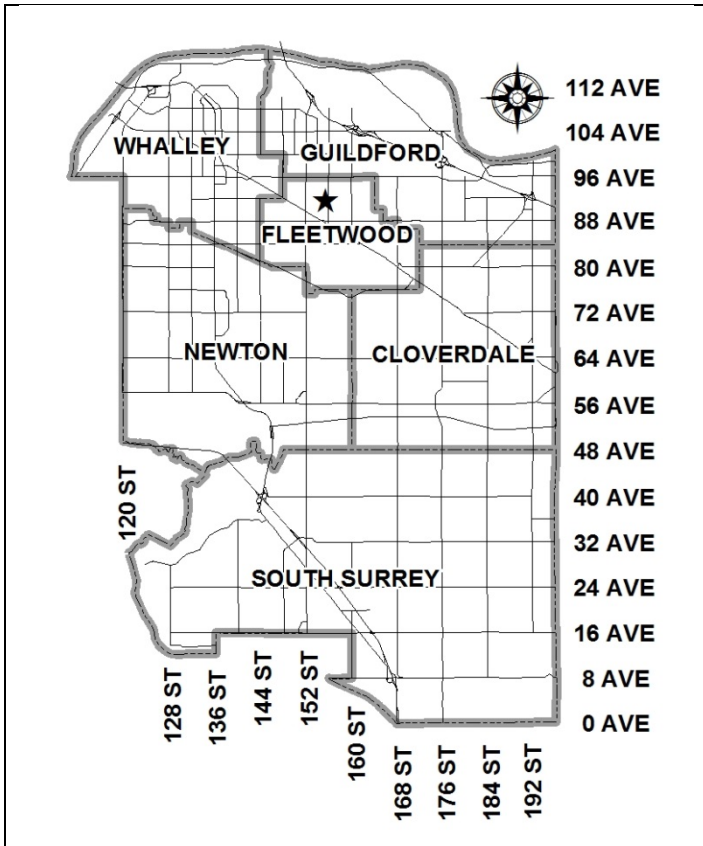


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0202-00

Planning Report Date: October 20, 2015



PROPOSAL:

- **Rezone** a portion from RF to CD (based on RF) to allow subdivision into 2 single family lots and retain an existing house.

LOCATION:

15463 - 91 Avenue

OWNERS:

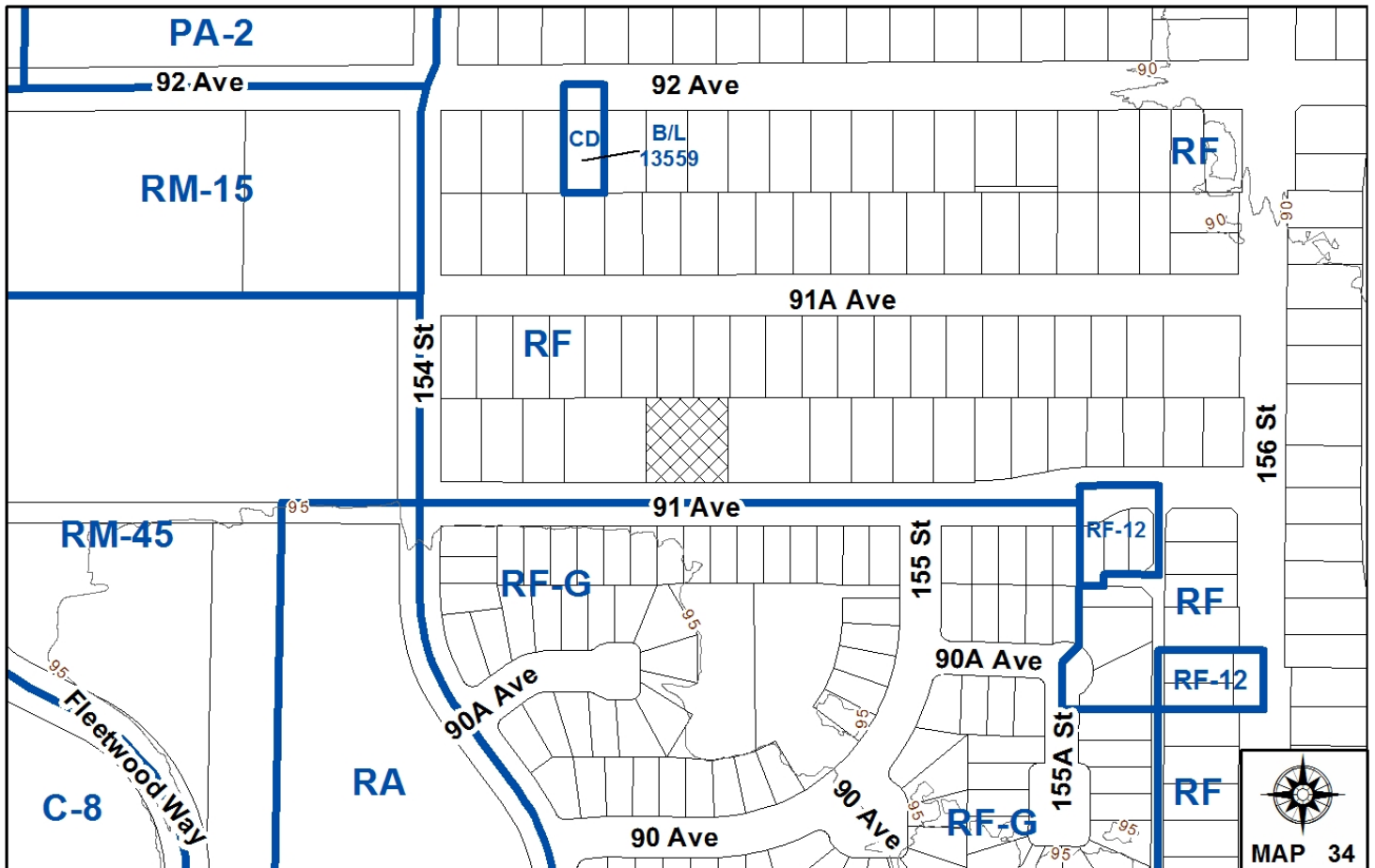
Kulwinder and Mohinder Johal

ZONING:

RF

OCP DESIGNATION:

Urban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with the Urban designation in the OCP.
- The proposed subdivision continues the existing subdivision pattern along 91 Avenue.
- The existing house on the property was constructed in 2005, prior to the 2013 amendments to the RF Zone. The house was constructed on the eastern portion of the lot and sized appropriately to facilitate future subdivision of the property in accordance with the provisions of the RF Zone applicable at that time.
- The 2013 amendments to the RF Zone affected how the floor area ratio is calculated, by including covered decks and “open to below” areas within the house.
- The existing house was built in 2005 to the maximum of 330 square metres (3,550 sq. ft.) and 0.48 floor area ratio (FAR) permitted. However, now that covered decks and open to below areas are included in the density calculation, a 2-lot subdivision cannot be approved without rezoning the proposed lot with the existing house.
- Had the proposed subdivision been initiated and completed prior to the 2013 amendments to the RF Zone, the proposed subdivision would not have required a rezoning application.
- The proposed CD Zone is designed to apply the same zoning requirements on proposed Lot 2 as were applicable when the existing house was originally constructed under the previous RF Zone. The proposed CD Zone will not permit the existing covered decks to be enclosed or the open to below areas modified.
- An existing accessory building, which was constructed at the rear of the property without permits, is proposed to be demolished.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone a portion of the subject site, shown as Block A on the Survey Plan attached as Appendix I, from "Single Family Residential Zone (RF)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
2. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) the applicant address the concern that the development will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation and Culture; and
 - (d) demolition of the existing accessory building that was constructed without permits.

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
Parks, Recreation & Culture:	Parks have some concerns about the pressure this project will place on existing Parks, Recreation and Culture facilities in the neighbourhood. The applicant will be required to address these concerns prior to final adoption of the Rezoning By-law.

SITE CHARACTERISTICS

Existing Land Use: Single family dwelling and accessory building on eastern half of property; the accessory building will be removed.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Single family dwellings.	Urban	RF
East:	Vacant over-sized single family lot.	Urban	RF
South (Across 91 Avenue):	Single family dwellings.	Urban	RF-G
West:	Over-sized lot with single family dwelling on the western half.	Urban	RF

DEVELOPMENT CONSIDERATIONSBackground

- The 1,653-square metre (0.4 acre) subject site is located at 15463 – 91 Avenue in Fleetwood. The site is zoned "Single Family Residential Zone (RF)" and is designated "Urban" in the Official Community Plan (OCP). A single family dwelling, without a basement, is located on the eastern portion of the lot and was built in 2005 under the RF zoning provisions applicable at that time.
- In 2013, Council amended Zoning By-law No. 12000 including several revisions to the Single Family Residential (RF) Zone (Corporate Report No. R119). Key changes to the RF Zone included the following:
 - The floor area ratio (FAR) was increased from 0.52 for lots of 560 square metres (6,000 sq.ft.) or less and 0.48 for lots in excess of 560 square metres (6,000 sq.ft.) to 0.60 for the first 560 square metres (6,000 sq. ft.) of lot area and 0.35 for the remaining lot area in excess of 560 square metres (6,000 sq. ft.);
 - The maximum allowable floor area was increase from 270 square metres (2,900 sq.ft.) for lots of 560 square metres (6,000 sq.ft.) or less and 330 square metres (3,550 sq.ft.) for lots in excess of 560 square metres (6,000 sq.ft.) to 465 square metres (5,000 sq.ft.) for all lot sizes;
 - The floor area reserved for a garage/carport was increased from 37 square metres (400 sq.ft.) to 39 square metres (420 sq.ft.);
 - Covered outdoor space and open to below areas previously excluded from the floor area calculation were included (with some minor exemptions);
 - The maximum lot coverage was adjusted from 40% for all lot sizes to a variable lot coverage based on lot size up to a maximum of 40%; and
 - The side yard setback requirements were adjusted from a minimum of 1.2 metres (4 ft.) on one side provided that the opposite side yard was a minimum of 2.4 metres (8 ft.) to 1.8 metres (6 ft.) on both sides.
- The amendments to the RF Zone rendered the existing house on the subject lot non-conforming.

Proposed Subdivision

- The applicant is proposing to subdivide the subject property into two (2) lots. The subject lots are both proposed to be 827 square metres (8,900 sq. ft.) in size with a depth of 41 metres (135 ft.) and a width of 20 metres (66 ft.), which complies with the RF Zone and is consistent with the established lot pattern in the surrounding neighbourhood.

Proposed Rezoning

- The existing house has a total floor area of 330 square metres (3,550 sq.ft.), excluding any covered outdoor space and open to below areas. This complied with the maximum floor area of 330 square metres (3,550 sq.ft.) under the previous (pre-2013) RF Zone. Similarly, the floor area ratio (FAR) of the existing house excluding any covered outdoor space and open to below areas on proposed Lot 2 is 0.40, which also would have complied with the maximum FAR of 0.48 under the previous RF Zone.
- However, when calculated under the provisions of the current RF Zone, including covered outdoor space and open to below areas, the total floor area of the existing house is 529 square metres (5,700 sq.ft.), representing a floor area ratio (FAR) of 0.64 on proposed Lot 2. This exceeds both the maximum floor area of 465 square metres (5,000 sq.ft.) and maximum FAR of 0.52 (based on the size of proposed Lot 2) under the current RF Zone.
- The lot coverage of the existing house on proposed Lot 2 is 36%, which would have complied with the previous maximum 40% lot coverage of the previous RF Zone, but is slightly higher than the 34% lot coverage permitted (based on the size of proposed Lot 2) under the current RF Zone.
- The garage in the existing house is 37 square metres (400 sq.ft.) in size, which complied with the previous RF Zone, but does not meet the minimum area of 39 square metres (420 sq.ft.) required under the current RF Zone.
- The existing house is located 1.2 metres (4 ft.) from the east lot line in accordance with the previous RF Zone, which allowed a 1.2-metre (4 ft.) setback for one side yard provided that the opposite side yard was a minimum of 2.4 metres (8 ft.). The current RF Zone requires that the side yard setbacks be a minimum of 1.8 metres (6 ft.) on both sides.
- In approximately 2006, an accessory building (shed) was constructed at the rear of the property without a building permit. As the existing house is already at a maximum floor area, the owner has proposed to remove the accessory building as a condition of the rezoning.
- In order to facilitate the retention of the existing house and subdivide the lot into two lots, the applicant therefore proposes to rezone proposed Lot 2 from “Single Family Residential Zone (RF)” to a “Comprehensive Development Zone (CD)”.

Proposed Comprehensive Development (CD) Zone

- The proposed CD Zone (Appendix VI) is based on the previous (prior to 2013) RF Zone (Appendix VII) with a lower floor area ratio (FAR) and maximum total floor area, but excluding covered outdoor space and open to below areas. The lot coverage is increased from 34% under the current RF Zone to 36%. The east side yard setback has been reduced from 1.8 metres (6 ft.) to 1.2 metres (4 ft.) but the west side yard setback has been increased to 2.4 metres (8 ft.).
- The table below provides a comparison between the current RF Zone and the proposed CD Zone:

	RF Zone	Proposed CD Zone
Floor Area Ratio (FAR)	0.52 (based on lot size and <u>including</u> covered outdoor space and open to below areas)	0.40 (<u>excluding</u> covered outdoor space and open to below areas)
Side Yard Setbacks	1.8 metres (6 ft.)	1.2 metres (4 ft.) – east side yard. 2.4 metres (8 ft.) – west side yard
Lot Coverage	34% (based on lot size)	36 %
Floor Area	430 square metres (4,630 sq. ft.) (based on lot size and <u>including</u> covered outdoor space and open to below areas)	330 square metres (3,550 sq.ft.) (<u>excluding</u> covered outdoor space and open to below areas)
Floor area reserved for garage or carport	39 square metres (420 sq.ft.)	37 square metres (400 sq.ft.)

- The intent of the CD Zone is to apply the same requirements to proposed Lot 2 as the previous (prior to 2013) RF Zone. The proposal has merit as the existing house was constructed, with appropriate permits, in accordance with the zoning requirements applicable at the time, and is in good condition, worthy of retention.
- The house was constructed to an appropriate size and sited accordingly in anticipation of subdividing the property in the future. Had the proposed subdivision been initiated and completed prior to 2013, a rezoning would not have been required as the house would have complied fully with the previous RF Zone provisions.
- The proposed CD Zone will not permit enclosure of the existing covered outdoor space or infilling of open to below areas in the existing house as this would be considered additional floor area that would result in the house exceeding the density provisions of the proposed CD Zone.
- There is a 28-square metre (300 sq.ft.) existing accessory building on the lot that was constructed without permits that exceeds the combined floor area restrictions of the previous RF Zone and the current RF Zone. This accessory building is proposed to be removed prior to consideration of final adoption of the rezoning by-law.

Design Guidelines and Lot Grading

- The applicant retained Ran Chahal of Apex Design Group as the Design Consultant. The Design Consultant conducted a character study of the surrounding homes and based on the findings of the study, proposed a set of building design guidelines for both proposed lots (Appendix IV).
- A preliminary lot grading plan was submitted by Mainland Engineering Consultants and reviewed by staff and was determined to be adequate. Based on the proposed grading no basements can be achieved on either lot.

Tree Preservation

- Three (3) trees were recently removed with permits, along the rear property line as they were deemed hazardous. Since no additional trees are proposed to be removed as part of the proposed subdivision, an arborist report is not required. As a condition of the subdivision, the applicant will plant an additional 4 trees on each lot for a total of 8 trees (Appendix V).

PRE-NOTIFICATION

Pre-notification letters were mailed on December 18, 2014 and a development sign was installed on June 8, 2015. Staff received comments from one resident, which is summarized below (staff comments are in *italics*):

- The neighbourhood is concerned that the owner will fill in the covered decks. The resident informed staff that portions of the deck have been insulated already and a door is enclosed in the wall which has stucco over it.

(The proposed CD By-law specifies a maximum FAR of 0.40 and maximum total floor area of 330 square metres (3,550 sq.ft.), excluding covered outdoor space and open to below areas, to accommodate the existing house as currently constructed. Enclosing the decks, thereby creating additional floor area would be in contravention of the proposed CD Zone.)

- The resident informed staff that an accessory building was built behind the house, without permits which has increased the FAR over the maximum allowed under the previous RF Zone.

(The applicant has agreed to remove the unauthorized accessory building as it was constructed without permits and subsequently increased the total combined floor area over the maximum permitted under the previous and current RF Zones.)

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary, Project Data Sheet and Survey Plan
Appendix II.	Proposed Subdivision Layout
Appendix III.	Engineering Summary
Appendix IV.	Building Design Guidelines Summary
Appendix V.	Tree Planting Plan
Appendix VI.	Proposed CD By-law
Appendix VII.	Pre-2013 RF Zone

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

JKS/dk

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SUBDIVISION DATA SHEET

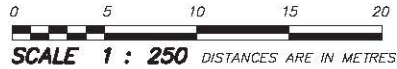
Proposed and Existing Zoning: CD (based on RF) and RF

Required Project Data	Proposed	
GROSS SITE AREA		
Acres	0.41 acre	
Hectares	0.16 hectare	
NUMBER OF LOTS		
Existing	1	
Proposed	2	
SIZE OF LOTS		
Range of lot widths (metres)	20.12 metres	
Range of lot areas (square metres)	827.8 square metres	
DENSITY		
Floor Area Ratio (FAR)	CD 0.40	RF 0.52
SITE COVERAGE (in % of gross site area)		
Maximum Coverage of Principal & Accessory Building	36%	34%
Estimated Road, Lane & Driveway Coverage	5%	5%
Total Site Coverage	41%	39%
PARKLAND		
Area (square metres)	N/A	
% of Gross Site		
Required		
PARKLAND		
5% money in lieu	NO	
TREE SURVEY/ASSESSMENT		
NO		
MODEL BUILDING SCHEME		
YES		
HERITAGE SITE Retention		
NO		
FRASER HEALTH Approval		
NO		
DEV. VARIANCE PERMIT required		
Road Length/Standards	NO	
Works and Services	NO	
Building Retention	NO	
Others	NO	

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY BYLAW No. _____
 OVER LOT 4 BLOCK "C" SECTION 35 TOWNSHIP 2
 NWD PLAN 2213**

SURREY FILE NO: 7912-0192-00

FOR THE PURPOSE OF REZONING

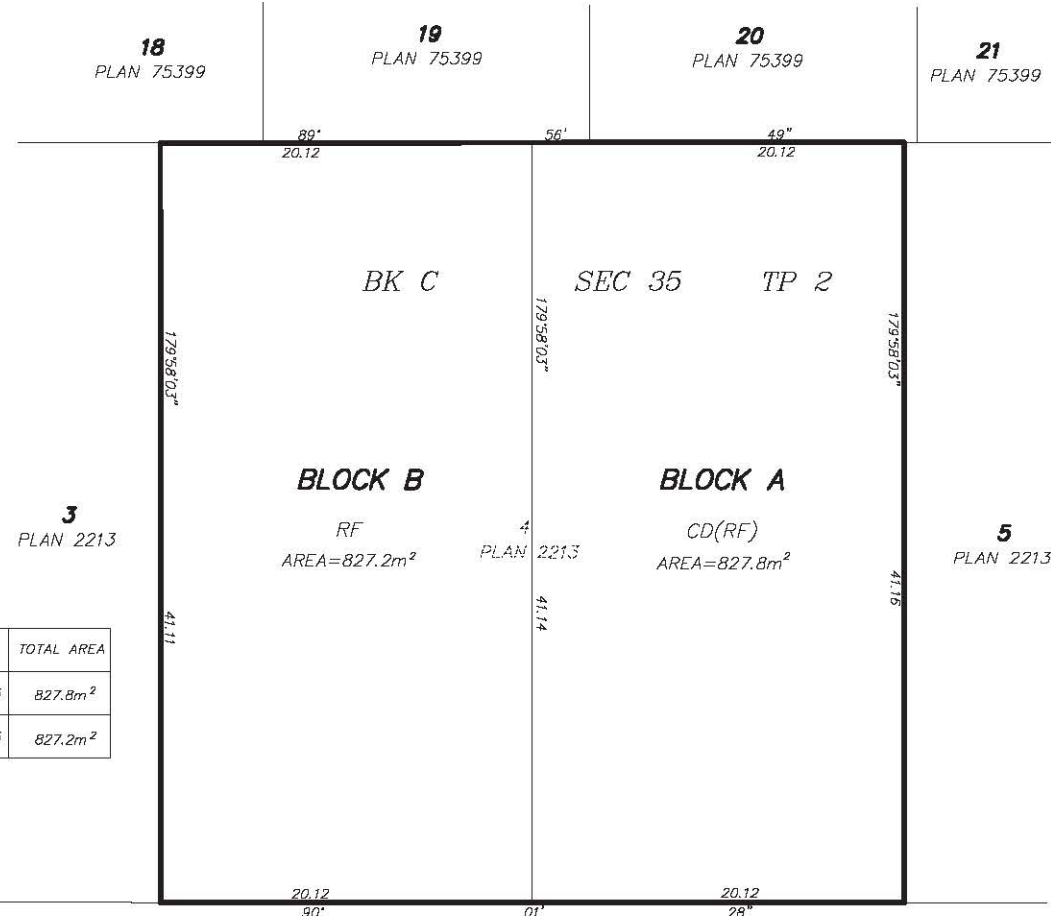


THE INTENDED PLOT SIZE OF THIS PLAN
 IS 432mm IN WIDTH BY 280mm IN HEIGHT
 (B SIZE) WHEN PLOTTED AT A SCALE OF 1:250

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES
 EXCEPT WHERE OTHERWISE NOTED.

GRID BEARINGS ARE DERIVED FROM PLAN B6070.

Lot dimensions and clearances according to
 Field Survey.



ZONE	LEGAL DESCRIPTION	TOTAL AREA
BLOCK A CD(RF)	LOT 4 BLOCK "C" SECTION 35 TOWNSHIP 2 NWD PLAN 2213	827.8m ²
BLOCK B RF	LOT 4 BLOCK "C" SECTION 35 TOWNSHIP 2 NWD PLAN 2213	827.2m ²

CERTIFIED CORRECT THIS 21th DAY OF JULY, 2015.

 B.C.L.S.

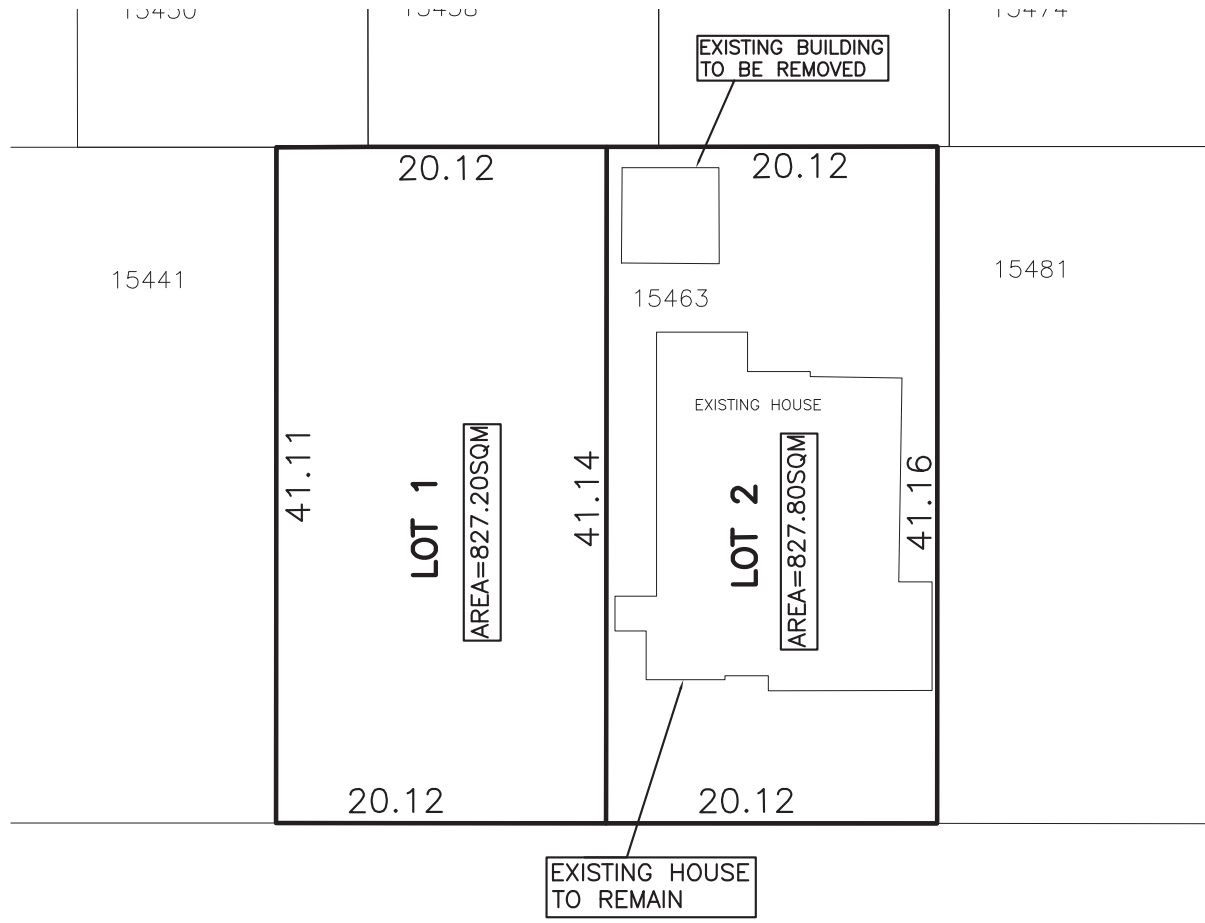
LAKHJOT S. GREWAL

This document is not valid unless originally signed and sealed.

91st AVENUE

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

**GREWAL & ASSOCIATES
 PROFESSIONAL LAND SURVEYORS**
 UNIT 204, 15299-681st AVENUE
 SURREY, B.C. V3S 2C1
 TEL: 604-597-8567
 EMAIL: Office@GrewalSurveys.com
 FILE : 1407-059
 DWG : 1407-059 RZ-3



91 Avenue



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **June 23, 2015** PROJECT FILE: **7814-0202-00**

RE: **Engineering Requirements
Location: 15463 91 Avenue**

REZONE/SUBDIVISION***Works and Services***

- construct north side of 91 Avenue to the through local road standard complete with 6.1-metres pavement width; barrier curb and gutter; and 1.5-metre concrete sidewalk offset 0.5-metres from the property line; and
- provide each lot with adequately sized storm sewer, water, and sanitary sewer service connections.

A Servicing Agreement is required prior to Rezone/Subdivision.



Rémi Dubé, P.Eng.
Development Services Manager

sk

BUILDING GUIDELINES SUMMARY**V.1.0**

Surrey Project no.: 14-0202 (M.Johal)
Property Location: 15463-91 Ave, Surrey, B.C

Design Consultant: Apex Design Group Inc., (Ran Chahal, RD.AIBC, CRD)
 #157- 8120 -128 Street, Surrey, BC V3W 1R1
 Off: 604-543-8281 Fax: 604-543-8248

The draft Building Scheme proposed for this Project has been files with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines, which highlight the important features and form the basis of the draft Building Scheme.

1. Residential Character**1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:**

The area surrounding the subject site is an old urban area built out in the 1960's – 2000's. Most homes are simple "West Coast Traditional" style structures with habitable areas of between 1000-3000sf.

Most of the existing homes have mid to mid-massing characteristics with 92% of the homes having a one storey front entry.

Roof pitch varies from economical low pitch (6/12 or lower) to medium pitch (7-9/12) common truss roofs with simple gables and common hips with asphalt shingles roof being most common.

Wall surface materials are limited in the most part to one of the following: Vinyl with Brick (dominant), Stucco Siding for an accent material. Accent trims are evident on most of the existing homes.

Landscaping is of a moderate planting standard with 100% of the homes having Exposed Aggregate driveways.

1.2 Prevailing Features of the Existing and Surrounding Dwellings Significant to the Proposed Building Scheme:

None. Since the majority of the existing homes in the study area are 10-40 years old, a new character area will be created. The new homes will meet modern development standards especially with respect to overall massing and balance in each design and to proportional massing between individual elements. Trim and detailing standards and construction materials standards will meet 2000's levels. Continuity of character will be ensured through style and home type restrictions as described below.

Dwelling Types/Locations: "Two-Storey" 100.0%

“Basement Entry/Cathedral Entry” 0.00%
 “Rancher (Bungalow)” 0.00%
 “Split Levels” 0.00%

Dwelling Sizes/Locations: Size range: 0.00% under 2000 sq.ft excl. garage
(Floor Area and Volume) 100.00% 2001 - 2500 sq.ft excl. garage
 0.00% over 2501 sq.ft excl. garage

Exterior Treatment Cedar: 0.0% Stucco: 12.0% Vinyl: 88.0%
/Materials: Brick or stone accent on 28.0% of all homes

Roof Pitch and Materials: Asphalt Shingles: 100.00% Cedar Shingles: 0.00%
 Concrete Tiles: 0.00% Tar & Gravel: 0.00%
 50.00% of all homes have a roof pitch 6:12 or lower.

Window/Door Details: 100% of all homes have rectangular windows

Streetscape: A variety of simple “Two Story”, 10-40 year old “West Coast Traditional” homes are set 25 to 50 feet from the street in a common old urban setting typified by coniferous growth and mature shrubs. Roofs on most homes are simple low pitch common hip or common gable forms with asphalt shingles on most of the homes. Most homes are clad in Vinyl.

Other Dominant Elements: None

2. Proposed Design Guidelines

2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

Guidelines will not preserve the existing old urban character. Rather, the guidelines will ensure that a desirable new character area is created in which modestly sized Two-Storey, Bungalow and Split Level type homes are constructed to 2000’s standard. Continuity of character will be achieved with restrictions permitting the use of compatible styles, roof forms and exterior construction materials. Landscapes will be constructed to a modern urban standard.

2.2 Proposed Design Solutions:

Dwelling Types/Locations: Two-Storey, Split Levels and Ranchers (Bungalows).

Dwelling Sizes/Locations: Two-Storey or Split Levels - 2000 sq.ft. minimum
(Floor Area and Volume) Basement Entry - 2000 sq.ft. minimum
 Rancher or Bungalow - 1400 sq.ft. minimum
 (Exclusive of garage or in-ground basement)

Exterior Treatment No specific interface treatment. However, all permitted
/Materials: styles including: “Neo-Traditional”, “Neo-Heritage”,

“Rural-Heritage” or “West Coast Modern” will be compatible with the existing study area homes.

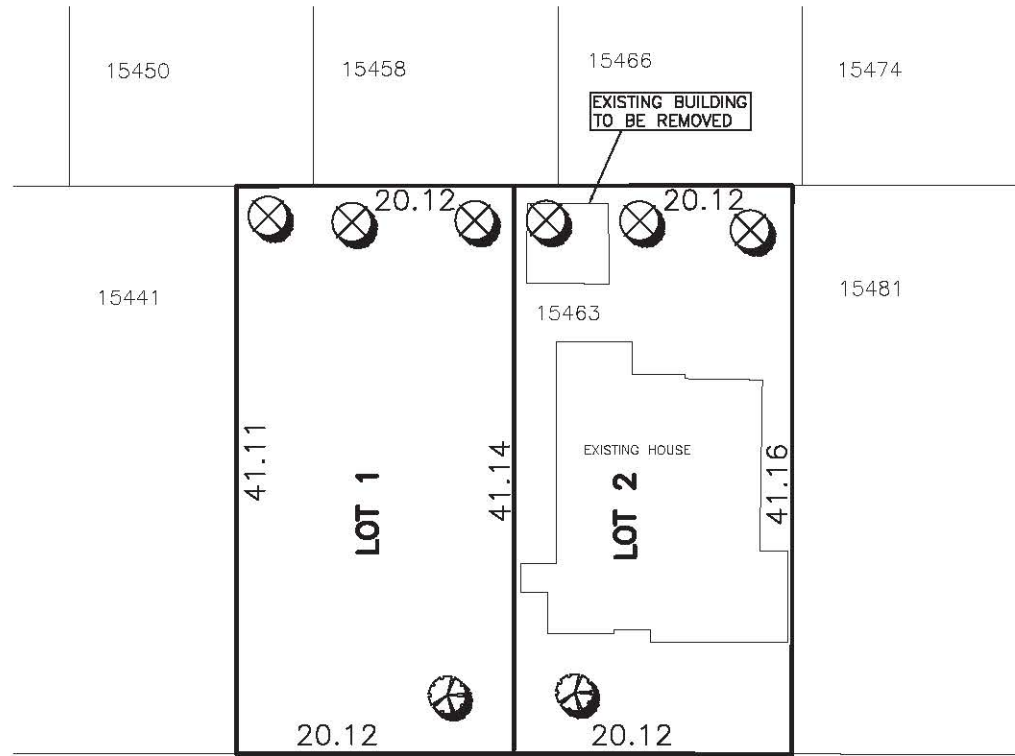
Exterior Materials /Colours:	Stucco, Cedar, Vinyl, Hardiplank, Brick and Stone in “Neutral” and “Natural” colours. “Primary” and “Warm” colours not permitted on cladding. Trim colours: Shade variation on main colour, complementary, neutral or subdued contrast.
Roof Pitch:	Minimum 7:12
Roof Materials/Colours:	Cedar shingles, Concrete roof tiles in a shake profile and asphalt shingles in a shake profile. Grey or brown only.
Window/Door Details:	Dominant: Rectangular or Gently arched windows.
In-ground basements:	Permitted if servicing allows.
Landscaping:	Trees as specified on Tree Replacement Plan plus min. 17 shrubs (min. 5 gallon pot size).
Compliance Deposit:	\$ 5,000.00

Summary prepared and submitted by:



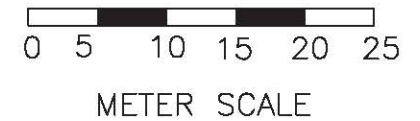
Ran Chahal, CRD, Design Consultant
Apex Design Group Inc.

July 16, 2014
Date



LEGEND

- DECIDUOUS REPLACEMENT TREE (5CM DIA. MIN.)
- CONIFEROUS REPLACEMENT TREE (3M HT MIN.)



NOTE:

1. PLANTS IN THE PLANT LIST ARE SPECIFIED ACCORDING TO THE LANDSCAPE CANADA GUIDE SPECIFICATIONS FOR NURSERY STOCK AND THE BCNTA STANDARD FOR CONTAINER GROWN PLANTS.
2. ALL LANDSCAPING & LANDSCAPE MATERIALS TO CONFIRM TO THE LATEST EDITION OF THE BCLNA/BCSLA "LANDSCAPE STANDARDS"
3. ALL ASPECTS OF THIS PLAN AND THE WORK THAT IT REFERS TO OUR SUGGESTS MUST CONFORM TO THE CITY OF SURREY'S TREE PRESERVATION BY-LAW #16100.

91 AVE

NO.	DATE	BY	CHK.	REVISION
1	15/10/12	RM	RM	ISSUED FOR APPROVAL

MAINLAND ENGINEERING DESIGN CORPORATION

SUITE 208 8363 128TH STREET
SURREY, B.C. V0W 4R1
TEL: (604) 543 8044 FAX: (604) 543 8104
EMAIL: CIVIL@MAINLAND.ENG.CAN

DEVELOPMENT/SITE LOCATION
2 LOT SUBDIVISION
#15463 91 AVE, SURREY, B.C.

DWG. NAME
TREE REPLACEMENT PLAN

SCALE	N.T.S.	SURREY PROJECT NO.	DRAWING NO.
DESIGNED	RM		1
DRAWN	RM	MAINLAND PROJECT NO.	
CHECKED	RM	C-1436	OF 1
APPROVED	AB	DATE 15/10/12	REV. 0

CITY OF SURREYBYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Portion of Parcel Identifier: 012-572-802
 Lot 4 Block "C" Section 35 Township 2 New Westminster District Plan 2213 as shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Shoupeng Liu, B.C.L.S. on the 21st day of July, 2015, containing 827.8 square metres, called Block A.

Portion of 15463 - 91 Avenue

(hereinafter referred to as the "*Lands*")

2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of a *single family dwelling* on an *urban lot*.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. One *single family dwelling* which may contain 1 *secondary suite*.
2. *Accessory uses* including the following:

- (a) *Bed and breakfast* use in accordance with Section B.2, Part 4 General Provisions, of Surrey Zoning By-law, 1993, No. 12000, as amended; and
- (b) The keeping of *boarders* or *lodgers* in accordance with Section B.2, Part 4 General Provisions, of Surrey Zoning By-law, 1993, No. 12000, as amended.

C. Lot Area

Not applicable to this Zone.

D. Density

- 1. (a) For *building* construction within a *lot* the *floor area ratio* shall not exceed 0.40, provided that, of the resulting allowable floor area, 37 square metres [400 sq. ft.] shall be reserved for use only as a garage or carport; and
- (b) For the purpose of this Section and notwithstanding the definition of *floor area ratio* in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended, the following must be included in the calculation of *floor area ratio*:
 - i. Covered area used for parking; and
 - ii. The area of *accessory buildings* in excess of 10 square metres [108 sq.ft.].

E. Lot Coverage

The *lot coverage* shall not exceed 36%.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum setbacks:

Use	Setback Front Yard	Rear Yard	Side Yard (east)	Side Yard (west)
<i>Principal Building</i>	9 m. [30 ft.]	16 m. [52 ft.]	1.2 m. [4 ft.]	2.40 m. [8 ft.]
<i>Accessory Buildings and Structures Greater Than 10 square metres [108 sq.ft.] in Size</i>	18 m. [59 ft.]	1.8m. [6 ft.]	1.0 m. [3 ft.]	1.0 m. [3 ft.]
<i>Other Accessory Buildings and Structures</i>	18.0 m. (60 ft.)	0.0 m.	0.0 m.	0.0 m.

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal building:* The *building height* shall not exceed 9 metres [30 ft.].
2. *Accessory buildings and structures:* The *building height* shall not exceed 4 metres [13 ft.] except that where the roof slope and construction materials of an *accessory building* are the same as that of the *principal building*, the *building height* of the *accessory building* may be increased to 5 metres [16.5 ft.].

H. Off-Street Parking

1. Resident and visitor *parking spaces* shall be provided as stated in Table C.6 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Outside parking or storage of *campers*, boats and *vehicles* including cars, trucks and *house trailers* ancillary to the residential use, shall be limited to:
 - (a) A maximum of 2 cars or trucks;
 - (b) *House trailer, camper* or boat provided that the combined total shall not exceed 1; and

- (c) The total amount permitted under (a) and (b) shall not exceed 3.
3. *Vehicle* parking may be permitted in either the *front yard* or *side yard* subject to the following:
- (a) No off-street *parking space* shall be permitted within the required *front yard* or *side yard setback* except on a *driveway*;
 - (b) *Parking spaces* shall be located only on a *driveway* leading to a garage, carport or parking pad, in a garage, in a carport, or on a parking pad; and
 - (c) The total area surfaced or paved for a *driveway* shall be as follows:
 - i. The *lot* may have one *driveway* with a uniform width of 6 metres [20 ft.] extending from the front *lot line* to the garage, carport, or parking pad on the *lot*; and
 - ii. The *driveway* width may be expanded provided that the total area of the *driveway* within the *front yard* or required *side yard* does not exceed 33% of the total area of the *front yard* or required *side yard* within which the *driveway* is located; and
 - (d) The number of *vehicles* parked in a *driveway* within the *front yard* or *side yard* shall not exceed two.
4. A maximum of either 1 *house trailer* or 1 boat may be parked in the front *driveway* or to the side of the front *driveway* or in the *side yard*, but no closer than 1 metre [3 ft.] to a side *lot line* nor within 1 metre [3 ft.] of the *front lot line* subject to the residential parking requirements stated in Table C.6 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, and adequate screening, as described in Section I.2 of this Zone, is provided.

I. Landscaping

- 1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
- 2. The parking or storage of house trailers or boats shall be adequately screened by compact evergreen trees or shrubs at least 1.8 metres [6 ft.] in height and located between the said house trailer or boat and any point on the *lot line* within 7.5 metres [25 ft.] of the said house trailer or boat, in order to obscure the view from the abutting *lot* or street, except in the case of the *rear yard*, this screening requirement may be provided by a 1.8-metre [6 ft.] high solid fence.

J. Special Regulations

1. Basement access and basement wells are permitted only between the *principal building* and the *rear lot line* and must not exceed a maximum area of 28 square metres [300 sq. ft.], including the stairs.
2. A *secondary suite* shall:
 - (a) Not exceed 90 square metres [968 sq.ft.] in floor area; and
 - (b) Occupy less than 40% of the habitable floor area of the *building*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
827 sq. m. [8,903 sq.ft.]	20 metres [75 ft.]	41 metres [135 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000 as amended.

L. Other Regulations

In addition to all statutes, by-laws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions, of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RF Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.

5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building By-law, 1987, No. 9011, as amended.
8. Subdivisions shall be subject to the applicable Surrey Development Cost Charge By-law, 2014, No. 18148, as may be amended or replaced from time to time, and the development cost charges shall be based on the RF Zone.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING on the _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

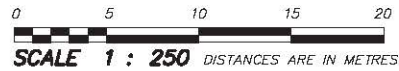
MAYOR

CLERK

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY BYLAW No. _____
 OVER LOT 4 BLOCK "C" SECTION 35 TOWNSHIP 2
 NWD PLAN 2213**

SURREY FILE NO: 7912-0192-00

FOR THE PURPOSE OF REZONING

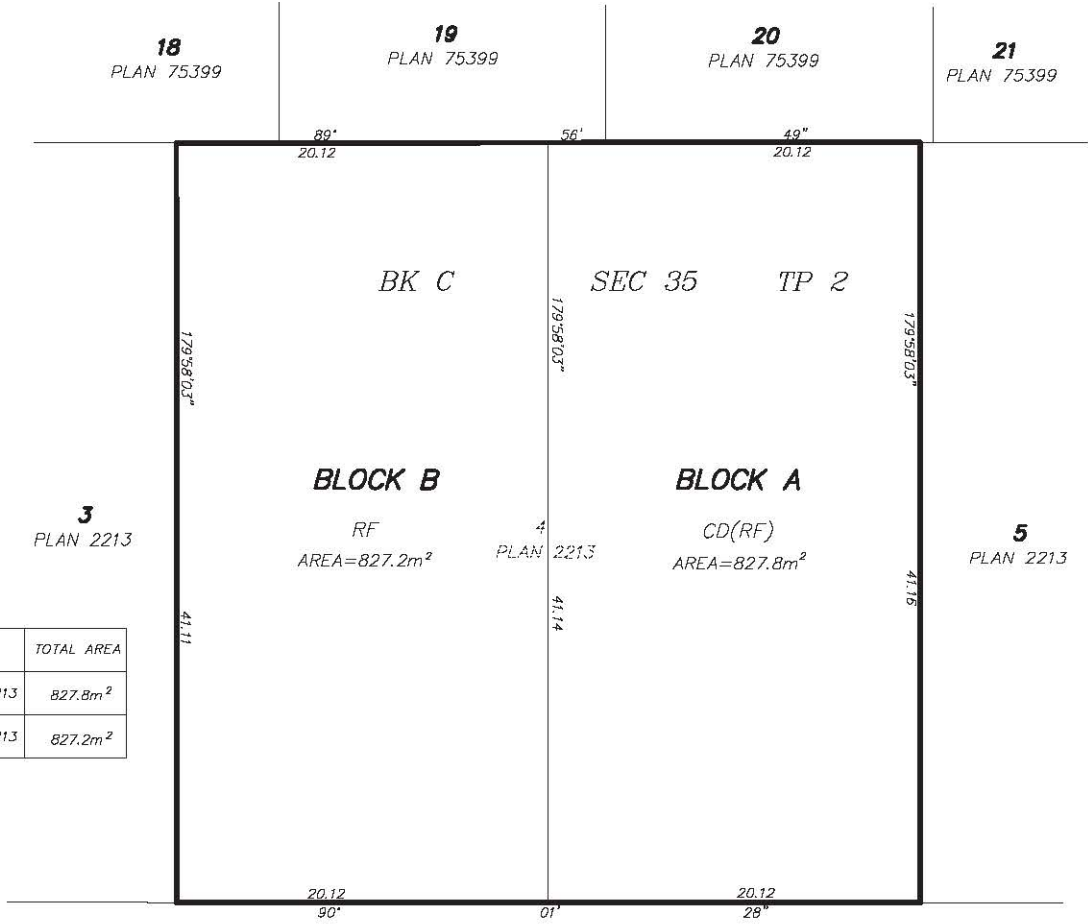


THE INTENDED PLOT SIZE OF THIS PLAN IS 432mm IN WIDTH BY 280mm IN HEIGHT (B SIZE) WHEN PLOTTED AT A SCALE OF 1:250

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES EXCEPT WHERE OTHERWISE NOTED.

GRID BEARINGS ARE DERIVED FROM PLAN B6070.

Lot dimensions and clearances according to Field Survey.



ZONE	LEGAL DESCRIPTION	TOTAL AREA
BLOCK A CD(RF)	LOT 4 BLOCK "C" SECTION 35 TOWNSHIP 2 NWD PLAN 2213	827.8m ²
BLOCK B RF	LOT 4 BLOCK "C" SECTION 35 TOWNSHIP 2 NWD PLAN 2213	827.2m ²

CERTIFIED CORRECT THIS 21th DAY OF JULY, 2015.

 LAKHJOT S. GREWAL
 B.C.L.S.
 This document is not valid unless originally signed and sealed.

91st AVENUE

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

**GREWAL & ASSOCIATES
 PROFESSIONAL LAND SURVEYORS**
 UNIT 204, 15299-681st AVENUE
 SURREY, B.C. V3S 2C1
 TEL: 604-597-8567
 EMAIL: Office@GrewalSurveys.com
 FILE : 1407-059
 DWG : 1407-059 RZ-3

Pre-2012 Single Family Residential Zone



Part 16 - RF, Single Family Residential Zone

Single Family Residential Zone

Part 16

RF

A. Intent

Amendments: 12824, 06/24/96

This Zone is intended exclusively for single family housing on *urban lots* in existing *urban* areas and in new *urban* areas where *density* bonus is provided.

B. Permitted Uses

Amendments: 17290, 12/13/10

Land and *structures* shall be used for the following uses only, or for a combination of such uses:

1. One *single family dwelling* which may contain 1 *secondary suite*.
2. *Accessory uses* including the following:
 - (a) *Bed and breakfast* use in accordance with Section B.2, Part 4 General Provisions, of this By-law; and
 - (b) The keeping of *boarders* or *lodgers* in accordance with Section B.2, Part 4 General Provisions, of this By-law.

C. Lot Area

Not applicable to this Zone.

D. Density

Amendments: 12101, 07/11/94; 12681, 12/04/95; 12824, 06/24/96; 13093, 05/12/97; 14519, 10/15/01; 15587, 12/13/04; 16957, 06/29/09; 17471, 10/03/11

1. For the purpose of subdivision in all Neighbourhood Concept Plan and Infill Areas as described and outlined on the map attached as Schedule F of this By-law, the maximum *density* shall be 1 *dwelling unit* per acre and the dimensions of the *lots* created in a subdivision shall be in accordance with Section K.1 of this Zone.

The maximum *density* shall be increased to 6 *dwelling units* per acre and Section K.2 of this Zone shall apply if amenities are provided in accordance with Schedule G of this By-law.

2. (a) For the purpose of this Section and notwithstanding the definition of *floor area ratio* in Part 1 Definitions of this By-law, all covered areas used for parking shall be included in the calculation of *floor area ratio* unless the covered parking is located within the *basement*; and

(b) For *building* construction within a *lot*:

- i. The *floor area ratio* (FAR) shall not exceed 0.52 for *lots* of 560 square metres [6,000 sq. ft.] or less and 0.48 for *lots* in excess of 560 square metres [6,000 sq. ft.] provided that of the resulting allowable floor area, 37 square metres [400 sq. ft.] shall be reserved for use only as a garage or carport and further provided that where an *accessory building* is greater than 10 square metres [105 sq.ft.] in size that the area in excess of 10 square metres [105 sq. ft.] shall be included as part of the floor area for the purpose of calculating *floor area ratio*;
- ii. The maximum permitted floor area of a second storey for a *principal building* shall not exceed 80% of the floor area of the first storey including attached garage and that portion of any porch or veranda at the front that is covered by a sloped roof, but not including any portion of the *structure* located within 7.5 metres [25 ft.] of the *front lot line*. The reduced floor area of the second storey shall be accomplished by an offset at the second storey level from the wall at the main floor level from either the front or side walls at the main floor level or a combination thereof; and
- iii. notwithstanding the above, the maximum allowable floor area shall be as follows:
- (a) 270 square metres [2,900 sq.ft.] for *lots* of 560 square metres [6,000 sq.ft.] or less, except in the area designated as *City Centre* in the Surrey Official Community Plan By-law, 1996, No. 12900;
- (b) 330 square metres [3,550 sq.ft.], for *lots* in excess of 560 square metres [6,000 sq.ft.] except in the area designated as *City Centre* in the Surrey Official Community Plan By-law, 1996, No. 12900; and

- (c) For *building* construction on a *lot* within the area designated as *City Centre* in the Surrey Official Community Plan By-law, 1996, No. 12900, the maximum allowable floor area shall be 84 square metres [900 sq. ft.] and a *basement* is not permitted on such *lot*.

E. Lot Coverage

The maximum *lot coverage* shall be 40%.

F. Yards and Setbacks

Amendments: 12101, 07/11/94; 13093, 05/12/97; 17471, 10/03/11

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

<i>Use</i>	<i>Setback</i>	<i>Front Yard*</i>	<i>Rear Yard***</i>	<i>Side Yard</i>	<i>Side Yard on Flanking Street</i>
<i>Principal Building</i>		7.5 m. [25 ft.]	7.5 m. [25 ft.]	1.8 m.** [6 ft.]	3.6 m. [12 ft.]
<i>Accessory Buildings and Structures Greater Than 10 square metres [105 sq.ft.] in Size</i>		18.0 m. [60 ft.]	1.8 m. [6 ft.]	1.0 m. [3 ft.]	7.5 m. [25 ft.]
<i>Other Accessory Buildings and Structures</i>		18.0 m. [60 ft.]	0.0 m.	0.0 m.	7.5 m. [25 ft.]

Measurements to be determined as per Part 1 Definitions, of this By-law.

- * The *front yard setback* may be relaxed at a lower floor level only to 5.5 metres [18 ft.] for a maximum of 50% of the length of the front of the dwelling for all portions of the dwelling excluding the garage. If 50% of the *building* face is set

back 9 metres [30 ft.] from the *front lot line*, the *setback* to an attached garage whose main access doors face the fronting street may be relaxed to 6.7 metres [22.0 feet], except that the *setbacks* for a garage whose main access doors face a *side yard* may be relaxed to 4.5 metres [15 ft.].

With the exception of a garage whose main access doors face a *side yard*, an attached garage to the *principal building* shall not extend towards the *highway* for more than half the depth of the said garage, measured from the exterior front face of the *principal building*, excluding any front face of the exterior wall above the said garage. If the aforesaid garage contains more than 2 parallel parking bays, the additional parking bay(s) and the garage entrance leading to the additional parking bay(s) shall be set back at least 0.9 metre [3 ft.] from the front of the said garage.

- ** The *side yard* may be reduced to not less than 1.2 metres [4 ft.] provided that the opposite *side yard* on the *lot* is at least 2.4 metres [8 ft.].
- *** 50% of the length of the rear *building* face may be *setback* a distance of 6.0 metres [20 ft.] from the *rear lot line* provided the remainder of the *building* face, not including *sundecks* is *setback* at least 8.5 metres [28 ft.] from the *rear lot line*.

G. Height of Buildings

Amendments: 12239, 04/18/94; 12101, 07/11/94

Measurements to be determined as per Part 1 Definitions, of this By-law:

1. *Principal building*:
 - (a) The *height* shall not exceed 9 metres [30 ft.].
 - (b) The *height* of a *principal building* with a roof slope of less than 1:4 shall not exceed 7.3 metres [24 ft.].
2. *Accessory buildings and structures*: The *height* shall not exceed 4 metres [13 ft.] except that where the roof slope and construction materials of an *accessory building* are the same as that of the *principal building*, the *building height* of the *accessory building* may be increased to 5 metres [16.5 ft.]

H. Off-Street Parking and Loading/Unloading

Amendments: 12333, 07/25/94; 13093, 05/12/97; 13774, 07/26/99; 14120, 10/16/00

1. Resident and visitor parking spaces shall be provided as stated in Table C.6 of Part 5 Off-Street Parking and Loading/Unloading of this By-law.
2. Outside parking or storage of *campers*, boats and *vehicles* including cars, trucks and *house trailers* ancillary to a residential use shall be limited as follows:
 - (a) A maximum of 2 cars or trucks;
 - (b) *House trailer, camper* or boat, provided that the combined total shall not exceed 1; and
 - (c) The total amount permitted under (a) and (b) shall not exceed 3.
3. *Vehicle* parking may be permitted in either the *front yard* or *side yard* subject to the following:
 - (a) No off-street *parking space* shall be permitted within the required *front yard* or *side yard setback* except on a *driveway*. *Driveways* may be constructed off either the *frontage* or *flanking street*;
 - (b) *Parking spaces* shall be located only on a *driveway* leading to a garage, carport or parking pad, in a garage, in a car port, or on a parking pad; and
 - (c) The total area surfaced or paved for a *driveway* shall be as follows:
 - i. Every *lot* may have one *driveway* with a uniform width of 6 metres [20 ft.] extending from the *lot line* to the garage, car port, or parking pad on the *lot*;
 - ii. The *driveway* width may be expanded provided that the total area of the *driveway* within the *front yard* or required *side yard* does not exceed 33% of the total area of the *front yard* or required *side yard* within which the *driveway* is located; and
 - iii. Notwithstanding 3.(c) (ii) additional *driveway* width may also be allowed to provide access to additional *parking spaces* in a garage, carport or parking pad, where the garage, carport or parking pad has more than 2 side by side *parking spaces*, provided that such width is no more than 3 metres [10 ft.] times the number of adjacent side by side *parking spaces* measured at the required *front*

yard set back and is uniformly tapered over the required *front yard* to a width of 6 m [20 ft.] at the *front lot line*.

- iv. Where the *driveway* is constructed in a *side yard* off a *flanking street* all references to *front yard* within this Section shall be read as *side yard*; and
 - (d) The number of *vehicles* parked in a *driveway* within the *front yard* or *side yard* shall not exceed two.
4. No outside parking or storage of a *house trailer* or boat is permitted within the *front yard setback*, or within the required *side yards* adjacent the *dwelling unit*, or within 1 metre [3 ft.] of the *side lot line*, except as follows:
- (a) On *lots* which have no vehicular access to the *rear yard* or where access is not feasible through modification of *landscaping* or fencing or both, either 1 *house trailer* or 1 boat may be parked in the front *driveway* or to the side of the front *driveway* or in the *side yard*, but no closer than 1 metre [3 ft.] to a *side lot line* nor within 1 metre [3 ft.] of the *front lot line* subject to the residential parking requirements stated in Table C.6 of Part 5 Off-Street Parking and Loading/Unloading of this By-law;
 - (b) Notwithstanding Sub-section H.4(a), no outside parking or storage of a *house trailer* or boat is permitted on *corner lots* in an area bounded by the intersecting *lot lines* at a street corner and a straight line joining points 9 metres [30 ft.] along the said *lot lines* from the point of intersection of the two *lot lines*; and
 - (c) Adequate screening, as described in Section I.2 of this Zone is provided.

I. Landscaping

Amendments: 12333, 07/25/94

1. All developed portions of the *lot* not covered by *buildings*, *structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. The parking or storage of *house trailers* or boats shall be adequately screened by compact evergreen trees or shrubs at least 1.8 metres [6 ft.] in height and located between the said *house trailer* or boat and any point on the *lot line* within 7.5 metres [25 ft.] of the said *house trailer* or boat, in order to obscure the view from the abutting *lot* or street, except:

- (a) on a *corner lot*, this required landscape screening shall not be located in an area bounded by the intersecting *lot lines* at a street corner and a straight line joining points 9 metres [30 ft.] along the said *lot lines* from the point of intersection of the 2 *lot lines*;
- (b) where the *driveway* or the parking area is used for parking or storage of a *house trailer* or boat, the landscape screen is not required within the said *driveway*; and
- (c) in the case of *rear yards*, this screening requirement may be provided by a 1.8 metre [6 ft.] high solid fence.

J. Special Regulations

Amendments: 17290, 12/13/10

1. For *lots* within designated floodplain in the Bridgeview area as referred to in Part 8 Floodproofing, of this By-law, the uses listed in Section B of this Zone shall be permitted only if the *lot* has a *frontage* of not less than 15 metres [50 ft.] and an area of not less than 464 square metres [5,000 sq.ft.].
2. A *secondary suite* shall:
 - (a) Not exceed 90 square metres [968 sq.ft.] in floor area; and
 - (b) Occupy less than 40% of the habitable floor area of the *building*.

K. Subdivision

Amendments: 12824, 06/24/96

1. For subdivision of the land in all Neighbourhood Concept Plan and Infill Areas as described and outlined on the map attached as Schedule F of this By-law where amenities are not provided in accordance with Schedule G of this By-law, the *lots* created shall conform to the minimum standards prescribed in Section K of Part 12 One-Acre Residential Zone RA of this By-law.

2. For subdivision of the land in all Neighbourhood Concept Plan and Infill Areas as described and outlined on the map attached as Schedule F of this By-law where amenities are provided in accordance with Schedule G of this By-law, the *lots* created shall conform to the minimum standards prescribed in sub-section K.3 of this Zone.
3. *Lots* created through subdivision in this Zone shall conform to the following minimum standards:

	<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
Subdivision	560 sq. m. [6,000 sq.ft.]	15 metres [50 ft.]	28 metres [90 ft.]
<i>Lot Consolidation in Bridgeview's Designated Floodplain Areas</i>	464 sq. m. [5,000 sq.ft.]	15 metres [50 ft.]	no minimum

Dimensions shall be measured in accordance with Section E.21, Part 4 General Provisions, of this By-law.

L. Other Regulations

Amendments: 13657, 03/22/99; 13774, 07/26/99

In addition, land use regulations including the following are applicable:

1. Prior to any use, lands must be serviced as set out in Part 2 Uses Limited, of this By-law and in accordance with the "Surrey Subdivision and Development By-law".
2. General provisions on use are as set out in Part 4 General Provisions, of this By-law.
3. Additional off-street parking and loading/unloading requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of this By-law.
4. Subdivisions shall be subject to the "Surrey Development Cost Charge By-law" and the "Tree Preservation By-law".
5. *Building* permits shall be subject to the "Surrey Building By-law".

6. Sign regulations are as provided in Surrey Sign By-law No. 13656.
7. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of this By-law.
8. Floodproofing shall be as set out in Part 8 Floodproofing, of this By-law.

SUPERCEDED