “Institutional” to “Commercial”, “Townhouses 25 upa max.”, “Apartments 65 upa max.” and “Park” for portions of the site;
 - to rezone the site from from "Comprehensive Development Zone (By-law No. 12282)" (CD) to:
 - “Multiple Residential 30 Zone” (RM-30) for the townhouse portion;
 - “Multiple Residential 70 Zone” (RM-70) for the apartment portion;
 - “Community Commercial Zone” (C-8) for the commercial portion; and
 - “One-Acre Residential Zone” (RA) for the park portion;
 - a Development Permit to allow the development of 198 townhouse units, 106 apartment units and a 3-building commercial plaza; and
 - a Development Variance Permit to reduce setbacks for the proposed townhouses, apartment and commercial buildings, to increase lot coverage for the apartment site, and to reduce parking requirements for the apartment site.
- Subsequently, Council passed the following resolution (RES.R16-410):

- That Application No. 7914-0286-00 be referred back to staff to work with the Applicant to address concerns regarding the proposed density, public consultation and the potential negative impact on local schools.
- The March 7, 2016 Regular Council – Land Use minutes also state:
 - Council noted that there was a potential negative impact on local schools and a lack of indoor amenity space and requested the application be referred back to staff to address the concerns raised during the Regular Council Land Use meeting with thought of phasing in densification.

Current Proposal

- Since the March 7, 2016 Regular Council – Land Use meeting, the applicant has worked to revise the proposal. Specifically, the applicant has made the following revisions to their proposal:
 - The number of proposed townhouse units has been reduced by 17 units, from 198 units to 181 units. The reduction in townhouse units reduces the density on the townhouse portion of the site from 59 units per hectare (24 units per acre) to 55 units per hectare (22 units per acre).
 - The size of 31 townhouse units has been increased to approximately 186 square metres (2,000 sq.ft.), and incorporated space for an elevator shaft in 28 units, in an effort to target more of an “empty-nester downsizer” demographic.
 - The number of tandem parking units has been decreased from 43% (86 units) to 22% (40 units) of the total number of townhouse units.
 - The size of the indoor amenity space on the townhouse site has been significantly increased from 191 square metres (2,060 sq.ft.) to 546 square metres (5,880 sq.ft.), which exceeds the Zoning By-law requirements for indoor amenity space. The indoor amenity space will include a large games/activity room, a fitness room, a children’s learning centre room, washrooms and kitchen facilities.
 - A phasing plan (Appendix II) has been submitted which demonstrates how the townhouse portion of the site will be built out over the next 4 years. Phase 1 will have 33 units and has an estimated occupancy date in Fall 2017. Phase 2 will have 47 units and is expected to be ready for occupancy in Fall 2018. Phase 3 (51 units) and Phase 4 (50 units) are proposed for completion in Fall 2019 and Fall 2020, respectively.

School District Comments

- The School District has advised that they have been aware of the subject application for some time and in response:
 - have included the new residential units in the school projections;

- have increased the priority of an addition to Sullivan Elementary School in their capital plan;
 - have increased the priority of an addition to Sullivan Heights Secondary School in their capital plan; and
 - will in the future look to incorporate a request for a new elementary school in the South Newton area (in response to higher than expected density approvals, the continued residential development around Woodward Hill and the subject development).
- In May 2016, the government announced capital project approval for an addition to Sullivan Elementary, however details around the size of the addition and completion date are not yet finalized.
 - Although the School District has requested new space, timelines for future approvals are unknown and enrolment pressures remain very high in the area (requiring the district to increase portable allocations, make numerous catchment changes, cap enrolment at Sullivan Heights and propose choice- program reductions). Surrey is a rapidly growing urban centre and as NCPs build out and densities increase, the school district is concerned that capital investment from the Ministry of Education will not be available in a timely manner to support this local growth. The School District will continue to work with the City and Province to adjust our capital plans to request additional school spaces to meet local demands.

PUBLIC CONSULTATION

The applicant held a Public Information (PIM) meeting on May 9, 2016 at the Tong Louie Family YMCA to apprise the local community of the proposed revisions to the project. A total of 114 residents signed in, and 68 comment sheets or email responses were submitted. The comment sheet prepared by the applicant did not ask if the proposal was supported by attendees, however, the majority of feedback indicates concern with the proposed development. The primary concerns identified include overcrowding at local schools, traffic, parking and concerns about the proposed rental tenure of the apartment building.

Revised pre-notification letters were also mailed out on May 18, 2016. Staff have received the following correspondence since the March 7, 2016 Regular Council – Land Use meeting and in response to the revised notification and the applicant’s Public Information Meeting (PIM):

- 53 emails and 3 phone calls expressing concerns with the proposal. The following provides a summary of the concerns that were noted:
 - Overcrowding in local schools. Many residents are concerned that the proposed 181 townhouse units and 106 apartment will increase this issue; (See response below.)
 - Parking related concerns. Residents have expressed concern that the proposed number of residential units and the commercial development will add to parking congestion in the area. Many residents pointed out that they already experience parking shortages, exacerbated by the nearby YMCA;

(See response below.)

- Traffic related concerns. Many residents expressed concern that adding more people to the area will increase traffic.
(See response below.)
- Additionally, 20 letters were received from Grade 1 and 2 students at Cambridge Elementary School, which is located in close proximity to the proposal. Nineteen (19) of the letter writers were not in favour of the proposed development and 1 writer was in support of the development; and
- It should also be noted that 1 phone call was received from a nearby business owner who expressed support for the proposal.

In terms of the main issues raised by area residents, the following can be noted:

- Overcrowding in local schools;

(The School District's 5-Year Capital Plan includes new space requests for both the Sullivan Elementary and Sullivan Heights Secondary schools. The provincial government has announced capital project approval for an addition to the Sullivan Elementary School.)

- Lack of parking in neighbourhood;

(The revised proposal meets the Zoning By-law requirement for parking spaces for the townhouse and commercial portions of the site. A twelve (12) parking space reduction from the Zoning By-law requirement of 154 spaces (8% reduction) is proposed on the apartment portion, which is considered acceptable by staff given the site's proximity to existing transit services on 152 Street.

It should also be noted that additional on-street parking spaces will be available on Panorama Drive and the new east-west road proposed through the site; however these would be supplemental to the available parking on site. Based on a neighbourhood parking study conducted as part of the application, the number of on-street parking spaces provided exceeds the anticipated additional on-street parking demand that would be generated by the proposed development.

In addition, the applicant is proposing a reduction in the number of tandem parking units from what was proposed in the March 7, 2016 planning report, from 86 units (43%) to 40 units (22%).)

- Increase in traffic;

(The applicant was requested to conduct a Traffic Impact Analysis (TIA) to assess the impact of the anticipated site-generated traffic from the proposed development. The TIA confirms that the overall impact of the site-generated traffic on the operations of the existing transportation infrastructure will be modest. The proposed development assists in achieving a finer grained road network to distribute traffic, with the applicant providing a dedication for a new east-west road, connecting 152 Street to Panorama Drive.)

- Rental tenure proposed for apartment building.

(The proposed apartment building is of a high quality in terms of design and materials. The proposed rental tenure and unit type increases the housing diversity in the area, as there are few rental buildings in the South Newton NCP area. The proposed building form (no stairs) and tenure is attractive to aging residents who wish to remain in the area. The applicant advises that the units will be targeted to residents aged 55+. It should also be noted that tenure is not regulated by the City. Staff understands that there is a need for rental units throughout the City which this proposal could help to resolve.)

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary
- Appendix II. Phasing Plan, Site Plan, Building Elevations and Landscape Plans
- Appendix III. Planning Report No. 7914-0286-00, dated March 7, 2016 (Note: Architectural and Landscape Plans (Appendix II) are not included as they are superseded by the Plans attached to this report as Appendix II)

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development





KB/dk

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KD 6/9/16 1:30 PM

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC

OCCUPANCY PHASE LEGEND

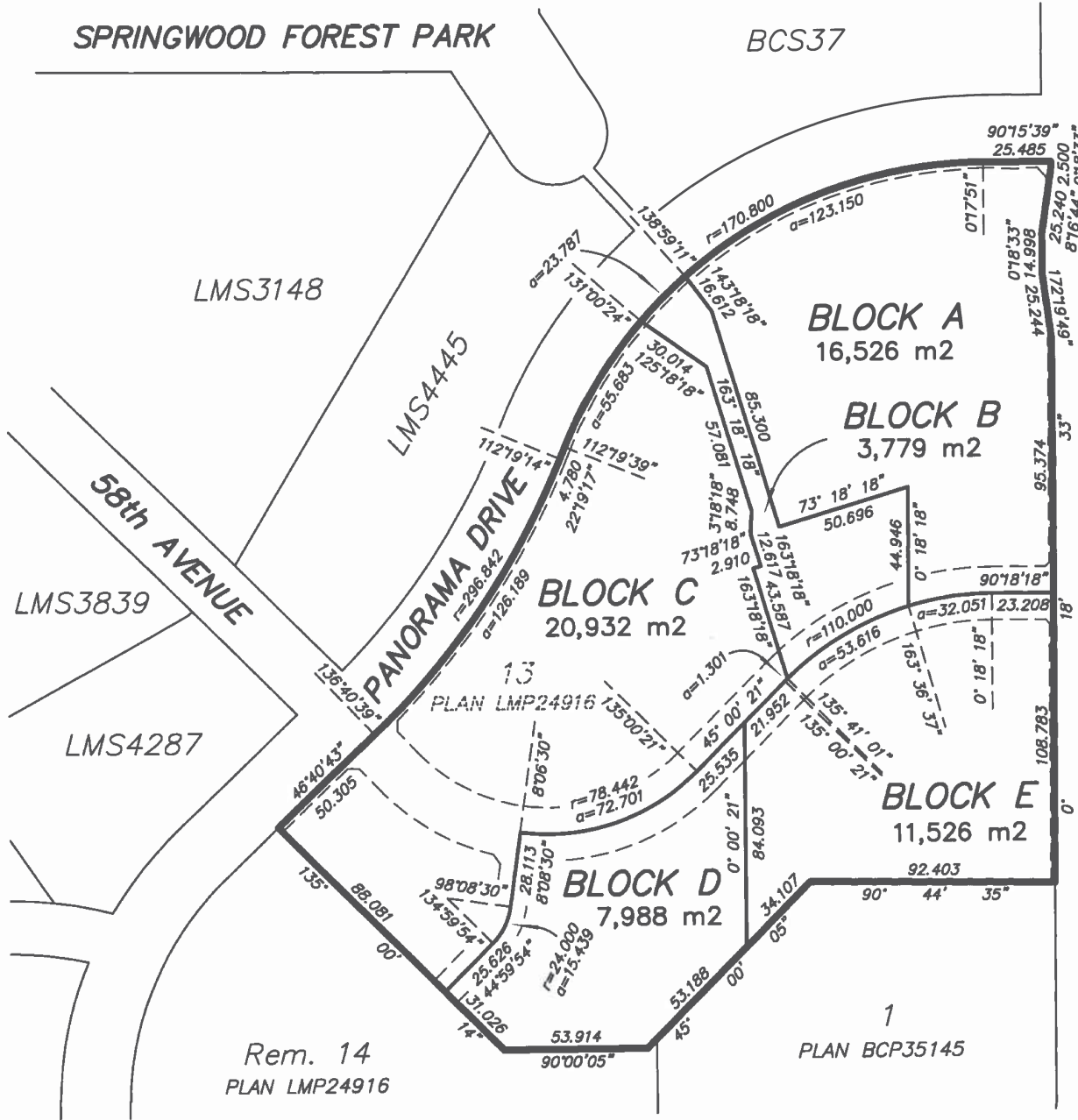
	NUMBER OF UNITS	OCCUPANCY DATE
	PHASE 1 33 + INDOOR AMENITY	NOVEMBER 2017
	PHASE 2 47	NOVEMBER 2018
	PHASE 3 51	NOVEMBER 2019
	PHASE 4 50	NOVEMBER 2020



**BLOCK SURVEY PLAN TO ACCOMPANY CITY OF SURREY
REZONING BYLAW No. _____ OF
PARTS OF LOT 13 SECTION 10 TOWNSHIP 2
NEW WESTMINSTER DISTRICT PLAN LMP24916**




SCALE 1 : 2500 DISTANCES ARE IN METRES



152nd STREET

CERTIFIED CORRECT
THIS 2nd DAY OF FEBRUARY, 2016.


JESSE MORIN B.C.L.S.

**BUTLER
SUNDVICK**
4 - 19089 94th Ave
Surrey, BC V4N 3S4
www.butlersundvick.ca
Tel. 604-513-9611

File: 4694
Dwg: 4694-ZN

SUBDIVISION PLAN OF LOT 13
SECTION 10 TOWNSHIP 2
NEW WESTMINSTER DISTRICT
PLAN LMP24916

PLAN EPP59961

BCCS 920.016



SCALE 1 : 750 DISTANCES ARE IN METRES
THE INTENDED PLOT SCALE OF THIS PLAN IS 560 mm
IN WIDTH BY 864 mm IN HEIGHT (D SIZE) WHEN
PLOTTED AT A SCALE OF 1:750.

INTEGRATED SURVEY AREA No. 1, SURREY, NAD83 (CSRS)

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS AND ARE
REFERRED TO CENTRAL MERIDIAN OF UTM ZONE 10.

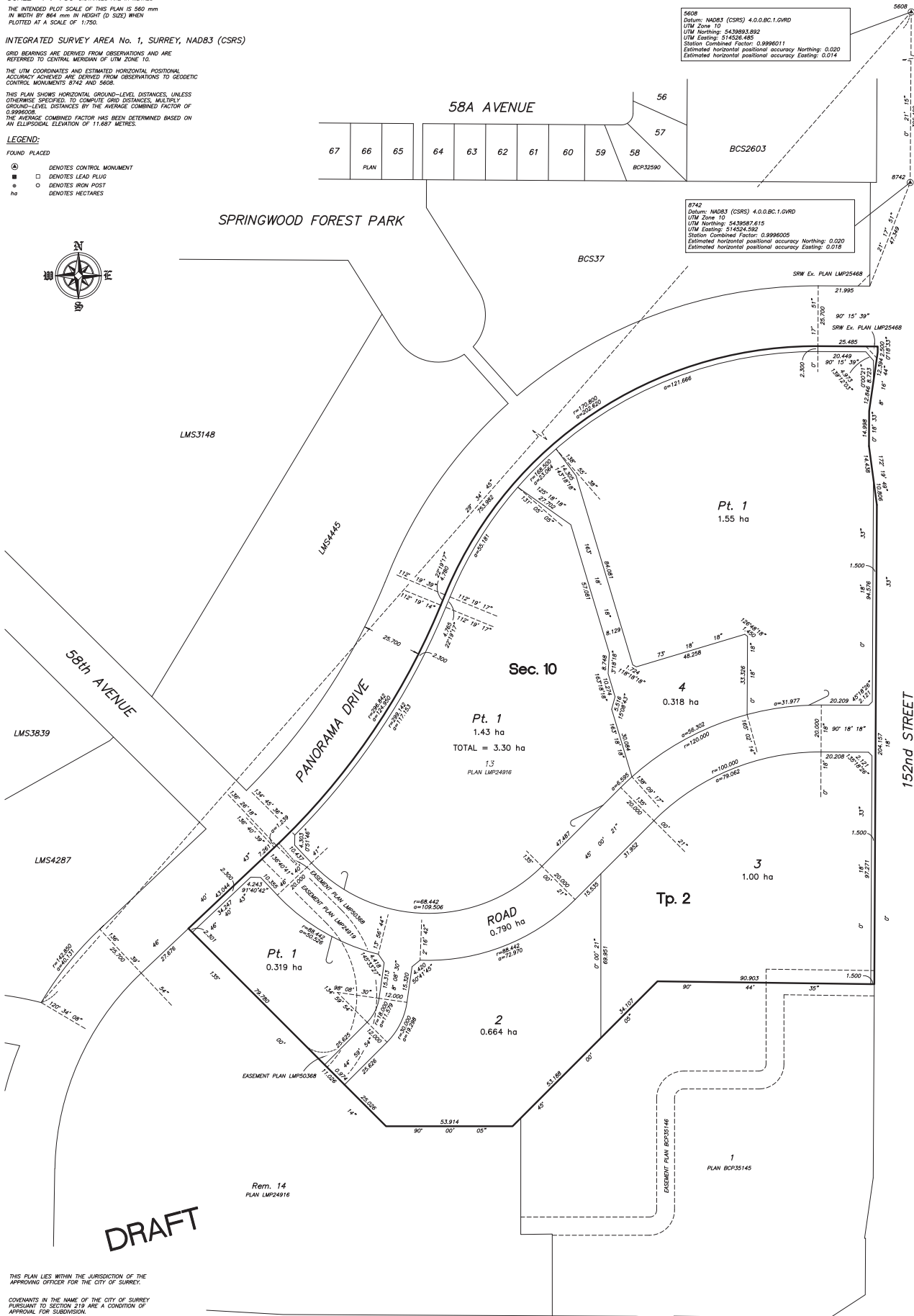
THE UTM COORDINATES AND ESTIMATED HORIZONTAL POSITIONAL
ACCURACY ACHIEVED ARE DERIVED FROM OBSERVATIONS TO GEODETIC
CONTROL MONUMENTS 8742 AND 5608.

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES, UNLESS
OTHERWISE SPECIFIED TO COMPUTE GRID DISTANCES, MULTIPLY
GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF
0.9996011.
THE AVERAGE COMBINED FACTOR HAS BEEN DETERMINED BASED ON
AN ELLIPSOIDAL ELEVATION OF 11.687 METRES.

LEGEND:

FOUND PLACED

- ⊕ DENOTES CONTROL MONUMENT
- DENOTES LEAD PLUG
- ⊙ DENOTES IRON POST
- ha DENOTES HECTARES



5608
Datum: NAD83 (CSRS) 4.0.0.BC.1.GVRD
UTM Zone 10
UTM Northing: 543983.892
UTM Easting: 514526.485
Station Combined Factor: 0.9996011
Estimated horizontal positional accuracy Northing: 0.020
Estimated horizontal positional accuracy Easting: 0.014

8742
Datum: NAD83 (CSRS) 4.0.0.BC.1.GVRD
UTM Zone 10
UTM Northing: 543987.615
UTM Easting: 514524.582
Station Combined Factor: 0.9996005
Estimated horizontal positional accuracy Northing: 0.020
Estimated horizontal positional accuracy Easting: 0.018

THIS PLAN LIES WITHIN THE JURISDICTION OF THE
APPROVING OFFICER FOR THE CITY OF SURREY.

COVENANTS IN THE NAME OF THE CITY OF SURREY
PURSUANT TO SECTION 319 ARE A CONDITION OF
APPROVAL FOR SUBDIVISION.

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS
COMPLETED ON THE XX DAY OF XXXX, 2016.
DARYL STONICK, B.C.S. (337)
E.C.M.F.

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

HIGHWAY No. 10

MARCH 1st, 2016

4 - 19089 94th Ave
Surrey, BC V4N 3S4
www.bulleymarkus.com
Tel. 604-513-9611
Fig. 4294
Dep. 4894-51 REV. 2

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC

SITE DATA



COMMERCIAL SITE

- PROPOSED ZONE: C3 (COMMUNITY COMMERCIAL ZONE)
- BY OTHERS

APARTMENT SITE

- SITE AREA: 71,398 S.F. (1.64 ACRES)
- DENSITY (FAR): 106.24 / 71,398 = 1.49 (MAX. 1.50)
- DENSITY (LPA): 106 / 1.64 = 64.6 (70 MAX)
- UNITS: 104 UNITS
- PARKING REQUIRED (ZONING BYLAW):
- RESIDENTS:
 - STUDIO, 1-BED UNITS: (4-17 UNITS - 21 UNITS) X1.3 = 27 STALLS
 - 1-BED-DEN, 2-BED, 2-BED-DEN: (28-30-27 - 85 UNITS) X 1.5 = 127.5 STALLS
 - TOTAL: 155 RESIDENT STALLS REQUIRED
- VISITORS:
 - 104 UNITS X 0.2 = 21 VISITOR STALLS REQUIRED
 - TOTAL PARKING REQUIRED (ZONING BYLAW): 176 STALLS
 - PARKING PROVIDED (PROPOSED VIA VARIANCE):
 - RESIDENTS:
 - STUDIO UNITS: 4 UNITS X 1.1 (VARIANCE FROM 1.3) = 4.4 STALLS
 - 1-BED UNITS: 17 UNITS X 1.1 (VARIANCE FROM 1.3) = 18.7 STALLS
 - 1-BED + DEN UNITS: 29 X 1.08 (VARIANCE FROM 1.3) = 31.9 STALLS
 - 2-BED, 2-BED + DEN: (28-30-27 - 84 UNITS) X 1.5 (70 MAX) = 84 STALLS
 - TOTAL: 139 RESIDENT STALLS REQUIRED (14 STALL VARIANCE)
 - VISITORS:
 - 104 UNITS X 0.2 = 21 VISITOR STALLS REQUIRED
 - TOTAL PARKING REQUIRED (PROPOSED VIA VARIANCE): 160 STALLS
 - (14 STALL VARIANCE: 9 / 14)
 - PARKING PROVIDED:
 - RESIDENTS:
 - UNDERGROUND: 139 STALLS
 - TOTAL: 139 STALLS
 - VISITORS:
 - UNDERGROUND: 21 STALLS (PLUS OFF-SITE STREET PARKING)
 - TOTAL: 21 STALLS
 - TOTAL PARKING PROVIDED: 160 STALLS

PROPOSED TOWNHOUSE SITES REVISIONS

- PROPOSED ZONE: RM-30 MULTIPLE RESIDENTIAL 30 ZONE
- TOTAL SITE AREA: 355,000 S.F. (8.15 ACRES)
- UNIT DENSITY (LPA): 181 / 8.15 = 22.2 (20 MAX)
- DENSITY (FAR): 277,891 / 355,000 S.F. = 0.78 (MAX. 0.9)
- PARKING REQUIRED:
- RESIDENTS:
 - REQUIRED: 181 UNITS X 0.2 = 36.2 = 37 STALLS
 - PROPOSED: 362 STALLS
 - TANDEM GARAGE STALLS: 141 UNITS (203 STALLS)
 - TANDEM:
 - 1 GARAGE + 1 BIKENICKY STALL: 11 UNITS (22 STALLS)
 - TOTAL TANDEM STALLS: 40 UNITS / 181 UNITS = 22.1%
 - VISITORS:
 - REQUIRED: 181 UNITS X 0.2 = 36.2 = 37 STALLS
 - PROPOSED: 36 STALLS
 - INDOOR AMENITY AREA:
 - REQUIRED: 181 UNITS X 3.0 S.M. = 543 S.M. = 5,845 S.F.
 - PROPOSED (2 STOREY + BASEMENT): 1,815 S.F. = 1,940 S.F. + 1,940 S.F. = 5,738 S.F.
 - OUTDOOR AMENITY AREA:
 - REQUIRED: 181 UNITS X 3.0 S.M. = 543 S.M. = 5,845 S.F.
 - PROPOSED: 1919 S.F. + 2040 S.F. = 1079 S.F. + 1491 S.F. = 6,526 S.F. = 606 S.M.

TOWNHOUSE BUILDING DATA

TH-1	5 UNITS	TH-17	4 UNITS	TH-33	11 UNITS
TH-2	3 UNITS	TH-18	4 UNITS	TH-34	4 UNITS
TH-3	5 UNITS	TH-19	4 UNITS	TH-35	4 UNITS
TH-4	4 UNITS	TH-20	4 UNITS	TH-36	4 UNITS
TH-5	4 UNITS	TH-21	5 UNITS	TH-37	5 UNITS
TH-6	3 UNITS	TH-22	3 UNITS	TH-38	7 UNITS
TH-7	5 UNITS	TH-23	3 UNITS	TH-39	5 UNITS
TH-8	2 UNITS	TH-24	3 UNITS	TH-40	4 UNITS
TH-9	5 UNITS	TH-25	4 UNITS	TH-41	4 UNITS
TH-10	2 UNITS	TH-26	3 UNITS	TH-42	4 UNITS
TH-11	4 UNITS	TH-27	4 UNITS	TH-43	5 UNITS
TH-12	2 UNITS	TH-28	4 UNITS	TH-44	4 UNITS
TH-13	4 UNITS	TH-29	4 UNITS	TH-45	4 UNITS
TH-14	4 UNITS	TH-30	4 UNITS	TH-46	4 UNITS
TH-15	4 UNITS	TH-31	3 UNITS	TH-47	4 UNITS
TH-16	4 UNITS	TH-32	3 UNITS	TH-48	4 UNITS
				TH-49	4 UNITS
				TH-50	4 UNITS
				TH-51	4 UNITS
				TH-52	4 UNITS
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				TH-80	4 UNITS
				TH-81	4 UNITS
				TH-82	4 UNITS
				TH-83	4 UNITS
				TH-84	4 UNITS
				TH-85	4 UNITS
				TH-86	4 UNITS
				TH-87	4 UNITS
				TH-88	4 UNITS
				TH-89	4 UNITS
				TH-90	4 UNITS
				TH-91	4 UNITS
				TH-92	4 UNITS
				TH-93	4 UNITS
				TH-94	4 UNITS
				TH-95	4 UNITS
				TH-96	4 UNITS
				TH-97	4 UNITS
				TH-98	4 UNITS
				TH-99	4 UNITS
				TH-100	4 UNITS

TOWNHOUSE UNIT TYPE DATA

- UNIT A1: 9 UNITS
- 3 BEDROOM + DEN
- 1356 sq. ft.
- UNIT A2: 4 UNITS
- 3 BEDROOM + DEN
- 1452 sq. ft.
- UNIT A3: 10 UNITS
- 3 BEDROOM + DEN
- 1358 sq. ft.
- UNIT A4: 4 UNITS
- 3 BEDROOM + DEN
- 1450 sq. ft.
- UNIT B1: 3 UNITS
- 3 BEDROOM + DEN
- 1558 sq. ft.
- UNIT B2: 18 UNITS
- 3 BEDROOM + DEN
- 1515 sq. ft.
- UNIT B3: 2 UNITS
- 3 BEDROOM + DEN
- 1516 sq. ft.
- UNIT B4: 10 UNITS
- 3 BEDROOM + DEN
- 1592 sq. ft.
- UNIT E2: 1 UNIT
- 2 BEDROOM
- 1330 sq. ft.
- UNIT F1: 1 UNITS
- 4 UNITS
- 4 BEDROOM + DEN
- 1890 sq. ft.
- UNIT F2: 3 UNITS
- 4 BEDROOM + DEN
- 1950 sq. ft.
- UNIT G1: 3 UNITS
- 3 BEDROOM + DEN
- 1407 sq. ft.
- UNIT G2: 7 UNITS
- 3 BEDROOM + DEN
- 1347 sq. ft.
- UNIT G3: 14 UNITS
- 3 BEDROOM + DEN
- 1422 sq. ft.
- UNIT H1: 2 UNITS
- 2 BEDROOM
- 1115 sq. ft.
- UNIT H2: 4 UNITS
- 2 BEDROOM
- 1259 sq. ft.
- UNIT J1: 4 UNITS
- 3 BEDROOM + DEN
- 1689 sq. ft.
- UNIT J2: 5 UNITS
- 3 BEDROOM + DEN
- 1758 sq. ft.
- UNIT K1: 4 UNITS
- 3 BEDROOM + DEN
- 1719 sq. ft.
- UNIT K2: 12 UNITS
- 3 BEDROOM + DEN
- 1924 sq. ft.
- UNIT K3: 2 UNITS
- 3 BEDROOM + DEN
- 1924 sq. ft.
- UNIT K4: 2 UNITS
- 3 BEDROOM + DEN
- 1948 sq. ft.

TOTAL OF 181 UNITS
 TOTAL BUILDING AREA: 117,671 sq. ft.
 LOT COVERAGE: 117,671 / 355,000 = 33.14%



SITE PLAN
 1" = 60'-0"

SITE PLAN - OVERALL
 SD9-2

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



FIRE DEPARTMENT SITE PLAN

1" = 60'-0"

INTERNAL FIRE TRUCK ROUTE

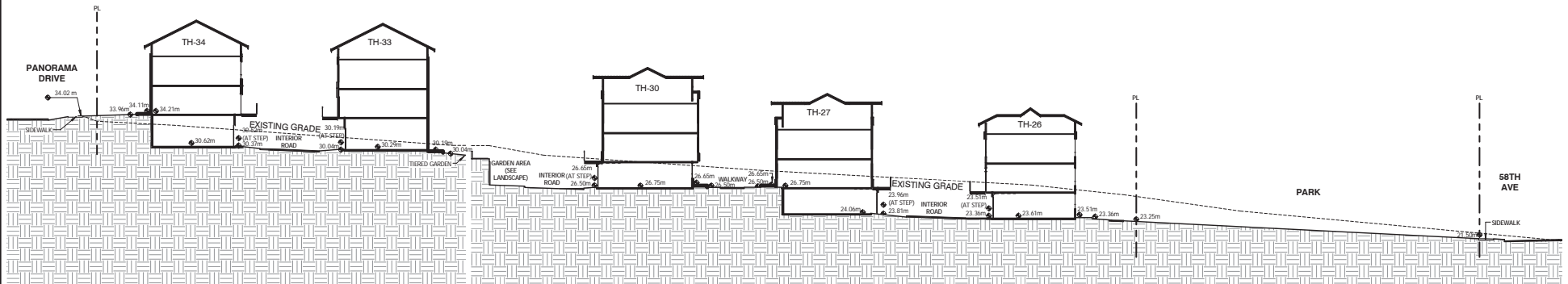
- 6m WIDTH
- 12m CENTERLINE RADIUS FOR ALL TURNS
- DEAD-ENDS LESS THAN 90m
- NOTE THAT FIRE HYDRANT LOCATIONS WILL BE DETERMINED AND CONFIRMED AT THE BUILDING PERMIT APPLICATION STAGE

 PROPOSED FIRE TRUCK ROUTE



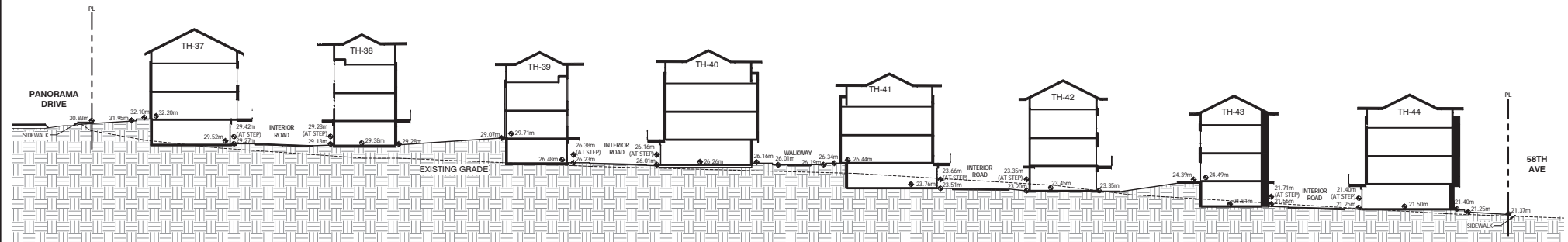
PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



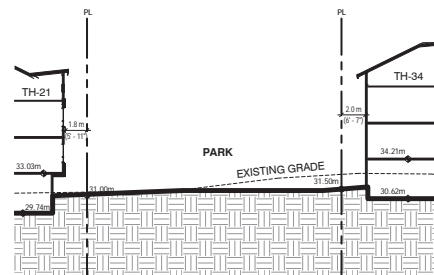
SITE SECTION D

1/16" = 1'-0"



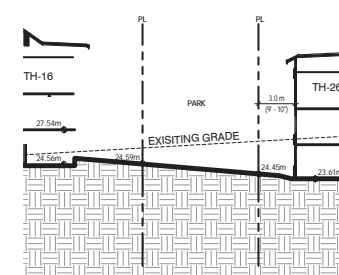
SITE SECTION E

1/16" = 1'-0"



SITE SECTION F

1/16" = 1'-0"



SITE SECTION G

1/16" = 1'-0"

**SITE SECTIONS
SD9-8**

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC

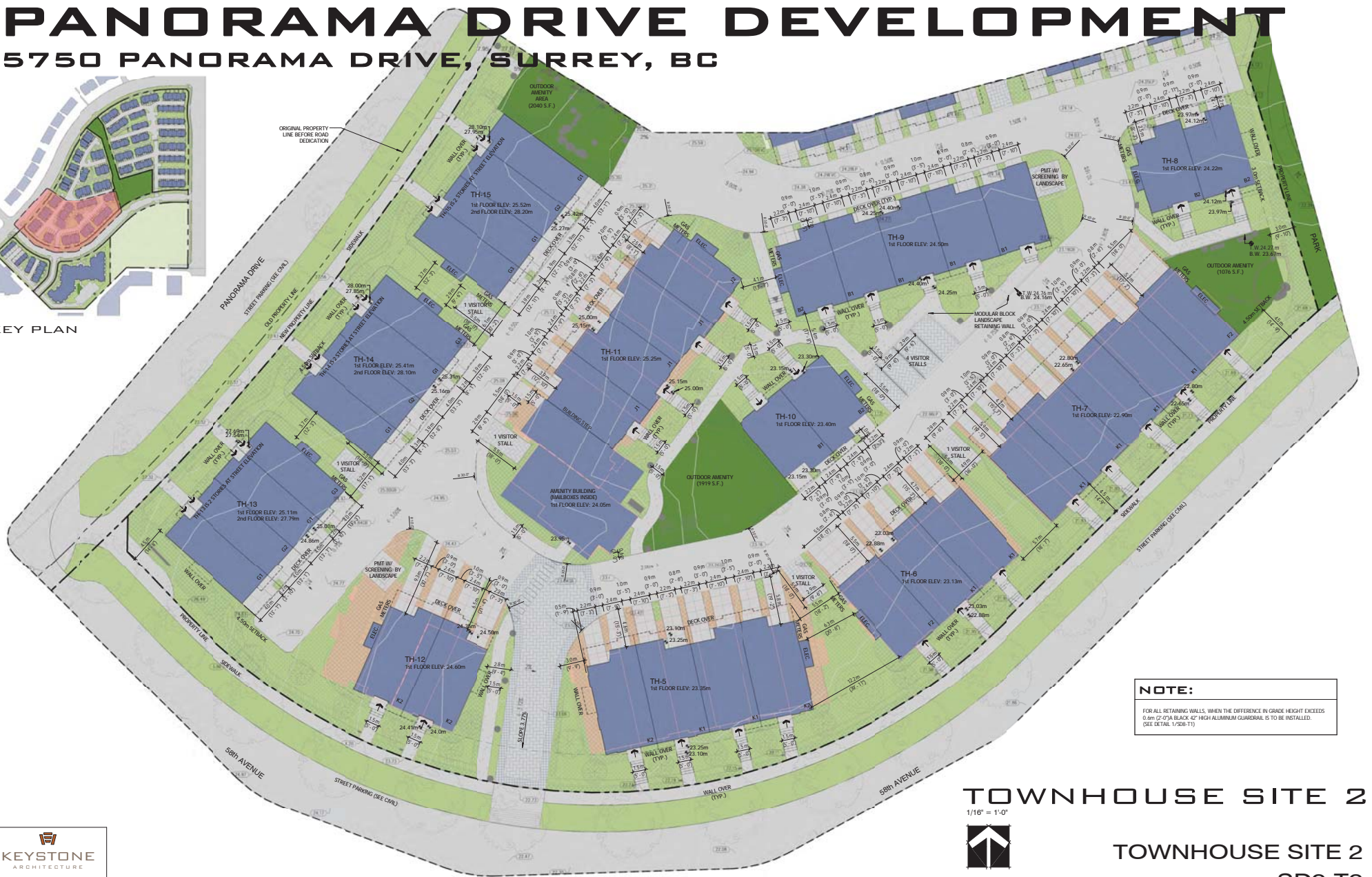


PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



KEY PLAN



NOTE:
 FOR ALL RETAINING WALLS, WHEN THE DIFFERENCE IN GRADE HEIGHT EXCEEDS 0.6M (2'-0") BLACK 45° HIGH ALUMINUM CLUMBER IS TO BE INSTALLED. (SEE DETAIL 1/SD9-T1)

TOWNHOUSE SITE 2
 1/16" = 1'-0"



TOWNHOUSE SITE 2
SD9-T2



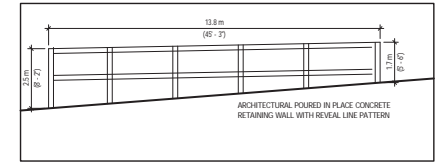
KEYSTONE
 ARCHITECTURE
 KEYSTONEARCH.CA

PANORAMA DRIVE DEVELOPMENT

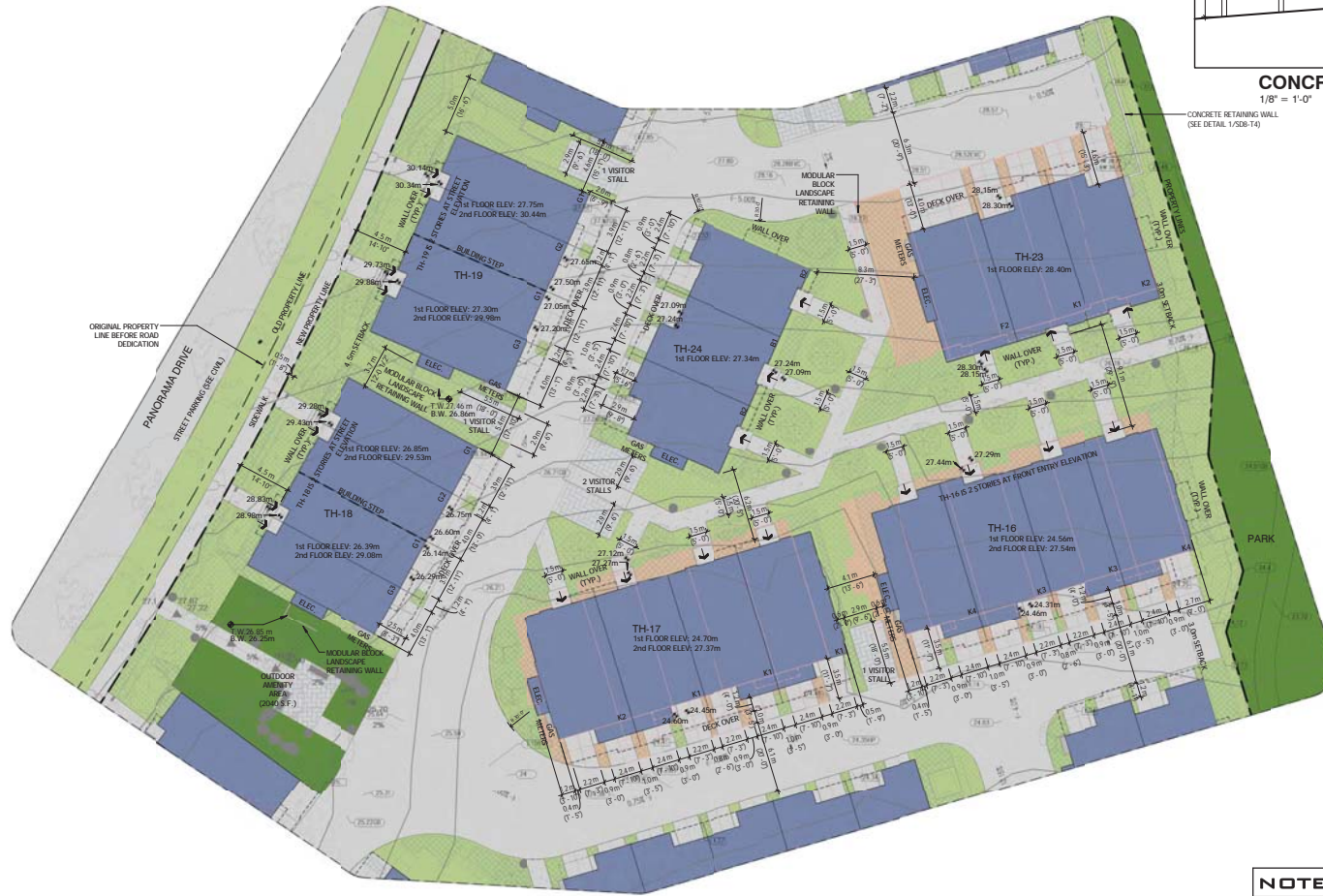
5750 PANORAMA DRIVE, SURREY, BC



KEY PLAN



CONCRETE RETAINING WALL
1/8" = 1'-0"



CONCRETE RETAINING WALL
(SEE DETAIL 1/500-T4)

NOTE:

FOR ALL RETAINING WALLS, WHEN THE DIFFERENCE IN GRADE HEIGHT EXCEEDS 0.6m (2'-0") A BLACK 42" HIGH ALUMINUM GUARDRAIL IS TO BE INSTALLED. (SEE DETAIL 1/500-T1)

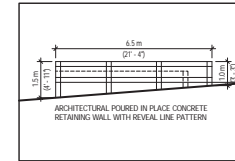


PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



KEY PLAN



ARCHITECTURAL Poured in place concrete retaining wall with reveal line pattern.

CONCRETE RETAINING WALL
1/8" = 1'-0"

NOTE:

FOR ALL RETAINING WALLS, WHEN THE DIFFERENCE IN GRADE HEIGHT EXCEEDS 0.6m (2'-0") BLACK 42" HIGH ALUMINUM GUARDRAIL IS TO BE INSTALLED. (SEE DETAIL 1/508-T1)



TOWNHOUSE SITE 4

1/16" = 1'-0"

TOWNHOUSE SITE 4
SD9-T4

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



KEY PLAN

NOTE:
 FOR ALL RETAINING WALLS, WHEN THE DIFFERENCE IN GRADE HEIGHT EXCEEDS 0.6m (2'-0") A BLACK 42" HIGH ALUMINUM GUARDRAIL IS TO BE INSTALLED. (SEE DETAIL 1/506-T1)

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



KEY PLAN



NOTE:
 FOR ALL RETAINING WALLS, WHEN THE DIFFERENCE IN GRADE HEIGHT EXCEEDS 0.6m (2'-0") A BLACK 42" HIGH ALUMINUM GARDBAIL IS TO BE INSTALLED. (SEE DETAIL 1/SDB-T1)

EAST END UNITS OF TH-37, 38, 39, 40, 41, 42, 43 & 44 REQUIRE 2 LAYERS TYPE 'X' G.W.B. AND UPGRADED WINDOWS IN BEDROOMS FACING 152ND STREET AS RECOMMENDED IN BRL CONSULTANTS' ACOUSTIC REPORT



TOWNHOUSE SITE 7
 1/16" = 1'-0"

TOWNHOUSE SITE 7
 SD9-T7

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



TH-1 & 9 SIDE ELEVATION
1/8" = 1'-0"



TH-1,24,26 & 33 SIDE ELEVATION
1/8" = 1'-0"



TH-1,9,24,26 & 33 FRONT ELEVATION
1/8" = 1'-0"



TH-9,24,26 & 33 SIDE ELEVATION
1/8" = 1'-0"



TH-1,9,24,26 & 33 BACK ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND

- 1 ELBORADO STACKED STONE, COLOR: 'CHAPEL HILL'
- 2 WOOD GRAIN ALUMINUM CLADDING OR SIMILAR, COLOR: LONGBOARD 'DARK BAMBOO' OR SIMILAR
- 3 CEMENT BOARD HORIZONTAL LAP SIDING: 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE 'BARWOOD' CSP-115
- 4 CEMENT BOARD HORIZONTAL LAP SIDING: 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE 'SMOKE & MIRRORS' CSP-105
- 5 CEMENT BOARD HORIZONTAL LAP SIDING: 4" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE 'STONEWARE' CSP-245
- 6 CEMENT BOARD FLAT PANEL SIDING: 'SMOOTH' PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'KENDALL CHARCOAL' HC-166
- 7 CEMENT BOARD FLAT PANEL SIDING: 'SMOOTH' PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'BARWOOD' CSP-115
- 8 CEMENT BOARD FLAT PANEL SIDING: 'SMOOTH' PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'SMOKE & MIRRORS' CSP-105
- 9 CEMENT BOARD FLAT PANEL SIDING: 'SMOOTH' PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'STONEWARE' CSP-245
- 10 CEMENT BOARD FLAT PANEL SIDING: 'SMOOTH' PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'BLACK'
- 11 METAL CLADDING, COLOR: CHARCOAL
- 12 ASPHALT ROOF SHINGLES
- 13 WOOD TRIM BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE 'BARWOOD' CSP-115
- 14 WOOD FASCIA BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE 'BARWOOD' CSP-115
- 15 WOOD FASCIA BOARDS - VARIOUS WIDTHS, PAINTED TO MATCH WOOD GRAIN ALUMINUM SIDING
- 16 METAL FLASHING, COLOR TO MATCH BENJAMIN MOORE 'BARWOOD' CSP-115
- 17 REVEALS: 'EASY TRIM', COLOR: 'CLEAR ANODIZED'
- 18 STONE LINTEL: ELBORADO, COLOR: 'CHAPEL HILL'
- 19 CONCRETE WALL, PAINTED BENJAMIN MOORE 'SMOKE & MIRRORS' CSP-105
- 20 METAL ALUMINUM RAILING, COLOR: BLACK
- 21 TAG CEDAR SOFFIT, COLOR TO MATCH WOOD GRAIN ALUMINUM SIDING
- 22 VINYL DOORS & WINDOWS, COLOR: CHARCOAL
- 23 ALUMINUM DOOR & FRAME, COLOR: CHARCOAL
- 24 METAL LOUVER, COLOR: CHARCOAL
- 25 PREFINISHED METAL FASCIA, CHARCOAL

ELEVATIONS - TH-1,9,24,26 & 33

SD9-T9

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC

MATERIAL LEGEND

- 1 'ELDORADO' STACKED STONE, COLOR: 'CHAPEL HILL'
- 2 WOOD GRAIN ALUMINUM CLADDING OR SIMILAR, COLOR: LONGBOARD 'DARK BARNWOOD' OR SIMILAR
- 3 CEMENT BOARD HORIZONTAL LAP SIDING: 4" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE 'BARNWOOD' CSP-115
- 4 CEMENT BOARD HORIZONTAL LAP SIDING: 4" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE 'SMOKE & MIRRORS' CSP-105
- 5 CEMENT BOARD HORIZONTAL LAP SIDING: 4" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE 'STONEWARE' CSP-245
- 6 CEMENT BOARD FLAT PANEL SIDING: SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'KIDDELL' CHARCOAL HC-166
- 7 CEMENT BOARD FLAT PANEL SIDING: SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'BARNWOOD' CSP-115
- 8 CEMENT BOARD FLAT PANEL SIDING: SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'SMOKE & MIRRORS' CSP-105
- 9 CEMENT BOARD FLAT PANEL SIDING: SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'STONEWARE' CSP-245
- 10 CEMENT BOARD FLAT PANEL SIDING: SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'BLACK'
- 11 METAL CLADDING, COLOR: CHARCOAL
- 12 ASPHALT ROOF SHINGLES
- 13 WOOD TRIM BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE 'BARNWOOD' CSP-115
- 14 WOOD FASCIA BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE 'BARNWOOD' CSP-115
- 15 WOOD FASCIA BOARDS - VARIOUS WIDTHS, PAINTED TO MATCH WOOD GRAIN ALUMINUM SIDING
- 16 METAL FLASHING, COLOR TO MATCH BENJAMIN MOORE 'BARNWOOD' CSP-115
- 17 REVEALS: 'EASY TRIM', COLOR: 'CLEAR ANODIZED'
- 18 STONE LINTEL: 'ELDORADO', COLOR: 'CHAPEL HILL'
- 19 CONCRETE WALK, PAINTED BENJAMIN MOORE 'SMOKE & MIRRORS' CSP-105
- 20 METAL ALUMINUM RAILING, COLOR: BLACK
- 21 TAG CEDAR SOFFIT, COLOR TO MATCH WOOD GRAIN ALUMINUM SIDING
- 22 VINYL DOORS & WINDOWS, COLOR: CHARCOAL
- 23 ALUMINUM DOOR & FRAME, COLOR: CHARCOAL
- 24 METAL LOUVER, COLOR: CHARCOAL
- 25 PREFINISHED METAL FASCIA: CHARCOAL



TH-3 & 4 SIDE ELEVATION
1/8" = 1'-0"



TH-3 & 4 FRONT ELEVATION
1/8" = 1'-0"



TH-4 SIDE ELEVATION
1/8" = 1'-0"



TH-3 SIDE ELEVATION
1/8" = 1'-0"



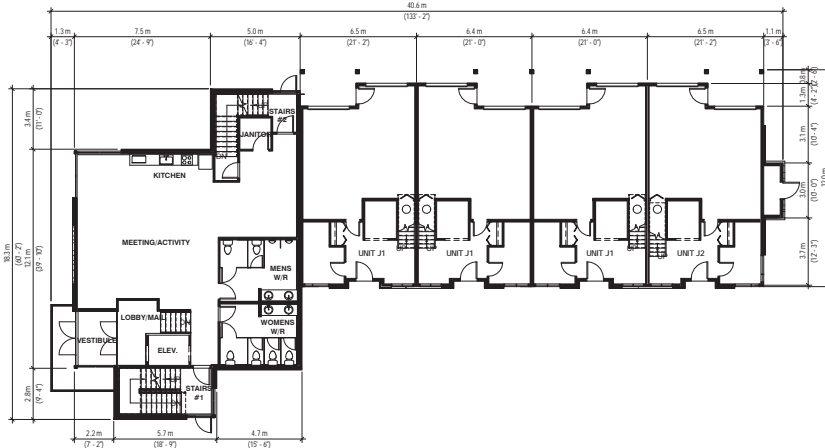
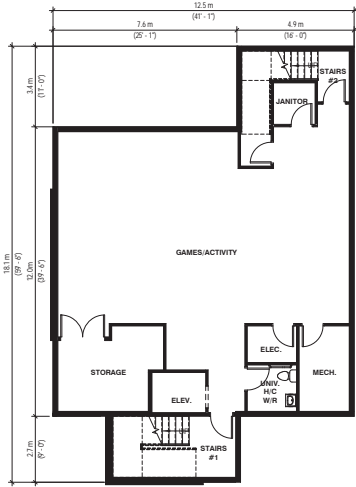
TH-3 & 4 BACK ELEVATION
1/8" = 1'-0"

TH-3 IS 5 UNITS
TH-4 IS 6 UNITS

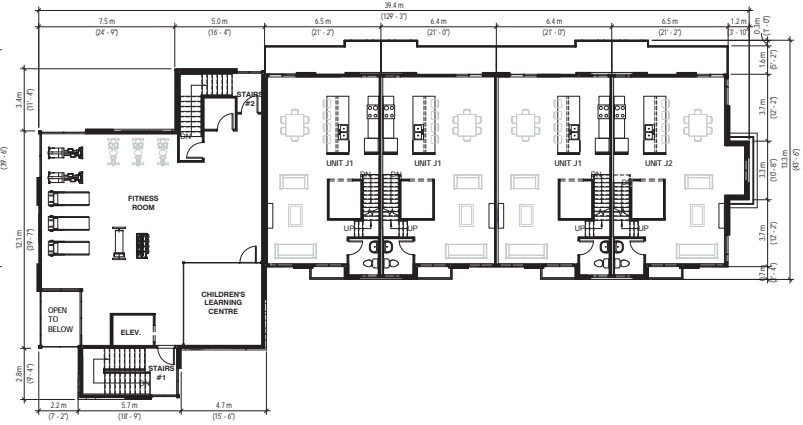
ELEVATIONS - TH-3 & 4
SD9-T13

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC

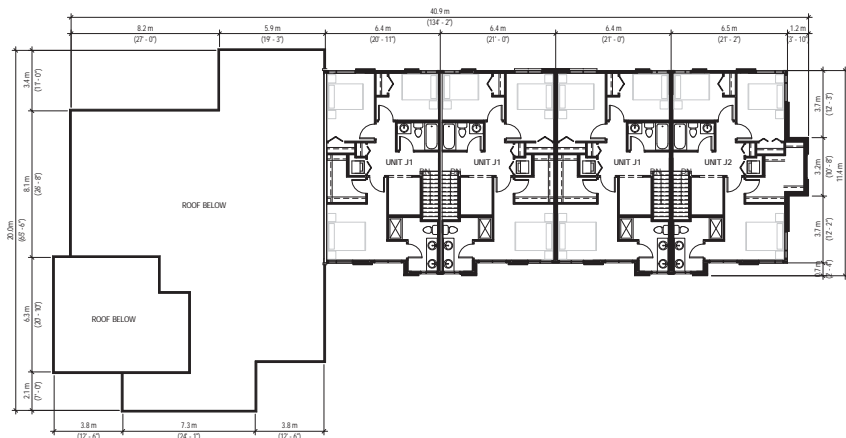


TH11 -1st FLOOR PLAN
3/32" = 1'-0"

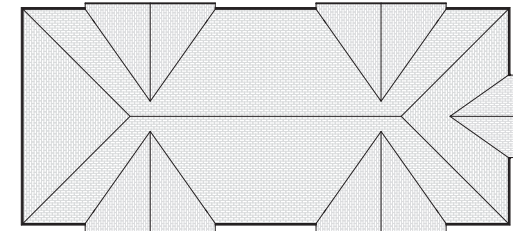


TH11 -2nd FLOOR PLAN
3/32" = 1'-0"

TH11 -BASEMENT FLOOR PLAN - AMENITY
1/8" = 1'-0"



TH11 -3rd FLOOR PLAN
3/32" = 1'-0"



TH11 -U/S ROOF TRUSS
3/32" = 1'-0"



FLOOR PLANS - TH-11

SD9-T22

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



TH-11 SIDE ELEVATION
1/8" = 1'-0"



TH-11 FRONT ELEVATION
1/8" = 1'-0"



TH-11 SIDE ELEVATION
1/8" = 1'-0"

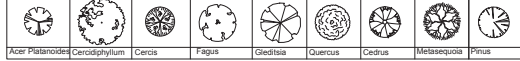


TH-11 BACK ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND

- 1 ELDOORADO STACKED STONE, COLOR: 'CHAPEL HILL'
- 2 WOOD GRAIN ALUMINUM CLADDING OR SIMILAR, COLOR: LONGBOARD DARK BAMBOO OR SIMILAR
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- 4 CEMENT BOARD HORIZONTAL LAP SIDING, 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE 'SMOKE & MIRRORS' CSP-105
- 5 CEMENT BOARD HORIZONTAL LAP SIDING, 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE 'STONEWARE' CSP-245
- 6 CEMENT BOARD FLAT PANEL SIDING, 'SMOOTH' PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'KENDALL CHARCOAL' HC-166
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- 21 TAG CEDAR SOFFIT, COLOR TO MATCH WOOD GRAIN ALUMINUM SIDING
- 22 VINYL DOORS & WINDOWS, COLOR: CHARCOAL
- 23 ALUMINUM DOOR & FRAME, COLOR: CHARCOAL
- 24 METAL LOUVER, COLOR: CHARCOAL
- 25 PREFINISHED METAL FASCIA, CHARCOAL

