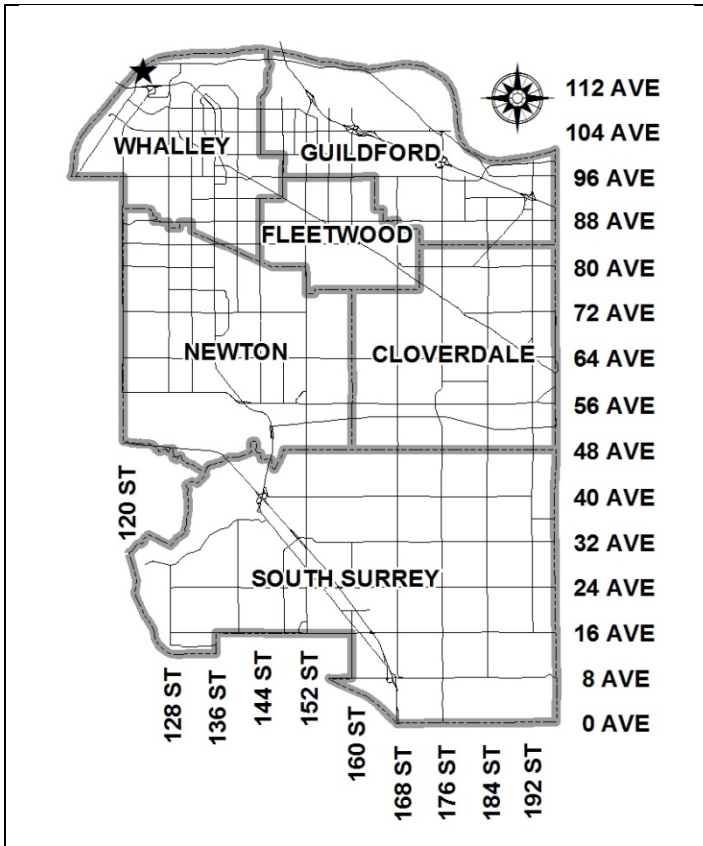


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7913-0205-00

Planning Report Date: May 12, 2014



**PROPOSAL:**

- **Development Permit**
- **Development Variance Permit**

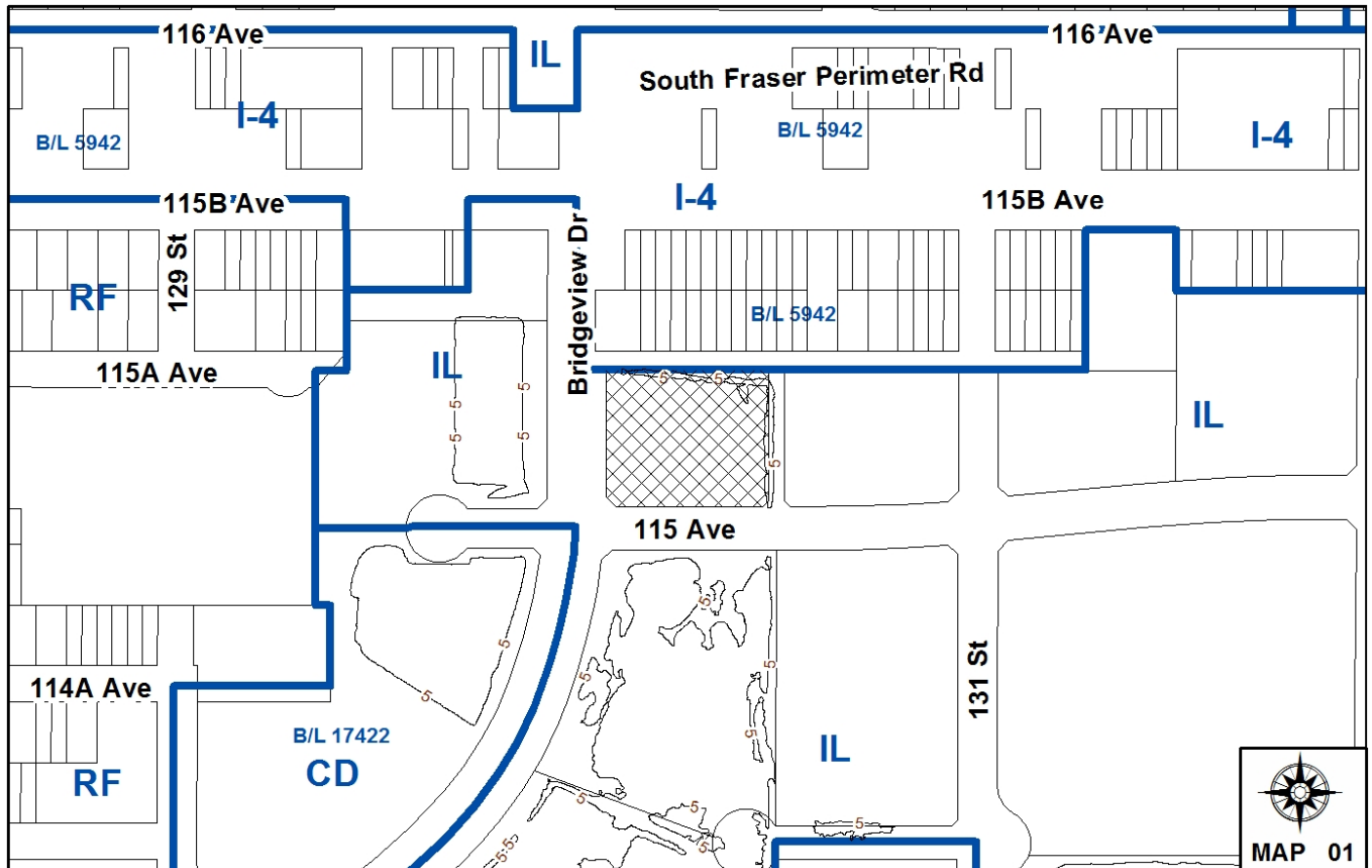
in order to permit the development of a two-storey industrial building.

**LOCATION:** 13025 - 115 Avenue

**OWNER:** Sukhvir S. Dhillon

**ZONING:** IL

**OCP DESIGNATION:** Industrial



### RECOMMENDATION SUMMARY

- Approve the applicant's request to vary the Sign By-law through a comprehensive sign design package.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking to vary the Sign By-law, as part of the Development Permit, to allow three (3) additional fascia signs above the first storey of the proposed building.
- Seeking to vary the IL Zone to reduce the front yard (west) and the north side yard setbacks.

### RATIONALE OF RECOMMENDATION

- Complies with the Industrial designation in the OCP.
- The proposed density and building form are consistent with the existing and proposed industrial buildings in the area.
- Supports the City's Economic Development and Employment Land Strategies.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
2. Council authorize staff to draft Development Permit No. 7913-0205-00, including a comprehensive sign design package, generally in accordance with the attached drawings (Appendix III).
3. Council approve Development Variance Permit No. 7913-0205-00 (Appendix V) varying the following, to proceed to Public Notification:
  - (a) to vary the IL Zone to reduce the minimum front yard (west) setback from 7.5 metres (25 ft.) to 6.5 metres (21 ft.); and
  - (b) to vary the IL Zone to reduce the minimum north side yard setback from 7.5 metres (25 ft.) or 0.0 metre (0.0 ft.) to 2.0 metres (6.5 ft.).
4. Council instruct staff to resolve the following issues prior to final approval:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

## REFERRALS

Engineering:                      The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix IV.

SITE CHARACTERISTICS

Existing Land Use: Pre-loaded, vacant lot

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across unopened lane):	Non-conforming single family dwellings and outdoor storage, and vacant lots.	Industrial	I-4 (By-law No. 5942)
East: (Across unopened lane):	Multi-tenant warehouse building under construction.	Industrial	IL
South (Across 115 Avenue):	Vacant industrial lot.	Industrial	IL
West (Across Bridgeview Drive):	Pre-loaded, vacant land under Development Application No. 7913-0131-00 proposing three multi-tenant industrial buildings.	Industrial	IL

DEVELOPMENT CONSIDERATIONSBackground and Context

- The subject property is located at 13025 – 115 Avenue in Bridgeview, and is designated Industrial in the Official Community Plan (OCP) and zoned "Light Impact Industrial Zone (IL)".
- The subject property is approximately 5,560 square metres (1.4 acres) in size and was created by the City through rezoning and subdivision application No. 7902-0346-00 as part of a 10-lot industrial subdivision. The rezoning received final adoption on July 21, 2003, and the subdivision plan was signed on July 23, 2003.
- As a requirement of the rezoning and subdivision, a Section 219 Restrictive Covenant (RC) was registered against the title requiring a minimum 25% lot coverage and limiting truck parking uses and outdoor storage to 35% of the total area of the site. This requirement fulfilled Council's April 14, 2003 directive for the City-owned industrial lots in Bridgeview being sold.
- A second Section 219 RC was registered against the title to ensure that vehicular access to and egress from the subject site is via 115 Avenue only, and the said driveway must be located a minimum of 25 metres (82 ft.) from Bridgeview Drive.
- Additionally, as this site is within the floodplain, in order to ensure adequate flood proofing measures, a Section 219 RC was registered on title to require a minimum building elevation of 4.4 metres (14.4 ft.) geodetic.

- The I-4 Zone has been in place since 1965, for the purpose of holding the applicable properties for future comprehensive industrial park development. The Bridgeview industrial area is the only area in the City with I-4 zoning.
- It is expected that the existing I-4-zoned lots to the north, some with non-conforming houses, will be rezoned and consolidated in the future to create an industrial lot similar in size to the subject site. The unopened east / west lane will be included in future applications of the I-4-zoned parcels, with the ultimate vehicular access to the future industrial lots via 115B Avenue.

### Current Proposal

- The applicant is proposing to construct a two-storey, multi-tenant industrial building approximately 1,524 square metres (16,408 sq.ft.) in size on the subject site.
- A truck repair business will occupy the largest tenant space (Unit #2). Unit #3 will be occupied by a truck wash business, while a tenant has yet to be confirmed for Unit #1.
- The proposed building will have a floor area ratio (FAR) of 0.28 and a lot coverage of 25%, which is consistent with the maximum FAR of 1.0 and lot coverage of 60% in the IL Zone, and satisfies the minimum 25% lot coverage dictated by the Restrictive Covenant.
- The proposed development also satisfies the locational requirement of the vehicular access and the minimum building elevation as stipulated in the Restrictive Covenants.
- In conjunction with the Development Permit, the applicant has also requested a Development Variance Permit to reduce the west front yard and north side yard setbacks (see By-law Variance section), and to vary the Sign By-law through the Development Permit to allow three (3) additional fascia signs above the first storey of the proposed building (see Appendix II).
- The Ministry of Transportation and Infrastructure (MOTI) constructed a wider median along Bridgeview Drive, south of the South Fraser Perimeter Road (SFPR), after the subject lot was approved in July of 2003 under development application No. 7902-0346-00. As a result, the Roads & Transportation Division of the Engineering Department requested additional road dedication as part of the subject development application, to accommodate the standard vehicular lanes along Bridgeview Drive. The applicant has agreed to dedicate 1.0 metre (3 ft.) along the west property line for the widening of Bridgeview Drive.

### PRE-NOTIFICATION

In accordance with Council policy, a Development Proposal Sign was erected on the property. To date, staff have not received any comments with respect to the proposal.

### DESIGN PROPOSAL AND REVIEW

#### Building Design

- The applicant proposes to construct a two-storey industrial building along the western portion of the subject site, fronting Bridgeview Drive.

- The proposed building is to be constructed with painted tilt-up concrete panels with reveals and tinted glazing. The primary colour of the proposed building is beige with brown accents.
- Black, steel canopies are proposed along the west and south building elevations, which will provide weather protection. Four (4) smaller, steel canopies, also painted black, are proposed along the east building elevation above the rear entry doors.
- A total of seven (7) truck service bays, accessed by steel overhead doors painted brown, are located along the east building elevation.
- The main vehicular access to the subject site is via 115 Avenue along the south property line. A secondary vehicular access is proposed at the north-east corner of the site to connect to the unopened north / south lane, which will be jointly constructed with the owners of the development to the east, after the approval of the subject development application.
- The proposed garbage / recycling enclosures are located along the north property line within the proposed landscaping. The proposed enclosure is constructed with tilt-up concrete panels painted to match the proposed building, and black steel gates with cedar slats.
- Proposed site lighting includes downward-facing pole-mounted lights that are to be installed throughout the parking lot, as well as lighting mounted on the proposed building.
- A pad-mounted transformer unit will be installed at the north-east corner of the subject site, and will be screened by landscaping.
- The applicant proposes to install a 1.8-metre (6-ft.) high, black vinyl covered chain-link fence around the north, east, and south perimeter of the subject site in order to enclose the parking lot for security reasons. The west perimeter in front of the west building facade (along Bridgeview Drive) will not be fenced. Gates are proposed at both vehicular accesses to the site, and at both pedestrian walkways adjacent to the north-west and south-west corners of the proposed building.

### Landscaping

- The applicant proposes to install landscaping along all property lines, as follows:
  - A 4.0-metre (13 ft.) wide landscape strip, comprised of seven (7) red maple trees, rhododendrons, holly and roses, along the west property line adjacent to Bridgeview Drive;
  - A 1.8-metre (6 ft.) wide grassed bioswale along the south property line adjacent to 115 Avenue, as well as four (4) landscape islands between the parking stalls accommodating four (4) oak trees;
  - A 1.5-metre (5 ft.) wide landscape strip, comprised of three (3) oak trees, boxwoods and cedars, along the east property line adjacent to the unopened north / south lane; and
  - Proposed landscaping along the north property line will consist of blue point junipers, rhododendrons and boxwoods.

### Proposed Signage

- The applicant proposes a total of five (5) fascia signs on the proposed building – three (3) on the west building elevation facing Bridgeview Drive and two (2) on the south building elevation facing 115 Avenue.
- The proposed fascia signs are constructed of backlit channel letters, and are proposed over the second storey glazing.
- The Sign By-law allows a maximum of two (2) fascia signs per lot frontage to be installed above the first storey of a building – one (1) for building identification (name or address) and one (1) tenant identification. Only one tenant is permitted fascia signage above the first storey of a building.
- All of the proposed fascia signs are for tenant identification, and as a result, a relaxation is required to allow three (3) fascia signs to be installed above the first storey of the proposed building.
- A free-standing sign is proposed at the southwest corner of the site. The proposed free-standing sign is approximately 2.1 metres (7 ft.) high and will be installed at least 2.0 metres (6.6 ft.) from the property line, which complies with the Sign By-law. The colour and design of the proposed free-standing sign will match the proposed building.
- The proposed fascia signs, which form part of the subject Development Permit application, together with the proposed free-standing sign, are considered a comprehensive sign package. As a result, Council may approve the proposed signage through a Development Permit without a Development Variance Permit. The applicable variance to the Sign By-law is described in Appendix II.

### BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum front yard (west) setback from 7.5 metres (25 ft.) to 6.5 metres (21 ft.).

Applicant's Reason:

- In order to maximize the building area and to allow for truck circulation, a variance from the west property line is requested.

Staff Comments:

- The applicant has agreed to provide a 1.0-metre (3 ft.) road dedication along the west property line for the widening of Bridgeview Drive. As a result of the road dedication, the applicant has requested a minor relaxation to the front yard (west) setback in order to maintain the proposed building size and on-site vehicle parking / circulation.
- The brewery building to the south-west of the subject site, located at 11411 Bridgeview Drive, was approved by Council under rezoning application No. 7911-0022-00 on April 23, 2012. The brewery building is also set back 6.5 metres (21 ft.) from Bridgeview Drive in accordance with Comprehensive Development (CD) By-law No. 17422.

- Staff support the requested variance.

(b) Requested Variance:

- To reduce the minimum north side yard setback from 7.5 metres (25 ft.) or 0.0 metre (0.0 ft.) to 2.0 metres (6.5 ft.).

Applicant's Reason:

- Due to the installation of a lock-block retaining wall along the north property line, a 2.0-metre (6.5 ft.) setback is proposed.

Staff Comments:

- The applicant proposes a 2.0-metre (6.5 ft.) north side yard setback. According to the IL Zone, one (1) side yard setback shall be either 7.5 metres (25 ft.) or 0.0 metre (0.0 ft.) if the said side yard abuts land which is commercial or industrial. The lands to the north, including the unopened east / west lane, are designated Industrial in the Official Community Plan (OCP).
- Due to a change in grades between the subject site and the lands to the north (the land slopes downward from south to north), the applicant proposes to install a 0.8-metre (2.5 ft.) high retaining wall along the west portion of the north property line.
- In order to accommodate the retaining wall and a walkway along the north side of the proposed building, the applicant has requested a relaxation to the 7.5-metre (25 ft.) or 0.0 metre (0.0 ft.) north side yard setback requirement.
- The proposed 2.0-metre (6.5 ft.) separation between the proposed building and the north lot line is not expected to attract vandalism and graffiti, since that portion of the subject site is fenced and secure at all times.
- Staff support the requested variance.



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INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Proposed Sign By-law Variance Table
- Appendix III. Site Plan, Building Elevations, Landscape Plans
- Appendix IV. Engineering Summary
- Appendix V. Development Variance Permit No. 7913-0205-00

*original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

DN/da

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DRV 5/7/14 10:18 AM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:     Name:             Dave Batten  
  Krahn Group of Companies  
  Address:         34077 - Gladys Avenue, Unit 400  
  Abbotsford, BC V2S 2E8  
  
  Tel:                 (604) 853-8831 - Work
  
2.     Properties involved in the Application
  - (a)     Civic Address:             13025 - 115 Avenue
  
  - (b)     Civic Address:             13025 - 115 Ave  
          Owner:                    Sukhvir S. Dhillon  
          PID:                        025-698-265  
          Lot 1 Section 9 Block 5 North Range 2 West New Westminster District Plan BCP6482
  
3.     Summary of Actions for City Clerk's Office
  - (a)     Proceed with Public Notification for Development Variance Permit No. 7913-0205-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the issuance of the associated Development Permit No. 7913-0205-00.

## DEVELOPMENT DATA SHEET

Existing Zoning: IL

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA</b>		
Gross Total		
Road Widening area		58.4 m <sup>2</sup> (630 ft <sup>2</sup> )
Undevelopable area		
Net Total		5,501 m <sup>2</sup> (59,220 ft <sup>2</sup> )
<b>LOT COVERAGE (in % of net lot area)</b>		
Buildings & Structures (required by RC)	min. 25%	25%
Paved & Hard Surfaced Areas		65%
Total Site Coverage		90%
<b>SETBACKS</b>		
Front (west)	7.5 metres (25 ft.)	6.5 metres (21 ft.)*
Rear (east)	7.5 metres (25 ft.)	47 metres (154 ft.)
Side (north)	7.5 metres (25 ft.)	2.0 metres (6.5 ft.)*
Flanking side (south)	7.5 metres (25 ft.)	16.0 metres (52 ft.)
<b>BUILDING HEIGHT</b>		
Principal	18 metres (60 ft.)	10 metres (32.5 ft.)
Accessory	6 metres (20 ft.)	N/A
<b>NUMBER OF RESIDENTIAL UNITS</b>		
Bachelor	1	N/A
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
<b>FLOOR AREA: Residential</b>		
		N/A
<b>FLOOR AREA: Commercial</b>		
Retail		
Office		
Total		
<b>FLOOR AREA: Industrial</b>		
	5,501 m <sup>2</sup> (59,212 ft <sup>2</sup> )	1,524 m <sup>2</sup> (16,408 ft <sup>2</sup> )
<b>FLOOR AREA: Institutional</b>		
		N/A
<b>TOTAL BUILDING FLOOR AREA</b>	<b>5,501 m<sup>2</sup> (59,212 ft<sup>2</sup>)</b>	<b>1,524 m<sup>2</sup> (16,408 ft<sup>2</sup>)</b>

***\*Seeking variance***

**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.0	0.28
AMENITY SPACE (area in square metres)		N/A
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		N/A
Industrial	18	20
Residential Bachelor + 1 Bedroom		N/A
2-Bed		
3-Bed		
Residential Visitors		N/A
Institutional		N/A
Total Number of Parking Spaces	18	20
Number of disabled stalls	1	1
Number of small cars		N/A
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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## PROPOSED SIGN BY-LAW VARIANCE

#	Proposed Variance	Sign By-law Requirement	Rationale
1	To allow three (3) fascia signs to be installed above the first storey of the proposed building	The Sign By-law allows a maximum of two (2) fascia signs per lot frontage to be installed above the first storey of a building – one (1) for building identification (name or address) and one (1) tenant identification. Only one tenant is permitted fascia signage above the first storey of a building.	The proposed fascia signs are of an appropriate size and scale in relation to the proposed building, and will provide adequate signage for the three (3) tenants.



**CITY OF SURREY  
ZONING BY-LAW ANALYSIS**

- ZONING:**  
LIMIT IMPACT INDUSTRIAL ZONE (L.I.)
- SITE AREA:**  
1.37 Acres (5,916 sq. ft.) (18,000 sq. ft.) - EXCLUDING ROAD DEDICATION  
1.26 Acres (5,424 sq. ft.) (18,216 sq. ft.) - EXCLUDING ROAD DEDICATION
- SITE COVERAGE:**  
ALL OVERALL SITE COVERAGE = 80% (MIN. PER COVENANT ENDS/MSM)  
BUILDING AREA = 14,854 sq. ft.  
TOTAL FLOOR AREA = 19,405 sq. ft.  
PROPOSED SITE COVERAGE = 14,854/18,216 = 81.5% (S.L.P.)  
FAR = 14,854/216.4 = 0.28
- MAXIMUM PERMISSIBLE HEIGHT:**  
PROPOSED HEIGHT = 9.0 m (29'-7")  
PROPOSED HEIGHT = 6.91 m (22'-7")
- SETBACKS:**  
FRONT YARD: 7.8 m (25'-6") (VARIANCE REQ'D)  
REAR YARD: 7.8 m (25'-6") (S)  
SIDE YARD: 7.8 m (25'-6") (S)  
ADJUTING A STREET: 7.8 m (25'-6")  
*\* ONE SIDE YARD SHALL BE DEDICATED TO WIDE YARD ADJUTING LAND EITHER BE COMMERCIAL OR INDUSTRIAL PARALLEL REQ'D AT NORTH P.L., VARIANCE REQ'D AT WEST P.L. DUE TO ROAD DEDICATION, AS INDICATED ON PLAN 999*
- LANDSCAPING:**  
ALL LANDSCAPING TO CITY OF SURREY SCOPING BY-LAW SEE LANDSCAPE PLAN FOR DETAILS
- PARKING REQUIREMENTS:**  
INDUSTRIAL SPACE:  
1 STALL PER 1,075.88 sq. ft. (100 req.)  
AUXILIARY OFFICE SPACE:  
1 STALL PER 1,075.88 sq. ft. (100 req.)  
  

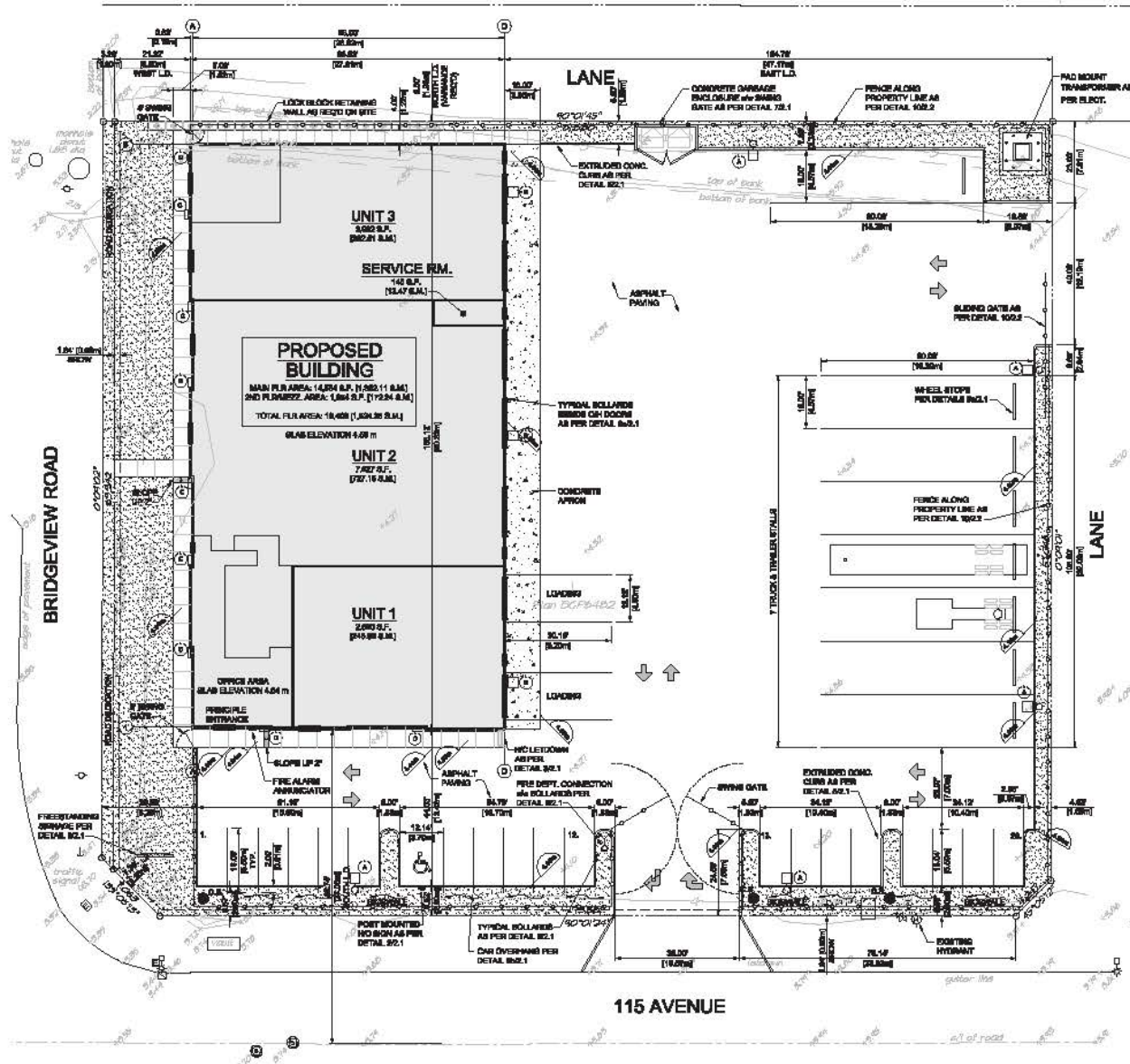
<b>UNIT #1</b>	WOODHOUSE	2,688 sq. ft. / 1,245.30	= 2.49
<b>UNIT #2</b>	SERVICE AREA	1,871 sq. ft. / 1,075.88	= 0.49
	MAIN FLOOR OFFICE	846 sq. ft. / 1,075.88	= 0.19
	SECOND FLOOR OFFICE	1,294 sq. ft. / 1,075.88	= 1.37
	FUTURE SECOND FLOOR OFFICE	1,274 sq. ft. / 1,075.88	= 1.75
	<b>TOTAL</b>		= 16.28
<b>UNIT #3</b>	WASH AREA	2,348 sq. ft. / 1,075.88	= 0.11
	MAIN FLOOR OFFICE	880 sq. ft. / 1,075.88	= 0.82
	OPEN MEZZANINE	480 sq. ft. / 1,075.88	= 0.42
	FUTURE SECOND FLOOR OFFICE	888 sq. ft. / 1,075.88	= 0.82
	<b>TOTAL</b>		= 0.81
	<b>TOTAL STALLS REQUIRED</b>		= 17 (17.88)
	<b>TOTAL STALLS PROVIDED</b>		= 28 (20 CARS + 8 TRUCKS)

<b>PARKING SPACE SIZES:</b>	
TYP. SPACE (5' xw AMI. S)	= 2.78 m x 8.8 m (9'-2" x 28'-7")
TYP. SPACE (7' xw AMI. S)	= 2.88 m x 8.8 m (9'-6" x 28'-7")
PARALLEL SPACE:	= 2.8 m x 9.7 m (9'-2" x 31'-8")
SMALL CAR SPACE:	= 2.76 m x 4.8 m (9'-1" x 15'-7")
HANDICAP SPACE:	= 3.7 m x 5.5 m (12'-1" x 18'-0")
LOADING SPACE:	= 4.5 m x 8.2 m (14'-9" x 26'-9")

**LEGEND**

- PROPOSED ELEVATIONS**
- EXISTING ELEVATIONS**
- □ SITE LIGHTING TYPE 11 (TYP OF 18) MOUNTED ON 2" x 4" x 1/2" POLY CONCRETE BASE (TOTAL HEIGHT OF 24'-0")
  - ⊕ □ SITE LIGHTING TYPE 12 (TYP OF 18) MOUNTED ON FACE OF BUILDING 2" x 4" x 1/2"
  - ⊙ □ SITE LIGHTING TYPE 13 (TYP OF 18) MOUNTED ON FACE OF BUILDING 8'-0" x 4" x 1/2"



**SITE PLAN**  
SCALE 1" = 10'

**Krahn**  
GROUP OF COMPANIES

WAGDOUGHS OFFICE  
815 - 1201 GARDINER ST. WAGDOUGHS, BC, V8W 2Y7  
P: 604.293.2882 F: 604.293.2888 www.krahn.com

ABSTRACTED OFFICE  
100 - 10550 CLAYTON BLVD. ABSTRACTED, BC, V8W 2S8  
P: 604.262.0171 F: 604.262.0188 www.krahn.com



1	2014-06-06	PER SQUARE POLYUREA PERMIT
2	2014-06-06	PER SQUARE POLYUREA PERMIT
3	2014-01-08	PER SQUARE POLYUREA PERMIT
4	2014-05-11	100' WIND PERM. & S.W. PERMIT

DESIGNER: A. ANDERSON  
DRAWN: J. ANDERSON  
SCALE:

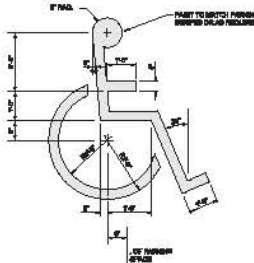
*Krahn*

**PROPOSED FACILITY FOR Dhillon TRUCK REPAIR**

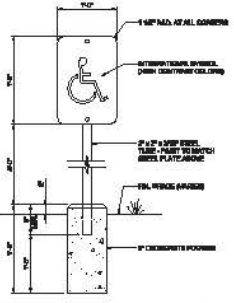
PROPOSED ADDRESS:  
18226 - 116 AVE, SURREY,  
BRITISH COLUMBIA, CANADA

**SITE PLAN,  
BY-LAW ANALYSIS**

SCALE: AS SHOWN  
DATE: 04/20/14  
PROJECT NO: 14-0101  
DRAWING NO: 14-0101-01

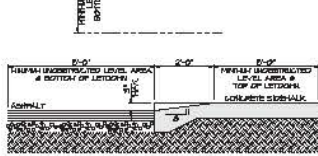
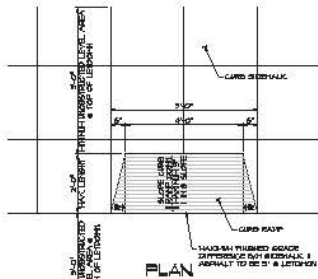


**PAINTED H/C SYMBOL**  
**DETAIL 1**  
 SCALE: 1/4" = 1'-0"  
 (ASPH. / ASPHALT)

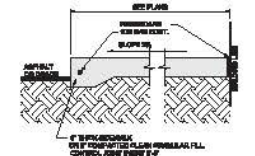


**POST MOUNTED H/C SIGN**  
**DETAIL 2**  
 SCALE: 1/4" = 1'-0"  
 (ASPH. / ASPHALT)

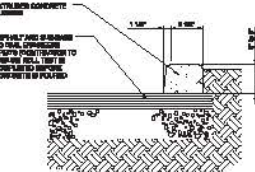
- NOTE:**
1. SIGNS & SIGNS SHALL BE PROPERLY CENTERED AT FRONT OF PARKING SPACE
  2. SIGN POST SHALL BE LOCATED NO FURTHER THAN 1/2" FROM THE FRONT OF EACH PARKING SPACE WITH A MINIMUM 1'-0" CLEARANCE
  3. SIGNAGE SHALL BE PLACED ON CURB OR WALL AT SIGN LOCATION
  4. SIGNAGE SHALL BE PLACED IN PROPER ALIGNMENT WITH SIGNS. PROVIDE PRECAST SIGNAGE



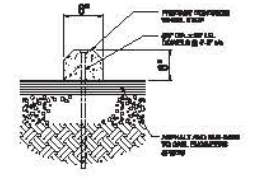
**H/C LETDOWN / CURB RAMP**  
**DETAIL 3**  
 SCALE: 1/4" = 1'-0"  
 (ASPH. / ASPHALT)



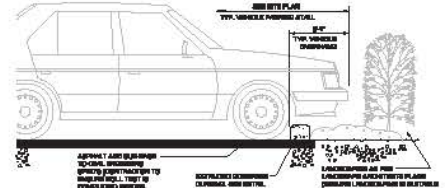
**SIDEWALK**  
**DETAIL 4**  
 SCALE: 1/4" = 1'-0"  
 (ASPH. / ASPHALT)



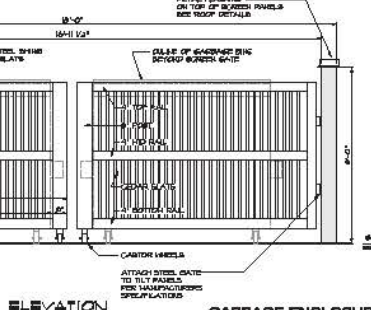
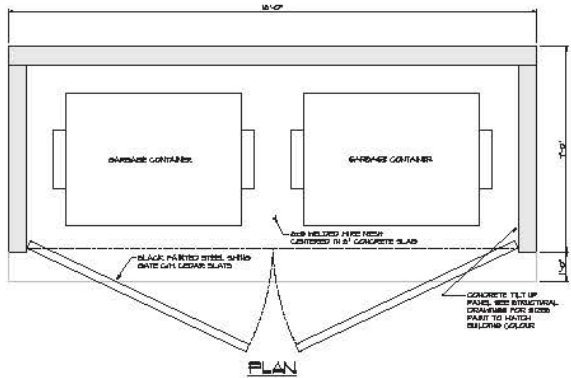
**CONCRETE CURB**  
**DETAIL 5**  
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 (ASPH. / ASPHALT)



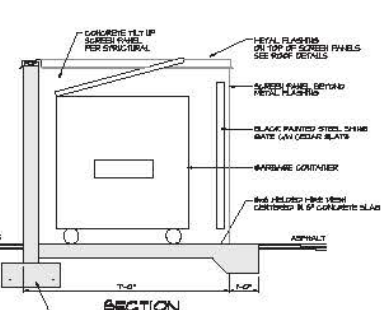
**WHEELSTOP**  
**DETAIL 6a**  
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 (ASPH. / ASPHALT)



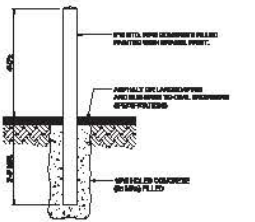
**CAR OVERHANG**  
**DETAIL 6b**  
 SCALE: 1/4" = 1'-0"  
 (ASPH. / ASPHALT)



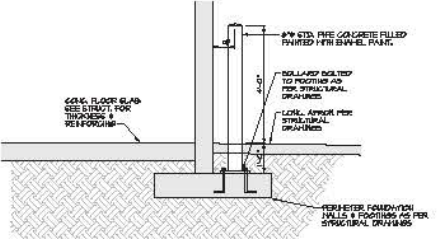
**GARAGE ENCLOSURE**  
**DETAIL 7**  
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 (ASPH. / ASPHALT)



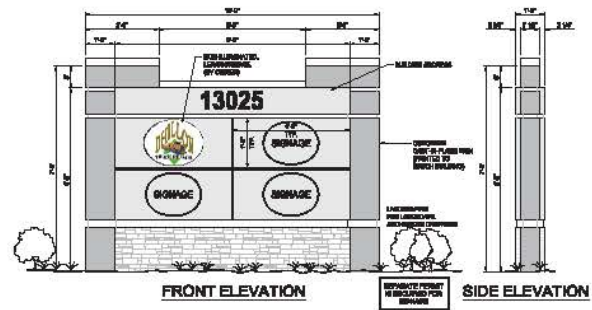
**SECTION**  
 SCALE: 1/4" = 1'-0"  
 (ASPH. / ASPHALT)



**BOLLARD**  
**DETAIL 8**  
 SCALE: 1/4" = 1'-0"  
 (ASPH. / ASPHALT)



**BOLLARD**  
**DETAIL 8a**  
 SCALE: 1/4" = 1'-0"  
 (ASPH. / ASPHALT)



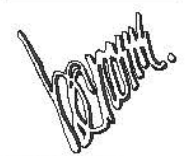
**MONUMENT SIGN**  
**DETAIL 9**  
 SCALE: 1/4" = 1'-0"  
 (ASPH. / ASPHALT)



1800 WEST 4TH AVENUE, SURREY, BC V4L 1Y7  
 P: 604.581.2222 F: 604.581.2222 WWW.KRAHN.COM



1. 2014-10-01	REVISED PER LOCAL PERMIT
2. 2014-11-01	REVISED PER LOCAL PERMIT
3. 2014-11-01	ISSUED FOR LOCAL PERMIT



PROPOSED FACILITY FOR DHILLON TRUCK REPAIR

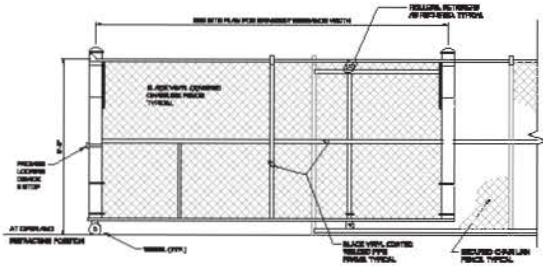
13025 - 116 AVE, SURREY, BRITISH COLUMBIA, CANADA

**SITE DETAILS**

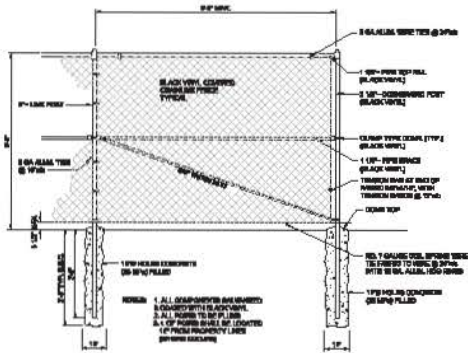
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DATE:	10/20/2014
DESIGNER:	DK
PROJECT NO.:	13025
DATE:	10/20/2014

**A2.1**

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SLIDING GATE DETAIL



TYPICAL FENCE DETAIL

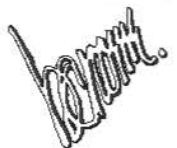
DETAIL 10  
 SCALE: 1/4" = 1'-0" (VERTICAL)  
 22



BRANSON OFFICE  
 413 - 1ST STREET SW BRANSON, MO 64604  
 P. 417.733.4400 F. 417.733.4400 WWW.KRAHN.COM  
 ARMYTOWN OFFICE  
 600 - 1ST STREET SW ARMYTOWN, MO 64405  
 P. 417.733.4400 F. 417.733.4400 WWW.KRAHN.COM



- 1 2014-2020 70-6000 FORK LIFT
  - 2 2014-2020 75-8000 FORK LIFT
  - 1 2012-2011 10000 FORK LIFT
- REG. 2010-2011 10000 FORK LIFT  
 2010-2011 10000 FORK LIFT  
 2010-2011 10000 FORK LIFT



BRANSON OFFICE  
 413 - 1ST STREET SW BRANSON, MO 64604  
 P. 417.733.4400 F. 417.733.4400 WWW.KRAHN.COM

**PROPOSED FACILITY  
 for DHILLON TRUCK  
 REPAIR**

16225 - 116 AVE, SURREY,  
 BRITISH COLUMBIA, CANADA

**SITE DETAILS**

NO. 10	NO. 10
NO. 10	NO. 10
NO. 10	NO. 10
NO. 10	NO. 10
NO. 10	NO. 10

**A2.2**

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WEST VIEW (A)  
SCALE: NTS (XREF: ) 2.3



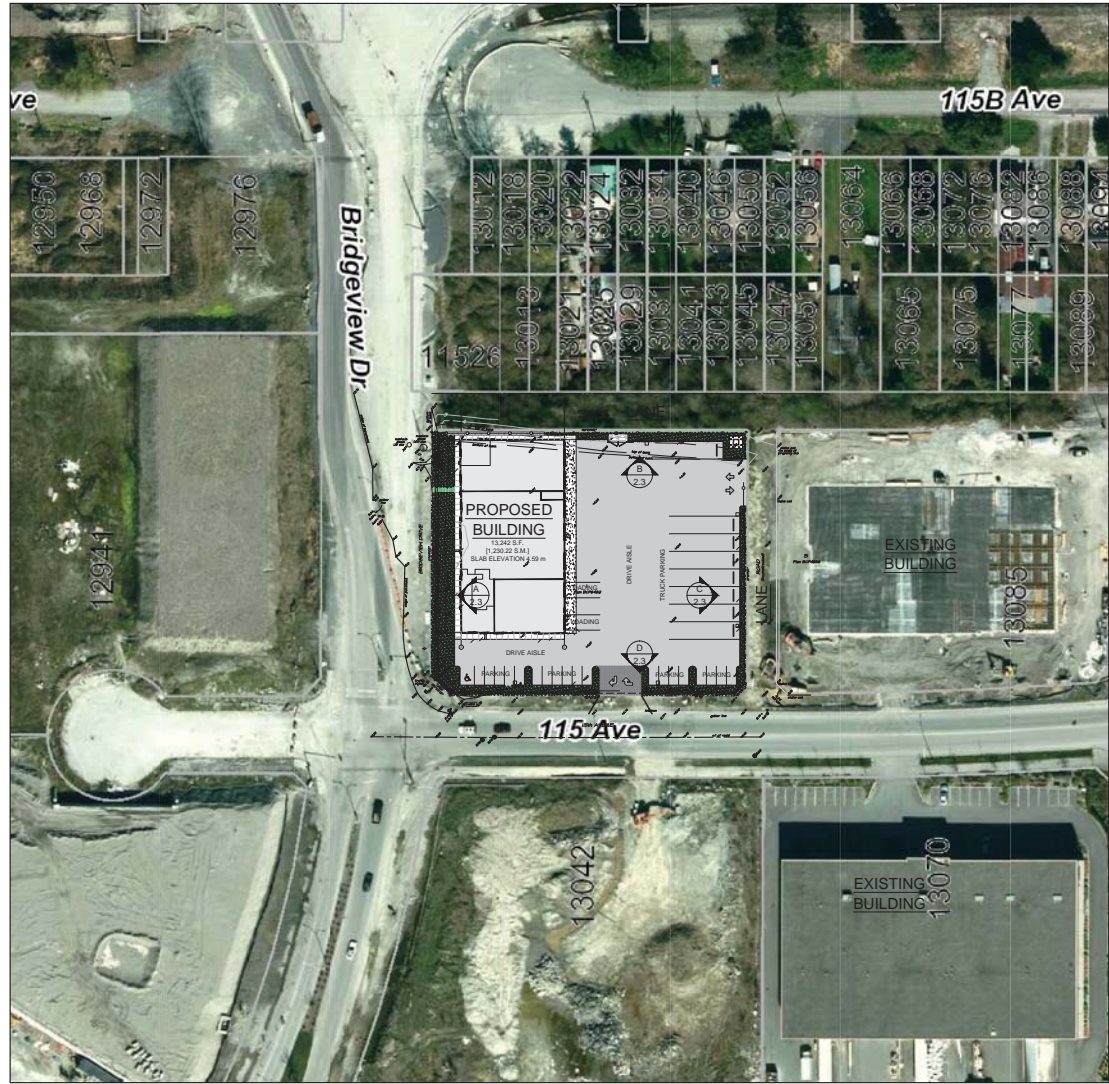
NORTH VIEW (B)  
SCALE: NTS (XREF: ) 2.3



EAST VIEW (C)  
SCALE: NTS (XREF: ) 2.3



SOUTH VIEW (D)  
SCALE: NTS (XREF: ) 2.3



SITE PLAN  
SCALE: 1" = 50'



VANCOUVER OFFICE  
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P. 604.284.2692 F. 604.284.6595 www.krahn.com

ABBOTSFORD OFFICE  
405 - 3457 GLADYS AVE. ABBOTSFORD, BC V3B 2S4  
P. 604.855.8831 F. 604.855.1590 www.krahn.com



3	2014-03-26	RE-ISSUED FOR DEV. PERMIT
2	2014-01-28	RE-ISSUED FOR DEV. PERMIT
1	2013-09-11	ISSUED FOR DEV. PERMIT
NO.	DATE (Y/M/D)	DESCRIPTION
ISSUES & REVISIONS		
SEAL:		



BROCK CROOME ARCHITECT  
ARCHITECTURE PLANNING TEAM/LEAD BY URBAN PROGRAMS  
405 - 3457 GLADYS AVE. ABBOTSFORD, BC V3B 2S4  
P. 604.855.8831 F. 604.855.1590

PROJECT NAME  
**PROPOSED FACILITY  
for DHILLON TRUCK  
REPAIR**

PROJECT ADDRESS  
**13025 - 115 AVE, SURREY,  
BRITISH COLUMBIA, CANADA**

DRAWING TITLE  
**CONTEXT PLAN**

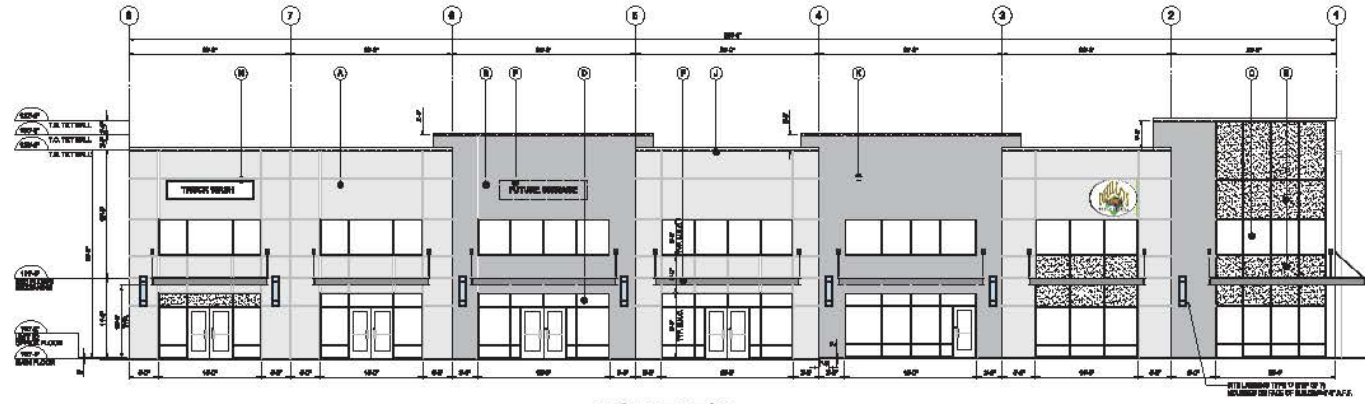
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DRAWN:	MV/BS
CHECKED:	JX
PROJECT NO.:	A1212
DRAWING NO.:	

**A2.3**

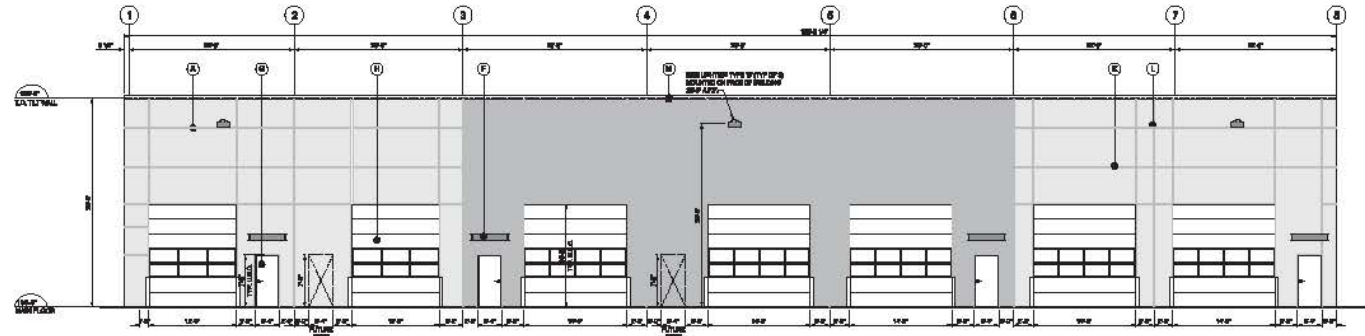
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- LEGEND**
- ① ④ COMPRESSIVE TILE UP FINISH - 15MM BUILDING TYPICAL
  - ② ⑤ COMPRESSIVE TILE UP FINISH - 15MM BUILDING TYPICAL
  - ③ ⑥ CUSTOM BRICK CLADDING ALUMINUM FINISHES REFER TO THIS PLAN
  - ⑦ ⑩ BRICKWORK CLADDING ⑪ ⑫ 15MM FINISHED ALUMINUM FINISHES REFER TO THIS PLAN
  - ⑬ ⑭ BRICKWORK CLADDING ⑮ ⑯ 15MM FINISHED ALUMINUM FINISHES REFER TO THIS PLAN
  - ⑰ ⑱ STEEL CASSETTE
  - ⑲ ⑳ STEEL SANGREOLA
  - ㉑ ㉒ STEEL OVERHEAD DOOR
  - ㉓ ㉔ PRE-FINISHED METAL FLASHING - BLACK
  - ㉕ ㉖ 15MM CONCRETE REVEAL
  - ㉗ ㉘ PANEL JOINT COULTERS & BOLTED
  - ㉙ ㉚ SLOTTED - SEE ROOF PLAN FOR LOCATION
  - ㉛ ㉜ BUILDUP DETAILS - SEE OTHERS
  - ㉝ ㉞ FINISH BUILDING SURFACE - SEE OTHERS
  - ㉟ ㊱ BOLLARDS
- THE ABOVE LEGEND ITEMS ARE SHOWN ONLY IN A SUMMARY OF THE LEGENDS PROVIDED THEY APPLY TO ALL ASSEMBLY MEMBERSHIP TYPES (NOT THE REVERSE).

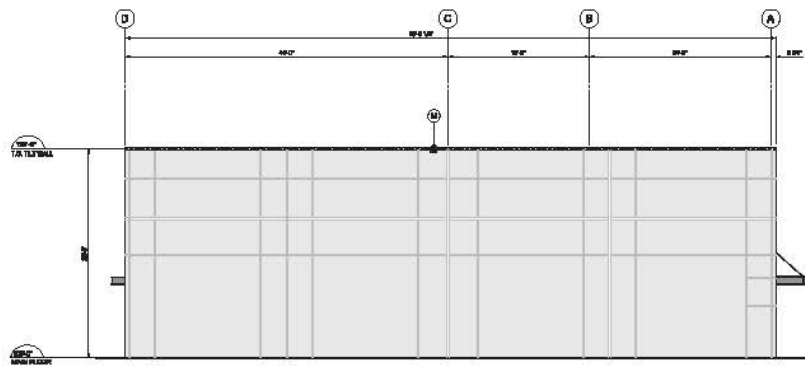
- COLOUR LEGEND**
- ① BUILDUP COLOUR C1 POLYURETHANE FINISHES (POLYURETHANE COLOUR 400-414)
  - ② BUILDUP COLOUR C2 POLYURETHANE FINISHES (POLYURETHANE COLOUR 400-414)
  - ③ BUILDUP COLOUR C3 POLYURETHANE FINISHES (POLYURETHANE COLOUR 400-414)
  - ④ BUILDUP COLOUR C4 POLYURETHANE FINISHES (POLYURETHANE COLOUR 400-414)
  - ⑤ BUILDUP COLOUR C5 POLYURETHANE FINISHES (POLYURETHANE COLOUR 400-414)
  - ⑥ BUILDUP COLOUR C6 POLYURETHANE FINISHES (POLYURETHANE COLOUR 400-414)
  - ⑦ BUILDUP COLOUR C7 POLYURETHANE FINISHES (POLYURETHANE COLOUR 400-414)
  - ⑧ BUILDUP COLOUR C8 POLYURETHANE FINISHES (POLYURETHANE COLOUR 400-414)
  - ⑨ BUILDUP COLOUR C9 POLYURETHANE FINISHES (POLYURETHANE COLOUR 400-414)
  - ⑩ BUILDUP COLOUR C10 POLYURETHANE FINISHES (POLYURETHANE COLOUR 400-414)
  - ⑪ BUILDUP COLOUR C11 POLYURETHANE FINISHES (POLYURETHANE COLOUR 400-414)
  - ⑫ BUILDUP COLOUR C12 POLYURETHANE FINISHES (POLYURETHANE COLOUR 400-414)
  - ⑬ BUILDUP COLOUR C13 POLYURETHANE FINISHES (POLYURETHANE COLOUR 400-414)
  - ⑭ BUILDUP COLOUR C14 POLYURETHANE FINISHES (POLYURETHANE COLOUR 400-414)
  - ⑮ BUILDUP COLOUR C15 POLYURETHANE FINISHES (POLYURETHANE COLOUR 400-414)
  - ⑯ BUILDUP COLOUR C16 POLYURETHANE FINISHES (POLYURETHANE COLOUR 400-414)
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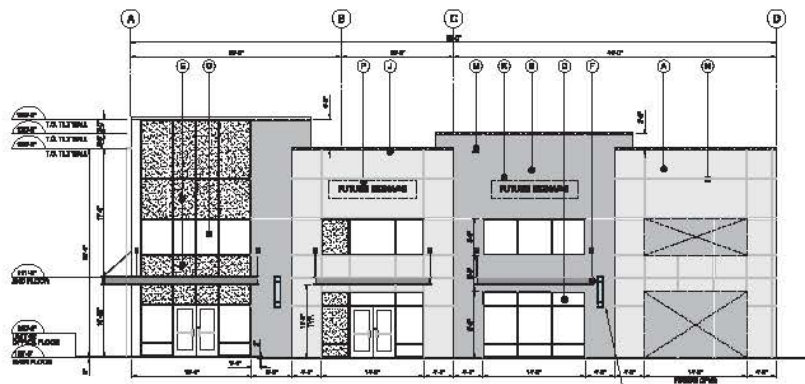
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SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

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2. 2014-03-20 FORWARDED FOR DOK REVIEW  
3. 2014-03-25 FORWARDED FOR DOK REVIEW  
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*Krahn*

PROJECT NAME  
**PROPOSED FACILITY  
for DHILLON TRUCK  
REPAIR**

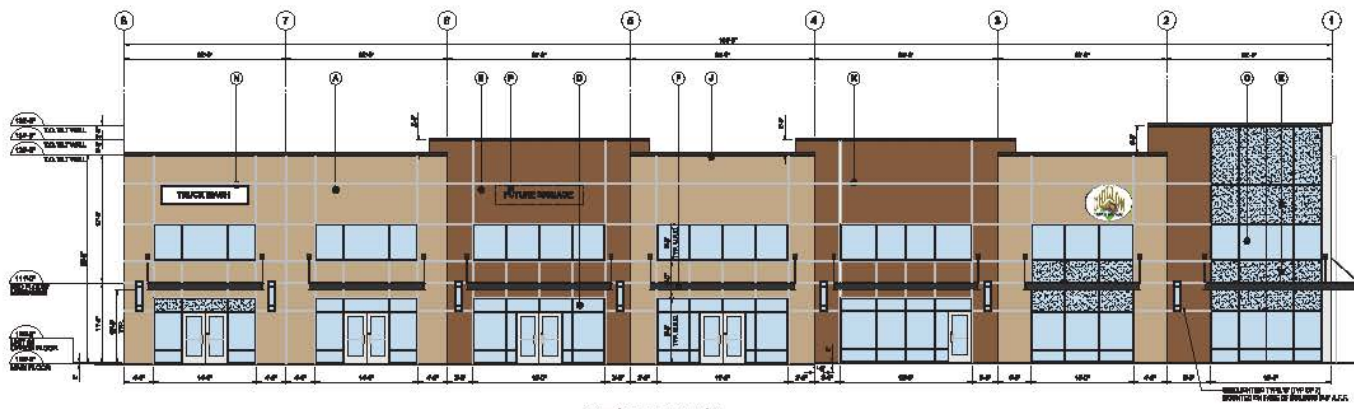
PROJECT ADDRESS  
**13025 - 116 AVE, SURREY,  
BRITISH COLUMBIA, CANADA**

PROJECT TYPE  
**BUILDING ELEVATIONS**

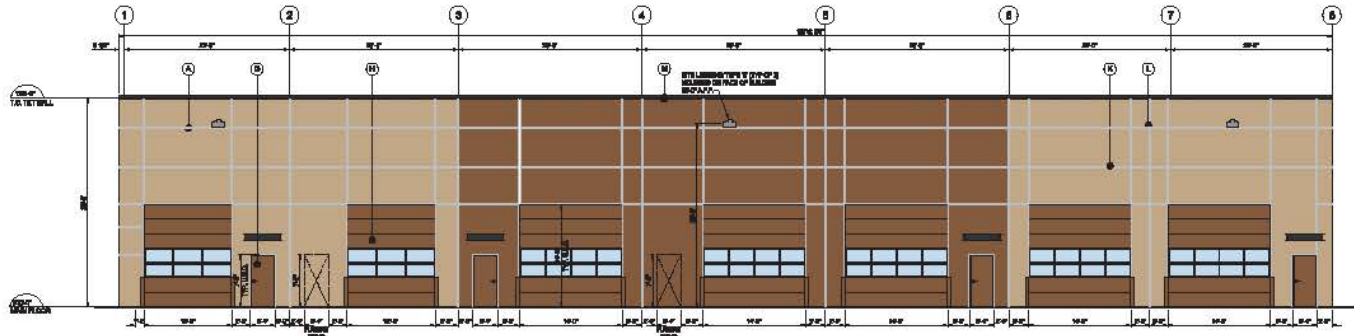
SCALE	AS NOTED
DATE	2014-03-25
DESIGNER	IN
PROJECT NO.	13025
DESIGNED BY	

- LEGEND**
- ① CONCRETE TILT UP PANEL - WITH BALKONY COURSE
  - ② CONCRETE TILT UP PANEL - RECESS BALKONY COURSE
  - ③ CONCRETE TILT UP PANEL - RECESS BALKONY COURSE
  - ④ CONCRETE TILT UP PANEL - RECESS BALKONY COURSE
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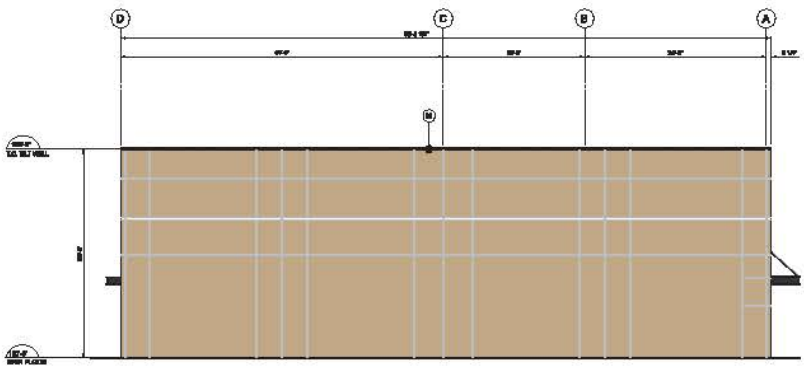
- COLOUR LEGEND**
- ① BUILDING COLOUR C1 CONCRETE PANELS (EXTERIOR WALLS)
  - ② BUILDING COLOUR C2 CONCRETE PANELS (INTERIOR WALLS)
  - ③ BUILDING COLOUR C3 CONCRETE PANELS (INTERIOR WALLS)
  - ④ BUILDING COLOUR C4 CONCRETE PANELS (INTERIOR WALLS)
  - ⑤ BUILDING COLOUR C5 CONCRETE PANELS (INTERIOR WALLS)
  - ⑥ BUILDING COLOUR C6 CONCRETE PANELS (INTERIOR WALLS)
  - ⑦ BUILDING COLOUR C7 CONCRETE PANELS (INTERIOR WALLS)
  - ⑧ BUILDING COLOUR C8 CONCRETE PANELS (INTERIOR WALLS)
  - ⑨ BUILDING COLOUR C9 CONCRETE PANELS (INTERIOR WALLS)
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  - ㊼ BUILDING COLOUR C47 CONCRETE PANELS (INTERIOR WALLS)
  - ㊽ BUILDING COLOUR C48 CONCRETE PANELS (INTERIOR WALLS)
  - ㊾ BUILDING COLOUR C49 CONCRETE PANELS (INTERIOR WALLS)
  - ㊿ BUILDING COLOUR C50 CONCRETE PANELS (INTERIOR WALLS)



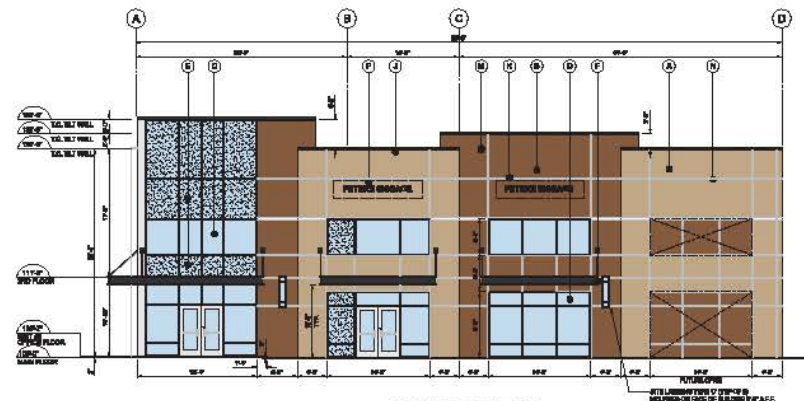
**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

1 2014-04-08 PERMITTED FOR LOCAL PERMIT  
 2 2014-04-08 PERMITTED FOR LOCAL PERMIT  
 3 2014-04-08 PERMITTED FOR LOCAL PERMIT  
 4 2014-04-08 PERMITTED FOR LOCAL PERMIT

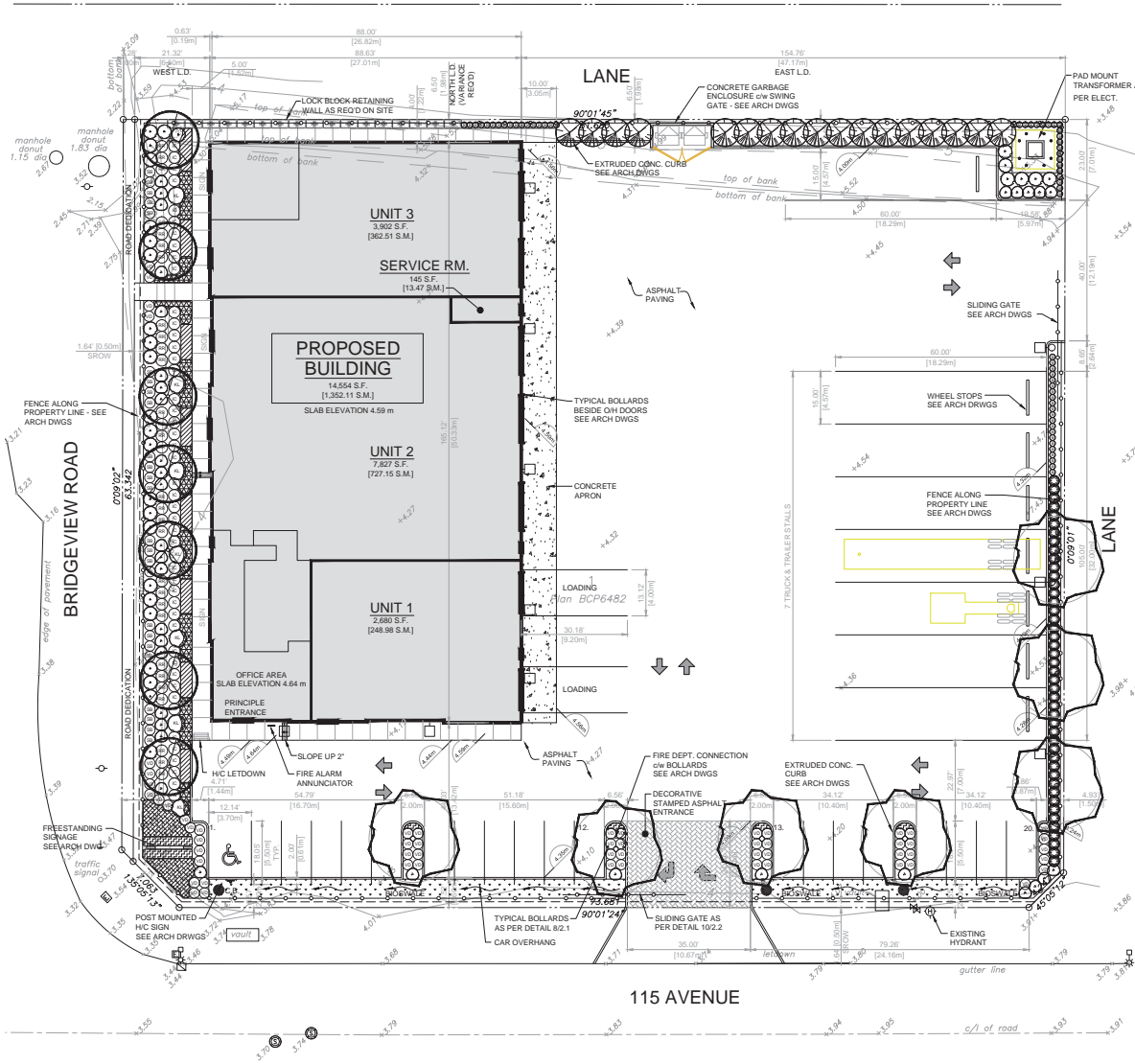
*Krahn*

PROPOSED FACILITY  
 for DHILLON TRUCK  
 REPAIR

18225 - 116 AVE, SURREY,  
 BRITISH COLUMBIA, CANADA

**BUILDING COLOURED  
 ELEVATIONS**

SCALE:	AS SHOWN
DATE:	2014/04/08
DESIGNER:	DKC
PROJECT NO.:	18225
CLIENT:	DKC



### PLANT LIST & LEGEND

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE, SPACING, COMMENTS
<b>TREES</b>				
	7	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	6 CM CAL. B&B.
	17	JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	1.5 M HT. B&B, 180 CM O.C.
	7	QUERCUS FRAINETTO 'FOREST GREEN'	FOREST GREEN OAK	6 CM CAL. B&B
<b>SHRUBS</b>				
	60	BUXUS SEMPERVIRENS 'MONRUE'	GREEN TOWER BOXWOOD	#3 POT, 50 CM O.C.
	46	ILEX CRENATA	JAPANESE HOLLY	#3 POT, 100 CM O.C.
	7	KALMIA LATIFOLIA	MOUNTAIN LAUREL	#5 POT, 150 CM O.C.
	30	RHOODENDRON 'PJM'	PJM RHOODENDRON	#5 POT, 150 CM O.C.
	35	RHOODENDRON MACROPHYLLUM	PACIFIC RHOODENDRON	#3 POT, 120 CM O.C.
	30	ROSA RUGOSA 'HANSA'	RUGOSA ROSE	#3 POT, 100 CM O.C.
	25	SPIRAEA x BUMALDA 'GOLD FLAME'	GOLD FLAME SPIREA	#3 POT, 90 CM O.C.
	26	VIBURNUM DAVIDII	DAVID VIBURNUM	#2 POT, 90 CM O.C.
	45	THUJA OCCIDENTALIS 'SMARGO'	EMERALD GREEN CEDAR	1.2 M HT. 75 CM O.C.
<b>GROUNDCOVERS</b>				
	182	ARCTOSTAPHYLOS UVA-URSI	KINNICKINICK	#1 POT, 45 CM O.C.
	52	FESTUCA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	#1 POT, 30 CM O.C.
	115	HEMEROCALLIS x 'LITTLE GRAPETTE'	LITTLE GRAPETTE	#1 POT, 30 CM O.C.
	76	LIRIOPE MUSCARI 'VARIEGATA'	DWARF DAFFILY	#1 POT, 60 CM O.C.
	-	GRASSED BIOSWALE		

2 2014-03-28 RE-ISSUED FOR DEV. PERMIT  
 1 2013-05-09 ISSUED FOR DEV. PERMIT  
 NO. DATE (MM/DD) DESCRIPTION  
 ISSUES & REVISIONS

SCALE:	AS NOTED
DRAWN:	SW
CHECKED:	SW
PROJECT NO.:	L13015
DRAWING NO.:	

INTER-OFFICE MEMO

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TO: **Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **May 6, 2014** PROJECT FILE: **7813-0205-00**

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RE: **Engineering Requirements (Commercial/Industrial)  
Location: 13025 115 Avenue**

**DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT**

The following issues are to be addressed as a condition of issuance of the Development Permit and Development Variance Permit:

***Property and Right-of-Way Requirements***

- dedicate 1.0-metre along Bridgeview Drive to 32-metre arterial road standard; and
- provide 0.5-metre statutory right-of-way (SRW) along Bridgeview Drive.

***Works and Services***

- construct 1.8-metre asphalt pathway along 115 Avenue;

A Servicing Agreement is required prior to Building Permit.



Rémi Dubé, P.Eng.  
Development Services Manager

sk

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7913-0205-00

Issued To: Sukhvir S. Dhillon  
("the Owner")

Address of Owner: 10080 - 142 Street  
Surrey, BC V3T 4R8

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 025-698-265  
Lot 1 Section 9 Block 5 North Range 2 West New Westminster District Plan BCP6482  
13025 - 115 Ave  
(the "Land")
3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) Part 48 Light Impact Industrial Zone (IL) Section F. Yards and Setbacks, the minimum front yard (west) setback is varied from 7.5 metres (25 ft.) to 6.5 metres (21 ft.); and
  - (b) Part 48 Light Impact Industrial Zone (IL) Section F. Yards and Setbacks, the minimum north side yard setback is varied from 7.5 metres (25 ft.) or 0.0 metre (0.0 ft.) to 2.0 metres (6.5 ft.).
4. This development variance permit applies to only the buildings and structures on the Land shown on Schedule A, which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE        DAY OF                                , 2014.  
ISSUED THIS        DAY OF                                , 2014.

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Mayor – Dianne L. Watts

---

City Clerk – Jane Sullivan

DVP to reduce the minimum front yard (west) setback from 7.5 metres (25 ft.) or 6.5 metres (21 ft.).

DVP to reduce the minimum north side yard setback from 7.5 metres (25 ft.) or 0.0 metre to 2.0 metres (6.5 ft.).

**CITY OF SURREY  
ZONING BY-LAW ANALYSIS**

**1. ZONING**

UNIT 2/3: COMMERCIAL GENERAL (C-10)

**2. ZONING BY-LAW ANALYSIS**

**3. ZONING BY-LAW ANALYSIS**

**4. ZONING BY-LAW ANALYSIS**

**5. ZONING BY-LAW ANALYSIS**

**6. ZONING BY-LAW ANALYSIS**

**7. ZONING BY-LAW ANALYSIS**

**8. ZONING BY-LAW ANALYSIS**

**9. ZONING BY-LAW ANALYSIS**

**10. ZONING BY-LAW ANALYSIS**

**11. ZONING BY-LAW ANALYSIS**

**12. ZONING BY-LAW ANALYSIS**

**13. ZONING BY-LAW ANALYSIS**

**14. ZONING BY-LAW ANALYSIS**

**15. ZONING BY-LAW ANALYSIS**

**16. ZONING BY-LAW ANALYSIS**

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**19. ZONING BY-LAW ANALYSIS**

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**27. ZONING BY-LAW ANALYSIS**

**28. ZONING BY-LAW ANALYSIS**

**29. ZONING BY-LAW ANALYSIS**

**30. ZONING BY-LAW ANALYSIS**

**LEGEND**

PROPOSED EXISTING

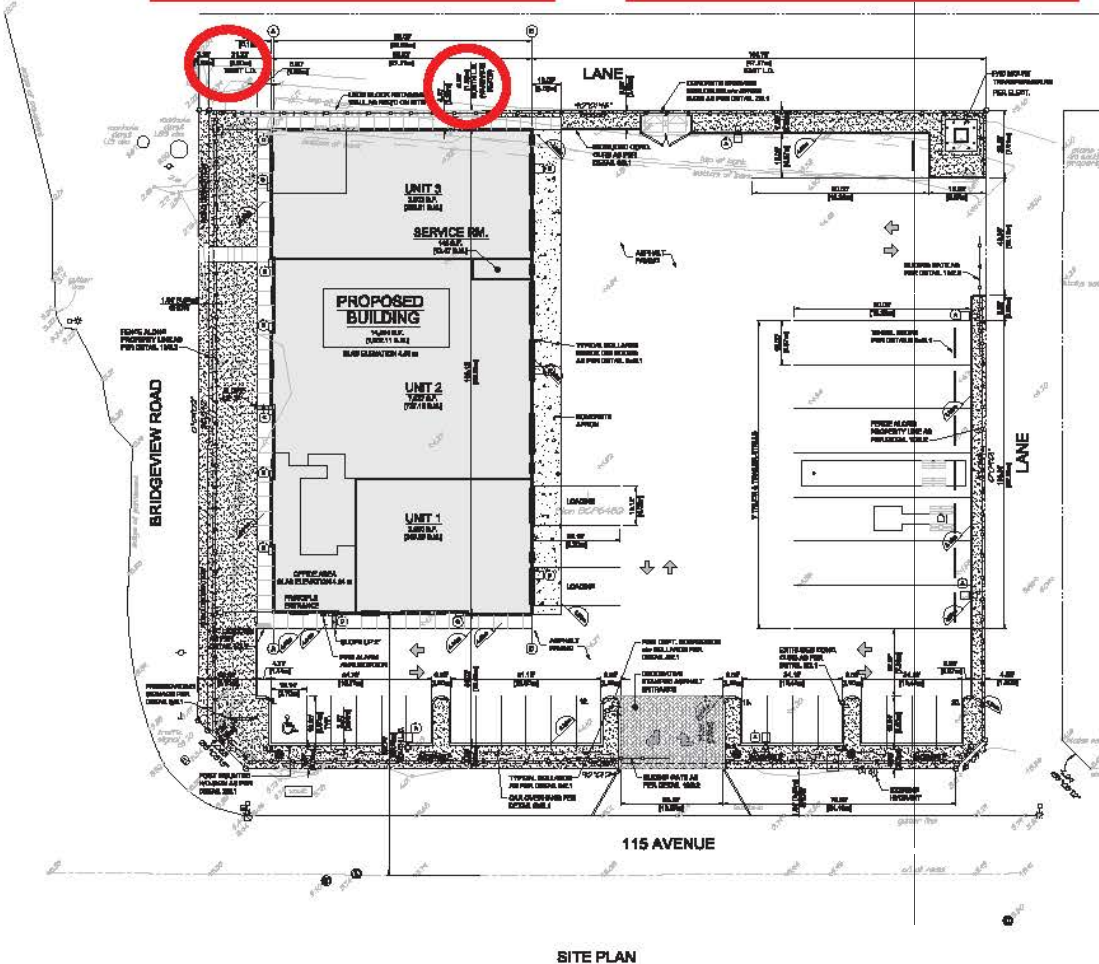
**1.** [Symbol] PROPOSED EXISTING

**2.** [Symbol] PROPOSED EXISTING

**3.** [Symbol] PROPOSED EXISTING

**4.** [Symbol] PROPOSED EXISTING

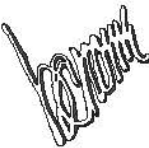
**5.** [Symbol] PROPOSED EXISTING



INTEGRATED CONSTRUCTION  
DILLON TRUCK REPAIR



0114-03-08 PROPOSED FOR LOCAL PERMIT  
2016-05-20 PROPOSED FOR LOCAL PERMIT  
0114-03-11 10000000 PROPOSED FOR LOCAL PERMIT



**PROPOSED FACILITY  
for DILLON TRUCK REPAIR**

13026 - 116 AVE, SURREY,  
BRITISH COLUMBIA, CANADA

**SITE PLAN,  
BY-LAW ANALYSIS**

DATE:	01/15/2018
BY:	01/15/2018
FOR:	01/15/2018
PROJECT NO.:	01/15/2018
DRWG. NO.:	01/15/2018