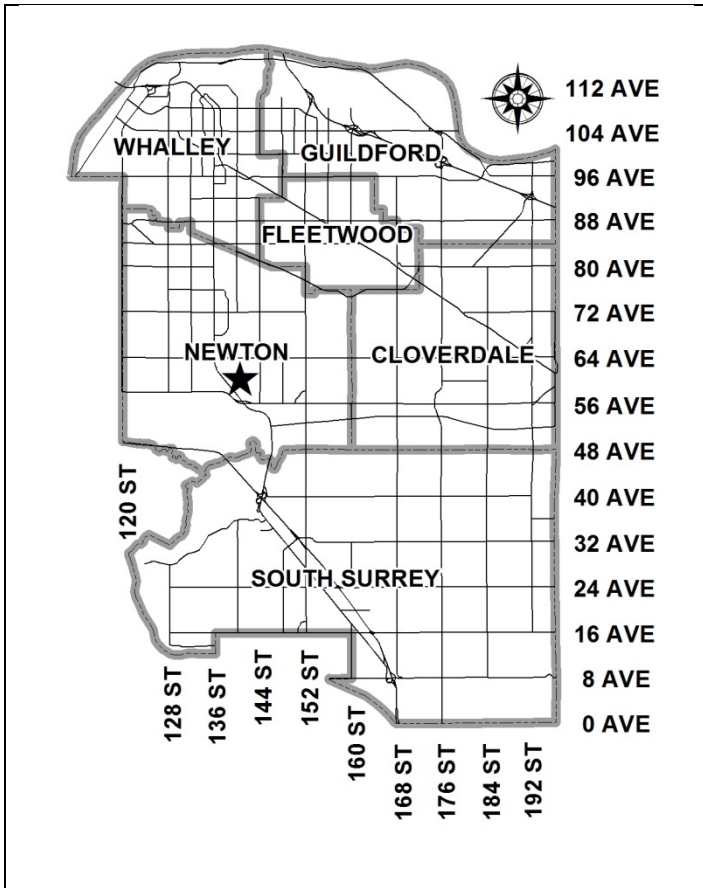


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7913-0164-00

Planning Report Date: September 14, 2015



PROPOSAL:

- **Partial NCP Amendment** from Single Family Small Lots (8-10 upa) and Single Family Residential Flex (6-14.5 upa) to Row Housing
- **Rezoning** from RA to RF-SD and RM-23
- **Development Permit**

to allow the development of 10 duplexes and 6 rowhouses, for a total of 26 units.

LOCATION: 14021 - 60 Avenue

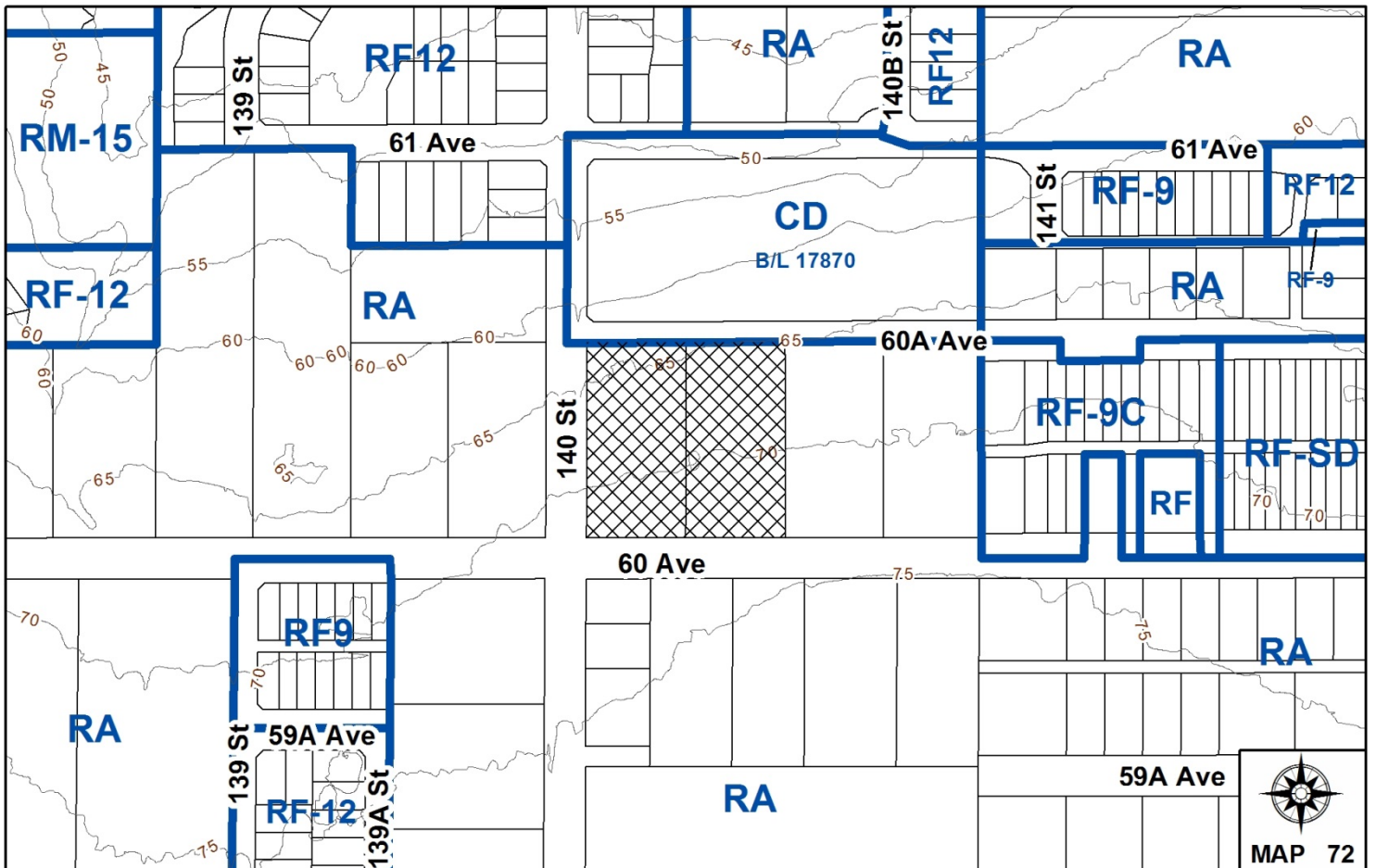
14047 - 60 Avenue

OWNER: Jagdish K Duhra et. al.

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: Single Family Small Lot and Single Family Residential Flex 6-14.5 upa



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- An NCP amendment is proposed to the South Newton NCP for a portion of the site, from Single Family Small Lots (8-10 upa) and Single Family Residential Flex (6-14.5 upa) to Row Housing.

RATIONALE OF RECOMMENDATION

- Complies with OCP Designation.
- The majority of the site is being developed as semi-detached residential (RF-SD), which generally complies with South Newton NCP designations.
- The site has insufficient width to develop entirely as RF-SD, without leaving a residual lot for future consolidation with lands to the east. By allowing a residual portion at the west end of the site for row housing (RM-23), the applicant to the east can develop independently.
- The proposed density and building form are similar to a number of approved developments in the area, and are appropriate for this part of Newton.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site as shown on the Rezoning Block Plan (Appendix II) as follows:
 - (a) Block A from "One-Acre Residential Zone (RA)" to "Multiple Residential 23 Zone (RM-23)" (By-law No. 12000); and
 - (b) Block B from "One-Acre Residential Zone (RA)" to "Semi-Detached Residential Zone (RF-SD)";and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7913-0164-00 generally in accordance with the attached drawings (Appendix II).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) approval from Senior Government Environmental Agencies regarding the relocation of a Class B watercourse;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) registration of access easements and Section 219 Restrictive Covenants to secure building maintenance and party wall agreements; and
 - (i) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department.
4. Council pass a resolution to amend the South Newton NCP to redesignate the western portion of the land from Single Family Small Lots (8-10 upa) and Single Family Residential Flex (6-14.5 upa) to Row Housing when the project is considered for final adoption.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

13 Elementary students at Woodward Hill Elementary School
7 Secondary students at Sullivan Heights Secondary School

(Appendix V)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2016.

The School District does not support development at densities higher than the originally planned South Newton NCP.

Parks, Recreation & Culture: Parks supports the proposed development.

Ministry of Environment (MoE): The applicant applied directly with the Ministry of Environment for the relocation of a Class B watercourse, pursuant to the Water Act.

Ministry of Transportation & Infrastructure (MOTI): Preliminary Rezoning Approval is granted pursuant to section 52 (3)(a) of the *Transportation Act*, and valid for one year from June 03, 2015.

SITE CHARACTERISTICS

Existing Land Use: Two single family dwellings

Adjacent Area:

Direction	Existing Use	OCP / NCP Designation	Existing Zone
North (Across 60A Avenue):	Single family dwellings (current development application No. 7915-0221-00) to allow development of 89 townhouse units.	Urban / Townhouses (25 upa)	CD (By-law No. 17870)

Direction	Existing Use	OCP / NCP Designation	Existing Zone
East:	Single family dwellings	Urban / Single Family Small Lots (8-10 upa) and Single Family Residential Flex (6-14.5 upa)	RA
South (Across 60 Avenue):	Single family dwellings (current development applications Nos. 7914-0067-00; 7914-0314-00; and 7914-0345-00, all to permit development of small single family lots)	Urban / Single Family Small Lot (8-10 upa)	RA
West (Across 140 Street):	Single family dwellings	Urban / Single Family Small Lots (8-10 upa) and Single Family Residential Flex (6-14.5 upa)	RA

JUSTIFICATION FOR PLAN AMENDMENT

- The South Newton Neighbourhood Concept Plan (NCP) designates the properties as Single Family Small Lot (8-10 upa) along the southern portion of the site, and Single Family Residential Flex (6-14.5 upa) along the northern portion. The majority of the site is being developed as RF-SD, which is generally consistent with the current NCP.
- The site has insufficient width to develop entirely as RF-SD, without leaving a residual lot for future consolidation with lands to the east. By allowing a residual portion at the west end of the site for RM-23, the applicant can develop independently. This will leave more flexibility in development options for the property owners to the east.
- As the row houses (RM-23) are a different type of building form than the envisioned Single Family Small Lot or Residential Flex, the applicant is proposing an NCP amendment to accommodate two triplexes at the west end of the site, from "Single Family Small Lot (8-10 upa)" and "Single Family Residential Flex (6-14.5 upa)" to "Row Housing". This land use is considered an appropriate and unique form of affordable home ownership in fee simple tenure.
- A similar amendment was approved by Council as part of Development Application No. 7910-0297-00, which created 6 RM-23 lots on 64 Avenue west of 140 Street, also in the South Newton NCP.

DEVELOPMENT CONSIDERATIONS

Background

- The subject site consists of two properties, designated Urban in the Official Community Plan, and designated Single Family Small Lot (8-10 upa) and Single Family Residential Flex (6-14.5 upa) in the South Newton Neighbourhood Concept Plan (NCP). The subject site is currently zoned "One-Acre Residential Zone (RA)".

- The subject site is at the northeast corner of 60 Avenue and 140 Street, with a total gross area of 0.93 hectares (2.29 acres) and net area of approximately 0.75 hectares (1.86 acres).

Proposal

- This application proposes to rezone to RF-SD and RM-23, to permit development of 10 duplexes and 6 row houses, for a total of 26 units, with a Development Permit for the RM-23 units to regulate form and character. An NCP amendment is also required to accommodate the proposed RM-23 lots.
- The proposed density is 34.5 units per hectares (14 upa), which is consistent with the planned density in the South Newton NCP. The NCP amendment is required due to a change in housing form, from single family houses to row housing for the proposed RM-23 units at the corners of 140 Street and 60/60A Avenues..
- The proposal includes 13 lots facing 60 Avenue, and 13 lots facing 60A Avenue, all with access off an east-west lane in between the two rows of development. As 13 units is an odd number, it would not be possible to complete the development with semi-detached units, which require an even number of lots. To resolve this, the corner lots are proposed with 3 units in a group of RM-23 lots.
- The proposed RF-SD lots are a minimum of 7.36 m (24 ft.) wide, varying in area from 285 m² (3,068 sq. ft.) to 304 m² (3,272 sq. ft.), which complies with the minimum 7.2 m (24 ft.) width and 200 m² (2,150 sq. ft.) area of the RF-SD Zone.
- The proposed RM-23 lots are 7.2 m (24 ft.) for the end lots, 6.3 m (21 ft.) for the internal lots, and 9.7 m (32 ft.) for the corner lots, and areas varying from 244 m² (2,626 sq. ft.) to 369 m² (3,972 sq. ft.) which meet the minimum dimensions for the RM-23 Zone.
- There is a Class-B (yellow) watercourse along the east side of 140 Street that is proposed to be relocated to the south side of 60A Avenue. The relocated watercourse will be integrated through a Statutory Right-of-Way along the frontage of the lots facing 60A Avenue (Appendix VIII). There are bridges proposed to cross the relocated watercourse for every pair of RF-SD lots, and one bridge for the three RM-23 facing 60A Avenue. The applicant has applied for the watercourse relocation process through the Water Act, and the relocation process must be completed prior to final adoption.
- All driveway access is proposed from a rear lane.
- The RM-23 and RF-SD units require party wall agreements between owners, as units share common walls along their common property line. A party wall agreement for shared maintenance, along with a Section 219 Restrictive Covenant, will be required to be registered in this regard.

PRE-NOTIFICATION

Pre-notification letters were sent on May 25, 2015. Staff received two letters of concerns, both regarding building height and density.

- Density

(The majority of the site is being developed as semi-detached residential (duplexes), which is generally in compliance with the NCP. The NCP amendment is to address a change in building form, from small lot to row housing, with little impact to the originally proposed density.)

- Building Height and Views

(Neighbours were concerned with the building height and a high-pitched roof blocking views. The applicant has modified the Building Scheme for the RF-SD lots to address this, and establish a maximum roof pitch of 12:12. This was discussed with the residents and they were satisfied with the modification. For the corner lots (RM-23), the roof pitch is detailed in the Development Permit, and no sloped higher than 12:12 will be considered.)

DESIGN PROPOSAL AND REVIEW

- The semi-detached lots (RF-SD) are subject to a Building Scheme and the triplexes (RM-23) are subject to a Development Permit to regulate form and character.
- For the Building Scheme (RF-SD lots), the roof pitch was established at a maximum 12:12 to address concerns from the neighbourhood regarding view obstruction.
- The proposed RM-23 lots are two groups of three lots, one group facing 60 Avenue, and one group facing 60A Avenue. For the group facing 60 Avenue, each unit will have individual pedestrian access from the street. For the group facing 60A Avenue, there will be only one pedestrian bridge crossing the relocated creek, which then separates into individual entrances for the units.
- All RM-23 units are proposed as three-story units, with a basement unit, and the main unit occupying the two upper floors. Given the slope on the site, buildings will appear as 2-storey from 60 Avenue, and 3-storey from 60A Avenue.
- The RM-23 units are proposed with good quality materials, including hardie plank siding, stucco, cedar siding, natural wood and masonry veneer.
- The roof pitch proposed for the RM-23 units is 5:12 for the most part, with a few accent roof areas at 3:12, 6:12 and 12:12.

TREES

- Mike Fadum, ISA Certified Arborist of Mike Fadum and Associate Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder / Cottonwood	-	-	-
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry	1	1	0
Crabapple	1	1	0
Dogwood, Pacific	1	1	0
Maple, Bigleaf	1	1	0
Oak, Red	1	1	0
Plum	1	1	0
Coniferous Trees			
Cedar, Western Red	8	8	0
Douglas Fir	20	20	0
Fir Grand	1	1	0
Pine	1	1	0
Spruce, Blue	1	1	0
Total (excluding Alder and Cottonwood Trees)	37	37	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		23	
Total Retained and Replacement Trees		23	
Contribution to the Green City Fund		\$15,300	

- The Arborist Assessment states that there are a total of 37 mature trees on the site, with no Alder and Cottonwood trees. It was determined that none of the 37 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 74 replacement trees on the site. Since only 23 replacement trees can be accommodated on the site (based on an average of 1 tree per lot), the deficit of 51 replacement trees will require a cash-in-lieu payment of \$15,300, representing \$300 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.

- A landscape plan is required for the RM-23 portion of the site. The new trees on the RM-23 site will consist of a variety of trees including Maple, Cypress and Dogwood trees.
- In summary, a total of 23 trees are proposed to be retained or replaced on the site with a contribution of \$15,300 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on September 04, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	• Site is on a bus route (60 Avenue)
2. Density & Diversity (B1-B7)	• Two types of housing are proposed: semi-detached and row housing (triplex)
3. Ecology & Stewardship (C1-C4)	• Relocation of a Class B watercourse
4. Sustainable Transport & Mobility (D1-D2)	• n/a
5. Accessibility & Safety (E1-E3)	• Natural surveillance for roads and lanes, and natural access controlled by fences and trees
6. Green Certification (F1)	• n/a
7. Education & Awareness (G1-G4)	• n/a

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Subdivision Layout, Rezoning Block Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Building Design Guidelines Summary
Appendix VI.	Summary of Tree Survey and Tree Preservation
Appendix VII.	NCP Plan
Appendix VIII.	Watercourse Relocation Plan

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Marquee Design Build and PMG Landscape Architects, respectively, dated September 02, 2015 and September 03, 2015.

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

LFM/da

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Mike Kompter
Hub Engineering Inc.
Address: 7485 - 130 Street, Unit 101
Surrey, BC V3W 1H8

Tel: 604-572-4328 - Work
604-572-4328 - Fax

2. Properties involved in the Application
 - (a) Civic Address: 14021 - 60 Avenue
14047 - 60 Avenue

 - (b) Civic Address: 14021 - 60 Avenue
Owner: Jagdish K Duhra
PID: 007-343-710
Lot 20 Section 9 Township 2 New Westminster District Plan 36712

 - (c) Civic Address: 14047 - 60 Avenue
Owner: Mandeep S Duhra
Heather J Michaloski
Bradley D Michaloski
Jasdeep Sandhu
Amandeep Sandhu
PID: 007-343-728
Lot 21 Section 9 Township 2 New Westminster District Plan 36712

3. Summary of Actions for City Clerk's Office
 - (a) Introduce a By-law to rezone the property.

 - (b) Application is under the jurisdiction of MOTI. YES

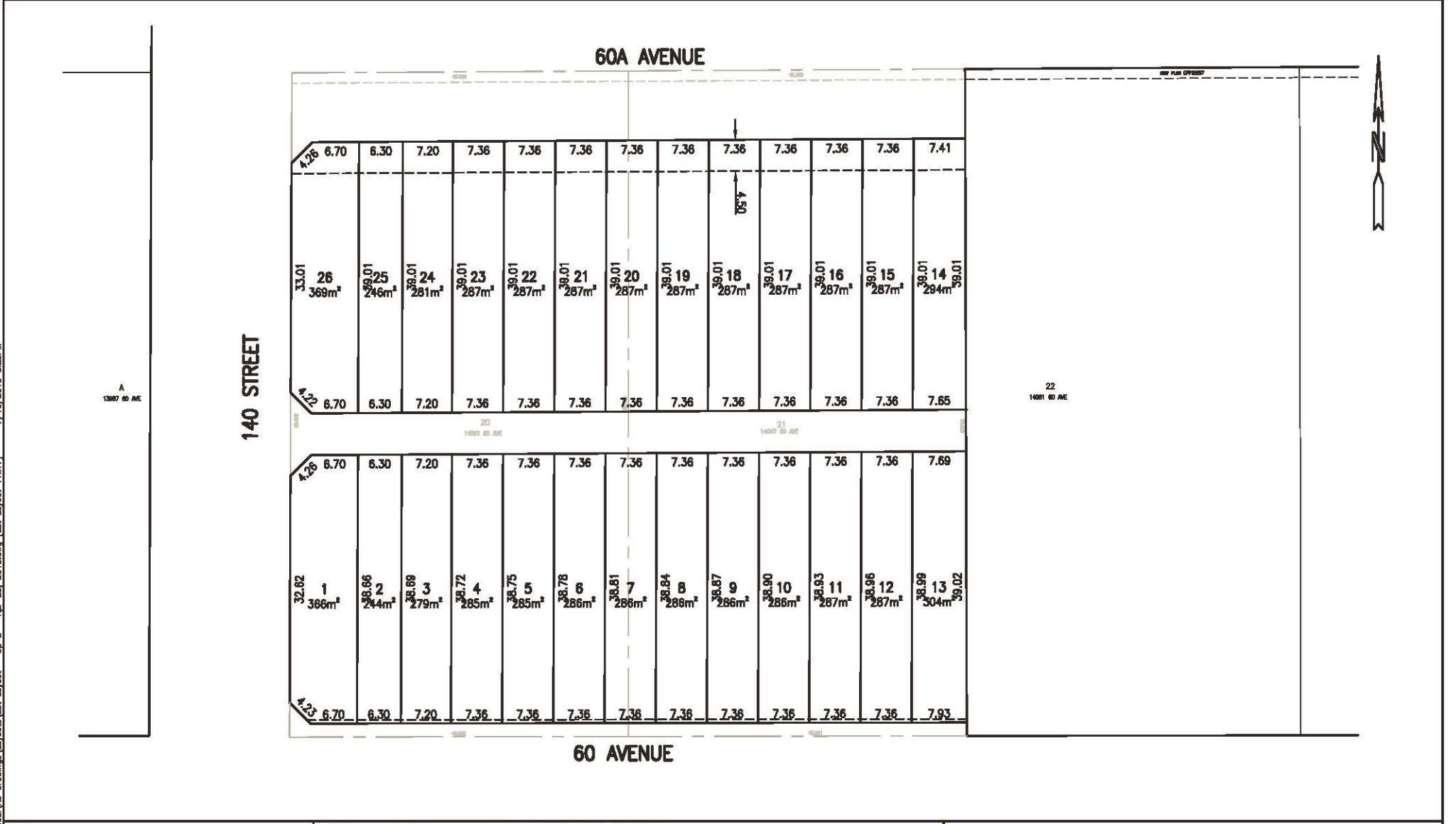
MOTI File No. 2015-02750

SUBDIVISION DATA SHEET

Proposed Zoning: RF-SD and RM-23

Requires Project Data	Proposed
GROSS SITE AREA	
Acres	2.29 acres
Hectares	0.93 hectares
NUMBER OF LOTS	
Existing	2
Proposed	26
SIZE OF LOTS	
Range of lot widths (metres)	6.3 m to 9.7 m
Range of lot areas (square metres)	285 m ² to 369 m ²
DENSITY	
Lots/Hectare & Lots/Acre (Gross)	28 uph / 12 upa
Lots/Hectare & Lots/Acre (Net)	35 uph / 14 upa
SITE COVERAGE (in % of gross site area)	
Maximum Coverage of Principal & Accessory Building	60%
Estimated Road, Lane & Driveway Coverage	15%
Total Site Coverage	75%
PARKLAND	
Area (square metres)	CIL
% of Gross Site	CIL (5%)
Required	
PARKLAND	
5% money in lieu	YES
TREE SURVEY/ASSESSMENT	
	YES
MODEL BUILDING SCHEME	
	YES (RF-SD lots)
HERITAGE SITE Retention	
	NO
FRASER HEALTH Approval	
	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others	NO