TREE LEGEND



BOTANICAL NAME	COMMON NAME	SIZE	SPACING	Quantity
DECIDUOUS				
Acer platanoides 'Crimson Sentry'	Crimson Sentry Maple	1.5m Height	as per plan	41
Cercidiphyllum japonicum	Katsura	B&B 6cm Cal.	as per plan	81
Cercos canadensis 'Ace of Hearts'	Ace of Hearts Redbud	B&B 6cm Cal.	as per plan	132
Fagus sylvatica 'Fastigata'	Pyramidal Green Beech	B&B 6cm Cal.	as per plan	27
Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	B&B 6cm Cal.	as per plan	20
Quercus palustris	Pin Oak	B&B 6cm Cal.	as per plan	15
CONIFEROUS				
Cedrus deodard 'Aurea'	Golden Deodar Cedar	2.5m Height	as per plan	17
Metasequoia glyptostroboides	Dawn Redwood	2.5m Height	as per plan	9
Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Limber Pine	2.5m Height	as per plan	39



Acer platanoides 'Crimson Sentry'



Cercidiphyllum japonicum



Cercis canadensis 'Ace of Hearts'



Gleditsia triacanthos var. inermis 'Skyline'



Quercus palustris



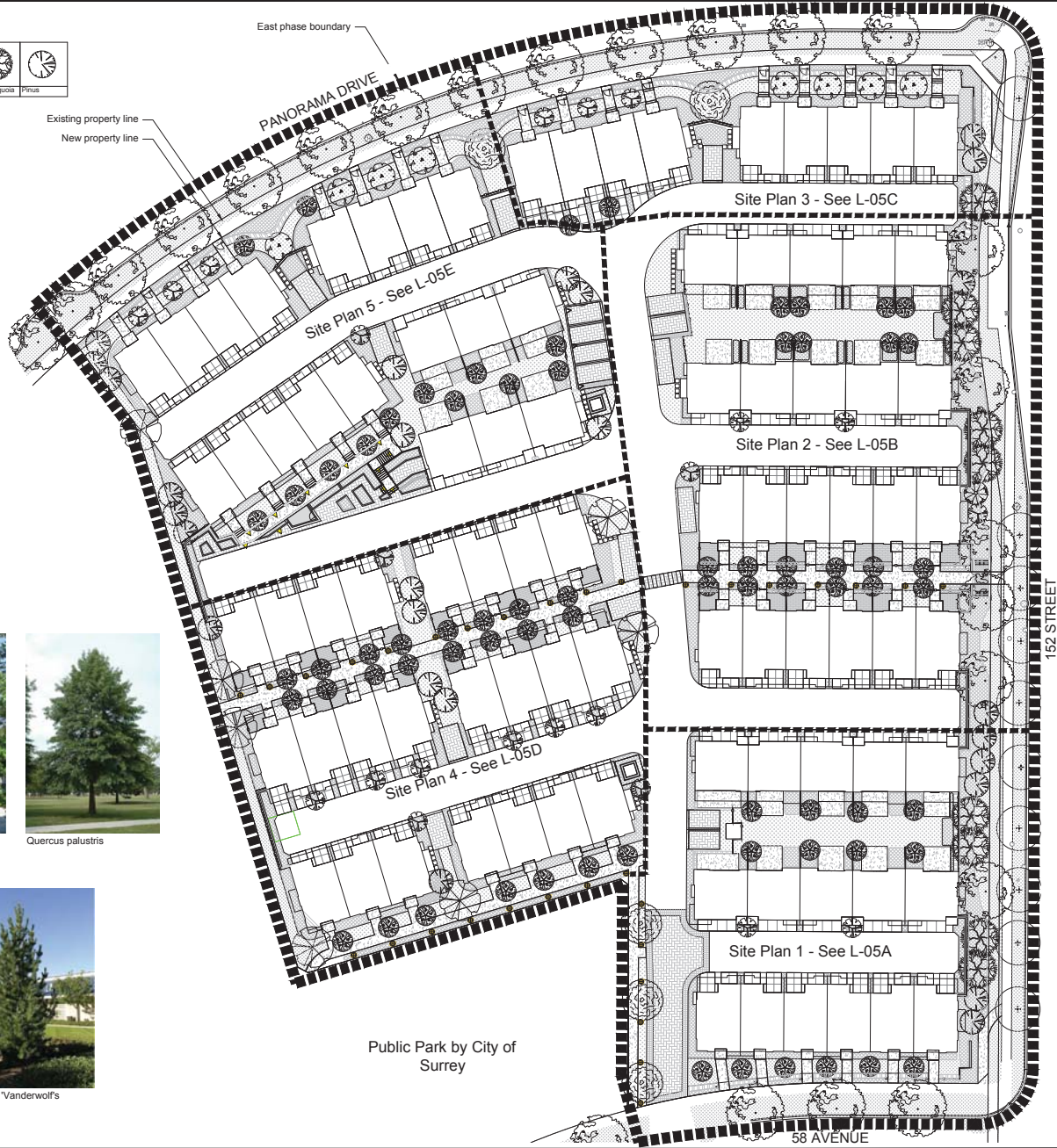
Cedrus deodard 'Aurea'



Metasequoia glyptostroboides



Pinus flexilis 'Vanderwolf's Pyramid'



van der Zalm + associates inc.
 Parks & Recreation • Environmental Consulting
 Urban Design • Landscape Architecture
 Suite 1, 2017 87th Avenue # 604 882 0254
 Surrey, British Columbia # 604 882 0242
 V4M 4B9 #info@vaz.ca



Key Map (NTS)



No.	By	Description	Date
10	TM	Re-issue for DP #2 Rev2	May 6, 2016
9	TM	Re-issue for DP #2 Rev1	Mar 2, 2016
8	TM	Re-issue for DP #2	Feb 11, 2016
7	TM	Re-issue for DP #1	Dec 18, 2015
6	TM	Issue for DP Review	Dec 11, 2015
5	TM	Issue for DP	July 24, 2015
4	TM	DP Check Set	July 22, 2015
3	AD	Issue for DP	July 9, 2015
2	TM	DP Check Set	July 2, 2015
1	TM	Issue for Coordination	June 17, 2015

REVISIONS TABLE FOR DRAWINGS
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Project:
 PANORAMA DRIVE
 Location:
 5750 Panorama Drive
 Surrey, BC

Drawn: JT, TM
 Checked: TM
 Approved: MVDZ
 Stamp: [Stamp]
 Original Sheet Size: 24" x 36"
 Scale: 1:300
 CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

Drawing Title: EAST PHASE - OVERALL SITE AND TREE PLAN

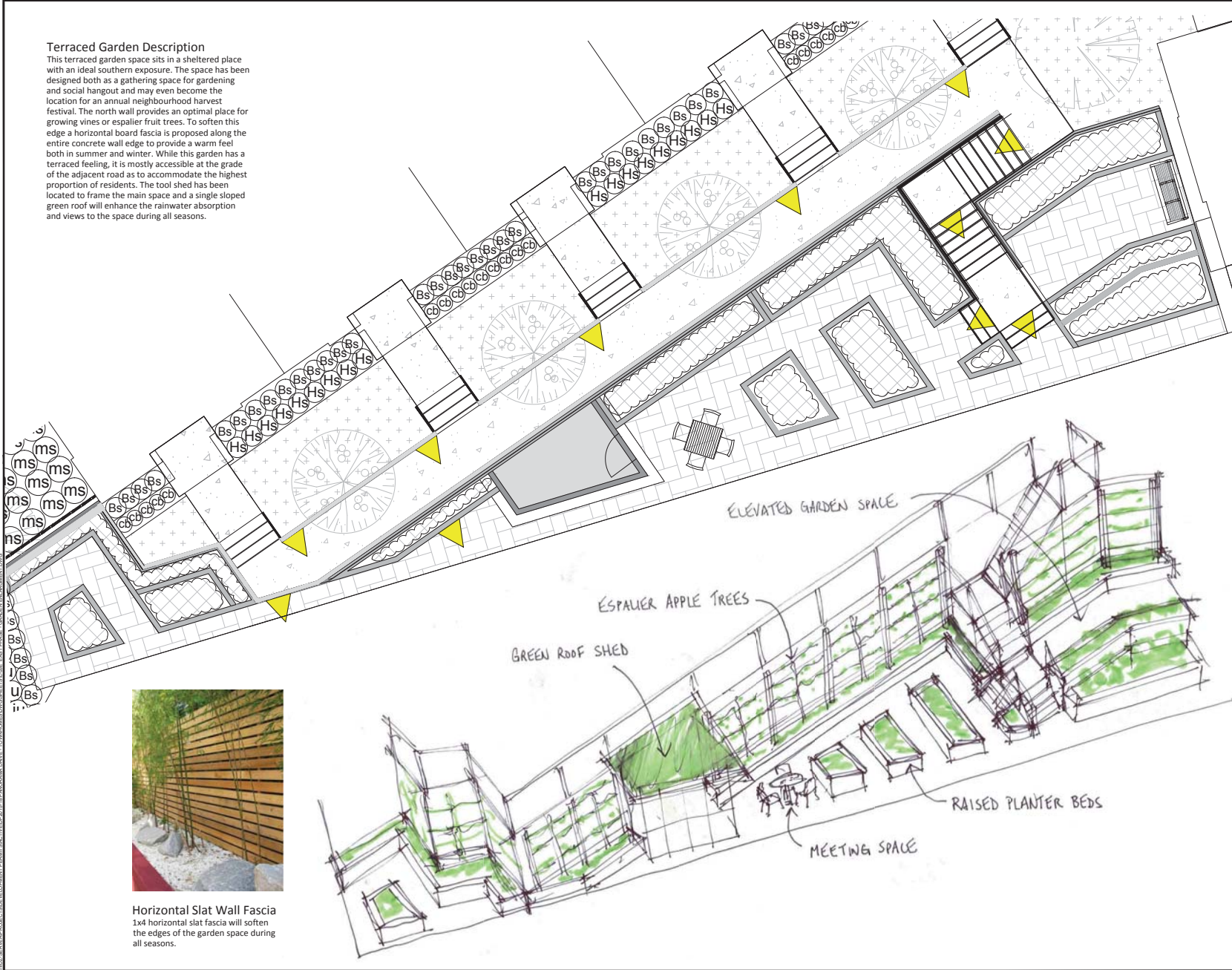


VDZ Project #: DP2015-18

Drawing #: L-05

Terraced Garden Description

This terraced garden space sits in a sheltered place with an ideal southern exposure. The space has been designed both as a gathering space for gardening and social hangout and may even become the location for an annual neighbourhood harvest festival. The north wall provides an optimal place for growing vines or espalier fruit trees. To soften this edge a horizontal board fascia is proposed along the entire concrete wall edge to provide a warm feel both in summer and winter. While this garden has a terraced feeling, it is mostly accessible at the grade of the adjacent road as to accommodate the highest proportion of residents. The tool shed has been located to frame the main space and a single sloped green roof will enhance the rainwater absorption and views to the space during all seasons.



Horizontal Slat Wall Fascia
1x4 horizontal slat fascia will soften the edges of the garden space during all seasons.

van der Zalm + associates inc.
 Parks & Recreation • Environmental Consulting
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 Suite 1, 2017 87th Avenue # 604 882 0024
 Surrey, British Columbia # 594 882 0042
 V1M 4B9 sri@www.vdz.ca



Key Map (NTS)



No.	By	Description	Date
19	TM	Re-issue for DP #2 Rev2	May 6, 2016
9	TM	Re-issue for DP #2 Rev1	Mar 2, 2016
8	TM	Re-issue for DP #2	Feb 11, 2016
7	TM	Re-issue for DP #1	Dec 18, 2015
6	TM	Issue for DP Review	Dec 10, 2015
5	TM	Issue for DP	July 24, 2015
4	TM	DP Check Set	July 22, 2015
3	AD	Issue for DP	July 9, 2015
2	TM	DP Check Set	July 2, 2015
1	TM	Issue for Coordination	June 17, 2015

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Project:
PANORAMA DRIVE

Location:
5750 Panorama Drive
Surrey, BC

Drawn: JT TM	Stamp:
Checked: TM	
Approved: MVDZ	
Scale: 1:100	Original Sheet Size: 24" x 36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

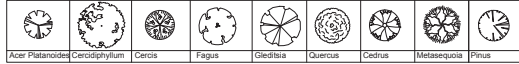
Drawing Title: EAST PHASE - TERRACED GARDEN ENLARGMENT



VDZ Project #: DP2015-18

Drawing #: L-05F

TREE LEGEND



BOTANICAL NAME	COMMON NAME	SIZE	SPACING	Quantity
DECIDUOUS				
Acer platanoides 'Crimson Sentry'	Crimson Sentry Maple	1.5m Height	as per plan	41
Cerodiphyllum japonicum	Katsura	B&B 6cm Cal.	as per plan	81
Cereis canadensis 'Ace of Hearts'	Ace of Hearts Redbud	B&B 6cm Cal.	as per plan	132
Fagus sylvatica 'Fastigata'	Pyramidal Green Beech	B&B 6cm Cal.	as per plan	27
Gleditsia tricanthos var. inermis 'Skyline'	Skyline Honeylocust	B&B 6cm Cal.	as per plan	20
Quercus palustris	Pin Oak	B&B 6cm Cal.	as per plan	15
CONIFEROUS				
Cedrus Deodar 'Aurea'	Golden Deodar Cedar	2.5m Height	as per plan	17
Metasequoia glyptostroboides	Dawn Redwood	2.5m Height	as per plan	9
Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Limber Pine	2.5m Height	as per plan	30



1 REFLECTIVE SPACE
Scale: NTS



2 TOT SPACE
Scale: NTS



3 CENTRAL AMENITY SPACE
Scale: NTS



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Urban Design + Landscape Architecture
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Key Map (NTS)



No.	By	Description	Date
10	TM	Re-issue for DP #2 Rev2	May 6, 2016
9	TM	Re-issue for DP #2 Rev1	Mar 2, 2016
8	TM	Re-issue for DP #2	Feb 11, 2016
7	TM	Re-issue for DP #1	Dec 18, 2015
6	TM	Issue for DP Review	Dec 10, 2015
5	TM	Issue for DP	July 24, 2015
4	TM	DP Check Set	July 22, 2015
3	AD	Issue for DP	July 9, 2015
2	TM	DP Check Set	July 2, 2015
1	TM	Issue for Coordination	June 17, 2015

REVISIONS TABLE FOR DRAWINGS
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Project:
PANORAMA DRIVE

Location:
5750 Panorama Drive
Surrey, BC

Drawn: JT, TM
Checked: TM
Approved: MVDZ
Original Sheet Size: 24" x 36"
Scale: 1:400

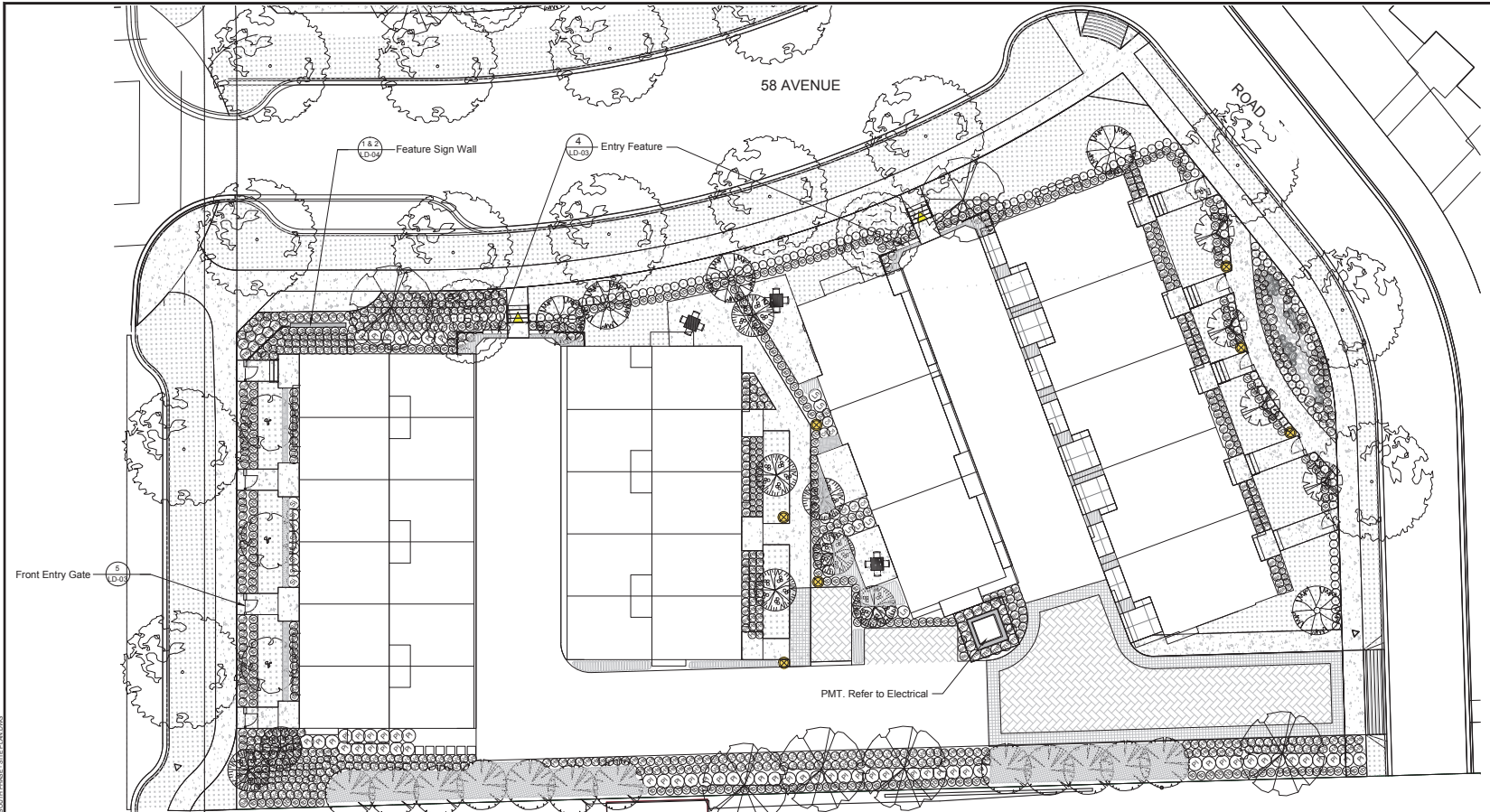


Drawing Title: WEST PHASE - OVERALL SITE AND TREE PLAN

DP2015-18

L-06

VAN DER ZALM + ASSOCIATES INC. 2015-18-06 WEST PHASE - OVERALL SITE AND TREE PLAN.DWG



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Key Map (NTS)



No.	By	Description	Date
15	TM	Re-issue for DP #2 Rev2	May 6, 2016
9	TM	Re-issue for DP #2 Rev1	Mar 2, 2016
8	TM	Re-issue for DP #2	Feb 11, 2016
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Project:
 PANORAMA DRIVE
 Location:
 5750 Panorama Drive
 Surrey, BC

Drawn: JT	Stamp:
Checked: TM	
Approved: MVZ	Original Sheet Size: 24" x 36"
Scale: 1:150	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

SOUTH PHASE - SITE PLAN



DP2015-18

L-07

LEGEND

KEY	REF.	DESCRIPTION
	1 (L-07)	CONCRETE
	8 (L-07)	CONCRETE UNIT PAVING VEHICULAR Landscape shows surface treatment only. Refer to Civil for base preparation.
	8 (L-07)	CONCRETE UNIT PAVING PEDESTRIAN
	8 (L-07)	STAMPED CONCRETE
	7 (L-07)	HYDRAPRESSED SLABS
	7 (L-07)	36" WOOD FENCE
	8 (L-07)	WOOD PRIVACY FENCE
		RETAINING WALL

KEY	DESCRIPTION
	SHRUB PLANTING
	HEDGE PLANTING
	LAWN
	BENCH
	RAIN GARDEN
	BOLLARD Wood 04gr LED 3000°K Manufacturer: Prime or approved equal Color: Matte Gray Supplier: SLS Lighting See Electrical drawings.
	STAR / WALL LIGHT (one per star in star locations) Wood Inset Manufacturer: Prime or approved equal Color: Matte Gray Supplier: SLS Lighting See Electrical drawings.
	WALL LIGHT IN PARKING AREAS Wood Inset GO Manufacturer: Prime or approved equal Color: Matte Gray Supplier: SLS Lighting See Electrical drawings.

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPACING
SHRUB PLANTING					
bs	1893	<i>Buxus sempervirens</i> 'Suffruticosa'	English Boxwood	#2 Pot	600mm
cb	459	<i>Carex buchmannii</i>	Leatherleaf Sedge	#2 Pot	450mm
cd	67	<i>Calluna dichotoma</i>	Purple Snowberry	#2 Pot	750mm
ck	415	<i>Cornus sericea</i> 'Kobus'	Kobus Dwarf Dogwood	#2 Pot	600mm
hs	727	<i>Helictotrichon sempervirens</i>	Blue Oat Grass	#2 Pot	600mm
hm	153	<i>Hydrangea macrophylla</i> 'Adira'	Adira Hydrangea	#2 Pot	900mm
Lv	15	<i>Ligustrum x vicaryi</i>	Vicary Golden Privet	#3 Pot	1800mm
Ln	65	<i>Lonicera media</i> 'Sagehen's Gold'	Golden Bellied Honey suckle	#2 Pot	900mm
ms	791	<i>Miscanthus sinensis</i> 'Gracillimus'	Madison Grass	#2 Pot	750mm
pl	486	<i>Prunus laetifica</i> 'Otto Luyken'	Otto Luyken Laurel	#2 Pot	1000mm
pp	279	<i>Polystichum polyphephanum</i>	Japanese Tassel Fern	#1 Pot	450mm
sa	923	<i>Sarcococca hookeriana</i> var. 'humilis'	Himalayan Sweet Box	#2 Pot	600mm
sj	355	<i>Stemodia japonica</i>	Japanese skimmia	#2 Pot	900mm
sp	27	<i>Spiraea x vanhouttei</i>	Vanhouttei Spirea	#3 Pot	1800mm
st	590	<i>Stipa tenuissima</i>	Mexican Feather Grass	#1 Pot	600mm
vd	733	<i>Viburnum davidii</i>	David's Viburnum	#2 Pot	600mm
HEDGE PLANTING					
ib	1113	<i>Taxus baccata</i> 'fastigiata'	Irish Yew	900mm height	
is	99	<i>Taxus x media</i> 'thicks'	Hicks Yew	1.2m height	450mm
ja	817	<i>Juniperus scopulorum</i> 'Blue Arrow'	Blue Arrow Juniper	1.2m height	450mm
GROUND COVER PLANTING					
er	133	<i>Erica carnea</i> 'Springwood white'	Winter Heath	#1 Pot	450mm
lv	322	<i>Lavandula angustifolia</i> 'hidcote'	Levander	#1 Pot	450mm
ps	1688	<i>Psychopogon terribilis</i>	Japanese Spurge	#1 Pot	450mm
ho	775	<i>Hosta 'August Moon'</i>	August Moon Hosta	#1 Pot	600mm
eu	559	<i>Euphorbia 'Shorty'</i>	Shorty Spurge	#1 Pot	450mm
ba	1625	<i>Epimedium pinnatifidum</i>	Barewort	#1 Pot	300mm

TREE LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	SPACING	Quantity
DECIDUOUS				
<i>Acer platanoides</i> 'Crimson Sentry'	Crimson Sentry Maple	1.5m Height	as per plan	41
<i>Quercus</i>	B&B 6cm Cal.	as per plan	as per plan	81
<i>Cercis canadensis</i> 'Ace of Hearts'	Ace of Hearts Redbud	B&B 6cm Cal.	as per plan	132
<i>Fagus sylvatica</i> 'Fastigiata'	Pyramidal Green Beech	B&B 6cm Cal.	as per plan	27
<i>Gleditsia inacanthos</i> var. 'niemtsii'	Skyline Honeylocust	B&B 6cm Cal.	as per plan	20
<i>Quercus palustris</i>	Pin Oak	B&B 6cm Cal.	as per plan	15
CONIFEROUS				
<i>Quercus</i> 'Aurea'	Golden Decider Cedar	2.5m Height	as per plan	17
<i>Metasequoia glyptostroboides</i>	Dawn Redwood	2.5m Height	as per plan	9
<i>Pinus flexilis</i> 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Limber Pine	2.5m Height	as per plan	39



PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



SITE DATA

Site Area: 71,398 s.f.± (1.04 acres±)
 Building Area: 28,239 s.f.±
 Lot Coverage: 39.6% (max. 33%; requires variance)
 Proposed Zoning: RM70

Floor Areas:

- underground parking: 57,163 s.f.±
- 1st floor: 28,013 s.f.±
- 2nd floor: 27,493 s.f.±
- 3rd floor: 28,239 s.f.±
- 4th floor: 28,239 s.f.±
- total (residential): 111,984 s.f.±
- total (including u/g parkade): 169,147 s.f.±

Density:

- total residential floor area: 111,984 s.f.±
- indoor amenity area: 5,260 s.f.±
- total floor area for density calculation: 106,724 s.f.±
- density: 106,724 / 71,398 = 1.49 (max. 1.50)

Units:

- studio: 4 units
- 1-bed: 17 units
- 1-bed+den (den <97s.f.): 21 units
- 1-bed+den (den >97s.f.): 8 units
- 2-bed: 28 units
- 2-bed+den: 28 units
- total: 106 units (6 units are adaptable - 5.7% of total)

Parking Required (zoning bylaw):

- residents:
 - studio, 1-bed units, 1 bed+den (<97s.f.): (4 + 17 + 21 units = 42 units) x 1.3 = 54.6 stalls
 - 1-bed+den (den >97s.f.), 2-bed, 2-bed+den: (8+28+28 = 64 units) x 1.5 = 96 stalls
 - total: 151 resident stalls required
- visitors:
 - 106 units x 0.2 = 21 visitor stalls required
 - total parking required (zoning bylaw): 172 stalls

Parking Required (proposed via variance):

- residents:
 - studio units: 4 units x 1.1 (variance from 1.3) = 4.4 stalls
 - 1-bed units: 17 units x 1.1 (variance from 1.3) = 18.7 stalls
 - 1-bed+den units (den <97s.f.): 21 x 1.1 (variance from 1.3) = 23.1 stalls
 - 1-bed+den units (den >97s.f.): 8 x 1.1 (variance from 1.5) = 9.1 stalls
 - 2-bed, 2-bed+den: (28+28 = 56 units) x 1.5 (no variance) = 84 stalls
 - total: 139 resident stalls (12 stall variance)
- visitors:
 - 106 units x 0.2 = 21 visitor stalls required (no variance)
 - total parking required (proposed via variance): 160 stalls (12 stall variance; 7.0%)

Parking Provided:

- residents:
 - underground: 139 stalls
- visitors:
 - underground: 21 stalls (plus off-site street parking)
 - total parking provided: 160 stalls

Bicycle Parking:

- required:
 - residents: 106 units x 1.2 = 127 stalls required
 - visitors: 6 stalls required
- provided:
 - residents:
 - 129 in underground parkade (Bicycle Storage Room)
 - visitors: 6 stalls (Surface)

Amenity Areas:

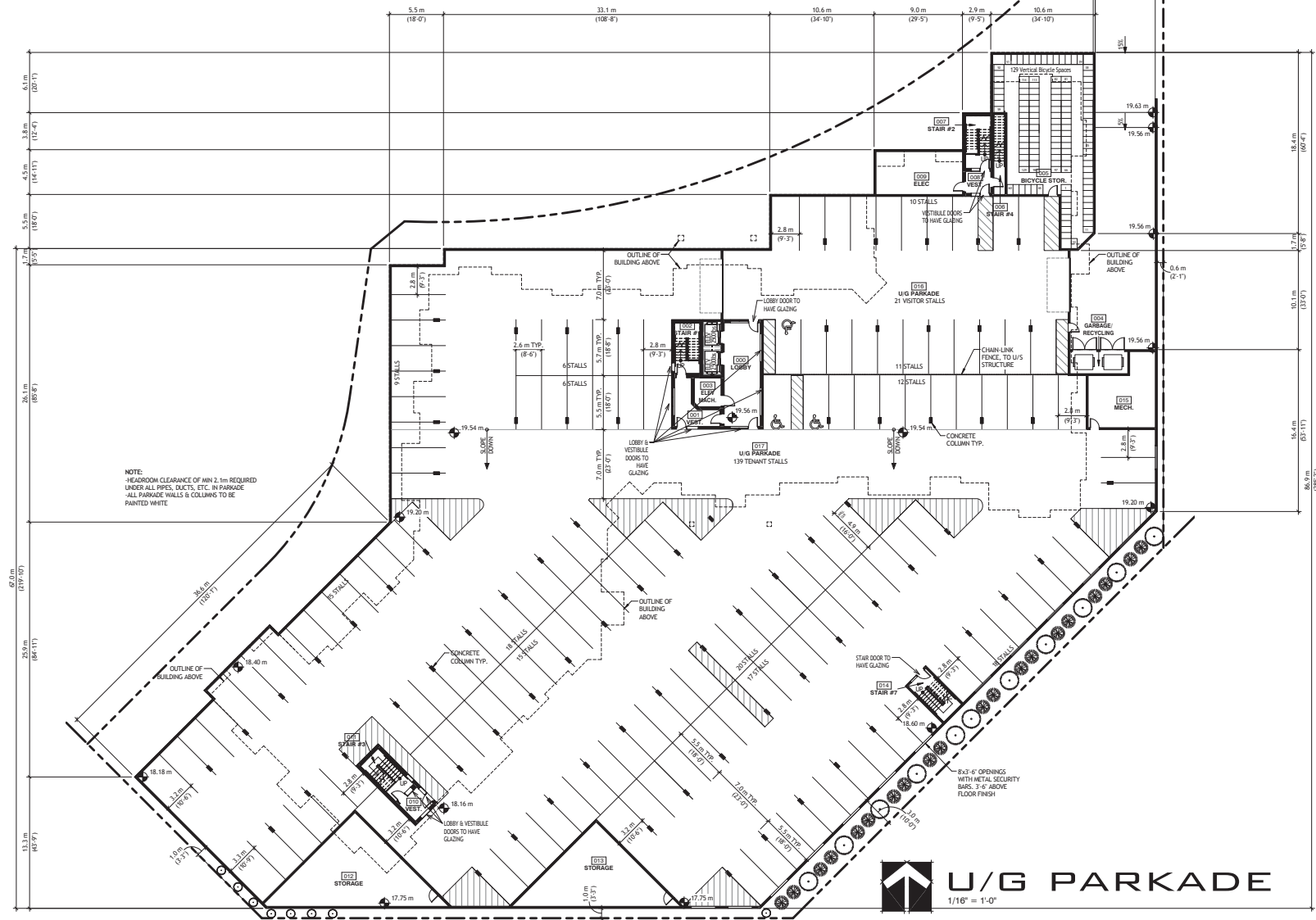
- outdoor amenity area:
 - required: 3.0 s.m. x 106 = 318 s.m. = 3,423 s.f.
 - provided: 11,109 s.f.±
- indoor amenity area:
 - required 3.0 s.m. x 106 = 318 s.m. = 3,423 s.f.
 - provided: 1,807 + (4 x 475) = 3,707 s.f.±

Proposed Variances:

- lot coverage increased from 33% to 39.6%
- building setback (north, south & west) reduced from 7.5m to 4.50m
- parking relaxations:
 - studio units from 1.3 to 1.1 stalls per unit
 - 1-bed units from 1.3 to 1.1 stalls per unit
 - 1-bed+den units from 1.3 or 1.5 to 1.1 stalls per unit

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



NORTH-WEST ELEVATION
3/32" = 1'-0"



WEST ELEVATION (FAR)
3/32" = 1'-0"



WEST ELEVATION
3/32" = 1'-0"

MATERIAL LEGEND

- 1 ELBORADO STACKED STONE, COLOR: CHAPEL HILL
- 2 WOOD GRAIN ALUMINUM CLADDING OR SIMILAR, COLOR: LONGBOARD BARNWOOD OR SIMILAR
- 3 CEMENT BOARD HORIZONTAL LAP SIDING: 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 4 CEMENT BOARD HORIZONTAL LAP SIDING: 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 5 CEMENT BOARD HORIZONTAL LAP SIDING: 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE STONEWARE CSP-245
- 6 CEMENT BOARD FLAT PANEL SIDING: SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE BARNWOOD CSP-115
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- 10 CEMENT BOARD FLAT PANEL SIDING: SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE BLACK
- 11 METAL CLADDING, COLOR: CHARCOAL
- 12 ASPHALT ROOF SHINGLES
- 13 WOOD TRIM BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
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- 18 STONE LINTEL
- 19 ARCHITECTURAL CONCRETE WALL c/w REVEALS, PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 20 METAL ALUMINUM RAILING, COLOR: BLACK
- 21 T&G CEDAR SOFFIT, COLOR TO MATCH WOOD GRAIN ALUMINUM SIDING
- 22 VINYL DOORS & WINDOWS, COLOR: CHARCOAL
- 23 ALUMINUM DOOR & FRAME, COLOR: CHARCOAL
- 24 METAL LOUVER, COLOR: CHARCOAL

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



NORTH ELEVATION

3/32" = 1'-0"



EAST ELEVATION

3/32" = 1'-0"

MATERIAL LEGEND

- 1 ELBORADO STACKED STONE, COLOR: CHAPEL HILL
- 2 WOOD GRAIN ALUMINUM CLADDING OR SIMILAR, COLOR: LONGBOARD BAMBOO OR SIMILAR
- 3 CEMENT BOARD HORIZONTAL LAP SIDING, 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
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- 23 ALUMINUM DOOR & FRAME, COLOR: CHARCOAL
- 24 METAL LOUVER, COLOR: CHARCOAL

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC

MATERIAL LEGEND

- 1 TELORADO STACKED STONE, COLOR: CHAPEL HILL
- 2 WOOD GRAIN ALUMINUM CLADDING OR SIMILAR, COLOR: LONGBOARD BAMBOO OR SIMILAR
- 3 CEMENT BOARD HORIZONTAL LAP SIDING: 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
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- 24 METAL LOUVER, COLOR: CHARCOAL



EAST ELEVATION (FAR)

3/32" = 1'-0"



SOUTH ELEVATION

3/32" = 1'-0"



SD8-A10

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



SOUTH-EAST ELEVATION
3/32" = 1'-0"

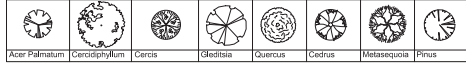


SOUTH-WEST ELEVATION
3/32" = 1'-0"

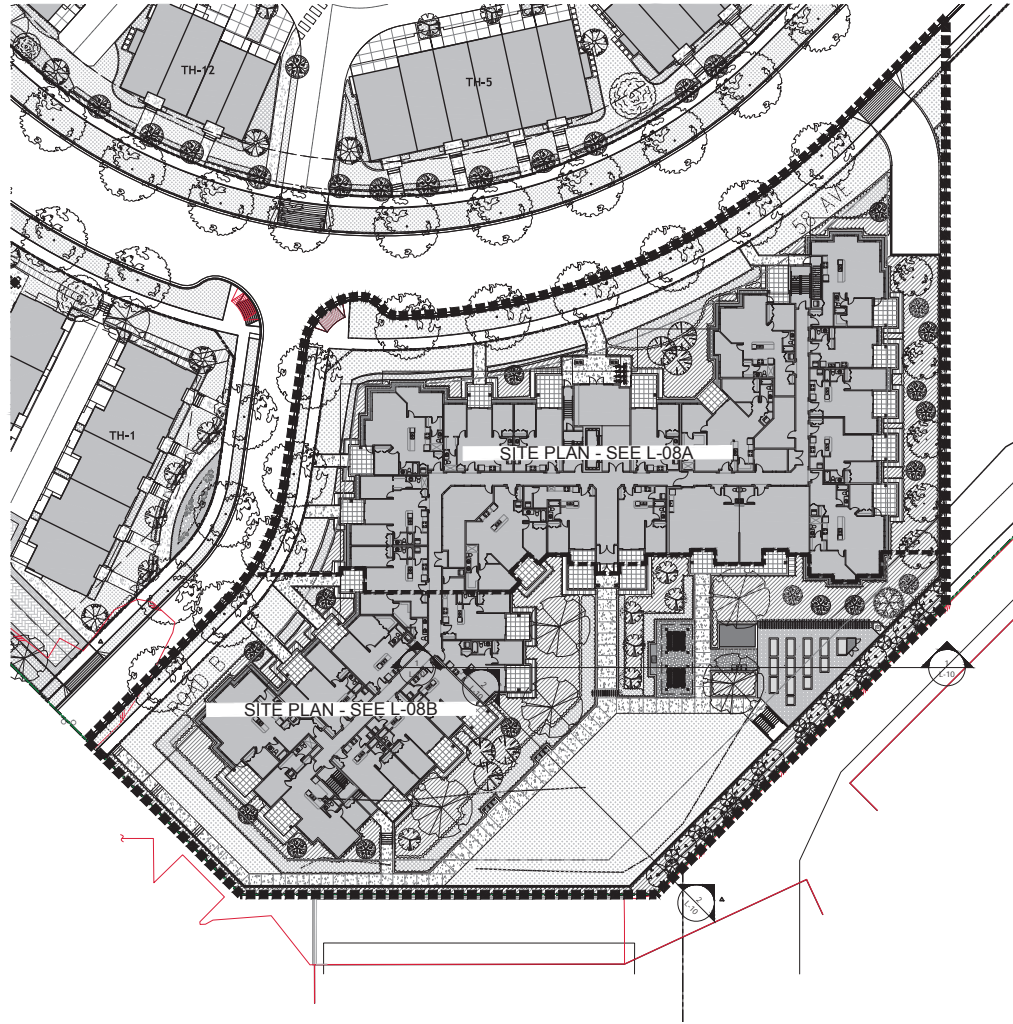
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- 20 METAL ALUMINUM RAILING, COLOR: BLACK
- 21 T&G CEDAR SOFFIT, COLOR TO MATCH WOOD GRAIN ALUMINUM SIDING
- 22 VINYL DOORS & WINDOWS, COLOR: CHARCOAL
- 23 ALUMINUM DOOR & FRAME, COLOR: CHARCOAL
- 24 METAL LOUVER, COLOR: CHARCOAL

TREE LEGEND



BOTANICAL NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS			
Acer glaberrimus 'Crimson Sentry'	Crimson Sentry Maple	1.5m Height	as per plan
Ceratophyllum japonicum	Katsura	B&B 6cm Cal.	as per plan
Cercis canadensis 'Ace of Hearts'	Ace of Hearts Redbud	B&B 6cm Cal.	as per plan
Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	B&B 6cm Cal.	as per plan
Quercus palustris	Pin Oak	B&B 6cm Cal.	as per plan
CONIFEROUS			
Thuja occidentalis 'Aurea'	Golden Deodar Cedar	2.5m Height	as per plan
Metasequoia glyptostroboides	Dawn Redwood	2.5m Height	as per plan
Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Limber Pine	2.5m Height	as per plan



van der Zalm + associates inc.
 Planning & Recreation • Environmental Consulting
 Urban Design • Landscape Architecture
 Suite 1, 2017 97th Avenue # 604 882 0204
 Surrey, British Columbia # 604 882 0242
 V1M 4B9 #info@vaz.ca



Key Map (NTS)



No.	By	Description	Date
8	TM	Re-issue for DP	Feb 11, 2016
7	TM	Re-issue for DP	Dec 18, 2015
6	TM	Issue for DP Review	Dec 10, 2015
5	TM	Issue for DP	July 24, 2015
4	TM	DP Check Set	July 22, 2015
3	AD	Issue for DP	July 9, 2015
2	TM	DP Check Set	July 2, 2015
1	TM	Issue for Coordination	June 17, 2015

REVISIONS TABLE FOR DRAWINGS
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Project:
 PANORAMA DRIVE

Location:
 5750 Panorama Drive
 Surrey, BC

Drawn: JT, TM
Checked: TM
Approved: MVDZ
Stamp:
Original Sheet Size: 24" x 36"

Scale: 1:300
 CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE DRAWING AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

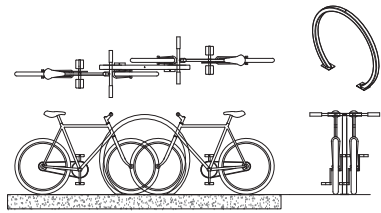


Drawing Title: APARTMENTS - OVERALL SITE AND TREE PLAN

VDZ Project #: DP2015-18

Drawing #: L-08

V:\05 - NEW DEVELOPMENT\05 - APARTMENTS\05 - APARTMENTS\05 - APARTMENTS - OVERALL SITE AND TREE PLAN.DWG



Notes:
 1. Product: R-8224 or approved equal
 2. Colour: Black Textured
 3. Manufacturer: Reliance Foundry Co. Ltd. @ 1-888-735-5680
 4. Bike rack to be surface mounted to concrete slab according to manufacturers specifications.
 5. Concrete slab as per Detail 5/LD-01. Slab dimensions as per plan. Min width 1220mm (4').

1 BIKE RACK
 Scale: 1:25



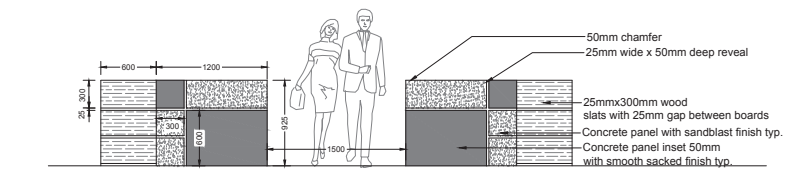
Product: Beselt Park Bench
 Model Number: BAL-5
 Supplier: Washbone Site Furnishings Ltd.
 Mount: Surface
 Colour: Black
 Contact: 866 626 0476 (toll free)

2 BENCH
 Scale: 1:10



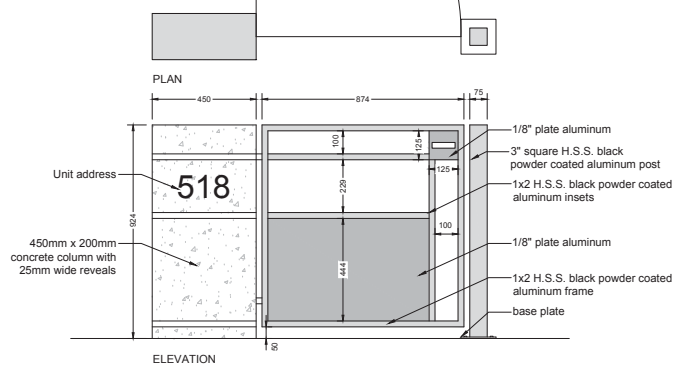
Product: Larson Picnic Table
 Model Number: LPT-6
 Supplier: Washbone Site Furnishings Ltd.
 Mount: Surface
 Colour: Black
 Slats: Walnut
 Contact: 866 626 0476 (toll free)

3 PICNIC TABLE
 Scale: 1:20



4 ENTRY FEATURE
 Scale: 1:25

Notes:
 Contractor to provide shop drawings for gate including all hardware.



5 FRONT ENTRY GATES
 Scale: 1:10

No.	By	Description	Date
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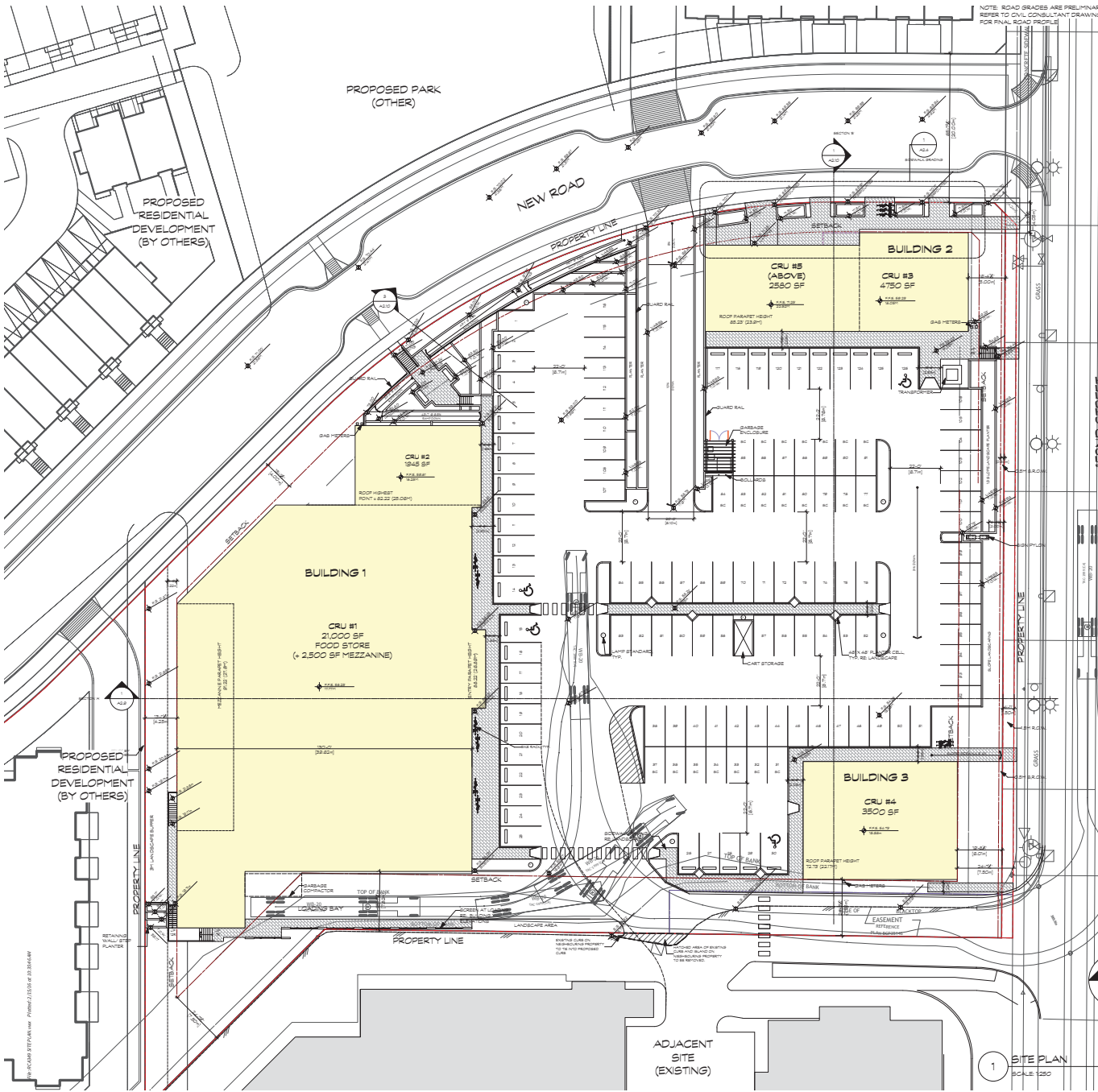
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Project:
 PANORAMA DRIVE

Location:
 5750 Panorama Drive
 Surrey, BC

Drawn: JT TM	Stamp:
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24" x 36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

VDZ: 5750 PANORAMA DRIVE, SUITE 100, SURREY, BC V4A 1V4. TEL: 604-882-0204. FAX: 604-882-0242. WWW.VDZ.CA



PANORAMA AT 152ND

SITE SUMMARY
(BASED ON C6 ZONE)

MUNICIPAL ADDRESS: 5750 PANORAMA DRIVE SURREY, B.C.
 LEGAL DESCRIPTION: LOT 13 SECTION 10 TOWNSHIP 2 PLAN LMP24916 N.W.D.
 EXISTING ZONE: C6
 PROPOSED ZONE: C6

OVERALL SITE AREA: 653,475.0 SQ.FT. 60,709.8 SQ.M. 15.00 acres
 PARCEL SITE AREA: 109,697.8 SQ.FT. 10,191.3 SQ.M. 2.52 acres

Unit 1	21,020.0 SQ.FT.	1,952.8 SQ.M.
Unit 2	1,945.0 SQ.FT.	180.7 SQ.M.
Unit 3	4,780.0 SQ.FT.	441.3 SQ.M.
Unit 4	3,500.0 SQ.FT.	325.2 SQ.M.
Unit 5	2,680.0 SQ.FT.	247.1 SQ.M.
TOTAL CRU AREA	33,925.0 SQ.FT.	3,147.1 SQ.M.

