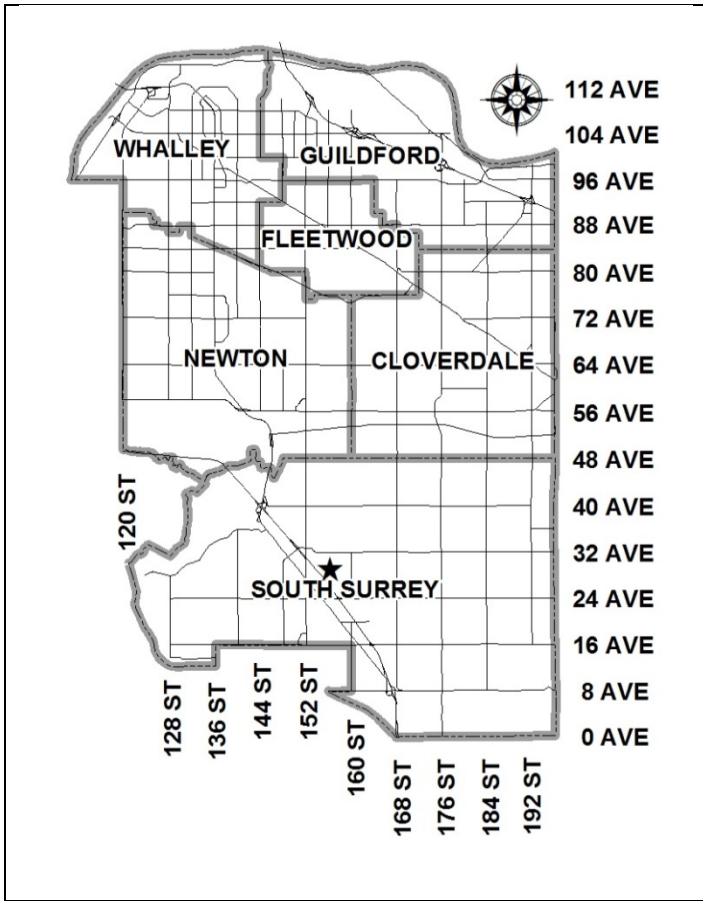


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0258-00

Planning Report Date: October 20, 2015



PROPOSAL:

- **NCP amendment** from "Cluster Housing (6-8 upa)" to "Townhouses 15 upa max"
- **Rezoning** from RA to CD (based on RM-15)
- **Development Permit**

to permit the development of a 66-unit townhouse project.

LOCATION: 15625 and 15651 Mountain View Drive

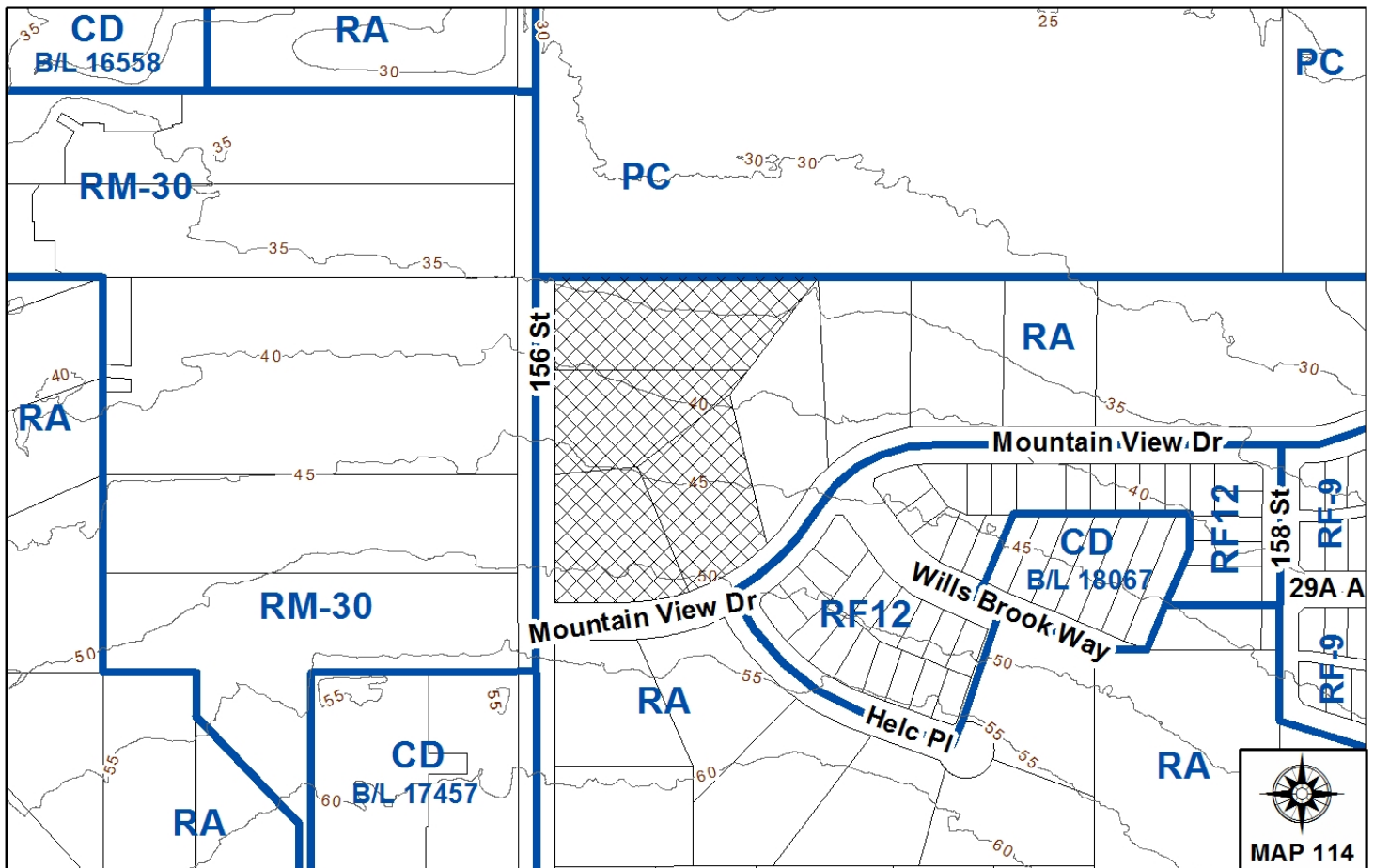
2960 and 2982 - 156 Street

OWNER: T. M. Crest Homes (2007) Ltd.

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: Cluster Housing (6-8 upa)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning.
- Approval to draft Development Permit.
- Council file By-law Nos. 16661 (OCP Amendment) and 16662 (Rezoning) that are currently at Third Reading as part of File No. 7907-0363-00.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking an NCP Amendment from "Cluster Housing (6-8 upa)" to "Townhouses 15 upa max".
- The applicant is seeking to reduce the indoor amenity space from the required 198 square metres (2,130 sq.ft.) to 184 sq.m. (1,980 sq.ft.) and pay cash-in-lieu for the shortfall.

RATIONALE OF RECOMMENDATION

- There is an application on the site (File No. 7907-0363-00) for 37 townhouse units that received Third Reading in May 2008. The applicant advises that market conditions have changed, limiting the desire for the larger townhouses that were originally proposed. As such, the applicant has submitted a new application with smaller units and is proposing a higher number of units, at 66 units.
- The applicant is proposing significant tree retention by retaining approximately 43% of the high quality trees (non-alder/cottonwood trees) on the site.
- Given the changes in the marketplace since 2008, significant tree retention and the close proximity to a newly built elementary school, the increase in unit density and the corresponding NCP amendment proposal is supportable.
- The proposed indoor amenity space shortfall is supportable given that the proposed reduced indoor amenity space is functional, with the remaining shortfall addressed through a cash-in-lieu contribution in accordance with City policy.
- The proposed form and character of the townhouses are appropriate for this area of the North Grandview Heights NCP.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council file By-law Nos. 16661 and 16662 and close Land Development Project No. 7907-0363-00 and all applications associated with this project.
2. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
3. Council approve the applicant's request to reduce the amount of required indoor amenity space from 198 square metres (2,130 sq.ft.) to 184 square metres (1,980 sq.ft.).
4. Council authorize staff to draft Development Permit No. 7914-0258-00 generally in accordance with the attached drawings (Appendix II).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (f) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (h) the applicant adequately address the impact of reduced indoor amenity space; and
 - (i) the property at 15651 Mountain View Drive be remediated to the satisfaction of the Ministry of Environment.
6. Council pass a resolution to amend North Grandview Heights NCP to redesignate the land from "Cluster Housing (6-8 upa)" to "Townhouses 15 upa max" when the project is considered for final adoption.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

13 Elementary students at Sunnyside Elementary School
7 Secondary students at Semiahmoo Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by fall 2016.

Parks, Recreation & Culture: No concerns.

Ministry of Environment: The property at 15651 Mountain View Drive was identified in July 2015 as having potential soil contamination issues due to the presence of a drug manufacturing operation on the property. The property must be remediated to the satisfaction of the Ministry of Environment before the project is considered for final adoption of the rezoning by-law.

Surrey Fire Department: No concerns. Units 1-27 must be addressed from 156 Street and Units 28-66 must be addressed from Mountain View Drive during the Building Permit process.

SITE CHARACTERISTICS

Existing Land Use: Single family residential on large lots.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North:	Garden of Gethsemani cemetery.	Suburban / Existing Cemetery	PC
East:	Single family residential on large lot.	Urban / Cluster Housing (6-8 upa)	RA
South (Across Mountain View Drive):	Townhouse development and single family residential under construction.	Urban / "Townhouses 15 upa max" and "Cluster Housing (6-8 upa)"	CD (By-law No. 18220) and RF-12
West (Across 156 Street):	Townhouse complexes.	Urban / Multiple Residential (15-25 upa)	RM-30

JUSTIFICATION FOR PLAN AMENDMENT

- The applicant is proposing to amend the North Grandview Heights Neighbourhood Concept Plan (NCP) to redesignate the subject site from "Cluster Housing (6-8 upa)" to "Townhouses 15 upa max".
- There is an application on the site (File No. 7907-0363-00) for 37 townhouse units that received Third Reading in May 2008. The applicant advises that market conditions have changed, limiting the desire for the larger townhouse units that were originally proposed. As such, the applicant has submitted a new application with smaller units and is proposing a higher number of units, at 66 units.
- There is a new elementary school (Sunnyside Elementary) east of the subject site which is expected to be a draw for younger families. This supports the proposal to increase the density on the site with unit types that are more attractive to younger families as opposed to focusing solely on "empty-nesters".
- The site to the south (across Mountain View Drive) recently underwent a similar application (File No. 7913-0083-00) for an increase in density from a previous 2007 application that was at Third Reading.
- The applicant is proposing significant tree retention by retaining approximately 43% of the good quality trees (non-alder/cottonwood trees) on the site.
- The applicant is proposing to convey a 15-metre (49 feet) wide multi-use pathway corridor through the site that will accommodate a multi-use pathway on top of the sanitary trunk sewer and also an underground odour mitigation facility.
- Given the changes in the marketplace since 2008, the provision of a significant multi-use pathway corridor, significant tree retention, and the proximity to the newly built elementary school, the increase in unit density and the corresponding NCP Amendment proposal is supportable.
- No significant concerns were expressed by residents in the vicinity regarding the proposed NCP amendment and rezoning.

DEVELOPMENT CONSIDERATIONS

- The subject 1.89 hectare (4.66 acres) site consists of 4 parcels located in the North Grandview Heights NCP at 15625/51 Mountain View Drive and 2960/82 - 156 Street. The site is zoned "One-Acre Residential Zone (RA)" and is designated "Urban" in the Official Community Plan (OCP) and "Cluster Housing (6-8upa)" in the North Grandview Heights NCP.
- There is an older application on the subject site (File No. 7907-0363-00) for 37 townhouse units that received Third Reading in May 2008. The applicant is proposing to close this application and requests that Council file the by-laws associated with this application.

- The applicant is proposing:
 - an NCP amendment from "Cluster Housing (6-8 upa)" to "Townhouses 15 upa max";
 - to rezone the subject site from RA to "Comprehensive Development Zone (CD)" [based on the "Multiple Residential 15 Zone (RM-15)"]; and
 - Development Permit to allow for development of a 66-unit townhouse complex.
- A subdivision is also proposed for the consolidation of the 4 parcels into 1 parcel. The parcel will be "hooked" over the proposed 15-metre (49 feet) wide multi-use pathway corridor that will extend from east to west through the site.
- The applicant is proposing to provide 132 resident parking spaces and 13 visitor parking spaces, which meets the minimum parking requirements of the Zoning By-law. The applicant is not proposing any tandem parking spaces.
- The property at 15651 Mountain View Drive was identified in July 2015 as having potential soil contamination issues due to the presence of a drug manufacturing operation on the property. The property must be remediated to the satisfaction of the Ministry of Environment before the project can be considered for final adoption of the rezoning by-law. The applicant is working with a contamination consultant on obtaining the necessary approvals from the Ministry of Environment.