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CLIENT:	PROJECT: 14021 & 14047 - 60 AVENUE, SURREY		
DRAWING TITLE:	RESIDENTIAL SUBDIVISION		
PROJECT No.	2014-107	DATE	MAR 2014
LEGAL:	SCALE:	MUNICIPAL PROJECT No.:	
PRELIMINARY PLAN - SUBJECT TO APPROVAL (S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES			

Hub Engineering Inc.
Engineering and Development Consultants

Member
PACIFIC LAND GROUP
Land Use, Development & Environmental Strategists

101 - 7485 - 130 Street, Surrey, B.C. V3W 1H8
Tel: 604-572-4328 Fax: 604-501-1625 E-mail: mail@hub-inc.com

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY BYLAW
 NO. _____ OVER LOTS 20 AND 21, BOTH OF SECTION 9 TOWNSHIP 2
 NEW WESTMINSTER DISTRICT PLAN 36712**

FOR THE PURPOSE OF REZONING

BCGS 92G.016

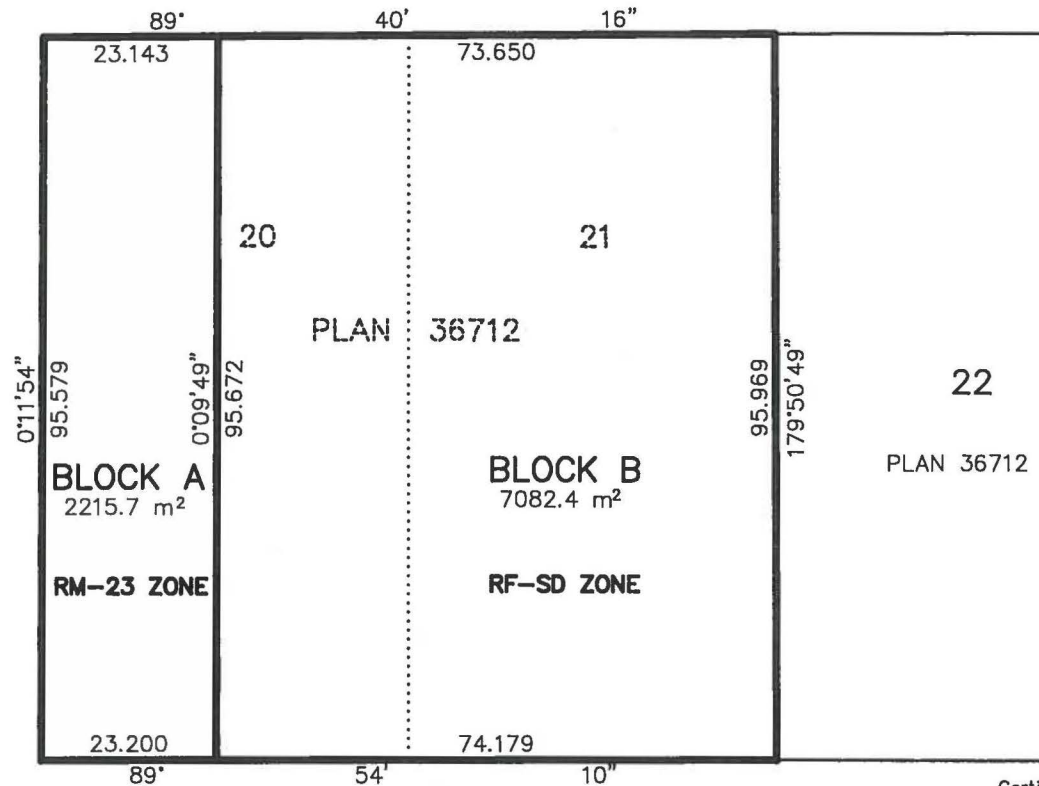
CITY OF SURREY

LEGEND

SCALE 1:1000

LANE

140TH STREET



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DHALIWAL AND ASSOCIATES
LAND SURVEYING INC.
 216-12899 76th Avenue
 Surrey, B.C. V3W 1E6
 Phone: 604 501-6188
 Fax: 604 501-6189
 File: 1504001-Z01

60th AVENUE

**THIS PLAN LIES WITHIN THE
 GREATER VANCOUVER REGIONAL DISTRICT**

Certified correct according to field survey:
 28th day of May, 2015

Gene Paul Nikula

GENE PAUL NIKULA B.C.L.S., 803
**THIS DOCUMENT IS NOT VALID UNLESS
 ORIGINALLY SIGNED AND SEALED**

Project Statistics

CIVIC ADDRESS: 14021 60TH AVENUE, SURREY B.C.
 ZONING: RM-23

LOT COVERAGE PER UNIT

UNIT #1 - LOT AREA: 364.6m²
 ALLOWED COVERAGE: 50%
 MAX LOT COVERAGE: 364.6m² x 0.5 = 182.3m²
 PROPOSED LOT COVERAGE: 119.42m²

UNIT #2 - LOT AREA: 242.7m²
 ALLOWED COVERAGE: 60%
 MAX LOT COVERAGE: 242.7m² x 0.6 = 145.6m²
 PROPOSED LOT COVERAGE: 127.63m²

UNIT #3 - LOT AREA: 277.7m²
 ALLOWED COVERAGE: 60%
 MAX LOT COVERAGE: 277.7m² x 0.6 = 166.6m²
 PROPOSED LOT COVERAGE: 118.68m²

UNIT #4 - LOT AREA: 369.4m²
 ALLOWED COVERAGE: 50%
 MAX LOT COVERAGE: 369.4m² x 0.5 = 184.7m²
 PROPOSED LOT COVERAGE: 102.74m²

UNIT #5 - LOT AREA: 246.0m²
 ALLOWED COVERAGE: 60%
 MAX LOT COVERAGE: 246.0m² x 0.6 = 147.6m²
 PROPOSED LOT COVERAGE: 104.46m²

UNIT #6 - LOT AREA: 281.1m²
 ALLOWED COVERAGE: 60%
 MAX LOT COVERAGE: 281.1m² x 0.6 = 168.7m²
 PROPOSED LOT COVERAGE: 101.28m²

FLOOR AREA CALCULATION PER UNIT (INCLUDING GARAGE)

UNIT #1 - 242.33m² = 2608.4 ft²
 UNIT #2 - 239.99m² = 2583.2 ft²
 UNIT #3 - 239.18m² = 2574.5 ft²
 UNIT #4 - 242.12m² = 2606.2 ft²
 UNIT #5 - 239.26m² = 2575.4 ft²
 UNIT #6 - 239.05m² = 2573.1 ft²
 TOTAL - 1,441.94m² = 15,520.9 ft²

ABOVE GROUND FLOOR AREA:

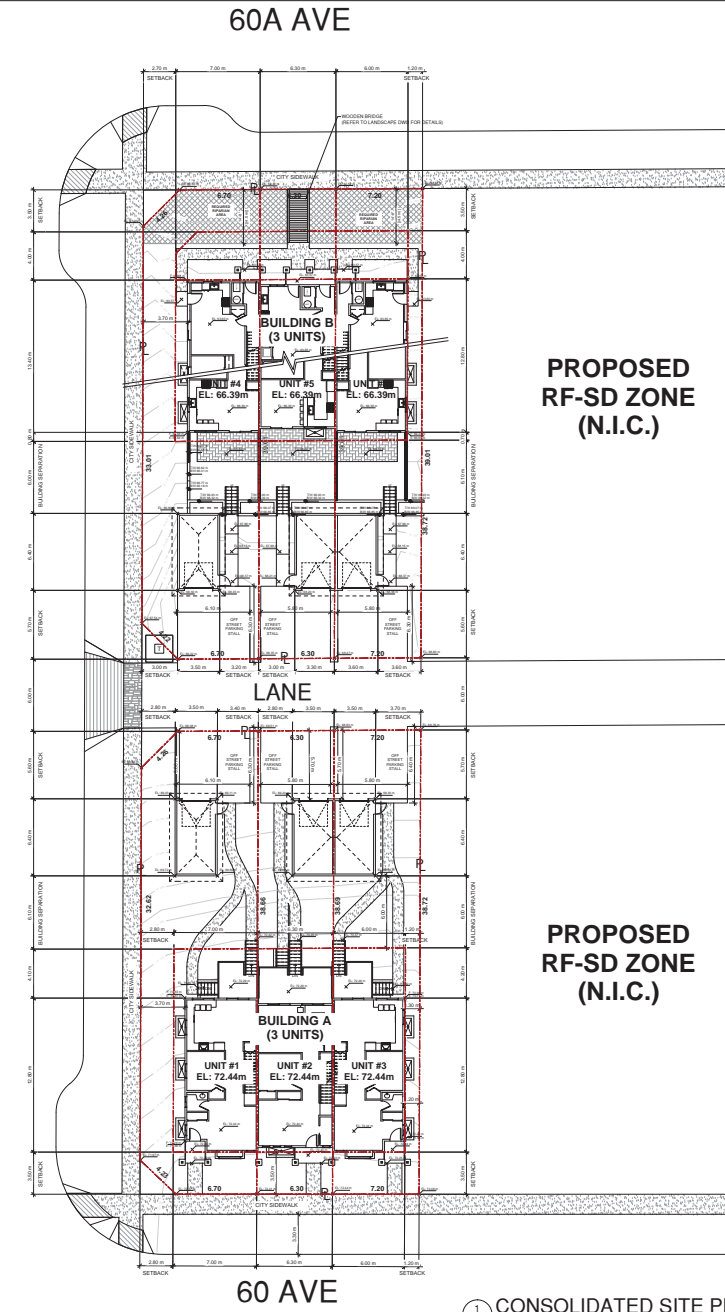
MAX ALLOWABLE ABOVE GROUND FA = 144m²
 UNIT #1 - 142.83m²
 UNIT #2 - 142.51m²
 UNIT #3 - 140.97m²
 UNIT #4 - 144.00m²
 UNIT #5 - 141.78m²
 UNIT #6 - 142.21m²

OFF-STREET PARKING CALCULATION

PARKING RATIO: 2 spaces/unit (1 SPACE IN GARAGE)
 REQUIRED SPACES: 2 x 6 units = 12 spaces
 PROVIDED: 12 PARKING SPACES (6 IN GARAGE)

UNPROTECTED OPENING CALCULATIONS AS PER B.C.B.C. 9.10.15.4

BUILDING #	UNIT #	ORIENTATION	REQUIRED SETBACK	PROPOSED SETBACK	LIMITING DISTANCE	BUILDING FACE AREA	MAX UNPROTECTED OPENING %	MAX ALLOWED UNPROTECTED OPENING	PROPOSED UNPROTECTED OPENING
BUILDING A	1	N	6.0m	6.0m	2.77m	42.42m ²	18.57%	7.88m ² (84.8ft ²)	7.80m ² (84.0ft ²)
	1	W	2.7m	3.7m	3.09m	77.42m ²	16.57%	12.83m ² (138.1ft ²)	8.06m ² (86.8ft ²)
	1	S	3.5m	3.5m	10.47m	35.85m ²	100%	35.85m ² (385.9ft ²)	7.01m ² (75.5ft ²)
	2	N	6.0m	6.0m	3.23m	49.93m ²	22.80%	10.02m ² (107.9ft ²)	9.52m ² (102.5ft ²)
	2	S	3.5m	3.5m	11.53m	37.12m ²	100%	37.12m ² (399.6ft ²)	6.88m ² (74.1ft ²)
	3	N	6.0m	6.0m	2.77m	41.72m ²	18.72%	7.81m ² (84.1ft ²)	7.80m ² (84.0ft ²)
	3	E	1.2m	1.2m	1.20m	76.68m ²	7.0%	5.37m ² (57.8ft ²)	5.31m ² (57.2ft ²)
	3	S	3.5m	3.5m	10.47m	35.36m ²	100%	35.36m ² (380.6ft ²)	7.01m ² (75.5ft ²)
BUILDING B	4	N	3.5m	7.5m	13.99m	51.65m ²	100%	51.65m ² (556.0ft ²)	10.28m ² (110.7ft ²)
	4	W	2.7m	3.7m	3.09m	41.81m ²	14.88%	13.66m ² (147.0ft ²)	9.32m ² (100.3ft ²)
	4	S	6.0m	6.8m	3.10m	34.19m ²	25.05%	8.56m ² (92.1ft ²)	8.04m ² (86.5ft ²)
	5	N	3.5m	7.5m	14.30m	54.17m ²	100%	54.17m ² (583.1ft ²)	10.14m ² (109.1ft ²)
	5	S	6.0m	6.8m	3.55m	35.28m ²	24.14%	8.52m ² (91.7ft ²)	8.04m ² (86.5ft ²)
	6	N	3.5m	7.5m	13.99m	51.02m ²	100%	51.02m ² (549.2ft ²)	10.28m ² (110.7ft ²)
	6	E	1.2m	1.2m	1.20m	87.47m ²	7.0%	6.12m ² (65.9ft ²)	5.89m ² (63.4ft ²)
	6	S	6.0m	6.8m	3.10m	33.76m ²	25.23%	8.52m ² (91.7ft ²)	8.04m ² (86.5ft ²)



PROPOSED RF-SD ZONE (N.I.C.)

PROPOSED RF-SD ZONE (N.I.C.)

CONSOLIDATED SITE PLAN
 1/16" = 1'-0"



Office Location
 Unit 207 - 12639 80th Ave
 Surrey, BC V3W 3A6
<http://Marquee-db.com>



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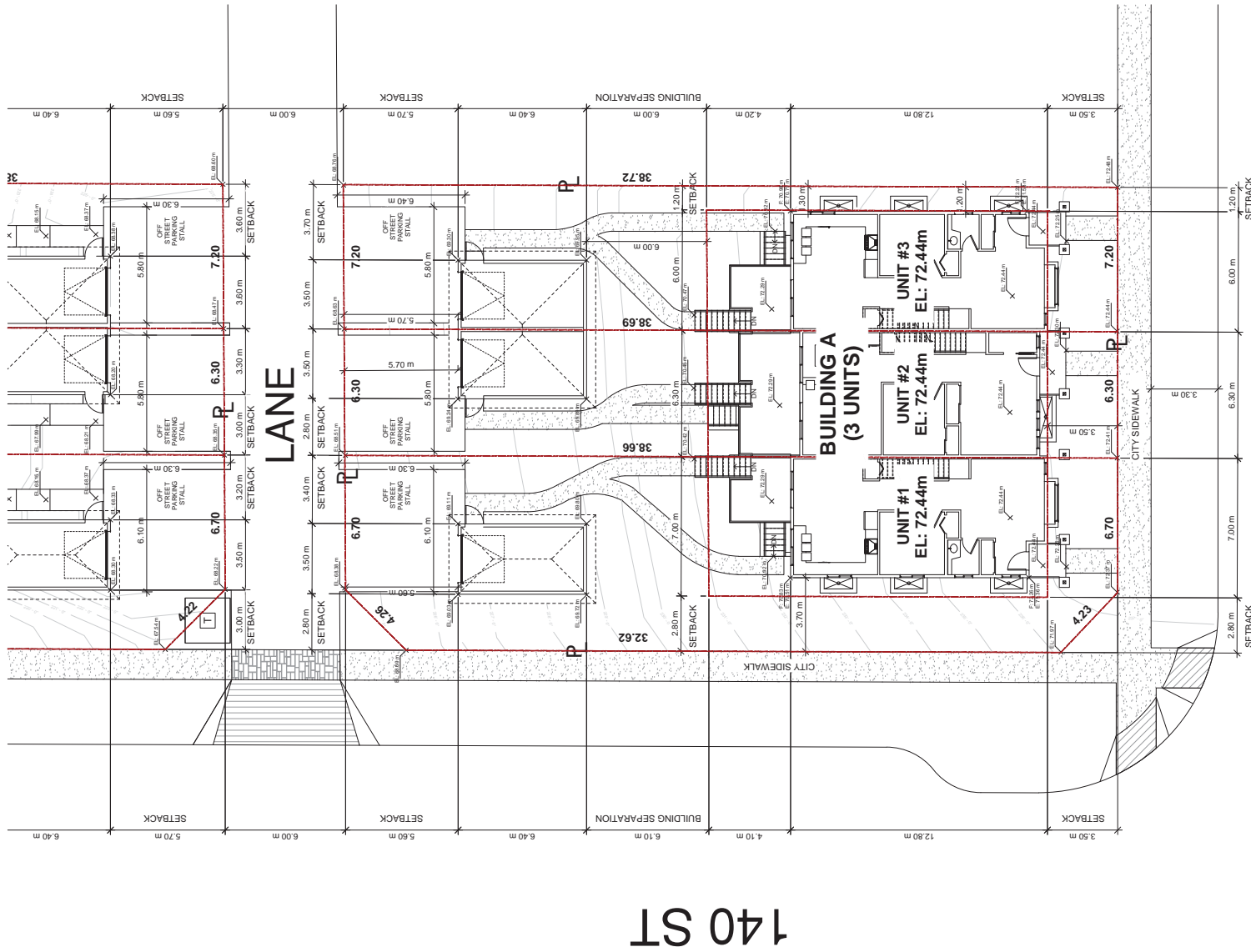
No.	Description	Date

PROJECT TITLE
14021 60TH AVE PROJECT

SHEET TITLE
CONSOLIDATED SITE PLAN

PROJECT NO. 150807
 DATE SEPTEMBER 2, 2015
 DESIGNED BY J
 CHECKED BY G
 SHEET NO. **A1**

SCALE 1/16" = 1'-0"



140 ST

60 AVE

LANE

BUILDING A
(3 UNITS)

UNIT #1
EL: 72.44m

UNIT #2
EL: 72.44m

UNIT #3
EL: 72.44m

1. BUILDING A SITE PLAN
A2



Marquee

Design Build

Office Location
Unit 207 - 12639 60th Ave
Surrey, BC V3W 3A6
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COMMENCEMENT OF WORK.

No.	Description	Date

PROJECT TITLE
14021 60TH AVE PROJECT

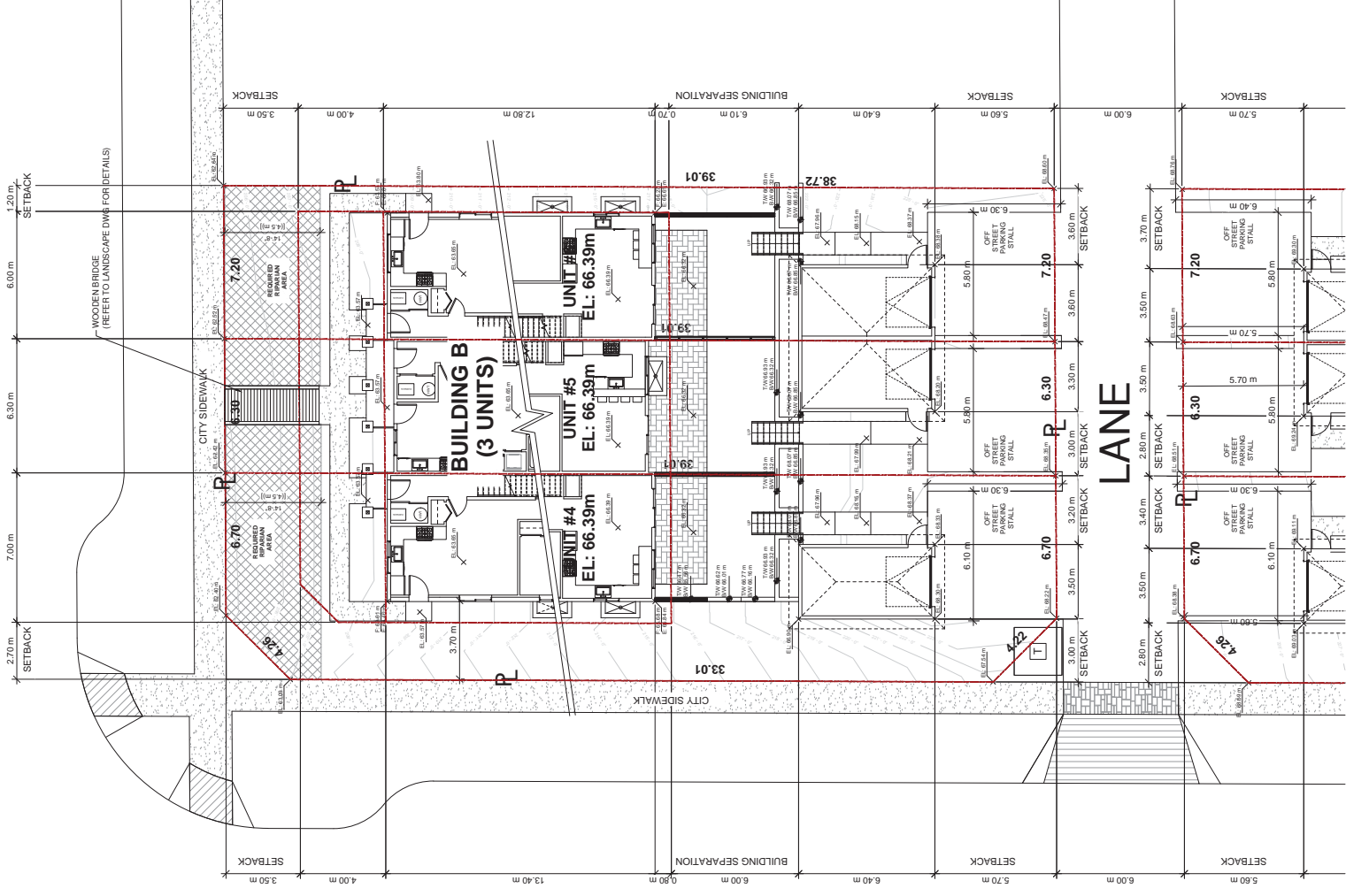
SHEET TITLE
BUILDING A SITE PLAN

PROJECT NO. 150807
DATE SEPTEMBER 2, 2015
DESIGNED BY J
CHECKED BY
SHEET NO.

A2

SCALE 1/8" = 1'-0"

60A AVE



140 ST

1 1/8" = 1'-0"
BUILDING B SITE PLAN



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No.	Description	Date

PROJECT TITLE
14021 60TH AVE PROJECT

SHEET TITLE
BUILDING B SITE PLAN

PROJECT NO. 190807
 DATE SEPTEMBER 2, 2019
 DESIGNED BY J
 CHECKED BY
 SHEET NO. **A3**

SCALE 1/8" = 1'-0"



Marquee Design Build

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No.	Description	Date

PROJECT TITLE
14021 60TH AVE PROJECT

SHEET TITLE
CONTEXT PLAN

PROJECT NO. 150807

DATE SEPTEMBER 2, 2015

DESIGNED BY JX

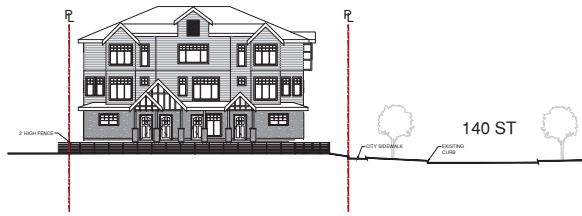
CHECKED BY GP

SHEET NO.

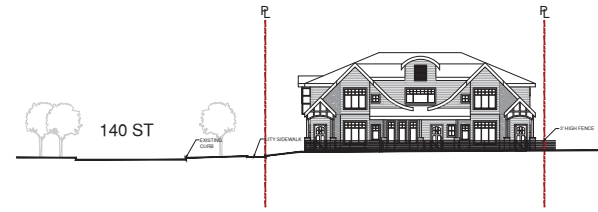
A4

SCALE 1/32" = 1'-0"

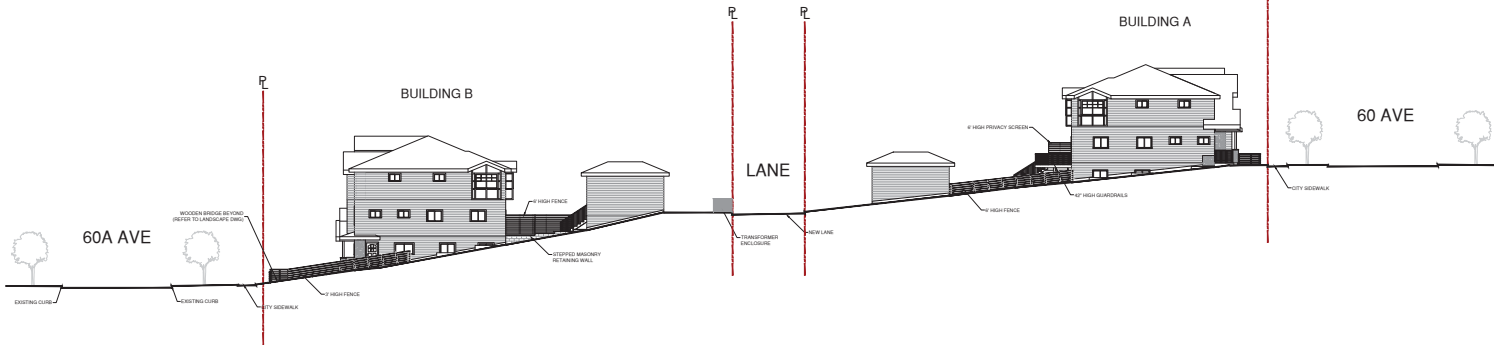




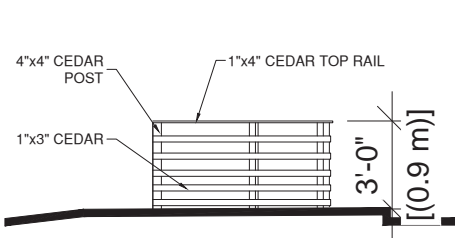
1 STREET ELEVATION ALONG 60A AVE (NORTH FACE)
A6 1/16" = 1'-0"



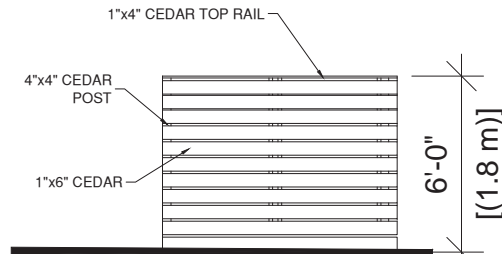
2 STREET ELEVATION ALONG 60 AVE (SOUTH FACE)
A6 1/16" = 1'-0"



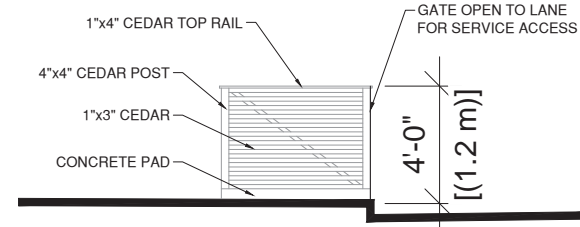
3 STREET ELEVATION ALONG 140 ST (WEST FACE)
A6 1/16" = 1'-0"



4 3' HIGH FENCE DETAIL
A6 1/8" = 1'-0"



5 PRIVACY SCREEN DETAIL
A6 1/2" = 1'-0"



6 TRANSFORMER ENCLOSURE DETAIL
A6 1/2" = 1'-0"



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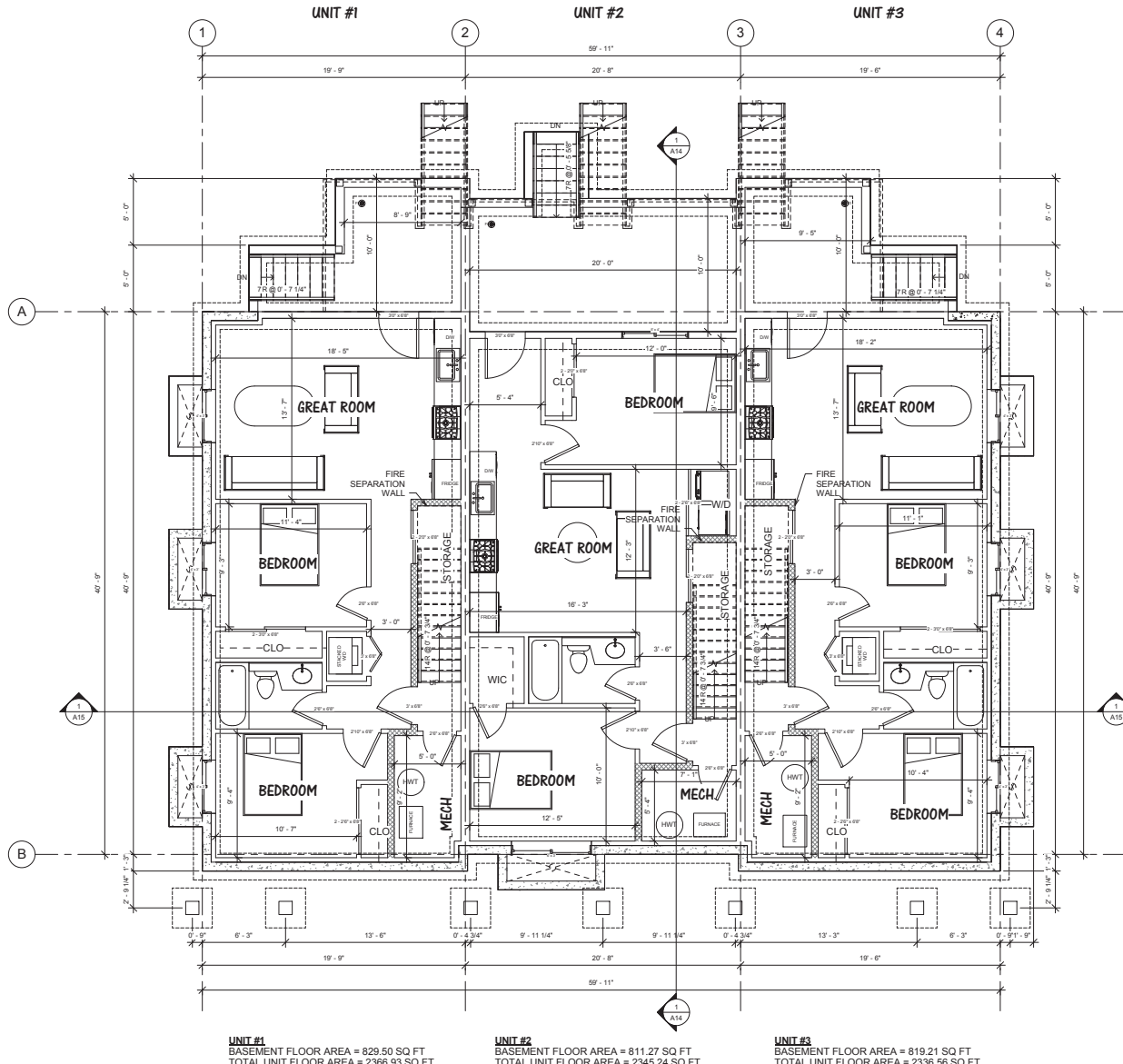
No.	Description	Date

PROJECT TITLE
14021 60TH AVE PROJECT

SHEET TITLE
STREETSCAPE ELEVATIONS & SITE DETAILS

PROJECT NO. 150807
DATE SEPTEMBER 2, 2015
DESIGNED BY J
CHECKED BY G
SHEET NO. **A6**

SCALE AS INDICATED



1 T/O SLAB
1/4" = 1'-0"



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No.	Description	Date

14021 60th Ave Project

BUILDING A -
BASEMENT FLOOR
PLAN

Project number 159807
Date 2015-07-07
Drawn by JK
Checked by GD

A7

Scale 1/4" = 1'-0"



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No.	Description	Date

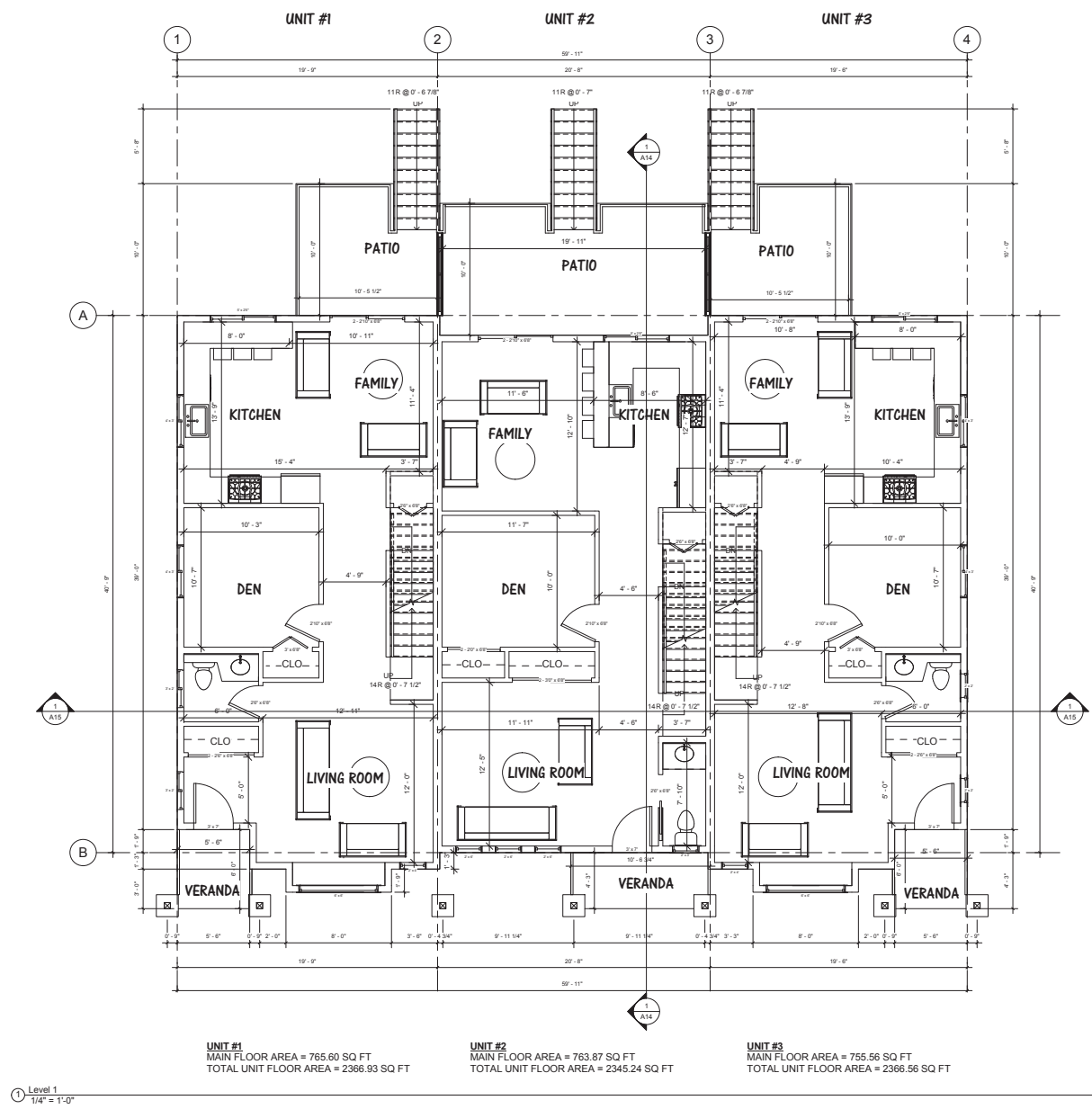
14021 60th Ave Project

**BUILDING A - MAIN
FLOOR PLAN**

Project number 150807
Date 2015-07-07
Drawn by JK
Checked by GD

A8

Scale 1/4" = 1'-0"



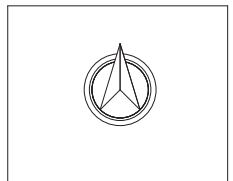
UNIT #1
MAIN FLOOR AREA = 765.60 SQ FT
TOTAL UNIT FLOOR AREA = 2366.93 SQ FT

UNIT #2
MAIN FLOOR AREA = 763.87 SQ FT
TOTAL UNIT FLOOR AREA = 2345.24 SQ FT

UNIT #3
MAIN FLOOR AREA = 755.56 SQ FT
TOTAL UNIT FLOOR AREA = 2366.56 SQ FT



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No.	Description	Date

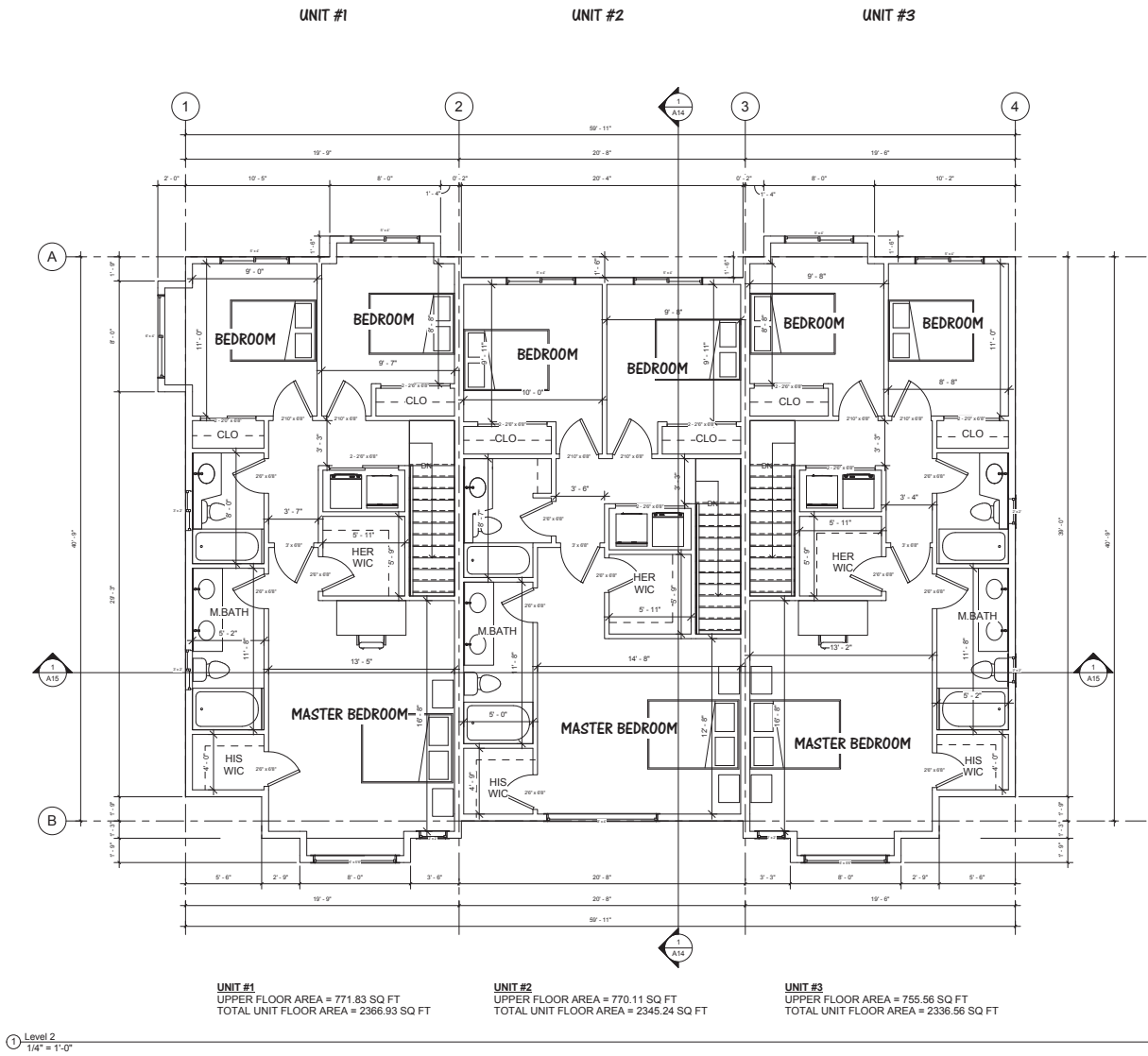
14021 60th Ave Project

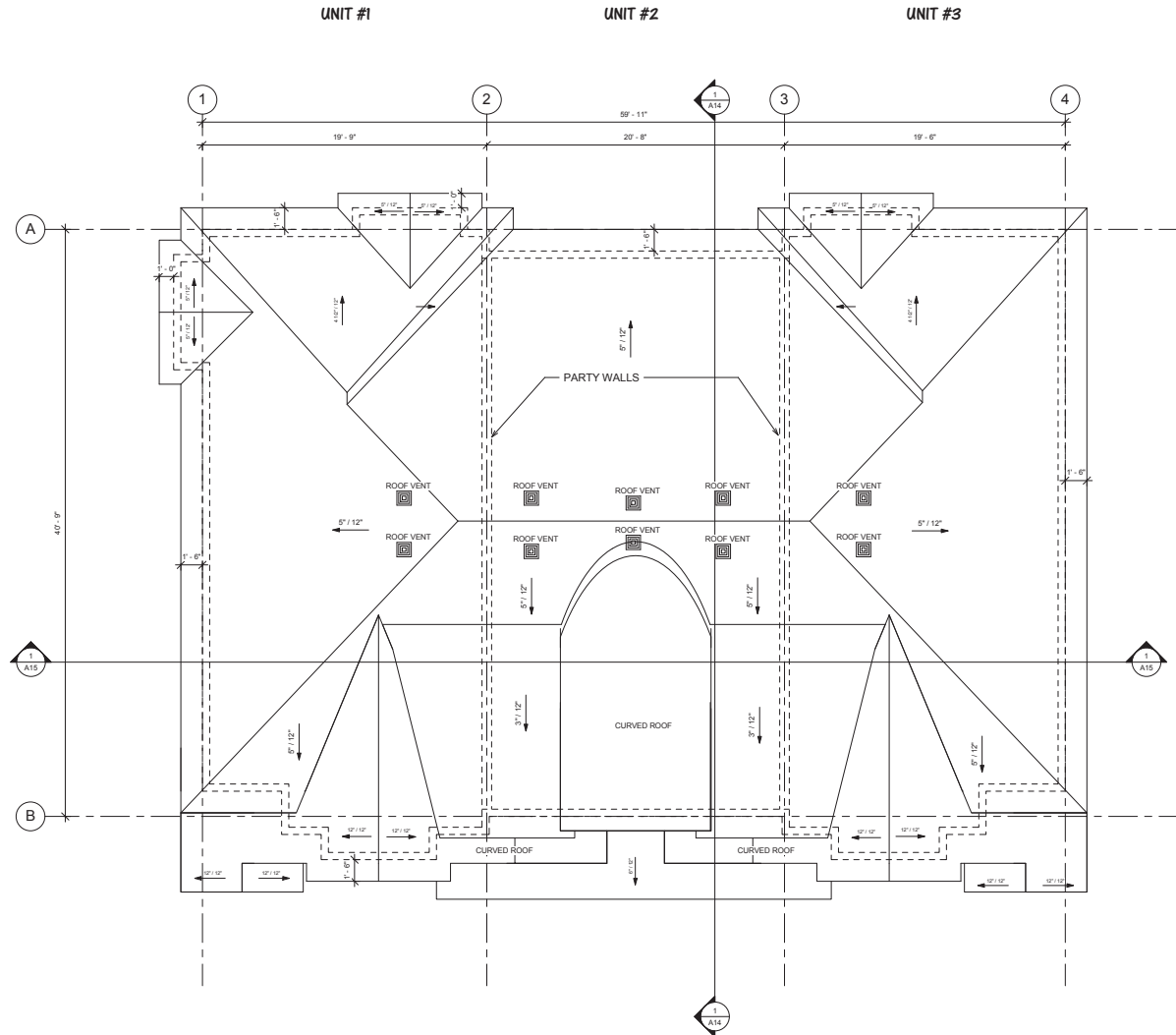
BUILDING A - UPPER
FLOOR PLAN

Project number 150807
Date 2015-07-07
Drawn by JK
Checked by GD

A9

Scale 1/4" = 1'-0"





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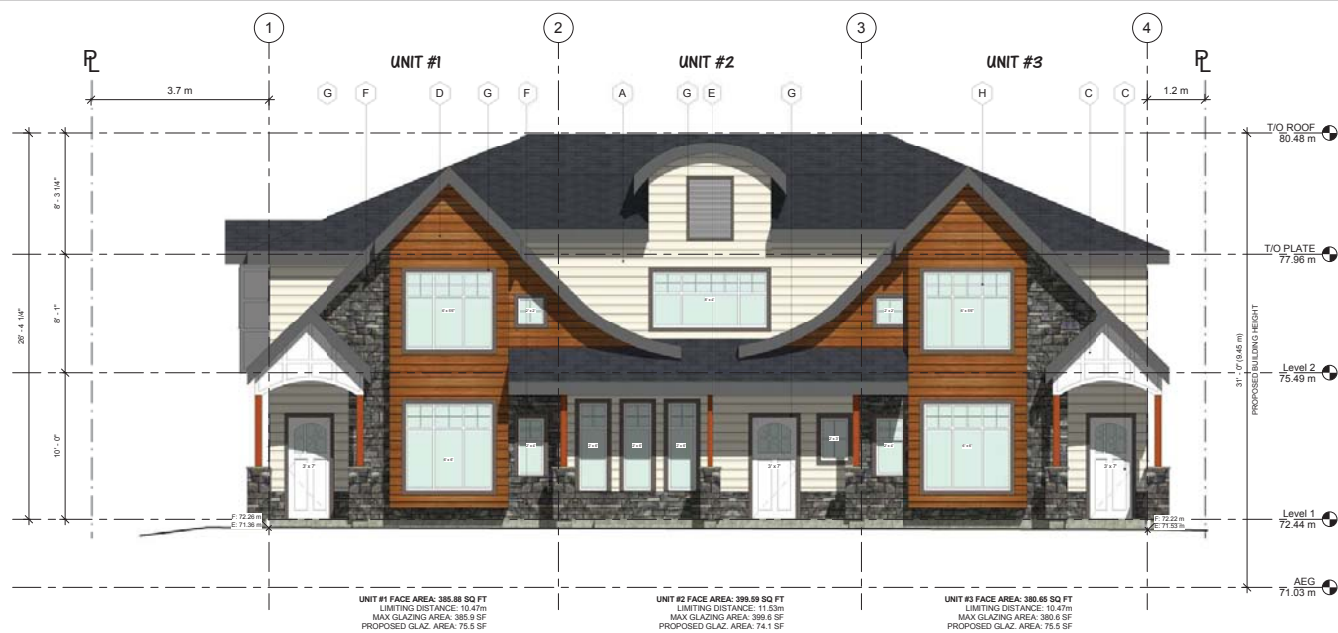
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No.	Description	Date

14021 60th Ave Project

**BUILDING A - ROOF
 PLAN**

Project number	150807
Date	2015-07-07
Drawn by	JK
Checked by	GD
A10	
Scale	1/4" = 1'-0"



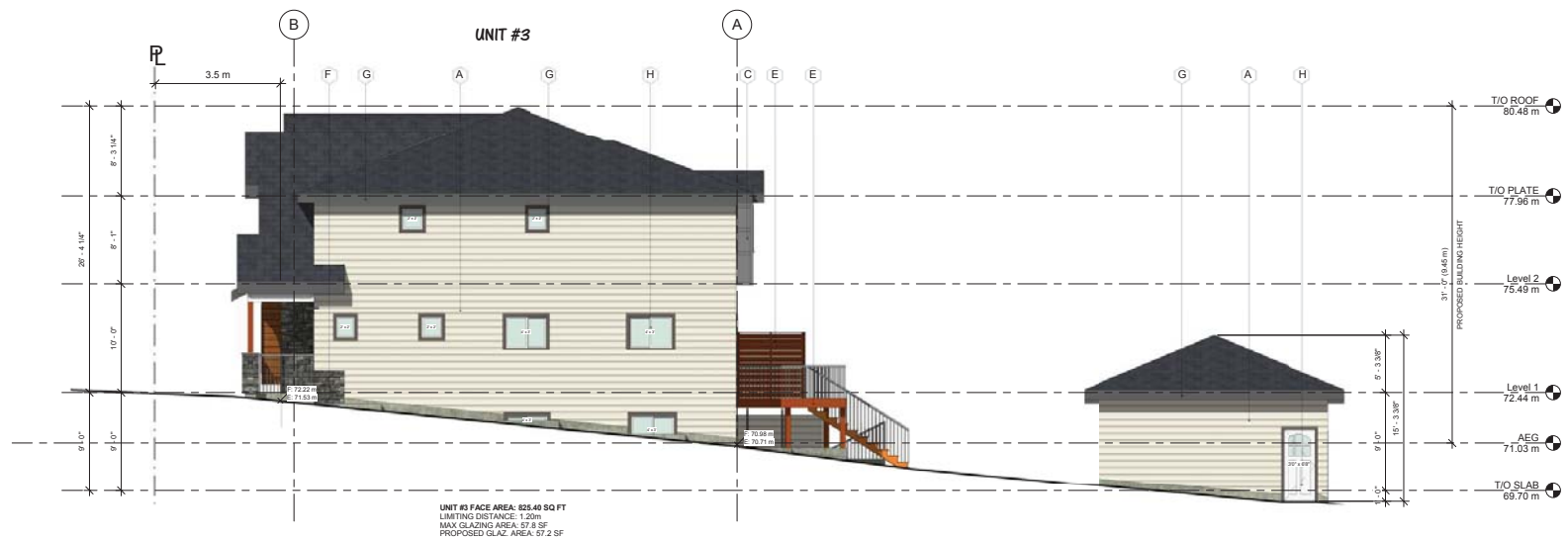
COLOUR SCHEME

- A** HARDIE PLANK SIDING, PAINTED - SW 8119 "ANTIQUE WHITE" BY SHERWIN-WILLIAMS OR SIMILAR
- B** HARDIE PLANK SIDING, PAINTED - SW 7624 "SLATE TILE" BY SHERWIN-WILLIAMS OR SIMILAR
- C** STUCCO & TRIM, PAINTED - SW 7008 "ALABASTER" BY SHERWIN-WILLIAMS OR SIMILAR
- D** CEDAR SIDING, STAINED FINISH BY CIL OR SIMILAR
- E** NATURAL WOOD, STAINED FINISH BY CIL OR SIMILAR
- F** MASONRY VENEER - BANFF SPRINGS CLIFFSTONES BY ELDRADO STONE OR SIMILAR
- G** FASCIA & TRIM - SW 7505 "MANOR HOUSE" BY SHERWIN-WILLIAMS OR SIMILAR
- H** VINYL WINDOWS & DOOR PANEL - WHITE BY MANUFACTURER



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South
 1/4" = 1'-0"



East
 3/16" = 1'-0"

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No.	Description	Date

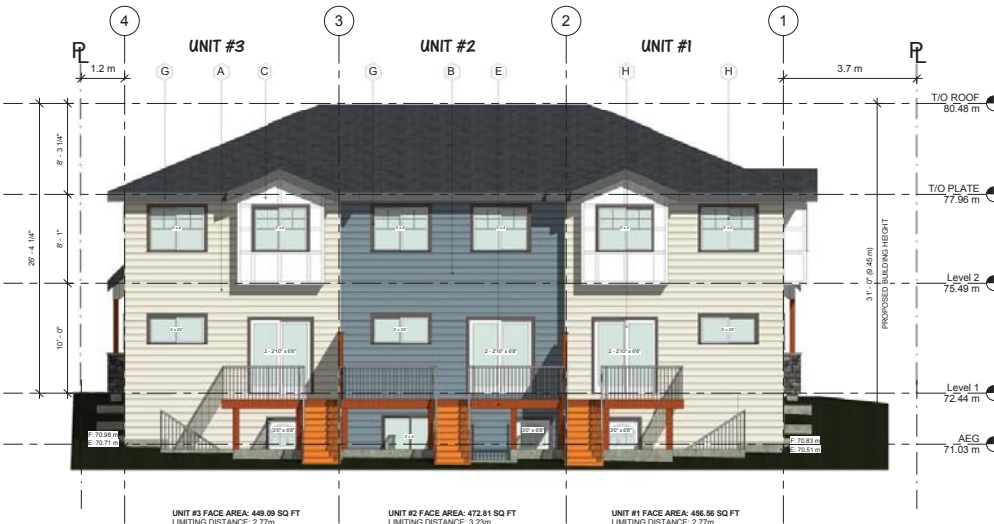
14021 60th Ave Project

BUILDING A - SOUTH & EAST ELEVATIONS

Project number 150807
 Date 2015-07-07
 Drawn by JK
 Checked by GD

A11

Scale As indicated



UNIT #3 FACE AREA: 449.09 SQ FT
LIMITING DISTANCE: 2.77m
MAX GLAZING AREA: 84.1 SF
PROPOSED GLAZ. AREA: 84.0 SF

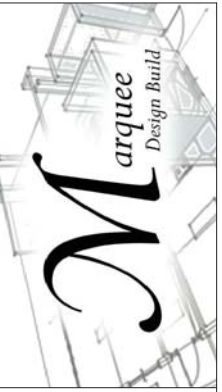
UNIT #2 FACE AREA: 472.81 SQ FT
LIMITING DISTANCE: 3.23m
MAX GLAZING AREA: 107.9 SF
PROPOSED GLAZ. AREA: 102.5 SF

UNIT #1 FACE AREA: 456.96 SQ FT
LIMITING DISTANCE: 2.77m
MAX GLAZING AREA: 84.8 SF
PROPOSED GLAZ. AREA: 84.0 SF



1 North
3/16" = 1'-0"

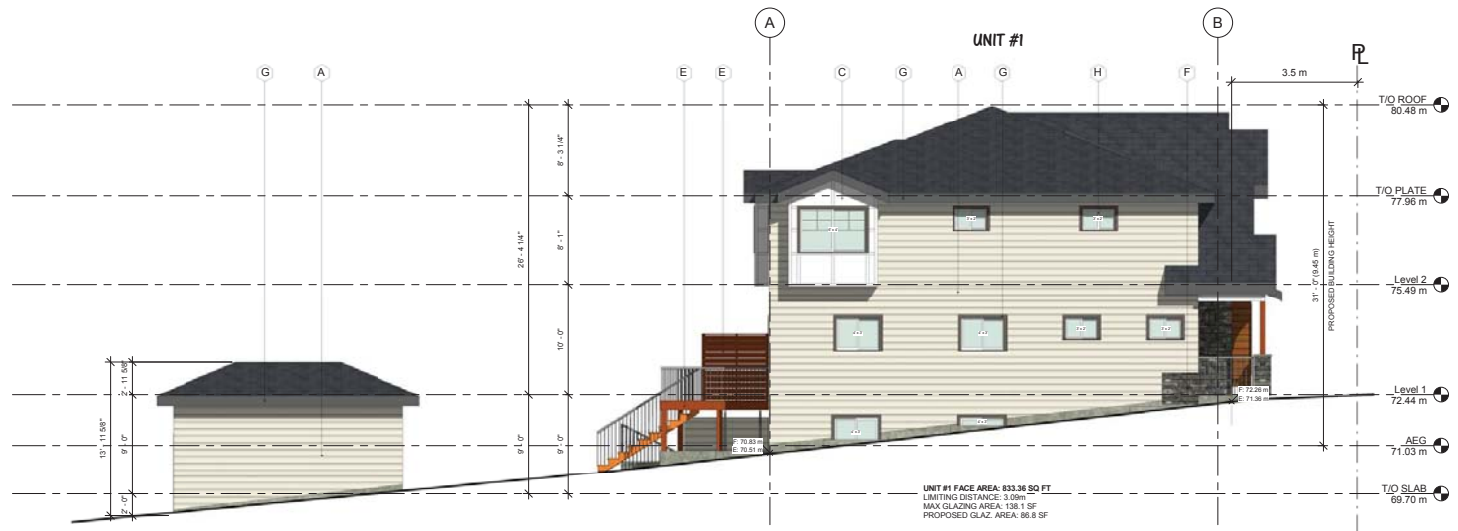
4 Double Garage North
3/16" = 1'-0"



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No.	Description	Date



UNIT #1 FACE AREA: 833.36 SQ FT
LIMITING DISTANCE: 3.03m
MAX GLAZING AREA: 136.1 SF
PROPOSED GLAZ. AREA: 86.8 SF



3 Single Garage North
3/16" = 1'-0"

2 West
3/16" = 1'-0"

14021 60th Ave Project

BUILDING A - NORTH & WEST ELEVATIONS

Project number: 150807
 Date: 2015-07-07
 Drawn by: JK
 Checked by: GD

A12

Scale: 3/16" = 1'-0"



① 3D View 1



② 3D View 2



③ 3D View 3



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No.	Description	Date

14021 60th Ave Project

BUILDING A - 3D VIEWS

Project number: 150807
 Date: 2015-07-07
 Drawn by: JK
 Checked by: GD

A13

Scale



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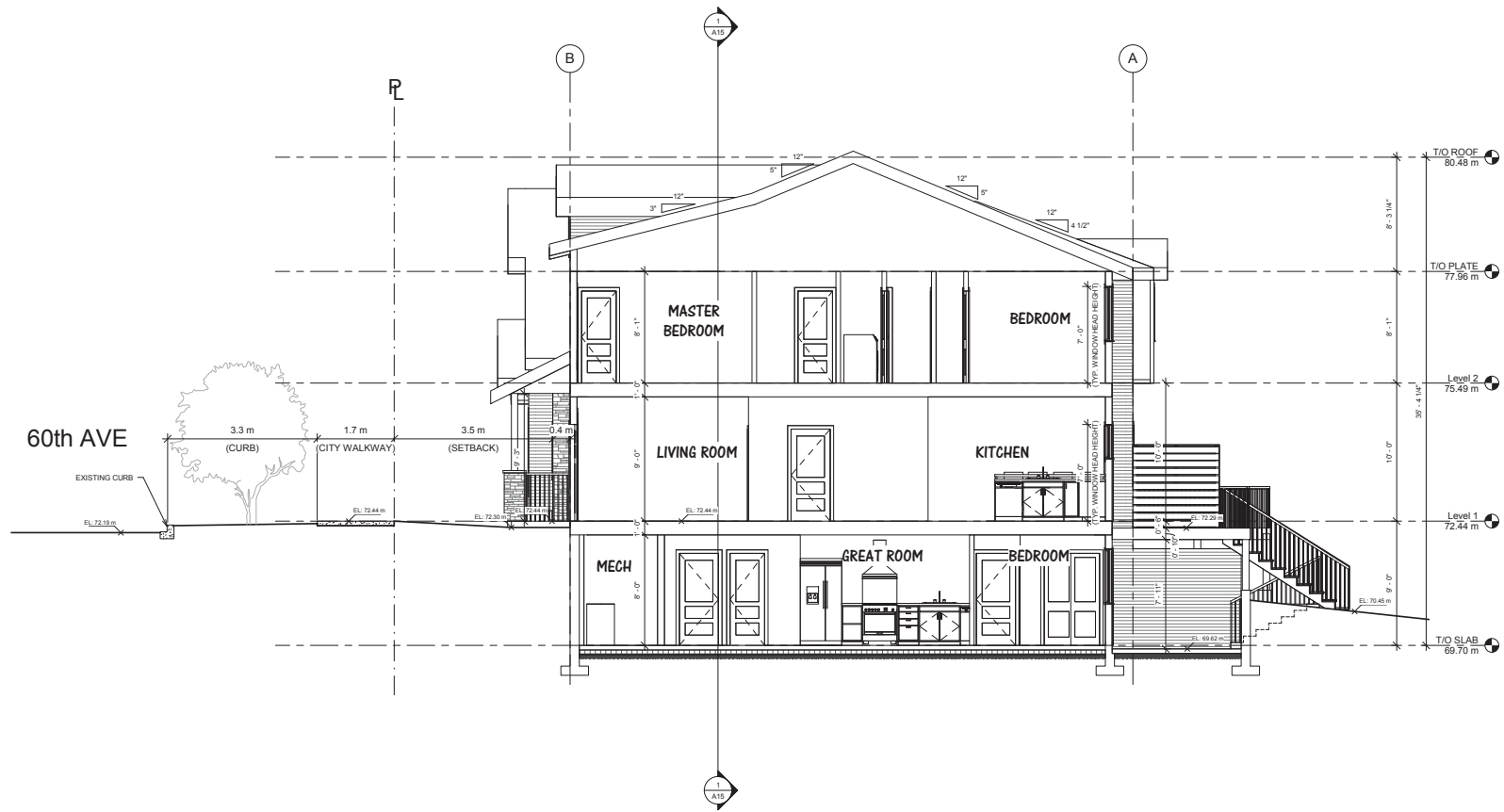
No.	Description	Date

14021 60th Ave Project

**BUILDING A -
LONGITUDINAL
SECTION**

Project number 150807
Date 2015-07-07
Drawn by JK
Checked by GD

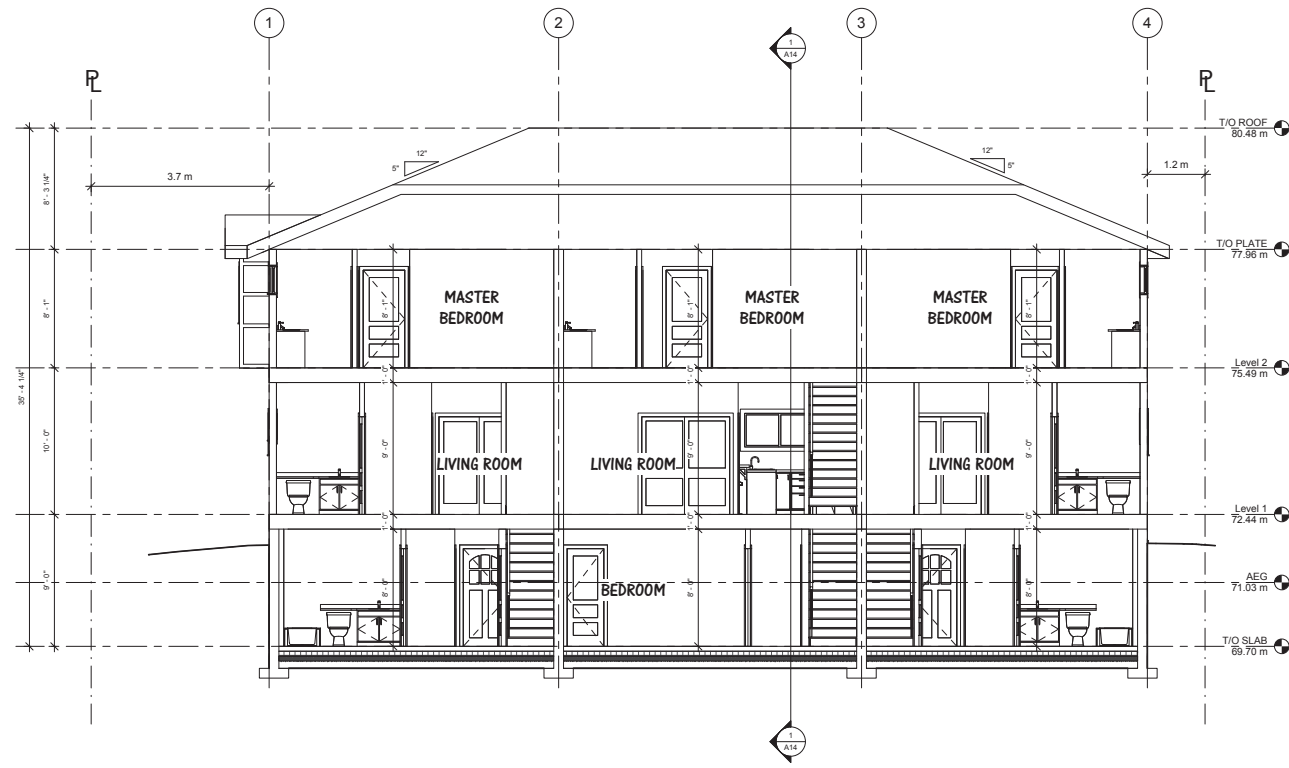
A14
Scale 1/4" = 1'-0"



① Longitudinal Section
1/4" = 1'-0"



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1 Cross Section
 1/4" = 1'-0"

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No.	Description	Date

14021 60th Ave Project

BUILDING A - CROSS SECTION

Project number 150807
 Date 2015-07-07
 Drawn by JK
 Checked by GD

A15

Scale 1/4" = 1'-0"