FAR: PROPOSED 0.309 PERMITTED 0.6
 LOT COVERAGE: 28.5 % 50%
 MAX BUILDING HEIGHT: 10 m 12 m

PARKING: REQUIRED 3 PER 100 m² 94 STALLS
 PROVIDED 126 STALLS

PARKING BREAKDOWN: REGULAR CAR 101 STALLS
 SMALL CAR 23 STALLS
 DISABILITY STALLE 4 STALLS

BICYCLE PARKING: REQUIRED 6 STALLS
 PROVIDED 8 STALLS

LOADING BAY: PROVIDED 1 LOADING BAY

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NO.	DATE	DESCRIPTION

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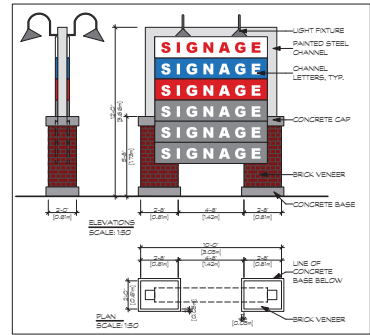
DATE	DESCRIPTION
22.12.2019	ISSUED FOR ACP
04.12.2019	ISSUED FOR REVIEW
19.02.2019	ISSUE FOR DP



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FAIRBORNE



PROJECT: PANORAMA DRIVE COMMERCIAL DEVELOPMENT
 5750 PANORAMA DRIVE SURREY, BC

DRAWN: RT CHECKED BY: []
 SCALE: AS NOTED PROJECT NO: RCA348
 SHEET TITLE: **SITE PLAN**

REVISION NO: - SHEET NO: A1.0

ADJACENT SITE (EXISTING)

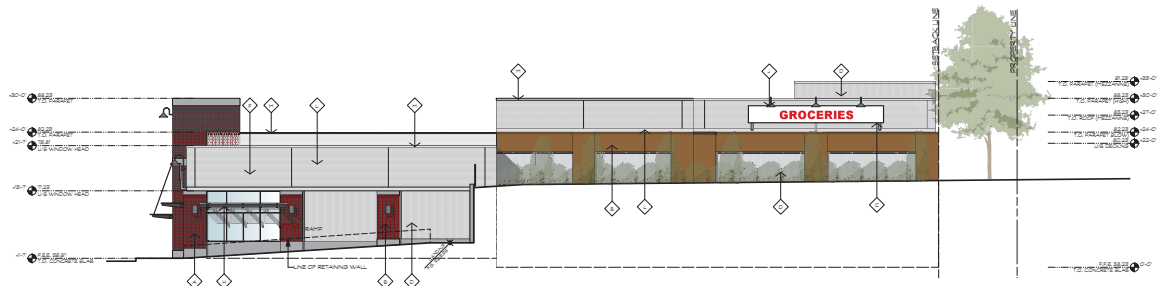
1 SITE PLAN SCALE: 1/250

2 SIGN PYLON SCALE: 1/50

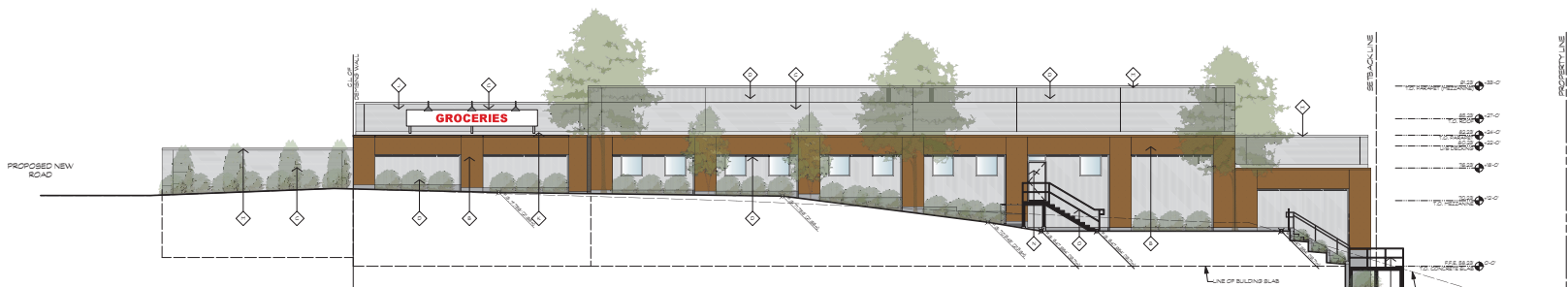
BY: MICHAEL STEVENSON PROJECT: 211516 01 23 2019



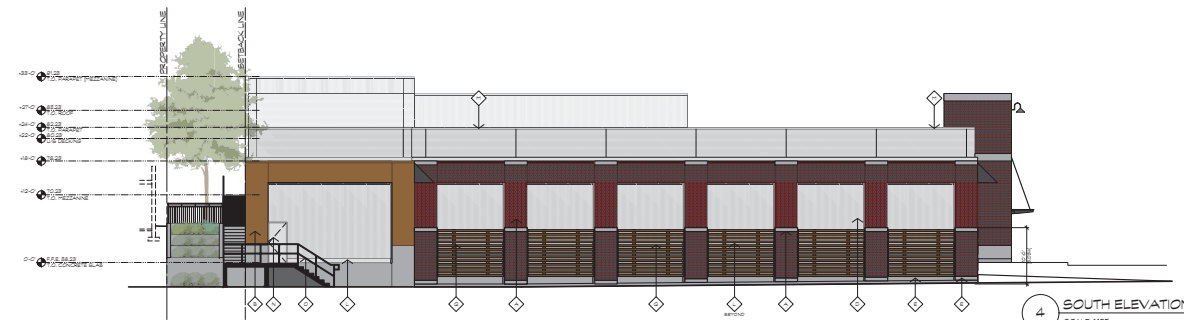
1 EAST ELEVATION
SCALE: 1/25



2 NORTH ELEVATION
SCALE: 1/25



3 WEST ELEVATION
SCALE: 1/25



4 SOUTH ELEVATION
SCALE: 1/25

- MATERIAL LEGEND**
- ◇ BRICK VENEER
 - ◇ STUCCO
 - ◇ CORRUGATED HORIZONTAL METAL SIDING
 - ◇ CORRUGATED VERTICAL METAL SIDING
 - ◇ CONCRETE
 - ◇ PAINTED ALUMINUM STOREFRONT
 - ◇ FABRIC AWNING
 - ◇ PAINTED METAL STRUCTURE GLASS CANOPY
 - ◇ LIGHT FIXTURES
 - ◇ SIGNAGE STRUCTURE
 - ◇ STEEL CHANNEL BAND
 - ◇ PREFINISHED FLASHING
 - ◇ PAINTED STEEL DOOR
 - ◇ PAINTED GUARD AND HANDRAIL
 - ◇ SPANDEL PANEL
 - ◇ STAINED WOOD TRELLIS-SCREEN

FILE: 2018010101 (Rev. 01/01/2018) - 1/16/2018 10:30 AM

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16.02.2019	ISSUE FOR CP



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PROJECT
**PANORAMA DRIVE
COMMERCIAL
DEVELOPMENT**
5750 PANORAMA DRIVE
SURREY, BC

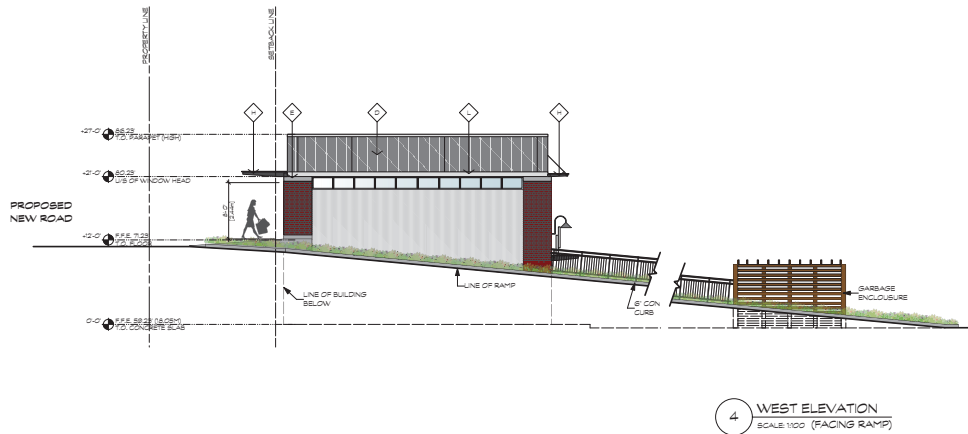
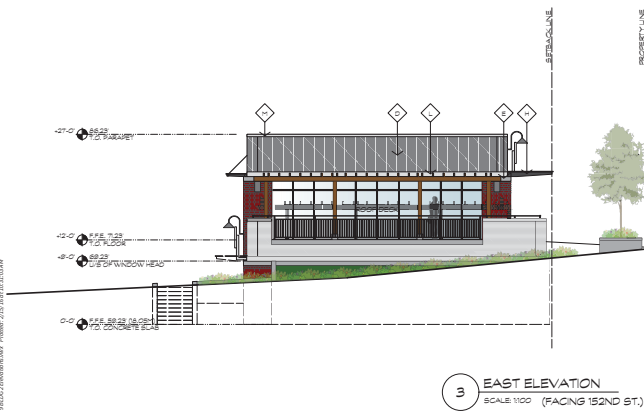
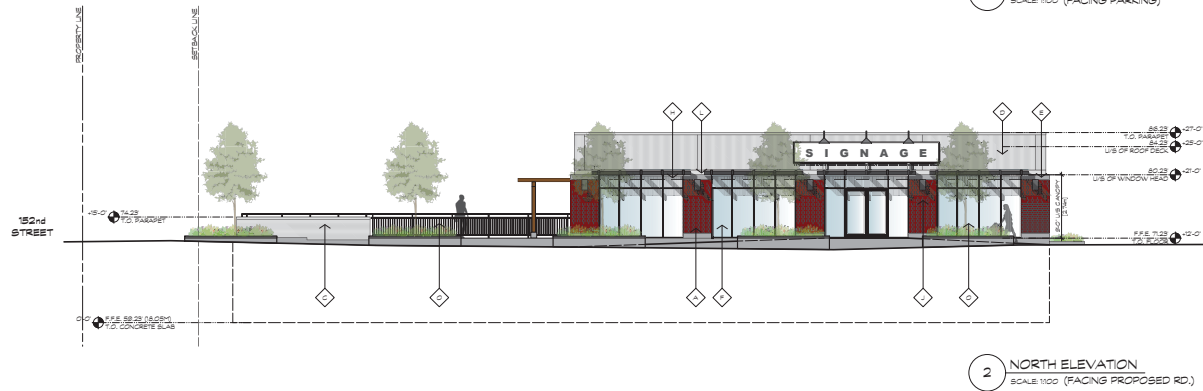
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SCALE: 1/25 PROJECT NO: PCA-342
SHEET TITLE:
**BUILDING 1
ELEVATIONS**

REVISION NO.	SHEET NO.
-	A2.3

MATERIAL LEGEND

- ◇ → BRICK VENEER
- ◇ → STUCCO
- ◇ → CORRUGATED HORIZONTAL METAL SIDING
- ◇ → CORRUGATED VERTICAL METAL SIDING
- ◇ → CONCRETE
- ◇ → PAINTED ALUMINUM STOREFRONT
- ◇ → FABRIC AWNING
- ◇ → PAINTED METAL STRUCTURE, GLASS CANOPY
- ◇ → LIGHT FIXTURES
- ◇ → SIGNAGE STRUCTURE
- ◇ → STEEL CHANNEL BAND
- ◇ → PREFINISHED FLASHING
- ◇ → PAINTED STEEL DOOR
- ◇ → PAINTED GUARD AND HANDRAIL



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PROJECT
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COMMERCIAL
DEVELOPMENT**
5750 PANORAMA DRIVE
SURREY, BC

DRAWN: RT CHECKED BY:
SCALE: 1/100 PROJECT NO.: RCA-348
SHEET TITLE:
**BUILDING 2
ELEVATION**

REVISION NO.:
-
SHEET NO.:
A2.6

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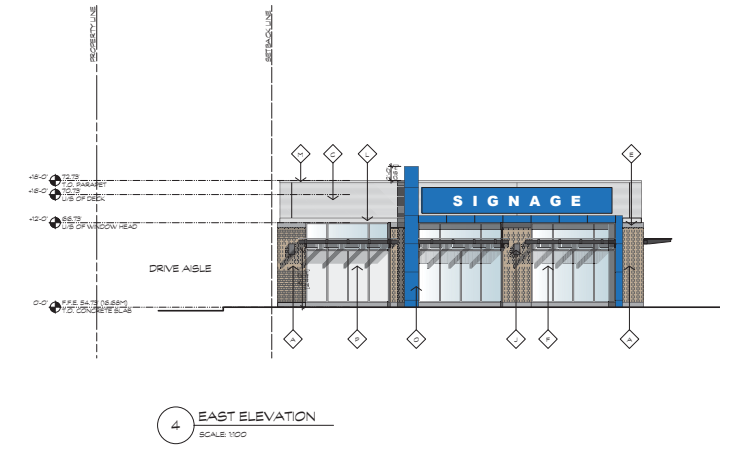
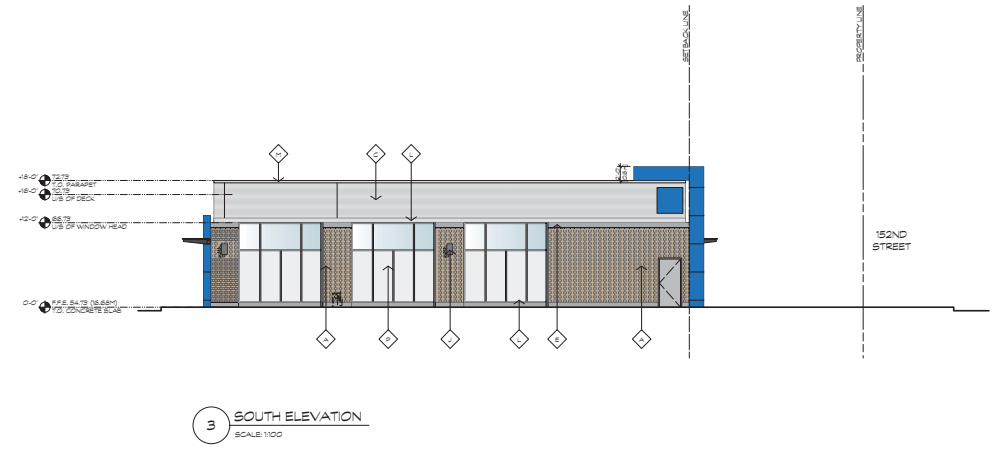
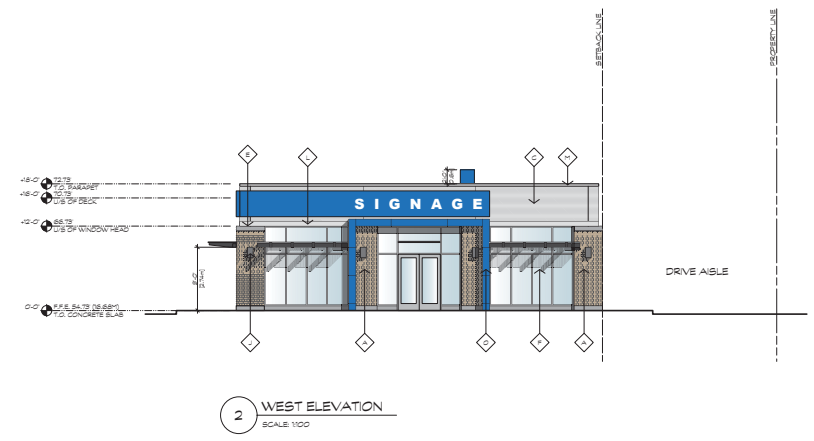
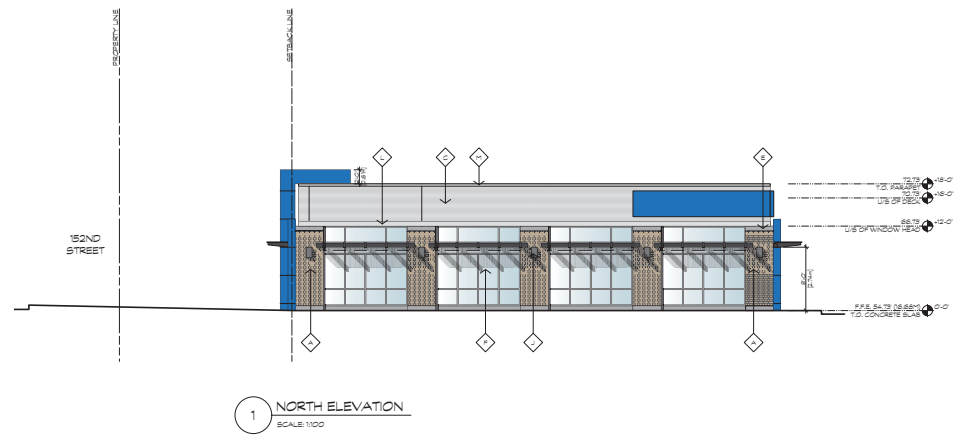
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PROJECT
**PANORAMA DRIVE
COMMERCIAL
DEVELOPMENT**
5750 PANORAMA DRIVE
SURREY, BC

DRAWN:	RT	CHECKED BY:
SCALE:	1/100	PROJECT NO.:
		PCA 342

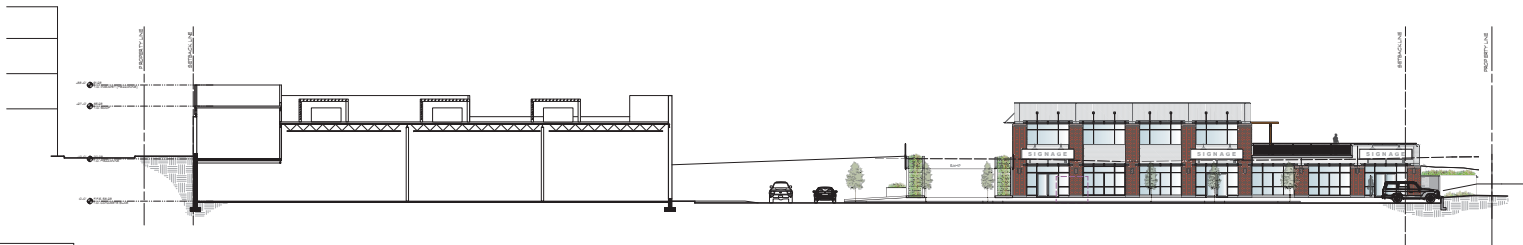
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**BUILDING 3
ELEVATION**

REVISION NO.:	SHEET NO.:
-	A2.8

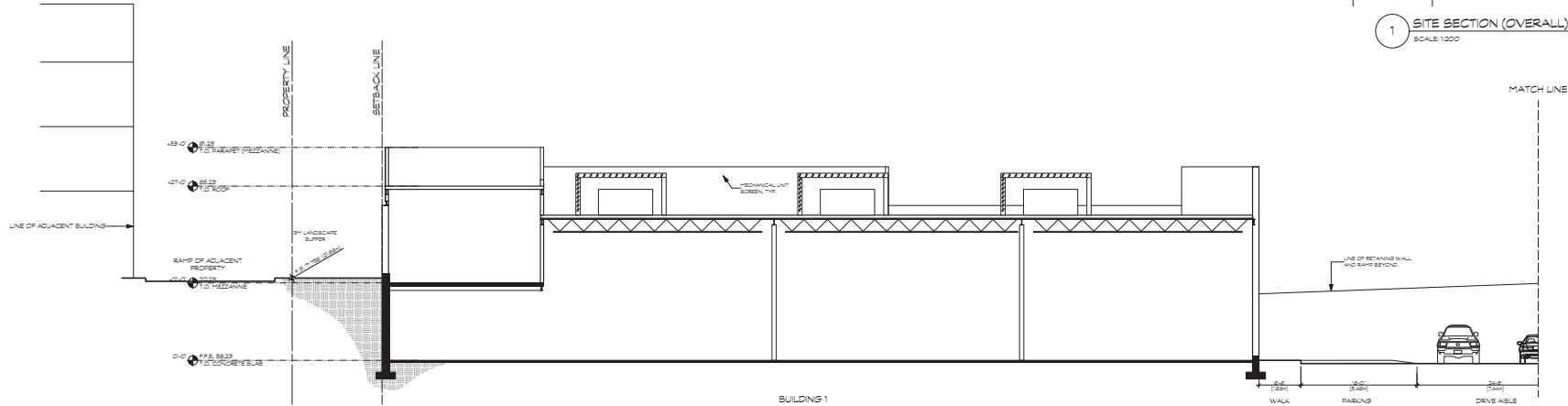


MATERIAL LEGEND

◊ → BRICK VENEER	◊ → LIGHT FIXTURES
◊ → STUCCO	◊ → SIGNAGE STRUCTURE
◊ → CORRUGATED HORIZONTAL METAL SIDING	◊ → STEEL CHANNEL BAND
◊ → CORRUGATED VERTICAL METAL SIDING	◊ → PREFINISHED FLASHING
◊ → CONCRETE	◊ → PAINTED STEEL DOOR
◊ → PAINTED ALUMINUM STOREFRONT	◊ → ALUMINUM PANELS
◊ → FABRIC AWNING	◊ → SPANDREL PANELS
◊ → PAINTED METAL STRUCTURE, GLASS CANOPY	



1 SITE SECTION (OVERALL)
SCALE: 1/200



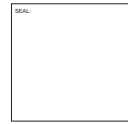
2 SITE SECTION 'A'
SCALE: 1/100



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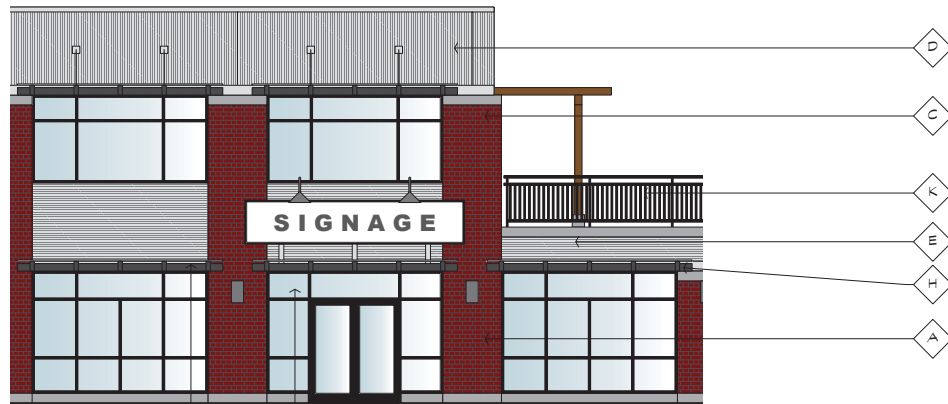
PROJECT
**PANORAMA DRIVE
COMMERCIAL
DEVELOPMENT**
5750 PANORAMA DRIVE
SURREY, BC

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SCALE: AS NOTED	PROJECT NO.: RCA-342
SHEET TITLE: SITE SECTION	

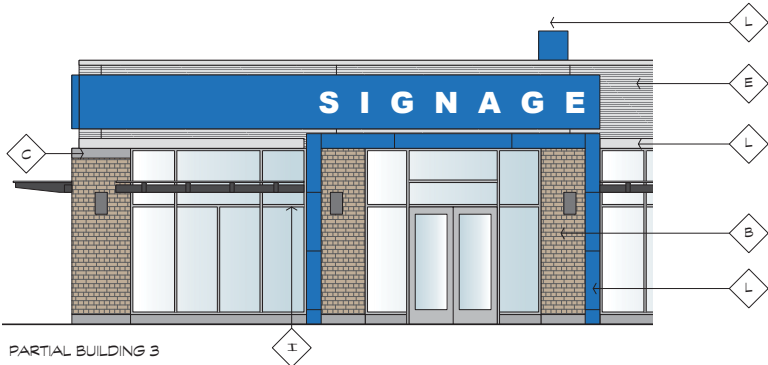
REVISION NO.: -	SHEET NO.: A2.9
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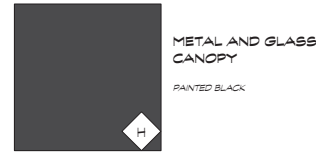
PARTIAL BUILDING 1



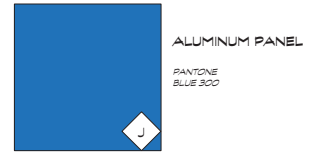
PARTIAL BUILDING 2



PARTIAL BUILDING 3



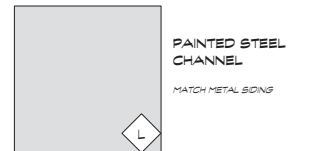
METAL AND GLASS CANOPY
PAINTED BLACK



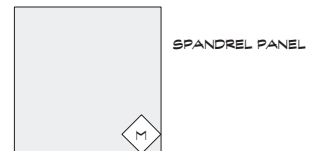
ALUMINUM PANEL
PANTONE BLUE 300



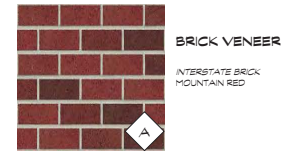
PREFINISHED METAL GUARDS AND HAND RAILS
BLACK



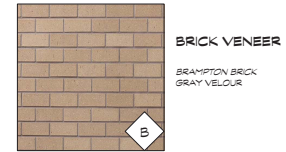
PAINTED STEEL CHANNEL
MATCH METAL SIDING



SPANDREL PANEL



BRICK VENEER
INTERSTATE BRICK MOUNTAIN RED



BRICK VENEER
BRAMPTON BRICK GRAY VELOUR



FINISHED CONCRETE
UNPAINTED SMOOTH FINISH



VERTICAL METAL SIDING
GALVALUME



HORIZONTAL METAL SIDING
GALVALUME



STUCCO
PAINTED BENJAMIN MOORE 120 HONEYCOMB



FABRIC AWNING
BLACK

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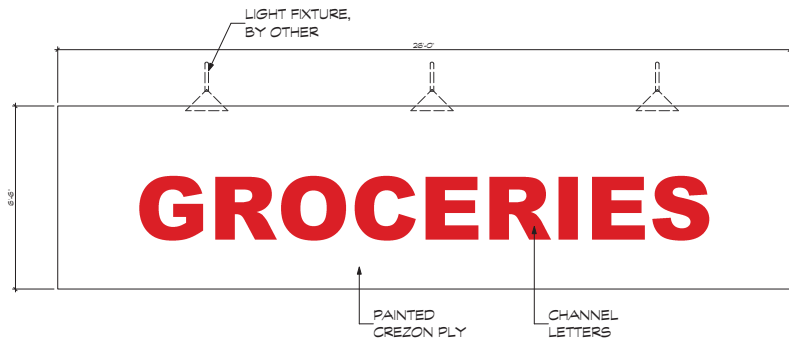
FAIRBORNE

PROJECT
PANORAMA DRIVE COMMERCIAL DEVELOPMENT
5750 PANORAMA DRIVE
SURREY, BC

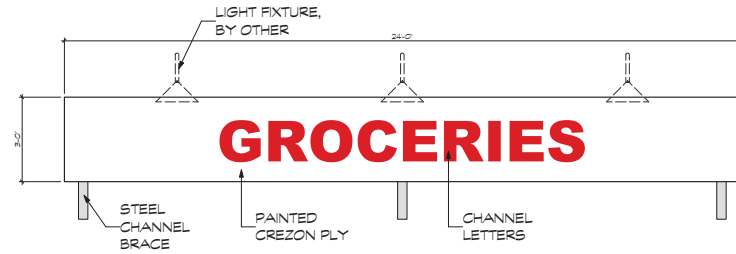
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SCALE:	N.T.S.	PROJECT NO.:
SHEET TITLE:		RCA-342
COLOUR BOARD		

REVISION NO.:	SHEET NO.:
-	A2.11

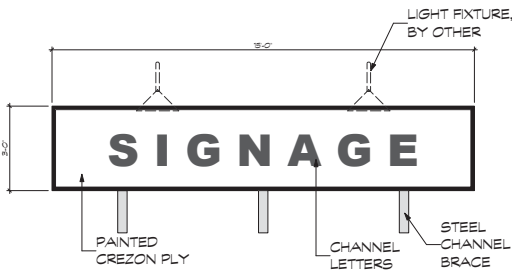
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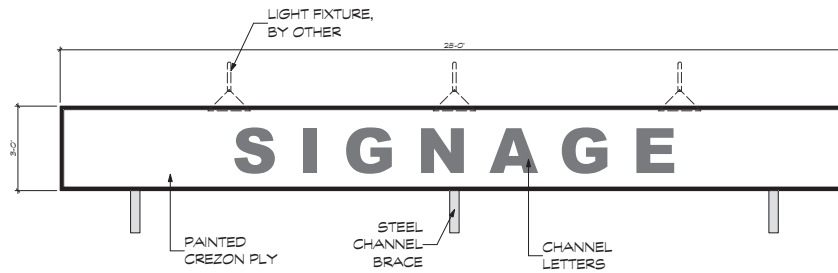
1 SIGNAGE AT BUILDING 1



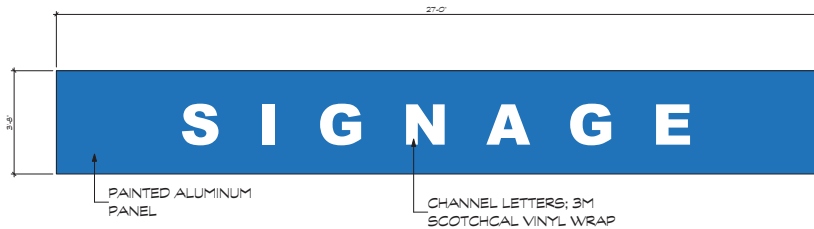
2 SIGNAGE AT BUILDING 1



3 TYPICAL SIGNAGE AT BUILDING 2



4 CRU SIGNAGE AT BUILDING 1



5 SIGNAGE AT BUILDING 3

REVISION:		
NO.	DATE	DESCRIPTION

ISSUE:	
DATE	DESCRIPTION
15.02.2018	REISSUE FOR CP



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CANADA V5Y 3Y3
TEL: (604) 687-4741

FAIRBORNE

PROJECT
**PANORAMA DRIVE
COMMERCIAL
DEVELOPMENT**
5750 PANORAMA DRIVE
SURREY, BC

DRAWN	RT	CHECKED BY:
SCALE:	1:25	PROJECT NO.: RCA-342
SHEET TITLE: SIGN DETAILS		

REVISION NO.	SHEET NO.
-	A2.12

V:\SCHEMATIC DEVELOPMENT\PROJECTS\2015\DP2015-23 PANORAMA DRIVE COMMERCIAL DEVELOPMENT SITE PLAN.DWG

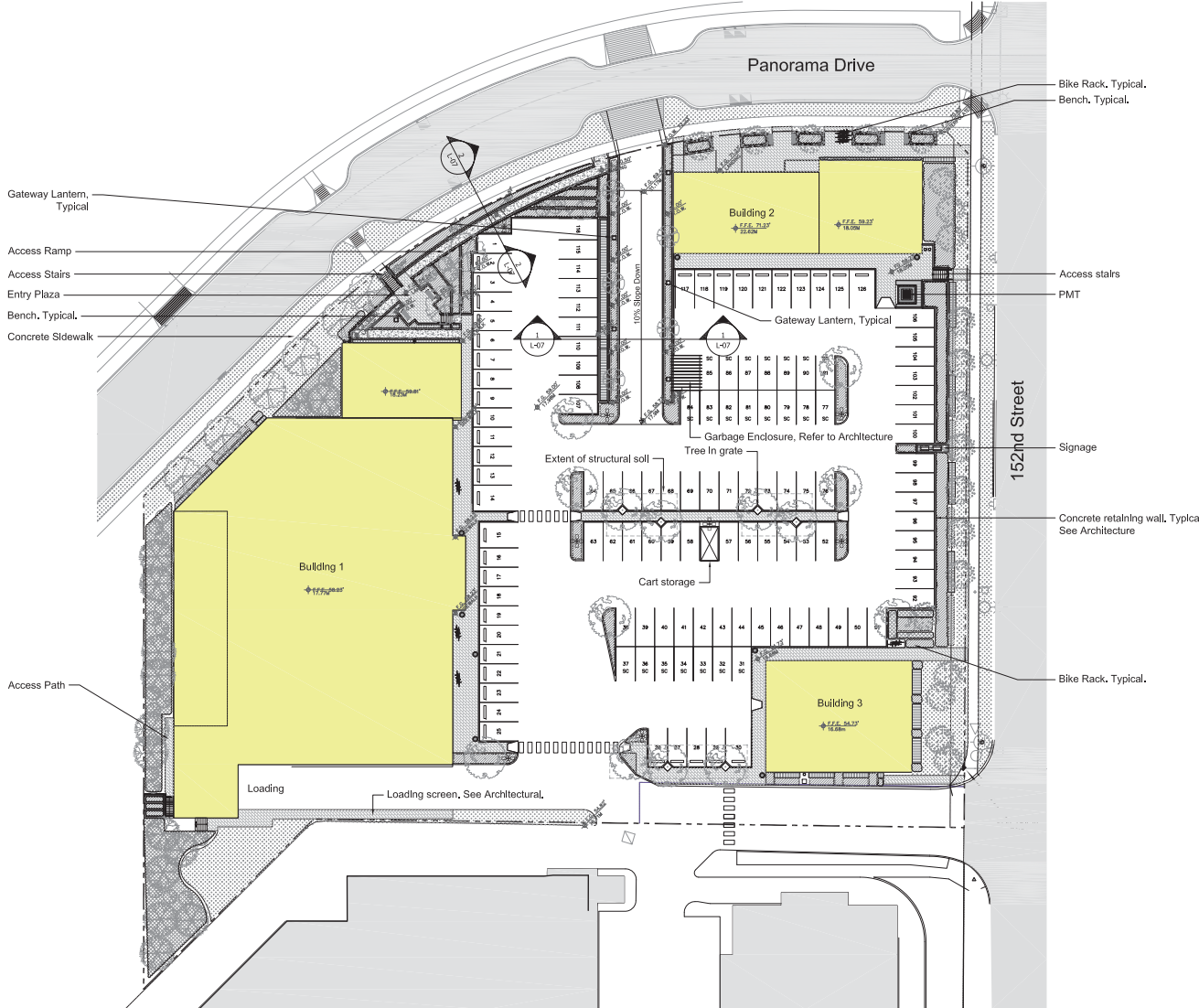
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FAIRBORNE

LEGEND

KEY	REF.	DESCRIPTION
		CONCRETE WALKWAY Refer to Architecture
		CONCRETE UNIT PAVING Refer to Architecture
	(L-06)	GROUND COVER PLANTING
	(L-06)	SHRUB PLANTING
	(L-06)	HEDGE PLANTING
	(L-06)	LAWN
	(L-01)	BENCH Besser Park Bench Wipacore Site Furnishings www.wipacore.com
	(L-01)	BIKE RACK Dero Round Rack www.dero.com
	(L-01)	Pot Berkeley Large Planter (P-512) Supplier: Campana
		Lamp Standard Refer to Electrical
		PMT 450 wide 18mm clear crush gravel, 100mm depth, 2 x 6 P.T. wood boards. Refer to Electrical for technical details.



No.	By:	Description	Date
3	TM	DP Re-submission	Feb 15, 2016
2	TM	Development Permit	Dec 18, 2015
1	TM	Advisory Design Panel	Oct 22, 2015

REVISIONS TABLE FOR DRAWINGS

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Project:
 PANORAMA DRIVE
 COMMERCIAL DEVELOPMENT

Location:
 5750 PANORAMA DRIVE
 SURREY, BC

Drawn: TM	Stamp:
Checked: MVDZ	
Approved: MVDZ	Original Sheet Size: 24"x36"

Scale:
 AS SHOWN

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. THE WORK SHALL BE DONE IN ACCORDANCE WITH THE BC BUILDING CODE. ALL DIMENSIONS SHALL BE LABELED BASED ON TRENCH/CONSTRUCTION.



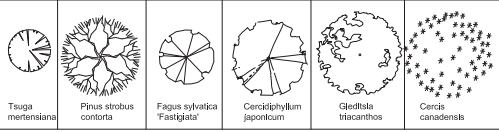
Drawing Title:
SITE PLAN



VZ Project #:
DP2015-23

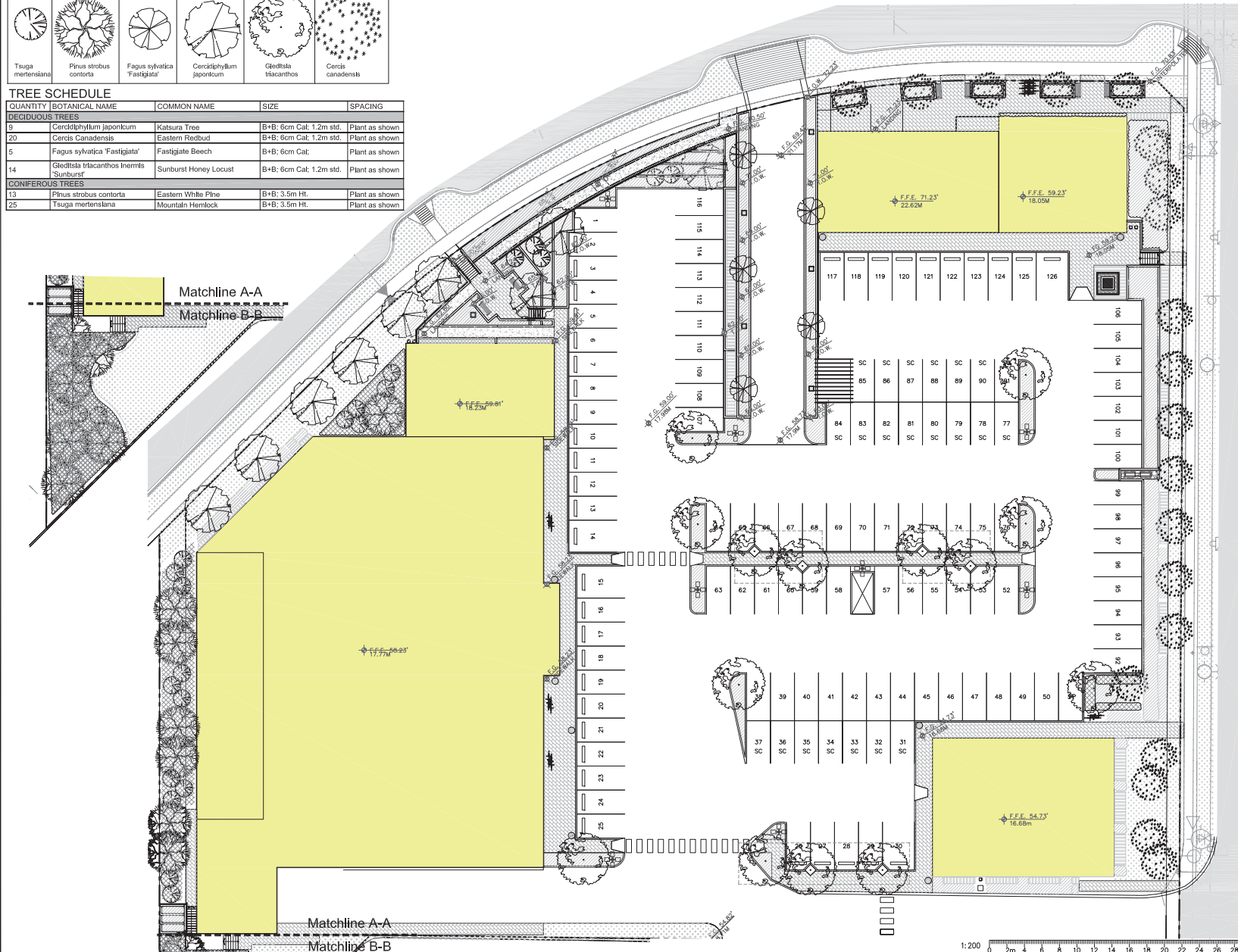
Drawing #:
L-04

TREE LEGEND



TREE SCHEDULE

QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS TREES				
9	Cercidiphyllum japonicum	Katsura Tree	B+B, 6cm Cal, 1.2m std.	Plant as shown
20	Cercis Canadensis	Eastern Redbud	B+B, 6cm Cal, 1.2m std.	Plant as shown
5	Fagus sylvatica 'Fastigiata'	Fastigate Beech	B+B, 6cm Cal.	Plant as shown
14	Gleditsia triacanthos Inermis 'Sunburst'	Sunburst Honey Locust	B+B, 6cm Cal, 1.2m std.	Plant as shown
CONIFEROUS TREES				
13	Pinus strobus contorta	Eastern White Pine	B+B, 3.5m Ht.	Plant as shown
25	Tsuga mertensiana	Mountain Hemlock	B+B, 3.5m Ht.	Plant as shown



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3	TM	DP Re-submission	Feb 15, 2016
2	TM	Development Permit	Dec 18, 2015
1	TM	Architectural Design Permit	Oct 22, 2015

No.	By:	Description	Date
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Drawing Title:
 TREE PLAN



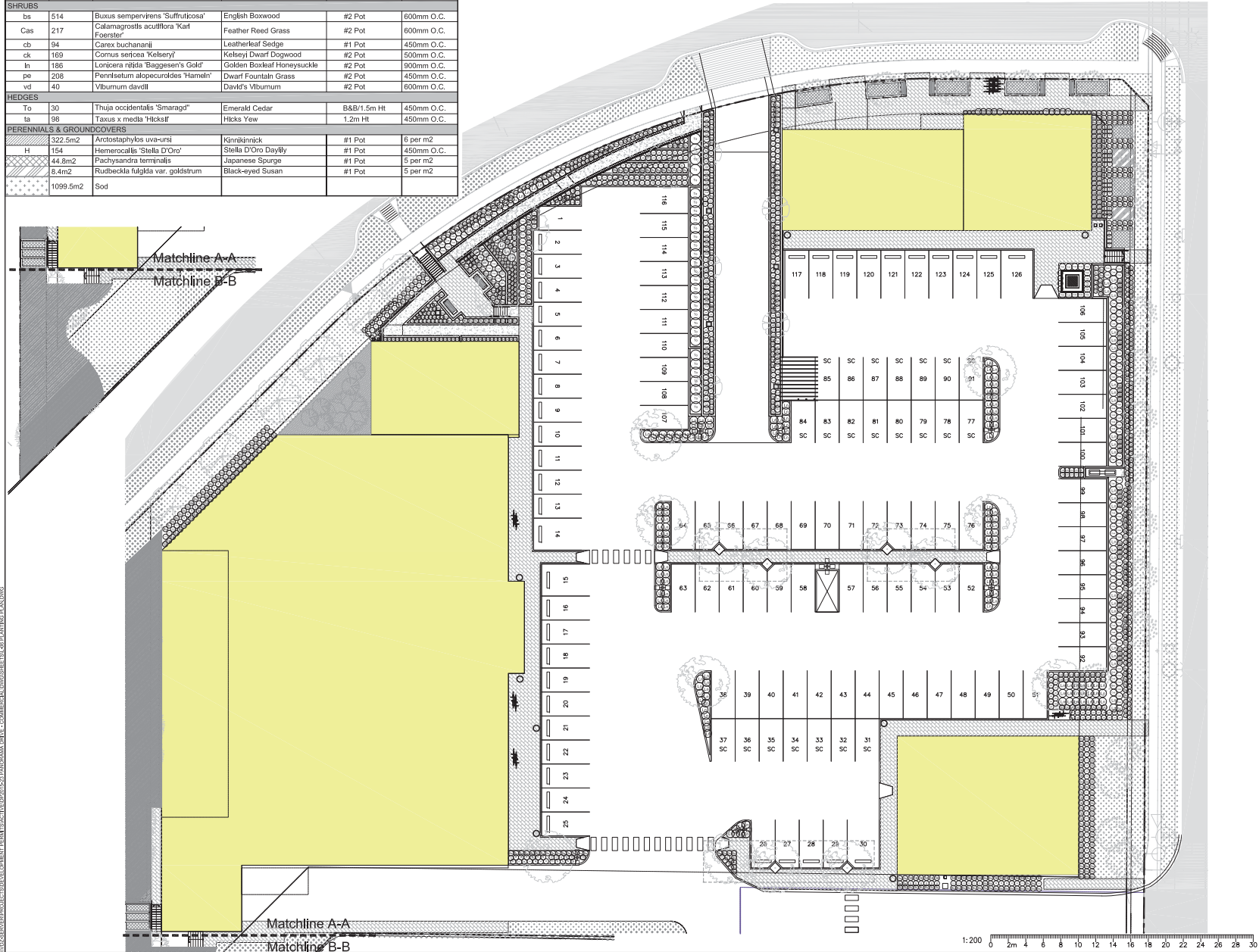
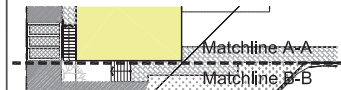
VDZ Project #:
 DP2015-23

Drawing #:
 L-05

PROJECT LOCATION: 5750 PANORAMA DRIVE, SURREY, BC. COMMERCIAL DEVELOPMENT. DRAWING NO. L-05. DATE: 2015.

PLANT SCHEDULE

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPACING
SHRUBS					
bs	514	<i>Buxus sempervirens</i> 'Suffruticosa'	English Boxwood	#2 Pot	600mm O.C.
Cas	217	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Feather Reed Grass	#2 Pot	600mm O.C.
cb	94	<i>Carex buechananii</i>	Leatherleaf Sedge	#1 Pot	450mm O.C.
ck	169	<i>Cornus sericea</i> 'Kelsey'	Kelsey Dwarf Dogwood	#2 Pot	500mm O.C.
ln	186	<i>Lonicera njtda</i> 'Baggesen's Gold'	Golden Boxleaf Honeysuckle	#2 Pot	900mm O.C.
pe	208	<i>Pennisetum alopecuroides</i> 'Hameln'	Dwarf Fountain Grass	#2 Pot	450mm O.C.
vd	40	<i>Viburnum davidii</i>	Davidi's Viburnum	#2 Pot	600mm O.C.
HEDGES					
To	30	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Cedar	B&B/1.5m Ht	450mm O.C.
ts	96	<i>Taxus x media</i> 'Hicksii'	Hicks Yew	1.2m Ht	450mm O.C.
PERENNIALS & GROUND COVERS					
	322.5m ²	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	#1 Pot	6 per m ²
H	154	<i>Hemerocallis</i> 'Stella D'Oro'	Stella D'Oro Daylily	#1 Pot	450mm O.C.
	44.8m ²	<i>Pachysandra terminalis</i>	Japanese Spurge	#1 Pot	5 per m ²
	8.4m ²	<i>Rudbeckia fulgida</i> var. <i>goldstrum</i>	Black-eyed Susan	#1 Pot	5 per m ²
	1099.5m ²	Sod			



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FAIRBORNE

- NOTES:**
- PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS OF THE BC LANDSCAPE STANDARD, CURRENT EDITION.
 - ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BC LNA OR BC SLA GUIDELINES.
 - TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
 - AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
 - TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 A. SHRUBS: 450MM
 B. SOD: 150MM
 C. TREE PITS: 1000MM WITH 300MM (BELOW ROOT BALL)
 - 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
 - ALL LANDSCAPED AREAS TO BE IRRIGATED.

No.	By:	Description	Date
3	TM	DP Revision/Action	Feb 15, 2016
2	TM	Development Permit	Dec 18, 2015
1	TM	Architect Design Permit	Oct 22, 2015

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 PANORAMA DRIVE
 COMMERCIAL DEVELOPMENT

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Approved: Original Sheet Size: 24"x36"

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Drawing Title: **PLANTING PLAN**



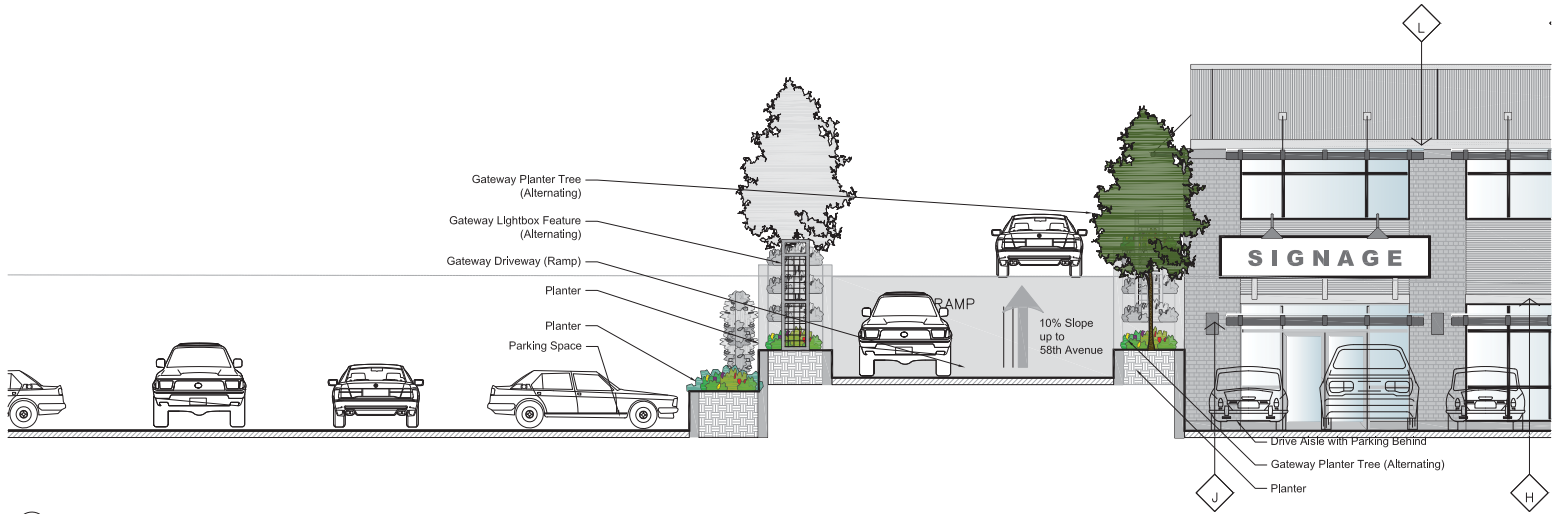
VDZ Project #: **DP2015-23**

Drawing #: **L-06**

PROJECT LOCATION: 5750 PANORAMA DRIVE, SURREY, BC. DRAWING DATE: 2015-10-22. DRAWING SCALE: 1:200.



FAIRBORNE



1 SECTION 1 - CROSS-SECTION OF NORTH ENTRY DRIVEWAY
 Scale 1:50



2 SECTION 2 - TRANSITION FROM 58TH AVENUE TO PARKING LOT
 Scale 1:50

No.	By:	Description	Date
3	TM	DP Re-submission	Feb 15, 2016
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1	TM	Advisory Design Panel	Oct 22, 2015

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**PANORAMA DRIVE
 COMMERCIAL DEVELOPMENT**

Location:
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 SURREY, BC**

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Approved: MVDZ	Original Sheet Size: 24"x36"

Scale:
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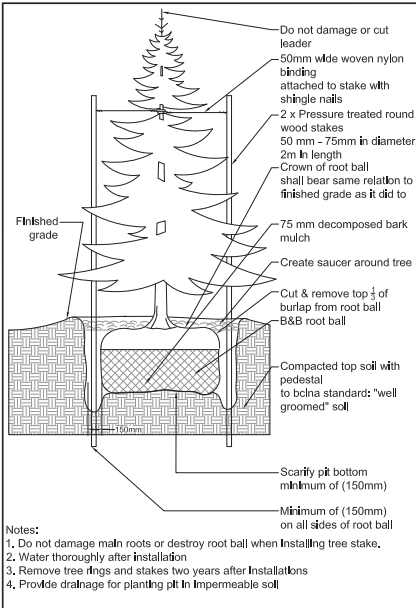
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SECTIONS



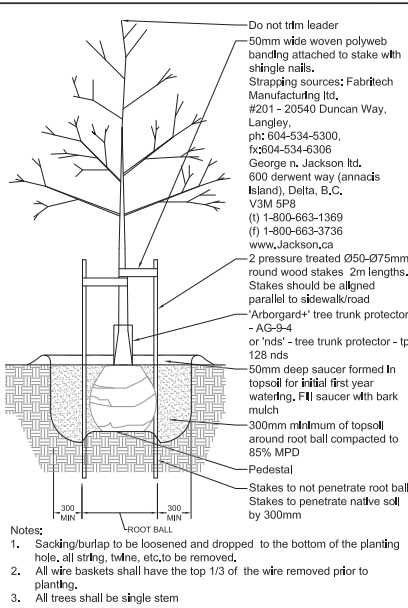
VDZ Project #:
DP2015-23

Drawing #:
L-07

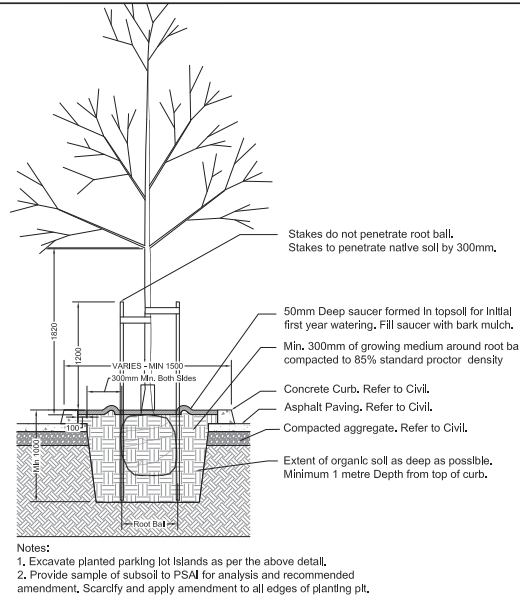
5750 PANORAMA DRIVE COMMERCIAL DEVELOPMENT - PERMIT TO CONSTRUCT - 2015-2016 - 5750 PANORAMA DRIVE - COMMERCIAL DEVELOPMENT - SECTION 1 AND 2



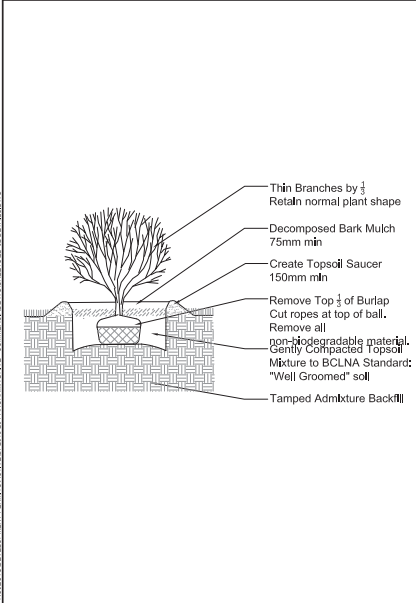
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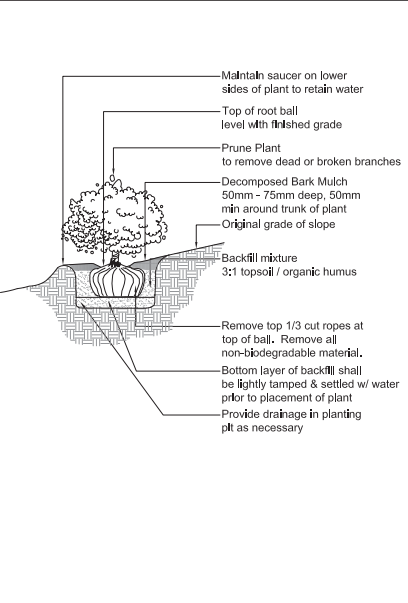
2 DECIDUOUS TREE
Scale 1:25



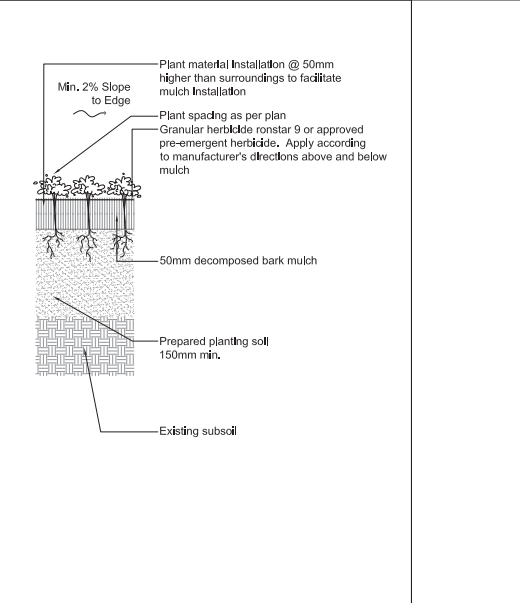
3 TREE IN ISLAND
Scale 1:25



4 SHRUB PLANTING DETAIL
Scale 1:25



5 SHRUB ON SLOPE PLANTING DETAIL
Scale NTS



6 GROUND COVER PLANTING DETAIL
Scale NTS

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Drawing Title:
DETAILS

VDZ Project #:
DP2015-23

Drawing #:
LD-02

VAN DER ZALM + ASSOCIATES INC. 5750 PANORAMA DRIVE, SURREY, BC V3R 9M7

Appendix III

Planning Report Date: March 7, 2016

PROPOSAL:

- **Partial OCP Amendment** from “Commercial” to “Multiple Residential”
- **NCP Amendment** from “Institutional” to “Commercial”, “Townhouses 25 upa max”, “Apartment 65 upa max”, and “Park”
- **Rezoning** from CD (By-law No. 12282) to RA, C-8, RM-30 and RM-70
- **Development Permit**
- **Development Variance Permit**

to permit the development of 198 townhouse units, 106 apartment units and a commercial plaza.

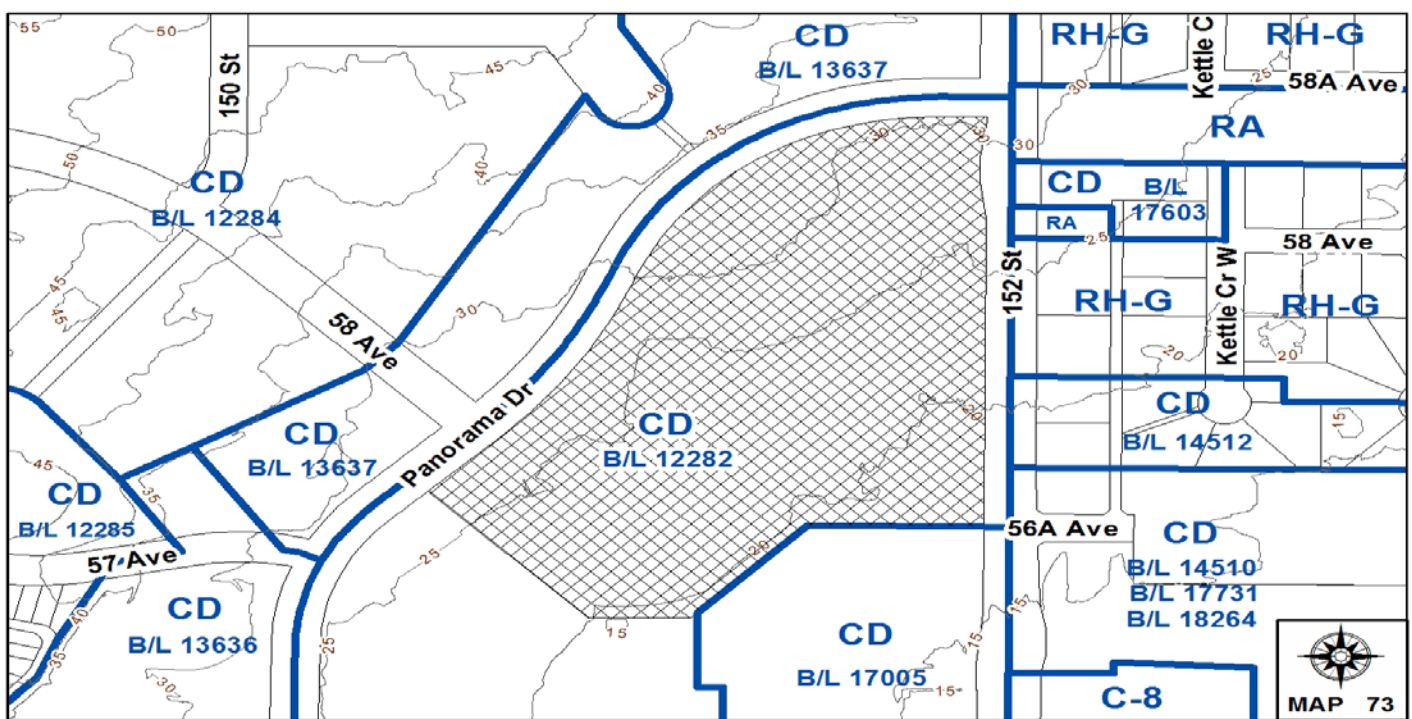
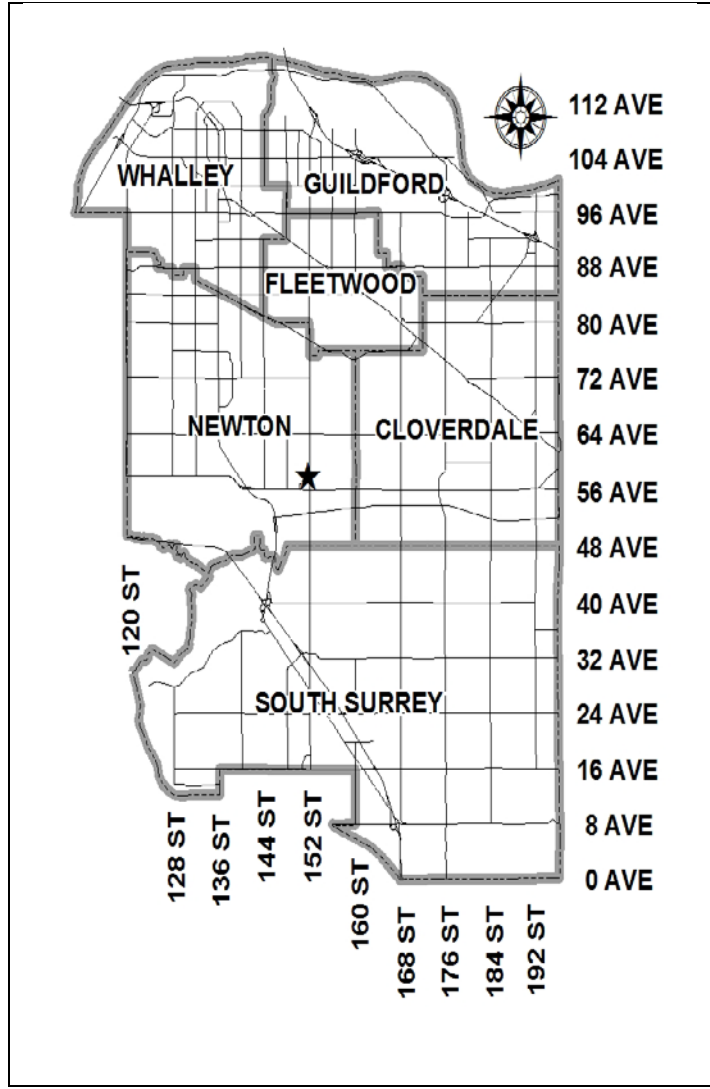
LOCATION: 5750 Panorama Drive

OWNER: Redekop (Panorama) Homes Ltd

ZONING: CD (By-law No. 12282)

OCP DESIGNATION: Commercial

NCP DESIGNATION: Institutional



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to reduce indoor amenity space for the townhouse site.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing a partial OCP amendment to redesignate a portion of the site from “Commercial” to “Multiple-Residential”.
- The applicant is proposing an NCP amendment from “Institutional” to “Commercial”, “Townhouses 25 upa max” and “Apartments 65 upa max”.
- The applicant is seeking to reduce setbacks for the proposed townhouses, apartment and commercial buildings, to increase lot coverage for the apartment site, and to reduce parking requirements for the apartment site.
- The applicant is seeking to reduce the indoor amenity space from the required 594 square metres (6,394 sq.ft.) to 191 square metres (2,058 sq.ft.), and pay cash-in-lieu for the shortfall.

RATIONALE OF RECOMMENDATION

- Partly complies with OCP Designation. An amendment is required for the proposed residential portion of the site, to redesignate from “Commercial” to “Multiple-Residential”.
- The proposed development is comprehensively designed, and is appropriate in scale and density to the existing neighbourhood context. The development builds on and supports the existing commercial centre at the corner of 152 Street and Highway No. 10, while being sensitive in interfacing with the existing residential neighbourhood to the north and west across Panorama Drive.
- Given the site’s location close to the major intersection of 152 Street and Highway No. 10, the commercial site to the south, and the presence of transit along 152 Street, and the proposed park improvements, there is merit to the proposed OCP and NCP redesignations.
- The proposed setbacks achieve a more urban, pedestrian streetscape.

-
- The proposed increase in lot coverage assists in reducing the building height to a 4-storey height, which is a more appropriate massing for the neighbourhood.
 - The proposed indoor amenity space shortfall is supportable given that the proposed reduced indoor amenity space is functional, with the remaining shortfall addressed through a cash-in-lieu contribution in accordance with City policy.
 - The proposed development assists in achieving a finer grained road network, with the applicant providing a dedication for a new east-west road, connecting 152 Street to Panorama Drive, and also a north-south road linking the new east-west road to the existing commercial area south of the subject site along Highway No. 10.
 - The City will be acquiring park land from the applicant, which will enable a park land linkage from the existing Springwood Forest Park to the existing commercial area south of the subject site at the corner of Highway No. 10 and 152 Street, and will also provide a new open space area/play area for neighbourhood residents.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to partially amend the OCP by redesignating a portion of the subject site in Development Application No. 7914-0286-00 from to “Commercial” to “Multiple Residential” and a date for Public Hearing be set (Appendix VIII).
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "CD By-law No. 12282" (CD) to:
 - “Community Commercial Zone” (C-8) for the portion of the site shown as Block E on the attached zoning block plan (Appendix II);
 - “One-Acre Residential (RA)” for the portion of the site shown as Block B on the attached zoning block plan (Appendix II);
 - "Multiple Residential 30 Zone” (RM-30) for the portions of the site shown as Blocks A and C on the attached zoning block plan (Appendix II);
 - “Multiple Residential 70 Zone” (RM-70) for the portion of the site shown as Block D on the attached zoning block plan (Appendix II);and a date be set for Public Hearing.
4. Council approve the applicant's request to reduce the amount of required indoor amenity space from 594 square metres (6,394 square feet) to 191 square metres (2,058 square feet), for the proposed townhouse site.
5. Council authorize staff to draft Development Permit No. 7914-0286-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix II).
6. Council approve Development Variance Permit No. 7914-0286-00 (Appendix IX) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum setback of the C-8 Zone from 7.5 metres (25 ft.) to:
 - i. 5.0 metres (16.5 ft.) for the east property line (along 152 Street);
 - ii. 4.25 metres (14 ft.) for the west property line; and
 - iii. 4.0 metres (13 ft.) for the north property line (along the new east-west road);

- (b) to reduce the minimum setback of the RM-30 Zone from 7.5 metres (25 ft.) to:
 - i. 4.5 metres (15 ft.) to the building face, and 3.5 metres (11 ft.) to the bay window, along Panorama Drive, the new east-west road and the new north-south road;
 - ii. 4.5 metres (15 ft.) to the building face, and 3.4 metres (11 ft.) to the bay window, along 152 Street;
 - iii. 3.0 (10 ft.) to the building face, and 1.9 metres (6 ft.) to the bay window, along the proposed park parcel; and
 - iv. 4.4 metres (14.5 ft.) for Townhouse Building 4 in the southwest corner of the site.
 - (c) to reduce the minimum setback of the RM-70 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for the west, south and north setbacks;
 - (d) to increase the maximum lot coverage of the RM-70 Zone from 33% to 40%; and
 - (e) to reduce the minimum number of on-site resident parking spaces for the apartment site from 151 parking stalls to 139 parking stalls.
7. Council instruct staff to resolve the following issues prior to final adoption:
- (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) submission of an acoustical report for the townhouse units adjacent to 152 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (g) registration of a Section 219 Restrictive Covenant on the townhouse site to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
 - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and

- (i) the applicant adequately address the impact of reduced indoor amenity space.
8. Council pass a resolution to amend the South Newton NCP to redesignate the land from “Institutional” to “Commercial”, “Townhouses 25 upa max.”, “Apartments 65 upa max.” and “Park”, as well as adjust the road network when the project is considered for final adoption, per Appendix VII.

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
School District:	<p>Projected number of students from this development:</p> <p>60 Elementary students at Sullivan Elementary School 32 Secondary students at Sullivan Heights Secondary School</p> <p>(Appendix IV)</p> <p>The applicant has advised that the first dwelling units in this project are expected to be constructed and ready for occupancy by summer of 2017.</p>
Parks, Recreation & Culture:	Parks will acquire the proposed parkland, as shown in Appendix II. The applicant has agreed to provide improvements to the proposed park, including grading, drainage, hard surface pathway, landscape and design services as part of a community benefit in light of the proposed OCP amendment. Building elevations adjacent to parkland should ensure CPTED and urban design principles are applied. All fencing adjacent to parkland should be permeable and limited to 1.2 m in height. The applicant should set back any “up-hill” retaining walls adjacent to parkland.
Ministry of Transportation & Infrastructure (MOTI):	Preliminary approval was granted for the rezoning under MOTI file #2014-05984.
Surrey Fire Department:	No concerns.
Ministry of Environment:	The site received a Certificate of Compliance dated December 5, 2013. The Certificate of Compliance states that “a qualified environmental consultant must be available to identify, characterize and appropriately manage any environmental media that may be contaminated and may be encountered during any future subsurface work at the site”. This will be a requirement of the Servicing Agreement, and the Building Permit, as applicable.

SITE CHARACTERISTICS

Existing Land Use: vacant property

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North and West (Across Panorama Drive):	Townhouse units.	Multiple Residential / Apartments (45 upa max)	CD (By-law No. 13637)
East (Across 152 Street):	Single family residential.	Urban and Suburban	RH-G, RA and CD (By-law Nos. 17603, 18281, 14512, 14510, 17731 and 18264)
South:	Commercial complex with Market Place IGA, Shoppers Drug Mart and other CRUs	Commercial / Commercial	CD (By-law Nos. 17005 and 12282)

JUSTIFICATION FOR PLAN AMENDMENT

- The applicant is proposing to amend the Official Community Plan (OCP) from “Commercial” to “Multiple Residential” for a portion of the site and to amend the South Newton Neighbourhood Concept Plan (NCP) to redesignate the subject site from “Institutional” to “Commercial”, “Townhouses 25 upa max.”, “Apartments 65 upa max.” and “Park”.
- The applicant is proposing to retain a portion of the site’s OCP “Commercial” designation, in the southeast corner of the site, adjacent to the existing commercial plaza south of the subject site. The proposed amendment to “Multiple Residential” for the remainder of the site corresponds with the adjacent “Multiple Residential” designation on the sites to the north and west. The applicant has agreed to provide improvements to the proposed park within the development, including grading, drainage, hard surface pathway, landscape and design services as part of a community benefit in light of the proposed OCP amendment.
- The current NCP “Institutional” designation reflects the fact that the site was owned for many years by the Province, with the expectation that the subject site would develop into a hospital and/or a post-secondary institution. However, the site was sold to the private sector in 2014.
- The proposed development is comprehensively designed, and is appropriate in scale and density to the existing neighbourhood context. The development builds on and supports the existing commercial centre at the corner of 152 Street and Highway No. 10, while being sensitive in interfacing with the existing residential neighbourhood to the north and west across Panorama Drive.
- Given the site’s location close to the major intersection of 152 Street and Highway No. 10, the commercial site to the south, and the presence of transit along 152 Street, and the proposed park improvements, there is merit to the proposed OCP and NCP redesignations.

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 879 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

DEVELOPMENT CONSIDERATIONS

Background

- The 6.1-hectare (15.0 acre) subject site is located at the southwest corner of 152 Street and Panorama Drive. The site is sparsely treed and slopes from north to south.
- The site is currently designated “Commercial” in the OCP, “Institutional” in the South Newton NCP, and is zoned “Comprehensive Development Zone” (CD) (By-law No. 12282).
- When the commercial site at the northeast corner of Highway No. 10 (56 Avenue) and 152 Street was developed in the 1990s, it was expected that the subject site would develop into a hospital and university. The site was owned by the Province for many years, but was sold to the private sector in 2014.

Proposal

- The applicant is proposing:
 - the above described OCP and NCP amendments;
 - to rezone the site from CD (By-law No. 12282) to:
 - “Multiple Residential 30 Zone” (RM-30) for the townhouse portion;
 - “Multiple Residential 70 Zone” (RM-70) for the apartment portion;
 - “Community Commercial Zone” (C-8) for the commercial portion; and
 - “One-Acre Residential Zone” (RA) for the park portion;
 - a Development Permit to allow the development of 198 townhouse units, 106 apartment units and a 3-building commercial plaza;
 - a Development Variance Permit to reduce setbacks for the proposed townhouses, apartment and commercial buildings, to increase lot coverage for the apartment site, and to reduce parking requirements for the apartment site.
- The applicant proposes to subdivide the site into 4 lots: one commercial lot, one apartment site, one townhouse site, and one park parcel.
- The park site will be purchased by the City, but the applicant will provide improvements to the park, including completion of site grading, drainage, a pathway and landscaping as a community benefit in light of the proposed OCP amendment.

- Three buildings are proposed on the commercial portion of the site: one large grocery store with a smaller commercial unit at the west portion of the commercial site, and two smaller buildings at each corner of the site along 152 Street.
- A townhouse site is proposed with a total of 198 ground-oriented units. A 4-storey rental apartment building with 106 units is also proposed. Twenty-one (21) units (20%) are proposed as studios or 1-bedroom units, and the remaining 84 units are proposed as 2-bedroom or 2-bedroom and den units.

DESIGN PROPOSAL AND REVIEW

Commercial Site

- The commercial lot is proposed at the southeast corner of the site along 152 Street, with a total area of 1.02 hectares (2.52 acres). The proposal is compatible with the Commercial designation in the OCP, and is considered an appropriate use for this part of South Newton. The site will interface with existing commercial to the south, the proposed apartment building to the west, 152 Street to the east and the new east-west road to the north.
- The proposal includes 3 separate buildings on the site, with a total of 3,147 square metres (33,875 sq. ft.), representing a floor area ratio (FAR) of 0.31 and lot coverage of 29%, which are within the maximum 0.8 FAR and 50% lot coverage permitted by the C-8 Zone. The proposed building height is 10 metres (33 ft.), which is within the maximum 12 metres (40 ft.) allowed in the C-8 Zone. Variances are required for some of the setbacks, and are discussed later in this report.
- Building 1 is the largest building proposed on the site, with a grocery store, and a commercial retail unit (CRU) on the northern portion of the building. Building 1 is proposed on the west portion of the commercial site. The building's main material is brick veneer (mountain red) at the base, particularly along the east and south elevations. For the north and west elevations, the main material is stucco (beige) at the base, as well as glazing (spandrel panels). For the second storey, a mix of aluminum and steel is proposed. In some areas, the height of the building has been increased to assist in screening the roof top equipment from the adjacent proposed apartment building.
- Building 2 is proposed at the northeast corner of the site, with 3 CRUs on the ground floor and 1 CRU on the upper floor. Due to the site's slope, the upper floor has ground floor access on the north elevation, and the 3 CRUs on the ground floor have ground floor access on the south elevation. The vertical columns are proposed in brick veneer (mountain red), with aluminum and glazing in between. The horizontal portions between glazing are proposed to be corrugated metal siding.
- Building 3 is a single-tenant building proposed at the southeast corner of the site. The building is proposed with a brick veneer (beige) base, and corrugated metal siding along the upper portions. Glazing and accent aluminum panels in blue are proposed along all four façades.

Commercial Site: Vehicular Access & Parking

- Vehicular access to the commercial site is proposed from the new east-west road, as well as an existing access on 152 Street, that is shared with the existing development to the south. The southern access has already been constructed, and access easements are already in place.
- A total of 126 parking stalls are proposed, exceeding the minimum 94 stalls required for the site. This includes 23 stalls for small car (within the maximum 25%), and 4 disabled parking stalls.

Commercial Site: Signage

- A free-standing sign is proposed on the east property line, along 152 Street. The proposed sign is 3.66 metres (12 ft.) in height and 3.0 metres (10 ft.) in width, and includes a brick veneer base with a steel panel above. The signage is proposed in individual channel letters, with space for 6 signs. The proposed free-standing sign is 2.0 metres (6.5 ft.) from the property line, and complies with the Sign By-law.
- Fascia signs are also proposed for the buildings, all in individual channel letters, as described below:
 - Building 1: 3 signs proposed
 - East Elevation: one sign for the grocery store – 8.0 metres (26 ft.) by 2.0 metres (6.5 ft.), and one sign for the CRU – 8.5 metres (28 ft.) by 1.0 metre (3 ft.).
 - Northwest Elevation: one sign for the grocery store – 7.3 metres (24 ft.) by 1.0 metre (3 ft.).
 - Building 2: 4 signs proposed
 - South Elevation: 3 signs for three different CRUs – 4.5 metres (15 ft.) by 1.0 metre (3 ft.).
 - North Elevation: 1 sign for the upper floor CRU – 4.5 metres (15 ft.) by 1.0 metre (3 ft.).
 - Building 3: 2 signs proposed
 - West Elevation: 1 sign – 8.2 metres (27 ft.) by 1.2 metres (4 ft.).
 - East Elevation: 1 sign – 8.2 metres (27 ft.) by 1.2 metres (4 ft.).

Townhouse Site

- The townhouse lot is in the western and northern portion of the site, with a total area of 3.3 hectares (8.15 acres). This lot will be divided into three portions due to the proposed east-west road and the park site, but will remain as one legal “hooked” lot. As such, it will be developed as one strata project.
- The proposed RM-30 Zone requires a redesignation of the property, both in the OCP, and the South Newton NCP. The proposal includes amending the OCP in this area from “Commercial” to “Multiple Residential”, and amending the South Newton NCP from “Institutional” to “Townhouses (25 upa max)”. The proposed density is considered appropriate for this part of South Newton. The proposed townhouse site will interface with existing commercial to the south, the proposed apartment building to the east and south, 152 Street to the east, Panorama Drive to the north and the new east-west road to the south.

- The proposal includes 44 separate buildings on the site, with a total of 198 units and 26,062 square metres (280,538 sq. ft.) of floor area, representing a unit density of 24 units per acre (upa), an FAR of 0.79 and lot coverage of 34.5%, which are within the maximum 0.90 FAR and 45% lot coverage permitted by the RM-30 Zone. The proposed building height is 11.7 metres (38 ft.), which is within the maximum 13 metres (42.5 ft.) permitted in the RM-30 Zone. Variances are required for some of the setbacks, as discussed later in this report.
- The portion of the site south of the new east-west road contains 4 buildings, and a total of 19 units; the portion west of the park and north of the new east-west road contains 20 buildings with a total of 90 units, including the indoor amenity building and outdoor amenity spaces; and the portion east of the park contains 20 buildings, and a total of 89 units. The number of dwelling units within each individual building varies from 2 to 8 units. Of the 198 units, 30 are proposed as 2-bedroom units, 165 as 3-bedroom units and 3 as 4-bedroom units.
- Along Panorama Drive and the new east-west road, the street-fronting units contain active living space on the ground floor which will promote interaction with the public realm. These units have entries facing the street, a walkway connecting each residence to the street, and windows that provide casual surveillance of the street.
- High quality building materials are proposed. Building materials and colours include cement boards (beige, grey, black), metal cladding (charcoal), and wood trim boards (barnwood). The roofs are proposed to be clad in black asphalt shingles and will include gables and sloped portions.

Townhouse Site: Access, Pedestrian Circulation and Parking

- Vehicular access to the townhouse site is proposed to be either from the new east-west road or the new road link to the existing commercial site to the south. No accesses are proposed on 152 Street or Panorama Drive.
- Street-fronting units along Panorama Drive and the new east-west road are proposed to have individual pedestrian access to the street. The applicant is proposing a series of paths throughout the site, providing good pedestrian connectivity throughout the site and also to the proposed park on the site.
- The majority (56.5%) of the units (112) have a side-by-side garage parking arrangement, with 86 units (43.5%) proposing a tandem parking arrangement, which complies with the maximum 50% tandem parking permitted in the Zoning By-law.
- The applicant is proposing to provide 396 resident parking spaces and 40 visitor parking spaces, which meets the parking requirements of the Zoning By-law.

Townhouse Site: Amenity Space

- The Zoning By-law requires that 594 square metres (6,394 sq. ft.) of both indoor and outdoor amenity space be provided for the townhouse portion of the site, based on 3 square metres (32 sq. ft.) per dwelling unit.

- The applicant is proposing to provide a 191 square metres (2,058 sq. ft.) indoor amenity building, which is less than the 594 square metres (6,394 sq. ft.) required under the Zoning By-Law. The proposed amenity building is attached to Townhouse Building 11, utilizing the same building materials as the townhouse units, but with a proposed flat roof. It is a site feature with a functional space, adjacent to one of the outdoor amenity spaces. The amenity building is proposed to have a kitchen on the ground floor with an accessible washroom, and a larger space on the second floor, also with a kitchen. The mailbox area is proposed on the ground floor of the amenity building. In accordance with City Policy, the applicant must address the shortfall of indoor amenity space with cash-in-lieu compensation.
- The applicant is proposing to provide outdoor amenity space containing 612 square metres (6,591 sq. ft.) in 4 separate areas on the townhouse site:
 - The outdoor amenity space adjacent to the indoor amenity space is 184.6 square metres (1,987 sq. ft.) and is located between the indoor amenity space and Townhouse Building 10, along one of the internal drive aisles. This space is proposed to have a grass/play area, two picnic tables and landscaping.
 - A 189.5-square metre (2,040 sq. ft.) outdoor amenity area is proposed along Panorama Drive, between Townhouse Buildings 15 and 18. This space has a connection to Panorama Drive, and two rain gardens and two benches are proposed.
 - A 99.7 square metres (1,073 sq. ft.) outdoor amenity area is proposed between Townhouse Buildings 7 and 8, adjacent to the proposed park. This space features a grass/play area with a rain garden and two benches.
 - A 138.5 square metres (1,490 sq. ft.) outdoor amenity area is proposed south of Townhouse Building 33, adjacent to the proposed park. This space features a proposed community garden space containing a gardening shed, with a green roof, and an outdoor seating area.
- The total 612 square metres (6,591 sq. ft.) of proposed outdoor amenity space exceeds the Zoning By-law minimum requirements of 594 square metres (6,394 sq. ft.).

Townhouse Site: Landscaping

- Landscaping is proposed throughout the townhouse site. The landscaping includes a mix of trees, shrubs, ground cover and open lawn areas. The proposed retaining walls are proposed to be architectural poured in placed concrete walls with reveal line patterns or split-face architectural modular block walls in less visible areas.
- A 1.0 metre (3.5 feet) high wood screen fence is proposed at various locations along the perimeter of the townhouse site. Decorative entry features are proposed at various pedestrian entries to the site. Front entry posts are proposed at individual unit accesses to adjacent sidewalks. Project signage is proposed at various locations to identify the project.
- Decorative paving is proposed at the vehicular entrances and pervious pavers are proposed for the visitor parking spaces. No garbage enclosure is proposed as garbage and recycling will be picked up at each unit.

Apartment Site

- The apartment lot is in the south portion of the site, with a total area of 0.66 hectares (1.64 acres).
- The proposed RM-70 Zone requires a redesignation of the property, both in the OCP, and the South Newton NCP. The proposal includes amending the OCP in this area from “Commercial” to “Multiple Residential”, and amending the South Newton NCP from “Institutional” to “Apartment (65 upa max.)”. The proposed density is considered appropriate for this part of South Newton. The apartment site will interface with the existing commercial site to the south, proposed townhouses and a new road to the west, proposed new commercial buildings to the east, and proposed townhouses and the new east-west road to the north.
- The proposal is for a 4-storey building with a total of 106 rental units and 9,915 square metres (106,724 sq. ft.) of floor area, representing an FAR of 1.49, which is within the maximum 1.5 FAR permitted in the RM-70 Zone. The proposed building height is 14.9 metres (49 ft.), which is within the maximum 50 metres (164 ft.) of the RM-70 Zone. Variances are required for some of the setbacks, lot coverage and parking, and are discussed later in this report.
- The building is proposed as an articulated building with street presence on the new east-west road, and larger setbacks along the back portion of the building, where the building interfaces with the existing commercial site to the south.
- Of the 106 units, 50 are proposed as studios or 1-bedroom units, and 56 are proposed as 2-bedroom units. As the applicant is proposing rental units, an office area is proposed on the ground floor.
- High quality building materials are proposed. Building materials and colours include cement boards (beige, grey, black), metal cladding (charcoal), and wood trim boards (barnwood). The roof is proposed to be clad in black asphalt shingles and will include gables and sloped roofs.
- The main pedestrian access is provided from the new east-west road, with individual access provided to the ground floor units.

Apartment Site: Access, Pedestrian Circulation and Parking

- All of the parking for the apartment is proposed to be provided underground. Vehicular access to the underground parkade is proposed at the east portion of the proposed apartment lot, adjacent to the proposed commercial site. Two gates are proposed to the parkade: the first gate provides access to the visitor parking area, and the second gate provides access to the residential parking area.
- Pedestrian connections to the sidewalk are proposed for most of the street-fronting ground units, and a pathway is proposed from the new north-south road on the western side of the site to allow access to the outdoor amenity area and the lobby area.
- The applicant is proposing to provide 139 resident parking spaces and 21 visitor parking spaces. The proposal complies with the minimum requirement for parking spaces for visitor parking, but a variance is required for the resident parking spaces from 151 stalls to 139 stalls. The variance is discussed later in this report.

Apartment Site: Amenity Space

- The Zoning By-law requires 318 square metres (3,423 sq. ft.) of both indoor and outdoor amenity space be provided for this project, based on 3 square metres (32 sq. ft.) per dwelling unit.
- The applicant is proposing 344 square metres (3,707 sq. ft.) of indoor amenity space, which meets the requirements in the Zoning By-Law. Each floor has a 44-square metre (475 sq. ft.) amenity space, and the ground floor has an additional 168 square metres (1,807 sq. ft.) of indoor amenity space provided. The indoor amenity spaces are as follows:
 - Ground floor: three spaces with a total area of 212 square metres (2,282 sq. ft.)
 - Meeting room: 44 square metres (475 sq. ft.)
 - Conference room: 85 square metres (914 sq. ft.)
 - Fitness room: 83 square metres (893 sq. ft.)
 - The conference room and fitness room are side-by-side, and can be combined through an operable wall to a larger 168 square-metre (1,807 sq. ft.) space;
 - 2nd floor: 44 square-metre (475 sq. ft.) games amenity;
 - 3rd floor: 44 square-metre (475 sq. ft.) crafts amenity; and
 - 4th floor: 44 square-metre (475 sq. ft.) library amenity.
- The applicant is proposing to provide 1,032 square metres (11,109 sq. ft.) of outdoor amenity space, connected with the proposed indoor amenity area, located to the south of the building. Over half of the space is proposed as a common lawn, with the remainder proposed to contain an eating area with trellis and built-in barbeque, a sandbox, and raised garden beds. The total 1,032 square metres (11,109 sq. ft.) of outdoor amenity spaces provided exceeds the Zoning By-law minimum requirements of 318 square metres (3,423 sq. ft.).

Apartment Site: Landscaping

- Landscaping is proposed throughout the apartment site. The landscaping includes a mix of trees, shrubs, ground cover and open lawn areas.

ADVISORY DESIGN PANEL

The commercial and apartment portions of the project were referred to the Advisory Design Panel (ADP) on October 22, 2015 (Appendix VI). The ADP comments and suggestions have been satisfactorily addressed.

TREES

- Laura Ralph, ISA Certified Arborist of BC Plant Health Care Inc. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	15	15	0
Cottonwood	25	25	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Apple	2	2	0
Cherry	3	3	0
Black Locust	2	2	0
Red Oak	1	1	0
Horse Chestnut	6	6	0
English Walnut	5	5	0
Scouler's Willow	11	11	0
Big Leaf Maple	14	14	0
Coniferous Trees			
Douglas Fir	7	7	0
Western Red Cedar	6	6	0
Norway Spruce	2	2	0
Total (excluding Alder and Cottonwood Trees)	59	59	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		341	
Total Retained and Replacement Trees		341	
Contribution to the Green City Fund		n/a	

- The Arborist Assessment states that there are a total of 59 protected trees on the site, excluding Alder and Cottonwood trees. Forty (40) existing trees, approximately 40% of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 158 replacement trees on the site. The applicant is proposing 341 replacement trees, exceeding City requirements.

- The new trees on the site will consist of a variety of trees including Crimson Sentry Maple, Katsura, Ace of Hearts Redbud, Skyline Honeylocust, Pin Oak, Golden Deodar Cedar, Dawn Redwood, and Vandewolf's Pyramid Limber Pine.
- In summary, a total of 341 trees are proposed to be retained or replaced on the site.

PRE-NOTIFICATION

Pre-notification letters were sent on November 04, 2015, and a development proposal sign was installed on November 10, 2015. Staff received the following correspondence:

- 34 emails expressing concerns with the proposal;
- 5 phone calls from area residents expressing concern about the proposal;
- 3 emails and 1 phone caller with general questions about the proposal and no concerns expressed;
- Ongoing correspondence with the Panorama Neighbourhood Association (PNA) via email and also meetings; and
- an on-line petition organized by the PNA at <https://www.change.org> with 246 people "signing" a petition against the proposal. No addresses or signatures are provided so it is not possible to verify all of the respondents.

The main concerns identified by area residents include:

- overcrowding in local schools – many are concerned that the proposed development will increase this issue;
- parking – concerns the proposal will add to parking congestion in the area. Many residents pointed out that they already experience parking shortages, exacerbated by the nearby YMCA;
- traffic – concerns that adding more people to the area will increase traffic.

The applicant held a Public Information (PIM) meeting on September 16, 2015 at Cambridge Elementary School from 7 pm to 8:30 pm. A total of 19 residents signed in, representing 18 households, of which 9 submitted comment sheets. The concerns identified by residents included overcrowding at local schools, traffic, parking and concerns about the proposed rental tenure of the apartment building.

On December 4, 2015 staff met with the developer and 2 representatives from the PNA. The PNA identified that their number one concern was with school overcrowding. They felt the proposed townhouses would attract a demographic with school-age children which would add to the overcrowding problem. The PNA indicated no concern with the proposed commercial or apartment portions of the site.

In terms of the main issues identified by area residents, the following can be noted:

- overcrowding in local schools – the School Board is aware of this issue.
- parking – the applicant is providing the minimum required number of parking stalls on the townhouse and commercial portions of the site, as per the Zoning bylaw. A twelve (12) stall reduction out of 154 required stalls (8% reduction) is proposed on the apartment portion, which is considered acceptable by staff based on the site's proximity to transit on 152 Street. The applicant is also providing additional on-street parking spaces on Panorama Drive and the new east-west road propose through the site. Based on a neighbourhood parking study conducted as part of the application, the number of on-street parking spaces provided exceeds the anticipated additional on-street parking demand that would be generated by the proposed development.
- traffic – The applicant was required to conduct a Traffic Impact Analysis (TIA) to assess the impacts of the anticipated site-generated traffic from the proposed development. Based on the TIA, the overall impact of the site-generated traffic on the operations of the existing transportation infrastructure is anticipated to be modest. The proposed development assists in achieving a finer grained road network to distribute traffic, with the applicant providing a dedication for a new east-west road, connecting 152 Street to Panorama Drive.
- rental – The proposed apartment building is of a high quality in terms of design and materials. The proposed rental tenure and unit type increases the housing diversity in the area. The applicant advises that the units will be targeted to residents aged 55+.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on October 17, 2014. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is within the South Newton NCP area.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposal includes a 3-building commercial development, 198 townhouses and 106 rental apartments. Community garden beds are proposed on the townhouse and apartment sites.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The applicant is proposing to utilize absorbent soils greater than 300mm (1 ft.)in depth, rain gardens, cisterns and dry swales. • Recycling pick-up is available.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • There is access to transit on 152 Street. • Secure bicycle storage is provided for the apartment building for 129 bicycles. • On-site walkways are provided.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The proposal has townhouse and apartment units facing the roads and the park, with windows facing public areas.

Sustainability Criteria	Sustainable Development Features Summary
6. Green Certification (F1)	• n/a
7. Education & Awareness (G1-G4)	• n/a

ADVISORY DESIGN PANEL

The project was reviewed by the ADP at its meeting of October 22, 2015 (minutes, Appendix VI).

The applicant has resolved the majority of the issues identified by the Panel to the satisfaction of the Planning and Development Department.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum setback of the C-8 Zone from 7.5 metres (25 ft.) to:
 - 5.0 metres (16.5 ft.) for the east property line (along 152 Street);
 - 4.25 metres (14 ft.) for the west property line; and
 - 4.0 metres (13 ft.) for the north property line (along the new east-west road).

Staff Comments:

- The proposed variances along 152 Street and the new east-west road bring the buildings closer to the street which animates the public realm and encourages pedestrian activity along the street frontages.
- The applicant is proposing heavy planting along the westerly property line to provide screening for proposed Building 1.

(b) Requested Variance:

- To reduce the minimum setback of the RM-30 Zone from 7.5 metres (25 ft.) to:
 - 4.5 metres (15 ft.) to the building face, and 3.5 metres (11 ft.) to the bay window, along Panorama Drive, the new east-west road and the new north-south road;
 - 4.5 metres (15 ft.) to the building face, and 3.4 metres (11 ft.) to the bay window, along 152 Street;

- 3.0 (10 ft.) to the building face, and 1.9 metres (6 ft.) to the bay window, along the proposed park parcel; and
- 4.4 metres (14.5 ft.) for Townhouse Building 4 in the southwest corner of the site.

Staff Comments:

- The proposed setbacks for the townhouse site will bring the townhouse units closer to the street and the park parcel which allows the units to better engage the street and park, which enlivens the public realm, and also provides surveillance over the public realm.
- The proposed setbacks allow for sufficient landscaping that helps delineate the private and public realms, while still allowing the townhouse buildings to address the public realm.

(c) Requested Variance:

- To reduce the minimum setback of the RM-70 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for the west, south and north setbacks.

Staff Comments:

- The proposed setback along the street frontages will bring the apartment units to better engage the street, which enlivens the public realm, and also provides surveillance over the public realm.
- The proposed relaxation for the south setback (adjacent to the existing commercial site to the south) is only for a corner of the building. The rest of the building has a substantial setback on the south side, and also a large outdoor amenity area which buffers the building from the neighbouring commercial site.

(d) Requested Variance:

- To increase the maximum lot coverage of the RM-70 Zone from 33% to 40%.

Staff Comments:

- The proposed increase in lot coverage assists in reducing the building height to a 4-storey height, which is a more appropriate massing for the neighbourhood.
- Although the lot coverage is proposed to be increased, it is noted that the applicant is proposing a very large outdoor amenity space, and all parking for the apartment is being provided underground.

(e) Requested Variance:

- To reduce the minimum number of on-site resident parking spaces for the apartment site from 151 parking stalls to 139 parking stalls.

Staff Comments:

- The apartment building is proposed to be a rental building, which typically have lower rates of car ownership, according to the 2012 *Metro Vancouver Apartment Parking Study*, which demonstrated that rental apartment buildings did not require the same rate of parking as owner-occupied apartment buildings.
- The applicant is also providing additional on-street parking spaces on Panorama Drive and the new east-west road propose through the site. Based on a neighbourhood parking study conducted as part of the application, the number of on-street parking spaces provided exceeds the anticipated additional on-street parking demand that would be generated by the proposed development.
- The proposed 12 stall reduction out of the required 154 stalls (8% reduction) is considered acceptable by staff based on the site's proximity to transit on 152 Street and the rental tenure proposed for the building.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Site Plan, Building Elevations and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	ADP Comments and Applicant's Response
Appendix VII.	NCP Redesignation Map
Appendix VIII.	OCP Redesignation Map
Appendix IX.	Development Variance Permit No. 7914-0286-00

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

KB/dk

DEVELOPMENT DATA SHEET – COMMERCIAL SITE

Proposed Zoning: C-8

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Commercial Site Net Total		10,191 sq.m. (2.52 acres)
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	50%	29%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (152 St)	7.5m	5.0m
Rear (east)	7.5m	4.25m
Side #1 (north)	7.5m	4.0m
Side #2 (south)	7.5m	7.5m
BUILDING HEIGHT (in metres/storeys)		
Principal	12 m	10 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		3,147 sq.m.
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		3,147 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	0.80	0.31
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	94	126
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	94	126
Number of disabled stalls	1	4
Number of small cars	24	23
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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DEVELOPMENT DATA SHEET – TOWNHOUSE SITE

Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Townhouse Site Net Total		32,990 sq.m. (8.15 acres)
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	35%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
All sides	7.5m	See DVP section in report
BUILDING HEIGHT (in metres/storeys)		
Principal	13m	11.7 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		198
FLOOR AREA: Residential		26,062 sq.m.
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		26,062 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	75 uph/30 upa	59 uph/24 upa
FAR (gross)		
FAR (net)	0.90	0.79
AMENITY SPACE (area in square metres)		
Indoor	594 sq.m.	191 sq.m.
Outdoor	594 sq.m.	612 sq.m.
PARKING (number of stalls)		
Commercial		
Industrial		
Residential	396	396
Residential Visitors	40	40
Institutional		
Total Number of Parking Spaces	436	436
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		96 units/49%
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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DEVELOPMENT DATA SHEET – APARTMENT SITE

Proposed Zoning: RM-70

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Apartment Site Net Total		6,633 sq.m. (1.64 acres)
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	33 ⁰ %	40 ⁰ %
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (west)	7.5m	4.5m
Rear (east)	7.5m	7.5m
Side #1 (north)	7.5m	4.5m
Side #2 (south)	7.5m	4.5m
BUILDING HEIGHT (in metres/storeys)		
Principal	50m	14.9 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Studio/One Bed		50
Two Bedroom		56
Three Bedroom +		
Total		106
FLOOR AREA: Residential (not including amenity area)		9,915 sq.m.
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		9,915 sq.m.

*** If the development site consists of more than one lot, lot dimensions pertain to the entire site.**

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		161 uph/65 upa
FAR (gross)		
FAR (net)	1.50	1.49
AMENITY SPACE (area in square metres)		
Indoor	318 sq.m.	344 sq.m.
Outdoor	318 sq.m.	1,032 sq.m.
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Studio + 1 Bedroom	50 X 1.3 = 65	50 X 1.1 = 55
2-Bed	56 X 1.5 = 84	56 X 1.5 = 84
3-Bed		
Total Resident	149	139
Residential Visitors	21	21
Total Number of Parking Spaces	170	160
Number of disabled stalls	2	3
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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**TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: March 2, 2016

PROJECT FILE: 7814-0286-00

**RE: Engineering Requirements (Commercial/Industrial)
Location: 5750 Panorama Drive**

OCP AMENDMENT/NCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment/NCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate on 152 Street 1.5 m for ultimate 30.0 m wide Arterial Road standard.
- Dedicate on Panorama drive 2.3 m for ultimate 28.0 m wide Arterial Road standard.
- Dedicate 20.0 m on 58 Avenue for ultimate 20.0 m wide Local Road standard.
- Dedicate 12.0 m for the 12.0 m wide Green Lane.
- Dedicate required corner cuts at all intersections.
- Register 0.5 m SRW along all frontages for maintenance of City infrastructure.

Works and Services

- Construct northbound left turn bay on 152 Street at 58 Avenue intersection, modify existing landscaping and the existing southbound left turn lane at 56A Ave if required.
- Construct south portion of Panorama Drive to modified Arterial Road standard.
- Provide 20% funding for construction of a signal at Panorama Drive and Highway 10.
- Construct 58 Avenue to Local Road standard.
- Construct the 12.0 m wide lane to "urban" lane standard including sidewalk.
- Construct storm sewers, sanitary sewers and water mains to service the development.
- Provide onsite stormwater management features.
- Develop the Park parcel.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.



Rémi Dubé, P.Eng.
Development Services Manager

IK1



Wednesday, December 23, 2015
Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 14 0286 00

SUMMARY

The proposed 198 townhouses and 107 lowrise units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	60
Secondary Students:	32

September 2015 Enrolment/School Capacity

Sullivan Elementary	
Enrolment (K/1-7):	30 K + 258
Capacity (K/1-7):	20 K + 175
Sullivan Heights Secondary	
Enrolment (8-12):	1536
Nominal Capacity (8-12):	1000
Functional Capacity*(8-12):	1080

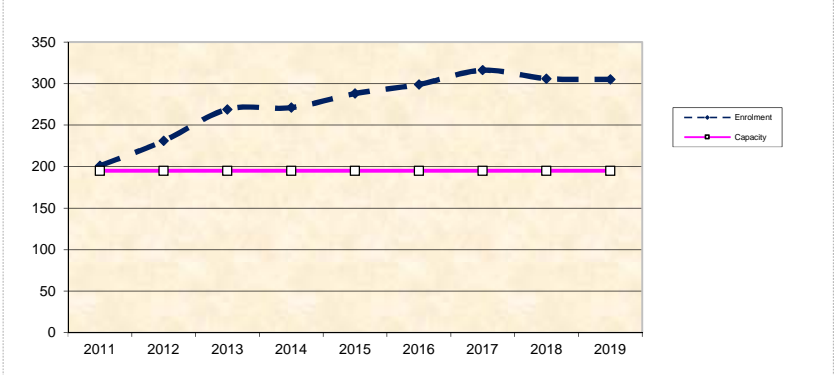
School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

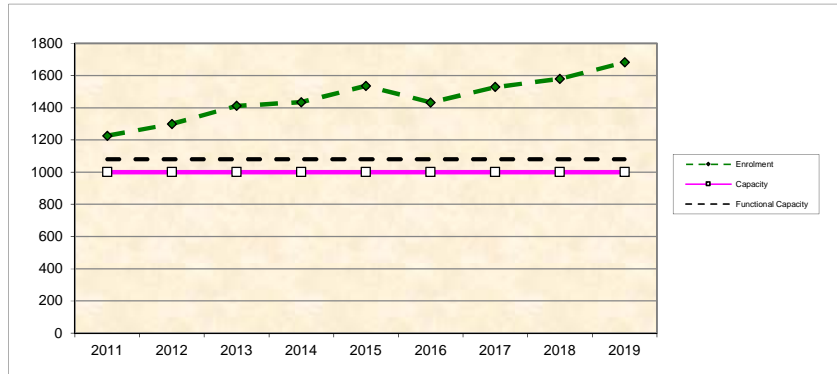
Both Sullivan Elementary and Sullivan Heights Secondary are overcapacity. A number of catchment changes are being implemented for September 2016 to help manage demand between South Newton elementary schools. The Sullivan Heights Secondary site cannot accommodate additional portables and from September 2016 onwards any new in-catchment registrants that are unable to be accommodated at Sullivan Heights Secondary will be accommodated at Frank Hurt Secondary. The District's 5-Year Capital Plan includes new space requests for both the elementary and secondary school.

In recent years, amendments to the South Newton NCP have resulted in a larger number of residential units and higher enrolment growth than was originally envisioned when the NCP was first adopted in 1999. The Surrey School District expresses its concern about development consistently occurring at densities higher than outlined in the NCP given the flow on implications to educational facility planning. Given the existing and projected enrolment pressures in South Newton, the school district does not support development occurring at a higher density than outlined in approved NCPs.

Sullivan Elementary



Sullivan Heights Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

Tree Preservation Summary

Surrey Project No:

Address: 14010 64 Ave, Surrey

Registered Arborist: Laura Ralph, PN6420A - BC Plant Health Care Inc.

On-Site Trees	Number of Trees
(on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas). Includes 6 tree which failed during Aug/Nov 2015 storms.	143
Protected Trees to be Removed (includes 3 boulevard trees, does not include 6 trees which failed during Aug/Nov 2015 storms)	102
Protected Trees to be Retained (includes 35 boulevard trees) (excluding trees within proposed open space or riparian areas)	35
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{\quad 40 \quad} \times \text{one (1)} = 40$ - All other Trees Requiring 2 to 1 Replacement Ratio $\underline{\quad 59 \quad} \times \text{two (2)} = 118$ 	158
Replacement Trees Proposed	341
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	

Off-Site Trees	Number of Trees
Protected Off-Site Boulevard Trees to be Removed	
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{\quad \quad \quad} \times \text{one (1)} = 0$ - All other Trees Requiring 2 to 1 Replacement Ratio (boulevard) $\underline{\quad \quad \quad} \times \text{two (2)} = 0$ 	0
Replacement Trees Proposed	
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by:



(Signature of Arborist)

December 2, 2015

Date

Present:

Chair - L Mickelson
M. Higgs
E. Mashing
C. Taylor
M. Vance

Guests:

T. Paul, Pinora Enterprises Ltd.
S. Paul, Pinora Enterprises Ltd.
L. Barnett, Barnett Dembek Architects
M. Mitchell, M2 Landscape
Architecture
J. Redekop, Redekop (Panorama
Homes Ltd.)
R. Ciccozzi, Ciccozzi Architecture Inc.
M. van der Zalm, van der Zalm + assoc.
E. Poxleitner, Keystone Architecture &
Planning

Staff Present:

M. Rondeau, Acting City Architect
H. Ahking, Senior Planner
L. Moraes, Planner
N. Chow, Urban Design Planner
L. Luaifoa, Administrative Assistant

B. NEW SUBMISSIONS

2. **4:45 PM**

File No.:	7914-0286-00
New or Resubmit:	New
Last Submission Date:	N/A
Description:	Commercial buildings
Address:	5750 Panorama Drive; South Newton
Developer:	James Redekop – Redekop (Panorama Homes Ltd.)
Architect:	Rob Ciccozzi – Ciccozzi Architecture Inc.
Landscape Architect:	Mark van der Zalm – van der Zalm + associates
Planner:	Keith Broersma
Urban Design Planner:	Mary Beth Rondeau/Henry Ahking

The Acting City Architect presented an overview of the project:

- North of the subject site, including the subject site, was planned to be a hospital or university in the NCP.
- A road connection was achieved all the way through the site which is a desirable achievement.
- The subject site is for retail use and adjacent to the next ADP agenda item is a 4-storey apartment building.
- Land use and density for this project is supportable by staff.
- Staff are asking for advice on the signage. There are 5 proposed signs and only 2 are permitted. A variance will be sought. The free-standing sign has more individual tenant signs with add visual clutter and the yellow background colour in the signage of the grocery store would be more muted.

The Project Architect presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes and highlighted the following:

- The proposal is for 3 buildings – Building 1 includes a grocery store with a mezzanine and a smaller retail unit. Building 2 is a 2-level unit with a large open deck and Building 3 is intended for a bank.
- A ramp was incorporated on the site for vehicular access. An existing driveway to the south commercial site straddles the property line and the truck access goes to loading area of the grocery store. A staircase integrates with the ramp system.
- The current location of the garbage enclosure requested by staff is not ideal and would prefer it be relocated.
- The general character is simple boxes with a series of columns. Brick material was introduced on the grocery store along the entrance with glass canopy. To maintain a rhythm, stucco was introduced by the columns. The entry is highlighted with higher quality material. Some areas have glass and some have a corrugated metal.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- Significant tree planting is planned for the site. One challenge is the parking lot and to achieve some mature canopy height, a structural soil base is proposed to enable trees to grow to their potential.
- A significant planted buffer will be in place between grocery store and proposed apartment building.
- Bike requirements are exceeded as well as parking spaces.
- Decorative paving is proposed with movable planters, benches and site furnishings to animate space in front of CRU's.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

Commercial buildings

File No. 7914-0286-00

It was

Moved by M. Higgs

Seconded by M. Vance

That the Advisory Design Panel (ADP)

recommends A – that the applicant address the following issues to the satisfaction of the Planning & Development Department.

Carried

STATEMENT OF REVIEW COMMENTS

The Panel considered the project quite successful especially given the complicated and challenging site.

Site

- Site grades well resolved given the challenges.
- Vehicular and pedestrian flow through and in-between developments are well thought out.
- The gateway to the site is not well marked and the access of 152 Street looks straight onto loading dock. Consider a lantern or beacon to mark the entrances.

Building Form and Character

- Generally the form and massing are good.
- Consider the relationship of Building 1 and the adjacent CRU 2. If they must be conjoined and expressed separately then suggest increasing the reveal.
- East façade of Building 1 should be more animated i.e. more glass and less metal cladding. Fabric canopies appear to be a downgrade.
- The use of galvalume is harsh and heavy on the top of the building. Transparency may be more successful.
- Good animated use of patio on Building 2 on the corner.
- Signage is excessive and should be more consistent with the City of Surrey guidelines. Pylon sign is located too close to bank CRU.
- Consider light fixtures be made more contemporary for consistency with building aesthetic.
- Consider screening for rooftop units and ensure it is suitable and supports the building palette.

Landscaping

- Recommend consideration of lighting for the site along the ramps and stairs for pedestrians. Need more lighting information.
- Landscaping is minimal. Suggest fewer stalls and more landscaping in parking area.
- Landscaping buffers and the planting palette is ok.

Accessibility

- Recommend 2 additional wheelchair spaces located close to the grocery stores.
- Recommend providing power doors at all main entrances.
- Recommend providing wheelchair and gender neutral accessible washrooms.
- Recommend providing let downs for wheelchairs.
- Recommend ramp to CRU in Building 2.

Sustainability

- Consider storm water retention and reuse on site for irrigation.

Panorama City comment response

All response are in red

General

1) The vehicular interface with the property to the south still hasn't been resolved. That "island" on the neighboring property is still right in the middle of traffic movements. Please work with the neighbor to the south to resolve. Neighbor to the South's contact information is: INVESTORS GROUP TRUST CO LTD: C/O BENTALL KENNEDY (CANADA) L ATTN: CATHERINE YANG, PROPERTY 305-935 MARINE DR NORTH VANCOUVER BC V7P 1S3

Neighboring property has agreed for existing curb island to be removed and in cooperation to redesigning drive aisle for efficient traffic flow. See attached letter.

2) Fascia signage – Please provide more signage details (materials, dimensions, etc.) as per my Oct.1 email. Fascia signage should be channel letters. No yellow backing should be used (ie. grocery store). The grocery store has too many signs. It is allowed 2 signs, not 5 signs.

Grocery store signs have been changed to white and reduced to two signs along the front (east elevation) and on the diagonal wall flanking the proposed road (north elevation).

3) Free-standing sign - In keeping with the recently approved signage on the commercial site across 152 Street, the free-standing sign should be no more than 3.6m high, as seen in the below Street view screenshot. The sign needs to be 2m from property line – please label on site plan.

Free standing sign has been reduced in height to 3.6m and relocated away from building #3 and towards the middle of the retaining wall planters. A more detailed drawing is also provided to show materials/finishes. (Refer to site plan)

4) Please clarify if a restaurant is proposed for CRU#5, as mentioned at the ADP meeting. Let's design for this now (ie. patio, parking, venting, etc).

A restaurant will not be proposed in the space of CRU#5 on the 2nd floor of building #2.

5) Clarify specialty paving on the onsite sidewalks.

Refer to landscape drawings.

6) Show light standard fixture manufacturers information including height and finishes.

Light standard fixture will have an overall height of 28' (8.5m); 25'H. (7.6m) pole mounted to a 3'H. Concrete base. Light standard manufactured by Cree.

7) Show gas meters located away from street frontages.

Gas meters have been located on site plan as requested; refer to site plan for locations

8) Reconsider corrugated metal fascia with a metal panel.

Corrugated metal fascia has been replaced with spandrel panels at storefront locations on the east elevation of building #1. The rest of the corrugated fascia will remain at other locations as part of the architectural character.

9) Provide detailed site grading and show any retaining walls.

Refer to A1.3 and A1.4 for detailed grading.

10) Please show on site dimensions for pedestrian walkways, etc.

Additional dimensions have been added at walkways/paths

11) Show let downs for sidewalks.

Let downs have been shown. Refer to site plan A1.0

12) Confirm that canopies have a minimum underside 2.7m clearance.

Canopies vary in height per building in relation with building/floor/window head heights and character. To meet minimum underside of canopies, it will be raised higher than current height and the design will be altered. Please refer to each building elevation for underside of canopy heights.

13) Show floor plans for each building.

Floor plans have been drawn for each building, refer to drawing set.

14) Planters along the driveway ramp should show a curb only with guard rails incorporated where necessary and provide details. Planting should slope down at maximum 1:3 to reduce retaining wall heights.

Planters at driveway ramp have been reduced to 6 inch curbs up from ramp and follows the drive way slope. 3'-6" Guard rails are provided where necessary by code. (Refer to building #2 west elevation)

15) Improve material on retaining walls along 152nd ie not allan block. Provide detail of all retaining walls on site. Allan blocks are not used, all poured concrete walls.

16) Provide a roof plan and show roof mechanical screening for both visual and acoustic to adjacent residential. Show any restaurant exhaust located away from residential interfaces.

A study has been done to see where mechanical unit screening is required. In response we have screened all units on top of building #1 grocery store roof from adjacent apartment complex to the west. CRU #2 in building #1 is further away and not in view. (Refer to A2.2 and site sections A2.9) In addition, screening is provided to 3 sides of mechanical units on top of building #2.

17) Provide a finer grain of detailing of ground level interfaces to add interest and character such as reveals in the brick columns and masonry bases.

Refer to sheet A2.2 for detail of pilaster.

18) Please provide detail of soil cells for the trees planted in the "diamonds" in the parking lot. Please also include the cost of the soil cells in the landscaping cost estimate.

Landscape has provided details on planter cells. Refer to Landscape drawings.

Building 1

19) Extend the use of brick across the east façade columns and wrapping around where visible to the new road and wrap above the loading bay.

Brick façade usage have been revised, please refer to building #1 elevations on A2.3.

20) Show details of screen at loading bay with durable high quality material and detailing. Height can be to match the bottom of the brick on columns.

Refer to building #1 south elevation on A2.3 for screen elevation and finishes. Screen at loading is 10' (3m) high.

21) Clarify use of wider sidewalk area along the grocery store frontage.

Wider sidewalk allows for pedestrians and carts to pass side by side and also bike racks along the front. (Refer to site plan for bike rack locations)

22) Extend glass in a spandrel panel along grocery down to 0.6m of grade. Incorporate trees along grocery store parking including soil cells. Refer to elevations on A2.3 for spandrel panel locations on East elevations. Additional planter cells will not be provided along grocery store.

23) Dot in any outdoor display along frontage. Cart storage along frontage not supported.
No outdoor displays along frontage of grocery store. Cart storage located in parking area, will not be along the front of building.

24) Confirm exiting requirements and show exit routes.
Exit door provided at back of loading bay on the south side, front of building by demising wall, and mezzanine level. (Refer to plans and elevations of building #1)

25) Show the exit sidewalk along the west extending south and routing along the south side of the building, integrating with the loading exit stair.
We propose the exit sidewalk along the west side of the building to extend north towards the street, this allows for a safe and at grade pathway. If we extend to the south, stairs have to be provided which will lead to an unsafe passage onto the adjacent property's drive aisle.

26) This sidewalk should be secured at the south end of the building. The remainder of this triangle should have low planting along the interface with the adjacent service driveway then native conifers toward the building setback area. Refer to landscape drawings.

27) Show adjacent proposed apartment building parkade deck and integrate the interface including correct grades. Avoid retaining walls in this area. Refer to site section on A2.9. Retaining wall is required and cant b avoided as the adjacent site finished grades are higher.

28) Extend the weather protection canopy along the east façade similar to the main entrance canopy. Weather protection is provided, canopy at entry and fabric awnings at storefront. Refer to elevations on A2.3.

Building 2

29) Resolve grades along Panorama Drive setback area so that any steps, ramps or raised planters are avoided. Provide a detailed plan with grades. Provide a continuous row of inside trees along the street frontage and continuous weather protection on the building frontage.
Refer to building #2 plans and elevations for detailed grading plan. There are no ramps provided to access CRU#5. Canopies are provided as on elevations.

Building 3

30) Label the maximum height of vertical extension to be 0.6m above show consistently.
Completed, refer to elevations on A2.8.

31) Exit door and associated walkway along 152nd to be relocated away from the east and south frontage. Weather protection can be removed.
For exit door relocated to the south of building #3, refer to plans and elevations.

32) South and east elevation to be improved with spandrel glass.
Completed/updated. Refer to elevations on A2.8.

33) Clarify blue panels on the north and south elevation. These could be deleted.
Blue metal panels are part of future tenant's design.

Response to ADP Minutes

Building Form and Character

- Generally the form and massing are good.
- Consider the relationship of Building 1 and the adjacent CRU 2. If they must be conjoined and expressed separately then suggest increasing the reveal.
- East façade of Building 1 should be more animated i.e. more glass and less metal cladding. Fabric canopies appear to be a downgrade.

Spandrel panels used in replace of metal cladding. (See elevations)

Fabric canopies to remain

- The use of galvalume is harsh and heavy on the top of the building. Transparency may be more successful.

Use of galvalume is part of building character.

- Good animated use of patio on Building 2 on the corner.
- Signage is excessive and should be more consistent with the City of Surrey guidelines. Pylon sign is located too close to bank CRU.

Pylon sign has been relocated to middle of site along 152nd street. Size has been reduced as part of city guidelines. (See A1.0)

- Consider light fixtures be made more contemporary for consistency with building aesthetic.

Light fixtures to remain.

- Consider screening for rooftop units and ensure it is suitable and supports the building palette.

Screening of rooftop units provided. (See plans and sections)

Accessibility

- Recommend 2 additional wheelchair spaces located close to the grocery stores.

1 additional disability space is provided at grocery store.

- Recommend providing power doors at all main entrances.

Power doors provided.

- Recommend providing wheelchair and gender neutral accessible washrooms.

Washroom rough-ins provided. Future tenant to determine use of washroom.

- Recommend providing let downs for wheelchairs.

Let downs provided. (see site plan A1.0)

- Recommend ramp to CRU in Building 2.

Use of ramp at Northwest corner will connect to CRU at building 2.



Advisory Design Panel Minutes

2E - Community Room B
City Hall
13450 - 104 Avenue
Surrey, B.C.
THURSDAY, OCTOBER 22, 2015
Time: 4:00 pm

Present:

Chair - L Mickelson
M. Higgs
E. Mashing
C. Taylor
M. Vance

Guests:

T. Paul, Pinora Enterprises Ltd.
S. Paul, Pinora Enterprises Ltd.
L. Barnett, Barnett Dembek Architects
M. Mitchell, M2 Landscape
Architecture
J. Redekop, Redekop (Panorama
Homes Ltd.)
R. Ciccozzi, Ciccozzi Architecture Inc.
M. van der Zalm, van der Zalm + assoc.
E. Poxleitner, Keystone Architecture &
Planning

Staff Present:

M. Rondeau, Acting City Architect
H. Ahking, Senior Planner
L. Moraes, Planner
N. Chow, Urban Design Planner
L. Luaifoa, Administrative Assistant

B. NEW SUBMISSIONS

3.	<u>5:45 PM</u>	
	File No.:	7914-0286-00
	New or Resubmit:	New
	Last Submission Date:	N/A
	Description:	4-storey apartment building
	Address:	5750 Panorama Drive; South Newton
	Developer:	James Redekop – Redekop (Panorama Homes Ltd.)
	Architect:	Eric Poxleitner – Keystone Architecture & Planning
	Landscape Architect:	Mark van der Zalm – van der Zalm + associates
	Planner:	Keith Broersma
	Urban Design Planner:	Mary Beth Rondeau/Henry Ahking

The Acting City Architect presented an overview of the project and highlighted the following:

- The use, form and density are supported. Staff are generally satisfied with the proposal and do not have any specific issues.
- The parking is slightly below requirements however, staff supports the reduction due to the site being located near two major arterial roads and the availability of transit.

The Project Architect presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes and highlighted the following:

- The concept of the design of the project is to be reflective of the community and still tie in between the residential and commercial portions. The townhouses which are north of the apartment building are also a similar design of colours and scale of materials.
- There is no parking on the surface, that area is all landscaping. All parking is provided through a parkade that is accessed from 58 Avenue.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- The grade continues to be an issue in this precinct with the commercial development. The landscape is a curved form with a grass boulevard and street planting on 58 Avenue.
- The amenity space provides a lot of openness with significant vegetative and screening. Planters are built up for privacy on own patios and screening from whatever is taking place in the open space.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

4-storey apartment building

File No. 7914-0286-00

It was

Moved by C. Taylor

Seconded by E. Mashig

That the Advisory Design Panel (ADP)

recommends C – that the applicant address the following issues to the satisfaction of the Planning & Development Department and, at the discretion of Planning staff, resubmit the project to the ADP for review.

Carried

STATEMENT OF REVIEW COMMENTS

In general, the Panel support the layout of the site, the form and massing.

Site

- Decent solution to challenging site relative to the grade of adjacent existing development.

Building Form and Character

- The site arrangement is well articulated for a massive building.
- Consider something to break up the long corridor. Allow natural light where it changes in direction. **The corridor is broken up using a variety of methods:**

- Even though the building itself is large, the common corridor is not a long straight run, due to the articulation of the building, which follows the street curves, but rather is broken up into much shorter portion of corridor lengths.
- At each 90 degree corner in the corridor (2 per floor), the ceiling design will have cove LED lighting to provide a feeling of going to a destination that has a lighting feature.
- By having the elevators and a stair shaft centrally located, the distance from these main access points to any unit entry door is as short as possible.
- On every floor, at approximately halfway between the central elevator/central stair area and the further unit entry door in the southwest corner (the longest distance in the building) is an amenity room with numerous windows between it and the corridor. This further breaks up the corridor and brings interest along the circulation route.
- Every unit entry is not simply a door that is flush with the corridor. Rather, each entry has a distinctive design, with 4” projections on either side of the entry area in a contrasting colour, and the wall with the entry door recessed from the main corridor plane by approximately 12”, for a total recess of about 16”. There will be a dropped ceiling with a pot light over this entry area which also enhances the distinctness of the entry area. With all these design elements, each entry area becomes a unique place of entry and further breaks up the corridor.
- Recommend further developing elevations and use of materials. Palette is busy and there is a lack of clarity regarding vertical expression vs. horizontal datum. The palette has been simplified, vertical elements have been removed or adjusted so that a uniform horizontal theme is now consistent for the entire building.
- Specifically, the strong vertical elements going up to the roof gable. These vertical elements have been re-designed to match other more horizontal themes, which further emphasizes a more harmonious design.
- Re-consider materials; metal looks like wood, concrete looks like stone and fibre cement looks like wood. Recognizing that good quality materials have been used, it’s how they have been composed that is the problem. Material selections have been revised in numerous areas to have a more uniform composition and in keeping with a more traditional hierarchy with strong lower (base) materials.
- Consider reducing number of elements to improve the “very busy” look. The number of elements has been drastically reduced so that the design is more consistent throughout.
- Rental approach should be the same care as market projects. Agreed.
- Consider indoor garage access for tenants. All the tenants parking is in a secure underground parkade, separate from the underground visitor parking area.
- Better relationship of indoor and outdoor amenity areas. One large room rather than broken up by corridor. The main indoor amenity area has been combined into one large room and moved further east. This allows it to be directly

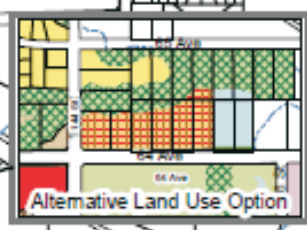
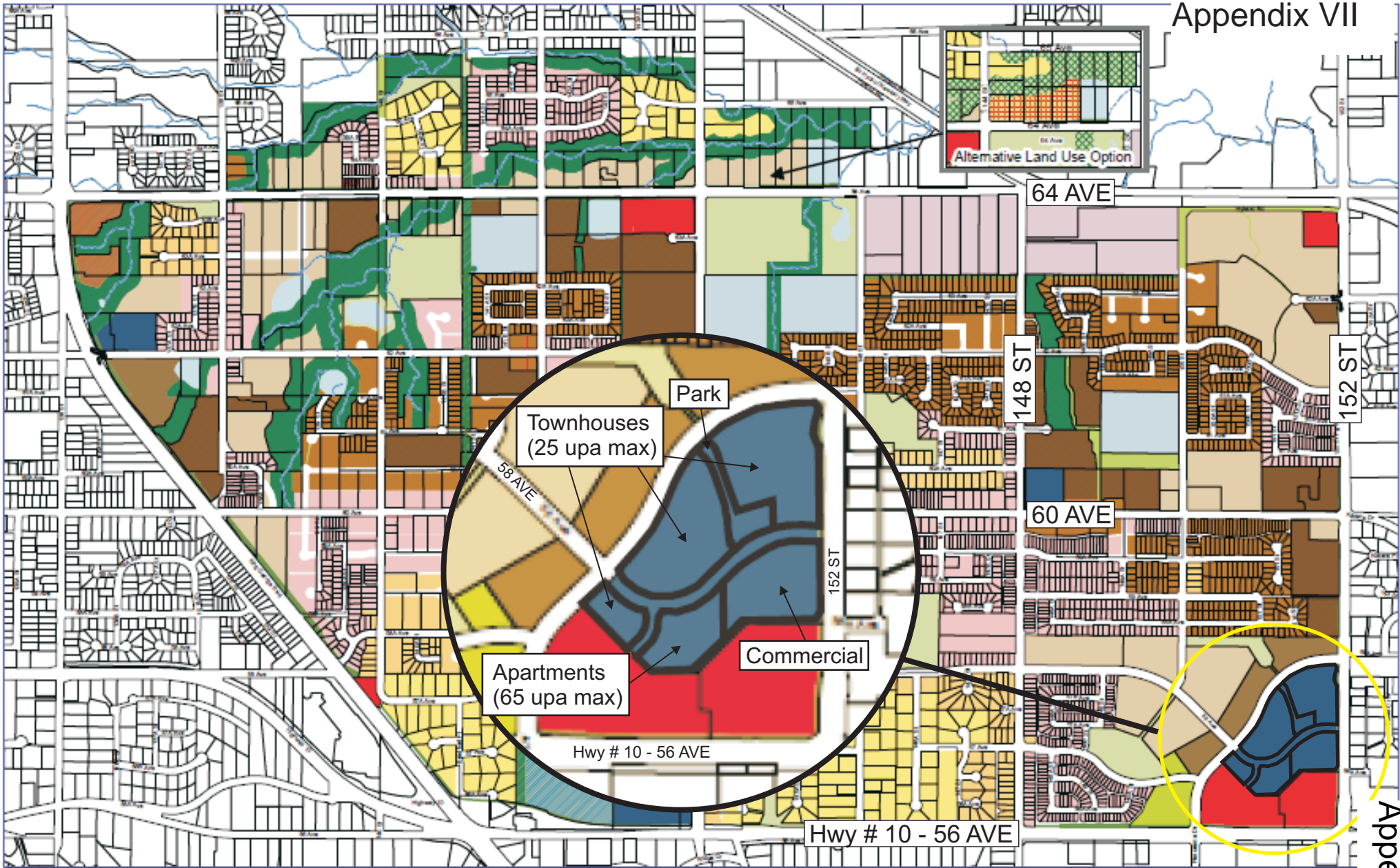
adjacent to the outdoor amenity area. This relationship is further enhanced by having direct connections between the two by way of a patio door and sidewalk.

Landscaping

- Re-consider the tree located between the wood fence and concrete parking wall at the south property line. **This has been adjusted.**
- Consider rotating garden beds to be able to provide more of them. Add gardening amenities such as tool storage. **The usable area of the raised garden beds has been substantially increased. The beds are 1.2m wide and the aisles are 1m wide to optimize garden area and accessibility. A small tool shed and hose bib has been added to the northeast corner of the garden bed.**

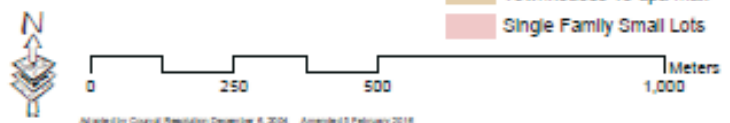
Accessibility

- Recommend elevator panel button be horizontal. **Agree to include.**
- Recommend call buttons. **Agree to include elevator call buttons.**
- Recommend power doors at entrance. **Agree to include.**
- Provide emergency call button in underground lobby. **Agree to include an emergency call button in the underground lobby, but would ask for further clarification details about how this would work, such as where the button would signal to.**
- Suggest 50% of units be wheelchair accessible. **As noted in my email to Keith Broersma on Oct.30/15, this is a typo in the minutes: the actual suggestion was to have 5% as adaptable units. We have provided more than 5% of the units as accessible, as defined by the BC Building Code.**
- Provide wheelchair accessible washrooms in amenities room. **Agree to include.**

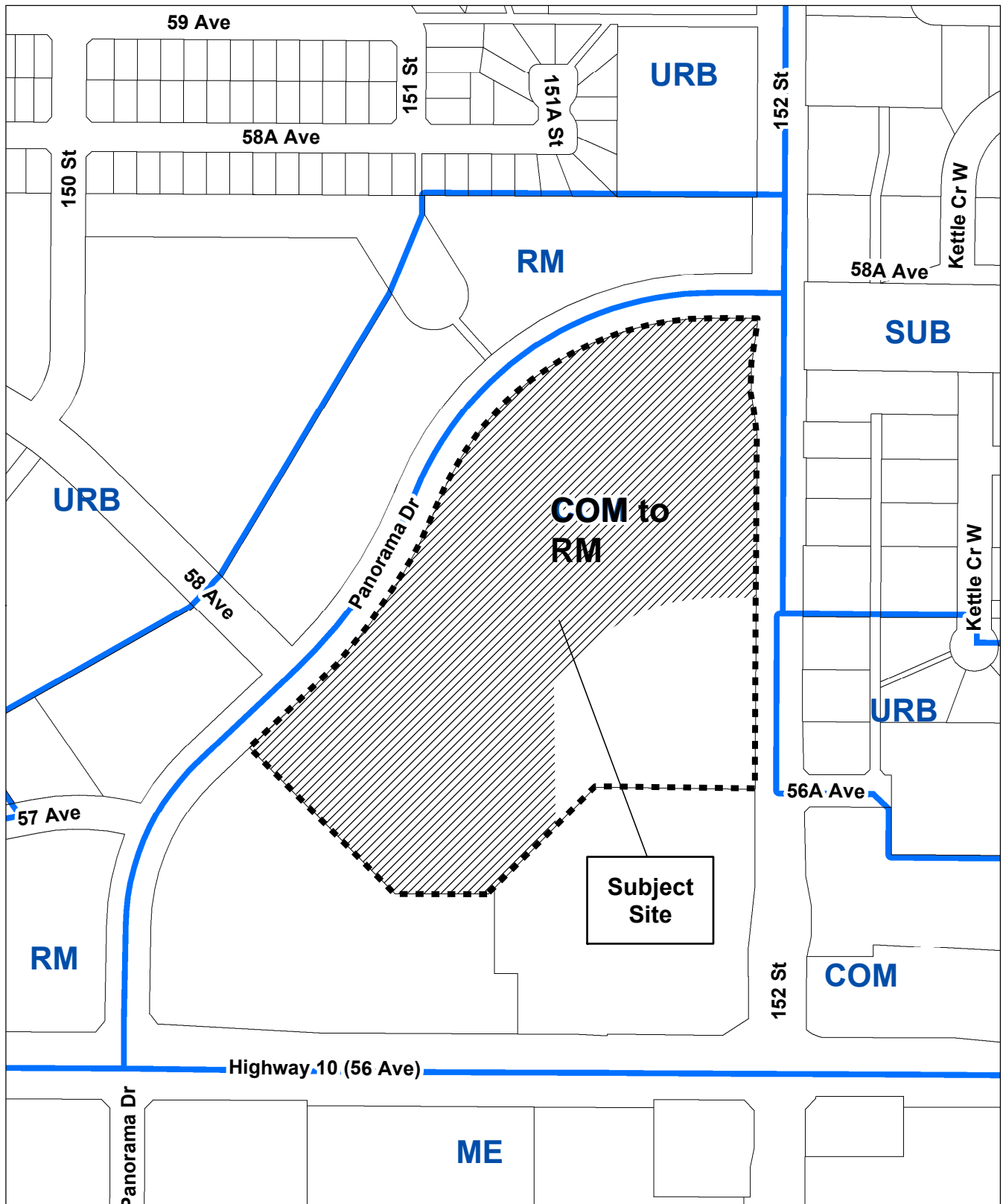


SOUTH NEWTON
NEIGHBOURHOOD CONCEPT PLAN
City of Surrey Planning & Development Department

- | | | | | |
|--------------------------|--|-----------------|------------------------------|------------------------------|
| Apartments 45 upa max | Row Housing | Commercial | Proposed School and Park | Buffers |
| Townhouses 30 upa max | Single Family Residential Flex 6 to 14.5 | Institutional | Parks | Detention Point |
| Townhouses 25 upa max | Single Family Residential | Office Park | Proposed Park and Walkway | Utility R/W Gre |
| Townhouses 20 upa max | Suburban Residential 1/2 Acre | Industrial | Recreational | Creeks and Riparian Set-back |
| Townhouses 15 upa max | Mixed Com/Res Apartments | Schools | Creeks and Riparian Set-back | WALKWAY |
| Single Family Small Lots | Mixed Com/Res Townhouse | Proposed School | | |



This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.



OCP Amendment 7914-0286-00
Proposed amendment from Commercial to Multiple Residential



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7914-0286-00

Issued To: Redekop (Panorama) Homes Ltd
("the Owner")

Address of Owner: 102-31324 Peardonville Road
Abbotsford BC V2T 6K8

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 023-208-732
LT 13 SE SC 10 T2 PLLMP24916 Part NE1/4.
5750 Panorama Dr

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once titles have been issued, as follows:

Parcel Identifier:

(b) If the civic addresses change, the City Clerk is directed to insert the new civic addresses for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

(a) In Subsection F. Yards and Setbacks of Part 36 Community Commercial Zone (C-8), the minimum setbacks are reduced from 7.5 metres (25 ft.) to:

- i. 5.0 metres (16.5 ft.) for the east property line (along 152 Street);

- ii. 4.25 metres (14 ft.) for the west property line; and
 - iii. 4.0 metres (13 ft.) for the north property line (along the new east-west road);
- (b) In Subsection F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone (RM-30), the minimum setbacks are reduced from 7.5 metres (25 ft.) to:
- i. 4.5 metres (15 ft.) to the building face, and 3.5 metres (11 ft.) to the bay window, along Panorama Drive, the new east-west road and the new north-south road;
 - ii. 4.5 metres (15 ft.) to the building face, and 3.4 metres (11 ft.) to the bay window, along 152 Street;
 - iii. 3.0 (10 ft.) to the building face, and 1.9 metres (6 ft.) to the bay window, along the proposed park parcel;
 - iv. 4.4 metres (14.5 ft.) for Townhouse Building 4 in the southwest corner of the site;
- (c) In Subsection F. Yards and Setbacks of Part 24 Multiple Residential 70 Zone (RM-70), the minimum setbacks are reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for the west, south and north setbacks;
- (d) In Subsection E. Lot Coverage of Part 24 Multiple Residential 70 Zone (RM-70), the maximum lot coverage is increased from 33% to 40%; and
- (e) In Table C.6 Parking Requirement for Residential Uses of Part 5 Off-Street Parking, the number of required parking spaces is reduced for the apartment site from 151 on-site resident parking spaces to 139 parking spaces.
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC

(b) In Subsection F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone (RM-30), the minimum setbacks are reduced from 7.5 metres (25 ft.) to:

- i. 4.5 metres (15 ft.) to the building face, and 3.5 metres (11 ft.) to the bay window, along Panorama Drive, the new east-west road and the new north-south road;
- ii. 4.5 metres (15ft.) to the building face, and 3.4 metres (11 ft.) to the bay window, along 152 Street;
- iii. 3.0 (10 ft.) to the building face, and 1.9 metres (6 ft.) to the bay window, along the proposed park parcel;
- iv. 4.4 metres (14.5 ft.) for Townhouse Building 4 in the southwest corner of the site;

- (a) In Subsection F. Yards and Setbacks of Part 36 Community Commercial Zone (C-8), the minimum setbacks are reduced from 7.5 metres (25 ft.) to:
 - i. 5.0 metres (16.5 ft.) for the east property line (along 152 Street);
 - ii. 4.25 metres (14 ft.) for the west property line;
- and
- iii. 4.0 metres (13 ft.) for the north property line (along the new east-west road);

(c) In Subsection F. Yards and Setbacks of Part 24 Multiple Residential 70 Zone (RM-70), the minimum setbacks are reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for the west, south and north setbacks;

(d) In Subsection E. Lot Coverage of Part 24 Multiple Residential 70 Zone (RM-70), the maximum lot coverage is increased from 33% to 40%; and

(e) In Table C.6 Parking Requirement for Residential Uses of Part 5 Off-Street Parking, the number of required parking spaces is reduced for the apartment site from 151 on-site resident parking spaces to 139 parking spaces.



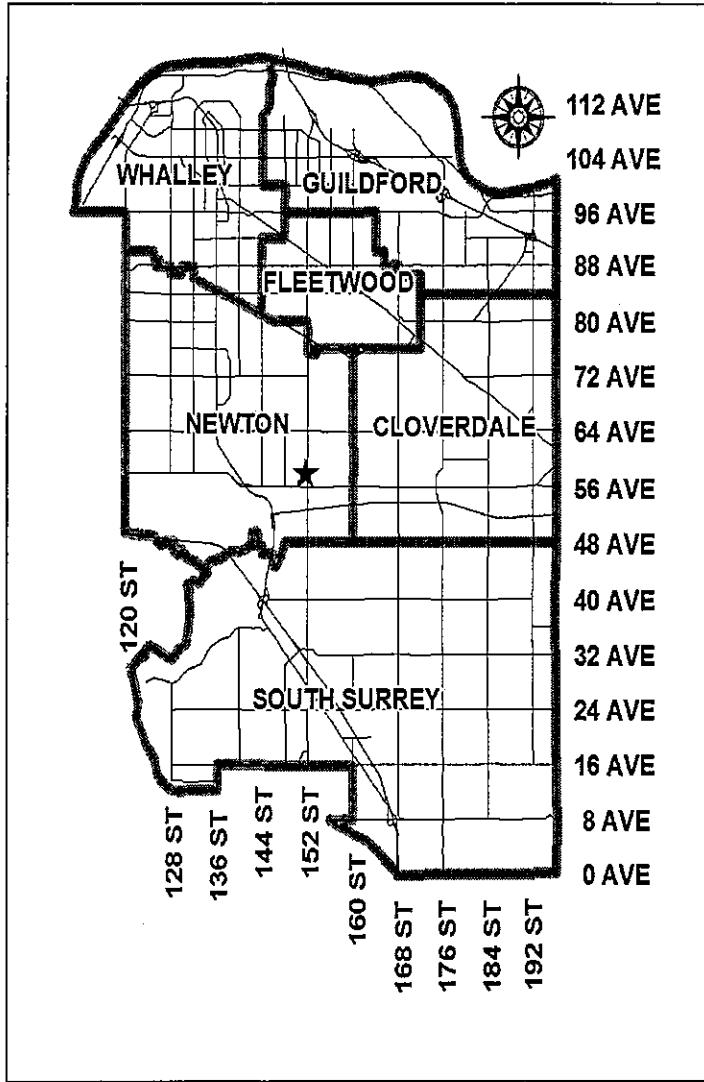
SITE PLAN - OVERALL
SD8-2

Schedule A

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0286-00

Planning Report Date: March 7, 2016



PROPOSAL:

- **Partial OCP Amendment** from "Commercial" to "Multiple Residential"
- **NCP Amendment** from "Institutional" to "Commercial", "Townhouses 25 upa max", "Apartment 65 upa max", and "Park"
- **Rezoning** from CD (By-law No. 12282) to RA, C-8, RM-30 and RM-70
- **Development Permit**
- **Development Variance Permit**

to permit the development of 198 townhouse units, 106 apartment units and a commercial plaza.

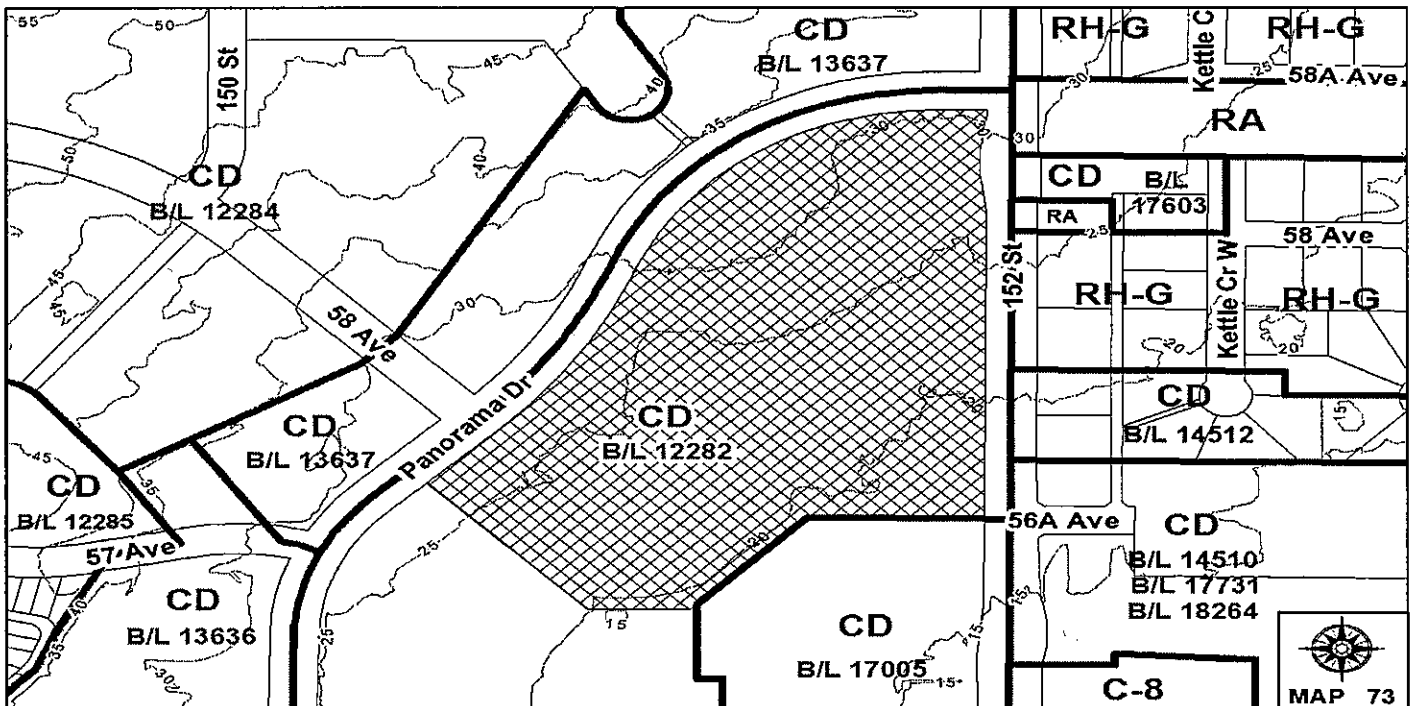
LOCATION: 5750 Panorama Drive

OWNER: Redekop (Panorama) Homes Ltd

ZONING: CD (By-law No. 12282)

OCP DESIGNATION: Commercial

NCP DESIGNATION: Institutional



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to reduce indoor amenity space for the townhouse site.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing a partial OCP amendment to redesignate a portion of the site from “Commercial” to “Multiple-Residential”.
- The applicant is proposing an NCP amendment from “Institutional” to “Commercial”, “Townhouses 25 upa max” and “Apartments 65 upa max”.
- The applicant is seeking to reduce setbacks for the proposed townhouses, apartment and commercial buildings, to increase lot coverage for the apartment site, and to reduce parking requirements for the apartment site.
- The applicant is seeking to reduce the indoor amenity space from the required 594 square metres (6,394 sq.ft.) to 191 square metres (2,058 sq.ft.), and pay cash-in-lieu for the shortfall.

RATIONALE OF RECOMMENDATION

- Partly complies with OCP Designation. An amendment is required for the proposed residential portion of the site, to redesignate from “Commercial” to “Multiple-Residential”.
- The proposed development is comprehensively designed, and is appropriate in scale and density to the existing neighbourhood context. The development builds on and supports the existing commercial centre at the corner of 152 Street and Highway No. 10, while being sensitive in interfacing with the existing residential neighbourhood to the north and west across Panorama Drive.
- Given the site’s location close to the major intersection of 152 Street and Highway No. 10, the commercial site to the south, and the presence of transit along 152 Street, and the proposed park improvements, there is merit to the proposed OCP and NCP redesignations.
- The proposed setbacks achieve a more urban, pedestrian streetscape.

-
- The proposed increase in lot coverage assists in reducing the building height to a 4-storey height, which is a more appropriate massing for the neighbourhood.
 - The proposed indoor amenity space shortfall is supportable given that the proposed reduced indoor amenity space is functional, with the remaining shortfall addressed through a cash-in-lieu contribution in accordance with City policy.
 - The proposed development assists in achieving a finer grained road network, with the applicant providing a dedication for a new east-west road, connecting 152 Street to Panorama Drive, and also a north-south road linking the new east-west road to the existing commercial area south of the subject site along Highway No. 10.
 - The City will be acquiring park land from the applicant, which will enable a park land linkage from the existing Springwood Forest Park to the existing commercial area south of the subject site at the corner of Highway No. 10 and 152 Street, and will also provide a new open space area/play area for neighbourhood residents.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to partially amend the OCP by redesignating a portion of the subject site in Development Application No. 7914-0286-00 from to "Commercial" to "Multiple Residential" and a date for Public Hearing be set (Appendix VIII).
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "CD By-law No. 12282" (CD) to:
 - "Community Commercial Zone" (C-8) for the portion of the site shown as Block E on the attached zoning block plan (Appendix II);
 - "One-Acre Residential (RA)" for the portion of the site shown as Block B on the attached zoning block plan (Appendix II);
 - "Multiple Residential 30 Zone" (RM-30) for the portions of the site shown as Blocks A and C on the attached zoning block plan (Appendix II);
 - "Multiple Residential 70 Zone" (RM-70) for the portion of the site shown as Block D on the attached zoning block plan (Appendix II);and a date be set for Public Hearing.
4. Council approve the applicant's request to reduce the amount of required indoor amenity space from 594 square metres (6,394 square feet) to 191 square metres (2,058 square feet), for the proposed townhouse site.
5. Council authorize staff to draft Development Permit No. 7914-0286-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix II).
6. Council approve Development Variance Permit No. 7914-0286-00 (Appendix IX) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum setback of the C-8 Zone from 7.5 metres (25 ft.) to:
 - i. 5.0 metres (16.5 ft.) for the east property line (along 152 Street);
 - ii. 4.25 metres (14 ft.) for the west property line; and
 - iii. 4.0 metres (13 ft.) for the north property line (along the new east-west road);

- (b) to reduce the minimum setback of the RM-30 Zone from 7.5 metres (25 ft.) to:
 - i. 4.5 metres (15 ft.) to the building face, and 3.5 metres (11 ft.) to the bay window, along Panorama Drive, the new east-west road and the new north-south road;
 - ii. 4.5 metres (15 ft.) to the building face, and 3.4 metres (11 ft.) to the bay window, along 152 Street;
 - iii. 3.0 (10 ft.) to the building face, and 1.9 metres (6 ft.) to the bay window, along the proposed park parcel; and
 - iv. 4.4 metres (14.5 ft.) for Townhouse Building 4 in the southwest corner of the site.
 - (c) to reduce the minimum setback of the RM-70 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for the west, south and north setbacks;
 - (d) to increase the maximum lot coverage of the RM-70 Zone from 33% to 40%; and
 - (e) to reduce the minimum number of on-site resident parking spaces for the apartment site from 151 parking stalls to 139 parking stalls.
7. Council instruct staff to resolve the following issues prior to final adoption:
- (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) submission of an acoustical report for the townhouse units adjacent to 152 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (g) registration of a Section 219 Restrictive Covenant on the townhouse site to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
 - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and

- (i) the applicant adequately address the impact of reduced indoor amenity space.
8. Council pass a resolution to amend the South Newton NCP to redesignate the land from “Institutional” to “Commercial”, “Townhouses 25 upa max.”, “Apartments 65 upa max.” and “Park”, as well as adjust the road network when the project is considered for final adoption, per Appendix VII.

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
School District:	<p>Projected number of students from this development:</p> <p>60 Elementary students at Sullivan Elementary School 32 Secondary students at Sullivan Heights Secondary School</p> <p>(Appendix IV)</p> <p>The applicant has advised that the first dwelling units in this project are expected to be constructed and ready for occupancy by summer of 2017.</p>
Parks, Recreation & Culture:	Parks will acquire the proposed parkland, as shown in Appendix II. The applicant has agreed to provide improvements to the proposed park, including grading, drainage, hard surface pathway, landscape and design services as part of a community benefit in light of the proposed OCP amendment. Building elevations adjacent to parkland should ensure CPTED and urban design principles are applied. All fencing adjacent to parkland should be permeable and limited to 1.2 m in height. The applicant should set back any “up-hill” retaining walls adjacent to parkland.
Ministry of Transportation & Infrastructure (MOTI):	Preliminary approval was granted for the rezoning under MOTI file #2014-05984.
Surrey Fire Department:	No concerns.
Ministry of Environment:	The site received a Certificate of Compliance dated December 5, 2013. The Certificate of Compliance states that “a qualified environmental consultant must be available to identify, characterize and appropriately manage any environmental media that may be contaminated and may be encountered during any future subsurface work at the site”. This will be a requirement of the Servicing Agreement, and the Building Permit, as applicable.

SITE CHARACTERISTICSExisting Land Use: vacant propertyAdjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North and West (Across Panorama Drive):	Townhouse units.	Multiple Residential / Apartments (45 upa max)	CD (By-law No. 13637)
East (Across 152 Street):	Single family residential.	Urban and Suburban	RH-G, RA and CD (By-law Nos. 17603, 18281, 14512, 14510, 17731 and 18264)
South:	Commercial complex with Market Place IGA, Shoppers Drug Mart and other CRUs	Commercial / Commercial	CD (By-law Nos. 17005 and 12282)

JUSTIFICATION FOR PLAN AMENDMENT

- The applicant is proposing to amend the Official Community Plan (OCP) from “Commercial” to “Multiple Residential” for a portion of the site and to amend the South Newton Neighbourhood Concept Plan (NCP) to redesignate the subject site from “Institutional” to “Commercial”, “Townhouses 25 upa max.”, “Apartments 65 upa max.” and “Park”.
- The applicant is proposing to retain a portion of the site’s OCP “Commercial” designation, in the southeast corner of the site, adjacent to the existing commercial plaza south of the subject site. The proposed amendment to “Multiple Residential” for the remainder of the site corresponds with the adjacent “Multiple Residential” designation on the sites to the north and west. The applicant has agreed to provide improvements to the proposed park within the development, including grading, drainage, hard surface pathway, landscape and design services as part of a community benefit in light of the proposed OCP amendment.
- The current NCP “Institutional” designation reflects the fact that the site was owned for many years by the Province, with the expectation that the subject site would develop into a hospital and/or a post-secondary institution. However, the site was sold to the private sector in 2014.
- The proposed development is comprehensively designed, and is appropriate in scale and density to the existing neighbourhood context. The development builds on and supports the existing commercial centre at the corner of 152 Street and Highway No. 10, while being sensitive in interfacing with the existing residential neighbourhood to the north and west across Panorama Drive.
- Given the site’s location close to the major intersection of 152 Street and Highway No. 10, the commercial site to the south, and the presence of transit along 152 Street, and the proposed park improvements, there is merit to the proposed OCP and NCP redesignations.

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 879 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

DEVELOPMENT CONSIDERATIONS

Background

- The 6.1-hectare (15.0 acre) subject site is located at the southwest corner of 152 Street and Panorama Drive. The site is sparsely treed and slopes from north to south.
- The site is currently designated “Commercial” in the OCP, “Institutional” in the South Newton NCP, and is zoned “Comprehensive Development Zone” (CD) (By-law No. 12282).
- When the commercial site at the northeast corner of Highway No. 10 (56 Avenue) and 152 Street was developed in the 1990s, it was expected that the subject site would develop into a hospital and university. The site was owned by the Province for many years, but was sold to the private sector in 2014.

Proposal

- The applicant is proposing:
 - the above described OCP and NCP amendments;
 - to rezone the site from CD (By-law No. 12282) to:
 - “Multiple Residential 30 Zone” (RM-30) for the townhouse portion;
 - “Multiple Residential 70 Zone” (RM-70) for the apartment portion;
 - “Community Commercial Zone” (C-8) for the commercial portion; and
 - “One-Acre Residential Zone” (RA) for the park portion;
 - a Development Permit to allow the development of 198 townhouse units, 106 apartment units and a 3-building commercial plaza;
 - a Development Variance Permit to reduce setbacks for the proposed townhouses, apartment and commercial buildings, to increase lot coverage for the apartment site, and to reduce parking requirements for the apartment site.
- The applicant proposes to subdivide the site into 4 lots: one commercial lot, one apartment site, one townhouse site, and one park parcel.
- The park site will be purchased by the City, but the applicant will provide improvements to the park, including completion of site grading, drainage, a pathway and landscaping as a community benefit in light of the proposed OCP amendment.

- Three buildings are proposed on the commercial portion of the site: one large grocery store with a smaller commercial unit at the west portion of the commercial site, and two smaller buildings at each corner of the site along 152 Street.
- A townhouse site is proposed with a total of 198 ground-oriented units. A 4-storey rental apartment building with 106 units is also proposed. Twenty-one (21) units (20%) are proposed as studios or 1-bedroom units, and the remaining 84 units are proposed as 2-bedroom or 2-bedroom and den units.

DESIGN PROPOSAL AND REVIEW

Commercial Site

- The commercial lot is proposed at the southeast corner of the site along 152 Street, with a total area of 1.02 hectares (2.52 acres). The proposal is compatible with the Commercial designation in the OCP, and is considered an appropriate use for this part of South Newton. The site will interface with existing commercial to the south, the proposed apartment building to the west, 152 Street to the east and the new east-west road to the north.
- The proposal includes 3 separate buildings on the site, with a total of 3,147 square metres (33,875 sq. ft.), representing a floor area ratio (FAR) of 0.31 and lot coverage of 29%, which are within the maximum 0.8 FAR and 50% lot coverage permitted by the C-8 Zone. The proposed building height is 10 metres (33 ft.), which is within the maximum 12 metres (40 ft.) allowed in the C-8 Zone. Variances are required for some of the setbacks, and are discussed later in this report.
- Building 1 is the largest building proposed on the site, with a grocery store, and a commercial retail unit (CRU) on the northern portion of the building. Building 1 is proposed on the west portion of the commercial site. The building's main material is brick veneer (mountain red) at the base, particularly along the east and south elevations. For the north and west elevations, the main material is stucco (beige) at the base, as well as glazing (spandrel panels). For the second storey, a mix of aluminum and steel is proposed. In some areas, the height of the building has been increased to assist in screening the roof top equipment from the adjacent proposed apartment building.
- Building 2 is proposed at the northeast corner of the site, with 3 CRUs on the ground floor and 1 CRU on the upper floor. Due to the site's slope, the upper floor has ground floor access on the north elevation, and the 3 CRUs on the ground floor have ground floor access on the south elevation. The vertical columns are proposed in brick veneer (mountain red), with aluminum and glazing in between. The horizontal portions between glazing are proposed to be corrugated metal siding.
- Building 3 is a single-tenant building proposed at the southeast corner of the site. The building is proposed with a brick veneer (beige) base, and corrugated metal siding along the upper portions. Glazing and accent aluminum panels in blue are proposed along all four façades.

Commercial Site: Vehicular Access & Parking

- Vehicular access to the commercial site is proposed from the new east-west road, as well as an existing access on 152 Street, that is shared with the existing development to the south. The southern access has already been constructed, and access easements are already in place.
- A total of 126 parking stalls are proposed, exceeding the minimum 94 stalls required for the site. This includes 23 stalls for small car (within the maximum 25%), and 4 disabled parking stalls.

Commercial Site: Signage

- A free-standing sign is proposed on the east property line, along 152 Street. The proposed sign is 3.66 metres (12 ft.) in height and 3.0 metres (10 ft.) in width, and includes a brick veneer base with a steel panel above. The signage is proposed in individual channel letters, with space for 6 signs. The proposed free-standing sign is 2.0 metres (6.5 ft.) from the property line, and complies with the Sign By-law.
- Fascia signs are also proposed for the buildings, all in individual channel letters, as described below:
 - Building 1: 3 signs proposed
 - East Elevation: one sign for the grocery store – 8.0 metres (26 ft.) by 2.0 metres (6.5 ft.), and one sign for the CRU - 8.5 metres (28 ft.) by 1.0 metre (3 ft.).
 - Northwest Elevation: one sign for the grocery store - 7.3 metres (24 ft.) by 1.0 metre (3 ft.).
 - Building 2: 4 signs proposed
 - South Elevation: 3 signs for three different CRUs – 4.5 metres (15 ft.) by 1.0 metre (3 ft.).
 - North Elevation: 1 sign for the upper floor CRU – 4.5 metres (15 ft.) by 1.0 metre (3 ft.).
 - Building 3: 2 signs proposed
 - West Elevation: 1 sign – 8.2 metres (27 ft.) by 1.2 metres (4 ft.).
 - East Elevation: 1 sign – 8.2 metres (27 ft.) by 1.2 metres (4 ft.).

Townhouse Site

- The townhouse lot is in the western and northern portion of the site, with a total area of 3.3 hectares (8.15 acres). This lot will be divided into three portions due to the proposed east-west road and the park site, but will remain as one legal “hooked” lot. As such, it will be developed as one strata project.
- The proposed RM-30 Zone requires a redesignation of the property, both in the OCP, and the South Newton NCP. The proposal includes amending the OCP in this area from “Commercial” to “Multiple Residential”, and amending the South Newton NCP from “Institutional” to “Townhouses (25 upa max)”. The proposed density is considered appropriate for this part of South Newton. The proposed townhouse site will interface with existing commercial to the south, the proposed apartment building to the east and south, 152 Street to the east, Panorama Drive to the north and the new east-west road to the south.

- The proposal includes 44 separate buildings on the site, with a total of 198 units and 26,062 square metres (280,538 sq. ft.) of floor area, representing a unit density of 24 units per acre (upa), an FAR of 0.79 and lot coverage of 34.5%, which are within the maximum 0.90 FAR and 45% lot coverage permitted by the RM-30 Zone. The proposed building height is 11.7 metres (38 ft.), which is within the maximum 13 metres (42.5 ft.) permitted in the RM-30 Zone. Variances are required for some of the setbacks, as discussed later in this report.
- The portion of the site south of the new east-west road contains 4 buildings, and a total of 19 units; the portion west of the park and north of the new east-west road contains 20 buildings with a total of 90 units, including the indoor amenity building and outdoor amenity spaces; and the portion east of the park contains 20 buildings, and a total of 89 units. The number of dwelling units within each individual building varies from 2 to 8 units. Of the 198 units, 30 are proposed as 2-bedroom units, 165 as 3-bedroom units and 3 as 4-bedroom units.
- Along Panorama Drive and the new east-west road, the street-fronting units contain active living space on the ground floor which will promote interaction with the public realm. These units have entries facing the street, a walkway connecting each residence to the street, and windows that provide casual surveillance of the street.
- High quality building materials are proposed. Building materials and colours include cement boards (beige, grey, black), metal cladding (charcoal), and wood trim boards (barnwood). The roofs are proposed to be clad in black asphalt shingles and will include gables and sloped portions.

Townhouse Site: Access, Pedestrian Circulation and Parking

- Vehicular access to the townhouse site is proposed to be either from the new east-west road or the new road link to the existing commercial site to the south. No accesses are proposed on 152 Street or Panorama Drive.
- Street-fronting units along Panorama Drive and the new east-west road are proposed to have individual pedestrian access to the street. The applicant is proposing a series of paths throughout the site, providing good pedestrian connectivity throughout the site and also to the proposed park on the site.
- The majority (56.5%) of the units (112) have a side-by-side garage parking arrangement, with 86 units (43.5%) proposing a tandem parking arrangement, which complies with the maximum 50% tandem parking permitted in the Zoning By-law.
- The applicant is proposing to provide 396 resident parking spaces and 40 visitor parking spaces, which meets the parking requirements of the Zoning By-law.

Townhouse Site: Amenity Space

- The Zoning By-law requires that 594 square metres (6,394 sq. ft.) of both indoor and outdoor amenity space be provided for the townhouse portion of the site, based on 3 square metres (32 sq. ft.) per dwelling unit.

- The applicant is proposing to provide a 191 square metres (2,058 sq. ft.) indoor amenity building, which is less than the 594 square metres (6,394 sq. ft.) required under the Zoning By-Law. The proposed amenity building is attached to Townhouse Building 11, utilizing the same building materials as the townhouse units, but with a proposed flat roof. It is a site feature with a functional space, adjacent to one of the outdoor amenity spaces. The amenity building is proposed to have a kitchen on the ground floor with an accessible washroom, and a larger space on the second floor, also with a kitchen. The mailbox area is proposed on the ground floor of the amenity building. In accordance with City Policy, the applicant must address the shortfall of indoor amenity space with cash-in-lieu compensation.
- The applicant is proposing to provide outdoor amenity space containing 612 square metres (6,591 sq. ft.) in 4 separate areas on the townhouse site:
 - The outdoor amenity space adjacent to the indoor amenity space is 184.6 square metres (1,987 sq. ft.) and is located between the indoor amenity space and Townhouse Building 10, along one of the internal drive aisles. This space is proposed to have a grass/play area, two picnic tables and landscaping.
 - A 189.5-square metre (2,040 sq. ft.) outdoor amenity area is proposed along Panorama Drive, between Townhouse Buildings 15 and 18. This space has a connection to Panorama Drive, and two rain gardens and two benches are proposed.
 - A 99.7 square metres (1,073 sq. ft.) outdoor amenity area is proposed between Townhouse Buildings 7 and 8, adjacent to the proposed park. This space features a grass/play area with a rain garden and two benches.
 - A 138.5 square metres (1,490 sq. ft.) outdoor amenity area is proposed south of Townhouse Building 33, adjacent to the proposed park. This space features a proposed community garden space containing a gardening shed, with a green roof, and an outdoor seating area.
- The total 612 square metres (6,591 sq. ft.) of proposed outdoor amenity space exceeds the Zoning By-law minimum requirements of 594 square metres (6,394 sq. ft.).

Townhouse Site: Landscaping

- Landscaping is proposed throughout the townhouse site. The landscaping includes a mix of trees, shrubs, ground cover and open lawn areas. The proposed retaining walls are proposed to be architectural poured in placed concrete walls with reveal line patterns or split-face architectural modular block walls in less visible areas.
- A 1.0 metre (3.5 feet) high wood screen fence is proposed at various locations along the perimeter of the townhouse site. Decorative entry features are proposed at various pedestrian entries to the site. Front entry posts are proposed at individual unit accesses to adjacent sidewalks. Project signage is proposed at various locations to identify the project.
- Decorative paving is proposed at the vehicular entrances and pervious pavers are proposed for the visitor parking spaces. No garbage enclosure is proposed as garbage and recycling will be picked up at each unit.

Apartment Site

- The apartment lot is in the south portion of the site, with a total area of 0.66 hectares (1.64 acres).
- The proposed RM-70 Zone requires a redesignation of the property, both in the OCP, and the South Newton NCP. The proposal includes amending the OCP in this area from “Commercial” to “Multiple Residential”, and amending the South Newton NCP from “Institutional” to “Apartment (65 upa max.)”. The proposed density is considered appropriate for this part of South Newton. The apartment site will interface with the existing commercial site to the south, proposed townhouses and a new road to the west, proposed new commercial buildings to the east, and proposed townhouses and the new east-west road to the north.
- The proposal is for a 4-storey building with a total of 106 rental units and 9,915 square metres (106,724 sq. ft.) of floor area, representing an FAR of 1.49, which is within the maximum 1.5 FAR permitted in the RM-70 Zone. The proposed building height is 14.9 metres (49 ft.), which is within the maximum 50 metres (164 ft.) of the RM-70 Zone. Variances are required for some of the setbacks, lot coverage and parking, and are discussed later in this report.
- The building is proposed as an articulated building with street presence on the new east-west road, and larger setbacks along the back portion of the building, where the building interfaces with the existing commercial site to the south.
- Of the 106 units, 50 are proposed as studios or 1-bedroom units, and 56 are proposed as 2-bedroom units. As the applicant is proposing rental units, an office area is proposed on the ground floor.
- High quality building materials are proposed. Building materials and colours include cement boards (beige, grey, black), metal cladding (charcoal), and wood trim boards (barnwood). The roof is proposed to be clad in black asphalt shingles and will include gables and sloped roofs.
- The main pedestrian access is provided from the new east-west road, with individual access provided to the ground floor units.

Apartment Site: Access, Pedestrian Circulation and Parking

- All of the parking for the apartment is proposed to be provided underground. Vehicular access to the underground parkade is proposed at the east portion of the proposed apartment lot, adjacent to the proposed commercial site. Two gates are proposed to the parkade: the first gate provides access to the visitor parking area, and the second gate provides access to the residential parking area.
- Pedestrian connections to the sidewalk are proposed for most of the street-fronting ground units, and a pathway is proposed from the new north-south road on the western side of the site to allow access to the outdoor amenity area and the lobby area.
- The applicant is proposing to provide 139 resident parking spaces and 21 visitor parking spaces. The proposal complies with the minimum requirement for parking spaces for visitor parking, but a variance is required for the resident parking spaces from 151 stalls to 139 stalls. The variance is discussed later in this report.

Apartment Site: Amenity Space

- The Zoning By-law requires 318 square metres (3,423 sq. ft.) of both indoor and outdoor amenity space be provided for this project, based on 3 square metres (32 sq. ft.) per dwelling unit.
- The applicant is proposing 344 square metres (3,707 sq. ft.) of indoor amenity space, which meets the requirements in the Zoning By-Law. Each floor has a 44-square metre (475 sq. ft.) amenity space, and the ground floor has an additional 168 square metres (1,807 sq. ft.) of indoor amenity space provided. The indoor amenity spaces are as follows:
 - Ground floor: three spaces with a total area of 212 square metres (2,282 sq. ft.)
 - Meeting room: 44 square metres (475 sq. ft.)
 - Conference room: 85 square metres (914 sq. ft.)
 - Fitness room: 83 square metres (893 sq. ft.)
 - The conference room and fitness room are side-by-side, and can be combined through an operable wall to a larger 168 square-metre (1,807 sq. ft.) space;
 - 2nd floor: 44 square-metre (475 sq. ft.) games amenity;
 - 3rd floor: 44 square-metre (475 sq. ft.) crafts amenity; and
 - 4th floor: 44 square-metre (475 sq. ft.) library amenity.
- The applicant is proposing to provide 1,032 square metres (11,109 sq. ft.) of outdoor amenity space, connected with the proposed indoor amenity area, located to the south of the building. Over half of the space is proposed as a common lawn, with the remainder proposed to contain an eating area with trellis and built-in barbeque, a sandbox, and raised garden beds. The total 1,032 square metres (11,109 sq. ft.) of outdoor amenity spaces provided exceeds the Zoning By-law minimum requirements of 318 square metres (3,423 sq. ft.).

Apartment Site: Landscaping

- Landscaping is proposed throughout the apartment site. The landscaping includes a mix of trees, shrubs, ground cover and open lawn areas.

ADVISORY DESIGN PANEL

The commercial and apartment portions of the project were referred to the Advisory Design Panel (ADP) on October 22, 2015 (Appendix VI). The ADP comments and suggestions have been satisfactorily addressed.

TREES

- Laura Ralph, ISA Certified Arborist of BC Plant Health Care Inc. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	15	15	0
Cottonwood	25	25	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Apple	2	2	0
Cherry	3	3	0
Black Locust	2	2	0
Red Oak	1	1	0
Horse Chestnut	6	6	0
English Walnut	5	5	0
Scouler's Willow	11	11	0
Big Leaf Maple	14	14	0
Coniferous Trees			
Douglas Fir	7	7	0
Western Red Cedar	6	6	0
Norway Spruce	2	2	0
Total (excluding Alder and Cottonwood Trees)	59	59	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		341	
Total Retained and Replacement Trees		341	
Contribution to the Green City Fund		n/a	

- The Arborist Assessment states that there are a total of 59 protected trees on the site, excluding Alder and Cottonwood trees. Forty (40) existing trees, approximately 40% of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 158 replacement trees on the site. The applicant is proposing 341 replacement trees, exceeding City requirements.

- The new trees on the site will consist of a variety of trees including Crimson Sentry Maple, Katsura, Ace of Hearts Redbud, Skyline Honeylocust, Pin Oak, Golden Deodar Cedar, Dawn Redwood, and Vandewolf's Pyramid Limber Pine.
- In summary, a total of 341 trees are proposed to be retained or replaced on the site.

PRE-NOTIFICATION

Pre-notification letters were sent on November 04, 2015, and a development proposal sign was installed on November 10, 2015. Staff received the following correspondence:

- 34 emails expressing concerns with the proposal;
- 5 phone calls from area residents expressing concern about the proposal;
- 3 emails and 1 phone caller with general questions about the proposal and no concerns expressed;
- Ongoing correspondence with the Panorama Neighbourhood Association (PNA) via email and also meetings; and
- an on-line petition organized by the PNA at <https://www.change.org> with 246 people "signing" a petition against the proposal. No addresses or signatures are provided so it is not possible to verify all of the respondents.

The main concerns identified by area residents include:

- overcrowding in local schools – many are concerned that the proposed development will increase this issue;
- parking – concerns the proposal will add to parking congestion in the area. Many residents pointed out that they already experience parking shortages, exacerbated by the nearby YMCA;
- traffic – concerns that adding more people to the area will increase traffic.

The applicant held a Public Information (PIM) meeting on September 16, 2015 at Cambridge Elementary School from 7 pm to 8:30 pm. A total of 19 residents signed in, representing 18 households, of which 9 submitted comment sheets. The concerns identified by residents included overcrowding at local schools, traffic, parking and concerns about the proposed rental tenure of the apartment building.

On December 4, 2015 staff met with the developer and 2 representatives from the PNA. The PNA identified that their number one concern was with school overcrowding. They felt the proposed townhouses would attract a demographic with school-age children which would add to the overcrowding problem. The PNA indicated no concern with the proposed commercial or apartment portions of the site.

In terms of the main issues identified by area residents, the following can be noted:

- overcrowding in local schools – the School Board is aware of this issue.
- parking – the applicant is providing the minimum required number of parking stalls on the townhouse and commercial portions of the site, as per the Zoning bylaw. A twelve (12) stall reduction out of 154 required stalls (8% reduction) is proposed on the apartment portion, which is considered acceptable by staff based on the site’s proximity to transit on 152 Street. The applicant is also providing additional on-street parking spaces on Panorama Drive and the new east-west road propose through the site. Based on a neighbourhood parking study conducted as part of the application, the number of on-street parking spaces provided exceeds the anticipated additional on-street parking demand that would be generated by the proposed development.
- traffic – The applicant was required to conduct a Traffic Impact Analysis (TIA) to assess the impacts of the anticipated site-generated traffic from the proposed development. Based on the TIA, the overall impact of the site-generated traffic on the operations of the existing transportation infrastructure is anticipated to be modest. The proposed development assists in achieving a finer grained road network to distribute traffic, with the applicant providing a dedication for a new east-west road, connecting 152 Street to Panorama Drive.
- rental – The proposed apartment building is of a high quality in terms of design and materials. The proposed rental tenure and unit type increases the housing diversity in the area. The applicant advises that the units will be targeted to residents aged 55+.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on October 17, 2014. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is within the South Newton NCP area.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposal includes a 3-building commercial development, 198 townhouses and 106 rental apartments. Community garden beds are proposed on the townhouse and apartment sites.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The applicant is proposing to utilize absorbent soils greater than 300mm (1 ft.) in depth, rain gardens, cisterns and dry swales. • Recycling pick-up is available.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • There is access to transit on 152 Street. • Secure bicycle storage is provided for the apartment building for 129 bicycles. • On-site walkways are provided.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The proposal has townhouse and apartment units facing the roads and the park, with windows facing public areas.

Sustainability Criteria	Sustainable Development Features Summary
6. Green Certification (F1)	• n/a
7. Education & Awareness (G1-G4)	• n/a

ADVISORY DESIGN PANEL

The project was reviewed by the ADP at its meeting of October 22, 2015 (minutes, Appendix VI).

The applicant has resolved the majority of the issues identified by the Panel to the satisfaction of the Planning and Development Department.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum setback of the C-8 Zone from 7.5 metres (25 ft.) to:
 - 5.0 metres (16.5 ft.) for the east property line (along 152 Street);
 - 4.25 metres (14 ft.) for the west property line; and
 - 4.0 metres (13 ft.) for the north property line (along the new east-west road).

Staff Comments:

- The proposed variances along 152 Street and the new east-west road bring the buildings closer to the street which animates the public realm and encourages pedestrian activity along the street frontages.
- The applicant is proposing heavy planting along the westerly property line to provide screening for proposed Building 1.

(b) Requested Variance:

- To reduce the minimum setback of the RM-30 Zone from 7.5 metres (25 ft.) to:
 - 4.5 metres (15 ft.) to the building face, and 3.5 metres (11 ft.) to the bay window, along Panorama Drive, the new east-west road and the new north-south road;
 - 4.5 metres (15 ft.) to the building face, and 3.4 metres (11 ft.) to the bay window, along 152 Street;

- 3.0 (10 ft.) to the building face, and 1.9 metres (6 ft.) to the bay window, along the proposed park parcel; and
- 4.4 metres (14.5 ft.) for Townhouse Building 4 in the southwest corner of the site.

Staff Comments:

- The proposed setbacks for the townhouse site will bring the townhouse units closer to the street and the park parcel which allows the units to better engage the street and park, which enlivens the public realm, and also provides surveillance over the public realm.
- The proposed setbacks allow for sufficient landscaping that helps delineate the private and public realms, while still allowing the townhouse buildings to address the public realm.

(c) Requested Variance:

- To reduce the minimum setback of the RM-70 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for the west, south and north setbacks.

Staff Comments:

- The proposed setback along the street frontages will bring the apartment units to better engage the street, which enlivens the public realm, and also provides surveillance over the public realm.
- The proposed relaxation for the south setback (adjacent to the existing commercial site to the south) is only for a corner of the building. The rest of the building has a substantial setback on the south side, and also a large outdoor amenity area which buffers the building from the neighbouring commercial site.

(d) Requested Variance:

- To increase the maximum lot coverage of the RM-70 Zone from 33% to 40%.

Staff Comments:

- The proposed increase in lot coverage assists in reducing the building height to a 4-storey height, which is a more appropriate massing for the neighbourhood.
- Although the lot coverage is proposed to be increased, it is noted that the applicant is proposing a very large outdoor amenity space, and all parking for the apartment is being provided underground.

(e) Requested Variance:

- To reduce the minimum number of on-site resident parking spaces for the apartment site from 151 parking stalls to 139 parking stalls.

Staff Comments:

- The apartment building is proposed to be a rental building, which typically have lower rates of car ownership, according to the 2012 *Metro Vancouver Apartment Parking Study*, which demonstrated that rental apartment buildings did not require the same rate of parking as owner-occupied apartment buildings.
- The applicant is also providing additional on-street parking spaces on Panorama Drive and the new east-west road propose through the site. Based on a neighbourhood parking study conducted as part of the application, the number of on-street parking spaces provided exceeds the anticipated additional on-street parking demand that would be generated by the proposed development.
- The proposed 12 stall reduction out of the required 154 stalls (8% reduction) is considered acceptable by staff based on the site's proximity to transit on 152 Street and the rental tenure proposed for the building.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Site Plan, Building Elevations and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	ADP Comments and Applicant's Response
Appendix VII.	NCP Redesignation Map
Appendix VIII.	OCP Redesignation Map
Appendix IX.	Development Variance Permit No. 7914-0286-00


b. Jean Lamontagne
General Manager
Planning and Development

KB/dk

DEVELOPMENT DATA SHEET – COMMERCIAL SITE

Proposed Zoning: C-8

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Commercial Site Net Total		10,191 sq.m. (2.52 acres)
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	50%	29%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (152 St)	7.5m	5.0m
Rear (east)	7.5m	4.25m
Side #1 (north)	7.5m	4.0m
Side #2 (south)	7.5m	7.5m
BUILDING HEIGHT (in metres/storeys)		
Principal	12 m	10 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		3,147 sq.m.
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		3,147 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	0.80	0.31
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	94	126
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	94	126
Number of disabled stalls	1	4
Number of small cars	24	23
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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DEVELOPMENT DATA SHEET – TOWNHOUSE SITE

Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Townhouse Site Net Total		32,990 sq.m. (8.15 acres)
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	35%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
All sides	7.5m	See DVP section in report
BUILDING HEIGHT (in metres/storeys)		
Principal	13m	11.7 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		198
FLOOR AREA: Residential		26,062 sq.m.
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		26,062 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	75 uph/30 upa	59 uph/24 upa
FAR (gross)		
FAR (net)	0.90	0.79
AMENITY SPACE (area in square metres)		
Indoor	594 sq.m.	191 sq.m.
Outdoor	594 sq.m.	612 sq.m.
PARKING (number of stalls)		
Commercial		
Industrial		
Residential	396	396
Residential Visitors	40	40
Institutional		
Total Number of Parking Spaces	436	436
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		96 units/49%
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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DEVELOPMENT DATA SHEET – APARTMENT SITE

Proposed Zoning: RM-70

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Apartment Site Net Total		6,633 sq.m. (1.64 acres)
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	33%	40%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (west)	7.5m	4.5m
Rear (east)	7.5m	7.5m
Side #1 (north)	7.5m	4.5m
Side #2 (south)	7.5m	4.5m
BUILDING HEIGHT (in metres/storeys)		
Principal	50m	14.9 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Studio/One Bed		50
Two Bedroom		56
Three Bedroom +		
Total		106
FLOOR AREA: Residential (not including amenity area)		9,915 sq.m.
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		9,915 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		161 uph/65 upa
FAR (gross)		
FAR (net)	1.50	1.49
AMENITY SPACE (area in square metres)		
Indoor	318 sq.m.	344 sq.m.
Outdoor	318 sq.m.	1,032 sq.m.
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Studio + 1 Bedroom	50 X 1.3 = 65	50 X 1.1 = 55
2-Bed	56 X 1.5 = 84	56 X 1.5 = 84
3-Bed		
Total Resident	149	139
Residential Visitors	21	21
Total Number of Parking Spaces	170	160
Number of disabled stalls	2	3
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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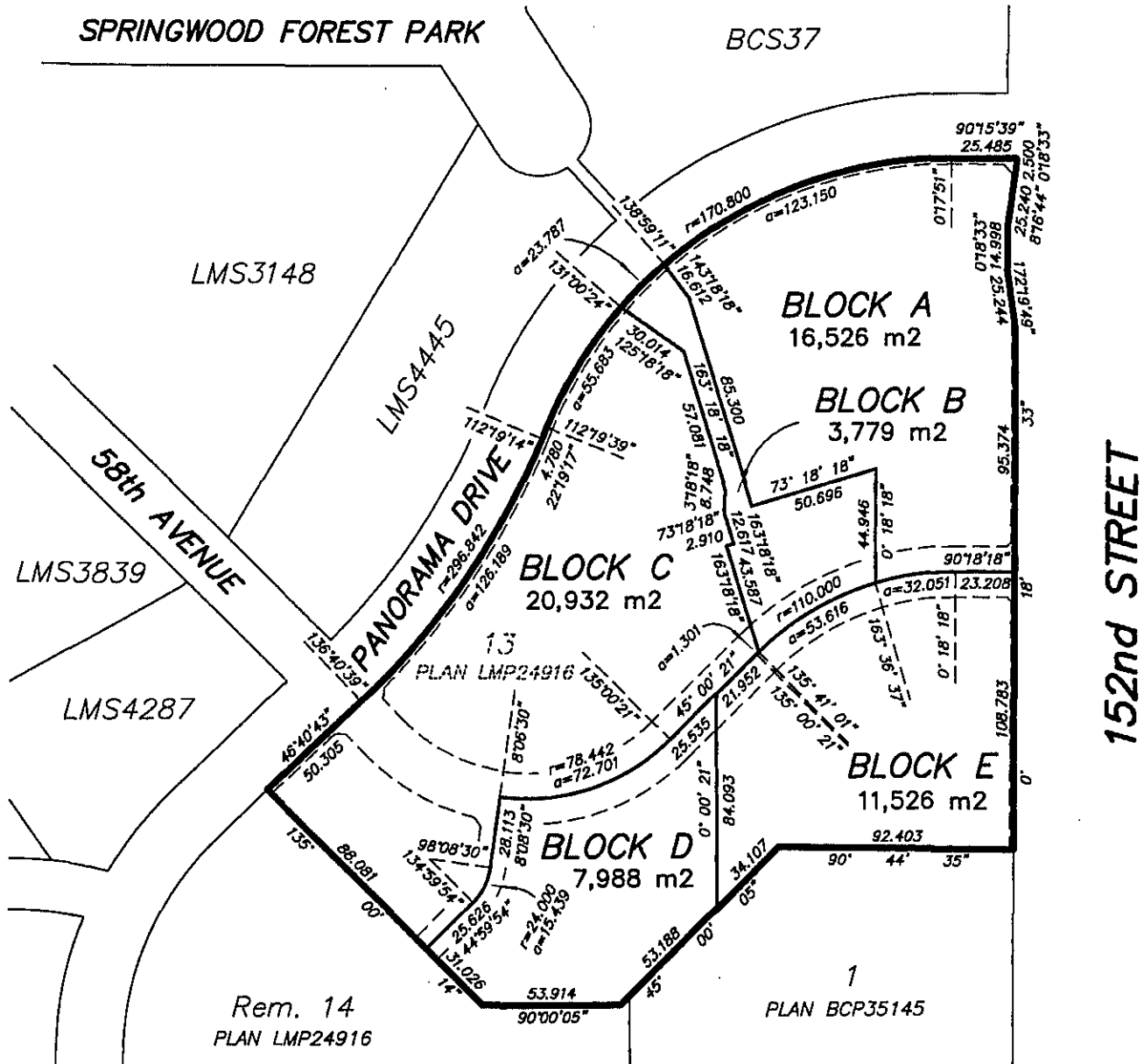
**BLOCK SURVEY PLAN TO ACCOMPANY CITY OF SURREY
REZONING BYLAW No. _____ OF
PARTS OF LOT 13 SECTION 10 TOWNSHIP 2
NEW WESTMINSTER DISTRICT PLAN LMP24916**



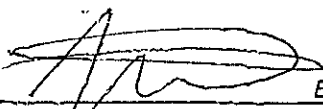
0 100 200



SCALE 1 : 2500 DISTANCES ARE IN METRES



CERTIFIED CORRECT
THIS 2nd DAY OF FEBRUARY, 2016.


JESSE MORIN B.C.L.S.

**BUTLER
SUNDVICK**
4 - 19089 94th Ave
Surrey, BC V4N 3S4
www.butlersundvick.ca
Tel. 604-513-9611
File: 4694
Dwg: 4694-ZN

**SUBDIVISION PLAN OF LOT 13
SECTION 10 TOWNSHIP 2
NEW WESTMINSTER DISTRICT
PLAN LMP24916**

PLAN EPP59961

BCGS 926.016

SCALE 1 : 750 DISTANCES ARE IN METRES
THE INTENDED PLOT SCALE OF THIS PLAN IS 340 mm
IN WIDTH BY 866 mm IN HEIGHT (D SIZE) WHEN
PLOTTED AT A SCALE OF 1:750.

INTEGRATED SURVEY AREA No. 1, SURREY, NAD83 (CSRS)

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS AND ARE
REFERRED TO CENTRAL MERIDIAN OF UTM ZONE 12.

THE UTM COORDINATES AND ESTIMATED HORIZONTAL POSITIONAL
ACCURACY ADVERTISED ARE DERIVED FROM OBSERVATIONS TO GEODETIC
CONTROL POINTS 5742 AND 5743.

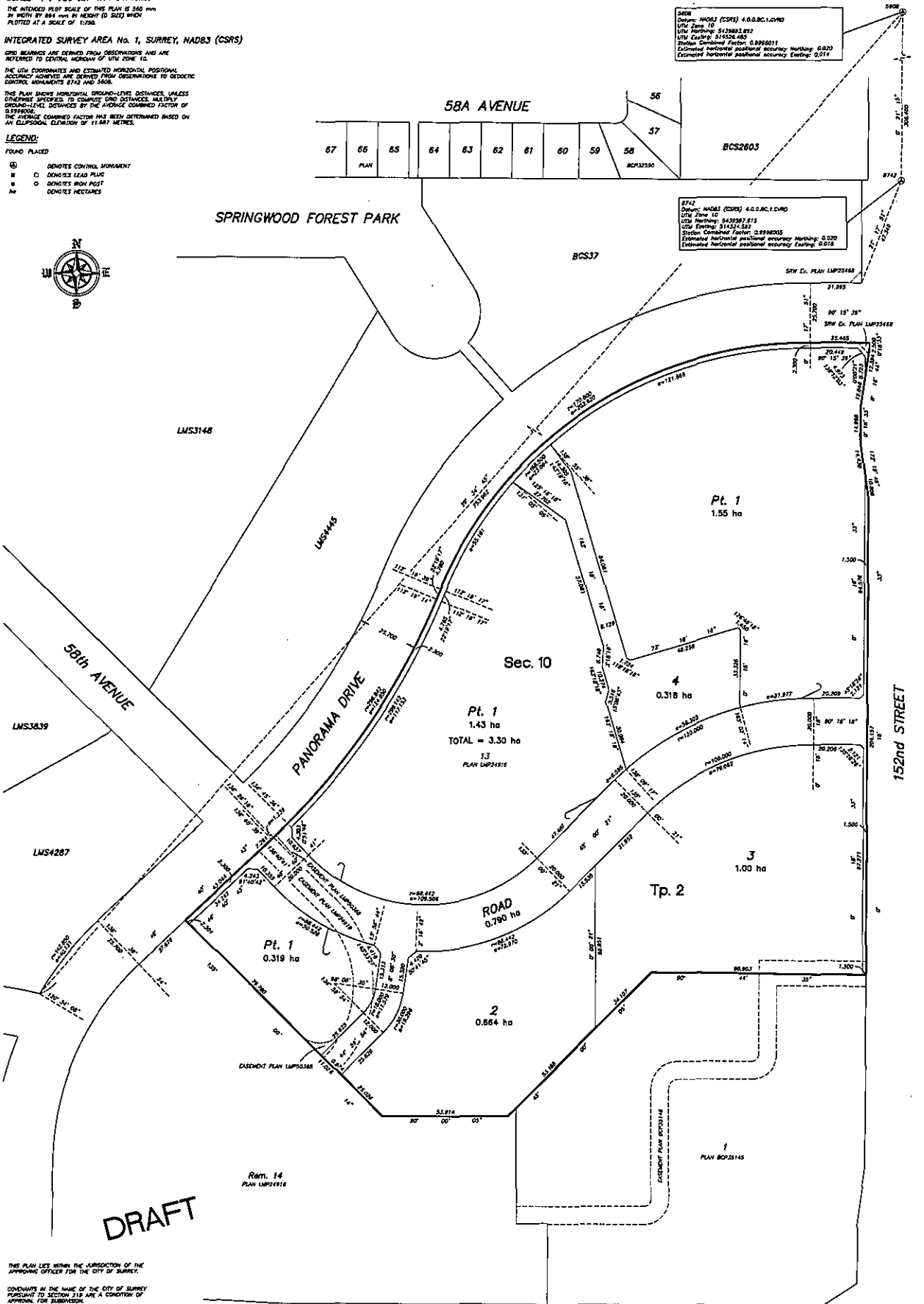
THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS
OTHERWISE SPECIFIED TO COMPLETE GRID DISTANCES. MEASUREMENTS
GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF
0.9998005.

THE AVERAGE COMBINED FACTOR HAS BEEN DETERMINED BASED ON
AN ELLIPSOIDAL ELEVATION OF 11.867 METRES.

LEGEND:

FOUND PLACED

- ⊙ DENOTES CONTROL MONUMENT
- ⊙ DENOTES LEAD PLUG
- ⊙ DENOTES IRON POST
- ⊙ DENOTES HEAVY IRON



DRAFT

THIS PLAN LIES WITHIN THE JURISDICTION OF THE
APPROVING OFFICES FOR THE CITY OF SURREY.

CONTRACTS IN THE NAME OF THE CITY OF SURREY
PURSUANT TO SECTION 118 ARE A CONDITION OF
APPROVAL FOR SUBDIVISION.

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS
COMPLETED ON THE 25 DAY OF JUNE, 2016.
DAVE SANDHOLM, P.E.S. (017)

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

HIGHWAY No. 10

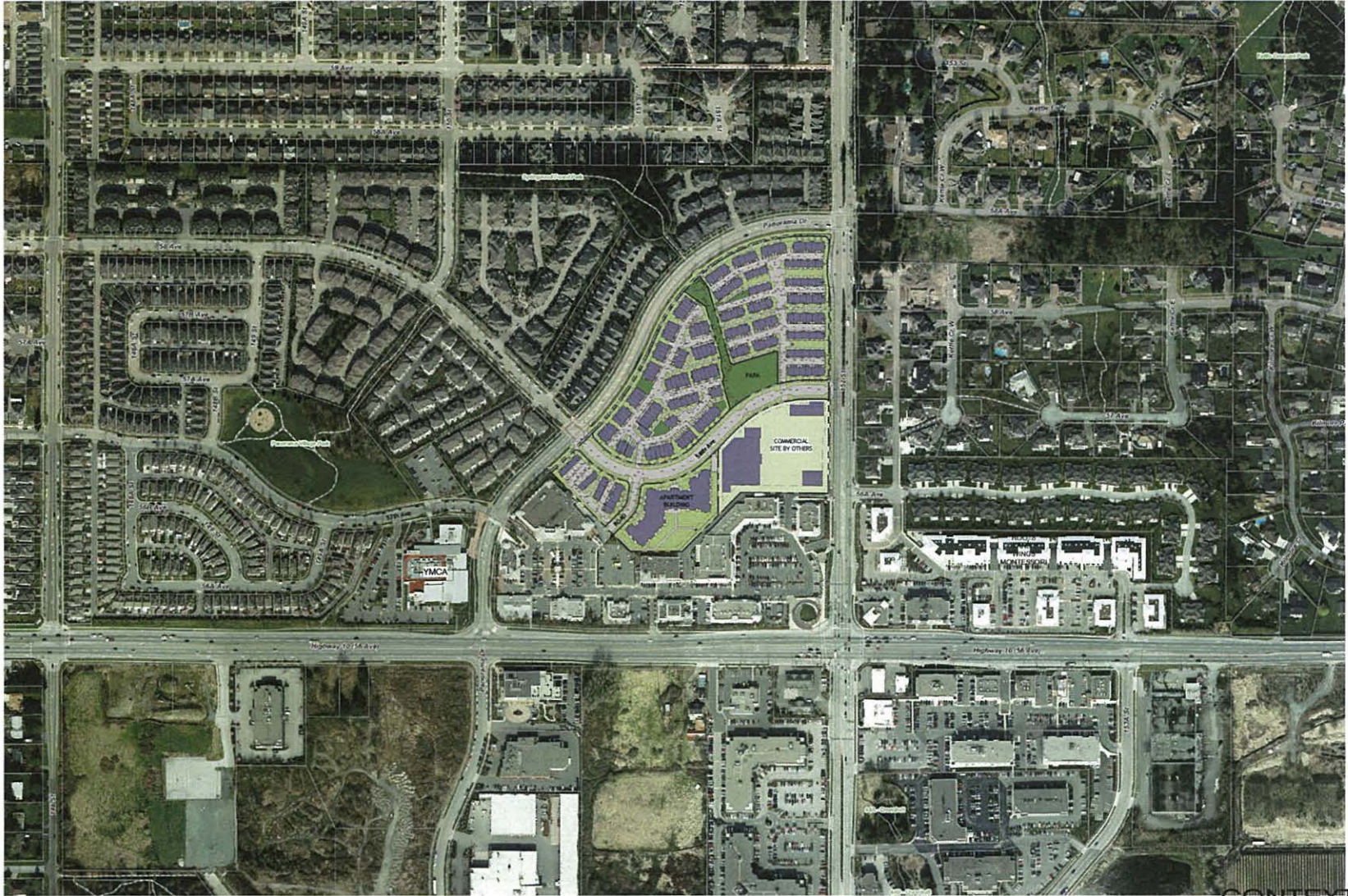
MARCH 1st, 2016

4 - 1908 8th Ave
Surrey, BC V4A 3S4
www.sandholm.ca
Tel: 604-513-8811

Plan: 128
Dwg: 4824-31 REV. 2

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC

SITE DATA

COMMERCIAL SITE
 • PROPOSED ZONE: C8 (COMMUNITY COMMERCIAL ZONE)
 • BY OTHERS

APARTMENT SITE
 • SITE AREA: 71,798 S.F. (1.64 ACRES)
 • DENSITY (FAR): 106,724 F. 71,798 ÷ 6.74 (MAX. 1,56)
 • DENSITY (GFA): 106,724 ÷ 144.5 (75 MAX)
 • UNITS: 106 UNITS
 • PARKING REQUIRED (ZONING BY-LAW):
 - RESIDENTS:
 - 1 STUDIO, 1 BED UNITS: 14+17 UNITS = 21 UNITS x 1.3 = 27 STALLS
 - 1 2-BED, 2 BED, 2 3-BED: 28+28+27 = 83 UNITS x 1.3 = 107.9 STALLS
 - TOTAL 135 RESIDENT STALLS REQUIRED
 - VISITORS:
 - 106 UNITS x 0.2 = 21 VISITOR STALLS REQUIRED
 - TOTAL PARKING REQUIRED (ZONING BY-LAW): 137 STALLS
 • PARKING PROVIDED (PROPOSED VIA VARIANCE):
 - RESIDENTS:
 - STUDIOS UNITS: 4 UNITS x 1.1 (VARIANCE FROM 1.3) = 4.4 STALLS
 - 1 BED UNITS: 17 UNITS x 1.1 (VARIANCE FROM 1.3) = 18.7 STALLS
 - 1 BED + DEN UNITS: 29 x 1.08 (VARIANCE FROM 1.3) = 31.3 STALLS
 - 2 BED, 2 BED + DEN: 28+28 = 56 UNITS x 1.5 (NO VARIANCE) = 84 STALLS
 - TOTAL 139 RESIDENT STALLS REQUIRED (16 STALL VARIANCE)
 - VISITORS:
 - 106 UNITS x 0.2 = 21 VISITOR STALLS REQUIRED
 - TOTAL PARKING PROVIDED (PROPOSED VIA VARIANCE): 160 STALLS
 • PARKING PROVIDED:
 - UNDERGROUND: 139 STALLS
 - TOTAL: 139 STALLS
 - VISITORS:
 - UNDERGROUND: 21 STALLS (PLUS OFF-SITE STREET PARKING)
 - TOTAL: 21 STALLS
 - TOTAL PARKING PROVIDED: 160 STALLS

TOWNHOUSE SITES
 • PROPOSED ZONE: RM 30 (MULTIPLE RESIDENTIAL 30 ZONE)
 • TOTAL SITE AREA: 375,079 S.F. (8.58 ACRES)
 • UNIT DENSITY (FAR): 196 F. 13 - 24.3 (30 MAX)
 • DENSITY (FAR): 280,538 ÷ 375,079 S.F. = 0.75 (MAX. 0.75)
 • PARKING REQUIRED:
 - RESIDENTS:
 - REQUIRED: 196 UNITS x 2.0 = 392 STALLS
 - PROPOSED: 396 STALLS
 - DRIVE GARAGE STALLS: 112 UNITS (224 STALLS)
 - TANDEN:
 - TANDEN GARAGE STALLS: 60 UNITS (120 STALLS)
 - 1 GARAGE + 1 DRIVEWAY STALL: 26 UNITS (52 STALLS)
 - TOTAL TANDEN STALLS: 86 UNITS / 178 UNITS = 43.4%
 - VISITORS:
 - REQUIRED: 196 UNITS x 0.2 = 40 STALLS
 - PROPOSED: 40 STALLS
 • INDOOR AMENITY AREA:
 - REQUIRED: 196 UNITS x 3.0 S.M. = 588 S.M. = 6,796 S.F.
 - PROPOSED (2 STOREY): 1,629 S.F. x 2 FLOORS = 3,258 S.F.
 • OUTDOOR AMENITY AREA:
 - REQUIRED: 196 UNITS x 3.0 S.M. = 588 S.M. = 6,796 S.F.
 - PROPOSED: 1,987 S.F. x 2 FLOORS = 3,974 S.F. = 4,491 S.F. + 6,591 S.F. = 11,082 S.F.

TOWNHOUSE UNIT TYPE DATA (UNIT AREAS EXCLUDE GARAGES)

+ UNIT A1	+ 18 UNITS
- 3 BEDROOM + DEN	- 1,356 S.F. +/-
+ UNIT A2	+ 4 UNITS
- 3 BEDROOM + DEN	- 1,462 S.F. +/-
+ UNIT B1	+ 1 UNITS
- 3 BEDROOM + DEN	- 1,538 S.F. +/-
+ UNIT A4	+ 5 UNITS
- 2 BEDROOM + DEN	- 1,462 S.F. +/-
+ UNIT B2	+ 1 UNITS
- 3 BEDROOM + DEN	- 1,513 S.F. +/-
+ UNIT B3	+ 1 UNITS
- 3 BEDROOM + DEN	- 1,514 S.F. +/-
+ UNIT B3	+ 21 UNITS
- 3 BEDROOM + DEN	- 1,516 S.F. +/-
+ UNIT B4	+ 18 UNITS
- 3 BEDROOM + DEN	- 1,592 S.F. +/-
+ UNIT C1	+ 11 UNITS
- 3 BEDROOM + DEN	- 1,410 S.F. +/-
+ UNIT C2	+ 6 UNITS
- 3 BEDROOM + DEN	- 1,581 S.F. +/-
+ UNIT C3	+ 3 UNITS
- 4 BEDROOM + DEN	- 1,843 S.F. +/-
+ UNIT D1	+ 1 UNITS
- 3 BEDROOM + DEN	- 1,431 S.F. +/-
+ UNIT D2	+ 2 UNITS
- 3 BEDROOM + DEN	- 1,215 S.F. +/-
+ UNIT E1	+ 1 UNITS
- 2 BEDROOM	- 1,316 S.F. +/-
+ UNIT E2	+ 2 UNITS
- 2 BEDROOM	- 1,354 S.F. +/-
+ UNIT E3	+ 1 UNITS
- 2 BEDROOM	- 1,330 S.F. +/-
+ UNIT F1	+ 1 UNITS
- 4 BEDROOM + DEN	- 1,890 S.F. +/-
+ UNIT G1	+ 2 UNITS
- 3 BEDROOM + DEN	- 1,407 S.F. +/-
+ UNIT G2	+ 9 UNITS
- 3 BEDROOM + DEN	- 1,422 S.F. +/-
+ UNIT G3	+ 4 UNITS
- 3 BEDROOM + DEN	- 1,191 S.F. +/-
+ UNIT H1	+ 9 UNITS
- 2 BEDROOM	- 1,191 S.F. +/-
+ UNIT H2	+ 2 UNITS
- 2 BEDROOM	- 1,259 S.F. +/-

TOWNHOUSE BUILDING DATA

- TH-1	- 5 UNITS	- TH-17	- 5 UNITS	- TH-31	- 5 UNITS
- BUILDING AREA: 3246 S.F. +/-		- BUILDING AREA: 3185 S.F. +/-		- BUILDING AREA: 3246 S.F. +/-	
- TH-2	- 3 UNITS	- TH-18	- 4 UNITS	- TH-34	- 4 UNITS
- BUILDING AREA: 1888 S.F. +/-		- BUILDING AREA: 2454 S.F. +/-		- BUILDING AREA: 2700 S.F. +/-	
- TH-3	- 5 UNITS	- TH-19	- 4 UNITS	- TH-35	- 4 UNITS
- BUILDING AREA: 1565 S.F. +/-		- BUILDING AREA: 2454 S.F. +/-		- BUILDING AREA: 2700 S.F. +/-	
- TH-4	- 4 UNITS	- TH-20	- 4 UNITS	- TH-36	- 4 UNITS
- BUILDING AREA: 1878 S.F. +/-		- BUILDING AREA: 2454 S.F. +/-		- BUILDING AREA: 2700 S.F. +/-	
- TH-5	- 4 UNITS	- TH-21	- 5 UNITS	- TH-37	- 5 UNITS
- BUILDING AREA: 3881 S.F. +/-		- BUILDING AREA: 3057 S.F. +/-		- BUILDING AREA: 3364 S.F. +/-	
- TH-6	- 5 UNITS	- TH-22	- 4 UNITS	- TH-38	- 4 UNITS
- BUILDING AREA: 2347 S.F. +/-		- BUILDING AREA: 2608 S.F. +/-		- BUILDING AREA: 3073 S.F. +/-	
- TH-7	- 8 UNITS	- TH-23	- 5 UNITS	- TH-39	- 5 UNITS
- BUILDING AREA: 3743 S.F. +/-		- BUILDING AREA: 3054 S.F. +/-		- BUILDING AREA: 3116 S.F. +/-	
- TH-8	- 2 UNITS	- TH-24	- 3 UNITS	- TH-40	- 3 UNITS
- BUILDING AREA: 1315 S.F. +/-		- BUILDING AREA: 1954 S.F. +/-		- BUILDING AREA: 3858 S.F. +/-	
- TH-9	- 5 UNITS	- TH-25	- 4 UNITS	- TH-41	- 4 UNITS
- BUILDING AREA: 3218 S.F. +/-		- BUILDING AREA: 2416 S.F. +/-		- BUILDING AREA: 3997 S.F. +/-	
- TH-10	- 2 UNITS	- TH-26	- 3 UNITS	- TH-42	- 3 UNITS
- BUILDING AREA: 1315 S.F. +/-		- BUILDING AREA: 1954 S.F. +/-		- BUILDING AREA: 3032 S.F. +/-	
- TH-11	- 4 UNITS	- TH-27	- 4 UNITS	- TH-43	- 4 UNITS
- BUILDING AREA: 3769 S.F. +/-		- BUILDING AREA: 2700 S.F. +/-		- BUILDING AREA: 3083 S.F. +/-	
- TH-12	- 4 UNITS	- TH-28	- 4 UNITS	- TH-44	- 4 UNITS
- BUILDING AREA: 2190 S.F. +/-		- BUILDING AREA: 2700 S.F. +/-		- BUILDING AREA: 3472 S.F. +/-	
- TH-13	- 4 UNITS	- TH-29	- 3 UNITS	- TH-45	- 3 UNITS
- BUILDING AREA: 2454 S.F. +/-		- BUILDING AREA: 2416 S.F. +/-		- BUILDING AREA: 3116 S.F. +/-	
- TH-14	- 4 UNITS	- TH-30	- 4 UNITS	- TH-46	- 4 UNITS
- BUILDING AREA: 2454 S.F. +/-		- BUILDING AREA: 2416 S.F. +/-		- BUILDING AREA: 2416 S.F. +/-	
- TH-15	- 4 UNITS	- TH-31	- 3 UNITS	- TH-47	- 3 UNITS
- BUILDING AREA: 2454 S.F. +/-		- BUILDING AREA: 1891 S.F. +/-		- BUILDING AREA: 1891 S.F. +/-	
- TH-16	- 6 UNITS	- TH-32	- 3 UNITS	- TH-48	- 3 UNITS
- BUILDING AREA: 3647 S.F. +/-		- BUILDING AREA: 1891 S.F. +/-		- BUILDING AREA: 1891 S.F. +/-	



SITE PLAN
 1" = 60'-0"

SITE PLAN - OVERALL
 SD8-2

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



FIRE DEPARTMENT SITE PLAN

1" = 60'-0"

INTERNAL FIRE TRUCK ROUTE

- 6m WIDTH
- 12m CENTERLINE RADIUS FOR ALL TURNS
- DEAD-ENDS LESS THAN 90m
- NOTE THAT FIRE HYDRANT LOCATIONS WILL BE DETERMINED AND CONFIRMED AT THE BUILDING PERMIT APPLICATION STAGE



PROPOSED FIRE TRUCK ROUTE



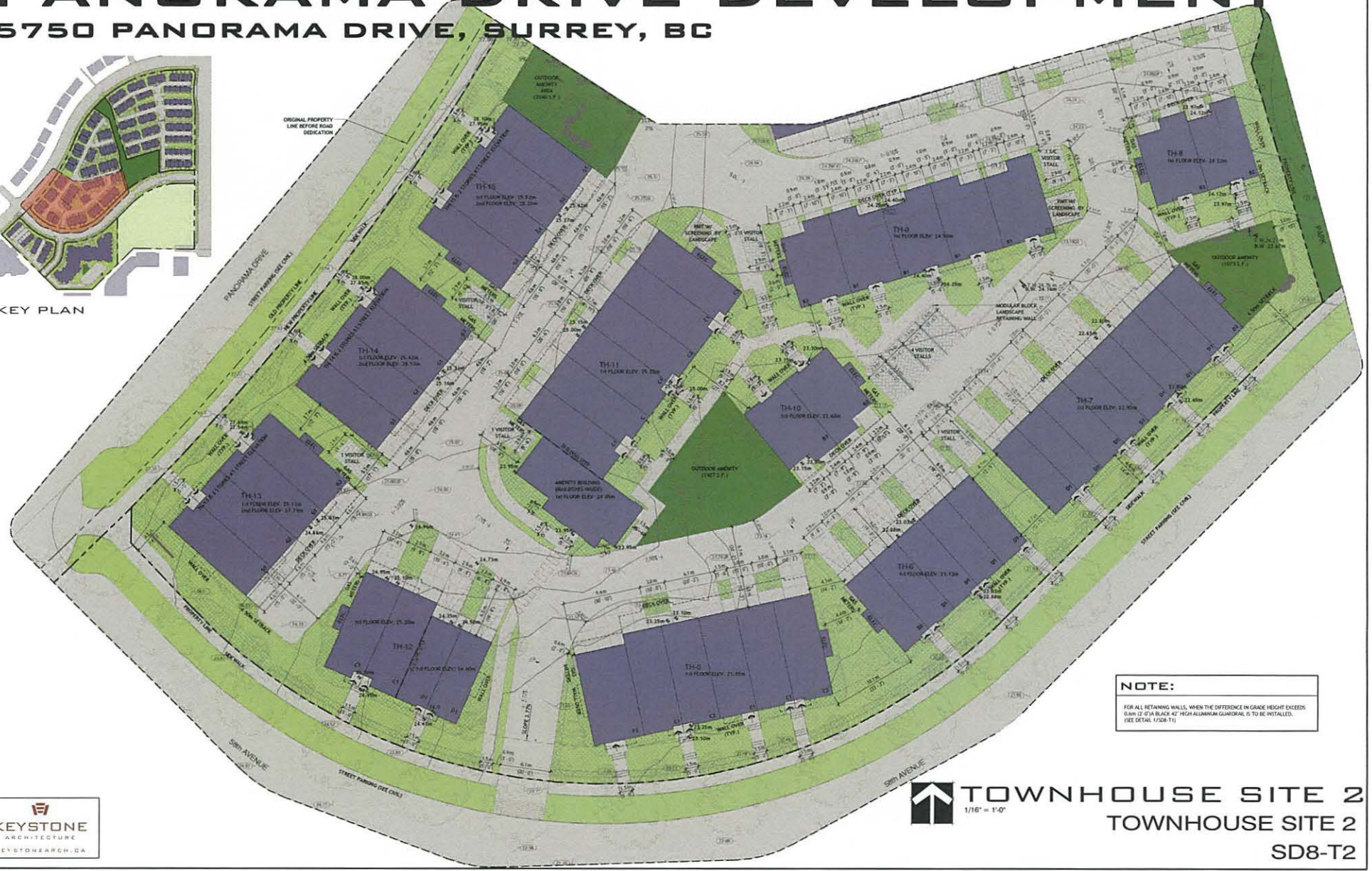
FIRE DEPARTMENT SITE PLAN
SD8-3

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



KEY PLAN



NOTE:
 FOR ALL RETAINING WALLS, WHEN THE DIFFERENCE IN GRADE HEIGHT EXCEEDS 0.6M (2 FT) A BLACK 42" HIGH ALUMINUM GUARDRAIL IS TO BE INSTALLED. (SEE DETAIL 1/508-11)



TOWNHOUSE SITE 2
 1/16" = 1'-0"
TOWNHOUSE SITE 2
SD8-T2

PANORAMA DRIVE DEVELOPMENT

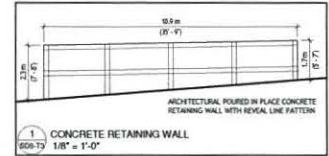
5750 PANORAMA DRIVE, SURREY, BC



KEY PLAN

NOTE:

FOR ALL RETAINING WALLS, WHEN THE DIFFERENCE IN GRADE HEIGHT EXCEEDS 0.9M (3'-0") A BLACK 42" HIGH ALUMINUM GUARDRAIL IS TO BE INSTALLED. (SEE DETAIL 1/508-T1)



TOWNHOUSE SITE 3

1/16" = 1'-0"

TOWNHOUSE SITE 3
SD8-T3

PANORAMA DRIVE DEVELOPMENT

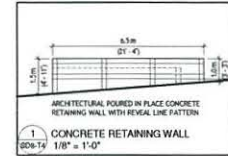
5750 PANORAMA DRIVE, SURREY, BC



KEY PLAN

NOTE:

FOR ALL RETAINING WALLS, WHEN THE DIFFERENCE IN GRADE HEIGHT EXCEEDS 3.0m (10'-0") A BLACK 4" HIGH ALUMINUM GUARDRAIL IS TO BE INSTALLED. (SEE DETAIL 1/108-T1)



TOWNHOUSE SITE 4

1/8" = 1'-0"

TOWNHOUSE SITE 4
SD8-T4

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



NOTE:
FOR ALL RETAINING WALLS, WHEN THE DIFFERENCE IN GRADE HEIGHT EXCEEDS 0.6m (2'-0") A BLACK 42" HIGH ALUMINUM GUARDRAIL IS TO BE INSTALLED. (SEE DETAIL 11528 T1)



KEY PLAN



TOWNHOUSE SITE 5
1/8" = 1'-0"

TOWNHOUSE SITE 5
SD8-T5

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



KEY PLAN

NOTE:
 FOR ALL RETAINING WALLS, WHEN THE DIFFERENCE IN GRADE HEIGHT EXCEEDS 0.30M (1'0") 0.24M BLACK 45° HIGH ALUMINUM GUARDRAIL IS TO BE INSTALLED. (SEE DETAIL 1/108-T1)



EAST END UNITS OF TH-32, TH-34, TH-41 & TH-42 REQUIRE 2 LAYERS TYPE 'X' G.W.B. AND UPGRADED WINDOWS IN BEDROOMS FACING 152ND STREET AS RECOMMENDED IN BAL. CONSULTANT'S ACOUSTIC REPORT



TOWNHOUSE SITE 6
 1/16" = 1'-0"

TOWNHOUSE SITE 6
 SD8-T6

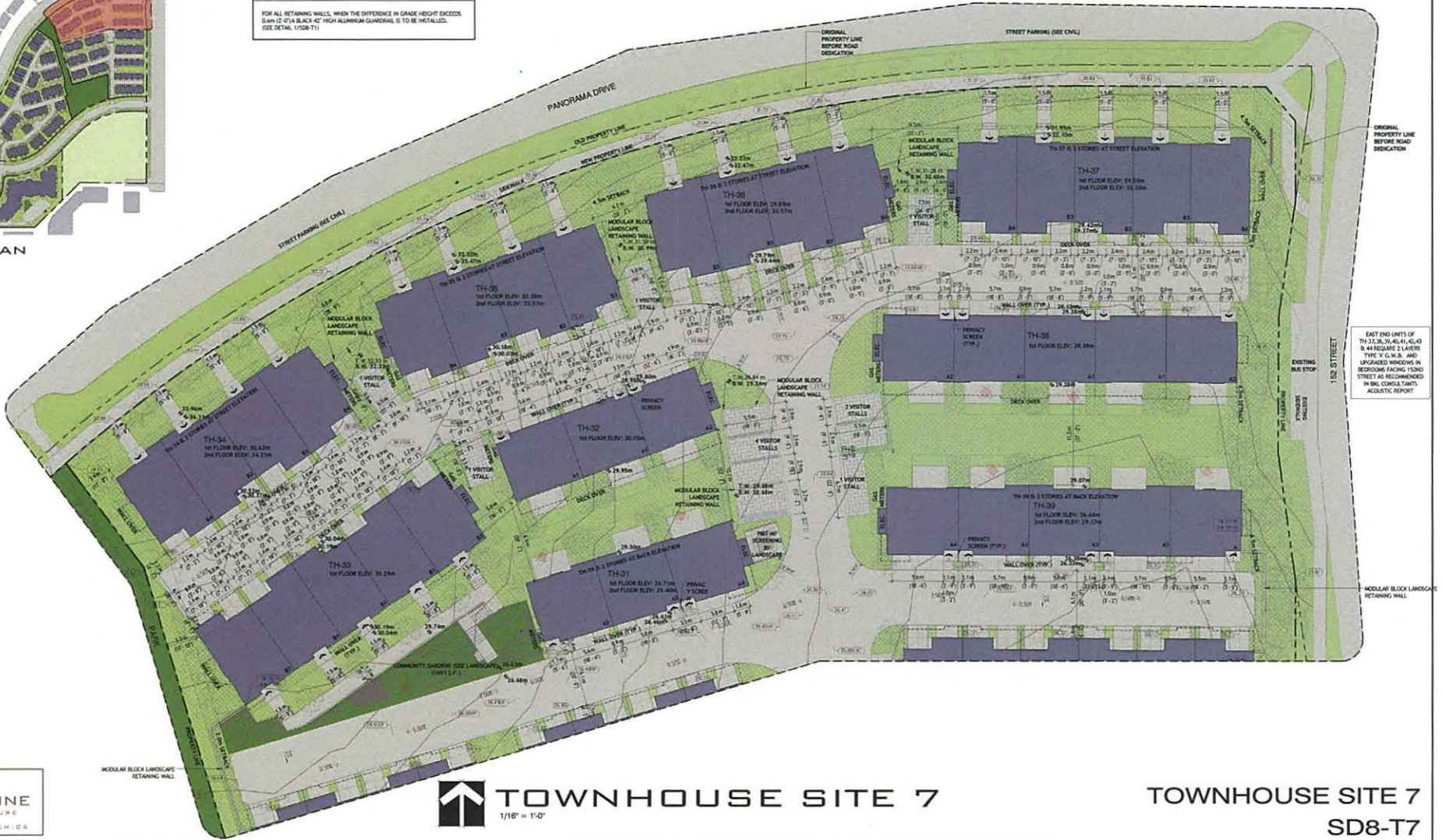
PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



KEY PLAN

NOTE:
 FOR ALL RETAINING WALLS, WHEN THE DIFFERENCE IN GRADE HEIGHT EXCEEDS 0.6M (2 FT) A BLACK 4" HIGH ALUMINUM GUARDRAIL IS TO BE INSTALLED. (SEE DETAIL 1/SD8-T1)



EAST END UNITS OF TH 37, 38, 36, 40, 41, 42, 43 & 44 REQUIRE 2 LAYERS TYPE X G.I.B. AND UPGRADED WINDOWS IN BEDROOMS FACING 1500 STREET AS RECOMMENDED IN BK. CONSULTANTS ACOUSTIC REPORT

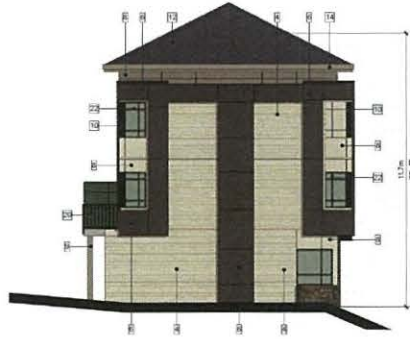


TOWNHOUSE SITE 7
 1/16" = 1'-0"

TOWNHOUSE SITE 7
 SD8-T7

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



TH-1 & 9 SIDE ELEVATION
1/8" = 1'-0"



TH-1,24,26 & 33 SIDE ELEVATION
1/8" = 1'-0"



TH-1,9,24,26 & 33 FRONT ELEVATION
1/8" = 1'-0"



TH-9,24,26 & 33 SIDE ELEVATION
1/8" = 1'-0"



TH-1,9,24,26 & 33 BACK ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND

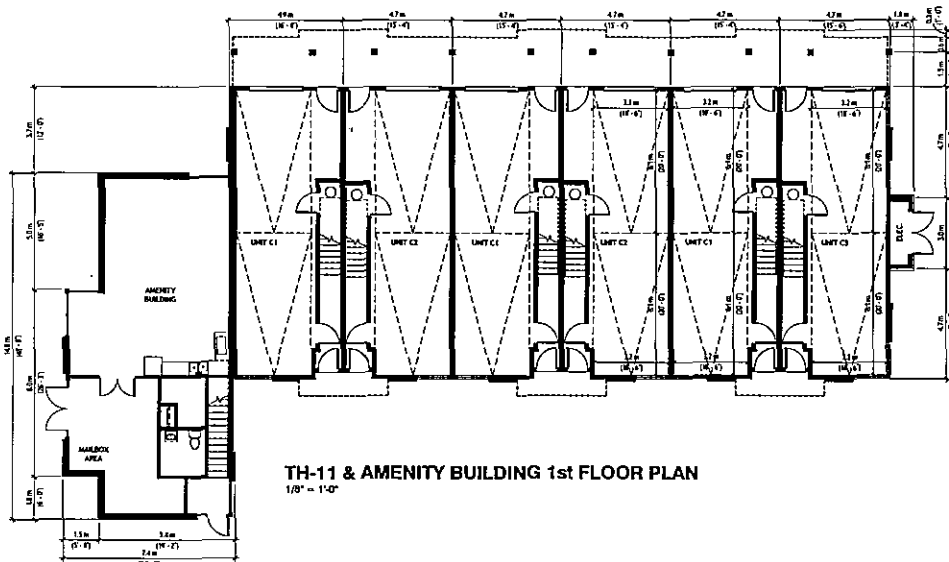
- 1 ELBORADO STACKED STONE, COLOR: CHAPEL HILL
- 2 WOOD GRAIN ALUMINUM CLADDING OR SHWEL, COLOR: LONGBOARD DARK SHAWOOD OR SHWEL
- 3 CEMENT BOARD HORIZONTAL LAP SIDING - 4" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 4 CEMENT BOARD HORIZONTAL LAP SIDING - 4" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 5 CEMENT BOARD HORIZONTAL LAP SIDING - 4" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE STONEWARE CSP-245
- 6 CEMENT BOARD FLAT PANEL SIDING - SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE KENDALL CHARCOAL HC-166
- 7 CEMENT BOARD FLAT PANEL SIDING - SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 8 CEMENT BOARD FLAT PANEL SIDING - SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 9 CEMENT BOARD FLAT PANEL SIDING - SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE STONEWARE CSP-245
- 10 CEMENT BOARD FLAT PANEL SIDING - SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE BLACK
- 11 METAL CLADDING, COLOR: CHARCOAL
- 12 ASPHALT ROOF SHINGLES
- 13 WOOD TRIM BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 14 WOOD FASCIA BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 15 WOOD FASCIA BOARDS - VARIOUS WIDTHS, PAINTED TO MATCH WOOD GRAIN ALUMINUM SIDING
- 16 METAL FLASHING, COLOR TO MATCH BENJAMIN MOORE BARNWOOD CSP-115
- 17 REVEALS: EASY TRIM, COLOR: CLEAR ANODIZED
- 18 STONE LINTEL: ELBORADO, COLOR: CHAPEL HILL
- 19 CONCRETE WALL, PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 20 METAL ALUMINUM RAILING, COLOR: BLACK
- 21 T&G CEDAR SOFFIT, COLOR TO MATCH WOOD GRAIN ALUMINUM SIDING
- 22 VINYL DOORS & WINDOWS, COLOR: CHARCOAL
- 23 ALUMINUM DOOR & FRAME, COLOR: CHARCOAL
- 24 METAL LOUVER, COLOR: CHARCOAL
- 25 PREFINISHED METAL FASCIA: CHARCOAL

ELEVATIONS - TH-1,9,24,26 &
33

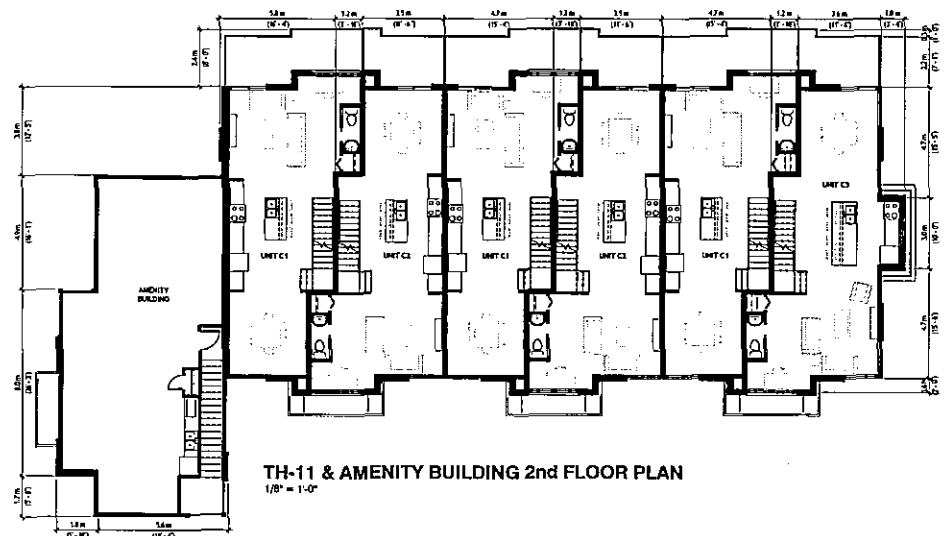
SD8-T9

PANORAMA DRIVE DEVELOPMENT

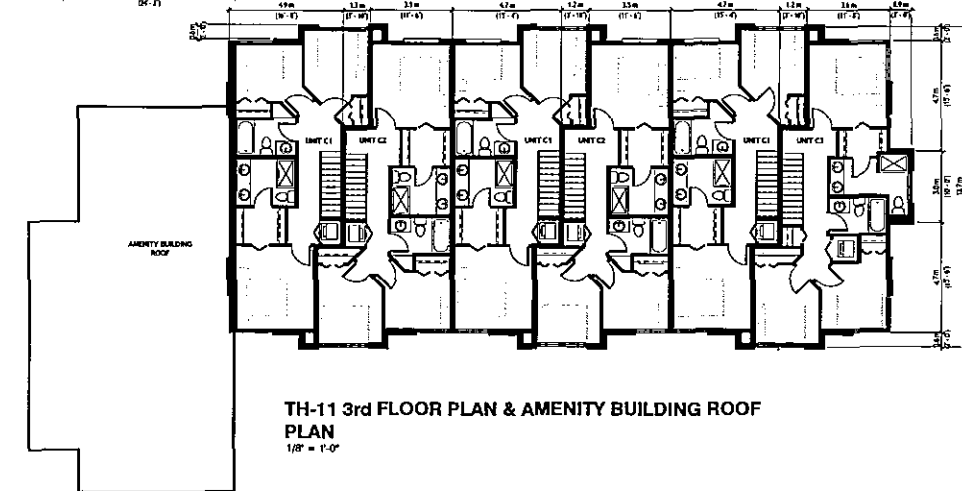
5750 PANORAMA DRIVE, SURREY, BC



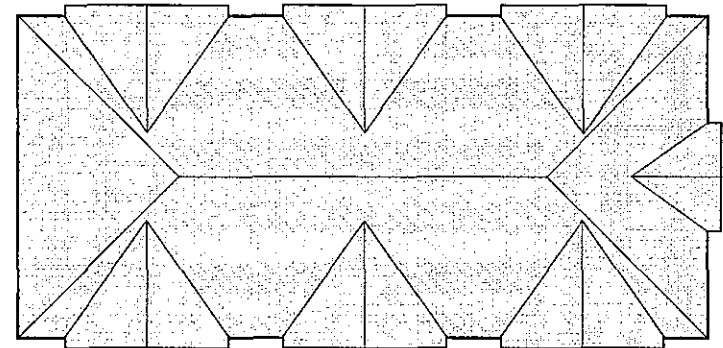
TH-11 & AMENITY BUILDING 1st FLOOR PLAN
1/8" = 1'-0"



TH-11 & AMENITY BUILDING 2nd FLOOR PLAN
1/8" = 1'-0"



TH-11 3rd FLOOR PLAN & AMENITY BUILDING ROOF PLAN
1/8" = 1'-0"



TH11 - ROOF PLAN
1/8" = 1'-0"

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



TH-11 SIDE ELEVATION
1/8" = 1'-0"



TH-11 FRONT ELEVATION
1/8" = 1'-0"



TH-11 SIDE ELEVATION
1/8" = 1'-0"



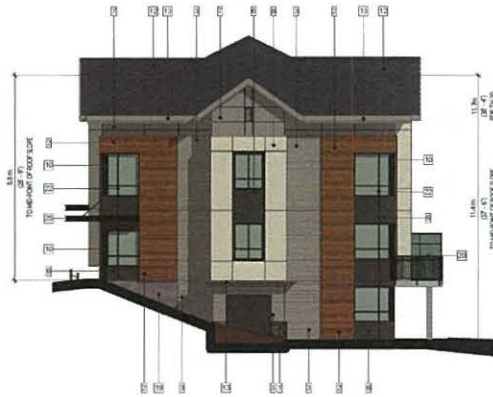
TH-11 BACK ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND

- 1 ELDOORDO STACKED STONE, COLOR: CHAPEL HILL
- 2 WOOD GRAIN ALUMINUM CLADDING OR SIMILAR, COLOR: LONGBOARD SHIN BAMBOO OR SIMILAR
- 3 CEMENT BOARD HORIZONTAL LAP SIDING, 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE 'BARWOOD' CSP-115
- 4 CEMENT BOARD HORIZONTAL LAP SIDING, 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE 'SMOKE & MIRRORS' CSP-109
- 5 CEMENT BOARD HORIZONTAL LAP SIDING, 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE 'STONEWARE' CSP-245
- 6 CEMENT BOARD FLAT PANEL SIDING, 'SMOOTH' PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'KENDALL CHARCOAL' HC-106
- 7 CEMENT BOARD FLAT PANEL SIDING, 'SMOOTH' PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'BARWOOD' CSP-115
- 8 CEMENT BOARD FLAT PANEL SIDING, 'SMOOTH' PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'SMOKE & MIRRORS' CSP-109
- 9 CEMENT BOARD FLAT PANEL SIDING, 'SMOOTH' PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'STONEWARE' CSP-245
- 10 CEMENT BOARD FLAT PANEL SIDING, 'SMOOTH' PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'BLACK'
- 11 METAL CLADDING, COLOR: CHARCOAL
- 12 ASPHALT ROOF SHINGLES
- 13 WOOD TRIM BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE 'BARWOOD' CSP-115
- 14 WOOD FASCIA BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE 'BARWOOD' CSP-115
- 15 WOOD FASCIA BOARDS - VARIOUS WIDTHS, PAINTED TO MATCH WOOD GRAIN ALUMINUM SIDING
- 16 METAL FLASHING, COLOR TO MATCH BENJAMIN MOORE 'BARWOOD' CSP-115
- 17 REVEALS: 'EASY TRIM', COLOR: 'CLEAR ANODIZED'
- 18 STONE LINTEL: ELDOORDO, COLOR: CHAPEL HILL
- 19 CONCRETE WALL, PAINTED BENJAMIN MOORE 'SMOKE & MIRRORS' CSP-109
- 20 METAL ALUMINUM PAINTING, COLOR: BLACK
- 21 TRG CEDAR SOFFIT, COLOR TO MATCH WOOD GRAIN ALUMINUM SIDING
- 22 VINYL DOORS & WINDOWS, COLOR: CHARCOAL
- 23 ALUMINUM DOOR & FRAME, COLOR: CHARCOAL
- 24 METAL LOUVER, COLOR: CHARCOAL
- 25 PREFINISHED METAL FASCIA: CHARCOAL

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



TH-18, 19 & 20 SIDE ELEVATION
1/8" = 1'-0"



TH-18, 19 & 20 BACK ELEVATION
1/8" = 1'-0"



TH-18, 19 & 20 SIDE ELEVATION
1/8" = 1'-0"



TH-18, 19 & 20 FRONT ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND

- 1 ELDOORADO STACKED STONE, COLOR: CHAPEL HILL
- 2 WOOD GRAIN ALUMINUM CLADDING OR SIMILAR, COLOR: LONGBOARD DARK BARNWOOD OR SABLE
- 3 CEMENT BOARD HORIZONTAL LAP SIDING, 4' EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 4 CEMENT BOARD HORIZONTAL LAP SIDING, 4' EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 5 CEMENT BOARD HORIZONTAL LAP SIDING, 6' EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE STONEWARE CSP-245
- 6 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE CHARCOAL HC-169
- 7 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 8 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 9 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE STONEWARE CSP-245
- 10 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE BLACK
- 11 METAL CLADDING, COLOR: CHARCOAL
- 12 ASPHALT ROOF SHINGLES
- 13 WOOD TRIM BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 14 WOOD FACIA BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 15 WOOD FACIA BOARDS - VARIOUS WIDTHS, PAINTED TO MATCH WOOD GRAIN ALUMINUM SIDING
- 16 METAL FLASHING, COLOR TO MATCH BENJAMIN MOORE BARNWOOD CSP-115
- 17 REVEALS: EASY TRIM, COLOR: CLEAR ANODIZED
- 18 STONE LINTEL: ELDOORADO, COLOR: CHAPEL HILL
- 19 CONCRETE WALL, PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 20 METAL ALUMINUM RAILING, COLOR: BLACK
- 21 T&G CEDAR SOFFIT, COLOR TO MATCH WOOD GRAIN ALUMINUM SIDING
- 22 VINYL DOORS & WINDOWS, COLOR: CHARCOAL
- 23 ALUMINUM DOOR & FRAME, COLOR: CHARCOAL
- 24 METAL LOUVER, COLOR: CHARCOAL
- 25 PREFINISHED METAL FACIAL CHARCOAL

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC

MATERIAL LEGEND

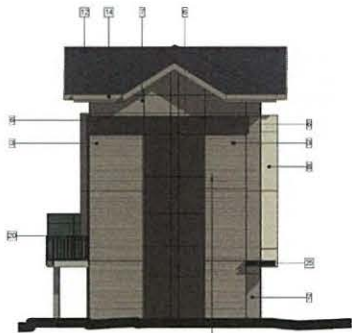
- 1 'ELDORADO' STACKED STONE, COLOR: 'CHAPEL HILL'
- 2 WOOD GRAIN ALUMINUM CLADDING OR SIMILAR, COLOR: LONGBOARD DARK BARNWOOD OR SIMILAR
- 3 CEMENT BOARD HORIZONTAL LAP SIDING, 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE 'BARNWOOD' CSP-115
- 4 CEMENT BOARD HORIZONTAL LAP SIDING, 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE 'STONEWARE' CSP-245
- 5 CEMENT BOARD HORIZONTAL LAP SIDING, 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE 'STONEWARE' CSP-245
- 6 CEMENT BOARD FLAT PANEL SIDING, 'SMOOTH' PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'CHARCOAL' HC-100
- 7 CEMENT BOARD FLAT PANEL SIDING, 'SMOOTH' PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'BARNWOOD' CSP-115
- 8 CEMENT BOARD FLAT PANEL SIDING, 'SMOOTH' PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'STONEWARE' CSP-245
- 9 CEMENT BOARD FLAT PANEL SIDING, 'SMOOTH' PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'STONEWARE' CSP-245
- 10 CEMENT BOARD FLAT PANEL SIDING, 'SMOOTH' PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'BLACK'
- 11 METAL CLADDING, COLOR: CHARCOAL
- 12 ASPHALT ROOF SHINGLES
- 13 WOOD TRIM BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE 'BARNWOOD' CSP-115
- 14 WOOD FACIA BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE 'BARNWOOD' CSP-115
- 15 WOOD FACIA BOARDS - VARIOUS WIDTHS, PAINTED TO MATCH WOOD GRAIN ALUMINUM SIDING
- 16 METAL FLASHING, COLOR TO MATCH BENJAMIN MOORE 'BARNWOOD' CSP-115
- 17 REVEALS: 'EASY TRIM', COLOR: 'CLEAR ANODIZED'
- 18 STONE LINTEL: 'ELDORADO', COLOR: 'CHAPEL HILL'
- 19 CONCRETE WALL, PAINTED BENJAMIN MOORE 'STONEWARE' CSP-245
- 20 METAL ALUMINUM RAILING, COLOR: BLACK
- 21 T&G CEDAR SOFFIT, COLOR TO MATCH WOOD GRAIN ALUMINUM SIDING
- 22 VINYL DOORS & WINDOWS, COLOR: CHARCOAL
- 23 ALUMINUM DOOR & FRAME, COLOR: CHARCOAL
- 24 METAL LG COVER, COLOR: CHARCOAL
- 25 PREFINISHED METAL FACIAL, CHARCOAL



TH-32 & 38 SIDE ELEVATION
1/8" = 1'-0"



TH-32,38 & 42 FRONT ELEVATION
1/8" = 1'-0"



TH-32 & 42 SIDE ELEVATION
1/8" = 1'-0"



TH-38 & 42 SIDE ELEVATION
1/8" = 1'-0"



TH-32,38 & 42 BACK ELEVATION
1/8" = 1'-0"

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



SITE DATA

- Site Area:** 71,398 s.f.± (1.64 acres±)
Building Area: 28,239 s.f.±
Lot Coverage: 39.6% (max. 33%; requires variance)
Proposed Zoning: RM70
- Floor Areas:**
- underground parking: 57,163 s.f.±
 - 1st floor: 28,013 s.f.±
 - 2nd floor: 27,493 s.f.±
 - 3rd floor: 28,239 s.f.±
 - 4th floor: 28,239 s.f.±
 - total (residential): 111,984 s.f.±
 - total (including u/g parking): 169,147 s.f.±
- Density:**
- total residential floor area: 111,984 s.f.±
 - indoor amenity area: 5,200 s.f.±
 - total floor area for density calculation: 106,724 s.f.±
 - density: 106,724 / 71,398 = 1.49 (max. 1.50)
- Units:**
- studio: 4 units
 - 1-bed: 17 units
 - 1-bed + den (den < 97s.f.): 21 units
 - 1 bed + den (den > 97s.f.): 8 units
 - 2-bed: 28 units
 - 2-bed + den: 28 units
 - total: 106 units (6 units are adaptable - 5.7% of total)
- Parking Required (zoning bylaw):**
- residents:
 - studio, 1-bed units, 1 bed + den (den < 97s.f.): (4 + 17 + 21 units = 42 units) x 1.3 = 54.6 stalls
 - 1-bed + den (den > 97s.f.), 2-bed + den: (8 + 28 + 28 = 64 units) x 1.5 = 96 stalls
 - total: 151 resident stalls required
 - visitors:
 - 106 units x 0.2 = 21 visitor stalls required
 - total parking required (zoning bylaw): 172 stalls
- Parking Required (proposed via variance):**
- residents:
 - studio units: 4 units x 1.1 (variance from 1.3) = 4.4 stalls
 - 1-bed units: 17 units x 1.1 (variance from 1.3) = 18.7 stalls
 - 1-bed + den units (den < 97s.f.): 21 x 1.1 (variance from 1.3) = 23.1 stalls
 - 1-bed + den units (den > 97s.f.): 8 x 1.1 (variance from 1.5) = 9.1 stalls
 - 2-bed, 2-bed + den: (28 + 28 = 56 units) x 1.5 (no variance) = 84 stalls
 - total: 139 resident stalls (12 stall variance)
 - visitors:
 - 106 units x 0.2 = 21 visitor stalls required (no variance)
 - total parking required (proposed via variance): 160 stalls (12 stall variance; 7.0%)
- Parking Provided:**
- residents:
 - underground: 139 stalls
 - visitors:
 - underground: 21 stalls (plus off-site street parking)
 - total parking provided: 160 stalls
- Bicycle Parking:**
- required:
 - residents: 106 units x 1.2 = 127 stalls required
 - visitors: 6 stalls required
 - provided:
 - residents:
 - 129 in underground parking (Bicycle Storage Room)
 - visitors: 6 stalls (Surface)
- Amenity Areas:**
- outdoor amenity area:
 - required: 3.0 s.m. x 1.06 = 318 s.m. = 3,423 s.f.
 - provided: 11,109 s.f.±
 - indoor amenity area:
 - required: 3.0 s.m. x 1.06 = 318 s.m. = 3,423 s.f.
 - provided: 1,807 + (4 x 475) = 3,707 s.f.±
- Proposed Variances:**
- lot coverage increased from 33% to 39.6%
 - building setback (north, south & west) reduced from 7.5m to 4.50m
 - parking relaxations:
 - studio units from 1.3 to 1.1 stalls per unit
 - 1-bed units from 1.3 to 1.1 stalls per unit
 - 1-bed + den units from 1.3 or 1.5 to 1.1 stalls per unit



SITE PLAN

1" = 20'-0"

SD8-A1

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



NORTH-WEST ELEVATION
3/32" = 1'-0"



WEST ELEVATION (FAR)
3/32" = 1'-0"



WEST ELEVATION
3/32" = 1'-0"

MATERIAL LEGEND

1. FLOORADO STACKED STONE, COLOR: CHAPEL HILL
2. WOOD GRAIN ALUMINUM CLADDING OR SIMILAR, COLOR: LONGBOARD 'SANDS' OR 'SHALE'
3. CEMENT BOARD HORIZONTAL LAP SIDING, 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE 'BARNWOOD' CSP-115
4. CEMENT BOARD HORIZONTAL LAP SIDING, 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE 'SAGE & MIRRORS' CSP-105
5. CEMENT BOARD HORIZONTAL LAP SIDING, 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE 'STONEWARE' CSP-245
6. CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'RENEGAD CHARCOAL' HC-16A
7. CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'BARNWOOD' CSP-115
8. CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'SAGE & MIRRORS' CSP-105
9. CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH COLOR MATCHED REVEALS), PAINTED BENJAMIN MOORE 'STONEWARE' CSP-245
10. CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE 'BLACK'
11. METAL CLADDING, COLOR: CHARCOAL
12. ASPHALT ROOF SHINGLES
13. WOOD TRIM BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE 'BARNWOOD' CSP-115
14. WOOD FASCIA BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE 'BARNWOOD' CSP-115
15. WOOD FASCIA BOARDS - VARIOUS WIDTHS, PAINTED TO MATCH WOOD GRAIN ALUMINUM SIDING
16. METAL FLASHING, COLOR TO MATCH BENJAMIN MOORE 'BARNWOOD' CSP-115
17. REVEALS: EASY TRIM, COLOR: CLEAR 'WOODZEE' (COLOR MATCHED ON 'STONEWARE' PANEL SIDING)
18. STONE LINTEL
19. ARCHITECTURAL CONCRETE WALL 1/4" REVEALS, PAINTED BENJAMIN MOORE 'SAGE & MIRRORS' CSP-105
20. METAL ALUMINUM RAILING, COLOR: BLACK
21. T&G CEDAR SOFFIT, COLOR TO MATCH WOOD GRAIN ALUMINUM SIDING
22. VINYL DOORS & WINDOWS, COLOR: CHARCOAL
23. ALUMINUM DOOR & FRAME, COLOR: CHARCOAL
24. METAL LOUVER, COLOR: CHARCOAL



PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



NORTH ELEVATION
3/32" = 1'-0"



EAST ELEVATION
3/32" = 1'-0"

MATERIAL LEGEND

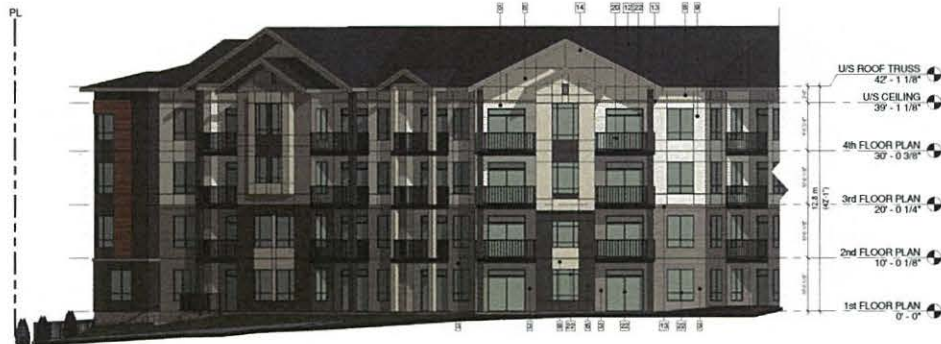
- 1 TOLORADO STACKED STONE, COLOR: CHAPEL HILL
- 2 WOOD GRAIN ALUMINUM CLADDING OR SIMILAR, COLOR: LONGBOARD BAMBOO OR SIMILAR
- 3 CEMENT BOARD HORIZONTAL LAP SIDING; 4" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE BARWOOD CSP-115
- 4 CEMENT BOARD HORIZONTAL LAP SIDING; 4" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 5 CEMENT BOARD HORIZONTAL LAP SIDING; 4" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE STONEWARE CSP-245
- 6 CEMENT BOARD FLAT PANEL SIDING; SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE CHARCOAL HC-106
- 7 CEMENT BOARD FLAT PANEL SIDING; SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE BARWOOD CSP-115
- 8 CEMENT BOARD FLAT PANEL SIDING; SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 9 CEMENT BOARD FLAT PANEL SIDING; SMOOTH PROFILE (WITH COLOR MATCHED REVEALS), PAINTED BENJAMIN MOORE STONEWARE CSP-245
- 10 CEMENT BOARD FLAT PANEL SIDING; SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE BLACK
- 11 METAL CLADDING, COLOR: CHARCOAL
- 12 ASPHALT ROOF SHINGLES
- 13 WOOD TRIM BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE BARWOOD CSP-115
- 14 WOOD FACIA BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE BARWOOD CSP-115
- 15 WOOD FACIA BOARDS - VARIOUS WIDTHS, PAINTED TO MATCH WOOD GRAIN ALUMINUM SIDING
- 16 METAL FLASHING, COLOR TO MATCH BENJAMIN MOORE BARWOOD CSP-115
- 17 REVEALS: EASY TRIM, COLOR: CLEAR ANODIZED (COLOR MATCHED ON STONEWARE PANEL SIDING)
- 18 STONE LINTEL
- 19 ARCHITECTURAL CONCRETE WALL C/W REVEALS, PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 20 METAL ALUMINUM RAILING, COLOR: BLACK
- 21 T&G CEDAR SOFFIT, COLOR TO MATCH WOOD GRAIN ALUMINUM SIDING
- 22 VINYL DOORS & WINDOWS, COLOR: CHARCOAL
- 23 ALUMINUM DOOR & FRAME, COLOR: CHARCOAL
- 24 METAL LOUVER, COLOR: CHARCOAL

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC

MATERIAL LEGEND

- 1 TLEDRADY STACKED STONE, COLOR: CHARLIE HILL
- 2 WOOD GRAIN ALUMINUM CLADDING OR SIMILAR, COLOR: LONGBOARD (BAMBOO OR SIMILAR)
- 3 CEMENT BOARD HORIZONTAL LAP SIDING, 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 4 CEMENT BOARD HORIZONTAL LAP SIDING, 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 5 CEMENT BOARD HORIZONTAL LAP SIDING, 6" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE STONEWARE CSP-245
- 6 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE KENDALL CHARCOAL HC-156
- 7 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 8 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 9 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH COLOR MATCHED REVEALS), PAINTED BENJAMIN MOORE STONEWARE CSP-245
- 10 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE BLACK
- 11 METAL CLADDING, COLOR: CHARCOAL
- 12 ASPHALT ROOF SHINGLES
- 13 WOOD TRIM BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 14 WOOD FACIA BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 15 WOOD FACIA BOARDS - VARIOUS WIDTHS, PAINTED TO MATCH WOOD GRAIN ALUMINUM SIDING
- 16 METAL FLASHING, COLOR TO MATCH BENJAMIN MOORE BARNWOOD CSP-115
- 17 REVEALS: TAYE TRIM, COLOR: CLEAR ANODIZED (COLOR MATCHED ON STONEWARE PANEL SIDING)
- 18 STONE LINTEL
- 19 ARCHITECTURAL CONCRETE WALL, C/W REVEALS, PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 20 METAL ALUMINUM RAILING, COLOR: BLACK
- 21 TIG CEDAR SOFFIT, COLOR TO MATCH WOOD GRAIN ALUMINUM SIDING
- 22 VINYL DOORS & WINDOWS, COLOR: CHARCOAL
- 23 ALUMINUM DOOR & FRAME, COLOR: CHARCOAL
- 24 METAL LOUVER, COLOR: CHARCOAL



EAST ELEVATION (FAR)
3/32" = 1'-0"



SOUTH ELEVATION
3/32" = 1'-0"



PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC



SOUTH-EAST ELEVATION
3/32" = 1'-0"

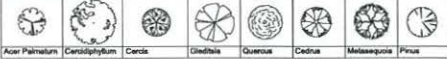


SOUTH-WEST ELEVATION
3/32" = 1'-0"

MATERIAL LEGEND

- 1 YELLOWWOOD STACKED STONE, COLOR: CHWEL HILL
- 2 WOOD GRAIN ALUMINUM CLADDING OR SIMILAR, COLOR: LONGHARD BARNWOOD OR SIMILAR
- 3 CEMENT BOARD HORIZONTAL LAP SIDING, 4" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 4 CEMENT BOARD HORIZONTAL LAP SIDING, 4" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 5 CEMENT BOARD HORIZONTAL LAP SIDING, 4" EXPOSURE, WOOD GRAIN PROFILE, PAINTED BENJAMIN MOORE STONEWARE CSP-240
- 6 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE YENDALL CHARCOAL HC-1A6
- 7 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 8 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 9 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH COLOR MATCHED REVEALS), PAINTED BENJAMIN MOORE STONEWARE CSP-240
- 10 CEMENT BOARD FLAT PANEL SIDING, SMOOTH PROFILE (WITH ALUMINUM REVEALS), PAINTED BENJAMIN MOORE BLACK
- 11 METAL CLADDING, COLOR: CHARCOAL
- 12 ASPHALT ROOF SHINGLES
- 13 WOOD TRIM BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 14 WOOD FASCIA BOARDS - VARIOUS WIDTHS, PAINTED BENJAMIN MOORE BARNWOOD CSP-115
- 15 WOOD FASCIA BOARDS - VARIOUS WIDTHS, PAINTED TO MATCH WOOD GRAIN ALUMINUM SIDING
- 16 METAL FLASHING, COLOR TO MATCH BENJAMIN MOORE BARNWOOD CSP-115
- 17 REVEALS, T&G TRIM, COLOR: CLEAR ANODIZED (COLOR MATCHED ON STONEWARE PANEL SIDING)
- 18 STONE UNTEL
- 19 ARCHITECTURAL CONCRETE WALL C/W REVEALS, PAINTED BENJAMIN MOORE SMOKE & MIRRORS CSP-105
- 20 METAL ALUMINUM RAILING, COLOR: BLACK
- 21 T&G CEDAR SPLIT, COLOR TO MATCH WOOD GRAIN ALUMINUM SIDING
- 22 VINYL DOORS & WINDOWS, COLOR: CHARCOAL
- 23 ALUMINUM DOOR & FRAME, COLOR: CHARCOAL
- 24 METAL LOUVER, COLOR: CHARCOAL

TREE LEGEND



BOTANICAL NAME	COMMON NAME	SIZE	SPACING	Quantity
DECIDUOUS				
<i>Acer platanoides</i> 'Crimson Sentry'	Crimson Sentry Maple	1.5m Height	as per plan	72
<i>Cercidiphyllum japonicum</i>	Katsura	B&B form Cal.	as per plan	8
<i>Cercis canadensis</i> 'Ace of Hearts'	Ace of Hearts Redbud	B&B form Cal.	as per plan	151
<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Skyline'	Skyline Honeylocust	B&B form Cal.	as per plan	19
<i>Quercus palustris</i>	Pin Oak	B&B form Cal.	as per plan	17
CONIFEROUS				
<i>Cedrus deodard</i> 'Aurea'	Golden Deodar Cedar	2.5m Height	as per plan	23
<i>Melaleuca glyptostroboides</i>	Swamp Sheherazad	2.5m Height	as per plan	11
<i>Pinus flexilis</i> 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Larch	2.5m Height	as per plan	42



Acer platanoides 'Crimson Sentry'



Cercidiphyllum japonicum



Cercis canadensis 'Ace of Hearts'



Gleditsia triacanthos var. *inermis* 'Skyline'



Quercus palustris



Cedrus deodar 'Aurea'



Melaleuca glyptostroboides



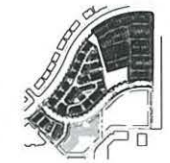
Pinus flexilis 'Vanderwolf's Pyramid'



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 Langley, British Columbia F 604-862-0242
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Key Map (p.15)



No.	Revision	Description	Date
8	TM	Issue for DP	Feb 11, 2018
7	TM	Issue for DP	Dec 18, 2015
6	TM	Issue for DP Review	Dec 18, 2015
5	TM	Issue for DP	July 24, 2015
4	TM	DP Check Set	July 22, 2015
3	AD	Issue for DP	July 8, 2015
2	TM	DP Check Set	July 2, 2015
1	TM	Issue for Coordination	June 17, 2015

REVISIONS TABLE FOR DRAWINGS
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Project:
 PANORAMA DRIVE

Location:
 5750 Panorama Drive
 Surrey, BC

Drawn: JT, TM
 Checked: TM
 Approved: MVDZ
 Scale: 1:300

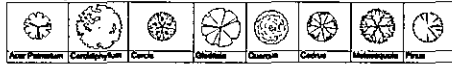
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Original Sheet Size: 24" x 36"

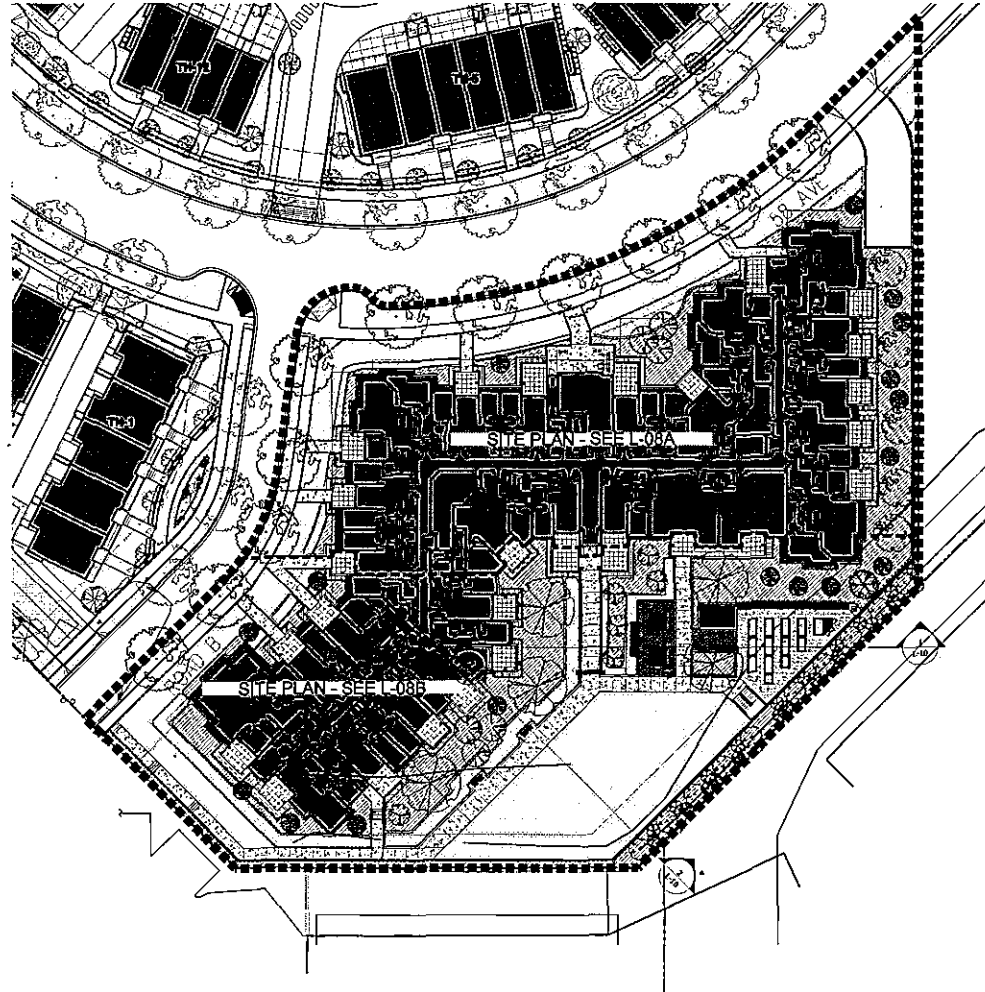
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND MUST BE RELEASED AT THE COMPLETION OF THE WORK.

Drawing Title: EAST PHASE - OVERALL SITE AND TREE PLAN
 VZ Project #: DP2015-18
 Drawing #: L-05

TREE LEGEND



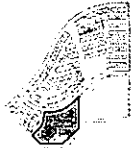
BOTANICAL NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS			
Acer platanoides 'Scolymus Borealis'	Common Norway Spruce	1.5m Height	6m per plan
Cornus alternifolia	Koelutzki	8400 Root Cal.	6m per plan
Quercus macrocarpa 'Virens of Hesse'	Age of Hesse RedOak	8400 Root Cal.	6m per plan
Quercus bicolor 'var. Virens'	Whiteoak	8400 Root Cal.	6m per plan
Malus domestica	Pin Oak	8400 Root Cal.	6m per plan
CONIFEROUS			
Quercus densa 'Hornum'	Golden Decid. Cedar	2.5m Height	6m per plan
Malusdomestica 'phylicoides'	Osage Redwood	2.5m Height	6m per plan
Pinus Bankii 'Vanderwal's'	Vanderwal's Pyramidal Limb. Pine	2.5m Height	6m per plan



von der Zeln + associates inc.
 Architecture + Environmental Consulting
 Urban Design + Landscape Architecture
 2000 West 10th Avenue • Vancouver, BC V6H 2R6
 Tel: 604.275.2222 • Fax: 604.275.2223
 www.vonzderzeln.com



Key Map on:



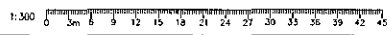
No.	By	Description	Date
1	TM	Issue for Coordination	June 17, 2015
2	TM	DP Check Set	July 2, 2015
3	AD	Issue for DP	July 9, 2015
4	TM	DP Check Set	July 22, 2015
5	TM	Issue for DP	July 24, 2015
6	TM	Issue for DP Review	Dec. 16, 2015
7	TM	Re-issue for DP	Dec. 16, 2015
8	TM	Re-issue for DP	Feb. 11, 2016

REVISIONS TABLE FOR DRAWINGS
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Project:
PANORAMA DRIVE

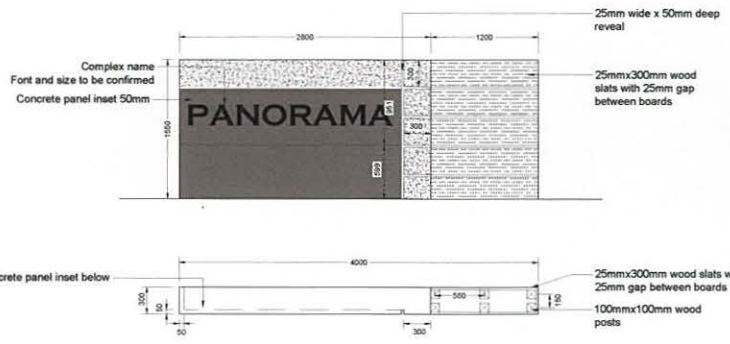
Location:
 5750 Panorama Drive
 Surrey, BC

Drawn: JT TM	Stamp
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24" x 36"
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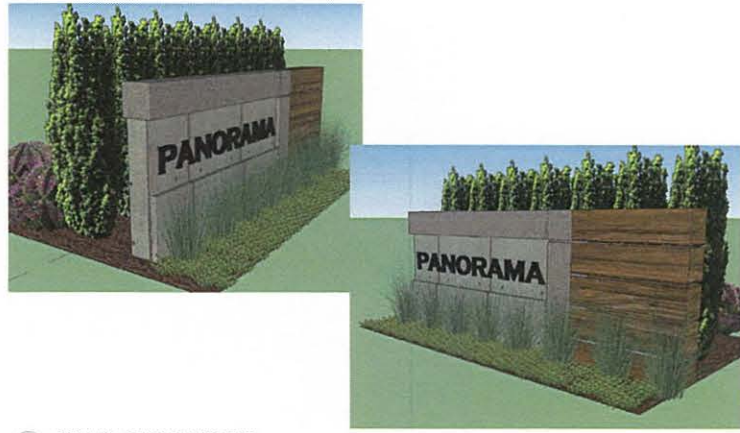


Drawing Title: **APARTMENTS - OVERALL SITE AND TREE PLAN**
 Drawing #: **L-08**
 VZ Project #: **DP2015-18**

MIDDLE EASTERN DEVELOPMENT CONSULTING PARTNERSHIP/STAFF OF PANORAMA DRIVE - TOWN OF VANDERWAL'S LIMB APARTMENTS - OVERALL SITE AND TREE PLAN



1 SIGN WALL ELEVATION
Scale: 1:25



2 SIGN WALL PERSPECTIVES (TYP)
Scale: 1:15

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Langley, British Columbia | 604 882 8842
V1B 5B8 | info@vza.ca



No.	By	Description	Date
8	TM	Re-issue for DP	Feb 11, 2015
7	TM	Re-issue for DP	Dec 18, 2015
6	TM	Issue for DP Review	Dec 18, 2015
5	TM	Issue for DP	July 24, 2015
4	TM	DP Check Set	July 22, 2015
3	AD	Issue for DP	July 9, 2015
2	TM	DP Check Set	July 2, 2015
1	TM	Issue for Coordination	June 17, 2015

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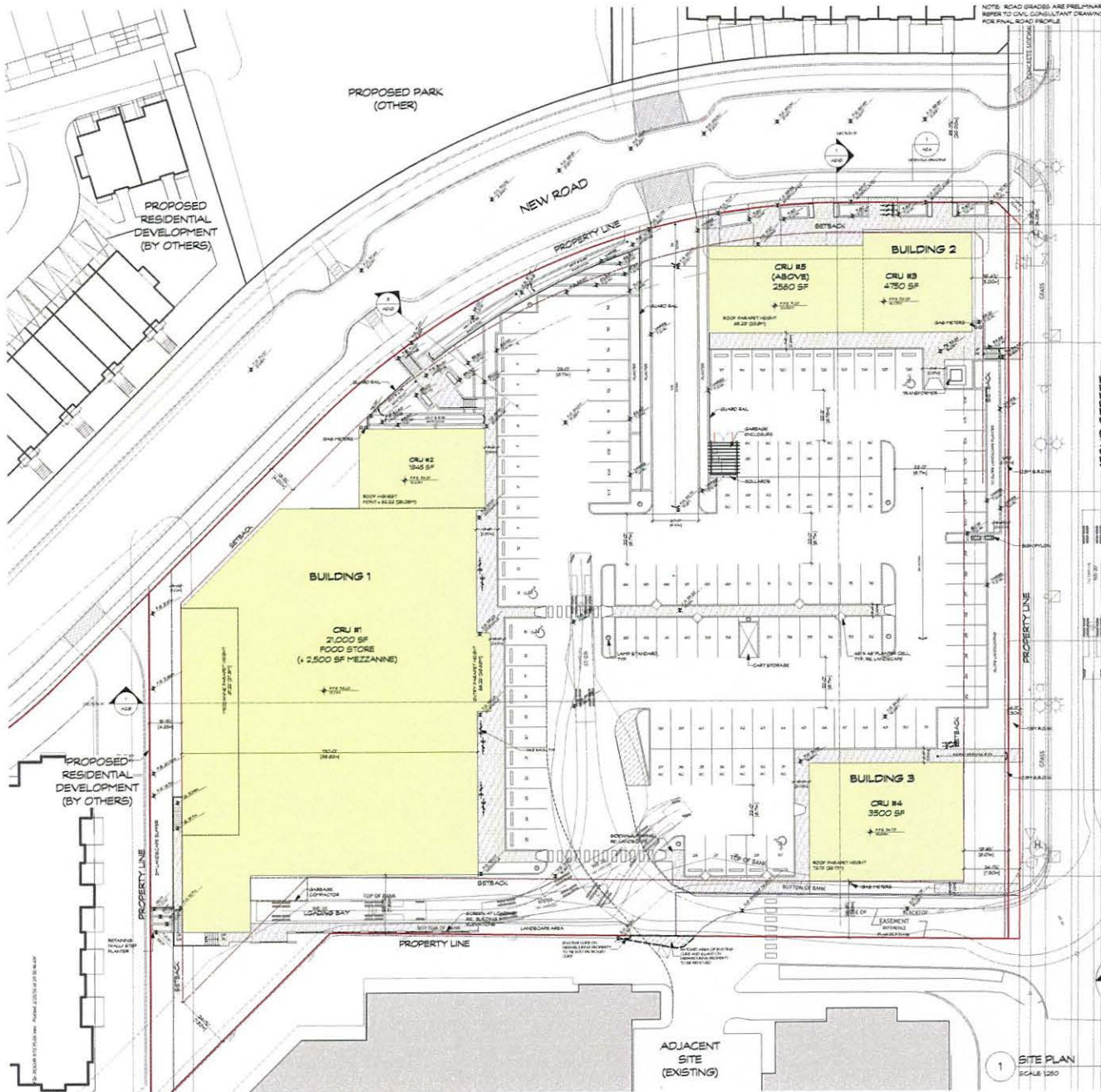
Project:
PANORAMA DRIVE

Location:
**5750 Panorama Drive
Surrey, BC**

Drawn: JT TM	Stamp:
Checked: TM	
Approved: MVOZ	
Scale: AS SHOWN	ORIGINAL SHEET SIZE 24" x 36" CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING. THE CONSULTANT AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND SHALL BE HELD AT THE DISCRETION OF THE WORK.

Drawing Title: **DETAILS - SIGNAGE**
 VZ Project #: **DP2015-18**
 Drawing #: **LD-04**

USE DEVELOPMENT DOCUMENT: PANORAMA DRIVE, TOWNSHIPS OF SURREY AND DELTA, DETAIL: SIGNAGE



PANORAMA AT 152ND

SITE SUMMARY
(BASED ON C6 ZONE)

MUNICIPAL ADDRESS: 5750 PANORAMA DRIVE SURREY, B.C.
LEGAL DESCRIPTION: LOT 13 SECTION 10 TOWNSHIP 2 PLAN LMP24916 N.W.D.

EXISTING ZONE: C6
PROPOSED ZONE: C6

OVERALL SITE AREA: 853,475.0 SQ.FT. 60,709.6 SQ.M. 18.00 acres
PARCEL SITE AREA: 109,697.6 SQ.FT. 10,191.3 SQ.M. 2.52 acres

Unit	SQ. FT.	SQ. M.
Unit 1	21,000.0	1,952.8
Unit 2	1,948.0	180.7
Unit 3	4,750.0	441.3
Unit 4	3,500.0	325.2
Unit 5	2,850.0	264.1
TOTAL CRU AREA	33,878.0	3,147.1

	PROPOSED	PERMITTED
FAR:	0.308	0.6
LOT COVERAGE:	29.5 %	50%
MAX BUILDING HEIGHT:	10 m	12 m
PARKING:	REQUIRED: 3 PER 100 = 2	94 STALLS
	PROVIDED:	126 STALLS
PARKING BREAKDOWN:	REGULAR CAR: 101 STALLS	
	SMALL CAR: 23 STALLS	
	DISABILITY STALLS: 4 STALLS	
BICYCLE PARKING:	REQUIRED: 8 STALLS	
	PROVIDED: 8 STALLS	
LOADING BAY:	PROVIDED: 1 LOADING BAY	

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REVISION:

NO.	DATE	DESCRIPTION

ISSUE:

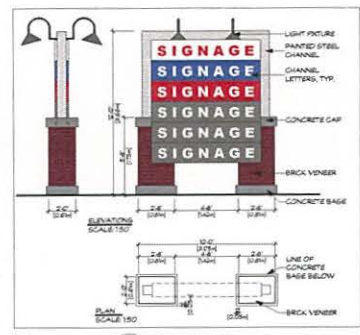
NO.	REVISION
001	ISSUED FOR ACP
02/12/20	ISSUED FOR REVIEW
15/02/20	ISSUE FOR CP



CICCOTZI
ARCHITECTURE

200 - 2339 COLUMBIA STREET
VANCOUVER, B.C.
CANADA V5V 3Y3
TEL: (604) 687-4741

FAIRBORNE



PROJECT:
**PANORAMA DRIVE
COMMERCIAL
DEVELOPMENT**
5750 PANORAMA DRIVE
SURREY, BC

DRAWN BY	DESIGNED BY
AS NOTED	KCAM/MP
SITE PLAN	

REVISION	SHEET NO.
-	A1.0

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REVISION:		
NO.	DATE	DESCRIPTION

ISSUE:	
DATE	DESCRIPTION
22.10.2019	ISSUED FOR ADP
04.02.2020	ISSUED FOR REVIEW
19.02.2020	ISSUED FOR CP



CICCOTZI
ARCHITECTURE

200 - 2339 COLUMBIA STREET
VANCOUVER, B.C.
CANADA V5Y 3Y3
TEL: (604) 687-4741

FAIRBORNE

PROJECT
**PANORAMA DRIVE
COMMERCIAL
DEVELOPMENT**
5750 PANORAMA DRIVE
SURREY, BC

DRAWN RT	CHECKED BY
SCALE 1:100	PROJECT NO. RCA 349

SHEET TITLE
**BUILDING 3
ELEVATION**

REVISION: -	SHEET NO. A2.8
----------------	--------------------------



1 NORTH ELEVATION
SCALE: 1/100



2 WEST ELEVATION
SCALE: 1/100



3 SOUTH ELEVATION
SCALE: 1/100



4 EAST ELEVATION
SCALE: 1/100

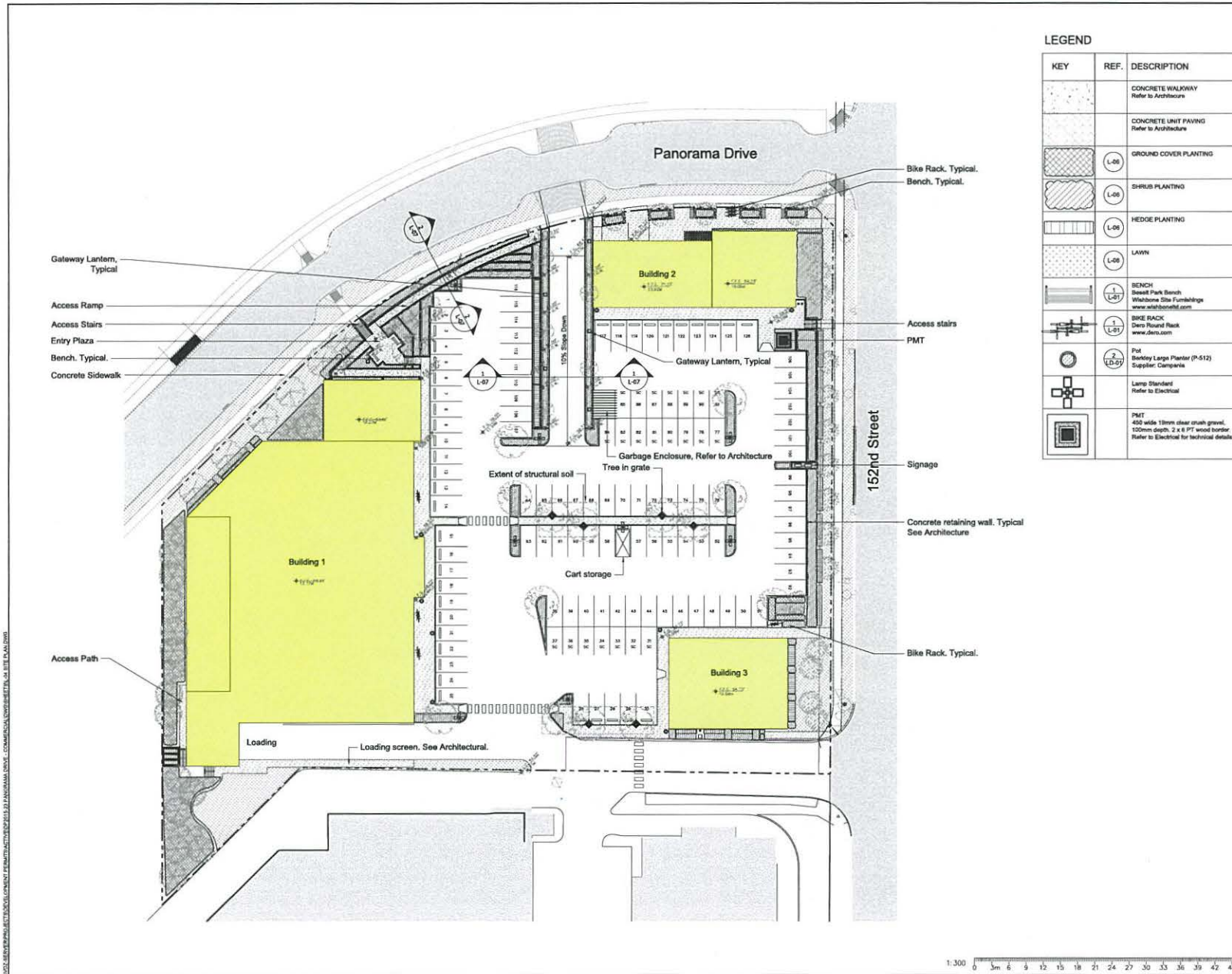
MATERIAL LEGEND	
◊ → BRICK VENEER	◊ → LIGHT FIXTURES
◊ → STUCCO	◊ → SIGNAGE STRUCTURE
◊ → CORRUGATED HORIZONTAL METAL SIDING	◊ → STEEL CHANNEL BAND
◊ → CORRUGATED VERTICAL METAL SIDING	◊ → PREFINISHED FLASHING
◊ → CONCRETE	◊ → PAINTED STEEL DOOR
◊ → PAINTED ALUMINUM STOREFRONT	◊ → ALUMINUM PANELS
◊ → FABRIC AWNING	◊ → SPANDREL PANELS
◊ → PAINTED METAL STRUCTURE, GLASS CANOPY	



FAIRBORNE

LEGEND

KEY	REF.	DESCRIPTION
		CONCRETE WALKWAY Refer to Architecture
		CONCRETE UNIT PAVING Refer to Architecture
	L-06	GROUND COVER PLANTING
	L-06	SHRUB PLANTING
	L-06	HEDGE PLANTING
	L-06	LAWN
	L-01	BENCH Sewell Park Bench Washburne Site Furnishings www.washburnefield.com
	L-01	BIKE RACK Dero Round Rack www.dero.com
	L-01	Plant Berkeley Large Planter (P-512) Supplier: Camparis
		Lamp Stand Refer to Electrical
		PMT 450 wide 150mm clear swath gravel, 150mm depth, 2 x 6 PFT wood border. Refer to Electrical for technical details.



No.	By	Description	Date
3	TM	SP File submission	Feb 15, 2016
2	TM	Development Permit	Dec 18, 2015
1	TM	Accessory Design Panel	Oct 22, 2015

REVISIONS TABLE FOR DRAWINGS
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Project:
**PANORAMA DRIVE
 COMMERCIAL DEVELOPMENT**

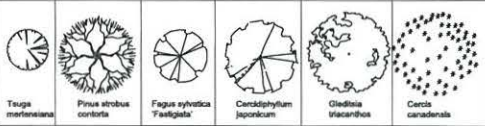
Location:
 5750 PANORAMA DRIVE
 SURREY, BC

Drawn: TM	Stamp:
Checked: MVOZ	
Approved: MVOZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION. ALL DIMENSIONS ARE SHOWN UNLESS OTHERWISE SPECIFIED. ALL EXISTING UTILITIES ARE SHOWN AS NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

Drawing Title: **SITE PLAN**
 Drawing #: **L-04**
 DP2015-23
 NOHTI

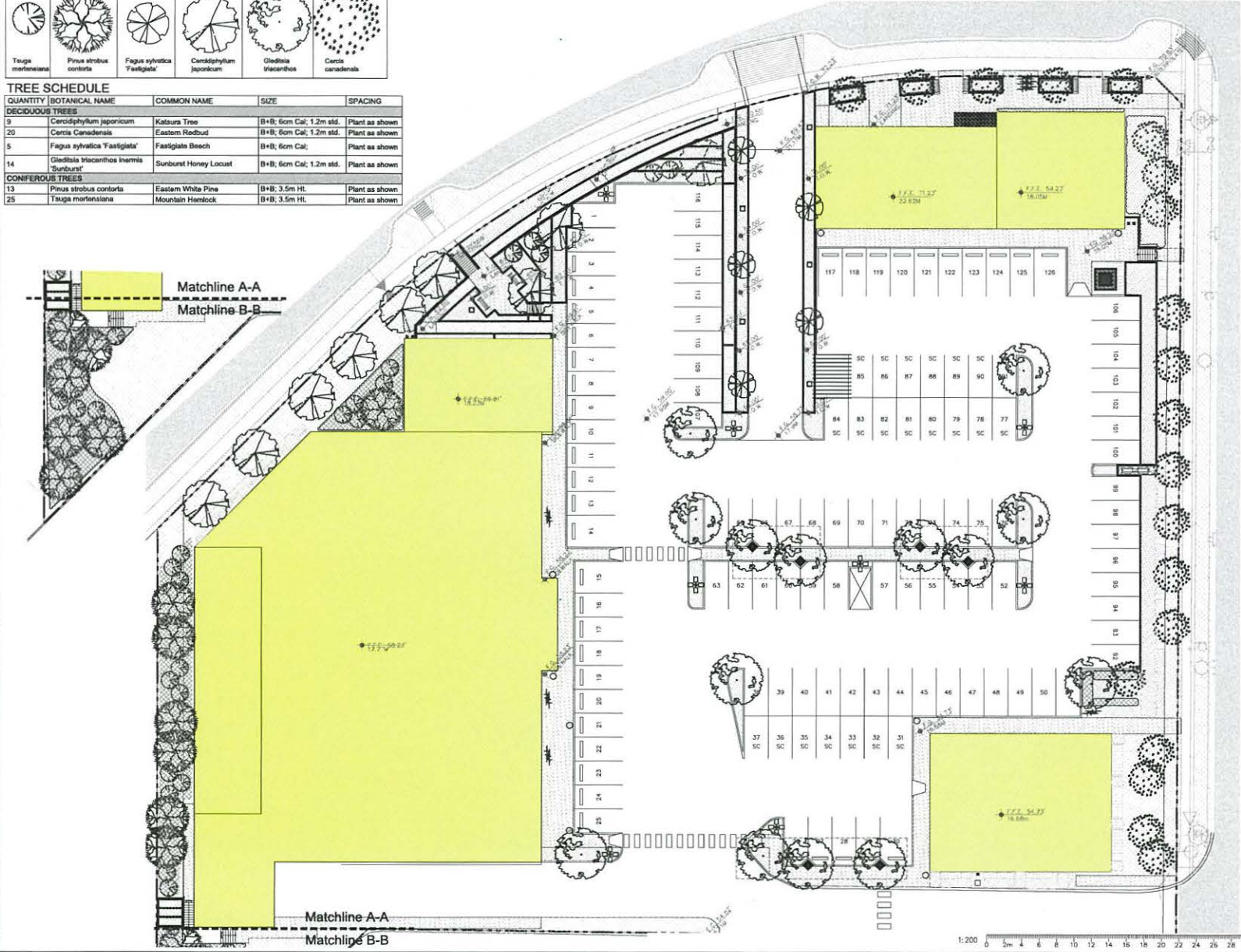
10571 67th Avenue, Suite L, Langley, BC V1R 9V1E

TREE LEGEND



TREE SCHEDULE

QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS TREES				
9	Cercidiphyllum japonicum	Katsura Tree	B+B; 6cm Cal; 1.2m std.	Plant as shown
20	Cercis Canadensis	Eastern Redbud	B+B; 6cm Cal; 1.2m std.	Plant as shown
5	Fagus sylvatica 'Fastiglata'	Fastiglata Beech	B+B; 6cm Cal;	Plant as shown
14	Gleditsia triacanthos Inermis 'Sunburst'	Sunburst Honey Locust	B+B; 6cm Cal; 1.2m std.	Plant as shown
CONIFEROUS TREES				
13	Pinus strobus contorta	Eastern White Pine	B+B; 3.5m HT.	Plant as shown
25	Tsuga mertensiana	Mountain Hemlock	B+B; 3.5m HT.	Plant as shown



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 Laramie, B2M1 Columbia | F 604 883 0042
 vdz@vazai.com



FAIRBORNE

No.	By	Description	Date
3	TM	DP File Submission	Feb 15, 2015
2	TM	Development Permit	Dec 18, 2015
1	TM	Advisory Design Panel	Oct 22, 2015

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Project:
 PANORAMA DRIVE
 COMMERCIAL DEVELOPMENT

Location:
 5750 PANORAMA DRIVE
 SURREY, BC

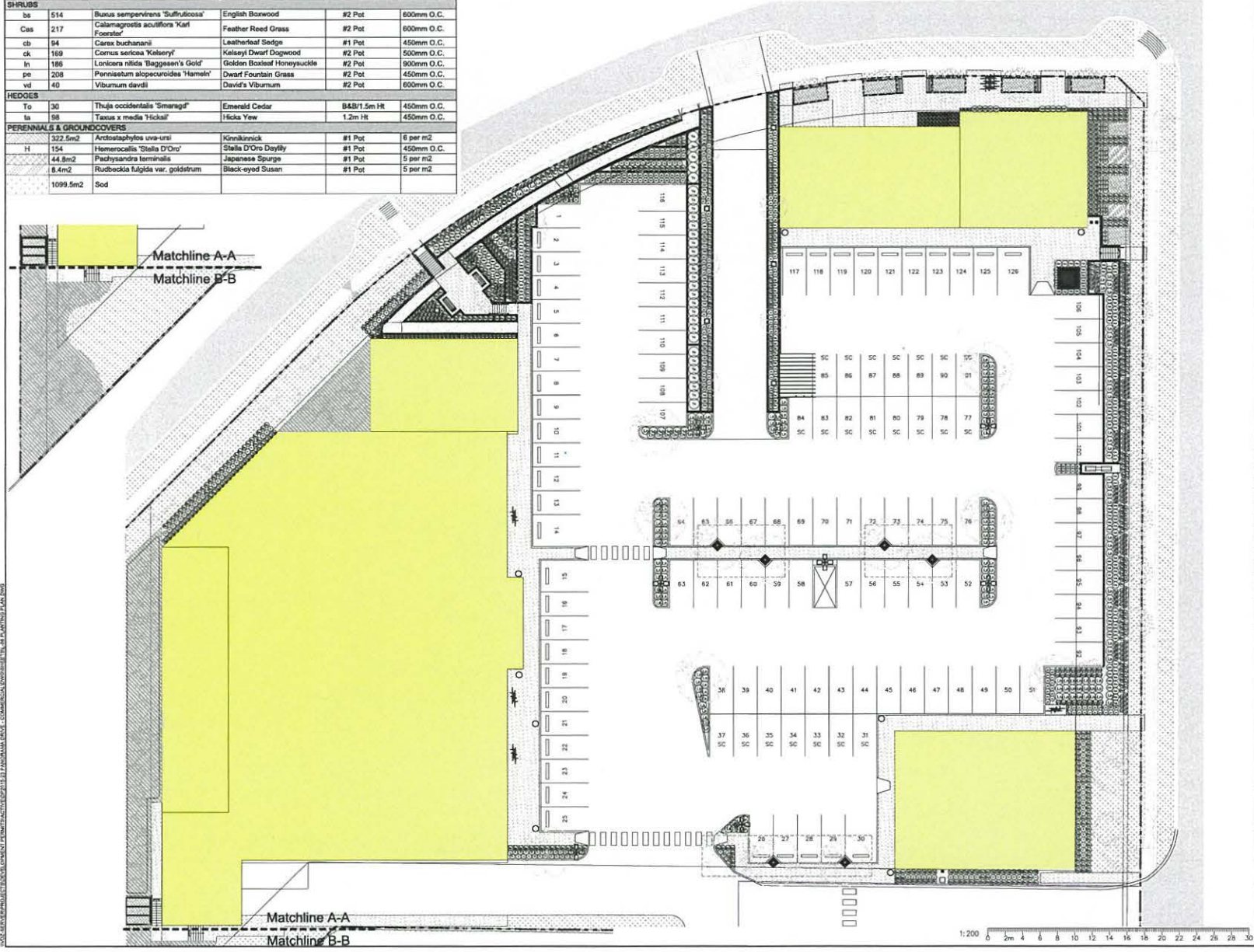
Drawn: TM	Stamp:
Checked: MVDZ	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CONSULTANT BEFORE PROCEEDING. ALL INFORMATION AND DECISIONS PROVIDED ARE THE SOLE PROPERTY OF THE CONSULTANT AND NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN AND EXCLUSIVE AUTHORIZATION OF THE CONSULTANT. CONTRACTOR SHALL LABEL DRAWING FOR IDENTIFICATION.

Drawing Title: **TREE PLAN**
 Drawing #: **L-05**
 VDPZ Project #: **DP2015-23**

NOT A PROFESSIONAL ENGINEERING DRAWING. PROJECT: PANORAMA DRIVE COMMERCIAL DEVELOPMENT. DATE: 2015-02-15.

PLANT SCHEDULE

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPACING
SHRUBS					
be	514	Buxus sempervirens 'Suffruticosa'	English Boxwood	#2 Pot	600mm O.C.
cas	217	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	#2 Pot	600mm O.C.
cb	94	Carex buchananii	Leatherleaf Sedge	#1 Pot	450mm O.C.
ck	189	Cornus sericea 'Kelsey'	Kelsey Dwarf Dogwood	#2 Pot	500mm O.C.
in	186	Lonicera nitida 'Baggesen's Gold'	Golden Boxleaf Honeysuckle	#2 Pot	900mm O.C.
pe	208	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	#2 Pot	450mm O.C.
vd	40	Viburnum davidii	David's Viburnum	#2 Pot	600mm O.C.
HEDGES					
To	30	Thuja occidentalis 'Smaragd'	Emerald Cedar	B&B/1.5m Ht	450mm O.C.
la	98	Taxus x media 'Hickii'	Hicks Yew	1.2m Ht	450mm O.C.
PERENNIALS & GROUNDCOVERS					
	322.5m ²	Arctostaphylos uva-ursi	Kinnikinnick	#1 Pot	6 per m ²
H	154	Heimerocallis 'Stella D'Oro'	Stella D'Oro Daylily	#1 Pot	450mm O.C.
	44.8m ²	Pachysandra terminalis	Japanese Spurge	#1 Pot	5 per m ²
	8.4m ²	Rudbeckia fulgida var. goldstrum	Black-eyed Susan	#1 Pot	5 per m ²
	1099.5m ²	Sod			



FAIRBORNE

- NOTES:**
- PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS OF THE BC LANDSCAPE STANDARD, CURRENT EDITION.
 - ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BC/LNA OR BC/LCLA GUIDELINES.
 - TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
 - AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF-SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
 - TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 - A. SHRUBS: 450MM
 - B. SOD: 150MM
 - C. TREE PITS: 1000MM WITH 300MM (BELOW ROOT BALL)
 - 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
 - ALL LANDSCAPED AREAS TO BE IRRIGATED.

NO.	REV.	DESCRIPTION	DATE
3	TM	DP File submission	Feb 15, 2015
2	TM	Development Permit	Dec 18, 2015
1	TM	Advisory Design Panel	Oct 22, 2015

REVISIONS TABLE FOR DRAWINGS

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Project:
PANORAMA DRIVE
COMMERCIAL DEVELOPMENT

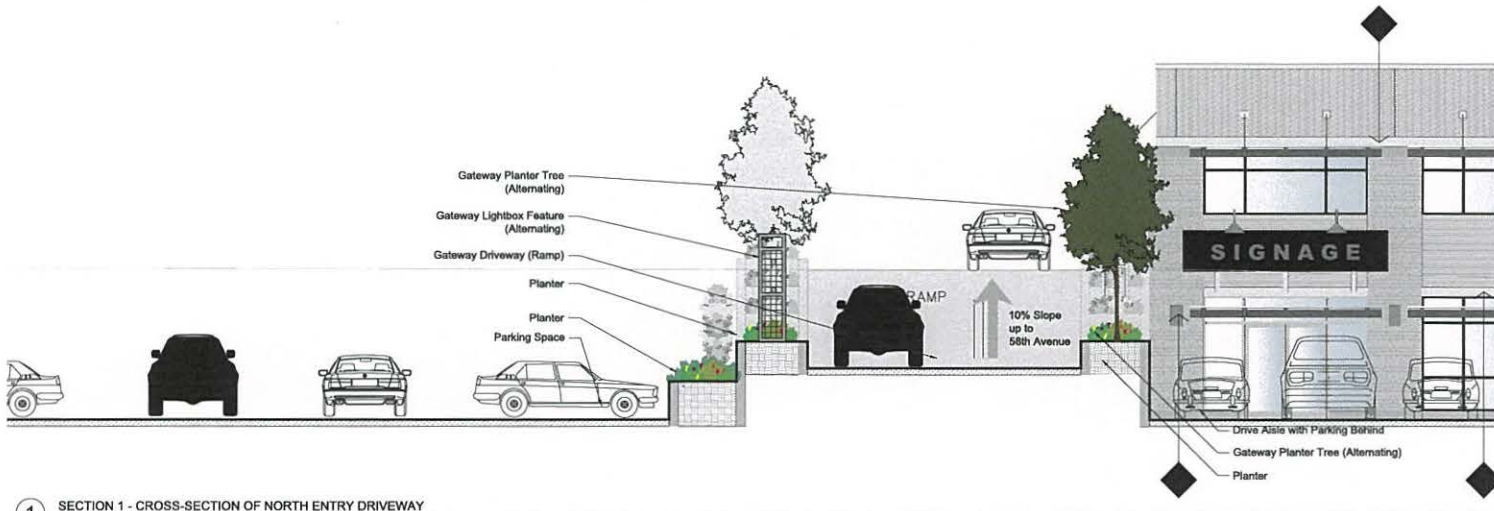
Location:
5750 PANORAMA DRIVE
SURREY, BC

Drawn: TM	Stamp:
Checked: MVOZ	
Approved: MVOZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO THE CENTERLINE UNLESS NOTED OTHERWISE. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS NOTED OTHERWISE.

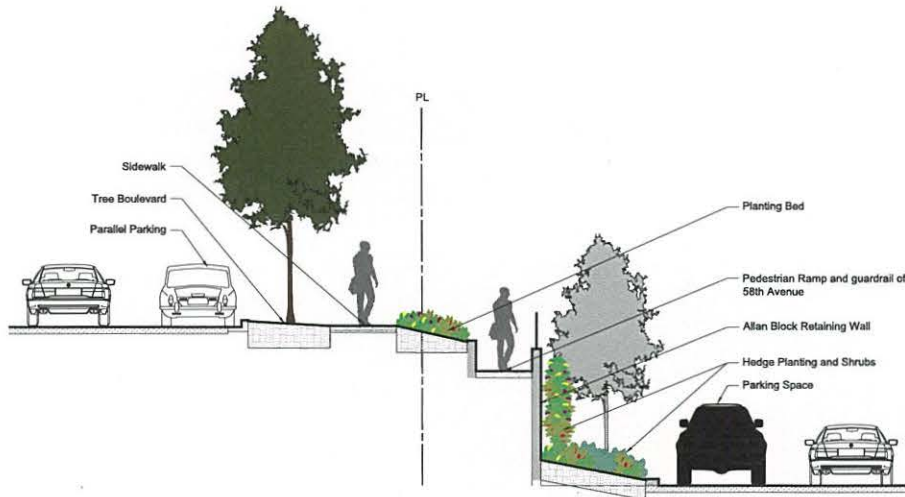
Drawing Title: **PLANTING PLAN**
 Vdz Project #: **DP2015-23**
 Drawing #: **L-06**



FAIRBORNE



1 SECTION 1 - CROSS-SECTION OF NORTH ENTRY DRIVEWAY
 Scale: 1:50



2 SECTION 2 - TRANSITION FROM 58TH AVENUE TO PARKING LOT
 Scale: 1:50

No.	By	Description	Date
3	TM	DP file submission	Feb 15, 2016
2	TM	Development Permit	Dec 18, 2015
1	TM	Advisory Design Panel	Oct 22, 2015

REVISIONS TABLE FOR DRAWINGS

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Project:
**PANORAMA DRIVE
 COMMERCIAL DEVELOPMENT**

Location:
**5750 PANORAMA DRIVE
 SURREY, BC**

Drawn: TM	Stamp:
Checked: MVZ	
Approved: MVZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE CONSULTANT'S RESPONSIBILITY FOR THE CONTRACT AND SHALL BE SHOWN AT THE CONTRACTOR'S RISK. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION UNIT'S LATEST EDITION FOR THE PROJECT'S CONTRACT YEAR.

Drawing Title:
SECTIONS



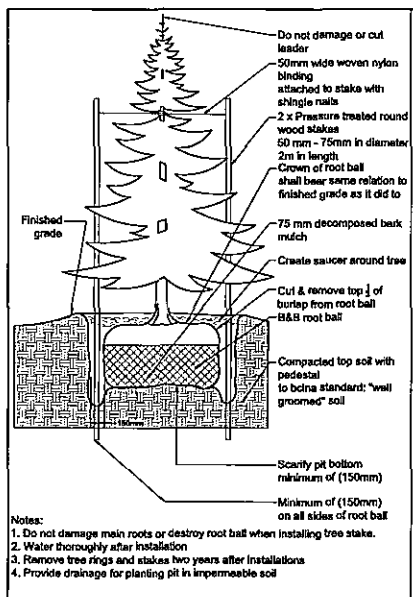
Project #:
DP2015-23

Drawing #:
L-07

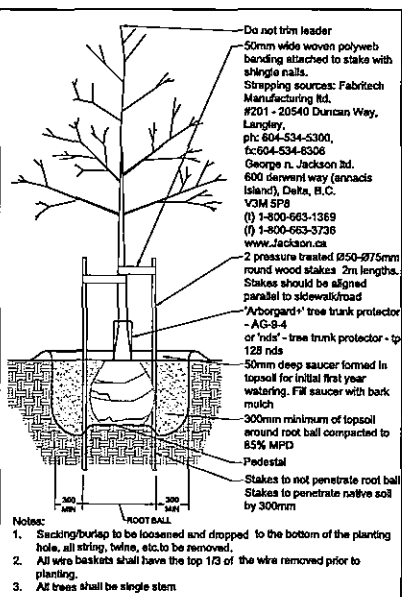
1:50 SECTION 1: CROSS-SECTION OF NORTH ENTRY DRIVEWAY; 1:50 SECTION 2: TRANSITION FROM 58TH AVENUE TO PARKING LOT; COMMERCIAL DEVELOPMENT; FAIRBORNE



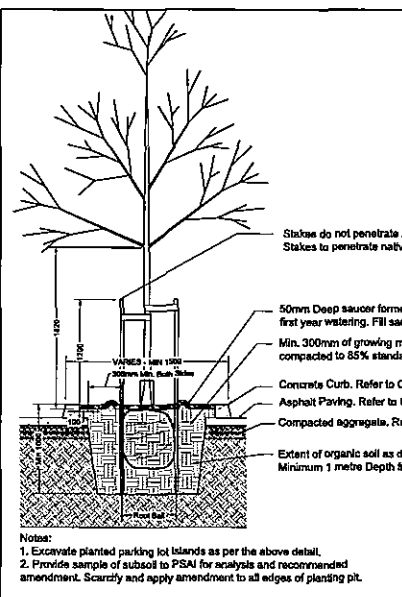
FAIRBORNE



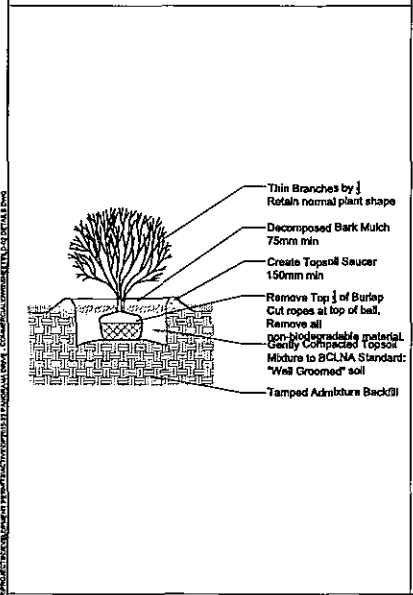
1 CONIFEROUS TREE
 Scale 1:25



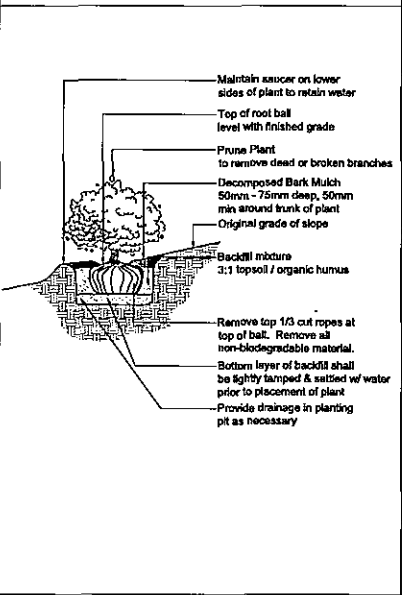
2 DECIDUOUS TREE
 Scale 1:25



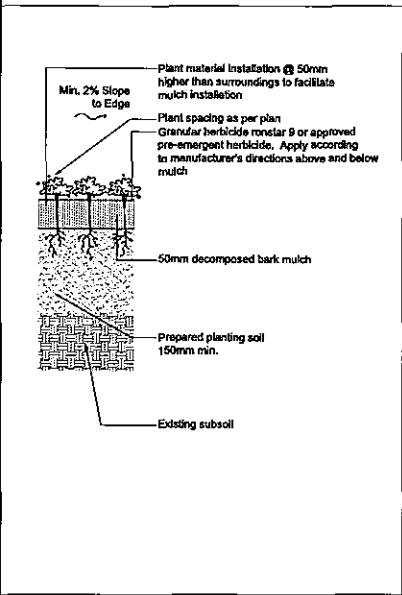
3 TREE IN ISLAND
 Scale 1:25



4 SHRUB PLANTING DETAIL
 Scale 1:25



5 SHRUB ON SLOPE PLANTING DETAIL
 Scale 1:25



6 GROUNDCOVER PLANTING DETAIL
 Scale 1:25

No.	Rev.	Description	Date
3	TM	DP File Submission	Feb 15, 2019
2	TM	Development Permit	Dec 16, 2018
1	TM	Advisory Design Panel	Oct 22, 2018

REVISIONS TABLE FOR DRAWINGS

Project:
 PANORAMA DRIVE COMMERCIAL DEVELOPMENT

Location:
 5750 PANORAMA DRIVE SURREY, BC

Drawn: TM	Checked: MYDZ
Approved: MYDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	

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TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **March 2, 2016** PROJECT FILE: **7814-0286-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 5750 Panorama Drive**

OCP AMENDMENT/NCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment/NCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate on 152 Street 1.5 m for ultimate 30.0 m wide Arterial Road standard.
- Dedicate on Panorama drive 2.3 m for ultimate 28.0 m wide Arterial Road standard.
- Dedicate 20.0 m on 58 Avenue for ultimate 20.0 m wide Local Road standard.
- Dedicate 12.0 m for the 12.0 m wide Green Lane.
- Dedicate required corner cuts at all intersections.
- Register 0.5 m SRW along all frontages for maintenance of City infrastructure.

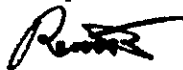
Works and Services

- Construct northbound left turn bay on 152 Street at 58 Avenue intersection, modify existing landscaping and the existing southbound left turn lane at 56A Ave if required.
- Construct south portion of Panorama Drive to modified Arterial Road standard.
- Provide 20% funding for construction of a signal at Panorama Drive and Highway 10.
- Construct 58 Avenue to Local Road standard.
- Construct the 12.0 m wide lane to "urban" lane standard including sidewalk.
- Construct storm sewers, sanitary sewers and water mains to service the development.
- Provide onsite stormwater management features.
- Develop the Park parcel.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.



Rémi Dubé, P.Eng.
Development Services Manager

IK1

NOTE: Detailed Land Development Engineering Review available on file



Wednesday, December 23, 2015
Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 14 0286 00

SUMMARY

198 townhouses

The proposed 107 lowrise units

are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	60
Secondary Students:	32

September 2015 Enrolment/School Capacity

Sullivan Elementary	
Enrolment (K/1-7):	30 K + 258
Capacity (K/1-7):	20 K + 175
Sullivan Heights Secondary	
Enrolment (8-12):	1536
Nominal Capacity (8-12):	1000
Functional Capacity*(8-12):	1080

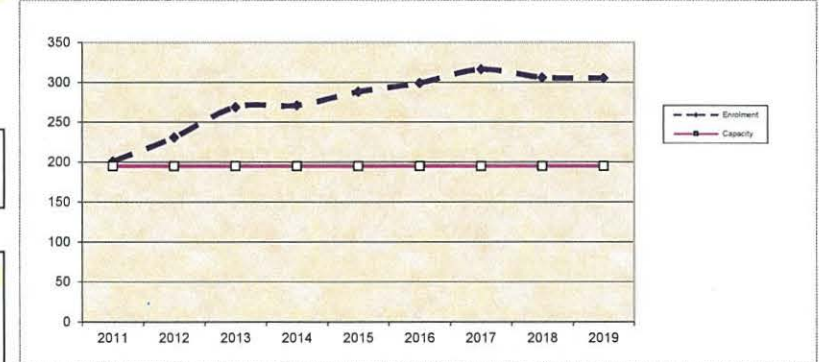
School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

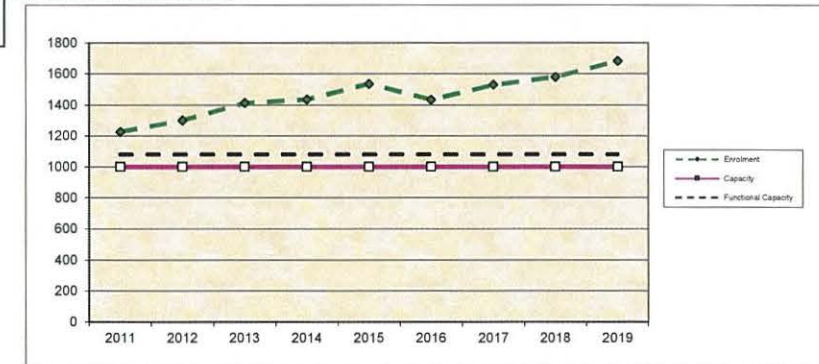
Both Sullivan Elementary and Sullivan Heights Secondary are overcapacity. A number of catchment changes are being implemented for September 2016 to help manage demand between South Newton elementary schools. The Sullivan Heights Secondary site cannot accommodate additional portables and from September 2016 onwards any new in-catchment registrants that are unable to be accommodated at Sullivan Heights Secondary will be accommodated at Frank Hurt Secondary. The District's 5-Year Capital Plan includes new space requests for both the elementary and secondary school.

In recent years, amendments to the South Newton NCP have resulted in a larger number of residential units and higher enrolment growth than was originally envisioned when the NCP was first adopted in 1999. The Surrey School District expresses its concern about development consistently occurring at densities higher than outlined in the NCP given the flow on implications to educational facility planning. Given the existing and projected enrolment pressures in South Newton, the school district does not support development occurring at a higher density than outlined in approved NCPs.

Sullivan Elementary



Sullivan Heights Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

Tree Preservation Summary

Surrey Project No:

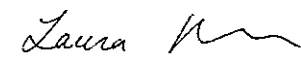
Address: 14010 64 Ave, Surrey

Registered Arborist: Laura Ralph, PN6420A - BC Plant Health Care Inc.

On-Site Trees	Number of Trees
(on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas). Includes 6 tree which failed during Aug/Nov 2015 storms.	143
Protected Trees to be Removed (includes 3 boulevard trees, does not include 6 trees which failed during Aug/Nov 2015 storms)	102
Protected Trees to be Retained (includes 35 boulevard trees) (excluding trees within proposed open space or riparian areas)	35
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{40} \times \text{one (1)} = 40$ - All other Trees Requiring 2 to 1 Replacement Ratio $\underline{59} \times \text{two (2)} = 118$ 	158
Replacement Trees Proposed	341
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	

Off-Site Trees	Number of Trees
Protected Off-Site Boulevard Trees to be Removed	
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{\quad} \times \text{one (1)} = 0$ - All other Trees Requiring 2 to 1 Replacement Ratio (boulevard) $\underline{\quad} \times \text{two (2)} = 0$ 	0
Replacement Trees Proposed	
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by:



(Signature of Arborist)

December 2, 2015

Date

Present:

Chair - L Mickelson
M. Higgs
E. Mashing
C. Taylor
M. Vance

Guests:

T. Paul, Pinora Enterprises Ltd.
S. Paul, Pinora Enterprises Ltd.
L. Barnett, Barnett Dembek Architects
M. Mitchell, M2 Landscape
Architecture
J. Redekop, Redekop (Panorama
Homes Ltd.)
R. Ciccozzi, Ciccozzi Architecture Inc.
M. van der Zalm, van der Zalm + assoc.
E. Poxleitner, Keystone Architecture &
Planning

Staff Present:

M. Rondeau, Acting City Architect
H. Ahking, Senior Planner
L. Moraes, Planner
N. Chow, Urban Design Planner
L. Luaifoa, Administrative Assistant

B. NEW SUBMISSIONS

2. **4:45 PM**

File No.:	7914-0286-00
New or Resubmit:	New
Last Submission Date:	N/A
Description:	Commercial buildings
Address:	5750 Panorama Drive; South Newton
Developer:	James Redekop – Redekop (Panorama Homes Ltd.)
Architect:	Rob Ciccozzi – Ciccozzi Architecture Inc.
Landscape Architect:	Mark van der Zalm – van der Zalm + associates
Planner:	Keith Broersma
Urban Design Planner:	Mary Beth Rondeau/Henry Ahking

The Acting City Architect presented an overview of the project:

- North of the subject site, including the subject site, was planned to be a hospital or university in the NCP.
- A road connection was achieved all the way through the site which is a desirable achievement.
- The subject site is for retail use and adjacent to the next ADP agenda item is a 4-storey apartment building.
- Land use and density for this project is supportable by staff.
- Staff are asking for advice on the signage. There are 5 proposed signs and only 2 are permitted. A variance will be sought. The free-standing sign has more individual tenant signs with add visual clutter and the yellow background colour in the signage of the grocery store would be more muted.

The Project Architect presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes and highlighted the following:

- The proposal is for 3 buildings – Building 1 includes a grocery store with a mezzanine and a smaller retail unit. Building 2 is a 2-level unit with a large open deck and Building 3 is intended for a bank.
- A ramp was incorporated on the site for vehicular access. An existing driveway to the south commercial site straddles the property line and the truck access goes to loading area of the grocery store. A staircase integrates with the ramp system.
- The current location of the garbage enclosure requested by staff is not ideal and would prefer it be relocated.
- The general character is simple boxes with a series of columns. Brick material was introduced on the grocery store along the entrance with glass canopy. To maintain a rhythm, stucco was introduced by the columns. The entry is highlighted with higher quality material. Some areas have glass and some have a corrugated metal.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- Significant tree planting is planned for the site. One challenge is the parking lot and to achieve some mature canopy height, a structural soil base is proposed to enable trees to grow to their potential.
- A significant planted buffer will be in place between grocery store and proposed apartment building.
- Bike requirements are exceeded as well as parking spaces.
- Decorative paving is proposed with movable planters, benches and site furnishings to animate space in front of CRU's.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

Commercial buildings

File No. 7914-0286-00

It was

Moved by M. Higgs

Seconded by M. Vance

That the Advisory Design Panel (ADP)

recommends A – that the applicant address the following issues to the satisfaction of the Planning & Development Department.

Carried

STATEMENT OF REVIEW COMMENTS

The Panel considered the project quite successful especially given the complicated and challenging site.

Site

- Site grades well resolved given the challenges.
- Vehicular and pedestrian flow through and in-between developments are well thought out.
- The gateway to the site is not well marked and the access of 152 Street looks straight onto loading dock. Consider a lantern or beacon to mark the entrances.

Building Form and Character

- Generally the form and massing are good.
- Consider the relationship of Building 1 and the adjacent CRU 2. If they must be conjoined and expressed separately then suggest increasing the reveal.
- East façade of Building 1 should be more animated i.e. more glass and less metal cladding. Fabric canopies appear to be a downgrade.
- The use of galvalume is harsh and heavy on the top of the building. Transparency may be more successful.
- Good animated use of patio on Building 2 on the corner.
- Signage is excessive and should be more consistent with the City of Surrey guidelines. Pylon sign is located too close to bank CRU.
- Consider light fixtures be made more contemporary for consistency with building aesthetic.
- Consider screening for rooftop units and ensure it is suitable and supports the building palette.

Landscaping

- Recommend consideration of lighting for the site along the ramps and stairs for pedestrians. Need more lighting information.
- Landscaping is minimal. Suggest fewer stalls and more landscaping in parking area.
- Landscaping buffers and the planting palette is ok.

Accessibility

- Recommend 2 additional wheelchair spaces located close to the grocery stores.
- Recommend providing power doors at all main entrances.
- Recommend providing wheelchair and gender neutral accessible washrooms.
- Recommend providing let downs for wheelchairs.
- Recommend ramp to CRU in Building 2.

Sustainability

- Consider storm water retention and reuse on site for irrigation.

Panorama City comment response

All response are in red

General

1) The vehicular interface with the property to the south still hasn't been resolved. That "island" on the neighboring property is still right in the middle of traffic movements. Please work with the neighbor to the south to resolve. Neighbor to the South's contact information is: INVESTORS GROUP TRUST CO LTD: C/O BENTALL KENNEDY (CANADA) L ATTN: CATHERINE YANG, PROPERTY 305-935 MARINE DR NORTH VANCOUVER BC V7P 1S3

Neighboring property has agreed for existing curb island to be removed and in cooperation to redesigning drive aisle for efficient traffic flow. See attached letter.

2) Fascia signage – Please provide more signage details (materials, dimensions, etc.) as per my Oct.1 email. Fascia signage should be channel letters. No yellow backing should be used (ie. grocery store). The grocery store has too many signs. It is allowed 2 signs, not 5 signs.

Grocery store signs have been changed to white and reduced to two signs along the front (east elevation) and on the diagonal wall flanking the proposed road (north elevation).

3) Free-standing sign - In keeping with the recently approved signage on the commercial site across 152 Street, the free-standing sign should be no more than 3.6m high, as seen in the below Street view screenshot. The sign needs to be 2m from property line – please label on site plan.

Free standing sign has been reduced in height to 3.6m and relocated away from building #3 and towards the middle of the retaining wall planters. A more detailed drawing is also provided to show materials/finishes. (Refer to site plan)

4) Please clarify if a restaurant is proposed for CRU#5, as mentioned at the ADP meeting. Let's design for this now (ie. patio, parking, venting, etc).

A restaurant will not be proposed in the space of CRU#5 on the 2nd floor of building #2.

5) Clarify specialty paving on the onsite sidewalks.

Refer to landscape drawings.

6) Show light standard fixture manufacturers information including height and finishes.

Light standard fixture will have an overall height of 28' (8.5m); 25'H. (7.6m) pole mounted to a 3'H. Concrete base. Light standard manufactured by Cree.

7) Show gas meters located away from street frontages.

Gas meters have been located on site plan as requested; refer to site plan for locations

8) Reconsider corrugated metal fascia with a metal panel.

Corrugated metal fascia has been replaced with spandrel panels at storefront locations on the east elevation of building #1. The rest of the corrugated fascia will remain at other locations as part of the architectural character.

9) Provide detailed site grading and show any retaining walls.

Refer to A1.3 and A1.4 for detailed grading.

10) Please show on site dimensions for pedestrian walkways, etc.

Additional dimensions have been added at walkways/paths

11) Show let downs for sidewalks.

Let downs have been shown. Refer to site plan A1.0

12) Confirm that canopies have a minimum underside 2.7m clearance.

Canopies vary in height per building in relation with building/floor/window head heights and character. To meet minimum underside of canopies, it will be raised higher than current height and the design will be altered. Please refer to each building elevation for underside of canopy heights.

13) Show floor plans for each building.

Floor plans have been drawn for each building, refer to drawing set.

14) Planters along the driveway ramp should show a curb only with guard rails incorporated where necessary and provide details. Planting should slope down at maximum 1:3 to reduce retaining wall heights.

Planters at driveway ramp have been reduced to 6 inch curbs up from ramp and follows the drive way slope. 3'-6" Guard rails are provided where necessary by code. (Refer to building #2 west elevation)

15) Improve material on retaining walls along 152nd ie not allan block. Provide detail of all retaining walls on site. Allan blocks are not used, all poured concrete walls.

16) Provide a roof plan and show roof mechanical screening for both visual and acoustic to adjacent residential. Show any restaurant exhaust located away from residential interfaces.

A study has been done to see where mechanical unit screening is required. In response we have screened all units on top of building #1 grocery store roof from adjacent apartment complex to the west. CRU #2 in building #1 is further away and not in view. (Refer to A2.2 and site sections A2.9) In addition, screening is provided to 3 sides of mechanical units on top of building #2.

17) Provide a finer grain of detailing of ground level interfaces to add interest and character such as reveals in the brick columns and masonry bases.

Refer to sheet A2.2 for detail of pilaster.

18) Please provide detail of soil cells for the trees planted in the "diamonds" in the parking lot. Please also include the cost of the soil cells in the landscaping cost estimate.

Landscape has provided details on planter cells. Refer to Landscape drawings.

Building 1

19) Extend the use of brick across the east façade columns and wrapping around where visible to the new road and wrap above the loading bay.

Brick façade usage have been revised, please refer to building #1 elevations on A2.3.

20) Show details of screen at loading bay with durable high quality material and detailing. Height can be to match the bottom of the brick on columns.

Refer to building #1 south elevation on A2.3 for screen elevation and finishes. Screen at loading is 10' (3m) high.

21) Clarify use of wider sidewalk area along the grocery store frontage.

Wider sidewalk allows for pedestrians and carts to pass side by side and also bike racks along the front. (Refer to site plan for bike rack locations)

22) Extend glass in a spandrel panel along grocery down to 0.6m of grade. Incorporate trees along grocery store parking including soil cells. Refer to elevations on A2.3 for spandrel panel locations on East elevations. Additional planter cells will not be provided along grocery store.

- 23) Dot in any outdoor display along frontage. Cart storage along frontage not supported.
No outdoor displays along frontage of grocery store. Cart storage located in parking area, will not be along the front of building.
- 24) Confirm exiting requirements and show exit routes.
Exit door provided at back of loading bay on the south side, front of building by demising wall, and mezzanine level. (Refer to plans and elevations of building #1)
- 25) Show the exit sidewalk along the west extending south and routing along the south side of the building, integrating with the loading exit stair.
We propose the exit sidewalk along the west side of the building to extend north towards the street, this allows for a safe and at grade pathway. If we extend to the south, stairs have to be provided which will lead to an unsafe passage onto the adjacent property's drive aisle.
- 26) This sidewalk should be secured at the south end of the building. The remainder of this triangle should have low planting along the interface with the adjacent service driveway then native conifers toward the building setback area. Refer to landscape drawings.
- 27) Show adjacent proposed apartment building parkade deck and integrate the interface including correct grades. Avoid retaining walls in this area. Refer to site section on A2.9.
Retaining wall is required and cant b avoided as the adjacent site finished grades are higher.
- 28) Extend the weather protection canopy along the east façade similar to the main entrance canopy. Weather protection is provided, canopy at entry and fabric awnings at storefront. Refer to elevations on A2.3.

Building 2

- 29) Resolve grades along Panorama Drive setback area so that any steps, ramps or raised planters are avoided. Provide a detailed plan with grades. Provide a continuous row of inside trees along the street frontage and continuous weather protection on the building frontage.
Refer to building #2 plans and elevations for detailed grading plan. There are no ramps provided to access CRU#5. Canopies are provided as on elevations.

Building 3

- 30) Label the maximum height of vertical extension to be 0.6m above show consistently.
Completed, refer to elevations on A2.8.
- 31) Exit door and associated walkway along 152nd to be relocated away from the east and south frontage. Weather protection can be removed.
For exit door relocated to the south of building #3, refer to plans and elevations.
- 32) South and east elevation to be improved with spandrel glass.
Completed/updated. Refer to elevations on A2.8.
- 33) Clarify blue panels on the north and south elevation. These could be deleted.
Blue metal panels are part of future tenant's design.

Response to ADP Minutes

Building Form and Character

- Generally the form and massing are good.
- Consider the relationship of Building 1 and the adjacent CRU 2. If they must be conjoined and expressed separately then suggest increasing the reveal.
- East façade of Building 1 should be more animated i.e. more glass and less metal cladding. Fabric canopies appear to be a downgrade.

Spandrel panels used in replace of metal cladding. (See elevations)

Fabric canopies to remain

- The use of galvalume is harsh and heavy on the top of the building. Transparency may be more successful.

Use of galvalume is part of building character.

- Good animated use of patio on Building 2 on the corner.
- Signage is excessive and should be more consistent with the City of Surrey guidelines. Pylon sign is located too close to bank CRU.

Pylon sign has been relocated to middle of site along 152nd street. Size has been reduced as part of city guidelines. (See A1.0)

- Consider light fixtures be made more contemporary for consistency with building aesthetic.

Light fixtures to remain.

- Consider screening for rooftop units and ensure it is suitable and supports the building palette.

Screening of rooftop units provided. (See plans and sections)

Accessibility

- Recommend 2 additional wheelchair spaces located close to the grocery stores.

1 additional disability space is provided at grocery store.

- Recommend providing power doors at all main entrances.

Power doors provided.

- Recommend providing wheelchair and gender neutral accessible washrooms.

Washroom rough-ins provided. Future tenant to determine use of washroom.

- Recommend providing let downs for wheelchairs.

Let downs provided. (see site plan A1.0)

- Recommend ramp to CRU in Building 2.

Use of ramp at Northwest corner will connect to CRU at building 2.



Advisory Design Panel Minutes

2E - Community Room B
City Hall
13450 - 104 Avenue
Surrey, B.C.
THURSDAY, OCTOBER 22, 2015
Time: 4:00 pm

Present:

Chair - L Mickelson
M. Higgs
E. Mashing
C. Taylor
M. Vance

Guests:

T. Paul, Pinora Enterprises Ltd.
S. Paul, Pinora Enterprises Ltd.
L. Barnett, Barnett Dembek Architects
M. Mitchell, M2 Landscape
Architecture
J. Redekop, Redekop (Panorama
Homes Ltd.)
R.Ciccozzi, Ciccozzi Architecture Inc.
M. van der Zalm, van der Zalm + assoc.
E. Poxleitner, Keystone Architecture &
Planning

Staff Present:

M. Rondeau, Acting City Architect
H. Ahking, Senior Planner
L. Moraes, Planner
N. Chow, Urban Design Planner
L. Luaifo, Administrative Assistant

B. NEW SUBMISSIONS

3.	5:45 PM	
	File No.:	7914-0286-00
	New or Resubmit:	New
	Last Submission Date:	N/A
	Description:	4-storey apartment building
	Address:	5750 Panorama Drive; South Newton
	Developer:	James Redekop – Redekop (Panorama Homes Ltd.)
	Architect:	Eric Poxleitner – Keystone Architecture & Planning
	Landscape Architect:	Mark van der Zalm – van der Zalm + associates
	Planner:	Keith Broersma
	Urban Design Planner:	Mary Beth Rondeau/Henry Ahking

The Acting City Architect presented an overview of the project and highlighted the following:

- The use, form and density are supported. Staff are generally satisfied with the proposal and do not have any specific issues.
- The parking is slightly below requirements however, staff supports the reduction due to the site being located near two major arterial roads and the availability of transit.

The Project Architect presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes and highlighted the following:

- The concept of the design of the project is to be reflective of the community and still tie in between the residential and commercial portions. The townhouses which are north of the apartment building are also a similar design of colours and scale of materials.
- There is no parking on the surface, that area is all landscaping. All parking is provided through a parkade that is accessed from 58 Avenue.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- The grade continues to be an issue in this precinct with the commercial development. The landscape is a curved form with a grass boulevard and street planting on 58 Avenue.
- The amenity space provides a lot of openness with significant vegetative and screening. Planters are built up for privacy on own patios and screening from whatever is taking place in the open space.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

4-storey apartment building

File No. 7914-0286-00

It was

Moved by C. Taylor

Seconded by E. Mashig

That the Advisory Design Panel (ADP)

recommends C – that the applicant address the following issues to the satisfaction of the Planning & Development Department and, at the discretion of Planning staff, resubmit the project to the ADP for review.

Carried

STATEMENT OF REVIEW COMMENTS

In general, the Panel support the layout of the site, the form and massing.

Site

- Decent solution to challenging site relative to the grade of adjacent existing development.

Building Form and Character

- The site arrangement is well articulated for a massive building.
- Consider something to break up the long corridor. Allow natural light where it changes in direction. **The corridor is broken up using a variety of methods:**

- Even though the building itself is large, the common corridor is not a long straight run, due to the articulation of the building, which follows the street curves, but rather is broken up into much shorter portion of corridor lengths.
- At each 90 degree corner in the corridor (2 per floor), the ceiling design will have cove LED lighting to provide a feeling of going to a destination that has a lighting feature.
- By having the elevators and a stair shaft centrally located, the distance from these main access points to any unit entry door is as short as possible.
- On every floor, at approximately halfway between the central elevator/central stair area and the further unit entry door in the southwest corner (the longest distance in the building) is an amenity room with numerous windows between it and the corridor. This further breaks up the corridor and brings interest along the circulation route.
- Every unit entry is not simply a door that is flush with the corridor. Rather, each entry has a distinctive design, with 4" projections on either side of the entry area in a contrasting colour, and the wall with the entry door recessed from the main corridor plane by approximately 12", for a total recess of about 16". There will be a dropped ceiling with a pot light over this entry area which also enhances the distinctness of the entry area. With all these design elements, each entry area becomes a unique place of entry and further breaks up the corridor.
- Recommend further developing elevations and use of materials. Palette is busy and there is a lack of clarity regarding vertical expression vs. horizontal datum. The palette has been simplified, vertical elements have been removed or adjusted so that a uniform horizontal theme is now consistent for the entire building.
- Specifically, the strong vertical elements going up to the roof gable. These vertical elements have been re-designed to match other more horizontal themes, which further emphasizes a more harmonious design.
- Re-consider materials; metal looks like wood, concrete looks like stone and fibre cement looks like wood. Recognizing that good quality materials have been used, it's how they have been composed that is the problem. Material selections have been revised in numerous areas to have a more uniform composition and in keeping with a more traditional hierarchy with strong lower (base) materials.
- Consider reducing number of elements to improve the "very busy" look. The number of elements has been drastically reduced so that the design is more consistent throughout.
- Rental approach should be the same care as market projects. Agreed.
- Consider indoor garage access for tenants. All the tenants parking is in a secure underground parkade, separate from the underground visitor parking area.
- Better relationship of indoor and outdoor amenity areas. One large room rather than broken up by corridor. The main indoor amenity area has been combined into one large room and moved further east. This allows it to be directly

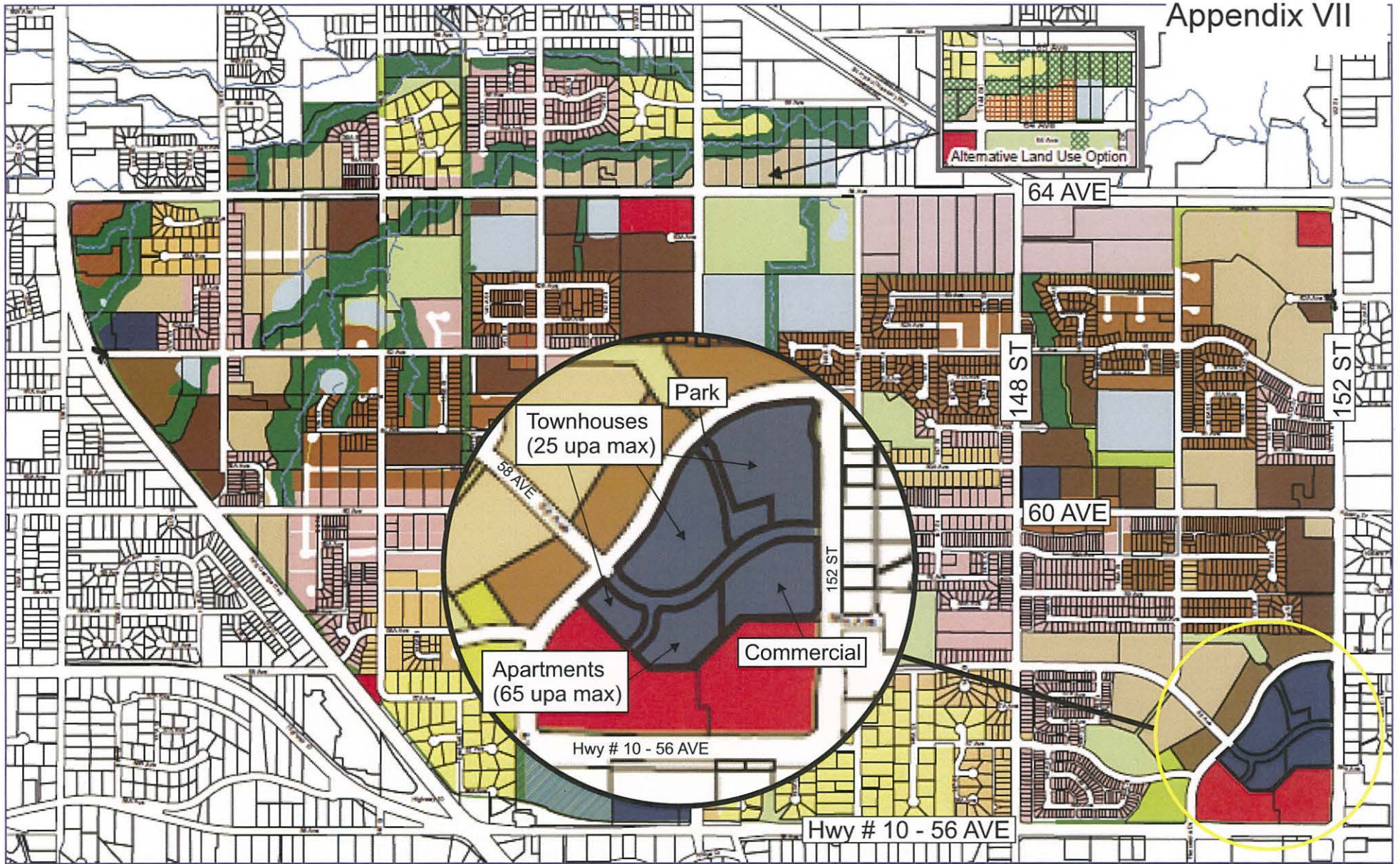
adjacent to the outdoor amenity area. This relationship is further enhanced by having direct connections between the two by way of a patio door and sidewalk.

Landscaping

- Re-consider the tree located between the wood fence and concrete parking wall at the south property line. **This has been adjusted.**
- Consider rotating garden beds to be able to provide more of them. Add gardening amenities such as tool storage. **The usable area of the raised garden beds has been substantially increased. The beds are 1.2m wide and the aisles are 1m wide to optimize garden area and accessibility. A small tool shed and hose bib has been added to the northeast corner of the garden bed.**

Accessibility

- Recommend elevator panel button be horizontal. **Agree to include.**
- Recommend call buttons. **Agree to include elevator call buttons.**
- Recommend power doors at entrance. **Agree to include.**
- Provide emergency call button in underground lobby. **Agree to include an emergency call button in the underground lobby, but would ask for further clarification details about how this would work, such as where the button would signal to.**
- Suggest 50% of units be wheelchair accessible. **As noted in my email to Keith Broersma on Oct.30/15, this is a typo in the minutes: the actual suggestion was to have 5% as adaptable units. We have provided more than 5% of the units as accessible, as defined by the BC Building Code.**
- Provide wheelchair accessible washrooms in amenities room. **Agree to include.**



SOUTH NEWTON

NEIGHBOURHOOD CONCEPT PLAN
City of Surrey Planning & Development Department

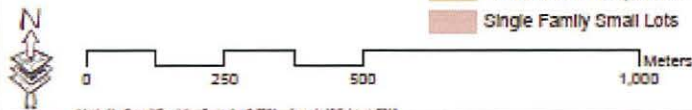
- Apartments 45 upa max
- Townhouses 30 upa max
- Townhouses 25 upa max
- Townhouses 20 upa max
- Townhouses 15 upa max
- Single Family Small Lots

- Row Housing
- Single Family Residential Flex 6 to 14.5
- Single Family Residential
- Suburban Residential 1/2 Acre
- Mixed Com/Res Apartments
- Mixed Com/Res Townhouse

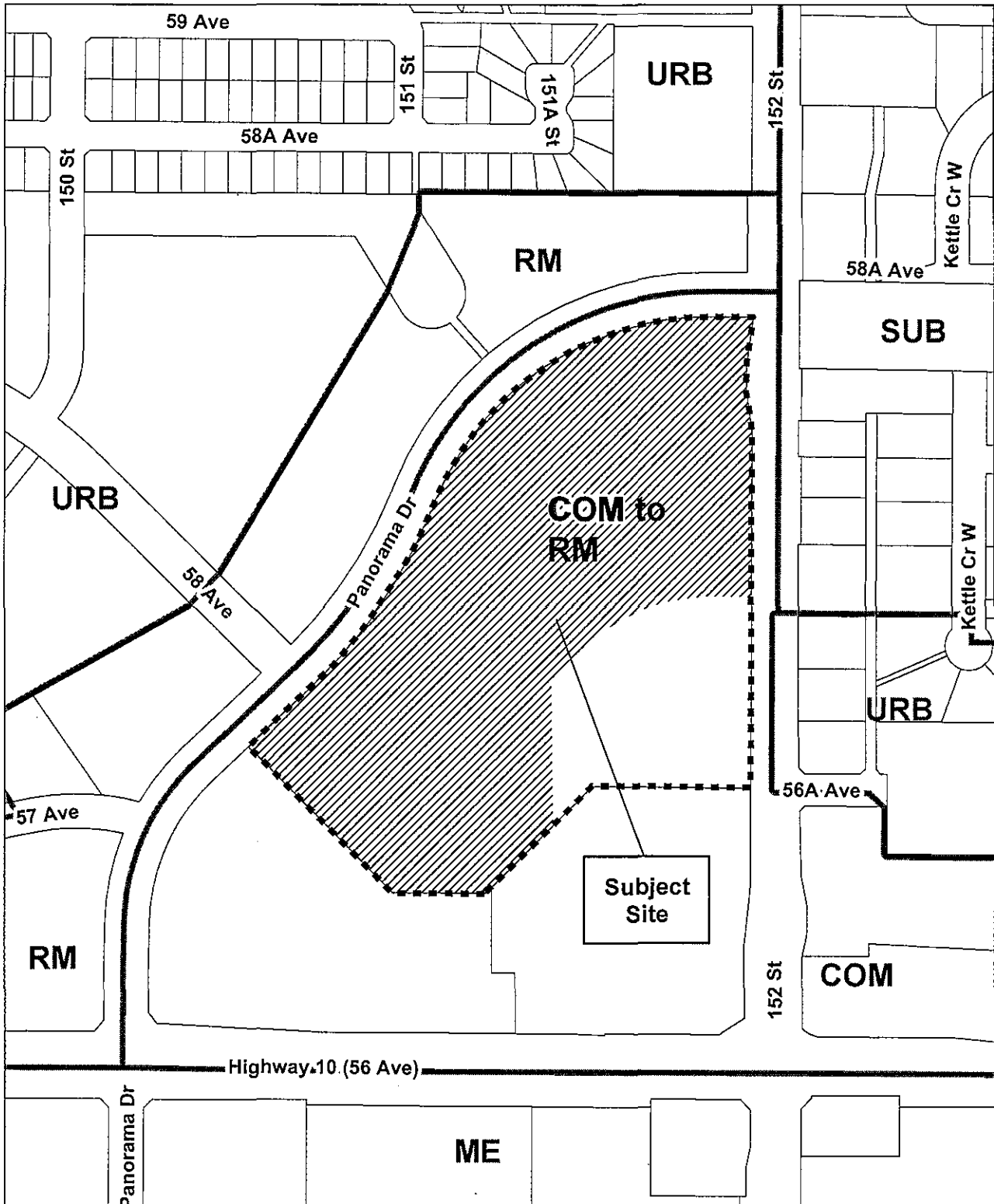
- Commercial
- Institutional
- Office Park
- Industrial
- Schools
- Proposed School

- Proposed School and Park
- Parks
- Proposed Park and Walkway
- Recreational
- Creeks and Riparian Set-back

- Buffers
- Detention Ponds
- Utility R/W Greenway
- WALKWAY



This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.



OCP Amendment 7914-0286-00
Proposed amendment from Commercial to Multiple Residential



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7914-0286-00

Issued To: Redekop (Panorama) Homes Ltd
("the Owner")

Address of Owner: 102-31324 Peardonville Road
Abbotsford BC V2T 6K8

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 023-208-732
LT 13 SE SC 10 T2 PLLMP24916 Part NE1/4.
5750 Panorama Dr

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once titles have been issued, as follows:

Parcel Identifier:

(b) If the civic addresses change, the City Clerk is directed to insert the new civic addresses for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

(a) In Subsection F. Yards and Setbacks of Part 36 Community Commercial Zone (C-8), the minimum setbacks are reduced from 7.5 metres (25 ft.) to:

i. 5.0 metres (16.5 ft.) for the east property line (along 152 Street);

- ii. 4.25 metres (14 ft.) for the west property line; and
 - iii. 4.0 metres (13 ft.) for the north property line (along the new east-west road);
- (b) In Subsection F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone (RM-30), the minimum setbacks are reduced from 7.5 metres (25 ft.) to:
- i. 4.5 metres (15 ft.) to the building face, and 3.5 metres (11 ft.) to the bay window, along Panorama Drive, the new east-west road and the new north-south road;
 - ii. 4.5 metres (15 ft.) to the building face, and 3.4 metres (11 ft.) to the bay window, along 152 Street;
 - iii. 3.0 (10 ft.) to the building face, and 1.9 metres (6 ft.) to the bay window, along the proposed park parcel;
 - iv. 4.4 metres (14.5 ft.) for Townhouse Building 4 in the southwest corner of the site;
- (c) In Subsection F. Yards and Setbacks of Part 24 Multiple Residential 70 Zone (RM-70), the minimum setbacks are reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for the west, south and north setbacks;
- (d) In Subsection E. Lot Coverage of Part 24 Multiple Residential 70 Zone (RM-70), the maximum lot coverage is increased from 33% to 40%; and
- (e) In Table C.6 Parking Requirement for Residential Uses of Part 5 Off-Street Parking, the number of required parking spaces is reduced for the apartment site from 151 on-site resident parking spaces to 139 parking spaces.
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor - Linda Hepner

City Clerk - Jane Sullivan

PANORAMA DRIVE DEVELOPMENT

5750 PANORAMA DRIVE, SURREY, BC

(b) In Subsection F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone (RM-30), the minimum setbacks are reduced from 7.5 metres (25 ft.) to:

- i. 4.5 metres (15 ft.) to the building face, and 3.5 metres (11 ft.) to the bay window, along Panorama Drive, the new east-west road and the new north-south road;
- ii. 4.5 metres (15ft.) to the building face, and 3.4 metres (11 ft.) to the bay window, along 152 Street;
- iii. 3.0 (10 ft.) to the building face, and 1.9 metres (6 ft.) to the bay window, along the proposed park parcel;
- iv. 4.4 metres (14.5 ft.) for Townhouse Building 4 in the southwest corner of the site;

(a) In Subsection F. Yards and Setbacks of Part 36 Community Commercial Zone (C-8), the minimum setbacks are reduced from 7.5 metres (25 ft.) to:

- i. 5.0 metres (16.5 ft.) for the east property line (along 152 Street);
 - ii. 4.25 metres (14 ft.) for the west property line;
- and
- iii. 4.0 metres (13 ft.) for the north property line (along the new east-west road);

(c) In Subsection F. Yards and Setbacks of Part 24 Multiple Residential 70 Zone (RM-70), the minimum setbacks are reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for the west, south and north setbacks;

(d) In Subsection E. Lot Coverage of Part 24 Multiple Residential 70 Zone (RM-70), the maximum lot coverage is increased from 33% to 40%; and

(e) In Table C.6 Parking Requirement for Residential Uses of Part 5 Off-Street Parking, the number of required parking spaces is reduced for the apartment site from 151 on-site resident parking spaces to 139 parking spaces.



SITE PLAN - OVERALL
SD8-2