Proposed CD By-law

- The applicant is proposing a CD Zone for the site, based on the RM-15 Zone. The table below outlines the differences between the RM-15 Zone and the proposed CD Zone:

	RM-15 Zone	Proposed CD Zone
Maximum Unit Density	37 uph (15 upa)	39 uph (16 upa)
Maximum Floor Area Ratio (FAR)	0.60	0.87
Setbacks	7.5m (25 ft.) from all property lines.	Front yard (Mountain View Drive) and Side yard (156 Street)- 4.5m (15 ft.); Setback from multi-use pathway corridor - 4.0m (13 ft.); North yard setback for balcony - 6.0m.
Principal Building Height	11m (36 ft.)	12.5m (41 ft.)
Minimum Parcel Size	2,000 sq.m. (0.5 acres)	6,070 sq.m. (1.5 acres)

- The CD Zone proposes a slightly higher net unit density at 39 uph (16 upa) versus 37 uph (15 upa) permitted in the RM-15 Zone. The applicant is conveying 0.21 hectares (0.53 acres) of the site for the multi-use pathway corridor. Factoring this dedication in, the gross unit density, which is the density approach used in the NCP, is 35 uph (14 upa). Thus the proposed NCP amendment is to "Townhouses 15 upa max". A floor area ratio (FAR) of 0.87 is proposed, which is higher than the FAR of 0.60 permitted in the RM-15 Zone. The units are double-garage units, which makes them wider than tandem garage units (ie. unit density will be lower, but FAR will higher for the same number of units). The proposed lot coverage of 40% is below the maximum 45% lot coverage permitted in the RM-15 Zone.
- The CD Zone proposes an increase in the maximum principal building height from 11.0 metres (36 feet) to 12.5 metres (41 feet) due to the hillside condition. Building height is measured from average existing grades for multi-family buildings, and the sloped nature of this site means that the building height calculation provides a higher number than is typical for a townhouse on a site with less grade. The proposed townhouses are typical 3-storey townhouses.
- The proposed setback relaxations along Mountain View Drive and 156 Street bring the buildings closer to the street and allow for a better street presence. The proposed setback from the multi-use pathway corridor recognizes the impact of the 15-metre (49 feet) wide dedication of land through the middle of the site. The proposed northerly setback relaxation is for the deck only as the building face is proposed to be set back at 7.6 metres (25 feet). No setback relaxations are proposed along the easterly property line.

Amenity Space

- The Zoning By-law requires that 198 square metres (2,130 sq. ft.) of indoor amenity area and 198 square metres (2,130 sq. ft.) of outdoor amenity area be provided for this project, based on 3 square metres (32 sq. ft.) per dwelling unit.
- The applicant is proposing to provide a 184 square metres (1,890 sq.ft.) indoor amenity building that will provide a place for strata members to gather together to discuss strata matters and also provides a venue for hosting larger gatherings (ie. birthday parties). The proposed indoor amenity is located within a portion of the outdoor amenity area provided on the site. The indoor amenity building contains a mail kiosk, two lounge areas, washrooms, kitchen facilities and a second floor deck and a lower floor patio area.
- The proposed indoor amenity space shortfall of 14 square metres (150 sq.ft.) is supportable given the proposed reduced indoor amenity space is functional, with the remaining shortfall addressed through a cash-in-lieu contribution in accordance with City policy.
- The applicant is proposing to provide approximately 533 square metres (5,740 sq.ft.) of outdoor amenity located next to the amenity building. In addition, the applicant is providing a significant amount of additional outdoor open space throughout the site, consisting primarily of lawn areas and landscaping which can be used as recreation areas. The main outdoor amenity area near the amenity building will accommodate a space for gatherings.

TREES

- Max Rathburn, ISA Certified Arborist of Diamond Head Consulting Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	0	0	0
Cottonwood	0	0	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bigleaf Maple	5	5	0
Paper Birch	14	14	0
Bitter Cherry	4	4	0
Mountain Ash	1	1	0
Black Locust	2	2	0
Japanese Maple	2	2	0
Weeping Willow	1	1	0
Coniferous Trees			
Western Redcedar	13	3	10
Douglas-fir	14	7	7
Pacific Silver fir	1	0	1
Sitka Spruce	1	0	1
Blue Spruce	2	1	1
Black Spruce	1	0	1
Scots Pine	9	0	9
Cypress	4	4	0
Total (excluding Alder and Cottonwood Trees)	74	44	30
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		88	
Total Retained and Replacement Trees		118	
Contribution to the Green City Fund		0	

- The Arborist Assessment states that there are a total of 74 mature trees on the site. There are no Alder or Cottonwood trees. It was determined that 30 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 88 replacement trees on the site. The applicant is proposing 88 replacement trees, meeting City requirements. No contribution to the Green City Fund is required.

- The new trees on the site will consist of a variety of trees including Western Redcedar, Western Hemlock, Dogwood and Cherry.
- In summary, a total of 118 trees are proposed to be retained or replaced on the site.

DESIGN PROPOSAL AND REVIEW

- The development consists of 14 buildings containing 66 dwelling units and 1 amenity building. The proposed units range in size from 184 square metres (1,980 sq.ft.) to 236 square metres (2,540 sq.ft.).
- All of the street-fronting units contain active living space on the ground floor which promotes interaction with the public realm. These units have front doors facing the street, a walkway connecting each residence to the street, and windows that provide casual surveillance of the street.
- The positioning of the buildings across the site was strongly influenced by efforts to retain trees, conveyance of the 15-metre (49 feet) wide multi-use pathway corridor and also accommodate the steep grade on the site.
- The buildings are designed to step with the grade, which breaks up the massing. A stone veneer feature is proposed at the entries of the units to add visual interest.
- The proposed exterior materials cedar siding, hardi-panel siding, hardi-plank siding and stone veneer accents. Asphalt shingles are proposed for the roof. Various colours are proposed, including natural cedar shade, silver, stone brown, white, grey stone and garage door accents (blue, red, grey). The design is a more contemporary look, with a 4:12 roof pitch.

Access & Pedestrian Circulation

- Vehicular access is proposed from both Mountain View Drive and 156 Street. Due to the topography of the site and the provision of a multi-use pathway corridor through the site, these drive aisles will not be internally connected. The Fire Department has requested that the site be given 2 separate addresses to reflect the separate entrances.
- The applicant is conveying a 15-metre (49 feet) wide multi-use pathway corridor through the site that will accommodate a multi-use pathway on top of the sanitary trunk sewer. The multi-use pathway is anticipated to continue onto the adjacent property at 15673 Mountain View Drive when that property develops in the future. In the interim, the applicant will provide a temporary 2-metre (7 feet) wide pathway within a 4-metre (13 feet) wide statutory right-of-way to connect the multi-use pathway to the sidewalk on Mountain View Drive.
- The street-fronting units are proposed to have individual pedestrian access to the street. The applicant is also proposing various paths throughout the site that will provide linkages internally and also to surrounding sidewalks and the multi-use pathway.

Landscaping

- Landscaping plans have been received and are generally acceptable. The landscaping includes a mix of trees, shrubs, ground cover and open lawn areas. The proposed retaining walls are proposed to be primarily constructed with large boulders which provides a more natural landscape. One concrete retaining wall is proposed in the northwest portion of the site.
- A 1.0 metre (3.5 feet) high transparent wood rail fence is proposed at various locations along Mountain View Drive, 156 Street and the multi-use pathway corridor. Special paving (unit pavers) is proposed for near the main entrances and also visitor parking spaces. No garbage enclosure is proposed as garbage and recycling will be picked up at each unit.

ADVISORY DESIGN PANEL

The application was not referred to the ADP for review. The design and landscaping plans were reviewed by staff and found generally acceptable.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on October 7, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located within the North Grandview Heights NCP.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposal includes a lawn area with some benches and trees in the southwest corner of the site that will be accessible to the public.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Absorbent soils greater than 30 cm (1 foot) in depth, infiltration trenches or sub-surface chambers, vegetated swales and dry swales, sediment control devices, and permeable pavement/surfaces are proposed. • The applicant is proposing to retain 30 on-site trees. • Recycling pick-up will be made available.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The applicant is proposing to convey a 15-metre (49 feet) wide multi-use pathway corridor that will extend from east to west through the site. • On-site pedestrian paths will be provided.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Street-fronting townhouses will be oriented to the street, to provide surveillance. Townhouses along the multi-use pathway will have access to the pathway and will also provide surveillance along the pathway. • Outdoor and indoor amenity space is proposed.
6. Green Certification (F1)	<ul style="list-style-type: none"> • The applicant is proposing to build to ASHRAE 90.1 standards.
7. Education &	<ul style="list-style-type: none"> • The typical notifications to area residents occurred (ie. development

Sustainability Criteria	Sustainable Development Features Summary
Awareness (G1-G4)	proposal signage and pre-notification letters).

PRE-NOTIFICATION

Pre-notification letters were sent on November 17, 2014 and staff received 1 phone call and 4 letters/emails. One (1) emailer was curious about the proposal and did not have any concerns. The other respondents identified concerns with the the proposed increase in traffic on 156 Street, the loss of green space, the proposed increase in density from the 6-8 unit per acre, and a desire to see single family homes built on the subject site.

(The subject application will upgrade the boulevard to the ultimate standard, which includes the construction of a sidewalk. The applicant is proposing to retain 43% of the trees on the site and provide substantial open space areas, including provision of a 15-metre (49 feet) wide multi-use pathway corridor through the site. The proposed increase in density is discussed previously in the report.)

Based on the small volume of feedback received, it was deemed that a PIM was not required for the subject application.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Proposed Site Plan, Building Elevations and Landscape Plans
- Appendix III. Engineering Summary
- Appendix IV. School District Comments
- Appendix V. Summary of Tree Survey and Tree Preservation
- Appendix VI. NCP Redesignation Map
- Appendix VII. Proposed CD By-law

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

KB/dk

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DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on RM-15)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		1.89 ha/4.66 ac
Multi-Use Pathway Corridor		.21 ha/ .53 ac
Undevelopable area		
Net Total		1.68 ha/ 4.14 ac
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	40%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
North	7.5m to building face; 6.0m to balcony	7.5m to building face; 6.0m to balcony
156 Street and Mountain View Drive	4.5m	4.5m
East side	7.5m	7.5m
Multi-Use Pathway Corridor	4.0m	4.0m
BUILDING HEIGHT (in metres/storeys)		
Principal	12.5m	12.5m
Accessory	11m	8m
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		66
Total		
FLOOR AREA: Residential		14,406 sq.m.
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		14,406 sq.m.

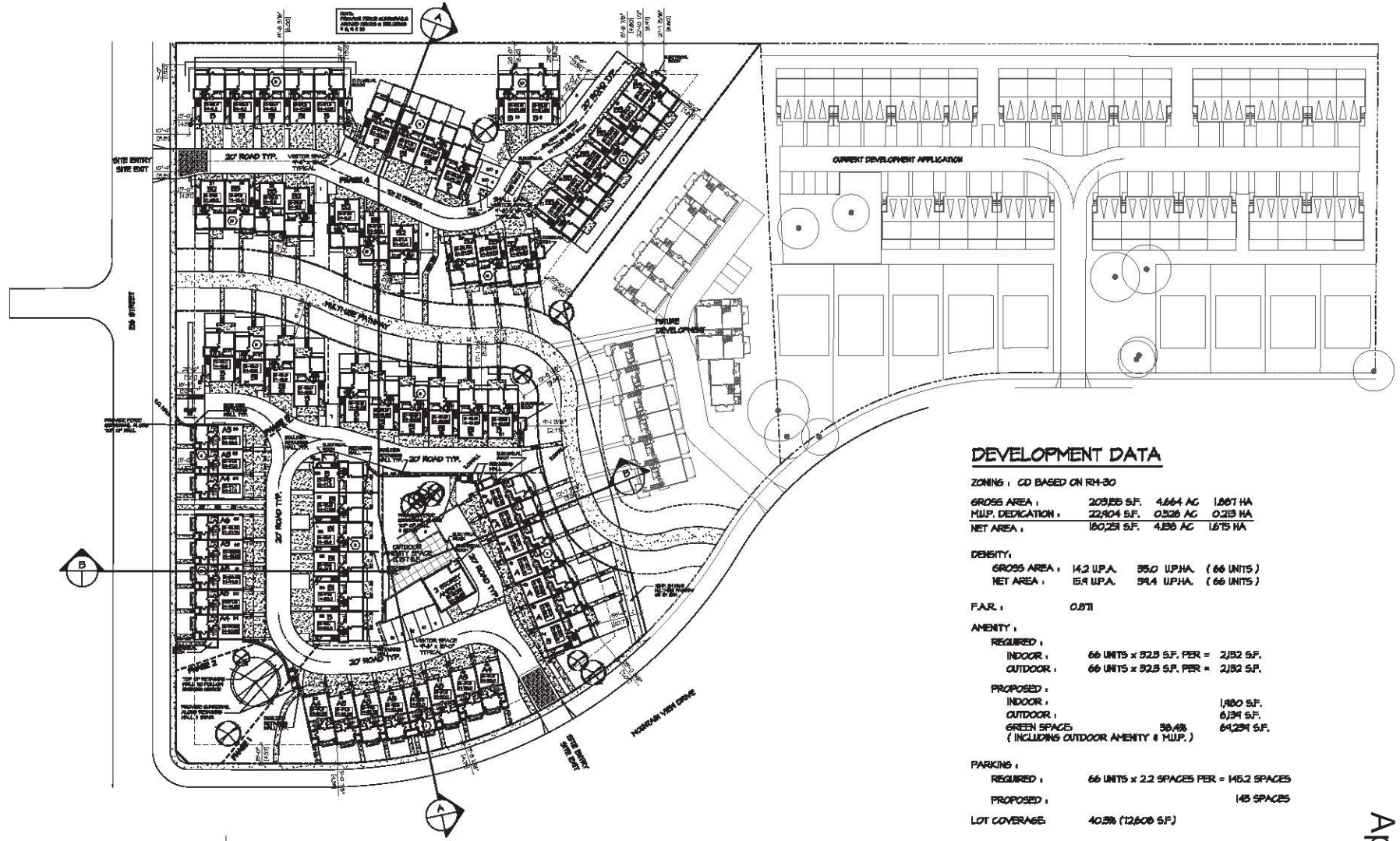
** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	0.87	0.87
AMENITY SPACE (area in square metres)		
Indoor	198 sq.m.	184 sq.m.
Outdoor	198 sq.m.	533 sq.m.
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	132	132
Residential Visitors	13	13
Institutional		
Total Number of Parking Spaces	145	145
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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CONCEPTUAL SITE PLAN
SCALE: 1/4" = 10'-0"

DEVELOPMENT DATA

ZONING : CD BASED ON R4-30
 GROSS AREA : 203,125 S.F. 4.664 AC 1.087 HA
 M.U.P. DEDICATION : 22,404 S.F. 0.526 AC 0.213 HA
 NET AREA : 180,721 S.F. 4.138 AC 1.675 HA

DENSITY:
 GROSS AREA : 14.2 U.P.A. 95.0 U.P.H.A. (66 UNITS)
 NET AREA : 15.9 U.P.A. 99.4 U.P.H.A. (66 UNITS)

F.A.R. : 0.871

AMENITY :
 REQUIRED :
 INDOOR : 66 UNITS x 32.9 S.F. PER = 2,182 S.F.
 OUTDOOR : 66 UNITS x 32.9 S.F. PER = 2,182 S.F.
 PROPOSED :
 INDOOR : 1,480 S.F.
 OUTDOOR : 6,134 S.F.
 GREEN SPACES : 38.4% 64,239 S.F.
 (INCLUDING OUTDOOR AMENITY & M.U.P.)