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No.	Description	Date

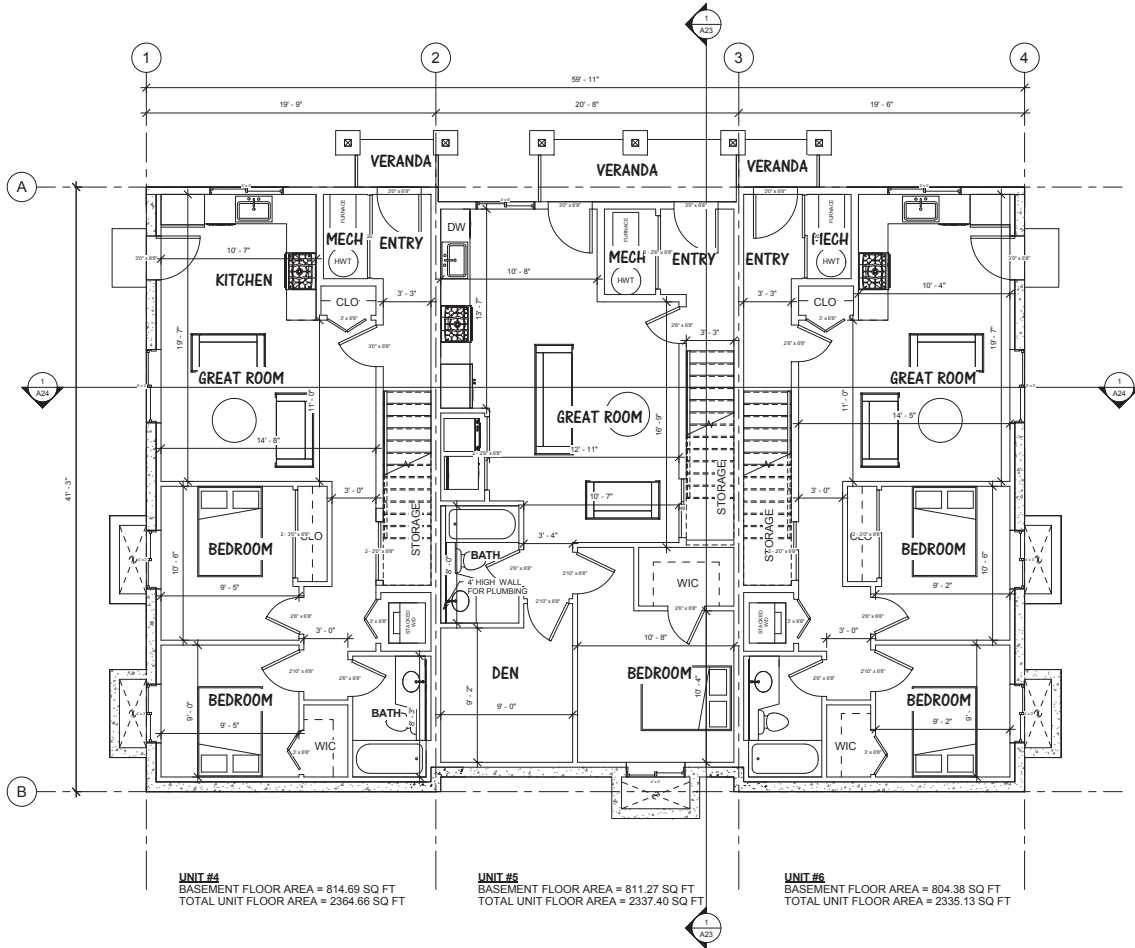
14021 60th Ave Project

**BUILDING B -
BASEMENT FLOOR PLAN**

Project number 159807
Date 2015-07-07
Drawn by JK
Checked by GD

A16

Scale 1/4" = 1'-0"



UNIT #4
BASEMENT FLOOR AREA = 814.69 SQ FT
TOTAL UNIT FLOOR AREA = 2364.66 SQ FT

UNIT #5
BASEMENT FLOOR AREA = 811.27 SQ FT
TOTAL UNIT FLOOR AREA = 2337.40 SQ FT

UNIT #6
BASEMENT FLOOR AREA = 804.38 SQ FT
TOTAL UNIT FLOOR AREA = 2335.13 SQ FT

1 TO SLAB
1/4" = 1'-0"

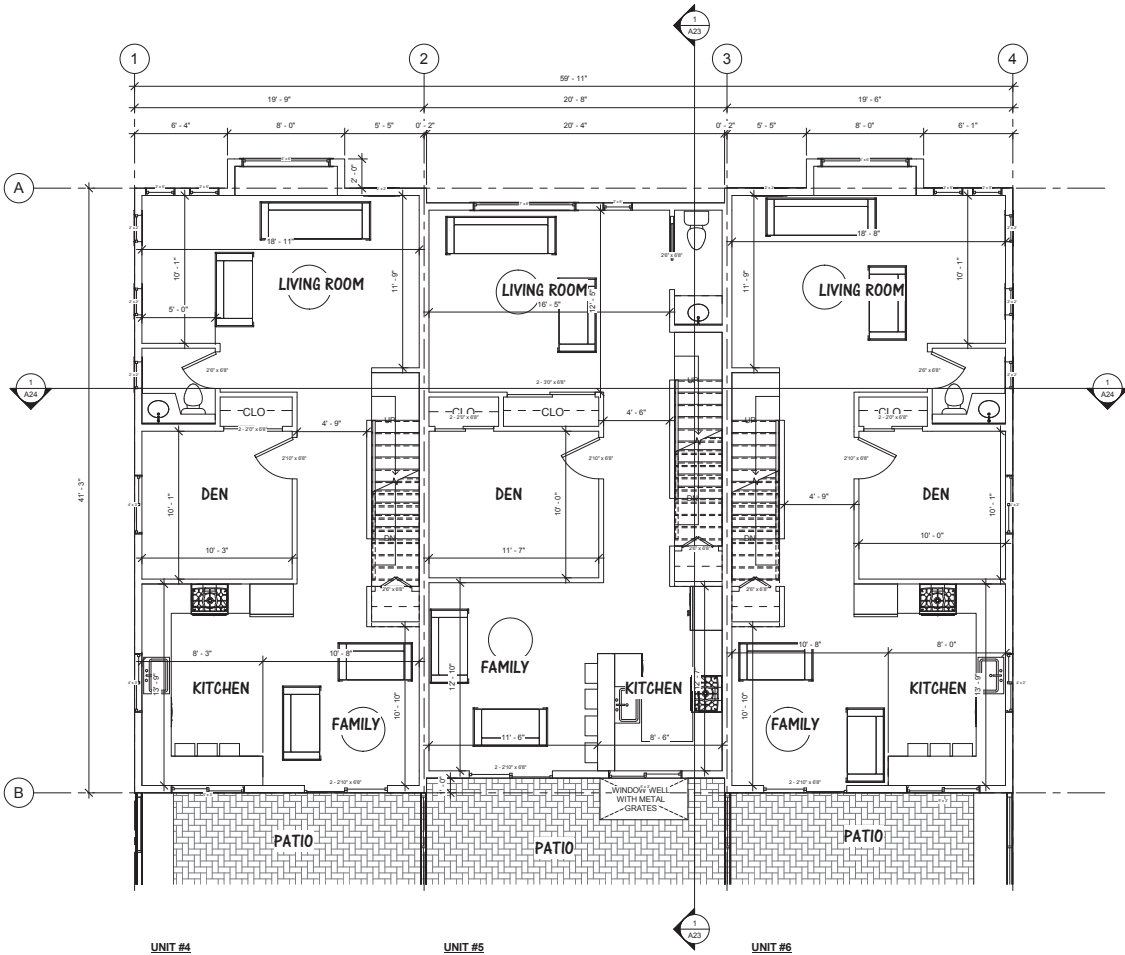


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No.	Description	Date



UNIT #4
MAIN FLOOR AREA = 776.75 SQ FT
TOTAL UNIT FLOOR AREA = 2364.66 SQ FT

UNIT #5
MAIN FLOOR AREA = 756.02 SQ FT
TOTAL UNIT FLOOR AREA = 2337.40 SQ FT

UNIT #6
MAIN FLOOR AREA = 767.54 SQ FT
TOTAL UNIT FLOOR AREA = 2335.13 SQ FT

Level 1
1/4" = 1'-0"

14021 60th Ave Project

BUILDING B - MAIN FLOOR PLAN

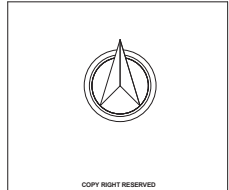
Project number 150807
Date 2015-07-07
Drawn by JK
Checked by GD

A17

Scale 1/4" = 1'-0"



Office Location
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No.	Description	Date

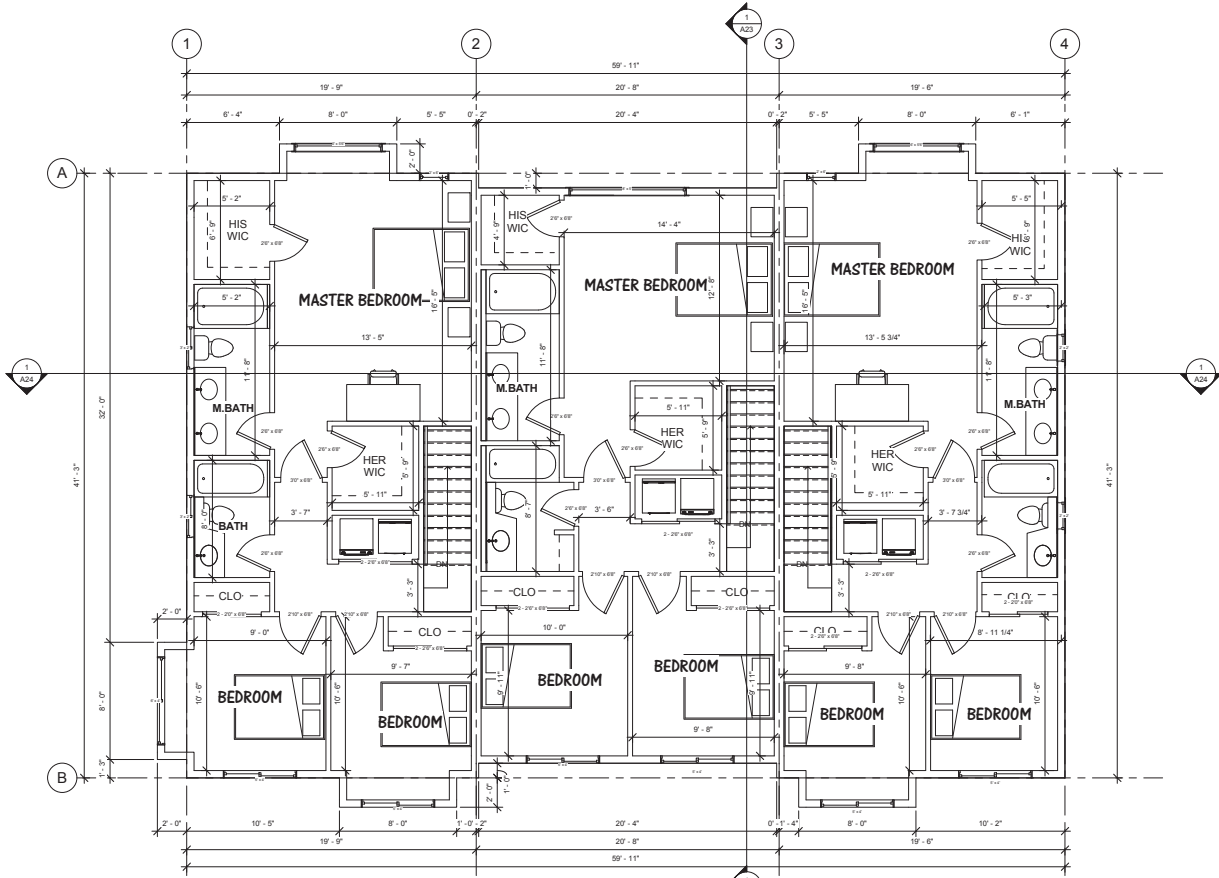
14021 60th Ave Project

BUILDING B - UPPER FLOOR PLAN

Project number	150807
Date	2015-07-07
Drawn by	_JK
Checked by	_GD

A18

Scale 1/4" = 1'-0"



UNIT #4
 UPPER FLOOR AREA = 773.22 SQ FT
 TOTAL UNIT FLOOR AREA = 2364.66 SQ FT

UNIT #5
 UPPER FLOOR AREA = 770.11 SQ FT
 TOTAL UNIT FLOOR AREA = 2337.40 SQ FT

UNIT #6
 UPPER FLOOR AREA = 763.21 SQ FT
 TOTAL UNIT FLOOR AREA = 2335.13 SQ FT

Level 2
 1/4" = 1'-0"



Office Location

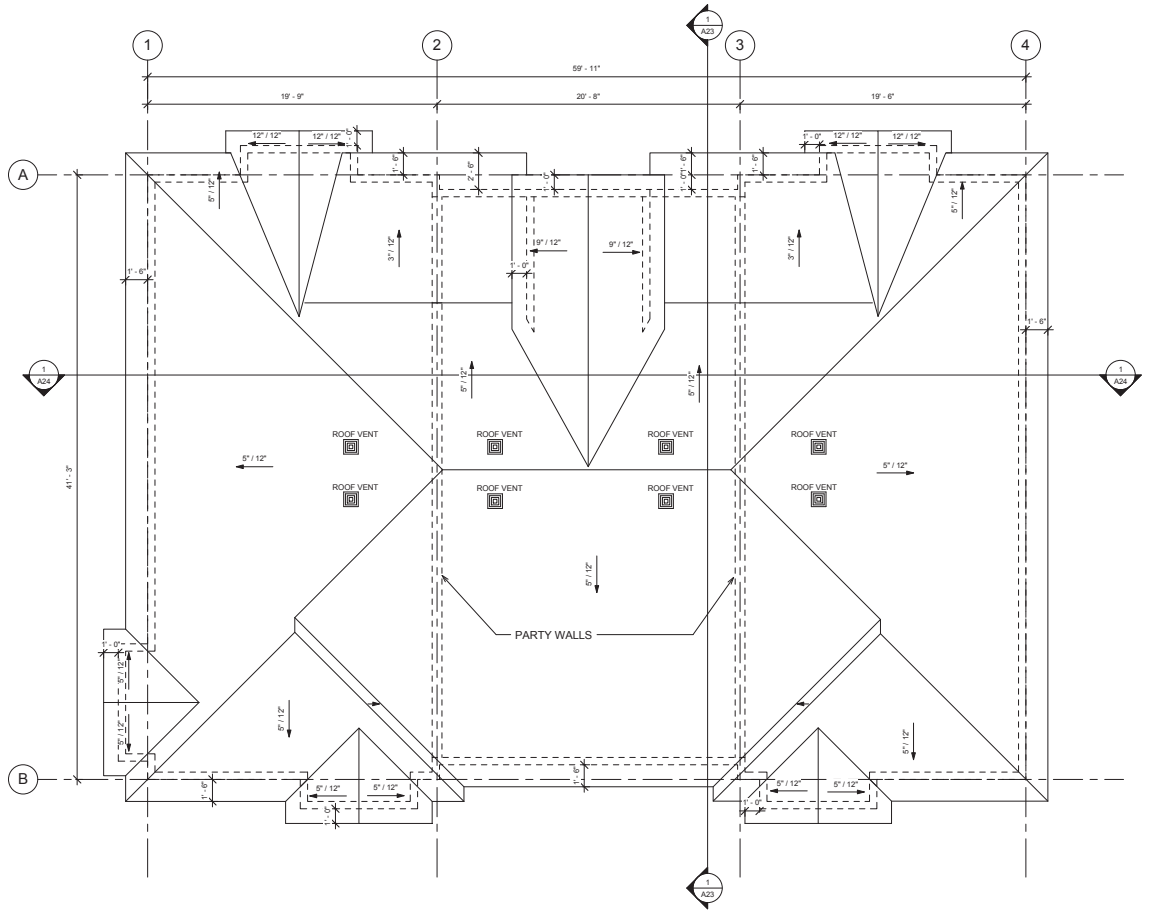
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No.	Description	Date



1 T/O PLATE
1/4" = 1'-0"

14021 60th Ave Project

BUILDING B - ROOF PLAN

Project number 150807
 Date 2015-07-07
 Drawn by JK
 Checked by GD

A19

Scale 1/4" = 1'-0"



- COLOUR SCHEME**
- (A) HARDIE PLANK SIDING, PAINTED - SW 6119 "ANTIQUE WHITE" BY SHERWIN-WILLIAMS OR SIMILAR
 - (B) HARDIE PLANK SIDING, PAINTED - SW 7624 "SLATE TILE" BY SHERWIN-WILLIAMS OR SIMILAR
 - (C) STUCCO & TRIM, PAINTED - SW 7008 "ALABASTER" BY SHERWIN-WILLIAMS OR SIMILAR
 - (D) CEDAR SIDING, STAINED FINISH BY CIL OR SIMILAR
 - (E) NATURAL WOOD, STAINED FINISH BY CIL OR SIMILAR
 - (F) MASONRY VENEER - BANFF SPRINGS CLIFFSTONES OR SIMILAR BY ELDERADO STONE OR SIMILAR
 - (G) FASCIA & TRIM - SW 7505 "MANOR HOUSE" BY SHERWIN-WILLIAMS OR SIMILAR
 - (H) VINYL WINDOWS & DOOR PANEL - WHITE BY MANUFACTURER

UNIT #6 FACE AREA: 549.20 SQ FT
LIMITING DISTANCE: 13.39m
MAX GLAZING AREA: 549.2 SF
PROPOSED GLAZ. AREA: 110.7 SF

UNIT #5 FACE AREA: 583.05 SQ FT
LIMITING DISTANCE: 13.39m
MAX GLAZING AREA: 583.1 SF
PROPOSED GLAZ. AREA: 109.1 SF

UNIT #4 FACE AREA: 555.97 SQ FT
LIMITING DISTANCE: 13.39m
MAX GLAZING AREA: 556.0 SF
PROPOSED GLAZ. AREA: 110.7 SF

① North
3/16" = 1'-0"



UNIT #4 FACE AREA: 588.21 SQ FT
LIMITING DISTANCE: 3.09m
MAX GLAZING AREA: 147.0 SF
PROPOSED GLAZ. AREA: 100.3 SF

② West
3/16" = 1'-0"



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No.	Description	Date

14021 60th Ave Project

BUILDING B - NORTH & WEST ELEVATIONS

Project number 150807
Date 2015-07-07
Drawn by JK
Checked by GD
A20
Scale 3/16" = 1'-0"



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No.	Description	Date

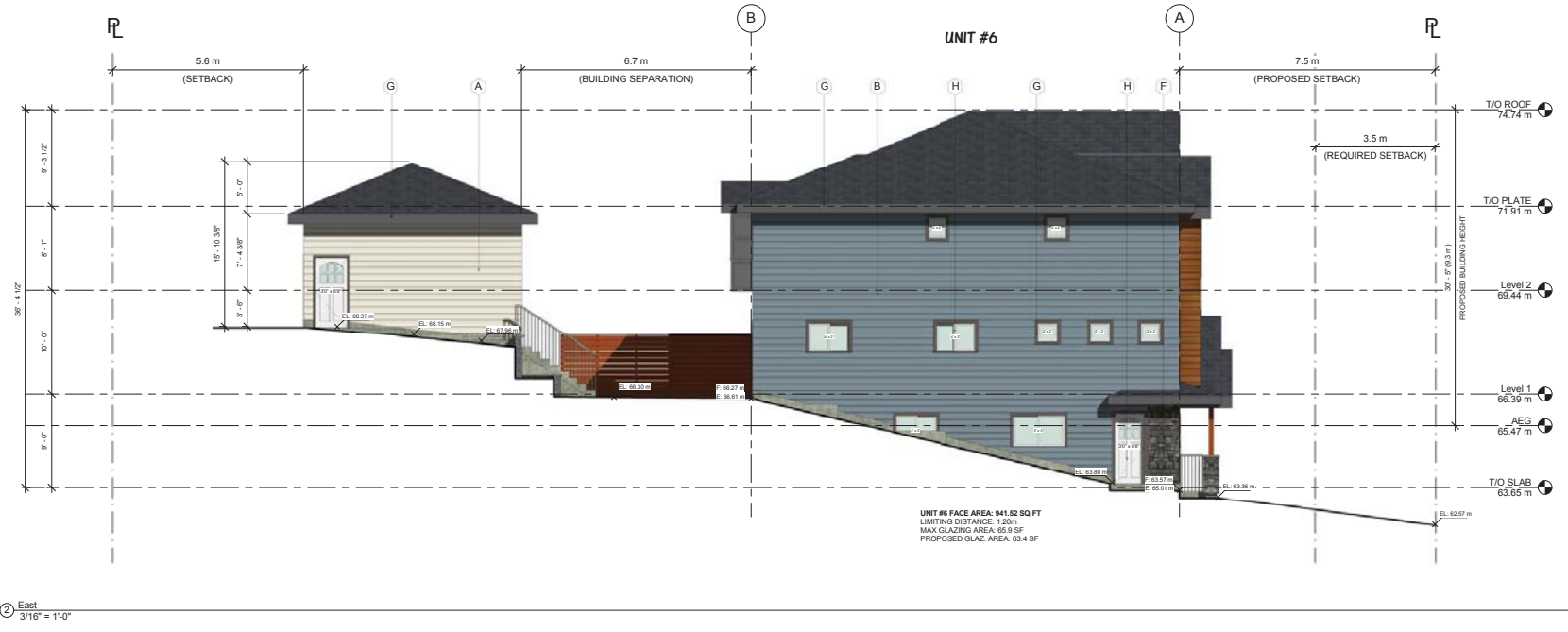
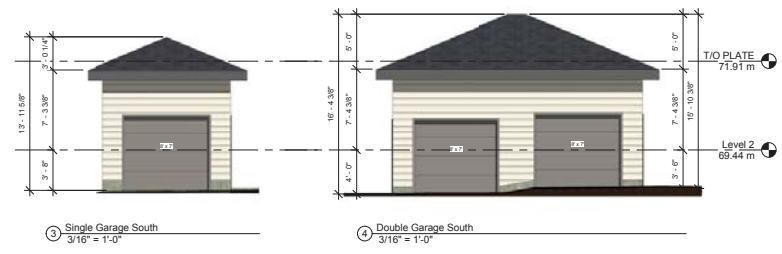
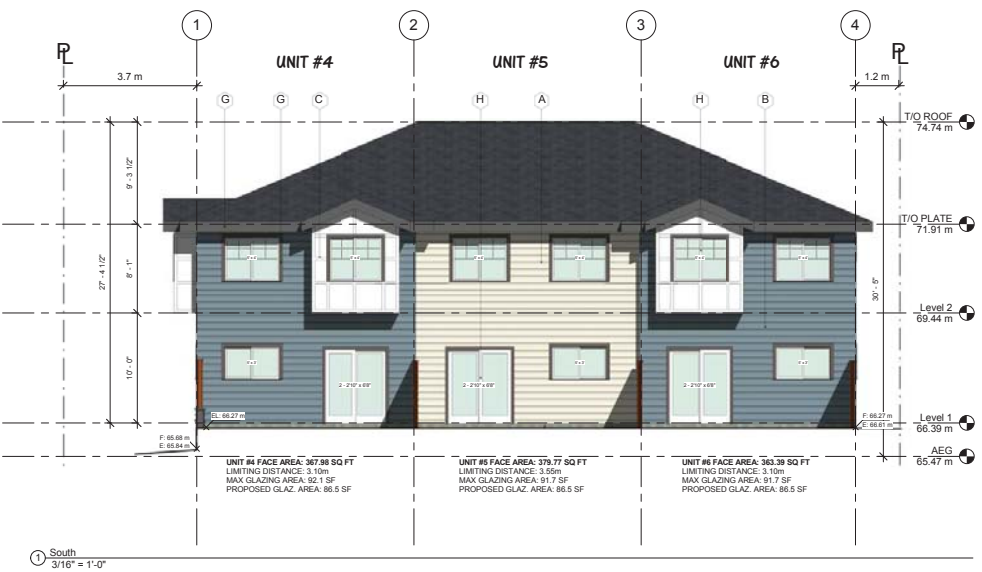
14021 60th Ave Project

BUILDING B - SOUTH & EAST ELEVATIONS

Project number 150807
Date 2015-07-07
Drawn by JK
Checked by GD

A21

Scale 3/16" = 1'-0"





1 3D View 1



2 3D View 2



4 3D View 3



3 3D View 4



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No.	Description	Date

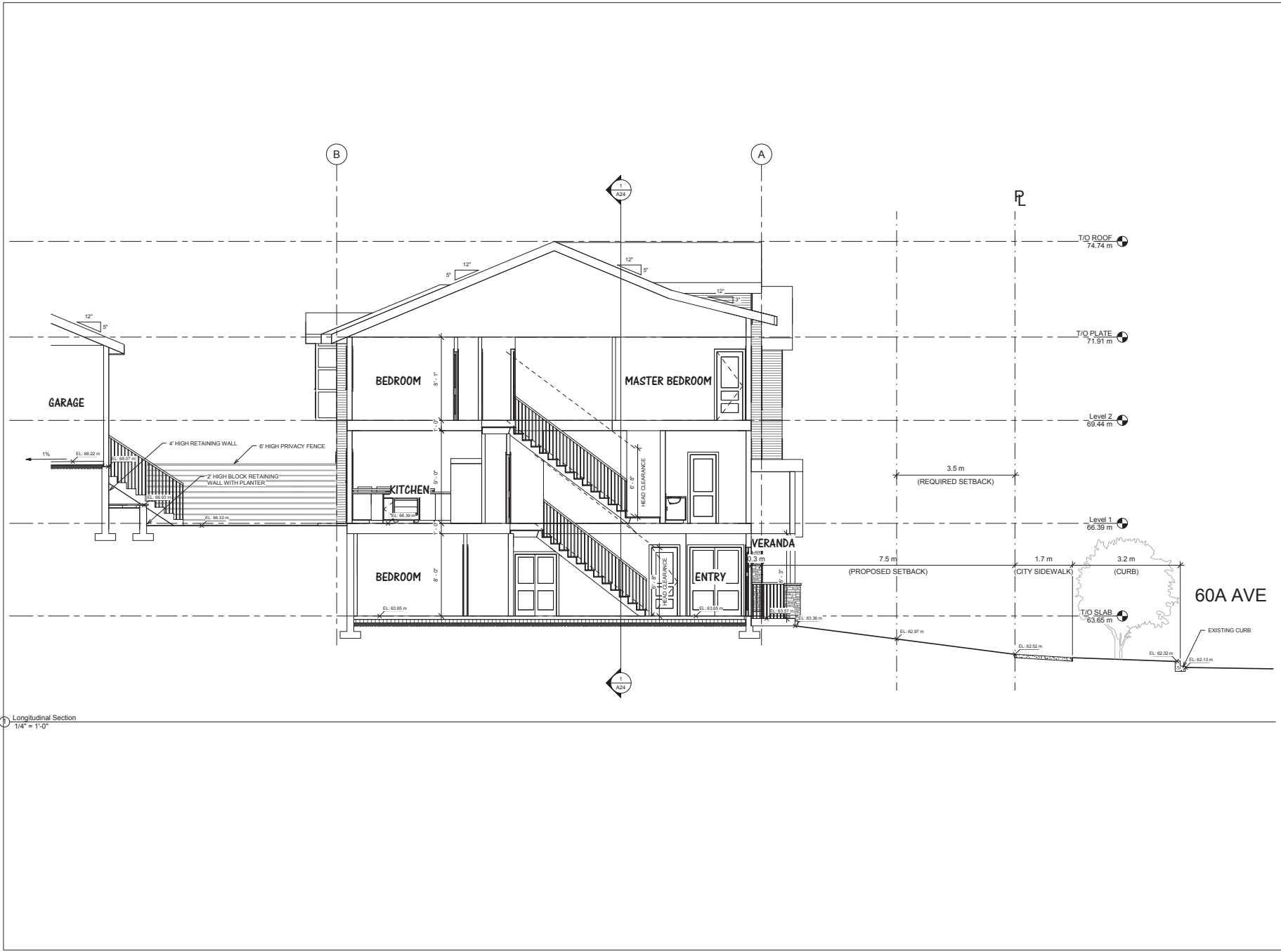
14021 60th Ave Project

BUILDING B - 3D VIEWS

Project number 150807
Date 2015-07-07
Drawn by JK
Checked by GD

A22

Scale



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No.	Description	Date

14021 60th Ave Project

BUILDING B - LONGITUDINAL SECTION

Project number	150807
Date	2015-07-07
Drawn by	_JK
Checked by	GD

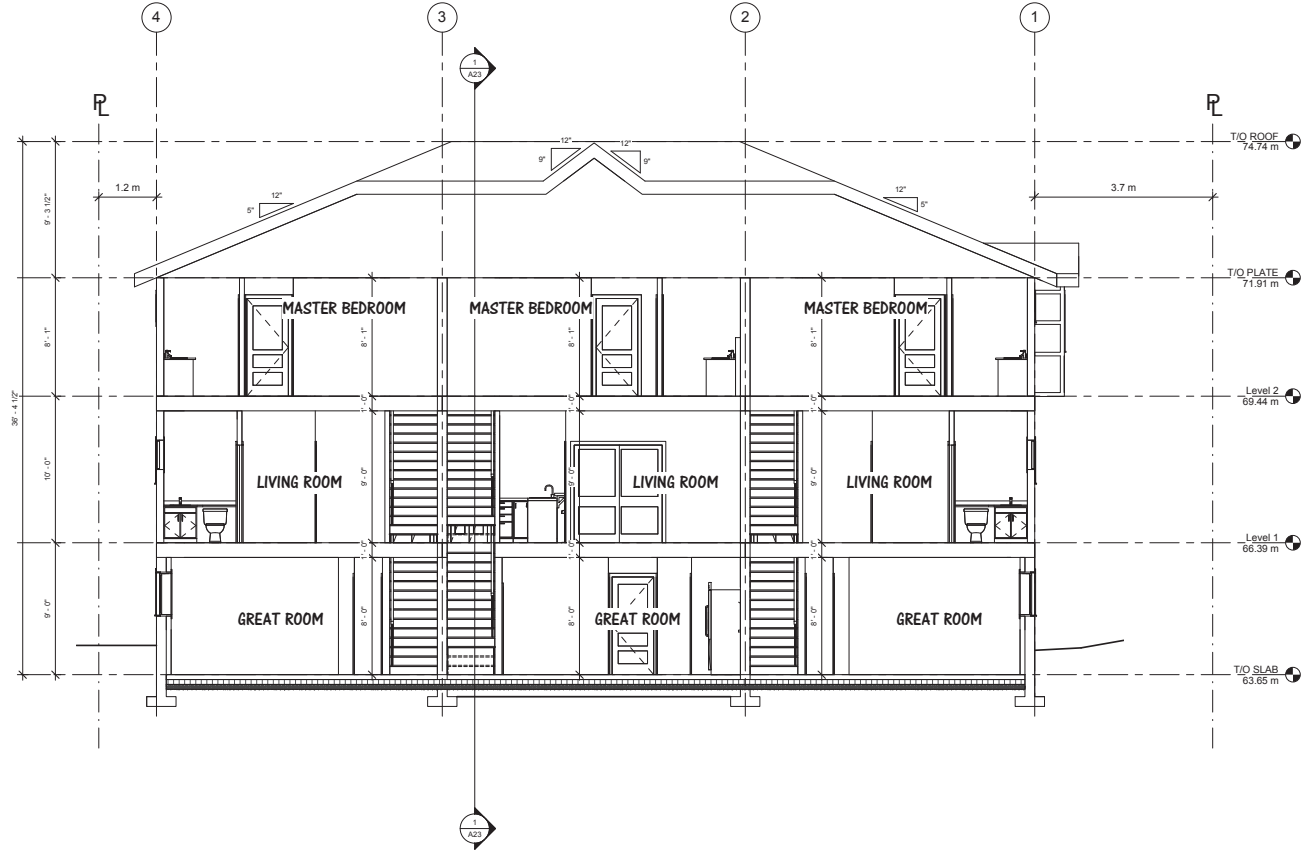
A23
Scale 1/4" = 1'-0"



Office Location
 Unit 207 - 12639 80th Ave
 Surrey, BC V3W 3A6
<http://Marquee-db.com>

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 OMISSIONS PRIOR TO COMMENCEMENT OF WORK.

No.	Description	Date



1 Cross Section
 1/4" = 1'-0"

14021 60th Ave Project

BUILDING B - CROSS SECTION

Project number 150807
 Date 2015-07-07
 Drawn by JK
 Checked by GD

A24

Scale 1/4" = 1'-0"

SEAL:

1	15.07.20	REVISED REVISION AREA CROSSINGS	ML
2	15.08.20	BROOD DETAIL	MR
3	15.07.17	GRADING AND ENVIRONMENTAL PLAN	MR

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

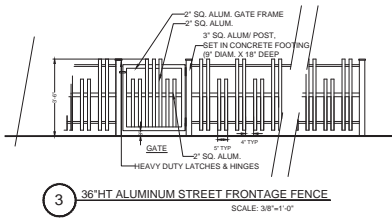
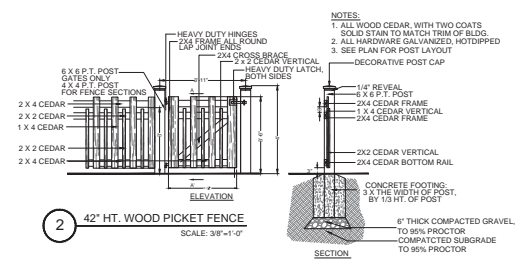
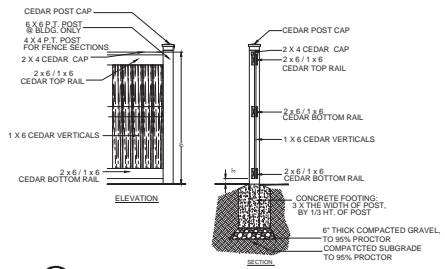
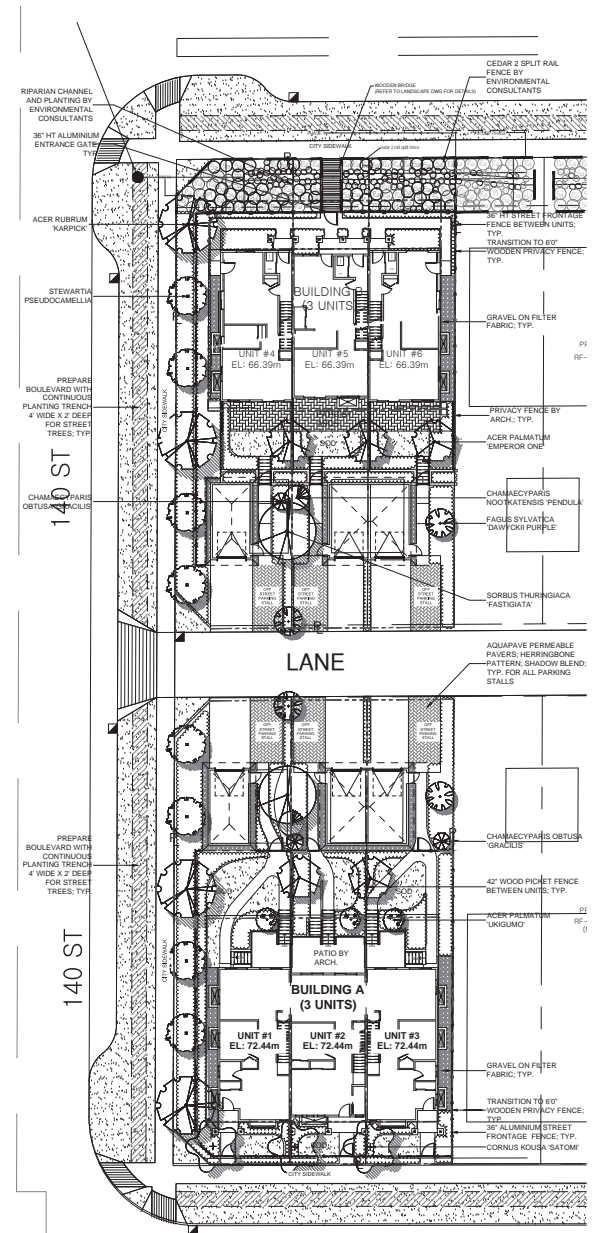
6 UNIT TRIPLEX DEVELOPMENT

14021 60TH AVENUE
SURREY, BC

DRAWING TITLE:

LANDSCAPE PLAN

DATE: 15.JUL.1 DRAWING NUMBER:
SCALE: 1/16" = 1'-0"
DRAWN: MR
DESIGN: MR
CHKD: PCM OF 5



TREE SCHEDULE				PMG PROJECT NUMBER: 15-113
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
5		ACER PALMATUM EMPEROR F	DARK RED JAPANESE MAPLE	2.5M HT: 6CM CAL, B&B
3		ACER PALMATUM UKUGUMO	FLOATING CLOUD JAPANESE MAPLE	2.5M HT: B&B
4		ACER RUBRUM KARPICK	COLUMNAR KARPICK MAPLE	6CM CAL: 2M STD: B&B
2		CHAMAECYPARIS NODIKATENSIS 'PENDULA'	WEeping NODOKA CYPRESS	4M HT: B&B
3		CHAMAECYPARIS OBTUSA 'GRACILIS'	SLENDER HINKO FALSE CYPRESS	2M HT: B&B
3		CORNUS KOUSA 'SATOMI'	PINK KOUSA DOGWOOD	2.5M HT: B&B
4		FAGUS SYLVATICA 'D'WYCKII PURPLE'	PURPLE FASTIGATE BEECH	6CM CAL: B&B *** ON STANDARD
2		SORBUS THURINGIACA FASTIGATA	FASTIGATE OAK LEAF MOUNTAIN ASH	5CM CAL: 1.5M STD: B&B
8		STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	5CM CAL: 1.5M STD: B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. ** REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. *** SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MARLMAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

SEAL:

1	15.07.03	REVISED REVISION AREA CROSSINGS	MR
2	15.08.09	BRIDGE DETAIL	MR
3	15.07.17	GRADING AND ENVIRONMENTAL PLAN	MR

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

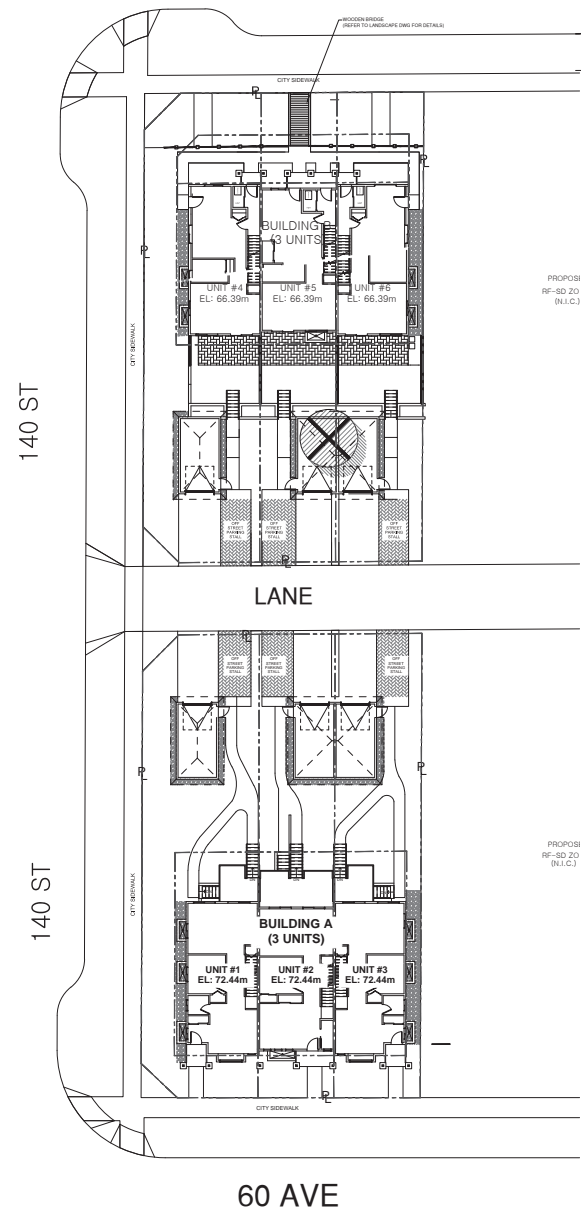
6 UNIT TRIPLEX DEVELOPMENT

14021 60TH AVENUE
SURREY, BC

DRAWING TITLE:

TREE MANAGEMENT PLAN

DATE: 15.JUL.13 DRAWING NUMBER:
SCALE: 1/16" = 1'0"
DRAWN: MR
DESIGN: MR
CHKD: PCM **L2**
OF 5



EXISTING TREE TO BE REMOVED
 TREE TO RETAIN

EXISTING TREES TO BE REMOVED

TREE #	BOTANICAL NAME	COMMON NAME	DBH	STRUCTURE	HEALTH	OBSERVATIONS	ARBORIST RECOMMENDATION
206	ACER MACROPHYLLUM	BIGLEAF MAPLE	~70	MG	MG	MULTIPLE ATTACHMENTS AT ~4M. SOME SCAFFOLD LIMBS SHEDDING BARK. TREE CONFLICTS WITH CONSTRUCTION.	REMOVE TO ACCOMMODATE CONSTRUCTION

SEAL:

1	15.07.20	REVISED HYDRAULIC AREA CROSSINGS	CC
2	15.08.20	REVISED DETAILS	MR
3	15.07.17	GRADING AND ENVIRONMENTAL PLAN	MR

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

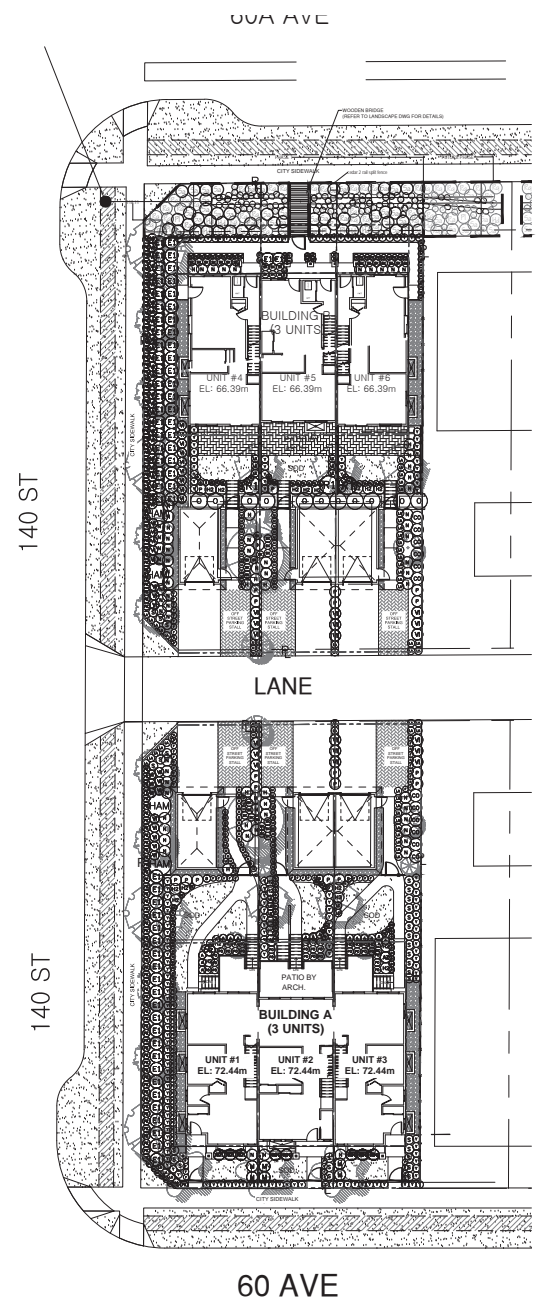
PROJECT:

6 UNIT TRIPLEX DEVELOPMENT

14021 60TH AVENUE
SURREY, BC

DRAWING TITLE:
LANDSCAPE PLANNING PLAN

DATE: 15 JUL 13 DRAWING NUMBER:
SCALE: 1/16" = 1'0"
DRAWN: MR
DESIGN: MR
CHKD: PCM **L3**
OF 5



SHRUB SCHEDULE		PMG PROJECT NUMBER: 15-113		
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
③	3	AZALEA JAPONICA 'EVEREST'	EVERGREEN AZALEA; WHITE	#2 POT; 25CM #3 POT; 40CM
③	12	CORNUS ALBA 'SIBIRICA'	SIBERIAN DOGWOOD	#3 POT; 60CM
③	3	DEUTZIA CRENATA 'NIKKO'	SLENDER DEUTZIA; WHITE	#2 POT; 40CM
③	67	EUONYMUS ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH	#3 POT; 50CM
③	4	HAMAMELIS X INTERMEDIA 'DIANE'	RED WITCH HAZEL	#3 POT; 60CM
③	21	HYDRANGEA MACROPHYLLA 'PA'	DWARF BIGLEAF HYDRANGEA; PINK	2 POT; 30CM
③	7	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	#3 POT; 60CM
③	11	LEUCOTHOE FONTANESIANA 'RAINBOW'	VARIEGATED LEUCOTHOE	#2 POT; 30CM
③	69	NANDINA DOMESTICA 'FLUM PASSION'	HEAVENLY BAMBOO; PURPLE-RED NEW GROWTH	#3 POT; 50CM
③	11	OSMANTHUS X BURKWOODII	BURKWOOD OSMANTHUS	#3 POT; 50CM
③	19	PIERIS JAPONICA 'VALLEY VALENTINE'	PIERIS, RED BLOOMS	#3 POT; 50CM
③	3	RHODODENDRON 'SCARLET WONDER'	RHODODENDRON, SCARLET; E. APRIL	#3 POT; 30CM
③	8	ROSA 'MIDLAND RED'	MIDLAND ROSE; RED; 0.9M MATURE HT	#2 POT; 40CM
③	39	SCIMBIA JAPONICA 'RUBELLA'	RUBELLA SKIMMIA	#2 POT; 30CM
③	29	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA; PINK	#3 POT; 60CM
③	170	TAXUS X MEDIA 'HICKSII'	HICKS YEW	1.2M B&B
③	77	VIBURNUM DAVIDI	DAVID'S VIBURNUM	#2 POT; 30CM
GRASS				
③	59	FESTUCA CINEREA 'ELIJAH BLUE'	BLUE FESCUE	#1 POT
③	6	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO MAIDEN GRASS	#1 POT
③	107	FENNETTUM ALOPECUROIDES 'HAMELIN'	DWARF FOUNTAIN GRASS	#1 POT
PERENNIAL				
③	20	ASARUM CAUDATUM	WILD GINGER	#1 POT
③	37	GERANIUM CINERELM	HARDY GERANIUM	15CM POT
③	47	HELUCHERA 'MORCANTHA' 'PALACE PURPLE'	CORAL BELLS; PURPLE-RED	15CM POT
③	10	HOSTA 'FORTUNEII' VARIEGATA	VARIEGATED HOSTA	#1 POT, 1 EYE; HEAVY SHADE
③	54	LAVENDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER; COMPACT; DEEP PURPLE	#1 POT
③	111	LIRIOPE MUSCARI	BLUE LILY-TURF	15CM POT
FERN				
③	46	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 25CM
③	18	VACCINIUM VITIS-IDAEA	LINGONBERRY	#1 POT; 25CM

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SEAL:

1	15.07.03	REVISED MINIMAL AREA CROSSINGS	DR
2	15.08.09	BRIDGE DETAIL	MR
3	15.07.17	GRADING AND ENVIRONMENTAL PLAN	MR
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

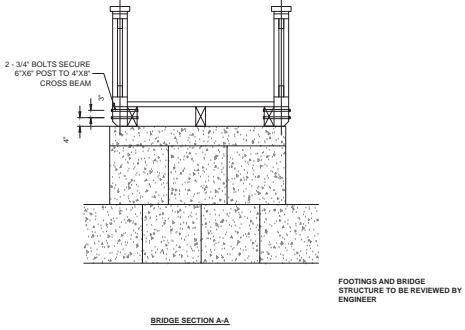
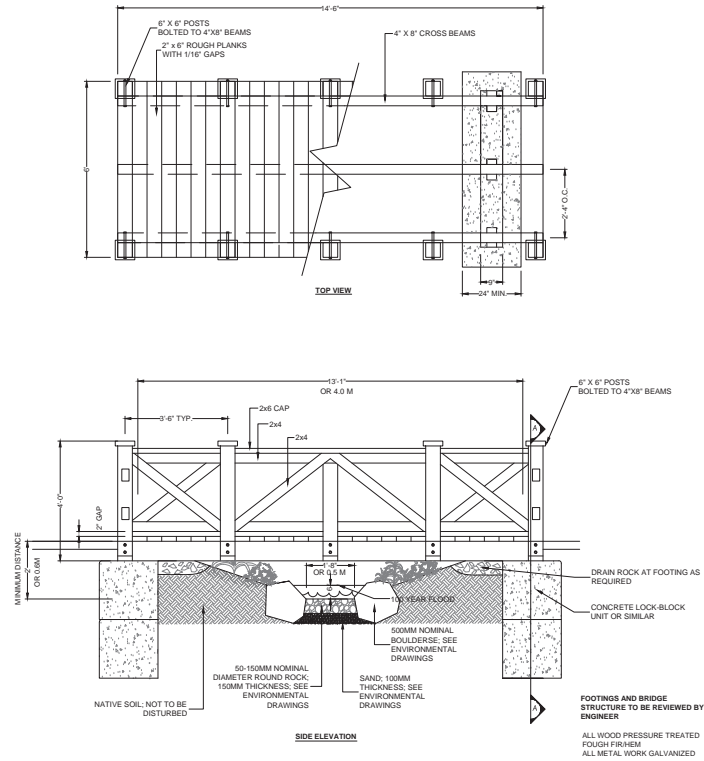
6 UNIT TRIPLEX DEVELOPMENT

14021 60TH AVENUE
 SURREY, BC

DRAWING TITLE:
LANDSCAPE BRIDGE DETAIL

DATE: 15.JUL.13 DRAWING NUMBER:
 SCALE: 1/16" = 1'0"
 DRAWN: MR
 DESIGN: MR
 CHKD: PCM

L4
 OF 5





Suite C100 - 4185 Silk Creek Drive Burnaby, British Columbia, V5G 6S9 p. 604 294-0111 f. 604 294-0022

SCALE:

Table with 2 columns: Item No., Description. Contains 15 numbered items related to landscape development and construction details.

CLIENT:

PROJECT: 6 UNIT TRIPLEX DEVELOPMENT 14021 60TH AVENUE SURREY, BC

DRAWING TITLE: LANDSCAPE SPECIFICATIONS

DATE: 15 JUL 13 DRAWING NUMBER: L5
SCALE: NTS
DRAWN: [Name]
DESIGN: [Name]
CHKD: [Name] OF 5

PART THREE: BOFT LANDSCAPE DEVELOPMENT - CONT

- 1. The site plan shall be prepared by the Landscape Architect and shall be subject to the approval of the City of Surrey. The Landscape Architect shall be responsible for the design and construction of the landscape development.
2. The Landscape Architect shall be responsible for the design and construction of the landscape development.
3. The Landscape Architect shall be responsible for the design and construction of the landscape development.

15.17 UTILITIES AND STRUCTURES

- 1. The Landscape Architect shall be responsible for the design and construction of the landscape development.
2. The Landscape Architect shall be responsible for the design and construction of the landscape development.
3. The Landscape Architect shall be responsible for the design and construction of the landscape development.

15.18 UTILITIES AND STRUCTURES

- 1. The Landscape Architect shall be responsible for the design and construction of the landscape development.
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15.19 UTILITIES AND STRUCTURES

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PART THREE: BOFT LANDSCAPE DEVELOPMENT - CONT

- 1. The Landscape Architect shall be responsible for the design and construction of the landscape development.
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15.20 UTILITIES AND STRUCTURES

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15.21 UTILITIES AND STRUCTURES

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PART THREE: BOFT LANDSCAPE DEVELOPMENT

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15.16 UTILITIES AND STRUCTURES

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PART ONE: GENERAL REQUIREMENTS

- 1. The Landscape Architect shall be responsible for the design and construction of the landscape development.
2. The Landscape Architect shall be responsible for the design and construction of the landscape development.
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15.15 UTILITIES AND STRUCTURES

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PART TWO: SCOPE OF WORK

15.13 SCOPE OF WORK

Table with 2 columns: Item No., Description. Contains 15 numbered items related to the scope of work for the landscape development.

15.14 SCOPE OF WORK

- 1. The Landscape Architect shall be responsible for the design and construction of the landscape development.
2. The Landscape Architect shall be responsible for the design and construction of the landscape development.
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15.19 UTILITIES AND STRUCTURES

15.20 UTILITIES AND STRUCTURES

Table with 2 columns: Item No., Description. Contains 15 numbered items related to the scope of work for the landscape development.

15.21 UTILITIES AND STRUCTURES

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15.22 UTILITIES AND STRUCTURES

15.23 UTILITIES AND STRUCTURES

Table with 2 columns: Item No., Description. Contains 15 numbered items related to the scope of work for the landscape development.

15.24 UTILITIES AND STRUCTURES

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TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **September 3, 2015** PROJECT FILE: **7813-0164-00**

RE: **Engineering Requirements
Location: 14021 60 Ave**

NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- dedicate 1.942 m road allowance for ultimate 24 m collector road along 60 Avenue;
- dedicate 10.0 m for ultimate 20.0 m local road allowance along 140 Street;
- register 0.50 m Statutory Right-of-Way for inspection chambers and sidewalk maintenance along 60 Avenue, 60A Avenue, and rear lot frontage along lane (lots 1-13); and
- dedicate 6 m road allowance for lane construction.

Works and Services

- construct north side of 60 Avenue to collector road standards;
- construct east side of 140 Street to local road standards;
- construct south side of 60A Avenue to local road standards; and
- construct lane to residential standards
- construct storm and sanitary mains along 140 Street and 60 Avenue site frontages, and lane as required to service the proposed development;
- construct sanitary main along 60A Avenue frontage, as required per the Design Criteria Manual; and
- construct adequately sized water, storm, and sanitary service connections to each lot.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.

R. Cooke
per
Rémi Dubé, P.Eng.
Development Services Manager

MS



Tuesday, June 16, 2015
Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 13 0164 00

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Woodward Hill Elementary opened in spring 2010 and is now overcapacity. The capacity in the table below does not include a modular classroom that was added to accommodate growth (as this is considered temporary space). Goldstone Park Elementary opened in February of 2014 and helped to relieve overcrowding at Woodward Hill in the short term, although most of the students attending the new school came from Cambridge Elementary. Recently a catchment change was implemented that moved part of the Woodward Hill catchment to North Ridge (across King George Blvd). A recent addition to increase the capacity at Panorama Ridge Secondary from 1100 to 1400 (plus a Neighbourhood Learning Centre) has helped to reduce secondary space shortage in the South Newton area however, there are still extreme enrolment pressures at Sullivan Heights Secondary. The school district is currently considering various short and long-term measures to accommodate existing and projected enrolment in South Newton elementary and secondary schools.

In recent years, amendments to the South Newton NCP have resulted in a larger number of residential units and higher enrolment growth than was originally envisioned when the NCP was first adopted in 1999. The Surrey School District expresses its concern about development consistently occurring at densities higher than outlined in the NCP given the flow on implications to educational facility planning. Given the existing and projected enrolment pressures in South Newton, the school district does not support development occurring at a higher density than outlined in approved NCPs.

SUMMARY

The proposed 26 Single family with suites are estimated to have the following impact on the following schools:

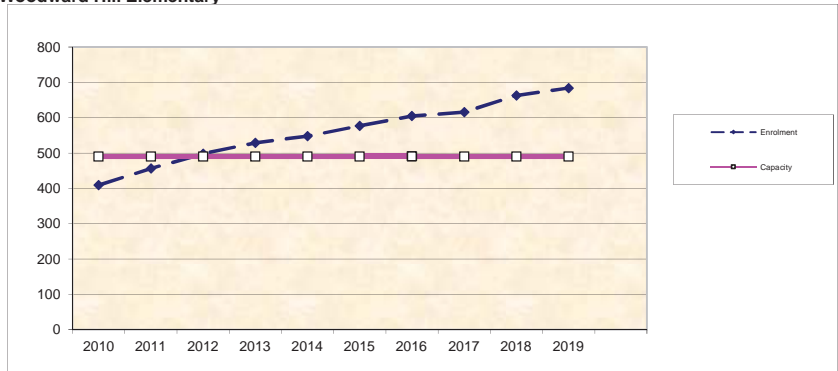
Projected # of students for this development:

Elementary Students:	13
Secondary Students:	7

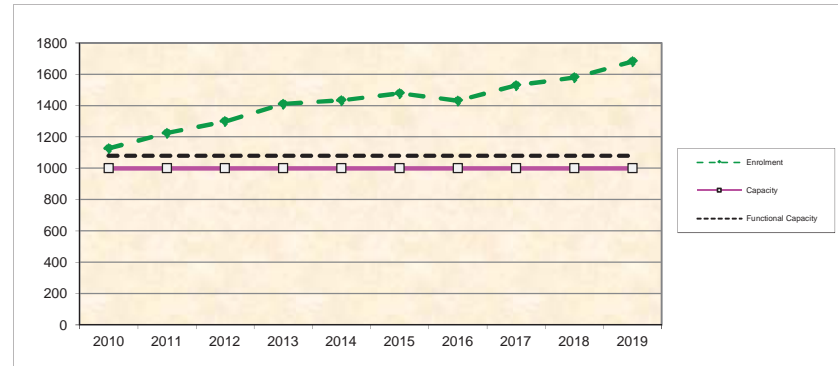
September 2014 Enrolment/School Capacity

Woodward Hill Elementary	
Enrolment (K/1-7):	67 K + 481
Capacity (K/1-7):	40 K + 450
Sullivan Heights Secondary	
Enrolment (8-12):	1434
Nominal Capacity (8-12):	1000
Functional Capacity*(8-12):	1080

Woodward Hill Elementary



Sullivan Heights Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

BUILDING GUIDELINES SUMMARY

Surrey Project no: 7913-0164-00
 Project Location: 14021 and 14047 - 60 Avenue, Surrey, B.C.
 Design Consultant: Tynan Consulting Ltd., (Michael E. Tynan)

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.

1. Residential Character

1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

The subject site is located in an old growth area, where homes 35-70 years old are situated on large RA zoned lots. Most homes are either small simple Bungalows, or are Basement Entry / Cathedral Entry type with box-like massing characteristics. Landscapes are modest. There are a large number of new applications in the area surrounding the subject site, including 7914-0245-00 due north, 7911-0147-00, and 7910-0067-00 less than one block east of the site which contain a variety of zonings including RF9C, RF, and RFSD, 7910-0175-00 less than one block west of the subject site (RF9 zone), and 7914-0067-00 (RF-10) and 7914-0345-00 (RF-10 and RF-12) located south (south side of 60 Avenue). The area now is considered to be a "new growth area".

This area saw significant development during the 1950s and 1960s. The age distribution from oldest to newest is: pre-1950's (7%), 1950's (33%), 1960's (33%), 1970's (14%), and 1980's (13%). Home size distribution is: Under 1000 sq.ft. (14%), 1000 - 1500 sq.ft. (33%), 2001 - 2500 sq.ft. (21%), and 2501 - 3000 sq.ft. (33%). Styles found in this area include: "Old Urban" (67%), "West Coast Traditional" (13%), "West Coast Traditional" (7%), "West Coast Modern" (7%), and "Heritage (Old B.C.)" (7%). Home types include: Bungalow (47%), 1 ½ Storey (7%), Two-Storey (7%), Basement Entry (20%), and Cathedral Entry (20%).

Massing scale (front wall exposure) characteristics include: Low mass structure (47%), Low to mid-scale massing (7%), Mid-scale massing (7%), and High scale, box-like massing (40%). The scale (height) range for front entrance structures includes: One storey front entrance (80%) and 1 ½ storey front entrance (20%). The range of roof slopes found in this area is: flat (7%), 2:12 (13%), 3:12 (13%), 4:12 (27%), 5:12 (20%), 6:12 (13%), and 8:12 (7%).

Main roof forms (largest upper floor truss spans) include: Main common hip roof (13%), Main common gable roof (67%), Main Dutch hip roof (7%), and Flat roof (13%). Feature roof projection types include: None (56%), Common Hip (13%), Common Gable (25%), and Dutch Hip (6%). Roof surfaces include: Tar and gravel (20%), Roll roofing (7%), Interlocking tab type asphalt shingles (27%), Rectangular profile type asphalt shingles (20%), and Shake profile asphalt shingles (27%).

Main wall cladding materials include: Horizontal cedar siding (27%), Vertical channel cedar siding (20%), Horizontal vinyl siding (27%), and Stucco cladding (27%). Feature wall trim materials used on the front facade include: No feature veneer (47%), Brick feature veneer (27%), and Horizontal cedar accent (27%). Wall cladding and trim colours include: Neutral (65%), Natural (25%), and Primary derivative (10%).

Covered parking configurations include: No covered parking (13%), Single carport (13%), Double carport (13%), Single vehicle garage (27%), Double garage (27%), and Rear garage (7%). Landscaping standards are modest by modern standards and are not contextually relevant to the subject site. Driveway surfaces include: gravel (27%), asphalt (67%), and Rear driveway (7%).

1.2 Features of Surrounding Dwellings Significant to the Proposed Building Scheme:

- 1) **Context Homes:** The housing stock in the area surrounding the subject site does not provide suitable architectural context for a post year 2010 RF-SD zone development. Massing scale, massing designs, house size and shape, roof designs, construction materials, and trim and detailing elements have changed (and improved) significantly since most homes in this area were constructed. A new character area is proposed that will have greater similarities to the aforesaid nearby developments east and west of the subject site (slightly outside the study area), than that of the existing older neighbouring homes.
- 2) **Style Character:** Most neighbouring homes can be classified as old urban homes that have massing designs and exterior trim and detailing standards that do not meet modern standards. Rather than emulating the existing homes, the recommendation is to utilize reasonably *compatible* styles including "Neo-Traditional", "Neo-Heritage", "Craftsman-Heritage" and "Rural Heritage", and compatible styles similar to those used on the aforesaid nearby developments. Note that style range is not specifically restricted in the building scheme. However, the consultant refers to the character study when reviewing plans for meeting style-character intent.
- 3) **Home Types:** There is a wide range of home types evident, and so some flexibility is justified. Home type (Two-Storey, Bungalow, Basement Entry, Split Level, etc..) will not be regulated in the building scheme. It is expected however, that every home will be Two-Storey type with in-ground basement.
- 4) **Massing Designs:** Massing designs should meet new standards for RF-SD zoned subdivisions. New homes should exhibit "mid-scale" massing. Various elements and projections on the front of the home should be interesting architecturally, and should be in pleasing natural proportions to one another. These elements and projections should be located so as to create balance across the façade.
- 5) **Front Entrance Design:** Front entrance porticos should be of a human scale, limited to a maximum height of one storey to ensure there is not proportional overstatement of this one element. A one storey high front entrance is an appropriate scale for homes in this zone, and is consistent with other homes in this area, including the nearby newer developments.
- 6) **Exterior Wall Cladding:** A wide range of cladding materials have been used in this area, including vinyl, cedar, stucco, brick, and stone. Reasonable flexibility should therefore be permitted, including the use of vinyl siding, provided the overall quality of wall cladding materials meets or exceeds common standards for post 2010 RF-SD zone developments.
- 7) **Roof surface:** This is area in which most homes have asphalt shingle roofs. It is expected that all new homes at the subject site will also have asphalt shingle roofs, and for continuity, asphalt shingles are recommended. A single cedar shingle or concrete tile roof would stand out as inconsistent due the large difference in textures (thickness) between asphalt shingles and cedar shingles or concrete tiles, and so these products are not recommended. However, where opportunities arise to introduce new environmentally sustainable products, they should be embraced. Generally, these materials have thicknesses between asphalt shingles and cedar shingles and will not appear out of place texturally. Therefore, to ensure consistency of character, only shake profile asphalt shingles and shake profile sustainable products are recommended.

- 8) **Roof Slope:** A significant number of neighbouring homes have low slope roofs that are not well suited to the proposed style range. Emulation of the low slope roof characteristic is therefore not recommended. Roofs slopes of 7:12 or higher are recommended, with standard exceptions to allow lower slopes at verandas (so front windows at the upper floor can be of sufficient depth) and to ensure that roofs are not overly high, resulting in over-shadowing of neighbouring lots, or resulting in view corridor blockage.

Streetscape: The area surrounding the subject site was developed substantially in the 1950s and 1960s. Large lots contain small Bungalows or larger box-like Basement Entry or Cathedral Entry houses (thus, homes have either low mass, or box like massing characteristics). Most homes have simple low slope roofs with an asphalt surface. Homes are clad in cedar, stucco, or vinyl. Just over half (53%) of homes have masonry or cedar veneers. The colour range includes neutral, natural and primary hues. Landscaping consists of mature shrubs or trees with sod or native brush. In sharp contrast, there are developments less than five years old, one block east, and one block west (on 60 Ave.) at which numerous compact lot Neo-Heritage and Neo-Traditional style Two-Storey type homes, that meet modern development standards, are currently under construction.

