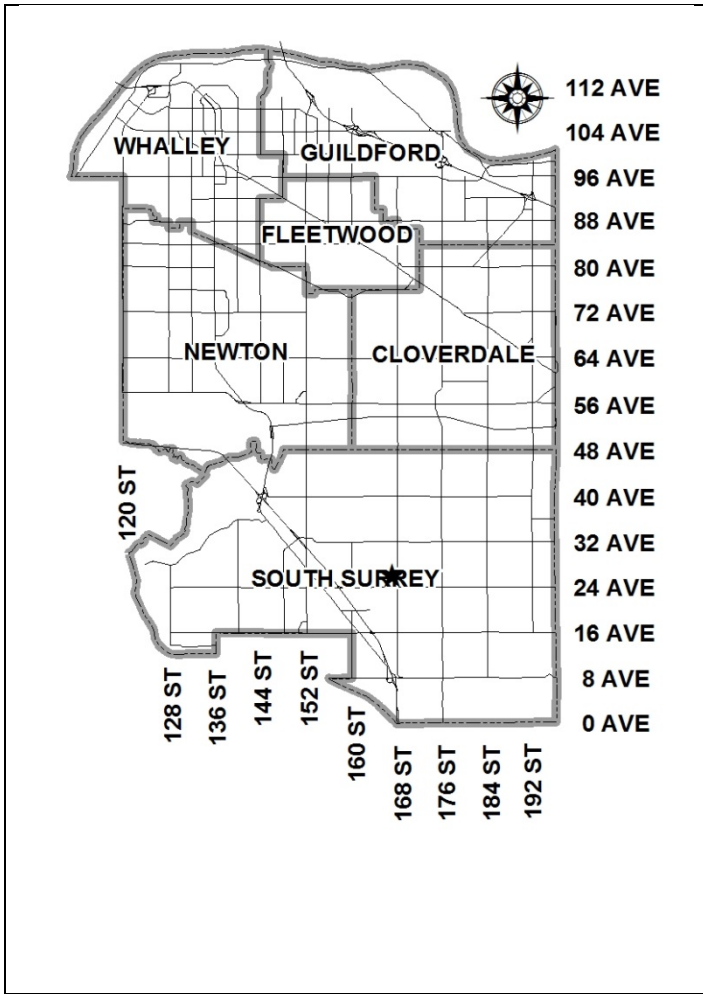


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0118-00

Planning Report Date: July 13, 2015



PROPOSAL:

- **Partial NCP Amendment** from "Small Lot Single Family w/wo Coach House (10-15 upa)" to "Large Lot Duplex or Large Lot Single Family (2-10 upa)", to amend the Large Lot Duplex and Large Lot Single Family lot dimensions, and to eliminate the transition landscape buffer requirement from the westernmost portion of the site.
- **Rezoning** from RH to CD (based on RF-SD) and RF
- **Development Permit**

to allow subdivision into 16 semi-detached duplex lots and 1 single family lot.

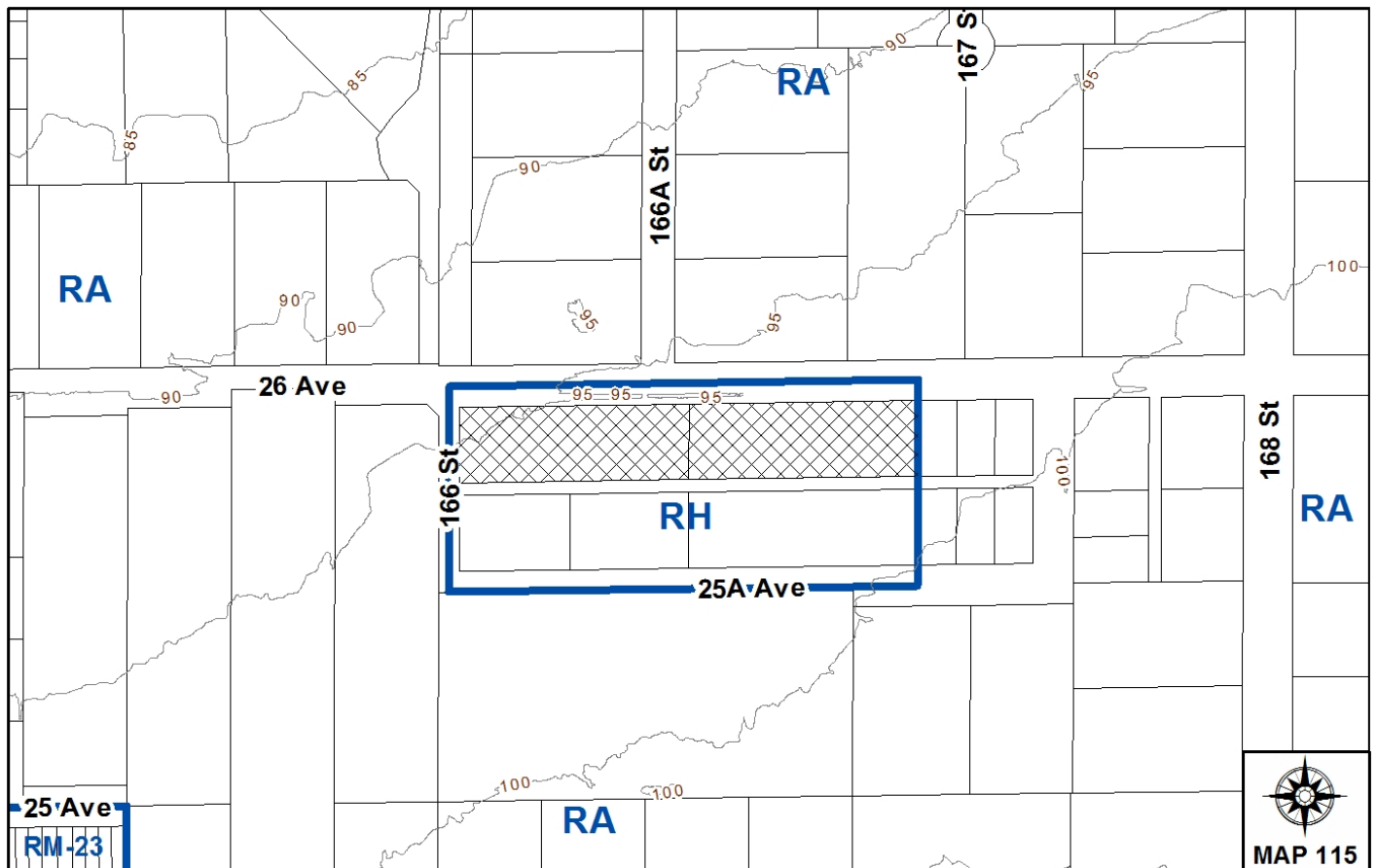
LOCATION: 16706- 26 Avenue, 2584 - 166 Street

OWNER: 0935702 B.C. Ltd.

ZONING: RH

OCP DESIGNATION: Urban

NCP DESIGNATION: Large Lot Duplex or Large Lot Single Family (2-10 upa), Small Lot Single Family w/wo Coach House (10-15 upa) and Transition Landscape Buffer



RECOMMENDATION SUMMARY

The Planning & Development Department recommends that this application be referred back to staff and the applicant for further dialogue with area residents to address the outstanding issues.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The proposal requires a partial amendment to the Orchard Grove NCP from "Small Lot Single Family w/wo Coach House (10-15 upa)" to "Large Lot Duplex or Large Lot Single Family (2-10 upa)" and to amend the transition landscape buffer requirements.

RATIONALE OF RECOMMENDATION

- Significant opposition has been expressed by area residents.
- The demi-detached duplex lots proposed by the applicant are consistent with the NCP. However, the proposed net density of the project is 9.3 units per acre (upa), which is at the high end of the 2 to 10 upa range of densities permitted along 26 Avenue.
- Staff believe that there is room for further discussion, if desired by Council, to decrease the proposed density. Area residents anticipate further dialogue with the expectation of reaching an agreement with the applicant, similar to agreements reached with projects to the west along 26 Avenue (Development Application Nos. 7912-0323-00 and 7914-0125-00).

RECOMMENDATION

The Planning & Development Department recommends that this application be referred back to staff and the applicant for further dialogue with area residents to address the outstanding issues.

If, however, Council finds merit to allow the application, as currently proposed by the applicant, to proceed to Public Hearing, Council may:

1. introduce a By-law to rezone the land at 16706 – 26 Avenue and the portion of land shown as Block A on Appendix II attached from "Half Acre Residential Zone" (RH) to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. introduce a By-law to rezone the portion of land shown as Block B on Appendix II attached from "Half-Acre Residential Zone (RH)" to "Single Family Residential Zone (RF)" and a date be set for Public Hearing.
3. authorize staff to draft Development Permit No. 7914-0118-00 generally in accordance with the attached drawings (Appendix II).
4. instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a landscaping plan and landscaping cost estimate for the habitat corridor on 166 Street to the satisfaction of the Planning & Development Department;
 - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
 - (i) registration of a Section 219 Restrictive Covenant for design control and to restrict driveway location to the rear lane on proposed Lot 17.

5. Council pass a resolution to amend Orchard Grove Neighbourhood Concept Plan to:
- (a) redesignate a portion of the subject site from "Small Lot Single Family w/wo Coach House (10-15 upa)" to "Large Lot Duplex or Large Lot Single Family (2-10 upa)";
 - (b) to eliminate the "Transition Landscape Buffer" east of 166 Street; and
 - (c) to amend the Large Lot Single Family lot dimensions for proposed Lot 17;
- as illustrated on Appendix VII.

REFERRALS

Engineering: The Engineering Department has no objection to the project [subject to the completion of Engineering servicing requirements] as outlined in Appendix III.

School District: **Projected number of students from this development:**
 9 Elementary students at Pacific Heights Elementary School
 4 Secondary students at Earl Marriott Secondary School
 (Appendix IV)
 The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring 2016.

Parks, Recreation & Culture: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Single family residential homes on two (2) acreage properties.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 26 Avenue):	Acreage single family residential	Suburban-Urban Reserve/Suburban Residential (1 to 2 upa) in the Grandview Heights General Land Use Plan (GLUP)	RA

Direction	Existing Use	OCP/NCP Designation	Existing Zone
East:	Single family homes on undersized RA lots (approximately 694 m ² / 7,470 sq. ft. in size)	Urban/Large Lot Duplex or Large Lot Single Family (2-10 upa)	RA
South:	Single family homes on large lots, slated for redevelopment into 20 single family small lots under Development Application 7913-0241-00 (currently at 3 rd Reading)	Urban/Small Lot Single Family w/wo Coach House (10-15 upa) and Habitat Corridor	RH
West (Across 166 Street):	Single family home on large lot	Urban/Small Lot Single Family w/wo Coach House (10-15 upa)	RA

BACKGROUND

- The subject 0.72 hectare (1.82 acre) site is located on the south side of 26 Avenue at 166 Street in the Orchard Grove Neighbourhood Concept Plan (NCP) area. The majority of the site is designated "Large Lot Duplex or Large Lot Single Family (2-10 upa)" in the NCP. The westernmost portion of the site, closest to 166 Street, is designated "Small Lot Single Family w/wo Coach House (10-15 upa)" and "Transition Landscape Buffer" (Appendix VI).
- The majority of the properties along 26 Avenue in the Orchard Grove NCP area (between 164 Street and 168 Street) are designated "Large Lot Duplex or Large Lot Single Family (2-10 upa)" (Appendix VI). The NCP envisions the lowest densities (2 to 10 upa) along 26 Avenue, with the goal of providing a sensitive interface with the large estate properties on the north side of the street. Sensitively designed single family and/or duplexes were envisioned in order to allow for the maintenance of the estate character established on the north side of the street while still allowing for some modest increases in density.

- The first development application received by the City involving development along 26 Avenue is Development Application No. 7912-0323-00. This site is located to the west of the subject site, at 164 Street and 26 Avenue. The applicant originally proposed semi-detached duplex lots along 26 Avenue, generally consistent with the subject proposal. There was significant neighbourhood opposition to the proposed duplex lots, and as a result the applicant amended the proposal to large single family lots. Staff worked closely with the applicant, neighbouring residents and the Grandview Heights Stewardship Association (GHSA) on this project to come to an agreement on a single family lot layout. As with Development Application No. 7912-0323-00, there is significant community opposition to the subject development application. This is discussed in more detail in the "Pre-Notification" section of this report.
- The site to the immediate south is under Development Application No. 7913-0241-00, and involves amendments to the Orchard Grove NCP which impact the subject application (Appendix XII). This adjacent application proposes to amend the 166 Street / Habitat Corridor and to reorient the lane from the north-south orientation currently shown in the NCP between 26 Avenue and 25A Avenue, to an east-west orientation to outlet to 166 Street (Appendix XII). The application is currently at third reading and the applicant is working toward meeting the requirements in order for Council to grant Final Adoption and to pass a resolution for the required NCP amendments.
- The reason that the transition landscape buffer ends at the north-south lane in the current version of the NCP is because these units were envisioned as fronting 166 Street and having access from a rear lane, with one of the lots having a side yard interface and a large setback and landscape buffer from 26 Avenue. The NCP does not show the transition landscape buffer continuing east of the north-south lane, because there is not enough depth to accommodate a landscape buffer along the frontage of these lots, and because landscape buffer was never shown in the Grandview Heights General Land Use Plan (GLUP) beyond 166 Street (Appendix IX).
- The NCP amendment proposed under Development Application No. 7913-0241-00 to reorient the lane has an impact on the subject site. With the lane continuing east-west to 166 Street, the westernmost lots on the subject site will front 26 Avenue instead of having the previously envisioned side yard arrangement.

JUSTIFICATION FOR PLAN AMENDMENTS

- The proposal includes amendments to the Orchard Grove NCP to:
 - redesignate a portion of the subject site from "Small Lot Single Family w/wo Coach House (10-15 upa)" to "Large Lot Duplex or Large Lot Single Family (2-10 upa)";
 - to eliminate the "Transition Landscape Buffer" east of 166 Street; and
 - to amend the Large Lot Single Family lot dimensions for proposed Lot 17;

as illustrated on Appendix VII.

Each of these proposed amendments is addressed in turn below.

Partial Land Use Redesignation:

- As discussed above, an NCP amendment for the reorientation of the lane has already been considered and accepted in principle under Development Application No. 7913-0241-00 (Appendix XII). With the reorientation of the lane east-west to 166 Street, it is logical to extend the "Large Lot Duplex or Large Lot Single Family (2-10 upa)" all the way to 166 Street. The anticipated small lot scenario with lots fronting 166 Street is no longer achievable; the future lots developed at this location will front 26 Avenue and should therefore be consistent with the lots developed under the "Large Lot Duplex or Large Lot Single Family (2-10 upa)" designation.

Eliminate the Transition Landscape Buffer:

- As aforementioned, the transition landscape buffer was required for the anticipated single family small lot scenario. The reorientation of the lane approved in principle under Development Application No. 7913-0241-00 implies front-facing lots along 26 Avenue. With lots fronting 26 Avenue, the lot depth that can be accommodated is the same as the depth that can be accommodated for the "Large Lot Duplex or Large Lot Single Family (2-10 upa)" designated portion of the subject site. Therefore, an argument can be made for eliminating the transition landscape buffer on the east side of 166 Street, because the depth of the lots is not sufficient to allow for it.

Lot Dimension Amendment on proposed Lot 17:

- The NCP specifies a minimum lot depth of 35 metres (115 ft.) for both Large Lot Single Family and Large Lot Duplex lots, and a minimum lot width of 12 metres (40 ft.) for duplexes and 24 metres (79 ft.) for single family lots.
- The proposed semi-detached duplex lots meet the minimum requirements for lot width and depth, as prescribed by the NCP.
- The lot width is proposed to be reduced on proposed Lot 17 from 24 metres (79 ft.) to 17.5 metres (57 ft.). This is the most westerly lot within the subdivision, and is currently designated "Small Lot Single Family w/wo Coach House (10-15 upa)". This lot is more urban in nature and does not meet the intent of the large lot single family land use designation in the NCP.

DEVELOPMENT CONSIDERATIONS

Proposal

- In addition to the NCP amendments described above, the applicant proposes to rezone the site from "Half-Acre Residential Zone (RH)" to "Comprehensive Development Zone (CD)" (based on "Single Family Semi-Detached Zone (RF-SD)") and "Single Family Residential Zone (RF)", to subdivide from 2 lots into 16 CD lots and 1 RF lot, and for a Development Permit for the CD semi-detached duplex lots.

- The proposal has an overall net density of 9.3 upa, which falls within the higher end of the permitted NCP density range of 2 to 10 upa for large lot duplexes.

Lot Grading:

- A preliminary lot grading plan was prepared and submitted by HUB Engineering Inc. and has been reviewed by City staff and found to be generally acceptable. A final lot grading plan will be required before final approval of this project.

Single Family Lot Design:

- Because only one (1) single family lot is proposed, if the development were to proceed in its current form, the applicant has opted to register a Section 219 Restrictive Covenant for design control instead of preparing Building Design Guidelines. Architectural and landscaping plans, prepared by the same architect and landscape architect as the Development Permit drawings, would be attached to the covenant in order to regulate the design of the home. This approach would be superior to a building scheme approach in this case, as it would allow for consistency with the semi-detached duplexes and ensure a high quality architectural design.

Comprehensive Development Zone

- A CD Zone (based on RF-SD) is proposed for the large semi-detached duplex lots fronting 26 Avenue (proposed lots 1 to 16, as illustrated on Appendix II). The following table outlines the differences between the RF-SD Zone and the proposed CD Zone, which is attached as Appendix VIII:

	RF-SD Zone	CD Zone
Permitted Uses	One dwelling unit within a semi-detached residential building	One dwelling unit within a semi-detached residential building
Density	37 uph (15 upa)	25 uph (10 upa)
Maximum Floor Area Ratio (FAR)	0.72	0.61
Maximum Lot Coverage	60%	60%
Minimum Setbacks	Front yard: 3.5 m. (11 ft.) Rear yard: 6.5 m. (21 ft.) Side yard: 1.2 m. (4 ft.)	Front yard (26 Avenue): 4.9 m. (16 ft.) Rear yard: 6.5 m. (21 ft.) Side yard: 1.2 m. (4 ft.)
Maximum Building Height	9.5 m. (31 ft.)	9.5 m. (31 ft.)
Minimum Lot Size	200 sq.m. (2,150 sq.ft.)	400 sq. m. (4,300 sq. ft.)
Minimum Lot Dimensions	Lot Width- 7.2 m. (24 ft.) Lot Depth- 28 m. (90 ft.)	Lot Width- 12 m. (40 ft.) Lot Depth- 35 m. (115 ft.)

- The proposed CD Zone is similar to the RF-SD Zone but the lots are larger and the density is lower. Larger front yards are also required. The proposed CD Zone also requires all lots to take access from the rear lane.

PRE-NOTIFICATION

- Pre-notification letters were mailed on December 8, 2014. The development proposal sign was erected on December 12, 2014.
- The applicant has held two (2) Public Information Meetings (PIM): the first on January 7, 2015 and the second on April 2, 2015. One (1) City staff person attended both PIMs to observe the proceedings.
- Subsequent to the second PIM, a follow-up meeting with a group of neighbouring residents and representatives from the Grandview Heights Stewardship Association (GHSA) was held on May 28, 2015.

January 7, 2015 PIM

- At the January 7, 2015 PIM, 32 people signed the sign-in sheet. However, it was estimated that the actual number of attendees was closer to 50 people, and that many did not sign in. Ten (10) comment sheets were received. Seven (7) respondents indicated opposition to the proposal, and three (3) indicated support for the proposal. The main concern expressed was that the proposal did not provide for a sensitive transition to the acreage properties on the north side of 26 Avenue.
- Because the applicant's comment sheet did not specifically request the commenter's name and address, many respondents did not provide this information.
- In addition to the 10 respondents noted above, six (6) respondents also contacted City staff directly after the PIM to indicate their opposition to the proposal.
- At the January 7, 2015 PIM, the applicant's consultants provided very basic information about the proposal, such as the lot layout. No architectural plans were provided. Further, limited information was obtained from the comment sheets, because some respondents did not include their name and address information on the sheets.

April 2, 2015 PIM

- A second PIM was held on April 2, 2015. At this meeting, the current development proposal was presented to the neighbourhood. Architectural plans and renderings were presented at the meeting and a number of the applicant's consultants were in attendance to answer questions.
- This meeting was attended by approximately 55 members of the community. 34 attendees filled out comment sheets. Of these, 10 were in support of the proposal and 24 were in opposition. Some respondents were from the same household; there were a total of 30 household respondents, of which 9 were in support and 21 were in opposition.
- In addition to the comments received by the applicant's consultant, correspondence from 10 additional households was provided to City staff directly, indicating opposition to the proposal.

- A map of responses to the PIM and pre-notification is attached as Appendix X. Note that 37 of the 40 responding households have been mapped; 3 households did not provide their address and could therefore not be mapped.
- Respondents in support of the proposal indicated that the proposed development complements the existing neighbourhood character, provides an attractive design, brings diversity to the housing stock in the neighbourhood, and provides a desirable option for multi-generational/extended family households.
- Respondents in opposition to the proposal indicated that the proposed development does not provide for a sensitive interface on 26 Avenue, is out of context with the existing neighbourhood character, and is too dense. Respondents also indicated opposition to the proposed semi-detached duplex land use, and indicated concerns regarding parking, the lack of a transition landscape buffer, and lack of tree preservation.

May 28, 2015 Multi-Stakeholder Meeting

- A meeting was held on May 28, 2015 with 15 neighbouring residents (including members of the GHSA), City staff, and the applicant's consultants.
- The same proposal as the one presented at the April 2, 2015 PIM was presented at the meeting.
- As no changes were made to the previous proposal, the neighbouring residents raised the same concerns with regard to the proposal. Residents indicated that the interface was not considered to be sensitive, and that they would like to see a desire from the applicant to work together on a proposal that addresses neighbourhood concerns and would be supportable by neighbourhood residents and the GHSA.
- Staff recommended that a smaller "working group", with representatives from the City, the applicant and the neighbouring residents/GHSA have further meeting(s) in order to discuss the issues and try to come to an agreement on a proposal for the subject site.

Subsequent Correspondence with the Applicant

- Subsequent to the May 28, 2015 meeting, the applicant contacted staff and requested that the application be forwarded to Council for consideration, without any further revisions or discussions with the neighbouring residents and the GHSA. This report is a result of that request.
- Significant neighbourhood opposition to this project remains. A letter from the GHSA and neighbouring residents received on July 6, 2015 is attached as Appendix XI. While the duplex lots proposed by the applicant is consistent with the NCP, the proposed net density at 9.3 upa is at the high end of the 2 to 10 upa range of densities permitted along 26 Avenue. Staff feel that there is room for further discussion to decrease the proposed density. Area residents anticipate further dialogue in this regard, with an expectation to reach an agreement with the applicant, similar to agreements reached with projects to the west. For these reasons, staff recommend that the application be referred back to staff and the applicant to pursue further dialogue with area residents to address the outstanding issues.

DESIGN PROPOSAL AND REVIEW

- Mark Ankenmen of Ankenman Associates Architects Inc. has prepared the architectural design drawings for the proposed duplex homes.
- The proposed semi-detached duplexes are designed to appear as one large estate home, to integrate sensitively with the large homes on the north side of 26 Avenue. The duplexes are designed to have one entrance from 26 Avenue, and the other located to the side of the duplex, to give the perception of one large single family home. This is consistent with the intent of the NCP.
- To provide variety to the streetscape, four (4) duplex designs are envisioned, with each design repeating once. The intent is to provide variety along the streetscape (Appendix II).
- An undulating setback is provided along 26 Avenue in order to create variation and interest along the street frontage.
- The architectural design emphasizes the English Country Estate and Neo-Tudor detailing and massing. They have dominant front-facing gables, steeply pitched roof lines with multiple gables and/or hip roofs.
- Building materials include brick and large profile stone and stucco.
- Covered entry verandas are proposed, which relate to the street and provide interest along the streetscape.
- Proposed front yard landscaping includes an alternating row of Callery Pear and Dawyck Purple Beech trees, in keeping with the tree species chosen for the transition landscape buffer which will be planted between 164 Street and 166 Street. There would also be street trees planted within the 3 metre (10 ft.) boulevard on 26 Avenue. The result would be a double row of trees on either side of the enhanced sidewalk on 26 Avenue.
- The proposed duplex design is consistent with the Orchard Grove NCP design guidelines for large lot duplexes.

TREES

- Trevor Cox and David Lishman, ISA Certified Arborists of Diamondhead Consulting Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	20	20	0
Cottonwood	26	26	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			

Tree Species	Existing	Remove	Retain
Bigleaf Maple	1	0	1
Cascara	1	1	0
Cherry/Plum	3	3	0
Hooker's Willow	7	7	0
Coniferous Trees			
Cypress	6	6	0
Douglas Fir	34	25	9
Eastern White Cedar	9	9	0
Sitka Spruce	1	1	0
Total (excluding Alder and Cottonwood Trees)	62	52	10
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		66	
Total Retained and Replacement Trees		77	
Contribution to the Green City Fund		\$27,000	

- The Arborist Assessment states that there are a total of 62 protected trees on the site, excluding Alder and Cottonwood trees. 46 existing trees, approximately 43% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 10 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 156 replacement trees on the site. Since only 66 replacement trees can be accommodated on the site, the deficit of 90 replacement trees will require a cash-in-lieu payment of \$27,000, representing \$300 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees will be planted on 26 Avenue and 166 Street. This will be determined at the servicing agreement stage by the Engineering Department.
- In summary, a total of 77 trees are proposed to be retained or replaced on the site with a contribution of \$27,000 to the Green City Fund.

BIODIVERSITY CONSERVATION STRATEGY

- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Local BCS Corridor within the subject site, in the Redwood BCS management area, with a Low ecological value.

- The BCS further identifies the GIN area of the subject site as having a Low habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target Corridor width of 20 metres (66 ft.). However, a revised width for the 166 Street / Habitat Corridor has been approved in principle under Development Application 7913-0241-00. The ultimate width of 166 Street and the Habitat Corridor is proposed to be 34 metres (112 ft.), including 17 metres (56 ft.) for the road and 17 metres (56 ft.) for the habitat corridor. The entire corridor is to be provided as road allowance, to help ensure that the corridor is protected and maintained in the long term, under public ownership. The applicant is complying with this requirement by providing approximately 7 metres (23 ft.) of road dedication along the west property line.
- Protecting green infrastructure Hubs (large habitat areas) and Sites (smaller habitat areas) are critical to preserving natural habitat refuges and a diversity of habitat features while maintaining/enhancing Corridors ensures connectivity between fragmented hubs for genetic variation throughout the City. The closest Biodiversity Hub connection in the GIN to the subject site is Hub F, and is located to the east of Highway No. 99, between 8 Avenue and 16 Avenue.
- The development proposal conserves/enhances 260 square meters (2,803 sq. ft.) of the subject site through road dedication which is 3.5% of the total gross area of subject site. This method of GIN retention/enhancement will assist in the long term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on June 13, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located within walking distance to community amenities including: <ul style="list-style-type: none"> ○ a planned neighbourhood park; ○ a planned commercial area; ○ the future Grandview Aquatic Centre; and ○ a proposed elementary school.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed density complies with the Orchard Grove NCP.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The applicant is proposing the following Low Impact Development Standards (LIDS) on the site: <ul style="list-style-type: none"> ○ On-lot infiltration trenches or sub-surface chambers; and ○ Absorbent soils • A 7 metre (23 ft.) wide dedication is provided along the west property line for the 166 Street Habitat Corridor.

Sustainability Criteria	Sustainable Development Features Summary
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The site is located adjacent to the enhanced sidewalk on 166 Street and also located within walking distance of 24 Avenue which has transit service. It is anticipated that the level of transit service will increase as the area develops. • The site allows for two separate pedestrian connections which are being dedicated as part of the application.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Crime Prevention Through Environmental Design (CPTED) principles have been incorporated in the following manner: <ul style="list-style-type: none"> ○ Units are oriented to streets with porches and habitable rooms facing streets promoting natural surveillance; ○ Well lit pedestrian pathways; and ○ Low permeable fencing to enhance visibility.
6. Green Certification (F1)	<ul style="list-style-type: none"> • N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • The community has provided input on the proposal during the public notification process.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	Current Orchard Grove NCP
Appendix VII.	Proposed Amendments to the Orchard Grove NCP
Appendix VIII.	Proposed CD By-law
Appendix IX.	Excerpt from Orchard Grove NCP Including Grandview Heights GLUP Map
Appendix X.	Public Information Meeting Map of Responses
Appendix XI.	July 6, 2015 Letter from the GHSA and Neighbouring Residents
Appendix XII	Proposed Amendments to the Orchard Grove NCP (Application 7913-0241-00)

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

HK/da

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Mike Kompter
Hub Engineering Inc.
Address: #101, 7485 - 130 Street
Surrey, B.C. V3W 1H8
Tel: 604-572-4328

2. Properties involved in the Application

(a) Civic Address: 16706 - 26 Avenue
2584 - 166 Street

(b) Civic Address: 16706 - 26 Avenue
Owner: 0935702 B.C. Ltd.
Director Information:
Ranjit Singh Rai
Harpal Singh Takhar
Jasbir Singh Takhar

Officer Information as at March 19, 2015:
Ranjit Singh Rai (Secretary)
Jasbit Singh Takhar (President)
PID: 004-434-064
Lot 19 Section 24 Township 1 New Westminster District Plan 32278

(c) Civic Address: 2584 - 166 Street
Owner: 0935702 B.C. Ltd.
Director Information:
Ranjit Singh Rai
Harpal Singh Takhar
Jasbir Singh Takhar

Officer Information as at March 19, 2015:
Ranjit Singh Rai (Secretary)
Jasbit Singh Takhar (President)
PID: 006-719-279
Lot 20 Section 24 Township 1 New Westminster District Plan 32278

SUBDIVISION DATA SHEET

Proposed Zoning: CD (based on RF-SD) and RF

Requires Project Data	Proposed	
GROSS SITE AREA		
Acres	2.06	
Hectares	0.83	
NUMBER OF LOTS		
Existing	2	
Proposed	17 (16 CD & 1 RF)	
SIZE OF LOTS		
	CD	RF
Range of lot widths (metres)	12 m	17.5 m
Range of lot areas (square metres)		
DENSITY		
Lots/Hectare & Lots/Acre (Gross)	20 uph / 8 upa	
Lots/Hectare & Lots/Acre (Net)	23 uph / 9.3 upa	
SITE COVERAGE (in % of gross site area)		
	CD	RF
Maximum Coverage of Principal & Accessory Building	3341.54 m ²	233.7 m ²
Estimated Road, Lane & Driveway Coverage	847.3 m ²	51 m ²
Total Site Coverage	4,188.9 m ²	284.7 m ²
PARKLAND		
Area (square metres)	N/A (5% cash-in-lieu required)	
% of Gross Site		
Required		
PARKLAND		
5% money in lieu	YES	
TREE SURVEY/ASSESSMENT		
	YES	
MODEL BUILDING SCHEME		
	NO	
HERITAGE SITE Retention		
	NO	
FRASER HEALTH Approval		
	NO	
DEV. VARIANCE PERMIT required		
Road Length/Standards	NO	
Works and Services	NO	
Building Retention	NO	
Others	NO	

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on RF-SD) and RF

Required Development Data	Minimum Required / Maximum Allowed		Proposed	
LOT AREA* (in square metres)				
Gross Total			8,355 m ²	
Road Widening area			972 m ²	
Undevelopable area				
Net Total			7,383 m ²	
LOT COVERAGE (in % of net lot area)	CD	RF	CD	RF
Buildings & Structures	60%	38%	58%	38%
Paved & Hard Surfaced Areas				
Total Site Coverage				
SETBACKS (in metres)	CD	RF	CD	RF
Front	4.9 m	7.5 m	4.9 m	7.5 m
Rear	6.5 m	7.5 m	13.3 m	14 m
Side - West	1.2 m	3.6 m	1.9 m	3.6 m
Side - East	1.2 m	1.8 m	1.9 m	1.8 m
BUILDING HEIGHT (in metres/stores)	CD	RF	CD	RF
Principal	9.5 m	9 m	9.5 m	9 m
Accessory	5 m	5 m	5 m	5 m
NUMBER OF RESIDENTIAL UNITS				
Bachelor				
One Bed				
Two Bedroom				
Three Bedroom +			17	
Total			17	
FLOOR AREA: Residential			CD	RF
			252 m ² / unit	355 m ²
FLOOR AREA: Commercial				
Retail				
Office				
Total				
FLOOR AREA: Industrial				
FLOOR AREA: Institutional				
TOTAL BUILDING FLOOR AREA			4,396 m ²	

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

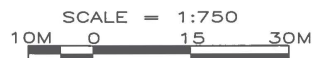
Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed		Proposed	
	CD	RF	CD	RF
DENSITY				
# of units/ha /# units/acre	10 upa	6 upa	9 upa	6 upa
FAR	0.6	0.57	0.6	0.57
AMENITY SPACE (area in square metres)			N/A	
Indoor				
Outdoor				
PARKING (number of stalls)				
Commercial				
Industrial				
Residential Bachelor + 1 Bedroom				
2-Bed				
3-Bed		2 per lot		2 per lot
Residential Visitors				
Institutional				
Total Number of Parking Spaces		34		34
Number of disabled stalls				
Number of small cars				
Tandem Parking Spaces: Number / % of Total Number of Units				
Size of Tandem Parking Spaces width/length				

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY ZONING BYLAW No. _____
OF LOT 20 SECTION 24 TOWNSHIP 1
NEW WESTMINSTER DISTRICT PLAN 32278**

CITY OF SURREY
B.C.G.S. 92G.007

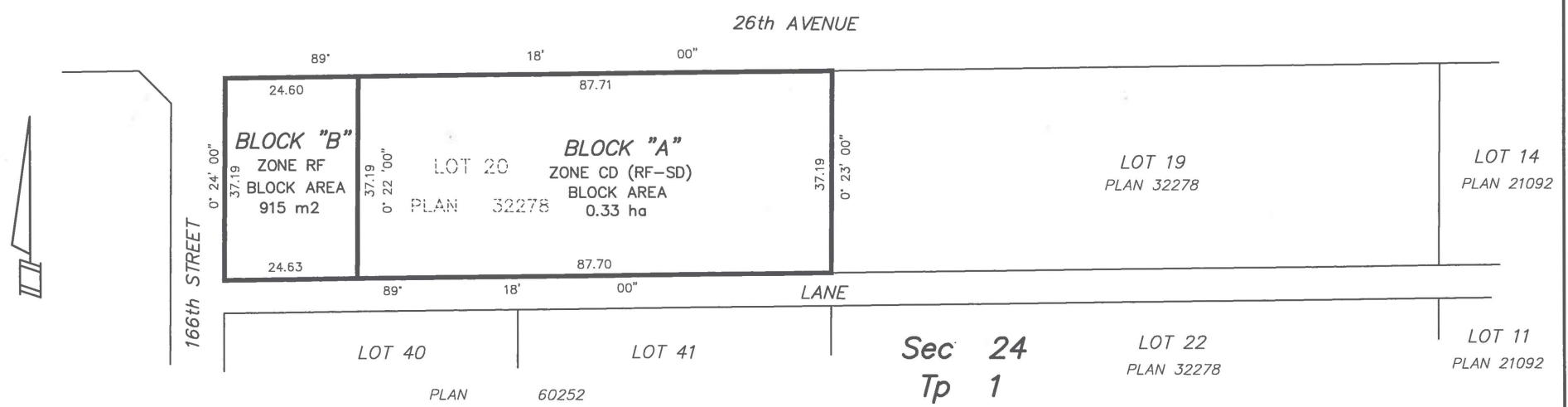


"ALL DISTANCES ARE IN METRES"

BOOK OF REFERENCE

LOT	DESCRIPTION	PLAN	AREA	BLOCK	ZONE
PART OF LOT 20	SECTION 24 TOWNSHIP 1	32278	0.33 ha	BLOCK "A"	CD (RF-SD)
PART OF LOT 20	SECTION 24 TOWNSHIP 1	32278	915 m ²	BLOCK "B"	RF

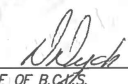
P.I.D. 006-719-279 (LOT 20)
CIVIC ADDRESS: #2584 166th STREET



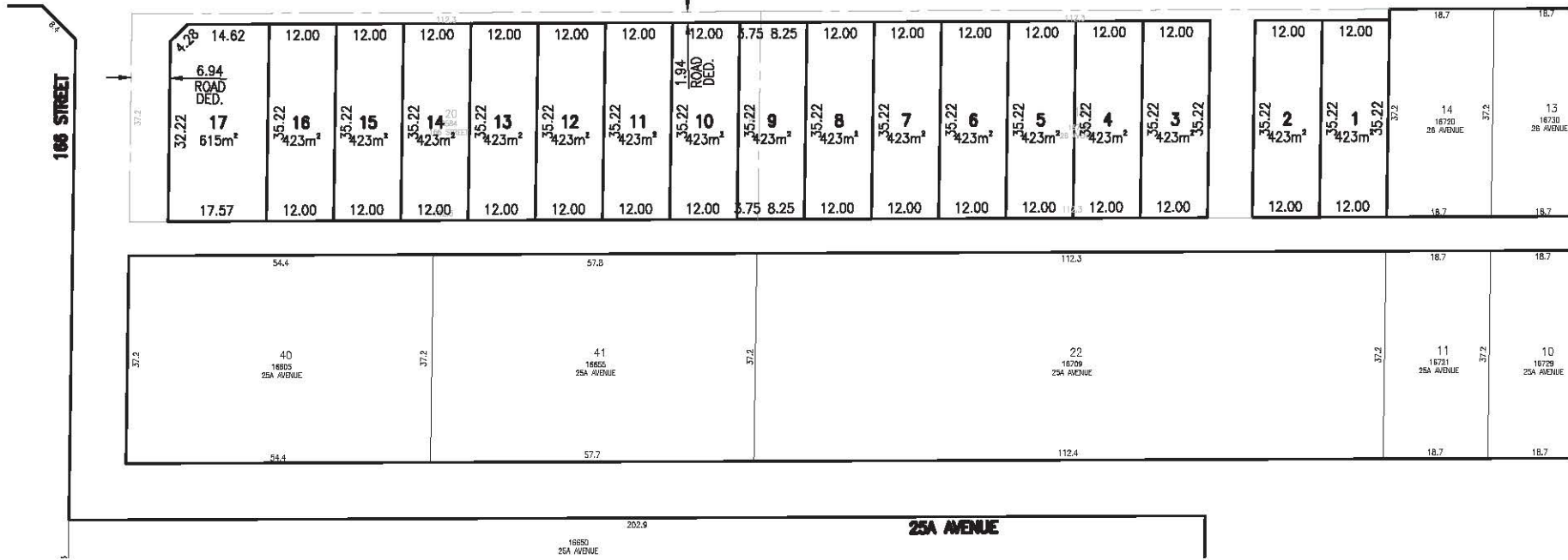
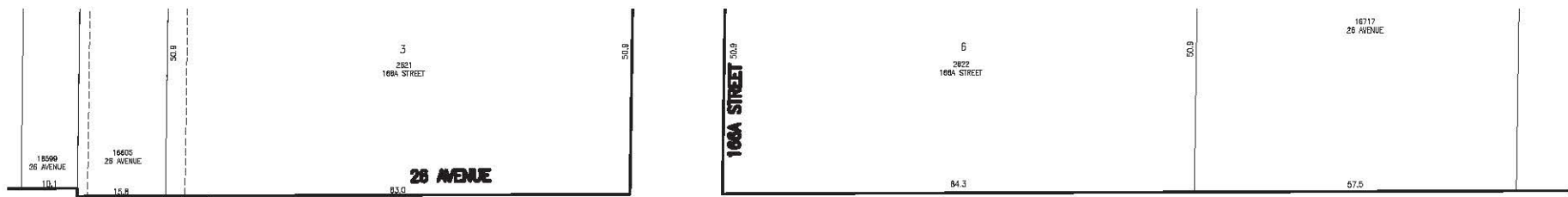
SOUTH FRASER LAND SURVEYING LTD.
B.C. LAND SURVEYORS
SUITE 101 - 7485 130th STREET
SURREY, B.C. V3W 1H8
TELEPHONE: 604 599-1886
FILE: 151007-ZONE-2

CERTIFIED CORRECT ACCORDING TO
LAND TITLE OFFICE RECORDS DATED
THIS 2nd DAY OF JULY, 2015

THIS PLAN LIES WITHIN THE
GREATER VANCOUVER REGIONAL DISTRICT


SIGNATURE OF B.C.L.S.

G:\Projects\14026\14026.dwg\Drawings\Layouts\Lot_Layout - Op. 18 - 2015-06-30.dwg [Lot_Layout_1117]

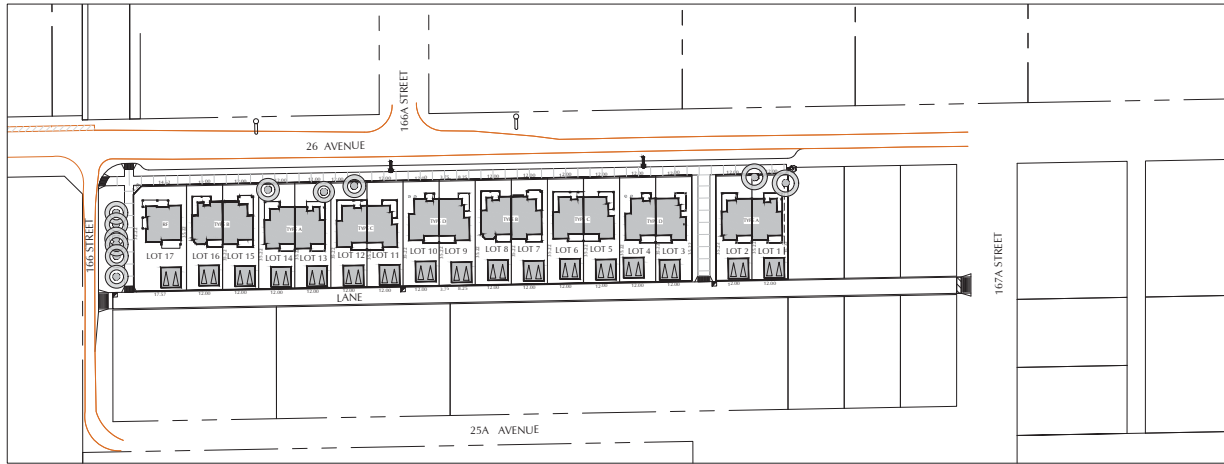


CLIENT:	PROJECT: 2584 166 ST & 16706 26 AVE, SURREY			
DRAWING TITLE:	RESIDENTIAL SUBDIVISION			
PROJECT No:	14026	DATE:	NOV 2014	MUNICIPAL PROJECT No:
LEGAL:		SCALE:	1:750	
PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES				

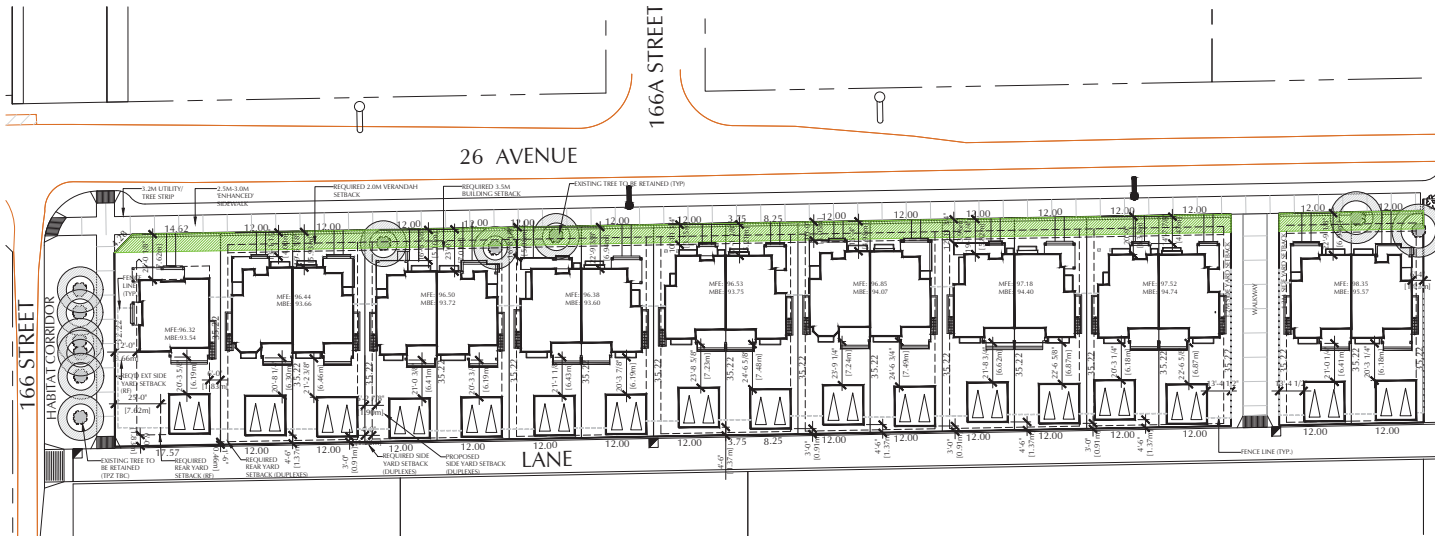
Hub Engineering Inc.
Engineering and Development Consultants

Member
PACIFIC LAND GROUP
Land Use, Development & Environmental Strategists

101 - 7485 - 130 Street, Surrey, B.C. V3W 1H8
Tel: 604-572-4328 Fax: 604-501-1625 E-mail: mail@hub-inc.com



1 KEYPLAN
A1.1 SCALE: 1/64"=1'-0"



2 SITE PLAN
A1.1 SCALE: 1/32"=1'-0"

SYNOPSIS:

CIVIC ADDRESS: 2584 166 STREET + 16706 26 AVENUE, SURREY BC

LEGAL DESCRIPTION: LOT 20 SECTION 24 TOWNSHIP 1 PLAN 32278 NWD,
LOT 19 SECTION 24 TOWNSHIP 1 PLAN 32278 NWD

ZONING: PROPOSED CD BY-LAW REQUIREMENTS BASED ON RF-SD ZONE,
16 FEE-SIMPLE DUPLEX LOTS AND 1 SINGLE FAMILY LOT, RF PROPOSED

SITE AREA:

GROSS:	LOTS 1-16	LOT 17 (RF)
	TYPICAL LOT	
	7432.13 SQ.M/ 1.83 ACRES	911.568 SQ.M/0.225 ACRE
	423 SQ. M/LOT	615 SQ. M

DENSITY:(UNITS PER ACRE)

PROPOSED 16 UNITS/ 1.83 ACRES = 9.0 UPA

FLOOR AREA RATIO:

	LOT 1-16	LOT 17
ALLOWED	72% (304.56 SQ.M)	60%/35% (369.00 SQ.M)
PROPOSED (PRINCIPAL)	60% 251.67 SQ.M	60%/35% 369.00 SQ.M
(GARAGE)	44.00 SQ.M	

LOT COVERAGE:

	LOT 1-16	LOT 17
ALLOWED	60% (253.8 SQ.M)	38% (233.7 SQ.M)
PROPOSED (PRINCIPAL)	202.38 SQ.M	189.7 SQ.M
PROPOSED (GARAGE)	44.00 SQ.M	44.00 SQ.M
TOTAL PROPOSED	58% (246.38 SQ.M)	38% (227.03 SQ.M)

SITING REQUIREMENTS:

PRINCIPAL BUILDING

	LOT 1-16	PROVIDED	LOT 17	ALLOWED	PROVIDED
FRONT SETBACK	3.5M	min. 4.98M/ 3.05M	7.5/5.5M	7.5/5.5M	
REAR SETBACK	6.5M	13.2M min.	7.5M	13.7M	
SIDE YARD	1.2M/0.0M	1.9M/0.00M	1.8M	1.8M	
SIDE YARD (END UNIT)	1.2M	1.9M	3.6M	3.6M	

DETACHED GARAGE

	LOT 1-16	PROVIDED	LOT 17	ALLOWED	PROVIDED
REAR SETBACK	0.5M	0.5M min.	1.8M	1.8M	
SIDE YARD	0.0M	1.2M	1.0M	1.0M	
SIDE YARD (OPPOSITE)	5.2M	4.0M	7.5M	7.5M	

SEPARATION (TO MAIN FLOOR OF PRINCIPLE BLDG.) 6.0M 6.0M min.

BUILDING HEIGHT:

PRINCIPAL BUILDING

	LOT 1-16	PROVIDED	LOT 17	ALLOWED	PROVIDED
PRINCIPAL BUILDING	9.5M	9.5M	9.0M	9.0M	
AVG GRADE	0M	0M	0M	0M	
MAIN FLOOR EL (MAX 0.8M ABOVE AVG GRADE)	0M	0M	0M	0M	

DETACHED GARAGE

	LOT 1-16	PROVIDED	LOT 17	ALLOWED	PROVIDED
DETACHED GARAGE	5.0M	5.0M	5.0M	5.0M	
AVG GRADE	0M	0M	0M	0M	



COUNTRY ESTATE DUPLEX HOMES

Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 604.536.1600

16 FEE-SIMPLE DUPLEX + 1 SF

2584 166TH + 16706 26 AVE. SURREY BC

TARA DEVELOPMENTS

SITE PLAN

SCALE: AS SHOWN

1506 **A1.1**

REV. DP JULY 6, 2015





COUNTRY ESTATE DUPLEX HOMES
 2584 166TH STREET + 16706 26 AVE
 SURREY, B.C.

SITE PLAN - ENLARGED

1/16" = 1'-0"

JULY 3, 2015

ST. EK

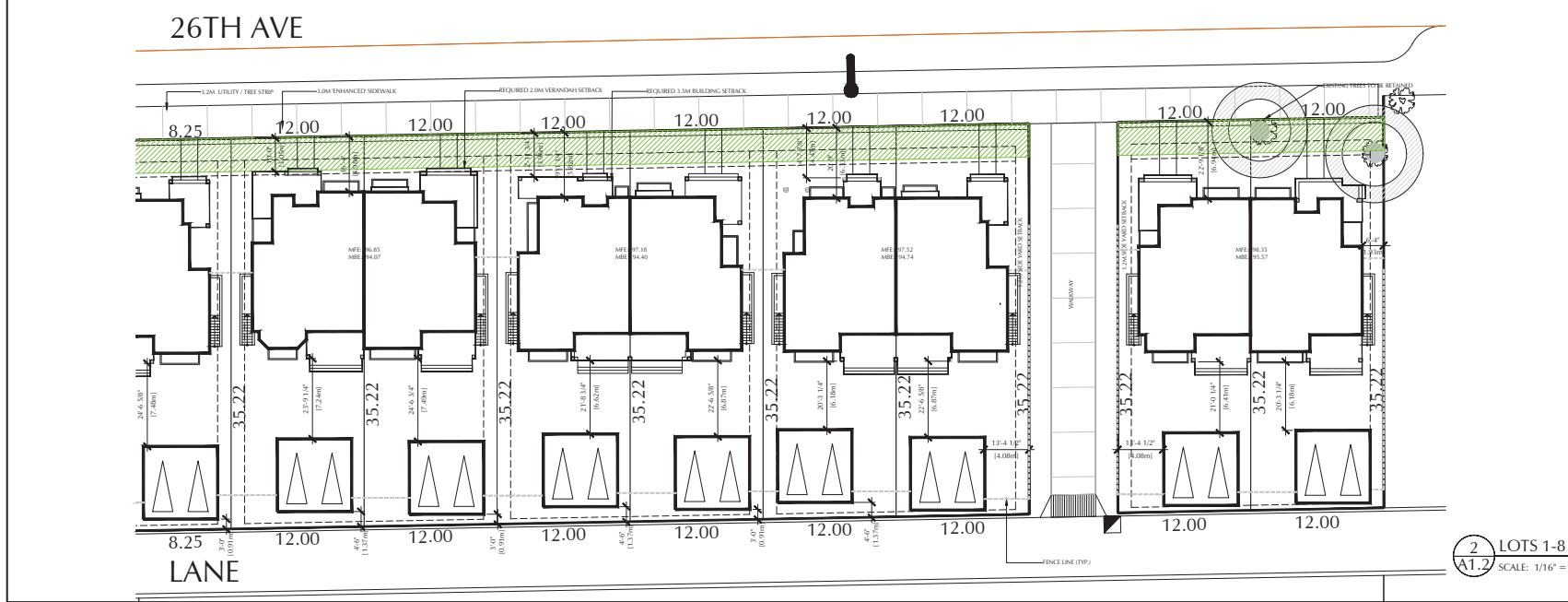
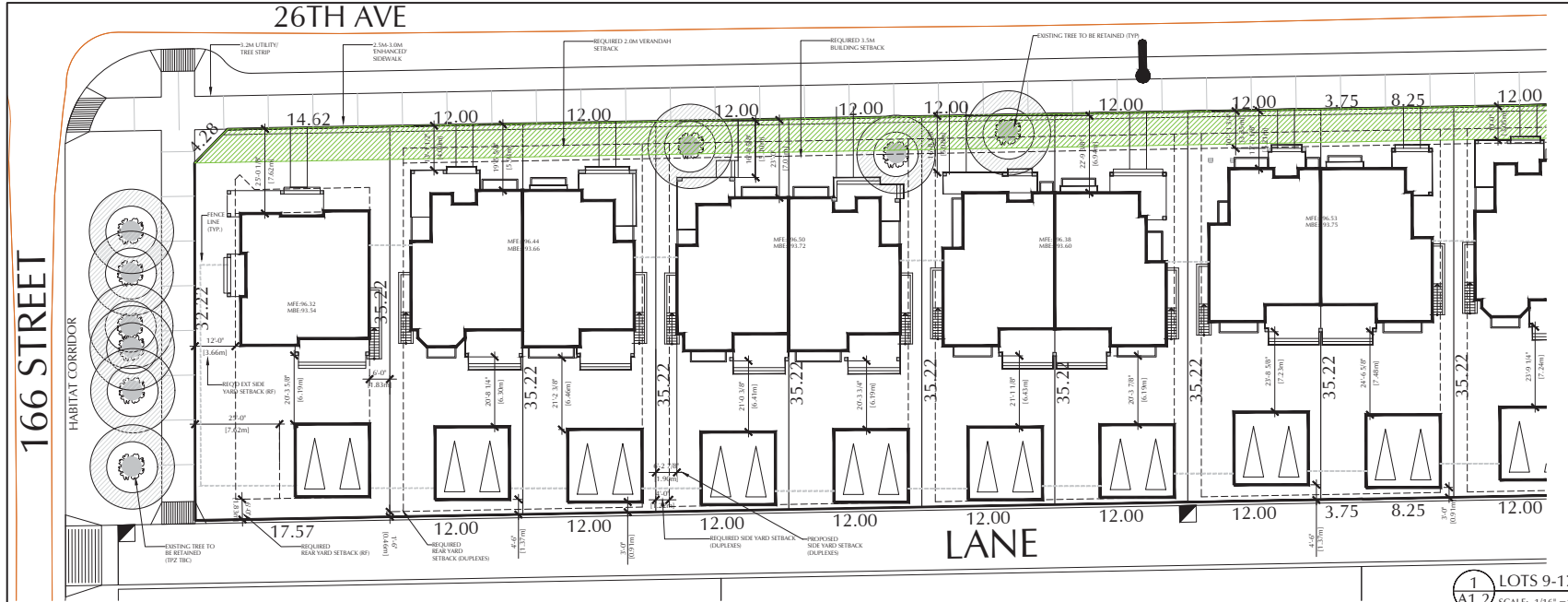
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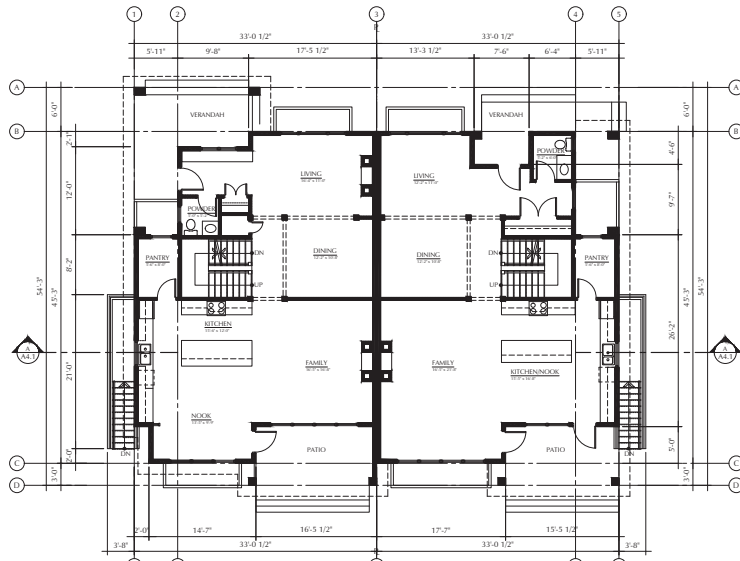
A1.2

Drawings are to be read in conjunction with each other, any discrepancy based on any drawing shall be referred to the architect.

Contractor is responsible to ensure that all work is executed to the requirements of the local codes of the Authority.

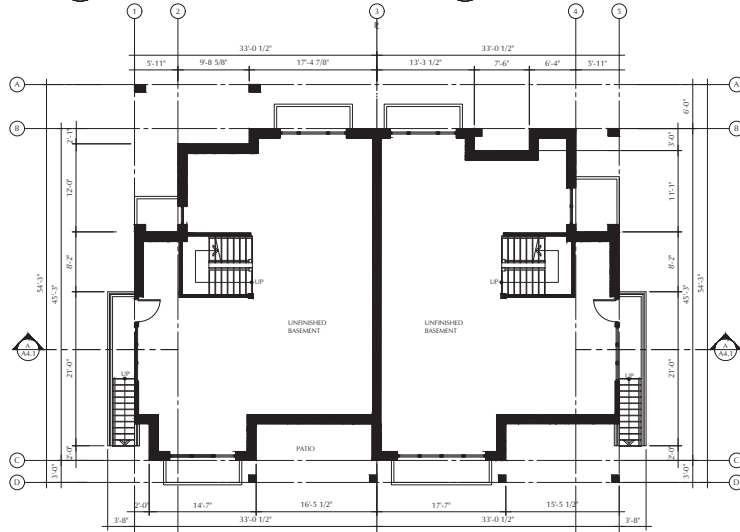
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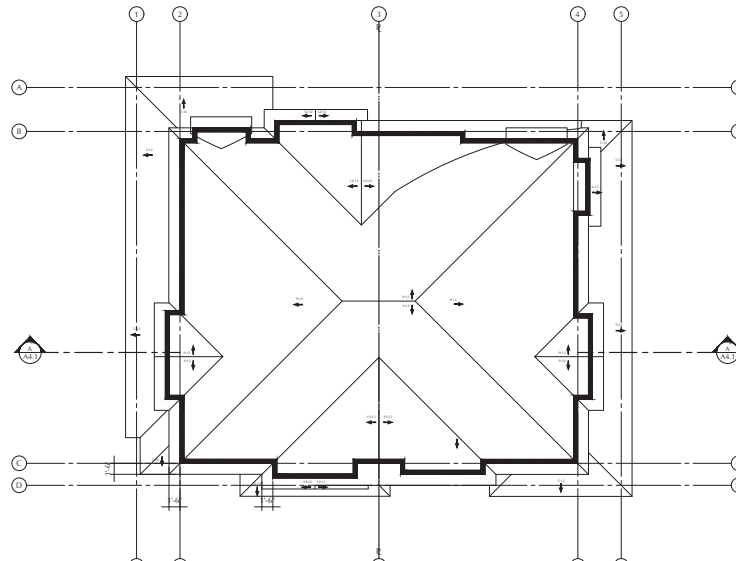
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A2.1 SCALE: 1/8"=1'-0"

4 TYPE A2 MAIN FLOOR PLAN
A2.1 SCALE: 1/8"=1'-0"



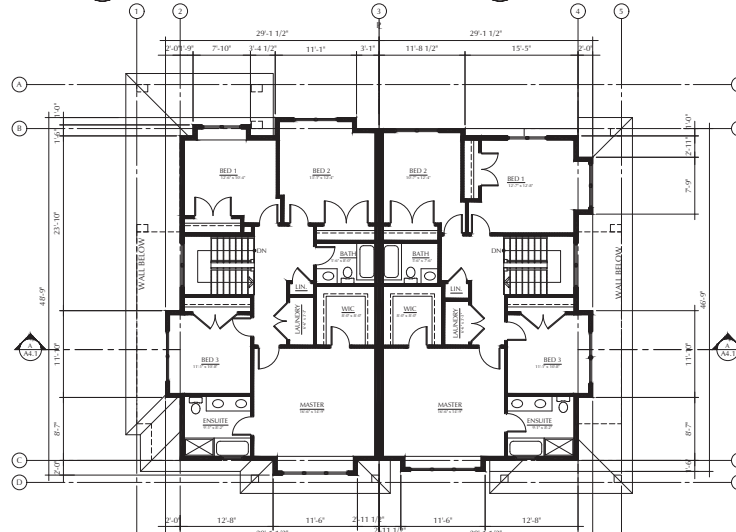
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A2.1 SCALE: 1/8"=1'-0"

2 TYPE A2 BASEMENT PLAN
A2.1 SCALE: 1/8"=1'-0"



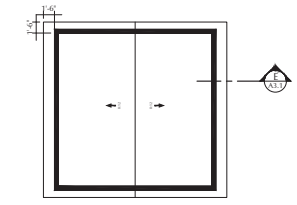
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A2.1 SCALE: 1/8"=1'-0"

8 TYPE A2 ROOF PLAN
A2.1 SCALE: 1/8"=1'-0"

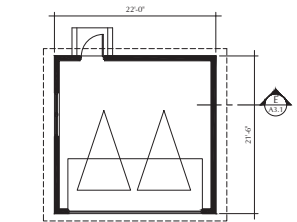


5 TYPE A1 UPPER FLOOR PLAN
A2.1 SCALE: 1/8"=1'-0"

6 TYPE A2 UPPER FLOOR PLAN
A2.1 SCALE: 1/8"=1'-0"



10 TYP. DETACHED GARAGE ROOF PLAN
A2.1 SCALE: 1/8"=1'-0"



DETACHED GARAGE TYP:
44.0 SQ.M/473 SF

9 TYP. DETACHED GARAGE PLAN
A2.1 SCALE: 1/8"=1'-0"

TYPE A1:
 MAIN FLOOR: 121.7 SQ.M /1310 SF
 UPPER FLOOR: 117.5 SQ.M /1265 SF
 GROSS: 239.2 SQ.M /2575 SF
 STAIRS: 7.1 SQ.M / 77 SF
 NET: 232.1 SQ.M /2498 SF

BASEMENT: 121.7 SQ.M /1310 SF

TYPE A2:
 MAIN FLOOR: 121.7 SQ.M /1310 SF
 UPPER FLOOR: 117.5 SQ.M /1265 SF
 GROSS: 239.2 SQ.M /2575 SF
 STAIRS: 7.1 SQ.M / 77 SF
 NET: 232.1 SQ.M /2498 SF

BASEMENT: 121.7 SQ.M /1310 SF



COUNTRY ESTATE DUPLEX HOMES

Ankenman Associates Architects Inc.
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16 FEE-SIMPLE DUPLEX + 1 SF

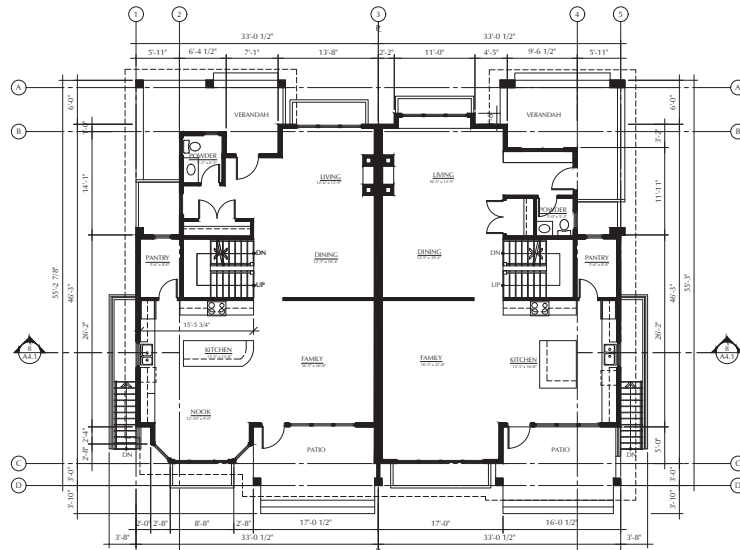
2584 166TH + 16706 26 AVE. SURREY BC

TYPE A1 + A2 PLANS

1506 **A2.1**

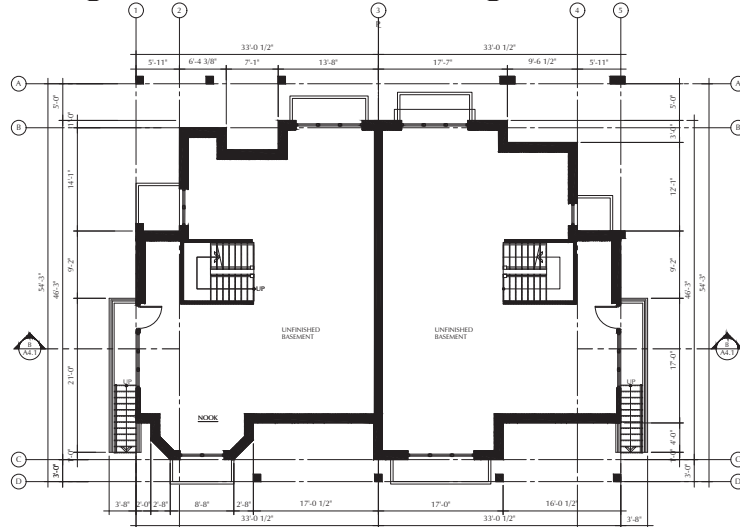
TARA DEVELOPMENTS

SCALE: 1/32"=1'-0" REV. DP JULY 6, 2015



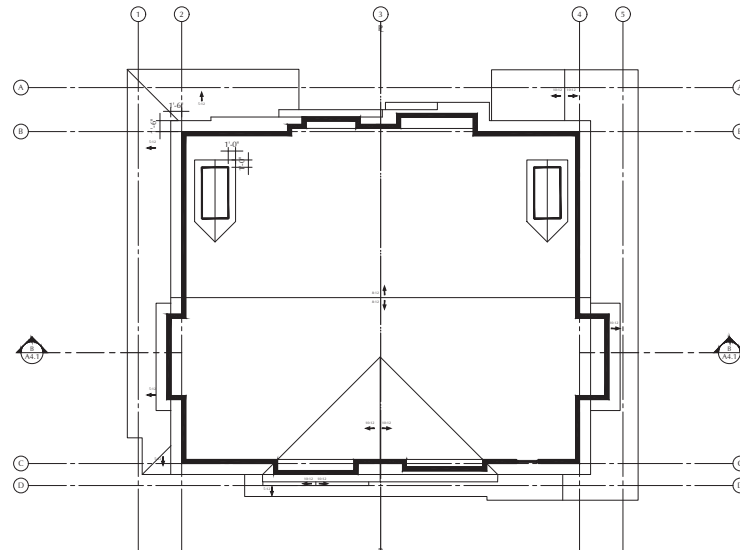
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SCALE: 1/8"=1'-0"

4 TYPE B2 MAIN FLOOR PLAN
SCALE: 1/8"=1'-0"



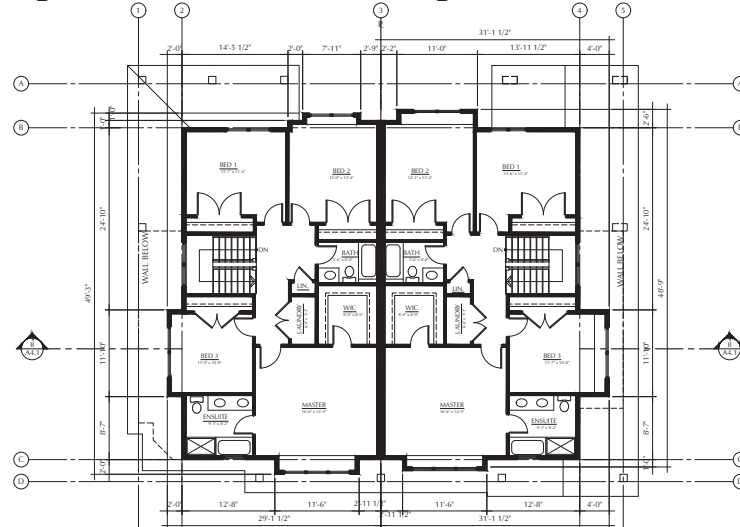
1 TYPE B1 BASEMENT PLAN
SCALE: 1/8"=1'-0"

2 TYPE B2 BASEMENT PLAN
SCALE: 1/8"=1'-0"



7 TYPE B1 ROOF PLAN
SCALE: 1/8"=1'-0"

8 TYPE B2 ROOF PLAN
SCALE: 1/8"=1'-0"



5 TYPE B1 UPPER FLOOR PLAN
SCALE: 1/8"=1'-0"

6 TYPE B2 UPPER FLOOR PLAN
SCALE: 1/8"=1'-0"

TYPE B1:
 MAIN FLOOR: 121.7 SQ.M / 1310 SF
 UPPER FLOOR: 118.5 SQ.M / 1275 SF
 GROSS: 240.2 SQ.M / 2585 SF
 STAIRS: 7.1 SQ.M / 77 SF
 NET: 233.1 SQ.M / 2508 SF

BASEMENT 121.7 SQ.M / 1310 SF

TYPE B2:
 MAIN FLOOR: 123.6 SQ.M / 1330 SF
 UPPER FLOOR: 118.0 SQ.M / 1270 SF
 GROSS: 241.6 SQ.M / 2600 SF
 STAIRS: 7.1 SQ.M / 77 SF
 NET: 234.5 SQ.M / 2523 SF

BASEMENT 123.6 SQ.M / 1330 SF



COUNTRY ESTATE DUPLEX HOMES

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16 FEE-SIMPLE DUPLEX + 1 SF

2584 166TH + 16706 26 AVE. SURREY BC

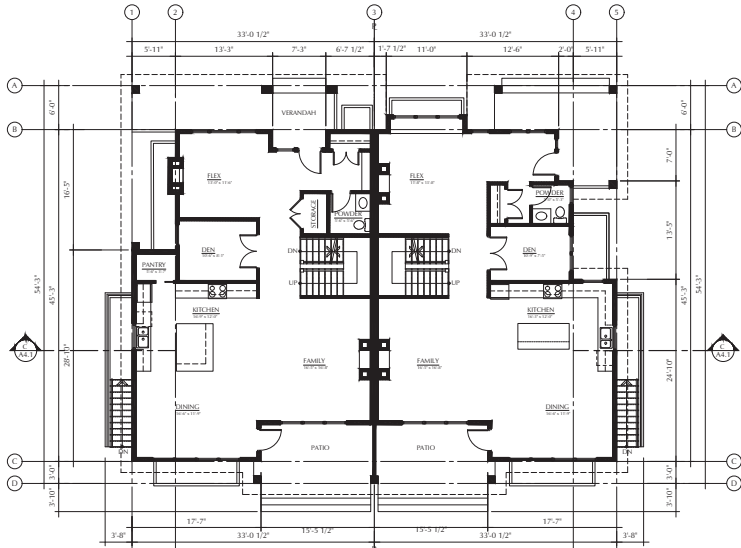
TARA DEVELOPMENTS

TYPE B1 + B2 PLANS

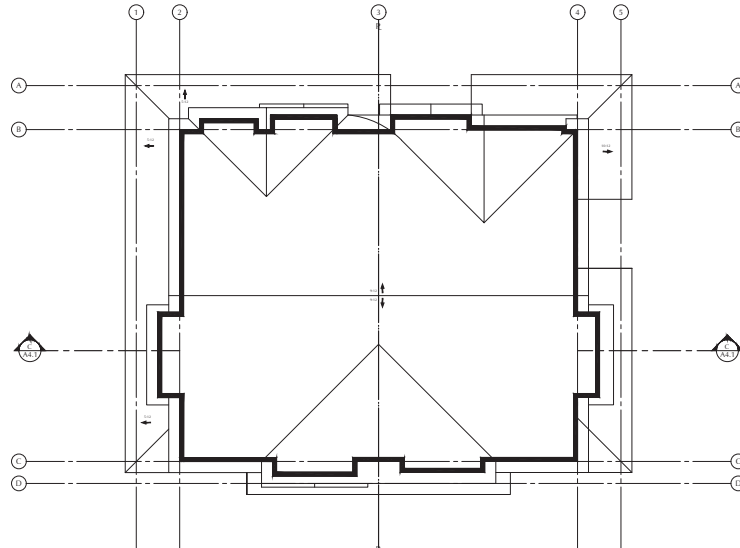
1506 **A2.2**

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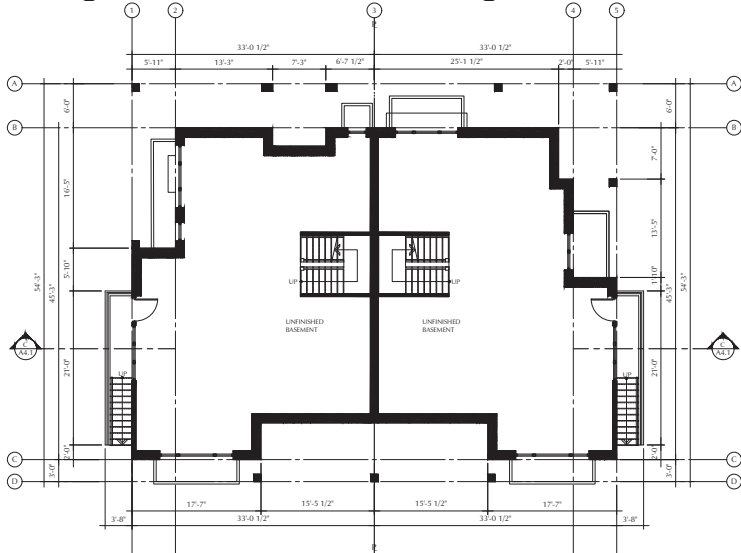




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SCALE: 1/8"=1'-0"

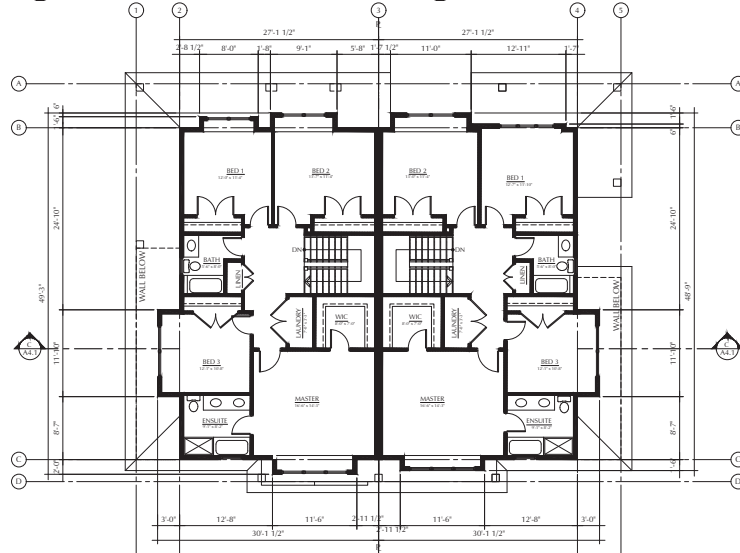


4 TYPE C2 MAIN FLOOR PLAN
SCALE: 1/8"=1'-0"



1 TYPE C1 BASEMENT PLAN
SCALE: 1/8"=1'-0"

2 TYPE C2 BASEMENT PLAN
SCALE: 1/8"=1'-0"



5 TYPE C1 UPPER FLOOR PLAN
SCALE: 1/8"=1'-0"

6 TYPE C2 UPPER FLOOR PLAN
SCALE: 1/8"=1'-0"

TYPE C1:
 MAIN FLOOR: 121.7 SQ.M / 1310 SF
 UPPER FLOOR: 118.5 SQ.M / 1275 SF
 GROSS: 240.2 SQ.M / 2585 SF
 STAIRS: 7.1 SQ.M / 77 SF
 NET: 233.1 SQ.M / 2508 SF
 BASEMENT 121.7 SQ.M / 1310 SF

TYPE C2:
 MAIN FLOOR: 121.7 SQ.M / 1310 SF
 UPPER FLOOR: 118.5 SQ.M / 1275 SF
 GROSS: 240.2 SQ.M / 2585 SF
 STAIRS: 7.1 SQ.M / 77 SF
 NET: 233.1 SQ.M / 2508 SF
 BASEMENT 121.7 SQ.M / 1310 SF



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16 FEE-SIMPLE DUPLEX + 1 SF

2584 166TH + 16706 26 AVE. SURREY BC

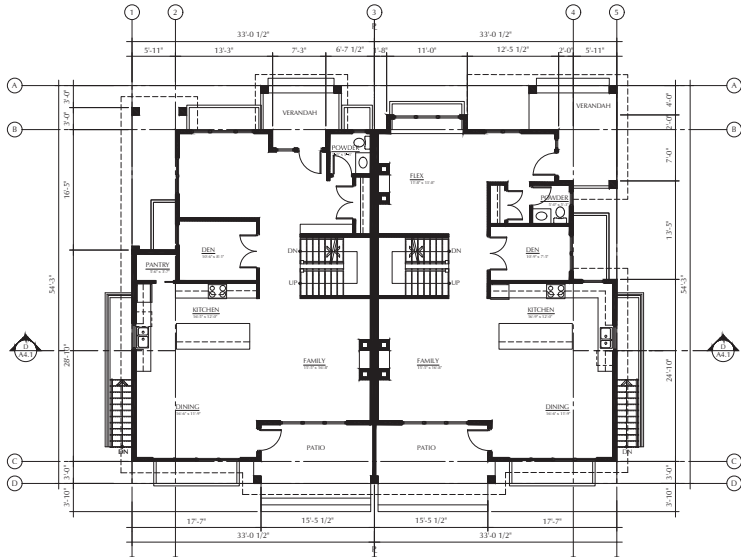
TARA DEVELOPMENTS

TYPE C1 + C2 PLANS

1506 **A2.3**

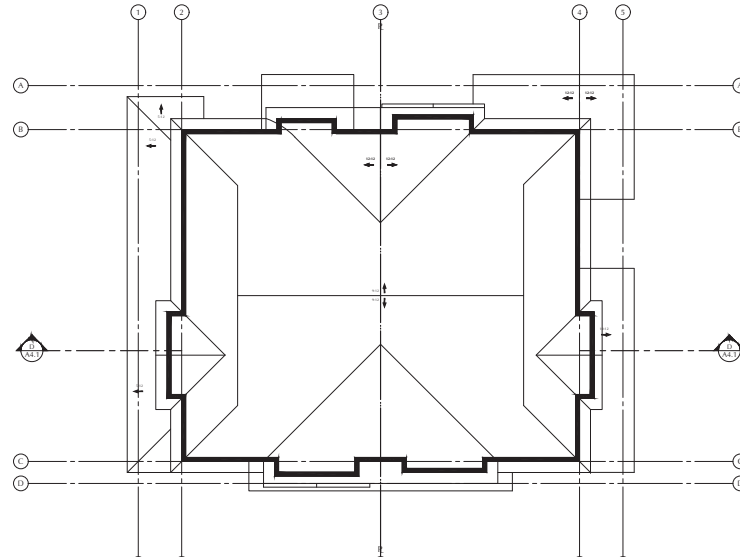


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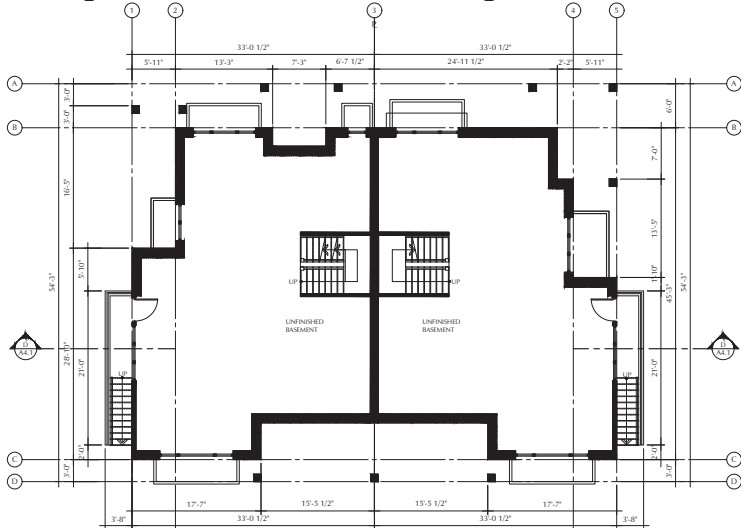
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A2.2 SCALE: 1/8"=1'-0"

4 TYPE D2 MAIN FLOOR PLAN
A2.2 SCALE: 1/8"=1'-0"



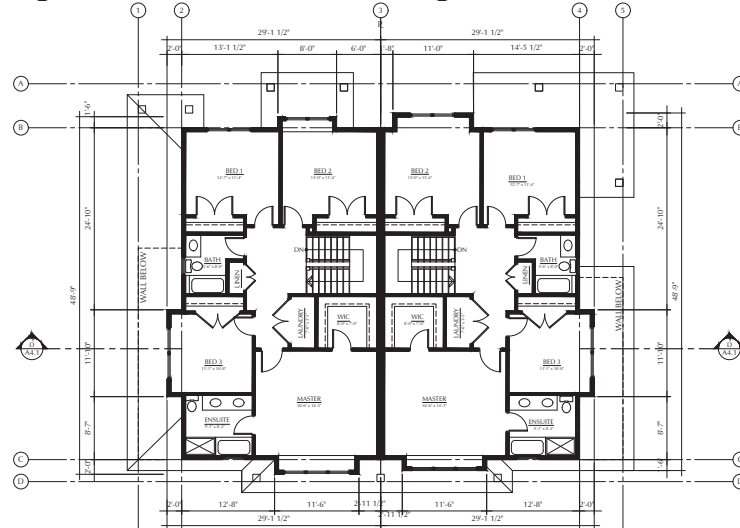
7 TYPE D1 ROOF PLAN
A2.2 SCALE: 1/8"=1'-0"

8 TYPE D2 ROOF PLAN
A2.2 SCALE: 1/8"=1'-0"



1 TYPE D1 BASEMENT PLAN
A2.2 SCALE: 1/8"=1'-0"

2 TYPE D2 BASEMENT PLAN
A2.2 SCALE: 1/8"=1'-0"



5 TYPE D1 UPPER FLOOR PLAN
A2.2 SCALE: 1/8"=1'-0"

6 TYPE D2 UPPER FLOOR PLAN
A2.2 SCALE: 1/8"=1'-0"

TYPE D1:
 MAIN FLOOR: 121.7 SQ.M / 1310 SF
 UPPER FLOOR: 118.5 SQ.M / 1275 SF
 GROSS: 240.2 SQ.M / 2585 SF
 STAIRS: 7.1 SQ.M / 77 SF
 NET: 233.1 SQ.M / 2508 SF
 BASEMENT 121.7 SQ.M / 1310 SF

TYPE D2:
 MAIN FLOOR: 121.7 SQ.M / 1310 SF
 UPPER FLOOR: 118.5 SQ.M / 1275 SF
 GROSS: 240.2 SQ.M / 2585 SF
 STAIRS: 7.1 SQ.M / 77 SF
 NET: 233.1 SQ.M / 2508 SF
 BASEMENT 121.7 SQ.M / 1310 SF



COUNTRY ESTATE DUPLEX HOMES

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16 FEE-SIMPLE DUPLEX + 1 SF

2584 166TH + 16706 26 AVE. SURREY BC

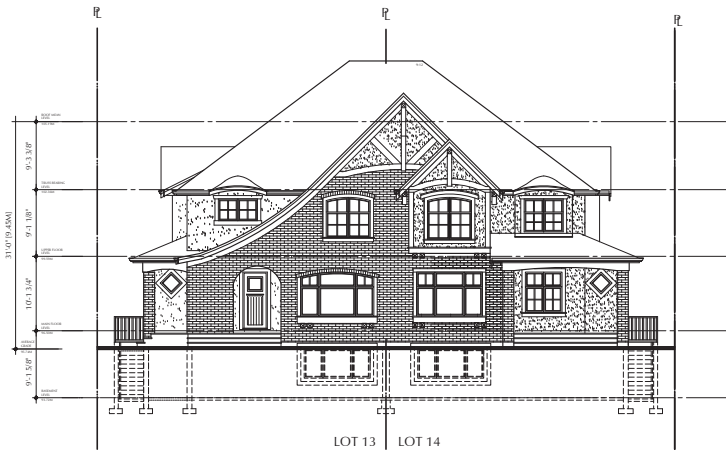
TARA DEVELOPMENTS

TYPE D1 + D2 PLANS

1506 **A2.4**



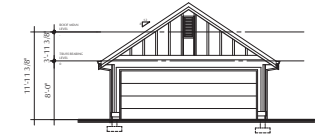
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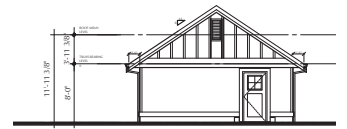
1 FRONT ELEVATION / NORTH
A3.1 SCALE: 1/8"=1'-0"



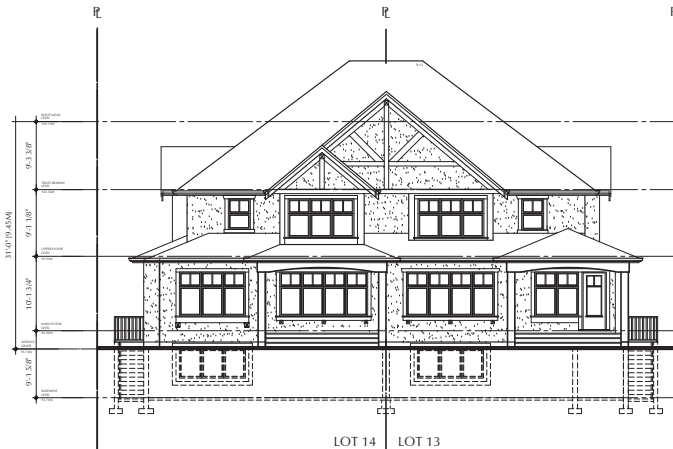
2 RIGHT ELEVATION / WEST
A3.1 SCALE: 1/8"=1'-0"



5 GARAGE ELEVATION / SOUTH
A3.1 SCALE: 1/8"=1'-0"



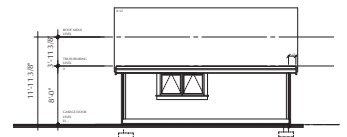
6 GARAGE ELEVATION / NORTH
A3.1 SCALE: 1/8"=1'-0"



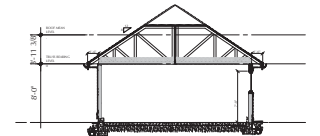
3 REAR ELEVATION / SOUTH
A3.1 SCALE: 1/8"=1'-0"



4 LEFT ELEVATION / EAST
A3.1 SCALE: 1/8"=1'-0"



7 GARAGE ELEVATION / WEST
A3.1 SCALE: 1/8"=1'-0"



E GARAGE SECTION
A2.1 SCALE: 1/8"=1'-0"



COUNTRY ESTATE DUPLEX HOMES

Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 604.536.1600

16 FEE-SIMPLE DUPLEX + 1 SF

2584 166TH + 16706 26 AVE. SURREY BC

TARA DEVELOPMENTS

TYPE A ELEVATIONS

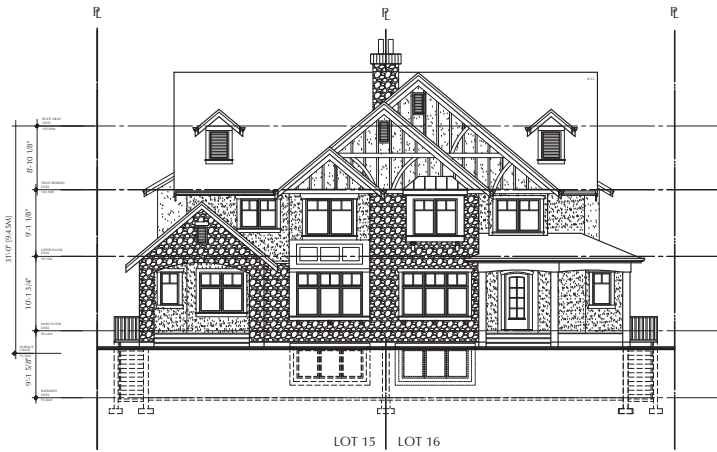
LOTS 14/13

1506 **A3.1**

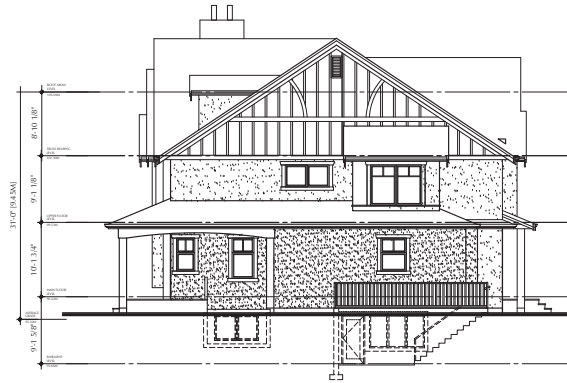
SCALE: 1/8"=1'-0"

REV. DP JULY 6, 2015

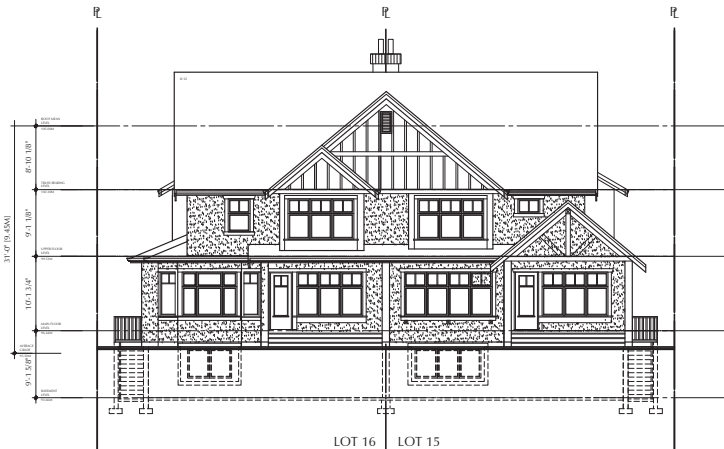




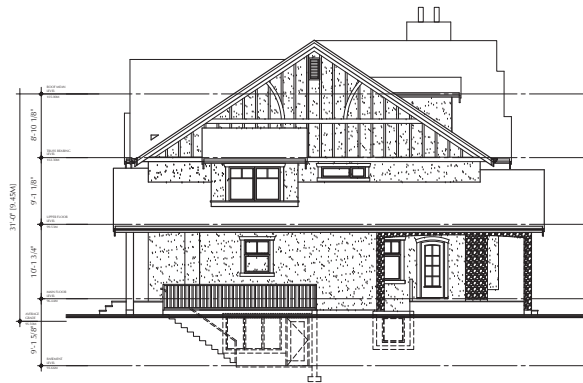
1 FRONT ELEVATION / NORTH
A3.2 SCALE: 1/8"=1'-0"



2 RIGHT ELEVATION / WEST
A3.2 SCALE: 1/8"=1'-0"



3 REAR ELEVATION / SOUTH
A3.2 SCALE: 1/8"=1'-0"



4 LEFT ELEVATION / EAST
A3.2 SCALE: 1/8"=1'-0"



COUNTRY ESTATE DUPLEX HOMES

Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 604.536.1600

16 FEE-SIMPLE DUPLEX + 1 SF

2584 166TH + 16706 26 AVE. SURREY BC

TARA DEVELOPMENTS

TYPE B ELEVATIONS

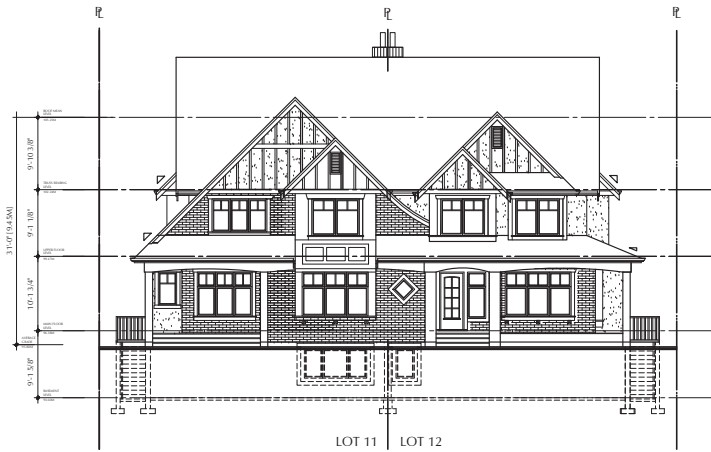
LOTS 16/15

SCALE: 1/8"=1'-0"

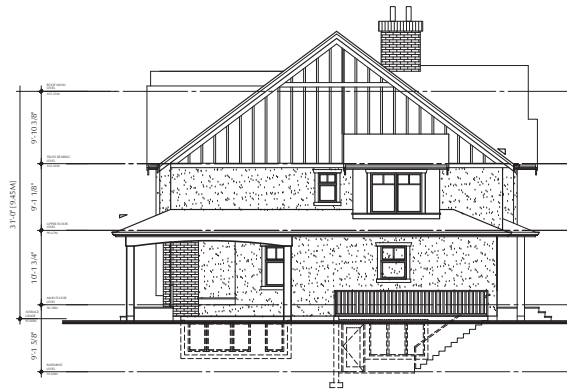


1506 **A3.2**

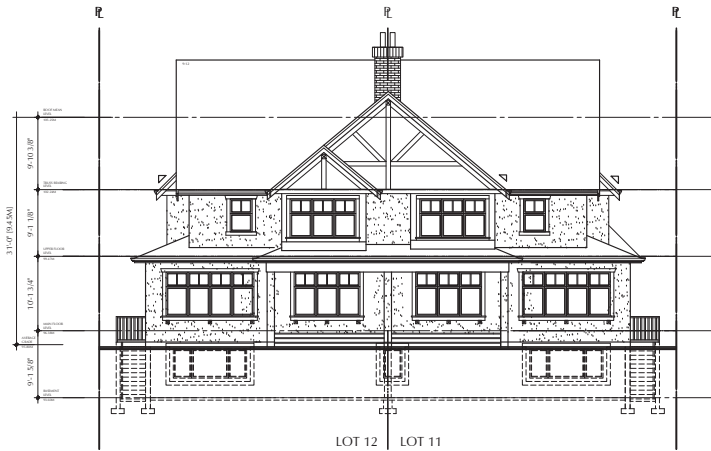
REV. DP JULY 6, 2015



1 FRONT ELEVATION / NORTH
A3.2 SCALE: 1/8"=1'-0"



2 RIGHT ELEVATION / WEST
A3.2 SCALE: 1/8"=1'-0"



3 REAR ELEVATION / SOUTH
A3.2 SCALE: 1/8"=1'-0"



4 LEFT ELEVATION / EAST
A3.2 SCALE: 1/8"=1'-0"



COUNTRY ESTATE DUPLEX HOMES

Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 604.536.1600

16 FEE-SIMPLE DUPLEX + 1 SF

2584 166TH + 16706 26 AVE. SURREY BC

TARA DEVELOPMENTS

TYPE C ELEVATIONS

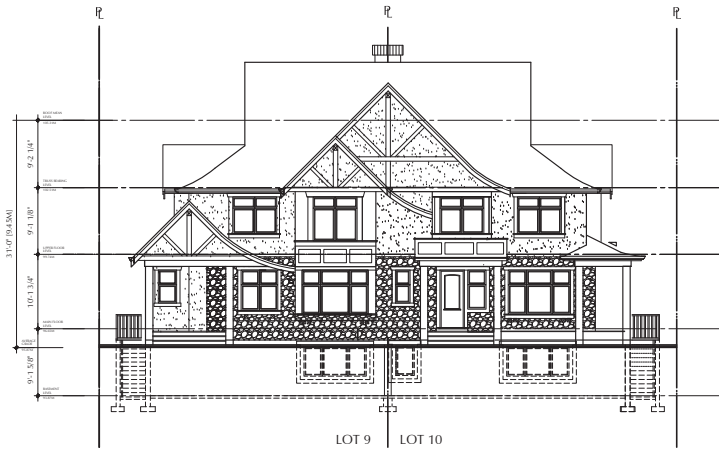
LOTS 12/11

SCALE: 1/8"=1'-0"



1506 **A3.3**

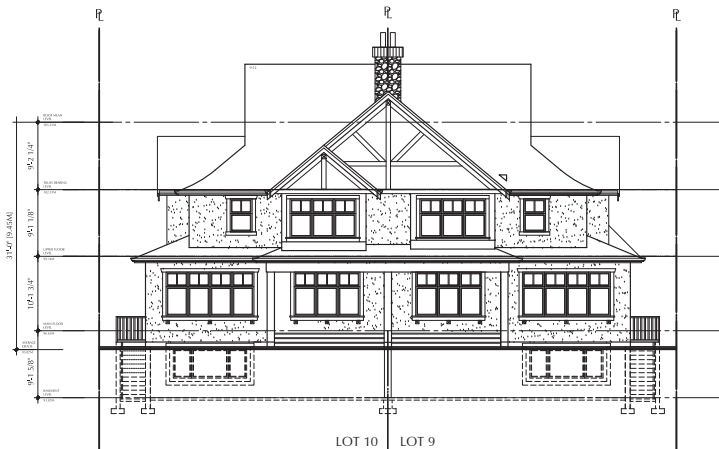
REV. DP JULY 6, 2015



1 FRONT ELEVATION / NORTH
A3.2 SCALE: 1/8"=1'-0"



2 RIGHT ELEVATION / WEST
A3.2 SCALE: 1/8"=1'-0"



3 REAR ELEVATION / SOUTH
A3.2 SCALE: 1/8"=1'-0"



4 LEFT ELEVATION / EAST
A3.2 SCALE: 1/8"=1'-0"



COUNTRY ESTATE DUPLEX HOMES

Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 604.536.1600

16 FEE-SIMPLE DUPLEX + 1 SF

2584 166TH + 16706 26 AVE. SURREY BC

TARA DEVELOPMENTS

TYPE D ELEVATIONS

LOTS 10/9

SCALE: 1/8"=1'-0"



1506 **A3.4**

REV. DP JULY 6, 2015



1 BRICK CLADDING:
H.C. MUDDOX
OLD TOWN RED



4 ASPHALT SHINGLES
- IKO CAMBRIDGE
WEATHERWOOD



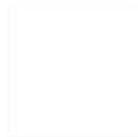
A STONE CLADDING:
ELDORADO STONE 'COGNAC'
COUNTRY RUBBLE



D ASPHALT SHINGLES
- IKO CAMBRIDGE
DUAL BLACK



2 SLOP-DASH STUCCO
- BENJAMIN MOORE 2122-60
PALEST PISTACHIO



5 VINYL WINDOW
- WHITE



B SLOP-DASH STUCCO
- BENJAMIN MOORE AF-385
SPLENDOR



E VINYL WINDOW
- BLACK



3 - WOOD TRIMS, FASCIAS
BENJAMIN MOORE 2122-50
ICEBURG
- DOOR/DOOR FRAME
BENJAMIN MOORE VC-22
PENDRELL VERDIGRIS



6 GLAZING
- CLEAR



C - WOOD TRIMS, FASCIAS
BENJAMIN MOORE AF-235
WARMED COGNAC
- DOOR/DOOR FRAME
BENJAMIN MOORE VC-31
MELLISH MAHAGONY



F GLAZING
- CLEAR



COUNTRY ESTATE DUPLEX HOMES

Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 604.536.1600

16 FEE-SIMPLE DUPLEX + 1 SF

2584 166TH + 16706 26 AVE. SURREY BC

TARA DEVELOPMENTS

COLOURBOARD

1506 **A3.5**

SCALE: NA

REV. DP JULY 6, 2015





1 TYPE C OPTION 1
A3.6 SCALE: NTS



2 TYPE D OPTION 1
A3.6 SCALE: NTS



1 BRICK CLADDING:
H.C. MUDDOX
1379 SPANISH MOSS



4 ASPHALT SHINGLES
- IKO CAMBRIDGE
WEATHERWOOD



A STONE CLADDING:
ELDORADO STONE 'BRIDGEPORT'



D ASPHALT SHINGLES
- IKO CAMBRIDGE
DUAL BLACK



2 SLOP-DASH STUCCO
- BENJAMIN MOORE 2141-60
TITANIUM



5 VINYL WINDOW /
DOOR FRAME,
- WHITE



B SLOP-DASH STUCCO
- BENJAMIN MOORE VC-1
OXFORD IVORY



E VINYL WINDOW
- BLACK



3 WOOD TRIMS, FASCIAS
- BENJAMIN MOORE VC-16
COMOX SAGE
- DOOR/DOOR FRAME
BENJAMIN MOORE VC-20
VANCOUVER GREEN



6 GLAZING
- CLEAR



C WOOD TRIMS, FASCIAS
BENJAMIN MOORE AF-385
SPLENDOR
- DOOR/DOOR FRAME
BENJAMIN MOORE VC-28
MELLISH RUST



F GLAZING
- CLEAR



COUNTRY ESTATE DUPLEX HOMES

Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 604.536.1600

16 FEE-SIMPLE DUPLEX + 1 SF

2584 166TH + 16706 26 AVE. SURREY BC

TARA DEVELOPMENTS

COLOURBOARD

1506 A3.6

SCALE: NA

REV. DP JULY 6, 2015





1 TYPE A OPTION 2
A3.5 SCALE: NTS



2 TYPE B OPTION 2
A3.5 SCALE: NTS



1 BRICK CLADDING:
H.C. MUDDOX
EBONY



4 ASPHALT SHINGLES
- IKO CAMBRIDGE
WEATHERWOOD



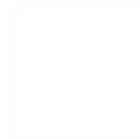
A STONE CLADDING:
ELDORADO STONE 'ANDANTE'
FIELDLEDGE



D ASPHALT SHINGLES
- IKO CAMBRIDGE
DUAL BLACK



2 SLOP-DASH STUCCO
- BENJAMIN MOORE AF-670
NIGHTINGALE



5 VINYL WINDOW
- BLACK



B SLOP-DASH STUCCO
- BENJAMIN MOORE AF-685
THUNDER



E VINYL WINDOW
- WHITE



3 - WOOD TRIMS, FASCIAS
BENJAMIN MOORE AF-660
GRANITE
- DOOR/DOOR FRAME
BENJAMIN MOORE 2072-20
BLACK RASPBERRY



6 GLAZING
- CLEAR



C - WOOD TRIMS, FASCIAS
BENJAMIN MOORE AF-70
BATTENBERG
- DOOR/DOOR FRAME
BENJAMIN MOORE AF-565
MYSTERIOUS



F GLAZING
- CLEAR



COUNTRY ESTATE DUPLEX HOMES

Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 604.536.1600

16 FEE-SIMPLE DUPLEX + 1 SF

2584 166TH + 16706 26 AVE. SURREY BC

TARA DEVELOPMENTS

COLOURBOARD

1506 A3.7

SCALE: NA

REV. DP JULY 6, 2015





1 TYPE C OPTION 2
A3.6 SCALE: NTS



2 TYPE D OPTION 2
A3.6 SCALE: NTS



1 BRICK CLADDING:
H.C. MUDDOX
1183 BURNT ROSE



4 ASPHALT SHINGLES
- IKO CAMBRIDGE
WEATHERWOOD



A STONE CLADDING:
ELDORADO STONE 'COOSBAY'
BLUFFSTONE



D ASPHALT SHINGLES
- IKO CAMBRIDGE
DUAL BLACK



2 SLOP-DASH STUCCO
- BENJAMIN MOORE 2159-70
WHITE CLOUD



5 VINYL WINDOW /
DOOR FRAME,
- WHITE



B SLOP-DASH STUCCO
- BENJAMIN MOORE AF-695
ETERNITY



E VINYL WINDOW
- BLACK



3 WOOD TRIMS, FASCIAS
- BENJAMIN MOORE AF-720
SPARROW
- DOOR/DOOR FRAME
BENJAMIN MOORE HC-72
BRANCHPORT BROWN



6 GLAZING
- CLEAR



C WOOD TRIMS, FASCIAS
BENJAMIN MOORE HC-164
PURITAN GRAY
- DOOR/DOOR FRAME
BENJAMIN MOORE CC-752
MIRAMACHI



F GLAZING
- CLEAR



COUNTRY ESTATE DUPLEX HOMES

Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 604.536.1600

16 FEE-SIMPLE DUPLEX + 1 SF

2584 166TH + 16706 26 AVE. SURREY BC

TARA DEVELOPMENTS

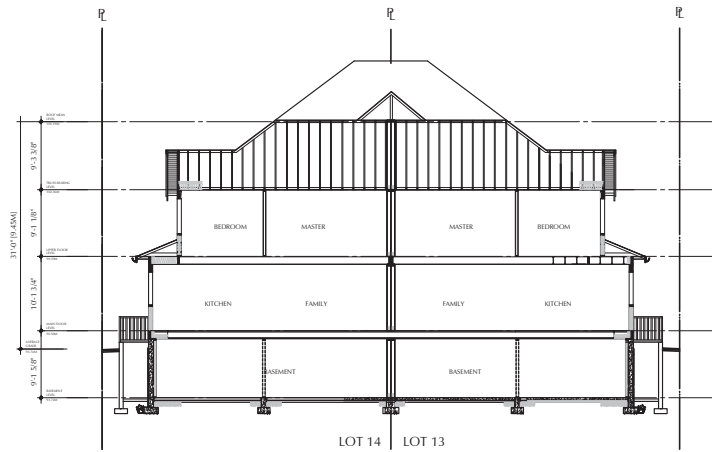
COLOURBOARD

1506 A3.8

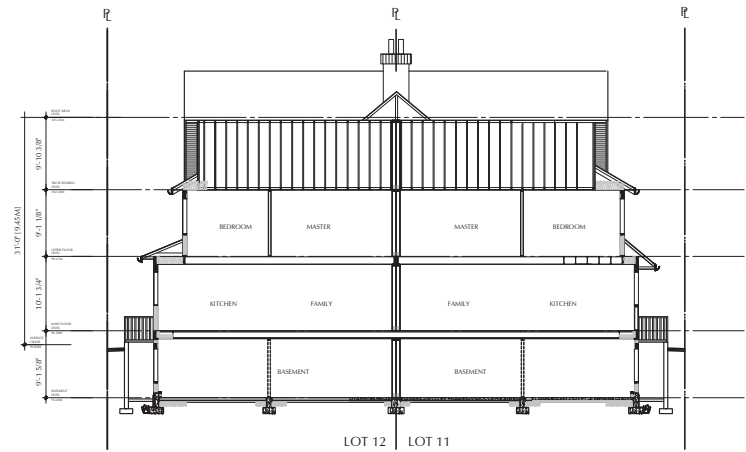
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REV. DP JULY 6, 2015

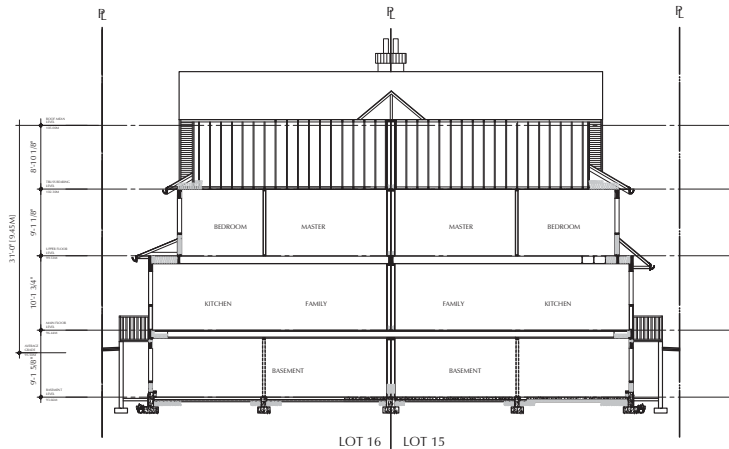




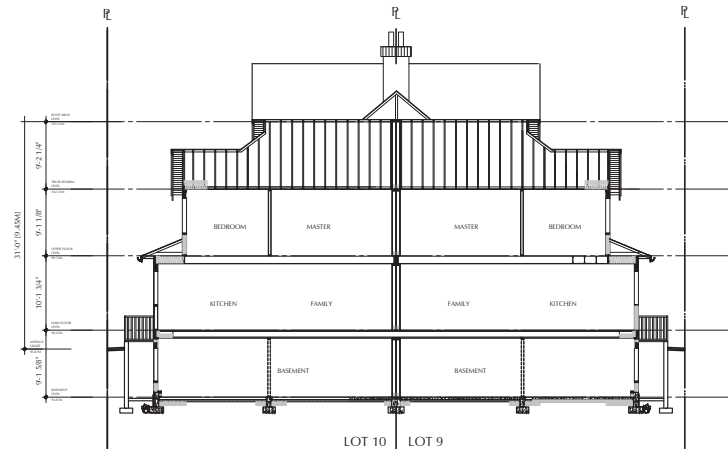
A TYPE A SECTION
A2.2 SCALE: 1/8"=1'-0"



C TYPE C SECTION
A2.3 SCALE: 1/8"=1'-0"



B TYPE B SECTION
A2.2 SCALE: 1/8"=1'-0"



D TYPE D SECTION
A2.4 SCALE: 1/8"=1'-0"



COUNTRY ESTATE DUPLEX HOMES

Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 604.536.1600

16 FEE-SIMPLE DUPLEX + 1 SF

2584 166TH + 16706 26 AVE. SURREY BC

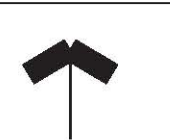
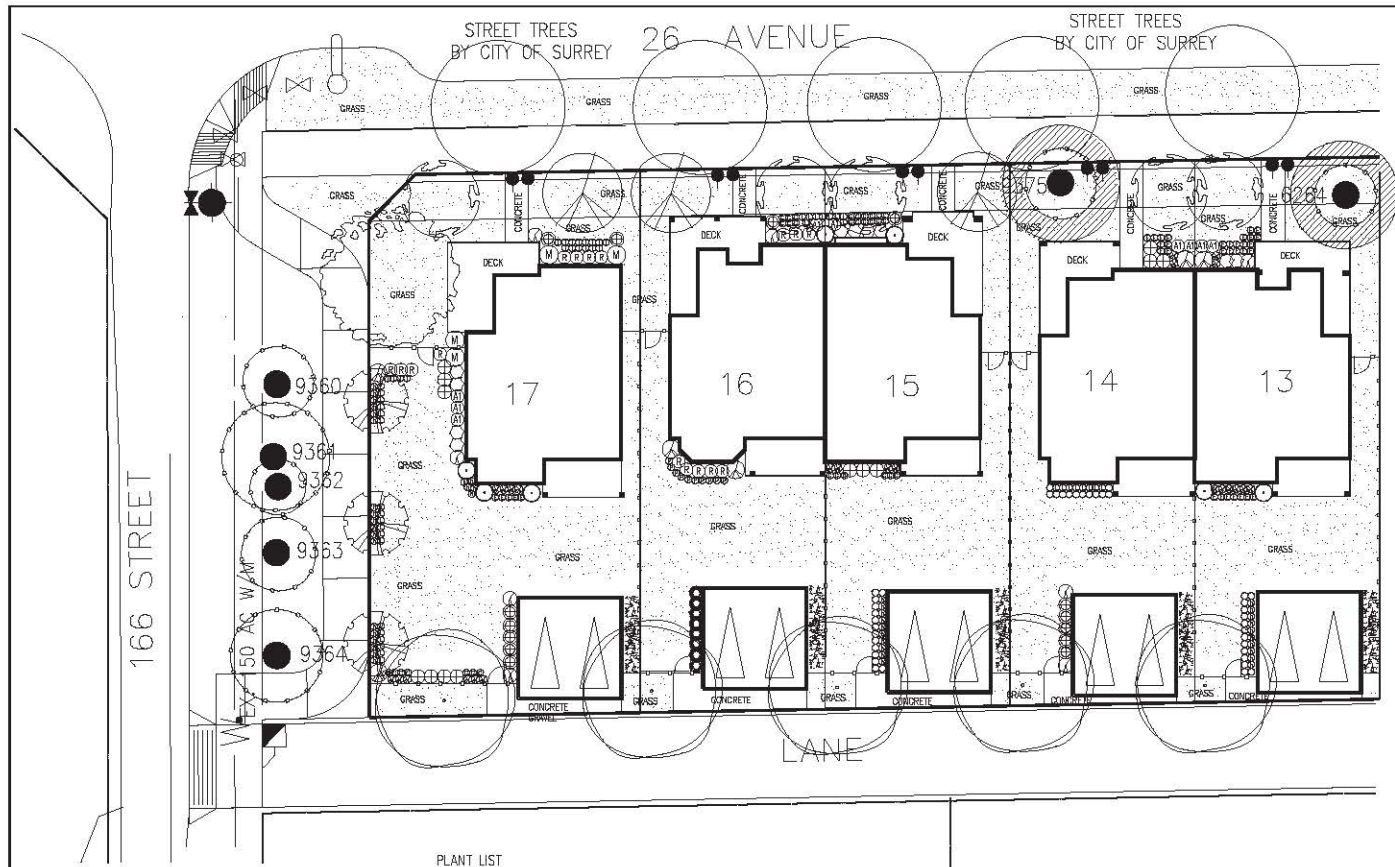
TARA DEVELOPMENTS

SECTIONS

1506 **A4.1**

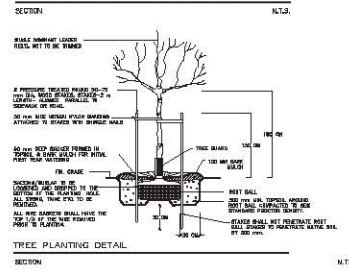
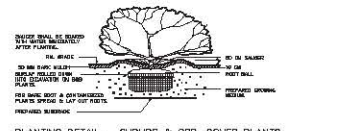
SCALE: 1/8"=1'-0"

REV. DP JULY 6, 2015



KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
	PRUNUS SERRULATA AMANAGAWA	AMANAGAWA CHERRY	8	6 CM. CAL.	AS SHOWN	B. & B.
	CORNUS FLORIDA 'RUBERUM'	RED FLOWERING DOGWOOD	10	6 CM. CAL.	AS SHOWN	B. & B.
	ACER RUBRUM AUTUMN FLAME	AUTUMN FLAME MAPLE	5	6 CM. CAL.	AS SHOWN	B. & B.
	PYRUS CALLERYANA 'CHANTICREEP'	CALLERY PEAR	5	6 CM. CAL.	AS SHOWN	B. & B.
	FAGUS SYLVATICA 'DAWYCK PURPLE'	FASTIGIATE PURPLE DAWYCK BEECH	3	6 CM. CAL.	AS SHOWN	B. & B.
⊕	AZALEA JAPONICA 'HINO CRIMSON'	CRIMSON AZALEA	10	43 POT	90 CM. O.C.	
⊕	AZALEA NORTHERN LIGHTS 'MANDARIN LIGHTS'	NORTHERN LIGHTS AZALEA	9	43 POT	85 CM. O.C.	
⊕	ABELIA 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	10	43 POT	90 CM. O.C.	
⊕	BUXUS MACROPHYLLA 'WINTER GEM'	ASIAN BOXWOOD	40	43 POT	90 CM. O.C.	
⊕	DELPHINIUM (VAR.)	DELPHINIUM	24	42 POT	45 CM. O.C.	
⊕	DAPHNE OODRA	DAPHNE	14	43 POT	90 CM. O.C.	
⊕	GARDINIA (VAR.)	GARDINIA	4	43 POT	90 CM. O.C.	
⊕	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	HYDRANGEA	9	43 POT	110 CM. O.C.	
⊕	RHOODODENDRON (MED.)	RHOODODENDRON	15	43 POT	110 CM. O.C.	
⊕	SYRINGA VULGARIS 'MICHEL BUCHNER'	LILAC	7	43 POT	90 CM. O.C.	
⊕	SOPHORA SECUNDFLORA	MOUNTAIN LAUREL	3	43 POT	90 CM. O.C.	
⊕	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	8	1.00 METERS	65 M. O.C.	
⊕	ROSMARINUS OFFICINALIS	ROSEMARY	35	#1 POT	30 CM. O.C.	
⊕	LAVANDULA ANGIUSTIFOLIA 'MUNSTED'	LAVENDER	27	43 POT	45 CM. O.C.	
⊕	THYME VULGARIS	THYME	18	43 POT	45 CM. O.C.	
⊕	HEMEROCALLIS	COMMON DAYLILY	43	43 POT	45 CM. O.C.	
⊕	ORCUNUM VULGARE 'AUREUM'	CREeping GOLDEN MAJORAM	10	43 POT	45 CM. O.C.	
⊕	VINCA MINOR	PERIWINKLE	31	43 POT	45 CM. O.C.	

- NOTES / GENERAL**
- PLANT SPECIES IN THIS LIST ARE SPECIFIED ACCORDING TO THE LANDSCAPE STANDARDS "LATEST EDITION". CONTRACTOR SHALL USE SPECIES AS PER "LATEST EDITION" UNLESS OTHERWISE SPECIFIED. PLANT SIZE AND CONTAINER SIZE AND THE NUMBER OF PLANTS SHALL BE AS SPECIFIED. PLANT MATERIAL AVAILABLE FOR OFFICIAL REVIEW IN "LANDSCAPE ARCHITECT" IS SUBJECT TO CHANGE. ANY CHANGES TO SPECIES, SIZE, OR PLANT QUALITY, "SUBSTITUTION" MUST OBTAIN WRITTEN APPROVAL FROM THE "LANDSCAPE ARCHITECT" PRIOR TO WORKING. ANY SUBSTITUTION TO SPECIES, SIZE, OR PLANT QUALITY, "SUBSTITUTION" MUST OBTAIN WRITTEN APPROVAL FROM THE "LANDSCAPE ARCHITECT" PRIOR TO WORKING. ANY SUBSTITUTION TO SPECIES, SIZE, OR PLANT QUALITY, "SUBSTITUTION" MUST OBTAIN WRITTEN APPROVAL FROM THE "LANDSCAPE ARCHITECT" PRIOR TO WORKING.
 - ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED "TREE FREE" NURSERY. ALL PLANT MATERIAL MUST CONFORM TO THE LATEST EDITION OF THE "LANDSCAPE STANDARDS". PLANTS OBTAINED FROM UNREPUTABLE ALL LANDSCAPE AND LANDSCAPE MATERIALS TO CONFORM TO THE LATEST EDITION OF THE "LANDSCAPE STANDARDS".
 - MIN. GRASSING MEDIA DEPTH OVER PREPARED SUBGRADE SHALL BE:
 - LAWN AREAS: 100 MM
 - GRASSING MEDIA AREAS: 100 MM
 - SPRING AREAS: 100 MM
 - 100 MM OVER ROOT BALL
 - OPENING MEDIA SHALL HAVE PHYSICAL AND CHEMICAL PROPERTIES AS DESCRIBED IN THE STANDARDS FOR LEVEL 2 AND LEVEL 3 AREAS EXCEPT FOR AREAS OVER STRUCTURES WHERE THE MEDIA SHALL CONFORM TO THE REQUIREMENTS FOR LEVEL 1 APPLICATIONS. PROCEEDING AND WAYS OF DRAINAGE MEDIA COMPONENTS SHALL BE DONE BY SITE USING A RECOMMENDED TESTING PROCEDURE. PROPOSED OPENING MEDIA SHALL BE TESTED BY A RECOMMENDED LABORATORY. THE CONTRACTOR SHALL GUARANTEE THAT THE MEDIA SAMPLED FOR TESTING IS A REPRESENTATIVE SAMPLE TAKEN FROM THE MEDIA THAT WILL BE USED AT THE SITE.
 - ON-SITE OR IMPORTED SOILS SHALL SATISFY THE REQUIREMENTS OF THE STANDARDS FOR OPENING MEDIA. SOILS SHALL BE VERTICALLY FREE FROM STONEL, WOOD, INCL. MOISTY PLANT MATTER, AND/OR REMAINS OF PLANTS. ALL MEDIA SHALL BE PROTECTED FROM CONTAMINATION BY MATERIALS STORED ON OR NEAR THE SITE.
 - ALL PLANTING SHALL BE DONE WITHIN 100 MM BANK WIDTH.
 - PLANT SPECIES AND NUMBER MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 - THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE. UNLESS OTHERWISE SPECIFIED, ALL PLANT MATERIAL NOT SURVIVING IN A PERMANENT MANNER THE CONTRACTOR SHALL BE REPLACED BY THE CONTRACTOR AT HIS EXTRA COST IN THE SAME.
 - THE CONTRACTOR SHALL CLEAR AWAY FROM THE SITE ALL OBSTRUCTIONS AND SHALL AT THE COMPLETION OF THE WORK, LEAVE THE WORK AND THE SITE NEAREST TO A CLEAR AND PAVED/PAVEMENT FREE FROM ALL OBSTRUCTIONS.



DATE	REVISION	NO.

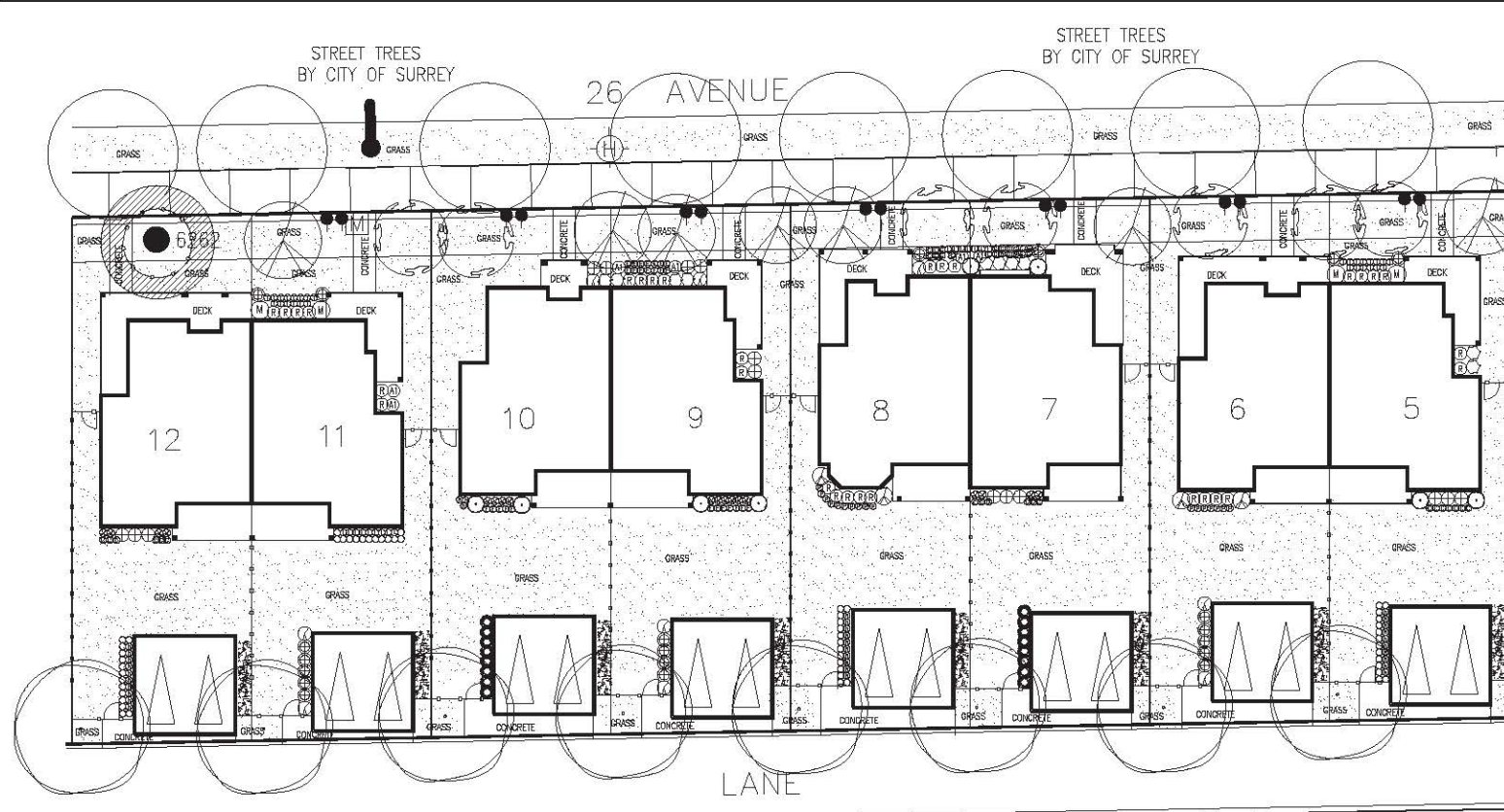
C.KAVOLINAS & ASSOCIATES INC.
 BCSLA CELA
 2462 JENNIFER COURT
 SURREY, B.C.
 V2G 3J8
 PHONE (604) 867-2378

CLIENT
 TARA DEVELOPMENTS
 c/o HUB ENGINEERING INC.
 SUITE #212
 12802 - 74 AVENUE
 SURREY, B.C.
 V2R 2J8
 804 572 4328

TITLE
 PLAN VIEW
 LANDSCAPE PLAN
 PROPOSED
 DUPLEX DEVELOPMENT
 2584 - 166 STREET
 SURREY, B.C.

SCALE	1:150	DATE	JUN/15
DRAWN	CHW	CHECKED	CHW
DATE	CHW	DATE	CHW
APPVED	AS BUILT	DATE	AS BUILT

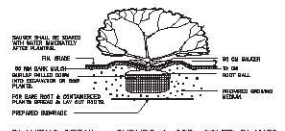
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 DRAWING No.
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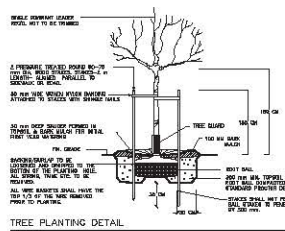
PLANT LIST						
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
(A)	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME MAPLE	8	6 CM. CAL.	AS SHOWN	B. & B.
(B)	PIRUS CALLERYANA 'D'ANTICTEER'	CALLERY PEAR	7	6 CM. CAL.	AS SHOWN	B. & B.
(C)	FAGUS SYLVATICA 'DANWICK PURPLE'	FASTIGIATE PURPLE DANWICK BEECH	7	6 CM. CAL.	AS SHOWN	B. & B.
(D)	AZALEA 'JAPONICA 'HINO CRAMSON''	CRIMSON AZALEA	15	#3 POT	90 CM. O.C.	
(E)	AZALEA 'NORTHERN LIGHTS 'MANDARIN LIGHTS''	NORTHERN LIGHTS AZALEA	6	#3 POT	85 CM. O.C.	
(F)	ABELIA 'EDWARD GOWCHER'	EDWARD GOWCHER ABELIA	10	#3 POT	90 CM. O.C.	
(G)	BUXUS MACROPHYLLA 'WINTER GEM'	ASIAN BOXWOOD	55	#3 POT	90 CM. O.C.	
(H)	DELPHINIUM (VAR.)	DELPHINIUM	18	#2 POT	45 CM. O.C.	
(I)	DAPHNE ODORA	DAPHNE	20	#3 POT	90 CM. O.C.	
(J)	GARDINIA (VAR.)	GARDINIA	4	#3 POT	90 CM. O.C.	
(K)	RHOODODENDRON 'NIKKO BLUE'	RHOODODENDRON	8	#3 POT	110 CM. O.C.	
(L)	RHOODODENDRON (MED.)	RHOODODENDRON	30	#3 POT	110 CM. O.C.	
(M)	SYRINGA VULGARIS 'MICHEL BUCHNER'	LILAC	8	#3 POT	90 CM. O.C.	
(N)	SOPHORA SECUNDFLORA	MOUNTAIN LAUREL	4	#3 POT	90 CM. O.C.	
(O)	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	24	1.00 METERS		
(P)	ROSEMARYN OFFICINALIS	ROSEMARY	26	#1 POT	65 M. O.C.	
(Q)	LAVANDULUS ANGLUSTIFOLIA 'MUNSTEAD'	LAVENDER	18	#3 POT	30 CM. O.C.	
(R)	THYME VULGARIS	THYME	28	#3 POT	45 CM. O.C.	
(S)	HEMEROCALLIS	COMMON DAYLILY	33	#3 POT	45 CM. O.C.	
(T)	ORONUM VULSARE 'AUREUM'	CREeping GOLDEN MAJORAM	37	#3 POT	45 CM. O.C.	
(U)	VINCA MINOR	PERIWINKLE	17	#3 POT	45 CM. O.C.	

NOTES / DETAILS

- PLANT SPECIES IN THIS LIST ARE SPECIFIED ACCORDING TO THE LANDSCAPE SCHEMATIC 'LATEST EDITION'. PLANT SPECIES ARE SPECIFIED AS PER 'CANADA STANDARD' PLANT SIZE AND SPECIFICATIONS. ALL PLANTS MUST BE PROVIDED WITH PROPER TAGS AND BEING MAINTAINED UNTIL AVAILABLE FOR SPECIAL REVIEW BY 'LANDSCAPE ARCHITECT' AT SOURCE OF SUPPLY. ALL PLANTS MUST BE PROVIDED WITH PROPER TAGS AND BEING MAINTAINED UNTIL AVAILABLE FOR SPECIAL REVIEW BY 'LANDSCAPE ARCHITECT' AT SOURCE OF SUPPLY. ALL PLANTS MUST BE PROVIDED WITH PROPER TAGS AND BEING MAINTAINED UNTIL AVAILABLE FOR SPECIAL REVIEW BY 'LANDSCAPE ARCHITECT' AT SOURCE OF SUPPLY.
- ALL PLANT MATERIAL MUST BE PROVIDED FROM CROWNED 'SHRUBS FREE' MATERIAL. ALL PLANT MATERIAL MUST BE PROVIDED TO THE LATEST EDITION OF THE 'LANDSCAPE SCHEMATIC'. PLANT SPECIFICATIONS AND SPECIFICATIONS SHALL BE SUBJECT TO THE 'LANDSCAPE SCHEMATIC'.
- ALL PLANTING SHALL BE PROVIDED WITH PREPARED BARRIERS SHALL BE:
 - LAWN AREAS: 300 MM
 - GRASS COVER AREAS: 400 MM
 - DRIVEWAYS: 400 MM
 - CONCRETE: 400 MM
- DRIVING MATERIAL SHALL HAVE PROPER AND SPECIAL PROVISIONS AS SPECIFIED IN THE SCHEMATIC FOR LEVEL 1 AND LEVEL 2. SPECIAL PROVISIONS FOR LEVEL 1 AND LEVEL 2 SHALL BE PROVIDED TO THE LATEST EDITION OF THE 'LANDSCAPE SCHEMATIC'. THE CONTRACTOR SHALL GUARANTEE THAT THE SOIL MAINTAINED FOR PLANTING IS A BONDING/PROTECTIVE MEDIUM FROM THE SOIL THAT WILL BE USED AT THE SITE.
- ON-SITE OR IMPORTED SOILS SHALL MEET THE REQUIREMENTS OF THE SCHEMATIC FOR SOILING MEDIUM. SOIL SHALL BE NATURALLY FREE FROM ROCKS, WOOD AND OTHER PLANT WASTE. SOIL SHALL BE SUBJECT TO THE 'LANDSCAPE SCHEMATIC'.
- ALL PLANTING SHALL BE PROVIDED WITH 30 MM BARK MULCH.
- PLANT SPECIES AND VARIETIES MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE. ALL PLANT MATERIALS AND SPECIFICATIONS SHALL BE SUBJECT TO THE 'LANDSCAPE SCHEMATIC'.
- THE CONTRACTOR SHALL GUARANTEE THAT THE SOIL MAINTAINED FOR PLANTING IS A BONDING/PROTECTIVE MEDIUM FROM THE SOIL THAT WILL BE USED AT THE SITE.



PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS



TREE PLANTING DETAIL

DATE	REVISION	NO.

C. KAVOLINAS & ASSOCIATES INC.
 2482 JONQUIL COURT
 ABBOTSFORD, B.C.
 V3G 3J8
 PHONE (604) 857-2378

CLIENT

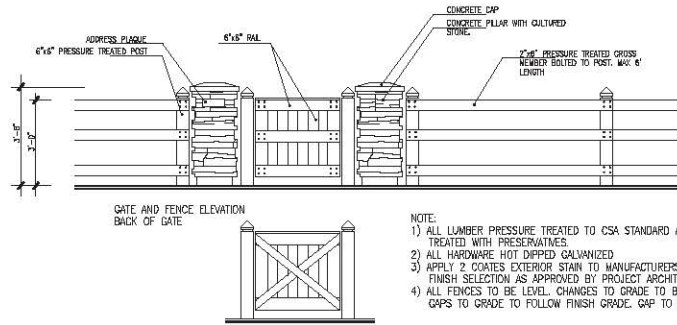
THRA DEVELOPMENTS
 c/o HUB ENGINEERING INC.
 SUITE #210
 12962 - 78 AVENUE
 SURREY, B.C.
 V3W 2W8
 604 572 4328

TITLE	
PLAN VIEW	
LANDSCAPE PLAN PROPOSED DUPLEX DEVELOPMENT	
2284 - 196 STREET SURREY, B.C.	

SCALE: 1:150	DATE: JUN/15
DRYPT	DRYPT
ENCL	ENCL'S
APP'X	AS BUILT

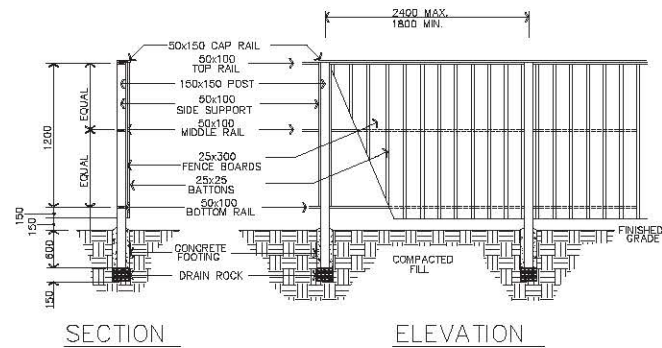
DRAWN	JOB NO.
DRAWING NO.	L-2

FENCE DETAIL
EXTERIOR SIDE YARDS OR LOTS 1, 2, 3, & 17



- NOTE:
- 1) ALL LUMBER PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVES.
 - 2) ALL HARDWARE HOT DIPPED GALVANIZED
 - 3) APPLY 2 COATES EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 - 4) ALL FENCES TO BE LEVEL. CHANGES TO GRADE TO BE IN 12"-18" STEPS (MAX) GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3"-6".

FENCE DETAIL
INTERIOR SIDE YARDS AND REAR YARDS



DATE	REVISION	BY

C.KAVOLINAS & ASSOCIATES INC.
BCSIA CSA
2482 JONDUL COURT
ABBOTSFORD, B.C.
V3G 3J8
PHONE (604) 887-2376

CLIENT
TARA DEVELOPMENTS
c/o HUB ENGINEERING INC.
SUITE #212
12982 - 75 AVENUE
SURREY, B.C.
V3N 2V6
604 572 4328

TITLE
PLAN VIEW
LANDSCAPE DETAILS
PROPOSED
DUPLEX DEVELOPMENT
2394 - 158 STREET
SURREY, B.C.

SCALE	N.T.S.	DATE	JUN/15
DRWT	ckw		
CHK	ckw		
APPD	ak		

PROJECT	2394 St.
DRAWING No.	L-4



FASTIGIATE PURPLE DAWYCK BEECH



AMANAGAWA CHERRY



RED FLOWERING DOGWOOD



AUTUMN FLAME MAPLE



EMERALD ARBORVITAE



GALLERY PEAR



CRIMSON AZALEA



NORTHERN LIGHTS AZALEA



EDWARD GOUCHER ABELIA



ASIAN BOXWOOD



DAPHNE



DELPHINIUM



GARDINIA



NIKKO BLUE HYDRANGEA



RHODODENDRON



LILAC



MOUNTAIN LAUREL



ROSEMARY



LAVENDAR



THYME



COMMON DAYLILY



CREEPING GOLDEN MAJORAM



PERIWINKLE

DATE	REVISED	BY

C.KAVOLINAS & ASSOCIATES INC.
 CDA
 3482 JONKOE COURT
 WASHINGTON, D.C.
 VDC JEB
 PHONE (804) 487-2379

CLIENT
 TARA DEVELOPMENTS
 c/o HUB ENGINEERING INC.
 SUITE 4012
 13902 - 78 AVENUE
 SURVEY, D.C.
 1306 508
 604 572 4328

TITLE
 PLAN VIEW
 LANDSCAPE PLANTS
 PROPOSED
 DUPLEX DEVELOPMENT
 2294 - 188 STREET
 SURVEY, D.C.

SCALE	N.T.S.	DATE	JUN/15
DRAWN		DATE	
CHECKED		DATE	
APPROVED		DATE	

PRINTED
 JOB NO.
 DRAWING NO.
 L-5

**TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: July 8, 2015

PROJECT FILE: 7814-0118-00

**RE: Engineering Requirements
Location: 2584 166 Street and 16706 26 Avenue**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- dedicate 1.942 m road allowance for ultimate 24.0 m collector road allowance along 26 Avenue;
- dedicate 6.942 m road allowance for ultimate 34.0 m local road allowance along 166 Street;
- dedicate 8.0 m for eastern walkway (located between proposed lots 2 and 3);
- dedicate a 3 m x 3 m corner cut at 166 Street; and
- register 0.5 m SRWs for inspection chambers and/or sidewalk maintenance along site frontage of 26 Avenue and 166 Street.

Works and Services

- construct 26 Avenue to Unique Collector road standard;
- construct interim condition for 166 Street road works, including Amenity Connector enhanced sidewalk and streetlighting;
- applicant to provide cash-in-lieu for removal of interim works, and for construction of east half of ultimate works of 166 Street, including Wildlife Corridor requirements;
- construct 8.0 m wide eastern walkway (located between proposed lots 2 and 3);
- construct rear lane;
- construct/extend all downstream water, storm, and sanitary infrastructure, and service connections required to service the site in accordance with the NCP and City standards;
- construct all infrastructure required to service the rear lane.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Rémi Dubé, P.Eng.
Development Services Manager

MS

NOTE: Detailed Land Development Engineering Review available on file



Friday, June 26, 2015

Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 14 0118 00

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Grandview Heights Elementary and Kensington Prairie Elementary were closed in June 2006 and the enrolment shifted to Pacific Heights Elementary when it opened in 2006. A new replacement school (Sunnyside Elementary) opened in September 2013 and the School District implemented boundary moves to the new Sunnyside Elementary (new location) from Pacific Heights Elementary to help address the projected overcrowding. A new elementary school site has been purchased south of 23rd Avenue - Site #206 near Edgewood Drive. The construction of a new elementary school on this site is a high priority in the District's 5-Year Capital Plan and feasibility planning is underway. The School District has also purchased land for a new secondary school in the Grandview Area adjoining the City of Surrey future Aquatic Centre and Recreation property. The construction of this secondary school is also a high priority in the District's 5-Year Capital Plan. A proposed addition to Pacific Heights Elementary is included in the capital plan, but as a lower priority than the two capital projects mentioned above. The enrolment projections include anticipated residential growth from the Grandview and Sunnyside NCPs. The actual enrolment growth rate will be driven by the timing of development, demographic changes and market factors. Enrolment pressures in this area of Surrey are extreme and capital project approval timelines are unknown at this point in time. Additional portables will be required at Pacific Heights for September 2015. Until new elementary and secondary school capital projects are approved, the School District does not support development occurring at a higher density than outlined in approved NCPs.

SUMMARY

The proposed 17 Single family with suites are estimated to have the following impact on the following schools:

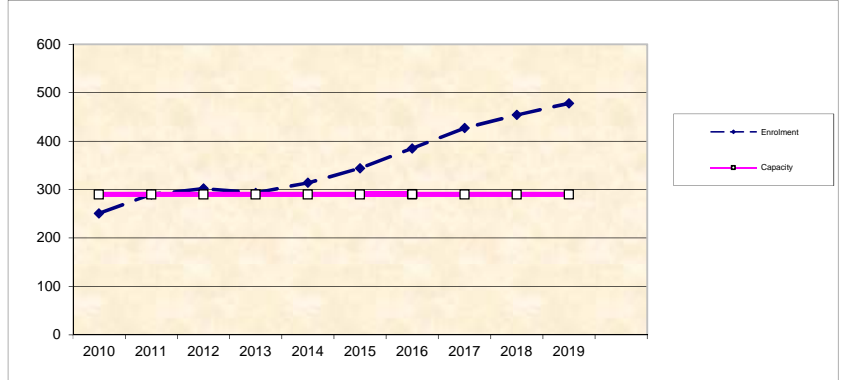
Projected # of students for this development:

Elementary Students:	9
Secondary Students:	4

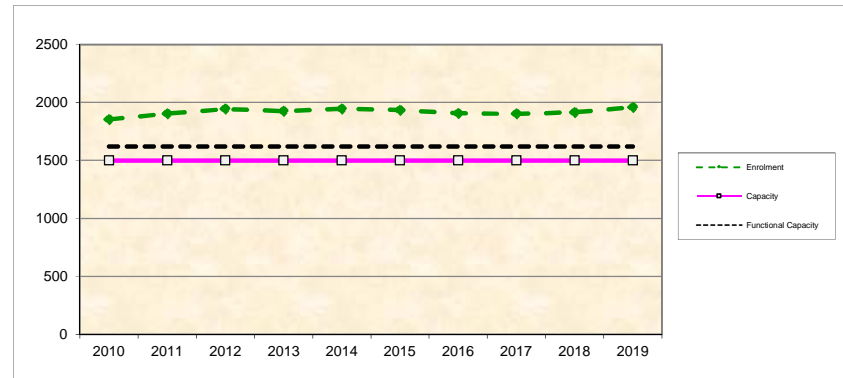
September 2014 Enrolment/School Capacity

Pacific Heights Elementary	
Enrolment (K/1-7):	41 K + 273
Capacity (K/1-7):	40 K + 250
Earl Marriott Secondary	
Enrolment (8-12):	1946
Nominal Capacity (8-12):	1500
Functional Capacity*(8-12):	1620

Pacific Heights Elementary



Earl Marriott Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

Table 4. Tree Preservation Summary

TREE PRESERVATION SUMMARY

Surrey Project No: 7914-0118
 Address: 2584 166 St and 16706 26th Ave
 Registered Arborist: Trevor Cox, MCIP
 ISA Certified Arborist (PN1920A)
 Certified Tree Risk Assessor (43)
 BC Parks Wildlife and Danger Tree Assessor

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	108
Protected Trees to be Removed	98
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	10
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 46 X one (1) = 46	156
- All other Trees Requiring 2 to 1 Replacement Ratio 52 X two (2) = 110	
Replacement Trees Proposed	66
Replacement Trees in Deficit	90
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio ___ X one (1) = 0	0
- All other Trees Requiring 2 to 1 Replacement Ratio X two (2) = 0	
Replacement Trees Proposed	
Replacement Trees in Deficit	0

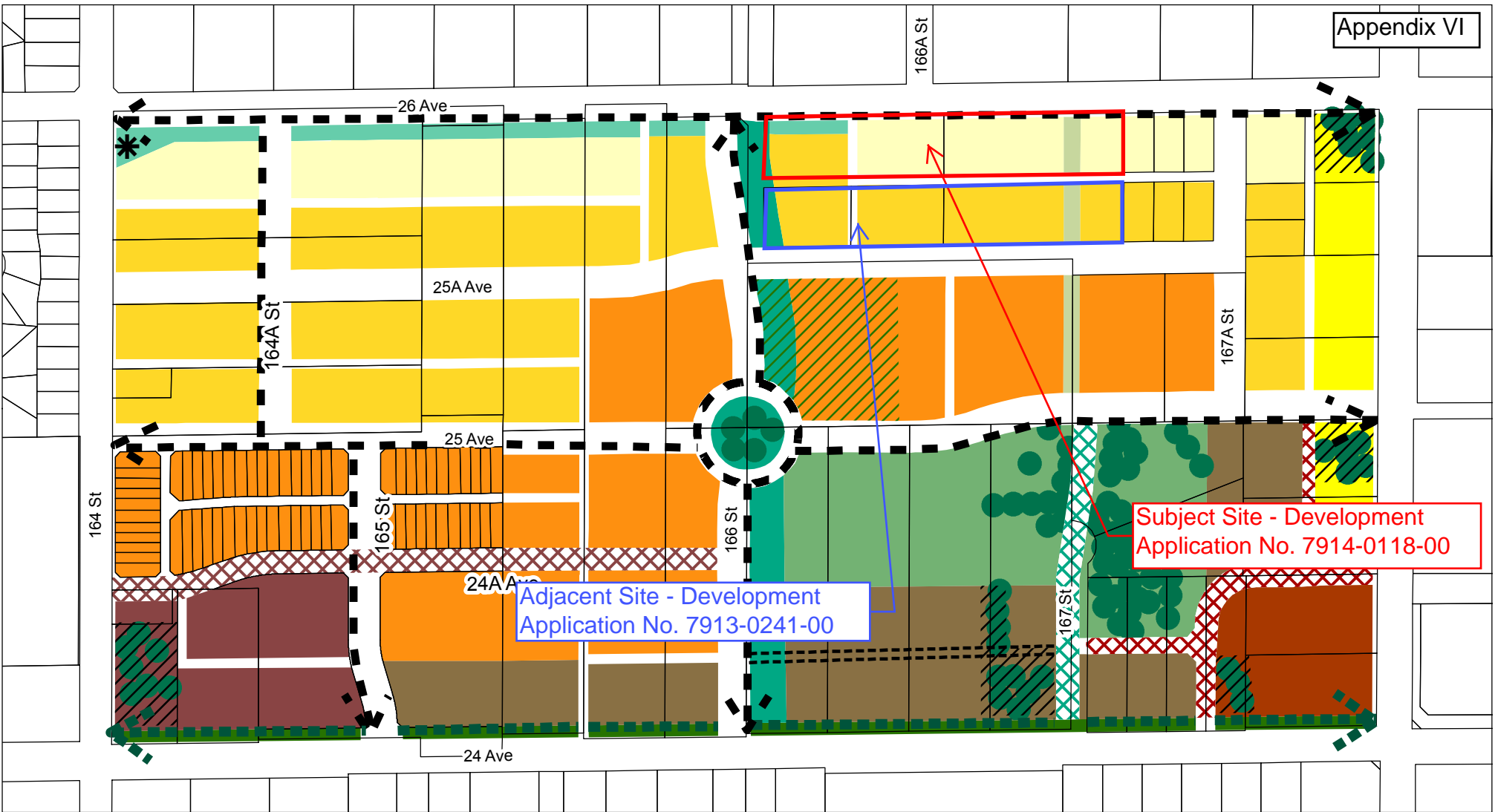
Summary prepared and submitted by:



Arborist

July 6, 2015

Date



Subject Site - Development Application No. 7914-0118-00

Adjacent Site - Development Application No. 7913-0241-00

Orchard Grove - Grandview Heights 5A Neighbourhood Land Use Concept Plan

City of Surrey Planning & Development Department

Legend

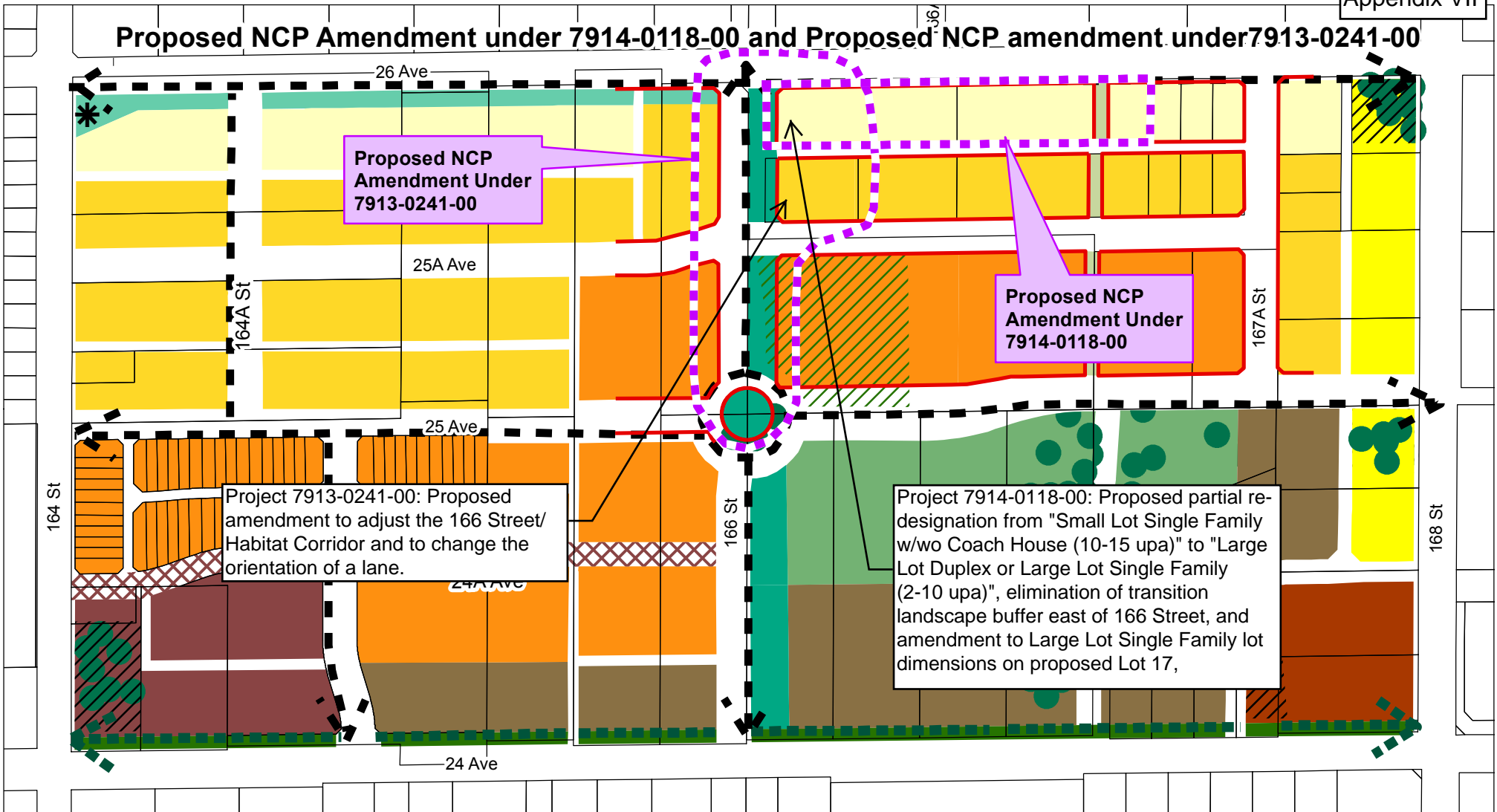
- Large Lot Duplex or Large Lot Single Family (2-10 upa)
- Small Lot Single Family w/wo Coach House (10-15 upa)
- Single Family (10 upa) or Townhouse with Tree Preservation (15 upa)
- Townhouse (15-30 upa)
- Townhouse (15 upa) or Multi-Family with Tree Preservation (30 upa)
- Multi-Family (30-45 upa)
- Mixed-Use Commercial/Residential (30-45 upa)
- Stormwater Detention Pond

- Park
- Walkway (10m)
- Habitat Corridor (20m SROW)
- Transition Landscape Buffer (10m SROW)
- Special Commercial Street
- Green Street
- Residential Flex Street 14m

- Amenity Connector
- Multi-Use Pathway (8m SROW)
- Proposed Green Connector
- Potential Orchard Preservation
- Tree Preservation Areas
- Tree Cluster
- Gateway Feature



Proposed NCP Amendment under 7914-0118-00 and Proposed NCP amendment under 7913-0241-00



Orchard Grove - Grandview Heights 5A Neighbourhood Land Use Concept Plan

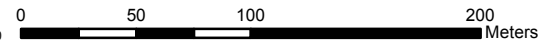
Legend

- Large Lot Duplex or Large Lot Single Family (2-10 upa)
- Small Lot Single Family w/wo Coach House (10-15 upa)
- Single Family (10 upa) or Townhouse with Tree Preservation (15 upa)
- Townhouse (15-30 upa)
- Townhouse (15 upa) or Multi-Family with Tree Preservation (30 upa)
- Multi-Family (30-45 upa)
- Mixed-Use Commercial/Residential (30-45 upa)
- Multi Family (65 upa)

- Stormwater Detention Pond
- Park
- Walkway (10m)
- Habitat Corridor (20m SROW)
- Transition Landscape Buffer (10m SROW)
- Special Commercial Street
- Green Street
- Residential Flex Street 14m

City of Surrey Planning & Development Department

- Amenity Connector
- Multi-Use Pathway (8m SROW)
- Proposed Green Connector
- Potential Orchard Preservation
- Tree Preservation Areas
- Tree Cluster
- Gateway Feature



BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: HALF-ACRE RESIDENTIAL ZONE (RH)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 004-434-064
 Lot 19 Section 24 Township 1 New Westminster District Plan 32278
 16706 - 26 Avenue

Portion of Parcel Identifier: 006-719-279
 Lot 20 Section 24 Township 1 New Westminster District Plan 32278 as shown on the Survey Plan attached hereto and forming part of this By-law as Schedule A, certified correct by Dave Dyck, B.C.L.S. on the 2nd day of July, 2015, containing 0.33 hectares, called Block A.

Portion of 2584 - 166 Street
 (hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of *semi-detached residential buildings*, which are compatible with *Suburban*, estate lots, where *density* bonus is provided.

B. Permitted Uses

The *Lands* and *structures* shall be used for only one *dwelling unit* on each *lot* contained within a *semi-detached residential building* and customary *accessory uses*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The *unit density* shall not exceed 2.5 *dwelling units* per hectare [1 u.p.a.]. The maximum *density* may be increased to that prescribed in Section D.2 of this Zone if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. For *building* construction within a *lot*:
 - (a) The *floor area ratio* shall not exceed 0.61;
 - (b) The *unit density* shall not exceed 25 *dwelling units* per hectare [10 u.p.a.]; and
 - (c) Notwithstanding the definition of *floor area ratio*, a garage is not included in the *floor area ratio* calculation provided the maximum garage size is in accordance with Section H.4 of this Zone.

E. Lot Coverage

The *lot coverage* shall not exceed 60%.

F. Yards and Setbacks

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

Setback	<i>Front Yard</i>	<i>Rear Yard</i>	<i>Side Yard</i>
Use			
<i>Principal Building</i>	4.9 m ¹ [16 ft.]	6.5 m [21 ft.]	1.2 m. ⁴ [4 ft.]
<i>Accessory Buildings and Structures</i>	- ²	0.5 m. ³ [1.6 ft.]	1.2 m. ⁵ [4 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

- ¹ The *front yard setback* may be reduced to a minimum of 3.0 metres [10 ft.] by an unenclosed and inhabitable space such as a porch or veranda, provided that the said porch or veranda is covered from above and is an integral part of the *principal building*.
- ² *Accessory buildings and structures* are not permitted within the *front yard setback* of the *principal building*.
- ³ A minimum *separation* of 6 metres [20 ft.] is required between the *principal building* and *accessory buildings and structures*. The minimum *separation* may be reduced to 4.0 metres [13 ft.] at the main floor level for stairs that consist of 3 risers or less and outdoor space such as a *deck* or patio that occupies a maximum of 14 square metres [150 sq. ft.] and may be covered by a sloped roof.
- ⁴ A *side yard* is not required at the common *side lot line* between two paired *lots* along which the *semi-detached residential building* is located.
- ⁵ Where one *side yard setback* of an *accessory building and structure* including a garage is permitted to be 1.2 metres [4 ft.] the opposite *side yard setback* shall be a minimum of 4 metres [13 ft.].

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 9.5 metres [31 ft.].
2. *Accessory buildings and structures*: The *building height* shall not exceed 5.0 metres [16.5 ft.].

H. Off-Street Parking

1. Refer to Table C.2 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. *Driveway* access is permitted only from the lane.
3. A minimum of 2 off-street *parking spaces* shall be provided for each *dwelling unit*.
4. The floor area of the garage shall not exceed a maximum of 44 sq. m. [475 sq. ft.].
5. A detached garage shall:
 - (a) Be located at the rear of the *lot*;

- (b) Be located at a minimum of 6 metres [20 ft.] from the rear wall of the *dwelling unit*; and
 - (c) The *driveway* width shall not exceed 6 metres [20 ft.].
6. Outside parking of *vehicles* ancillary to the residential use shall be limited to a maximum of 2 cars or trucks.
 7. Outside parking or storage of *campers*, boats, or *house trailers* shall not be permitted.

I. Landscaping

1. All portions of the *lot* not covered by *buildings*, *structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Non-porous or paved surfaces, excluding a *driveway*, shall not cover more than 12 sq. m. [129 sq. ft.] in area.

J. Special Regulations

Not applicable to this Zone.

K. Subdivision

1. Where amenities are not provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended, the *lots* created shall conform to the minimum standards prescribed in Section K of Part 12 One-Acre Residential Zone (RA) of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Where amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended, the *lots* created shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
400 sq. m. [4,300 sq. ft.]	12 metres [40 ft.]	34 metres [112 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RF-SD Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. Subdivisions shall be subject to the applicable Surrey Development Cost Charge By-law, 2014, No. 18148, as may be amended or replaced from time to time, and the development cost charges shall be based on the RF-SD Zone.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING on the _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

MAYOR

CLERK

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SURVEY PLAN TO ACCOMPANY CITY OF SURREY ZONING BYLAW No. _____
 OF LOT 20 SECTION 24 TOWNSHIP 1
 NEW WESTMINSTER DISTRICT PLAN 32278

CITY OF SURREY
 B.C.G.S. 92G.007

SCALE = 1:750
 10M 0 15 30M

"ALL DISTANCES ARE IN METRES"

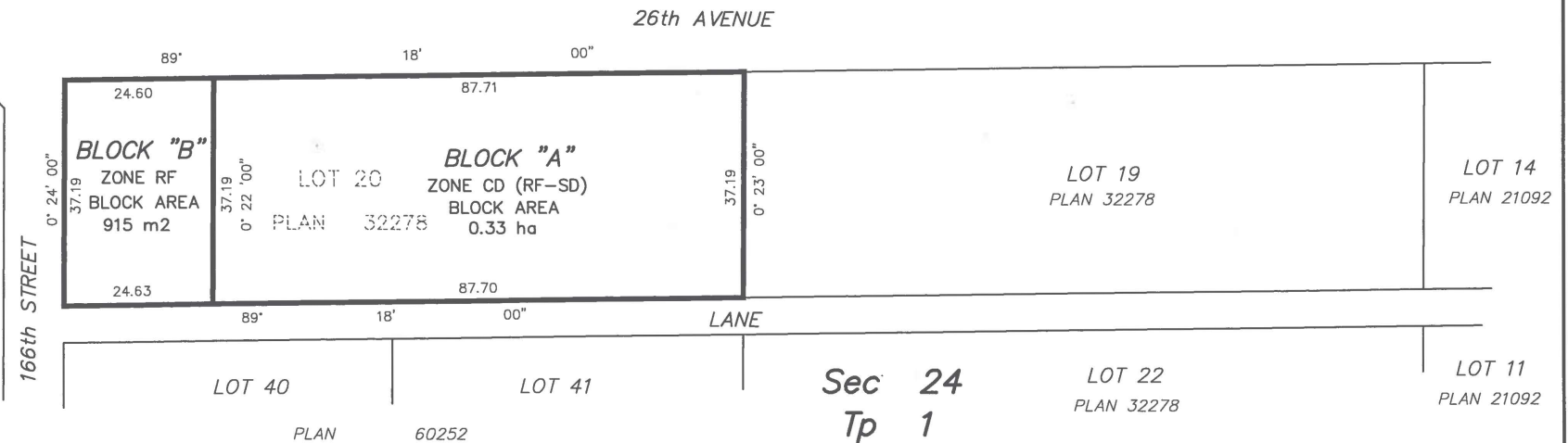
BOOK OF REFERENCE

LOT	DESCRIPTION	PLAN	AREA	BLOCK	ZONE
PART OF LOT 20	SECTION 24 TOWNSHIP 1	32278	0.33 ha	BLOCK "A"	CD (RF-SD)
PART OF LOT 20	SECTION 24 TOWNSHIP 1	32278	915 m ²	BLOCK "B"	RF

P.I.D. 006-719-279 (LOT 20)

CIVIC ADDRESS: #2584 166th STREET

Schedule A



SOUTH FRASER LAND SURVEYING LTD.
 B.C. LAND SURVEYORS
 SUITE 101 - 7485 130th STREET
 SURREY, B.C. V3W 1H8
 TELEPHONE: 604 599-1886
 FILE: 151007-ZONE-2

CERTIFIED CORRECT ACCORDING TO
 LAND TITLE OFFICE RECORDS DATED
 THIS 2nd DAY OF JULY, 2015

THIS PLAN LIES WITHIN THE
 GREATER VANCOUVER REGIONAL DISTRICT

SIGNATURE OF B.C.L.S.

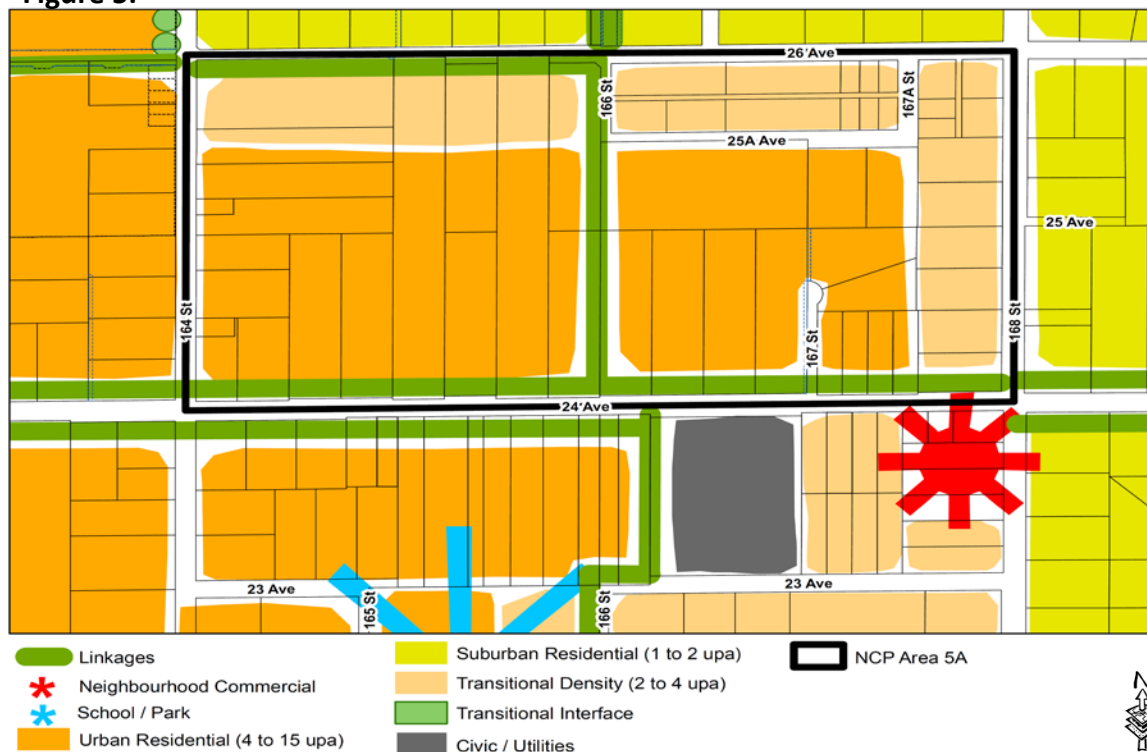
151007-ZONE-2

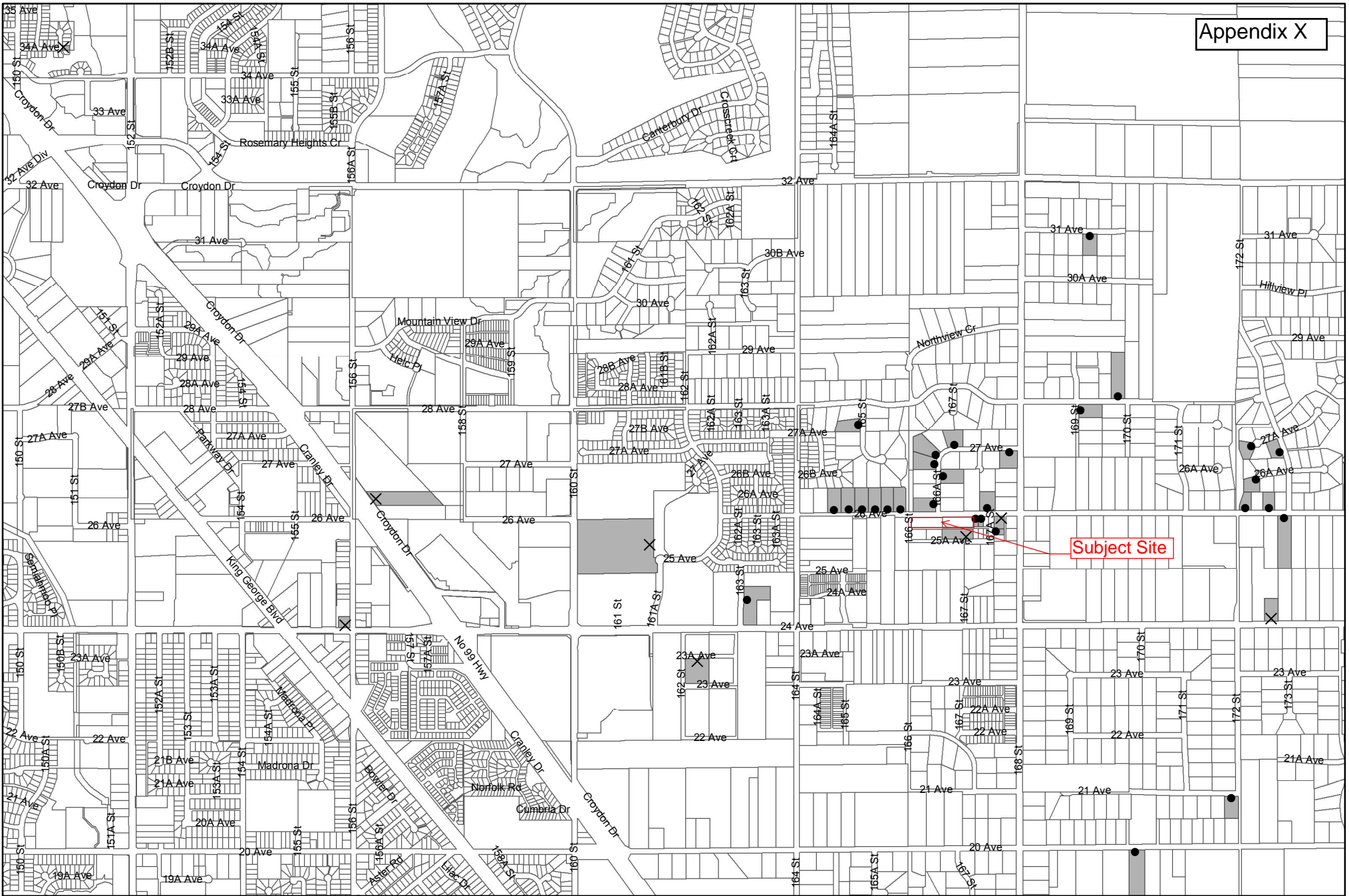
Key Land Use Features Identified in the Grandview Heights GLUP

The Grandview Heights GLUP identifies the following key land use features in Orchard Grove in order to guide future development of this area (**Figure 5**):

- A substantial landscape buffer along 26 Avenue between 164 Street and 166 Street.
- A central North-South Street with a significant Greenway and Habitat Corridor running from 26 Avenue to 24 Avenue connecting North to an existing greenway in NCP 5 and connecting South to the Sunnyside NCP.
- A multi-use pathway running along 24 Avenue and connecting West to the Morgan Heights NCP and East to Future NCP 5.
- A sensitive interface and density transition along 26 Avenue and 168 Street with the Suburban designated lands to the North and East.
- A mixed use, residential and commercial area identified at the intersection of 24 Avenue and 168 Street in the Sunnyside NCP.

Figure 5:

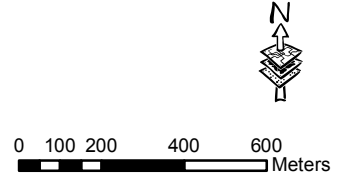




7914-01818-00 Responses

Legend

- Oppose = 31
- × Support = 9
- Responses 140118 LOTS = 37



Appendix for Planning Report 7914-0118, Tara Development

Request to Mayor and Council

The Grandview Heights Stewardship Association, through its members and engaged neighbors, are concerned that this Application is being considered for First/Second reading in its current form. We ask that the Mayor and Council **refer this application back to Staff for review for the following reasons.** The Applicant, Tara Developments, through its agents, has refused to meet with concerned residents/taxpayers in a meaningful way. Furthermore, having been made aware of residents/taxpayers concerns about the re-zoning, the Applicant has made no attempt to address or accommodate these concerns despite being directed to do so by senior Planning staff. The Applicant has been intractable throughout the Planning process and have proceeded in a manner harmful to all stakeholders.

Issue

The Applicant seeks to increase the upa density by a factor of 18 times than that of the existing 1 upa along the north side of 26th avenue, directly across the street from this application. Also, it conflicts with the established 3 upa single family detached homes directly east of the subject property.

The GHSA represented by Chair, Victoria Blinkhorn, Directors Michael Proskow, Tracy Redies, and other members met numerous times with COS senior Planning Management dating back to January 2015. The GHSA sought input on this application (and about any future duplex development on 26th) from residents living near and adjacent to the subject property. This input confirmed that there is **no support for duplex homes on the south side of 26th avenue** and that residents are opposed to this application for this reason alone. Respondents to this Application demand that single family detached homes be built along 26th Avenue in Orchard Grove respecting the need for transitional density and creation of a Multi-use pathway/green buffer amenity as per the NCP.

Currently, there are two adjacent re-zoning applications on 26th avenue. File (7912-0323 Raicon/CitiWest {3rd reading March 23} and file 7914-0125 Qualico/WSP {scheduled for 1/2 reading this summer and which is supported by Planning and neighborhood stakeholders}).

Both applications propose to develop minimum 30 metre wide Large Lot Single Family detached homes (2-6 upa zone) as optioned in the Orchard Grove NCP. The plans achieve an acceptable interface for existing RA (1 upa) homeowners along 26th avenue.

These two concurrent files support the neighborhood's expectations. The GHSA and the neighbourhood are firm that this standard should be continued along the interface of 26th avenue with Orchard Grove. This creates a fluid streetscape consistent with the existing and future character of 26th Avenue and it meets the future demands of a growing community.

The Applicant has refused to participate in any discussion of these concerns and has persisted in bringing forward their application in direct conflict with concerned homeowners, the GHSA and, to certain extent, City of Surrey senior Planning management, who has recommended that the Applicant begin a process of file negotiation with a residents group mediated by Staff.

History

In September 2014, the realtor for the subject property contacted the GHSA to inquire as to the neighborhood's expectations for development along 26th Ave. They were supplied with a copy of a referral back to staff re: file 7912-0323 before First/Second reading on July 7, 2014 stating that the duplex portion of that subdivision plan had been formally closed.

This information coupled with a comprehensive area petition advised the Applicant of the following:

- No duplexes along 26th avenue
- NCP recommended zoning for 26th avenue interface is 2-10 upa with residents demanding the lowest density of 2 upa to achieve an appropriate transitional density for adjacent 1 upa homeowners. { 3 upa has since become the accepted compromise }
- Large lot single family detached homes (2-6 upa in the NCP) be built along the south side of 26th avenue.
- These concerns and expectations were a matter of record with Tara Developments prior to filing application 14-0118.

Application 14-0118 was publicized in January 2015.

Two public information meetings sponsored by the Applicant were held in January and April 2015 hosted by the applicant's agents only.

Once the application was publicized by the COS in January, residents sent in letters opposed to this duplex application on 26th Ave.

Opposition to Duplex homes included the following reasons:

- concerns about increased traffic congestion on an increasingly busy road which is destined to be the main connector between Morgan Heights, Orchard Grove, Area 5, North Grandview NCP and the existing/new/proposed amenities near the Grandview Aquatic Centre/schools.
- the disconnect of having 8 duplexes (16 families) and 1 single family home (total of 17 families) across from 2.5 families which does not respect the "sensitive transition" mandated in the NCP.
- where the subject property is zoned for 2-10 upa, the residents want to see the lower end of the scale developed consistent with existing Orchard Grove proposals on the south side of 26th (approximately 3 upa)
- the "evolution" of the application from "duplexes" to "country estate duplexes" is simply hyperbole and does not represent any change in lowering the density or built form (other than aesthetic cladding).
- Although there is accommodation for 18 metres of a SROW green buffer on the

- property at 166th St, the applicant removed it from its plans and refuse to engage in dialogue about it
- at neither Public Information Meetings was the development team (initially the Civil Engineer on the project and subsequently a multi-faceted Development Team of Community Engagement Consultants/Architect/Developer's Agent) able to provide meaningful dialogue about alternative land-uses for this property. The sole defense of the project was that duplexes are within the zoning guidelines for the property(which is true) and that built form can overcome density issues. Never would the development team consider the alternate zoning for the property (Large Lot Single Family 2-6 upa).
 - The developers themselves refused to engage with stakeholders.

The Applicant has refused to meet with concerned taxpayers or the GHSA and has shown no interest in discussing or adjusting this proposal whatsoever. In May, a meeting of about fifteen neighborhood stakeholders and the Applicant's development team met with senior Planning staff. At this time the Applicant was directed by Nicholas Lai to work with the a small group of resident representatives to negotiate an evolution of the duplex plan to a new plan featuring single family homes in the Large Lot zone, along the lines of what was recently negotiated with Raicon/CitiWest (12-0323) in order to reach a compromise/consensus.

The Applicant refused to comply with Planning's direction to participate in this process. While affected taxpayers following and trusting in the process attended meetings, reviewed lot plans, submitted letters, and engaged with Staff, the Applicant has expressed a complete lack of interest in meaningful discourse.

COS Planning staff can confirm that the GHSA is supportive of new development in principle and has been a responsible stakeholder throughout this and other file application processes throughout Grandview Heights. Engaged taxpayers, willing to follow the process need to be heard and allowed the opportunity for meaningful discourse. Although their right to proceed to Council without changes to their plan, the Applicant has created an impasse without consideration of Planning's expertise and the neighbourhood's pragmatic input. This has created a great degree of unease amongst residents and taxpayers who have supported Planning's attempts to move forward on this file.

Residents who have the ultimate interest in their neighborhood have been willing to take a seat at the table and work with the Applicant, thereby following and trusting in the process.

We request that Mayor and Council direct the Applicant to allow the City's consultation process to progress with integrity by referring this Application back to Staff.

Furthermore, we respectfully request that the Council provide a strong statement of direction to COS Planning and any developer on this street that the spirit of the NCP must be followed including that single family homes on the south side of 26th avenue be the only standard that will be accepted by Council going forward (as

per the two precedent-setting applications that have come before/ or are coming before Council) and that the appropriate landscape buffer and quality of homes be such that transition of the south side with the existing north side homes as carefully and many times articulated within the NCP be unequivocally respected.

Respectfully submitted,

Victoria Blinkhorn, Tracy Redies, Murray Berry, Andrea Ward, Michael Proskow, John Weibe (Working group)

On behalf of immediate and adjacent residents concerned with the form and process of this Application and Board/members of the GHSA.

July 5, 2015

Land Use Concept Plan

Orchard Grove - Grandview Heights 5A Neighbourhood Concept Plan

August 30 2011

Legend

- | | | |
|---|---|---|
|  Large Lot Duplex or Large Lot Single Family (2-10 upa) |  Park |  Amenity Connector (2.5 m sidewalk requiring SROW) |
|  Small Lot Single Family w/wo Coach House (10-15 upa) |  Walkway (10 m) |  Shared Access (SROW) |
|  Single Family (10 upa) or Townhouse with Tree Preservation (15 upa) |  Habitat Corridor (20 m SROW) |  Multi-Use Pathway (8 m SROW) |
|  Townhouse (15-30 upa) |  Transition Landscape Buffer (10 m SROW) |  Potential Orchard Preservation |
|  Townhouse (15 upa) or Multi-Family with Tree Preservation (30 upa) |  Special Commercial Street |  Tree Preservation Areas |
|  Multi-Family (30-45 upa) |  Green Street |  Tree Cluster |
|  Mixed-Use Commercial/Residential (30-45 upa) |  Residential Flex Street (14.5 m) | |
|  Stormwater Detention Pond | | |