PARKING :
 REQUIRED : 66 UNITS x 2.2 SPACES PER = 145.2 SPACES
 PROPOSED : 145 SPACES
 LOT COVERAGE : 40.3% (12,608 S.F.)

UNIT BREAKDOWN :

UNIT TYPE A	3 BEDROOM	1,482 S.F.	x 5 UNITS	= 9,410 S.F.
UNIT TYPE A3	3 BEDROOM	1,462 S.F.	x 10 UNITS	= 14,620 S.F.
UNIT TYPE A4	3 BEDROOM	2,003 S.F.	x 4 UNITS	= 8,012 S.F.
UNIT TYPE A5	3 BEDROOM	2,003 S.F.	x 2 UNITS	= 4,006 S.F.
UNIT TYPE B	3 BEDROOM	2,526 S.F.	x 14 UNITS	= 35,490 S.F.
UNIT TYPE B1	3 BEDROOM	2,289 S.F.	x 19 UNITS	= 51,495 S.F.
UNIT TYPE B2	3 BEDROOM	2,294 S.F.	x 6 UNITS	= 13,764 S.F.
UNIT TYPE B3	3 BEDROOM	2,293 S.F.	x 9 UNITS	= 20,637 S.F.
UNIT TYPE B5	3 BEDROOM	2,293 S.F.	x 2 UNITS	= 4,586 S.F.
TOTAL :			66 UNITS	195,067 S.F.

CLIENT NO.	PROJECT NO.	DATE	SCALE

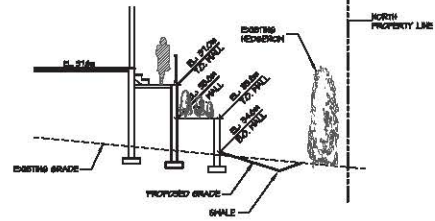
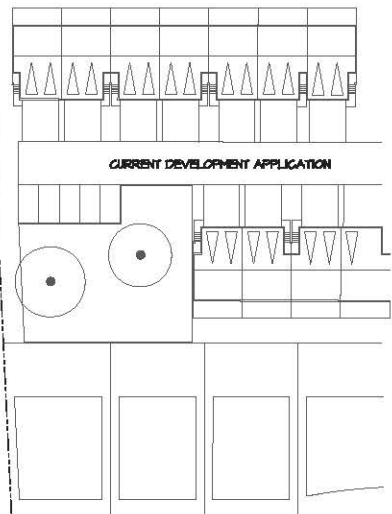
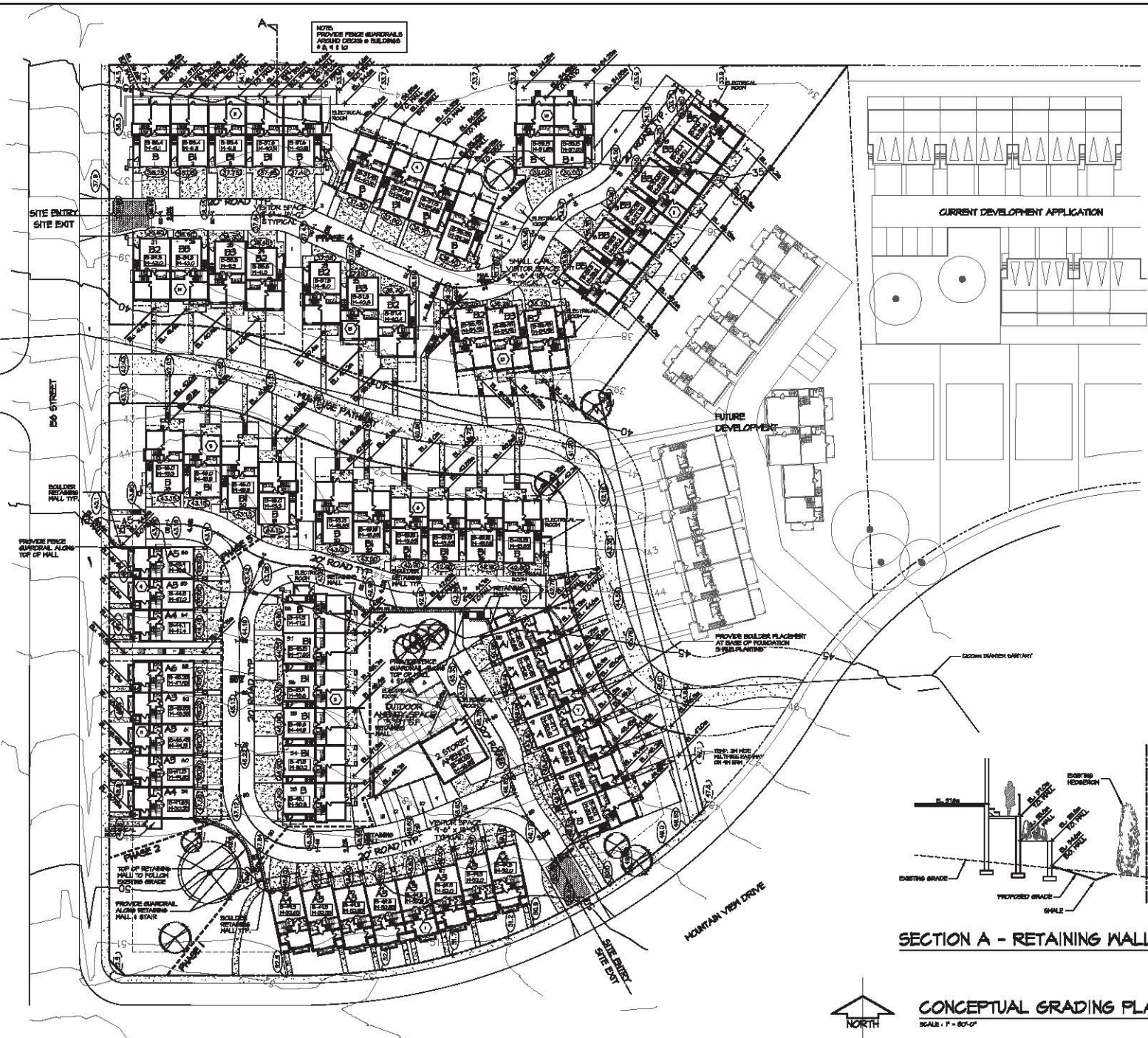
CLIENT : T.M. CREST 2007 LTD.	PROJECT : 66 UNIT TOWNHOUSE PROJECT	DATE : 2/16/2012	SCALE : 1/4" = 10'-0"

barnett danbrook
 UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8
 PHONE: (804) 587-7100
 FAX: (804) 587-2089
 EMAIL: mail@barnettbas.com

CLIENT NO.	SHEET NO.
	AC-11
PROJECT NO.	REV. NO.
14022	

DISCLAIMER: ALL DIMENSIONS AND THE SHOWN LOCATIONS THEREOF ARE THE SOLE RESPONSIBILITY OF THE CLIENT. DIMENSIONS SHOWN ARE NOT TO BE USED IN ANY WAY FOR CONSTRUCTION PURPOSES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONVEYING THEM TO ANY NATIONAL FORMS OR COMMERCIAL OFFICE. SEE 10/11/12

NOTE: PROVIDE FINISH GUARDRAILS AROUND CURVES @ BUILDINGS @ 8' @ 8' @ 8'



CONCEPTUAL GRADING PLAN
SCALE: 1" = 80'-0"

NO.	DATE	BY	CHKD BY	REV.

GSC Consulting

NO.	DATE	BY	CHKD BY	REV.

CAD: T.M. GREST 2007 LTD.
 PROJECT: 1 - AN UNFINISHED PROJECT
 SHEET: CONCEPTUAL GRADING PLAN

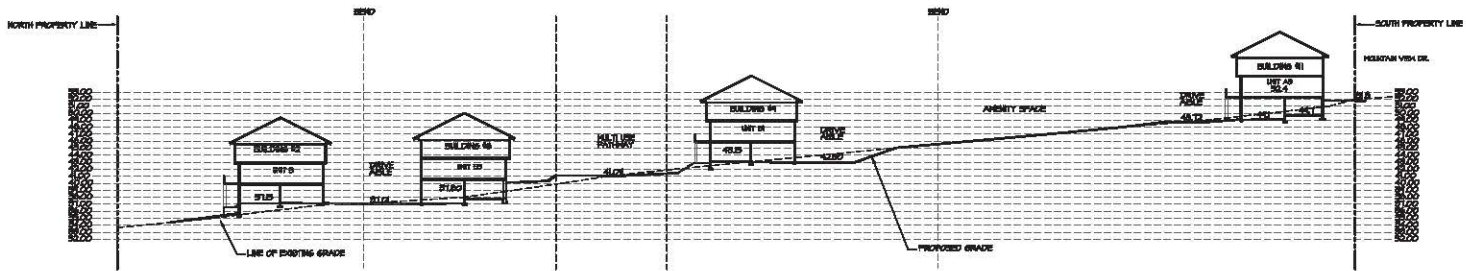
barnett dembek
 CONSULTANTS

UNIT 130,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8

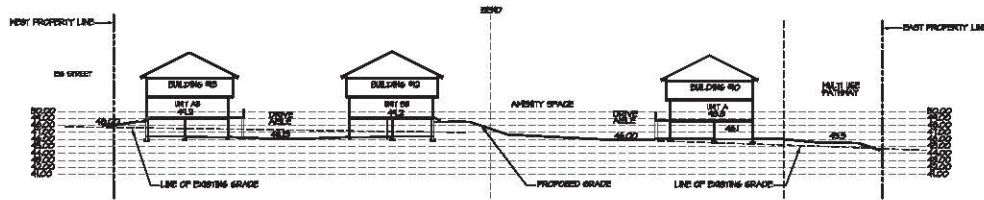
PHONE: (604) 587-7100
 FAX: (604) 587-2089
 EMAIL: mail@barnett-dembeck.com

CLIENT NO.	SHEET NO.
14022	AC-1.2
	REV. NO.

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SECTION A
SCALE : 1" = 50'-0"



SECTION B
SCALE : 1" = 50'-0"

NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10	NO. 11	NO. 12	NO. 13	NO. 14	NO. 15	NO. 16	NO. 17	NO. 18	NO. 19	NO. 20	NO. 21	NO. 22	NO. 23	NO. 24	NO. 25	NO. 26	NO. 27	NO. 28	NO. 29	NO. 30	NO. 31	NO. 32	NO. 33	NO. 34	NO. 35	NO. 36	NO. 37	NO. 38	NO. 39	NO. 40	NO. 41	NO. 42	NO. 43	NO. 44	NO. 45	NO. 46	NO. 47	NO. 48	NO. 49	NO. 50	NO. 51	NO. 52	NO. 53	NO. 54	NO. 55	NO. 56	NO. 57	NO. 58	NO. 59	NO. 60	NO. 61	NO. 62	NO. 63	NO. 64	NO. 65	NO. 66	NO. 67	NO. 68	NO. 69	NO. 70	NO. 71	NO. 72	NO. 73	NO. 74	NO. 75	NO. 76	NO. 77	NO. 78	NO. 79	NO. 80	NO. 81	NO. 82	NO. 83	NO. 84	NO. 85	NO. 86	NO. 87	NO. 88	NO. 89	NO. 90	NO. 91	NO. 92	NO. 93	NO. 94	NO. 95	NO. 96	NO. 97	NO. 98	NO. 99	NO. 100
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CLIENT :	T.M. CREST 20071 LTD.
PROJECT :	400 UNIT TOWNHOUSE PROJECT
PROJECT :	286/02 155 ST & 166/25/1 MTNVIEW DR.
SHEET COVERED :	SITE SECTIONS
CADIAN :	1:0
DRAWN :	1:0
DATE :	04.16.19
SCALE :	1:0

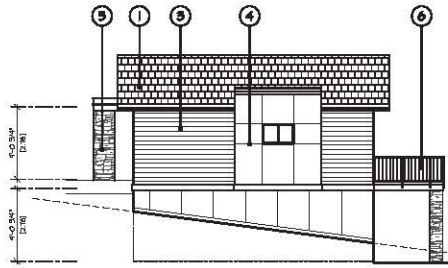
barrett dankbok
ARCHITECTS INC.

UNIT 130,
7536 130 STREET,
SURREY, B.C.
V3W 1H6

PHONE: (604) 587-7100
FAX: (604) 587-2089
EMAIL: mail@barrett-dankbok.com

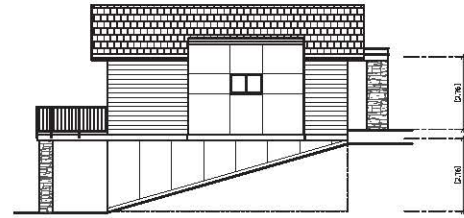
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
14022	AC-1.3

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EAST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

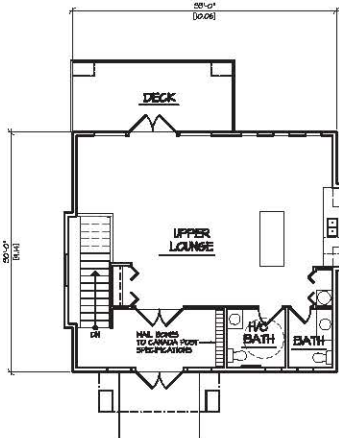
SCHEDULE OF FINISHES

- ① ASPHALT SHINGLE
- ② 4" HORIZONTAL CEDAR SIDING
- ③ HARDI PANEL SIDING
- ④ 6" PROFILE HARDI PLANK SIDING
- ⑤ STONE VENEER
- ⑥ PREFINISHED ALUMINUM PICKET GUARDRAIL



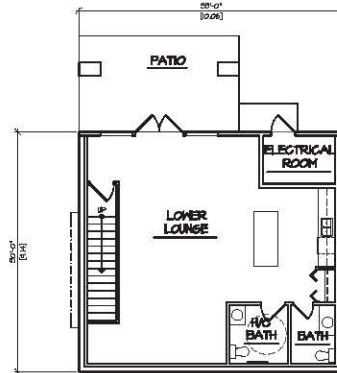
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0" 1,05 S.F.