2. Proposed Design Guidelines

2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

- the new homes are readily identifiable as one of the following styles: “Neo-Traditional”, “Neo-Heritage”, “Craftsman-Heritage”, or “Rural Heritage”, or other compatible style as determined by the design consultant. Note that the proposed style range is not contained within the building scheme, but is contained within the residential character study which forms the basis for interpreting building scheme regulations.
- a new single family dwelling *constructed* on any *lot* meets year 2000's design standards, which include the proportionally correct allotment of mass between various street facing elements, the overall balanced distribution of mass within the front facade, readily recognizable style-authentic design, and a high trim and detailing standard used specifically to reinforce the style objectives stated above.
- trim elements will include several of the following: furred out wood posts, articulated wood post bases, wood braces and brackets, louvered wood vents, bold wood window and door trim, highly detailed gable ends, wood dentil details, stone or brick feature accents, covered entrance verandas and other style-specific elements, all used to reinforce the style (i.e. not just decorative).
- the development is internally consistent in theme, representation, and character.
- the entrance element will be limited in height (relative dominance) to a maximum of one storey.

2.2 Proposed Design Solutions:

Interfacing Treatment with existing dwellings)

Existing neighbouring homes do not provide suitable context for the proposed RF-SD type homes at the subject site. Interfacing treatments are therefore not contemplated. Rather, massing design, construction materials, and trim element treatments will meet or exceed standards commonly found in RF-SD developments constructed in Surrey subsequent to the year 2014.

Exterior Materials/Colours: Stucco, Cedar, Vinyl, Hardiplank, Brick, and Stone.

“Natural” colours such as browns, greens, clays, and other earth-tones, and “Neutral” colours such as grey, white, and cream are permitted. “Primary derivative” colours in subdued tones such as navy blue, colonial red, or forest green can be considered providing neutral trim colours are used, and a comprehensive colour scheme is approved by the consultant. “Warm” colours such as pink, rose, peach, salmon are not permitted. Trim colours: Shade variation of main colour, complementary, neutral, or subdued contrast only.

Roof Pitch: Minimum 7:12. Maximum 12:12

Roof Materials/Colours: Only shake profile asphalt shingles with a raised ridge cap and new environmentally sustainable roofing products providing that aesthetic properties of the new materials are equal to or better than the traditional roofing products. Greys, browns, or black only.

In-ground basements: Permitted, subject to determination that service invert locations are sufficiently below grade. Basements will appear underground from the front.

Treatment of Corner Lots: Not applicable. No corner lots.

Landscaping: *Moderate modern urban standard:* Tree planting as specified on Tree Replacement Plan plus minimum 12 shrubs of a minimum 3 gallon pot size. Sod from street to face of home. Driveways: exposed aggregate, interlocking masonry pavers, stamped concrete or broom finish concrete. All driveways connect the rear lane to the rear garage slab.

Compliance Deposit: \$5,000.00

Summary prepared and submitted by: Tynan Consulting Ltd. Date: May 7, 2015

Reviewed and Approved by:



Date: May 7, 2015

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 13-0164-00

Address: 14021 / 14047 60 Avenue, Surrey, BC

Registered Arborist: Monica Ardiel - ISA Certified Arborist PN - 7291A, CTRA #1711

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	37
Protected Trees to be Removed	37
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: <div style="text-align: center;"> Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $0 \times \text{one (1)} = 0$ <hr style="width: 10%; margin: 0 auto;"/> </div> <div style="text-align: center;"> All other Trees Requiring 2 to 1 Replacement Ratio $37 \times \text{two (2)} = 74$ <hr style="width: 10%; margin: 0 auto;"/> </div>	74
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: <div style="text-align: center;"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $X \text{ one (1)} =$ </div> <div style="text-align: center;"> - All other Trees Requiring 2 to 1 Replacement Ratio $X \text{ two (2)} =$ </div>	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

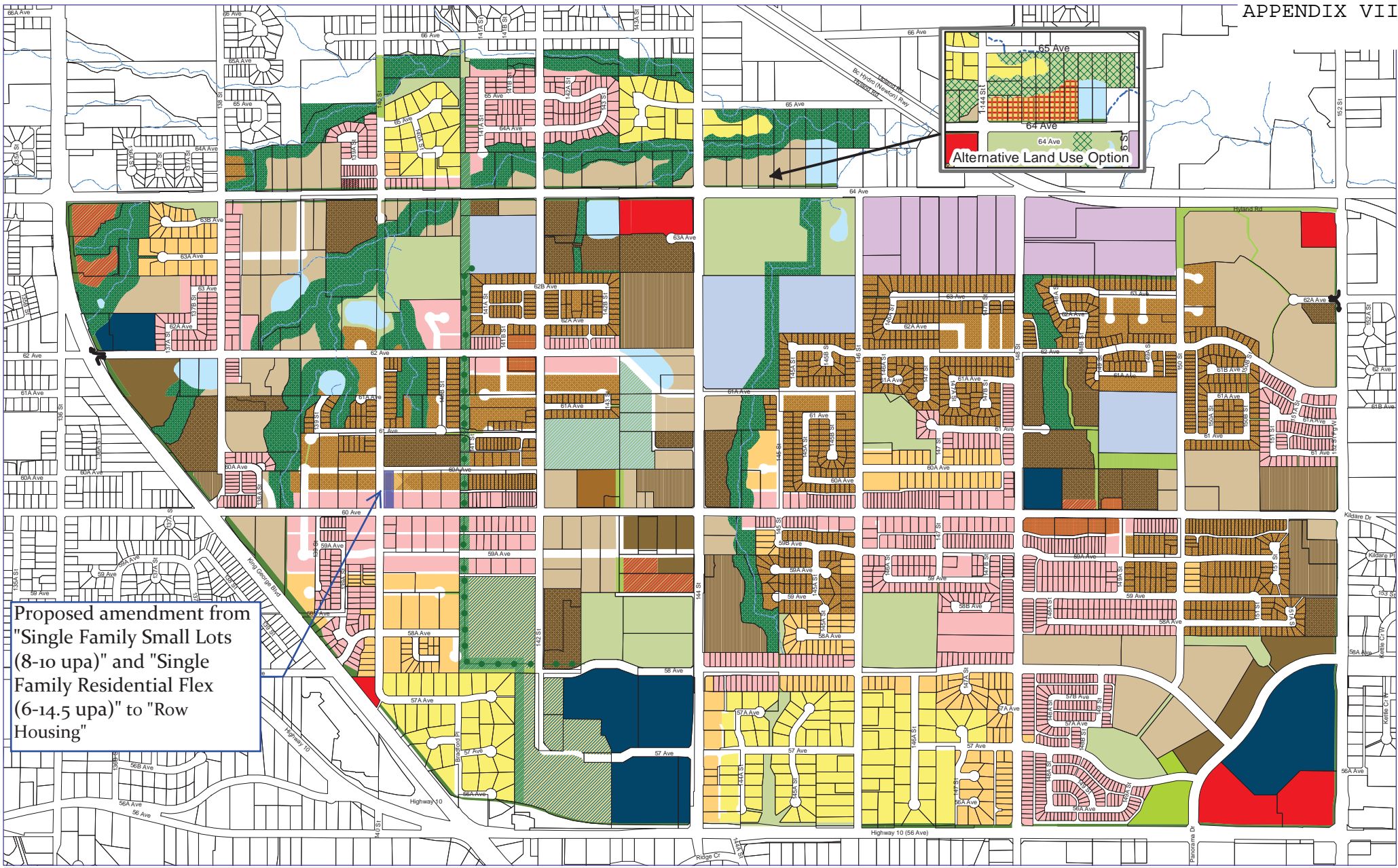
Signature of Arborist:

Date: April 29, 2015



Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302



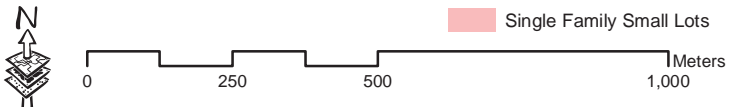


Proposed amendment from "Single Family Small Lots (8-10 upa)" and "Single Family Residential Flex (6-14.5 upa)" to "Row Housing"

SOUTH NEWTON

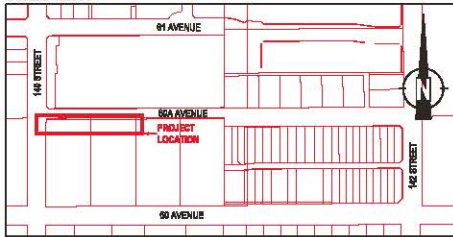
NEIGHBOURHOOD CONCEPT PLAN
City of Surrey Planning & Development Department

- | | | | | |
|--------------------------|--|-----------------|------------------------------|----------------------|
| Apartments 45 upa max | Row Housing | Commercial | Proposed School and Park | Buffers |
| Townhouses 30 upa max | Single Family Residential Flex 6 to 14.5 | Institutional | Parks | Detention Ponds |
| Townhouses 25 upa max | Single Family Residential | Office Park | Proposed Park and Walkway | Utility R/W Greenway |
| Townhouses 20 upa max | Suburban Residential 1/2 Acre | Industrial | Recreational | WALKWAY |
| Townhouses 15 upa max | Mixed Com/Res Apartments | Schools | Creeks and Riparian Set-back | |
| Single Family Small Lots | Mixed Com/Res Townhouse | Proposed School | | |

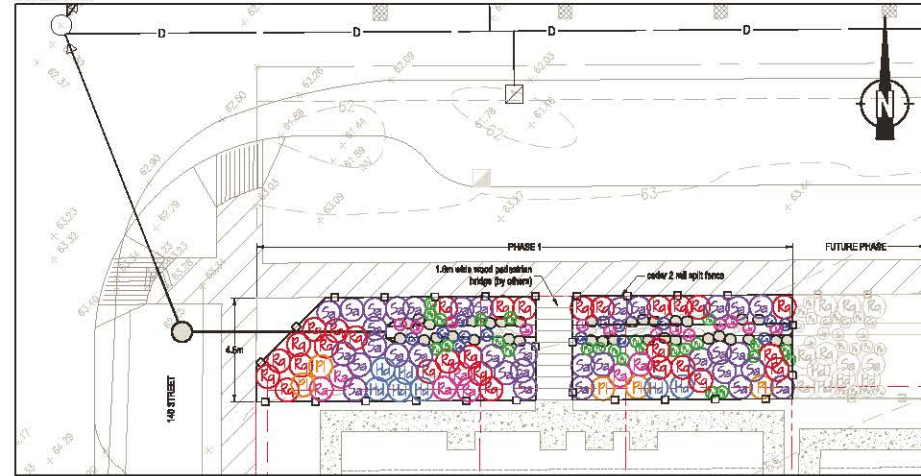


This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

LOCATION
SCALE 1:2500



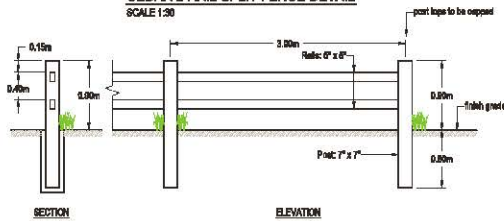
PLAN
SCALE 1:100



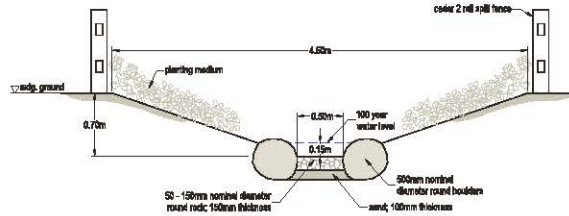
PLANT SPECIES LIST AND SPECIFICATIONS

SYMBOL	COMMON NAME	LATIN NAME	NUMBER	COMMENTS
R ₁	hedge rose	<i>Rosa gymnocarpa</i>	20	no. 2 pot; densely branched; well established
P ₁	rock rose	<i>Philadelphus lewisii</i>	5	no. 2 pot; densely branched; well established
H ₁	rosehip	<i>Hedysarum albidum</i>	7	no. 2 pot; densely branched; well established
R ₂	red-flowering currant	<i>Ribes sanguineum</i>	7	no. 2 pot; densely branched; well established
S ₁	strawberry	<i>Symphoricarpos albus</i>	34	no. 2 pot; densely branched; well established
N ₁	common rush	<i>Juncus effusus</i>	15	no. 1 pot; well established
C ₁	emerald sedge	<i>Carex obovata</i>	14	no. 1 pot; well established
F ₁	swamp fern	<i>Polystichum muricatum</i>	20	no. 1 pot; well established
B	boulders		34	500mm Ø round

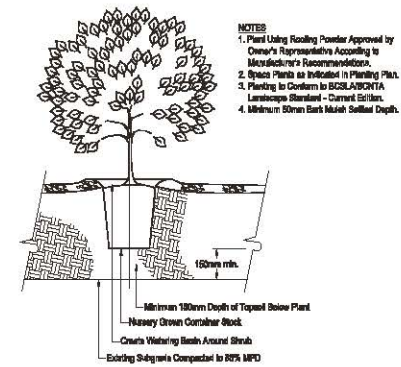
CEDAR 2 RAIL SPLIT FENCE DETAIL
SCALE 1:30



TYPICAL CHANNEL SECTION
SCALE 1:20



CITY OF SURREY
SHRUB PLANTING DETAIL
N.T.S.



GENERAL LANDSCAPE SPECIFICATIONS

- Plant material and the planting of such material are to be in accordance with the British Columbia Landscape Standard (current edition) published by the British Columbia Society of Landscape Architects and the British Columbia Landscape Nursery Association.
- All work are to be conducted in accordance with the sediment control provisions of the "Land Development Guidelines for the Protection of Aquatic Habitat" jointly published by BC Ministry of Environment and Fisheries and Oceans Canada.
- All plant material to be inspected and approved by Envirowest prior to installation.
- Planting medium is to be free of any substrate, rocks, organic matter, weeds, toxic materials, stems over 30 mm diameter, foreign objects, and possess an acidity range (pH) of 6.5 to 7.5. Growing medium is to be inspected prior to placement.
- All burlap (Stipa obsoleta and R. Jacobina) to be cleaned and grubbed from project site.
- All fabric structure material from landscape operations are to be collected and disposed of in accordance with all regulatory requirements.
- Disturbed areas to be treated with red hazelnut (*Festuca rubra*) swarded with fescue (*Elymus argenteus*) and galletta (*Stellaria canadensis*) sward; percentage composition and application rate of final seed mix to be determined by Envirowest.
- The contractor is to provide three (3) years of plant maintenance. Plant maintenance is to include watering, selective pruning and clearing of burlap. Species survival to be equal one-hundred (100) percent three (3) years from planting. Replacement of dead stock may be required to fulfill this specification. Replacement stock is also subject to one-hundred (100) percent survival three (3) years from planting.

REFERENCE DRAWINGS

- Project No. 150807, Sheet No. A1, "14021 60th Ave. Project, Consolidated Site Plan", Marquise Design Build.
- Email: 15016 - AQAD-LOT.dwg, Received May 11, 2015; Hub Engineering Inc.
- 2014 Legal Base from City of Surrey.

MORTISE CONSTRUCTION

14047 AND 14021 60 AVENUE
Surrey, BC



envirowest consultants inc.

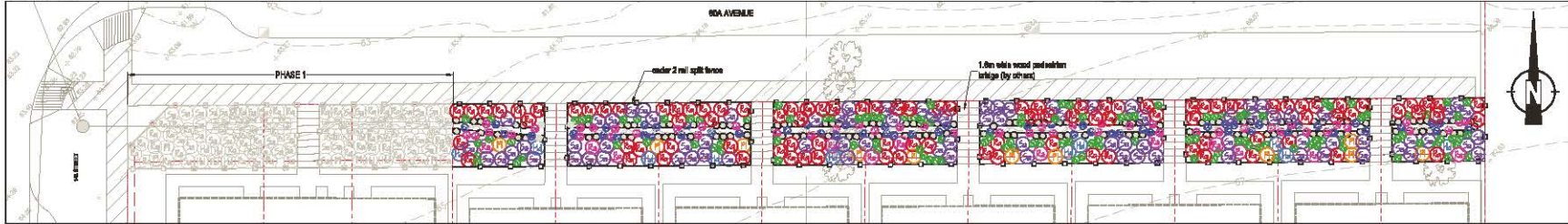
Suite 101 - 1515 Broadway Street
Port Coquitlam, British Columbia
Canada V3C 6W2
office: 604-944-0502
facsimile: 604-944-0507

www.envirowest.ca

LANDSCAPE PLAN
LANDSCAPE DETAILS AND SPECIFICATIONS

DESIGN PUW	DRAWN CEV/SCM	GROUP:	REVISION 02	REVISION DATE August 24, 2015
SCALE As Shown	DATE April 29, 2015	DRAWING NUMBER: 1942-04-01		

PLAN
SCALE 1:150



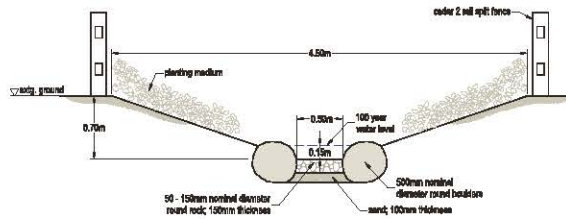
PLANT SPECIES LIST AND SPECIFICATIONS

SYMBOL	COMMON NAME	LATIN NAME	NUMBER	COMMENTS
	hedge rose	<i>Rosa graciosa</i>	100	no. 2 pot; densely branched; will establish
	mock orange	<i>Philadelphus lewisii</i>	11	no. 2 pot; densely branched; will establish
	scabrepipe	<i>Hebe salicifolia</i>	10	no. 2 pot; densely branched; will establish
	red-flowering currant	<i>Ribes sanguineum</i>	12	no. 2 pot; densely branched; will establish
	anemone	<i>Symphoricarpos albus</i>	83	no. 2 pot; densely branched; will establish
	common rash	<i>Jacosa effusa</i>	46	no. 1 pot; will establish
	umbrella sedge	<i>Carex stipula</i>	55	no. 1 pot; will establish
	swamp fern	<i>Polystichum muricatum</i>	119	no. 1 pot; will establish
	bracken		120	500mm Ø plant

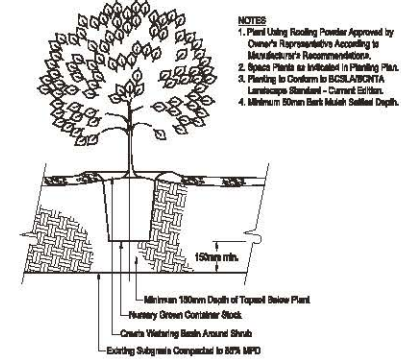
GENERAL LANDSCAPE SPECIFICATIONS

- Plant materials and the planting of such material are to be in accordance with the British Columbia Landscapes Standard (current edition) jointly published by the British Columbia Society of Landscape Architects and the British Columbia Landscape Nursery Association.
- All work are to be constructed in accordance with the sediment control provisions of the "Land Development Guidelines for the Protection of Aquatic Habitat" jointly published by BC Ministry of Environment and Fisheries and Oceans Canada.
- All plant materials to be inspected and approved by Environment prior to installation.
- Planting medium to be free of any substrate, rocks, noxious grass, weeds, toxic materials, stems over 30 mm diameter, foreign objects, and animals in active range (5% of 5.5 to 7.5). Growing medium to be inspected by Environment prior to placement.
- All hardscape (Ribbon concrete and R. hardscape) to be cleaned and grouted from project site.
- All debris and/or excess material from landscape operations are to be collected and disposed of off-site in accordance with all regulatory requirements.
- Disturbed areas to be seeded with red fescue (*Festuca rubra*) augmented with fescue (*Equisetum arvense*) and galegrass (*Sabbagha canadensis*) seed, percentage composition and application rate of final seed mix to be determined by Environment.
- The contractor to provide three (3) years of plant maintenance. Plant maintenance to include watering, selective pruning and clearing of back-berry. Species survivorship to be equal or greater (100) percent three (3) years from planting. Replacement of dead stock may be required to fulfill this specification. Replacement stock is also subject to one-hundred (100) percent survivorship three (3) years from planting.

TYPICAL CHANNEL SECTION
SCALE 1:25

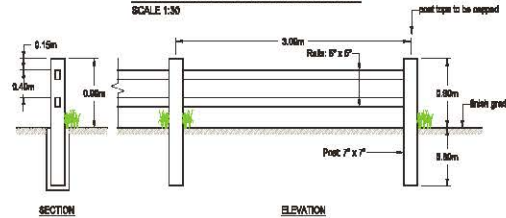


CITY OF SURREY
SHRUB PLANTING DETAIL
N.T.S.

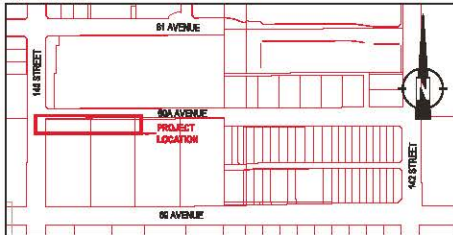


- NOTES**
- Plant Using Rooting Powder Approved by Owner's Representatives According to Manufacturer's Recommendations.
 - Space Plants as Indicated in Planting Plan.
 - Planting to Conform to BC/BRITCOLUMBIA Landscapes Standard - Current Edition.
 - Minimum 50mm Bark Mulch Surface Depth.

CEDAR 2 RAIL SPLIT FENCE DETAIL
SCALE 1:30



LOCATION
SCALE 1:2500



REFERENCE DRAWINGS

- Email: 14021 60th Ave - Site (1).dwg. Received August 05, 2015; Mortise Construction.
- Project No. 150307. Sheet No. A1: "14021 60th Ave. Project: Consolidated Site Plan". Marquise Design Build.
- Email: 15015 - ACAD-LOT.dwg. Received May 11, 2015; Hub Engineering Inc.
- 2014 Legal Base from City of Surrey.

MORTISE CONSTRUCTION

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facsimile: 604-944-0507

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LANDSCAPE PLAN
LANDSCAPE DETAILS AND SPECIFICATIONS

DESIGN	DRAWN	CHECKED	REVISION	REVISION DATE
PJW	CEV		00	
SCALE:	As Shown		DRAWING NUMBER:	1942-04-02
DATE:	August 24, 2015			