

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0253-00

Planning Report Date: April 27, 2015

PROPOSAL:

- **NCP Amendment** from "Cluster Housing (6-8 upa)" to "Townhouses 15 upa max" and "Single Family Small Lots"
- **Rezoning** from RA to CD (based on RM-15) and RF-12
- **Development Permit**

in order to permit the development of a 34-unit townhouse project and 9 single family small lots.

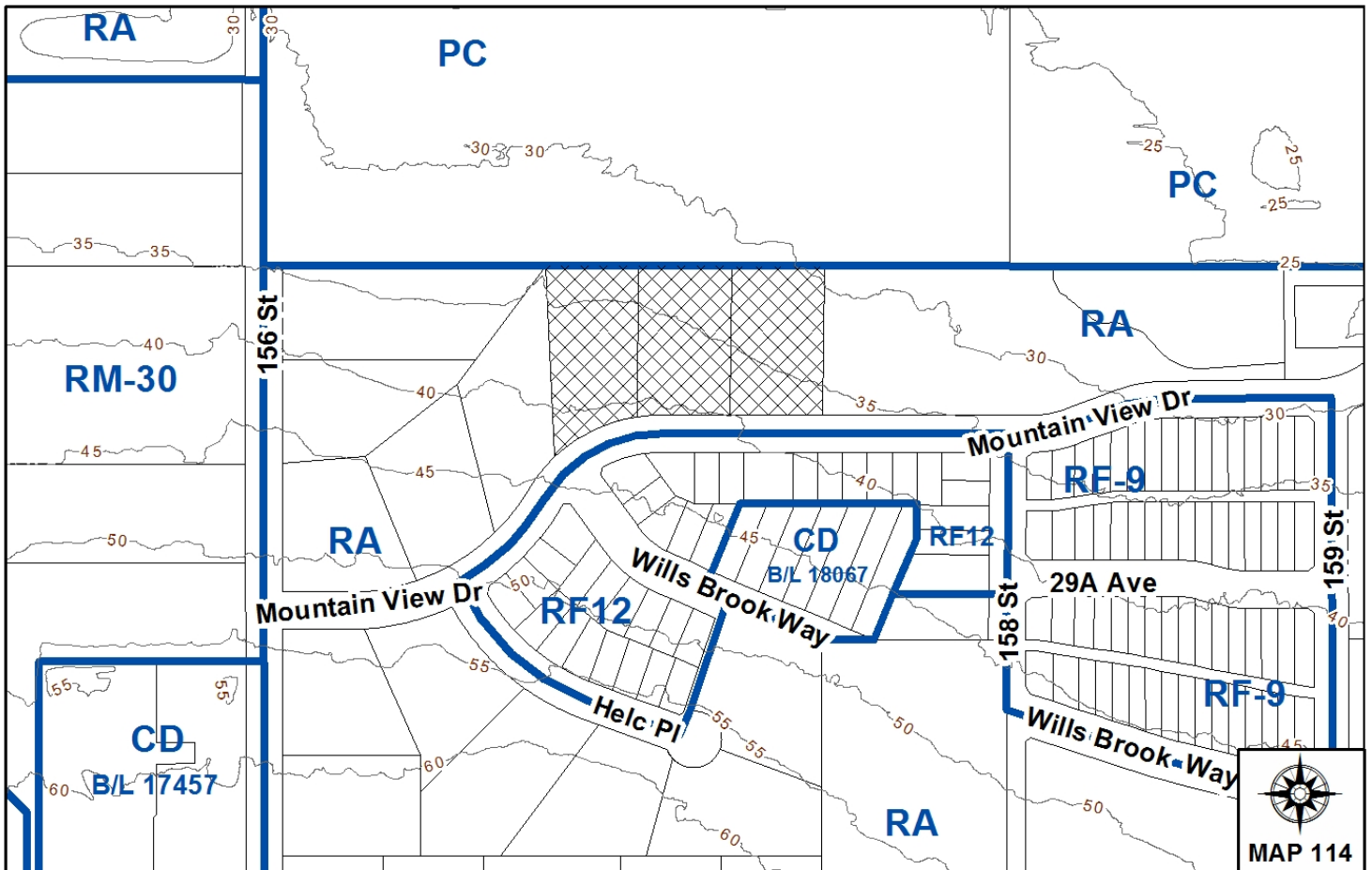
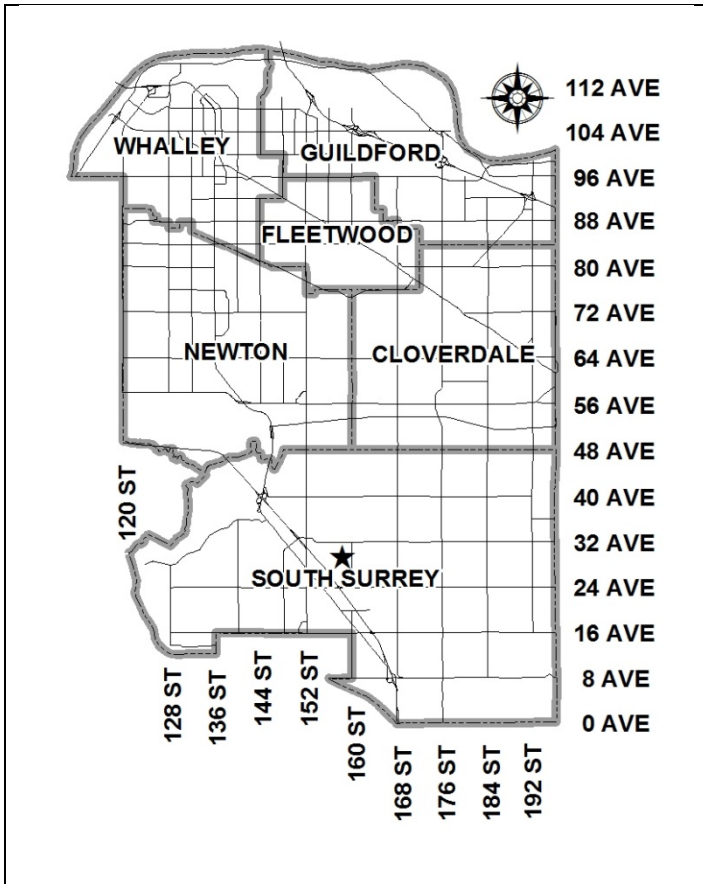
LOCATION: 15687, 15715, 15735 - Mountain View Drive

OWNER: Shi H Kim et. al.

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: Cluster Housing (6-8 upa)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning.
- Approval to draft Development Permit.
- Approval to reduce indoor amenity space.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking an NCP Amendment from "Cluster Housing (6-8 upa)" to "Townhouses 15 upa max" for the proposed townhouse portion of the site and to "Single Family Small Lots" for the proposed single family portion of the site.
- The applicant is seeking to reduce the indoor amenity space from the required 102 sq.m. (1,100 sq.ft.) to 57 sq.m. (615 sq.ft.) and pay cash-in-lieu for the shortfall.

RATIONALE OF RECOMMENDATION

- Complies with the OCP Designation.
- Since the NCP was adopted in 2005, market conditions have changed, making lower density townhouse developments less economical to develop. Many of the nearby sites that were also designated "Cluster Housing (6-8 upa)" have been amended, or are in the application process for amendment to higher densities. In addition, the development of a new elementary school (Sunnyside Elementary) in this neighbourhood has led to increased demand for denser development that are more attractive to younger families as opposed to focusing primarily on "empty-nesters" who are the main market for larger units in lower density townhouse projects.
- Nearby sites that have amended the NCP "Cluster Housing (6-8 upa)" have provided various combinations of significant on-site open space, tree retention, dedication for walkways, and park space in support of their NCP amendments. The subject site is not as heavily treed with good quality trees as were some of the nearby sites, but the applicant has worked to save many of the good quality trees that are present. The applicant has also provided on-site open space and is also proposing to provide a 5% cash-in-lieu park contribution over the entire site (single family portion and townhouse portion) which more than doubles the park contribution that would have been provided for the single family portion of the project.
- The proposed indoor amenity space shortfall is supportable given that the proposed reduced indoor amenity space is functional, with the remaining shortfall addressed through a cash-in-lieu contribution in accordance with City policy.
- The proposed form and character of the townhouses are appropriate for this area of the North Grandview Heights NCP.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone:
 - (a) Block A shown on the survey plan attached in Appendix II from "One-Acre Residential Zone (RA)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000);
 - (b) Block B shown on the survey plan attached in Appendix II from "One-Acre Residential Zone (RA)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000); and
 - (c) Block C shown on the survey plan attached in Appendix II from "One-Acre Residential Zone (RA)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000);and a date be set for Public Hearing.
2. a By-law be introduced to rezone:
 - (d) Block D shown on the survey plan attached in Appendix II from "One-Acre Residential Zone (RA)" (By-law No. 12000) to "Single Family Residential (12) Zone (RF-12)" (By-law No. 12000);
 - (e) Block E shown on the survey plan attached in Appendix II from "One-Acre Residential Zone (RA)" (By-law No. 12000) to "Single Family Residential (12) Zone (RF-12)" (By-law No. 12000);
 - (f) Block F shown on the survey plan attached in Appendix II from "One-Acre Residential Zone (RA)" (By-law No. 12000) to "Single Family Residential (12) Zone (RF-12)" (By-law No. 12000);
 - (g) Block G shown on the survey plan attached in Appendix II from "One-Acre Residential Zone (RA)" (By-law No. 12000) to "Single Family Residential (12) Zone (RF-12)" (By-law No. 12000); andand a date be set for Public Hearing.
3. Council authorize staff to draft Development Permit No. 7914-0253-00 generally in accordance with the attached drawings (Appendix II).
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;

- (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (f) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (g) the applicant adequately address the impact of reduced indoor amenity space; and
 - (h) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department.
5. Council pass a resolution to amend North Grandview Heights NCP to redesignate the proposed townhouse portion of the site from "Cluster Housing (6-8 upa)" to "Townhouses 15 upa max" and the proposed single family portion of the site to "Single Family Small Lots" when the project is considered for final adoption.

REFERRALS

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
- School District: **Projected number of students from this development:**
 15 Elementary students at Sunnyside Elementary School
 6 Secondary students at Semiahmoo Secondary School
 (Appendix IV)
 The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by October 2016.
- Parks, Recreation & Culture: No concerns.
- Surrey Fire Department: The internal drive aisle is not to exceed a 1:12.5 ratio over 15 metres. The Fire Department will confirm compliance at Building Permit Stage. The applicant advises they have met Fire Department's condition.

SITE CHARACTERISTICS

Existing Land Use: Single family residential.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North:	Gardens of Gethsemani cemetery.	Suburban/ Existing Cemetery	PC
East and West:	Single family residential.	Urban/ East: Multiple Residential (15-25 upa); West: Cluster Housing (6-8 upa)	RA
South (Across Mountain View Drive):	Single family residential.	Urban/ Cluster Housing (6-8 upa)	RF-12

JUSTIFICATION FOR PLAN AMENDMENT

- The applicant is seeking an NCP Amendment from "Cluster Housing (6-8 upa)" to "Townhouses 15 upa max" for the proposed townhouse portion of the site and to "Single Family Small Lots" for the proposed single family portion of the site.
- Since the NCP was adopted in 2005, market conditions have changed, making lower density townhouse developments less economical to develop. Many of the nearby sites that were also designated "Cluster Housing (6-8 upa)" have been amended, or are in the application process for amendment to higher densities. In addition, the development of a new elementary school (Sunnyside Elementary) in this neighbourhood has led to increased demand for denser development that are more attractive to younger families as opposed to focusing primarily on "empty-nesters" who are the main market for larger units in lower density townhouse projects.
- Nearby sites that have amended the NCP "Cluster Housing (6-8 upa)" have provided various combinations of significant on-site open space, tree retention, dedication for walkways, and park space in support of their NCP amendments. The subject site is not as heavily treed with good quality trees as were some of the nearby sites, but the applicant has worked to save many of the good quality trees that are present. The applicant has also provided on-site open space and is also proposing to provide a 5% cash-in-lieu park contribution over the entire site (single family portion and townhouse portion) which more than doubles the park contribution that would have been provided for the single family portion of the project.
- No concerns were expressed by residents in the vicinity regarding the proposed NCP amendment and rezoning.

DEVELOPMENT CONSIDERATIONS

- The subject site consists of 3 parcels located in the North Grandview Heights NCP at 15687, 15715 and 15735 - Mountain View Drive. The site is 1.2 hectares (3.1 acres) in gross area. The parcel is zoned "One-Acre Residential Zone (RA)" and is designated "Urban" in the Official Community Plan (OCP) and "Cluster Housing (6-8upa)" in the North Grandview Heights NCP.
- The subject site is bordered to the north by the Gardens of Gethsemani cemetery. There is single family residential to the east, west and south across Mountain View Drive. The parcel to the east has been designated in the NCP for "Townhouses 15-25 upa" as part of a recent development application (File No. 7911-0269-00) and the single family residential to the south is a recently completed RF-12 subdivision (File No. 7911-0287-00).
- The applicant is proposing:
 - an NCP amendment from "Cluster Housing (6-8 upa)" to "Townhouses 15 upa max" and "Single Family Small Lots";
 - a rezoning from RA to "Comprehensive Development Zone (CD)" [based on "Multiple Residential 15 Zone (RM-15)"] and to "Single Family Residential (12) Zone (RF-12)" ;
 - a Development Permit to allow for development of a 34-unit townhouse complex; and
 - a subdivision to create 1 townhouse lot and 9 RF-12 lots.
- The proposed RF-12 lots meet the area, width and depth requirements of the RF-12 Zone.

CD By-law

- The applicant is proposing a CD Zone for the townhouse portion of the site, based on the RM-15 Zone. The table below outlines the differences between the RM-15 Zone and the proposed CD Zone:

	RM-15 Zone	Proposed CD Zone
Maximum Unit Density	37 uph (15 upa)	38 uph (15 upa)
Maximum Floor Area Ratio (FAR)	0.60	0.68
Lot Coverage	45%	35%
Setbacks	7.5m (25 ft) from all property lines.	North – 6.1m (20 ft.); South – 7.0m (23 ft.); West and East – 3.0m (10 ft.).
Parking	No limit on proportion of tandem parking stalls.	Limits the proportion of tandem parking stalls to 50%.

- The CD Zone proposes a slightly higher net unit density at 38 uph (15 upa) versus 37 uph (15 upa) permitted in the RM-15 Zone. A floor area ratio (FAR) of 0.68 is proposed, which is higher than the FAR of 0.60 permitted in the RM-15 Zone.

- The CD Zone includes a maximum lot coverage of 35% which is less than the maximum lot coverage in the RM-15 Zone (45%).
- The proposed northerly setback relaxation is for the deck only as the building face is proposed to be set back at 8.0 metres (26 feet). The only neighbouring property on the north side is the existing cemetery and the proposed setback will not negatively affect the cemetery. On the south side the applicant is proposing a 7.0 metre (23 feet) setback. The townhouse units will be 2 stories at this location and will be lower than the proposed RF-12 lots to the south. The easterly and westerly side yard setbacks are a side yard condition which decreases the impact on the neighbouring properties, both of which have redevelopment potential.
- The CD zone proposes to limit the proportion of tandem parking stalls to 50%, in keeping with the recent Corporate Report (No. R053) which proposed amendments to the Zoning By-law to limit the proportion of tandem parking to 50% in the multiple residential zones. Although the applicant is not proposing any tandem parking spaces with the current proposal, they wish to secure this provision within the CD zone, in case the site plan changes in the future for an unforeseen reason.

Access, Parking & Pedestrian Circulation

- Vehicular access for the townhouse portion of the site is proposed from drive aisle that will connect to Mountain View Drive. The applicant is proposing a pathway from the townhouse site that will connect with the sidewalk on Mountain View Drive.
- The applicant is proposing to provide 68 resident parking spaces and 7 visitor parking spaces, which meets the minimum parking requirements of the Zoning By-law.