LOWER FLOOR PLAN

SCALE: 1/8" = 1'-0" 990 S.F.

CLIENT :	T.M. CREST 2007 LTD.
PROJECT :	60 UNIT TOWNHOUSE PROJECT
DATE :	2/6/2022 5:54 PM
SCALE :	1/8" = 1'-0"
PROJECT :	2462/02 55 ST & 1562251 MTHVIEW DR.
SHEET :	CONCRETE AMENITY BUILDINGS

barnett denbek
ARCHITECTS INC.

UNIT 130,
7336 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 587-7100
FAX: (604) 587-2089
EMAIL: mal@barnettbd.com

AMENITY BLDG
2006 S.F.

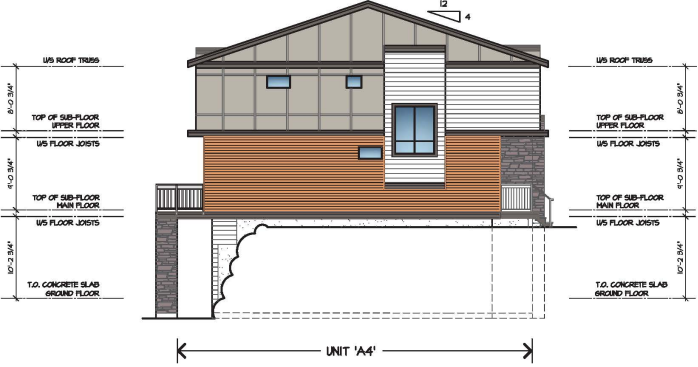
CLIENT NO.	SHEET NO.
PROJECT NO.	AC-2A
14022	REV. NO.

DISCLAIMER: ALL DIMENSIONS AND THE WORKED DIMENSIONS THEREOF ARE THE SOLE PROPERTY OF BARNETT DEMBEK ARCHITECTS INC. AND MAY NOT BE USED WITHOUT THE WRITTEN PERMISSION OF BARNETT DEMBEK ARCHITECTS INC. PURCHASED DIMENSIONS SHALL BE USED UNLESS OTHERWISE SPECIFIED. BARNETT DEMBEK ARCHITECTS INC. IS NOT RESPONSIBLE FOR ANY CONVERSION ERRORS OR MATERIAL FROM CANADA. COPYRIGHT © B.S.C. 2018.



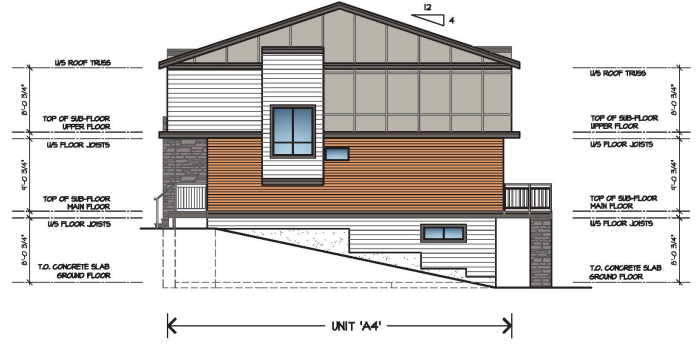
- CEDAR SIDING
- CULTURED STONE GREU PRO-FIT LEDGESTONE
- CLOVERDALE PAINT CA206 WESTERN SADDLE
- CLOVERDALE PAINT CA025 PUTTY
- FEACHES 'N CREAM
- CLOVERDALE PAINT CA228 AUTUMN MAPLE

SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



SCHEDULE OF FINISHES

- ① ASPHALT SHINGLE
- ② 4" HORIZONTAL CEDAR SIDING
- ③ HARDI PANEL SIDING C/M 1" x 3" BATTENS OVER JOINTS
- ④ 6" PROFILE HARDI PLANK SIDING
- ⑤ STONE VENEER
- ⑥ PREFINISHED ALUMINUM PICKET GUARDRAIL
- ⑦ 6"x6" PRESSURE TREATED WOOD POST
- ⑧ 1" x 3" HARDI WINDOW TRIM



WEST ELEVATION
SCALE: 1/8" = 1'-0"

EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

ISSUE NO.	BY	DATE	ISSUE

C22-011.dwg

DESIGN: H.C.	DRAWN: J.L.	DATE: JUL 15	SCALE: 1/8" = 1'-0"
CLIENT: T.M. CREST 2007 LTD.			
PROJECT: 66 UNIT TOWNHOUSE PROJECT			
2462/92 156 ST & 156/25/51 MTNVIEW DR.			
SHEET CONTENTS: ELEVATIONS			

barnett dembek
ARCHITECTS INC.

UNIT 135
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mol@barnett.com

BUILDING 1
UNIT # 45 - 52

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
14022	AC-4.1

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NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES	
①	ASPHALT SHINGLE
②	4" HORIZONTAL CEDAR SIDING
③	HARDI PANEL SIDING CM 1" x 3" BATTERS OVER JOINTS
④	6" PROFILE HARDI PLANK SIDING
⑤	STONE VENEER
⑥	PREFINISHED ALUMINUM PICKET GUARDRAIL
⑦	6x6" PRESSURE TREATED WOOD POST
⑧	1" x 3" HARDI MIMDOW TRIM



WEST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



CEDAR SIDING	
CULTURED STONE GREY PRO-FT LEDGESTONE	
CLOVERDALE PAINT GAZOS WESTERN SADDLE	
CLOVERDALE PAINT CAOTS PUTTY	
PEACHES N CREAM	
CLOVERDALE PAINT T841 PRAIRIE NIGHT	

NO.	DATE	BY	CHKD	REV

CLIENT :	T.M. CREST 2007 LTD.
NO. :	
REVISION :	
DATE :	2016/02/26 5:51
SCALE :	1/8" = 1'-0"
PROJECT :	640 UNIT TOWNHOUSE PROJECT 2060/02 56 ST & 156/25/51 MTNVIEW DR.
SHEET :	CONCRETE ELEVATIONS

barnett dankb
 ARCHITECTS INC.
 UNIT 130,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8

PHONE: (604) 587-7100
 FAX: (604) 587-2089
 EMAIL: mtd@barnett.com

BLDG 6
UNIT # 32 - 37

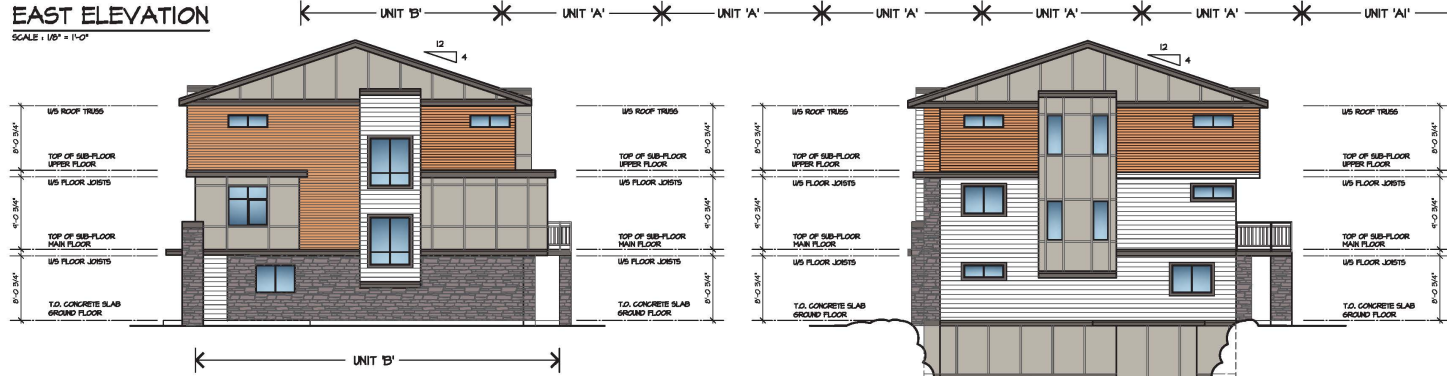
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
14022	AC-4.6

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ISSUED FOR	BY	DATE	ISSUE



EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

NORTH ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① ASPHALT SHINGLE
- ② 4" HORIZONTAL CEDAR SIDING
- ③ HARDI PANEL SIDING C/M 1" x 3" BATTENS OVER JOINTS
- ④ 6" PROFILE HARDI FLANK SIDING
- ⑤ STONE VENEER
- ⑥ PREFINISHED ALUMINUM PICKET GUARDRAIL
- ⑦ 6"x6" PRESSURE TREATED HOOD POST
- ⑧ 1" x 3" HARDI WINDOW TRIM

CEDAR SIDING	
CULTURED STONE GREY PRO-FIT LEDGESTONE	
CLOVERDALE PAINT CA206 WESTERN SADDLE	
CLOVERDALE PAINT CA073 PUTTY	
PEACHES N CREAM	
CLOVERDALE PAINT CA166 WESTERN JUNIPER	



WEST ELEVATION
SCALE: 1/8" = 1'-0"

C23-B11.dwg

DESIGN :	DRAWN :	DATE :	SCALE :

CLIENT : T.M. CREST 2007 LTD.
PROJECT : 60 UNIT TOWNHOUSE PROJECT
2462/92 156 ST & 156/25/51 MTN-VIEW DR.
SHEET CONTENTS : ELEVATIONS

barnett dembok
ARCHITECTS LTD.

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mbd@barnett-dembok.com

BUILDING 7
UNIT # 38 - 44

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
14022	AC-4.7

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NO.	DATE	BY	CHKD



NO.	DATE	BY	CHKD

CLIENT : T.M. CREST 20071 LTD.
 PROJECT : 60 UNIT TOWNHOUSE PROJECT
 2962/02 55 ST & 156225/1 MTNVIEW DR.
 SHEET CONCRETE ELEVATIONS

barnett danbark
 ARCHITECTURE INC.

UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8

PHONE: (604) 587-7100
 FAX: (604) 587-2089
 EMAIL: mail@barnettinc.com

CLIENT NO. SHEET NO.
 PROJECT NO. AC-4.2
 14022 REV. NO.



EAST ELEVATION
 SCALE: 1/8" = 1'-0"



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① ASPHALT SHINGLE
- ② 4" HORIZONTAL CEDAR SIDING
- ③ HARDI PANEL SIDING ON 1" X 3" BATTERS OVER JOISTS
- ④ 6" PROFILE HARDI PLANK SIDING
- ⑤ STONE VENEER
- ⑥ PREFINISHED ALUMINUM PICKET GUARDRAIL
- ⑦ 6"x6" PRESSURE TREATED WOOD POST
- ⑧ 1" x 3" HARDI MINDON TRIM



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



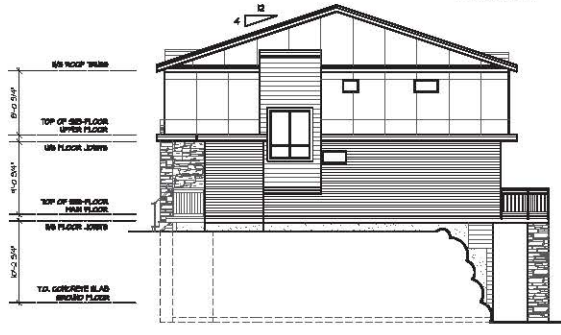
WEST ELEVATION
 SCALE: 1/8" = 1'-0"

BLDG 2
UNIT # 53 - 58

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WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

- SCHEDULE OF FINISHES**
- ① ASPHALT SHINGLE
 - ② 4" HORIZONTAL CEDAR SIDING
 - ③ HARDI PANEL SIDING CAM 1" x 9" BATTENS OVER JOISTS
 - ④ 6" PROFILE HARDI PLANK SIDING
 - ⑤ STONE VENEER
 - ⑥ PREFINISHED ALUMINUM PICKET GUARDRAIL
 - ⑦ 6"x6" PRESSURE TREATED WOOD POST
 - ⑧ 1" x 3" HARDI WINDOW TRIM



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

NO.	DATE	BY	CHKD

CLIENT :	T.M. CREST 2007 LTD.
PROJECT :	60 UNIT TOWNHOUSE PROJECT
DATE :	2/16/2012
SCALE :	1/8" = 1'-0"
BARNETT DANKER ARCHITECTS INC.	

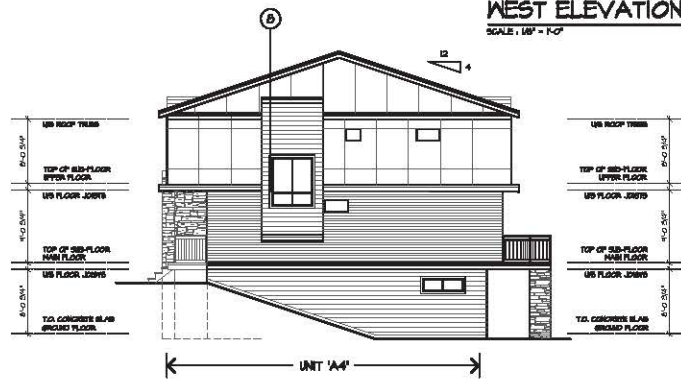
barnett danker	
ARCHITECTS INC.	
UNIT 130, 7536 130 STREET, SURREY, B.C. V3W 1H8	
PHONE:	(604) 587-7100
FAX:	(604) 587-2089
EMAIL:	mail@barnett-danker.com
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
14022	AC-4.3

BLDG 3
UNIT # 59 - 63

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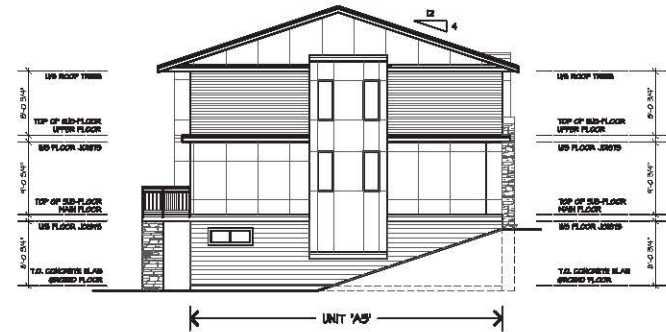


WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES	
①	ASPHALT SHINGLE
②	4" HORIZONTAL CEDAR SIDING
③	HARDI PANEL SIDING C/M 1" x 3" BATTERS OVER JOINTS
④	6" PROFILE HARDI FLANK SIDING
⑤	STONE VENEER
⑥	PREFINISHED ALUMINUM PICKET GUARDRAIL
⑦	6 3/8" PRESSURE TREATED WOOD POST
⑧	1" x 3" HARDI WINDOW TRIM



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

REV	DATE	BY	CHKD	APP

CLIENT :	T.M. CREST 2007 LTD.
DESIGN :	NO.
PROJECT :	60 UNIT TOWNHOUSE PROJECT
DATE :	2/6/2012
SCALE :	1/8" = 1'-0"
SHEET CONTENTS	
ELEVATIONS	

barnett dambek
ARCHITECTS INC. 1111
UNIT 130,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 587-7100
FAX: (604) 587-2089
EMAIL: mail@barnettd.com

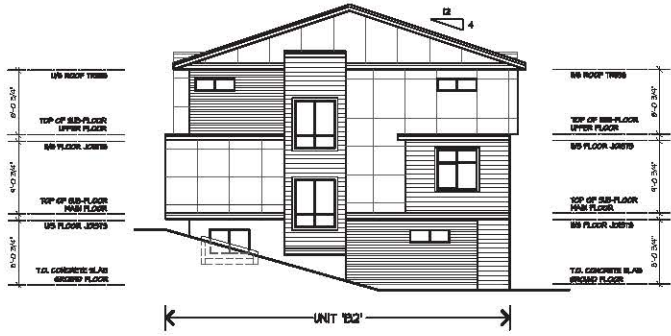
BLDG 4
UNIT # 64 - 66

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
14022	AC-4A

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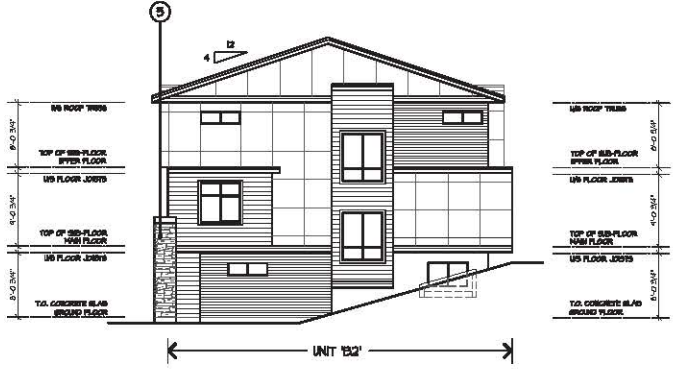


NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES	
①	ASPHALT SHINGLE
②	4" HORIZONTAL CEDAR SIDING
③	HARDI PANEL SIDING C/M 1" x 5" BATTENS OVER JOINTS
④	6" PROFILE HARDI PLANK SIDING
⑤	STONE VENEER
⑥	PREFINISHED ALUMINUM PICKET GUARDRAIL
⑦	6"x6" PRESSURE TREATED WOOD POST
⑧	1" x 3" HARDI WINDOW TRIM



WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

NO.	DATE	BY	CHKD	APP'D

CLIENT: T.M. CREST 2007 LTD.
PROJECT: 600 UNIT TOWNHOUSE PROJECT
25602/02 256 ST & 15622/51 MTNVIEW DR.
SHEET CONCRETE ELEVATIONS

barnett dank
ARCHITECTS INC.

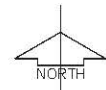
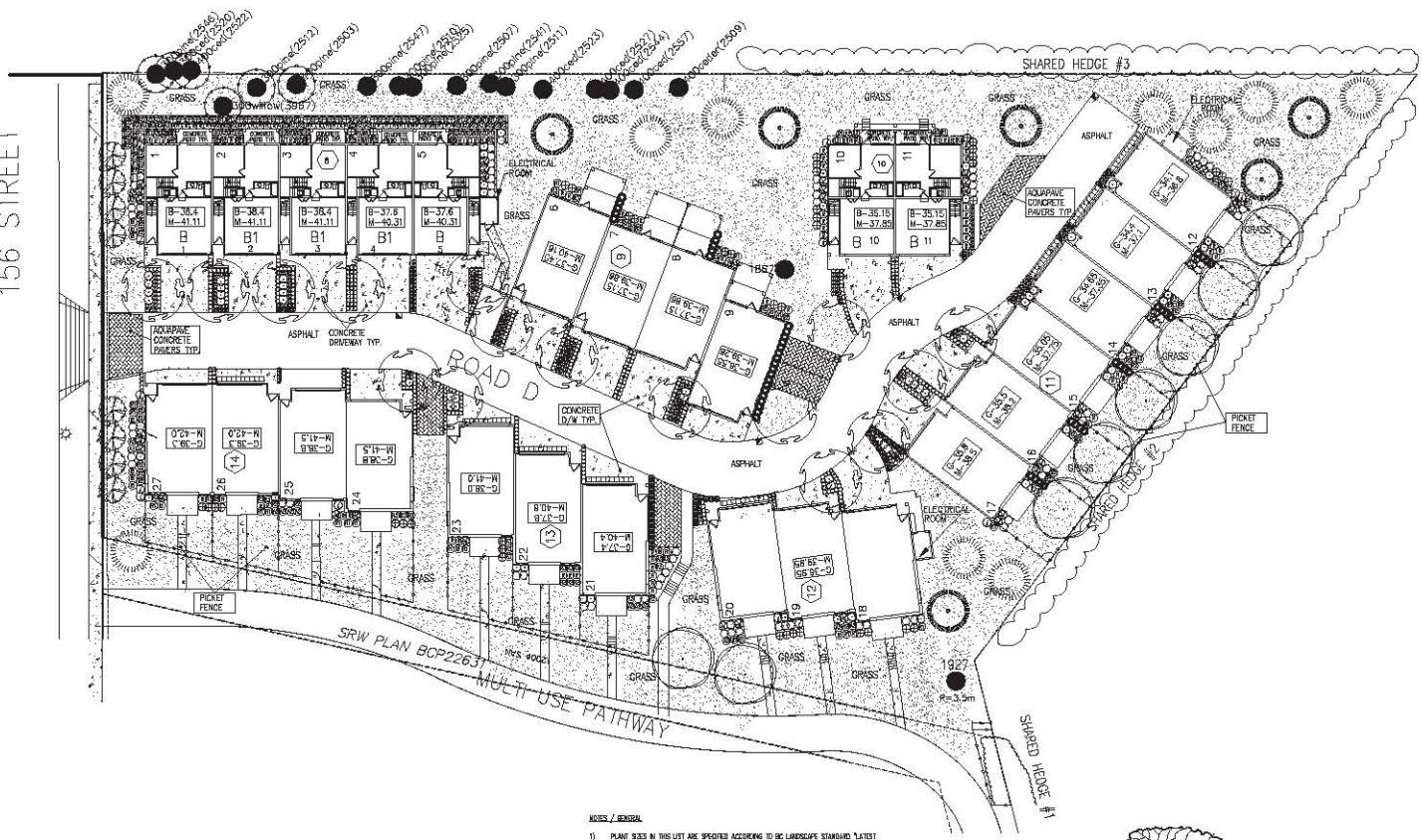
UNIT 130,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 587-7100
FAX: (604) 587-2089
EMAIL: mail@barnett-dank.com

BLDG 14
UNIT # 24 - 27

SHEET NO. AC-4.14
PROJECT NO. 14022
REV. NO.

156 STREET



LEGEND

- = TREES TO BE RETAINED
- ✕ = TREES TO BE REMOVED
- = PROTECTION BARRIER

04/15	revised site plan	2
July/15	revised site plan	1
DATE	ISSUED	NO.

C.KAVOLINAS & ASSOCIATES INC
 BCLSA CBLA
 2462 JENNIFER COURT
 AUSTIN, TEXAS 78746
 PHONE (804) 857-3378

CLIENT
 TM CREST
 c/o BARNETT DENBER ARCHITECTS
 7535 - 132 STREET
 SURREY, B.C.
 V0W 1R8

TITLE
 PLAN VIEW
 LANDSCAPE PLAN
 PROPOSED
 TOWNHOUSE DEVELOPMENT
 2802 - 156 STREET
 SURREY, B.C.

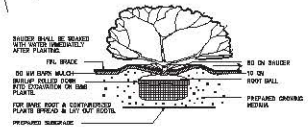
SCALE	1:250	DATE	MAR/15
DRAWN	DAVD	CHECKED	DAVD
DATE	04/15	APP'D	CS BULL

PROJECT	JOB No.
DRAWING No.	L-1

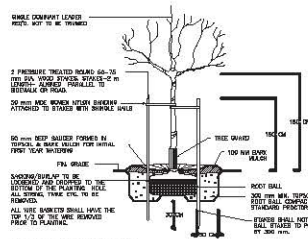
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○	PRUNUS SERRULATA AMANOGAWA	AMANOGAWA CHERRY	8	6 CM CAL.	AS SHOWN	B. & B.
○	PRUNUS YEDOENSIS 'AKESONO'	DAYBARK CHERRY	15	8 CM CAL.	AS SHOWN	B. & B.
○	CORDON FLORIDA 'TUBURKI'	RED FLOWERING DOGWOOD	8	9 CM CAL.	AS SHOWN	B. & B.
○	TSUNIA HETEROPHYLLA	WESTERN HEMLOCK	6	3.00 METERS	AS SHOWN	B. & B.
○	THUJA PLICATA	WESTERN RED CEDAR	10	3.00 METERS	AS SHOWN	B. & B.
○	AZALEA JAPONICA 'NIMO CRIMSON'	CRIMSON AZALEA	80	43 POT	80 CM O.C.	
○	AZALEA NORTHERN LIGHTS 'MANDARIN LIGHTS'	NORTHERN LIGHTS AZALEA	7	43 POT	80 CM O.C.	
○	AZALEA NORTHERN LIGHTS 'ORCHID LIGHTS'	NORTHERN LIGHTS AZALEA	28	43 POT	80 CM O.C.	
○	ABELIA 'EMERALD BANNER'	EMERALD GOUTHER ABELIA	53	43 POT	80 CM O.C.	
○	BIJOUX 'MAGNIFALLA WATER CEM'	ASHUR BIRCHWOOD	303	43 POT	45 CM O.C.	
○	HYDRANGEA 'NAGORNYLLA 'NIMO BLUE'	HYDRANGEA	36	43 POT	80 CM O.C.	
○	SPIRAEA 'MORFONICA SHANGHAI'	SHANGHAI SPIRAEA	40	43 POT	80 CM O.C.	
○	ROSA 'EXPLORER HENRY HUDSON'	EXPLORER ROSE	16	43 POT	80 CM O.C.	
○	RHOODODENDRON 'CUMMINGS WHITE'	RHOODODENDRON	88	43 POT	80 CM O.C.	
○	RHOODODENDRON 'PINKY'	RHOODODENDRON	63	43 POT	80 CM O.C.	
○	RHOODODENDRON 'COTTON CANDY'	RHOODODENDRON	88	43 POT	80 CM O.C.	
○	RHOODODENDRON 'FLAM'	RHOODODENDRON	28	43 POT	80 CM O.C.	
○	STRONGA 'VILLOSA' 'MICHEL BUCHNER'	LILAC	16	43 POT	80 CM O.C.	
○	PRUNUS LAURICINERASIS 'OTTO LUYKEN'	OTTO LAUREN LAUREL	50	43 POT	85 M. O.C.	
○	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	30	1.80 METERS	45 M. O.C.	
○	ERICA 'DARNEA 'MYRTICOLA PINK'	HEATHER	20	43 POT	30 CM O.C.	
○	LAURUNCIAL 'ANGUSTIFOLIA 'MUNSTEAD'	LAVENDER	29	43 POT	45 CM O.C.	
○	NESSLELLA 'TAMISSIMA'	MEDICAN FEATHER GRASS	181	43 POT	45 CM O.C.	

NOTES / GENERAL

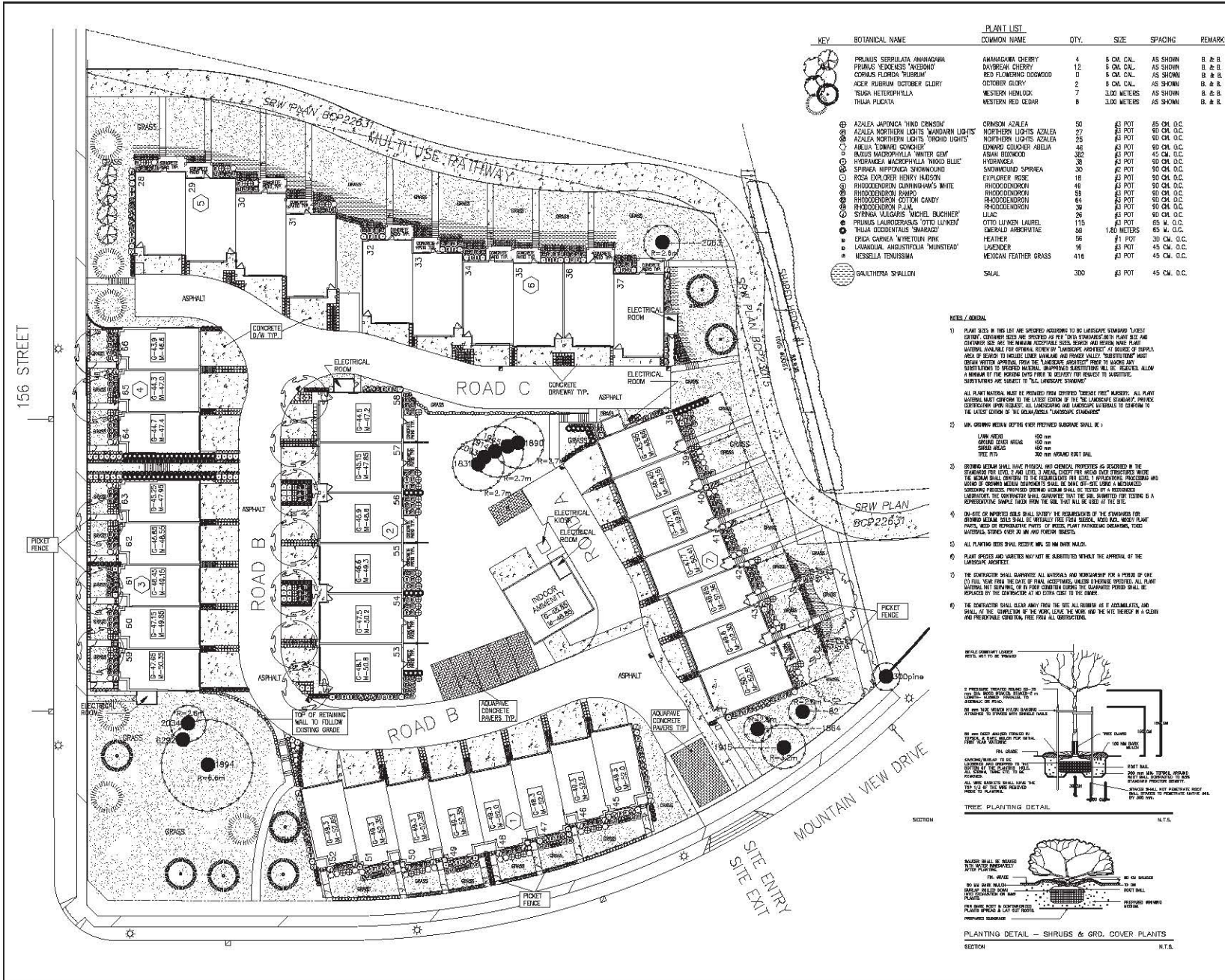
- PLANT SPECIES IN THIS LIST ARE SPECIFIED ACCORDING TO THE LANDSCAPE STANDARDS 'LATEST EDITION'. COMMON SPECIES ARE SPECIFIED AS PER 'DATA STANDARDS' WITH PLANT SIZE AND CONTAINER SIZE AND THE MINIMUM ACCEPTABLE SOILS. SEARCH AND REVIEW MUST BE MADE. MATERIAL AVAILABLE FOR OFFICIAL REVIEW BY "LANDSCAPE ARCHITECT" AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. "SUBSTITUTIONS" MUST BE IN WRITING APPROVAL FROM THE "LANDSCAPE ARCHITECT" PRIOR TO MAKING ANY SUBSTITUTIONS TO SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF TWO WORKING DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO THE LANDSCAPE STANDARDS.
- ALL PLANT MATERIAL MUST BE PROVIDED FROM APPROVED TREE/RUBBER TREES. ALL PLANT MATERIAL MUST CONFORM TO THE LATEST EDITION OF THE "NO. LANDSCAPE STANDARDS". PROVIDE CERTIFICATION FOR SOURCE. ALL LANDSCAPE MATERIALS TO CONFORM TO THE LATEST EDITION OF THE BC/LA "LANDSCAPE STANDARDS".
- MIN. GROWING MEDIUM DEPTH OVER PREPARED SUBGRADE SHALL BE:
 - LAWN AREAS 300 mm
 - GRASS COVER AREAS 400 mm
 - SERIES AREAS 400 mm
 - TREE RTS 300 mm RADIUS ROOT BALL
- GROUND MEDIUM SHALL HAVE PHYSICAL AND CHEMICAL PROPERTIES AS DESCRIBED IN THE STANDARDS FOR LEVEL 2 AND LEVEL 3 AREAS EXCEPT FOR AREAS OVER STRUCTURES. INSIDE THE MEDIUM SHALL CONFORM TO THE REQUIREMENTS FOR LEVEL 1 APPLICATIONS. PROCESSING AND WORK OF GROWING MEDIUM COMPONENTS SHALL BE DONE OFF-SITE USING A RECOGNIZED OPERATING PROCESS. PROPOSED GROWING MEDIUM SHALL BE TESTED BY A RECOGNIZED LABORATORY. THE CONTRACTOR SHALL GUARANTEE THAT THE SOIL, SUBMITTED FOR TESTING IS A REPRESENTATIVE SAMPLE TAKEN FROM THE SOIL THAT WILL BE USED AT THE SITE.
- ON-SITE OR IMPORTED SOILS SHALL SATISFY THE REQUIREMENTS OF THE STANDARDS FOR GROWING MEDIUM. SOILS SHALL BE VIRTUALLY FREE FROM SALINITY, WEED INCL. WEEDY PLANT PARTS, AND OR REPRODUCTIVE PARTS OF WEEDS. PLANT PATHOGENIC ORGANISMS, TOXIC MATERIALS, STORES OVER 40 MM AND FOREIGN OBJECTS.
- ALL PLANTING BEDS SHALL RECEIVE 50L SOIL MIX MEDIUM.
- PLANT SPECIES AND VARIETIES MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE. UNLESS OTHERWISE SPECIFIED, ALL PLANT MATERIAL NOT BARRING, OR IN STOCK CONDITION DURING THE GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT HIS OWN COST TO THE OWNER.
- THE CONTRACTOR SHALL CLEAR ANY FROM THE SITE ALL RUBBER AS IT ACCUMULATES AND SHALL, AT THE COMPLETION OF THE WORK, LEAVE THE WORK AND THE SITE NEATLY IN A CLEAN AND PRESENTABLE CONDITION, FREE FROM ALL OBSTRUCTIONS.



PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS SECTION N.T.S.



TREE PLANTING DETAIL SECTION N.T.S.



KEY	BOTANICAL NAME	PLANT LIST COMMON NAME	QTY.	SIZE	SPACING	REMARKS
⊙	PRUNUS SERPULATA 'AMANAGAWA'	AMANAGAWA CHERRY	4	8 CM CAL.	AS SHOWN	B & B
⊙	PRUNUS 'EXCELSA' 'AWESOME'	SANBROOK CHERRY	12	8 CM CAL.	AS SHOWN	B & B
⊙	CORNUS FLORIDA 'RUBRUM'	RED FLOWERING DOGWOOD	0	8 CM CAL.	AS SHOWN	B & B
⊙	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY	2	8 CM CAL.	AS SHOWN	B & B
⊙	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	7	3.00 METERS	AS SHOWN	B & B
⊙	THUJA PLICATA	WESTERN RED CEDAR	8	3.00 METERS	AS SHOWN	B & B
⊙	AZALEA JAPONICA 'HIND CONSON'	CRIMSON AZALEA	80	43 POT	85 CM O.C.	
⊙	AZALEA NORTHERN LIGHTS 'MANDARIN LIGHTS'	NORTHERN LIGHTS AZALEA	27	43 POT	90 CM O.C.	
⊙	AZALEA NORTHERN LIGHTS 'ORCHID LIGHTS'	NORTHERN LIGHTS AZALEA	26	43 POT	90 CM O.C.	
⊙	ABELIA 'EDWARD COCKER'	EDWARD COCKER ABELIA	29	43 POT	90 CM O.C.	
⊙	BUXUS MACROPHYLLA 'WINTER GEM'	ASIAN BOXWOOD	302	43 POT	45 CM O.C.	
⊙	HYDRANGEA MACROPHYLLA 'MOMO BLUE'	HYDRANGEA	38	43 POT	50 CM O.C.	
⊙	SPIRAEA JAPONICA 'SNOWMOUND'	SNOWMOUND SPIRAEA	30	42 POT	90 CM O.C.	
⊙	ROSA EXPLORER 'HENRY HUDSON'	EXPLORER ROSE	18	43 POT	90 CM O.C.	
⊙	RHOODODENDRON 'DUMMINGS-BARKER'S WHITE'	RHOODODENDRON	48	43 POT	90 CM O.C.	
⊙	RHOODODENDRON 'RUMPO'	RHOODODENDRON	63	43 POT	90 CM O.C.	
⊙	RHOODODENDRON 'COTTON CANDY'	RHOODODENDRON	64	43 POT	90 CM O.C.	
⊙	RHOODODENDRON 'P.J.M.'	RHOODODENDRON	39	43 POT	90 CM O.C.	
⊙	SYRINGA 'VULGARIS' 'MICHEL BUCHNER'	LILAC	26	43 POT	90 CM O.C.	
⊙	PRUNUS LAUROCESSUS 'OTTO LANKMAY'	OTTO LANKMAY LAUREL	115	43 POT	65 W. O.C.	
⊙	THUJA OCCIDENTALIS 'SMARAGO'	EMERALD ARBORVITAE	58	1.80 METERS	AS SHOWN	
⊙	ERICA GARDNER 'WYRETAILAN PINK'	HEATHER	56	41 POT	30 CM O.C.	
⊙	LAMNARIA 'ANGUSTIFOLIA' 'MINSTEAD'	LAENDER	16	43 POT	45 CM O.C.	
⊙	HESSLEIA TENISSISSA	MEXICAN FEATHER GRASS	416	43 POT	45 CM O.C.	
⊙	GAULTHERIA SHILLON	SKAUL	300	43 POT	45 CM O.C.	

- NOTES / GENERAL**
- PLANT SIZES IN THIS LIST ARE SPECIFIED UNLESS TO BE LANDSCAPED OTHERWISE. CRITICAL SPECIES ARE SPECIFIED AS PER '2018 STANDARD PRACTICE' PLAN 302 AND COVERING AREAS ARE SPECIFIED AS PER '2018 STANDARD PRACTICE' PLAN 303. ALL MATERIALS AVAILABLE FOR OFFICIAL REVIEW BY 'LANDSCAPE ARCHITECT' AT SOURCE OF SUPPLY. AREA IS SUBJECT TO CHANGE WITHOUT NOTICE AND WITHOUT LIABILITY. 'SUBSTITUTION' MUST BE APPROVED BY THE 'LANDSCAPE ARCHITECT' PRIOR TO INSTALLATION. ANY SUBSTITUTION TO SPECIFIED MATERIALS, SPECIFICATIONS SHALL BE SUBJECT TO ALLOW A MINIMUM OF THE PROPOSED SIZES TO BE REVIEWED FOR SUITABILITY. SUBSTITUTIONS ARE SUBJECT TO 'L.C. LANDSCAPE STANDARD'.
 - WH. GROUND LEVELS ARE GIVEN PROVIDED UNLESS OTHERWISE SHOWN.

LAWN LEVEL	150 mm
GRASS COVER LEVEL	150 mm
GRADE LEVEL	150 mm
TREE PITS	300 mm UPWARD FROM B.M.
 - SPACING BETWEEN TREES SHALL BE PHYSICAL AND CHEMICAL PROPERTIES AS DESCRIBED IN THE STANDARD PRACTICE PLAN 302 AND COVERING AREAS. ALL TREES SHALL BE PLANTED WITH PROTECTIVE BARRIERS. THE WEIR SHALL CONTAIN TO BE DISAPPEARING AND SHALL BE INSTALLED PRIOR TO THE START OF WORK. ALL TREES SHALL BE PLANTED WITH PROTECTIVE BARRIERS. ALL TREES SHALL BE PLANTED WITH PROTECTIVE BARRIERS. ALL TREES SHALL BE PLANTED WITH PROTECTIVE BARRIERS. ALL TREES SHALL BE PLANTED WITH PROTECTIVE BARRIERS.
 - DATE OF IMPROVED AREAS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL PLANT MATERIAL SHALL BE STORED IN A DRY AND PROTECTED AREA. ALL PLANT MATERIAL SHALL BE STORED IN A DRY AND PROTECTED AREA. ALL PLANT MATERIAL SHALL BE STORED IN A DRY AND PROTECTED AREA. ALL PLANT MATERIAL SHALL BE STORED IN A DRY AND PROTECTED AREA.
 - ALL PLANTING SHALL BE DONE BY A QUALIFIED PERSONNEL. ALL PLANTING SHALL BE DONE BY A QUALIFIED PERSONNEL. ALL PLANTING SHALL BE DONE BY A QUALIFIED PERSONNEL. ALL PLANTING SHALL BE DONE BY A QUALIFIED PERSONNEL.
 - THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF PLANTING. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF PLANTING. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF PLANTING.
 - THE CONTRACTOR SHALL CLEAR AROUND THE SITE ALL OBSTACLES AS IT APPLICABLE AND SHALL AT THE COMPLETION OF THE WORK LEAVE THE WORK AND THE SITE THEREOF IN A CLEAN AND PRACTICE CONDITION, FREE FROM ALL OBSTRUCTIONS.

LEGEND

- = TREES TO BE RETAINED
- ⊙ = TREES TO BE REMOVED
- = PROTECTION BARRIER

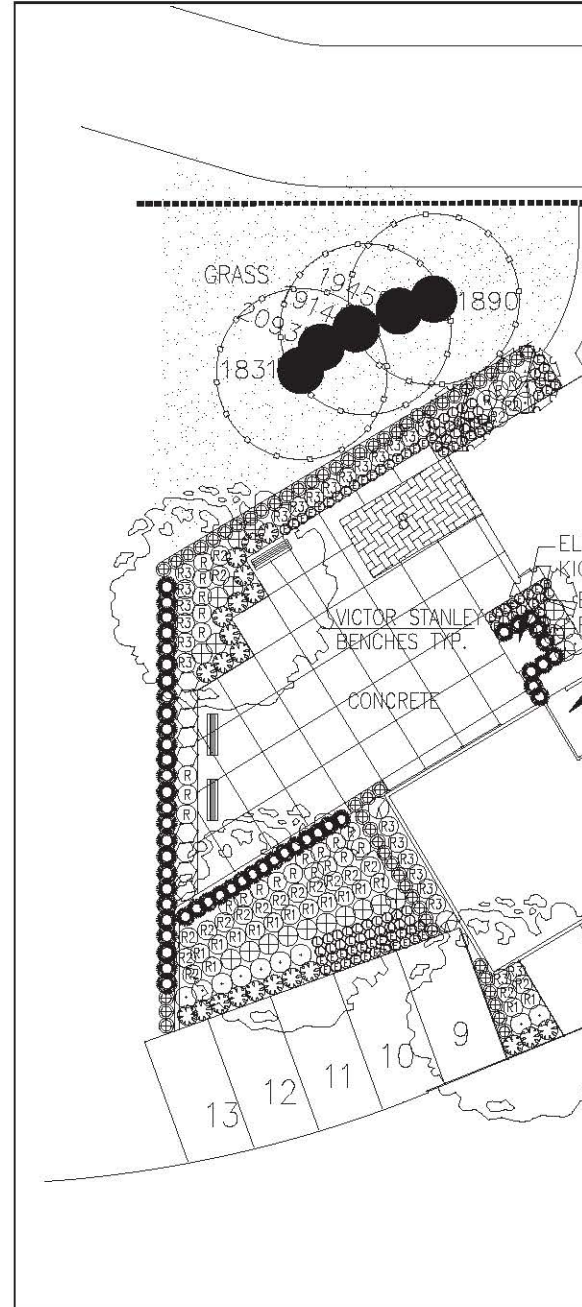
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2	07/15/16	revised site plan
3	07/15/16	revised site plan
4	07/15/16	revised site plan
5	07/15/16	revised site plan

KAWILINAS & ASSOCIATES INC.
 INC. A.S.A.
 2442 JUNCTION COURT
 ABBOTSFORD, B.C.
 V3J 3B8
 PHONE (604) 857-2376

CLIENT
 TM CREST
 c/o BARNETT DESIGN ARCHITECTS
 SUITE #133
 7518 - 130 STREET
 SURREY, B.C.
 V4N 1H8

TITLE
 PLAN VIEW
 LANDSCAPE PLAN
 PROPOSED
 TOWNHOUSE DEVELOPMENT
 13651 - 13625 MOUNTAIN VIEW DRIVE
 SURREY, B.C.

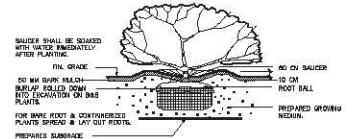
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BY	DWB	PROJECT	AS SHOWN
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BY	DWB	PROJECT	AS SHOWN
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BY	DWB	PROJECT	AS SHOWN



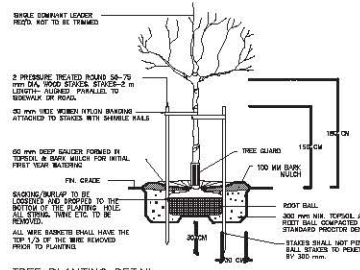
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
⊕	PRUNUS SERRULATA AMANAGAWA	AMANAGAWA CHERRY	4	6 CM. CAL.	AS SHOWN	B. & B.
⊖	ACER RUBRUM OCTOBER GLORY	OCTOBER GLORY	3	6 CM. CAL.	AS SHOWN	B. & B.
⊕	AZALEA JAPONICA 'HINO CRIMSON'	CRIMSON AZALEA	20	#3 POT	85 CM. O.C.	
⊖	ABELIA 'EDWARD GOWCHER'	EDWARD GOUCHER ABELIA	9	#3 POT	90 CM. O.C.	
⊕	ROSA EXPLORER HENRY HUDSON	EXPLORER ROSE	24	#3 POT	90 CM. O.C.	
⊕	RHODODENDRON CUNNINGHAM'S WHITE	RHODODENDRON	23	#3 POT	90 CM. O.C.	
⊕	RHODODENDRON RAMPO	RHODODENDRON	12	#3 POT	90 CM. O.C.	
⊕	RHODODENDRON COTTON CANDY	RHODODENDRON	15	#3 POT	90 CM. O.C.	
⊕	RHODODENDRON P.J.M.	RHODODENDRON	27	#3 POT	90 CM. O.C.	
⊕	SYRINGA VULGARIS 'MICHEL BUCHNER'	LILAC	2	#3 POT	90 CM. O.C.	
⊕	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	69	#3 POT	65 M. O.C.	
⊕	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	36	1.80 METERS	65 M. O.C.	
⊕	ERICA CARNEA 'MYRETOUN PINK'	HEATHER	71	#1 POT	30 CM. O.C.	
⊕	LAVANDUAL ANGUSTIFOLIA 'MUNSTEAD'	LAVENDER	42	#3 POT	45 CM. O.C.	

- NOTES & GENERAL**
- PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE LANDSCAPE STANDARD "LATEST EDITION". CONTAINER SIZES ARE SPECIFIED AS PER "DODD STANDARD" BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. SEEDS AND SEEDLINGS (WEEK PLANT) MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY "LANDSCAPE ARCHITECT" AT SOURCE OF SUPPLY. AREA OF SOILS TO BE USED FOR ANALYSIS AND PROPER "SUBSTITUTIONS" MUST BE OBTAINED FROM THE "LANDSCAPE ARCHITECT" PRIOR TO MAKING ANY SUBSTITUTIONS TO SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF THE WORKING DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO "DODD LANDSCAPE STANDARD".
 - ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED "DISEASE FREE" NURSERY. ALL PLANT MATERIAL MUST CONFORM TO THE LATEST EDITION OF THE "DODD LANDSCAPE STANDARD". PROTECT CERTIFICATION UPON REQUEST. ALL LANDSCAPING AND LANDSCAPE MATERIALS TO CONFORM TO THE LATEST EDITION OF THE "DODD LANDSCAPE STANDARD".
 - MIN. GROWING MEDIUM DEPTHS OTHER PREPARED SUBGRADE SHALL BE:

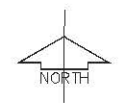
LAWN AREAS	300 mm
DRIVING COVER AREAS	450 mm
SIRUB AREAS	450 mm
TREE PITS	300 mm AROUND ROOT BALL
 - GROWING MEDIUM SHALL HAVE PHYSICAL AND CHEMICAL PROPERTIES AS DESCRIBED IN THE STANDARDS FOR LEVEL 2 AND LEVEL 3 AREAS EXCEPT FOR AREAS OVER STRUCTURES WHERE THE MEDIUM SHALL CONFORM TO THE REQUIREMENTS FOR LEVEL 1 APPLICATIONS. PROCESSING AND MIXING OF GROWING MEDIUM COMPONENTS SHALL BE DONE OFF-SITE USING A MECHANIZED SORTING PROCESS. PROPOSED GROWING MEDIUM SHALL BE TESTED BY A RECOGNIZED LABORATORY. THE CONTRACTOR SHALL GUARANTEE THAT THE SOIL SUBMITTED FOR TESTING IS A REPRESENTATIVE SAMPLE TAKEN FROM THE SOIL THAT WILL BE USED AT THE SITE.
 - ON-SITE OR IMPORTED SOILS SHALL SATISFY THE REQUIREMENTS OF THE STANDARDS FOR GROWING MEDIUM. SOILS SHALL BE NATURALLY FREE FROM SEEDS, WOOD WILK, ROCKY PLANT PARTS, NEEDS OR REPRODUCTIVE PARTS OF WEEDS, PLANT PATHOGENIC ORGANISMS, TOAD MATERIALS, STONES OVER 30 MM AND FOREIGN OBJECTS.
 - ALL PLANTING BEDS SHALL RECEIVE MIN. 50 MM BARK MULCH.
 - PLANT SPECIES AND VARIETIES MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 - THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED. ALL PLANT MATERIAL NOT SURVIVING OR IN POOR CONDITION DURING THE GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
 - THE CONTRACTOR SHALL CLEAR PLOTS FROM THE SITE. ALL RUBBISH IS TO BE ACCUMULATED, AND SHALL, AT THE COMPLETION OF THE WORK, LEAVE THE WORK AND THE SITE THEREIN IN A CLEAN AND PRESENTABLE CONDITION, FREE FROM ALL OBSTRUCTIONS.



PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS
SECTION N.T.S.



TREE PLANTING DETAIL
SECTION N.T.S.



LEGEND

- = TREES TO BE RETAINED
- ⊖ = TREES TO BE REMOVED
- ⊕ = PROTECTION BARRIER

04/15	revised site plan	2
July/15	revised site plan	1
DATE	REVISION	NO.

SKAVOLINAS & ASSOCIATES INC.
BCSA CISA
2482 JONGUL COURT
ABBOTSFORD, B.C.
V3E 2E3
PHONE: (604) 857-2376

CLIENT
TM CREST
c/o BARNETT DESIGN ARCHITECTS
SUITE #109
7504 - 150 STREET
SURREY, B.C.
V3W 1H6

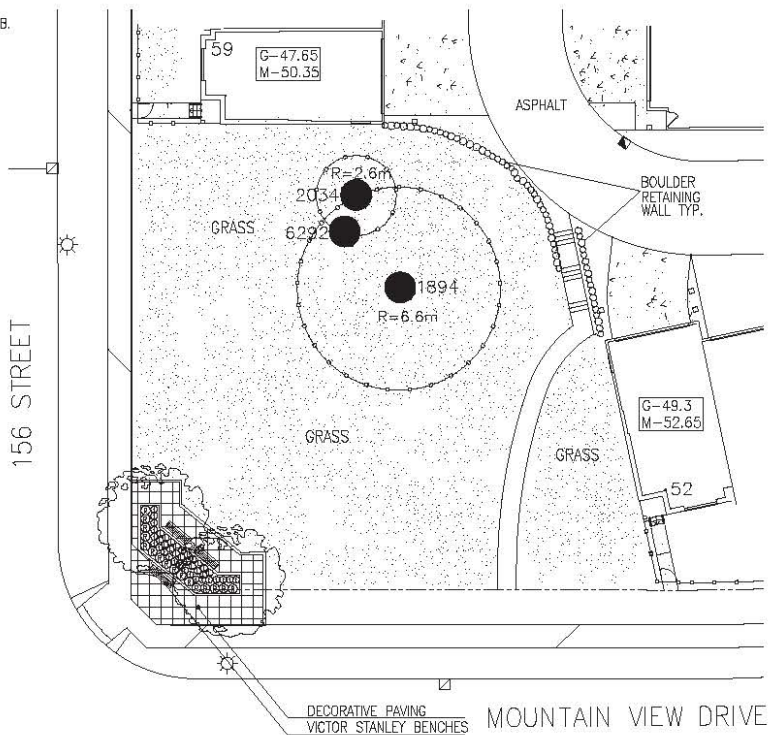
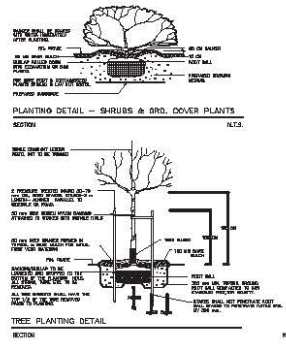
PLAN VIEW
LANDSCAPE PLAN
AMENITY AREA
TOWNSHOLE DEVELOPMENT
2982 - 2980 158 STREET
19801 - 19805 MCLELLAN VIEW DRIVE
SURREY, B.C.

SCALE 1:100	DATE MAR/15
DRAWN GMS	
CHK. GMS	
APP'D. AS G.M.T.	

PROJECT
JOB No.
DRAWING No.
L-3

PLANT LIST						
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
	CORNUS NUTTALLII 'EDDIE'S WHITE WONDER'	PACIFIC DOGWOOD	2	6 CM. CAL.	AS SHOWN	B. & B.
	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD'	LAVENDER	19	#3 POT	45 CM. O.C.	
	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REEDED GRASS	16	#3 POT	65 CM. O.C.	
	NESSSELLA TENUISSIMA	MEXICAN FEATHER GRASS	20	#3 POT	45 CM. O.C.	

- NOTES / GENERAL**
- PLANT SPECIES IN THIS LIST ARE SPECIFIED ACCORDING TO THE LANDSCAPE ARCHITECT'S SELECTED SPECIES. CONTRACTOR SHALL OBTAIN SPECIES OF THE TYPE INDICATED IN THIS LIST AND VERIFY THAT THE SPECIES IS IDENTICAL TO THE SPECIES INDICATED IN THIS LIST. CONTRACTOR SHALL OBTAIN SPECIES OF THE TYPE INDICATED IN THIS LIST AND VERIFY THAT THE SPECIES IS IDENTICAL TO THE SPECIES INDICATED IN THIS LIST. CONTRACTOR SHALL OBTAIN SPECIES OF THE TYPE INDICATED IN THIS LIST AND VERIFY THAT THE SPECIES IS IDENTICAL TO THE SPECIES INDICATED IN THIS LIST.
 - ALL PLANTING SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN HANDBOOK OF LANDSCAPE ARCHITECTURE.
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 - ALL PLANTING SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN HANDBOOK OF LANDSCAPE ARCHITECTURE.



NORTH

LEGEND

- = TREES TO BE RETAINED
- = TREES TO BE REMOVED
- = PROTECTION BARRIER

Oct/15	revised site plan	2
July/15	revised site plan	1
DATE	REVISED	NO.

KAVOLINAS & ASSOCIATES INC
SICSA SICSA

2481 JONDAI COURT
ABBOTSFORD, B.C.
V3G 2G3

PHONE (604) 857-2378

CLIENT

TM CREST
c/o BARNETT DENBER ARCHITECTS
SUITE #135
7036 - 130 STREET
SURREY, B.C.
V3R 3J8

TITLE

LANDSCAPE PLAN
CORNER FEATURE
TOWNHOUSE DEVELOPMENT
2982 - 2980 156 STREET
15621 - 15625 MOUNTAIN VIEW DRIVE
SURREY, B.C.

SCALE	1:150	DATE	MAR/15
DRAWN	DMK/S	CHECKED	
DATE		DATE	
APPROVED		DATE	

PROJECT

JOB NO.

SUBJECT NO.

L-4



EDDIE'S DOGWOOD



FEATHER RED GRASS



LAVENDER



MEXICAN FEATHER GRASS

INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **October 13, 2015** PROJECT FILE: **7814-0258-00**

RE: **Engineering Requirements
Location: 2960 and 2982 156 St.; 15625 and 15651 Mountain View Drive.**

NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- dedicate a 3 m x 3 m corner cut at Mountain View Drive;
- dedicate a 3 m x 3 m corner cut at 156 Street;
- dedicate 15.0 m width road allowance for multi-use path;
- register 0.50 m Statutory right-of-way (SRW) for inspection chambers and sidewalk maintenance (along 156 Street and Mountain View Drive frontages); and
- secure an offsite SRW for drainage corridor from the site to the Detention Pond.

Works and Services

- construct 4.00 m wide multi-use pathway, including street trees/planting;
- construct sustainable drainage features as per the NCP requirements;
- construct adequately sized storm, water, and sanitary service connections, complete with water meter and inspection chambers, to service the development;
- register applicable restrictive covenants and reciprocal access documents to service the site; and
- pay applicable storm, water and sanitary charges and levies.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Rémi Dubé, P.Eng.
Development Services Manager

MS



Thursday, November 20, 2014
 Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 14-0258-00

SUMMARY

The proposed 66 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

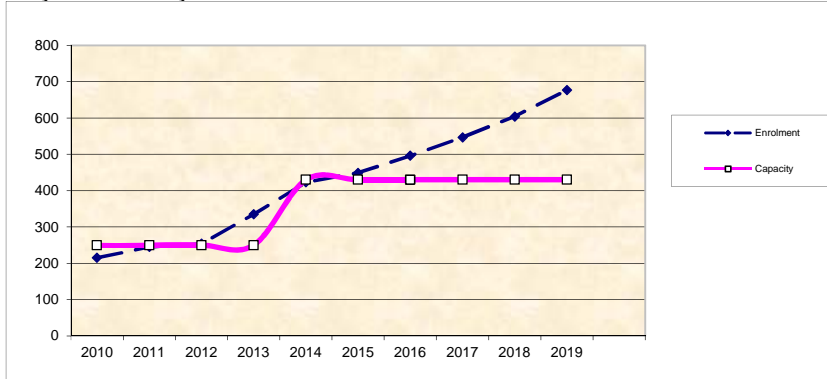
Elementary Students:	13
Secondary Students:	7

September 2014 Enrolment/School Capacity

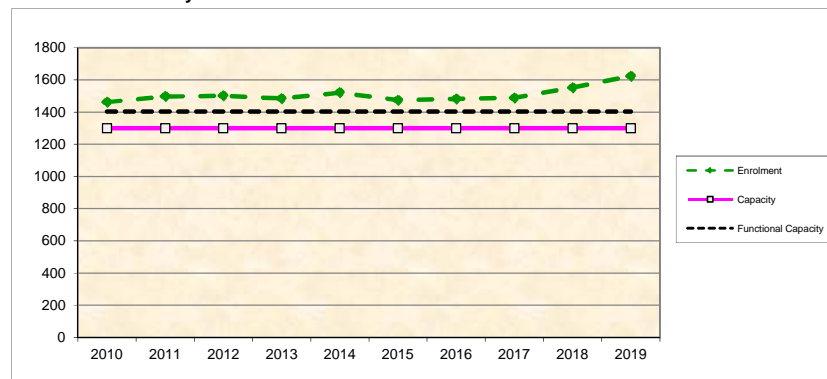
Sunnyside Elementary	
Enrolment (K/1-7):	74 K + 349
Capacity (K/1-7):	80 K + 350
Semiahmoo Secondary	
Enrolment (8-12):	1521
Nominal Capacity (8-12):	1300
Functional Capacity*(8-12):	1404

School Enrolment Projections and Planning Update:
 The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.
 Sunnyside Elementary was replaced on a new site and opened in September 2013. Boundary changes were implemented which helped relieve enrolment pressures in surrounding schools. The school district has purchased land for a new secondary school in the Grandview Area adjoining the City of Surrey future Aquatic Centre and Recreation property. The School District has submitted a proposal for a new Grandview Area Secondary school as a high priority project to the Ministry of Education. The new secondary school is subject to capital project approval by the Ministry and is needed to relieve overcrowding at Earl Marriott Secondary and Semiahmoo Secondary. Currently Sunnyside feeds Semiahmoo Secondary but the revised catchment in North Grandview Area will feed the new secondary school after it opens (estimated within five years). The projections below reflect the densities outlined in the NCP. For the 2014/15 school year there were 39 more students than projected and enrolment was up 88 students year on year. Sunnyside is now at Ministry of Education capacity.

Sunnyside Elementary



Semiahmoo Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

Table 3. Tree Preservation Summary

TREE PRESERVATION SUMMARY	
Surrey Project No:	
Address:	2982 - 2960 156 Street, and 15651 – 15625 Mountain View Drive Surrey BC
Registered Arborist:	Trevor Cox, MCIP ISA Certified Arborist (PN1920A) Certified Tree Risk Assessor (43) BC Parks Wildlife and Danger Tree Assessor
On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	74
Protected Trees to be Removed	44
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	30
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio ____ X one (1) = 0	88
- All other Trees Requiring 2 to 1 Replacement Ratio 44 X two (2) = 88	
Replacement Trees Proposed	88
Replacement Trees in Deficit	-
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio ____ X one (1) = 0	0
- All other Trees Requiring 2 to 1 Replacement Ratio X two (2) = 0	
Replacement Trees Proposed	
Replacement Trees in Deficit	0

Summary prepared and
submitted by:

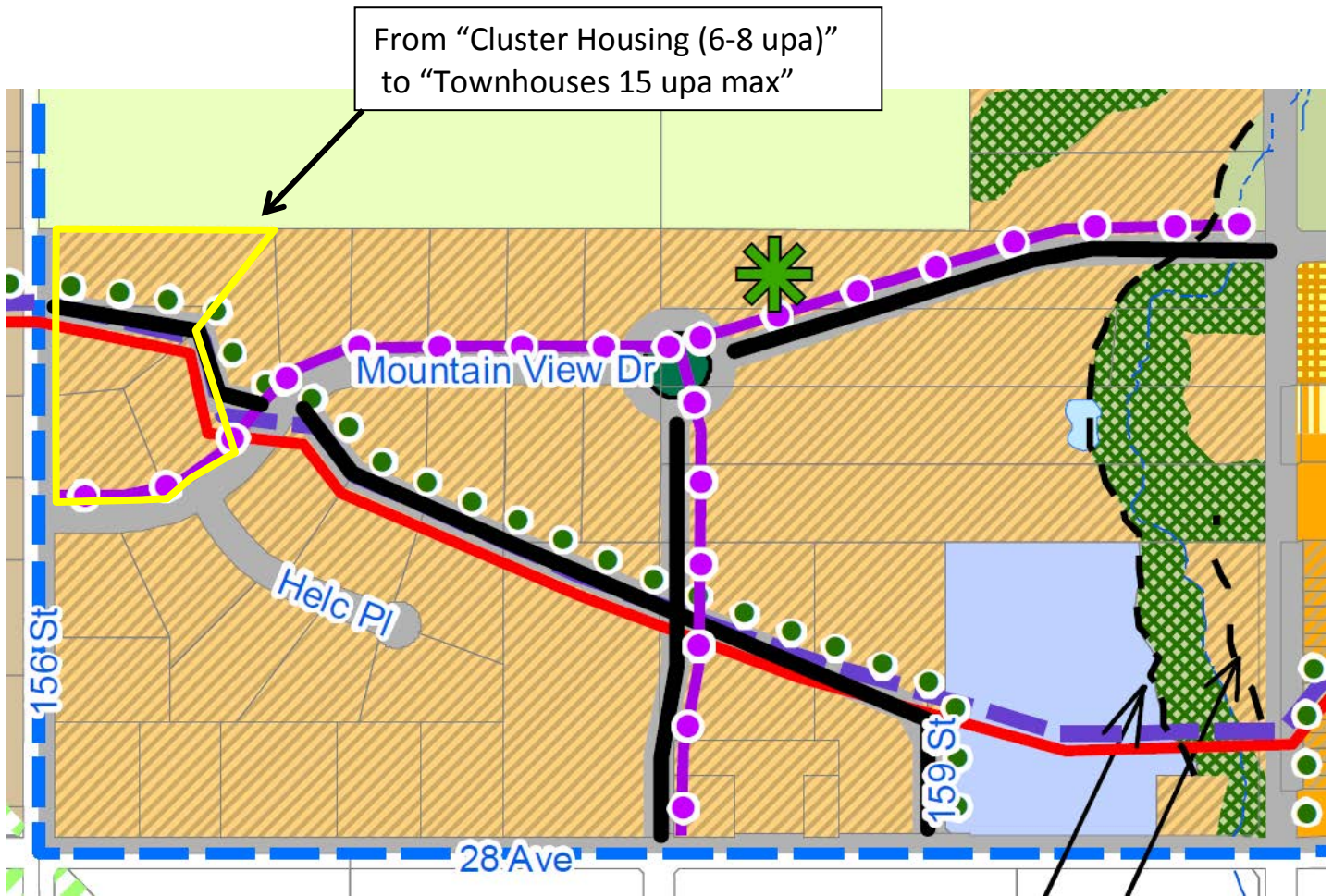
Arborist



October 8, 2015

Date

7914-0258-00 NCP Amendment Map



CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)
 TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 007-419-414
 Lot 29 Section 23 Township 1 New Westminster District Plan 36924
 15651 - Mountain View Drive

Parcel Identifier: 007-419-449
 Lot 30 Section 23 Township 1 New Westminster District Plan 36924
 15625 - Mountain View Drive

Parcel Identifier: 007-419-481
 Lot 31 Section 23 Township 1 New Westminster District Plan 36924
 2960 - 156 Street

Parcel Identifier: 007-419-503
 Lot 32 Section 23 Township 1 New Westminster District Plan 36924
 2982 - 156 Street

(hereinafter referred to as the "*Lands*")

2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of low *density, ground-oriented multiple unit residential buildings* and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design*, where *density* bonus is provided.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Ground-oriented multiple unit residential buildings.*
2. *Child care centres*, provided that such centres:
 - (a) Do not constitute a singular use on the *lot*; and
 - (b) Do not exceed a total area of 3.0 square metres [32 sq.ft.] per *dwelling unit*.

C. Lot Area

Not applicable to this Zone.

D. Density

For the purpose of *building* construction:

1. For the purpose of *building* construction in all Neighbourhood Concept Plan and Infill Areas described and outlined on the map attached as Schedule F of Surrey Zoning By-law, 1993, No. 12000, as amended, the maximum *density* shall be 1 *dwelling unit* per acre and the dimensions of the *lots* created in a subdivision shall be in accordance with Section K.1 of this Zone. The maximum *density* shall be increased to that prescribed in Section D.2 of this Zone if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.
2.
 - (a) The *floor area ratio* shall not exceed 0.87; and
 - (b) The *unit density* shall not exceed 39 *dwelling units* per hectare [16 upa].
3. The indoor *amenity space* required in Sub-section J.1 (b) of this Zone is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

The *lot coverage* shall not exceed 45%.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum setbacks:

Setback	<i>Front Yard</i> (Mountain View Drive)	<i>Rear Yard</i> (North)	<i>Side Yard</i> (East)	<i>Side Yard on Flanking Street</i> (156 Street)	<i>Setback from dedication for walkway</i>
Use					
<i>Principal Buildings and Accessory Buildings and Structures</i>	4.5 m. [15 ft.]	7.5 m.* [25 ft.]	7.5 m. [25 ft.]	4.5 m. [15 ft.]	4.0 m. [13 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

* The *rear yard* (north) *setback* may be reduced to 6.0 metres (20 ft.) for a balcony.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings:* The *building height* shall not exceed 12.5 metres [41 ft.].
2. *Accessory buildings and structures:*
 - (a) *Indoor amenity space buildings:* The *building height* shall not exceed 11 metres [36 ft.]; and
 - (b) *Other accessory buildings and structures:* The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. Resident, visitor and employee *parking spaces* shall be provided as stated in Table C. 6, Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. A minimum of fifty percent (50%) of all required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.

3. Parking within the required *setbacks* is not permitted.
4. *Tandem parking* shall be permitted as follows:
 - (a) *Parking spaces* provided as *tandem parking* must be held by the same owner;
 - (b) Access to *parking spaces* provided as *tandem parking* is not permitted within 6 metres [20 ft.] from *lot* entrances/exits; and
 - (c) The number of *tandem parking spaces* shall not exceed fifty percent (50%) of all required resident *parking spaces*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping strip* of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings, a landscaping screen, a solid decorative fence, or a combination thereof*.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*, of which a maximum of 1.5 square metres [16 sq.ft.] per *dwelling unit* may be devoted to a *child care centre*.
2. *Child care centres* shall be located on the *lot* such that these centres:
 - (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
 - (b) Have direct access to an *open space* and play area within the *lot*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
6,070 sq.m. [1.5 acres]	30 metres [100 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-15 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2014, No. 18148, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-15 Zone.

9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan*, 2013, By-law No. 18020, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING on the _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK