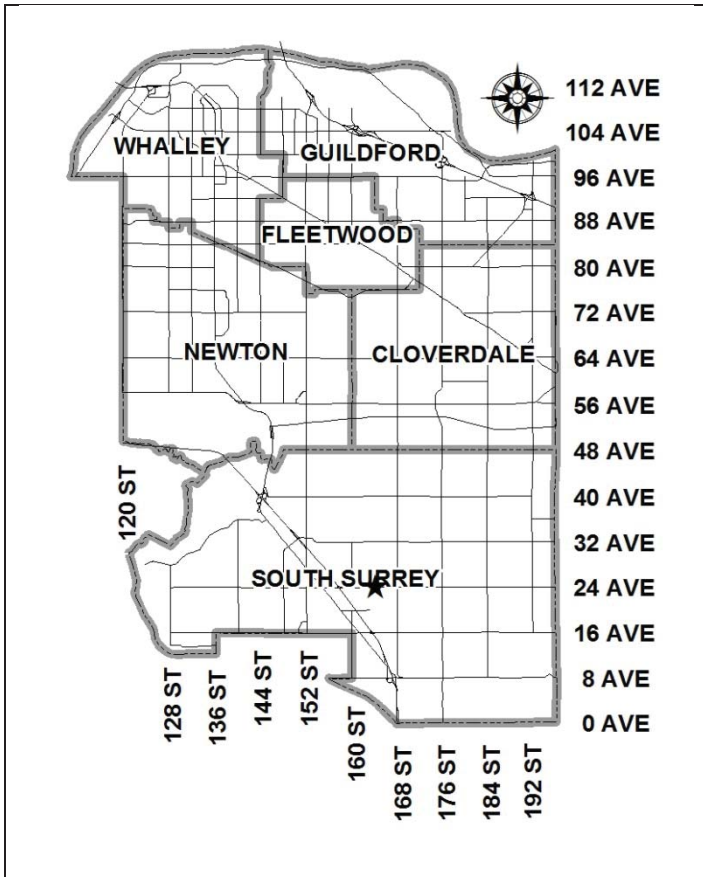


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7914-0280-00

Planning Report Date: September 12, 2016



**PROPOSAL:**

- **Rezoning** from RA to RM-30
- **Development Permit**
- **Development Variance Permit**

to permit the development of 60 townhouse units.

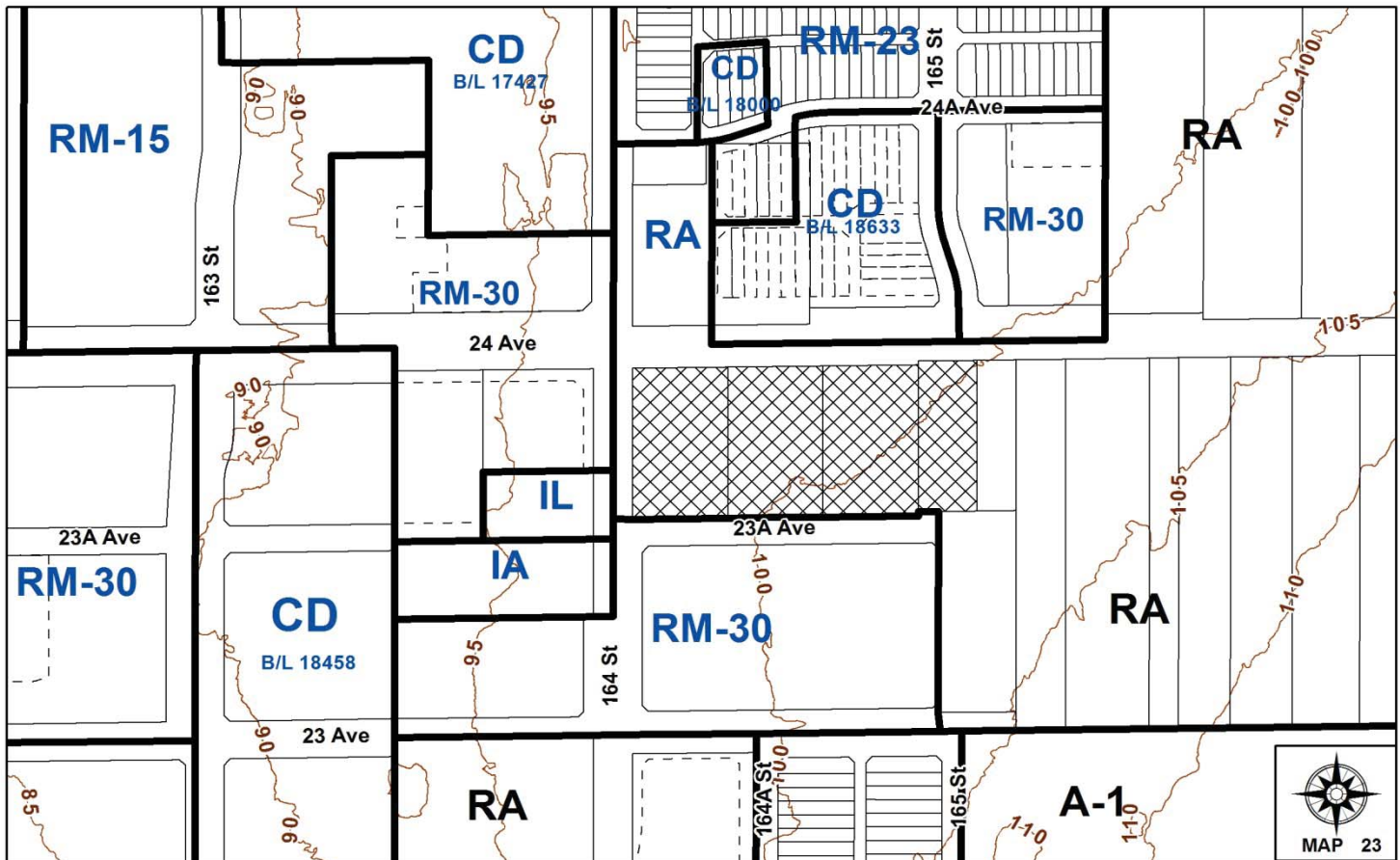
**LOCATION:** 16488, 16464, 16432 and  
 16422 - 24 Avenue

**OWNER:** 0949048 BC Ltd.

**ZONING:** RA

**OCP DESIGNATION:** Urban

**NCP DESIGNATION:** Multiple Residential 15-25 upa  
 Cluster Residential 10-15 upa  
 Linkages



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking variances to the setbacks of the Multiple Residential 30 Zone (RM-30).
- Seeking to reduce and pay cash-in-lieu of a portion of the indoor amenity space.

### RATIONALE OF RECOMMENDATION

- The proposal complies with the site's OCP Designation.
- The proposal complies with the intent of the site's Sunnyside Heights NCP Designation.
- The proposed density and building form are appropriate for this part of Sunnyside Heights.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Sunnyside Heights Neighbourhood Concept Plan.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)" and a date be set for Public Hearing.
2. Council approve the applicant's request to reduce the amount of required indoor amenity space from 180 square metres (1,938 square feet) to 131 square metres (1,412 square feet).
3. Council authorize staff to draft Development Permit No. 7914-0280-00 generally in accordance with the attached drawings (Appendix II).
4. Council approve Development Variance Permit No. 7914-0280-00 (Appendix VI) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum west setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.0 metres (13 ft.) to the building face and to 2.9 metres (10 ft.) to the front porch;
  - (b) to reduce the minimum north setback of the RM-30 Zone from 7.5 metres (25 ft.) to 7.0 metres (23 ft.) to the building face and to 5.9 metres (19 ft.) to the front porch;
  - (c) to reduce the minimum south setback of the RM-30 Zone from 7.5 metres (25 ft.) to 2.5 metres (8 ft.); and
  - (d) to reduce the minimum east setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.0 metres (13 ft.) to the building face and to 2.9 metres (10 ft.) to the front porch.
5. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (f) submission of an acoustical report for the units adjacent to 24 Avenue and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;

- (g) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
- (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
- (i) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
- (j) the applicant adequately address the impact of reduced indoor amenity space.

### REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

20 Elementary students at Pacific Heights Elementary School  
9 Secondary students at Earl Marriott Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by January 2019.

Parks, Recreation & Culture: Parks requests that all fencing adjacent to parkland be permeable, and not higher than 1.2 metres (4 ft.). Landscape material at mature growth should not exceed 1.2 metres (4 ft.) to protect sight lines over time. Parks also requests that CPTED principles such as unit orientation, clear site lines, active rooms and windows facing the greenway be applied.

Surrey Fire Department: No concerns.

### SITE CHARACTERISTICS

Existing Land Use: Single family acreage properties.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 24 Avenue):	Single family acreage properties, under applications for single family small lots (Development Application No. 7915-0364-00). Recently approved development for 30 row houses.	Urban / Townhouse (15 upa) or Multi-Family with Tree Preservation (30 upa) and Multi-Use Pathway	RA, RM-30 and CD (By-law No. 18633)
East:	Single family acreage properties	Urban / Cluster Residential 10-15 upa	RA
South (Across 23A Avenue):	Townhouse site with 74 townhouse units	Urban / Cluster Residential 10-15 upa and Multiple Residential 15-25 upa	RM-30
West (Across 164 Street):	Townhouse site for 35 townhouse units (Development Application No. 7913-0042-00, recently approved by Council) and Sunnyside Autobody shop.	Urban / Multiple Residential 15-25 upa	RM-30 / IL

DEVELOPMENT CONSIDERATIONS

- The subject 1.08-hectare (2.67-acre) site is located at the southeast corner of the intersection of 24 Avenue and 164 Street. The site is comprised of 4 single family acreage properties.
- The subject site is zoned One-Acre Residential Zone (RA), designated Urban in the Official Community Plan (OCP), and designated Multiple Residential 15-25 upa, Cluster Residential 10-15 upa and Linkages in the Sunnyside Heights Neighbourhood Concept Plan (NCP).
- The applicant is proposing to rezone the site from from RA to Multiple Residential 30 Zone (RM-30) and a Development Permit to permit the development of 60 townhouse units. A Development Variance Permit for reduced setbacks is also proposed as part of this application and is discussed later in this report.
- The proposal includes the development of the townhouse site, as well as the dedication of 165A Street along the east side of the subject site, and construction of a greenway along the south side of 24 Avenue.
- The subject site is split-designated in the Sunnyside Heights NCP, with the larger western portion of the site designated Multiple Residential 15-25 upa, and the eastern portion of the site designated Cluster Residential 10-15 upa. The northern portion of the site is designated Linkage where the greenway is proposed. The overall density on the two differently designated portions of the site (Multiple Residential 15-25 upa and Cluster Residential 10-15 upa) is 55.4 units per hectare (22.4 upa), which complies with overall density permitted in the Sunnyside Heights NCP, and also the NCP's intent for tree retention.
- The proposal indicates a total floor area of 8,954 square metres (96,386 sq. ft.) representing a net floor area ratio (FAR) of 0.83, which is within the maximum 0.9 FAR permitted in the RM-30 Zone.

## PRE-NOTIFICATION

Pre-notification letters were sent on July 6, 2016 to 224 properties that are located within 100 metres (328 ft.) of the subject site, including the Semiahmoo Residents Association. Development proposal signs were also installed on the site on July 13, 2016. In response, staff has received two (2) emails with concerns. A summary of the main concerns is provided below, with staff comments identified in italics.

- Insufficient parking.

*(The proposed development provides two parking spaces for each proposed unit, as well as 12 visitor parking spaces, which meets the Zoning By-law requirements of 132 parking spaces. The development is consistent with the overall density that is proposed in the Sunnyside Heights NCP. In addition, the applicant will be required to widen 23A Avenue and build 165A Street, which will increase the availability of on-street parking in the area.)*

- Questions about the provision of green space.

*(The proposed development includes the retention of several trees along 23A Avenue, as well as the provision of 491 square metres (5,285 sq.ft.) of outdoor amenity space, which is in excess of the Zoning By-law requirement of 180 square metres (1,940 sq.ft.).*

- Concern with traffic congestion and the poor condition of roads and a request for a signal at the intersection of 24 Avenue and 164 Street.

*(The City's Transportation Planning Division advises that there is a signal planned for the intersection of 24 Avenue and 164 Street, to be constructed in the medium term [approximately 4 years]. In addition, as part of this application, the following improvements will be constructed: the widening of 164 Street, the completion of 23A Avenue with a sidewalk on both sides of the street and on-street parking provided on one side, and a new road [165A Street] south of 24 Avenue. 165A Street is planned as a continuous connection to 21 Avenue, with efforts to be made in the road design to the south to retain the significant trees, when a development application is made on the lands to the south. This new road will improve circulation in the area.)*

- Concerns with the available school capacity.

*(The proposed development is to be constructed at an overall density that is consistent with what is proposed in the Sunnyside Heights NCP. The School District advises that they have purchased a site for a new elementary school in the area, and construction is identified as a high priority.*

*The school district has also purchased land for a new secondary school in the Grandview area adjoining the City of Surrey future aquatic centre and recreation property. Capital project approval has been granted for the new 1,500 student secondary school (likely to open in 2020).*

*A proposed addition to Pacific Heights Elementary is included in the capital plan, but as a lower priority than the two capital projects mentioned above.)*

## DESIGN PROPOSAL AND REVIEW

- The applicant is proposing to construct a total of 60 three-storey townhouses located within 14 buildings. Of the 60 units, 36 units (60%) are proposed with side-by-side garage parking arrangement. The remaining 24 (40%) units are proposed with tandem parking arrangement, which is within the maximum (50%) tandem parking that is permitted in the Zoning By-law.
- The number of dwelling units within each individual building ranges from 2 to 6 units.
- Of the 60 units that are proposed, 58 units (97%) are three-bedroom units, and 2 units (3%) are two-bedroom unit-types.
- The applicant proposes a total building floor area of 8,954 square metres (96,386 sq. ft.), representing a net FAR of 0.83. The proposed unit density is 55.4 units per hectare (22.4 units per acre). Both the FAR and the unit density comply with the provisions identified in the RM-30 Zone.
- All of the street-fronting units contain active living space on the ground floor which promotes interaction with the public realm. These units have front doors facing the street, a walkway connecting each residence to the street, and windows that provide casual surveillance of the street.
- The proposed building materials consist of a mixture of hardie-panel siding (gray), hardie-plank lap siding (gray) and brick veneer (redondo gray). The roofs will be clad in asphalt shingles (slate gray) and include pitched roofs to provide visual interest to the building design.

## Landscaping

- Significant landscaping is provided along all property lines to help the development engage with the surrounding streets. The proposed landscaping is coordinated with the retention of a large group of trees on the southeastern portion of the property, a large group of trees along 23A Avenue on the western portion of the site. In addition, the applicant is proposing to retain two Douglas Firs and a Deodar Cedar in the centre of the site.
- Landscaping along the street at the individual unit entries is “stepped” with planting size increasing as one approaches the building, which provides a sense of entry. Landscaping is also proposed in front of the proposed fencing along the street frontage to soften the edge.
- The proposed landscaping includes a variety of plants, including Coral Bark Maple, Columnar Karpick Maple, Katsura Tree, Weeping Nootka Cypress, Pink Kousa Dogwood, Fastigiate or Dawyck Beech, Apple, Italian Pear, Worplesdon Sweet Gum, Kobus Magnolia (white), Magnolia, Serbian Spruce and Snowcone Japanese Snowbell, as well as a variety of shrubs, grass and perennials.
- A pedestrian plaza is proposed at the southwest corner of the site, providing pedestrian connection into the site from the intersection of 23A Avenue and 164 Street, and another plaza is proposed at the northwest corner of the site. An entrance sign to the neighbourhood is provided at the intersection of 24 Avenue and 164 Street. The sign reads “Sunnyside Heights” in 7.5-centimetre (3-in.) height font, mounted on a stone faced column.

### Vehicular Access and Parking

- A total of 120 resident parking spaces and 12 visitor parking spaces are provided onsite, which meets the minimum requirements in the Zoning By-law.
- Vehicular access to the site is proposed on 23A Avenue, between two groups of trees which are to be retained.

### Amenity Space

- The Zoning By-law requires that a total of 180 square metres (1,938 sq. ft.) of both indoor and outdoor amenity space be provided for this development, based on a total of 3 square metres (32 sq. ft.) per dwelling unit.
- A total of 491 square metres (5,285 sq. ft.) centrally located outdoor amenity space is proposed. The outdoor amenity space greatly exceeds the Zoning By-law minimum requirement of 180 square metres (1,938 sq. ft.). The space is proposed to include the retention of 2 Douglas Firs and a Deodar Cedar, outdoor play equipment, a picnic table and a community garden.
- The proposed indoor amenity building of 131 square metres (1,412 sq. ft.) is less than the 180 square metres (1,938 sq. ft.) required under the Zoning By-Law. The amenity building is located adjacent to the outdoor amenity space, along 23A Avenue between Buildings 11 and 14. The amenity building is proposed to be a two-storey building and will include meeting rooms and washroom facilities. The applicant will be required to address the shortfall of indoor amenity space with cash-in-lieu compensation in accordance with City policy.

### TREES

- Mike Fadum, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder / Cottonwood	5	5	0
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Apple	1	1	0
Birch, Paper	1	1	0
Cherry	6	4	2
Dogwood, Pacific	1	1	0
Maple, Bigleaf	8	3	5
Maple, Norway	1	0	1
Plum	2	2	0
Poplar, Lombardy	17	16	1
Willow, Weeping	1	1	0
<b>Coniferous Trees</b>			



Tree Species	Existing	Remove	Retain
Cedar, Western Red	103	76	27
Cedar, Deodar	2	0	2
Douglas Fir	34	16	18
False Cypress	6	6	0
Fir, Grand	2	2	0
Hemlock, Western	3	3	0
Pine, Austrian	1	1	0
Redwood, Sierra	7	7	0
Spruce, Norway	4	1	3
Spruce sp.	1	1	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>201</b>	<b>142</b>	<b>59</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>			
		<b>107</b>	
<b>Total Retained and Replacement Trees</b>		<b>166</b>	
<b>Contribution to the Green City Fund</b>		<b>\$72,800</b>	

- The Arborist Assessment states that there are a total of 201 protected trees on the site, excluding Alder and Cottonwood trees. Five (5) existing trees, approximately 2.4 % of the total trees on the site, are Alder and Cottonwood trees. It was determined that 59 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- The sidewalk along the north side of 23A Avenue has been realigned to maximize tree retention. The alignment of the greenway along the south side of 24 Avenue has also been modified due to tree retention.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 289 replacement trees on the site. Since only 107 replacement trees can be accommodated on the site, the deficit of 182 replacement trees will require a cash-in-lieu payment of \$72,800, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including Coral Bark Maple, Columnar Karpick Maple, Katsura Tree, Weeping Nootka Cypress, Pink Kousa Dogwood, Fastigate or Dawyck Beech, Apple, Italian Pear, Worplesdon Sweet Gum, Kobus Magnolia (white), Magnolia, Serbian Spruce and Snowcone Japanese Snowbell, as well as a variety of shrubs, grass and perennials.
- In summary, a total of 166 trees are proposed to be retained or replaced on the site with a contribution of \$72,800 to the Green City Fund.

**SUSTAINABLE DEVELOPMENT CHECKLIST**

The applicant prepared and submitted a sustainable development checklist for the subject site on August 04, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	• The proposal conforms with the site's OCP and NCP land use designations.
2. Density & Diversity (B1-B7)	• The proposal is for a multi-family development, including both side-by-side and tandem-garage unit-types.
3. Ecology & Stewardship (C1-C4)	• n/a
4. Sustainable Transport & Mobility (D1-D2)	• The proposal includes a multi-use pathway along the south side of 24 Avenue, and it is located along a bus route on 24 Avenue.
5. Accessibility & Safety (E1-E3)	• Living spaces within the units and the community provide for visual connection and security throughout the development, as well as low planting material, low fencing and on-site lighting to allow for visual surveillance.
6. Green Certification (F1)	• n/a
7. Education & Awareness (G1-G4)	• n/a

**BY-LAW VARIANCE AND JUSTIFICATION****(a) Requested Variances:**

- To reduce the minimum west setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.0 metres (13 ft.) to the building face and to 2.9 metres (10 ft.) to the front porch;
- To reduce the minimum north setback of the RM-30 Zone from 7.5 metres (25 ft.) to 7.0 metres (23 ft.) to the building face and to 5.9 metres (19 ft.) to the front porch;
- To reduce the minimum south setback of the RM-30 Zone from 7.5 metres (25 ft.) to 2.5 metres (8 ft.); and
- To reduce the minimum east setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.0 metres (13 ft.) to the building face and to 2.9 metres (10 ft.) to the front porch.

**Applicant's Reasons:**

- The proposed setback variances will maximize the development potential of the site, and allow for tree preservation, particularly along the south property line.

**Staff Comments:**

- The proposed setbacks are appropriate to provide for an efficient layout, while maximizing tree retention.
- The proposed setback will bring the units closer to the street which will allow the units to better engage the street and enliven the public realm. The Sunnyside Heights NCP encourages reduced setbacks along streets to encourage surveillance over the public realm.
- The proposed south setback of 2.5 metres (8 ft.) will allow for additional road dedication that will facilitate the realignment of the sidewalk for tree protection purposes. This setback is applicable to the indoor amenity building and for the side of units.
- The proposed north setback of 7.0 metres (23 ft.) to the building face and to 5.9 metres (19 ft.) to the front porch will be located adjacent to a multi-use pathway which will be partly secured the provision of a 2.7-metre (9 ft.) statutory right-of-way. The units fronting 24 Avenue will be located 4.8 metres (16 ft.) from the edge of the statutory right-of-way.
- The proposed units on the western side (164 Street) of the site will interface with a 5-metre (16 ft.) wide drainage corridor within the road allowance, which provides an attractive interface with the paved portion of the street.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	Development Variance Permit No. 7914-0280-00

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

KB/dk



Harvinder Dhaliwal  
No Officer Information Filed:

PID: 001-891-171  
Lot 28 Except: Parcel B (Reference Plan 38725); Section 13 Township 1 New Westminster  
District Plan 36854

- (e) Civic Address: 16422 - 24 Avenue  
Owner: 0949048 BC Ltd.  
Director Information:  
Onkar Dhaliwal  
Harjan S Johal  
Harvinder Dhaliwal  
No Officer Information Filed:

PID: 001-485-849  
Lot 29 Except: Parcel A (Reference Plan 38725); Section 13 Township 1 New Westminster  
District Plan 36854

3. Summary of Actions for City Clerk's Office

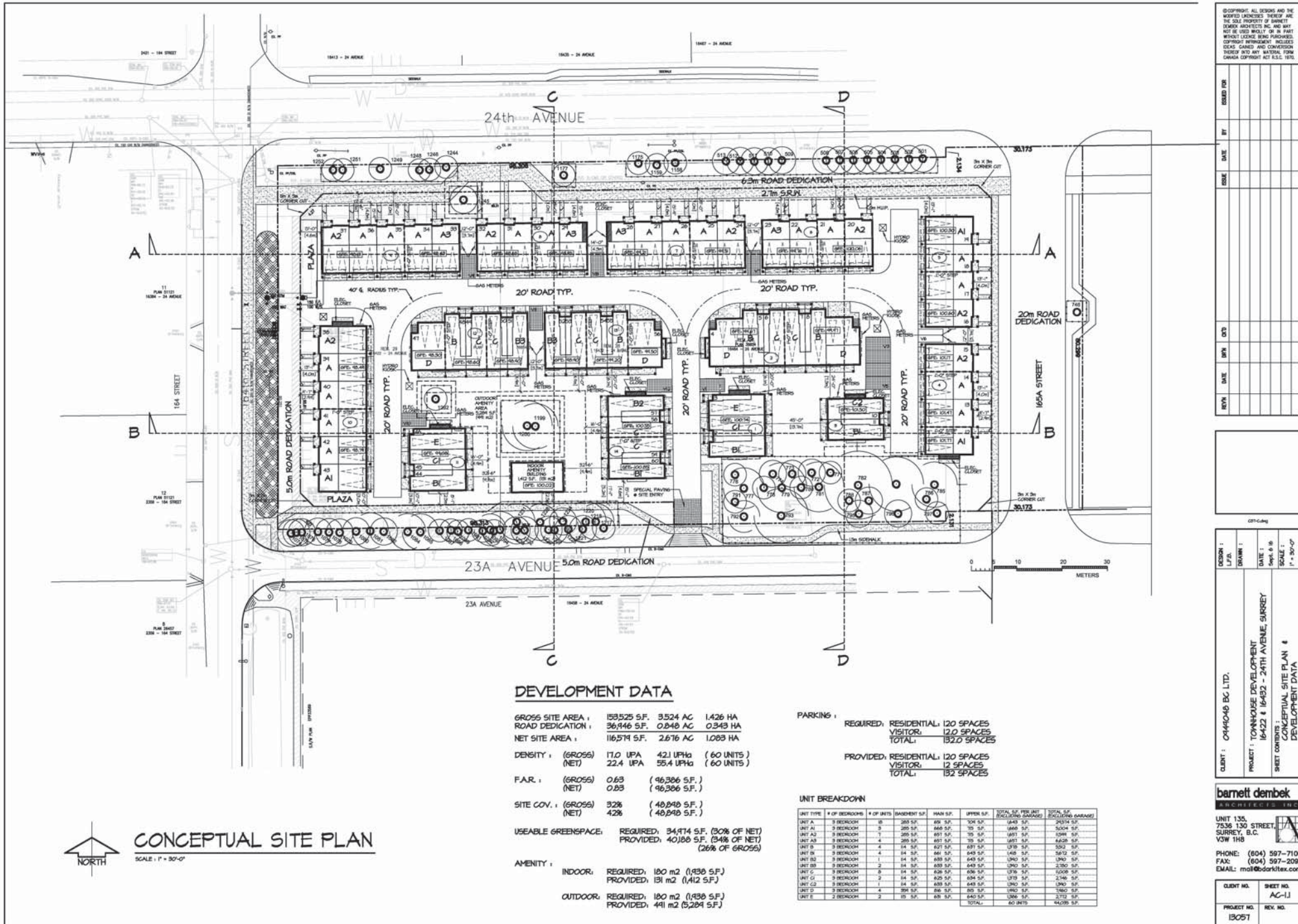
- (a) Introduce a By-law to rezone the site.
- (b) Proceed with Public Notification for Development Variance Permit No. 7914-0280-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the final adoption of the associated Rezoning By-law.

## DEVELOPMENT DATA SHEET

Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		14,260 m <sup>2</sup>
Road Widening area		3,430 m <sup>2</sup>
Net Total		10,830 m <sup>2</sup>
LOT COVERAGE (in % of net lot area)	45%	42%
SETBACKS ( in metres)		
North (24 Avenue)	7.5 m	See DVP
South (23A Avenue)	7.5 m	See DVP
East (165A Street)	7.5 m	See DVP
West (164 Street)	7.5 m	See DVP
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m	12.6 m
Accessory (indoor amenity space)	11 m	7.8 m
NUMBER OF RESIDENTIAL UNITS (TOTAL)		60
Two Bedroom		2
Three Bedroom +		58
FLOOR AREA: Residential		8,954 m <sup>2</sup>
DENSITY		
# of units/ha /# units/acre (gross)		42.1 uph /17 upa
# of units/ha /# units/acre (net)	75 uph / 30 upa	55.4 uph /22.4 upa
FAR (gross)		0.63
FAR (net)	0.9	0.83
AMENITY SPACE (area in square metres)		
Indoor	180 m <sup>2</sup>	131 m <sup>2</sup>
Outdoor	180 m <sup>2</sup>	491 m <sup>2</sup>
PARKING (number of stalls)		
Residential 2-Bed	2/unit = 4	4
3-Bed	2/unit = 116	116
Residential Visitors	0.2/unit	12
Total Number of Parking Spaces	132	132
Tandem Parking Spaces: Number / % of Total Number of Units	60 / 50%	48 / 40%
Size of Tandem Parking Spaces width/length		3.2 m X 6.1 m

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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# CONCEPTUAL SITE PLAN

SCALE: 1" = 30'-0"

## DEVELOPMENT DATA

GROSS SITE AREA :	153,525 S.F.	3.524 AC	1.426 HA
ROAD DEDICATION :	36,946 S.F.	0.848 AC	0.343 HA
NET SITE AREA :	116,579 S.F.	2.676 AC	1.083 HA
DENSITY :	(GROSS) 17.0 UPA	42.1 UPA	(60 UNITS)
	(NET) 22.4 UPA	55.4 UPA	(60 UNITS)
F.A.R. :	(GROSS) 0.63	(46,306 S.F.)	
	(NET) 0.83	(46,306 S.F.)	
SITE COV. :	(GROSS) 32%	(48,840 S.F.)	
	(NET) 42%	(48,840 S.F.)	

USEABLE GREENSPACE: REQUIRED: 34,914 S.F. (30% OF NET)  
 PROVIDED: 40,180 S.F. (34% OF NET)  
 (26% OF GROSS)

AMENITY :	INDOOR:	REQUIRED: 180 m <sup>2</sup> (1,936 S.F.)
	PROVIDED: 191 m <sup>2</sup> (1,412 S.F.)	
	OUTDOOR:	REQUIRED: 180 m <sup>2</sup> (1,936 S.F.)
	PROVIDED: 441 m <sup>2</sup> (5,289 S.F.)	

PARKING :	REQUIRED: RESIDENTIAL: 120 SPACES
	VISITOR: 12 SPACES
	TOTAL: 132 SPACES
	PROVIDED: RESIDENTIAL: 120 SPACES
	VISITOR: 12 SPACES
	TOTAL: 132 SPACES

### UNIT BREAKDOWN

UNIT TYPE	# OF BEDROOMS	# OF UNITS	BASEMENT S.F.	MAIN S.F.	UPPER S.F.	TOTAL S.F. PER UNIT	TOTAL S.F. EXCLUDING GARAGES
UNIT A	3	18	285 S.F.	409 S.F.	104 S.F.	798 S.F.	24374 S.F.
UNIT A1	3	9	285 S.F.	469 S.F.	75 S.F.	829 S.F.	5004 S.F.
UNIT A2	3	7	285 S.F.	491 S.F.	75 S.F.	851 S.F.	1294 S.F.
UNIT A3	3	4	285 S.F.	491 S.F.	75 S.F.	851 S.F.	6628 S.F.
UNIT B	3	4	14 S.F.	437 S.F.	497 S.F.	938 S.F.	332 S.F.
UNIT B1	3	1	14 S.F.	461 S.F.	443 S.F.	918 S.F.	5672 S.F.
UNIT B2	3	1	14 S.F.	489 S.F.	443 S.F.	946 S.F.	1940 S.F.
UNIT B3	3	2	14 S.F.	439 S.F.	443 S.F.	896 S.F.	2390 S.F.
UNIT C	3	1	14 S.F.	428 S.F.	406 S.F.	850 S.F.	10208 S.F.
UNIT G1	3	2	14 S.F.	425 S.F.	404 S.F.	843 S.F.	2146 S.F.
UNIT G2	3	1	14 S.F.	439 S.F.	443 S.F.	896 S.F.	1940 S.F.
UNIT D	3	4	285 S.F.	436 S.F.	33 S.F.	754 S.F.	7862 S.F.
UNIT E	2	2	14 S.F.	436 S.F.	442 S.F.	894 S.F.	2372 S.F.
TOTAL:		60 UNITS					84039 S.F.

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ISSUE NO.	ISSUE DATE	BY	REASON FOR

DESIGN : CH44046 BC LTD.  
 L.P.F.  
 DRAWN :  
 DATE :  
 SHEET NO. 9 OF 9  
 SCALE :  
 1" = 30'-0"

CLIENT : CH44046 BC LTD.  
 PROJECT : TOWNHOUSE DEVELOPMENT  
 16422 & 16492 - 24TH AVENUE, SURREY  
 SHEET CONTENTS : CONCEPTUAL SITE PLAN &  
 DEVELOPMENT DATA

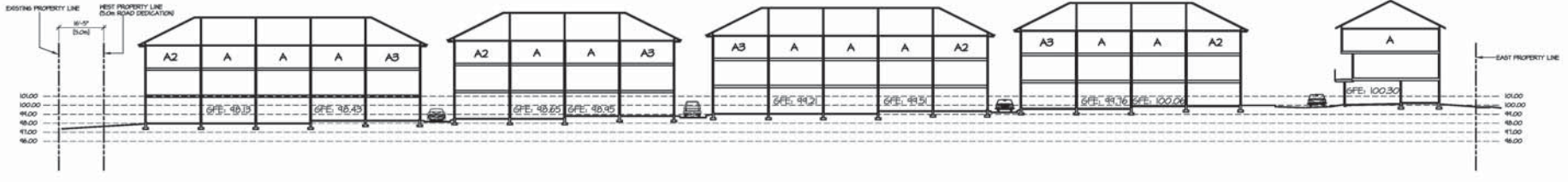
**barnett dembok**  
 ARCHITECTS INC.

UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

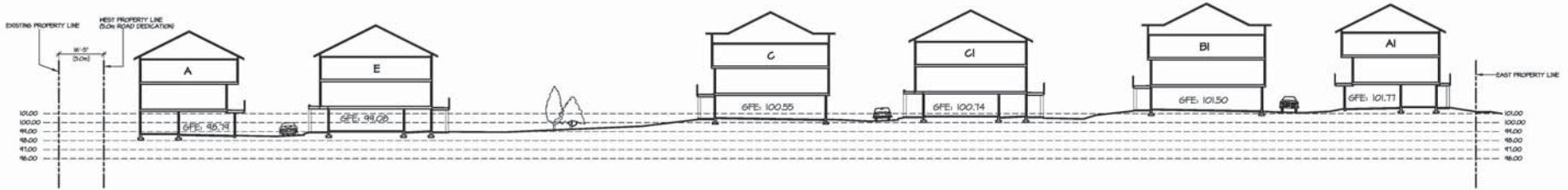
PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mo@barnetttx.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-11
13057	REV. NO.

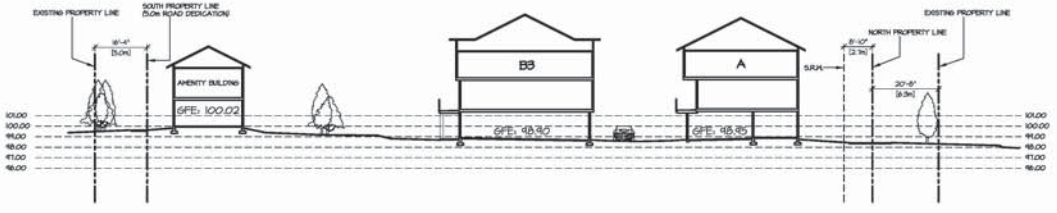
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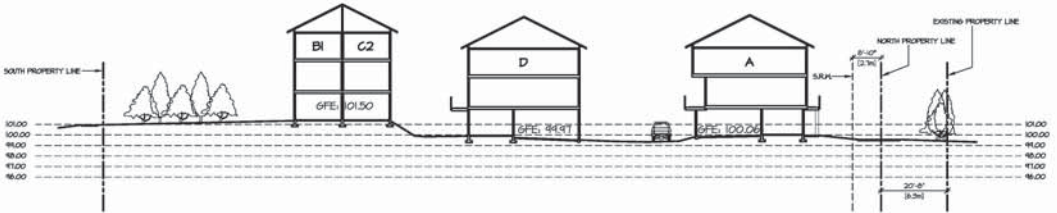
**SECTION A-A**  
SCALE: 1" = 20'-0"



**SECTION B-B**  
SCALE: 1" = 20'-0"



**SECTION C-C**  
SCALE: 1" = 20'-0"



**SECTION D-D**  
SCALE: 1" = 20'-0"

ISSUED FOR:	BY:	DATE:	ISSUE:

DESIGN: L.P.A.	DRAWN: Page 9 of 9	DATE: 11/14/22	SCALE: 1" = 20'-0"
CLIENT: CH44048 BC LTD.			
PROJECT: TOWNHOUSE DEVELOPMENT 16422 & 16452 - 24TH AVENUE, SURREY			
SHEET CONTENTS: SITE SECTIONS			

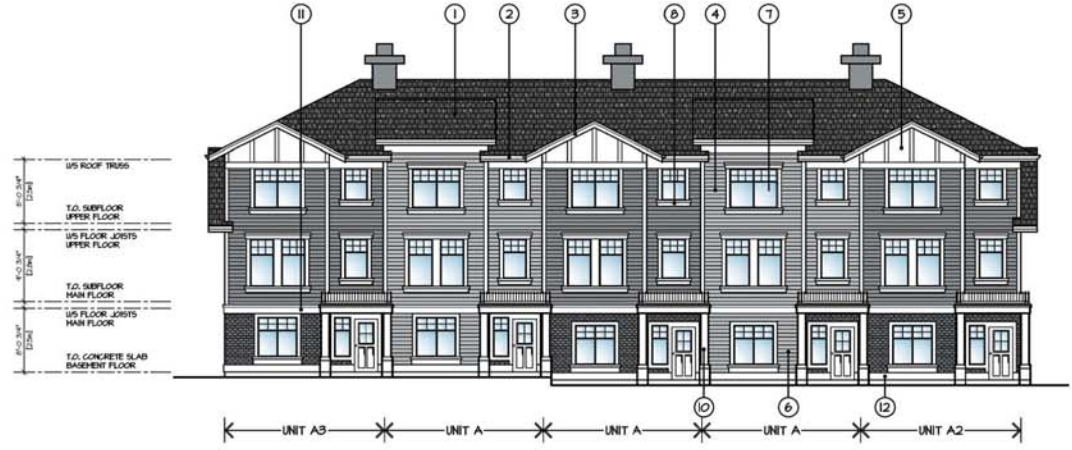
**barnett dembok**  
ARCHITECTS INC.  
UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@barnett-dembok.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
13057	AC-1.2



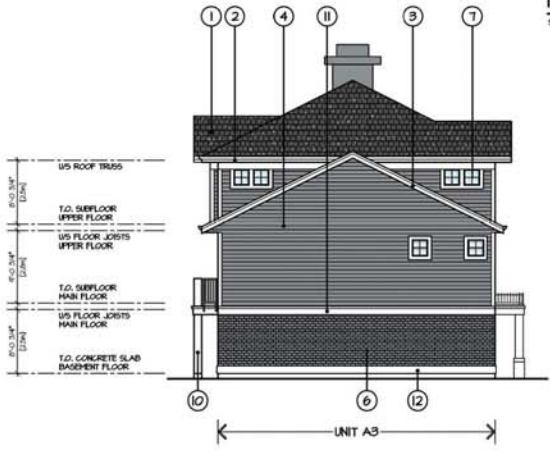
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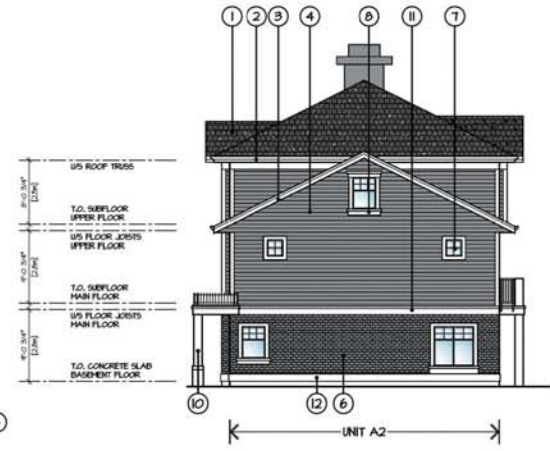
**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

**SCHEDULE OF FINISHES**

- ① ASPHALT SHINGLES
- ② ALUMINUM GUTTER ON 2x10 FASCIA
- ③ 1x4 WOOD TRIM ON 2x10 FASCIA
- ④ HARDIE-PLANK LAP SIDING
- ⑤ HARDIE-PANEL SIDING
- ⑥ BRICK VENEER
- ⑦ VINYL WINDOWS
- ⑧ 1x4 WOOD TRIM ON 2x10 WOOD TRIM
- ⑨ POWDER COATED ALUMINUM RAILING G/M PICKETS
- ⑩ BUILT UP COLUMN G/M HARDIE-PANEL SIDING
- ⑪ 1x4 WOOD TRIM ON 2x12 WOOD TRIM
- ⑫ 2x12 BASE TRIM



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

NO.	DATE	BY	REVISION

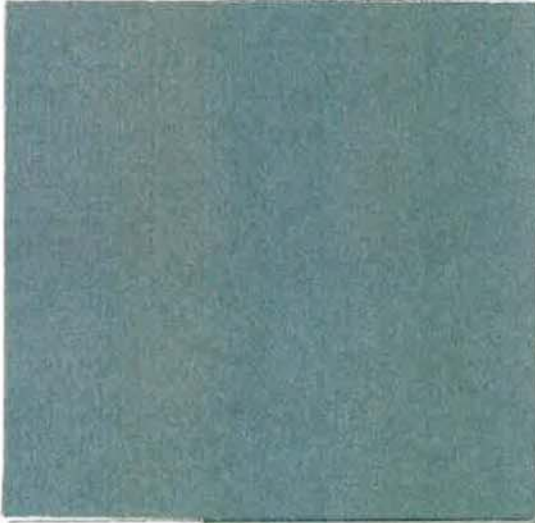
CLIENT: 044049 BC LTD.  
 PROJECT: TOWNHOUSE DEVELOPMENT  
 16422 & 16452 - 24TH AVENUE, SURREY  
 SHEET CONTENTS: ELEVATIONS  
 BUILDING #7 & 9

**barnett dembek**  
 ARCHITECTS INC.  
 UNIT 135,  
 7536 130 STREET  
 SURREY, B.C.  
 V0W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mtd@darkitec.com

BUILDING # 7 - MIRRORED  
**BUILDING #7 & 9**

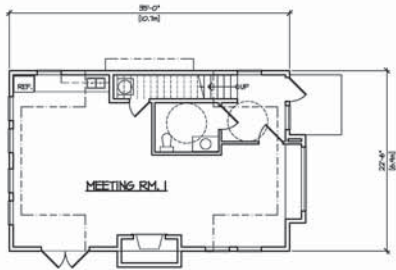
CLIENT NO.	SHEET NO.
13057	AC-36



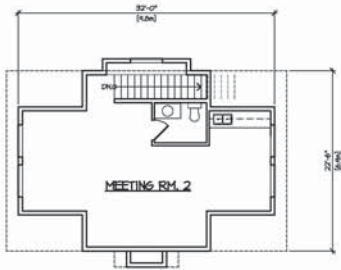
## COLOR SCHEME

1. ASPHALT SHINGLE ROOF  
IKO CAMBRIDGE – SLATE GREY
2. FIBRE CEMENT PANEL SIDING, AND TRIM  
DULUX PAINT – ATMOSPHER A0157
3. FIBRE CEMENT HORIZONTAL SIDING  
DULUX PAINT – GREY PENNANT A2000
4. FIBRE CEMENT HORIZONTAL SIDING  
DULUX PAINT – FROST GREY A1942
5. BRICK VENEER – MUTUAL MATERIALS  
REDONDO GRAY SMOOTH FINISH

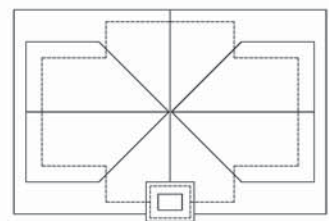
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**1ST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 826 S.F.



**2ND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 506 S.F.  
 TOTAL: 1,412 S.F.

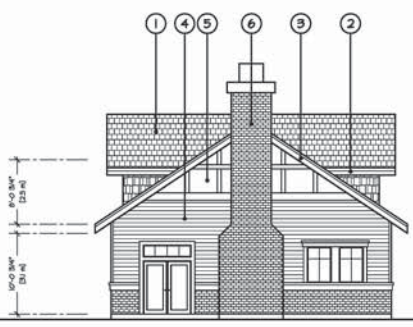


**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

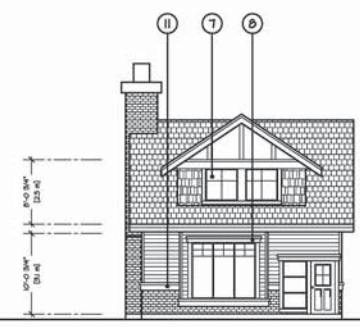
**SCHEDULE OF FINISHES**

- ① ASPHALT SHINGLES
- ② ALUMINUM GUTTER ON 2x10 FASCIA
- ③ 1x4 WOOD TRIM ON 2x10 FASCIA
- ④ HARDIE-PLANK LAP SIDING
- ⑤ HARDIE-PANEL SIDING
- ⑥ BRICK VENEER
- ⑦ VINYL WINDOWS
- ⑧ 1x4 WOOD TRIM ON 2x10 WOOD TRIM
- ⑨ POWDER COATED ALUMINUM RAILING C/M PICKETS
- ⑩ BUILT UP COLUMN C/M HARDIE-PANEL SIDING
- ⑪ 1x4 WOOD TRIM ON 2x12 WOOD TRIM
- ⑫ 2x12 BASE TRIM

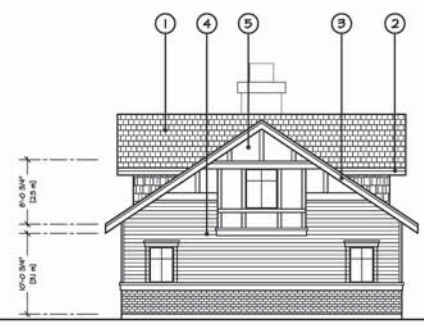
NO.	DATE	BY	ISSUE FOR



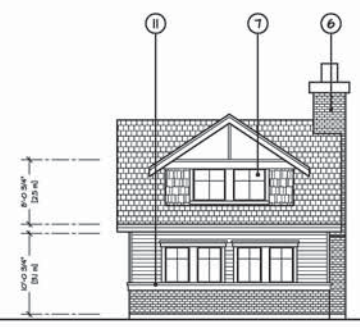
**STREET ELEVATION**  
 SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**  
 SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"

C37-Awarding

CLIENT : C444048 BC LTD.  
 PROJECT : TOWNHOUSE DEVELOPMENT  
 16422 & 16432 - 24TH AVENUE, SURREY  
 SHEET CONTENTS : AVENUE PLANS & ELEVATIONS

DESIGN :	J.P.S.	DATE :	SCALE :

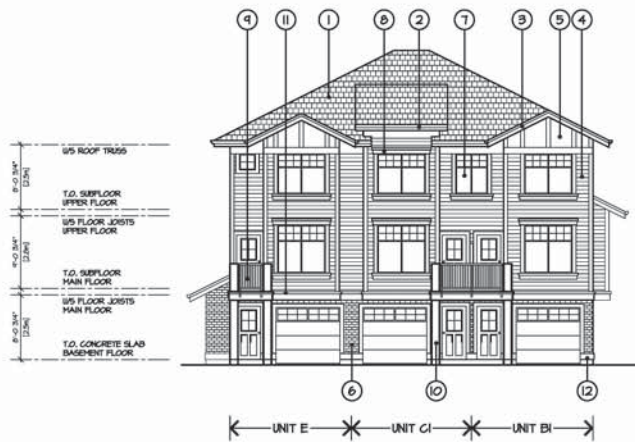
**barnett dembek**  
 ARCHITECTS INC.

UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkhite.com

CLIENT NO.	SHEET NO.
	AC-25
PROJECT NO.	REV. NO.
13057	

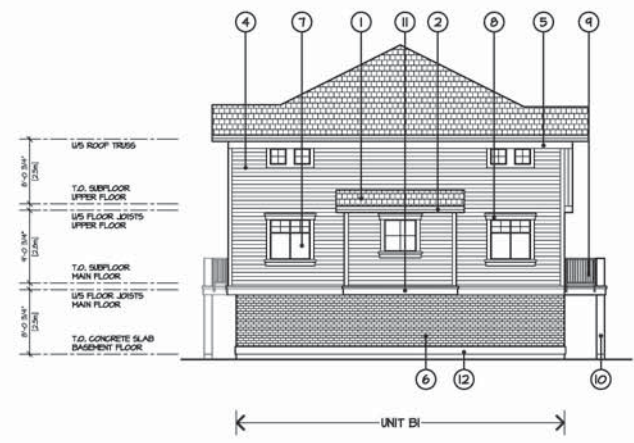
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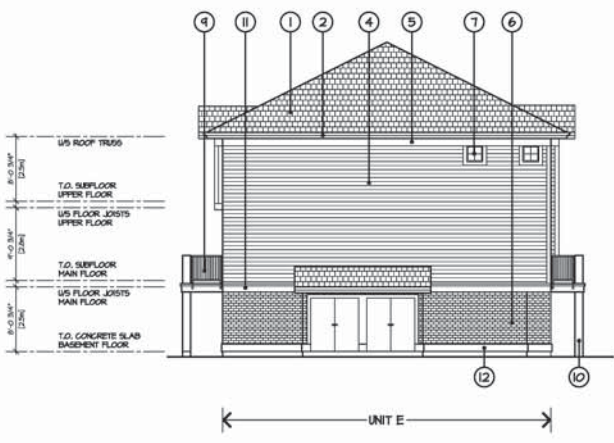
**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

**SCHEDULE OF FINISHES**

- ① ASPHALT SHINGLES
- ② ALUMINUM GUTTER ON 2x10 FASCIA
- ③ 1x4 WOOD TRIM ON 2x10 FASCIA
- ④ HARDIE-PLANK LAP SIDING
- ⑤ HARDIE-PANEL SIDING
- ⑥ BRICK VENEER
- ⑦ VINYL WINDOWS
- ⑧ 1x4 WOOD TRIM ON 2x10 WOOD TRIM
- ⑨ POWDER COATED ALUMINUM RAILING C/M PICKETS
- ⑩ BUILT UP COLUMN C/M HARDIE-PANEL SIDING
- ⑪ 1x4 WOOD TRIM ON 2x12 WOOD TRIM
- ⑫ 2x12 BASE TRIM



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

ISSUE NO.	BY	DATE	ISSUE



DESIGN :  
L.P.S.  
DRAWN :  
DATE :  
APP. 9.16  
SCALE :  
1/8" = 1'-0"

CLIENT : 0444048 BC LTD.  
PROJECT : TOWNHOUSE DEVELOPMENT  
16422 & 16432 - 24TH AVENUE, SURREY  
SHEET CONTENTS :  
ELEVATIONS  
BUILDINGS #1 & # 11

**barnett dembok**  
ARCHITECTS INC.

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

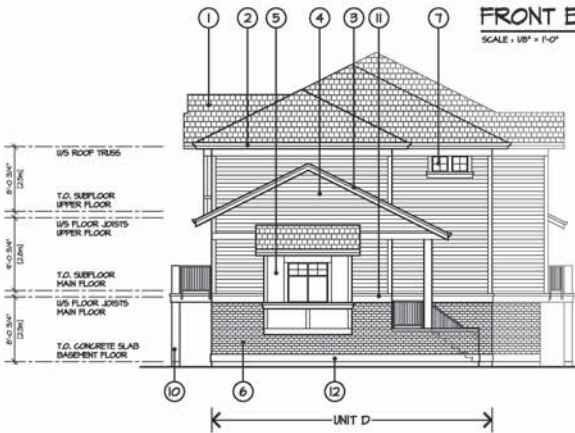
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@barnett.com

BUILDING # 11 - MIRRORRED  
**BUILDING #1 & 11**

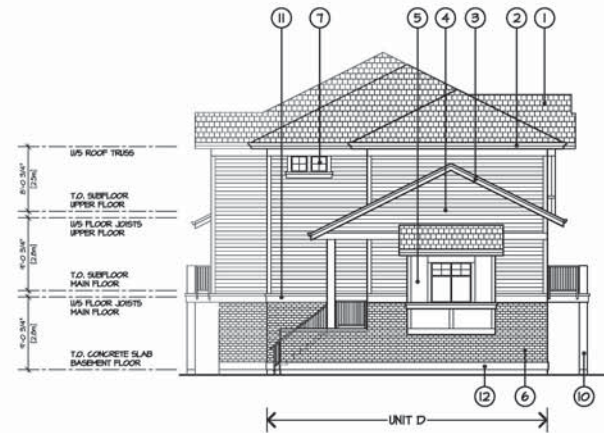
CLIENT NO.	SHEET NO.
	AC-4.1
PROJECT NO.	REV. NO.
1305T	



**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

**SCHEDULE OF FINISHES**

- ① ASPHALT SHINGLES
- ② ALUMINUM GUTTER ON 2x10 FASCIA
- ③ 1x4 WOOD TRIM ON 2x10 FASCIA
- ④ HARDIE-PLANK LAP SIDING
- ⑤ HARDIE-PANEL SIDING
- ⑥ BRICK VENEER
- ⑦ VINYL WINDOWS
- ⑧ 1x4 WOOD TRIM ON 2x10 WOOD TRIM
- ⑨ POWDER COATED ALUMINUM RAILING C/M PICKETS
- ⑩ BUILT UP COLUMN C/M HARDIE-PANEL SIDING
- ⑪ 1x4 WOOD TRIM ON 2x12 WOOD TRIM
- ⑫ 2x12 BASE TRIM

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ISSUE NO.	BY	DATE	ISSUE

037-EX1.dwg

DESIGN :	CLIENT :
L.P.S.	04440048 BC LTD.
DATE :	PROJECT :
APR. 9. 16	TOWNHOUSE DEVELOPMENT
SCALE :	16422 & 16432 - 24TH AVENUE, SURREY
1/8" = 1'-0"	SHEET CONTENTS :
	ELEVATIONS #2
	BUILDINGS #2

**barnett dembok**  
ARCHITECTS INC.

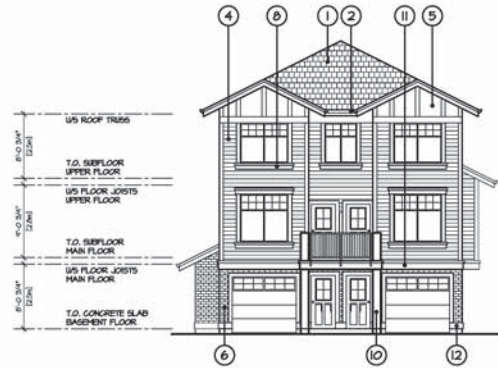
UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@barnetttx.com

**BUILDING #2**

CLIENT NO.	SHEET NO.
	AC-4.2
PROJECT NO.	REV. NO.
13057	

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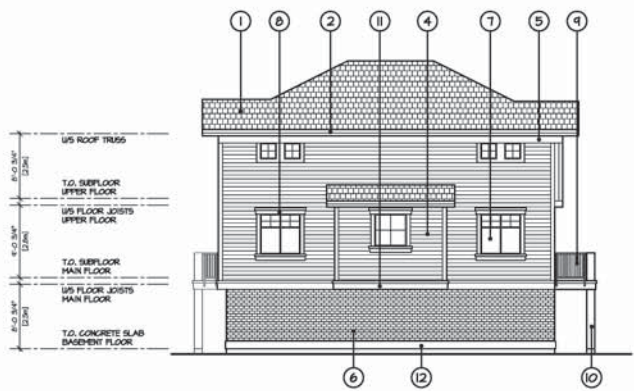


← UNIT C2 \* UNIT B1 →

**FRONT ELEVATION**  
 SCALE: 1/8" = 1'-0"

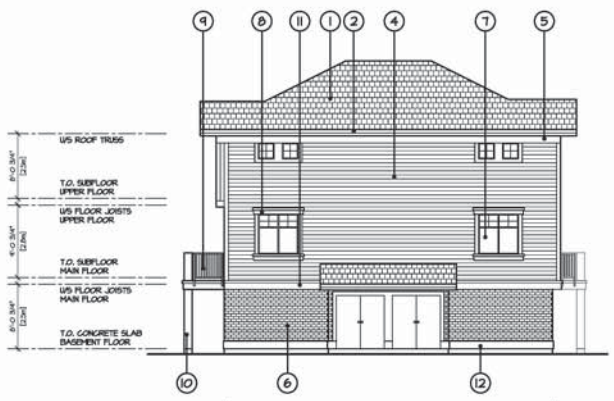
**SCHEDULE OF FINISHES**

- ① ASPHALT SHINGLES
- ② ALUMINUM GUTTER ON 2x10 FASCIA
- ③ 1x4 WOOD TRIM ON 2x10 FASCIA
- ④ HARDIE-PLANK LAP SIDING
- ⑤ HARDIE-PANEL SIDING
- ⑥ BRICK VENEER
- ⑦ VINYL WINDOWS
- ⑧ 1x4 WOOD TRIM ON 2x10 WOOD TRIM
- ⑨ POWDER COATED ALUMINUM RAILING G/M PICKETS
- ⑩ BUILT UP COLUMN G/M HARDIE-PANEL SIDING
- ⑪ 1x4 WOOD TRIM ON 2x12 WOOD TRIM
- ⑫ 2x12 BASE TRIM



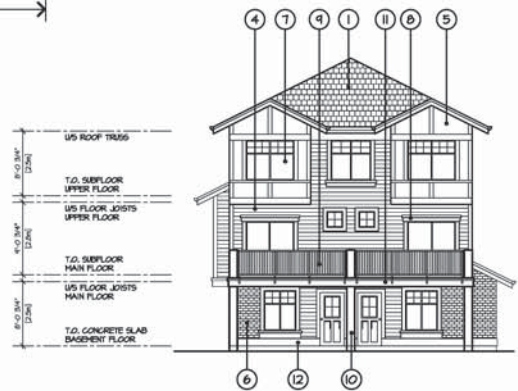
← UNIT B1 →

**SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"



← UNIT C2 →

**SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"



← UNIT B1 \* UNIT C2 →

**REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"

REV. NO.	DATE	ISSUE	BY	REASON FOR

DESIGN :  
 L.P.D.  
 DRAWN :  
 DATE :  
 SHEET NO. :  
 SCALE :  
 1/8" = 1'-0"

CLIENT : CH440048 BC LTD.  
 PROJECT : TOWNHOUSE DEVELOPMENT  
 16422 & 16432 - 24TH AVENUE, SURREY  
 SHEET CONTENTS :  
 ELEVATIONS  
 BUILDING #3

**barnett dembok**  
 ARCHITECTS INC.  
 UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@barnett-dembok.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-43
13057	REV. NO.

**BUILDING #3**

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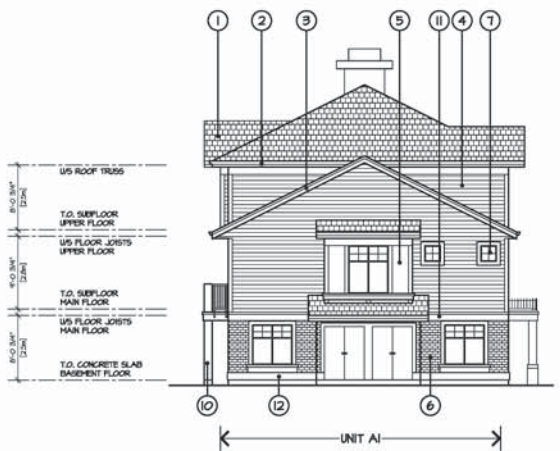
REVISION	NO.	DATE	BY



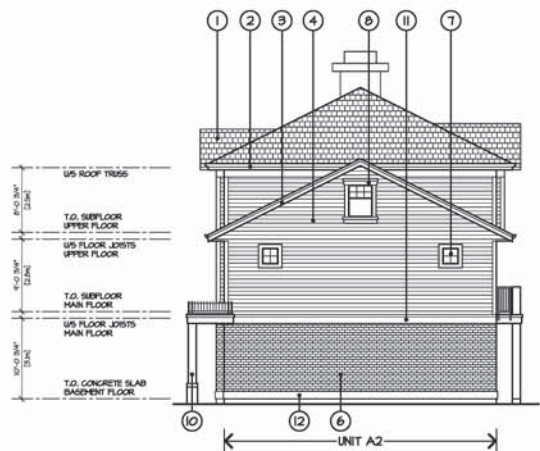
FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

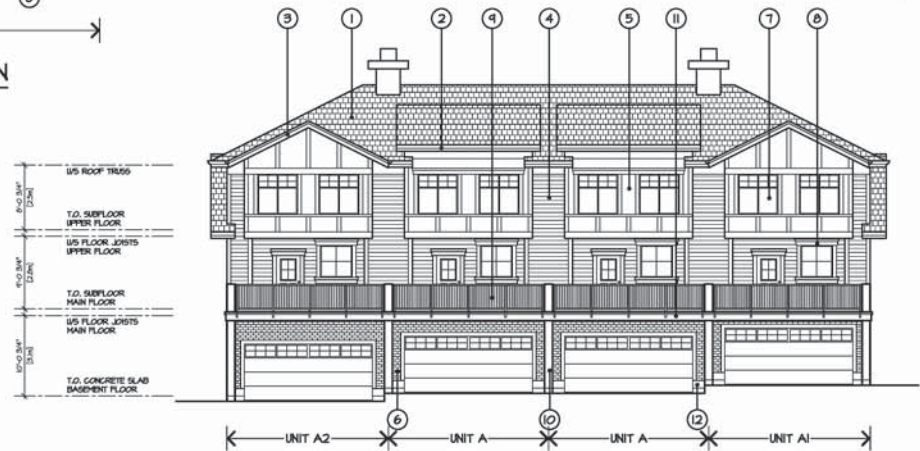
- ① ASPHALT SHINGLES
- ② ALUMINUM GUTTER ON 2x10 FASCIA
- ③ 1x4 WOOD TRIM ON 2x10 FASCIA
- ④ HARDIE-PLANK LAP SIDING
- ⑤ HARDIE-PANEL SIDING
- ⑥ BRICK VENEER
- ⑦ VINYL WINDOWS
- ⑧ 1x4 WOOD TRIM ON 2x10 WOOD TRIM
- ⑨ POWDER COATED ALUMINUM RAILING C/M PICKETS
- ⑩ BUILT UP COLUMN C/M HARDIE-PANEL SIDING
- ⑪ 1x4 WOOD TRIM ON 2x12 WOOD TRIM
- ⑫ 2x12 BASE TRIM



SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



REAR ELEVATION  
SCALE: 1/8" = 1'-0"

DESIGN	DATE
DRAWN	DATE

CLIENT : C644048 BC LTD.  
PROJECT : TOWNHOUSE DEVELOPMENT  
16422 & 16432 - 24TH AVENUE, SURREY  
SHEET CONTENTS :  
ELEVATIONS #4 & 5

barnett dembok  
ARCHITECTS INC.  
UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkltx.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-4.4
1305T	REV. NO.

BUILDING # 5 - MIRRORRED  
BUILDING #4 & 5

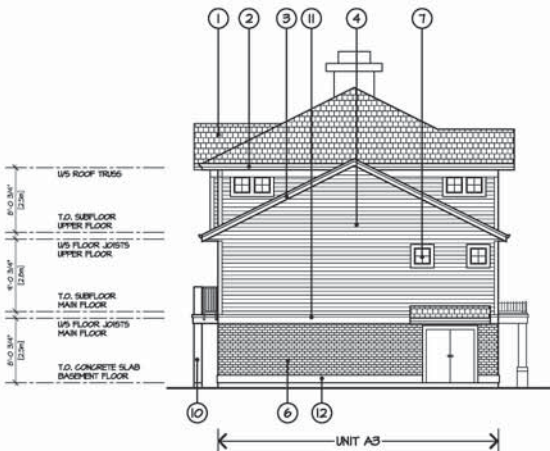
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REV. NO.	DATE	ISSUE	BY	REASON FOR

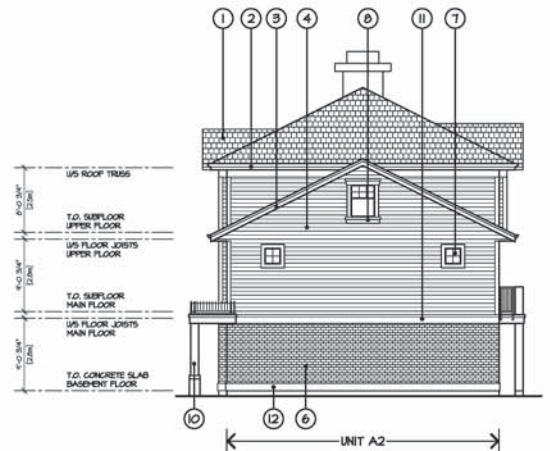


**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

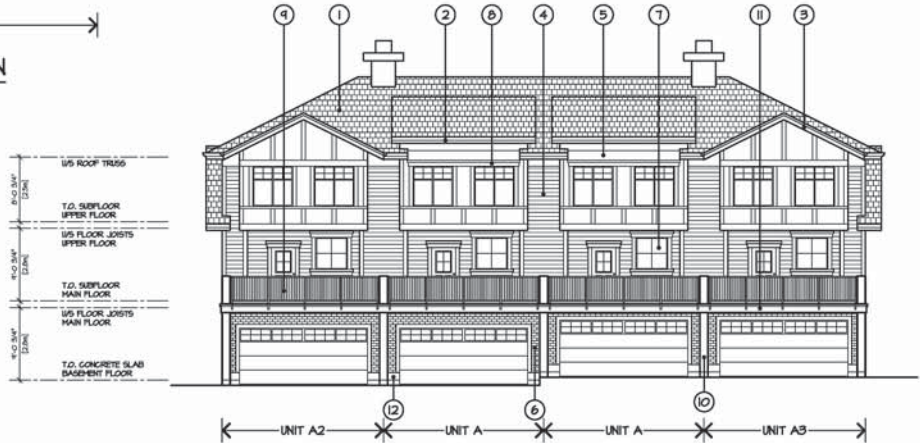
- SCHEDULE OF FINISHES**
- ① ASPHALT SHINGLES
  - ② ALUMINUM GUTTER ON 2x10 FASCIA
  - ③ 1x4 WOOD TRIM ON 2x10 FASCIA
  - ④ HARDIE-PLANK LAP SIDING
  - ⑤ HARDIE-PANEL SIDING
  - ⑥ BRICK VENEER
  - ⑦ VINYL WINDOWS
  - ⑧ 1x4 WOOD TRIM ON 2x10 WOOD TRIM
  - ⑨ POWDER COATED ALUMINUM RAILING w/ PICKETS
  - ⑩ BUILT UP COLUMN w/ HARDIE-PANEL SIDING
  - ⑪ 1x4 WOOD TRIM ON 2x12 WOOD TRIM
  - ⑫ 2x12 BASE TRIM



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

**BUILDING #6 - MIRRORED**  
**BUILDING #6 & B**

DESIGN: 0446048 BC LTD.  
 CLIENT: TOWNHOUSE DEVELOPMENT  
 PROJECT: 16422 & 16432 - 24TH AVENUE, SURREY  
 SHEET CONTENTS: ELEVATIONS 46 & 6  
 ARCHITECTS INC.  
 UNIT 135, 7536 130 STREET, SURREY, B.C. V3W 1H8  
 PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@damikitek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-4.5
13057	REV. NO.



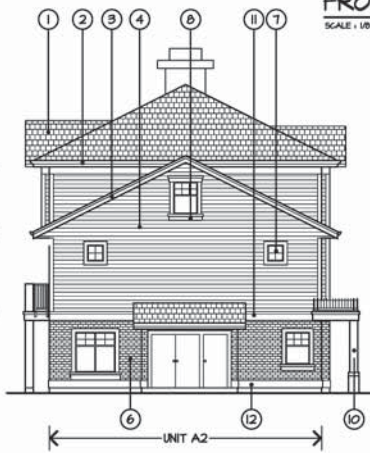
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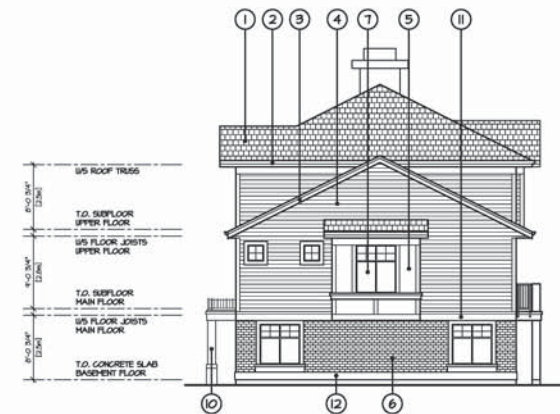
**FRONT ELEVATION**  
 SCALE: 1/8" = 1'-0"

**SCHEDULE OF FINISHES**

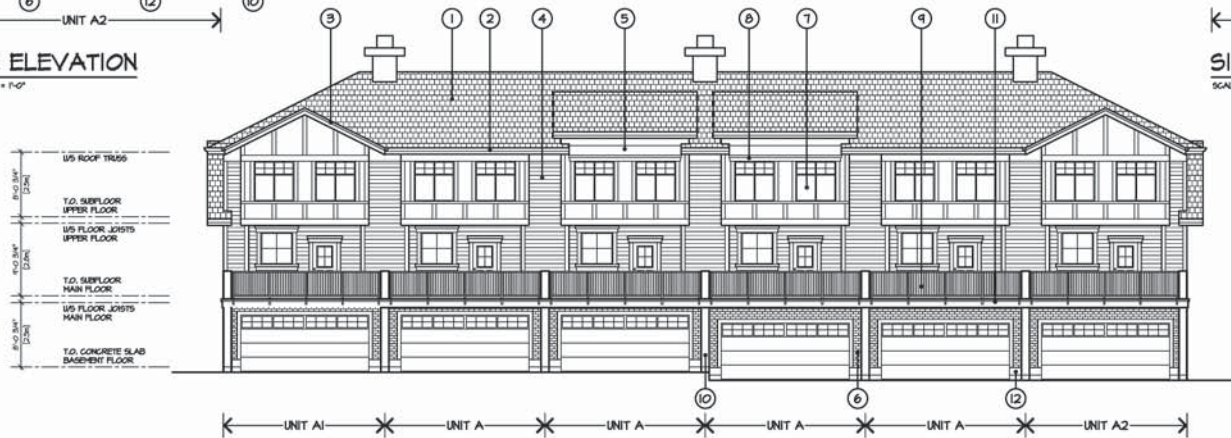
- ① ASPHALT SHINGLES
- ② ALUMINUM GUTTER ON 2x10 FASCIA
- ③ 1x4 WOOD TRIM ON 2x10 FASCIA
- ④ HARDIE-PLANK LAP SIDING
- ⑤ HARDIE-PANEL SIDING
- ⑥ BRICK VENEER
- ⑦ VINYL WINDOWS
- ⑧ 1x4 WOOD TRIM ON 2x10 WOOD TRIM
- ⑨ POWDER COATED ALUMINUM RAILING G/M PICKETS
- ⑩ BUILT UP COLUMN G/M HARDIE-PANEL SIDING
- ⑪ 1x4 WOOD TRIM ON 2x12 WOOD TRIM
- ⑫ 2x12 BASE TRIM



**SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"

ISSUE NO.	BY	DATE	ISSUE

DESIGN: J.F.S.  
 L.F.S.  
 DRAWN: J.F.S.  
 DATE: Sept. 9, 06  
 SCALE: 1/8" = 1'-0"

CLIENT: 0440048 BC LTD.  
 PROJECT: TOWNHOUSE DEVELOPMENT  
 16422 & 16432 - 24TH AVENUE, SURREY  
 SHEET CONTENTS: ELEVATIONS #10  
 BUILDINGS #10

**barnett dembok**  
 ARCHITECTS INC.  
 UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@barnett.com

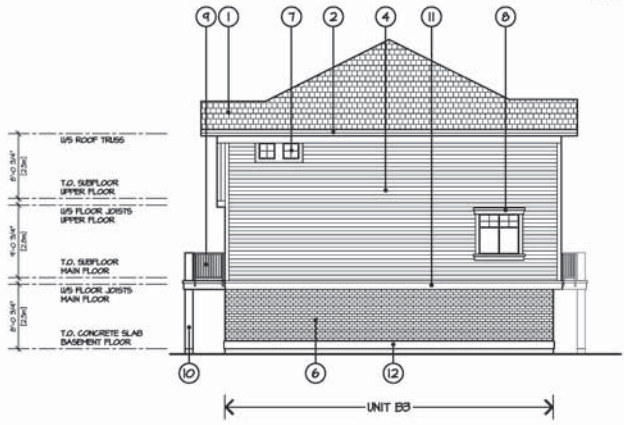
CLIENT NO. SHEET NO.  
 PROJECT NO. AC-4,1  
 13051 REV. NO.

**BUILDING #10**

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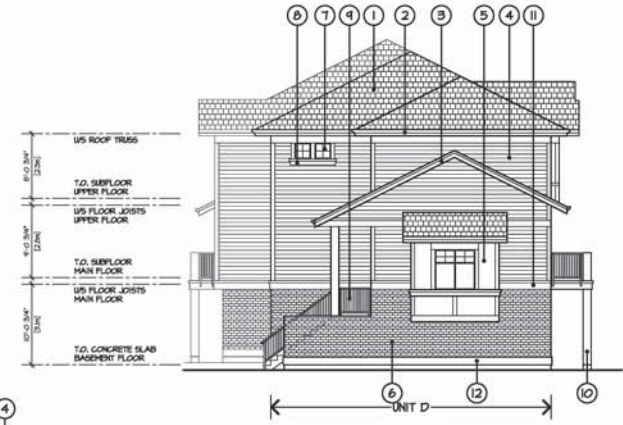


**FRONT ELEVATION**  
 SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"

- SCHEDULE OF FINISHES**
- ① ASPHALT SHINGLES
  - ② ALUMINUM GUTTER ON 2x10 FASCIA
  - ③ 1x4 WOOD TRIM ON 2x10 FASCIA
  - ④ HARDIE-PLANK LAP SIDING
  - ⑤ HARDIE-PANEL SIDING
  - ⑥ BRICK VENEER
  - ⑦ VINYL WINDOWS
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  - ⑩ BUILT UP COLUMN G/M HARDIE-PANEL SIDING
  - ⑪ 1x4 WOOD TRIM ON 2x12 WOOD TRIM
  - ⑫ 2x12 BASE TRIM



**SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"

REV.	DATE	ISSUE	BY	REASON FOR

DESIGN: C0440048 BC LTD.  
 L.P.S.  
 DRAWN: 1/4/22 & 1/4/22  
 DATE: Aug. 9, 16  
 SCALE: 1/8" = 1'-0"

CLIENT: C0440048 BC LTD.  
 PROJECT: TOWNHOUSE DEVELOPMENT  
 16422 & 16432 - 24TH AVENUE, SURREY  
 SHEET CONTENTS: ELEVATIONS #12 & #13  
 BUILDINGS #12 & #13

**barnett dembok**  
 ARCHITECTS INC.  
 UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@barnett.com

BUILDING #13 - MIRRORED  
**BUILDING #12 & 13**

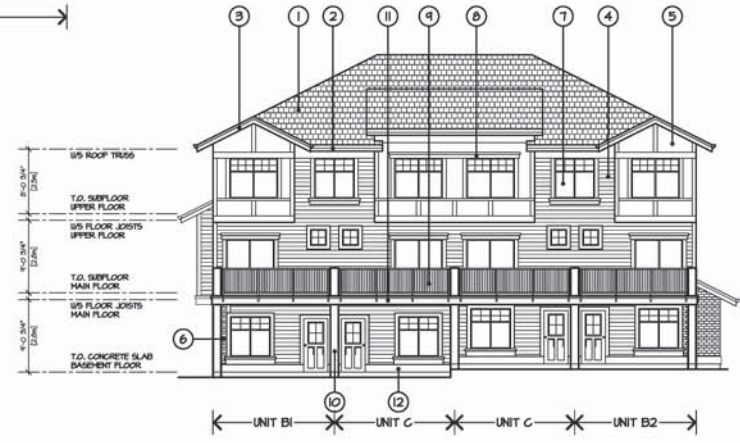
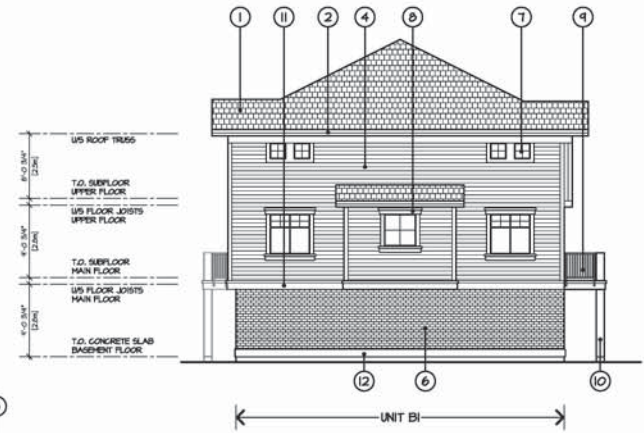
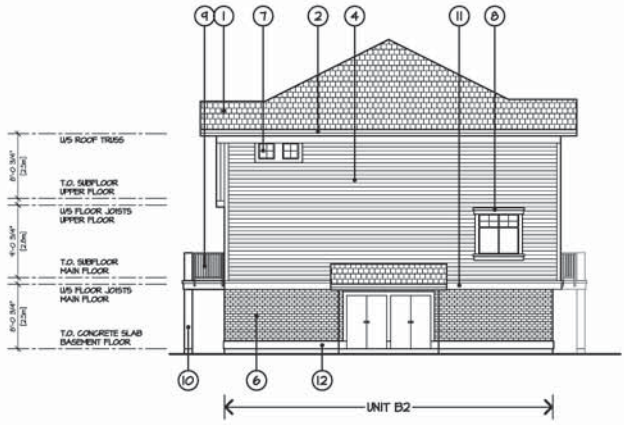
CLIENT NO.	SHEET NO.
PROJECT NO.	AC-4.8
1305T	REV. NO.

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**SCHEDULE OF FINISHES**

- ① ASPHALT SHINGLES
- ② ALUMINUM GUTTER ON 2x10 FASCIA
- ③ 1x4 WOOD TRIM ON 2x10 FASCIA
- ④ HARDIE-PLANK LAP SIDING
- ⑤ HARDIE-PANEL SIDING
- ⑥ BRICK VENEER
- ⑦ VINYL WINDOWS
- ⑧ 1x4 WOOD TRIM ON 2x10 WOOD TRIM
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- ⑩ BUILT UP COLUMN G/M HARDIE-PANEL SIDING
- ⑪ 1x4 WOOD TRIM ON 2x12 WOOD TRIM
- ⑫ 2x12 BASE TRIM



REV. NO.	DATE	ISSUE	BY	REASON FOR

DESIGN :	DATE :
L.P.D. :	SCALE :
DRAWN :	1/8" = 1'-0"

CLIENT : C444048 BC LTD.  
 PROJECT : TOWNHOUSE DEVELOPMENT  
 16422 & 16432 - 24TH AVENUE, SURREY  
 SHEET CONTENTS :  
 ELEVATIONS #10  
 BUILDINGS #10

**barnett dembok**  
 ARCHITECTS INC.  
 UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@barnett-dembok.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
1305T	AC-4.1

**BUILDING #14**

**PLANT SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
11		ACER PALMATUM 'SANGO KAKU'	CORAL BARK MAPLE	50M CAL, 1.5M STD
17		ACER RUBRUM 'KARPOK'	COLUMBIAN KARPPOCK MAPLE	60M CAL, 2M STD; B&B
18		CERODIENYLIUM JAPONICUM	KATSURA TREE	50M CAL, 1.8M STD; B&B
3		CHAMAECYPARIS NODIKATENSIS 'PENDULA'	WEeping NODIKA CYPRESS	3M HT; B&B
5		CORNUS KORSA 'SATOMI'	PINK KORSA DOGWOOD	50M CAL; B&B
12		FAGUS SYLVATICA 'DAWYCK'	FASITGATE OR DAWYCK BEECH	60M CAL; B&B
4		FRUIT TREES	APPLE OR ITALIAN PEAR 50/50	50M CAL, 1.2M STD
3		LIQUIDAMBAR STRYACIFLUA 'WORPLESDON'	WORPLESDON SWEET GUM	60M CAL, 2M STD; B&B
7		MAGNOLIA KOBUS	KOBUS MAGNOLIA (WHITE)	50M CAL, 1.8M STD
5		MAGNOLIA X 'GALAXY'	MAGNOLIA	60M CAL, 1.8M STD; B&B
9		PICEA OMORICA	SERBIAN SPRUCE	3M HT; B&B
11		STYRAX JAPONICUS 'SNOWCONE'	SNOWCONE JAPANESE SNOWBELL	50M CAL, 1.5M STD; B&B
31		AZALEA JAPONICA 'HARDYER'S BEAUTY'	AZALEA LIGHT PINK	#2 POT, 25CM
89		HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	BIGLEAF HYDRANGEA (BLUE)	#3 POT, 50CM
216		HANDINIA DOMESTICA MOONBAY	HEAVENLY BAMBOO	#3 POT, 50CM
38		PIERIS JAPONICA FOREST FLAME	PIERIS, WHITE BLOOMS	#3 POT, 50CM
122		PRUNUS LAUROCEGUSUS 'REYNWANI'	RUSSIAN LAUREL	#7 POT, 90CM
9		RHOODOENDRON 'ANNA KRUSCHKE'	RHOODOENDRON, BLUE	#3 POT, 50CM
31		RHOODOENDRON 'BOW BELLS'	RHOODOENDRON	#3 POT, 50CM
15		RHOODOENDRON 'ELIZABETH'	RHOODOENDRON, RED	#2 POT, 20CM
30		SARCOCOCCA HOKOKERANA VAR. HUMULIS	HIMALAYAN SWEET BOX	#2 POT, 25CM
48		SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#2 POT, 30CM
9		SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA, PINK	#2 POT, 40CM
486		TAXUS X MEDIA 'HELIX'	YEW VAR.	#7 POT, 1.0M
8		VACCINIUM OVALIFOLIUM BLUECROP	BLUEBERRY	#3 POT, 60CM
218		VIBURNUM DAVIDS	DAVIDS VIBURNUM	#2 POT, 30CM
34		VIBURNUM TINUS 'DWARF'	SPRING BODQUET	#3 POT, 50CM

**PLANT SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
GRASS	22	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
(HA)	205	HAKONECHLOA MACRA 'AUROEA'	GOLD VARIEGATED JAPANESE FOREST GRASS	#1 POT
(CI)	253	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#2 POT
(C2)	233	IMPERATA CYLINDRICA 'RED BARKOV'	BLOOD GRASS	#1 POT
(L)	35	JUNCUS EFFUSUS	COMMON RUSH	#1 POT
(L)	34	LUZULA NIVEA	SNOWY WOOD RUSH	#1 POT
(C1)	324	MISCANTHUS SINENSIS 'YAKU JIMA'	YAKU JIMA JAP. SILK GRASS	#1 POT
(S)	241	PENNISETUM ALPECEUROIDES 'HAMELIN'	DWARF FOUNTAIN GRASS	#1 POT
(S)	12	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	#1 POT
(D)	36	HEMEROCALLIS	DAYLILY	#1 POT, 1-2 FAN
(HE)	41	HEUCHERA 'PALACE PURPLE'	HEUCHERA	15CM POT
(H)	23	HOSTA VARIETIES	HOSTA	#1 POT, 1 EYE
(BL)	286	BLECHNUM SPICANT	DEER FERN	#1 POT, 20CM #2 POT
(F)	56	FRAXINA CHLORISSENS	BEACH STRAWBERRY	50CM POT
(P)	457	GAUL THERIA SHALLOON	SALAL	#1 POT, 20CM
(P)	40	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	#1 POT, 15CM
(P)	288	POLYSTICHUM MUNITUM	WESTERN SWOORD FERN	#1 POT, 25CM

NOTES: PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNTRA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY



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Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia V5C 6G9  
p. 604 294-0011, f. 604 294-0022

CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
1	16.JUN.20	NEW SITE PLAN / CITY COMMENTS	DR/MAN
2	15.NOV.19	NEW SITE PLAN / EXTENDED P.L.	DR
3	14.AUG.07	NEW SITE PLAN	MR

CLIENT:

PROJECT:

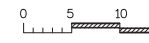
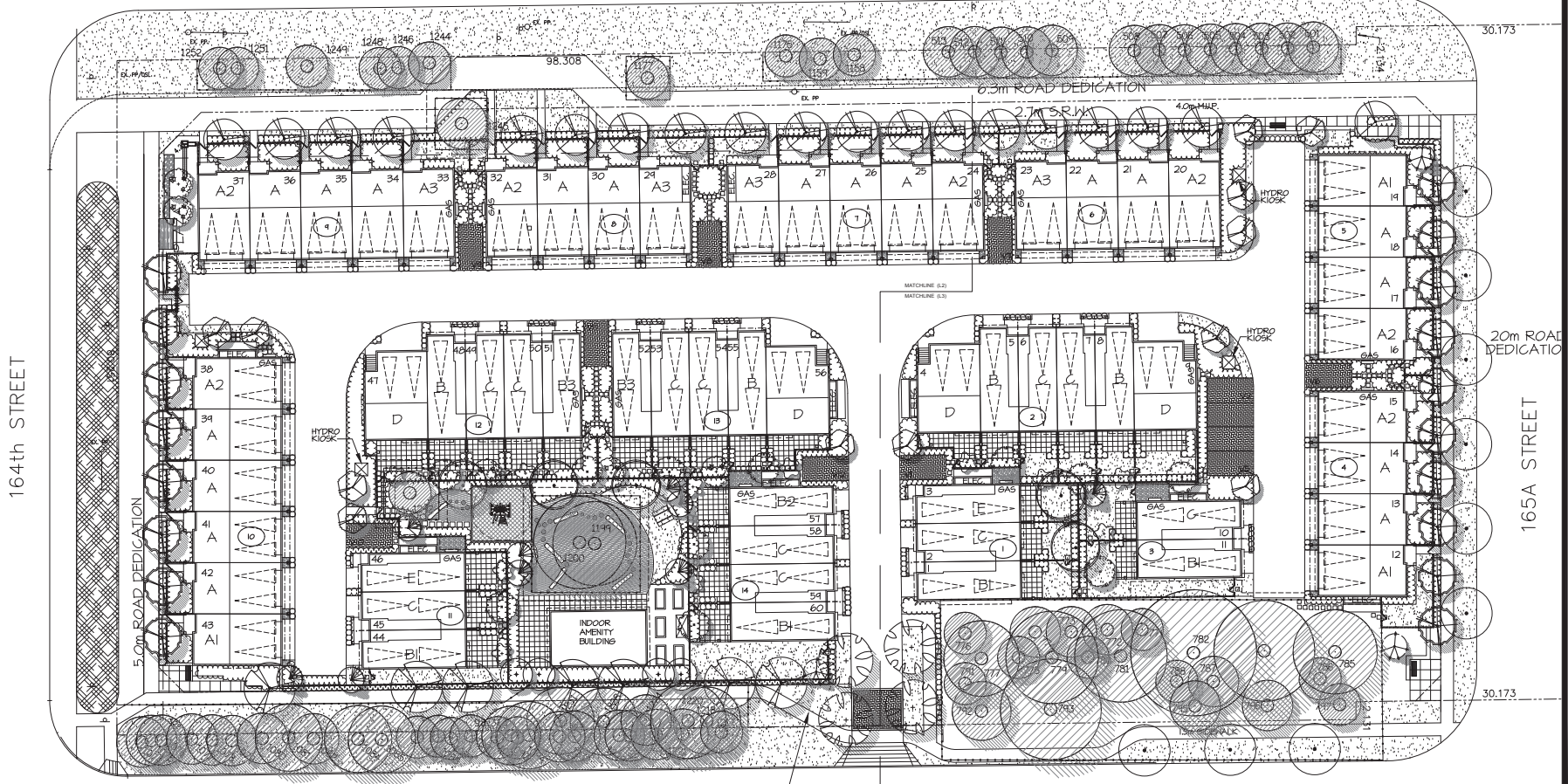
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164TH STREET AND 24TH AVENUE  
SURREY, B.C.

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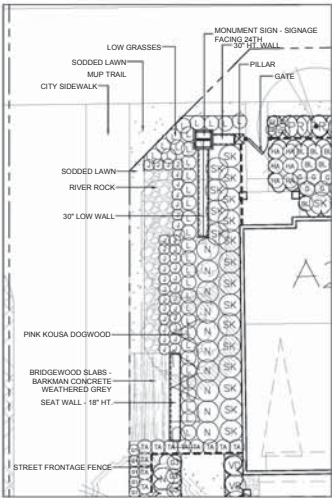
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SCALE: 1" = 20'-0"  
DRAWN: MR  
DESIGN: MR  
CHKD: MCY

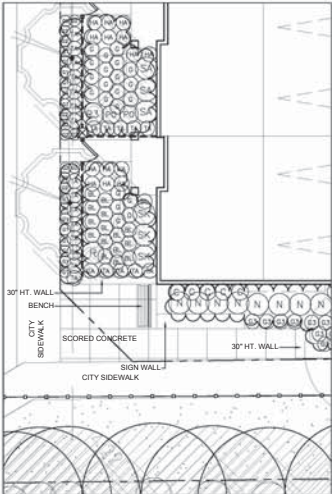
**L1**  
OF 5



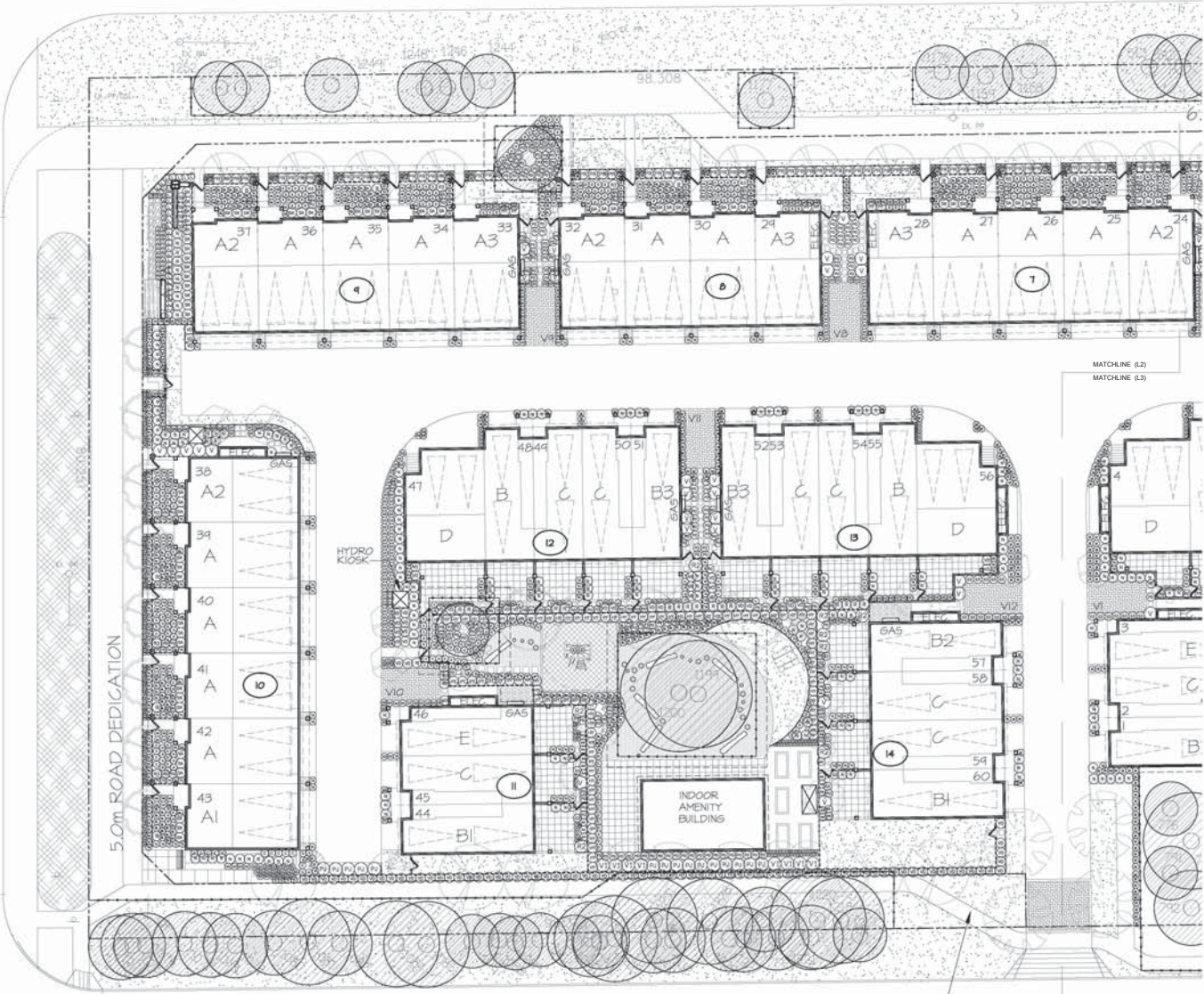
24th AVENUE



ENLARGEMENT - 24TH & 164  
SCALE: 1/8"=1'-0"



ENLARGEMENT - 23A & 164  
SCALE: 1/8"=1'-0"



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**pmg**  
LANDSCAPE ARCHITECTS  
Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia V5C 6G9  
P: 604 294-0011 F: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	18.JUL.23	NEW SITE PLAN / CITY COMMENTS	DO/MA
2	15.NOV.23	NEW SITE PLAN / EXTENDED P.L.	DO
3	14.JUL.27	NEW SITE PLAN	MR

CLIENT:

PROJECT:

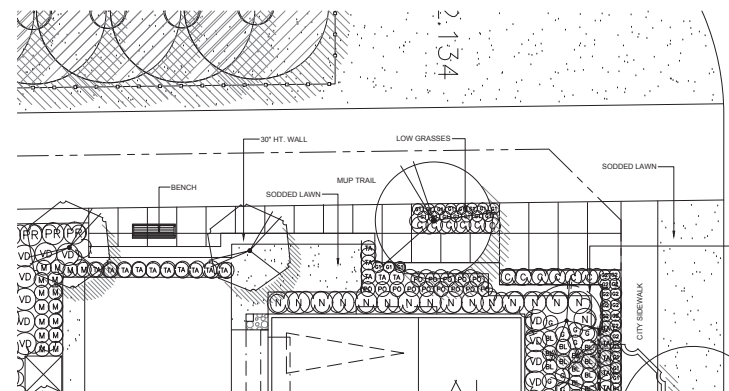
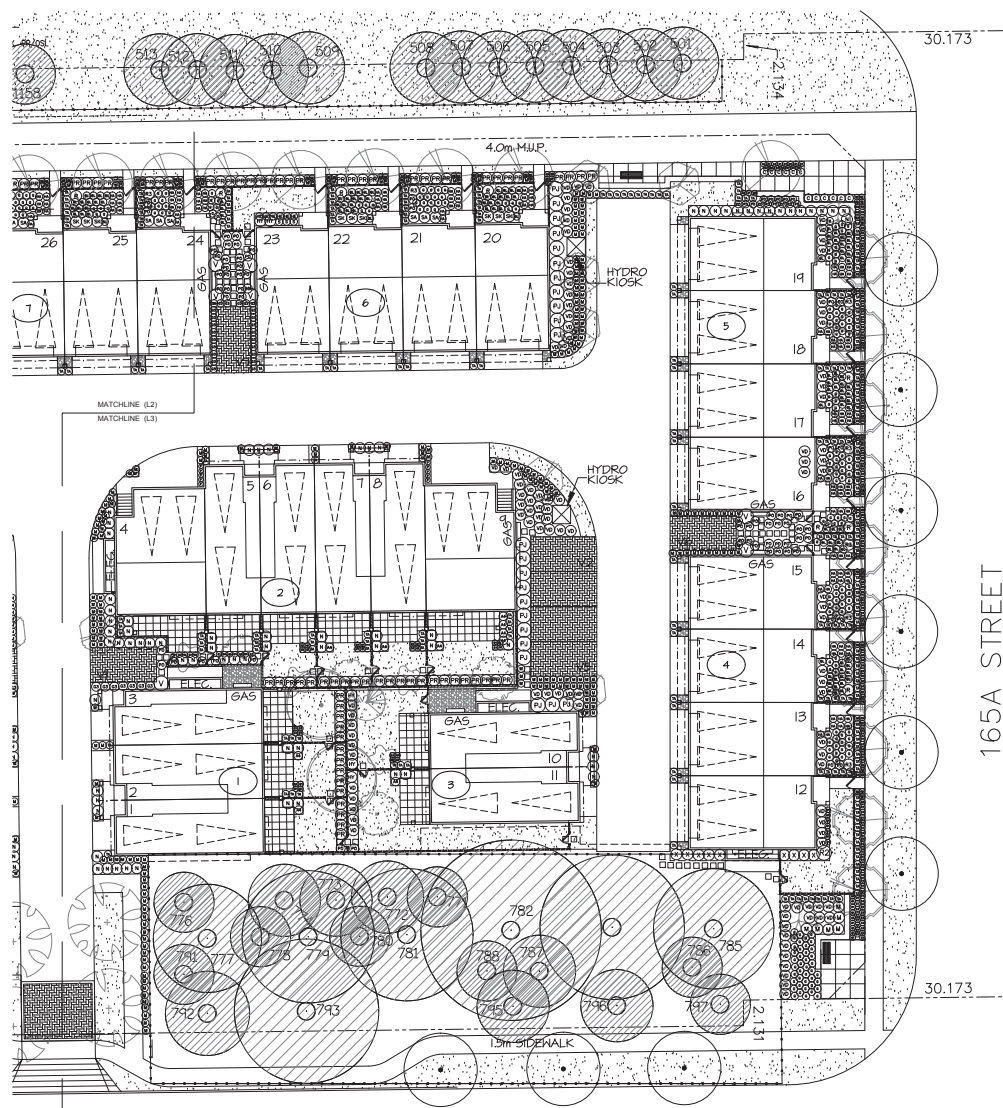
**37 UNIT TOWNHOUSE**  
164TH STREET AND 24TH AVENUE  
SURREY, B.C.

DRAWING TITLE:  
**LANDSCAPE SHRUB PLAN**

DATE: 14.JUL.07 DRAWING NUMBER:  
SCALE: 1/16"=1'-0"  
DRAWN: MR  
DESIGN: MR  
CHKD: MCY OF 5

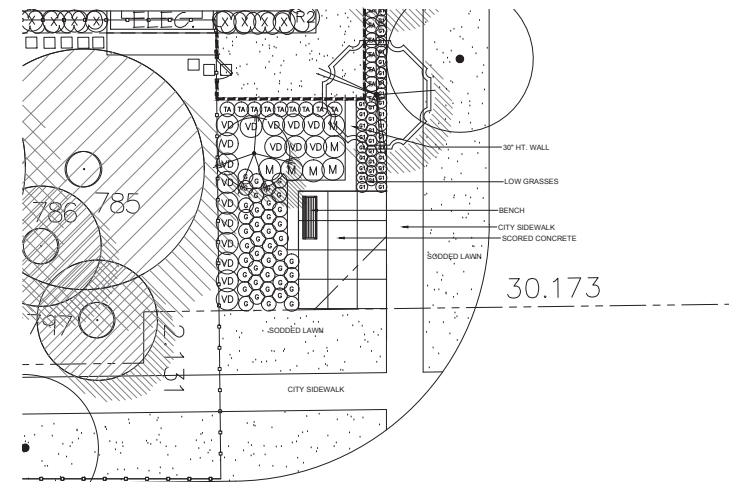
14087-4.2P PMG PROJECT NUMBER: 14-087

SEAL:



**ENLARGEMENT - 24TH & 165A**  
SCALE: 1/8"=1'-0"

165A STREET



**ENLARGEMENT - 23A & 165A**  
SCALE: 1/8"=1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
1	18.JUN.07	NEW SITE PLAN / CITY COMMENTS	DRM
2	15.NOV.09	NEW SITE PLAN / EXTENDED P.L.	MR
3	14.AUG.07	NEW SITE PLAN	MR

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:  
**37 UNIT TOWNHOUSE**  
164TH STREET AND 24TH AVENUE  
SURREY, B.C.

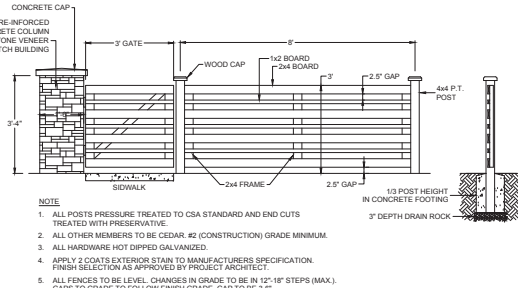
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**LANDSCAPE SHRUB PLAN**

DATE: 14.JUL.07 DRAWING NUMBER:  
SCALE: 1/16"=1'-0"  
DRAWN: MR  
DESIGN: MR  
CHKD: MCY

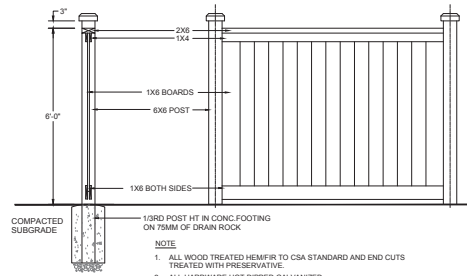
**L3**

OF 5

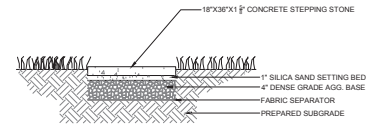
SEAL:



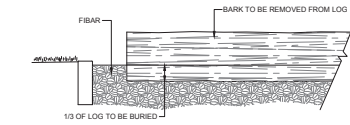
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1/2" = 1'-0"



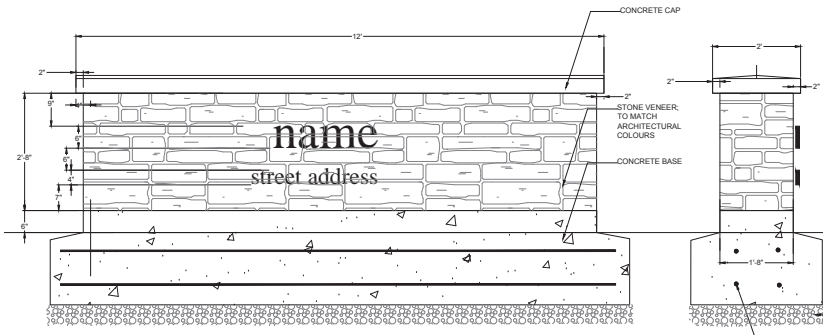
**2 6' HT. SOLID WOOD FENCE/PRIVACY SCREEN**  
1/2" = 1'-0"



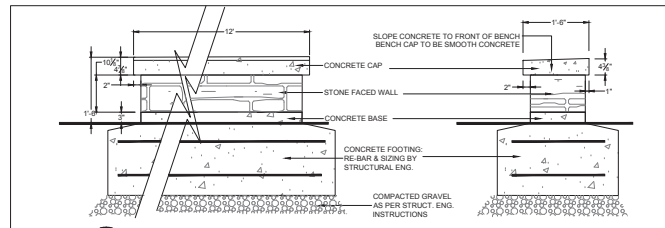
**3 CONCRETE STEPPING PAD**  
1/2" = 1'-0"



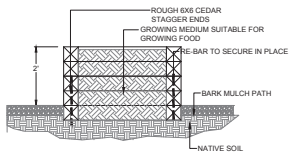
**4 BALANCE LOG**  
1/2" = 1'-0"



**5 PROJECT SIGNAGE**  
3/4" = 1'-0"



**6 18" HT. SEAT WALL**  
3/4" = 1'-0"



**7 GARDEN PLOTS**  
1/2" = 1'-0"



**SHED BY CEDAR SHED, LANGLEY BC**



**DOMUS LIGHT BOLLARD**



**KOMPAN ROBINIA CLIMBER**

NO.	DATE	REVISION DESCRIPTION	DR.
1	18.JUN.23	NEW SITE PLAN / CITY COMMENTS	DRM
2	15.NOV.23	NEW SITE PLAN / EXTENDED P.I.	SD
3	14.AUG.27	NEW SITE PLAN	MR

CLIENT:

PROJECT:

**37 UNIT TOWNHOUSE**  
164TH STREET AND 24TH AVENUE  
SURREY, B.C.

DRAWING TITLE:  
**LANDSCAPE  
DETAILS**

DATE: 14.JUL.07 DRAWING NUMBER:  
SCALE: AS SHOWN **L4**  
DRAWN: MR  
DESIGN: MR  
CHKD: MCV **OF 5**

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.

1	18.JUN.23	NEW SITE PLAN / CITY COMMENTS		DRAWN
2	15.NOV.23	NEW SITE PLAN / EXTENDED P.I.		SD
3	14.JUL.27	NEW SITE PLAN		MR

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

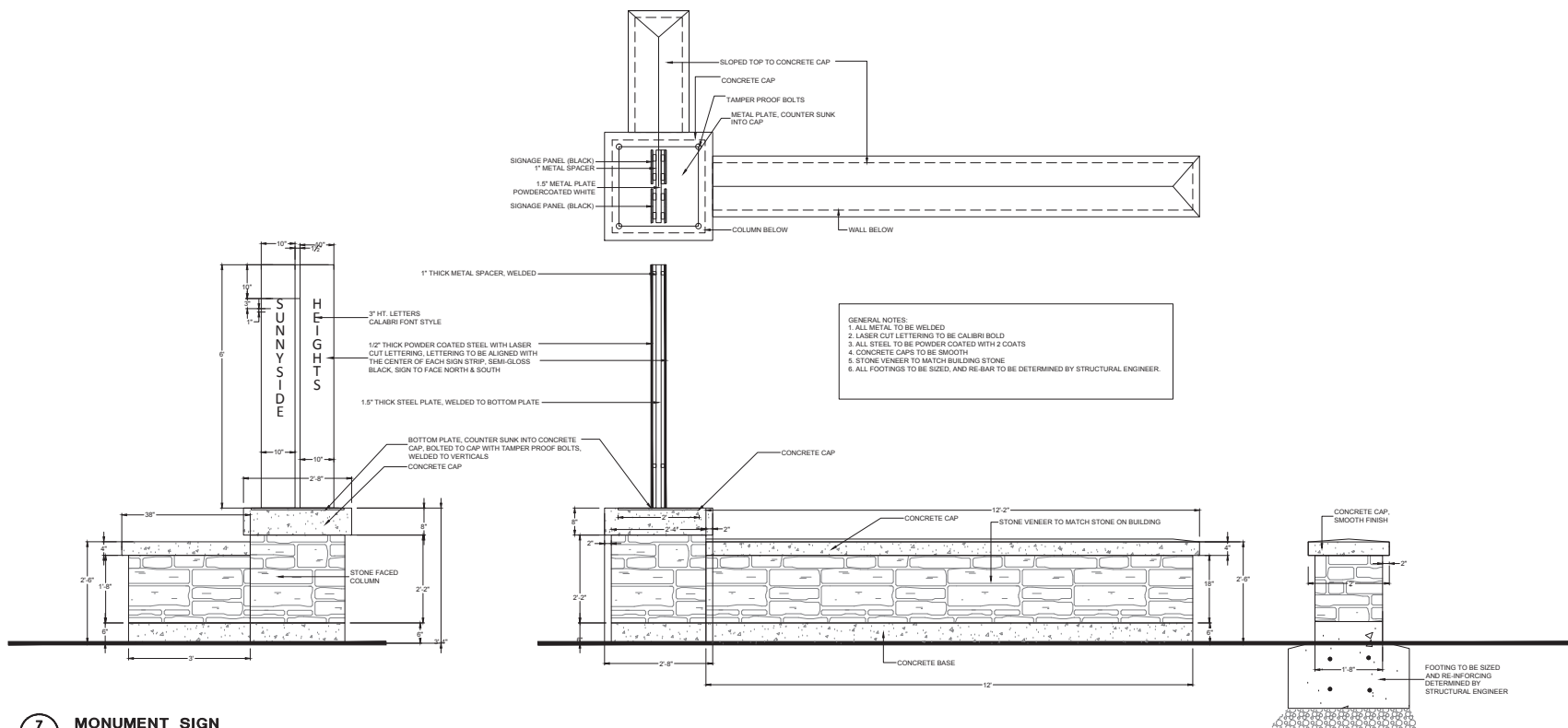
**37 UNIT TOWNHOUSE**  
164TH STREET AND 24TH AVENUE  
SURREY, B.C.

DRAWING TITLE:  
**LANDSCAPE  
DETAILS**

DATE: 14.JUL.07 DRAWING NUMBER:  
SCALE: AS SHOWN  
DRAWN: MR  
DESIGN: MR  
CHKD: MCV

**L5**

OF 5





TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **September 8, 2016** PROJECT FILE: **7814-0280-00**

---

RE: **Engineering Requirements  
Location: 16422, 16432, 16464, 16488 - 24 Ave**

### REZONING/SUBDIVISION

#### *Property and Right-of-Way Requirements*

- dedicate approximately 6.3 m along 24 Avenue for ultimate 37.0 m arterial road allowance;
- dedicate 5.0 m (west of proposed driveway) along 23A Avenue for ultimate 19.5 m local road allowance (no dedication required east of driveway letdown for ultimate 14.5 m road allowance);
- dedicate approximately 5.0 m along 164 Street for ultimate 30.2 m collector road allowance;
- dedicate 20.0 m along 165 Street for ultimate 20.0 m local road allowance;
- dedicate corner cuts at all road intersections, as required;
- register 0.5 m statutory right-of-ways along road frontages as required, for inspection chambers and sidewalk maintenance; and
- registration of statutory right-of-way on adjacent property may be required for meandered sidewalk for tree retention.

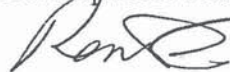
#### *Works and Services*

- construct 4.0 m Multi-use Pathway (MUP) with concrete banding along 24 Avenue;
- construct north sidewalk on 23A Avenue;
- construct east side of 164 Street to modified collector road standard;
- construct 165 Street to local road standard;
- construct access while maintain adequate queueing distance;
- construct drainage corridors on 18 Avenue as required by the NCP;
- construct drainage corridors on 164 Street and 23A Avenue as required by the NCP;
- provide on-site stormwater management features as per the NCP; and
- construct storm, sanitary, and water systems to service the proposed lots and frontage roads, and provide service connections to each lot.

A Servicing Agreement is required prior to Rezoning and Subdivision.

#### DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit or Development Variance Permit.



Rémi Dubé, P.Eng.  
Development Services Manager

M51

NOTE: Detailed Land Development Engineering Review available on file



Wednesday, August 10, 2016  
 Planning

**THE IMPACT ON SCHOOLS**

APPLICATION #: 14-0280-00

**SUMMARY**

The proposed 60 townhouse units are estimated to have the following impact on the following schools:

**Projected # of students for this development:**

Elementary Students:	20
Secondary Students:	9

September 2015 Enrolment/School Capacity

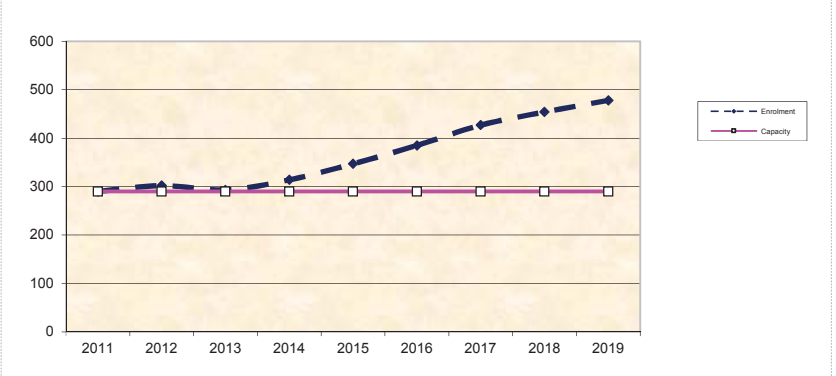
<b>Pacific Heights Elementary</b>	
Enrolment (K/1-7):	40 K + 307
Capacity (K/1-7):	40 K + 250
<b>Earl Marriott Secondary</b>	
Enrolment (8-12):	1912
Nominal Capacity (8-12):	1500
Functional Capacity*(8-12):	1620

**School Enrolment Projections and Planning Update:**

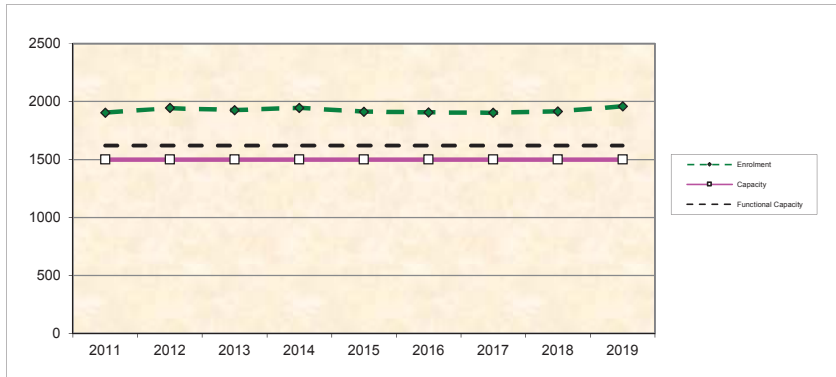
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Pacific Heights Elementary is currently over capacity with rapid enrolment growth expected to continue. A new elementary school site has been purchased south of 23rd Avenue - Site #206 near Edgewood Drive. The construction of a new elementary school on this site is a high priority in the District's 5-Year Capital Plan and feasibility planning is underway. The school district has also purchased land for a new secondary school in the Grandview area adjoining the City of Surrey future aquatic centre and recreation property. Capital project approval has been granted for the new 1,500 student secondary schools (likely opening 2020). A proposed addition to Pacific Heights Elementary is included in the capital plan, but as a lower priority than the two capital projects mentioned above. The enrolment projections include anticipated residential growth from the Grandview and Sunnyside NCPs. The actual enrolment growth rate will be driven by the timing of development, demographic changes and market factors. Enrolment pressures in this area of Surrey are extreme and capital project approval timelines for new elementary space are unknown at this time. Additional portables will be required at area schools for September 2016 and options for placing portables on neighbouring sites are under investigation.

**Pacific Heights Elementary**



**Earl Marriott Secondary**



\*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

MIKE FADUM AND ASSOCIATES LTD.  
VEGETATION CONSULTANTS

## Tree Preservation Summary

Surrey Project No: 14-0280-00


Address: 16422, 16432, 16464, 16488 24<sup>th</sup> Avenue, Surrey, BC

Registered Arborist: Vanessa Melney and Peter Mennel

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	206
<b>Protected Trees to be Removed</b>	147
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	59
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 5 X one (1) = <u>5</u></li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 142 X two (2) = <u>284</u></li> </ul>	289
<b>Replacement Trees Proposed</b>	107
<b>Replacement Trees in Deficit</b>	182
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	NA

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	0
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 1</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0</li> </ul>	NA
<b>Replacement Trees Proposed</b>	NA
<b>Replacement Trees in Deficit</b>	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 	Date: August 24, 2016
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(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7914-0280-00

Issued To: 0949048 BC Ltd.

(the Owner)

Address of Owner: 8449 - 122 Street  
Surrey, BC V3W 3S8

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 002-669-404  
Lot 2 Section 13 Township 1 New Westminster District Plan 19720

16488 - 24 Avenue

Parcel Identifier: 007-420-609  
Lot 27 Except: Parcel C (Reference Plan 38725); Section 13 Township 1  
New Westminster District Plan 36854

16464 - 24 Avenue

Parcel Identifier: 001-891-171  
Lot 28 Except: Parcel B (Reference Plan 38725); Section 13 Township 1  
New Westminster District Plan 36854

16432 - 24 Avenue

Parcel Identifier: 001-485-849  
Lot 29 Except: Parcel A (Reference Plan 38725); Section 13 Township 1  
New Westminster District Plan 36854

16422 - 24 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title has been issued, as follows:

Parcel Identifier:

---

- (b) If the civic address changes, the City Clerk is directed to insert the new civic address for the Land, as follows:

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4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) to reduce the minimum west setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.0 metres (13 ft.) to the building face and to 2.9 metres (10 ft.) to the front porch;
- (b) to reduce the minimum north setback of the RM-30 Zone from 7.5 metres (25 ft.) to 7.0 metres (23 ft.) to the building face and to 5.9 metres (19 ft.) to the front porch;
- (c) to reduce the minimum south setback of the RM-30 Zone from 7.5 metres (25 ft.) to 2.5 metres (8 ft.); and
- (d) to reduce the minimum east setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.0 metres (13 ft.) to the building face and to 2.9 metres (10 ft.) to the front porch.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

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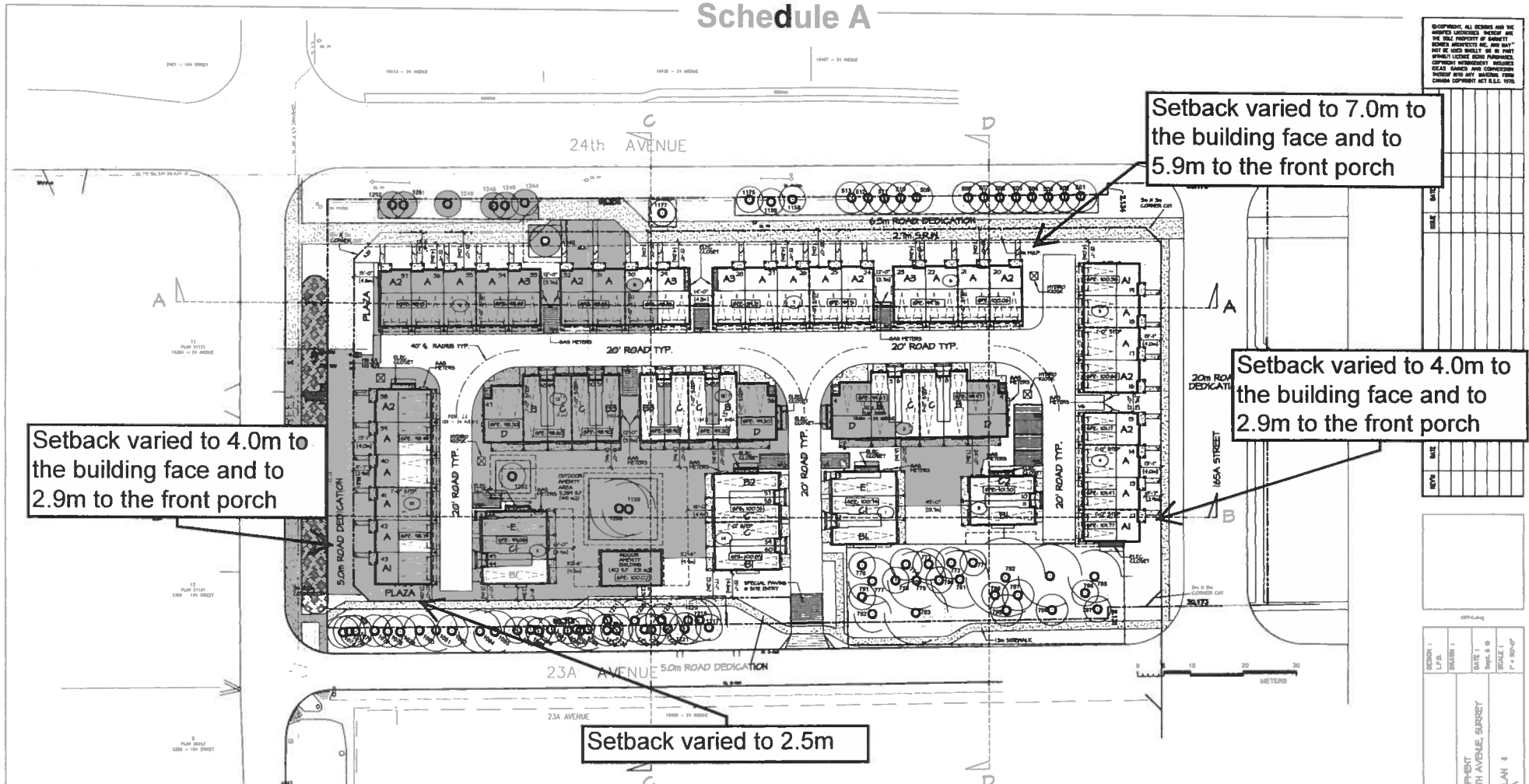
Mayor – Linda Hepner

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City Clerk – Jane Sullivan

# Schedule A

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Setback varied to 4.0m to the building face and to 2.9m to the front porch

Setback varied to 7.0m to the building face and to 5.9m to the front porch

Setback varied to 4.0m to the building face and to 2.9m to the front porch

Setback varied to 2.5m

### DEVELOPMENT DATA

GROSS SITE AREA :	153,525 S.F.	3,524 AC	1,426 HA
ROAD DEDICATION :	36,846 S.F.	0.848 AC	0.343 HA
NET SITE AREA :	116,579 S.F.	2.676 AC	1.083 HA
DENSITY :	(GROSS) 17.0 UPA	42.1 UPA	(60 UNITS)
	(NET) 22.4 UPA	55.4 UPA	(60 UNITS)
F.A.R. :	(GROSS) 0.63	(46,366 S.F.)	
	(NET) 0.83	(46,366 S.F.)	
SITE COV. :	(GROSS) 32%	(40,840 S.F.)	
	(NET) 42%	(40,840 S.F.)	
USEABLE GREENSPACE:	REQUIRED: 34,914 S.F. (30% OF NET)		
	PROVIDED: 40,100 S.F. (34% OF NET)		(26% OF GROSS)
AMENITY :			
INDOOR:	REQUIRED: 120 m2 (1,450 S.F.)		
	PROVIDED: 191 m2 (1,412 S.F.)		
OUTDOOR:	REQUIRED: 120 m2 (1,450 S.F.)		
	PROVIDED: 441 m2 (5,284 S.F.)		

PARKING -

REQUIRED:	RESIDENTIAL: 120 SPACES
	VISITOR: 120 SPACES
	TOTAL: 152 SPACES
PROVIDED:	RESIDENTIAL: 120 SPACES
	VISITOR: 12 SPACES
	TOTAL: 152 SPACES

### UNIT BREAK-DOWN

UNIT TYPE	# OF BEDROOMS	# OF UNITS	SQ. FT. (GROSS)	SQ. FT. (NET)	SQ. FT. (TOTAL)	SQ. FT. (TOTAL)
UNIT A	1	10	1,200 S.F.	1,000 S.F.	12,000 S.F.	10,000 S.F.
UNIT B	2	10	1,800 S.F.	1,500 S.F.	18,000 S.F.	15,000 S.F.
UNIT C	3	10	2,400 S.F.	2,000 S.F.	24,000 S.F.	20,000 S.F.
UNIT D	4	10	3,000 S.F.	2,500 S.F.	30,000 S.F.	25,000 S.F.
UNIT E	5	10	3,600 S.F.	3,000 S.F.	36,000 S.F.	30,000 S.F.
UNIT F	6	10	4,200 S.F.	3,500 S.F.	42,000 S.F.	35,000 S.F.
UNIT G	7	10	4,800 S.F.	4,000 S.F.	48,000 S.F.	40,000 S.F.
UNIT H	8	10	5,400 S.F.	4,500 S.F.	54,000 S.F.	45,000 S.F.
UNIT I	9	10	6,000 S.F.	5,000 S.F.	60,000 S.F.	50,000 S.F.
UNIT J	10	10	6,600 S.F.	5,500 S.F.	66,000 S.F.	55,000 S.F.
TOTAL		100	66,000 S.F.	55,000 S.F.	660,000 S.F.	550,000 S.F.



## CONCEPTUAL SITE PLAN

SCALE: 1" = 30'-0"

CLIENT: CHAMPAGNE BC LTD.  
 PROJECT: TOWNHOUSE DEVELOPMENT (16422 & 16432 - 24TH AVENUE, SURREY)  
 SHEET CONTENTS: CONCEPTUAL SITE PLAN & DEVELOPMENT DATA

**barnett danbark**

UNIT 130  
 7238 130 STREET,  
 SURREY, B.C.  
 V3W 1W8

PHONE: (604) 587-7100  
 FAX: (604) 587-3098  
 EMAIL: mba@barnettandbark.com

SHEET NO. 15057  
 SHEET TITLE AC-11  
 PROJECT NO. 15057  
 REV. NO.