Amenity Space

- The Zoning By-law requires that 102 sq.m. (1,100 sq. ft.) of indoor amenity area and 102 sq.m. (1,100 sq. ft.) of outdoor amenity area be provided for this project, based on 3 sq.m. (32 sq. ft.) per dwelling unit.
- The applicant is proposing to provide a 57 sq.m. (615 sq.ft.) indoor amenity building that will provide a place for strata members to gather together to discuss strata matters and also provides a venue for hosting larger gatherings (ie. birthday parties). The proposed indoor amenity is located within a portion of the outdoor amenity area provided on the site.
- The proposed indoor amenity space shortfall of 45 sq.m. (485 sq.ft.) is supportable given the proposed reduced indoor amenity space is functional, with the remaining shortfall addressed through a cash-in-lieu contribution in accordance with City policy.
- The applicant is proposing to provide approximately 868 sq.m. (9,300 sq.ft.) of outdoor amenity and open space, located throughout the site. The primary goal of the open space is retention of existing mature trees, whilst also accommodating a children's play area, Frisbee golf, community gardens and lawn areas.

DESIGN PROPOSAL AND REVIEW

- The development consists of 6 townhouse buildings containing 34 dwelling units and 9 RF-12 lots. The proposed mix of townhouse units and single family lots is a function of the site's geometry, grade and the development barrier to the north (the cemetery). The RF-12 lots front onto Mountain View Drive. The townhouse complex behind (north) of the RF-12 lots is easier to service in this location than single family lots would be and eliminates the requirement for another road, which would be required if the whole site were to be developed as single family lots.
- The townhouse site's interface on Mountain View Drive is enhanced by the provision of an open space area with tree retention along the drive aisle that accesses the townhouse site.
- The positioning of the townhouse buildings was influenced by efforts to retain trees and also accommodate the grade on the site. The main east-west drive aisle follows the contours of the site.
- The exterior materials include hardi siding, shingle siding, and wood trim and hardi panel shutters. Asphalt shingles are proposed for the roof. The roof massing has been broken up and there is some articulation on the units.

ADVISORY DESIGN PANEL

The application was not referred to the ADP for review. The design and landscaping plans were reviewed by staff and found generally acceptable.

SINGLE FAMILY: DESIGN GUIDELINES AND LOT GRADING

- The applicant has retained Michael Tynan of Tynan Consulting Ltd. as the Design Consultant. The Design Consultant conducted a character study of the surrounding homes and has proposed a set of building design guidelines (Appendix V) for the single family component of the project.
- New homes will be primarily constructed in the following styles: "Neo-Traditional", or "Neo-Heritage", "Craftsman Heritage" and "Rural Heritage". Vinyl is not permitted as a cladding material and only asphalt shingles in a "shake profile" only are permitted as a roofing material.
- A preliminary lot grading plan has been prepared by Aplin Martin Consultants Ltd. and has been reviewed by staff. The plan shows areas with fill greater than 0.5 metres (1.6 feet) on the proposed site. Based on preliminary staff comments, some revisions to the proposed lot grading plan will be required prior to final approval of the proposed subdivision.

TREES AND LANDSCAPING

- Mike Fadum, ISA Certified Arborist of Mike Fadum and Associates Ltd, prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/Cottonwood	82	82	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Birch, Paper	6	6	0
Cherry, Bird	3	3	0
Cherry, Bitter	1	1	0
Locust, Black	1	1	0
Katsura	1	1	0
Maple, Bigleaf	10	10	0
Maple, Japanese	1	1	0
Maple, Paperbark	1	1	0
Plum, Yellow	1	1	0
Coniferous Trees			
Cedar, Western Red	16	10	6
Douglas-fir	11	7	4
Falsecypress	5	5	0
Fir, Grand	1	1	0
Hemlock, Western	16	15	1
Spruce, Sitka	1	1	0
Total (excluding Alder and Cottonwood Trees)	75	64	11
Total Replacement Trees Proposed (excluding Boulevard Street Trees)	121 (Maple, cypress, dogwood, spruce, cedar, etc)		
Total Retained and Replacement Trees	132		
Contribution to the Green City Fund	\$26,700		

- The Arborist Assessment states that there are a total of 75 protected trees on the site, excluding Alder and Cottonwood trees. Eighty-two (82) existing trees, approximately 52 % of the total trees on the site, are Alder and Cottonwood trees. It was determined that 11 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints and proposed lot grading.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 210 replacement trees on the site. Since only 121 replacement trees can be accommodated on the site, the deficit of 89 replacement trees will require a cash-in-lieu payment of \$26,700, representing \$300 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees, including maples, cypress, dogwood, magnolia, spruce, Japanese snowbell and Western red cedar. The applicant is also proposing a variety of shrubs and ground covers. The visitor parking stalls are proposed to be constructed with permeable pavers, and the townhouse site entryway will be marked by decorative concrete pavers.
- In summary, a total of 132 trees are proposed to be retained or replaced on the site with a contribution of \$26,700 to the Green City Fund.

PRE-NOTIFICATION

Pre-notification letters were sent on January 7, 2015. Staff received 1 email inquiry about the status of the application and no concerns were expressed. Based on the very small volume of feedback received, it was deemed that a Public Information Meeting was not required for the subject application.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on February 11, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located within the North Grandview Heights NCP.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The applicant is proposing a mix of townhouse units and single family small lots. • The applicant is providing a community garden space within the proposed townhouse site.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Absorbent soils greater than 30 cm (1 foot) in depth and natural landscaping are proposed. • The applicant is proposing to retain 11 on-site trees. • Recycling pick-up will be made available.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • On-site pedestrian paths will be provided.

Sustainability Criteria	Sustainable Development Features Summary
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Street-fronting houses will be oriented to the street, to provide surveillance. • Outdoor amenity space is proposed in the proposed townhouse site.
6. Green Certification (F1)	<ul style="list-style-type: none"> • n/a
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • The typical notifications to area residents occurred (ie. development proposal signage and pre-notification letters). • The applicant is proposing to use low water usage appliances, low VOC paints, non-urea formaldehyde MDF cabinetry, indigenous drought resistant landscaping and construction waste management.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Block Plan, Subdivision Layout, Site Plan, Building Elevations, and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Building Design Guidelines Summary
Appendix VI.	Summary of Tree Survey and Tree Preservation
Appendix VII.	NCP Redesignation Map
Appendix VIII.	Proposed CD By-law

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

KB/da

\\file-server1\net-data\csdc\generate\areaproduct\save\6885158092.doc
DRV 4/23/15 9:14 AM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Ted Dawson
 Dawson & Sawyer Properties
 Address: #101, 15230 - No. 10 (56 Ave) Highway
 Surrey, BC V3S 5K7

 Tel: 604-626-5401

2. Properties involved in the Application
 - (a) Civic Address: 15687 - Mountain View Drive
 15715 - Mountain View Drive
 15737 - Mountain View Drive

 - (b) Civic Address: 15687 - Mountain View Drive
 Owner: Shi H Kim
 Jin H Kim
 PID: 000-530-221
 Lot 27 Section 23 Township 1 New Westminster District Plan 36924

 - (c) Civic Address: 15715 - Mountain View Drive
 Owner: Joginder S Kahlon
 Kukhpal S Kahlon
 Gurjit K Kahlon
 PID: 000-641-154
 Lot 26 Section 23 Township 1 New Westminster District Plan 36924

 - (d) Civic Address: 15735 - Mountain View Drive
 Owner: David G Downing
 PID: 007-445-687
 Lot 25 Section 23 Township 1 New Westminster District Plan 36924

3. Summary of Actions for City Clerk's Office
 - (a) Introduce By-laws to rezone the property.

SUBDIVISION DATA SHEET

Proposed Zoning: RF-12

Requires Project Data	Proposed
GROSS SITE AREA (Single family portion)	
Acres	0.85 acres
Hectares	0.34 hectares
NUMBER OF LOTS	
Existing	3
Proposed	9
SIZE OF LOTS	
Range of lot widths (metres)	13.4m
Range of lot areas (square metres)	348 - 532 sq.m.
DENSITY	
Lots/Hectare & Lots/Acre (Gross & Net)	26 uph/11 upa
SITE COVERAGE (in % of gross site area)	
Maximum Coverage of Principal & Accessory Building	45%
Estimated Road, Lane & Driveway Coverage	
Total Site Coverage	
PARKLAND	
Area (square metres)	
% of Gross Site	
	Required
PARKLAND	
5% money in lieu	YES
TREE SURVEY/ASSESSMENT	
	YES
MODEL BUILDING SCHEME	
	YES
HERITAGE SITE Retention	
	NO
FRASER HEALTH Approval	
	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others	NO

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on RM-15)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total (Townhouse portion)		0.89 ha/2.20 ac
Road Widening area		0
Undevelopable area		0
Net Total		0.89 ha/2.20 ac
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	35%	35%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
North	6.1m	6.1m
South	7.0m	7.0m
East and West	3.0m	3.0m
BUILDING HEIGHT (in metres/storeys)		
Principal	11m	10.5m
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		34 units
Total		
FLOOR AREA: Residential		6,061 sq.m.
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		6,061 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

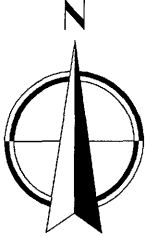
Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross & net)	38 uph/15 upa	38 uph/15 upa
FAR (net)	0.68	0.68
AMENITY SPACE (area in square metres)		
Indoor	102 sq.m.	57 sq.m.
Outdoor	102 sq.m.	925 sq.m.
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
4-Bed	68	68
Residential Visitors	7	7
Institutional		
Total Number of Parking Spaces	75	75
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

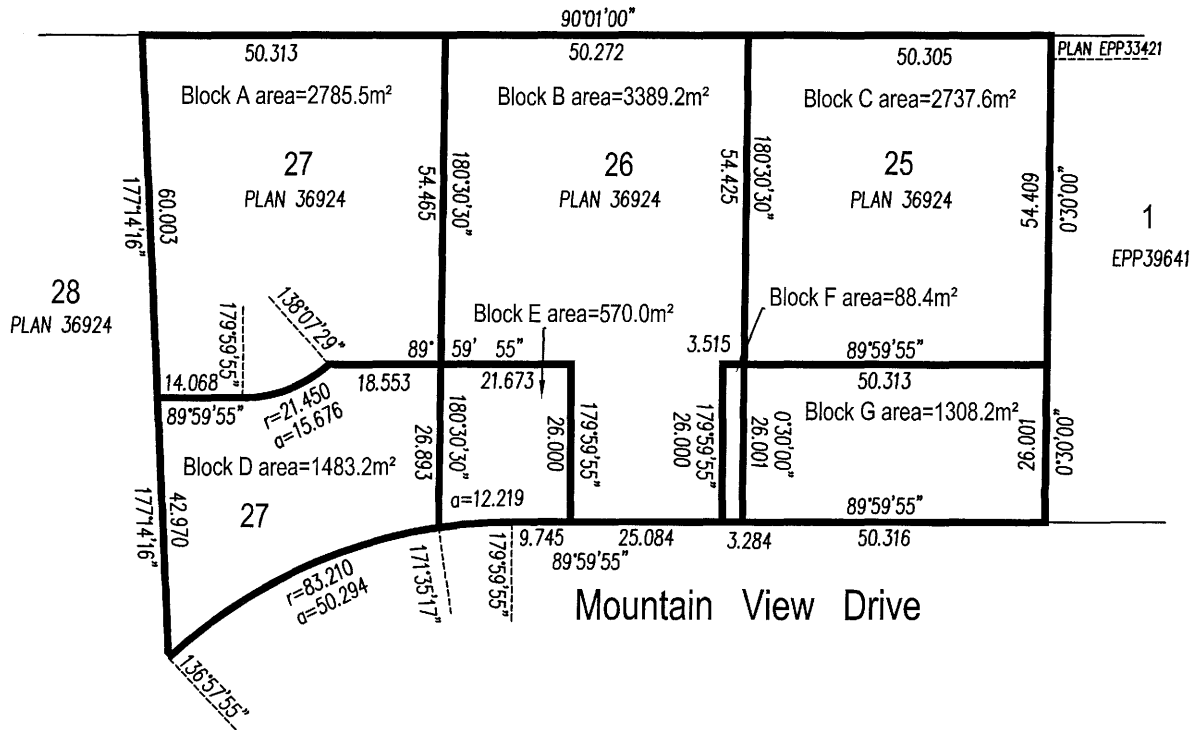
SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW _____ OF:
 LOTS 25, 26 AND 27 SECTION 23 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 36924



The intended plot size of this plan is 210mm in width 280mm in height (A Size) when plotted at a scale of 1:1250



Rem LS 15



LEGEND

m² " SQUARE METRES

OLSEN & ASSOCIATES

BRITISH COLUMBIA LAND SURVEYORS

204-15585 24th AVENUE, SURREY, B.C. V4A 2J4

PHONE : 604-531-4067 Fax : 604-531-5811

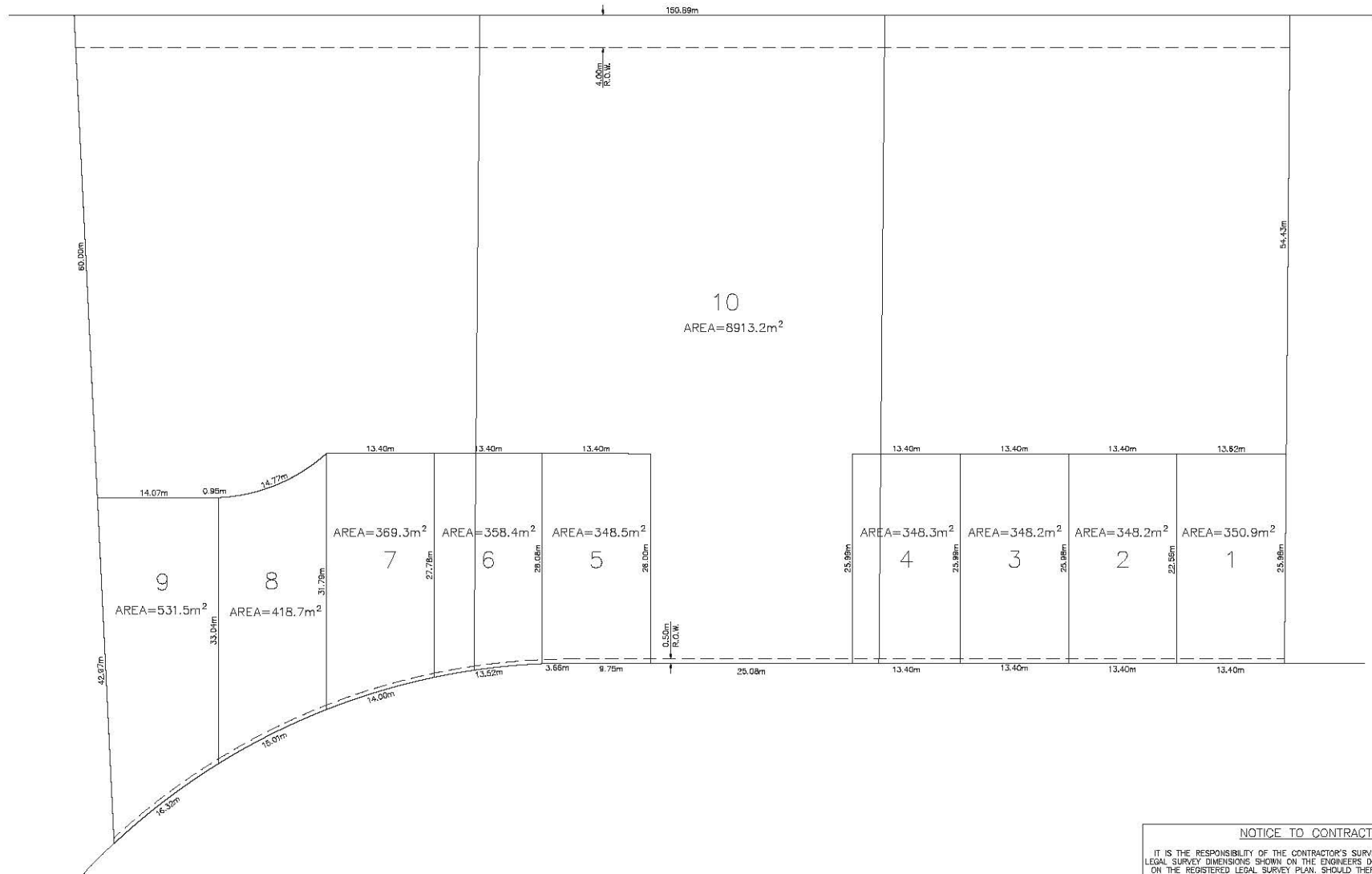
email: info@olsensurveying.ca

File No 17799-REZONING-BLOCK

CERTIFIED CORRECT

Dated this 26th day of MARCH, 2015

THIS DOCUMENT IS NOT VALID UNLESS
 ORIGINALLY SIGNED AND SEALED. ©



NOTICE TO CONTRACTOR

IT IS THE RESPONSIBILITY OF THE CONTRACTOR'S SURVEYOR TO VERIFY THAT ALL LEGAL SURVEY DIMENSIONS SHOWN ON THE ENGINEER'S DRAWINGS AGREE WITH THOSE ON THE REGISTERED LEGAL SURVEY PLAN. SHOULD THERE BE ANY DISCREPANCIES, THEN IMMEDIATELY NOTIFY THE ENGINEER OF RECORD.

