

# City of Surrey PLANNING & DEVELOPMENT REPORT File: 7913-0164-00

Planning Report Date: September 14, 2015

#### PROPOSAL:

• Partial NCP Amendment from Single Family Small Lots (8-10 upa) and Single Family Residential Flex (6-14.5 upa) to Row Housing

• Rezoning from RA to RF-SD and RM-23

• Development Permit

to allow the development of 10 duplexes and 6 rowhouses, for a total of 26 units.

LOCATION: 14021 - 60 Avenue

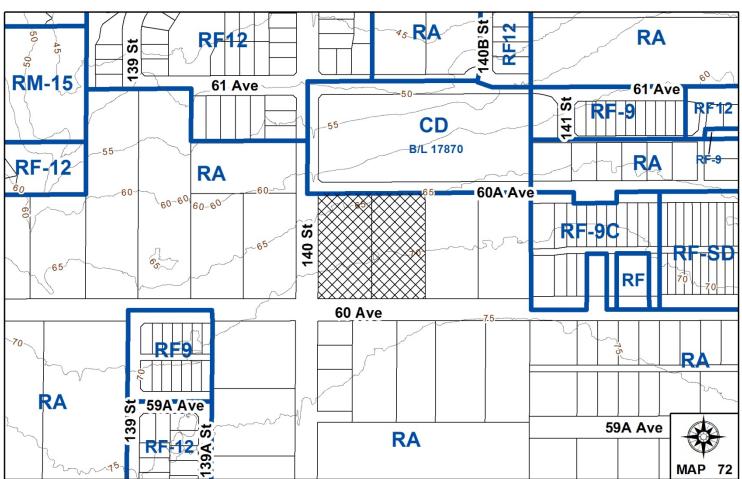
14047 - 60 Avenue

**OWNER:** Jagdish K Duhra et. al.

ZONING: RA
OCP DESIGNATION: Urban

NCP DESIGNATION: Single Family Small Lot and Single

Family ResidentialFlex 6-14.5 upa



#### **RECOMMENDATION SUMMARY**

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit.

#### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

 An NCP amendment is proposed to the South Newton NCP for a portion of the site, from Single Family Small Lots (8-10 upa) and Single Family Residential Flex (6-14.5 upa) to Row Housing.

#### **RATIONALE OF RECOMMENDATION**

- Complies with OCP Designation.
- The majority of the site is being developed as semi-detached residential (RF-SD), which generally complies with South Newton NCP designations.
- The site has insufficient width to develop entirely as RF-SD, without leaving a residual lot for future consolidation with lands to the east. By allowing a residual portion at the west end of the site for row housing (RM-23), the applicant to the east can develop independently.
- The proposed density and building form are similar to a number of approved developments in the area, and are appropriate for this part of Newton.

#### RECOMMENDATION

The Planning & Development Department recommends that:

- 1. A By-law be introduced to rezone the subject site as shown on the Rezoning Block Plan (Appendix II) as follows:
  - (a) Block A from "One-Acre Residential Zone (RA)" to "Multiple Residential 23 Zone (RM-23)" (By-law No. 12000); and
  - (b) Block B from "One-Acre Residential Zone (RA)" to "Semi-Detached Residential Zone (RF-SD)";

and a date be set for Public Hearing.

- 2. Council authorize staff to draft Development Permit No. 7913-0164-00 generally in accordance with the attached drawings (Appendix II).
- 3. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) approval from the Ministry of Transportation & Infrastructure;
  - (d) approval from Senior Government Environmental Agencies regarding the relocation of a Class B watercourse;
  - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (f) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (h) registration of access easements and Section 219 Restrictive Covenants to secure building maintenance and party wall agreements; and
  - (i) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department.
- 4. Council pass a resolution to amend the South Newton NCP to redesignate the western portion of the land from Single Family Small Lots (8-10 upa) and Single Family Residential Flex (6-14.5 upa) to Row Housing when the project is considered for final adoption.

**REFERRALS** 

Engineering: The Engineering Department has no objection to the project

subject to the completion of Engineering servicing requirements as

outlined in Appendix III.

School District: **Projected number of students from this development:** 

13 Elementary students at Woodward Hill Elementary School 7 Secondary students at Sullivan Heights Secondary School

(Appendix V)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2016.

The School District does not support development at densities higher than the originally planned South Newton NCP.

Parks, Recreation & Culture:

Parks supports the proposed development.

Ministry of Environment

(MoE):

The applicant applied directly with the Ministry of Environment for the relocation of a Class B watercourse, pursuant to the Water Act.

Ministry of Transportation & Infrastructure (MOTI):

Preliminary Rezoning Approval is granted pursuant to section 52 (3)(a) of the *Transportation Act*, and valid for one year from

June 03, 2015.

#### SITE CHARACTERISTICS

**Existing Land Use:** Two single family dwellings

#### **Adjacent Area:**

Direction	Existing Use	OCP / NCP Designation	<b>Existing Zone</b>
North (Across	Single family dwellings (current development application No. 7915-0221-00) to allow development of 89 townhouse units.	Urban / Townhouses	CD (By-law
60A Avenue):		(25 upa)	No. 17870)

Direction	Existing Use	OCP / NCP Designation	<b>Existing Zone</b>
East:	Single family dwellings	Urban / Single Family Small Lots (8-10 upa) and Single Family Residential Flex (6-14.5 upa)	RA
South (Across 60 Avenue):	Single family dwellings (current development applications Nos. 7914-0067-00; 7914-0314-00; and 7914-0345-00, all to permit development of small single family lots)	Urban / Single Family Small Lot (8-10 upa)	RA
West (Across 140 Street):	Single family dwellings	Urban / Single Family Small Lots (8-10 upa) and Single Family Residential Flex (6-14.5 upa)	RA

#### **JUSTIFICATION FOR PLAN AMENDMENT**

- The South Newton Neighbourhood Concept Plan (NCP) designates the properties as Single Family Small Lot (8-10 upa) along the southern portion of the site, and Single Family Residential Flex (6-14.5 upa) along the northern portion. The majority of the site is being developed as RF-SD, which is generally consistent with the current NCP.
- The site has insufficient width to develop entirely as RF-SD, without leaving a residual lot for future consolidation with lands to the east. By allowing a residual portion at the west end of the site for RM-23, the applicant can develop independently. This will leave more flexibility in development options for the property owners to the east.
- As the row houses (RM-23) are a different type of building form than the envisioned Single Family Small Lot or Residential Flex, the applicant is proposing an NCP amendment to accommodate two triplexes at the west end of the site, from "Single Family Small Lot (8-10 upa)" and "Single Family Residential Flex (6-14.5 upa)" to "Row Housing". This land use is considered an appropriate and unique form of affordable home ownership in fee simple tenure.
- A similar amendment was approved by Council as part of Development Application No. 7910-0297-00, which created 6 RM-23 lots on 64 Avenue west of 140 Street, also in the South Newton NCP.

#### **DEVELOPMENT CONSIDERATIONS**

#### **Background**

• The subject site consists of two properties, designated Urban in the Official Community Plan, and designated Single Family Small Lot (8-10 upa) and Single Family Residential Flex (6-14.5 upa) in the South Newton Neighbourhood Concept Plan (NCP). The subject site is currently zoned "One-Acre Residential Zone (RA)".

• The subject site is at the northeast corner of 60 Avenue and 140 Street, with a total gross area of 0.93 hectares (2.29 acres) and net area of approximately 0.75 hectares (1.86 acres).

#### **Proposal**

- This application proposes to rezone to RF-SD and RM-23, to permit development of 10 duplexes and 6 row houses, for a total of 26 units, with a Development Permit for the RM-23 units to regulate form and character. An NCP amendment is also required to accommodate the proposed RM-23 lots.
- The proposed density is 34.5 units per hectares (14 upa), which is consistent with the planned density in the South Newton NCP. The NCP amendment is required due to a change in housing form, from single family houses to row housing for the proposed RM-23 units at the corners of 140 Street and 60/60A Avenues..
- The proposal includes 13 lots facing 60 Avenue, and 13 lots facing 60 Avenue, all with access off an east-west lane in between the two rows of development. As 13 units is an odd number, it would not be possible to complete the development with semi-detached units, which require an even number of lots. To resolve this, the corner lots are proposed with 3 units in a group of RM-23 lots.
- The proposed RF-SD lots are a minimum of 7.36 m (24 ft.) wide, varying in area from 285 m<sup>2</sup> (3,068 sq. ft.) to 304 m<sup>2</sup> (3,272 sq. ft.), which complies with the minimum 7.2 m (24 ft.) width and 200 m<sup>2</sup> (2,150 sq. ft.) area of the RF-SD Zone.
- The proposed RM-23 lots are 7.2 m (24 ft.) for the end lots, 6.3 m (21 ft.) for the internal lots, and 9.7 m (32 ft.) for the corner lots, and areas varying from 244 m² (2,626 sq. ft.) to 369 m² (3,972 sq. ft.) which meet the minimum dimensions for the RM-23 Zone.
- There is a Class-B (yellow) watercourse along the east side of 140 Street that is proposed to be relocated to the south side of 60A Avenue. The relocated watercourse will be integrated through a Statutory Right-of-Way along the frontage of the lots facing 60A Avenue (Appendix VIII). There are bridges proposed to cross the relocated watercourse for every pair of RF-SD lots, and one bridge for the three RM-23 facing 60A Avenue. The applicant has applied for the watercourse relocation process through the Water Act, and the relocation process must be completed prior to final adoption.
- All driveway access is proposed from a rear lane.
- The RM-23 and RF-SD units require party wall agreements between owners, as units share common walls along their common property line. A party wall agreement for shared maintenance, along with a Section 219 Restrictive Covenant, will be required to be registered in this regard.

#### **PRE-NOTIFICATION**

Pre-notification letters were sent on May 25, 2015. Staff received two letters of concerns, both regarding building height and density.

#### Density

(The majority of the site is being developed as semi-detached residential (duplexes), which is generally in compliance with the NCP. The NCP amendment is to address a change in building form, from small lot to row housing, with little impact to the originally proposed density.)

#### • Building Height and Views

(Neighbours were concerned with the building height and a high-pitched roof blocking views. The applicant has modified the Building Scheme for the RF-SD lots to address this, and establish a maximum roof pitch of 12:12. This was discussed with the residents and they were satisfied with the modification. For the corner lots (RM-23), the roof pitch is detailed in the Development Permit, and no sloped higher than 12:12 will be considered.)

#### **DESIGN PROPOSAL AND REVIEW**

- The semi-detached lots (RF-SD) are subject to a Building Scheme and the triplexes (RM-23) are subject to a Development Permit to regulate form and character.
- For the Building Scheme (RF-SD lots), the roof pitch was established at a maximum 12:12 to address concerns from the neighbourhood regarding view obstruction.
- The proposed RM-23 lots are two groups of three lots, one group facing 60 Avenue, and one group facing 60 Avenue. For the group facing 60 Avenue, each unit will have individual pedestrian access from the street. For the group facing 60 Avenue, there will be only one pedestrian bridge crossing the relocated creek, which then separates into individual entrances for the units.
- All RM-23 units are proposed as three-story units, with a basement unit, and the main unit occupying the two upper floors. Given the slope on the site, buildings will appear as 2-storey from 60 Avenue, and 3-storey from 60A Avenue.
- The RM-23 units are proposed with good quality materials, including hardie plank siding, stucco, cedar siding, natural wood and masonry veneer.
- The roof pitch proposed for the RM-23 units is 5:12 for the most part, with a few accent roof areas at 3:12, 6:12 and 12:12.

#### **TREES**

• Mike Fadum, ISA Certified Arborist of Mike Fadum and Associate Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species Exis		ting Remove		Retain
Alder	and Cott	tonwoo	d Trees	
Alder / Cottonwood	_	-	_	-
	Deciduo	us Tree	es	
(excluding	Alder and	d Cotton	wood Trees)	
Cherry	1	1	1	0
Crabapple	1	[	1	0
Dogwood, Pacific	1	Į.	1	0
Maple, Bigleaf	1	Į.	1	0
Oak, Red	3	L	1	0
Plum	]	1	1	0
	Conifero	ous Tree	es	
Cedar, Western Red	8	3	8	0
Douglas Fir	20	0	20	0
Fir Grand	1	l	1	0
Pine	1	l	1	0
Spruce, Blue	1	L	1	0
<b>Total</b> (excluding Alder and Cottonwood Trees)	7	37	o	
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		23		
Total Retained and Replacement Trees		23		
Contribution to the Green City Fund		\$15,300		

- The Arborist Assessment states that there are a total of 37 mature trees on the site, with no Alder and Cottonwood trees. It was determined that none of the 37 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 74 replacement trees on the site. Since only 23 replacement trees can be accommodated on the site (based on an average of 1 tree per lot), the deficit of 51 replacement trees will require a cash-in-lieu payment of \$15,300, representing \$300 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.

• A landscape plan is required for the RM-23 portion of the site. The new trees on the RM-23 site will consist of a variety of trees including Maple, Cypress and Dogwood trees.

• In summary, a total of 23 trees are proposed to be retained or replaced on the site with a contribution of \$15,300 to the Green City Fund.

#### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on September 04, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	• Site is on a bus route (60 Avenue)
2. Density & Diversity (B1-B7)	• Two types of housing are proposed: semi-detached and row housing (triplex)
3. Ecology & Stewardship (C1-C4)	Relocation of a Class B watercourse
4. Sustainable Transport & Mobility (D1-D2)	• n/a
5. Accessibility & Safety (E1-E3)	Natural surveillance for roads and lanes, and natural access controlled by fences and trees
6. Green Certification (F1)	• n/a
7. Education & Awareness (G1-G4)	• n/a

#### **INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

Appendix I. Lot Owners, Action Summary and Project Data Sheets

Appendix II. Proposed Subdivision Layout, Rezoning Block Plan, Site Plan, Building

Elevations, Landscape Plans and Perspective

Appendix III. Engineering Summary
Appendix IV. School District Comments

Appendix V. Building Design Guidelines Summary

Appendix VI. Summary of Tree Survey and Tree Preservation

Appendix VII. NCP Plan

Appendix VIII. Watercourse Relocation Plan

#### **INFORMATION AVAILABLE ON FILE**

• Complete Set of Architectural and Landscape Plans prepared by Marquee Design Build and PMG Landscape Architects, respectively, dated September 02, 2015 and September 03, 2015.

original signed by Nicholas Lai

Jean Lamontagne General Manager Planning and Development

#### LFM/da

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#### Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Mike Kompter

Hub Engineering Inc.

Address: 7485 - 130 Street, Unit 101

Surrey, BC V<sub>3</sub>W 1H8

Tel: 604-572-4328 - Work

604-572-4328 - Fax

2. Properties involved in the Application

(a) Civic Address: 14021 - 60 Avenue

14047 - 60 Avenue

(b) Civic Address: 14021 - 60 Avenue Owner: Jagdish K Duhra

PID: 007-343-710

Lot 20 Section 9 Township 2 New Westminster District Plan 36712

(c) Civic Address: 14047 - 60 Avenue

Owner: Mandeep S Duhra

Heather J Michaloski Bradley D Michaloski Jasdeep Sandhu

Amandeep Sandhu

PID: 007-343-728

Lot 21 Section 9 Township 2 New Westminster District Plan 36712

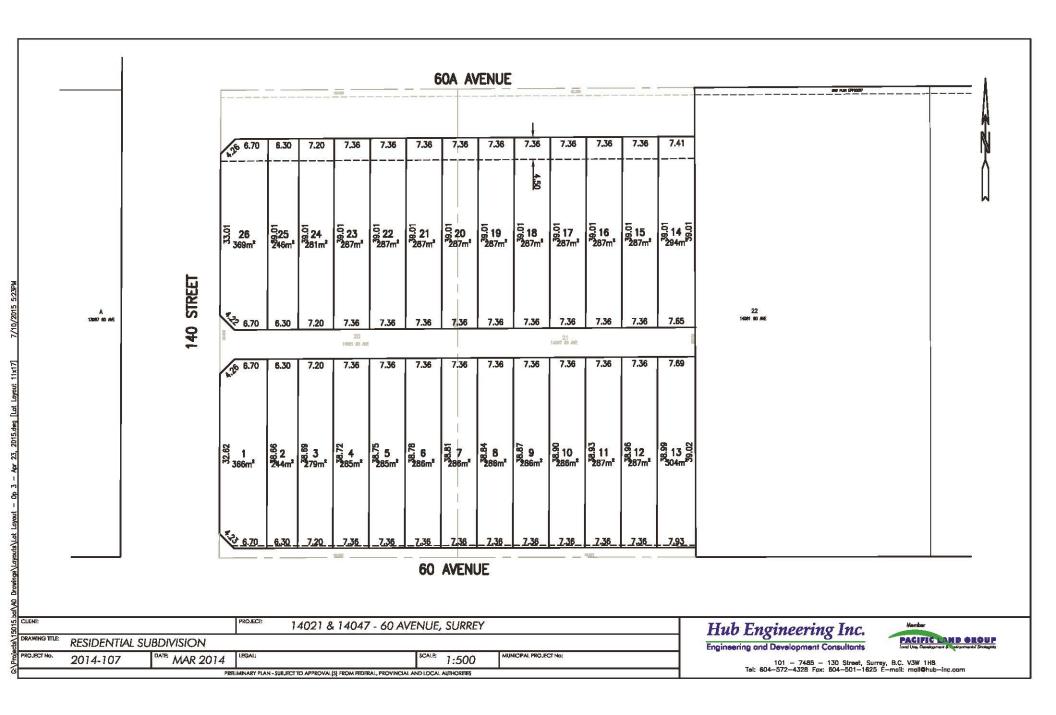
- 3. Summary of Actions for City Clerk's Office
  - (a) Introduce a By-law to rezone the property.
  - (b) Application is under the jurisdiction of MOTI. YES

MOTI File No. 2015-02750

### **SUBDIVISION DATA SHEET**

Proposed Zoning: RF-SD and RM-23

Requires Project Data	Proposed
GROSS SITE AREA	
Acres	2.29 acres
Hectares	o.93 hectares
NUMBER OF LOTS	
Existing	2
Proposed	26
SIZE OF LOTS	
Range of lot widths (metres)	6.3 m to 9.7 m
Range of lot areas (square metres)	285 m <sup>2</sup> to 369 m <sup>2</sup>
DENSITY	
Lots/Hectare & Lots/Acre (Gross)	28 uph / 12 upa
Lots/Hectare & Lots/Acre (Net)	35 uph / 14 upa
SITE COVERAGE (in % of gross site area)	
Maximum Coverage of Principal & Accessory Building	60%
Estimated Road, Lane & Driveway Coverage	15%
Total Site Coverage	75%
PARKLAND	
Area (square metres)	CIL
% of Gross Site	CIL (5%)
	Required
PARKLAND	*
5% money in lieu	YES
TREE SURVEY/ASSESSMENT	YES
MODEL BUILDING SCHEME	YES (RF-SD lots)
HERITAGE SITE Retention	NO
FRASER HEALTH Approval	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others	NO



SURVEY PLAN TO ACCOMPANY CITY OF SURREY BYLAW NO.\_\_\_\_\_ OVER LOTS 20 AND 21, BOTH OF SECTION 9 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 36712 FOR THE PURPOSE OF REZONING BCGS 92G.016 CITY OF SURREY LANE LEGEND SCALE 1:1000 16" 89° 40' 73.650 23.143 20 21

## PLAN: 36712 22 BLOCK B PLAN 36712 BLOCK A 7082.4 m<sup>2</sup> 2215.7 m<sup>2</sup> RM-23 ZONE RF-SD ZONE 23.200 74.179 54' 10"

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DHALIWAL AND ASSOCIATES LAND SURVEYING INC.

216-12899 76th Avenue Surrey, B.C. V3W 1E6 Phone: 604 501-6188 Fax: 604 501-6189 File: 1504001-Z01

60th AVENUE

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT Certified correct according to field survey:

28th day of May 2015

GENE PAUL NIKULA

B:C:L,S, 803 THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED

#### **Project Statistics**

CIVIC ADDRESS: 14021 60TH AVENUE, SURREY B.C.

ZONING: RM-23

LOT COVERAGE PER UNIT

UNIT #1 -LOT AREA: 364.6m2

ALLOWED COVERAGE: 50%

MAX LOT COVERAGE: 364.6m2 x 0.5 = 182.3m2 PROPOSED LOT COVERAGE: 119.42m2

UNIT #2 -LOT AREA: 242.7m2

ALLOWED COVERAGE: 60%

MAX LOT COVERAGE: 242.7m2 x 0.6 = 145.6m2 PROPOSED LOT COVERAGE: 127.63m2

UNIT #3 -LOT AREA: 277.7m2 ALLOWED COVERAGE: 60%

MAX LOT COVERAGE: 277.7m2 x 0.6 = 166.6m2

PROPOSED LOT COVERAGE: 118.68m2

UNIT #4 -LOT AREA: 369.4m2

ALLOWED COVERAGE: 50%

MAX LOT COVERAGE: 369.4m2 x 0.5 = 184.7m2

PROPOSED LOT COVERAGE: 102.74m2

LOT AREA: 246.0m2 UNIT #5 -

ALLOWED COVERAGE: 60%

MAX LOT COVERAGE: 246.0m2 x 0.6 = 147.6m2 PROPOSED LOT COVERAGE: 104.46m2

UNIT #6 -LOT AREA: 281.1m2 ALLOWED COVERAGE: 60%

MAX LOT COVERAGE: 281.1m2 x 0.6 = 168.7m2 PROPOSED LOT COVERAGE: 101.28 m2

FLOOR AREA CALCULATION PER UNIT

(INCLUDING GARAGE)

UNIT #1 - 242.33m<sup>2</sup> = 2608.4 ft<sup>2</sup> UNIT # 2 - 239.99m2 = 2583.2 ft2 UNIT # 3 - 239.18 $m^2$  = 2574.5 ft<sup>2</sup> UNIT # 4 - 242.12m<sup>2</sup> = 2606.2 ft<sup>2</sup>

UNIT # 5 - 239.26m<sup>2</sup> = 2575.4 ft<sup>2</sup> UNIT # 6 - 239.05m<sup>2</sup> = 2573.1 ft<sup>2</sup> TOTAL - 1,441.94m<sup>2</sup> = 15,520.9 ft<sup>2</sup>

ABOVE GROUND FLOOR AREA:

MAX ALLOWABLE ABOVE GROUND FA = 144m<sup>2</sup>

UNIT # 1 - 142.83m2 UNIT # 2 - 142.51m2

UNIT # 3 - 140.97m2 UNIT # 4 - 144.00m2

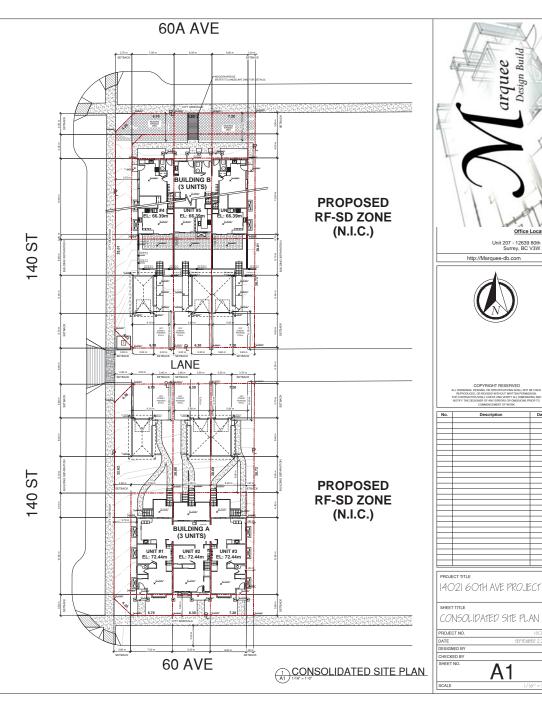
UNIT # 5 - 141.78m2 UNIT # 6 - 142.21m2

OFF-STREET PARKING CALCULATION

PARKING RATIO: 2 spaces/unit (I SPACE IN GARAGE) REQUIRED SPACES: 2 x 6 units = 12 spaces

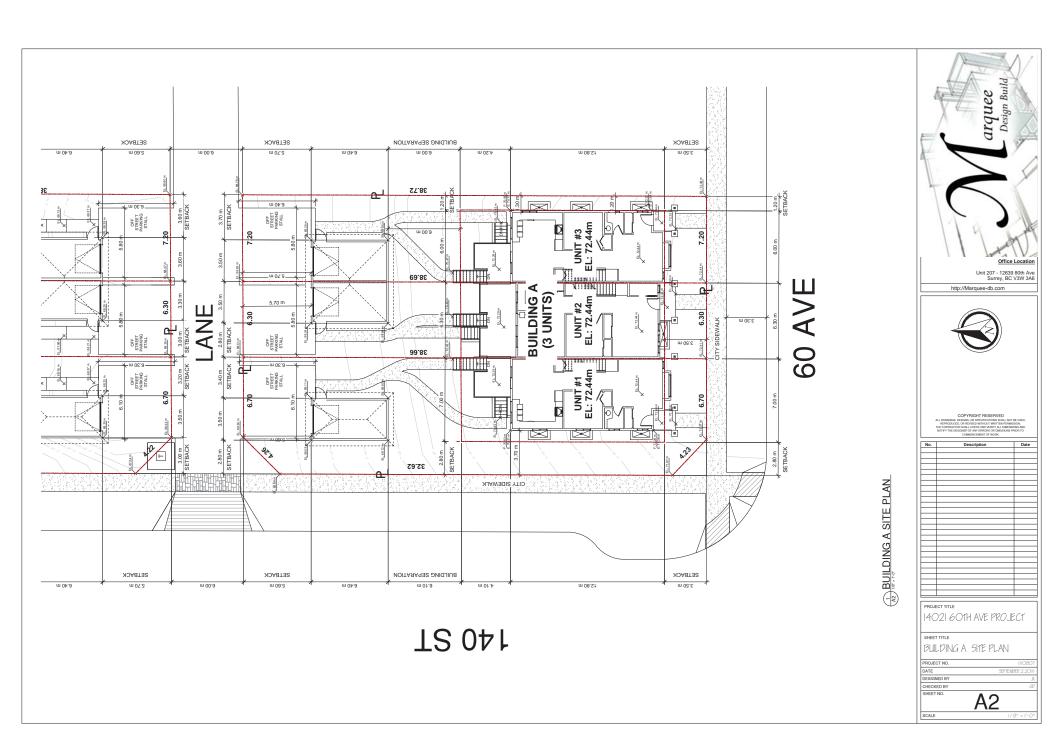
PROVIDED: 12 PARKING SPACES (6 IN GARAGE)

		UNPR	OTECTED	OPENING	CALCUL	ATIONS A	S PER B.C.	3.C. 9.10.15. <b>4</b>	
BUILDING #	UNIT#	ORIENTATION	REQUIRED SETBACK	PROPOSED SETBACK	LIMITING DISTANCE	BUILDING FACE AREA	MAX UNPROTECTED OPENING %	MAX ALLOWED UNPROTECTED OPENING	PROPOSED Unprotected opening
	1	N	6.0m	6.0m	2.77m	42.42m²	18.57%	7.88m² (84.8ft²)	7.80m² (84.0ft²)
	1	w	2.7m	3.7m	3.09m	77.42m²	16.57%	12.83m² (138.1ft²)	8.06m² (86.8ft²)
	1	s	3.5m	3.5m	10.47m	35.85m²	100%	35.85m² (385.9ft²)	7.01m² (75.5ft²)
BUILDING A	2	N	6.0m	6.0m	3.23m	43.93m²	22.80%	10.02m² (107.9ft²)	9.52m² (102.5ft²)
BUILDING A	2	s	3.5m	3.5m	11.53m	37.12m²	100%	37.12m² (399.6ft²)	6.88m² (74.1ft²)
	3	N	6.0m	6.0m	2.77m	41.72m²	18.72%	7.81m² (84.1ft²)	7.80m² (84.0ft²)
	3	E	1.2m	1.2m	1.20m	76.68m²	7.0%	5.37m² (57.8ft²)	5.31m² (57.2ft²)
	3	s	3.5m	3.5m	10.47m	35.36m²	100%	35.36m² (380.6ft²)	7.01m² (75.5ft²)
	4	N	3.5m	7.5m	13.39m	51.65m²	100%	51.65m² (556.0ft²)	10.28m² (110.7ft²)
	4	w	2.7m	3.7m	3.09m	91.81²	14.88%	13.66m² (147.0ft²)	9.32m² (100.3ft²)
	4	s	6.0m	6.8m	3.10m	34.19m²	25.05%	8.56m² (92.1ft²)	8.04m <sup>2</sup> (86.5ft <sup>2</sup> )
	5	N	3.5m	7.5m	14.30m	54.17m²	100%	54.17m² (583.1ft²)	10.14m² (109.1ft²)
BUILDING B	5	S	6.0m	6.8m	3.55m	35.28m²	24.14%	8.52m² (91.7ft²)	8.04m <sup>2</sup> (86.5ft <sup>2</sup> )
	6	N	3.5m	7.5m	13.39m	51.02m²	100%	51.02m² (549.2ft²)	10.28m² (110.7ft²)
	6	E	1.2m	1.2m	1.20m	87.47m²	7.0%	6.12m² (65.9ft²)	5.89m² (63.4ft²)
	6	S	6.0m	6.8m	3.10m	33.76m²	25.23%	8.52m² (91.7ft²)	8.04m <sup>2</sup> (86.5ft <sup>2</sup> )



http://Marquee-db.com

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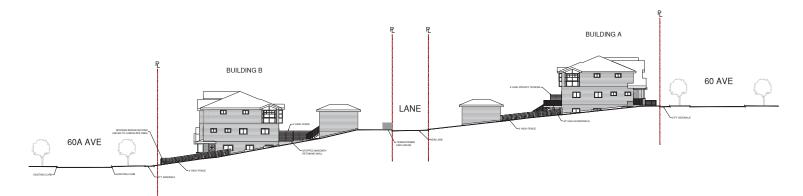




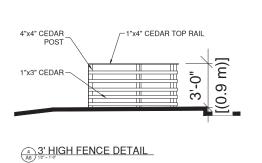


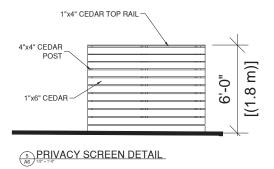


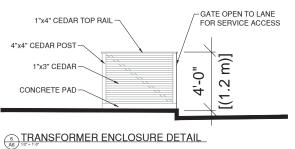
2 STREET ELEVATION ALONG 60 AVE (SOUTH FACE)



 $\underset{(AB)}{\overset{3}{\text{STREET}}} \text{ ELEVATION ALONG 140 ST (WEST FACE)}$ 





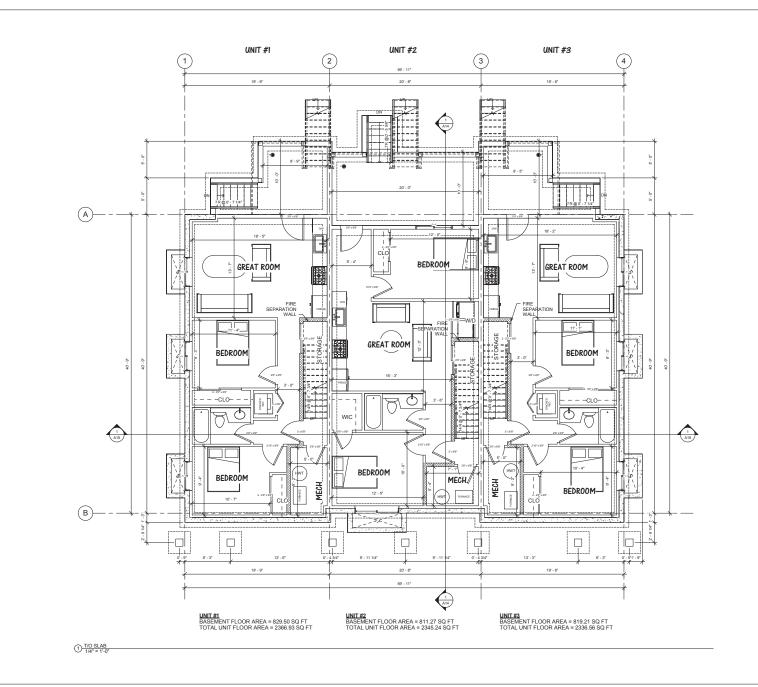




No.	Description	Date
_		

14021 601H AVE PROJECT STREETSCAPE ELEVATIONS & SITE DETAILS

PROJECT NO. DATE DESIGNED BY CHECKED BY SHEET NO. **A6** SCALE





Office Location
Unit 207 - 12639 80th Ave
Surrey, BC V3W 3A6

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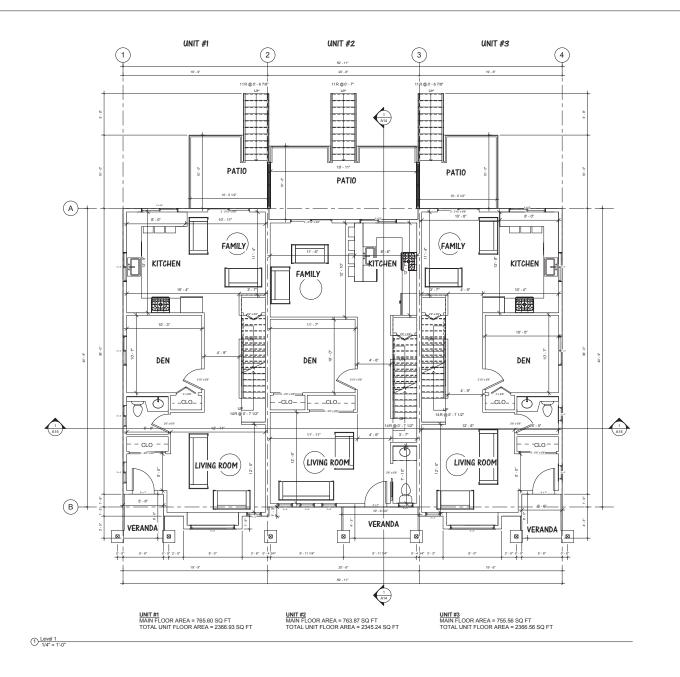
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14021 60th Ave Project

BUILDING A -BASEMENT FLOOR PLAN

Project number	150807
Date	2015-07-07
Drawn by	JK
Checked by	GD
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Office Location Unit 207 - 12639 80th Ave Surrey, BC V3W 3A6

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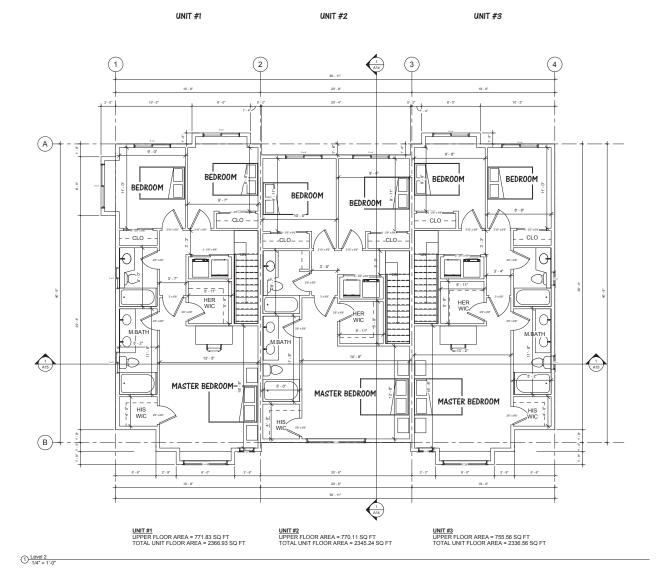
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14021 60th Ave Project

BUILDING A - MAIN FLOOR PLAN

Project number	150807
Date	2015-07-07
Drawn by	JK
Checked by	GD
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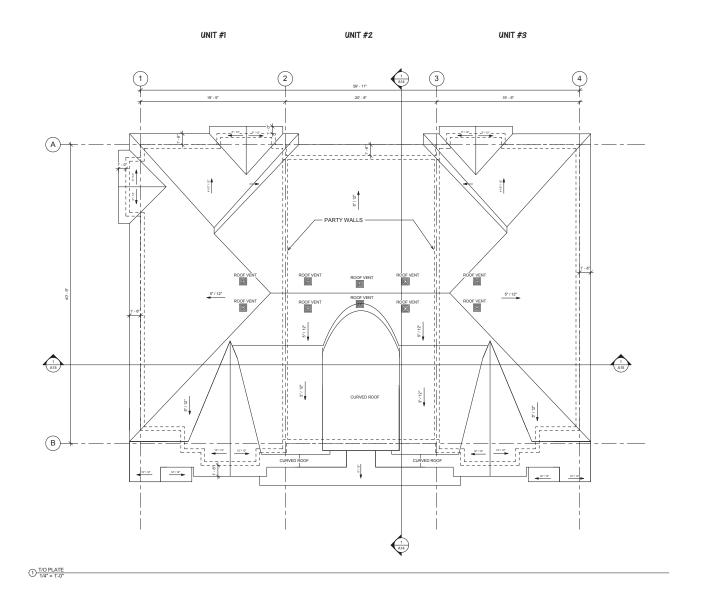
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14021 60th Ave Project

BUILDING A - UPPER FLOOR PLAN

Project number Date	150807 2015-07-07
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14021 60th Ave Project

BUILDING A - ROOF PLAN

Project number 150807
Date 2015-07-07
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1 3D View 1



2 3D View 2





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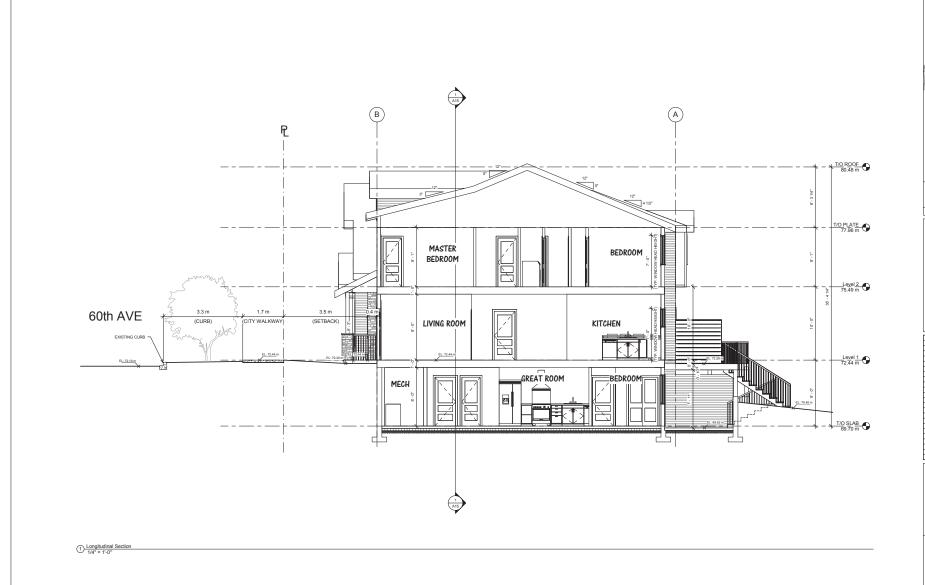
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14021 60th Ave Project

BUILDING A - 3D VIEWS

Checked by	GE
Drawn by	Jŀ
Date	2015-07-07
Project number	15080

3 3D View 3



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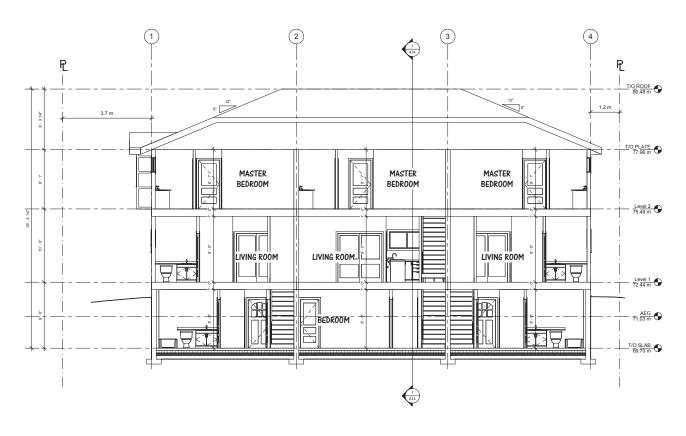
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BUILDING A -LONGITUDINAL SECTION

Project number	150807
Date	2015-07-07
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Checked by	GD



① Cross Section 114"= 1'.0"



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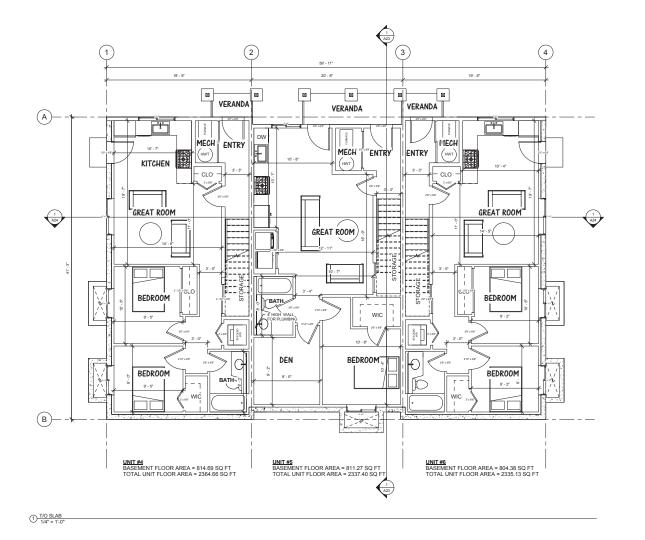
14021 60th Ave Project

BUILDING A - CROSS SECTION

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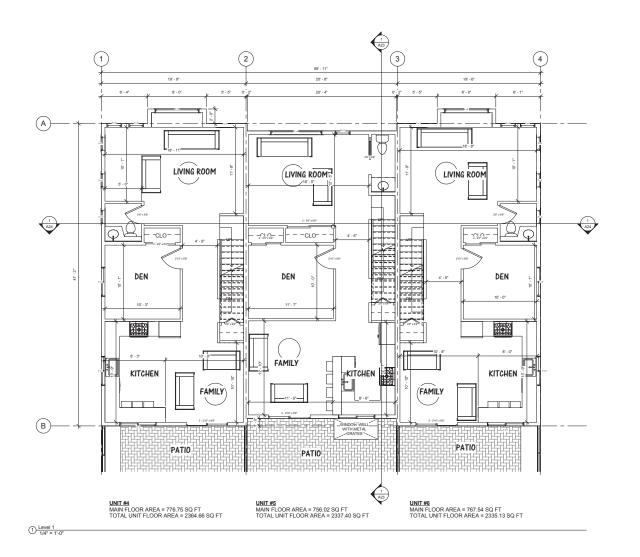
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14021 60th Ave Project

BUILDING B -BASEMENT FLOOR PLAN

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Date	2015-07-
Project number	1508





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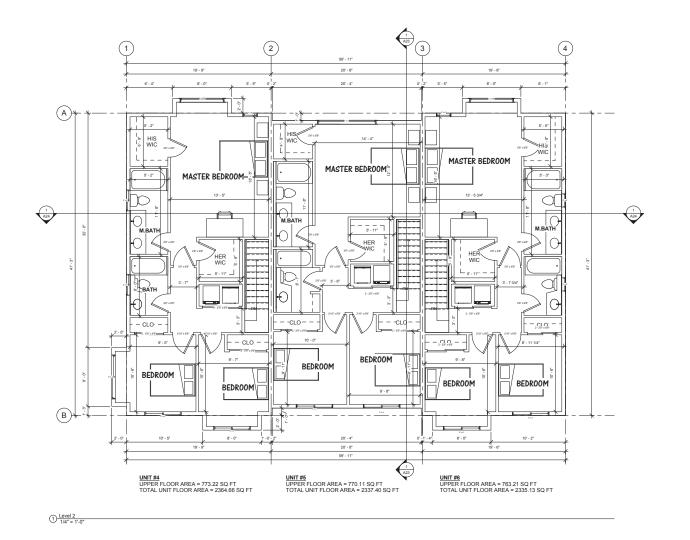
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14021 60th Ave Project

BUILDING B - MAIN FLOOR PLAN

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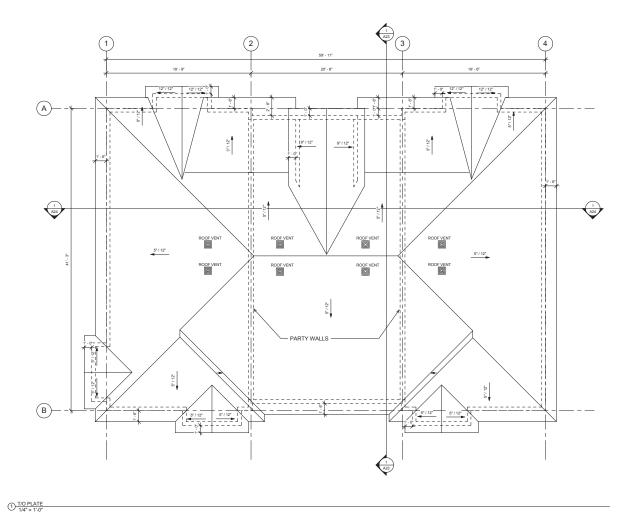
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14021 60th Ave Project

BUILDING B - UPPER FLOOR PLAN

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Project number	15080



Unit 207 - 12639 80th Ave Surrey, BC V3W 3A6

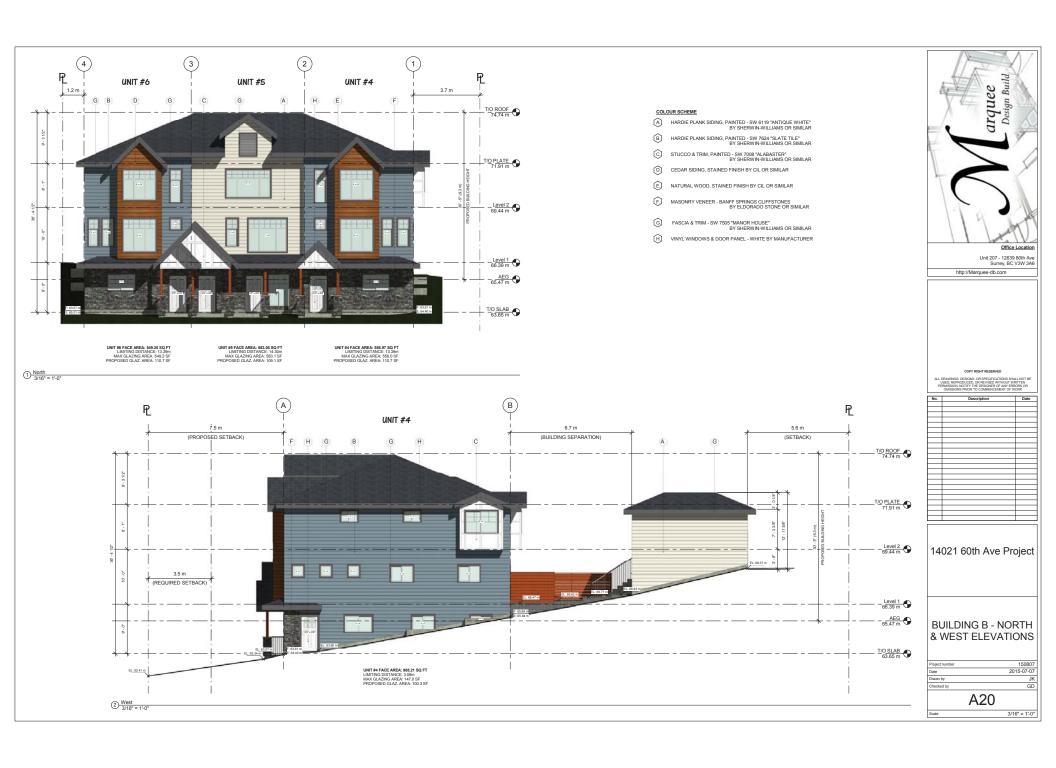
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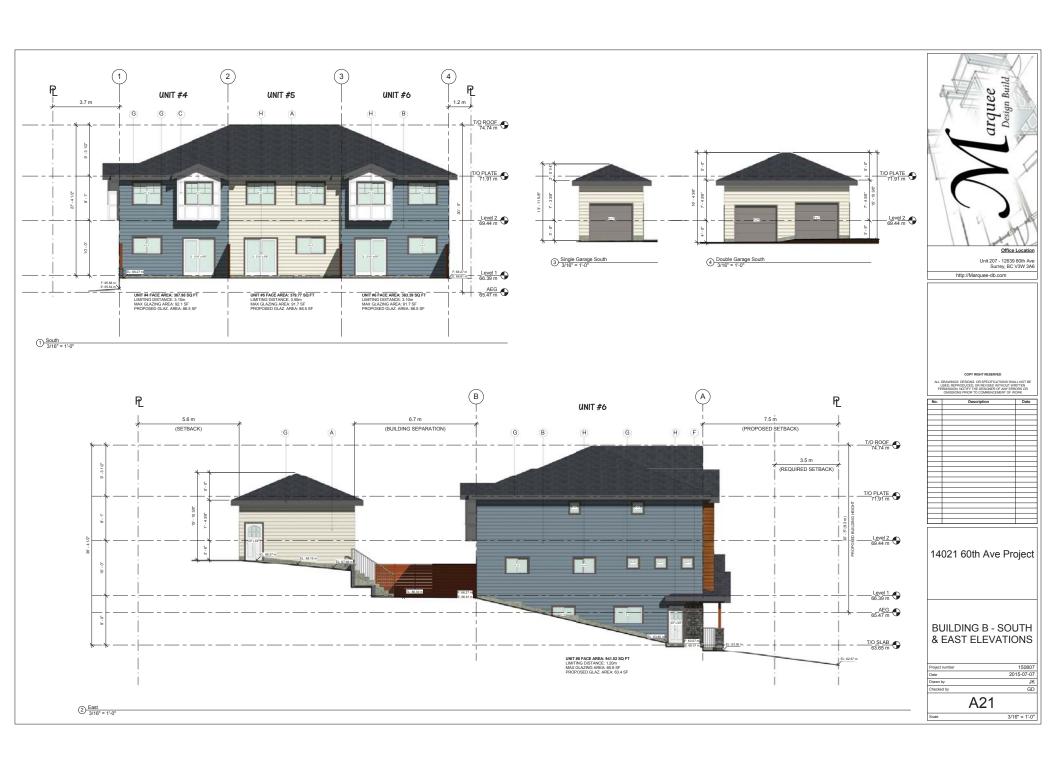
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14021 60th Ave Project

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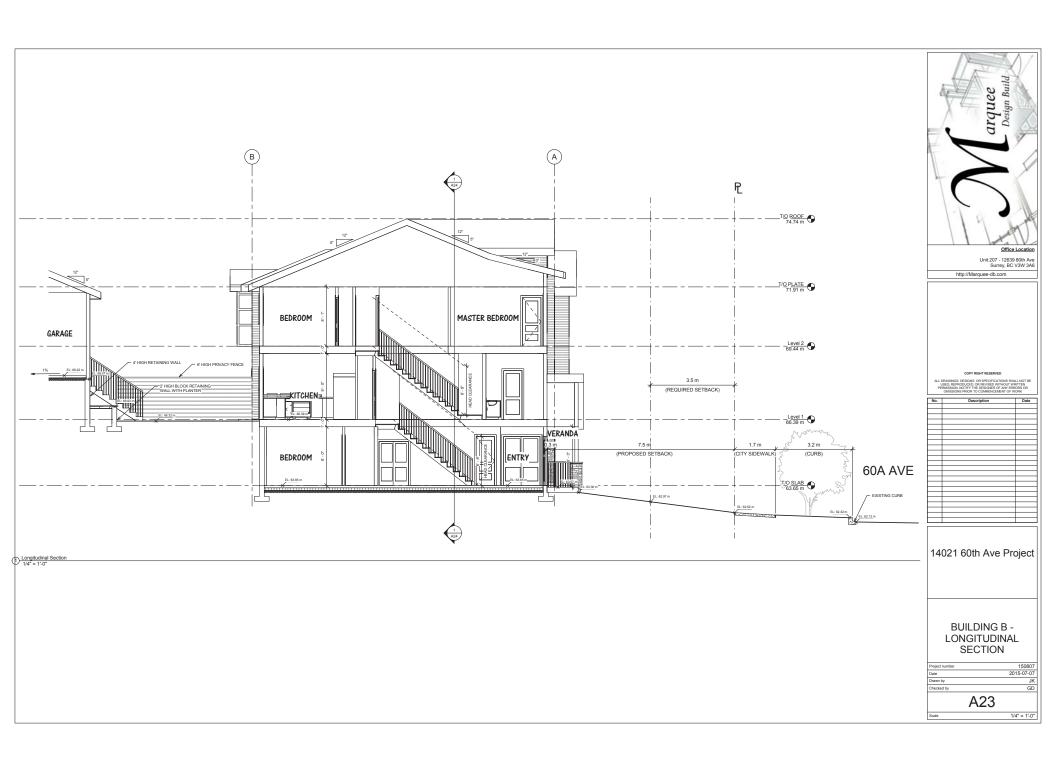
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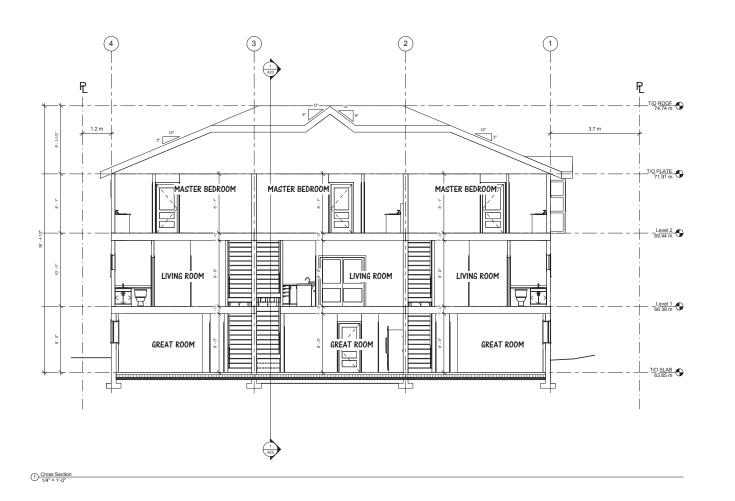
BUILDING B - 3D VIEWS

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Checked by	GE
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Date	2015-07-07
Project number	150807



4 3D View 3







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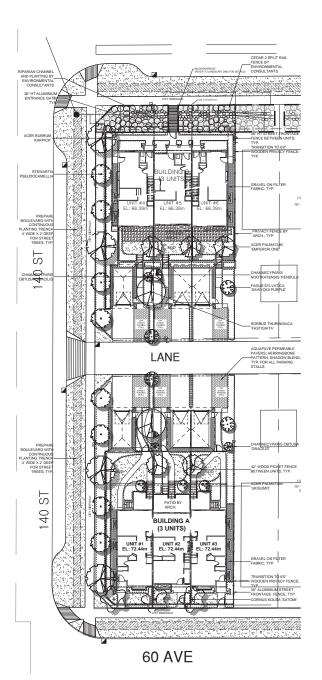
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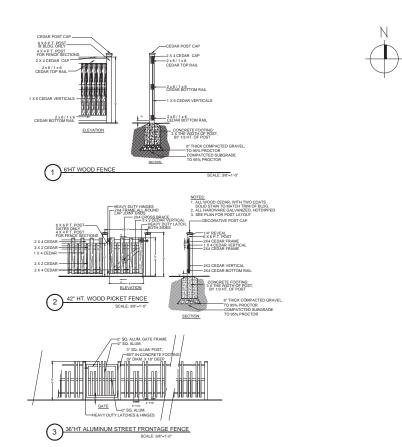
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14021 60th Ave Project

BUILDING B - CROSS SECTION

Checked by	GD
Drawn by	JK
Date	2015-07-07
Project number	150807





QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
5	ACER PAI MATUM 'EMPEROR I'	DARK RED JAPANESE MAPLE	2.5M HT: 6CM CAL: B&B
3	ACER PALMATUM 'UKIGUMO'	FLOATING CLOUD JAPANESE MAPLE	2.5M HT: B&B
4	ACER RUBRUM 'KARPICK'	COLUMNAR KARPICK MAPLE	6CM CAL: 2M STD: B&B
2	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	WEEPING NOOTKA CYPRESS	4M HT: B&B
3	CHAMAECYPARIS OBTUSA 'GRACILIS'	SLENDER HINOKI FALSE CYPRESS	2M HT: B&B
3	CORNUS KOUSA 'SATOMI'	PINK KOUSA DOGWOOD	2.5M HT; B&B
4	FAGUS SYLVATICA 'DAWYCKII PURPLE'	PURPLE FASTIGIATE BEECH	6CM CAL; B&B *** ON STANDARD
2	SORBUS THURINGIACA 'FASTIGIATA'	FASTIGIATE OAK LEAF MOUNTAIN ASH	5CM CAL 1.5M STD;B&B
8	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	5CM CAL 1.5M STD;B&B
	5 3 4 2 3 3 4 2	5 ACER PALMATUM EMPEROR I 3 ACER PALMATUM EMPEROR I 4 ACER RUBRUM YAMPIOK CHAMBELOF PARRIS NOTINATENIS PENDULA' 3 CHAMBELOFPARRIS NOTINATENIS PENDULA' 3 CHAMBELOFPARRIS NOTINATENIS PENDULA' 4 FAGUS SYLVATICA DAWYOKIN PURPLE SORBUS THURRIGINACA FASTIGIATA'	5 ACER PALMATUM EMPEROR I DARK RED JAPANESE MAPLE 3 ACER RUBUM YARPICK 4 ACER RUBUM YARPICK 2 CHAMACK PALMATUM YURQUMO FLORING CLOUD JAPANESE MAPLE COLLMANAK KUPING KAMPLE WEEPING WOOTK CHPRESS PENDULX WEEPING WOOTK CHPRESS CORNIS KOURS SATOM! 4 FAQUS SYLVATICA DAWYONI PURPLE 2 SORBUS THURRINGACA FASTIGIATY 6 FASTIGIATE OR SECOND STRICKLE PROJECTION ASH



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### 6 UNIT TRIPLEX DEVELOPMENT

14021 60TH AVENUE SURREY, BC

DRAWING TITLE:

#### LANDSCAPE PLAN

DATE: DRAWN: DESIGN: CHKD:

15-113

EXISTING TREE TO BE REMOVED EXISTING TREES TO BE REMOVED
TREE # | BOTANICAL NAME | COMMON NAME | DBH | S' MULTIPLE ATTACHMENTS AT ~4M. SOME SCAFFOLD LIMBS SHEDDING BARK. TREE CONFLICTS WITH CONSTRUCTION. ACER MACROPHYLLUM BIGLEAF MAPLE ~70 MG REMOVE TO ACCOMMODATE CONSTRUCTION PROPOSI RF-SD ZO (N.I.C.)  $\mathbb{S}$ 140 LANE PROPOSI RF-SD ZO (N.I.C.) 140 ST BUILDING A (3 UNITS)

60 AVE

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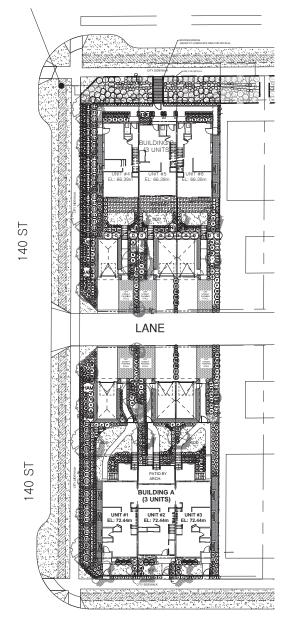
6 UNIT TRIPLEX DEVELOPMENT

14021 60TH AVENUE

TREE MANAGMENT PLAN

DRAWN: DESIGN: MR CHKD:





		CHEDULE		PMG PROJECT NUMBER: 1
	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB	3	AZALEA JAPONICA 'EVEREST'		
SCOR <b>LE</b> COSESELEOSE			EVERGREEN AZALEA; WHITE SIBERIAN DOGWOOD	#2 POT; 25CM #3 POT; 40CM
2	12	CORNUS ALBA 'SIBIRICA' DELITZIA CRENATA 'NIKKO'		#3 POT; 80CM
യ്യ	67		SLENDER DEUTZIA; WHITE	#2 POT; 40CM
ஜ	4	EUONYMUS ALATA 'COMPACTUS' HAMAMELIS X INTERMEDIA 'DIANE'	COMPACT WINGED BURNING BUSH RED WITCH HAZEI	#3 POT; 50CM
₩				#3 POT; 80CM
(12)	21	HYDRANGEA MACROPHYLLA 'PIA'	DWARF BIGLEAF HYDRANGEA; PINK	2 POT; 30CM
♨	7	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	#3 POT; 80CM
(9)	11	LEUCOTHOE FONTANESIANA 'RAINBOW'	VARIEGATED LEUCOTHOE	#2 POT; 30CM
⊛	69	NANDINA DOMESTICA 'PLUM PASSION'	HEAVENLY BAMBOO; PURPLE-RED NEW GROWTH	#3 POT; 50CM
(e)	11	OSMANTHUS X BURKWOODII	BURKWOOD OSMANTHUS	#3 POT; 50CM
(0)	19	PIERIS JAPONICA 'VALLEY VALENTINE'	PIERIS; RED BLOOMS	#3 POT; 50CM
(e)	3	RHODODENDRON 'SCARLET WONDER'	RHODODENDRON; SCARLET; E. APRIL	#3 POT; 30CM
⊜	8	ROSA MEIDILAND 'RED'	MEIDILAND ROSE; RED; 0.9M MATURE HT	#2 POT; 40CM
⊗	39	SKIMMIA JAPONICA 'RUBELLA'	RUBELLA SKIMMIA	#2 POT; 30CM
(s)	29	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA; PINK	#3 POT; 60CM
$\odot$	170	TAXUS X MEDIA 'HICKSII'	HICK'S YEW	1.2M B&B
(M) SRASS	77	VIBURNUM DAVIDII	DAVID'S VIBURNUM	#2 POT; 30CM
360	59	FESTUCA CINEREA 'ELIJAH BLUE'	BLUE FESCUE	#1 POT
(W)	6	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO MAIDEN GRASS	#1 POT
<b>®</b>	107	PENNISETUM ALOPECUROIDES 'HAMELIN'	DWARF FOUNTAIN GRASS	#1 POT
PERENNI				
300000 30000	20	ASARUM CAUDATUM	WILD GINGER	#1 POT
(0)	37	GERANIUM CINEREUM	HARDY GERANIUM	15CM POT
æ	47	HEUCHERA MACRANTHA 'PALACE PURPLE'	CORAL BELLS; PURPLE-RED	15CM POT
€	10	HOSTA FORTUNEII VARIEGATA	VARIEGATED HOSTA	#1 POT; 1 EYE; HEAVY SHADE
ω	54	LAVENDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER; COMPACT; DEEP PURPLE	#1 POT
⊕	111	LIRIOPE MUSCARI	BLUE LILY-TURF	15CM POT
8	46	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 25CM
	18	VACCINIUM VITIS-IDAEA	LINGONBERRY	#1 POT; 25CM

60 AVE

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LANDSCAPE ARCHITECTS Suite C100 - 4185 Still Creek Drive

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3 15.5EP.03 REVISIED RIPARIAN AREA CROSSINGS
2 15.00.28 BRIDGE DITAL
1 15.07.17 GRACING AND INVIRCINGENTAL PLAN
NO. DATE REVISION DESCRIPTION

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6 UNIT TRIPLEX DEVELOPMENT

14021 60TH AVENUE SURREY, BC

DRAWING TITL

LANDSCAPE PLANTING PLAN

 DATE:
 15.JUL13
 DRAWING NUMBER

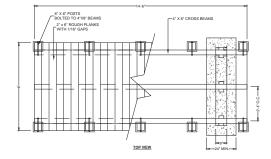
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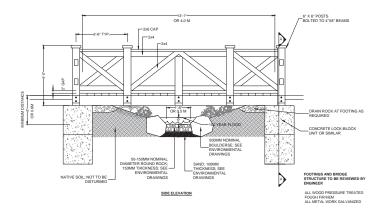
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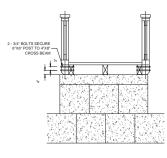
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FOOTINGS AND BRIDGE STRUCTURE TO BE REVIEWED BY ENGINEER

BRIDGE SECTION A-A

SEAL:

15.SEP.03	REVISIED RIPARIAN AREA CROSSINGS	D
15.08.28	BRIDGE DETAIL	N
15.07.17	GRADING AND ENVIRONMENTAL PLAN	N
DATE	REVISION DESCRIPTION	DI

CLIENT:

PROJECT:

6 UNIT TRIPLEX DEVELOPMENT

14021 60TH AVENUE SURREY, BC

### LANDSCAPE BRIDGE DETAIL

DATE:	15.JUL.13	DRAWING NUMBER:
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3. Using otherwise instructed in the Central Documents, the proporties of the salegade shall be the respectability of the General Centralise. Placement of proving medium constitutes accept zone in the colograph by this Landscape Centralise. Any subsequent varieties to the salegade regardance the real problem. All and a sell equivious domains to performed by provinces delaid in bedange controlling. In addition, all personnel applying herbidises und/or positions shall had a control bears losses by the appropriate value field.

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3 Take appropriate measures to could environmental damage. Do not despung usake schiedus hits schier hedes. Contern vith all federal, previotal and local strukture and

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PART TWO SCOPE OF WORK

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PART THREE BOYT LANDSCAPE DEVELOPMENT - CONT

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**6 UNIT TRIPLEX** DEVELOPMENT 14021 60TH AVENUE

LANDSCAPE **SPECIFICATIONS** 

DATE:	15.JUL.13	DRAWING NUMBER:
SCALE:	NTS	
DRAWN:		15
DESIGN:		
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15113-3.2IP PMG PROJECT NUMBER:

15-113



### INTER-OFFICE MEMO

TO:

Manager, Area Planning & Development

- South Surrey Division

Planning and Development Department

FROM:

**Development Services Manager, Engineering Department** 

DATE:

September 3, 2015

PROJECT FILE:

7813-0164-00

RE:

**Engineering Requirements** 

Location: 14021 60 Ave

### NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment.

### REZONE/SUBDIVISION

### Property and Right-of-Way Requirements

- dedicate 1.942 m road allowance for ultimate 24 m collector road along 60 Avenue;
- dedicate 10.0 m for ultimate 20.0 m local road allowance along 140 Street;
- register 0.50 m Statutory Right-of-Way for inspection chambers and sidewalk maintenance along 60 Avenue, 60A Avenue, and rear lot frontage along lane (lots 1-13); and
- dedicate 6 m road allowance for lane construction.

### Works and Services

- construct north side of 60 Avenue to collector road standards;
- construct east side of 140 Street to local road standards;
- construct south side of 6oA Avenue to local road standards; and
- · construct lane to residential standards
- construct storm and sanitary mains along 140 Street and 60 Avenue site frontages, and lane as required to service the proposed development;
- construct sanitary main along 60A Avenue frontage, as required per the Design Criteria Manual; and
- construct adequately sized water, storm, and sanitary service connections to each lot.

A Servicing Agreement is required prior to Rezone/Subdivision.

### **DEVELOPMENT PERMIT**

There are no engineering requirements relative to issuance of the Development Permit.

Rémi Dubé, P.Eng.

Rcoole

**Development Services Manager** 

MS

NOTE: Detailed Land Development Engineering Review available on file



Tuesday, June 16, 2015 **Planning** 

### THE IMPACT ON SCHOOLS

APPLICATION #:

13 0164 00

67 K + 481

1080

#### **SUMMARY**

The proposed 26 Single family with suites are estimated to have the following impact on the following schools:

### Projected # of students for this development:

Elementary Students:	13
Secondary Students:	7

### September 2014 Enrolment/School Capacity

**Woodward Hill Elementary** 

Functional Capacity\*(8-12)

Enrolment (K/1-7):

Capacity (K/1-7):	40 K + 450	
Sullivan Heights Secondary		
Enrolment (8-12):		1434
Nominal Canacity (8-12):		1000

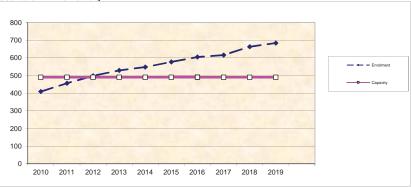
### **School Enrolment Projections and Planning Update:**

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

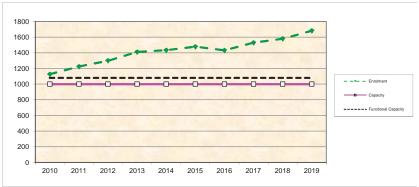
Woodward Hill Elementary opened in spring 2010 and is now overcapacity. The capacity in the table below does not include a modular classroom that was added to accommodate growth (as this is considered temporary space). Goldstone Park Elementary opened in February of 2014 and helped to relieve overcrowding at Woodward Hill in the short term, although most of the students attending the new school came from Cambridge Elementary. Recently a catchment change was implemented that moved part of the Woodward Hill catchment to North Ridge (across King George Blvd). A recent addition to increase the capacity at Panorama Ridge Secondary from 1100 to 1400 (plus a Neighbourhood Learning Centre) has helped to reduce secondary space shortage in the South Newton area however, there are still extreme enrolment pressures at Sullivan Heights Secondary. The school district is currently considering various short and long-term measures to accommodate existing and projected enrolment in South Newton elementary and secondary schools.

In recent years, amendments to the South Newton NCP have resulted in a larger number of residential units and higher enrolment growth than was originally envisioned when the NCP was first adopted in 1999. The Surrey School District expresses its concern about development consistently occurring at densities higher than outlined in the NCP given the flow on implications to educational facility planning. Given the existing and projected enrolment pressures in South Newton, the school district does not support development occurring at a higher density than outlined in approved NCPs.

### **Woodward Hill Elementary**



### Sullivan Heights Secondary



\*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

### **BUILDING GUIDELINES SUMMARY**

Surrey Project no: 7913-0164-00

Project Location: <u>14021 and 14047 - 60 Avenue, Surrey, B.C.</u>
Design Consultant: <u>Tynan Consulting Ltd., (Michael E. Tynan)</u>

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.

### 1. Residential Character

### 1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

The subject site is located in an old growth area, where homes 35-70 years old are situated on large RA zoned lots. Most homes are either small simple Bungalows, or are Basement Entry / Cathedral Entry type with box-like massing characteristics. Landscapes are modest. There are a large number of new applications in the area surrounding the subject site, including 7914-0245-00 due north, 7911-0147-00, and 7910-0067-00 less than one block east of the site which contain a variety of zonings including RF9C, RF, and RFSD, 7910-0175-00 less than one block west of the subject site (RF9 zone), and 7914-0067-00 (RF-10) and 7914-0345-00 (RF-10 and RF-12) located south (south side of 60 Avenue). The area now is considered to be a "new growth area".

This area saw significant development during the 1950s and 1960s. The age distribution from oldest to newest is: pre-1950's (7%), 1950's (33%), 1960's (33%), 1970's (14%), and 1980's (13%). Home size distribution is: Under 1000 sq.ft. (14%), 1000 - 1500 sq.ft. (33%), 2001 - 2500 sq.ft. (21%), and 2501 - 3000 sq.ft. (33%). Styles found in this area include: "Old Urban" (67%), "West Coast Traditional" (13%), "West Coast Traditional" (7%), "West Coast Modern" (7%), and "Heritage (Old B.C.)" (7%). Home types include: Bungalow (47%), 1½ Storey (7%), Two-Storey (7%), Basement Entry (20%), and Cathedral Entry (20%).

Massing scale (front wall exposure) characteristics include: Low mass structure (47%), Low to midscale massing (7%), Mid-scale massing (7%), and High scale, box-like massing (40%). The scale (height) range for front entrance structures includes: One storey front entrance (80%) and 1 ½ storey front entrance (20%). The range of roof slopes found in this area is: flat (7%), 2:12 (13%), 3:12 (13%), 4:12 (27%), 5:12 (20%), 6:12 (13%), and 8:12 (7%).

Main roof forms (largest upper floor truss spans) include: Main common hip roof (13%), Main common gable roof (67%), Main Dutch hip roof (7%), and Flat roof (13%). Feature roof projection types include: None (56%), Common Hip (13%), Common Gable (25%), and Dutch Hip (6%). Roof surfaces include: Tar and gravel (20%), Roll roofing (7%), Interlocking tab type asphalt shingles (27%), Rectangular profile type asphalt shingles (20%), and Shake profile asphalt shingles (27%).

Main wall cladding materials include: Horizontal cedar siding (27%), Vertical channel cedar siding (20%), Horizontal vinyl siding (27%), and Stucco cladding (27%). Feature wall trim materials used on the front facade include: No feature veneer (47%), Brick feature veneer (27%), and Horizontal cedar accent (27%). Wall cladding and trim colours include: Neutral (65%), Natural (25%), and Primary derivative (10%).

Covered parking configurations include: No covered parking (13%), Single carport (13%), Double carport (13%), Single vehicle garage (27%), Double garage (27%), and Rear garage (7%). Landscaping standards are modest by modern standards and are not contextually relevant to the subject site. Driveway surfaces include: gravel (27%), asphalt (67%), and Rear driveway (7%).

## 1.2 Features of Surrounding Dwellings Significant to the Proposed Building Scheme:

- 1) <u>Context Homes:</u> The housing stock in the area surrounding the subject site does not provide suitable architectural context for a post year 2010 RF-SD zone development. Massing scale, massing designs, house size and shape, roof designs, construction materials, and trim and detailing elements have changed (and improved) significantly since most homes in this area were constructed. A new character area is proposed that will have greater similarities to the aforesaid nearby developments east and west of the subject site (slightly outside the study area), than that of the existing older neighbouring homes.
- 2) <u>Style Character:</u> Most neighbouring homes can be classified as old urban homes that have massing designs and exterior trim and detailing standards that do not meet modern standards. Rather than emulating the existing homes, the recommendation is to utilize reasonably *compatible* styles including "Neo-Traditional", "Neo-Heritage", "Craftsman-Heritage" and "Rural Heritage", and compatible styles similar to those used on the aforesaid nearby developments. Note that style range is not specifically restricted in the building scheme. However, the consultant refers to the character study when reviewing plans for meeting style-character intent.
- 3) <u>Home Types:</u> There is a wide range of home types evident, and so some flexibility is justified. Home type (Two-Storey, Bungalow, Basement Entry, Split Level, etc..) will not be regulated in the building scheme. It is expected however, that every home will be Two-Storey type with in-ground basement.
- 4) <u>Massing Designs:</u> Massing designs should meet new standards for RF-SD zoned subdivisions. New homes should exhibit "mid-scale" massing. Various elements and projections on the front of the home should be interesting architecturally, and should be in pleasing natural proportions to one another. These elements and projections should be located so as to create balance across the façade.
- 5) <u>Front Entrance Design:</u> Front entrance porticos should be of a human scale, limited to a maximum height of one storey to ensure there is not proportional overstatement of this one element. A one storey high front entrance is an appropriate scale for homes in this zone, and is consistent with other homes in this area, including the nearby newer developments.
- 6) <u>Exterior Wall Cladding:</u> A wide range of cladding materials have been used in this area, including vinyl, cedar, stucco, brick, and stone. Reasonable flexibility should therefore be permitted, including the use of vinyl siding, provided the overall quality of wall cladding materials meets or exceeds common standards for post 2010 RF-SD zone developments.
- Roof surface: This is area in which most homes have asphalt shingle roofs. It is expected that all new homes at the subject site will also have asphalt shingle roofs, and for continuity, asphalt shingles are recommended. A single cedar shingle or concrete tile roof would stand out as inconsistent due the large difference in textures (thickness) between asphalt shingles and cedar shingles or concrete tiles, and so these products are not recommended. However, where opportunities arise to introduce new environmentally sustainable products, they should be embraced. Generally, these materials have thicknesses between asphalt shingles and cedar shingles and will not appear out of place texturally. Therefore, to ensure consistency of character, only shake profile asphalt shingles and shake profile sustainable products are recommended.

8) Roof Slope: A significant number of neighbouring homes have low slope roofs that are not well suited to the proposed style range. Emulation of the low slope roof characteristic is therefore not recommended. Roofs slopes of 7:12 or higher are recommended, with standard exceptions to allow lower slopes at verandas (so front windows at the upper floor can be of sufficient depth) and to ensure that roofs are not overly high, resulting in over-shadowing of neighbouring lots, or resulting in view corridor blockage.

### Streetscape:

The area surrounding the subject site was developed substantially in the 1950s and 1960s. Large lots contain small Bungalows or larger box-like Basement Entry or Cathedral Entry houses (thus, homes have either low mass, or box like massing characteristics). Most homes have simple low slope roofs with an asphalt surface. Homes are clad in cedar, stucco, or vinyl. Just over half (53%) of homes have masonry or cedar veneers. The colour range includes neutral, natural and primary hues. Landscaping consists of mature shrubs or trees with sod or native brush. In sharp contrast, there are developments less than five years old, one block east, and one block west (on 60 Ave.) at which numerous compact lot Neo-Heritage and Neo-Traditional style Two-Storey type homes, that meet modern development standards, are currently under construction.

### 2. Proposed Design Guidelines

### 2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

- the new homes are readily identifiable as one of the following styles: "Neo-Traditional", "Neo-Heritage", "Craftsman-Heritage", or "Rural Heritage", or other compatible style as determined by the design consultant. Note that the proposed style range is not contained within the building scheme, but is contained within the residential character study which forms the basis for interpreting building scheme regulations.
- a new single family dwelling constructed on any lot meets year 2000's design standards, which
  include the proportionally correct allotment of mass between various street facing elements, the
  overall balanced distribution of mass within the front facade, readily recognizable style-authentic
  design, and a high trim and detailing standard used specifically to reinforce the style objectives
  stated above.
- trim elements will include several of the following: furred out wood posts, articulated wood post bases, wood braces and brackets, louvered wood vents, bold wood window and door trim, highly detailed gable ends, wood dentil details, stone or brick feature accents, covered entrance verandas and other style-specific elements, all used to reinforce the style (i.e. not just decorative).
- the development is internally consistent in theme, representation, and character.
- the entrance element will be limited in height (relative dominance) to a maximum of one storey.

### 2.2 Proposed Design Solutions:

Interfacing Treatment with existing dwellings)

Existing neighbouring homes do not provide suitable context for the proposed RF-SD type homes at the subject site. Interfacing treatments are therefore not contemplated. Rather, massing design, construction materials, and trim element treatments will meet or exceed standards commonly found in RF-SD developments constructed in Surrey subsequent to the year 2014.

**Exterior Materials/Colours:** Stucco, Cedar, Vinyl, Hardiplank, Brick, and Stone.

"Natural" colours such as browns, greens, clays, and other earth-tones, and "Neutral" colours such as grey, white, and cream are permitted. "Primary derivative" colours in subdued tones such as navy blue, colonial red, or forest green can be considered providing neutral trim colours are used, and a comprehensive colour scheme is approved by the consultant. "Warm" colours such as pink, rose, peach, salmon are not permitted. Trim colours: Shade variation of main colour,

complementary, neutral, or subdued contrast only.

**Roof Pitch:** Minimum 7:12. Maximum 12:12

**Roof Materials/Colours:** Only shake profile asphalt shingles with a raised ridge cap and

new environmentally sustainable roofing products providing that aesthetic properties of the new materials are equal to or better than the traditional roofing products. Greys, browns, or black

only.

**In-ground basements:** Permitted, subject to determination that service invert locations

are sufficiently below grade. Basements will appear

underground from the front.

**Treatment of Corner Lots:** Not applicable. No corner lots.

**Landscaping:** Moderate modern urban standard: Tree planting as specified on

Tree Replacement Plan plus minimum 12 shrubs of a minimum 3 gallon pot size. Sod from street to face of home. Driveways: exposed aggregate, interlocking masonry pavers, stamped concrete or broom finish concrete. All driveways connect the

rear lane to the rear garage slab.

Compliance Deposit: \$5,000.00

**Summary prepared and submitted by:** Tynan Consulting Ltd. Date: May 7, 2015

Reviewed and Approved by: Mulul Date: May 7, 2015

### MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS

### **Tree Preservation Summary**

Surrey Project No: 13-0164-00

Address: 14021 / 14047 60 Avenue, Surrey, BC

Registered Arborist: Monica Ardiel - ISA Certified Arborist PN - 7291A, CTRA #1711

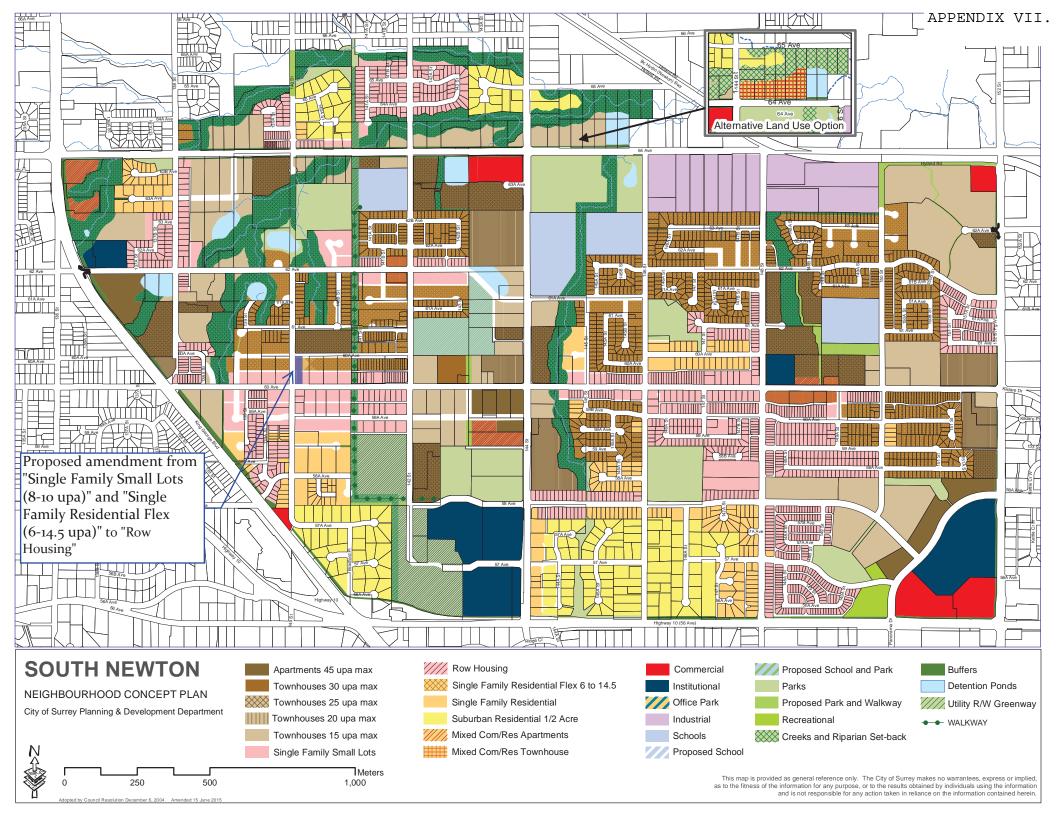
On-Site Trees	Number of Trees
Protected Trees Identified  (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)  Protected Trees to be Removed	37
Protected Trees to be Retained  (excluding trees within proposed open space or riparian areas)	0
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio  0 X one (1) = 0  All other Trees Requiring 2 to 1 Replacement Ratio  37 X two (2) = 74	74
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

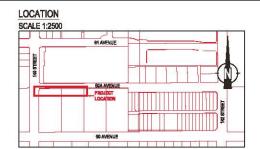
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required:	
<ul> <li>Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio</li> <li>X one (1) =</li> </ul>	0
<ul> <li>All other Trees Requiring 2 to 1 Replacement Ratio</li> <li>X two (2) =</li> </ul>	
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.	
Signature of Arborist:	Date: April 29, 2015



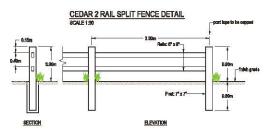






### PLANT SPECIES LIST AND SPECIFICATIONS

SYMBOL	COMMON NAME	LATIN NAME	NUMBER	COMMENTS
(4)	beidlyp rose	Rose дунического	29	no. 2 pot; densely brenched; well established
(P)	mack arange	Philodolphus Jowisi	5	no, 2 pot; densely branched; well established
(Ha)	повтирану	Helediscus discribe	7	no. 2 pot; starmely branched; well autablished
(Ra)	net-licensing cummit	Ribus surgalosuro	7	no. 2 pot; dansely branched; and established
(5a)	enoubery	Symphorizanyou albus	34	no. 2 pot; densely branched; well established
<b>@</b>	common must	Jones affense	13	no. 1 pot; well autobilehed
0	controck sadjo	Carecr officials	14	no. 1 pat; well established
0	securi fiem	Polyabahan munium	26	no. 1 pol; well autobilshed
8	boulders		34	SOOmen (5) round



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TYPICAL CHANNEL SECTION

### GENERAL LANDSCAPE SPECIFICATIONS

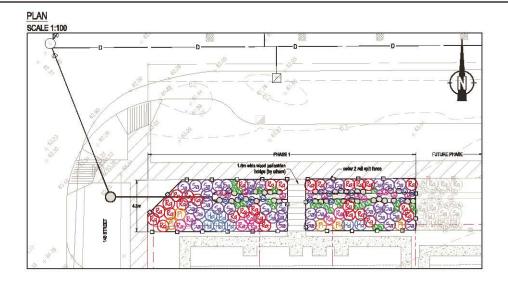
- Plant material and the planting of such material are to be in accordance with the British Columbia Landscape Standard (current addicn) jointly published by the British Columbia Society of Landscape Architects and the British Columbia.

- Comment softway (which you believe to be in the Chambala Stantiny of Lumbaura Andreads and the Effeth Chambala Landscape Newsy Association.

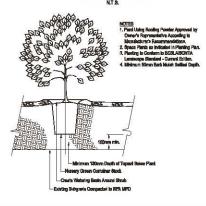
  2. All works are in the commands in excressment with the audit ment control permission of the "Land Description of Chambala" (All Parties of Chambala Stanting of
- An action and actions to the control of the control
- Environment.

  The contracts in to provide three (5) years of plant maletowners. Plant maintenance in to include watering, subschine prenting and cleaning of blandbarry. Species survivorably in the qual con-bunder (100) parcent three (5) years from planting. Replacement of each stand such carry to require in 1-100 this three gradients. Replacement of each stand subschine (5) years from planting.

  An experiment of the contract o



### CITY OF SURREY SHRUB PLANTING DETAIL



#### REFERENCE DRAWINGS

- 1. Project No. 150807. Sheet No. A1. "14021 50th Ave. Project. Consolideled Site Plan".
- House Rose (1997) American (1997) Processor (1997) Processo

### MORTISE CONSTRUCTION

14047 AND 14021 60 AVENUE Ѕитеу, ВС



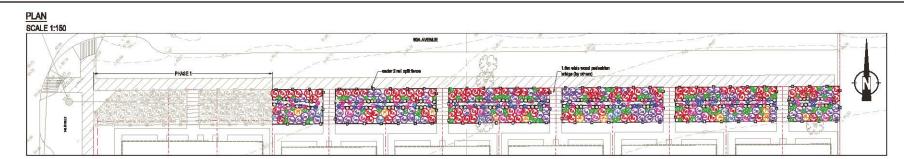
### envirowest consultants inc.

Suits 101 - 1515 Breadway Street Port Coquitiam, British Columbia Canada V3C BM2 office: 804-944-0502 facatmile: 804-844-0507

www.envirowest.ca

### LANDSCAPE PLAN LANDSCAPE DETAILS AND SPECIFICATIONS

JVV BIOHE	CEV/SCM	CHECKED:	02 REVISION DATE August 24, 2015		
As Shown			DRAWNS NUMBER:		
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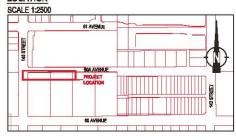
### PLANT SPECIES LIST AND SPECIFICATIONS

SYMBOL	COMMON NAME	LATIN NAME	NUMBER	COMMENTS
<b>(4)</b>	beidhip rose	Rose gennoverps	100	no. 2 poi; siensely branched; and established
<b>(P)</b>	mack anings	Philodolphus Invital	11	no. 2 pot; densely branched; well established
(1)	поминирому	Heladhuura dheolar	10	no. 2 pot; densely tranched; unal actabilished
<b>(2)</b>	red-flowering current	Riber sanguloeuro	12	no. 2 pot; densely branched; and established
(3)	anneberry	Symphoricarpos albus	85	no. 2 pot; densely branched;
(4)	септов гива	Janear efferia	49	no. 1 pot; well established
0	sesbeek sedge	Cares stipate	55	no. 1 pot; well established
9	array fem	Polyatichan munium	119	no. 1 pol; well satablished
Q	boulders		129	500mm (5 must

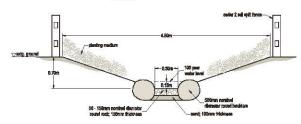
### GENERAL LANDSCAPE SPECIFICATIONS

- 1. Past instantia and the planning of such methods are to be in accordance with the Sirtleh Columbia Landscape Standard (course orders) planty published by the Sirtleh Columbia Society of Landscape Architects and the Sirtleh Columbia. Landscape Standard planty Amendation.
  2. All rendo are to be consisted in accordance with the seed must control provided and of the Land Development Girlehines for the Provision of Amelian Healthing Intelly problem by 100 Ethinity of Columbia and Columbia and Columbia. Counties and Columbia and Columbia. Columbia and Columbia and

### LOCATION

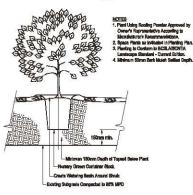


#### TYPICAL CHANNEL SECTION SCALE 1:25



### CEDAR 2 RAIL SPLIT FENCE DETAIL SECTION ELEVATION

### CITY OF SURREY SHRUB PLANTING DETAIL



- Internet National Committees and August 05, 2015; Morities Construction. I. Ernald: 1402 DN Ave Sitts (1), daig, Racolved August 05, 2015; Morities Construction. 2 Pringet No. 160507: Sheet No. Al. 14021 60th Ave, Project Consolidated She Plent Marques Deliging Build. 3. Ernald: 16019 ACAD-LOT Julya, Racolved May 11, 2015; Hab Engineering Inc. 4.2014 Logid Beas Branc Oly of Surray.

### MORTISE CONSTRUCTION

14047 AND 14021 60 AVENUE Ѕитеу, ВС



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### LANDSCAPE PLAN LANDSCAPE DETAILS AND SPECIFICATIONS

PJW PJW	CEV	CHECKED:	REVISION DATE:
As Shown			DRAWING HUMBER:
DATE ALIG	August 24, 2015		1942-04-02