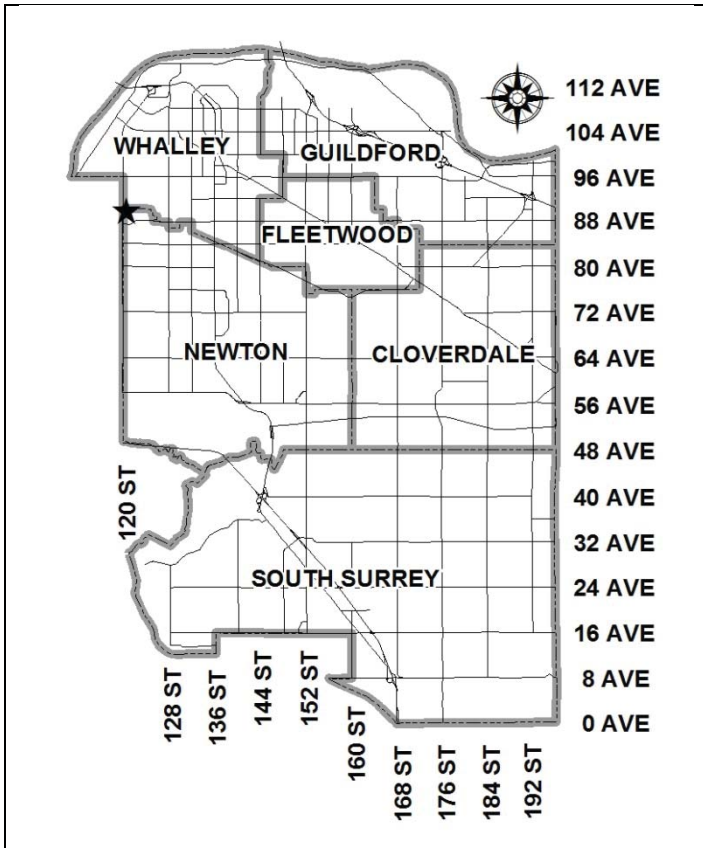


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7914-0076-00

Planning Report Date: February 20, 2017



PROPOSAL:

- **Rezoning** from CD (By-law No. 9399) to CD
- **Development Permit**

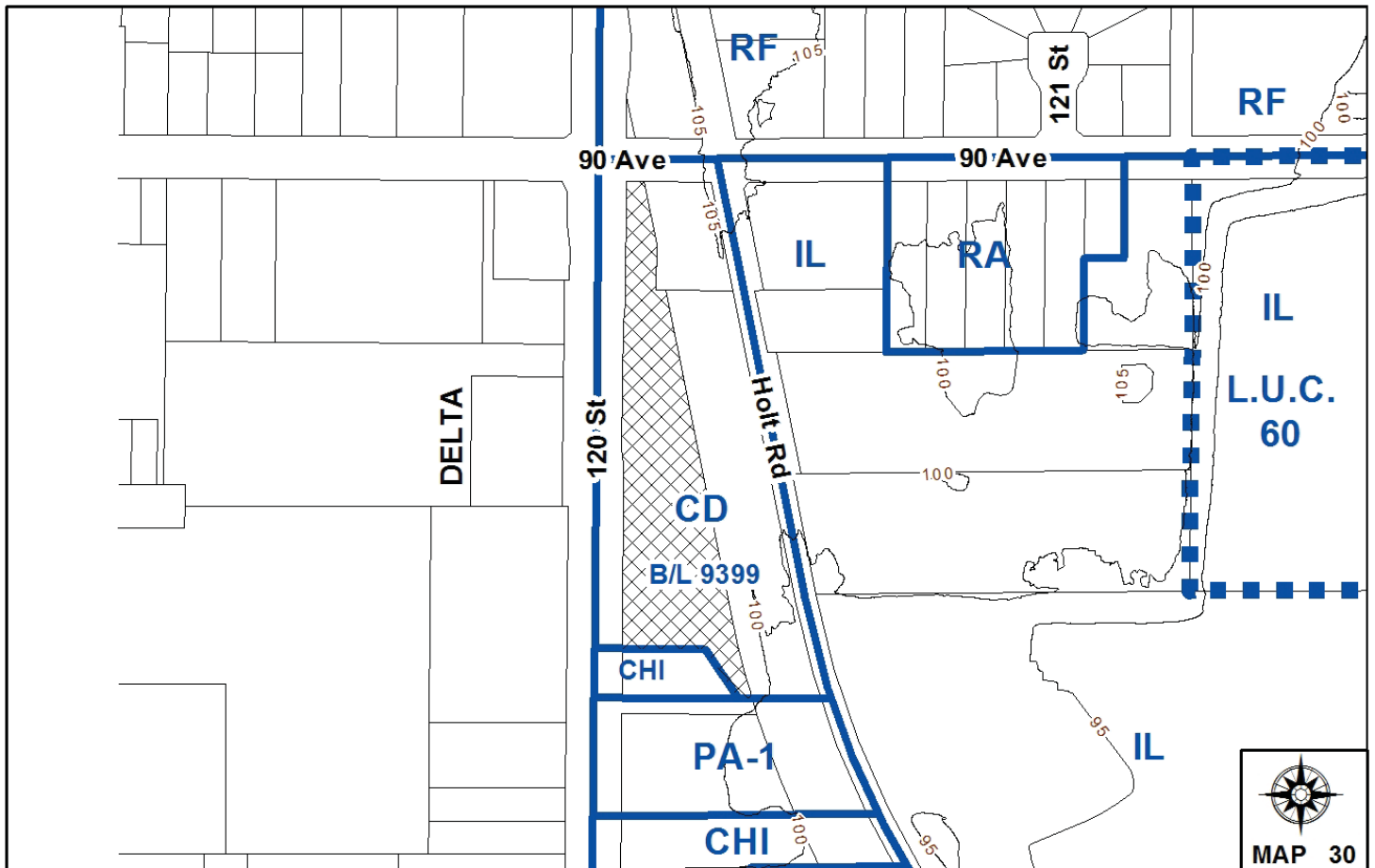
to permit the development of a 3-storey commercial building.

LOCATION: 8910 - 120 Street

OWNER: Khanna Management Ltd.

ZONING: CD (By-law No. 9399)

OCP DESIGNATION: Commercial



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning.
- Approval to draft Development Permit.
- Approval to vary the Sign By-law through a comprehensive sign design package.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to increase the size of the 5 proposed directional signs.

RATIONALE OF RECOMMENDATION

- The proposal complies with the "Commercial" designation of the Official Community Plan (OCP).
- The proposed development conforms to the goal of achieving higher density forms of development along frequent transit routes, of which 120 Street is one.
- The proposed building is attractive, well-designed and establishes a high standard in terms of the form, design and character of future commercial buildings located along 120 Street.
- The proposed setbacks achieve a more urban, pedestrian streetscape along 120 Street.
- The applicant is proposing to increase the size of five proposed directional signs because the vehicular access to the site is not very intuitive as there is no direct vehicular access to the site from 120 Street. Access to the site is provided from 90 Avenue to the north or via a lane to the south. In addition, the parking area is not visible from the site as all the parking is provided as structured parking, which reduces the visual cues for vehicular traffic. The signage will help with vehicular circulation onto the site.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "Comprehensive Development Zone (CD)" (By-law No. 9399) to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council approve the applicant's request to vary Surrey Sign By-law No. 13656 as described in Appendix II.
3. Council authorize staff to draft Development Permit No. 7914-0076-00 including a comprehensive sign design package, generally in accordance with the attached drawings (Appendix III).
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) demolition of the existing buildings to the satisfaction of the Planning and Development Department;
 - (g) submission of a Section 219 Restrictive Covenant to regulate hours of operation between the banquet hall facility and the other uses on the site given the shared parking arrangements on the site; and
 - (h) submission of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix IV.

Surrey Fire Department:	No concerns.
Ministry of Environment (MOE):	The site contained a gas station in the past. MOE has provided the applicant with a release letter dated December 2, 2016, which allows the local government to proceed with the approval of the Development Permit application. The applicant is proceeding in accordance with MOE's independent remediation process.
The Corporation of Delta:	No concerns.
BC Hydro:	No concerns. The applicant has entered into a Corridor License Agreement with BC Hydro to permit a portion of the northerly drive aisle to be within the adjacent BC Hydro parcel.

SITE CHARACTERISTICS

Existing Land Use: Three commercial buildings, to be demolished.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 90 Avenue):	Small City-owned parcel and BC Hydro rail corridor.	Urban	RF
East:	BC Hydro rail corridor.	Commercial and Industrial	CD (By-law No. 9399)
South (Adjacent):	A commercial business.	Commercial	CHI
South (Across lane):	The heritage Kennedy Community Hall.	Commercial	PA-1
West (Across 120 Street):	Commercial businesses located in the Corporation of Delta.	n/a	n/a

Site Context

- The subject 0.69-hectare (1.73 acre) site consists of one parcel located at 8910 – 120 Street. The parcel is designated Commercial in the Official Community Plan (OCP) and is zoned "Comprehensive Development Zone (CD)" (By-law No. 9399). The site currently contains 3 commercial retail buildings and associated parking areas.
- The site is irregularly shaped and almost comes to a taper at the north end (90 Avenue). 120 Street borders the site on the western side, with the Corporation of Delta located on the other side of 120 Street. The site is bordered to the east by the BC Hydro rail corridor. To the south the site is bordered by a small commercial property and also a lane.

Proposed Development

- The applicant is proposing to rezone the site from "Comprehensive Development Zone (CD)" (By-law No. 9399) to a new CD Zone (based on "Community Commercial Zone (C-8)") and a Development Permit to permit the development of a 3-storey commercial building.
- The applicant proposes a total floor area of approximately 9,183 square metres (98,840 sq.ft.) representing a floor area ratio (FAR) of 1.50 which equals the maximum 1.50 FAR permitted under the proposed CD Zone.

Proposed CD By-law

- The applicant is proposing a CD Zone for the site, based on the C-8 Zone. The table below outlines the differences between the C-8 Zones and the proposed CD Zone:

	C-8 Zone	Proposed CD Zone
Uses	Various - see Zoning By-law No. 12000.	Similar to C-8 Zone, except that automotive services, entertainment uses and neighbourhood pubs have been removed.
Maximum Floor Area Ratio (FAR)	0.80	1.50
Maximum Lot Coverage	50%	60%
Setbacks	7.5 metres (25 ft.) from all property lines.	Front Yard (90 Avenue) – 10.0 metres (33 ft.); Rear Yard (South) – 8.5 metres (28 ft.); Side Yard (East) – 0.5 metres (2 ft.); and Side Yard on Flanking Street (120 Street) – 2.0 metres (7 ft.)
Principal Building Height	12.0 metres (40 ft.)	18.0 metres (59 ft.)
Minimum Parcel Size	2,000 square metres (0.5 acres)	4,000 square metres (0.99 acres)

- The proposed CD Zone includes most of the uses associated with the C-8 Zone, but automotive service uses, entertainment uses, and neighbourhood pubs have been removed. Eating establishments are limited to small eating establishments (less than 150 square metres/1,615 sq.ft.) or banquet halls. Assembly halls are limited to a minimum size of 1,200 square metres (12,900 sq.ft.), which provides flexibility on the site and also limits the potential for parking shortfalls should the intended uses (banquet hall, retail, office) of the site change.
- The CD Zone allows a higher floor area ratio (FAR) of 1.50 and lot coverage of 60% than the FAR and lot coverage permitted in the C-8 Zone (0.80 and 50% respectively). This is largely due to the proposed building form which is a bit unusual in that it contains 2 storeys of above ground structured parking and also 2 levels of underground parking. The proposed banquet hall has a high parking requirement and the applicant is proposing to achieve the required parking spaces through the provision of four levels of structured parking.

- The CD Zone proposes an increase in the maximum building height (18 metres/59 feet) which will allow for the proposed 3-storey building. The proposed banquet hall is located on the third floor which contains a raised ceiling. The effect of this raised ceiling is that this makes the building more similar in height to a typical 4-storey building than a 3-storey building.
- The proposed westerly setback of 2.0 metres (7 ft.) along 120 Street brings the building closer to the public realm and enhances the pedestrian experience of 120 Street. The proposed easterly setback of 0.5 metres (2 ft.) to the BC Hydro rail corridor allows for an efficient use of space on this narrow site and also improves the CPTED quality of the building by eliminating unused spaces between the building and the rail corridor.

DESIGN PROPOSAL AND REVIEW

Building and Site Design

- The applicant is proposing to construct a 3-storey commercial building with a commercial floor area of 4,378 square metres (47,120 sq.ft.). This gross floor area is comprised of 1,020 square metres (10,980 sq.ft.) of ground floor retail space, 994 square metres (10,700 sq.ft.) of second floor office space and 2,364 square metres (25,450 sq.ft.) of third floor banquet hall space.
- The subject site is a narrow, irregularly shaped property between 120 Street and the BC Hydro rail corridor (the old BC Electric rail line). The proposed building responds to the site's geometry with a triangular building form that addresses 120 Street and also screens all the parking from the public realm.
- The proposed 2.0-metre (7 ft.) setback to 120 Street brings the building closer to the street, allowing the building to engage the public realm. The ground floor is proposed to contain retail units and banquet hall lobby space which will activate the street frontage during the day and also during the evening.
- The proposed building contains a number of angular elements mirroring the different orientations of both 120 Street and the rail corridor and the juxtaposition of these orientations provides visual interest in the design. The building is stepped which also provides visual interest and reduces the overall massing. The third floor (banquet hall) is recessed which provides an outdoor patio area adjacent to the indoor banquet hall space. The 120 Street elevation contains a strong entry element with extensive vertical glazing.
- The applicant is proposing a contemporary design utilizing clear lines, contemporary materials and a vibrant colour scheme. Cladding materials include aluminum cladding and panels, metal cladding and panels, finished concrete and extensive glazing. The proposed colour schemes include grey tones with strong accents of orange, yellow, red and purple.

Access, Site Circulation and Parking

- Two vehicular access points are proposed to the site, one from 90 Avenue on the north side of the site and the other from an existing lane on the south portion of the site. No direct vehicular access from 120 Street is proposed. The applicant has entered into a Corridor License Agreement with BC Hydro to permit a 2-metre (7 ft.) portion of the northerly drive aisle to be within the adjacent BC Hydro parcel. The applicant has also contacted the owner to the south to make them aware of the applicant's proposal to construct a drive aisle to access the lane to the south of the subject site.
- The applicant is proposing two levels of underground parking and two levels of above ground structured parking. No surface parking is proposed on the site. The applicant is proposing various directional signs to direct drivers to access the on-site parking via 90 Avenue to the north or via the lane to the south.
- The retail and office units on the ground floor and second floors are directly accessible from the structured parking area. The ground floor and second floor structured parking area also contains passenger drop-off areas for the banquet hall.
- The loading and garbage/recycling pick-up areas for the building are proposed on the ground floor of the structured parking area. The loading and garbage/recycling pick-up areas will not be visible from 120 Street.
- The development proposes to provide 363 parking spaces, which exceeds the 362 parking spaces that are required under the Zoning By-law, based on the various uses that are proposed. The parking count includes 10 disabled spaces and 22 small car spaces, both of which meet the Zoning By-law requirements. The applicant is also providing 30 bike parking spaces which exceed the Zoning By-law requirement of 4.
- The applicant is proposing to utilize the shared parking provision (Part 5 Section C.2) in the Zoning By-law for 25 parking spaces. These 25 parking spaces are proposed to be shared by the office use and the eating establishment (banquet hall) use. These uses have non-overlapping operating hours, and this arrangement will be secured via a restrictive covenant as a condition of the rezoning. The office use hours of operation are from 9am to 5pm, and the banquet hall hours of operation are from 6pm onward.

Signage

- The applicant is proposing two free-standing directional sign along 120 Street at the northwest and southeast corners of the site, to help drivers identify the entrance to the structured parking area. Both of the directional signs are proposed to be metal clad with letters and images that are back lit. The northwest directional sign is proposed to be 2.4 metres (8 ft.) in height and the southeast directional sign is proposed to be taller at 4.9 metres (16 ft.) in height to increase its visibility because it is set back approximately 60 metres (200 ft.) from 120 Street. No other free-standing signs are proposed.