LEGAL DESCRIPTION: LOTS 25, 26 AND 27, ALL OF SECTION 25, TOWNSHIP 1, NEW WESTMINSTER DISTRICT, PLAN 38824			
B.M. MONUMENT NO. 5744 (NEW DESTROYED) LOCATED AT 26 AVENUE EAST OF 156 STREET	ELEVATION: 69.039	LOWEST THROUGH PIERCE BENCHMARK SET BY REG. INSTR. 86(1.5)	
REV. NO.	DESCRIPTION	DR. CH.	DATE
0	ISSUED FOR ENGINEERING REFERRAL	KAL CAB	05/11/14 DDH
1	RE-ISSUED FOR ENGINEERING REFERRAL	KAL CAB	10/02/15 DDH
2	ISSUED FOR DP GRADING	KAL CAB	27/03/15 DDH
3	ISSUED FOR PLANNING REVIEW	KAL CAB	21/04/16 DDH



APLIN MARTIN CONSULTANTS LTD

 PROJECT MANAGEMENT - ENGINEERING - PLANNING - SURVEYING

 201 - 12448 82 Avenue, Surrey, B.C. Canada V4W 3E8

 Tel: (604) 597-9088, Fax: (604) 597-9061, E-mail: general@aplinmartin.com

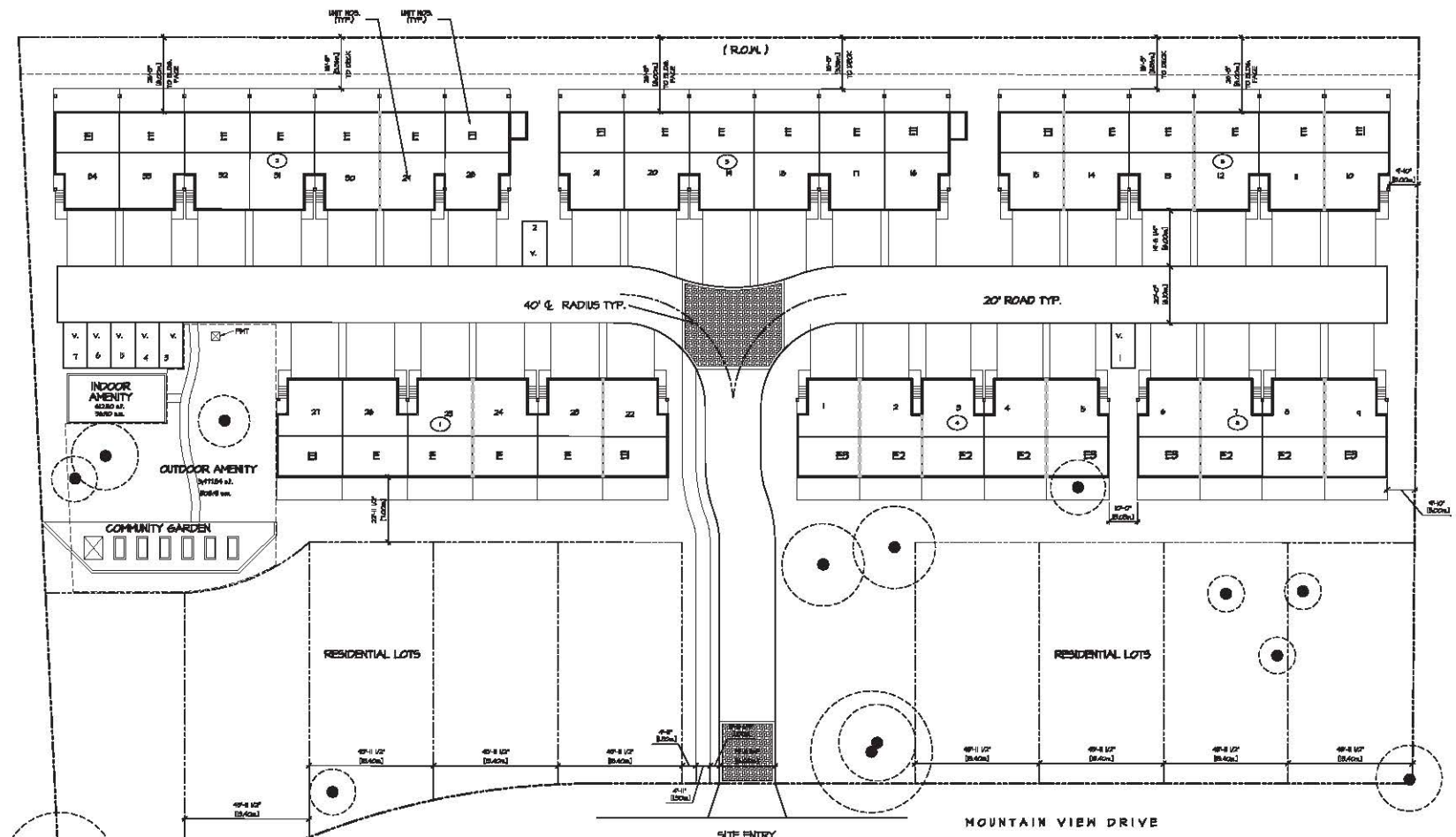
CLIENT:	DAWSON & SAWYER DEVELOPMENTS LTD. SUITE 101 - 18200 HIGHWAY 10, SURREY, BC V3S 8K7 PH. 604-626-8040
PROJECT:	TOWNHOUSE / SINGLE FAMILY DEVELOPMENT MOUNTAIN VIEW DRIVE, SURREY, B.C.

The location of existing underground utilities are shown as an approximation only and are not to be relied upon for the design of any structure. The contractor shall determine the exact location of all existing utilities before commencing work, and agree to be fully responsible for any cost of repairs which may be required by the contractor's failure to specify locate and protect any and all underground utilities.

TITLE:	PROPOSED SUBDIVISION LAYOUT		DESIGN: CAB	CHECK: DDH
PROJECT NO.	7814-0253-00		DRAWN: KAL	APPR: DDH
DRAWING NO.	14-186-01A		A & M FILE: 14-186	
SCALE:	HORZ.: 1:250	VERT.: N/A	DRAWING DATE:	
	14-186-01A		NOVEMBER, 2014	
			SHEET NO.	REV.
			01A	3



DISCLAIMER: ALL RIGHTS AND THE
 REGISTERED TRADEMARKS AND THE
 SERVICE MARKS OF BARNETT
 DEMBERK ARCHITECTURE INC. ARE
 RESERVED. THIS DOCUMENT IS THE
 PROPERTY OF BARNETT DEMBERK
 ARCHITECTURE INC. AND MAY
 NOT BE REPRODUCED OR TRANSMITTED
 IN ANY FORM OR BY ANY MEANS,
 ELECTRONIC OR MECHANICAL,
 INCLUDING PHOTOCOPYING, RECORDING,
 OR BY ANY INFORMATION STORAGE
 AND RETRIEVAL SYSTEM, WITHOUT
 THE WRITTEN PERMISSION OF BARNETT
 DEMBERK ARCHITECTURE INC. FOR
 OTHER THAN THE ORIGINAL INTENT.
 BARNETT DEMBERK ARCHITECTURE INC.



CONCEPTUAL SITE PLAN
 SCALE: 1" = 20'-0"

SITE ENTRY

DEVELOPMENT DATA

ZONING :	RM-30
GROSS SITE AREA:	133,065.42 S.F. 3.05 Ac. 1,236.18 m ²
LESS: RESIDENTIAL LOTS	37,124.85 S.F. 3,449.01 m ²
NET SITE AREA:	95,940.56 S.F. 2.20 Ac. 8,913.17 m ²
DENSITY :	
ALLOWABLE:	66 UNITS 30.0 U.P./Ac. 75.0 U.P./Ha
PROPOSED:	34 UNITS 15.44 U.P./Ac. 38.1 U.P./Ha
F.A.R. :	
ALLOWABLE:	0.90 86,346.5 S.F. 8,021.8 m ²
PROPOSED:	0.68 65,237.0 S.F. 6,060.7 m ²
SITE COVERAGE :	
ALLOWABLE:	45% 43,173.5 S.F. 4,010.9 m ²
PROPOSED:	35% 33,151.0 S.F. 3,076.8 m ²

INDOOR AMENITY	REQUIRED:	32.3 / UNIT	1,096.2 S.F.	102.0 m ²
	PROVIDED:		612.50 S.F.	56.90 m ²
OUTDOOR AMENITY	REQUIRED:	32.3 / UNIT	1,096.2 S.F.	102.0 m ²
	PROVIDED:		5,477.84 S.F.	508.9 m ²
PARKING :	REQUIRED:	2 / UNIT	68 (RESIDENT)	
		0.2 / UNIT	6.8 (VISITORS)	
	TOTAL REQUIRED:		74.8 SPACES	
	PROVIDED:		68 (RESIDENT)	
			7 (VISITORS)	
	TOTAL PROVIDED:		75 SPACES	

UNIT BREAKDOWN:

UNIT E 4 BED DOUBLE GAR.	1,937 S.F. x 17 UNITS	= 32,929.0 S.F.
UNIT F1 4 BED DOUBLE GAR.	1,949 S.F. x 8 UNITS	= 15,592.0 S.F.
UNIT E2 4 BED DOUBLE GAR.	1,252 S.F. x 5 UNITS	= 9,260.0 S.F.
UNIT E3 4 BED DOUBLE GAR.	1,264 S.F. x 4 UNITS	= 7,456.0 S.F.
TOTAL	34 UNITS	65,237.0 S.F.

REV	DATE	BY	REASON FOR

DESIGN :	DN :	DATE :	SCALE :

CLIENT : DAMEON + SAWYER
 PROJECT : TOWNHOUSE DEVELOPMENT
 MOUNTAIN DRIVE
 SHEET CONTENT : CONCEPTUAL SITE PLAN

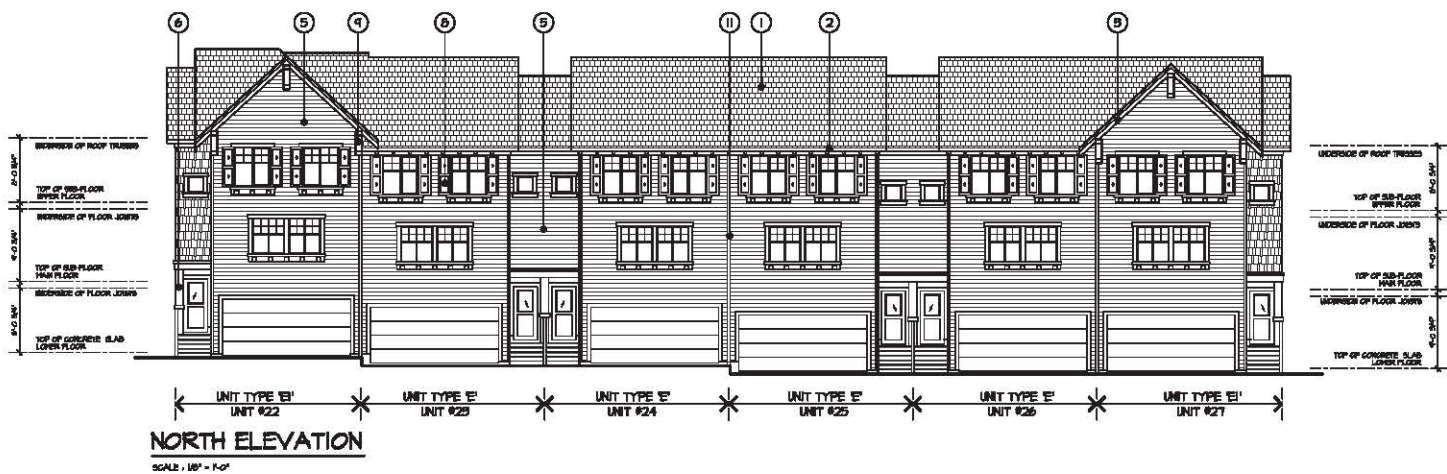
barnett demberk

UNIT 135,
 7350 130 STREET,
 SURREY, B.C.
 V3W 1Y8

PHONE: (604) 587-7100
 FAX: (604) 587-2089
 EMAIL: mtd @ barnett.com

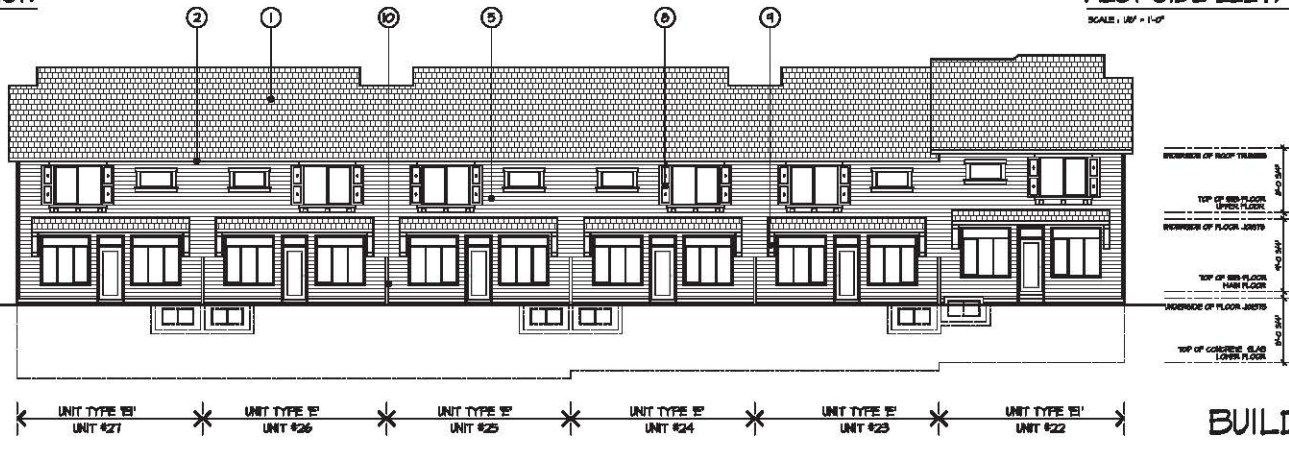
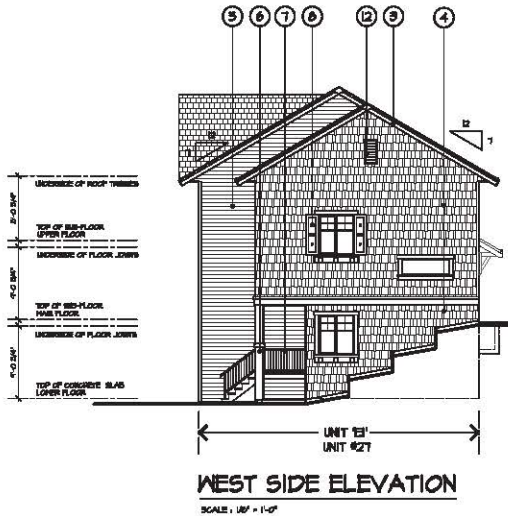
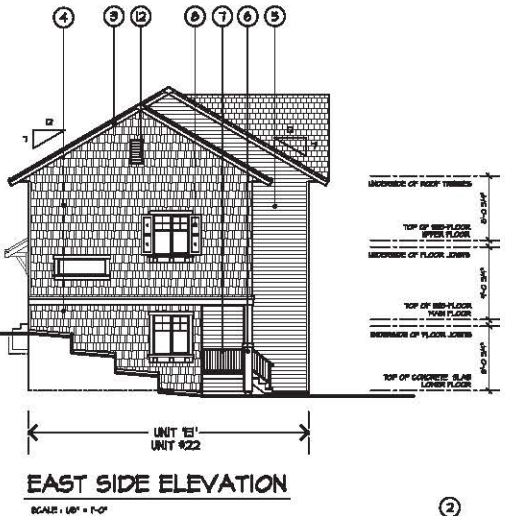
CLIENT NO.	SHEET NO.
681	AC-10
PROJECT NO.	REV. NO.
14040	

DISCLAIMER: ALL RIGHTS ARE RESERVED. THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF BARNETT DEMBEK ARCHITECTS, P.C. AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BARNETT DEMBEK ARCHITECTS, P.C. THIS DOCUMENT IS FOR GENERAL INFORMATION ONLY AND DOES NOT CONSTITUTE AN OFFER OF ANY FINANCIAL PRODUCT OR SERVICE.



SCHEDULE OF FINISHES

- ① DUROID ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 2X4 HOOD FASCIA
- ③ 1X4 HOOD TRIM ON 2X10 HOOD FASCIA
- ④ SHINGLE SIDING
- ⑤ HARDI BOARD HORIZONTAL SIDING
- ⑥ HOOD POST IN CONE FACED FASCIA
- ⑦ PREFAB METAL RAILINGS
- ⑧ HARD-PANEL SHUTTERS
- ⑨ KNEE BRACES
- ⑩ PRIVACY SCREEN
- ⑪ DOWNSPOUT
- ⑫ ORNAMENTAL LOUVRES



BUILDING NO. 1

NO.	DATE	BY	REVISION

CLIENT	DESIGNER	DATE	SCALE
DAMBOEN - SAWYER	BARNETT DEMBEK ARCHITECTS, P.C.	MAY 18 2018	1/8" = 1'-0"

PROJECT: TOWNHOUSE DEVELOPMENT
MOUNTAIN DRIVE
SHEET CONTENTS: BUILDING ELEVATIONS

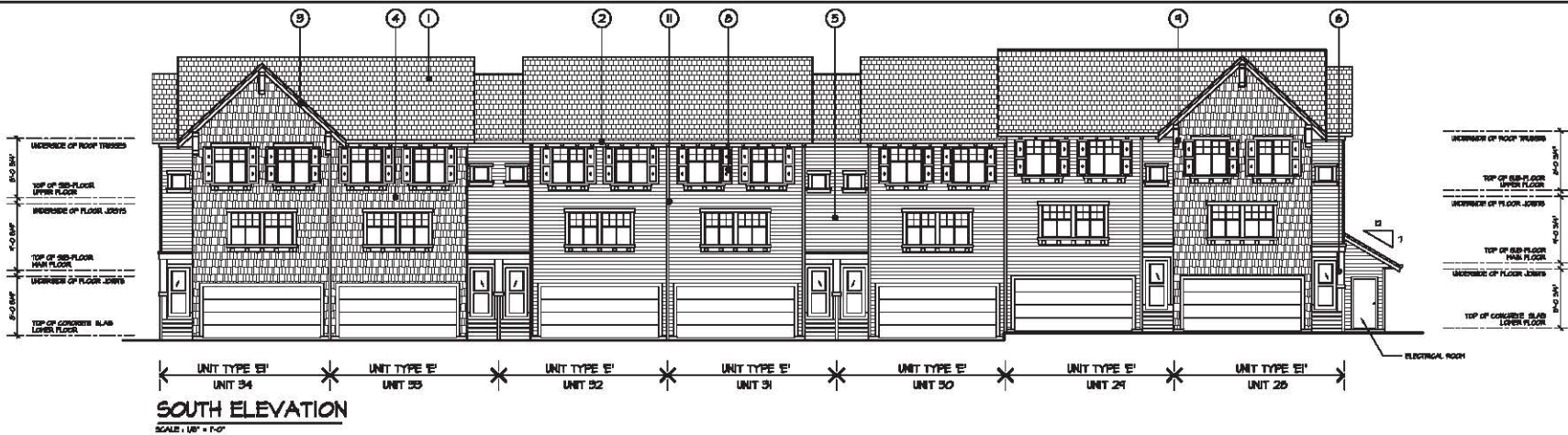
barnett dembek

UNIT 135,
7330 130 STREET,
SURREY, B.C.
V3W 1Y8

PHONE: (604) 587-7100
FAX: (604) 587-8089
EMAIL: mail @ bdn.ca

CLIENT NO. 601	SHEET NO. AC-3.1
PROJECT NO. 14040	REV. NO.

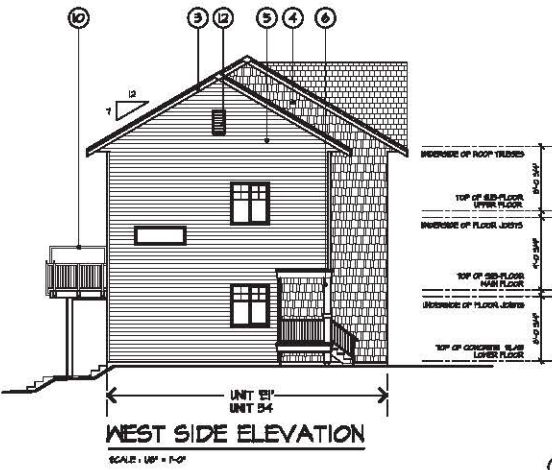
DISCLAIMER: ALL RIGHTS ARE RESERVED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY CAUSED BY ANY AND ALL USES OF THIS DRAWING, INCLUDING BUT NOT LIMITED TO, REPRODUCTION, TRANSMISSION, OR DISTRIBUTION IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY CAUSED BY ANY AND ALL USES OF THIS DRAWING, INCLUDING BUT NOT LIMITED TO, REPRODUCTION, TRANSMISSION, OR DISTRIBUTION IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



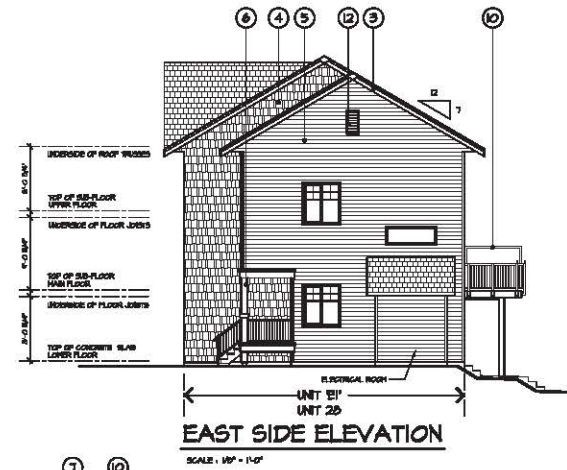
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

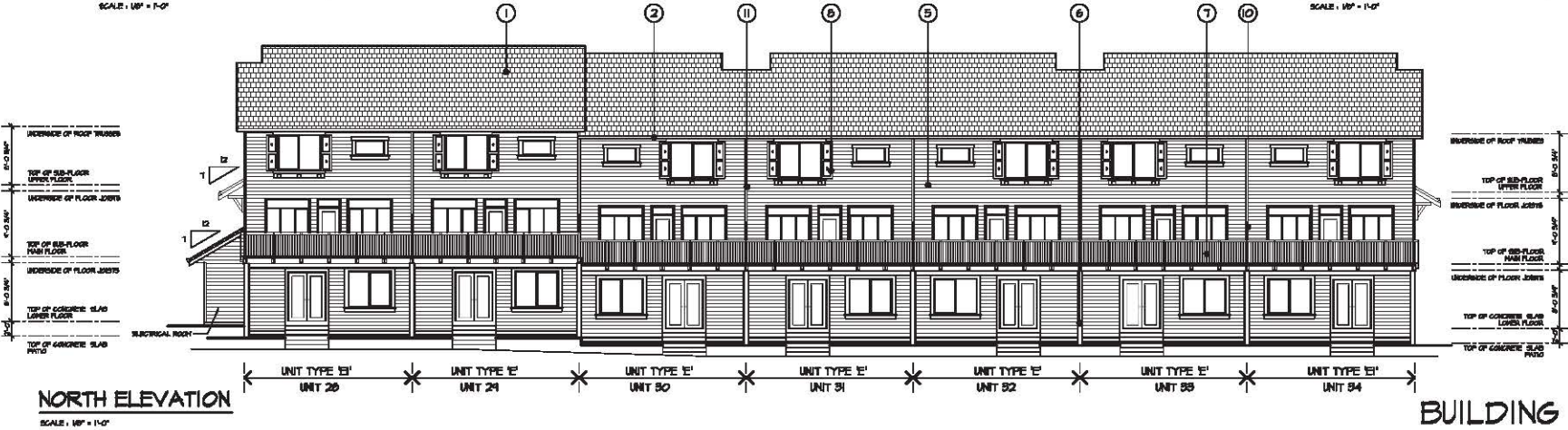
- ① DUROID ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 2X4 HOOD FASCIA
- ③ 4X4 WOOD TRIM ON 2X10 HOOD FASCIA
- ④ SHINGLE SIDING
- ⑤ HARDI BOARD HORIZONTAL SIDING
- ⑥ HOOD POST IN CONE FACED FASCIA
- ⑦ PREFAB METAL RAILINGS
- ⑧ HARD-PANEL SHUTTERS
- ⑨ KNEE BRACES
- ⑩ PRIVACY SCREEN
- ⑪ DOWNSPOUT
- ⑫ ORNAMENTAL LOUVRES



WEST SIDE ELEVATION
SCALE: 1/8" = 1'-0"



EAST SIDE ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING NO. 2

NO.	DATE	BY	REVISION

CLIENT: DAMEON + SAWYER
PROJECT: TOWNHOUSE DEVELOPMENT MOUNTAIN DRIVE
SHEET CONTENTS: BUILDING ELEVATIONS

barnett dembek
UNIT 135,
7335 130 STREET,
SURREY, B.C.
V3W 1Y8
PHONE: (604) 587-7100
FAX: (604) 587-8089
EMAIL: mail @ barnett.com

CLIENT NO. 601 SHEET NO. AC-3.2
PROJECT NO. 14040 REV. NO.

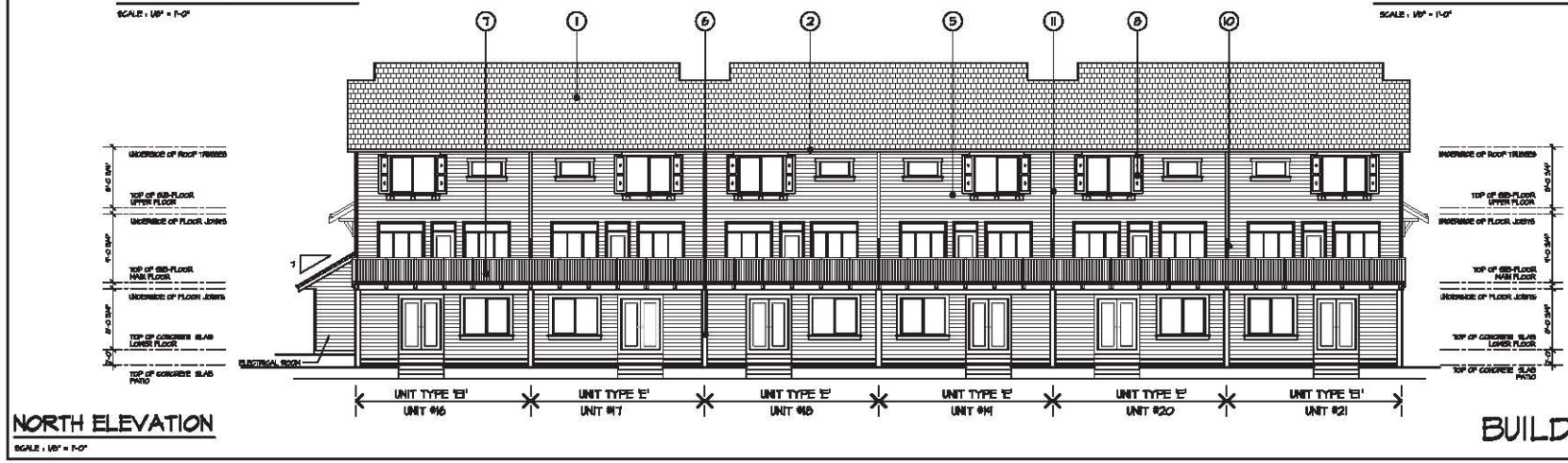
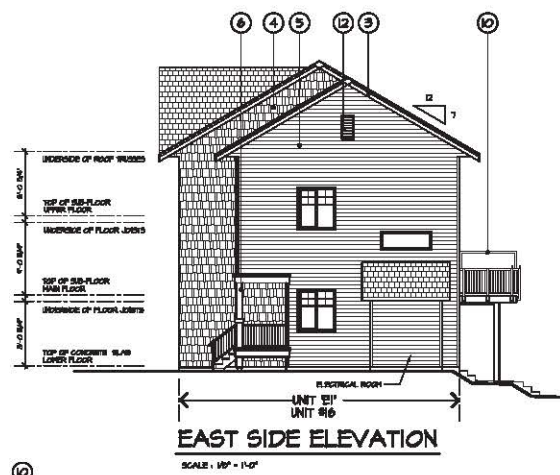
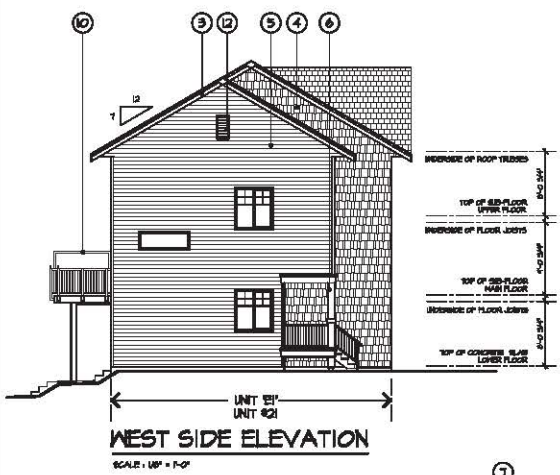
NOT TO SCALE. ALL DIMENSIONS AND THE SHOWN INFORMATION ARE THE PROPERTY OF THE ARCHITECT. DIMENSIONS AND SCALE ARE NOT TO BE USED FOR CONSTRUCTION WITHOUT EXPRESS WRITTEN PERMISSION. PLEASE CHECK ALL DIMENSIONS BEFORE ANY CONSTRUCTION. DIMENSIONS FROM CORNER CORNER AT 0.00, 0.00.

NO.	DATE	BY	SCALE	UNIT	TYPE	NO.	DATE	BY	SCALE	UNIT	TYPE



SCHEDULE OF FINISHES

- ① DURIOD ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 2X4 WOOD FASCIA
- ③ 1X4 WOOD TRIM ON 2X4 WOOD FASCIA
- ④ SHINGLE SIDING
- ⑤ HARDI BOARD HORIZONTAL SIDING
- ⑥ WOOD POST IN CONE-FACED FASCIA
- ⑦ PREFAB METAL RAILINGS
- ⑧ HARD-PANEL SHUTTERS
- ⑨ KNEE BRACES
- ⑩ PRIVACY SCREEN
- ⑪ DOWNSPUT
- ⑫ ORNAMENTAL LOUVRES



BUILDING NO. 3

DRAWING		DATE		SCALE	
NO.	DATE	BY	SCALE	UNIT	TYPE

CLIENT: DAMECH - SAWYER
PROJECT: TOWNHOUSE DEVELOPMENT MOUNTAIN DRIVE
SHEET CONTENTS: BUILDING ELEVATIONS

barnett dembeck

UNIT 135,
7335 130 STREET,
SURREY, B.C.
V3W 1Y8

PHONE: (604) 587-7100
FAX: (604) 587-8089
EMAIL: mail @ barnettbc.com

CLIENT NO. 601 SHEET NO. AC-33
PROJECT NO. 14040 REV. NO.

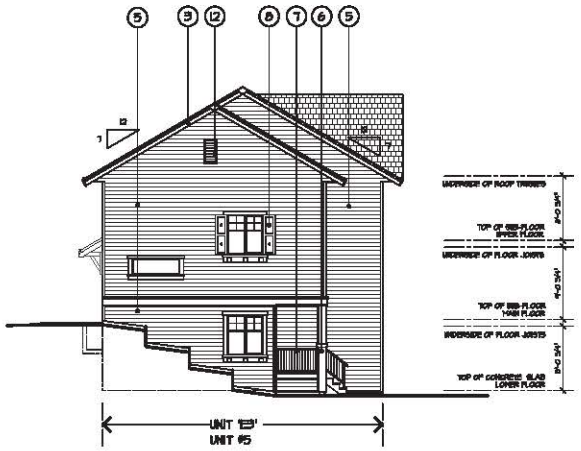
NOTHING SHALL BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE UNLESS IT IS SPECIFICALLY IDENTIFIED AS SUCH ON THE DRAWING. THE CLIENT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY STRUCTURE NOT SPECIFICALLY IDENTIFIED AS SUCH ON THE DRAWING. THE CLIENT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY STRUCTURE NOT SPECIFICALLY IDENTIFIED AS SUCH ON THE DRAWING. THE CLIENT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY STRUCTURE NOT SPECIFICALLY IDENTIFIED AS SUCH ON THE DRAWING.



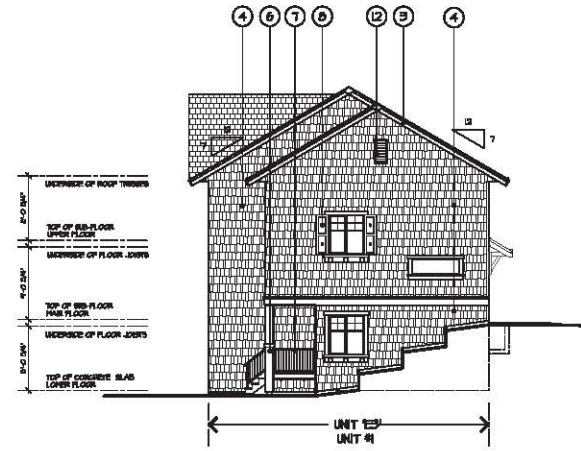
NORTH ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① DURROID ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 2x4 HOOD FASCIA
- ③ 1x4 HOOD TRIM ON 2x10 HOOD FASCIA
- ④ SHINGLE SIDING
- ⑤ HARDI BOARD HORIZONTAL SIDING
- ⑥ HOOD POST IN CONE-FACED FASCIA
- ⑦ PREFAB METAL RAILINGS
- ⑧ HARD-PANEL SHUTTERS
- ⑨ KNEE BRACES
- ⑩ PRIVACY SCREEN
- ⑪ DOWNSPOUT
- ⑫ ORNAMENTAL LOUVRES



EAST SIDE ELEVATION
SCALE: 1/8" = 1'-0"



WEST SIDE ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING NO. 4

NO.	DATE	BY	REVISION

CLIENT :	DARBON - SAWYER
PROJECT :	TOWNHOME DEVELOPMENT MOUNTAIN DRIVE
SHEET CONTENTS :	BUILDING ELEVATIONS
DATE :	MAR. 18 15
SCALE :	1/8" = 1'-0"

barnett dembek

UNIT 135,
7330 130 STREET,
SURREY, B.C.
V3W 1Y8

PHONE: (604) 587-7100
FAX: (604) 587-8089
EMAIL: mail @ bdnbt.com

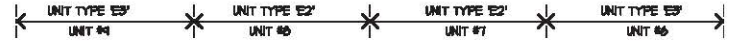
CLIENT NO.: 601
PROJECT NO.: 14040

SHEET NO.: AC-3A
REV. NO.:

DISCLAIMER: ALL NOTES AND THE SHOWN INFORMATION ARE THE SOLE PROPERTY OF BARNETT DEMBEK ARCHITECTS INC. AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT EXPRESS WRITTEN PERMISSION FROM BARNETT DEMBEK ARCHITECTS INC. THE USER AGREES TO HOLD BARNETT DEMBEK ARCHITECTS INC. HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST BARNETT DEMBEK ARCHITECTS INC. BY ANY THIRD PARTY.

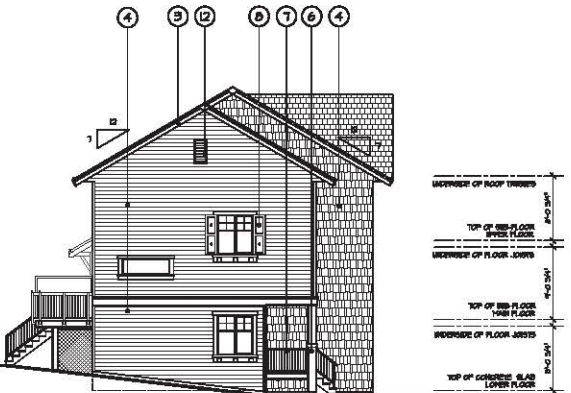


NORTH ELEVATION
SCALE: 1/8" = 1'-0"

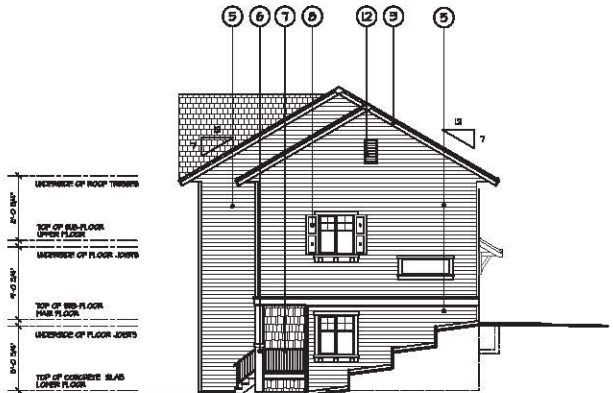


SCHEDULE OF FINISHES

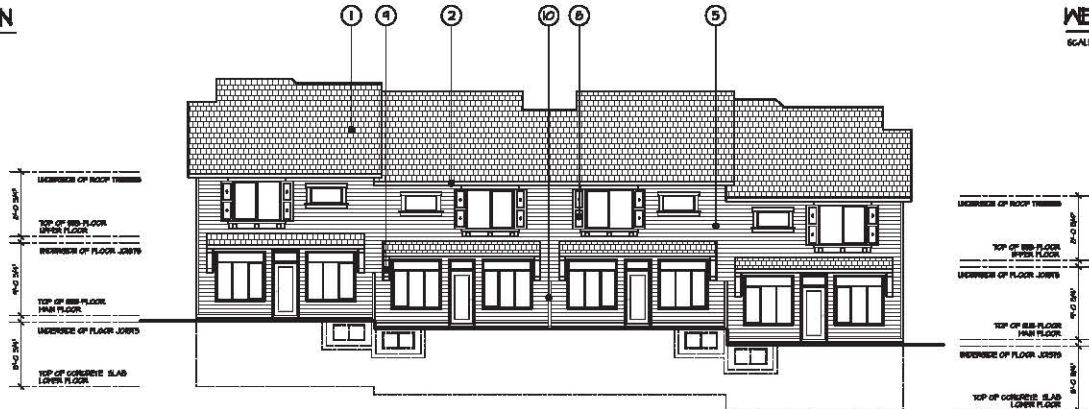
- ① DURROID ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 2X4 HOOD FASCIA
- ③ 1X4 HOOD TRIM ON 2X10 HOOD FASCIA
- ④ SHINGLE SIDING
- ⑤ HARDI BOARD HORIZONTAL SIDING
- ⑥ HOOD POST IN CONE-FACED FASCIA
- ⑦ PREFAB METAL RAILINGS
- ⑧ HARD-PANEL SHUTTERS
- ⑨ KNEE BRACES
- ⑩ PRIVACY SCREEN
- ⑪ DOWNSPOUT
- ⑫ ORNAMENTAL LOUVRES



EAST SIDE ELEVATION
SCALE: 1/8" = 1'-0"



WEST SIDE ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING NO. 6

CLIENT :	DAMBEK - SAWYER
PROJECT :	TOWHOUSE DEVELOPMENT MOUNTAIN DRIVE
SHEET CONTENTS :	BUILDING ELEVATIONS

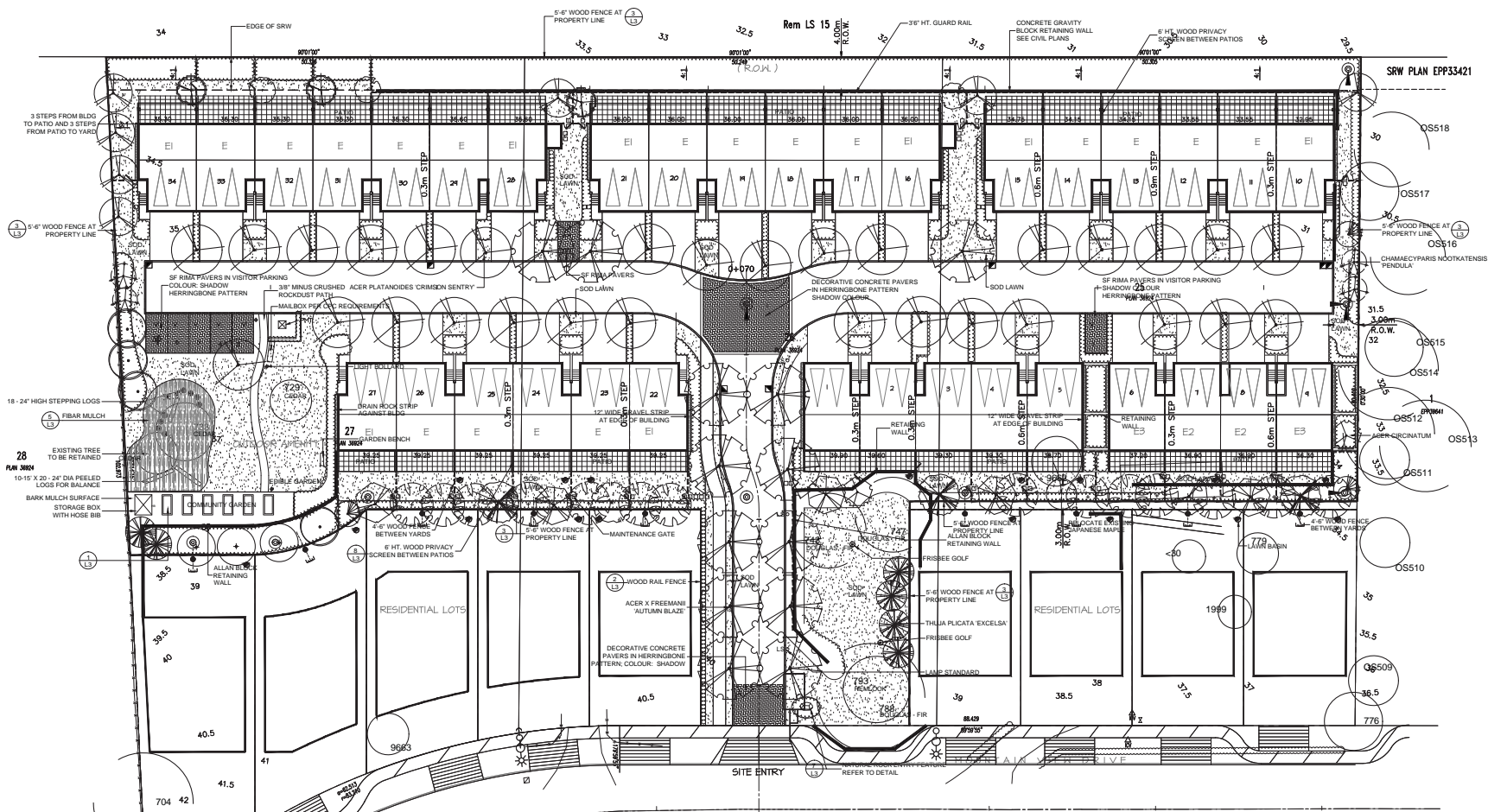
barnett dembek

UNIT 135,
7330 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 587-7100
FAX: (604) 587-8089
EMAIL: mail@barnett.com

CLIENT NO.	601	SHEET NO.	AC-3.6
PROJECT NO.	14040	REV. NO.	

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
1	15-JUN-18	CITY REVISIONS, CIVIL COMMENTS	
2	15-MAR-20	UPDATE TO CIVIL AND ARCH PLANS	CLG
3	15-JAN-24	NEW SITE PLAN / ADD DETAIL	DO

CLIENT:

PROJECT:
TOWNHOUSE DEV.
MOUNTAIN VIEW DRIVE
SURREY

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 14-AUG-12 DRAWING NUMBER:
SCALE: 1"=20'-0"
DRAWN: DO
DESIGN: DO
CHKD: MCY

L1
OF 5

PLANT SCHEDULE TREES			PMG PROJECT NUMBER: 14-109	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	2	ACER CINNABATUM	VINE MAPLE	5CM CAL; B&B; 3 STEM CLUMP
	3	ACER GINNALA FLAME	FLAME AMUR MAPLE	5CM CAL; 1.8M STD; B&B
	3	ACER PALMATUM	JAPANESE MAPLE	5CM CAL; 1.2M HT; B&B
	3	ACER PLATANOIDES CRIMSON SENTRY	COLUMBIAN CRIMSON SENTRY MAPLE	5CM CAL; 2M STD; B&B
	13	ACER X FREEMANI 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	5CM CAL; 1.8M STD; B&B
	7	CARPINUS BETULUS 'FRANS FONTAINE'	PYRAMIDAL EUROPEAN HORNBEEAM VAR	5CM CAL; B&B; 1.0M STD
	4	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	WEeping NOOTKA CYPRESS	3M HT; B&B
	3	CORNUS KOUSA 'SATOMI'	PINK KOUSA DOGWOOD	5CM CAL; 1.2M STD
EXISTING TREE	1	MAGNOLIA KOBUS STELLATA 'ROYAL STAR'	ROYAL STAR MAGNOLIA (WHITE)	5CM CAL; B&B
	2	MAGNOLIA X SILLAKY	MAGNOLIA	5CM CAL; B&B
	3	MALUS PARLADIAN	PARLADIAN APPLE	5CM CAL; 1.2M STD
	4	PICEA OMORINA	SERBIAN SPRUCE	3M HT; B&B
	4	PRINUS DOMESTICA 'EARLY ITALIAN'	EARLY ITALIAN PLUM	5CM CAL; 1.2M STD
	4	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	5CM CAL; 1.5M STD; B&B
	14	STYRAX JAPONICUS	JAPANESE SNOWBELL	5CM CAL; B&B
	6	THUJA PLICATA 'EXCELSA'	WESTERN RED CEDAR	3M HT; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CIVIL STANDARDS. BOTANICAL NAME AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DESIRED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD'S DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

NOTE: * SEE CIVIL PLANS FOR FINAL GRADING AND RETAINING WALL DETAILS.
NOTE: ALL DRIVEWAYS TO BE FINISHED IN CONCRETE. ALL ROADWAYS TO BE FINISHED IN ASPHALT UNLESS IDENTIFIED. ALL BUILDING ENTRY WALKWAYS TO BE FINISHED IN SF CONCRETE. ALL PATIOS TO BE FINISHED IN SF CONCRETE OR PAVERS.

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	15.JAN.14	CITY REGULATIONS, STAFF COMMENTS	
2	15.MAR.25	UPDATE TO CIVIL AND ARCH. PLANS	CLG
3	15.JAN.28	NEW SITE PLAN / ADD DETAIL	SD

CLIENT:

PROJECT:

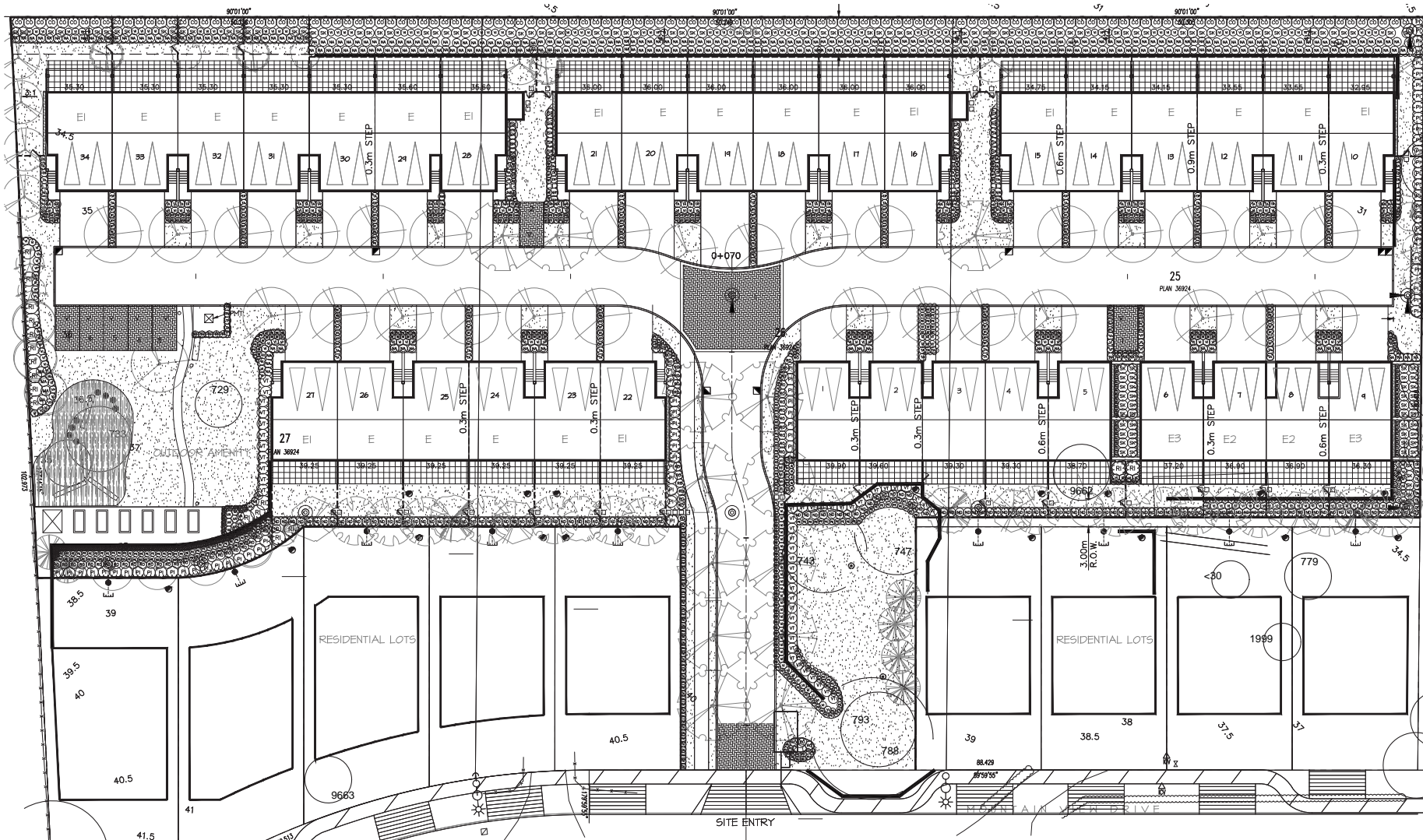
TOWNHOUSE DEV.
MOUNTAIN VIEW DRIVE
SURREY

DRAWING TITLE:
LANDSCAPE SHRUB PLAN

DATE: 14.AUG.12 DRAWING NUMBER:
SCALE: 1/16"=1'-0"
DRAWN: DO
DESIGN: DO
CHKD: MCY

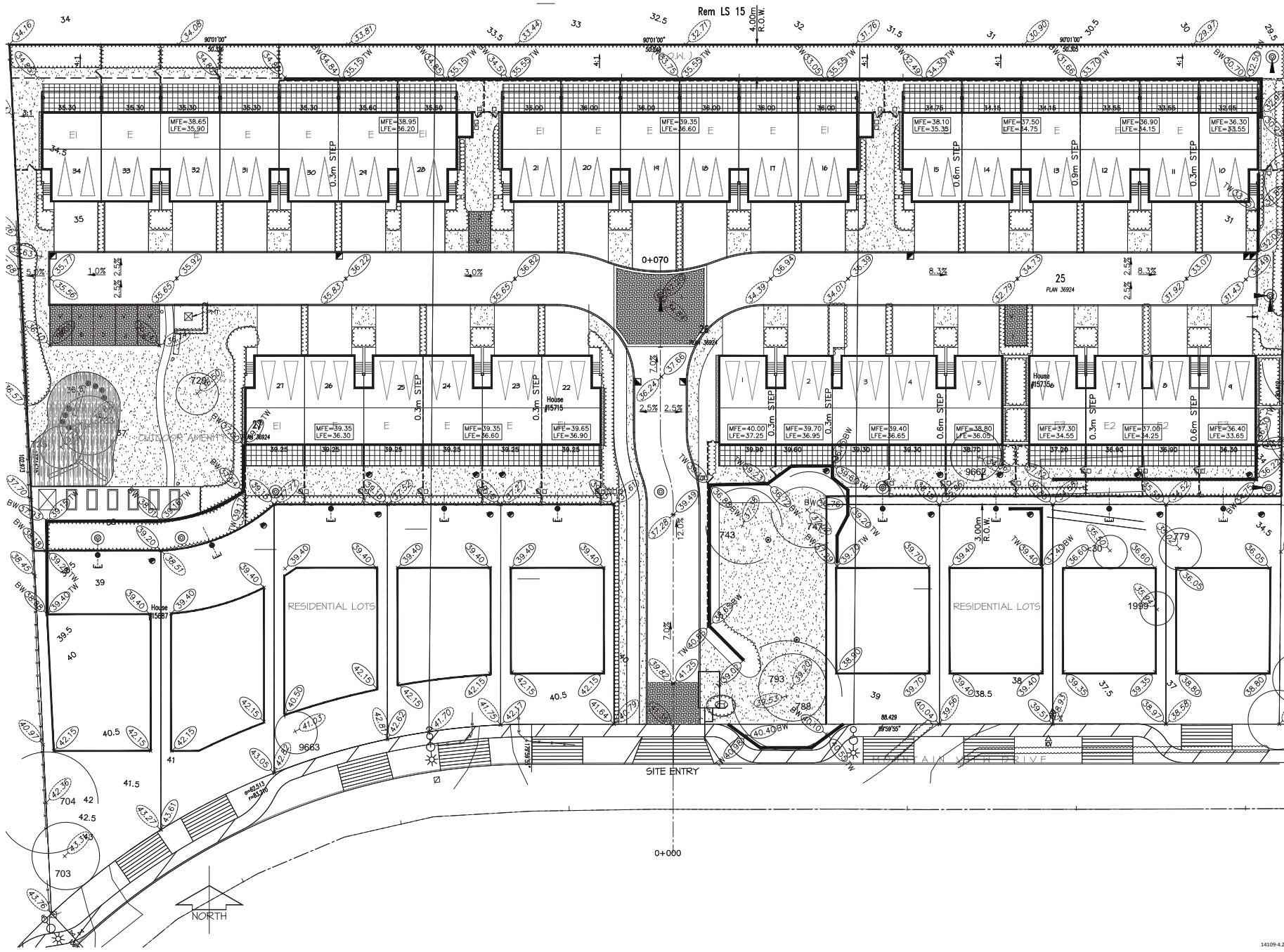
L2

OF 5



PLANT SCHEDULE				SHRUBS	PMG PROJECT NUMBER: 14-109	
KEY	QTY	BOTANICAL NAME	COMMON NAME		PLANTED SIZE / REMARKS	
GRASSES						
(G)	26	IMPERATA CYLINDRICA 'RED BARON'	BLOOD GRASS	0+000	#1 POT	
(G)	398	PENNISETUM ALOPECUROIDES 'HAMELIN'	DWARF FOUNTAIN GRASS		#1 POT	
(G)	99	STIPA TENUISSIMA	MEXICAN FEATHER GRASS		#1 POT	
PERENNIAL						
(P)	48	HEUCHERA 'PALACE PURPLE'	HEUCHERA		15CM POT	
(P)	14	RUBECKIA HIRTA 'CHERRY BRANDY'	RUBECKIA, RED		#1 POT	
SHRUBS						
(S)	5	ARCTOSTAPHYLOS UVA-URSI 'VANCOUVER JADE'	KINKINICK		#1 POT, 20CM	
(S)	38	FRAGARIA CHILOENSIS	BEACH STRAWBERRY		8CM POT	
(S)	44	PACHYSANDRA TERMINALIS	JAPANESE SPURGE		#1 POT, 15CM	

PLANT SCHEDULE				SHRUBS	PMG PROJECT NUMBER: 14-109	
KEY	QTY	BOTANICAL NAME	COMMON NAME		PLANTED SIZE / REMARKS	
SHRUBS						
(S)	129	CORNUS ALBA SIBIRICA 'CORAL'	SIBERIAN CORAL DOGWOOD		#3 POT, 80CM	
(S)	44	COTONEASTER HORIZONTALIS	ROCK SPRAY COTONEASTER; LOW		#2 POT, 30CM	
(S)	4	MAHONIA AQUIFOLIUM	OREGON GRAPE HOLLY		#3 POT, 50CM	
(S)	339	NANDINA DOMESTICA	HEAVENLY BAMBOO		#3 POT, 50CM	
(S)	128	NANDINA DOMESTICA 'FIREPOWER'	FIREPOWER HEAVENLY BAMBOO		#3 POT, 50CM	
(S)	69	PIERIS JAPONICA 'VALLEY FIRE'	PIERIS		#3 POT, 50CM	
(S)	17	RIESES SANGUINEUM KING EDWARD	KING EDWARD FLOWERING CURRANT		#3 POT, 50CM	
(S)	58	ROSA MEIDLAND 'RONICA'	MEIDLAND ROSE, PINK		#2 POT, 40CM	
(S)	197	RIBUS PENTALOBUS	CRINKLE-LEAF CREEPER		#1 POT	
(S)	147	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA		#2 POT, 30CM	
(S)	97	TAXUS X MEDIA HICKSI	HICKS X MEDIA CEDAR		1.0M BAB	
(S)	50	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR		1.5M HT, BAB	
(S)	11	VACCINIUM CORYMBOSUM 'NORTH BLUE'	BLUEBERRY		#3 POT, 60CM	
(S)	276	VIBURNUM DAVIDII	DAVID'S VIBURNUM		#2 POT, 30CM	
(S)	48	VIBURNUM TINUS 'DWARF'	SPRING BOUQUET		#3 POT, 50CM	



© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.

pmg
LANDSCAPE ARCHITECTS

Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p. 604 294-0011 - f. 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	15 JAN 14	CITY REGISTRATION, STAFF COMMENTS	
2	15 MAR 15	UPDATE TO CIVIL AND ARCH. PLANS	CLG
3	15 JAN 28	NEW SITE PLAN / ADD DETAIL	SD

CLIENT:

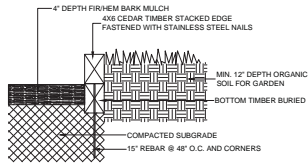
PROJECT:

TOWNHOUSE DEV.
MOUNTAIN VIEW DRIVE
SURREY

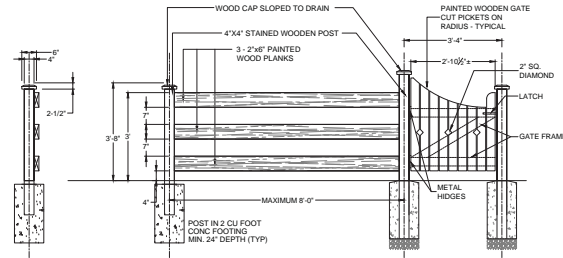
DRAWING TITLE:
LANDSCAPE GRADING PLAN

DATE: 14.AUG.12 DRAWING NUMBER:
SCALE: 1/16"=1'-0"
DRAWN: DO
DESIGN: DO
CHKD: MCY

L3
OF 5

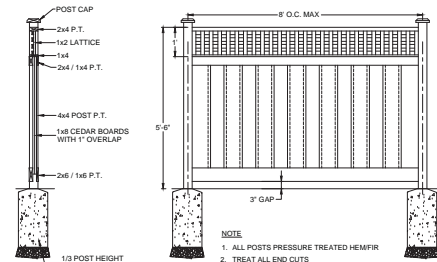


1 GARDEN PLOTS
1/4"=1'-0"



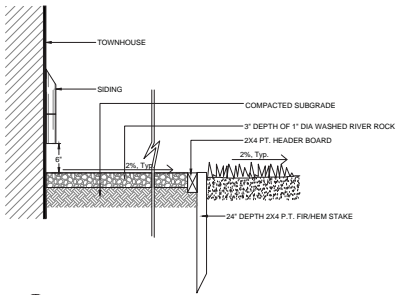
ALL LUMBER TO BE CEDAR NO. 2 OR BETTER
ALL HARDWARE MUST BE GALVANIZED OR ACO APPROVED.

2 3' HT. RAIL FENCE
1/2"=1'-0"

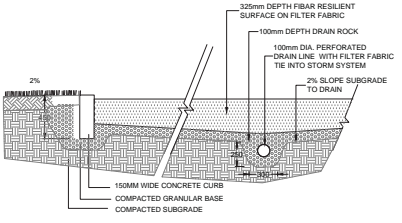


NOTE:
1. ALL POSTS PRESSURE TREATED HEMFIR
2. TREAT ALL END CUTS
3. ALL OTHER MEMBERS CEDAR
4. ALL HARDWARE HOT DIPPED GALVANIZED
5. APPLY 2 COATS OF STAIN TO MATCH BUILDING TRIM
ALL LUMBER TO BE CEDAR NO. 2 OR BETTER
REPAINT ALL END CUTS WITH PRESSURE TREATMENT.
ALL HARDWARE MUST BE GALVANIZED OR ACO APPROVED.

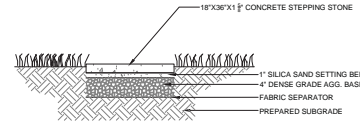
3 5'-6" PERIMETER FENCE
1/2"=1'-0"



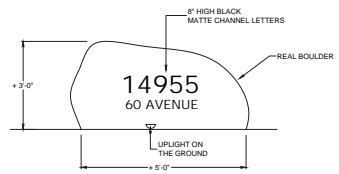
4 RIVER ROCK UNDER DECK
1"=1'-0"



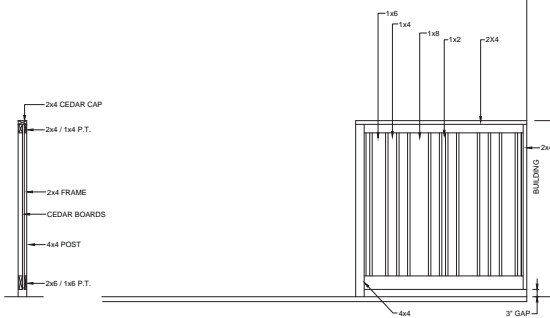
5 PLAY AREA DETAIL
1/2"=1'-0"



6 CONCRETE STEPPING PAD
1"=1'-0"



7 ENTRY SIGN
1/2"=1'-0"



NOTE:
1. ALL POSTS PRESSURE TREATED HEMFIR
2. REPAINT ALL END CUTS WITH PRESSURE TREATMENT.
3. ALL OTHER MEMBERS CEDAR
4. ALL HARDWARE HOT DIPPED GALVANIZED OR ACO APPROVED.
5. APPLY 2 COATS OF STAIN TO MATCH BUILDING TRIM
6. BUILDING ENVELOPE CONSULTANT TO PROVIDE DETAILS FOR CONNECTION TO BUILDING STRUCTURE
7. ALL DIMENSIONS TO BE CONFIRMED BASED ON BUILDING STRUCTURE

8 PATIO DIVIDER SCREEN
1/2"=1'-0"



FRANCES ANDREW GARDEN BENCH SERIES

NOTE: SUPPLY AND INSTALL FURNISHINGS TO MANUFACTURER'S SPECIFICATIONS ON A 3" THICK CONCRETE PAD. SECURE WITH WIND-RESISTANT HARDWARE.



LUMEC LIGHT STANDARDS AND BOLLARDS

1.665" BOLLARD BODY OR SIMILAR LUMEC POSTS/TOWEL LIGHT FIXTURES SHALL BE USED OR SIMILAR. FINAL LIGHT SPECIFICATION AND PLACEMENT BY THE ELECTRICAL ENGINEER, LIGHTING SPECIALIST.

©Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.



SCALE:

NO.	DATE	REVISION DESCRIPTION	DR.
1	15.JAN.24	NEW SITE PLAN / ADD DETAIL	DD
2	15.MAR.25	UPDATE TO CIVIL AND ARCH. PLANS	CG
3	15.JUN.24	CITY REVISIONS/STAMP COMMENTS	CG

CLIENT:

PROJECT:

**TOWNHOUSE DEV.
MOUNTAIN VIEW DRIVE
SURREY**

DRAWING TITLE:
**LANDSCAPE
DETAILS**

DATE: 14.AUG.19 DRAWING NUMBER:
SCALE: AS SHOWN
DRAWN: DD
DESIGN: DD
CHKD: MCY

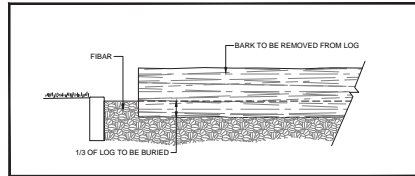
L4

OF 5

SEAL:



DGA MACH II - FRISBEE GOLF



9 BALANCE LOG
 1/2"=1'-0"



SUNBURY CEDAR STORAGE SHED

NO.	DATE	REVISION DESCRIPTION	DR.
3	15.JUN.14	CITY RESUBMISSION, STAFF COMMENTS	
2	15.MAR.25	UPDATE TO CIVIL AND ARCH. PLANS	DLG
1	15.JAN.28	NEW SITE PLAN / ADD DETAIL	DD

CLIENT:

PROJECT:
TOWNHOUSE DEV.
MOUNTAIN VIEW DRIVE
SURREY

DRAWING TITLE:
LANDSCAPE
DETAILS

DATE: 14.AUG.19 DRAWING NUMBER:
 SCALE: AS SHOWN
 DRAWN: DD
 DESIGN:
 CHKD: MCV

L5

OF 5

**TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: April 20, 2015 **PROJECT FILE: 7814-0253-00**

**RE: Engineering Requirements
Location: 15687 Mountain View Dr**

NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Register 0.50 metre wide Statutory Right of Way (SRW) on Mountain View Drive.
- Register SRWs for storm drainage servicing corridors for the properties to the west.

Works and Services

- Construct north side of Mountain View Drive to ultimate local standard with 10.50 metre pavement width.
- Provide analysis for the downstream drainage and sanitary sewer systems to confirm adequate capacity for the proposed development; update the systems if required.
- Construct drainage systems to service the proposed development.
- Provide onsite sustainable drainage features as per the NCP requirements.
- Extend sanitary sewer on Mountain View Drive to service the proposed lots.
- Pay Water, Sanitary and Drainage Latecomer Levies relative to project 7811-0287-00;
- Pay 100% cash payment for Water DCCFEA 8111-0269-00-00-1.
- Pay 100% cash payment for Sanitary DCC for DCCFEA 8205-0250-00-1.
- Pay 100% cash payment for Drainage DCC for DCCFEA 8305-0126-00-1/8311-0269-00-00-1.
- Pay Drainage Levy relative to Development Works Agreement 8611-0269-00-1.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Rémi Dubé, P.Eng.
Development Services Manager

IK1



Tuesday, January 13, 2015
 Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 7914-0253-00

SUMMARY

9 Single Family

The proposed 34 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	15
Secondary Students:	6

September 2014 Enrolment/School Capacity

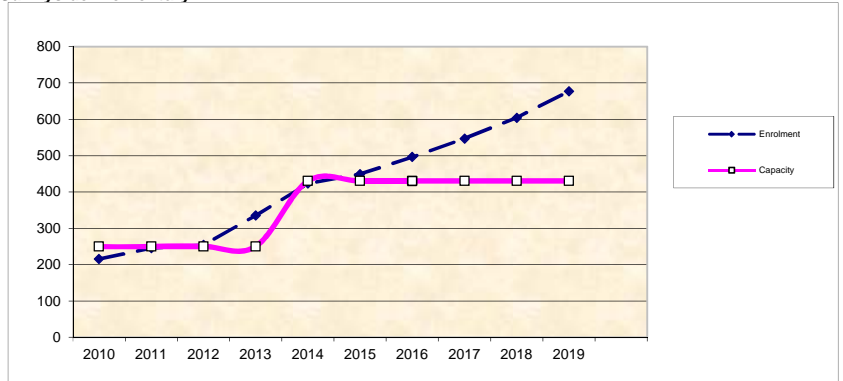
Sunnyside Elementary	
Enrolment (K/1-7):	74 K + 349
Capacity (K/1-7):	80 K + 350
Semiahmoo Secondary	
Enrolment (8-12):	1521
Nominal Capacity (8-12):	1300
Functional Capacity*(8-12):	1404

School Enrolment Projections and Planning Update:

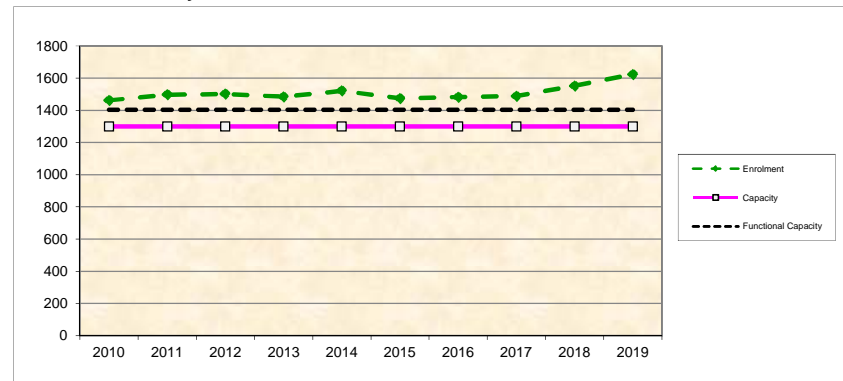
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Sunnyside Elementary was replaced on a new site and opened in September 2013. The school district has purchased land for a new secondary school in the Grandview Heights area (adjoining the City of Surrey owned recreation site) and has submitted a proposal for a new Grandview Heights area secondary school as a high priority project to the Ministry of Education. The new secondary school, which is still subject to capital project approval, is needed to relieve overcrowding at Earl Marriott Secondary and Semiahmoo Secondary. The construction of a new elementary school in the Grandview Heights area is also a high priority in the district's capital plan. Until new elementary and secondary school capacity is available, the school district does not support development occurring at a higher density than outlined in approved NCPs.

Sunnyside Elementary



Semiahmoo Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

BUILDING GUIDELINES SUMMARY

Surrey Project no: 7914-0253-00
 Project Location: 15687, 15715, and 15735 Mountain View Dr., Surrey, B.C
 Design Consultant: Tynan Consulting Ltd., (Michael E. Tynan)

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.

1. Residential Character

1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

The subject site is a mixed Townhouse / single family residential development. There are nine RF-12 lots proposed, all of which are located with frontage along the north side of Mountainview Drive. These nine RF-12 lots are located due north of a new 44 lot RF-12 zone development identified as Surrey project 7911-0287-00. The 44 lot site has been cleared and serviced and at February 2015, three new showhomes are under construction. The 44 lot site will be area-defining for single family development along Mountainview Drive, and for continuity, other new developments on Mountainview Drive in the local vicinity should be similar in theme, character, and representation to that of the 44 lot development.

Overall, this area was built out over a time period spanning from the 1960's to present (3 new homes under construction). The age distribution from oldest to newest is: 1960's (20%), 1970's (40%), 1980's (10%), and under construction (30%). A majority of homes in this area have a floor area in the 2501 - 3000 sq.ft. size range. Home size distribution is: 1000 - 1500 sq.ft. (30%), 1501 - 2000 sq.ft. (10%), 2001 - 2500 sq.ft. (20%), and 2501 - 3000 sq.ft. (40%). Styles found in this area include: "Old Urban" (20%), "West Coast Traditional" (20%), "West Coast Contemporary (assembly of geometric shapes type)" (10%), "West Coast Contemporary (flat roof type)" (10%), "Heritage (Old B.C.)" (10%), and "Neo-Traditional" (30%). Home types include: Bungalow (20%), 1½ Storey (10%), Cathedral Entry (10%), and Two-Storey (60%).

Massing scale (front wall exposure) characteristics include: Low mass structure (20%), Low to mid-scale massing (10%), Mid-scale massing (10%), Mid to high scale massing (20%), Mid-to-high scale massing with proportionally consistent, well balanced massing design (30%), and High scale, box-like massing (10%). The scale (height) range for front entrance structures include: One storey front entrance (90%), and 1½ storey front entrance (10%).

The range of roof slopes found in this area is: flat (7%), 3:12 (7%), 4:12 (13%), 5:12 (33%), 7:12 (7%), 10:12 (20%), and 12:12 (14%). Main roof forms (largest upper floor truss spans) include: Main common hip roof (30%), and Main common gable roof (70%). Feature roof projection types include: None (8%), Common Hip (31%), Common Gable (46%), Shed roof (8%), and Flat roof (8%). Roof surfaces include: Tar and gravel (9%), Metal (18%), Interlocking tab type asphalt shingles (9%), Shake profile asphalt shingles (36%), and Cedar shingles (27%).

Main wall cladding materials include: Horizontal cedar siding (10%), Vertical channel cedar siding (40%), Horizontal vinyl siding (10%), Hardiplank siding (30%), and Stucco cladding (10%). Feature wall trim materials used on the front facade include: No feature veneer (55%), Stone feature veneer (36%), and Wood wall shingles accent (9%). Wall cladding and trim colours include: Neutral (38%), and Natural (62%) (no primary or warm colours).

Covered parking configurations include: Single carport (10%), Double carport (10%), Single vehicle garage (20%), and Double garage (60%). Driveway surfaces include: Asphalt driveway (67%), and Under construction - driveway not yet installed (33%).

A variety of landscaping standards are evident, including: Old suburban landscape standard with sod and modest plantings (60%), Average modern urban landscape standard (10%), and Under Construction - landscaping not installed (30%).

1.2 Features of Surrounding Dwellings Significant to the Proposed Building Scheme:

- 1) **Context Homes:** There are only a few homes in this area that could be considered to provide acceptable architectural context for the subject site, and all three of these homes are the new homes under construction in the 44 lot site to the south, Surrey project 7911-0287-00. These homes meet new massing design standards in which various projections on the front of the home are proportionally consistent with one another, are well balanced across the façade, are visually pleasing, and are architecturally interesting. These new homes provide an appropriate standard for future development in this area, and emulating the standards found on these homes will reinforce the desirable emerging trend. Therefore, new homes should be consistent in theme, representation and character with homes under construction in the 44 lot RF-12 development to the south, and should also be consistent with building scheme regulations for the 44 lot site.
- 2) **Style Character :** Existing surrounding homes are of styles typical of those found in modern compact lot developments. Styles recommended for this site include "Neo-Traditional", "Neo-Heritage", "Craftsman Heritage, and "Rural Heritage" and compatible styles as determined by the consultant. Note that style range is not restricted in the building scheme. However, the consultant refers to the character study when reviewing plans for meeting style-character intent.
- 3) **Home Types :** There are a wide range of home types evident, and so some flexibility is justified. Home type (Two-Storey, Bungalow, Basement Entry, Split Level, etc..) will not be regulated in the building scheme. It is expected however, that all new homes at the subject site will be Two-Storey type.
- 4) **Massing Designs :** Massing designs should meet new standards for RF-12 zoned subdivisions. New homes should exhibit "mid-scale" massing. Various elements and projections on the front of the home should be interesting architecturally, and should be in pleasing natural proportions to one another. These elements and projections should be located so as to create balance across the façade.
- 5) **Front Entrance Design :** Front entrance porticos range from one to 1 ½ storeys in height. The recommendation is to limit the range of entrance portico heights to between one storey and 1 ½ storeys to ensure there is not proportional overstatement of this one element.
- 6) **Exterior Wall Cladding :** This is an area in which high value homes have been constructed with high quality cladding materials. Vinyl is a low cost utility cladding

material that is well suited to areas where affordability is an objective. This is not the case here, as all lots and new homes will be of high value and estate quality. Vinyl therefore, is not recommended. Note that vinyl is not permitted in the adjacent 44 lot site to the south.

- 7) **Roof surface :** This is a new growth area in which all new homes will have a shake profile asphalt shingle roof because the building scheme for the 44 lot site allows only shake profile asphalt shingle roof surfaces. Therefore, to ensure consistency of character, only shake profile asphalt shingles are recommended.
- 8) **Roof Slope :** Roof slopes of 8:12 or higher have been used on context homes. This is a suitable minimum roof slope given the objectives of ensuring continuity with context homes and to ensure that homes appear style-authentic within the proposed style range. This is also the minimum roof slope for the 44 lot development to the south.

Streetscape: On the north side of Mountainview Drive, homes are 40-60 year old "old urban" structures in various forms including Bungalow, 1 ½ Storey, Two-Storey, and Cathedral Entry, in an old suburban landscape setting featuring a few shrubs and native trees, sod, and asphalt driveways. On the south side of Mountainview Drive is a new 44 lot RF-12 development with 41 graded and serviced lots, and three new 2800 sq.ft. "Neo-Traditional" style "Two-Storey type with basement" RF12 zone homes currently under construction.

2. Proposed Design Guidelines

2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

- the new homes are readily identifiable as one of the following styles: "Neo-Traditional", "Neo-Heritage", "Craftsman-Heritage", or "Rural Heritage". Note that the proposed style range is not contained within the building scheme, but is contained within the residential character study which forms the basis for interpreting building scheme regulations.
- a new single family dwelling *constructed* on any *lot* meets year 2000's design standards, which include the proportionally correct allotment of mass between various street facing elements, the overall balanced distribution of mass within the front facade, readily recognizable style-authentic design, and a high trim and detailing standard used specifically to reinforce the style objectives stated above.
- trim elements will include several of the following: furred out wood posts, articulated wood post bases, wood braces and brackets, louvered wood vents, bold wood window and door trim, highly detailed gable ends, wood dentil details, stone or brick feature accents, covered entrance verandas and other style-specific elements, all used to reinforce the style (i.e. not just decorative).
- the development is internally consistent in theme, representation, and character.
- the entrance element will be limited in height (relative dominance) to 1 to 1 ½ storeys.

2.2 Proposed Design Solutions:

**Interfacing Treatment
with existing dwellings)**

Strong relationship with neighbouring "context homes" including homes on lots 8, 9, and 10 in the 44 lot RF-12 project 7911-0287-00 located adjacent to the south side of the subject site (opposite side of Mountainview Drive). Homes will therefore

be in a compatible style range, including “Neo-Traditional” and “Neo-Heritage” styles (note however that style range is not specifically regulated in the building scheme). New homes will have similar or better massing designs (equal or lesser massing scale, consistent proportionality between various elements, and balance of volume across the façade). New homes will have similar roof types, roof slope and roofing materials. Wall cladding, feature veneers and trim treatments will meet or exceed standards found on the aforesaid context homes.

Exterior Materials/Colours: Stucco, Cedar, Hardiplank, Brick, and Stone. Vinyl siding not permitted on exterior walls.

“Natural” colours such as browns, greens, clays, and other earth-tones, and “Neutral” colours such as grey, white, and cream are permitted. Primary colours permitted in subdued tones if accompanied by neutral trim colours and approved by the design consultant. “Warm” colours such as pink, rose, peach, salmon are not permitted. Trim colours: Shade variation of main colour, complementary, neutral, or subdued contrast only.

Roof Pitch: Minimum 8:12.

Roof Materials/Colours: Only shake profile asphalt shingles with a pre-formed (manufactured) raised ridge cap. The asphalt shingles should have a minimum 30 year warranty, and be in dark grey or black colours only

In-ground basements: Permitted, subject to determination that service invert locations are sufficiently below grade. Basements will appear underground from the front.

Treatment of Corner Lots: Not applicable - there are no corner lots

Landscaping: *Moderate modern urban standard:* Tree planting as specified on Tree Replacement Plan plus minimum 17 shrubs of a minimum 3 gallon pot size. An additional 12 shrubs of a 3 gallon pot size are recommended in the east sideyard of lot 5 and in the west sideyard of lot 6. Sod from street to face of home. Driveways: exposed aggregate, interlocking masonry pavers, or stamped concrete.

Compliance Deposit: \$5,000.00

Summary prepared and submitted by: Tynan Consulting Ltd. Date: Feb 4, 2015

Reviewed and Approved by:  Date: Feb 4, 2015

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 14-0253-00

Address: 15687 / 715 / 735 Mountain View Drive, Surrey, BC

Registered Arborist: Colin Rombough and Mike Fadum

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	157
Protected Trees to be Removed	146
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	11
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 82 X one (1) = <u>82</u> - All other Trees Requiring 2 to 1 Replacement Ratio 64 X two (2) = <u>128</u> 	210
Replacement Trees Proposed	121
Replacement Trees in Deficit	89
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	1
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 1 X two (2) = 0 	2
Replacement Trees Proposed	121
Replacement Trees in Deficit	89

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist:

Date: April 13, 2015



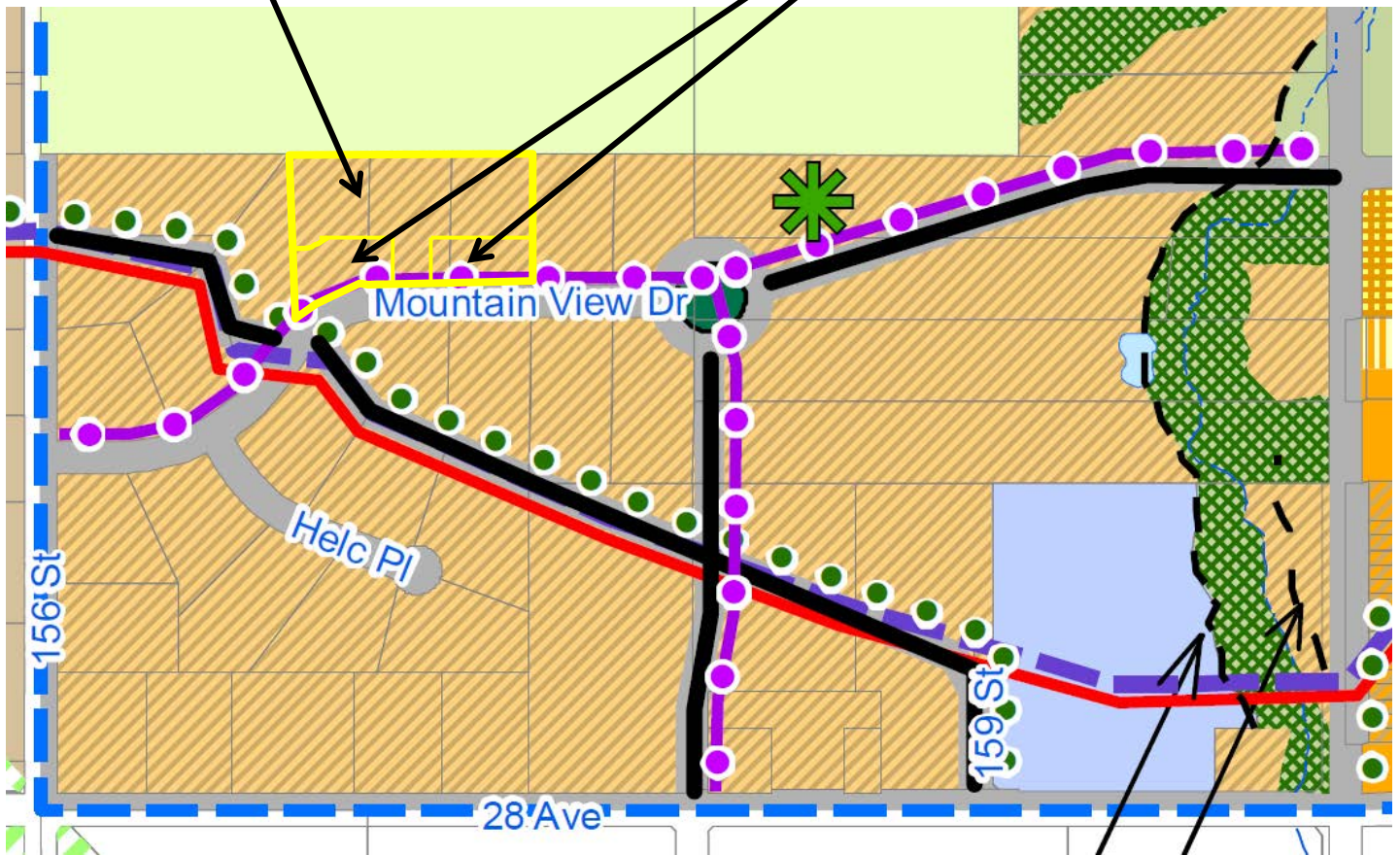
Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302



7914-0253-00 NCP Amendment Map

From "Cluster Housing (6-8 upa)" to "Townhouses 15 upa max"

From "Cluster Housing (6-8 upa)" to "Single Family Small Lots"



CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Portion of Parcel Identifier: 000-530-221

Lot 27 Section 23 Township 1 New Westminster District Plan 36924, as shown on the Survey Plan attached hereto and forming part of this By-law as Schedule A, certified correct by G. A. Rowbotham, B.C.L.S. on the 26th day of March, 2015, containing 2,785.5 sq.m., called Block A.

Portion of 15687 - Mountain View Drive

Portion of Parcel Identifier: 000-641-154

Lot 26 Section 23 Township 1 New Westminster District Plan 36924, as shown on the Survey Plan attached hereto and forming part of this By-law as Schedule A, containing 3,389.2 sq.m., called Block B.

Portion of 15715 - Mountain View Drive

Portion of Parcel Identifier: 007-445-687

Lot 25 Section 23 Township 1 New Westminster District Plan 36924, as shown on the Survey Plan attached hereto and forming part of this By-law as Schedule A, containing 2,737.6 sq.m., called Block C.

Portion of 15735 - Mountain View Drive

(hereinafter referred to as the "*Lands*")

2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of low *density, ground-oriented multiple unit residential buildings* and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design* where *density bonus* is provided.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Ground-oriented multiple unit residential buildings.*
2. *Child care centres*, provided that such centres:
 - (a) Do not constitute a singular use on the *lot*; and
 - (b) Do not exceed a total area of 3.0 square metres [32 sq.ft.] per *dwelling unit*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The *unit density* shall not exceed 2.5 *dwelling units* per hectare [1 u.p.a.]. The maximum *density* may be increased to that prescribed in Section D.2 of this Zone if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 120000, as amended.
2.
 - (a) The *floor area ratio* shall not exceed 0.68; and
 - (b) The *unit density* shall not exceed 38 *dwelling units* per hectare [15 u.p.a.].
3. The indoor *amenity space* required in Sub-section J.1(b) is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

The *lot coverage* shall not exceed 35%.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum setbacks:

Use	Setback	North Yard	South Yard	West Yard	East Yard
<i>Principal Buildings and Accessory Buildings and Structures</i>		6.1 m.	7.0 m.	3.0 m.	3.0 m.
		[20 ft.]	[23 ft.]	[10 ft.]	[10 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings:* The *building height* shall not exceed 11 metres [36 ft.].
2. *Accessory buildings and structures:*
 - (a) *Indoor amenity space buildings:* The *building height* shall not exceed 11 metres [36 ft.]; and
 - (b) *Other accessory buildings and structures:* The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. Resident and visitor *parking spaces* shall be provided as stated in Table C.6. of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.
3. Parking within the required *setbacks* is not permitted.
4. *Tandem parking* for *ground-oriented multiple unit residential buildings* shall be permitted as follows:
 - (a) A maximum of fifty percent (50%) of all required resident parking spaces may be provided as tandem parking spaces, excluding parking spaces provided as underground parking. For underground parking, a maximum of ten percent (10%) of all required resident parking spaces may be provided as tandem

parking spaces;

- (b) *Dwelling units with tandem parking spaces* shall not be permitted direct vehicular access to an adjacent *highway*;
- (c) *Tandem parking spaces* must be attached to each *dwelling unit*, excluding *parking spaces* provided as *underground parking*; and
- (d) Both *tandem parking spaces* must be held by the same owner.

I. Landscaping

- 1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
- 2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
- 3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
- 4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.

J. Special Regulations

- 1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit*.
- 2. *Child care centres* shall be located on the *lot* such that these centres:
 - (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
 - (b) Have direct access to an *open space* and play area within the *lot*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
2,000 sq. m. [0.5 acre]	20 metres [66 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-15 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2014, No. 18148, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-15 Zone.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.

11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20 .

PASSED SECOND READING on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

PASSED THIRD READING on the _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

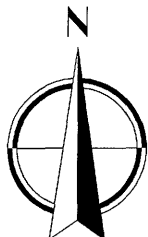
MAYOR

CLERK

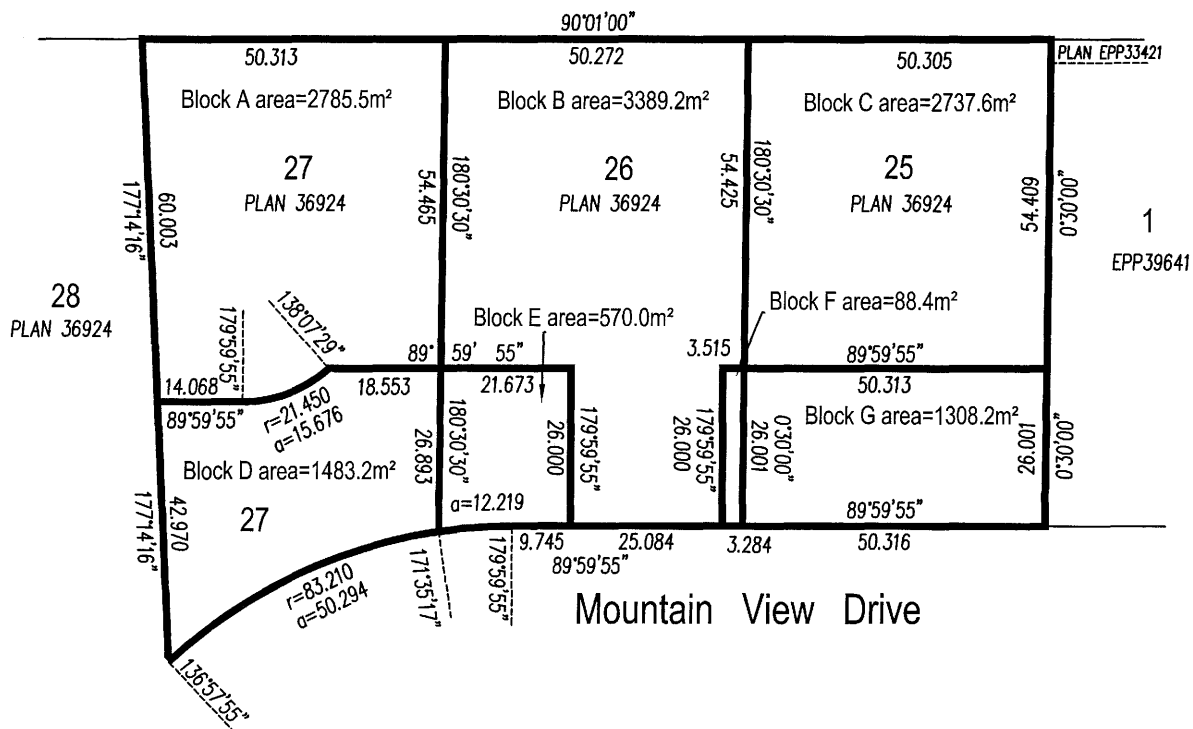
SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW _____ OF:
 LOTS 25, 26 AND 27 SECTION 23 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 36924



The intended plot size of this plan is 210mm in width 280mm in height (A Size) when plotted at a scale of 1:1250



Rem LS 15



LEGEND

m² " SQUARE METRES

OLSEN & ASSOCIATES

BRITISH COLUMBIA LAND SURVEYORS

204-15585 24th AVENUE, SURREY, B.C. V4A 2J4

PHONE : 604-531-4067 Fax : 604-531-5811

email: info@olsensurveying.ca

File No 17799-REZONING-BLOCK

CERTIFIED CORRECT

Dated this 26th day of MARCH, 2015

THIS DOCUMENT IS NOT VALID UNLESS
 ORIGINALLY SIGNED AND SEALED. ©