- The applicant is also proposing two directional signs attached to the building at the northwest and southwest corners of the building along the 120 Street elevation, to help drivers identify the entrance to the structured parking area. These signs are also metal clad with letters and images that are back lit. The signs are the same height as, and aligned with, the proposed ground floor fascia signs.
- In addition, the applicant is proposing one directional sign on the south elevation indicating directions to the various levels of parking.
- The applicant is proposing ground floor fascia signs along the western elevation (120 Street). The proposed signs will be in the form of individual channel letters that are backlit neon or spot lit.
- The applicant is seeking to vary the Sign By-law through a comprehensive sign design package to increase the size of the 5 proposed directional signs. The applicant is proposing to increase the size and number of directional signs because the vehicular access to the site is not very intuitive with no direct vehicular access to the site from 120 Street. Access to the site is proposed from 90 Avenue to the north or via a lane to the south. In addition, there is no surface parking on the site as the parking is all provided as structured parking which is not visible from the street, and this reduces the visual cues for vehicular traffic. The signage will help with vehicular circulation onto the site. No other free-standing signs are proposed.

Landscaping

- Landscaping plans have been received and found to be generally acceptable. The landscaping includes a mix of trees, shrubs, and ground cover. Decorative paving is proposed extensively along 120 Street, to enhance the interface with the public sidewalk along 120 Street.
- Planters, outdoor seating and litter receptacles will enhance the public realm interface and pedestrian experience along 120 Street. In addition, the applicant is proposing an outdoor landscaped area on the third floor, adjacent to the outdoor banquet hall deck areas. Vines are proposed along the easterly façade, where the building is proposed to be set back 0.5 metres (2 ft.) from the BC Hydro rail line corridor.

ADVISORY DESIGN PANEL

This application was referred to the Advisory Design Panel (ADP) on April 23, 2015. The ADP comments and suggestions have been satisfactorily addressed (see Appendix V for the applicant's ADP response).

TREES

- Max Rathburn, ISA Certified Arborist of Diamond Head Consulting Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species for protected on-site trees:

Table 1: Summary of Tree Preservation by Tree Species for On-Site Trees:

Tree Species	Existing	Remove	Retain
Deciduous Trees			
Ash	15	15	0
Coniferous Trees			
Austrian Pine	2	2	0
Total (excluding Alder and Cottonwood Trees)	17	17	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		20	
Total Retained and Replacement Trees		20	
Contribution to the Green City Fund		n/a	

- The Arborist Assessment states that there are a total of 24 protected trees on and off the site, including 4 Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 38 replacement trees on the site. Since only 20 replacement trees are proposed on the site, the deficit of 18 replacement trees will require a cash-in-lieu payment of \$7,200, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a Japanese maples and pink dogwoods.
- In summary, a total of 20 trees are proposed to be retained or replaced on the site, with a cash-in-lieu payment of \$7,200 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on February 25, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The proposal is consistent with the site's Commercial OCP designation.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The applicant is proposing retail, office and banquet hall uses.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The applicant is proposing to utilize absorbent soils greater than 300 millimetres in depth, sediment control devices, perforated pipe systems, permeable surfaces, and rainwater detention areas. Recycling and organic waste pick-up is also proposed.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Electric vehicle plug-ins and bike racks will be provided.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • CPTED principles are incorporated in the site and building design.
6. Green Certification (F1)	<ul style="list-style-type: none"> • The project will be built to ASHRAE 90.1 standards.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • The typical pre-notification and development proposal signage process was followed. • The applicant also indicates they are providing thermal insulation, high quality windows, shades/canopies and energy efficient glazing.

PRE-NOTIFICATION

Pre-notification letters were sent on May 29, 2014 and staff received one phone call and two emails. The caller and email writers were inquiring as to what stage the application was at and indicated no concerns with the proposed development.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Sign By-law Variances Tables
Appendix III.	Proposed Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix IV.	Engineering Summary
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	ADP Comments and Applicant's Response
Appendix VII.	Proposed CD By-law

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

KB/da

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on C-8)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		6,985 sq.m.
Road Widening area		865 sq.m.
Undevelopable area		
Net Total		6,120 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60%	60%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (90 Avenue)	10m	10m
Rear (South)	8.5m	8.5m
Side #1 (120 Street)	2.0m	2.0m
Side #2 (East)	0.5m	0.5m
BUILDING HEIGHT (in metres/storeys)		
Principal	18m	18m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: (excluding stairs, elevators, mechanical rooms and parking areas)		
Eating Establishment		2,364 sq.m.
Retail		1,020 sq.m.
Office		994 sq.m.
Total		4,378 sq.m.
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA : (excluding stairs, elevators, mechanical rooms and parking areas)		4,378 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.5	1.5
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Eating Establishment	331	332
Retail	31	31
Office (note: office stalls are shared with eating establishment stalls)	25	25
Total Number of Parking Spaces	362	363
Number of accessible stalls	4	10
Number of small cars	91	22
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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PROPOSED SIGN BY-LAW VARIANCES

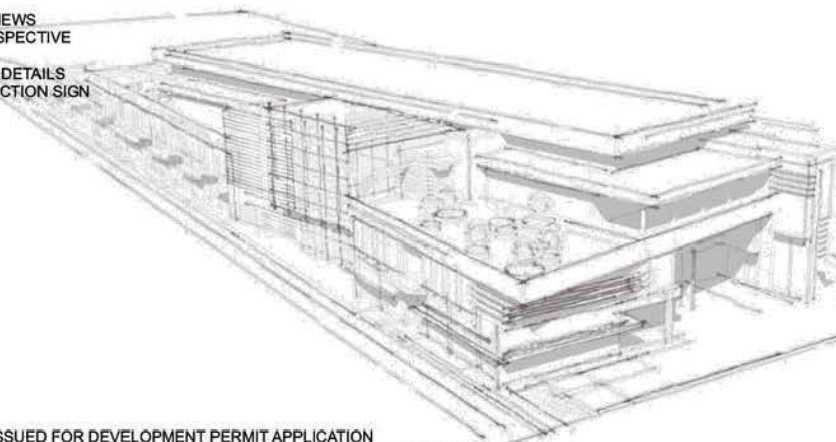
#	Proposed Variances	Sign By-law Requirement	Rationale
1	To increase the size of 5 directional signs.	The sign area is not to exceed 0.4 square metres (4 sq. ft.) for a single faced sign and 0.74 square metres (8 sq. ft.) for a double faced sign and the height of the sign is not to exceed 1.2 metres (4 ft.).	Vehicular access to the site is not very intuitive as there is no direct vehicular access to the site from 120 Street. Access is via 90 Avenue to the north or via a lane from the south. In addition, there is no surface parking on the site as the parking is all provided as structured parking which is not visible from the street, and which reduces the visual cues for vehicular traffic.

MIXED USE COMMERCIAL DEVELOPMENT

8910 - 120th Street, Surrey, BC

LIST OF DRAWINGS

- DP100 - TITLE SHEET
- DP101 - SURVEY PLAN
- DP102 - SITE PLAN + STREET SCPAE
- DP201 - UNDERGROUND PARKING P2 FLOOR PLAN
- DP202 - UNDERGROUND PARKING P1 FLOOR PLAN
- DP203 - LEVEL 1 FLOOR PLAN
- DP204 - LEVEL 2 FLOOR PLAN
- DP205 - LEVEL 3 FLOOR PLAN
- DP206 - ROOF PLAN
- DP301 - SECTIONS
- DP302 - SECTIONS
- DP401 - ELEVATION SOUTH & WEST
- DP402 - ELEVATION NORTH & EAST
- DP501 - 3D VIEWS
- DP502 - PERSPECTIVE
- DP601 - SITE DETAILS
- DP602 - DIRECTION SIGN



2014-12-18 ISSUED FOR DEVELOPMENT PERMIT APPLICATION
 2015-01-21 ISSUED FOR DEVELOPMENT PERMIT APPLICATION REVISION #1
 2015-02-23 ISSUED FOR DEVELOPMENT PERMIT APPLICATION REVISION #2
 2015-04-15 ISSUED FOR 2015-04-23 ADP CITY OF SURREY FILE # 9714-0076-00

PROJECT STATISTICS

CIVIC ADDRESS 8910 - 120th STREET, SURREY, B.C.

PROPOSED ZONING: CD BASED ON C-8

LOT AREA
 GROSS : 6,984.64 m²
 ROAD WIDENING: 864.49 m²
 NET TOTAL : 6,120.15 m²

FAR: 1.5

LOT COVERAGE: 59.7%

SETBACKS
 NORTH - 64.4 m / 14.2m
 SOUTH - 8.5 m
 EAST - .5 m
 WEST - 2.0 m + 4m STREET DEDICATION

BUILDING HEIGHT
 17.83m / 3 STOREYS

BUILDING FLOOR AREA
 LEVEL 1: 3,500.43 m²
 LEVEL 2: 3,219.18 m²
 LEVEL 3: 2,363.73 m²
 TOTAL: 9,183.34 m²

BUILDING FLOOR AREA	Minimum Required / Maximum Allowed	Proposed
FLOOR AREA: Commercial Eating Establishment (Banquet Hall + Open Decks + Lobbies + Kitchen)		2,363.73 sq.m.
Retail		1,019.80 sq.m.
Office		994.44 sq.m.
FLOOR AREA: Industrial		N/A
FLOOR AREA: Institutional		N/A

TOTAL BUILDING FLOOR AREA
 (Excluding Stairs, Elevators, Electrical rooms & Parkings) **4,377.97 sq.m.**

OFF-STREET PARKING

PARKING (number of stalls)	Required	Proposed
Eating Establishment	2,363.73 ÷ 100 × 14 = 331 p.s.	332 p.s.
Retail	1,019.80 ÷ 100 × 3 = 31 p.s.	31 p.s.
Office	994.44 ÷ 100 × 2.5 = 25 p.s.	25 p.s. (Day time parking)
Total Number of Parking Spaces (Day time parking has been excluded from the required total number of parkings)	362 p.s.	363 p.s.

Number of accessible stalls **4 p.s.** **10 p.s.**
 Number of small cars (max) **91 p.s.** **22 p.s.**

BYCICLE PARKING **4 b.p.s.** **14 b.p.s.**

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No.	Date	Revision Details
1	15/05/15	DP APPLICATION REVISION #1 AS PER PLANNING DEPARTMENT COMMENTS DATED 11/05/15
2	02/05/15	DP APPLICATION REVISION #2 AS PER PLANNING DEPARTMENT COMMENTS DATED 11/05/15
3	15/04/15	SUBMISSION FOR ADP ON 23/04/15 CITY OF SURREY FILE NUMBER 9714-0076-00
4	20/05/15	REVISIONS IN RESPONSE TO ADP COMMENTS 20/05/15 REFER TO DOCUMENT WORKSHEET 015-05-15

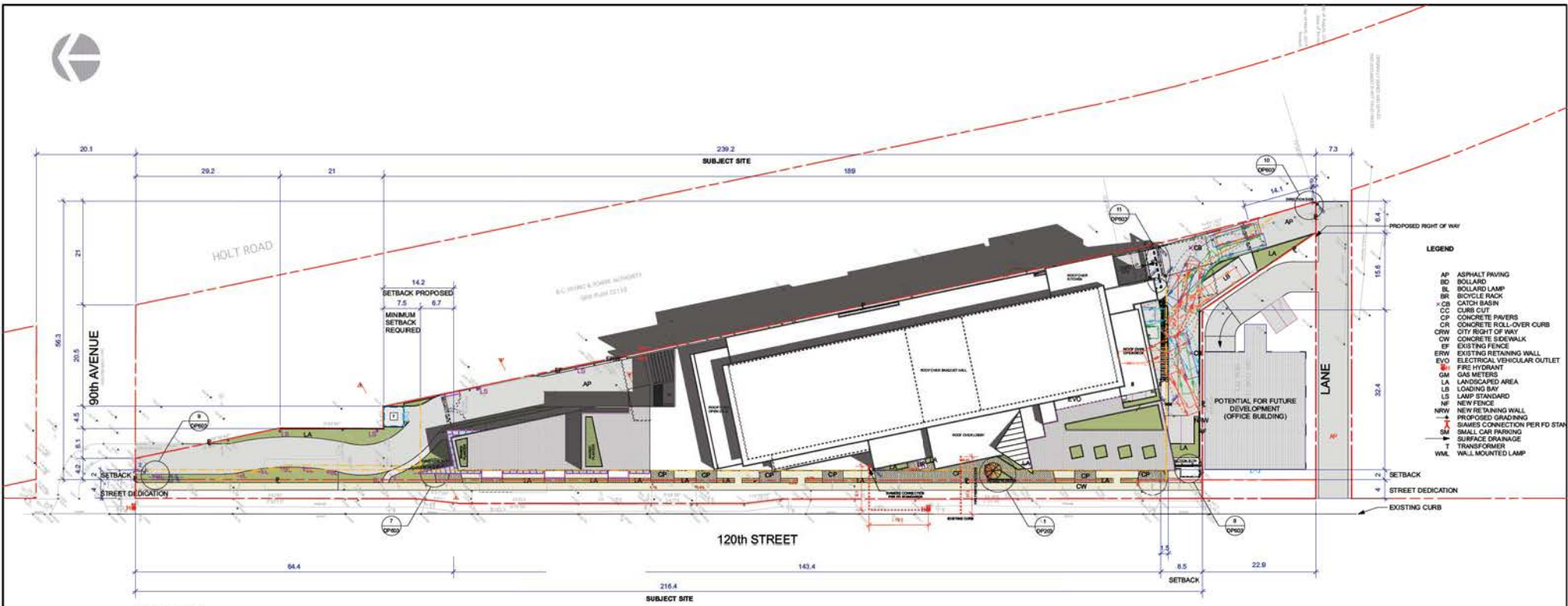


W G ARCHITECTURE INC
 1030 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 FAX: (604) 683 7494

Project Title
MIXED USE COMMERCIAL DEVELOPMENT 8910 - 120th STREET SURREY, B.C.

Drawing Title
TITLE SHEET

Date:	Project Number
Scale:	131
Drawn By:	NTS
Approved By:	YA, NC
	WG



- LEGEND**
- AP ASPHALT PAVING
 - BD BOLLARD
 - BL BOLLARD LAMP
 - BR BICYCLE LANE
 - CB CATCH BASIN
 - CC CURB CUT
 - CP CONCRETE PAVERS
 - CR CONCRETE ROLL-OVER CURB
 - CRW CITY RIGHT OF WAY
 - CW CONCRETE SIDEWALK
 - EF EXISTING FENCE
 - ERW EXISTING RETAINING WALL
 - EVO ELECTRICAL VEHICULAR OUTLET
 - FD FIRE HYDRANT
 - GM GAS METERS
 - LA LANDSCAPED AREA
 - LS LANDING MAY
 - LS LAMP STANDARD
 - NF NEW FENCE
 - NRW NEW RETAINING WALL
 - PROPOSED GRADING
 - SAMES CONNECTION PER FD STAN
 - SM SMALL CAR PARKING
 - SD SURFACE DRAINAGE
 - T TRANSFORMER
 - WML WALL MOUNTED LAMP

SITE PLAN

NOTES:

- TRACK TURNING RADII ARE SHOWN FOR STANDARD 30' TRACK
- LANDSCAPING DETAILS, RETAINING WALLS FINISH AND COLOUR REFER TO LANDSCAPE DRAWINGS
- FENCE DETAILS, SECURITY GATES AND ENCLOSURE DETAILS REFER TO LANDSCAPE DRAWINGS
- SITE LIGHTING CONCEPT, LIGHTING DETAILS AND LIGHT FIXTURES TYPES REFER TO LANDSCAPE DRAWINGS
- TYPE AND CHARACTER OF FINISHES, COLOUR AND DETAILS REFER TO LANDSCAPE DRAWINGS



STREETSCAPE ALONG 120 STREET

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No:	Date:	Revision Details:
1	5/12/15	OF APPLICATION REVISION #1 AS PER PLANNING DEPARTMENT COMMENTS DATED 1/29/15
2	5/22/15	OF APPLICATION REVISION #2 AS PER PLANNING DEPARTMENT COMMENTS DATED 1/29/15
3	1/26/15	SUBMISSION FOR ADP ON 2/26/15 CITY OF SURREY FILE NUMBER: 154-2015-02
4	3/26/15	REVISIONS IN REGARDS TO ADP COMMENTS 16/6/15
5	2/26/15	REFERS TO DOCUMENT WOODEN AP-2015-02-19
6	2/26/15	REVISIONS IN REGARDS TO PLANNING DEPARTMENT COMMENTS 06/6/15
7	2/26/15	REVISIONS DUE TO NEW LOCATION OF TRANSFORMER AND IN REGARDS TO THE SUBJECT DISCOMMUNICATIONS

WG ARCHITECTURE INC
1030 - 470 GRAMMILL STREET
VANCOUVER, B.C. V6C 1V5
TEL: (604) 331 2378
FAX: (604) 683 7494

Project Title:
MIXED USE COMMERCIAL DEVELOPMENT
8910 - 120th STREET
SURREY, B.C.

Drawing Title:
SITE PLAN + STREET SCAPE

Date: January 2014
Scale: 1/32" = 1' - 0"
Drawn By: YA, NC
Approved By: WG

Project Number: 1303
Sheet No: DP102

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No.	Date:	Revision Details:
1	11/02/15	10% SPECIFICATION REVISION AS PER PLANNING DEPARTMENT COMMENTS DATED 11/02/15
2	11/02/15	20% SPECIFICATION REVISION AS PER PLANNING DEPARTMENT COMMENTS DATED 11/02/15
3	11/04/15	SUBMISSION FOR ADP ON 2/10/16 CITY OF SURREY FILE NUMBER 1146310-10
4	2/05/16	REVISIONS IN REGARD TO ADP COMMENTS 2/05/16 REFER TO DOCUMENT W015014P-011016-15




**W G
ARCHITECTURE
INC**

1030 - 478 GRANVILLE STREET
VANCOUVER, B.C. V6C 1V5
TEL: (604) 331 2378
FAX: (604) 683 7494

Project Title:

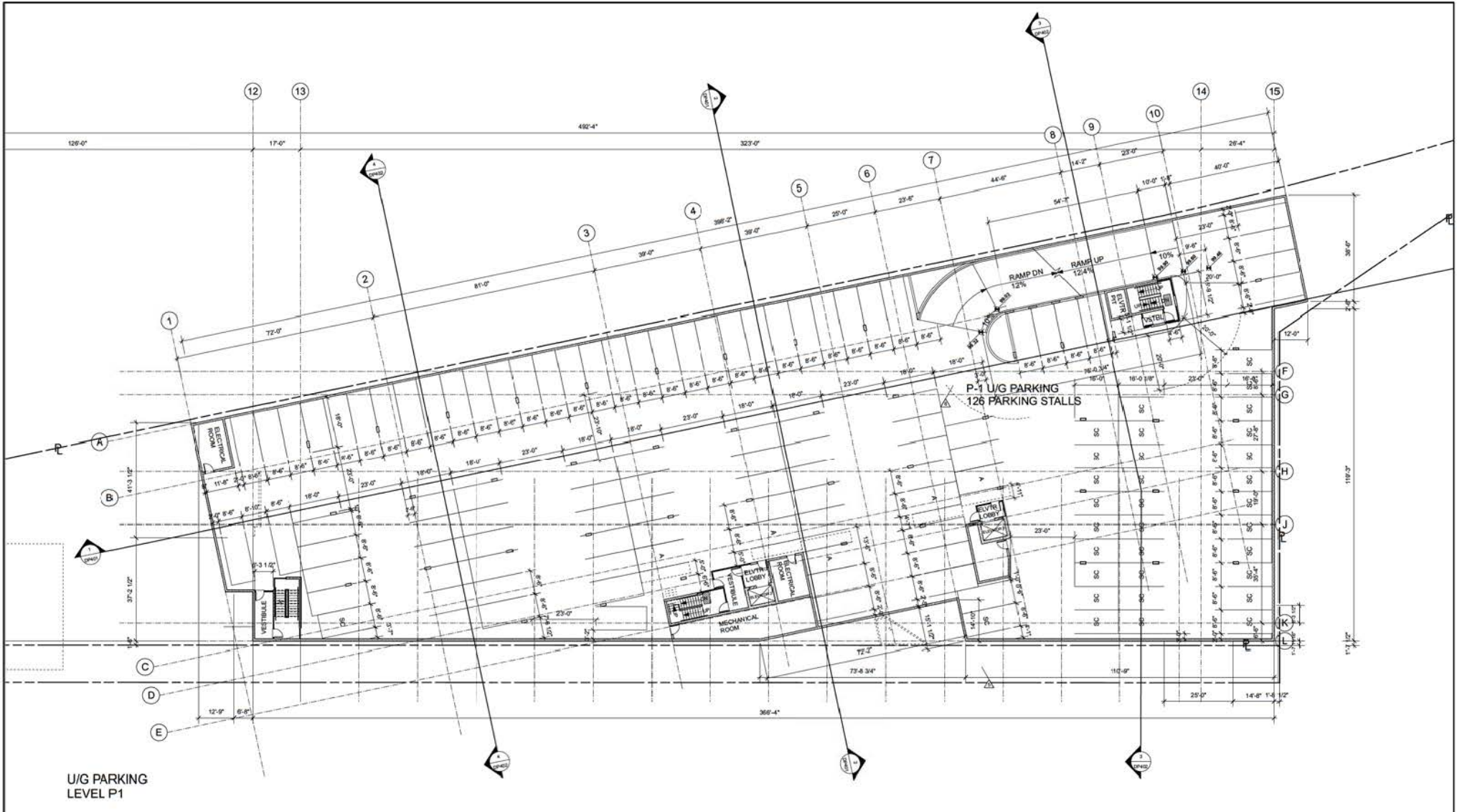
**MIXED USE
COMMERCIAL
DEVELOPMENT
8910 - 120th STREET.**

Drawing Title:

PERSPECTIVE

Date:	Project Number:
Scale:	1303
Drawn By:	DP503
Approved By:	

Rev. 2016, February 22



U/G PARKING
LEVEL P1

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No.	Date	Revision Details
1	5/12/15	OF APPLICATION REVISION #1 AS PER PLANNING DEPARTMENT COMMENTS DATED 1/29/2014
2	5/20/15	OF APPLICATION REVISION #2 AS PER PLANNING DEPARTMENT COMMENTS DATED 1/29/2014
3	1/30/16	SUBMISSION FOR ADP ON 2/24/15 CITY OF SURREY FILE NUMBER: 214-2726-25
4	2/26/15	REVISIONS IN REGARD TO ADP COMMENTS 2/26/15 REFER TO DOCUMENT #2015-02-213-25-13
5	2/26/15	REVISIONS IN REGARD TO PLANNING DEPARTMENT COMMENTS 2/26/15
6	2/26/15	REVISIONS DUE TO NEW LOCATION OF TRANSFORMER AND IN REGARD TO THE REPORT RECOMMENDATIONS



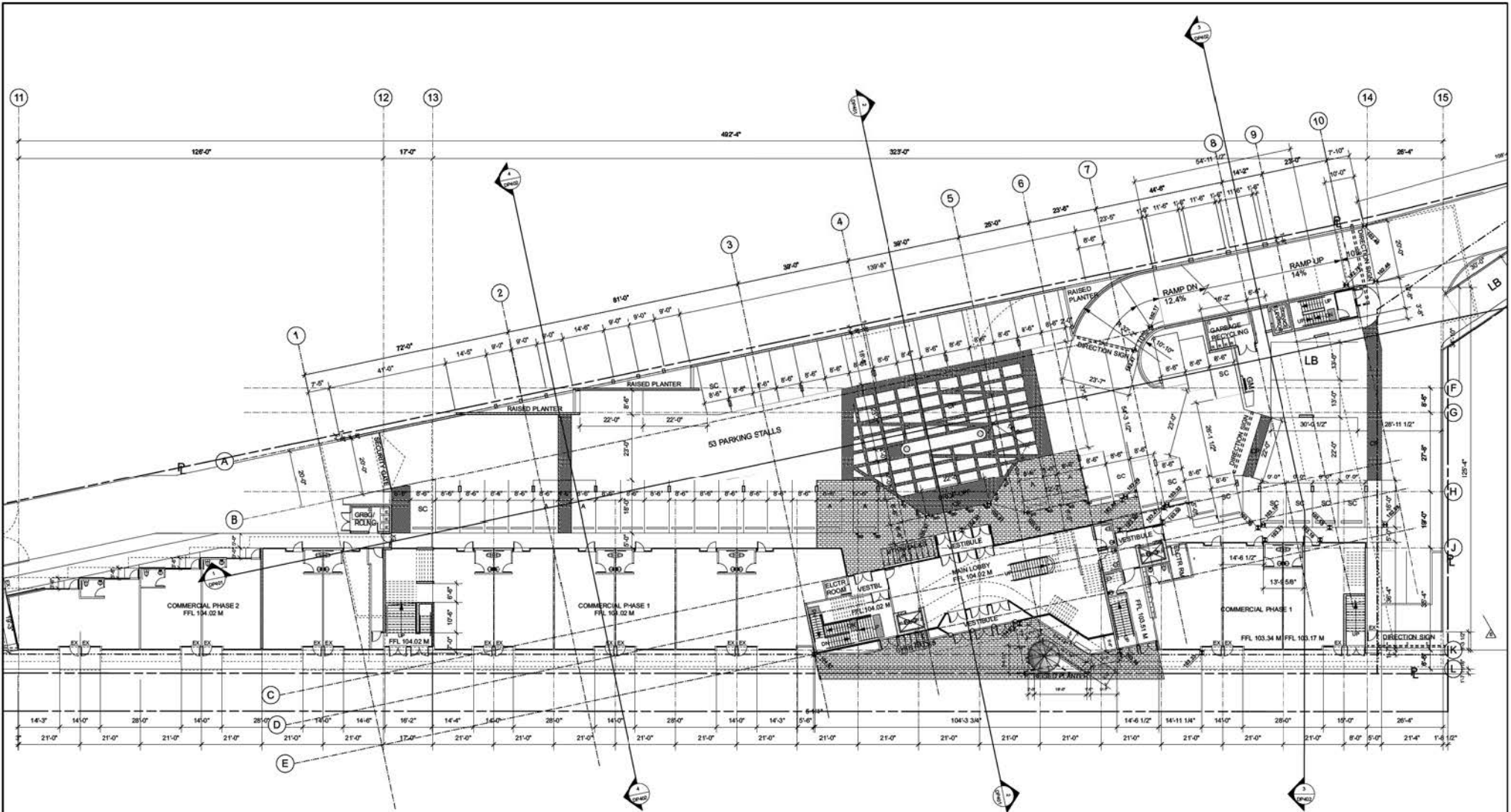
WG ARCHITECTURE INC
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VANCOUVER, B.C. V6C 1V5
TEL: (604) 331 2378
FAX: (604) 683 7494

Project Title:
MIXED USE COMMERCIAL DEVELOPMENT
8910 - 120th STREET
SURREY, B.C.

Drawing Title:
UNDERGROUND PARKING P1

Date:
January 2014
Scale:
1/16" = 1' - 0"
Drawn By:
YA, NC
Approved By:
WG

Project Number:
1303
File No:
DP202



LEVEL 1 COMMERCIAL

NOTE:
LANDSCAPING & PAVERS REF. TO LANDSCAPE DRAWINGS

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No.	Date	Revision Details:
1	01/20/15	OF APPLICATION REVISION #1 AS PER PLANNING DEPARTMENT COMMENTS DATED 1/19/2015
2	03/20/15	OF APPLICATION REVISION #2 AS PER PLANNING DEPARTMENT COMMENTS DATED 1/19/2015
3	10/04/15	SUBMISSION FOR ADP ON 2/26/15 CITY OF SURREY FILE NUMBER: 174-2015-06
4	06/05/15	REVISIONS IN REGARD TO ADP COMMENTS 06/05/15
5	03/06/15	REFERS TO DOCUMENT REVISION 06-2015-06-10
6	03/06/15	REVISIONS IN REGARD TO PLANNING DEPARTMENT COMMENTS 06/05/15
7	06/05/15	REVISIONS DUE TO NEW LOCATION OF TRANSFORMER AND IN RESPONSE TO THE SPECIFIC RECOMMENDATIONS



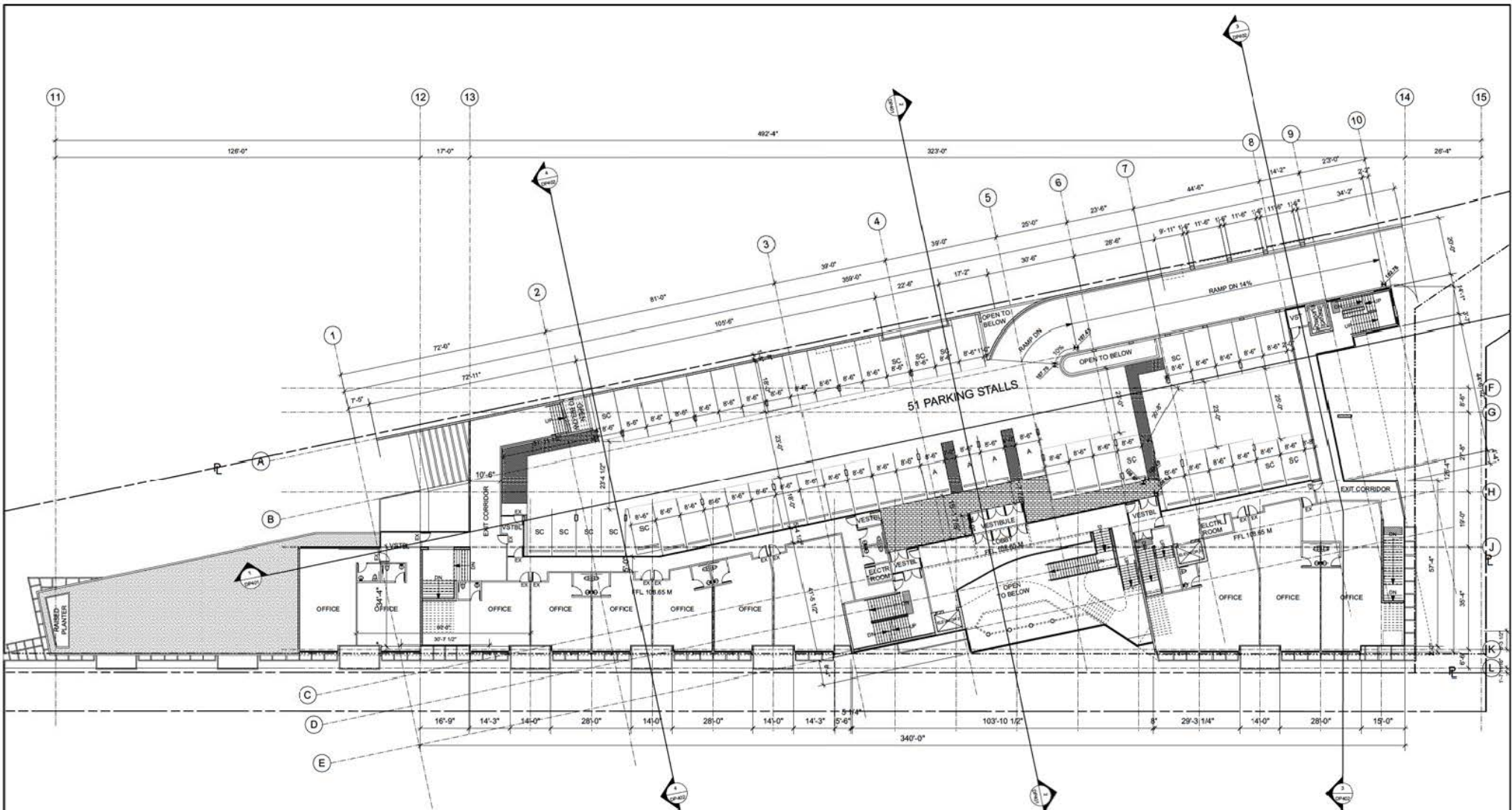
WG ARCHITECTURE INC
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TEL: (604) 331 2378
FAX: (604) 683 7494

Project Title:
MIXED USE COMMERCIAL DEVELOPMENT
8910 - 120th STREET
SURREY, B.C.

Drawing Title:
LEVEL 1 COMMERCIAL

Date:
January 2014
Scale:
1/16" = 1' - 0"
Drawn By:
YA, NC
Approved By:
WVG

Project Number:
1303
Sheet No:
DP203



LEVEL 2 DECK PARKING

NOTE:
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No.	Date	Revision Details:
1	5/12/15	OF APPLICATION: REVISION #1 AS PER PLANNING DEPARTMENT COMMENTS DATED: 1/29/2014
2	5/20/15	OF APPLICATION: REVISION #2 AS PER PLANNING DEPARTMENT COMMENTS DATED: 1/29/2014
3	1/26/16	SUBMISSION FOR ADP ON 2/26/15: CITY OF SURREY FILE NUMBER: 15-1-0726-05
4	2/26/15	REVISIONS IN REGARD TO ADP COMMENTS 2/26/15
5	2/26/15	REVISIONS IN REGARD TO PLANNING DEPARTMENT COMMENTS 2/26/15
6	2/26/15	REVISIONS DUE TO NEW LOCATION OF TRANSFORMER AND IN REGARD TO THE REPORT RECOMMENDATIONS



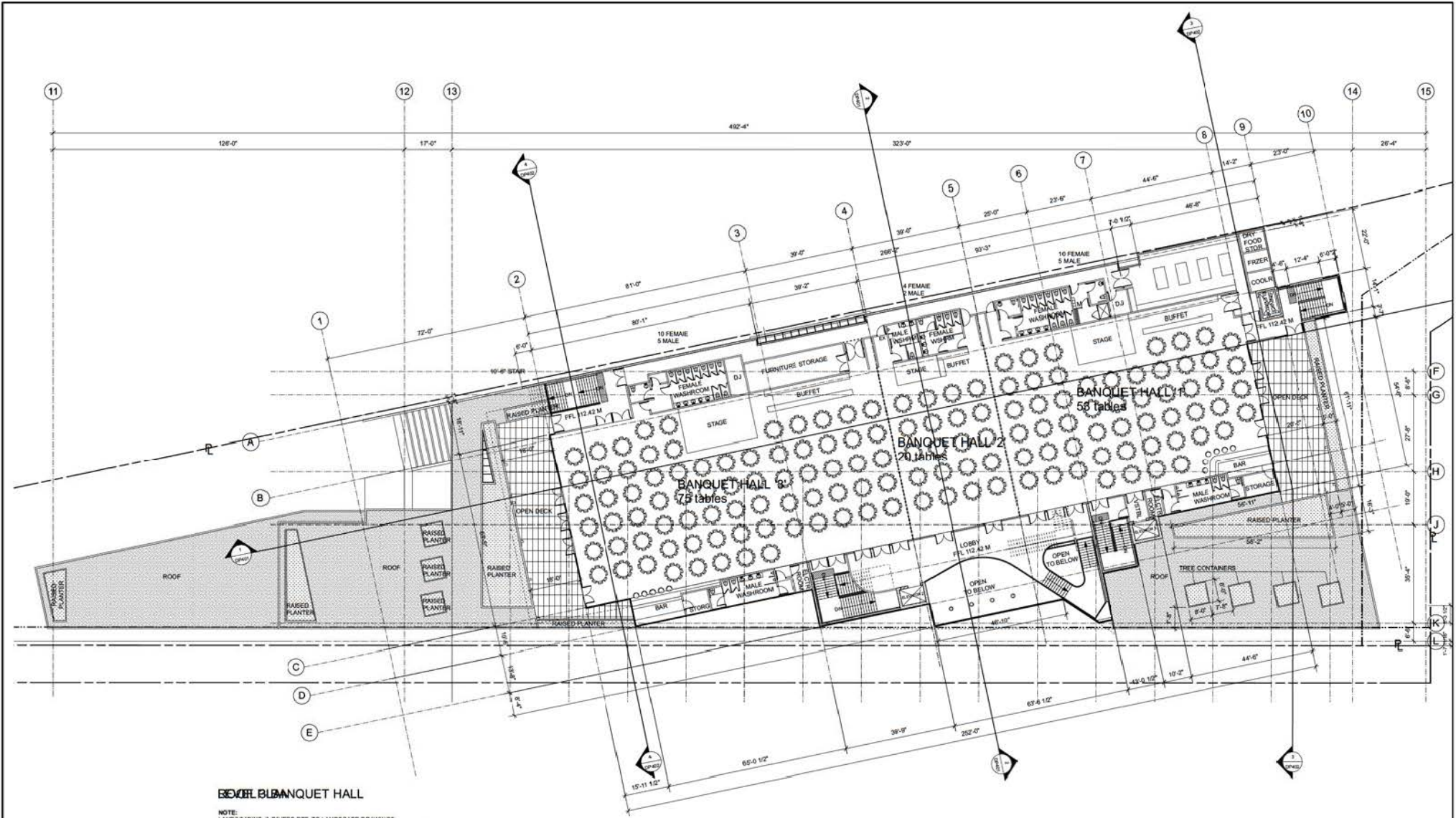
WG ARCHITECTURE INC
1030 - 470 GRANVILLE STREET
VANCOUVER, B.C. V6C 1V5
TEL: (604) 331 2378
FAX: (604) 683 7494

Project Title:
MIXED USE COMMERCIAL DEVELOPMENT
8910 - 120th STREET
SURREY, B.C.

Drawing Title:
LEVEL 2 OFFICES + DECK PARKING

Date:
January 2014
Scale:
1/16" = 1' - 0"
Drawn By:
YA, NC
Approved By:
WG

Project Number:
1303
Sheet No.:
DP204



REVISION BANQUET HALL

NOTE:
LANDSCAPING & PAVERS REF. TO LANDSCAPE DRAWINGS

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No.	Date	Revision Details:
1	5/22/15	OF APPLICATION REVISION #1 AS PER PLANNING DEPARTMENT COMMENTS DATED 5/20/2014
2	5/22/15	OF APPLICATION REVISION #2 AS PER PLANNING DEPARTMENT COMMENTS DATED 5/20/2014
3	1/26/16	SUBMISSION FOR ADP ON 2/24/15 CITY OF SURREY FILE NUMBER: 15-12375-20
4	3/26/15	REVISIONS IN REGARD TO ADP COMMENTS 2/26/15
5	3/26/15	REVISIONS IN REGARD TO PLANNING DEPARTMENT COMMENTS 3/26/15
6	2/26/15	REVISIONS DUE TO NEW LOCATION OF TRANSFORMER AND IN REGARDS TO THE REPORT RECOMMENDATIONS



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Project Title:
MIXED USE COMMERCIAL DEVELOPMENT
8910 - 120th STREET
SURREY, B.C.

Drawing Title:
LEVEL 3 BANQUET HALL

Date:
January 2014

Scale:
1/16" = 1' - 0"

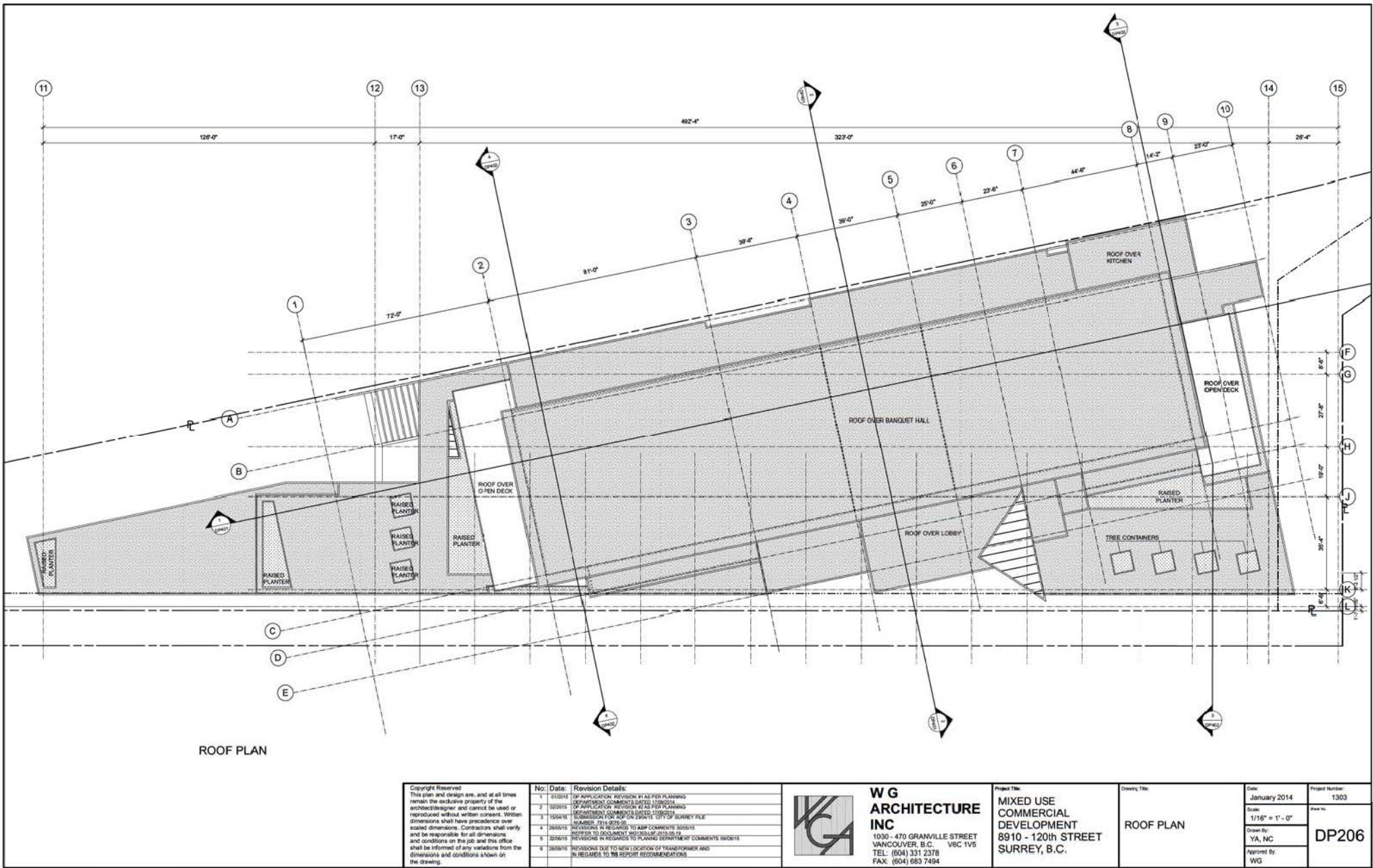
Drawn By:
YA, NC

Approved By:
WG

Project Number:
1303

File No.:

DP205



ROOF PLAN

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No.	Date	Revision Details:
1	5/12/15	OF APPLICATION REVISION STAFF PER PLANNING DEPARTMENT COMMENTS LIVED: SURVEY
2	5/25/15	OF APPLICATION REVISION STAFF PER PLANNING DEPARTMENT COMMENTS LIVED: SURVEY
3	1/26/16	SUBMISSION FOR ZONING 2904/15 CITY OF SURREY FILE NUMBER: 15-0278-00
4	3/26/16	REVISIONS IN REGARD TO ADP COMMENTS 3/26/16 REFER TO DOCUMENT: 150304-0015-00-03
5	3/26/16	REVISIONS IN REGARD TO PLANNING DEPARTMENT COMMENTS 3/26/16
6	3/26/16	RESPONSE TO NEW LOCATION OF TRANSFORMER AND IN REGARDS TO THE REPORT RECOMMENDATIONS



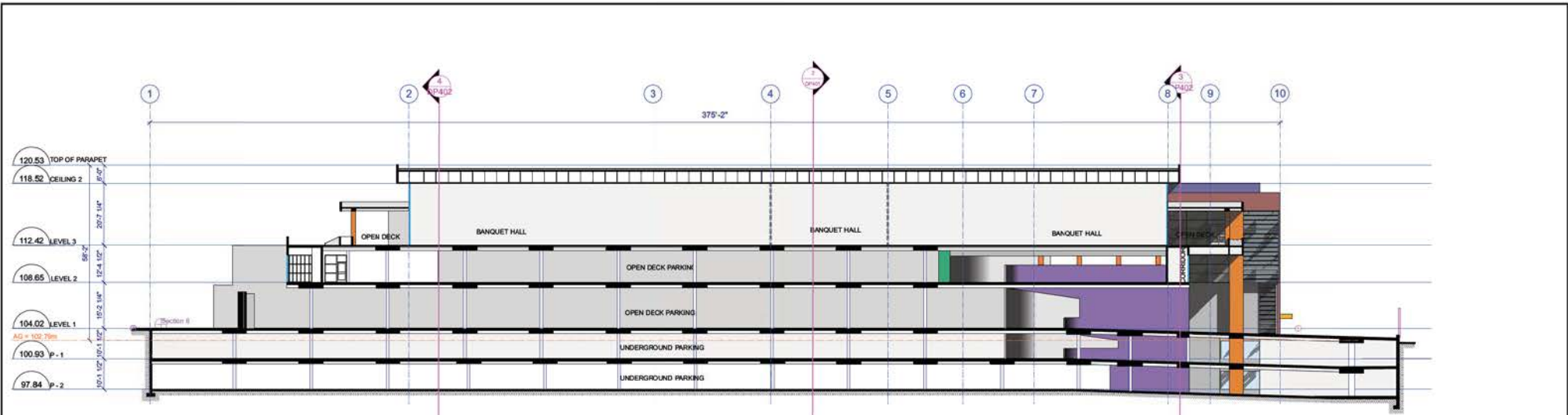
WG ARCHITECTURE INC
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 FAX: (604) 683 7494

Project Title:
MIXED USE COMMERCIAL DEVELOPMENT
 8910 - 120th STREET
 SURREY, B.C.

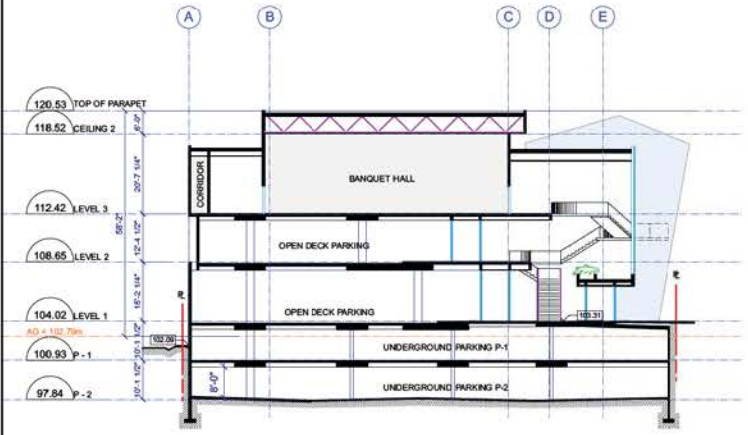
Drawing Title:
ROOF PLAN

Date:
 January 2014
 Scale:
 1/16" = 1' - 0"

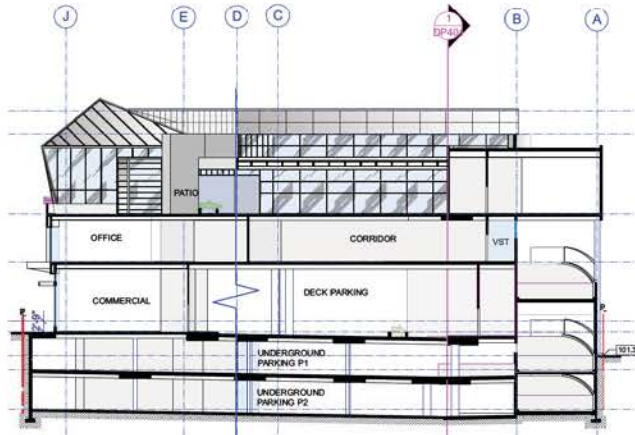
Project Number:
 1303
 Drawn By:
 YA, NC
 Approved By:
 WG
DP206



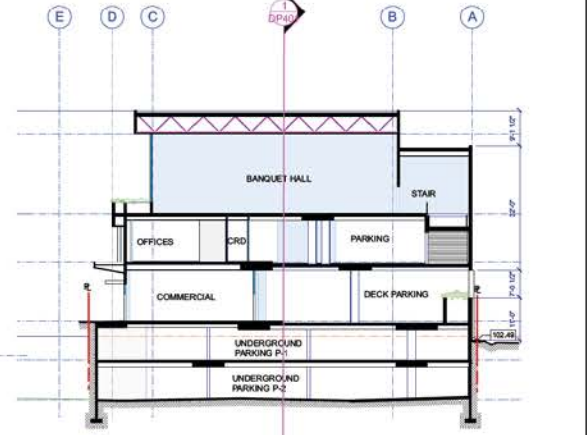
1 1303 A401 Longitudinal Cross Section
NP40



2 1303 A402 Cross Section
NP40



3 1303 A402 Cross Section
NP200



4 1303 A402 Cross Section
NP200

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No.	Date	Revision Details:
1	6/20/15	DP APPLICATION REVISION #1 AS PER PLANNING DEPARTMENT COMMENTS DATED 1/28/2014
2	6/26/15	DP APPLICATION REVISION #2 AS PER PLANNING DEPARTMENT COMMENTS DATED 1/28/2014
3	1/26/15	SUBMISSION FOR ADP ON 2014/01/26 CITY OF SURREY FILE NUMBER: 1714-2014-0006
4	2/26/15	REVISION IN REGARD TO ADP COMMENTS 369515 REFERS TO DOCUMENT 10031004-UE-2015-05-19

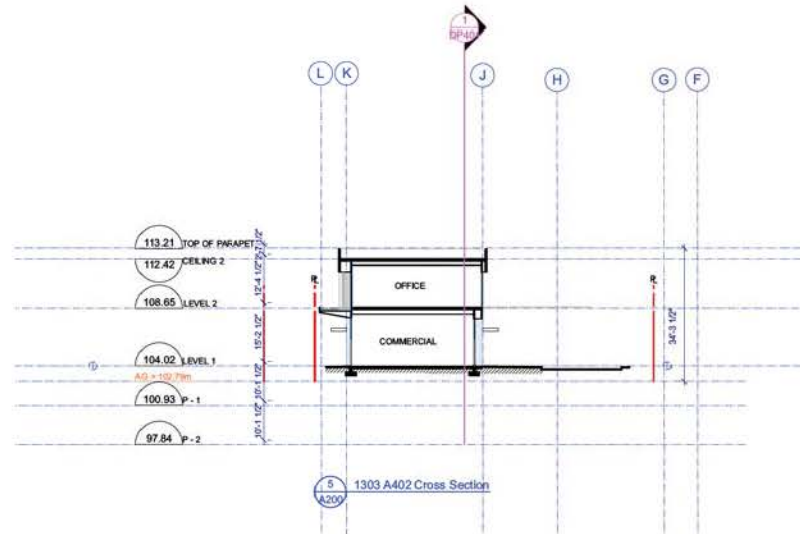
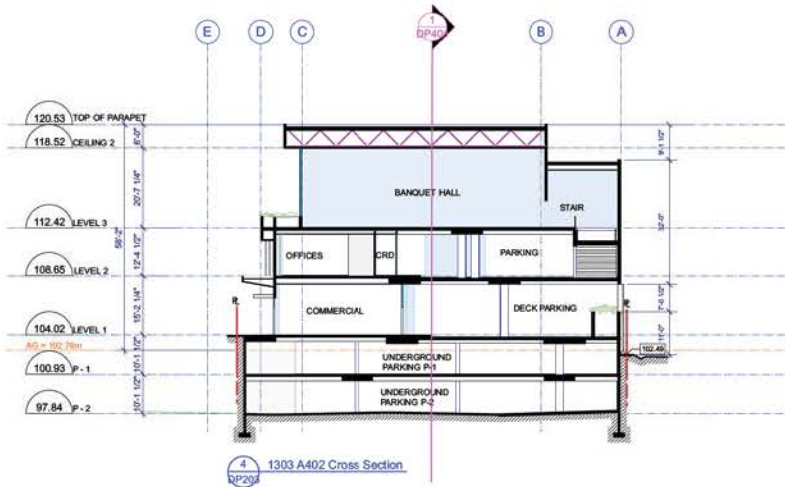
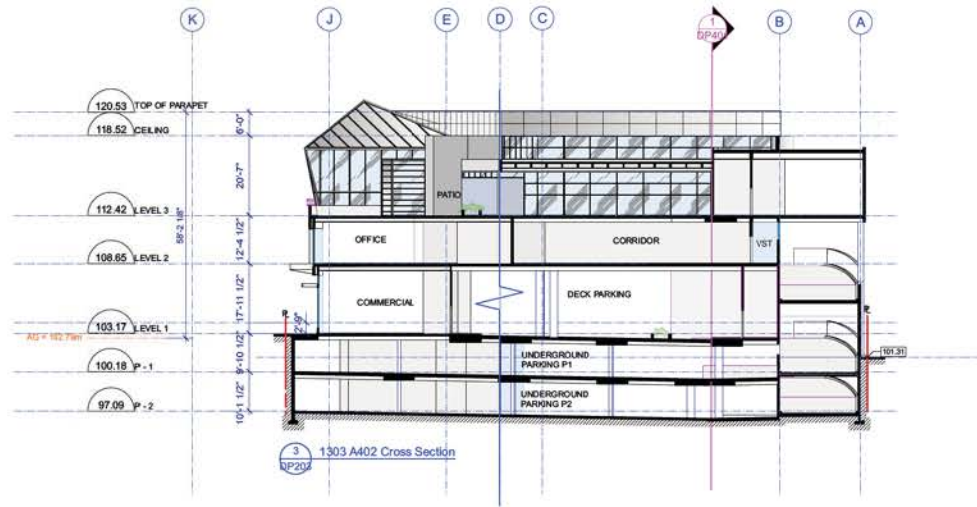
WG ARCHITECTURE INC
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TEL: (604) 331 2378
FAX: (604) 683 7494

Project Title:
MIXED USE COMMERCIAL DEVELOPMENT
8910 - 120th STREET
SURREY, B.C.

Drawing Title:
SECTIONS

Date:
January 2014
Scale:
1/16" = 1' - 0"
Drawn By:
YA, NC
Approved By:
WG

Project Number:
1303
Sheet No:
DP301



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No:	Date:	Revision Details:
1	01/2015	DP APPLICATION REVISION #1 AS PER PLANNING DEPARTMENT COMMENTS DATED 07/09/2014
2	02/2015	DP APPLICATION REVISION #2 AS PER PLANNING DEPARTMENT COMMENTS DATED 07/09/2014



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FAX: (604) 683 7494

Project Title:
MIXED USE COMMERCIAL DEVELOPMENT
8910 - 120TH STREET
SURREY, B.C.

Drawing Title:

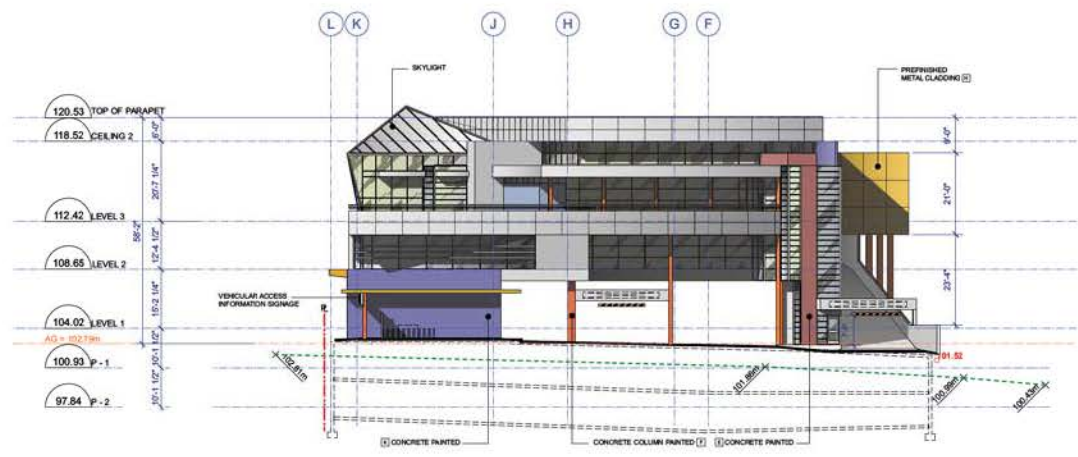
SECTIONS

Date:	Project Number:
	1303
Scale: 1/16" = 1' - 0"	Drawn By: YA, NM, NC
Approved By: WG	DP402

Rev. 2015, October 6



WEST ELEVATION



SOUTH ELEVATION

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No:	Date:	Revision Details:
1	01/20/15	DP APPLICATION REVISION #1 AS PER PLANNING DEPARTMENT COMMENTS DATED 11/09/2014
2	02/20/15	DP APPLICATION REVISION #2 AS PER PLANNING DEPARTMENT COMMENTS DATED 11/09/2014
3	1/26/15	SUBMISSION FOR ADP ON 2/26/2015 CITY OF SURREY FILE NUMBER: 154-2015
4	2/26/15	REVISIONS IN REGARD TO ADP COMMENTS 2/26/2015
5	2/26/15	REVISIONS IN REGARD TO PLANNING DEPARTMENT COMMENTS 02/26/15 REFER TO DOCUMENT: 15012516-2015-05-15



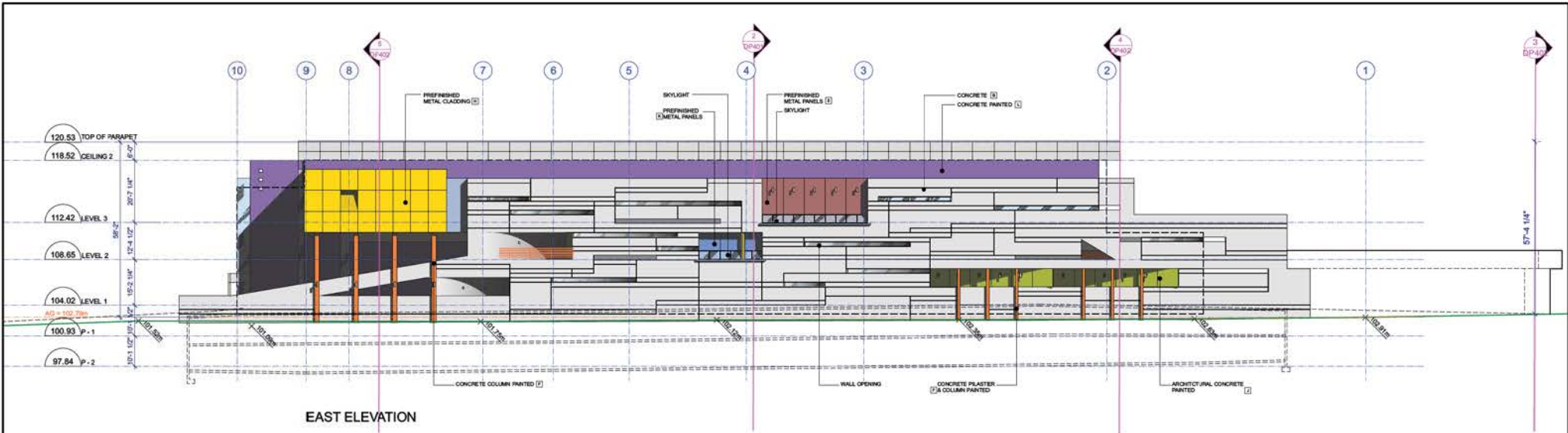
WG ARCHITECTURE INC
1030 - 470 GRANVILLE STREET
VANCOUVER, B.C. V6C 1V5
TEL: (604) 331 2378
FAX: (604) 683 7494

Project Title:
MIXED USE COMMERCIAL DEVELOPMENT
8910 - 120th STREET
SURREY, B.C.

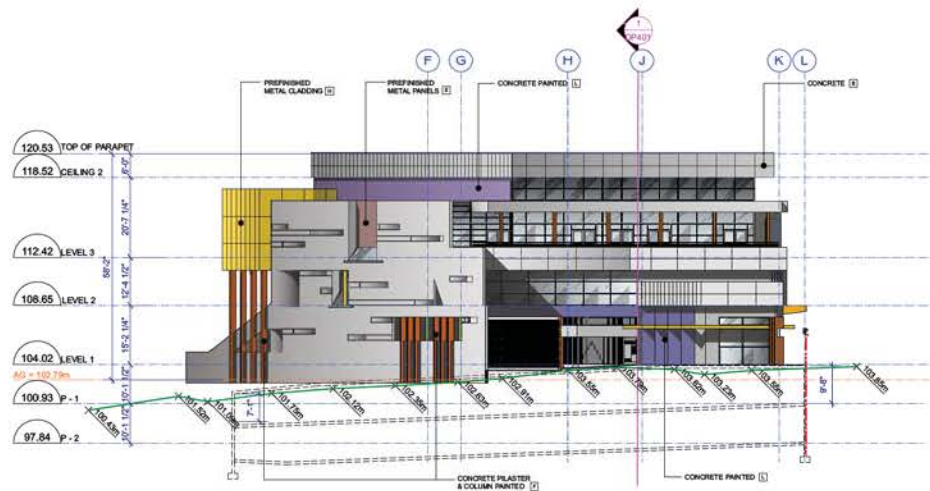
Drawing Title:
ELEVATION SOUTH - WEST

Date:
January 2014
Scale:
1/16" = 1' - 0"
Drawn By:
YA, NC
Approved By:
WG

Project Number:
1303
Sheet No:
DP401



EAST ELEVATION



NORTH ELEVATION

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No.	Date	Revision Details:
1	5/12/15	TOP APPLICATION REVISION #1 AS PER PLANNING DEPARTMENT COMMENTS DATED 1/19/14
2	5/20/15	TOP APPLICATION REVISION #2 AS PER PLANNING DEPARTMENT COMMENTS DATED 1/19/14
3	10/24/15	SUBMISSION FOR ZDP ON 2924'S CITY OF SURREY FILE NUMBER: 714-073-05
4	3/26/15	REVISIONS IN REGARD TO ADP COMMENTS 3/26/15 REFER TO DOCUMENT W2025348-2015-05-19
5	2/26/15	REVISIONS IN REGARD TO PLANNING DEPARTMENT COMMENTS 02/26/15



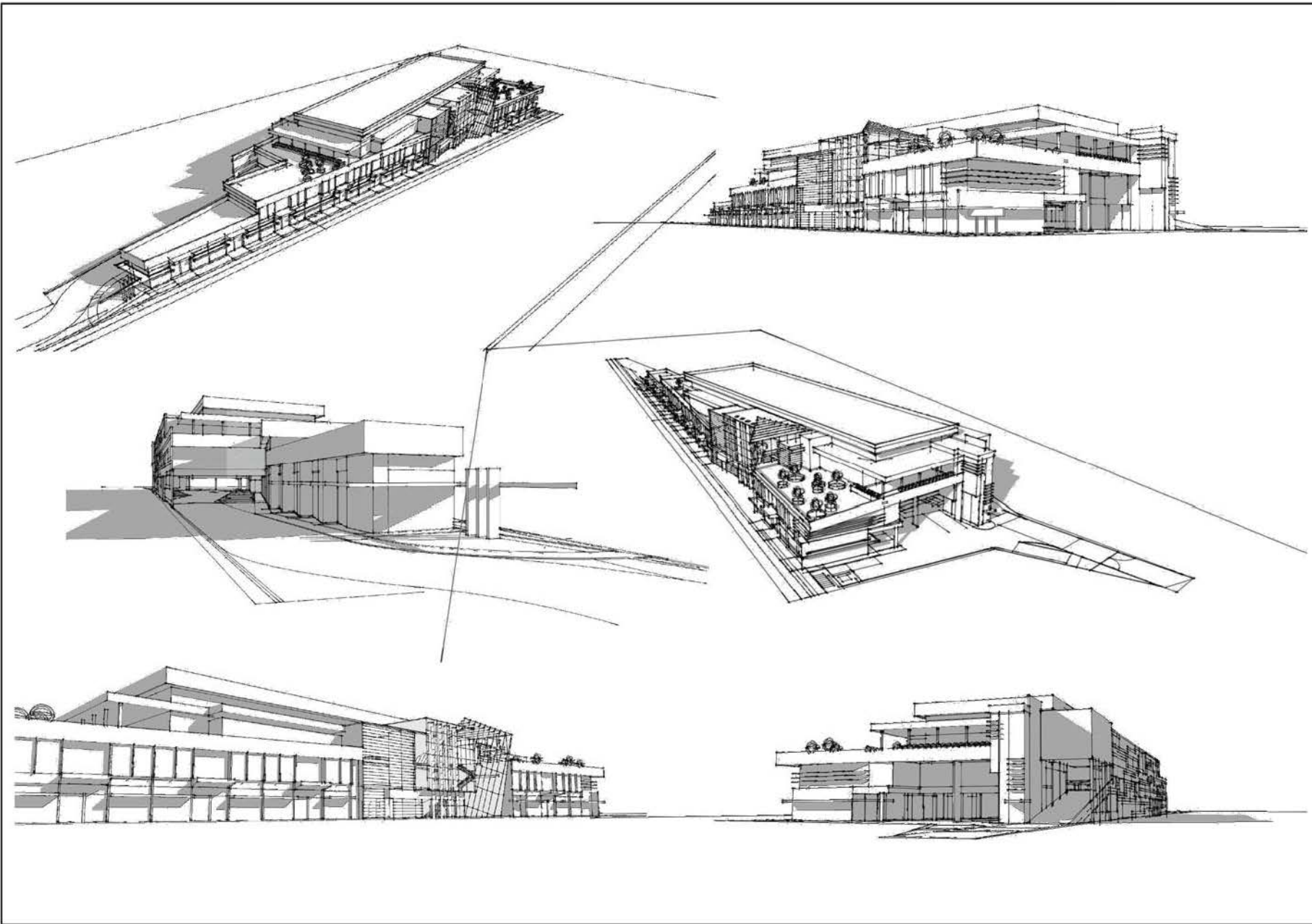
WG ARCHITECTURE INC
 1030 - 470 GRAMVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 FAX: (604) 683 7494

Project Title:
MIXED USE COMMERCIAL DEVELOPMENT
 8910 - 120th STREET
 SURREY, B.C.

Drawing Title:
ELEVATION NORTH - EAST

Date:
 January 2014
 Scale:
 1/16" = 1' - 0"
 Drawn By:
 YA, NC
 Approved By:
 WG

Project Number:
 1303
 Sheet No:
DP402



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No:	Date:	Revision Details:
1	01/02/08	3P APPLICATION REVISION #1 AS PER PLANNING DEPARTMENT COMMENTS DATED 11/09/07/04
2	02/20/10	3P APPLICATION REVISION #2 AS PER PLANNING DEPARTMENT COMMENTS DATED 11/09/07/04
3	10/04/10	SUBMISSION FOR ADP ON Z304/15 CITY OF SURREY FILE NUMBER: 794-0076-00
4	09/05/10	REVISIONS IN RESPONSE TO ADP COMMENTS 3055/10 REFERRED TO DOCUMENT #01103-00P-0110-05-03

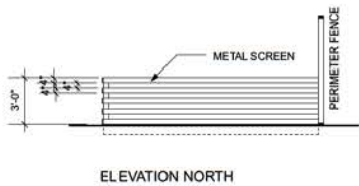
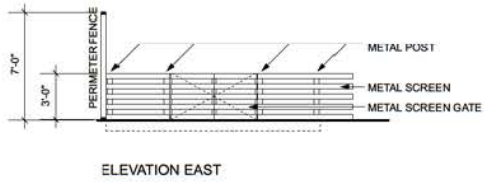
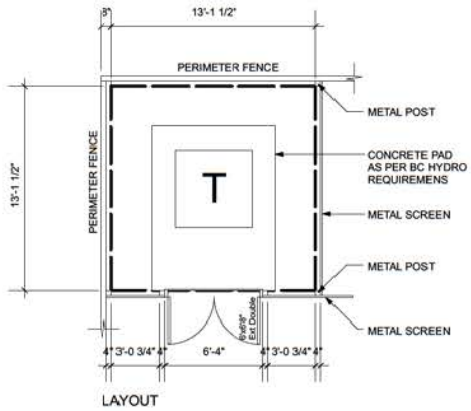


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 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 FAX: (604) 683 7494

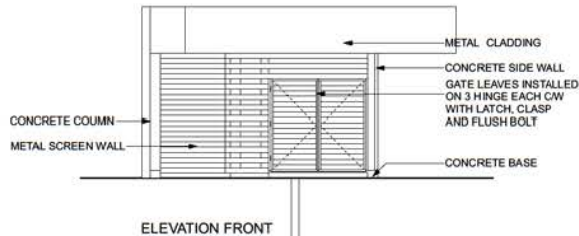
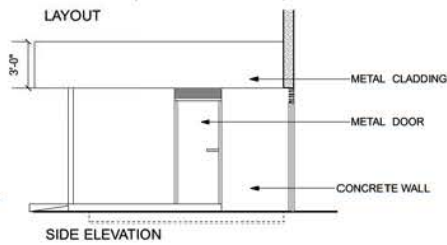
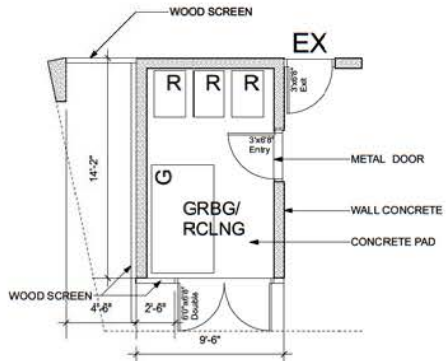
Project Title:
COMMERCIAL PROJECT
 8910 - 120th STREET
 SURREY, B.C.

Drawing Title:
3D VIEWS

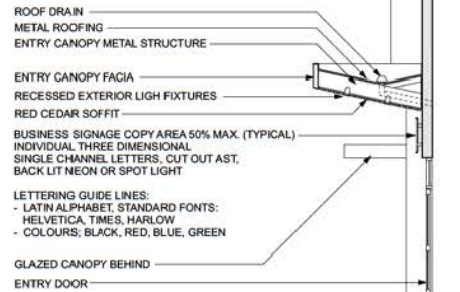
Date: February 2013	Project Number: 1303
Scale: NTS	Sheet No: DP501
Drawn By: YA, NC	
Approved By: WG	



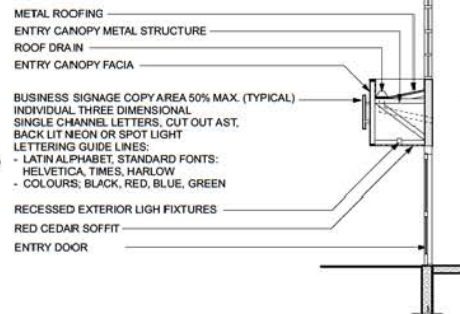
1 TRANSFORMER ENCLOSURE
DP103



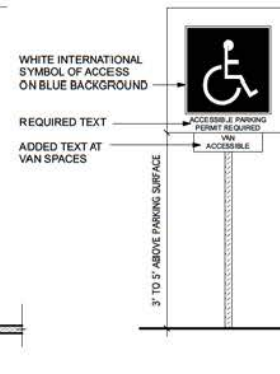
2 GARBAGE ENCLOUSER
DP103



4 COMMERCIAL ENTRY SIGNAGE
DP103



3 COMMERCIAL ENTRY SIGNAGE
DP103



6 ACCESSIBLE PARKING SIGN
DP103

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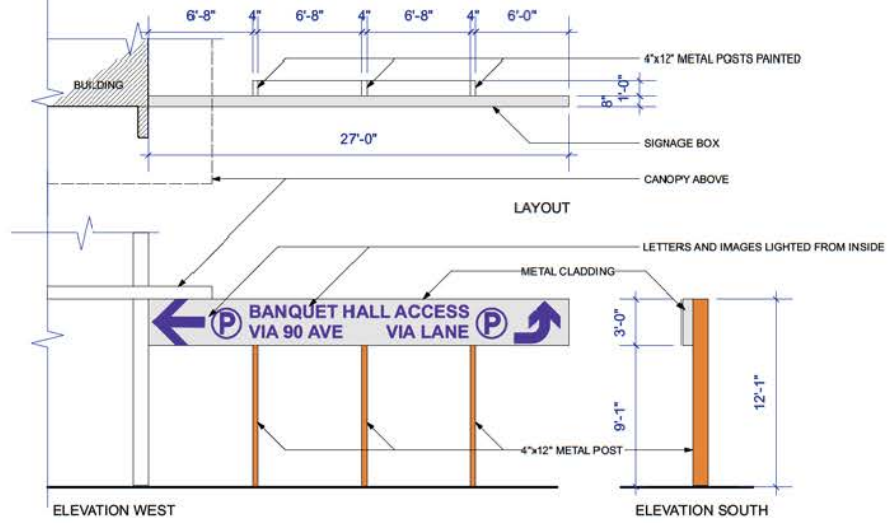
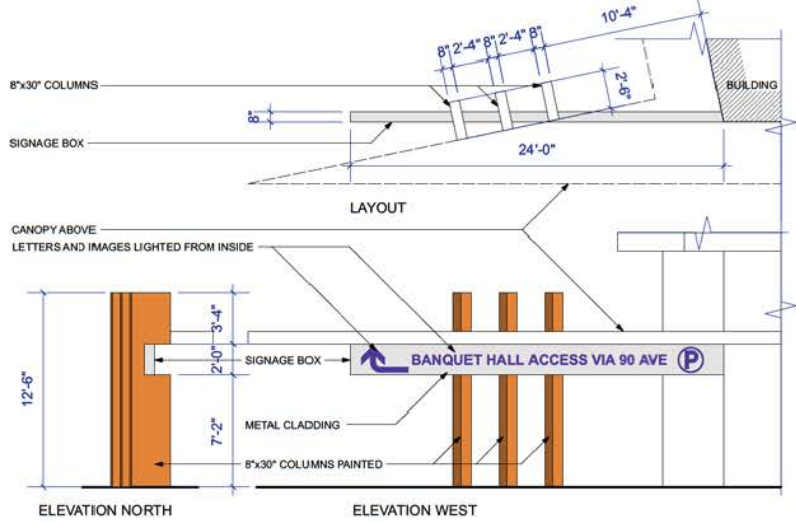
No.	Date	Revision Details
1	10/25/15	TOP APPLICATION REVISION BY AS PER PLANNING DEPARTMENT COMMENTS DATED 11/26/2014
2	02/26/15	DP APPLICATION REVISION BY AS PER PLANNING DEPARTMENT COMMENTS DATED 11/26/2014
3	10/04/15	SUBMISSION FOR ADP ON 10/04/15 CITY OF SUDBURY FILE NUMBER 1914-00100
4	06/26/16	REVISIONS IN RESPONSE TO ADP COMMENTS 20063 REFERRED TO DOCUMENT 1914-00100

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TEL: (604) 331 2378
FAX: (604) 683 7494

Project Title:
**MIXED USE COMMERCIAL DEVELOPMENT
8910 - 120th STREET.**

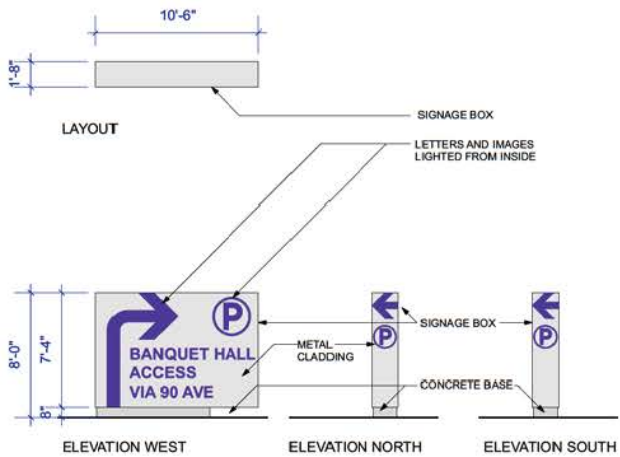
Drawing Title:
SITE DETAILS

Date	Project Number
Scale	1303
Scale	1/4" = 1'
Drawn By	DP601
Approved By	WG

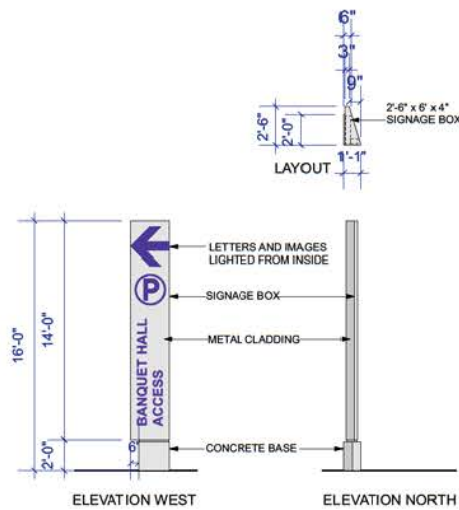


7 DIRECTION SIGN AT NORTH/WEST BUILDING CORNER
DP103

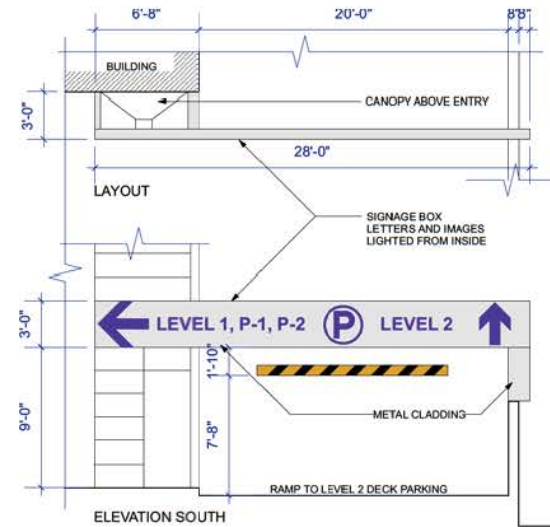
8 DIRECTION SIGN AT SOUTH/WEST BUILDING CORNER
DP103



9 FREE STANDING DIRECTION SIGN AT NORTH/WEST CORNER OF SITE
DP103



10 FREE STANDING DIRECTION SIGN AT SOUTH LANE
DP103



11 DIRECTION SIGN AT RAMP ENTRY
DP103

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No.	Date	Revision Details
1	01/20/15	TOP APPLICATION REVISION BY AS PER PLANNING DEPARTMENT COMMENTS DATED 11/26/2014
2	02/05/15	DP APPLICATION REVISION BY AS PER PLANNING DEPARTMENT COMMENTS DATED 11/26/2014
3	10/06/15	RE SUBMISSION FOR ADP ON 23/04/15 CITY OF SUDBURY FILE NUMBER 7914-00-00
4	06/09/16	REVISIONS IN REGARDS TO ADP COMMENTS 20063 REFERRED TO DOCUMENT W/NO. 02-00-00-15
5	22/06/15	REVISIONS IN REGARDS TO PLANNING DEPARTMENT COMMENTS 090915

WG ARCHITECTURE INC
1030 - 470 GRANVILLE STREET
VANCOUVER, B.C. V6C 1V5
TEL: (604) 331 2378
FAX: (604) 683 7494

Project Title:
MIXED USE COMMERCIAL DEVELOPMENT
8910 - 120th STREET.

Drawing Title:
SITE DETAILS
VEHICULAR ACCESS
DIRECTION SIGNS

Date:	Project Number:
Scale:	1303
Scale:	1/4" = 1'
Drawn By:	YA
Approved By:	WG
	DP602

Date: 2017, January 30

MIXED USE COMMERCIAL DEVELOPMENT

8910 - 120th STREET, SURREY, B.C.

COLOUR SCHEME

- A.** CL 3184M IRON SAND LRV 34
Preformed Aluminum Panels
Aluminum Windows
- B.** CL 3213W SEATTLE LRV 54
Preformed Aluminum Panels
- C.** CL 2363M DUSK LRV 37
Corrugated Metal Cladding
- D.** CL 1796A WEEPING LRV 56
Metal Canopies Painted
- E.** CL 1386A INFURIATE LRV 17
Prefinished Aluminum Panels
Architectural Concrete Painted
- F.** CL 1657N TANGERINE TWIST LRV 30
Architectural Concrete Painted
- G.** CL 1737N MIETTE LRV 51
Entry Canopy Metal Cladding Painted
- H.** CLV 1119N QUINN LRV 64
Panels Painted
- J.** CL 1986A LIME TREE LRV 31
Panels Painted
- K.** CLV 1168N PARTY MIX LRV 13
Panels Painted
- L.** CL 2457N IMPERIAL LRV 10
Architectural Concrete Painted
- M.** RED CEDAR
Roof Eaves & Entry Canopy Soffits
- N.** SYMPHONY BLUE
Tinted Glass Windows & Spandrel Panels

A
B
C
D
E
F
G
H
J
K
L
M
N



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No	Date	Revision Details
1	01/2015	DP APPLICATION REVISION #1 AS PER PLANNING DEPARTMENT COMMENTS 17/09/2014
2	02/2015	DP APPLICATION REVISION #2 AS PER PLANNING DEPARTMENT COMMENTS 17/09/2014
3	15/04/15	SUBMISSION FOR ADP ON 23/04/15 CITY OF SURREY FILE NUMBER 7914-0076-00



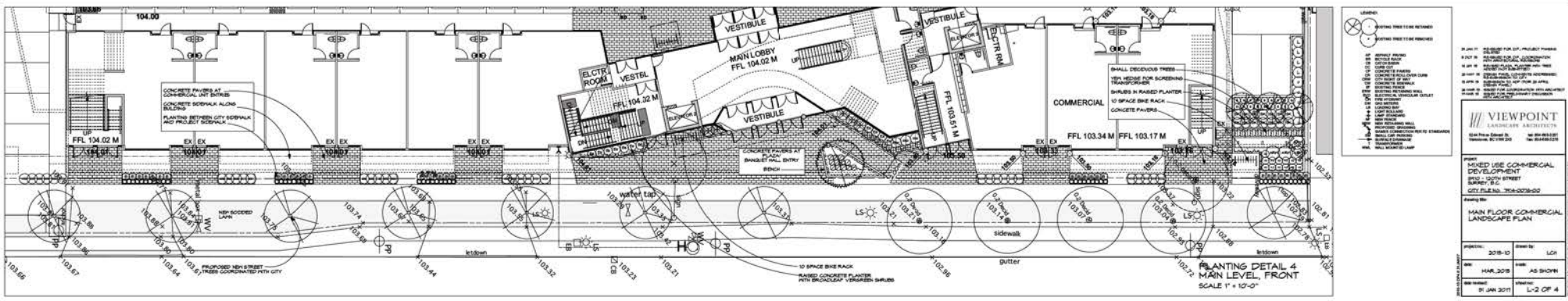
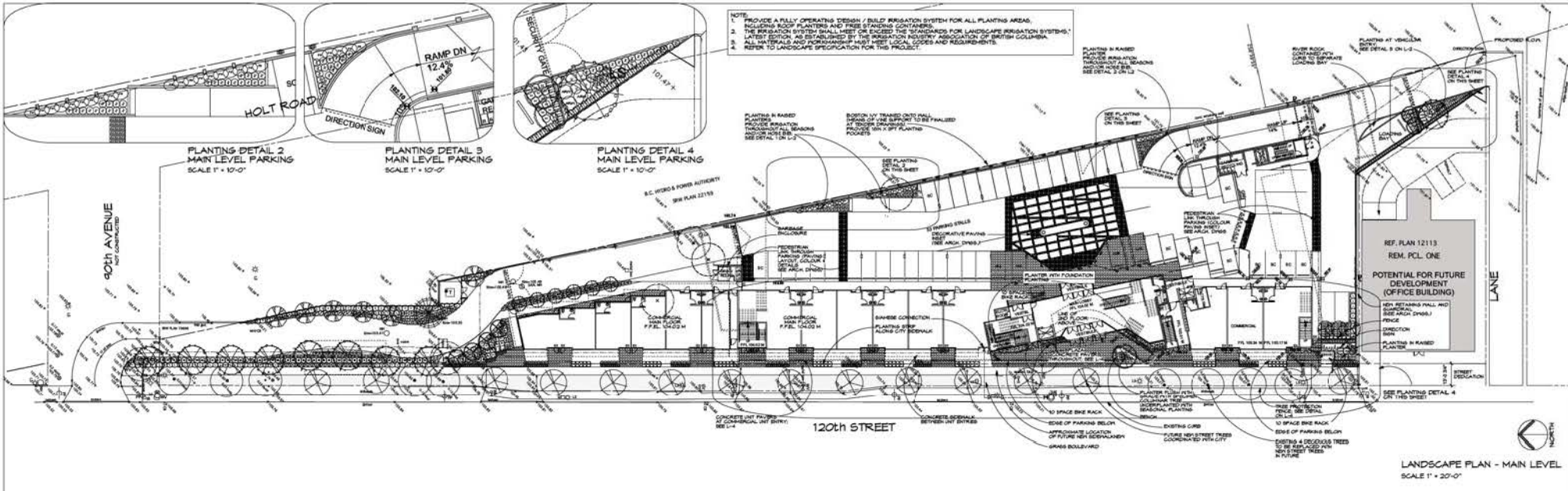
W G
ARCHITECTURE
INC

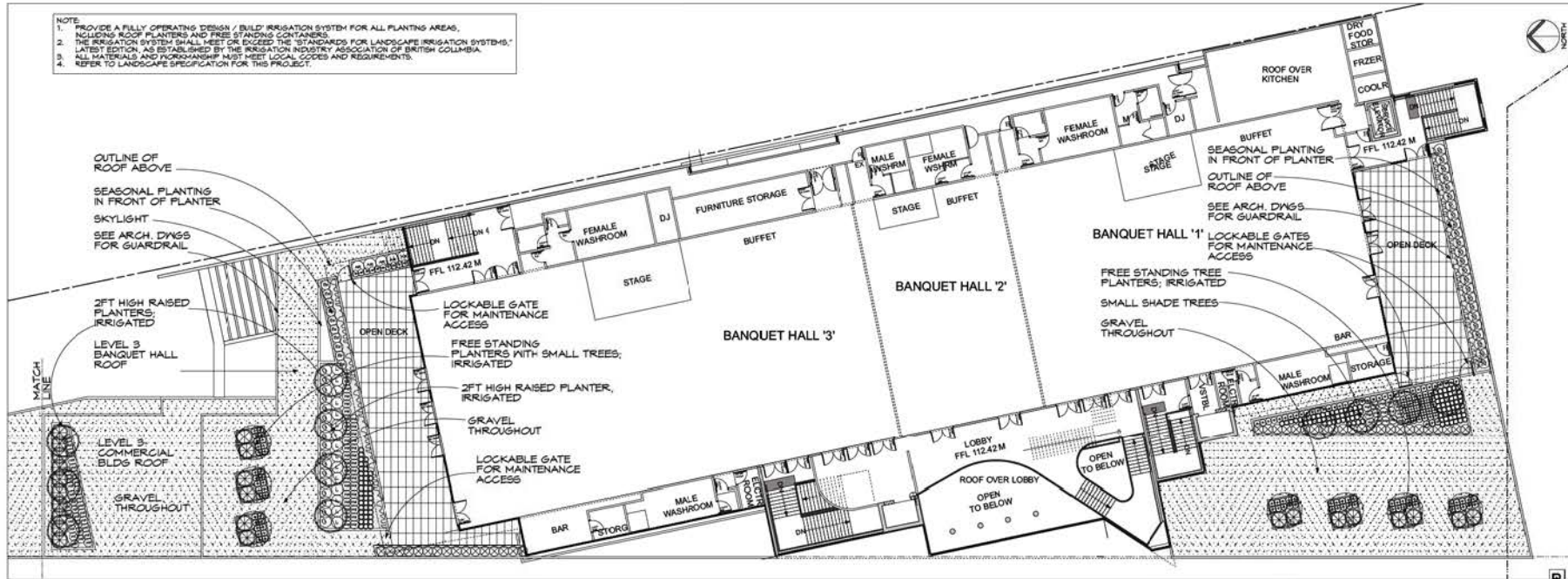
1030 - 478 GRANVILLE STREET
VANCOUVER, B.C. V6C 1V5
TEL: (604) 331 2378
FAX: (604) 683 7494

Project Title:
**MIXED USE
COMMERCIAL
DEVELOPMENT**
8910 - 120th STREET.

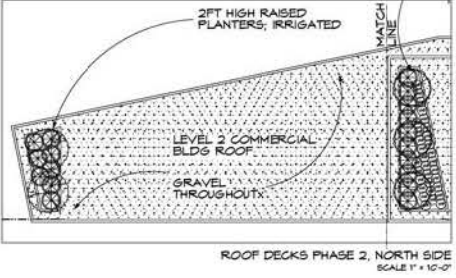
Drawing Title:
COLOUR SCHEME

Date	Project Number
Scale	1303
Drawn By	DP602
Approved By	





NOTE
 1. PROVIDE A FULLY OPERATING DESIGN / BUILD IRRIGATION SYSTEM FOR ALL PLANTING AREAS, INCLUDING ROOF PLANTERS AND FREE STANDING CONTAINERS.
 2. THE IRRIGATION SYSTEM SHALL MEET OR EXCEED THE STANDARDS FOR LANDSCAPE IRRIGATION SYSTEMS, LATEST EDITION, AS ESTABLISHED BY THE IRRIGATION INDUSTRY ASSOCIATION OF BRITISH COLUMBIA.
 3. ALL MATERIALS AND WORKMANSHIP MUST MEET LOCAL CODES AND REQUIREMENTS.
 4. REFER TO LANDSCAPE SPECIFICATION FOR THIS PROJECT.



ROOF DECKS PHASE 2, NORTH SIDE
 SCALE 1" = 10'-0"



FREE STANDING CONTAINERS

LANDSCAPE PLAN
 BANQUET HALL DECKS
 SCALE 1" = 10'-0"

BANQUET HALL DECK / ROOFS PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE & SPACING
	4	<i>Acer palmatum 'Oshagaki'</i>	Green Japanese Maple	84B 3/8" Hgt. multi-stem
	11	<i>Cornus kousa 'Satan's Blood'</i>	Satan's Blood Dogwood	84B 1.5m Ht. dwarf form
	3	<i>Arbutus unedo 'Cornifera'</i>	Dwarf Strawberry Shrub	No. 2 Pot. 48 show
	10	<i>Scaevola taccada 'Dwarf'</i>	Dwarf Scaevola	No. 2 Pot. 36cm o.c.
	15	<i>Fuchsia ovata 'Bicolor'</i>	Blue Fuchsia	No. 2 Pot. 48cm o.c.
	48	<i>Gleditsia procumbens</i>	Winged Acacia	No. 1 Pot. 48cm o.c.
	24	<i>Melastoma affine var. 'Purpureum'</i>	Blue Melastoma	No. 1 Pot. 48cm o.c.
	30	<i>Lonicera sibirica 'Blue'</i>	Blue Lonicera	No. 2 Pot. 48 show
	100	<i>Lavandula spica 'Husky'</i>	Prostrate Lavender	No. 1 Pot. 48 show
	15	<i>Lonicera sibirica</i>	Prostrate Lonicera	No. 2 Pot. 48cm o.c.
	48	<i>Cornus alba 'Sibirica'</i>	Prostrate Cornus	No. 2 Pot. 48cm o.c.
	30	<i>Phlox subulata 'Daisy Leuker'</i>	White Phlox	No. 2 Pot. 36cm o.c.
	100	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	10cm Pot. 48cm o.c.

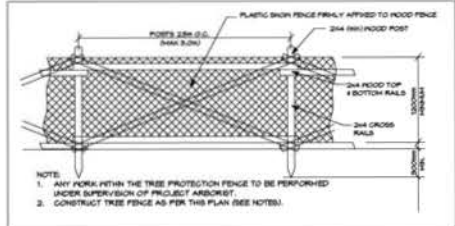
NOTE: All soil plants & planting to meet BC Landscape Standards, Latest Edition. Drawings to be read in conjunction with project Landscape Specifications. Contractor to verify plant quantities. Refer to Archtural Report for the project for all info re trees to be removed and retained. All trees shall be planted, mulched and staked in accordance with the detail - see Landscape spec.

VIEWPOINT
 LANDSCAPE ARCHITECTURE
 400 West 1st Street, Vancouver, BC V6B 1A1
 TEL: 604.681.1111 FAX: 604.681.1112
 WWW.VIEWPOINT-CA.COM
 CITY PLAN: 174-0278-00
 LANDSCAPE PLAN
 BANQUET HALL DECKS
 ROOF PLANTING
 2018-10
 2019
 31 JAN 2017

PLANT LIST:

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE & SPACING
	1	Pruner Fir	Pruner Fir	848, 4.0m H., 6.00m Form
	2	Vine Maple	Vine Maple	848, 3.0m H., 6.00m Form
	3	Green Japanese Maple	Green Japanese Maple	848, 3.34m High, multi-stem
	4	Red Maple	Red Maple	848, 9 cm. caliper
	4	Amelanchier alnifolia	Amelanchier	848, 9 cm. caliper, 6.00m Form
	4	Carolinian Yellow Birch	Yellow Birch	848, 9 cm. caliper, 1.8m std.
	6	Black Locust	Black Locust	848, 9 cm. caliper, 1.8m std.
	8	Amelanchier alnifolia	Amelanchier	848, 9 cm. caliper, 1.8m std.
	1	Amelanchier alnifolia	Amelanchier	848, 9 cm. caliper, 1.8m std.
	14	Amelanchier alnifolia	Amelanchier	NO. 2 POK. 18 cm. o.c.
	34	Amelanchier alnifolia	Amelanchier	NO. 2 POK. 45cm o.c.
	43	Berberis thunbergii	Berberis	NO. 2 POK. 30cm o.c.
	11	Berberis thunbergii	Berberis	NO. 2 POK. 30cm o.c.
	11	Berberis thunbergii	Berberis	NO. 2 POK. 30cm o.c.
	26	Berberis thunbergii	Berberis	NO. 2 POK. 30cm o.c.
	26	Berberis thunbergii	Berberis	NO. 2 POK. 30cm o.c.
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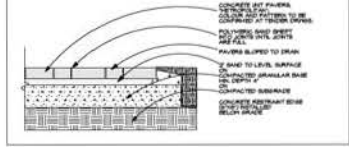
NOTE: All soil plants starting to near. No landscape warranty. Limited liability. Contractor to verify plant quantities. Refer to Annual Report for the project for all soil in trees to be removed and replaced. All trees shall be planted, mulched and staked in accordance with the detail. See Landscape Specs.



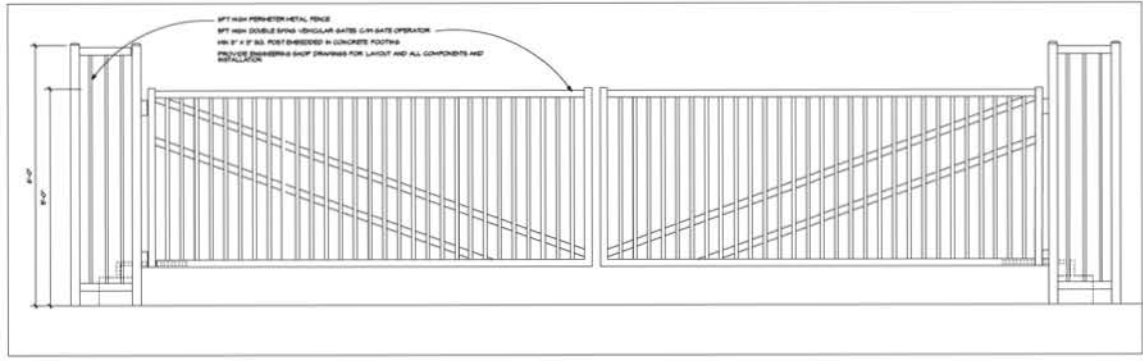
TREE PROTECTION FENCE
SCALE: N.T.S.



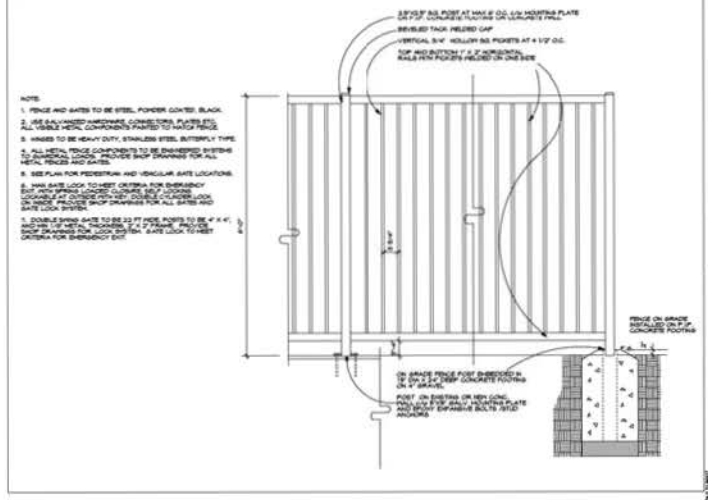
CONCRETE UNIT PAVERS ON PLAZA
LANDSCAPE AMENITY AND COMMERCIAL UNIT ENTRIES



CONCRETE UNIT PAVERS
SCALE: 1" = 1'-0"



VEHICULAR GATE: 6FT HIGH
SCALE: 1" = 1'-0"



PERIMETER FENCE: 6FT HIGH METAL PICKET
SCALE: 1" = 1'-0"

VIEWPOINT
LANDSCAPE ARCHITECTS

PROJECT: 2015-10
DATE: MAR 2015
DRAWN BY: AD SHOWN
CHECKED BY: LCH
SCALE: L-4 OF 4

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **February 15, 2017** PROJECT FILE: **7814-0076-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 8910 120 Street**

REZONE

Property and Right-of-Way Requirements

- Dedicate varying widths from 4.03 meters at the north end of the property to 3.98 meters at the south end of the property along 120 Street for the ultimate 34.0 metre Arterial Road Standard.
- Dedicate a 5.0 x 5.0 metre corner cut at the intersection of 120 Street and 90 Avenue.
- Provide a 0.50 metre Statutory Right-of-Way (SRW) along the frontage of 120 Street.

Works and Services

- Construct southbound left-turn bay for lane access. This is to be fully funded by the applicant.
- Construct southbound left -turn bay at 120 St and 90 Ave intersection, per the Traffic Impact Study recommendations, this upgrade is to be fully funded by the applicant.
- Construct a curb-return entrance for the lane at 120 Street.
- Confirm the existing pavement structure for the lane meets City Standards.
- Construct 300 mm water main along 120 St and 90 Ave.
- Provide approval from BC Hydro/Southern Railway for the proposed works within the adjacent railway property for the access to 90 Avenue.
- Provide on-site storm water mitigation features in accordance with the Cruikshank & Grenville Integrated Stormwater Management Plan (ISMP).
- Provide water, storm, and sanitary service connections to service the proposed development.

A Servicing Agreement is required prior to Rezone.

DEVELOPMENT PERMIT

The above issues are to be addressed as a condition of issuance of the Development Permit:



Rémi Dubé, P.Eng.
Development Services Manager
CE4

NOTE: Detailed Land Development Engineering Review available on file

Table 4. Tree Preservation Summary

TREE PRESERVATION SUMMARY

Surrey Project No:
 Address: 8910 120th Street Surrey BC
 Registered Arborist: Max Rathburn
 ISA Certified Arborist (PN0599A)
 ISA Certified Tree Risk Assessor (159)

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	24
Protected Trees to be Removed	24
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 4 X one (1) = 0	38
- All other Trees Requiring 2 to 1 Replacement Ratio 17 X two (2) = 4	
Replacement Trees Proposed	N/A
Replacement Trees in Deficit	38
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio ___ X one (1) = 0	0
- All other Trees Requiring 2 to 1 Replacement Ratio X two (2) = 0	
Replacement Trees Proposed	
Replacement Trees in Deficit	0

Summary prepared and submitted by:



Feb, 14 2017

Arborist

Date



Advisory Design Panel Minutes

2E - Community Room B
City Hall
13450 - 104 Avenue
Surrey, B.C.
THURSDAY, APRIL 23, 2015
Time: 4:00 PM

Present:

Chair - E. Mashig

Panel Members:

D. Newby
M. Ehman
M. Vance
K. Johnston
S. Forrest
D. Ramslie
Cpl. M. Searle

Guests:

J. Prasad, J. Prasad & Associates
L. Chorobik, Viewpoint Landscape Architects
Y. Afanasiev, WG Architecture
N. Grzybowicz, WG Architecture
N. Mendiari, WG Architecture
L. Podhora, Larry Podhora Architect
C. Gray, Larry Podhora Architect
S. Watt, Krahn Engineering
S. Marcon
M. Marcon

Staff Present:

H. Bello, Senior Planner - Planning & Dev.
M. Rondeau, Senior Planner, Planning & Dev.
Henry Ahking, Senior Planner, Planning & Dev.
Ron Hintsche, Current Planning Manager,
Planning & Development
L. Luaifoa, Legislative Services

B. NEW SUBMISSIONS

1. **4:00PM**
- | | |
|-----------------------|---|
| File No.: | 7914-0076-00 |
| New or Resubmit: | New |
| Description: | Banquet Hall + Commercial Building |
| Address: | 8910 - 120 Street |
| Developer: | Jay Prasad |
| Architect: | Wojciech Grzybowicz, WG Architects |
| Landscape Architect: | Viewpoint Landscape Architects |
| Planner: | Keith Broersma |
| Urban Design Planner: | Hernan Bello |

The Urban Design Planner presented an overview of the proposed project.

- This is a complicated site that accommodated limitations on the side and limitations of accessibility.
- Staff consider the proposal has responded well to site considerations and have no specific issues with the proposal.

The Project Architect presented an overview of the site plan, building plans, elevation and landscape plans and noted the following:

- This challenging site is triangular in shape and designed to accommodate three levels of commercial space and two levels of underground parking. A banquet hall will be located on the third floor including kitchen facilities and all the required spaces for a banquet hall. The room will have the ability to be divided into two or three halls.
- Vehicle access is proposed from the intersection at 90 Avenue and from the existing lane on south side of property.
- There are two phases for the project construction. In Phase 1 the existing buildings on north side of lot will remain in use during construction of the main building. Phase 2 will consist of building the commercial space and offices above. The main building will be extended towards 90 Avenue. Pedestrian access is from Scott Road.

D. Ramslic joined the meeting at 4:30 pm.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- There are some existing trees on site that are not suitable for retention.
- The project indicates street edge with boulevard. The entrance to the commercial spaces are extended with a different pavement.
- The primary entrance is park like entry with new trees, a small amenity area sheltered from the street with planting.
- Roof planting, two decks with low planting and planters. Concrete path for maintenance only, shrubs.
- The extent of outdoor seating for the Banquet Hall is limited due to seating capacity.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW
Banquet Hall + Commercial Building at 8910 – 120 Street
File No. 7914-0076-00

It was

Moved by S. Forrest

Seconded by M. Ehman

That the Advisory Design Panel (ADP)

recommends that the applicant address the following recommendations and revise and resubmit to *Planning Staff*.

Carried

STATEMENT OF REVIEW COMMENTS

The Panel commended the applicant for producing a complete application based on the complexity of the site.

Site

- Concerns about signage and vehicular wayfinding. Recommend hiring a signage consultant to ensure all signage is consistent.
- Concerns about parking access remote from the actual building entrance.

Building Form and Character

- Generally, the use, form and density were supported.
- The building elevations have a bit too much going on and could be toned down a little.
- Like the use of colours but overall, there are too many variations of colour.
- Suggest reviewing the angled stair form and how it works with the rest of the building.
- Concerns with the amount of west facing glass, re-consider the amount of glass being used.
- The punctuated openings to the east and railway have a strong presence.
- The garbage and recycling area seems small and not centrally located.
- Ensure lobby is vented properly for the west orientation and solar gain.
- Outdoor lighting is important, especially with a high volume of glass.
- Ensure car stalls don't overhang the walkways and consider wheel stops.
- Consider lighting designer for lighting scheme.

Landscaping

- Suggest more emphasis on exterior amenities.
- Consider mature trees on site as much as possible including west side of the roof decks for shading and along edge of parking towards the loading bays.
- The treatment of roofs is an important aspect. Consider the development of a green roof strategy.
- Soil and irrigation is required if trees are to survive up on the roof top.

CPTED

- The railway corridor has proven challenging in Surrey for graffiti and other damages. Important to ensure that people don't have access to the part of the building.
- The challenging part of the location of the building is that the police will be hopping the curb when an emergency call is received. Consider design features to protect pedestrians.
- Consider pedestrian/vehicle interface to deal with groups spilling through trying to get to their vehicle when an event ends.

- Site lines need to be clear when people come into the plaza on Level 1 and are heading north.
- Recommend CTV throughout the entire area especially parking levels. Recommend very strong treatment of CCTV at entrances to capture vehicle description and license plates.

Sustainability

- Consider vertical shading for the west facing glass and some treatment of the atrium as a cooling resource. The atrium needs to address solar loads much better. Consider passive ventilation for the atrium to be activated as required.
- Excellent opportunity to utilize daylight and the space in the banquet hall with skylights. There is potential to eliminate lighting for the day and use of controllable systems to provide block out for presentations etc.
- Explore opportunities for the roof to not only to cool, but provide storm water, passive cooling and habitat for pollinators.



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RESPONSE TO THE ADP COMMENTS FOR 8910-120 ST. SURREY, BC
WG1303-L6F-2015-05-19 FILE#7914-0076-00

1. Site

- We propose to extend the building signage plate located below commercial canopy to the south and to the north of the building with the description of the vehicular accesses visible from both directions. The description will indicate the directions to the vehicular accesses: one access from Lane to the south, second access from 90Ave to the North.
- Parking areas are located behind commercial and office floors, and the access from the parking with drop-off point has been located at the back of each level of the main lobby.

2. Building Form and Character

- In order to tone down the building elevations, the variety of the colours have been reduced, by using the same colour for the weather protection glazed canopies and for the commercial entry canopies.
Banquet Hall entry canopy have been reduced in scale and the colour have been toned down.
Horizontal aluminum panels at the exit stair glazed wall have been blended with the aluminum window and glazed spandrels mullions.
- The angled stair within the main lobby functionally connects all three levels of the multilevel atrium. At the same time it works as a core element of the spatial composition of the open interior atrium space, as well as the central compositional component of the entire building. We propose to keep the original shape of the stair.
- The central portion of western façade consists of three main glazed volumes – banquet hall exit stair with elevator, central multilevel atrium space and the angled stair.
Combination of these three elements plays a crucial role in dynamic composition of the building due to combination of the forms and the contrast of these large glazed surfaces with the rest of the building. Besides, it is very important to provide as much as possible of exterior walls transparency for the central atrium and the main stair. That would allow, to achieve a great effect of interconnection and interflow between the interior and exterior spaces, visual interface with the street. The glazed portion of the façade in front of the elevator and the exit stairs has been design as a combination of glazed spandrels, aluminum panels and windows, so the amount of the windows has been reduced to the minimum.
- The east elevation, facing BC railway truck, is exposed of the Holt Road, located to the east of the railway corridor. That exposure of the building required a design of an attractive façade. The challenge, in this case, is created by 0.50m of the limiting distance to the property line, which dramatically reduces the area of unprotected openings. The design of the east building façade is based on the composition of solid walls in combination with small horizontal openings and coloured recesses, as well as vertical coloured elements, resembling the rest of the building.
- There are two garbage facilities proposed on the site, one on the south end of the building at the service elevator, and another one on the north side. That allows to reduce a travel distance for the tenants and to avoid problem with maneuvering of garbage



- tracks at the middle of the customer parking. Besides of that the height of the ground level parking makes it impossible to locate the garbage facilities at the central location.
- Central part of the main entry lobby has been design as a glazed wall to provide the effect of transparency between exterior and interior space. Several systems of ventilation and cooling will be considered and will be explored further during BP stage. That would include the active, as well as passive systems, like interior and exterior shading, tinted reflective glazing and passive venting by air flow from east side of the building to the roof vents, and others.
 - Several types of outdoor lighting have been introduced in our design, including:
 - o recessed outdoor soffit lights for the entry canopies and the all roof soffits, which is a substantial amount of lighting, considering the quantity of the eaves and entries;
 - o exterior, vandal proof wall mounted fixtures along East property line.
 - o light standards and bollard lights for the open areas. Electrical consultant will provide exterior lighting design and specific light fixtures selection at BP stage of the project
 - Wheel stops have been introduced on the drawings.

CPTED

- The 0.5m land strip between the property line and the east building wall, along railway truck corridor, will be enclosed by the 6 feet fence to protect the wall against graffiti or another damages.
- The police car can stop in front of the main lobby at the ground level parking. Curb cut for emergency vehicles has been proposed and sign for temporary car spaces provided.
- Paved pedestrian crossings at the ground level and the second floor parking area have been added.
- The recessed commercial entrances from the ground level parking have been reduced to 12”.

Sustainability

- Vertical shading at west has been design, as well as tinted reflective glazing and passive venting by air flow from east side of the building to the roof vents.
- Skylights at the roof above banquet hall are not practical and do not provide a daylight, because the events take place at the evening hours.
- Roof may be design as storm water detention with slow water release drains.

Yours truly,
Yuri Afanasiev

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended

.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: COMPREHENSIVE DEVELOPMENT ZONE (CD) BY-LAW NO. 9399
 (SURREY ZONING BY-LAW, 1979, NO. 5942, AMENDMENT BY-LAW,
 1989, NO. 9399)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 014-527-707

Lot 1 Section 31 Township 2 New Westminster District Reference Plan 80895

8910 - 120 Street

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of a community commercial shopping centre including banquet hall facilities, serving a community of several neighbourhoods.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

- 1. *Eating establishments* provided that:

- (a) The *gross floor area* of all *eating establishments* excluding banquet halls does not exceed 150 square metres [1,615 sq.ft.]; and

(b) No *eating establishment* is a *drive-through restaurant*.

2. *Retail stores* excluding *adult entertainment stores*, *secondhand stores* and *pawnshops*.
3. *Personal service uses* excluding *body rub parlours*.
4. *General service uses* excluding funeral parlours and *drive-through banks*.
5. *Beverage container return centres* provided that:
 - (a) The use is confined to an enclosed *building* or a part of an enclosed *building*; and
 - (b) The *beverage container return centre* does not exceed a *gross floor area* of 418 square metres [4,500 sq.ft.].
6. *Liquor store*.
7. *Office uses* excluding *social escort services* and *methadone clinics*.
8. *Parking facilities*.
9. *Indoor recreational facilities*.
10. *Assembly hall* provided that the *assembly hall* has a minimum *gross floor area* of 1,200 square metres [12,900 sq.ft.].
11. *Community services*.
12. *Child care centres*.

C. Lot Area

Not applicable to this Zone.

D. Density

The *floor area ratio* shall not exceed 1.50.

E. Lot Coverage

The *lot coverage* shall not exceed 60%.

F. Yards and Setbacks

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

Use	Setback				
	Front Yard (90 Avenue)	Rear Yard (south)	Side Yard (east)	Side Yard on Flanking Street (120 Street)	
<i>Principal Buildings</i>	10 m. [33 ft.]	8.5 m. [28 ft.]	0.5 m. [2 ft.]	2.0 m. [7 ft.]	
<i>Accessory Buildings and Structures</i>	7.5 m. [25 ft.]	7.5 m. [25 ft.]	7.5 m. [25 ft.]	7.5 m. [25 ft.]	

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings:* The *building height* shall not exceed 18.0 metres [59 ft].
2. *Accessory buildings and structures:* The *building height* shall not exceed 4.5 metres [15 ft].

H. Off-Street Parking

1. Parking shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. *Tandem parking* may be permitted for company fleet *vehicles*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be located underground or with a *building*.

J. Special Regulations

1. The outdoor storage or display of any goods, materials or supplies is specifically prohibited, notwithstanding any other provision in this Zone.
2. *Child care centres* shall be located on the *lot* such that these centres have direct access to an open space and play area within the *lot*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
4,000 sq. m. [1 acre]	4 metres [13 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the C-8 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.

7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2016, No. 18664, as may be amended or replaced from time to time, and the development cost charges shall be based on the C-8 Zone.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING on the _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK