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A. ADOPTION OF THE AGENDA

Council is requested to pass a motion to adopt the agenda.

B. PLANNING REPORTS

1. **Planning Report - Application No. 7922-0228-00 18087 - 24 Avenue**

Owner: 1379416 B.C. Ltd.

Director Information: J. Sandhu, D. Sandhu

No Officer Information Filed.

Agent: Flat Architecture Inc. (J. Gabri)

**NCP Amendment from Riparian Area, Multiple Residential (22 upa), and
Townhouses (30 upa) to Riparian Area and Townhouses (30 upa), and for
changes to the local road network and Riparian Area**

Rezoning from A-2 to RM-30

Development Permit / Development Variance Permit

to permit the development of 113 townhouse units and a lot for riparian protection.

* **Planning Recommendation**

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for Bylaw No. 21434 to rezone the subject site from "Intensive Agriculture Zone (A-2)" to "Multiple Residential 30 Zone (RM-30)".
2. Council authorize staff to draft Development Permit No. 7922-0228-00 generally in accordance with the attached drawings (Appendix I), and the finalized Ecosystem Development Plan.
3. Council approve Development Variance Permit No. 7922-0228-00 (Appendix VI), varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum west yard setback of the RM-30 Zone from 6.0 metres to 3.0 metres to the principal building face for proposed Lots 1 and 2;

- (b) to reduce the minimum east yard setback of the RM-30 Zone from 6.0 metres to 5.2 metres to the principal building face for the indoor amenity building for proposed Lot 3; and
 - (c) to increase the permitted percentage of back-to-back units on proposed Lots 1 and 2 from 20% to 21% for Lot 1 and 30% for Lot 2.
4. Council instruct staff to resolve the following issues prior to final approval:
- (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of City staff;
 - (h) the applicant satisfy the requirements for a P-15 agreement;
 - (i) voluntary conveyance of riparian areas along the Justin Brook to the City for protection purposes;
 - (j) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space (Lot 3);
 - (k) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;

- (l) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (m) submission of an acoustical report for the units adjacent to 24 Avenue (proposed Lots 2 and 3) and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures; and
 - (n) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager, Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services.
5. Council pass a resolution to amend the Redwood Heights Neighbourhood Concept Plan (NCP) to redesignate the land from Riparian Area, Multiple Residential (22 upa), and Townhouses (30 upa) to Riparian Area and Townhouses (30 upa), and for changes to the local road network and Riparian Area when the project is considered for final adoption (Appendix V).

2. **Planning Report - Application No. 7924-0123-00**

8546 - 144 Street

Owner: B. Thind

Agent: JM Architecture Inc. (J. Minten)

Rezoning from R3 to CCR

Development Variance Permit

to permit a child care centre for up to 24 children, within an existing single family dwelling on the lot.

*** Planning Recommendation**

The Planning & Development Department recommends that:

- 1. a Bylaw be introduced to rezone the subject site from "Urban Residential Zone (R3)" to "Child Care Zone (CCR)", and a date be set for Public Hearing.
- 2. Council Approve Development Variance Permit No. 7924-0123-00 (Appendix III), reducing the minimum number of Off-Street parking spaces for a Child Care Centre from 9 to 8, to proceed to Public Notification.

3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering; and
 - (b) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department.

* **Council Actions**

"Surrey Zoning Bylaw, 1993, No. 12000, Amendment Bylaw, 2024, No. 21435"

First Reading

Second Reading

That the Public Hearing be held on Monday, November 4, 2024, at 7:00 p.m.

3. **Planning Report - Application No. 7924-0267-00**

19545 - 72 Avenue; 19546 - 72A Avenue

Owners: U. Chhokar, 647159 B.C. Ltd.

Director Information: J. Boparai, P. R. Boparai, P. Boparai

Officer Information as at May 7, 2024: P. R. Boparai (President),
J. Boparai (Secretary)

Agent: McElhanney Consulting Services Ltd. (J. Pernu)

Development Variance Permit

in order to allow subdivision into 7 small residential lots, 6 compact lots and 4 semi-detached narrow lots.

* **Planning Recommendation**

The Planning & Development Department recommends that Council approve Development Variance Permit No. 7924-0267-00 (Appendix II), to reduce the minimum lot width of the R5 Zone Interior Lot Type II from 12.3 metres to 9 metres for proposed Lots 3-6 and 16-17, to proceed to Public Notification.

4. **Planning Report - Application No. 7924-0016-00**
9889 King George Boulevard (9873 King George Boulevard); 13573 - 98A Avenue;
13571 - 98B Avenue; 13578 - Holland Commons
Owner: Century City Parkside Properties Ltd.
Director Information: S. Hodgins
Officer Information as at June 1, 2024: S. Hodgins (President, Secretary)
Agent: ZGF Architects Inc. (J. Willemse)

Development Permit

Housing Agreement

to permit the development of a 20-storey mixed-use tower with a two-storey podium consisting of ground floor commercial and approximately 274 purpose-built rental dwelling units above.

* **Planning Recommendation**

The Planning & Development Department recommends that:

1. a Bylaw be introduced to enter into a Housing Agreement and be given First, Second and Third Reading.
2. Council authorize staff to draft Development Permit No. 7924-0016-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (c) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) the applicant enter into a Housing Agreement with the City to restrict a total of 274 dwelling units on the subject site to provide rental housing for a minimum 60-year duration; and
 - (e) registration of a Section 219 Restrictive Covenant to reflect the 274 rental units and ensure the proposal will adequately address the City's needs with respect to Public Art, Affordable Housing and Capital Project CACs (Tier 1 and Tier 2) if the market rental tenure of the proposed development changes, at any point in the future.

* **Council Actions**

"Century City Parkside Properties Ltd. Housing Authorization By-law, 2024, No. 21437".

First Reading

Second Reading

Third Reading

5. **Planning Report - Application No. 7918-0067-00
13552 - 56 Avenue**

Owner: H. Sandhu

Agent: Hub Engineering Inc. (M. Kompter)

Development Permit

Major RC Amendment

to subdivide a parcel into three lots.

* **Planning Recommendation**

The Planning & Development Department recommends that this application be referred to the Approving Officer to ensure the proposal limits the hazardous condition of the proposed new lots. This would require a reduction in the number of lots from what is currently proposed.

6. **Planning Report - Application No. 7914-0147-00; 7914-0147-01; 7914-0147-02
14499 and 14500 - 59 Avenue**

Owners : J. Dhanda, K. Dhanda, 0749813 B.C. Ltd.

Director Information: P. Bal

Office Information as at February 23, 2024: P. Bal

Agent: Coastland Engineering and Surveying Ltd. (M. Helle)

Rezoning from R4 to CD (based on R4)

Development Variance Permit

to facilitate alignment with the updated Zoning Bylaw in order to allow subdivision into 5 residential lots.

- * Further to the Planning Reports dated March 7, 2022 and April 11, 2022, additional information regarding the application is provided.

* **Planning Recommendation**

The Planning & Development Department recommends that:

1. Council file Development Variance Permit Nos. 7914-0147-00 and 7914-0147-01.

2. Council endorse the Public Notification to proceed for Bylaw No. 21438 to rezone the subject site from "Small Lot Residential Zone (R4)" to "Comprehensive Development Zone (CD)" (based on R4).
3. Council approve Development Variance Permit No. 7914-0147-02 (Appendix II), varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum rear yard setback for a principal building in the R4 Zone from 7.5 metres to 6.0 metres for proposed Lots 1, 2, and 4 and from 7.5 metres to 5.5 metres for proposed Lot 3; and
 - (b) to vary the R4 Zone to allow a double garage that can accommodate two vehicles parked side by side accessed from the front yard on a lot that is less than 13.4 metres wide, on proposed Lots 2 to 5.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) all conditions of approval outlined in the Additional Planning Comments Report No. 7914-0147-00 and 7914-0147-01, dated April 11, 2022 (Appendix II); and
 - (c) approval from the Ministry of Transportation & Infrastructure.

* **Council Actions**

Development Variance Permit Nos. 7914-0147-00 and 7914-0147-01.

That Council file Development Variance Permit Nos. 7914-0147-00 and 7914-0147-01.

7. **Planning Report - Application No. 7923-0365-00
12947 and 12955 - 112B Avenue**
Owner: 1123699 B.C. Ltd.
Director Information: L. Janda, P. Janda, M. Sohd
Officer Information as at June 20, 2024: M. Sohd (President)
Agent: Citiwest Consulting Ltd. (R. Jawanda)
Temporary Use Permit
to permit the development of a temporary semi-truck cab parking facility.

* **Planning Recommendation**

The Planning & Development Department recommends that:

1. Council approve Temporary Use Permit No. 7923-0365-00 (Appendix III), to proceed to Public Notification.
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) removal of unauthorized fill from 112B Avenue road right-of-way to the satisfaction of the General Manager, Engineering Department;
 - (c) submission of a finalized fencing plan and fencing cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) installation and subsequent inspection and approval of all required fencing and/or screening works along 112B Avenue frontage of the property, to the satisfaction of the General Manager, Planning & Development; and
 - (e) the applicant to undertake the necessary work and obtain a building permit, as required, for an on-site washroom facility.

**8. Planning Report - Application No. 7924-0239-00
6608 - 133 Street**

Owners S. Rathore, H. Parmar, B. Parmar, S. Parmar

Agent: H. Parmar

Development Variance Permit

to allow the reduction of the required rear yard setback from 7.5 meters to 4.5 meters for an addition to the existing single-family dwelling.

* **Planning Recommendation**

The Planning & Development Department recommends that:

Council approve Development Variance Permit No. 7924-0239-00 (Appendix II), to reduce the minimum rear yard (east) setback of the R4 Zone from 7.5 metres to 4.5 metres to the principal building face to allow for an addition to the existing single family dwelling, to proceed to Public Notification.

9. **Planning Report - Application No. 7923-0214-00
9883, 9897 and 9911 Lyncean Drive**
Owners: H.-C. Lin, 1359120 B.C. Ltd.
Director Information: P. Mahil, S. Sangha
No Officer Information Filed as at April 21, 2023.
Agent: Kasian Architecture Interior Design and Planning Ltd. (T. Dickson)
OCP Amendment from "Suburban" to "Urban"
**LAP Amendment from "Suburban Residential 2-4 UPA Gross", "Urban
Transition 4-5 UPA", "Urban Residential 8-10 UPA" and "Low-Density
Townhouse 12-15 UPA Gross" to "Townhouse 15-20 UPA Gross" and to
"Proposed City Greenway"**
Rezoning from RA to CD
Development Permit
to permit the development of 55 townhomes.

*** Planning Recommendation**

The Planning & Development Department recommends that:

1. a Bylaw be introduced to amend the Official Community Plan (OCP) Figure 3: General Land Use Designations for the subject site from "Suburban" to "Urban", and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the OCP, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. a Bylaw be introduced to rezone the subject site from "Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)", and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7923-0214-00 generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;

- (c) Approval from the Ministry of Transportation & Infrastructure;
 - (d) final approval from Trans Mountain given the presences of a statutory right-of-way located in the northeast corner of the property;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (g) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (h) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (i) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (j) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (k) Conveyance of 687 square metres of land to the City without compensation along the north portion of the property to facilitate the delivery of a future greenway; and
 - (l) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager, Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department.
7. Council pass a resolution to amend the Abbey Ridge Local Area Plan (LAP) to redesignate the land from "Suburban Residential 2-4 UPA Gross", "Urban Transition 4-5 UPA", "Urban Residential 8-10 UPA" and "Low-Density Townhouse 12-15 UPA Gross" to "Townhouse 15-20 UPA Gross" and "Proposed City Greenway", when the project is considered for final adoption.

* **Council Actions**

"Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw 2024, No. 21439"

First Reading

Second Reading

That the Public Hearing be held on Monday, November 4, 2024, at 7:00 p.m.

"Surrey Zoning Bylaw, 1993, No. 12000, Amendment Bylaw, 2024, No. 21440"

First Reading

Second Reading

That the Public Hearing be held on Monday, November 4, 2024, at 7:00 p.m.

10. **Planning Report - Application No. 7923-0325-00
16589 - 78 Avenue**
Owners: H. Sull, H. Sull, R. Bal, Y. Bal
Agent: Hub Engineering Inc. (Mike Kompter)
Rezoning from RA to R3 and R4
to subdivide into one R3 lot and two R4 lots.

* **Planning Recommendation**

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for Bylaw No. 21442 to rezone the subject site from "Acreage Residential Zone (RA)" to "Urban Residential Zone (R3)" for Block A on the attached Survey Plan and "Small Lot Residential Zone (R4)" for Block B on the attached Survey Plan. (Appendix I).
2. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;

- (c) the applicant adequately address the City's needs with respect to the City's Affordable Housing Strategy, to the satisfaction of the General Manager, Planning & Development Services; and
- (d) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department.

- 11. Planning Report - Application No. 7923-0128-00
14633 No 10 (56 Avenue) Highway**
Owners: L. Lescisin, W. Mercer, P. Halford, J. Bailey
Agent: Aplin Martin Consultants Ltd. (S. Khayambashi)
**NCP Amendment to the South Newton NCP from "Suburban Residential
1/2 Acre" to "Suburban Residential 1/4 Acre"**
Rezoning from R₁ to R₂
Development Variance Permit
to allow subdivision into 3 single family lots.

*** Planning Recommendation**

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for Bylaw No. 21443 to rezone the subject site from "Suburban Residential Zone" (R₁) to "Quarter Acre Residential Zone" (R₂).
2. Council approve Development Variance Permit No. 7923-0128-00 (Appendix VII), varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum lot width of the R₂ Zone from 24 metres to 13.8 metres for proposed Lots 1, 2 and 3;
 - (b) to reduce the minimum front yard setback of the R₂ zone from 7.5 meters to 6.5 meters for proposed Lots 1, 2 and 3; and
 - (c) to reduce the minimum side yard setback from 2.4 meters to 1.8 meters for proposed Lots 1, 2 and 3.
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) Approval from the Ministry of Transportation & Infrastructure;

- (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (f) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) registration of a Restrictive Covenant to prohibit habitable buildings in the area north of the safety line as shown on Appendix I; and
 - (i) registration of a combined Section 219 Restrictive Covenant/access easement to prohibit direct vehicular access to Highway 10 and ensure access to proposed Lots 1, 2 and 3 is from the rear driveway.
4. Council pass a resolution to amend the South Newton Neighbourhood Concept Plan (NCP) to redesignate the land from "Suburban Residential 1/2 Acre" to "Suburban Residential 1/4 Acre", when the project is considered for final adoption.

C. BYLAWS AND PERMITS

BYLAWS

1. Planning Report - Application No. 7924-0228-00
8122, 8136, and 8148 - 168 Street; 8127, 8128, 8139 and 8145 - 168A Street; 16832, 16852, 16856, 16860 and 16864 - 81A Avenue

Owner: 1243100 B.C. Ltd. (Director Information: T. Sablok, S. Sablok)
Agent: T. Gill

To construct Small-Scale, Multi-Unit Housing related housing options on existing residential lots located within a Transit Oriented Area.

"Surrey Comprehensive Development Zone 252 (CD 252), Bylaw, 2024, No. 21406"

Final Adoption

"Surrey Comprehensive Development Zone 253 (CD 253), Bylaw, 2024, No. 21407"

Final Adoption

BYLAWS WITH PERMITS

2. Planning Report - Application No. 7923-0209-00
14784 and 14794 - 106 Avenue; 10563 and 10573 - 148 Street

Owner: DS 106 Developments Ltd. (Director Information: T. Dawson, S. Hooge)
Agent: Dawson and Sawyer Properties Ltd. (P. Magistrale)

Note: Change in Owner Information

To develop a 6-storey residential building, containing 93 dwelling units over 2 levels of underground parking, on a consolidated site in Guildford. The proposal also includes a Development Permit for Form and Character.

That Council pass a resolution to amend the Guildford Plan to redesignate the subject site from "Low Rise Transition Residential" to "Low to Mid Rise Residential."

"Surrey Comprehensive Development Zone 196 (CD 196), Bylaw, 2024, No. 21250"

Final Adoption

Development Permit No. 7923-0209-00

That Council authorize the issuance of Development Permit No. 7923-0209-00.

APPLICATIONS/BYLAWS/PERMITS TO BE CLOSED

3. Planning Report - Application No. 7917-0427-00
8495, 8483 - 164 Street

Owner: Ravi Investments Ltd. (Director Information: R. Sanghera, P. Sanghera)
Agent: CitiWest Consulting Ltd. (R. Jawanda)

To develop a 5-storey apartment building with approximately 45 units.

- * See memorandum dated October 16, 2024.

That Council file Bylaw Nos. 20776 and 20777 and close Application No. 7917-0427-00.

D. CLERKS REPORT

This section has no items to consider.

E. OTHER BUSINESS

This section has no items to consider.

F. ADJOURNMENT

Council is requested to pass a motion to adjourn the meeting.

CITY OF SURREY

ADOPTION OF THE AGENDA



CITY OF SURREY

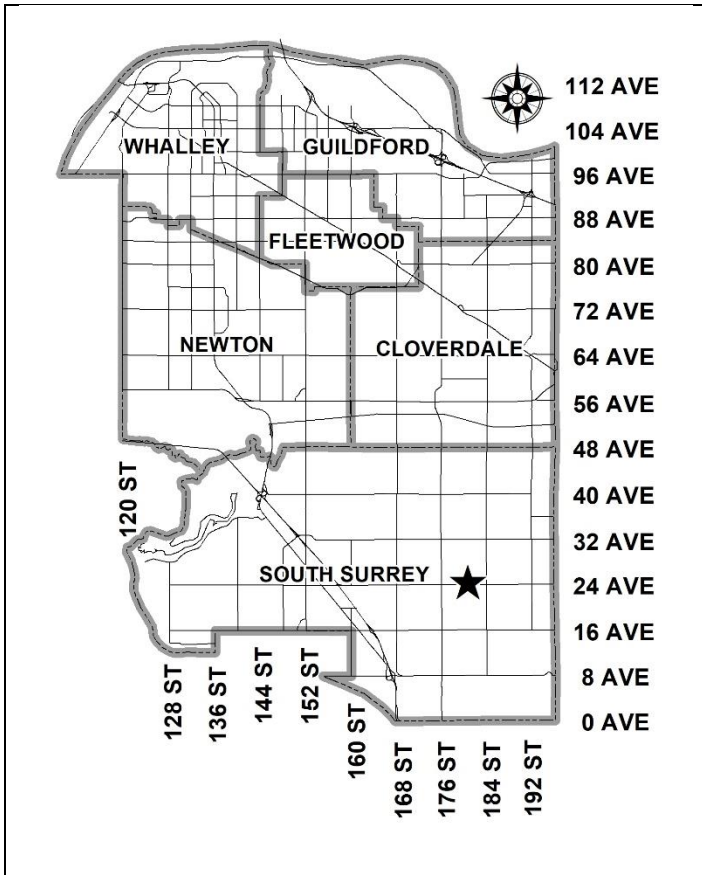
PLANNING REPORTS



City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7922-0228-00

Planning Report Date: October 21, 2024



PROPOSAL:

- **NCP Amendment** from Riparian Area, Multiple Residential (22 upa), and Townhouses (30 upa) to Riparian Area and Townhouses (30 upa), and for changes to the local road network and Riparian Area
- **Rezoning** from A-2 to RM-30
- **Development Permit**
- **Development Variance Permit**

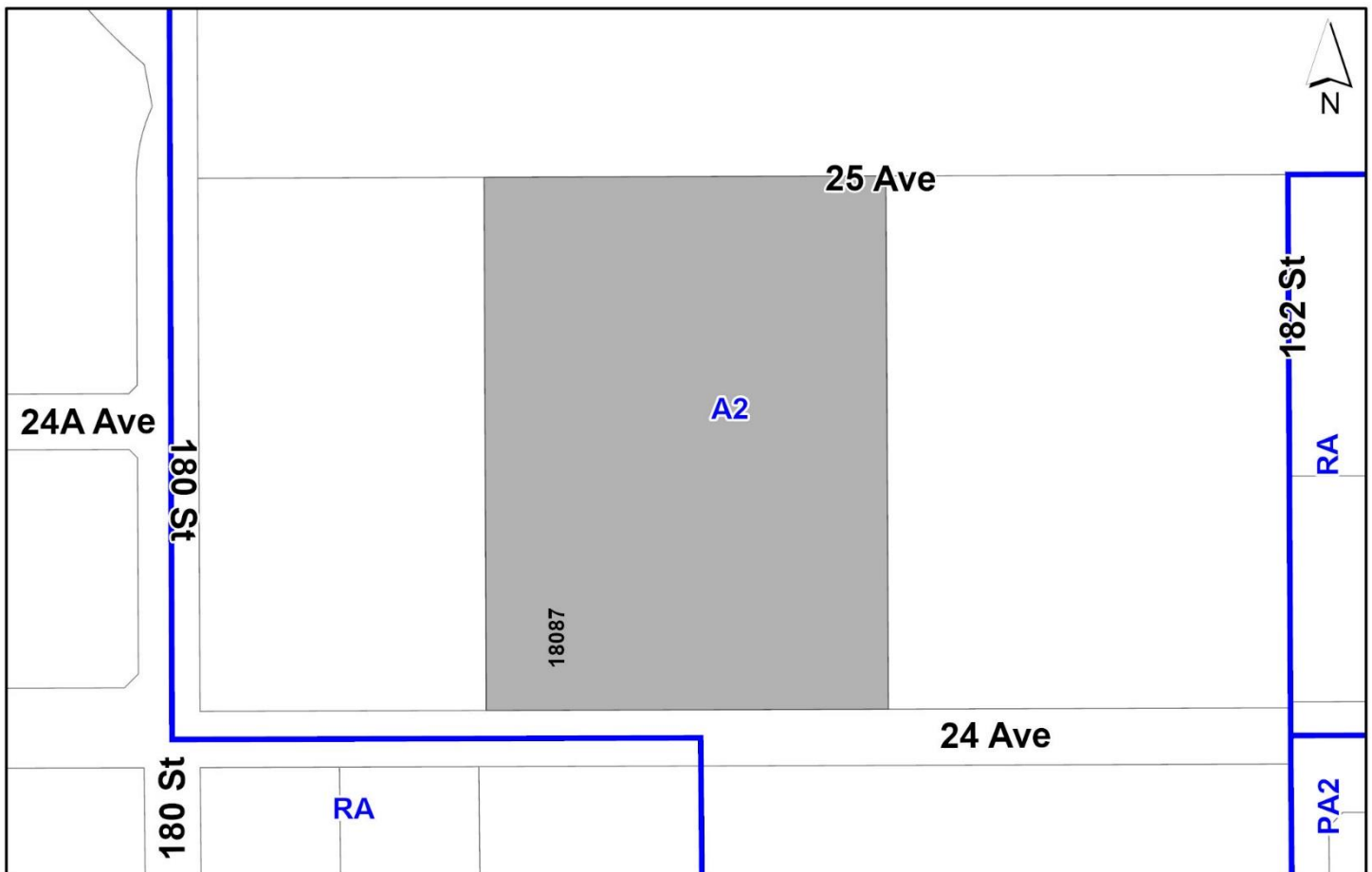
to permit the development of 113 townhouse units and a lot for riparian protection.

LOCATION: 18087 - 24 Avenue

ZONING: A-2

OCP DESIGNATION: Urban

NCP DESIGNATION: Riparian Area, Multiple Residential (22 upa), and Townhouses (30 upa)



RECOMMENDATION SUMMARY

- Rezoning By-law to proceed to Public Notification. If supported the By-law will be brought forward for First, Second and Third Reading.
- Approval to draft Development Permit for Form and Character, and Sensitive Ecosystems.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Redwood Heights Neighbourhood Concept Plan (NCP) from Riparian Area, Multiple Residential (22 upa), and Townhouses (30 upa) to Riparian Area and Townhouses (30 upa), and for change to the local road network and Riparian Area.
- Proposing to reduce the side yard setback requirements of the RM-30 Zone.
- Proposing to increase the allowable percentage of back-to-back units on proposed Lots 1 and 2.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Urban designation in the Official Community Plan (OCP).
- In accordance with changes to the Local Government Act, Section 464, under Bill 44 (2023) a Public Hearing is not required for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed Rezoning By-law. The Rezoning By-law will be presented to Council for consideration of First, Second, and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.
- The proposal partially complies with the Riparian Area, Multiple Residential (22 upa), and Townhouses (30 upa) designation in the Redwood Heights Neighbourhood Concept Plan (NCP)
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Redwood Heights.
- The proposal complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Streamside Areas and Green Infrastructure Areas).
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.

- The proposed setbacks achieve a more urban, pedestrian streetscape in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to rezone the subject site from "Intensive Agriculture Zone (A-2)" to "Multiple Residential 30 Zone (RM-30)".
2. Council authorize staff to draft Development Permit No. 7922-0228-00 generally in accordance with the attached drawings (Appendix I) and the finalized Ecosystem Development Plan.
3. Council approve Development Variance Permit No. 7922-0228-00 (Appendix VI) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum west yard setback of the RM-30 Zone from 6.0 metres to 3.00 metres to the principal building face for proposed Lots 1 and 2;
 - (b) to reduce the minimum east yard setback of the RM-30 Zone from 6.0 metres to 5.20 metres to the principal building face for the indoor amenity building for proposed Lot 3; and
 - (c) to increase the permitted percentage of back-to-back units on proposed Lots 1 and 2 from 20% to 21% for Lot 1 and from 20% to 30% for Lot 2.
4. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of City staff;
 - (h) the applicant satisfy the requirements for a P-15 agreement;
 - (i) voluntary conveyance of riparian areas along the Justin Brook to the City for protection purposes;

- (j) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space (Lot 3);
 - (k) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (l) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (m) submission of an acoustical report for the units adjacent to 24 Avenue (proposed Lots 2 and 3) and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures; and
 - (n) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services.
5. Council pass a resolution to amend the Redwood Heights Neighbourhood Concept Plan (NCP) to redesignate the land from Riparian Area, Multiple Residential (22 upa), and Townhouses (30 upa) to Riparian Area and Townhouses (30 upa), and for changes to the local road network and Riparian Area when the project is considered for final adoption (Appendix V).

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Single family dwelling	Riparian Area, Multiple Residential (22 upa), and Townhouses (30 upa)	A-2
North:	Single family dwelling	Riparian Area, Stormwater Detention Pond and Park, Natural Areas, and Buffers	A-2
East:	Vacant land	Riparian Area, Townhouses (30 upa) and Park, Natural Areas, and Buffers	A-2
South (Across 24 Avenue):	Single family dwelling	Townhouses (30 upa)	A-2 and RA
West:	Single family dwelling	Multiple Residential (22 upa) and Townhouses (30 upa)	A-2

Context & Background

- The site is currently occupied by a single family dwelling and is currently zoned "Intensive Agriculture Zone (A-2)". The site is designated Urban in the Official Community Plan (OCP), and Riparian Area, Multiple Residential (22 upa), and Townhouses (30 upa) in the Redwood Heights Neighbourhood Concept Plan (NCP).
- The site has a total gross floor area of 27,578 square metres (6.81 acres), sloping down approximately 9 metres from south to north, and from west to east.
- Justin Brook runs north/south along the eastern portion of the site which is a Class B channelized stream. There are two GIN hub areas located along the eastern and western property lines with some encroachment within the site.

DEVELOPMENT PROPOSAL

Planning Considerations

- The application proposes subdivision, rezoning, a Development Permit for Form & Character and for Sensitive Ecosystem and a Development Variance Permit.
- The applicant proposes a subdivision into 4 lots: three development lots, and one park lot for the protection of the riparian area along Justin Brook. The three development lots are proposed to develop with a total of 113 townhouse units, and two new public roads: 181 Street, and 24A Avenue.
- The proposal includes rezoning of the site from A-2 to RM-30, to develop 3 townhouse development sites, and one riparian lot.

- The riparian lot is along the eastern portion of the site, near where Justin Brook is located. One townhouse site (Lot 3) is proposed directly to the west of the riparian area. The applicant is proposing maximum safeguarding by voluntarily conveying the riparian area of 3,036 square metres to the City at no cost.
- 181 Street is proposed to bisect the property in a north-south alignment, with two townhouse sites to the west of 181 Street. The northern site is Lot 1, and the southern site is Lot 2. Lots 1 and 2 are proposed to be divided by the new east-west 24A Avenue connecting 180 Street and 181 Street.
- The total site development is proposed with 113 townhouse units (all three-bedroom units), ranging from 2 to 6 units per building, with the following breakdown:
 - Lot 1: 28 units, with 22 units double garage, 6 units back-to-back (21%);
 - Lot 2: 40 units, with 28 units double garage, 12 units back-to-back (30%);
 - Lot 3: 45 units, with 43 units double garage, 2 units tandem garage (4.5%);
 - TOTAL: 113 units, with 92 units double garage, 19 units back-to-back and 2 units tandem garage (16% back-to-back and 1.7% tandem).
- The application proposes a unit density of 66 units per hectare (27 units per acre) and a Floor Area Ratio (FAR) of 0.85.

	Proposed
Lot Area	
Gross Site Area:	27,578 square metres
Road Dedication:	7,723 square metres
Undevelopable Area:	3,036 square metres (0.75 acres)
Net Site Area:	Total: 16,819 square metres (4.16 acres) Lot 1: 4,308 square metres Lot 2: 5,685 square metres Lot 3: 6,826 square metres
Number of Lots:	4
Building Height:	10.5 metres
Unit Density:	66 units per hectare (27 units per acre)
Floor Area Ratio (FAR):	Lot 1: 0.87 Lot 2: 0.91 Lot 3: 0.80 Total: 0.85
Floor Area	
Residential:	Lot 1: 3,744.07 square metres Lot 2: 5,171.9 square metres Lot 3: 5,431.34 square metres 14,347.54 square metres
Total:	14,347.54 square metres
Residential Units:	
3-Bedroom:	113 townhouse units
Total:	113 townhouse units

Referrals

- Engineering:** The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
- School District:** The School District has advised that there will be approximately 100 school-age children generated by this development, of which the School District has provided the following expected student enrollment.
- 54 Elementary students at Pacific Heights Elementary School
29 Secondary students at Grandview Heights Secondary School
- (Appendix III)
- Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.
- Parks, Recreation & Culture:** Redwood Park is the closest active park and contains amenities including, trails, a playground, and natural area. The park is 1,750 metres walking distance from the development. Future active and natural area parkland is proposed adjacent to the development as part of the Redwood Heights Neighbourhood Concept Plan (NCP).
- Future active and natural area parkland is proposed adjacent to the development as part of the Redwood Heights Neighbourhood Concept Plan (NCP).
- Surrey Fire Department:** No concerns.
- Advisory Design Panel:** The application was not referred to the ADP but was reviewed by staff and found satisfactory.

Transportation Considerations

- The applicant is required to dedicate land for 181 Street, 24A Avenue and 26 Avenue, and for the widening of 24 Avenue, for a total of 7,723 square metres of road dedication area.
- Vehicular access is proposed from 181 Street for Lot 3, and 24A Avenue for Lots 1 and 2.
- 181 Street is being realigned through the site, while still aligning to the south of 24 Avenue. This is to accommodate Lot 3, as the riparian area for Justin Brook has been adjusted as part of the Sensitive Ecosystem Development Permit.
- The site will have access to a multi-use pathway on the north side of 24 Avenue, to be delivered as part of the subject proposal. 24 Avenue has bike lanes west of Highway No. 15 (900 metres from the site), and bike lanes on 192 St to the east (2 km to the east). The closest transit route is on 24 Avenue, fronting the site, for route #531 White Rock Centre/Willowbrook.

Parkland and Natural Area Considerations

- Justin Brook, a yellow-coded Class B channelized stream, runs along the eastern portion of the site. The applicant proposed a 15-metre setback from top of bank, utilizing the flexing provision under the Zoning Bylaw. The applicant proposes to voluntarily convey the riparian area to the City at no cost.
- As the riparian area is narrower than originally anticipated in the Redwood Heights NCP, the proposal includes an amendment to the plan to adjust the riparian area to align with the proposed conveyance.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The site is designated General Urban in the Regional Growth Strategy (RGS), and the proposal complies with the designation.

Official Community Plan

Land Use Designation

- The site is designated Urban in the Official Community Plan (OCP).
- The proposal complies with the Urban designation in the OCP, which permits residential uses of densities up to 72 units per hectare (30 units per acre) with Secondary Land Use Plans.

Themes/Policies

- A1.1 Support compact and efficient land development that is consistent with the Metro Vancouver Regional Growth Strategy (RGS) (2011).

(The proposed development complies with the RGS designation and is a compact and efficient development.)

- A3.2 Encourage the development of remaining vacant lands in urban neighbourhoods to utilize existing infrastructure and amenities and to enhance existing neighbourhood character and viability.

(The proposed development is located on an under-developed piece of land, that is designated Urban in the OCP, and planned for medium density townhouses in the Redwood Heights NCP.)

- A4.2 Encourage the full and efficient build-out of existing planned urban areas in order to:
 - achieve planned capacities;
 - use infrastructure efficiently;
 - provide housing options; and
 - provide amenities for residents.

(The proposed development will provide roads that will allow for further development of the Redwood Heights area.)

- B6.2 Integrate principles of urban design into the planning of neighbourhoods and centres and as part of development review processes, including:
 - Ensuring compatibility of scale, massing, and architecture with adjacent sites; and
 - Providing diversity, choice, and variety within a coherent, consistent physical environment.

(The proposed development fits well within the neighbourhood and provides similar density to what is planned for in the Redwood Heights NCP.)

- B6.6 Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces by:
 - Locating buildings so that they directly face public streets;
 - Providing doors, windows, and "active" building faces along public streets;
 - Avoiding blank facades and providing 'eyes on the street' by placing active uses within parts of the building that front onto streets and public spaces.

(The proposed development has street-facing units on all sides that interface with a street or with the riparian area to the east.)

Secondary Plans

Land Use Designation

- The site is currently designated Riparian Area, Multiple Residential (22 upa), and Townhouses (30 upa) in the Redwood Heights Neighbourhood Concept Plan (NCP).

Amendment Rationale

- The applicant proposes an amendment to the Redwood Heights NCP, to Riparian Area and Townhouses (30 upa), with adjustments to the road alignment and Riparian Area (Appendix V).
- The adjustments to the riparian area and road alignment are to align the NCP with the findings of the environmental assessment. This allows for additional townhomes development east of the new road (181 Street).
- The applicant also proposes to eliminate the Multiple Residential (22 upa) designation, and develop the entire site as Townhouses (30 upa).

- The amendments represent an increase in density of 41 townhouse units, based on 1.27 acres designated at 30 upa (38 units), and 1.56 acres designated at 22 upa (34 units). With the previous designations, only 72 units would have been achieved, as opposed to the 113 units proposed.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.
- The applicant will be required to provide the per unit flat rate for the number of units above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.

Themes/Objectives

- Below are some of the design guidelines for Townhouses from the Redwood Heights NCP, that the applicant is adhering to:
 - Maximum of 6 units per building, to create a comfortable neighbourhood scale.
 - A separate entry porch to each unit should be expressed at the street level with weather protection over each entrance.
 - Front doors and porches should face the street with steps leading straight to the street (not turned).
 - Provide a minimum street frontage setback of 5.0 m to incorporate landscaping, natural features and trees.
 - Provide 1.5 - 2.0 m driveway aprons to include trees along drive aisles between garages.

Zoning By-law

- The applicant proposes to rezone the subject site from "Intensive Agriculture Zone (A-2)" to "Multiple Residential 30 Zone (RM-30)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Multiple Residential 30 Zone (RM-30)", streamside setbacks and parking requirements.

RM-30 Zone (Part 22)	Permitted and/or Required	Proposed
Unit Density:	75 uph	66 uph
Floor Area Ratio:	1.00	0.80 to 0.91
Lot Coverage:	45%	40% to 41%
Yards and Setbacks		
North:	4.5 metres	5 metres
East:	4.5 metres (Lots 1 and 2) 6 metres (Lot 3)	5 metres (Lots 1 and 2) 5.2 metres DVP (Lot 3)
South:	4.5 metres	5 metres
West:	6 metres (Lots 1 and 2) 4.5 metres (Lot 3)	3 metres DVP (Lots 1 and 2) 4.5 metres (Lot 3)
Height of Buildings		
Principal buildings:	13 metres	10.3 metres

RM-30 Zone (Part 22)	Permitted and/or Required	Proposed
Accessory buildings:	11 metres	8 metres
Amenity Space		
Indoor Amenity:	Lot 1: 28 units x 3 = 84 sqm Lot 2: 40 units x 3 = 120 sqm Lot 3: 45 units x 3 = 135 sqm	The proposed 363 m ² meets the Zoning By-law requirement. Lot 1: 86 sqm Lot 2: 122 sqm Lot 3: 155 sqm
Outdoor Amenity:	Lot 1: 6 units x 6 + 22 units x 3 = 102 sqm Lot 2: 16 units x 6 + 24 units x 3 = 168 sqm Lot 3: 45 units x 3 = 135 sqm	The proposed 456 m ² meets the Zoning By-law requirement. Lot 1: 118 sqm Lot 2: 198 sqm Lot 3: 140 sqm
Streamside (Part 7A)	Required	Proposed
Streamside Setbacks		
Class B (yellow-coded) Stream:	15 metres	15 metres with flexing
Parking (Part 5)	Required	Proposed
Number of Stalls		
Residential:	226 stalls	226 stalls
Residential Visitor:	23 stalls	26 stalls
Total:	249 stalls	249 stalls
Back-to-Back (%):		Lot 1: 21% (DVP) Lot 2: 30% (DVP)
	20%	Lot 3: 0%
Tandem (%):		Lot 1: 0%
	50%	Lot 2: 0%
		Lot 3: 4.5%

Setback Variance

- The applicant is requesting the following variances:
 - to reduce the minimum west yard setback of the RM-30 Zone from 6.0 metres to 3.0 metres to the principal building face for proposed Lots 1 and 2;
 - to reduce the minimum east yard setback of the RM-30 Zone from 6.0 metres to 5.2 metres to the principal building face for the indoor amenity building for proposed Lot 3; and
 - to increase the permitted percentage of back-to-back units on proposed Lots 1 and 2 from 20% to 21% for Lot 1 and 30% for Lot 2.
- The proposed setback reductions assist in providing the additional setback along the roads required for Redwood Heights. The requested reductions have no impact on adjacent sites.

- The back-to-back reduction is requested for individual sites, with variances only sought for proposed Lots 1 and 2. Proposed Lot 3 does not have any back to back unit types. On a cumulative basis with all lots considered, the proposal provides 16% back-to-back units, which is less than the maximum 20% under the Zoning Bylaw. Additionally, only four tandem units are provided on all proposed lots (on Lot 3, where no back-to-back units are proposed).
- Staff support the requested variances to proceed for consideration.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No.R037;2023.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,136 per new unit.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation.
- The applicant will be required to provide the per unit flat rate for the number of units above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption, The current fee for Grandview Community Area is \$ 22,278.48 per unit for townhouses.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,113.92 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on June 16, 2023, and the Development Proposal Signs were installed on October 03, 2024. Staff received no concerns or comments.

DEVELOPMENT PERMITS

Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of an existing Class B (yellow-coded) watercourse which is in north-south alignment along the eastern property line. The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class B (yellow-coded) watercourse requires a minimum streamside setback of 15 metres, as measured from the top of bank. The proposed setbacks comply with the requirements outlined in the Zoning By-law.
- The riparian area is proposed to be voluntarily conveyed to the City as a lot for conservation purposes as a condition of rezoning approval, in compliance with the OCP.
- An Ecosystem Development Plan, prepared by Rolf Sickmuller, *R.P. Bio.*, of Envirowest Consultants Inc. and dated November 02, 2023 was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Sensitive Ecosystems (Green Infrastructure Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems DPA for Green Infrastructure Areas in the OCP, given the location of a Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) Hub areas located along the eastern and western portions of the site. The Sensitive Ecosystems (Green Infrastructure Areas) Development Permit is required to protect environmentally sensitive and/or unique natural areas from the impacts of development.
- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies BCS Hub H within the subject site, in the Redwood BCS management area, with a High ecological value.
- The BCS further identifies the GIN area of the subject site as having a Moderately High and High habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target Hub Area of 5,365 square meters or 19 % of the subject property.
- The development proposal conserves 3,128 square meters of the subject site through Parkland Conveyance which is 11.3 % of the total gross area of subject site. This method of GIN

retention will assist in the long-term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.

- In order for the proposal to fully comply with the BCS target recommendations, an additional 2,237 square meters of the GIN area would be required on the subject site, but has not been provided by the development proposal due to other priorities in the neighbourhood for parkland to be acquired. This proposal conserves the riparian area, and conveys the proposed conservation area to the City at no cost.
- An Ecosystem Development Plan, prepared by Rolf Sickmuller, *R.P. Bio.*, of Envirowest Consultants Inc. and dated November 02, 2023 was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Hazard Lands (Steep Slope) Development Permit Requirement

- A portion of the subject property falls within the Hazard Lands (Steep Slope) Development Permit Area (DPA) in the OCP, but none of the developable area is within the steep slope. Since only the area within the riparian area has steep slopes, a Hazard Land DP was deemed not required.

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Redwood Heights Neighbourhood Concept Plan (NCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Redwood Heights Neighbourhood Concept Plan (NCP).
- The property will be bisected by new public roads, a north-south road (181 Street) and an east-west road (24A Avenue) which will define the three townhouse development sites.
- The applicant has worked with staff to comply with the Redwood Heights NCP guidelines, remove access from major roads, provide a larger setback along the streets and improve the interface along the street edges.
- The site consists of 113 townhouse units, all proposed with three-bedrooms. 82% of the units are proposed with side-by-side double garages, 16% as back-to-back units, and 1.7% as tandem garage units. Units face the streets, and have treatment at the corners for interesting interfaces at all public facing portions.
- The site is divided into 3 lots: Lot 1 to the northwest, Lot 2 to the southwest, and Lot 3 to the east, with the following unit distribution:
 - Lot 1: 28 units, with 22 units double garage, 6 units back-to-back (21%)
 - Lot 2: 40 units, with 28 units double garage, 12 units back-to-back (30%)
 - Lot 3: 45 units, with 43 units double garage, 2 units tandem garage (4.5%)

- The final design will incorporate acoustic upgrades for units facing 24 Street, as a standard requirement for all units facing arterial roads.

Landscaping

- Landscaping includes a 5-metre setback along all street frontage, and a walkway along the east portion of Lot 3, adjacent to the riparian area.

Indoor Amenity

- There are three separate indoor amenity spaces which are centrally located, and adjacent to the outdoor amenity spaces on all three proposed lots.
- For Lot 2, the amenity building is proposed as a stand-alone building, with programming as a party room.
- For Lots 1 and 3, the amenity space is proposed adjacent to units. Lot 1 as a meeting room, and Lot 3 as a party room with rooftop outdoor amenity space.

Outdoor Amenity

- Outdoor amenity spaces are provided adjacent the indoor amenity spaces, and are centrally located on all proposed lots. Programming includes seating areas and play spaces.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include further development of architectural expression, colours and materials.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Elvis Truong, ISA Certified Arborist of Mike Fadum & Associates prepared an Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal. A detailed list of the proposed tree retention and removal by tree species can be found in (Appendix IV):
- All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Table 1: Summary of Proposed Onsite Tree Preservation by Tree Species:

	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)	49	49	0
Alder/Cottonwood (within riparian area)	15	0	15
Deciduous Trees	3	3	0
Coniferous Trees	28	28	0
Onsite Tree Totals	95	80	15
Onsite Replacement Trees Proposed	119		
Total Onsite Retained and Replacement Trees	134		

- The Arborist Assessment states that there are a total of 95 bylaw protected trees on the site. Additionally, there are 13 bylaw protected offsite trees and 19 bylaw protected City trees within proximity of the proposed development. The applicant proposes to retain 15 onsite trees as part of this development proposal that are within the riparian area, that will be City owned in the future. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading. Additionally, 9 offsite trees are proposed for removal due to conflict with required roads and proposed building envelopes and 19 City trees are proposed for removal due to conflict with required roads and proposed building envelopes. These will be compensated through cash-in-lieu contribution.
- A detailed planting plan prepared by a Registered Professional Biologist (R.P. Bio.) and an associated P-15 agreement are required for the monitoring and maintenance of the proposed trees to be planted in the conveyed riparian area.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of 111 replacement trees on the site. The proposal includes 119 replacement trees, which exceeds the replacement trees required.
- The new trees on the site will consist of a variety of trees including Lilac Tree, Red Shine Maple, Red Flowering Dogwood, Bloodgood Japanese Maple, Bowhall Red Maple, Western Hemlock and Western Red Cedar, as well as a variety of shrubs.
- In summary, a total of 134 trees are proposed to be retained or replaced on the site with no contribution required to the Green City Program, other than for off-site trees and City trees replacement contributions.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

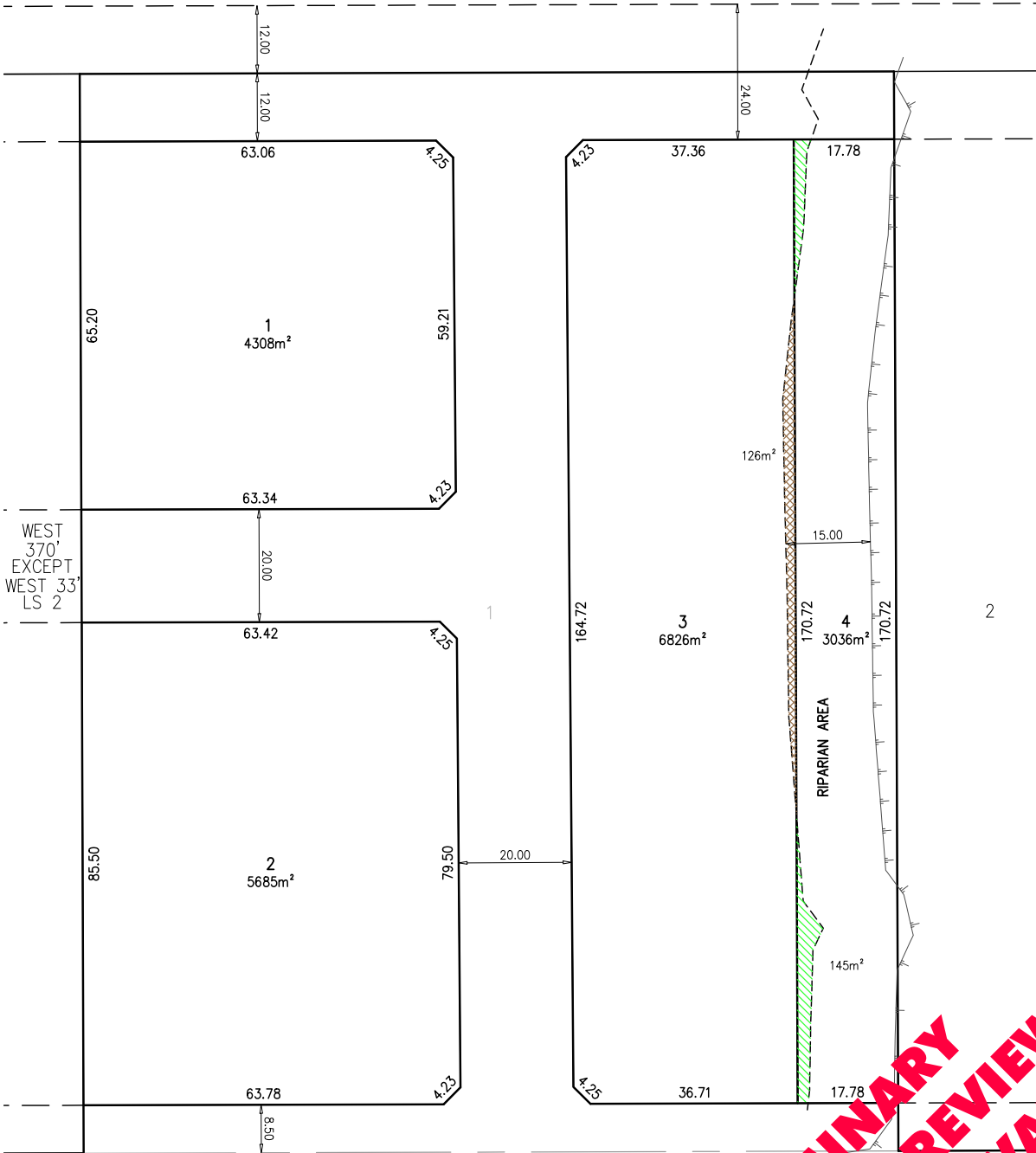
- Appendix I. Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, and Landscape Plans
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix V. NCP Plan
- Appendix VI. Development Variance Permit No. 7922-0228-00

approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development

LFM/cb

PARCEL "C" EXCEPT PART IN PLAN BCP7355 OF
N 1/2 OF S 1/2 OF SE 1/4



**PRELIMINARY
SUBJECT TO REVIEW
AND APPROVAL**

Hub Engineering Inc.
Engineering and Development Consultants



Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6
tel: 604-572-4328 | fax: 604-501-1625 | mail@hub-inc.com | www.hub-inc.com

CLIENT:	PROJECT: 18087 24 AVENUE, SURREY		
DRAWING TITLE:	SUBDIVISION		
PROJECT No. 21040	DATE: MAR 2022	LEGAL: LOT 1 SECTION 20 TOWNSHIP 7 NEW WESTMINSTER DISTRICT PLAN 27020	SCALE: 1:750
MUNICIPAL PROJECT No:			

G:\Projects\21040\lpb\AD Drawings\Layouts\Lot_Layout - Op 6 - Mar 28, 2022.dwg [Lot_Portrait 11x17] 10/05/2024 8:33AM



LEGAL DESCRIPTION:
 LOT 1 SECTION 20 TOWNSHIP 7 PLAN
 NWP27020 NWD.

CIVIC ADDRESS:
18087 24 Ave
 SURREY, BC

ZONING INFORMATION:

ZONE:

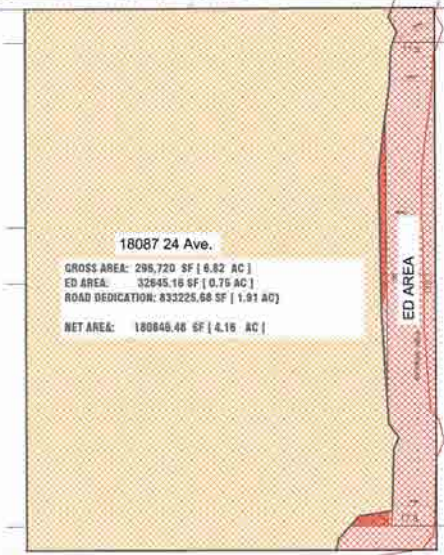
EXISTING
 NCP
 LAND USE

A-2
 REDWOOD HEIGHTS
 MULTIPLE RESIDENTIAL

GROSS SITE AREA	295,720.30 SQ FT	27,384.91 SQ M	6.82 ACRES
ENVIRONMENTAL DEDICATION	32,645.16 SQ FT	3,006.20 SQ M	0.75 ACRES
ROAD DEDICATION	83,322.56 SQ FT	7,701.91 SQ M	1.91 ACRES
NET AREA	180,848.48 SQ FT	16,676.80 SQ M	4.16 ACRES
LOT 1	46,532.38 SQ FT	4,308.20 SQ M	1.07 ACRES
LOT 2	41,127.15 SQ FT	3,800.20 SQ M	0.94 ACRES
LOT 3	73,189.95 SQ FT	6,768.40 SQ M	1.69 ACRES

PARKING:

RESIDENTIAL:			
REQUIRED :	2.0 STALLS PER UNIT = 2X 113 =	226	
PROVIDED :		226	
RESIDENTIAL VISITOR:			
REQUIRED :	0.2 STALLS PER UNIT = 0.2 X 113 =	22.6 STALLS (SAT'23)	
PROVIDED :	6 (LOT 1) + 6 (LOT 2) + 9 (LOT 3) =	23 STALLS	
TOTAL PROVIDED		249 STALLS	



2004 59 Avenue
 Surrey, BC V3A 5G4

Phone: 604.591.8100
 Email: jay@cre8architects.com



Cre 8 Architecture Ltd.

Project:
 TOWNHOUSE DEVELOPMENT
 Client Name:
 OURDEV SANDHU
 Project Address:
 18087 24 AVE, SURREY BC
 Drawing:
SITE LAYOUT
 Project Status:

REVISION

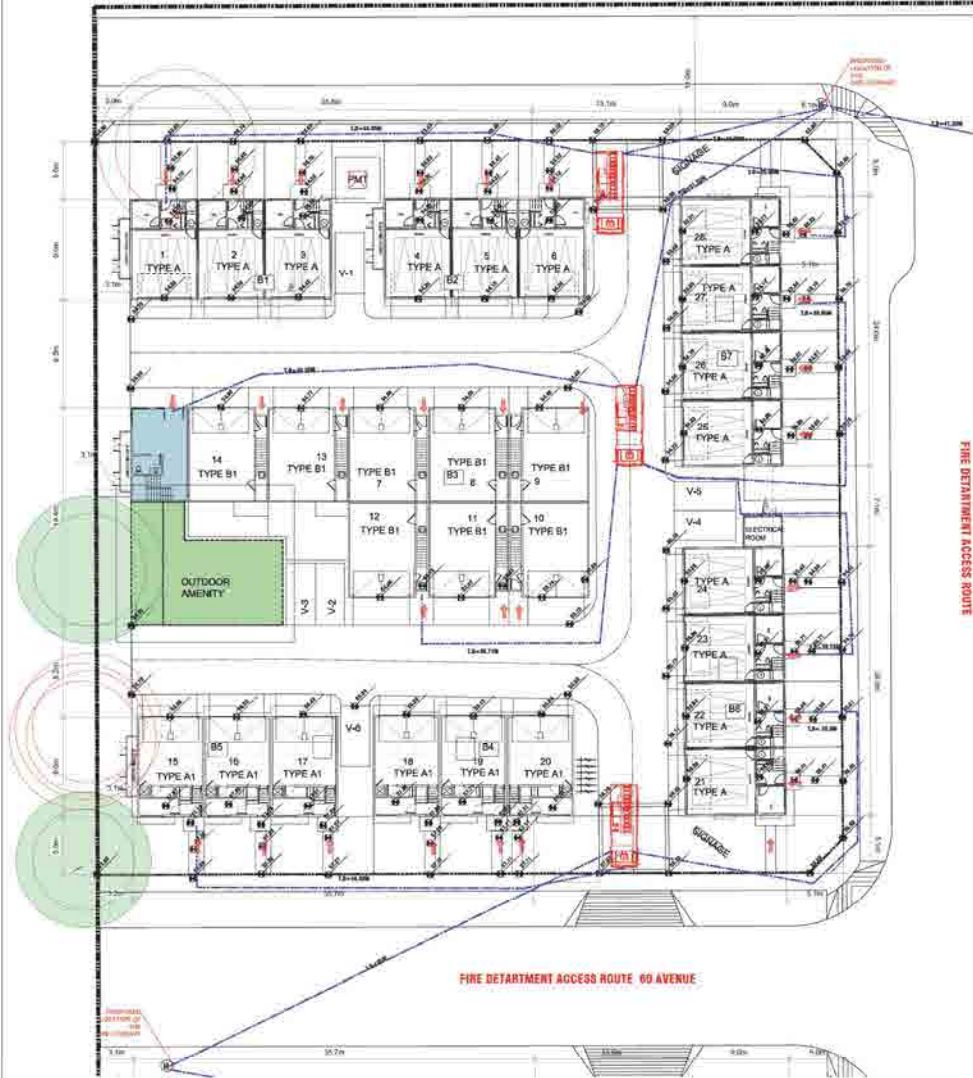
No.	Date	Description
01	2024-06-27	3/17 Drawings
02	2024-06-28	3/17 Drawings



Scale: Scale (3/16"=1'-0")
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A.1.0

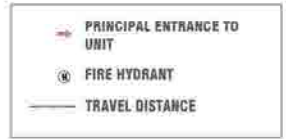
LOT-1

FIRE DEPARTMENT ACCESS



Code	Description
1.1.1.1.1.1	Minimum Concealed Storage within floor assembly or roof assembly of combustible construction shall be separated by a minimum fire rating of 1.5 hours (1.5h) for the assembly. For concealed storage within a partition, the partition shall be rated 1.5 hours (1.5h) for the assembly. For concealed storage within a partition, the partition shall be rated 1.5 hours (1.5h) for the assembly. For concealed storage within a partition, the partition shall be rated 1.5 hours (1.5h) for the assembly.
1.1.1.1.1.2	Minimum Concealed Storage within floor assembly or roof assembly of combustible construction shall be separated by a minimum fire rating of 1.5 hours (1.5h) for the assembly. For concealed storage within a partition, the partition shall be rated 1.5 hours (1.5h) for the assembly. For concealed storage within a partition, the partition shall be rated 1.5 hours (1.5h) for the assembly.
1.1.1.1.1.3	Minimum Concealed Storage within floor assembly or roof assembly of combustible construction shall be separated by a minimum fire rating of 1.5 hours (1.5h) for the assembly. For concealed storage within a partition, the partition shall be rated 1.5 hours (1.5h) for the assembly. For concealed storage within a partition, the partition shall be rated 1.5 hours (1.5h) for the assembly.
1.1.1.1.1.4	Minimum Concealed Storage within floor assembly or roof assembly of combustible construction shall be separated by a minimum fire rating of 1.5 hours (1.5h) for the assembly. For concealed storage within a partition, the partition shall be rated 1.5 hours (1.5h) for the assembly. For concealed storage within a partition, the partition shall be rated 1.5 hours (1.5h) for the assembly.
1.1.1.1.1.5	Minimum Concealed Storage within floor assembly or roof assembly of combustible construction shall be separated by a minimum fire rating of 1.5 hours (1.5h) for the assembly. For concealed storage within a partition, the partition shall be rated 1.5 hours (1.5h) for the assembly. For concealed storage within a partition, the partition shall be rated 1.5 hours (1.5h) for the assembly.

Code	Description	Remarks
1	Fire Department Access Routes and Clearly Identified	For fire department access routes, see notes.
2	Location of New and Existing Fire Hydrants are Shown	Location of new and existing fire hydrants are shown.
3	Location of Fire Department Connections is Shown	Location of fire department connections is shown.
4	The location of the primary entrance to the building and any primary entrances to units not connected to the building through an interior hallway	Location of primary entrance to the building and any primary entrances to units not connected to the building through an interior hallway.
5	The location of staircases that provide access to common areas and other areas shall be shown. The fire hydrant shall be shown in all areas and below grade levels to be provided at the primary entrance point.	Location of staircases that provide access to common areas and other areas shall be shown. The fire hydrant shall be shown in all areas and below grade levels to be provided at the primary entrance point.
6	1.1.1.1.1.1	Minimum Concealed Storage within floor assembly or roof assembly of combustible construction shall be separated by a minimum fire rating of 1.5 hours (1.5h) for the assembly.
7	1.1.1.1.1.2	Minimum Concealed Storage within floor assembly or roof assembly of combustible construction shall be separated by a minimum fire rating of 1.5 hours (1.5h) for the assembly.
8	1.1.1.1.1.3	Minimum Concealed Storage within floor assembly or roof assembly of combustible construction shall be separated by a minimum fire rating of 1.5 hours (1.5h) for the assembly.
9	1.1.1.1.1.4	Minimum Concealed Storage within floor assembly or roof assembly of combustible construction shall be separated by a minimum fire rating of 1.5 hours (1.5h) for the assembly.
10	1.1.1.1.1.5	Minimum Concealed Storage within floor assembly or roof assembly of combustible construction shall be separated by a minimum fire rating of 1.5 hours (1.5h) for the assembly.
11	1.1.1.1.1.6	Minimum Concealed Storage within floor assembly or roof assembly of combustible construction shall be separated by a minimum fire rating of 1.5 hours (1.5h) for the assembly.
12	1.1.1.1.1.7	Minimum Concealed Storage within floor assembly or roof assembly of combustible construction shall be separated by a minimum fire rating of 1.5 hours (1.5h) for the assembly.
13	1.1.1.1.1.8	Minimum Concealed Storage within floor assembly or roof assembly of combustible construction shall be separated by a minimum fire rating of 1.5 hours (1.5h) for the assembly.
14	1.1.1.1.1.9	Minimum Concealed Storage within floor assembly or roof assembly of combustible construction shall be separated by a minimum fire rating of 1.5 hours (1.5h) for the assembly.



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 Calgary, AB T2M 0G4
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PROJECT
 TOWNHOUSE DEVELOPMENT
 Client Name
 GURDEV SANDHU
 Project Address
 1002 24 AVE, SHERBROOKE
 Drawing
LOT 1
 Project Status
FIRE PLAN

REVISION		
No.	DATE	DESCRIPTION
01	2024-06-30	D/F Drawings
02	2024-06-26	D/F Drawings



Scale: 1/8" = 1'-0"
 DWG. NO.
A.F.1

LOT-2



Code	Requirement	Remarks
1.2.1.11.2.1	Minimum Clearances from which the assembly or most assembly of combustible construction shall be supported by construction conforming to Article 1.11.7 fire compartments of	
2.1.1.10.2.3	Roof covering shall be Class A for any roof over 200 mm. First eaves to the highest point of the roof.	
3.1.1.1.1.1	Major Clearances (horizontal between AC and CD) shall be 1.70m	
4.1.1.1.1.1	Smoke Choking Limit for combustible ceilings in wall assembly satisfying 1.1.1.1.1.1.1 (CLASS C) shall be 0.2 m above the ceiling of the room (max 2.0 m)	
5.1.1.1.1.1	The building is designated fireproof if the fire does not burn for more than 1 hour at the perimeter of the building or within 10 meters of a street.	
6.1.1.1.1.1	Roof eaves shall be 200 mm above the ground level.	
7.1.1.1.1.1	Group A2 and C2 are permitted under these rules.	
8.1.1.1.1.1	Group F9 Storage Garage is permitted under these rules.	
9.1.1.1.1.1	WPA 120 is permitted by a Group C2 containing no other combustible materials under 2.2.2.2.2.2.2	
10.1.1.1.1.1	Structures in Group A2 shall be under 10 meters in height.	
11.1.1.1.1.1	Access routes shall be 1.70m from the ground level to the roof level.	
12.1.1.1.1.1	Emergency Power for Lifts shall be 1 Hour	
13.1.1.1.1.1	Emergency Power for Fire Alarm shall be 1 Hour	
Code	Requirement	Remarks
1	Fire Department Access Routes are Clearly Identified	See fire plan attached to the existing fire plan
2	Location of Fire and Escaping Fire Hydrants are Marked	Escaping Fire Hydrants are clearly marked on the fire plan attached to the existing fire plan
3	Location of Fire Department Access Routes are Marked	Fire Department Access Routes are clearly marked on the fire plan attached to the existing fire plan
4	The location of the primary entrance to the building and any primary entrance to each zone connected to the building through an escape route	Primary entrance is marked with a red arrow on the fire plan
5	The location of the primary entrance to the building and any primary entrance to each zone connected to the building through an escape route	Primary entrance is marked with a red arrow on the fire plan
6	The distance between the fire hydrant and the escape route	See fire plan attached to the existing fire plan
7	The distance between the fire hydrant and the escape route	See fire plan attached to the existing fire plan
8	The distance between the fire hydrant and the escape route	See fire plan attached to the existing fire plan
9	The distance between the fire hydrant and the escape route	See fire plan attached to the existing fire plan
10	The distance between the fire hydrant and the escape route	See fire plan attached to the existing fire plan
11	The distance between the fire hydrant and the escape route	See fire plan attached to the existing fire plan
12	The distance between the fire hydrant and the escape route	See fire plan attached to the existing fire plan
13	The distance between the fire hydrant and the escape route	See fire plan attached to the existing fire plan
14	The distance between the fire hydrant and the escape route	See fire plan attached to the existing fire plan



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Cre 8 Architecture Ltd.

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 1880 St. Clair, Stoney, ON
Drawing:

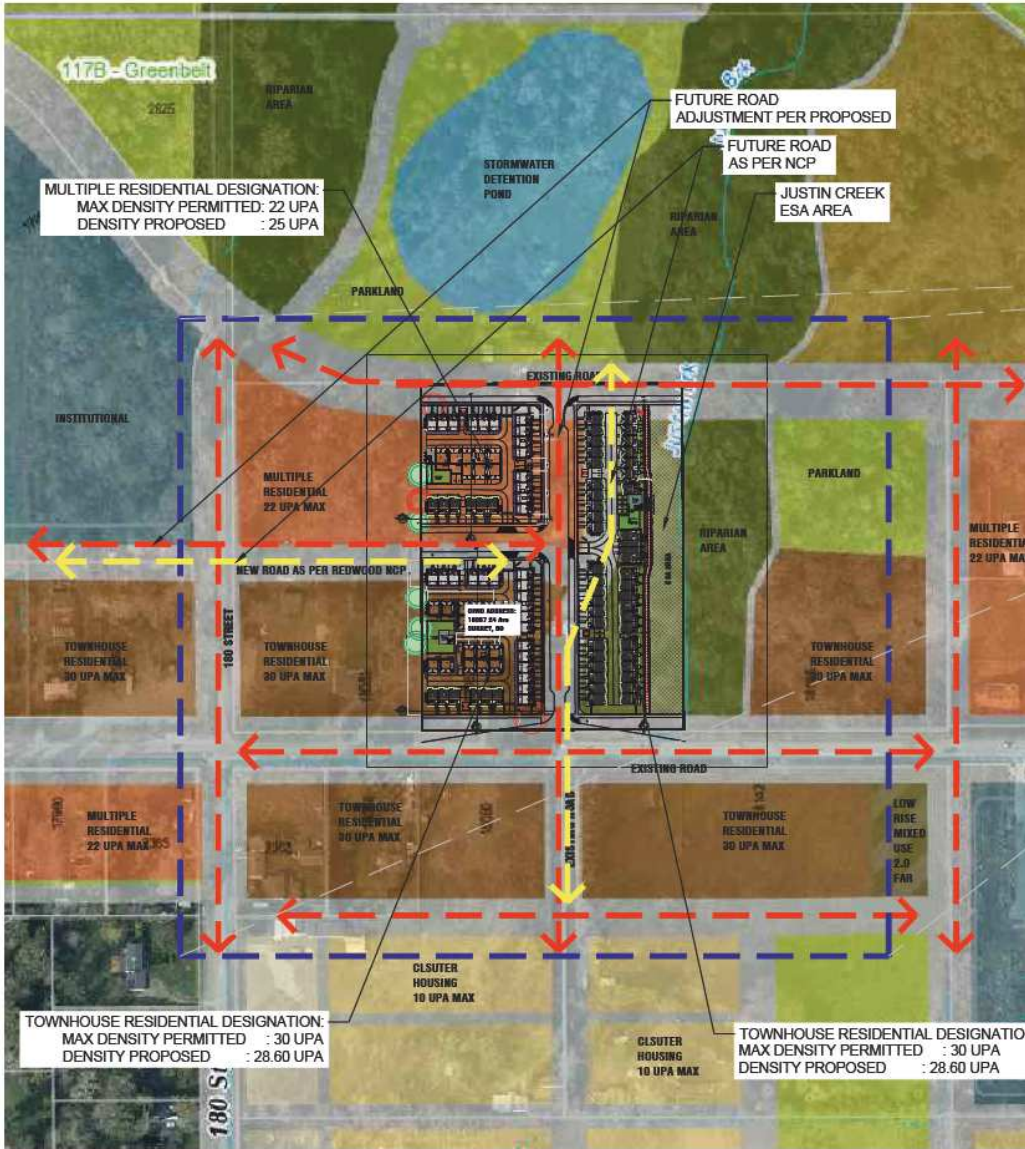
LOT 2
Project Status: **FIRE PLAN**

REVISION		
No.	Date	Description
01	2024-06-20	D.P. Chawhan
02	2024-06-26	D.P. Chawhan



Scale: 1:100
Scale: 1:100

DWG. NO.: **A.F.2**



Redwood NCP Summary

Land Use Strategy

The land use strategy defines where and how land uses will be located in a neighborhood plan. Corresponding land use designations include concept images and inventory descriptions for the different types of land uses that can occur within the plan area.

WHAT IS FAR?

Form-based zoning (FZ) is a means of creating a specific character of a neighborhood. It is a type of zoning that is based on the form of buildings and the way they are used. FZ allows for a mix of uses and building heights.

1 or more stories above grade with 1 story or less FAR

1 story or more above grade with 1.5 FAR

2 stories or more above grade with 1.5 FAR

3 stories or more above grade with 1.5 FAR

LEGEND

- Low Rise Mixed Use
- Low Rise Residential
- Townhouse Residential
- Multiple Residential
- Cluster Residential
- Detached Residential
- Residential Transitional
- Public and Community
- Riparian Area
- Park and Natural Area
- Stormwater Detention Pond

Redwood Heights NCP Summary

Land Use Designations

Low Rise Mixed Use Form-based zoning (FZ) is a means of creating a specific character of a neighborhood. It is a type of zoning that is based on the form of buildings and the way they are used. FZ allows for a mix of uses and building heights.	Low Rise Residential Form-based zoning (FZ) is a means of creating a specific character of a neighborhood. It is a type of zoning that is based on the form of buildings and the way they are used. FZ allows for a mix of uses and building heights.	Townhouse Residential Form-based zoning (FZ) is a means of creating a specific character of a neighborhood. It is a type of zoning that is based on the form of buildings and the way they are used. FZ allows for a mix of uses and building heights.	Multiple Residential Form-based zoning (FZ) is a means of creating a specific character of a neighborhood. It is a type of zoning that is based on the form of buildings and the way they are used. FZ allows for a mix of uses and building heights.
Cluster Residential Form-based zoning (FZ) is a means of creating a specific character of a neighborhood. It is a type of zoning that is based on the form of buildings and the way they are used. FZ allows for a mix of uses and building heights.	Detached Residential Form-based zoning (FZ) is a means of creating a specific character of a neighborhood. It is a type of zoning that is based on the form of buildings and the way they are used. FZ allows for a mix of uses and building heights.	Residential Transitional Form-based zoning (FZ) is a means of creating a specific character of a neighborhood. It is a type of zoning that is based on the form of buildings and the way they are used. FZ allows for a mix of uses and building heights.	Public and Community Form-based zoning (FZ) is a means of creating a specific character of a neighborhood. It is a type of zoning that is based on the form of buildings and the way they are used. FZ allows for a mix of uses and building heights.
Riparian Area Form-based zoning (FZ) is a means of creating a specific character of a neighborhood. It is a type of zoning that is based on the form of buildings and the way they are used. FZ allows for a mix of uses and building heights.	Park and Natural Area Form-based zoning (FZ) is a means of creating a specific character of a neighborhood. It is a type of zoning that is based on the form of buildings and the way they are used. FZ allows for a mix of uses and building heights.	Stormwater Detention Pond Form-based zoning (FZ) is a means of creating a specific character of a neighborhood. It is a type of zoning that is based on the form of buildings and the way they are used. FZ allows for a mix of uses and building heights.	

REVISION

No.	Date	Description
01	2024-06-22	D.P. Drawings
02	2024-09-26	D.P. Drawings

Scale: Scale: (316"=1'-0")

DWG. NO: A.1.0A



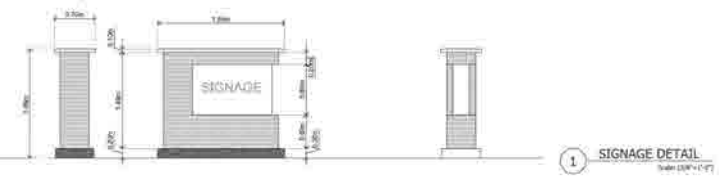
12804 59 Avenue
Surrey, BC V3X 0C4
Email: jamie@cre8architects.com
Tel: (778) 801-0187

Cre 8 Architecture Ltd.

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 18087 24 AVE, SURREY BC
Drawing: SITE LAYOUT
Project Status:

All designations are subject to approval by the local government. Any work or construction shall be subject to the approval of the local government. Construction shall be subject to the approval of the local government. © Copyright Cre 8 Architecture Ltd. All Rights Reserved.

LOT-1



LEGAL DESCRIPTION:
 LOT 'B' SECTION 13
 TOWNSHIP 1 PLAN 26457 NWO PART. NW 1/4

CIVIC ADDRESS:
 18087 24 Ave
 SURREY, BC

ZONING INFORMATION:

ZONE: A-2
 EXISTING NCP: REDWOOD HEIGHTS
 LAND USE: MULTIPLE RESIDENTIAL

DENSITY: ALLOWABLE: 23.32 UNITS ON NET SITE AREA (22 UPA)
 PROPOSED: (RM-22 AS PER REDWOOD HEIGHTS NCP)
 28 UNITS (28.42 UPA ON NET SITE AREA)

LOT AREA: = 46,370.93 (4,308.00 Sqm) = 1.06 Ac.

FAR: PERMITTED: 40,297.43 SFT (3744.07 Sqm) / 46,370.93 (4,308.00 Sqm) = 0.87
 PROPOSED:

LOT COVERAGE: PERMITTED: 45%
 PROPOSED: 1714.63 m² / 4,308.00 m² = 39.80 %

BUILDING HEIGHT: ALLOWABLE: 43 ft (13.00 m)
 PROPOSED: 33'9" ft (10.30 m)

INDOOR AMENITY SPACE: REQUIRED: 3 SQM PER D.U. = 3 x 28 UNITS = 84 Sqm (904.16 SQ. FT.)
 PROPOSED: = 86.31 Sqm (929.10 SQ. FT.)

OUTDOOR AMENITY SPACE: REQUIRED: BACK TO BACK UNITS 6 SQ. M. PER D.U. = 6 x 6 UNITS = 36 SQ. M. (390 SQ. FT.)
 REGULAR UNITS 3 SQ. M. PER D.U. = 3 x 22 UNITS = 66 SQ. M. (710.41 SQ. FT.)
 TOTAL REQUIRED: = 102 SQ. M. (1087.9 SQ. FT.)

PROPOSED: = 116.06 SQ. M. (1270.86 SQ. FT.)

SETBACKS: PERMITTED PROPOSED
 EAST SIDE: 4.5 m (5.00 m)
 WEST SIDE: 6.0 m (3.05m)
 SOUTH SIDE: 6.0 m (5.00 m)
 NORTH SIDE: 4.5 m (5.00 m)

PARKING: RESIDENTIAL: REQUIRED: 2.0 STALLS PER UNIT = 2X28 = 56.0 STALLS
 PROVIDED: 50.0 STALLS

RESIDENTIAL VISITOR: REQUIRED: 0.2 STALLS PER UNIT = 0.2 X 28 = 5.6 STALLS [SAYS]
 PROVIDED: 6.0 STALLS

TOTAL PROVIDED: 62.0 STALLS

	Main Floor (without garage)	2nd Floor	3rd Floor	Total
Building 1	524.95 SQ.FT.	1,743.93 SQ.FT.	1,918.51 SQ.FT.	4,187.39 SQ.FT.
Building 2	524.95 SQ.FT.	1,743.93 SQ.FT.	1,918.51 SQ.FT.	4,187.39 SQ.FT.
Building 3	843.45 SQ.FT.	5,612.62 SQ.FT.	5,926.18 SQ.FT.	12,382.25 SQ.FT.
Building 4	524.95 SQ.FT.	1,743.93 SQ.FT.	1,918.51 SQ.FT.	4,187.39 SQ.FT.
Building 5	524.95 SQ.FT.	1,743.93 SQ.FT.	1,918.51 SQ.FT.	4,187.39 SQ.FT.
Building 6	699.92 SQ.FT.	2,325.07 SQ.FT.	2,557.82 SQ.FT.	5,582.81 SQ.FT.
Building 7	699.92 SQ.FT.	2,325.07 SQ.FT.	2,557.82 SQ.FT.	5,582.81 SQ.FT.
			Total	40,297.43 SQ.FT. 3,744.07 SQ.M.



2295 50 Avenue
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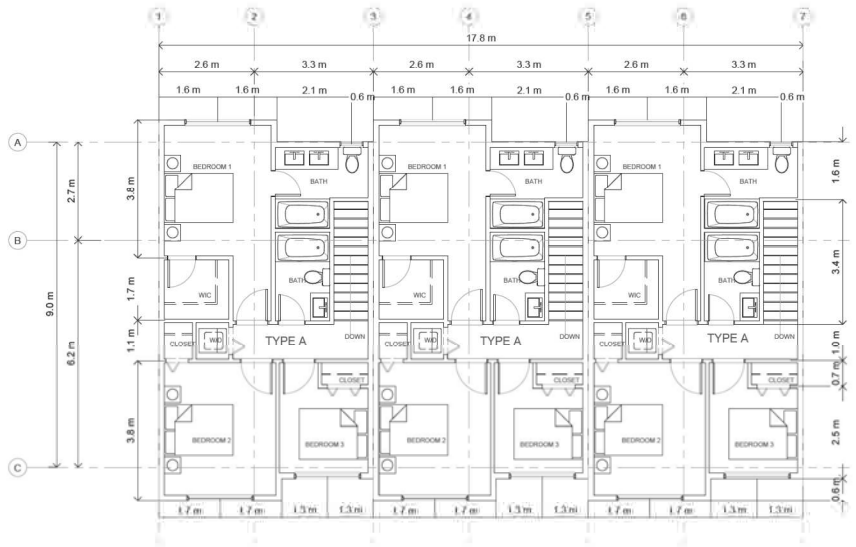
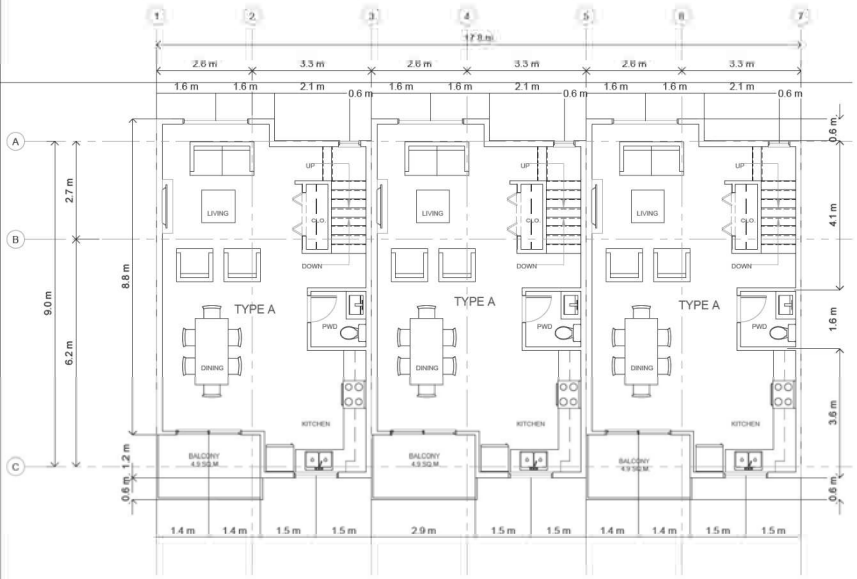
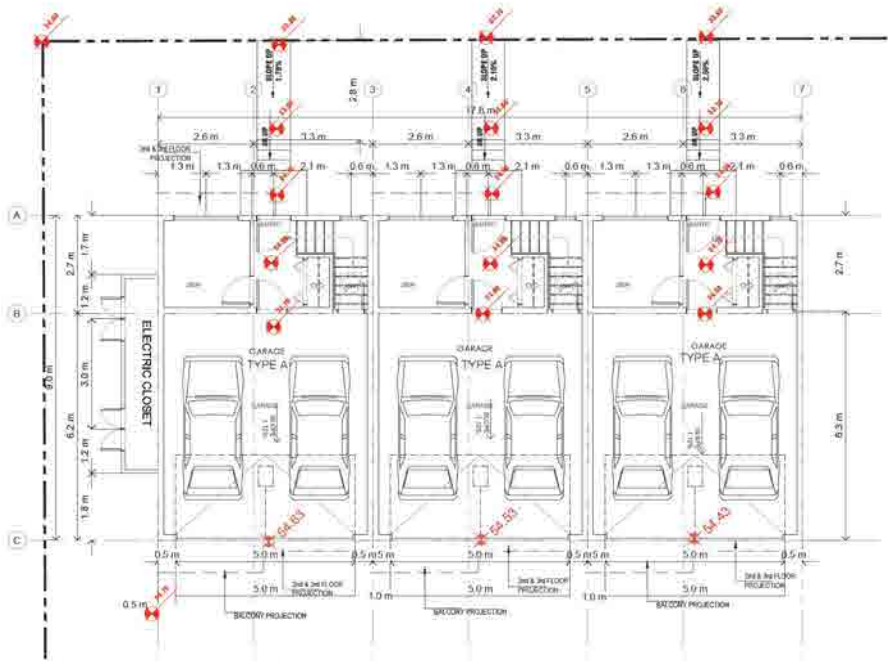
Cre 8 Architecture Ltd.

PROJECT:
 TOWNHOUSE DEVELOPMENT
 Client Name:
 GURDEV SANDHU
 Project Address:
 18087 24 Ave, Surrey BC
 Drawing:
LOT 1
 SITE LAYOUT
 Project Status:

REVISION		
No.	Date	Description
01	2024-08-22	D.P. Drawings
02	2024-09-26	D.P. Drawings



Scale: As per (3750) 1:07 DWG. NO.:
A.1.1



Project:
TOWNHOUSE DEVELOPMENT
Client Name:
GURDEY SANDHU
Project Address:
1880 24 AVE, BURNABY BC
Drawing:
LOT 1
FLOOR PLANS
BUILDING 1
Project Status:

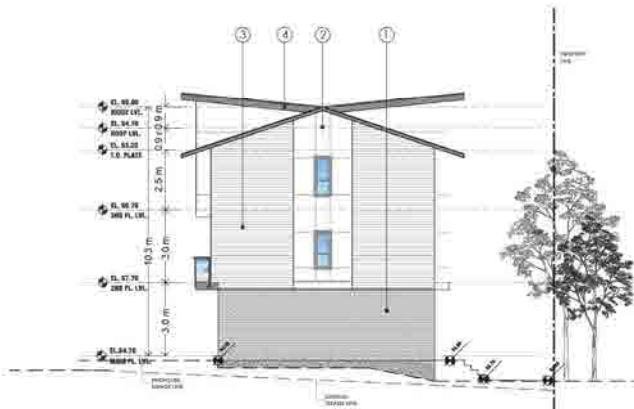
REVISION		
No.	Date	Description
01	2024-08-22	D.P. Drawings
02	2024-09-26	D.P. Drawings

All Drawings in this set to be read in conjunction with each other. Any errors or omissions shall be reported to the architect before construction begins. Contractors are responsible to ensure that all work is executed to the requirements of the applicable building code authority.





1 NORTH (FACING 25 AVE.) ELEVATION
Scale: (1/8"=1'-0")



2 WEST ELEVATION
Scale: (1/8"=1'-0")



3 SOUTH ELEVATION
Scale: (1/8"=1'-0")



4 EAST ELEVATION
Scale: (1/8"=1'-0")

MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 16067 34 AVE., SURREY BC
Drawing: LOT 1 ELEVATIONS BUILDING 1
Project Status:

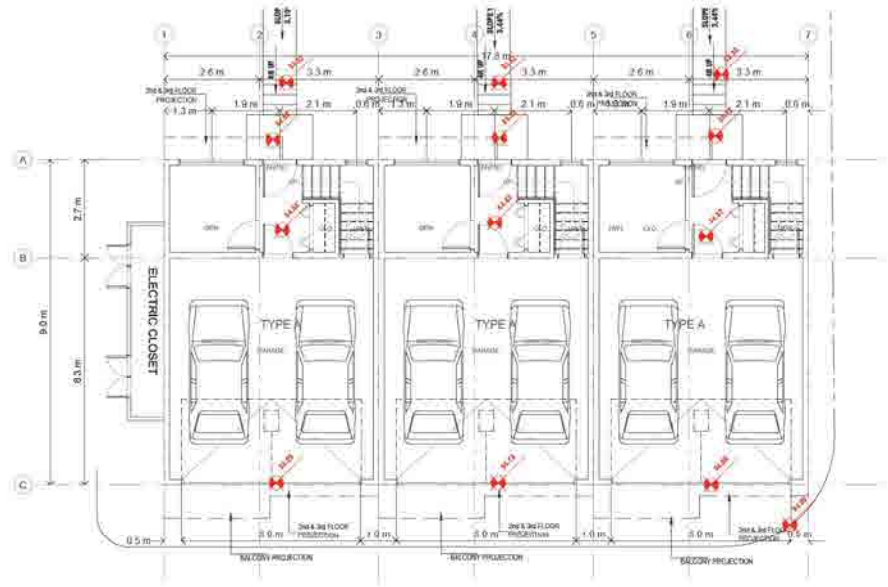
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No.	Date	Description
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02	2024-09-26	D/P Drawings



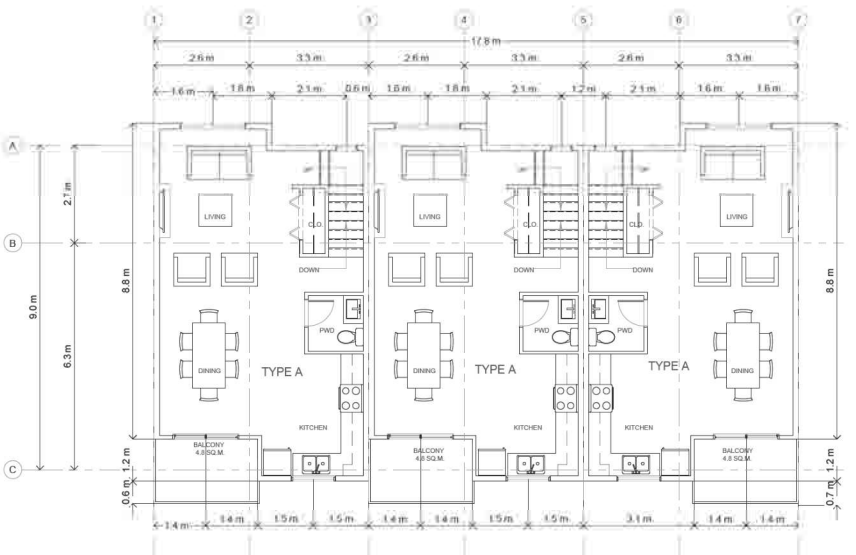
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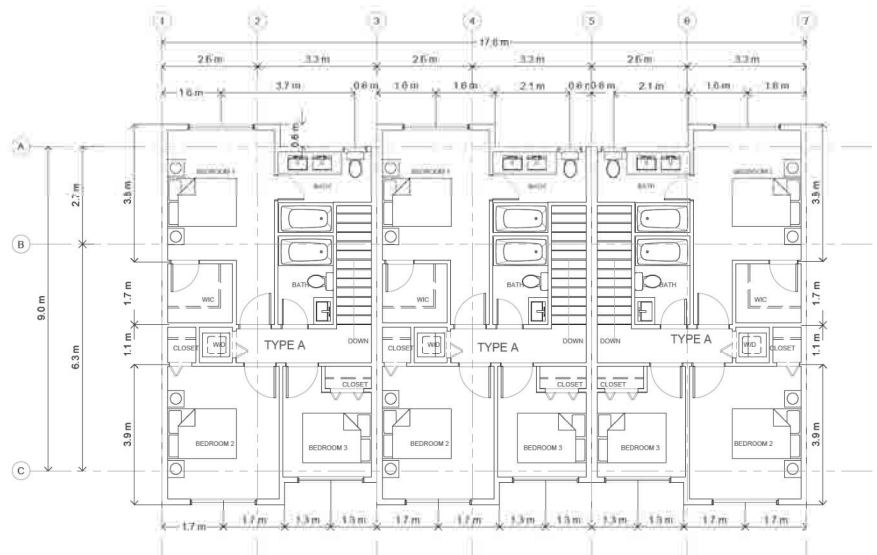
A.3.1



1 MAIN FLOOR
Scale: (1/16"=1'-0")



2 SECOND FLOOR
Scale: (1/16"=1'-0")



3 THIRD FLOOR
Scale: (1/16"=1'-0")

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: JWC# 24 AVT, SURREY BC
Drawing: LOT 1 FLOOR PLANS BUILDING 2
Project Status:

REVISION		
No.	Date	Description
01	2024-08-22	D/P Drawings
02	2024-09-26	D/P Drawings

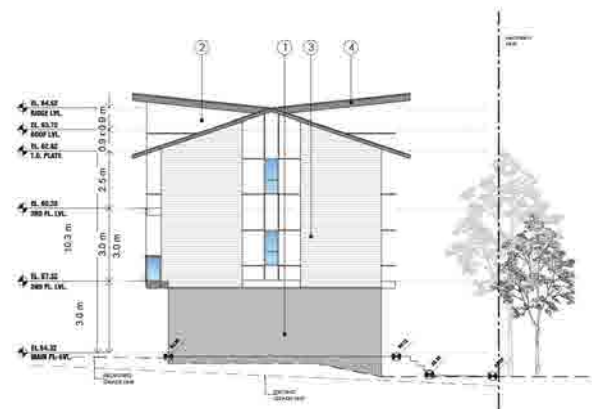
All Drawings in this set to be read in conjunction with each other. Any errors or omissions are to be reported to the architect before commencing work. The architect shall not be responsible for any errors or omissions in the drawings of the contractor. Building Code Authority.
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Scale: (1/16"=1'-0") DWG. NO: A.2.2



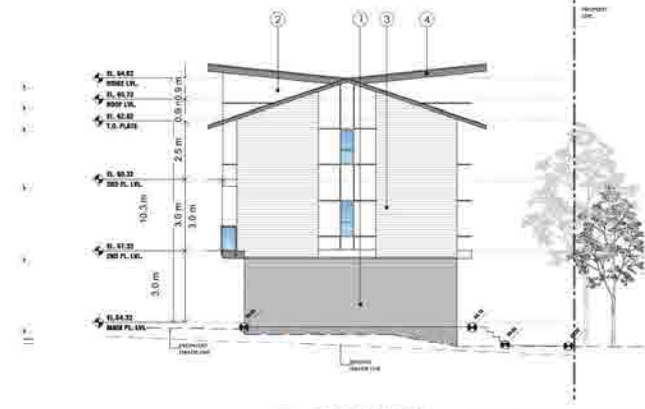
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2 WEST ELEVATION
Scale: (1/4"=1'-0")



3 SOUTH ELEVATION
Scale: (1/4"=1'-0")



4 EAST ELEVATION
Scale: (1/4"=1'-0")

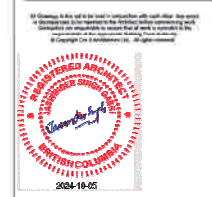
NOTE: 1-1 LEVEL

1.	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2.	HARDIE BOARD (ARCTIC WHITE)
3.	6" HARDIE SIDING (ARCTIC WHITE)
4.	FASCIA (IRON GREY)
5.	ROOF SHINGLES
6.	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7.	HARDIE BOARD (GREY SLATE)
8.	FASCIA/TRIMS (IRON GREY)

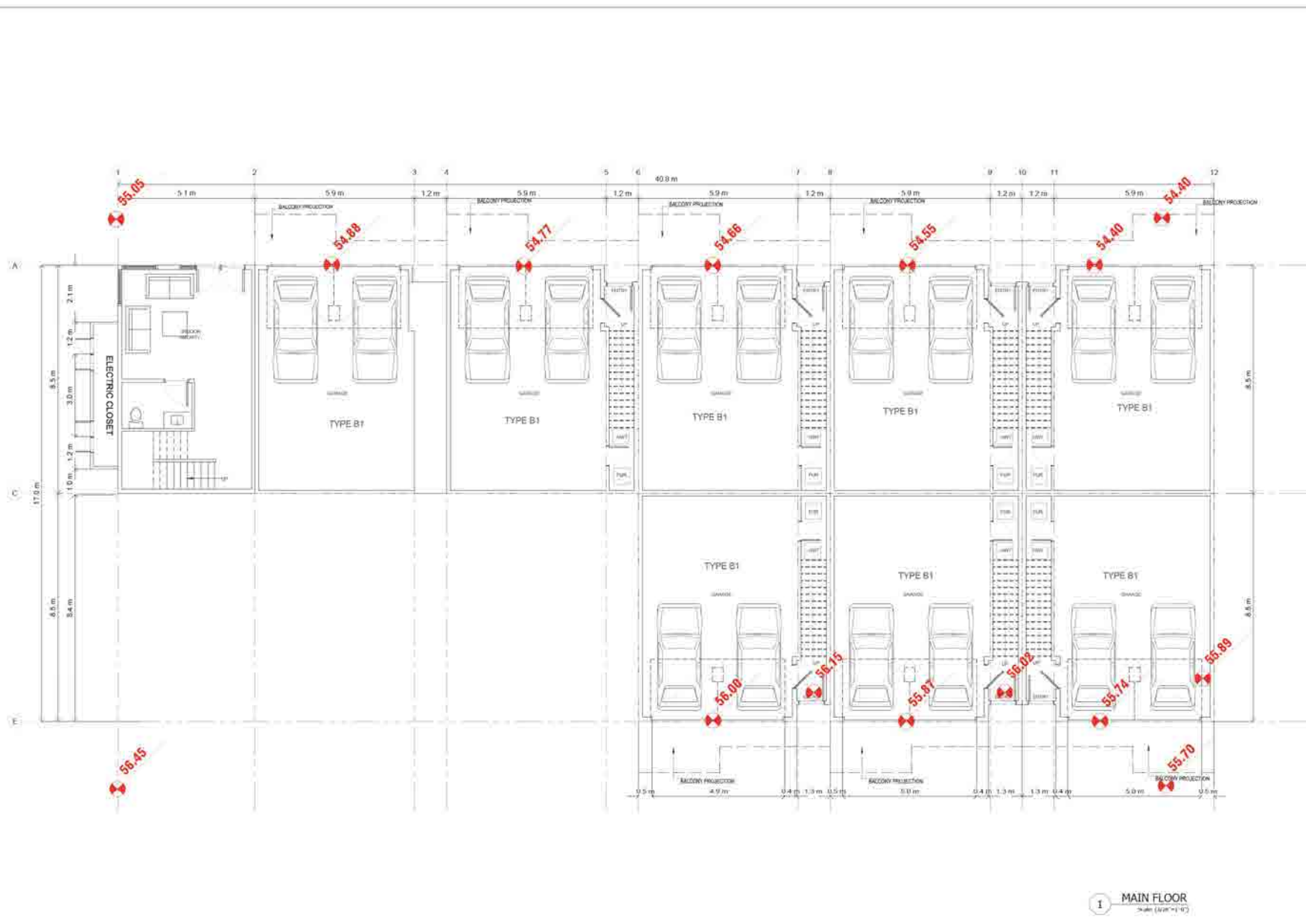
Project:
TOWNHOUSE DEVELOPMENT
Client Name:
GURDEV SANHU
Project Address:
1887 24 AVE, SURREY BC
Drawing:
LOT 1
ELEVATIONS
BUILDING 2
Project Status:

REVISION

No.	Date	Description
01	2024-05-22	D/P Drawings
02	2024-05-26	D/P Drawings



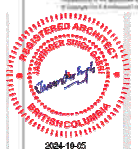
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DWG. NO:
A.3.2



Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 8887 24 AVE. SURREY BC
Drawing: LOT 1 FLOOR PLANS BUILDING 3
Project Status:

REVISION

No.	Date	Description
01	2024-05-22	0/P Storage
02	2024-05-26	0/P Garage

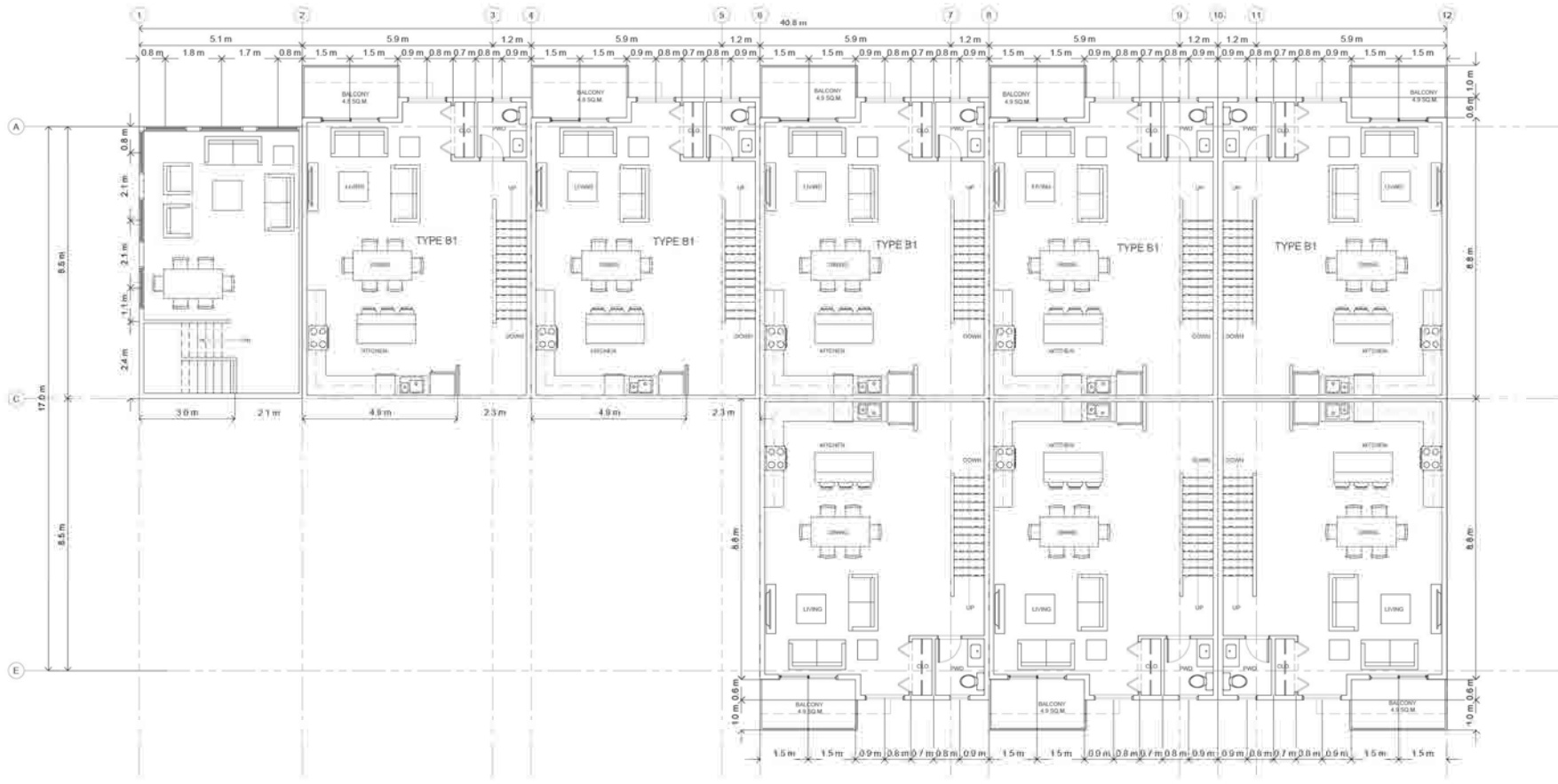


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Scale: 1/8" = 1'-0" DWG. NO.: A.2.3

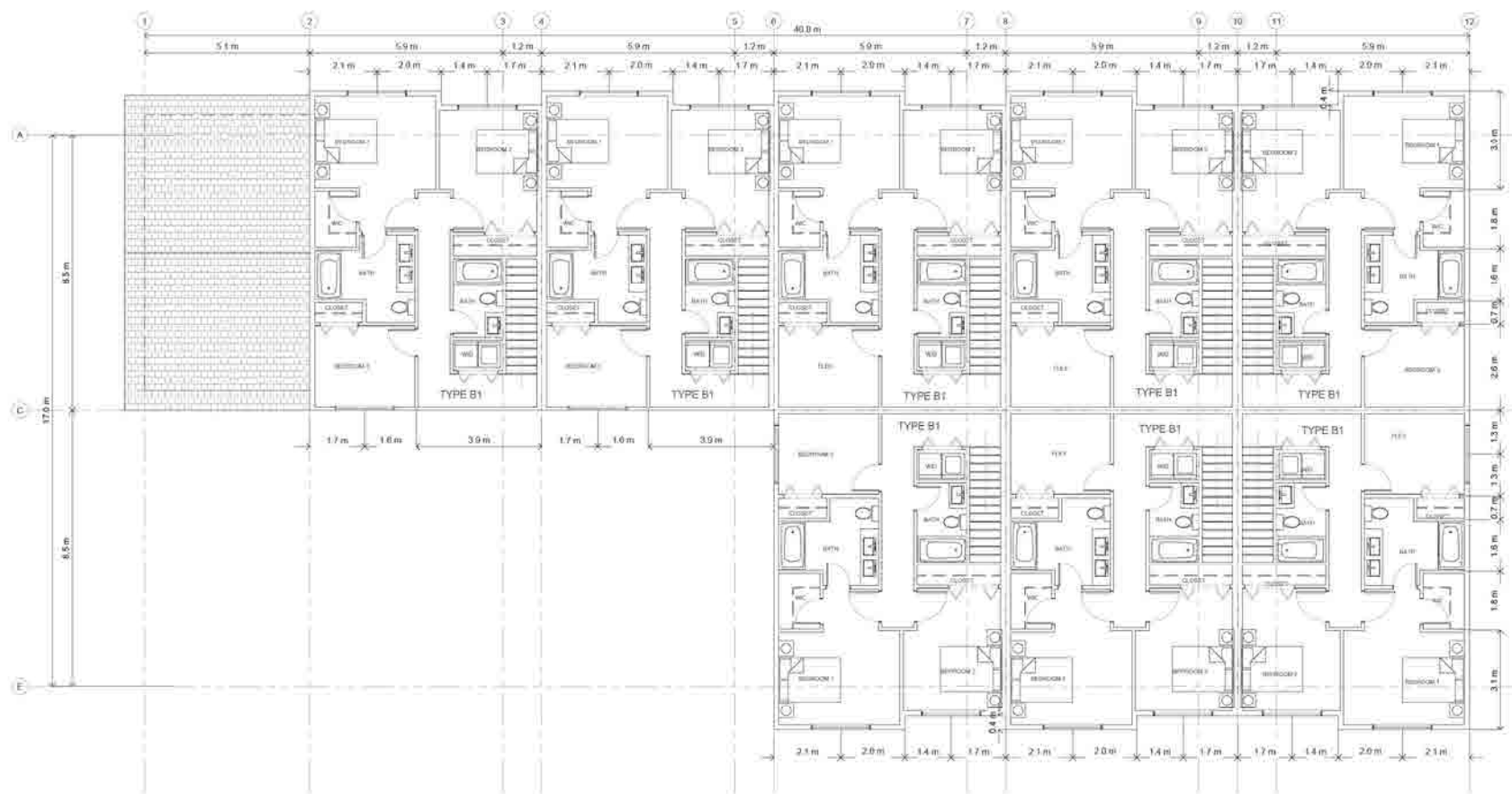
Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: JWC 24 AVT, SURREY BC
Drawing: LOT-1 FLOOR PLANS BUILDING 3
Project Status:

REVISION		
No.	Date	Description
01	2024-06-22	D/P Drawings
02	2024-09-26	D/P Drawings



1 SECOND FLOOR
Scale: (1/4"=1'-0")

Scale: (1/4"=1'-0") DWG. NO.: A.2.4



Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 3400 34 AVE, SURREY BC
Drawing: LOT-1 FLOOR PLANS BUILDING 3
Project Status:

REVISION		
No.	Date	Description
01	2023-09-22	1/1/ Drawing
02	2023-09-26	R/P Drawing



1 SECOND FLOOR
Scale: (1/4"=1'-0")

Scale: DWG. NO:
Scale: (1/4"=1'-0") **A.2.5**

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 16667 34 AVE., SURREY BC
Drawing: 1 OF 3
ELEVATIONS - BUILDING 3
Project Status:

REVISION		
No.	Date	Description
01	2023-04-23	1st Drawings
02	2023-05-26	R/P Drawings



Scale: 1/8"=1'-0"
DWG. NO.: A.3.3



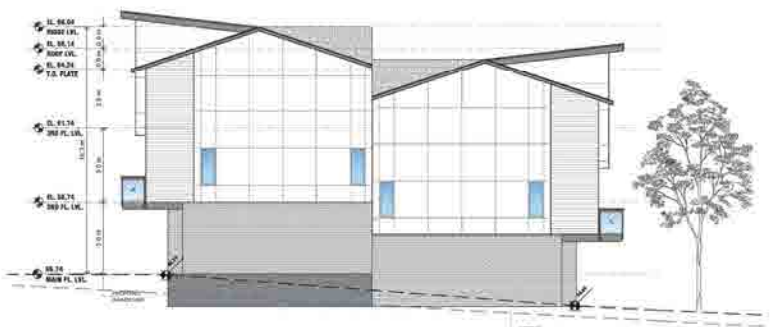
1 NORTH ELEVATION
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2 WEST ELEVATION
Scale: (1/8"=1'-0")

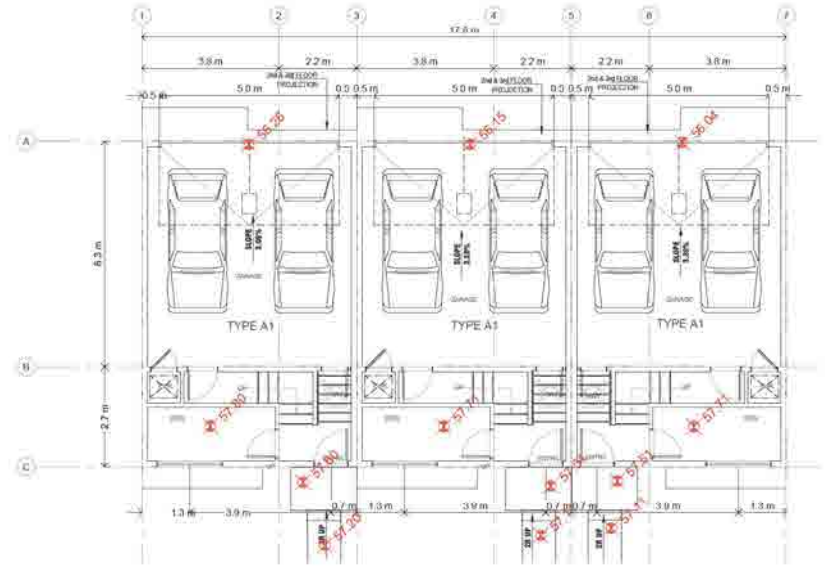


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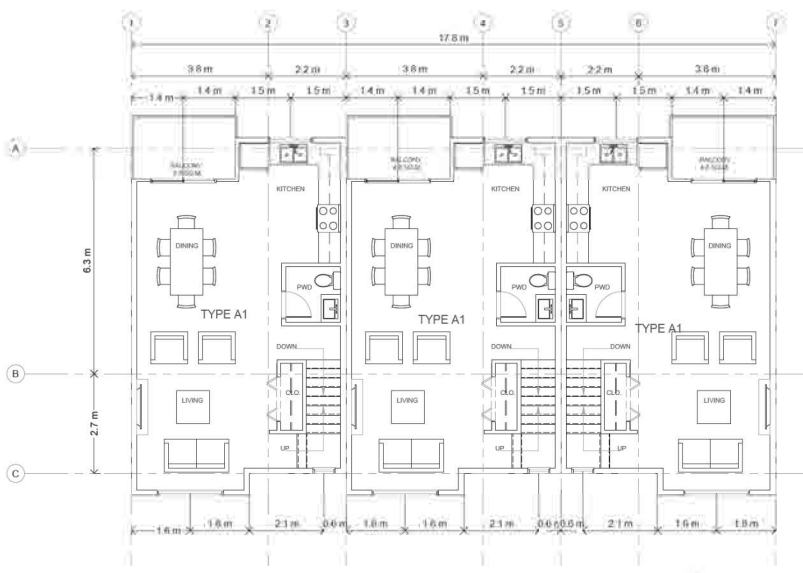


4 EAST ELEVATION
Scale: (1/8"=1'-0")

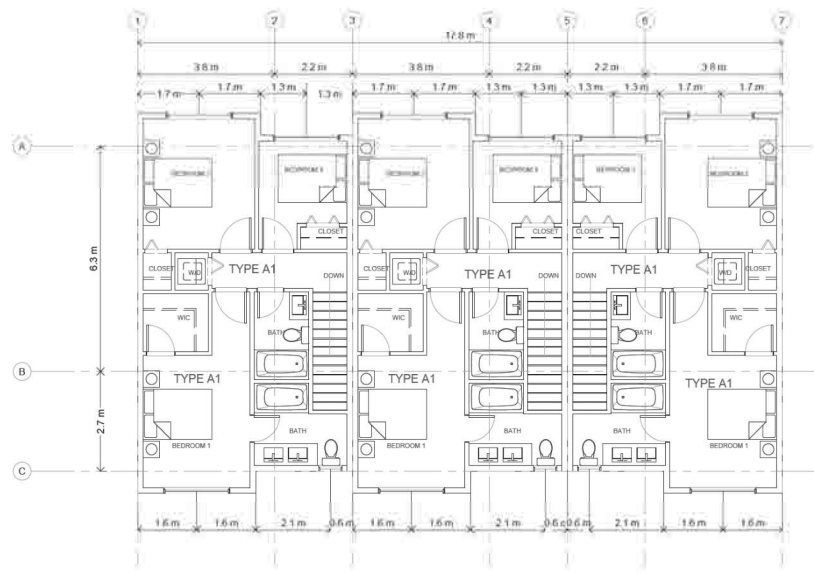
MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)



1 MAIN FLOOR
Scale: (1/16"=1'-0")



2 SECOND FLOOR
Scale: (1/16"=1'-0")



3 THIRD FLOOR
Scale: (1/16"=1'-0")

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 34 AVT, SABBIE BC
Drawing: LOT 1
FLOOR PLANS
BUILDING 4
Project Status:

REVISION		
No.	Date	Description
01	2024-06-22	D/P Drawings
02	2024-09-26	D/P Drawings

All Drawings in this set to be read in conjunction with each other. Any errors or omissions shall be the responsibility of the client. Cre 8 Architects Ltd. is not responsible for any errors or omissions in the drawings or for any consequences arising therefrom. © Copyright Cre 8 Architects Ltd. All rights reserved.



Scale: (1/16"=1'-0") DWG. NO: A.2.6



1 NORTH ELEVATION
Scale: (1/8"=1'-0")



2 WEST ELEVATION
Scale: (1/8"=1'-0")



3 SOUTH ELEVATION
Scale: (1/8"=1'-0")



4 EAST ELEVATION
Scale: (1/8"=1'-0")

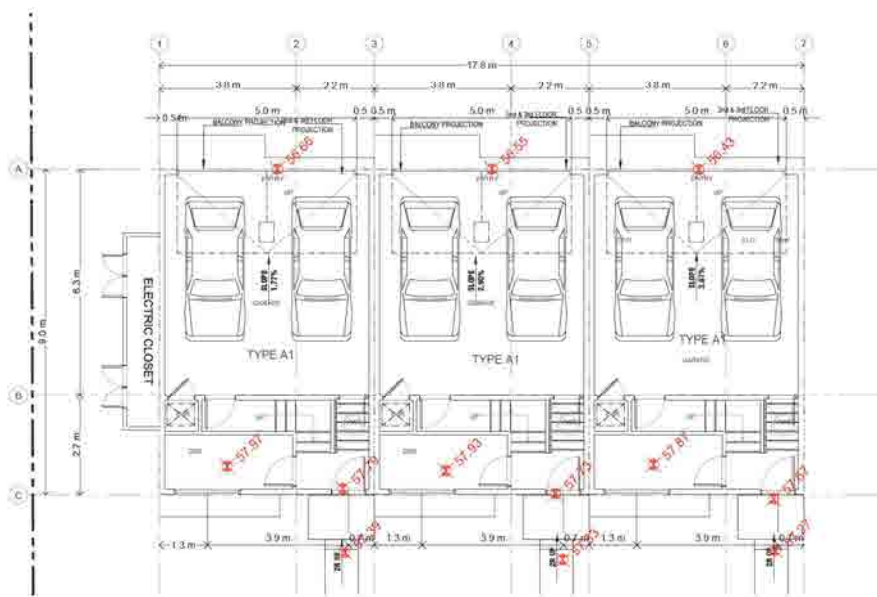
MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEY SANDHU
Project Address: UNIT 24 AVE, GURDEY BC
Drawing: LOT 3 ELEVATIONS BUILDING 4
Project Status:

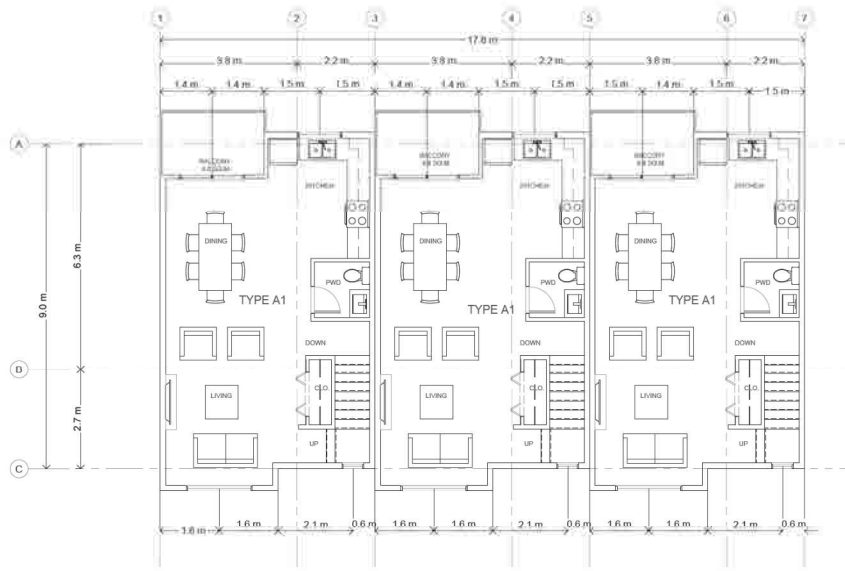
REVISION		
No.	Date	Description
01	2024-06-23	D/P Drawings
02	2024-09-28	D/P Drawings



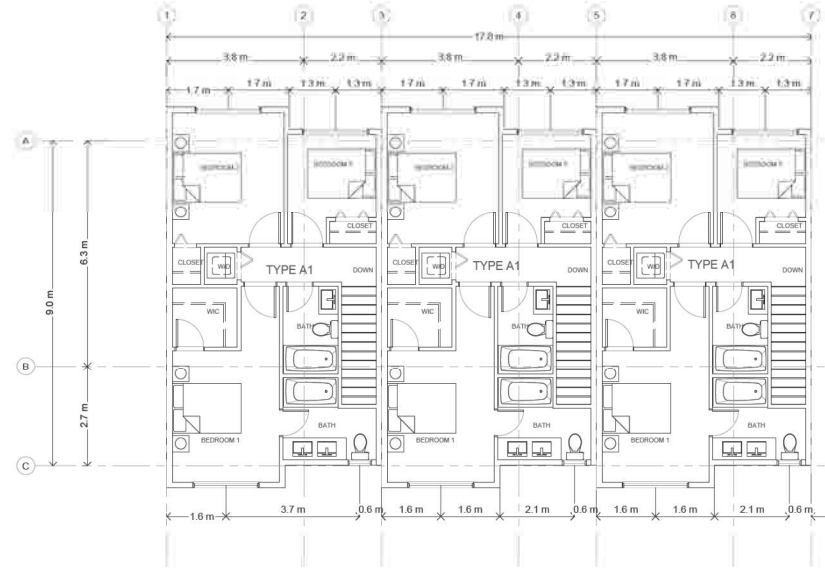
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1 MAIN FLOOR
Scale: (3/16"=1'-0")



2 SECOND FLOOR
Scale: (3/16"=1'-0")



3 THIRD FLOOR
Scale: (3/16"=1'-0")

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: JWC# 24 AVT, SURREY BC
Drawing: LOT-1 FLOOR PLANS - BUILDING 5
Project Status:

REVISION		
No.	Date	Description
01	2024-08-22	D/P Drawings
02	2024-09-26	D/P Drawings

All Drawings in this set to be read in conjunction with each other. Any errors or omissions are to be reported to the architect before commencing work. Contractors are responsible to verify that work is constructed in accordance with the approved Building Code Authority.



Scale: DWG. NO:
A.2.7



1 NORTH ELEVATION
Scale: (1/32"=1'-0")



2 WEST ELEVATION
Scale: (1/32"=1'-0")



3 SOUTH ELEVATION
Scale: (1/32"=1'-0")



4 EAST ELEVATION
Scale: (1/32"=1'-0")

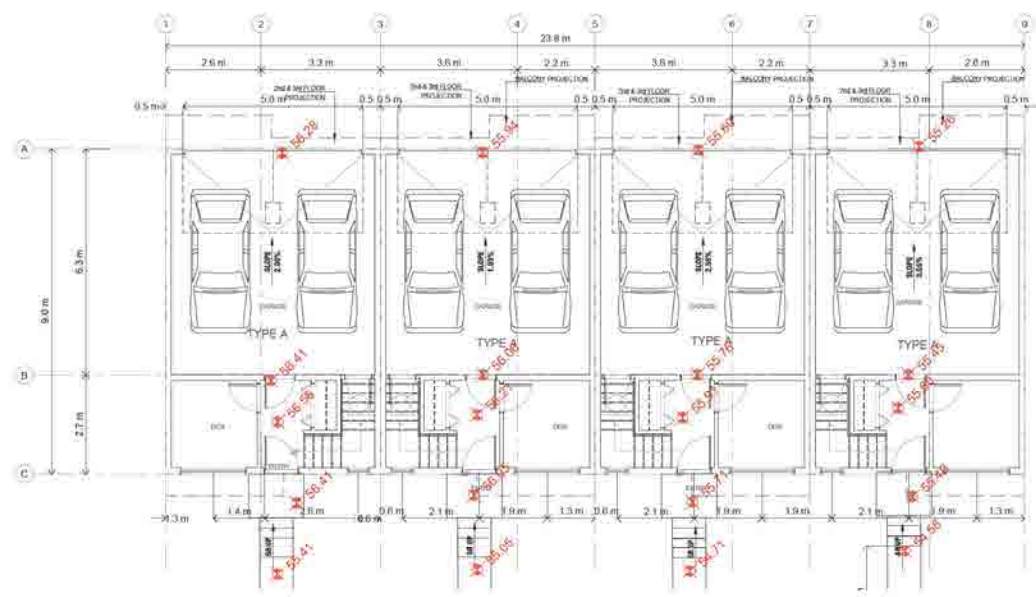
MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 16662 34 AVE., SURREY BC
Drawing: 1 OF 3
ELEVATIONS, BUILDING 5
Project Status:

REVISION		
No.	Date	Description
01	2023-08-23	1/31 Drawings
02	2023-09-26	R/P Drawings



Scale: 1/32"=1'-0" DWG. NO.: A.3.5



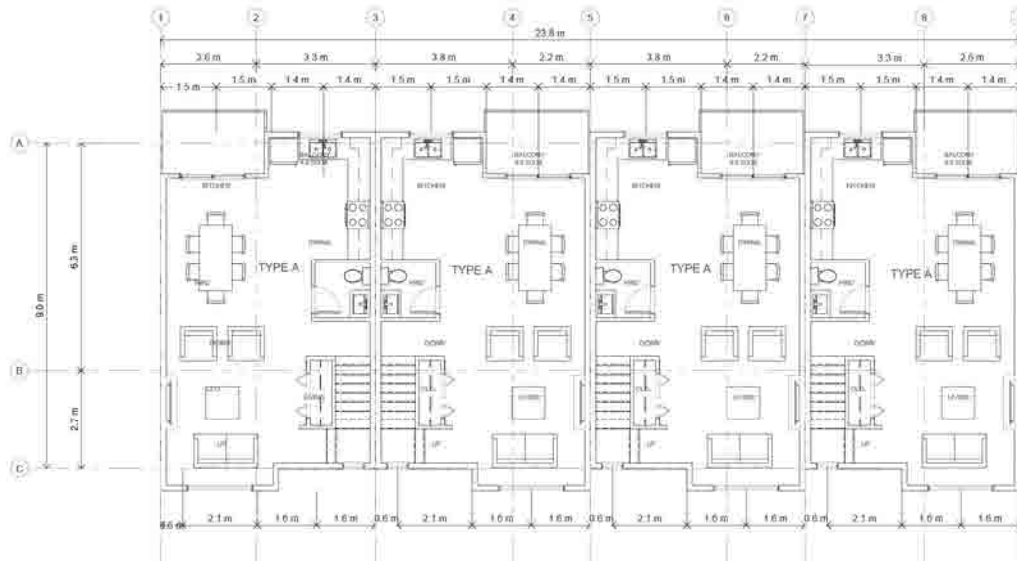
1 MAIN FLOOR
Scale: (1/16"=1'-0")

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 34 AVT, SURREY BC
Drawing: LOT 1 FLOOR PLANS BUILDING 6
Project Status:

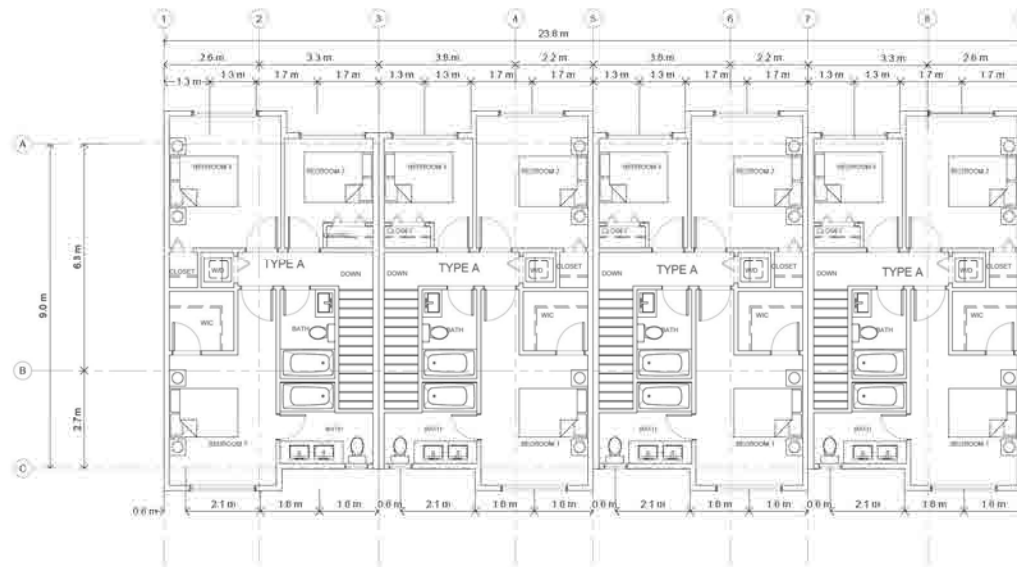
REVISION		
No.	Date	Description
01	2023-09-22	1/1 Drawing
02	2023-09-26	R/P Discrep



Scale: (1/16"=1'-0") DWG. NO: A.2.8



1 SECOND FLOOR
Scale: (1/16"=1'-0")



2 THIRD FLOOR
Scale: (1/16"=1'-0")



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 7204 69 Avenue
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 Tel: (778) 891-0187

Project: TOWNHOUSE DEVELOPMENT
 Client Name: GURDEV SANDHU
 Project Address: JWC 24 AVE, SURREY BC
 Drawing: LOT 1 FLOOR PLANS BUILDING #
 Project Status:

REVISION		
No.	Date	Description
01	2024-08-22	D/P Drawings
02	2024-09-26	D/P Drawings



Scale: DWG. NO: A.2.9



1 EAST ELEVATION
Scale: (1/8"=1'-0")



2 NORTH ELEVATION
Scale: (1/8"=1'-0")



3 WEST ELEVATION
Scale: (1/8"=1'-0")



4 SOUTH ELEVATION
Scale: (1/8"=1'-0")

MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)



2264 1/2 Avenue
Surrey, BC V3X 0C4
Tel: (778) 991-0167
Email: jessie@cre8architects.ca

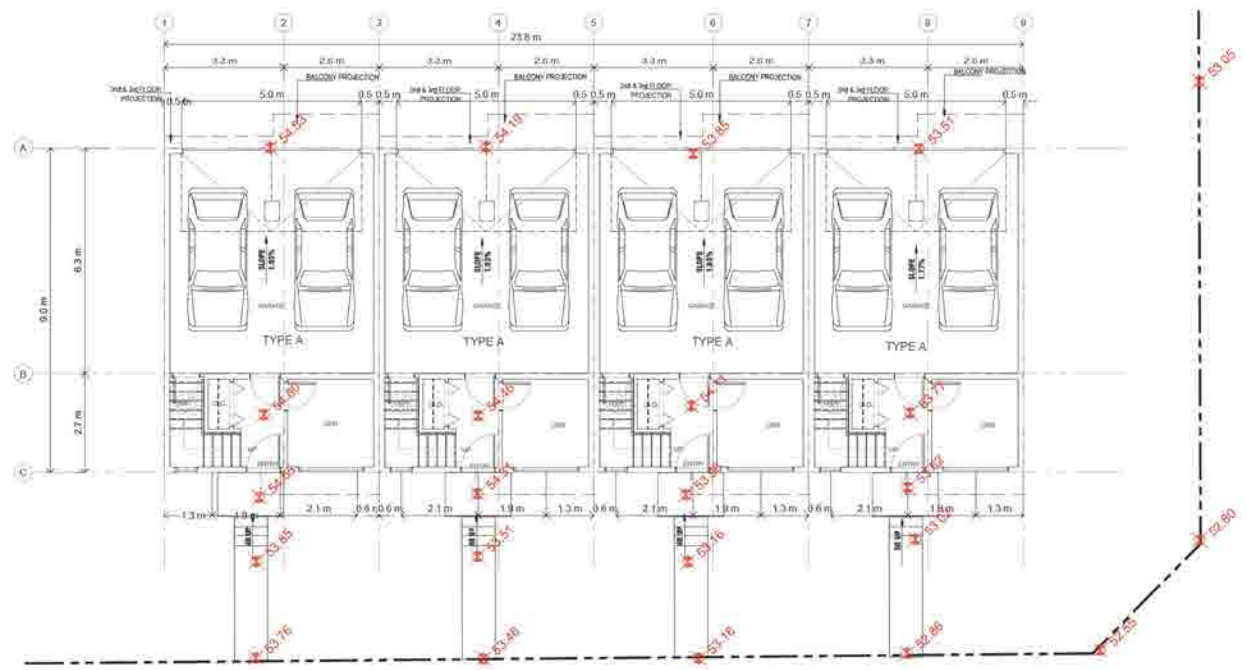
Cre 8 Architecture Ltd.

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 1662 34 AVE, SURREY BC
Drawing: LOT 2 ELEVATIONS, BUILDING #1
Project Status:

REVISION		
No.	Date	Description
01	2024-05-22	01' Drawings
02	2024-05-28	02' Drawings



Scale: (1/8"=1'-0")
DWG. NO.: A.3.6



1 MAIN FLOOR
Scale: (3/16"=1'-0")

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 1000 24 AVT, SURREY BC
Drawing: LOT-1 FLOOR PLANS BUILDING 7
Project Status:

REVISION		
No.	Date	Description
01	2023-02-20	D/P Drawings
02	2023-09-26	R/P Drawings



Scale: (3/16"=1'-0") DWG. NO: A.2.10

LOT-2



LEGAL DESCRIPTION:
 LOT 'B' SECTION 13
 TOWNSHIP 1 PLAN 26457 NWD PART NW 1/4

CIVIC ADDRESS:
 18087 24 Ave
 SURREY, BC

ZONING INFORMATION:

ZONE:
 EXISTING : A-2
 NCP : REDWOOD HEIGHTS
 LAND USE : MULTIPLE RESIDENTIAL

DENSITY
 ALLOWABLE : 42 UNITS ON NET SITE AREA (30 UPA)
 (RM-30 AS PER REDWOOD HEIGHTS NCP)
 PROPOSED : 40 UNITS (30 UPA ON NET SITE AREA)

LOT AREA:
 NET SITE AREA = 61,192.83 (5,685.00 Sqm) = 1.41 Ac

LOT DENSITY:
 FAR:
 PERMITTED :
 PROPOSED : 55,665.12 SFT (5171.90 Sam) / 61,192.83 (5,685.00 Sqm) = 0.91

LOT COVERAGE:
 PERMITTED : 45%
 PROPOSED : 2336.49 m² / 5,685.00 m² = 41.09 %

BUILDING HEIGHT:
 ALLOWABLE : 43 ft (13.00 m)
 PROPOSED : 33'9" ft (10.30 m)

INDOOR AMENITY SPACE:
 REQUIRED : 3 SQ. M. PER D.U. = 3 x 40 UNITS = 120 SQ.M. (1291.86 SQ. FT.)
 PROPOSED : = 122.36 SQ.M. (1317.16 SQ. FT.)

OUTDOOR AMENITY SPACE:
 REQUIRED : BACK TO BACK UNITS 6 SQ.M. PER D.U. = 6 x 12 UNITS = 72 SQ.M. (775 SQ. FT.)
 REGULAR UNITS 3 SQ. M. PER D.U. = 3 x 28 UNITS = 84 SQ.M. (904.17 SQ. FT.)
 TOTAL REQUIRED: = 156 SQ.M. (1670.17 SQ. FT.)

PROPOSED : = 198.89 SQ.M. (2140.93 SQ. FT.)

SETBACKS:

	PERMITTED	PROPOSED
EAST SIDE	4.5 m	(5.00 m)
WEST SIDE	6.0 m	(3.05m)
SOUTH SIDE	6.0 m	(5.00 m)
NORTH SIDE	4.5 m	(5.00 m)

PARKING:
 RESIDENTIAL:
 REQUIRED : 2.0 STALLS PER UNIT = 2 X 40 = 80.0 STALLS
 PROVIDED : 80.0 STALLS

RESIDENTIAL VISITOR:
 REQUIRED : 0.2 STALLS PER UNIT = 0.2 X 40 = 8.0 STALLS
 PROVIDED : 8.0 STALLS

TOTAL PROVIDED 88.0 STALLS

	Main Floor (without garage)	2nd Floor	3rd Floor	Total
Building 1	527.40 SQ.FT.	1,743.93 SQ.FT.	1,918.51 SQ.FT.	4,189.84 SQ.FT.
Building 2	527.40 SQ.FT.	1,743.93 SQ.FT.	1,918.51 SQ.FT.	4,189.84 SQ.FT.
Building 3	769.28 SQ.FT.	4,965.92 SQ.FT.	5,338.03 SQ.FT.	11,073.23 SQ.FT.
Building 4	769.28 SQ.FT.	4,965.92 SQ.FT.	5,338.03 SQ.FT.	11,073.23 SQ.FT.
Building 5	527.40 SQ.FT.	1,743.93 SQ.FT.	1,918.51 SQ.FT.	4,189.84 SQ.FT.
Building 6	527.40 SQ.FT.	1,743.93 SQ.FT.	1,918.51 SQ.FT.	4,189.84 SQ.FT.
Building 7	1,054.81 SQ.FT.	3,487.82 SQ.FT.	3,837.02 SQ.FT.	8,379.65 SQ.FT.
Building 8	1,054.81 SQ.FT.	3,487.82 SQ.FT.	3,837.02 SQ.FT.	8,379.65 SQ.FT.
			Total	55,665.12 SQ.FT. 5171.90 SAM.



17994 86 Avenue
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 Tel: (778) 811-2137

Cre 8 Architecture Ltd.

Project:
 TOWNHOUSE DEVELOPMENT
 Client Name:
 GURDEV SANDHU
 Project Address:
 18087 24 Ave, Surrey BC
 Drawing:

LOT 2 SITE LAYOUT

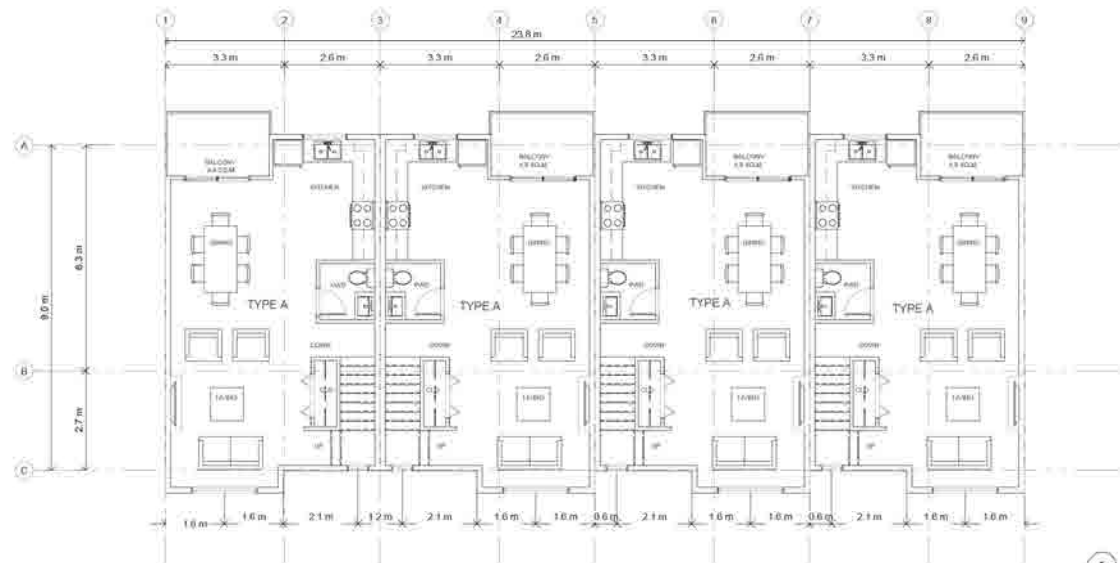
REVISION

No.	Date	Description
01	2024.06.20	D.P. Drawings
02	2024.06.26	D.P. Drawings

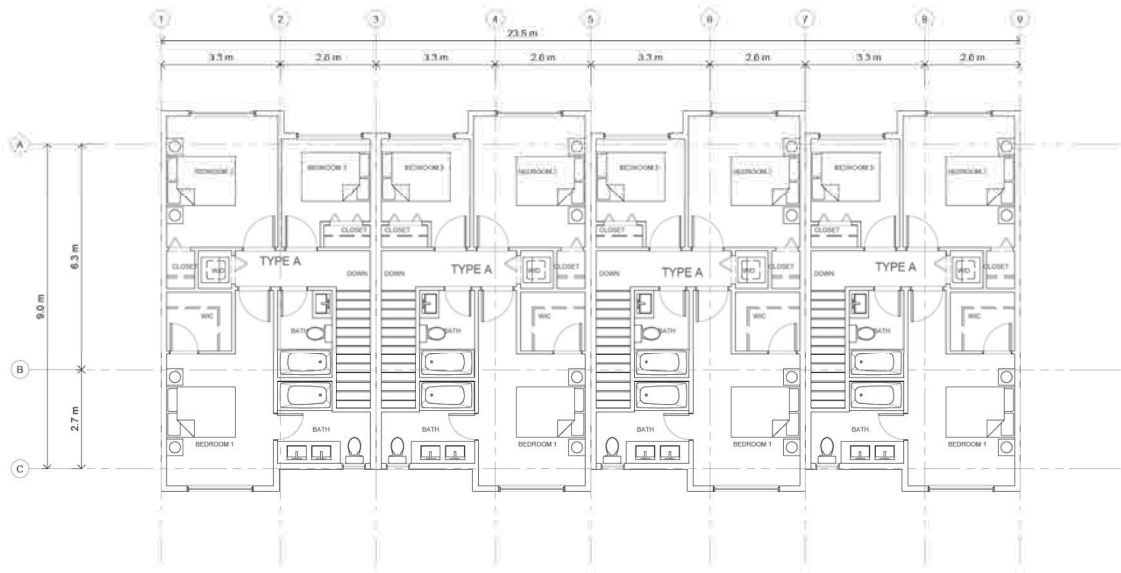


Scale: 1/8" = 1'-0"

DWG. NO.
A.1.2



1 SECOND FLOOR
Scale: (1/8"=1'-0")



2 THIRD FLOOR
Scale: (1/8"=1'-0")

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: JUNE 24 AVT, SURREY BC
Drawing: LOT-1 FLOOR PLANS BUILDING-7
Project Status:

REVISION		
No.	Date	Description
01	2024-06-22	D/P Drawings
02	2024-09-26	D/P Drawings

All Drawings in this set to be read in conjunction with each other. Any errors or omissions shall be the responsibility of the client. The client shall be responsible for the accuracy of the information provided to the architect. The architect shall not be responsible for the accuracy of the information provided to the client.



Scale: (1/8"=1'-0") DWG. NO.: A.2.11



1 EAST ELEVATION
Scale: (1/8"=1'-0")



2 NORTH (FACING 25 AVE.) ELEVATION
Scale: (1/8"=1'-0")



3 WEST ELEVATION
Scale: (1/8"=1'-0")



4 SOUTH ELEVATION
Scale: (1/8"=1'-0")

MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)



1204 56 Avenue
Surrey, BC V5A 0G4

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Cre 8 Architecture Ltd.

Project:
TOWNHOUSE DEVELOPMENT
Client Name:
GURDEV SANHU
Project Address:
1882 24 AVE, SURREY BC
Drawing:
LOT 2
ELEVATIONS
BUILDING 7
Project Status:

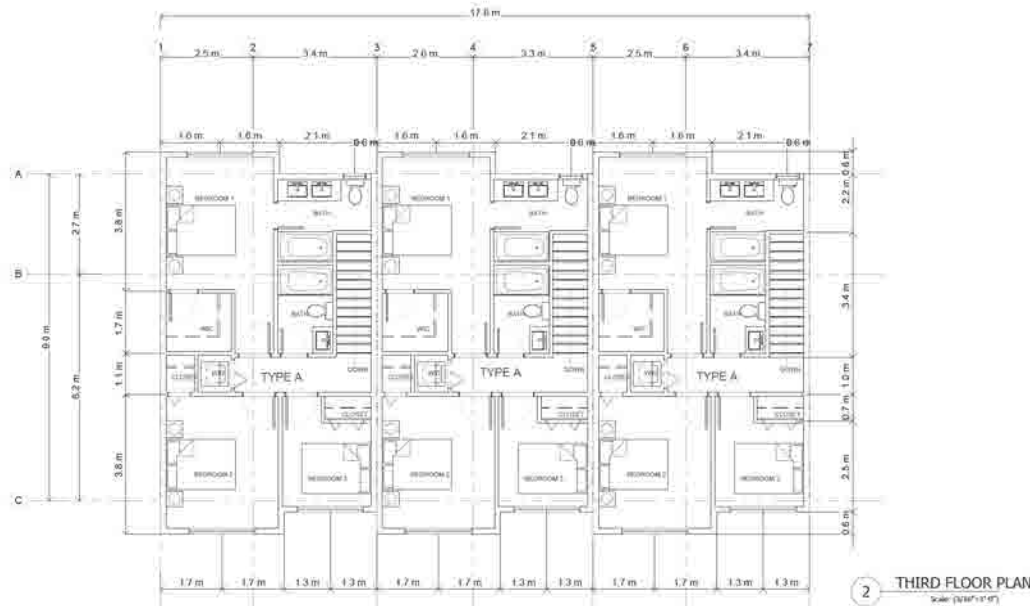
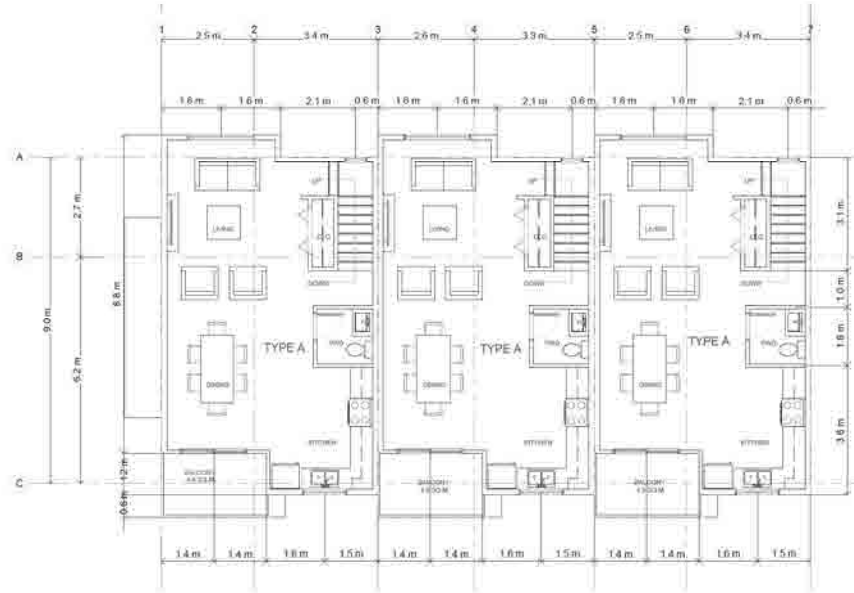
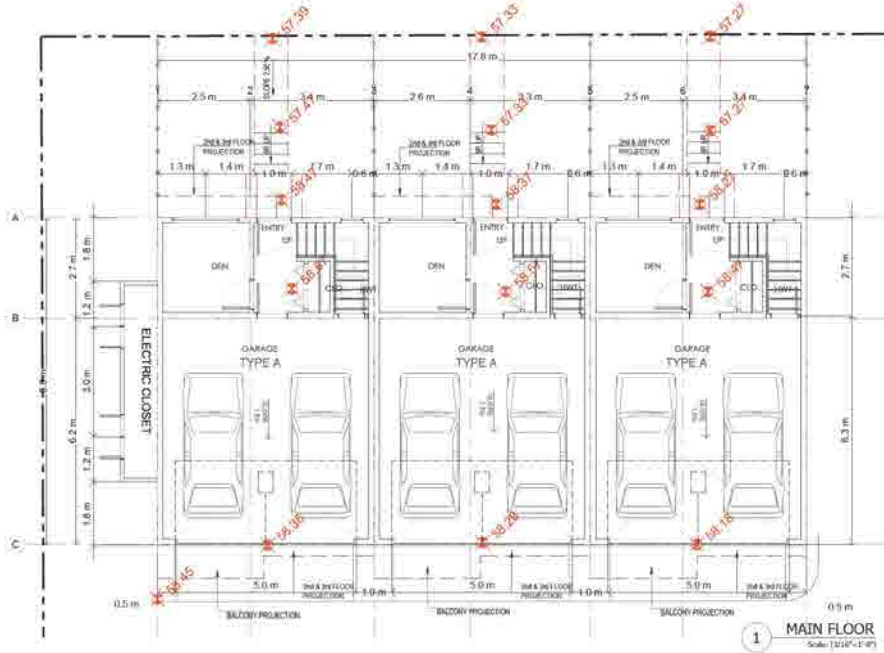
REVISION		
No.	Date	Description
01	2024 09 22	D/P Drawings
02	2024 09 26	D/P Drawings



Scale: (1/8"=1'-0")

DWC NO:

A.3.7



Project:
TOWNHOUSE DEVELOPMENT
Client Name:
GURDEV SANDHU
Project Address:
1888 24 AVE, SURREY BC
Drawing:
LOT 2
FLOOR PLANS
BUILDING 1
Project Status:

REVISION

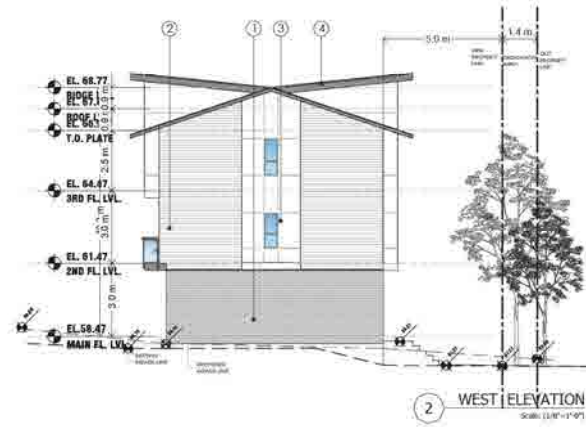
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01	2024-06-22	D.P. Drawings
02	2024-09-20	D.F. Drawings



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DWG. NO: **A.2.1**



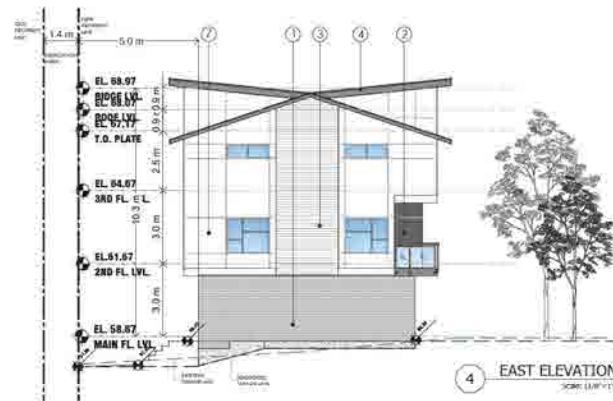
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2 WEST ELEVATION
Scale: (1/8"=1'-0")



3 SOUTH ELEVATION
Scale: (1/8"=1'-0")



4 EAST ELEVATION
Scale: (1/8"=1'-0")

MATERIAL LEGEND	
1	ENDICOTT BRICKS-THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)



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Suite 101
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Email: jason@cre8architects.com

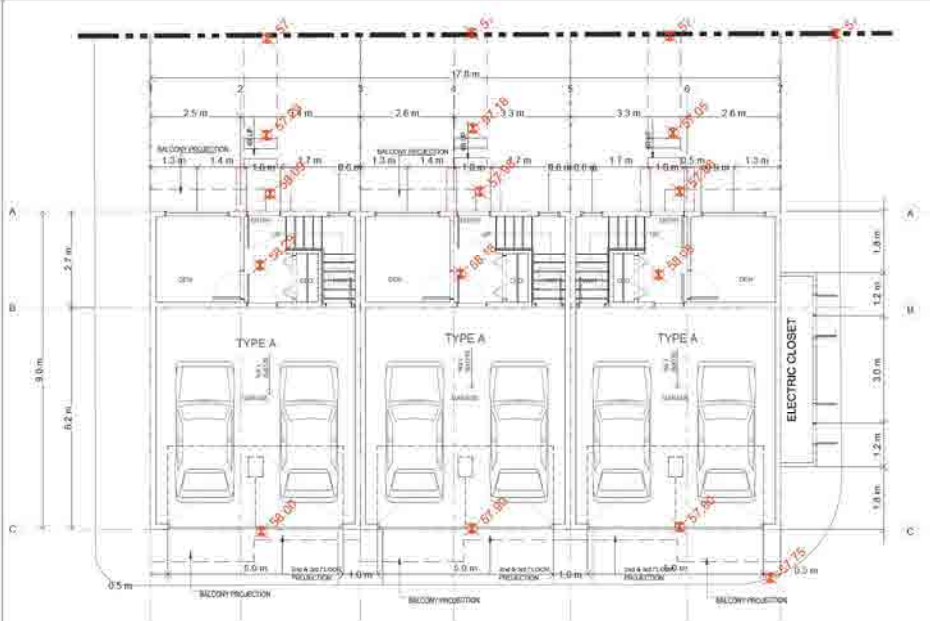
Cre 8 Architecture Ltd.

Project: TOWNHOUSE DEVELOPMENT
Client Name: GARDEV SANDHU
Project Address: 1605' 16 AVE, SUITE 101
Drawing: LOT 2 ELEVATIONS BUILDING 1
Project Status:

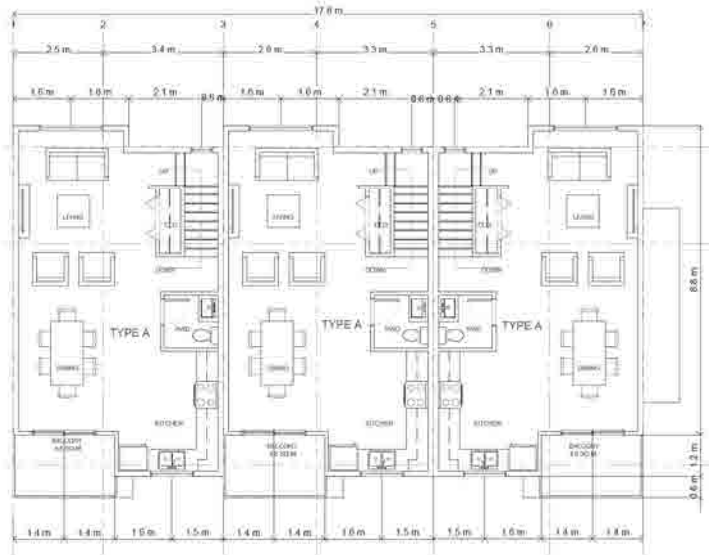
REVISION		
No.	Date	Description
01	2024-06-22	10% Drawings
02	2024-09-26	60% Drawings



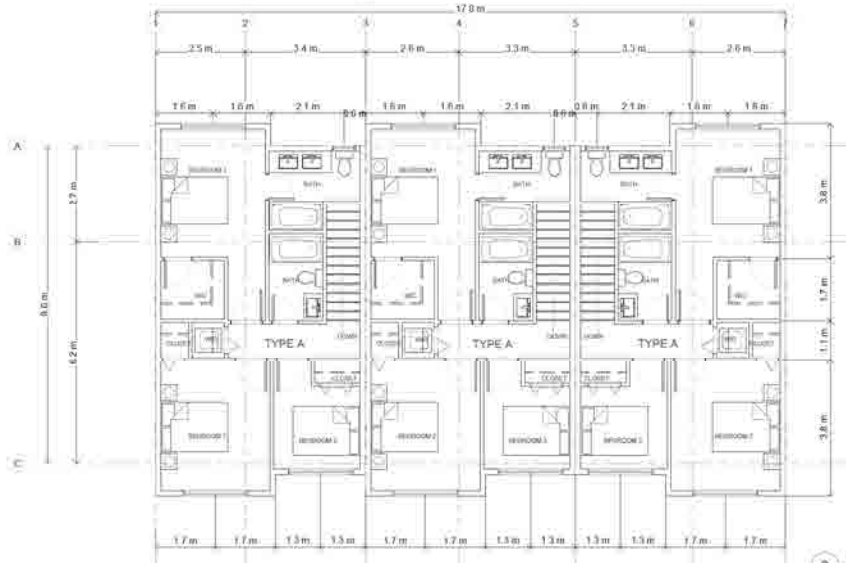
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1 MAIN FLOOR
Scale: (1/32"=1'-0")



2 SECOND FLOOR
Scale: (1/32"=1'-0")



3 THIRD FLOOR PLAN
Scale: (1/32"=1'-0")

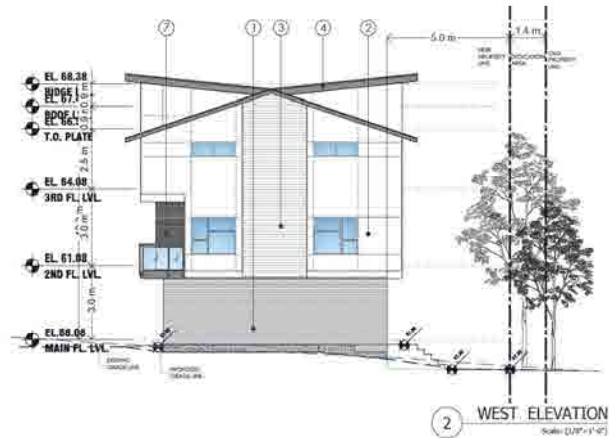
Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 1007 54 AVE, SURREY BC
Drawing: LOT 2 - FLOOR PLANS BUILDING 2
Project Status:

REVISION		
No.	Date	Description
01	2024-06-22	IFP Issuance
02	2024-06-26	IFP Issuance

I am a registered professional architect in the Province of British Columbia and I am authorized to practice in the Province of British Columbia. I am a member of the Association of Architects and Architectural Technicians of British Columbia (AATBC) and the Royal Architectural Institute of Canada (RAIC).



Scale: DWG. NO:
Scale: (1/32"=1'-0") A.2.2



MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 15904 69 AVE, SUITE 201
Drawing: LOT 2 ELEVATIONS BUILDING 2
Project Status:

REVISION

No.	Date	Description
01	2024-06-22	D.P. Drawings
02	2024-06-28	D.P. Drawings



Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 1807 24 AVE. SURREY BC
Drawing: LOT 2
FLOOR PLAN:
BUILDING 3
Project Status:

REVISION		
No.	Date	Description
01	2024-06-27	07P Issuance
02	2024-06-28	09P Issuance

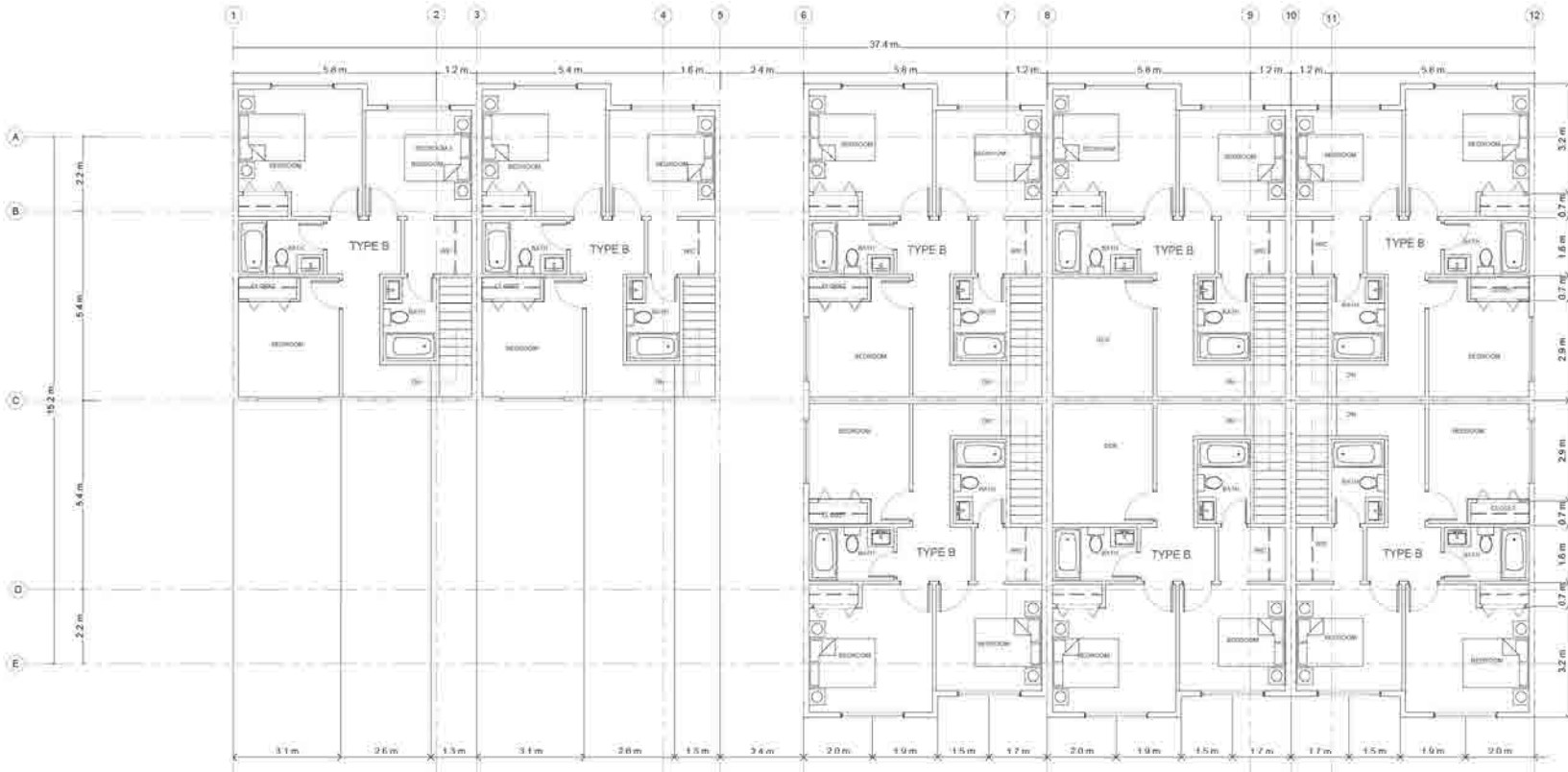
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Scale: DWG. NO. A.2.4



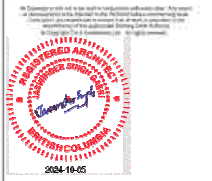
1 MAIN FLOOR
Scale: 1/16"=1'-0"



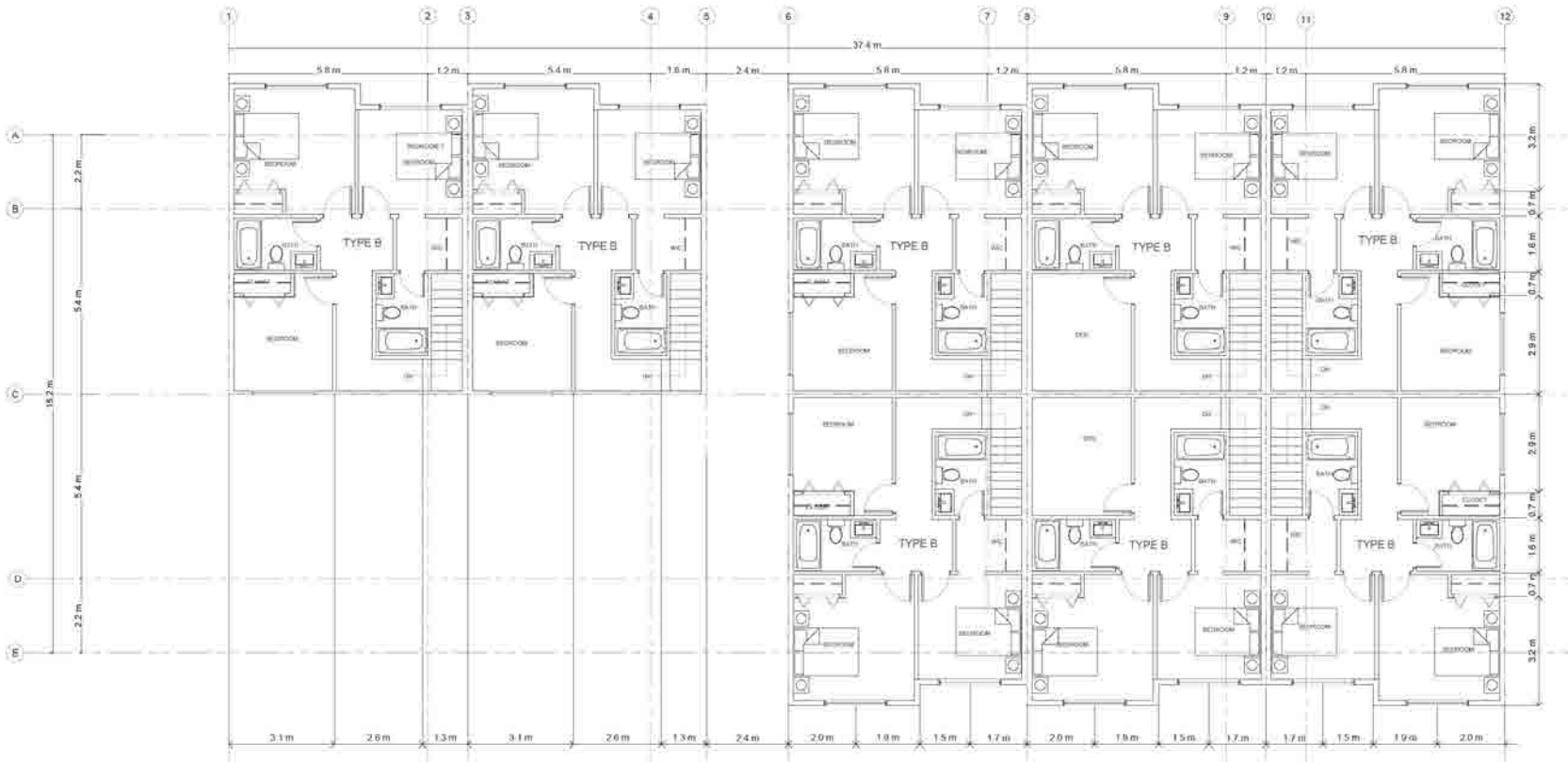
1 SECOND FLOOR
Scale: (1/16"=1'-0")

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 18807 24 AVE, SURREY BC
Drawing: LOT 2 FLOOR PLANS BUILDING 2
Project Status:

REVISION		
No.	Date	Description
01	2024-08-22	D.P. Drawings
02	2024-08-26	D.P. Drawings



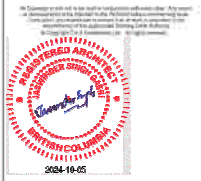
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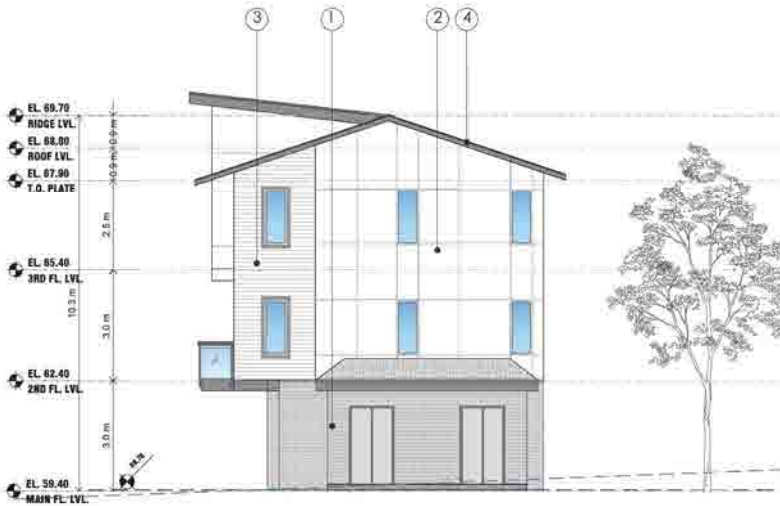
1 THIRD FLOOR
 Scale: (1/8"=1'-0")

Project: TOWNHOUSE DEVELOPMENT
 Client Name: GURDEV SANDHU
 Project Address: 1887 24 AVE, SURREY BC
 Drawing: LOT 2 FLOOR PLANS BUILDING 3
 Project Status:

REVISION		
No.	Date	Description
01	2024-05-22	D.P. Drawings
02	2024-05-26	D.P. Drawings



Scale: (1/8"=1'-0") DWG. NO: A.2.5



1 WEST ELEVATION
Scale: (3/16"=1'-0")



2 SOUTH ELEVATION
Scale: (3/16"=1'-0")

MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)



1009 21 Avenue
Surrey, BC V3X 0C4

Email: jason@cre8architects.ca
Tel: (778) 951-0797

Cre 8 Architecture Ltd.

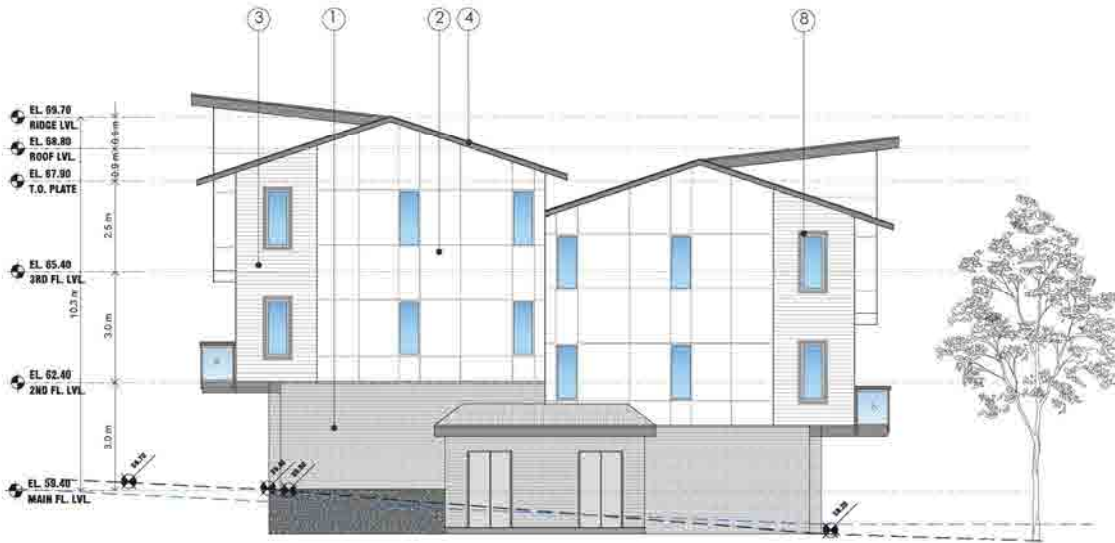
Project:
TOWNHOUSE DEVELOPMENT
Client Name:
GURDEV SANDHU
Project Address:
1009 21 AVE, SURREY BC
Drawing:
LOF-2
ELEVATIONS
BUILDING 1
Project Status:

REVISION		
No.	Date	Description
01	2024-06-22	D.P. Drawings
02	2024-09-26	G.P. Drawings

We warrant that the drawings were prepared by a registered professional person and that the drawings were prepared in accordance with the standards of the profession.



Scale:
Notes: (3/16"=1'-0")
DWG. NO:
A.3.3



MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)

1 EAST ELEVATION
Scale: (3/16"=1'-0")



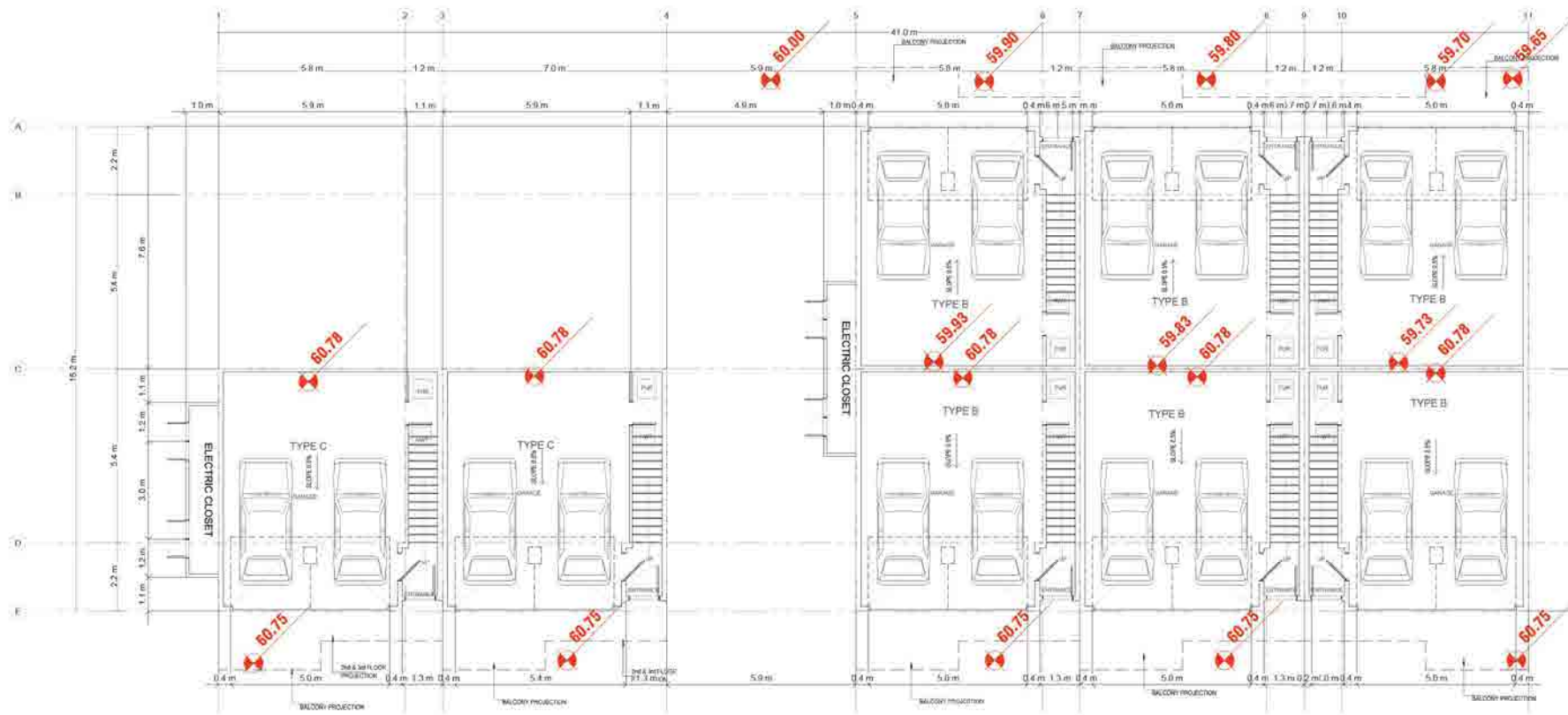
2 NORTH ELEVATION
Scale: (3/16"=1'-0")

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 1987 24 AVE, SUITE 6C
Drawing: L01-2
ELEVATIONS
BUILDING 1
Project Status:

REVISION		
No.	Date	Description
01	2024-06-22	D.P. Drawings
02	2024-09-26	O.P. Drawings



Scale: DWG. NO:
Ruler: (3/16"=1'-0") A.3.3.1



Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 1887 24 AVE. SURREY BC
Drawing: LOT 2 FLOOR PLANS BUILDING 4
Project Status:

REVISION		
No.	Date	Description
01	2024-05-23	D.P. Drawings
02	2024-05-26	D.P. Drawings



1 MAIN FLOOR
Scale: 1/8" = 1'-0"

Scale: DWG. NO.: A.2.6

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 1887 24 AVE, SCARLET BC
Drawing: LOT-2 FLOOR PLANS-BUILDING 4
Project Status:

REVISION

No.	Date	Description
01	2024-06-22	D.P. Drawings
02	2024-09-26	D.P. Drawings

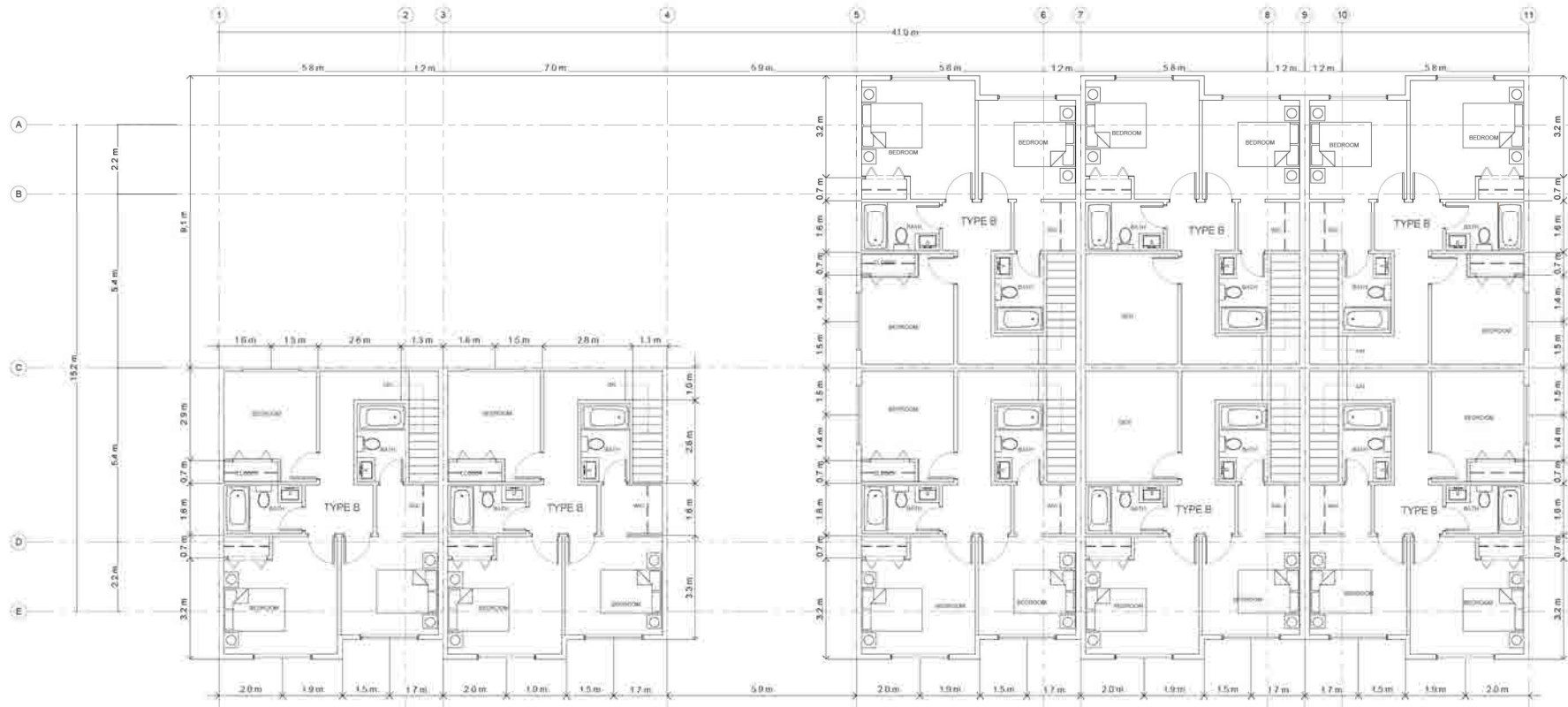
All Drawings in this set to be used in conjunction with each other. Any errors or omissions to be reported to the Architect before commencing work.
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Scale: 1/16" = 1'-0" DWG. NO: A.2.7



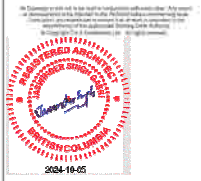
1 SECOND FLOOR PLAN
Scale: 1/16" = 1'-0"



1 THIRD FLOOR
Scale: 1/8"=1'-0"

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 18827 24 AVE, SURREY BC
Drawing: LOT 2 FLOOR PLANS BUILDING 4
Project Status:

REVISION		
No.	Date	Description
01	2024-08-22	D.P. Drawings
02	2024-08-26	D.P. Drawings



Scale: 1/8"=1'-0" DWG. NO: A.2.8



1 WEST ELEVATION
Scale: (1/8\"/>

MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6\"/>



2 SOUTH ELEVATION
Scale: (1/8\"/>

Project:
TOWNHOUSE DEVELOPMENT
Client Name:
GURDEV SANDHU
Project Address:
1000 21 AVE, SURREY BC
Drawing:
LOF-2
ELEVATIONS
BUILDING 4
Project Status:

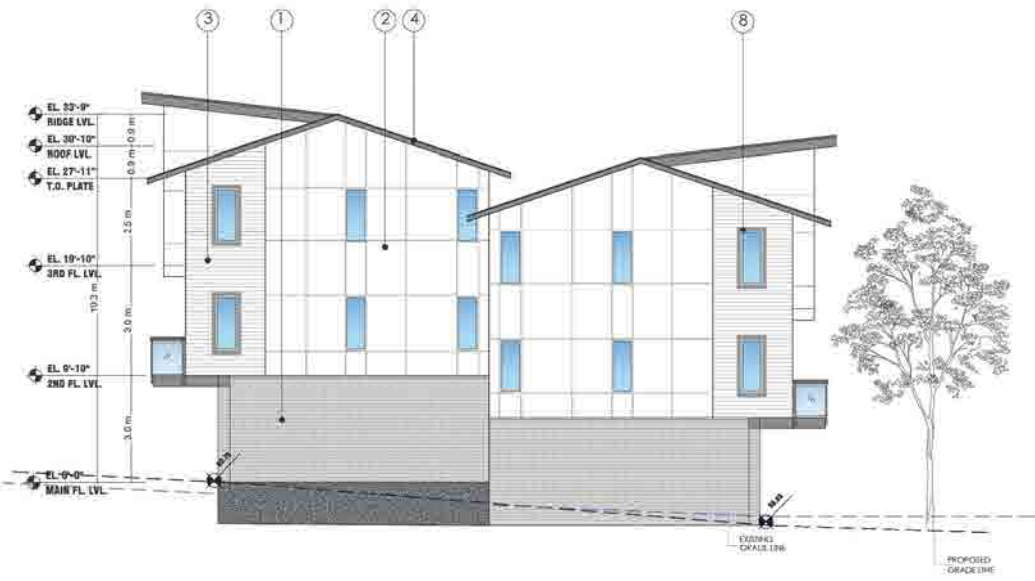
REVISION		
No.	Date	Description
01	2024-06-22	D.P. Drawings
02	2024-09-26	G.P. Drawings



Scale: DWG. NO:
Scale: (1/8\"/>

A.3.4

MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)



1 EAST ELEVATION
Scale: (1/16"=1'-0")



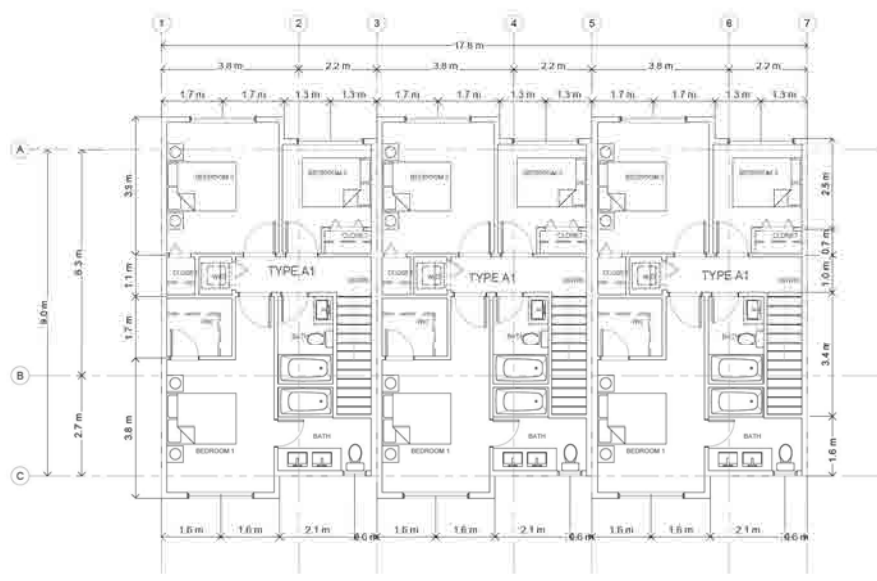
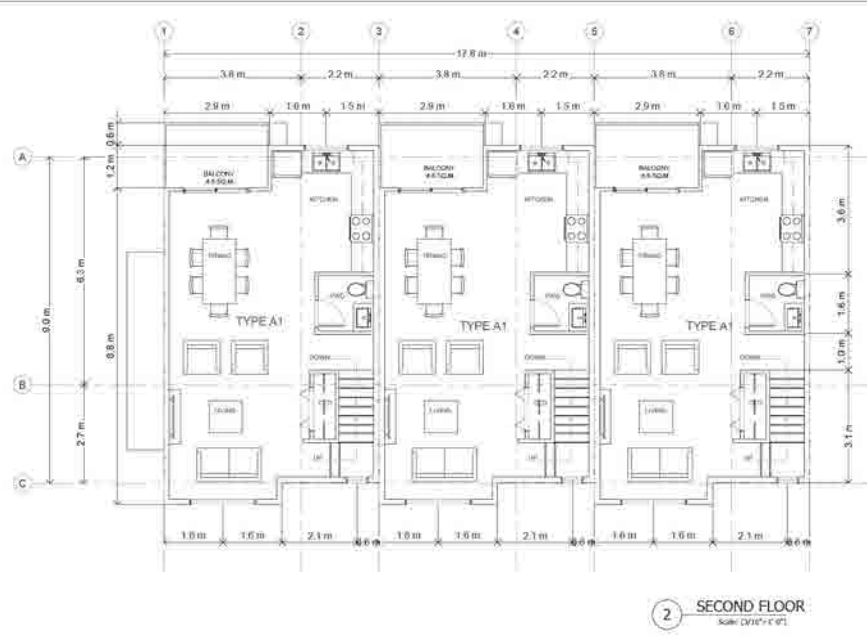
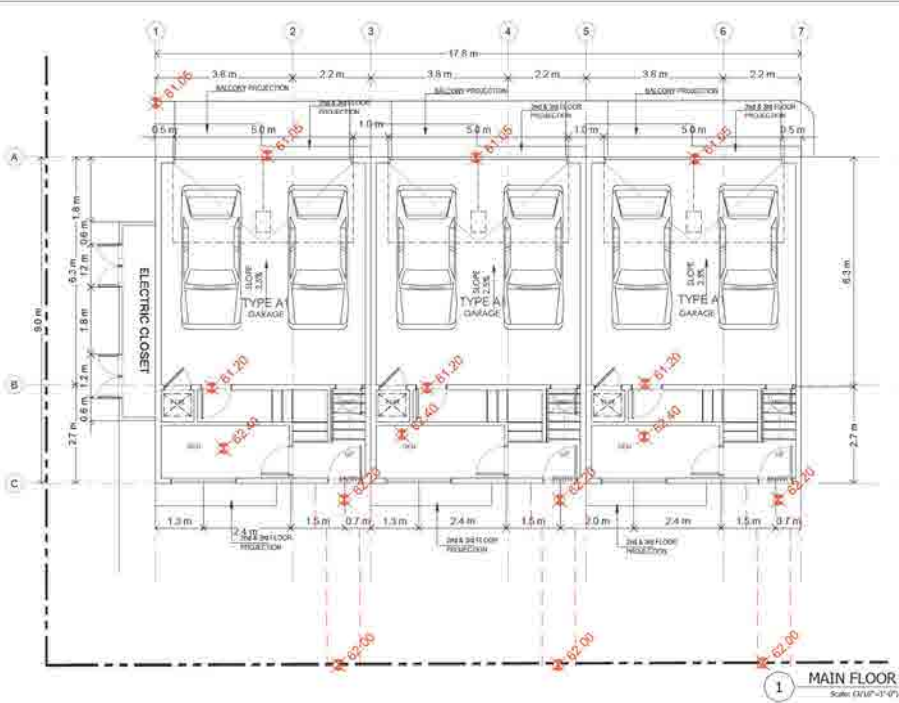
2 NORTH ELEVATION
Scale: (1/16"=1'-0")

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 10807 24 AVE, SURREY BC
Drawing: LOF-2 ELEVATIONS BUILDING 4
Project Status:

REVISION		
No.	Date	Description
01	2024-06-22	O.P. Drawings
02	2024-09-26	O.P. Drawings



Scale: (1/16"=1'-0") DWG. NO: A.3.4.1



Project:
TOWN-HOUSE DEVELOPMENT
Client Name:
GURDEV SANDHU
Project Address:
1887-24 AVE, SALEM VIC
Drawing:
LOT 2 FLOOR PLANS, BLUE PRINT 5
Project Status:

REVISION		
No.	Date	Description
01	2024-06-22	D.P. Drawings
02	2024-06-26	D.P. Drawings

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Scale: (1/100'-1/100') DWG. NO:
A.2.9



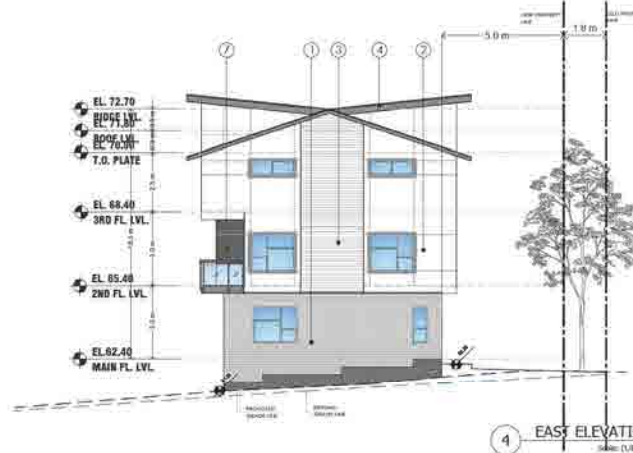
1 NORTH ELEVATION
Scale: (1/8"=1'-0")



2 WEST ELEVATION
Scale: (1/8"=1'-0")



3 SOUTH (FACING 24 AVE.) ELEVATION
Scale: (1/8"=1'-0")



4 EAST ELEVATION
Scale: (1/8"=1'-0")

MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 1987 24 Ave, Surrey BC
Drawing: L.O.F-2 ELEVATIONS
Project Status: BUILDING 5

REVISION		
No.	Date	Description
01	2024-06-22	D.P. Drawings
02	2024-09-26	G.P. Drawings

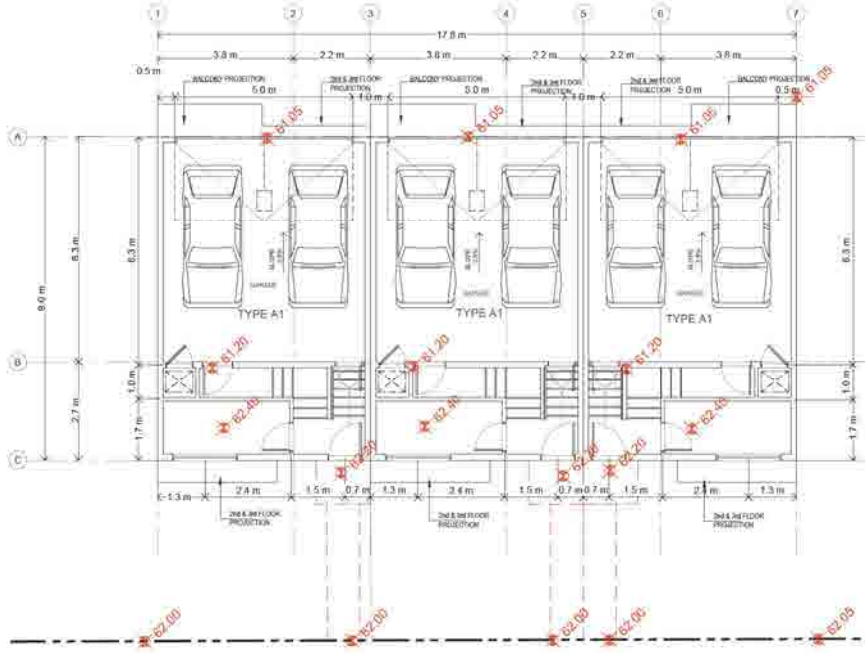
We warrant that the drawings were prepared by a professional person registered in the province of British Columbia and that the drawings were prepared in accordance with the standards of the profession.



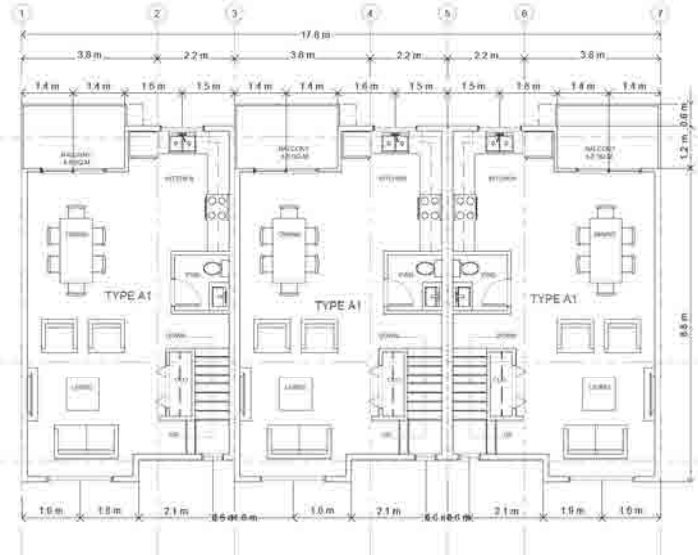
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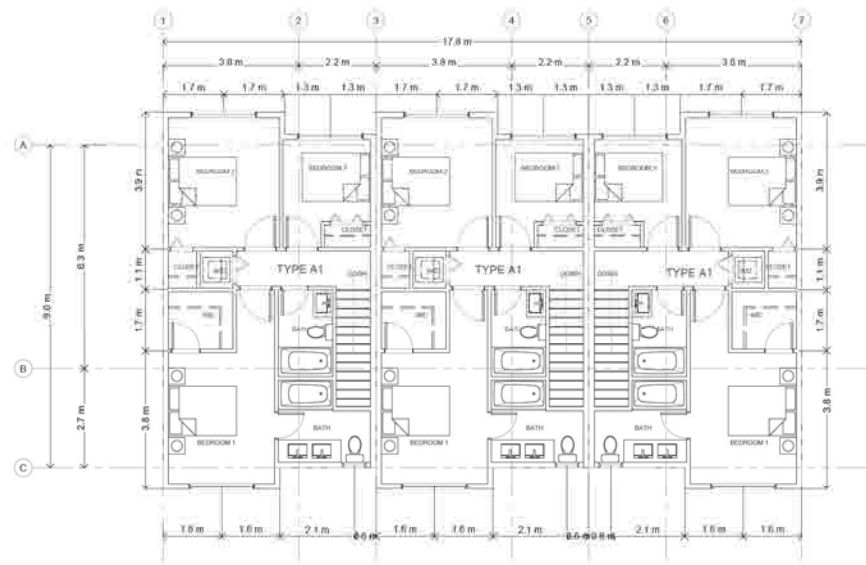
A.3.5



1 MAIN FLOOR
Scale: 1/300 (1"=3')



2 SECOND FLOOR
Scale: 1/150 (1"=6')



3 THIRD FLOOR
Scale: 1/150 (1"=6')



12044 55A Avenue
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Cre 8 Architecture Ltd.

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 2007 24 Ave, Surrey BC
Drawing: LOT 2 FLOOR PLANS BUILDING 6
Project Status:

REVISION

No.	Date	Description
01	2024-06-20	01: Drawing
02	2024-06-26	02: Drawing

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Scale: 1/150 (1"=6') DWG. NO. A.2.10



1 NORTH ELEVATION
Scale: (1/8"=1'-0")



2 WEST ELEVATION
Scale: (1/8"=1'-0")



3 SOUTH (FACING 24 AVE.) ELEVATION
Scale: (1/8"=1'-0")



4 EAST ELEVATION
Scale: (1/8"=1'-0")

MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)

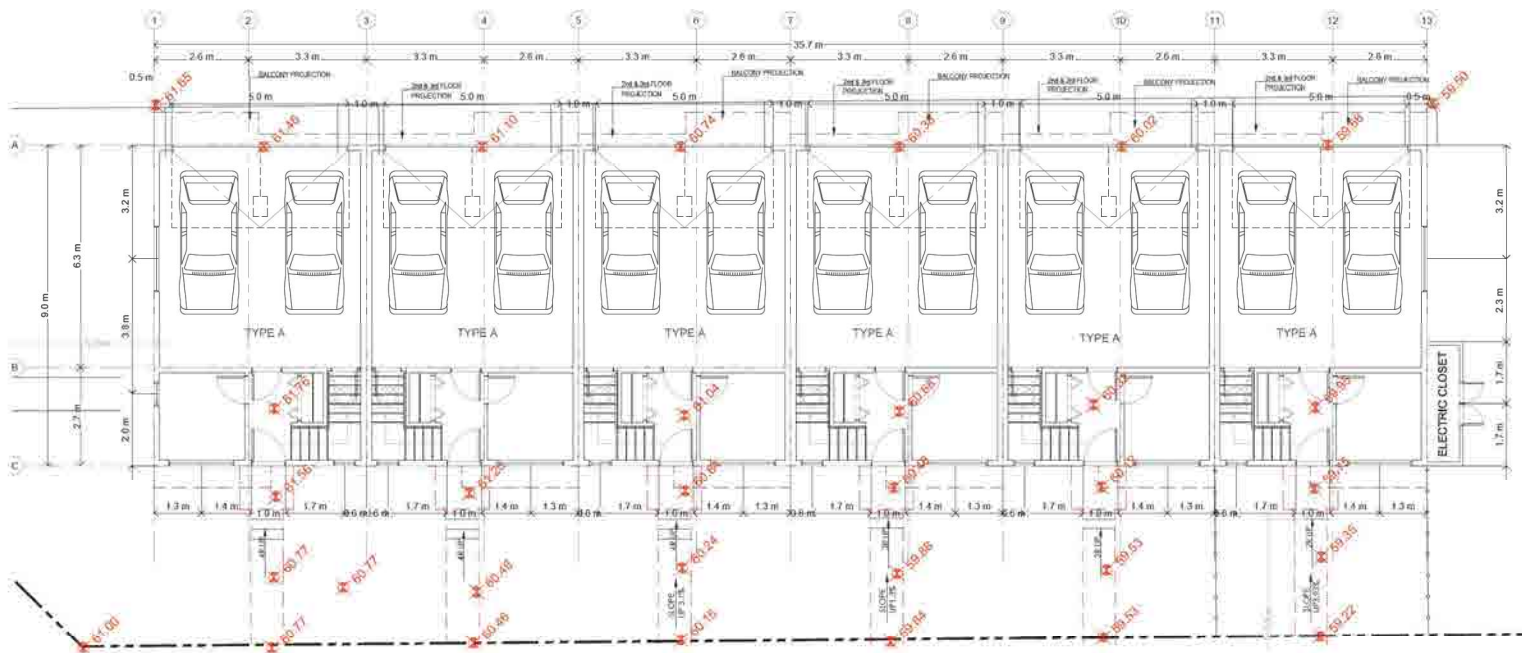
Project:
TOWNHOUSE DEVELOPMENT
Client Name:
GURDEV SANDHU
Project Address:
1662 24 AVE, SURREY BC
Zoning:
LOT-2
ELEVATIONS
BUILDING 6
Plot/lot Status:

REVISION		
No.	Date	Description
01	2023-08-20	D/P Drawing
02	2023-09-26	D/P Drawings



Scale: (1/8"=1'-0") DWG. NO:

A.3.6



1 MAIN FLOOR
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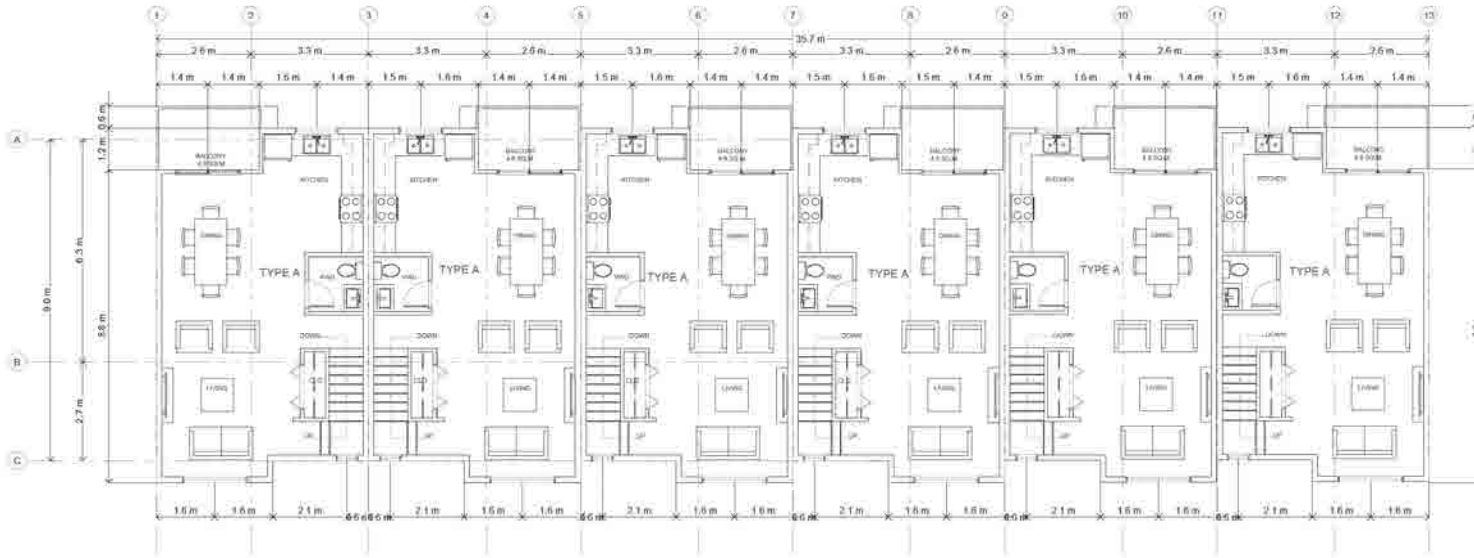
Project: TOWNHOUSE DEVELOPMENT
Client Name: DURDEV SANDHU
Project Address: 1407 24 AVE, SABBEE AC
Drawing: LOT 2 FLOOR PLANS BUILDING 7
Project Status:

REVISION		
No.	Date	Description
01	2024-09-22	D.P. Drawings
02	2024-09-26	E.P. Drawings

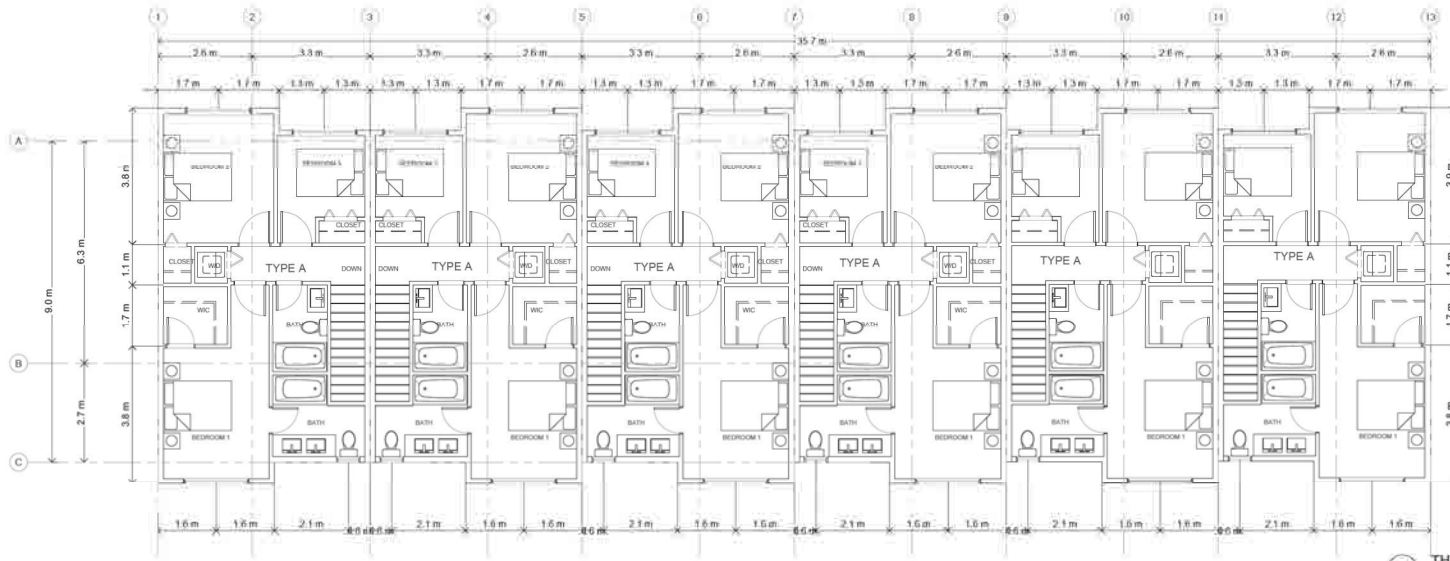
All Contractors to refer all to the specific information on this plan. Any work not shown on this plan is to be done in accordance with the applicable code requirements and the applicable details of the contract documents. It is the responsibility of the contractor to verify the accuracy of the information on this plan.



Scale: (1/16"=1'-0") DWG. NO.: A.2.11



1 SECOND FLOOR
Scale: (1/16"=1'-0")



2 THIRD FLOOR
Scale: (1/16"=1'-0")

Project:
TOWNHOUSE DEVELOPMENT
Client Name:
GURDEV SANDHU
Project Address:
18807 24 KIL, SARIYU DC
Plotting:
LOT 2
FLOOR PLANS
BUILDING 7
Project Status:

REVISION		
No.	Date	Description
01	2024-09-22	D.P. Drawings
02	2024-09-26	D.P. Drawings

All Drawings in this set to be read in conjunction with each other. Any errors or discrepancies to be reported to the Architect before commencing work. Contractors are responsible to ensure that all work is compliant to the appropriate Code of Practice and all applicable laws.



Scale: _____ DWG. NO.:
Scale: (1/16"=1'-0") **A.2.12**



1 NORTH ELEVATION
Scale: (1/8"=1'-0")



2 SOUTH (FACING 24 AVE.) ELEVATION
Scale: (1/8"=1'-0")

MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)



3 WEST ELEVATION
Scale: (1/8"=1'-0")



4 EAST ELEVATION
Scale: (1/8"=1'-0")



1294 56 Avenue
Stoney, BC V3A 0K4

1778 391-0107
Email: jason@cre8arch.com

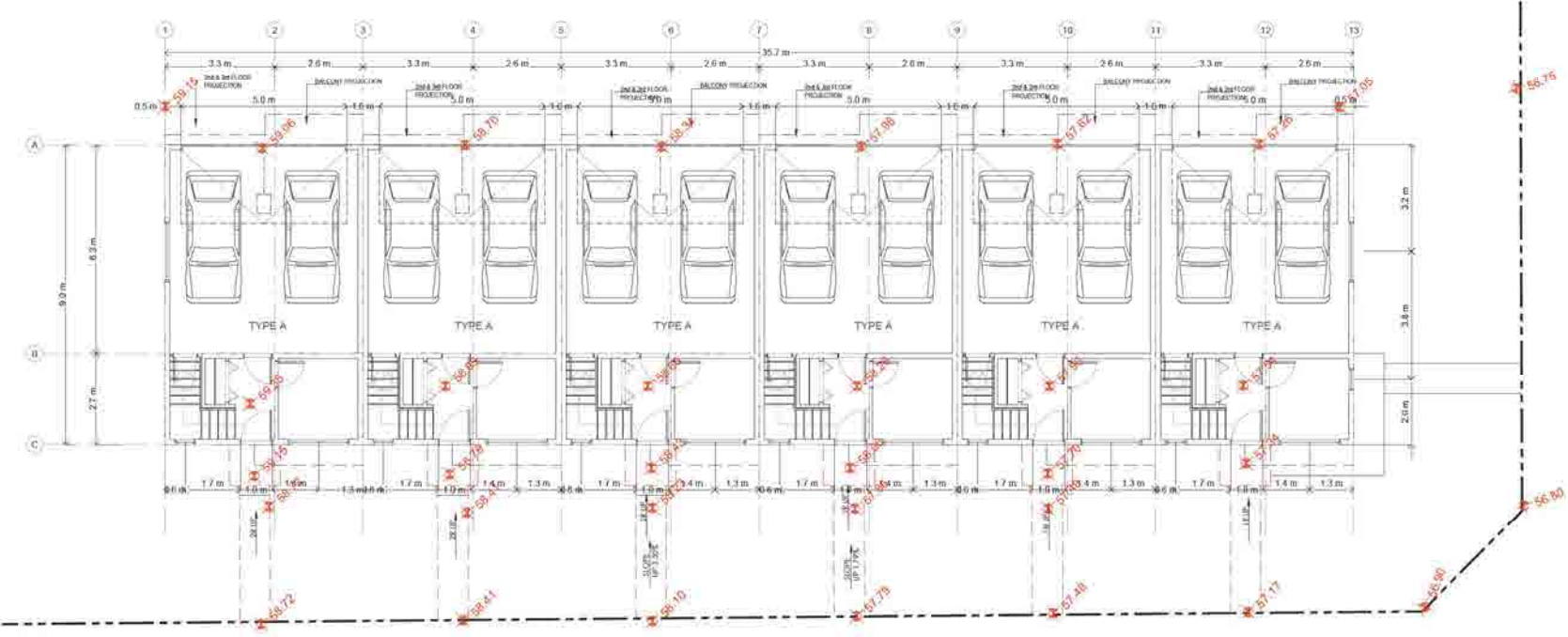
Cre 8 Architecture Ltd.

Project: TOWNHOUSE DEVELOPMENT
Client Name: SURJEB SANDHU
Project Address: 14887 24 Ave, 14888 St
Drawing: LOT-2 ELEVATIONS BUILDING 7
Project Status:

REVISION		
No.	Date	Description
01	2024-09-22	D/F Drawings
02	2024-09-25	D/F Drawings



Scale: (1/8"=1'-0") DWG. NO.: A.3.7



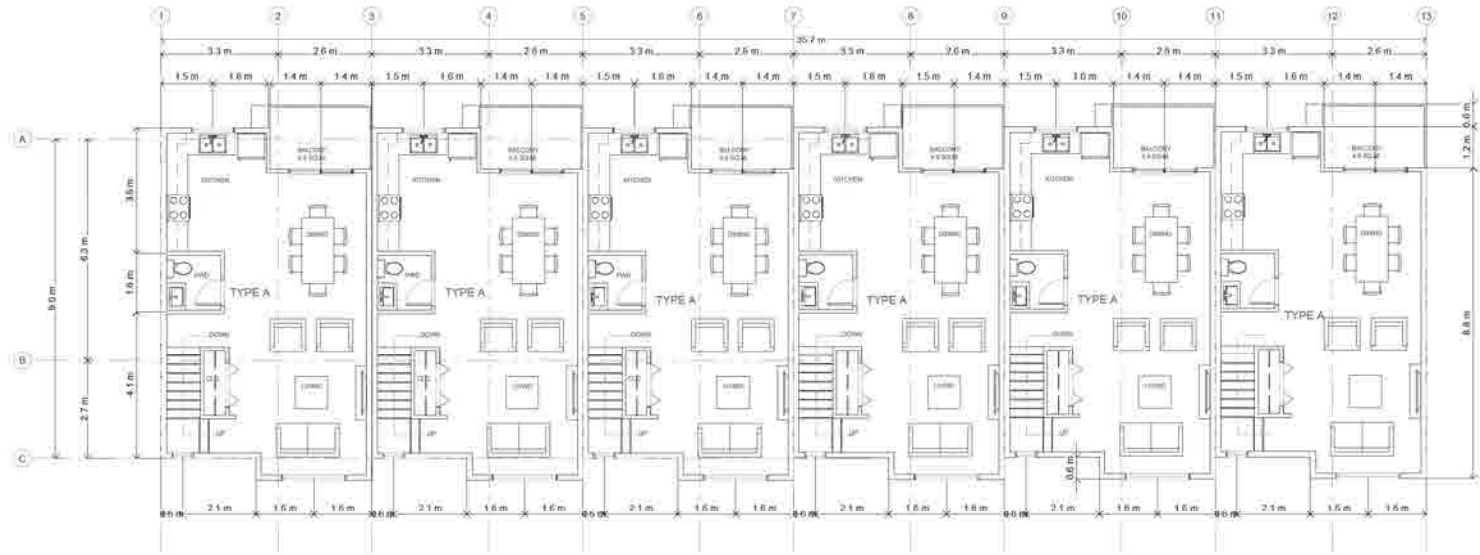
1 MAIN FLOOR
Scale: (1/16" = 1'-0")

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 1887 24 AVE, SURREY BC
Drawing: LOT-2 FLOOR PLANS BUILDING B
Project Status:

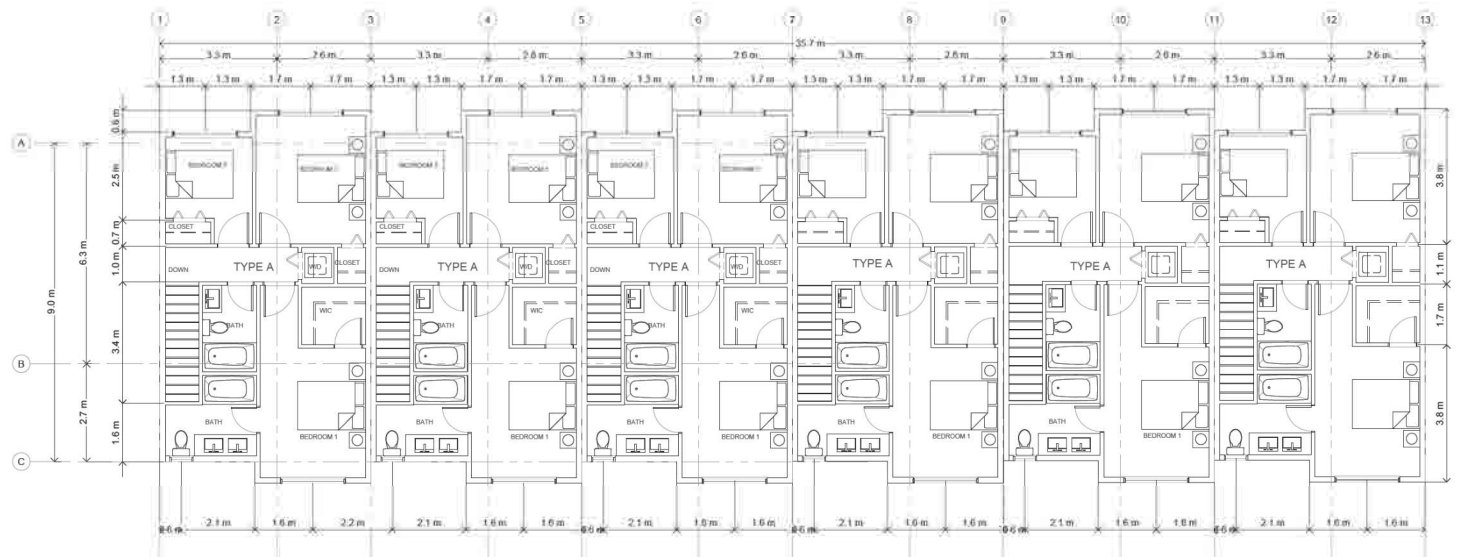
REVISION		
No.	Date	Description
01	2024-06-22	01P Drawings
02	2024-09-26	01P Drawings



Scale: (1/16" = 1'-0") DWG. NO:



1 SECOND FLOOR
Scale: (1/16"=1'-0")



2 THIRD FLOOR
Scale: (1/16"=1'-0")

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEY SANDHU
Project Address: 1460 24 Ave, Surrey BC
Drawing: LOT-2 FLOOR PLANS BUILDING 8
Project Status:

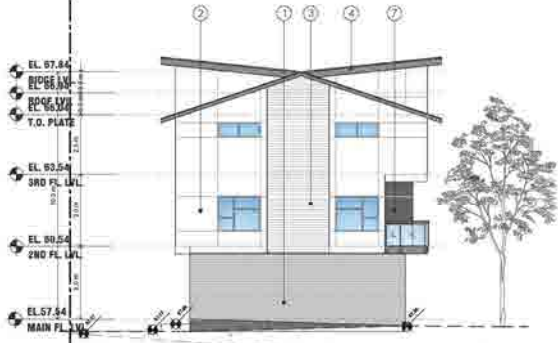
REVISION

No.	Date	Description
01	2024-06-27	D.P Drawings
02	2024-09-26	D.P Drawings

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Scale: 1/16"=1'-0" DWG. NO: A.2.14



1 NORTH ELEVATION
Scale: (1/8"=1'-0")



2 SOUTH ELEVATION
Scale: (1/8"=1'-0")

MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)



3 WEST ELEVATION
Scale: (1/8"=1'-0")



4 EAST ELEVATION
Scale: (1/8"=1'-0")



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Surrey, BC V3X 0G4

TEL: (778) 897-0167
Email: info@cre8architects.com

Cre 8 Architecture Ltd.

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 18007 24 AVE, SURREY BC
Drawing: LOT 2 ELEVATIONS BUILDING 8
Project Status:

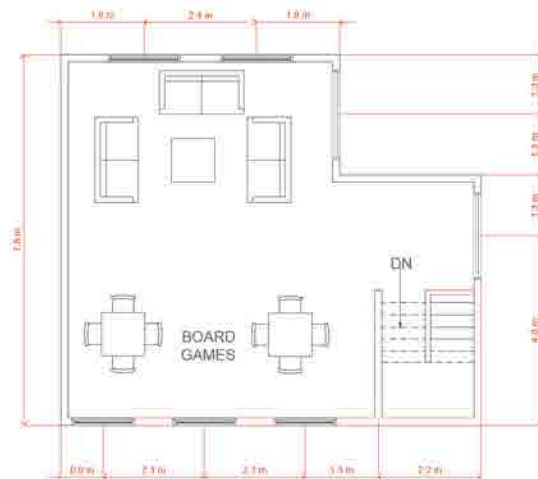
REVISION		
No.	Date	Description
01	2024-06-27	0 P. Drawings
02	2024-09-26	0 P. Drawings



Scale: (1/8"=1'-0") DWG. NO: A.3.8



1 MAIN FLOOR
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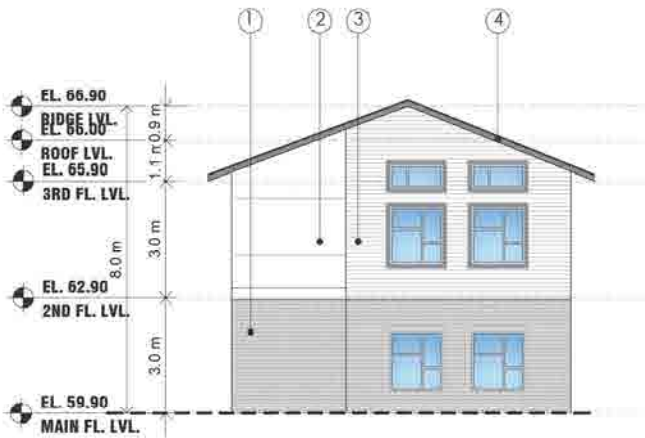


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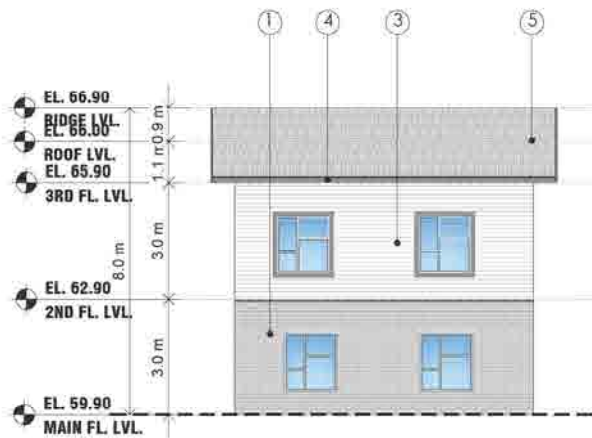
Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 1087 45 Ave. Surrey BC
Drawing: LOT 2 INDOOR AMENITY
Project Status:

REVISION		
No.	Date	Description
01	2024-06-27	E.P. Drawings
02	2024-05-26	E.P. Drawings

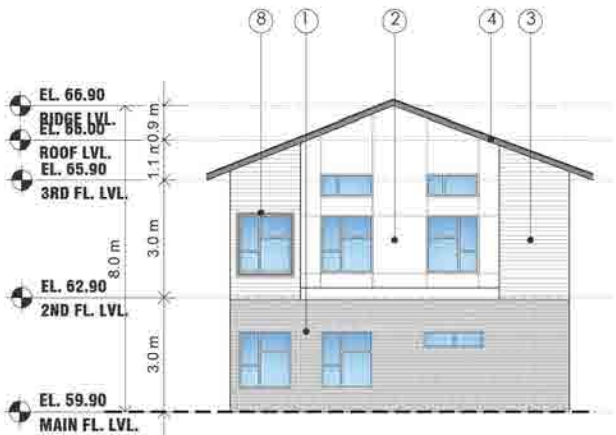




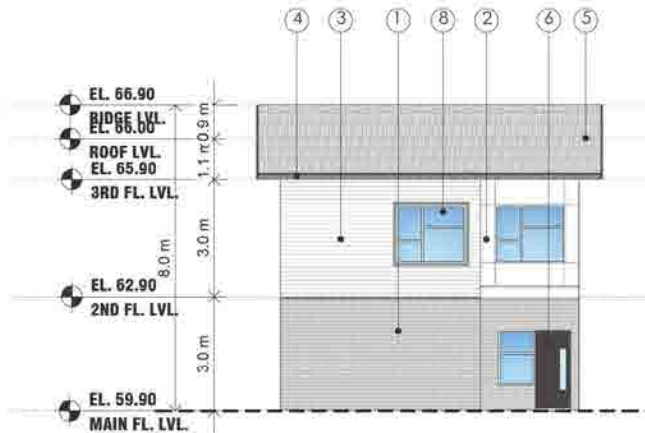
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Scale: (1/8"=1'-0")



2 WEST ELEVATION
Scale: (1/8"=1'-0")



3 SOUTH ELEVATION
Scale: (1/8"=1'-0")



4 EAST ELEVATION
Scale: (1/8"=1'-0")

MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)



Cre 8 Architecture Ltd.
10294 52 Avenue
Surrey, BC V3X 0C4
Email: jason@cre8architects.com
Tel: (778) 931-0787

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 18887 24 Ave, Surrey BC
Drawing: 1 OF 2
ELEVATIONS
INDOOR AMENITY
Project Status:

REVISION		
No.	Date	Description
01	2024-06-22	O.P. Drawings
02	2024-09-26	O.P. Drawings



Scale: (1/8"=1'-0") DWG. NO: A.3.9

LOT-3

LEGAL DESCRIPTION:
 LOT 'B' SECTION 13
 TOWNSHIP 1 PLAN 26457 NWD PART NW 1/4

CIVIC ADDRESS:
 18087 24 Ave
 SURREY, BC

ZONING INFORMATION:

ZONE

EXISTING NCP
 LAND USE

DENSITY

ALLOWABLE: 50.4 UNITS ON NET SITE AREA (30 UPA)
 (RM-22/RM 30 AS PER REDWOOD HEIGHTS NCP)
 PROPOSED: 45 UNITS (26.78 UPA ON NET SITE AREA)

LOT AREA

NET SITE AREA = 73,474.45 SFT (6826.00 SMT) = 1.69 Ac.

LOT DENSITY:
 FAR:

PERMITTED: 58457.57 SFT (5431.34 Sqm) / 73,474.45 SFT (6826.00 SMT)
 PROPOSED: = 0.80 (NET)

LOT COVERAGE:

PERMITTED: 45%
 PROPOSED: 2758.19 m² / 6826.00 m² = 40.40 %

BUILDING HEIGHT:

ALLOWABLE: 43 ft (13.00 m)
 PROPOSED: 33'9" ft (10.30 m)

INDOOR AMENITY SPACE:

REQUIRED: 3 SQ. M. PER D.U. = 3 x 45 UNITS = 135 SQ.M. (1453.12 SQ.FT.)
 PROPOSED: = 1672.95 SFT (155.42 Sqm)

OUTDOOR AMENITY SPACE:

REQUIRED: 3 SQ.M. PER D.U. = 3 x 45 UNITS = 135 SQ.M. (1453.12 SQ.FT.)
 PROPOSED: 1074.88 SQ.FT. (ON SURFACE) + 436.04 SQ.FT. (ROOF TOP) = 1510.92 SFT (140.36 SQ.M.)

SETBACKS:

EAST SIDE

PERMITTED: 4.5 m
 PROPOSED: 6.4 m (BUILDING 5)
 6.4 m (BUILDING 6)
 6.0 m (BUILDING 7)
 5.2 m (INDOOR AME.)
 8.3 m (BUILDING 8)

WEST SIDE

6.0 m
 5.0 m (BUILDING 1)
 5.9 m (BUILDING 4)

SOUTH SIDE

6.0 m
 4.5 m (5.00 m)

NORTH SIDE

PARKING

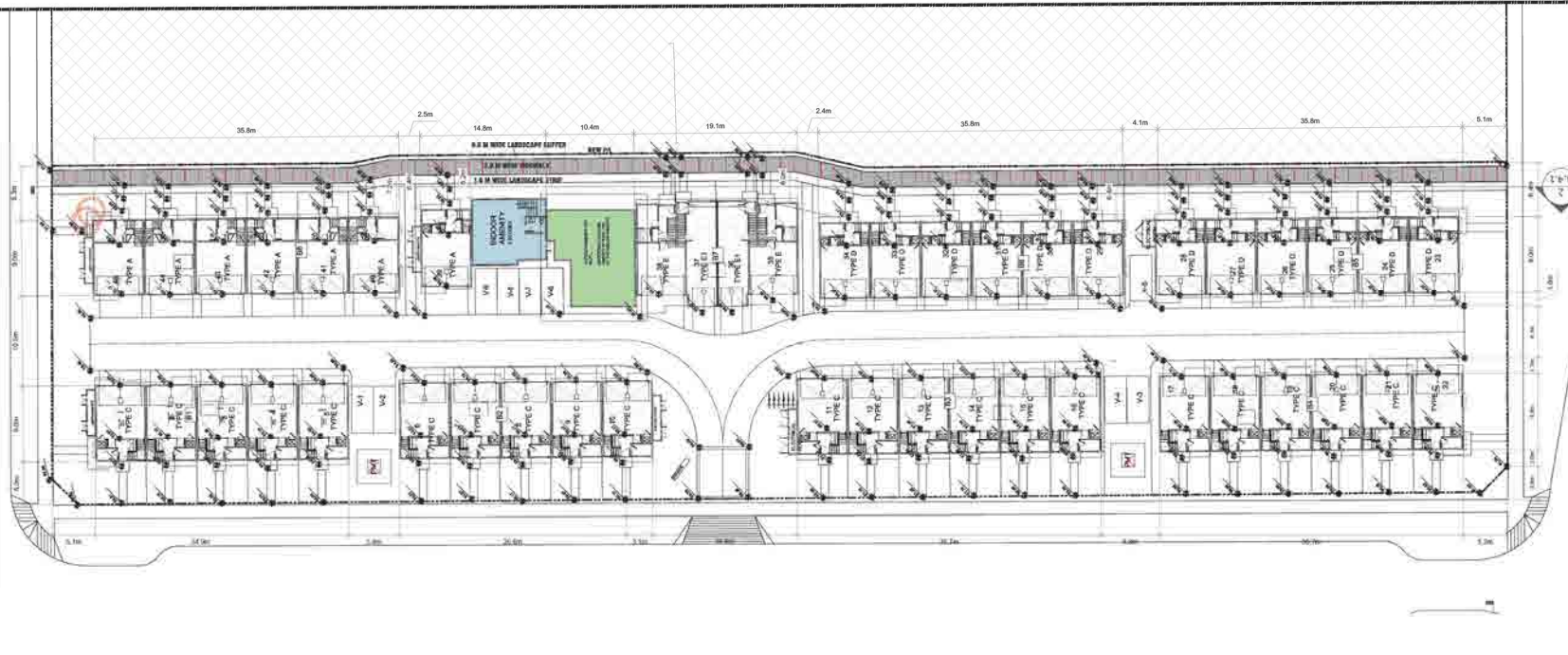
RESIDENTIAL: 2.0 STALLS PER UNIT = 2X45 = 90 STALLS
 REQUIRED: 90 STALLS
 PROVIDED: 90 STALLS

RESIDENTIAL VISITOR:

REQUIRED: 0.2 STALLS PER UNIT = 0.2X45 = 9.0 STALLS
 PROVIDED: 9 STALLS

TOTAL PROVIDED: 99 STALLS

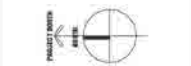
	Main Floor (without garage)	2nd Floor	3rd Floor	Total	
Building 1	879.05 SQ.FT.	2,906.50 SQ.FT.	3,197.53 SQ.FT.	6,983.08 SQ.FT.	
Building 2	879.05 SQ.FT.	2,906.50 SQ.FT.	3,197.53 SQ.FT.	6,983.08 SQ.FT.	
Building 3	879.05 SQ.FT.	2,906.50 SQ.FT.	3,197.53 SQ.FT.	6,983.08 SQ.FT.	
Building 4	879.05 SQ.FT.	2,906.50 SQ.FT.	3,197.53 SQ.FT.	6,983.08 SQ.FT.	
Building 5	1,065.03 SQ.FT.	3,376.63 SQ.FT.	3,784.90 SQ.FT.	8,226.56 SQ.FT.	
Building 6	1,065.03 SQ.FT.	3,376.63 SQ.FT.	3,784.90 SQ.FT.	8,226.56 SQ.FT.	
Building 7	588.60 SQ.FT.	2,484.20 SQ.FT.	2,772.77 SQ.FT.	5,845.57 SQ.FT.	
Building 8	1,065.03 SQ.FT.	3,376.63 SQ.FT.	3,784.90 SQ.FT.	8,226.56 SQ.FT.	
			Total	58,457.57 SQ.FT.	5,431.34 SQ.M.



1204 St. Ann Street
 Burnaby, BC V5A 0G4

Cre 8 Architecture Ltd.

1617 171st Street
 Richmond, BC V6V 1G4



Project:
 TOWNHOUSE DEVELOPMENT
 Client Name:
 GURDEV SANDHU
 Project Address:
 18087 24 Ave, SURREY BC
 Drawing:

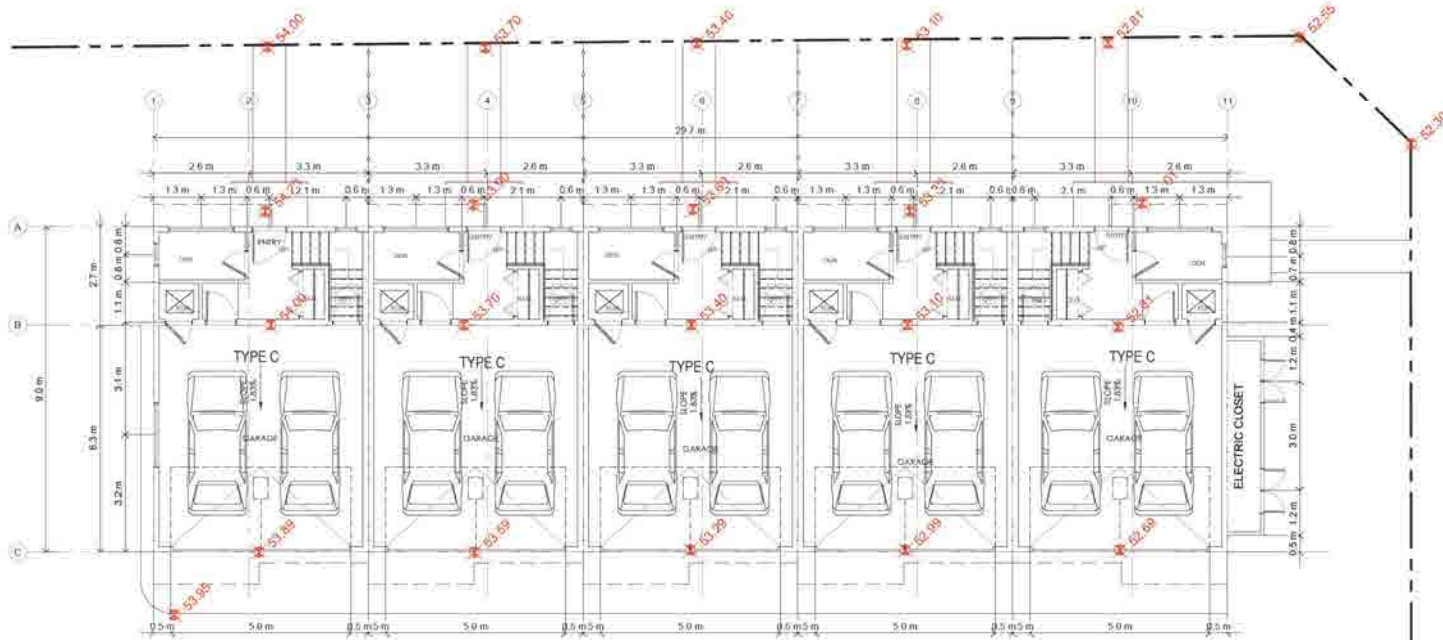
Project Status:
LOT 3
SITE LAYOUT

REVISION		
No.	Date	Description
01	2024-08-23	D.P. Drawings
02	2024-08-28	D.P. Drawings

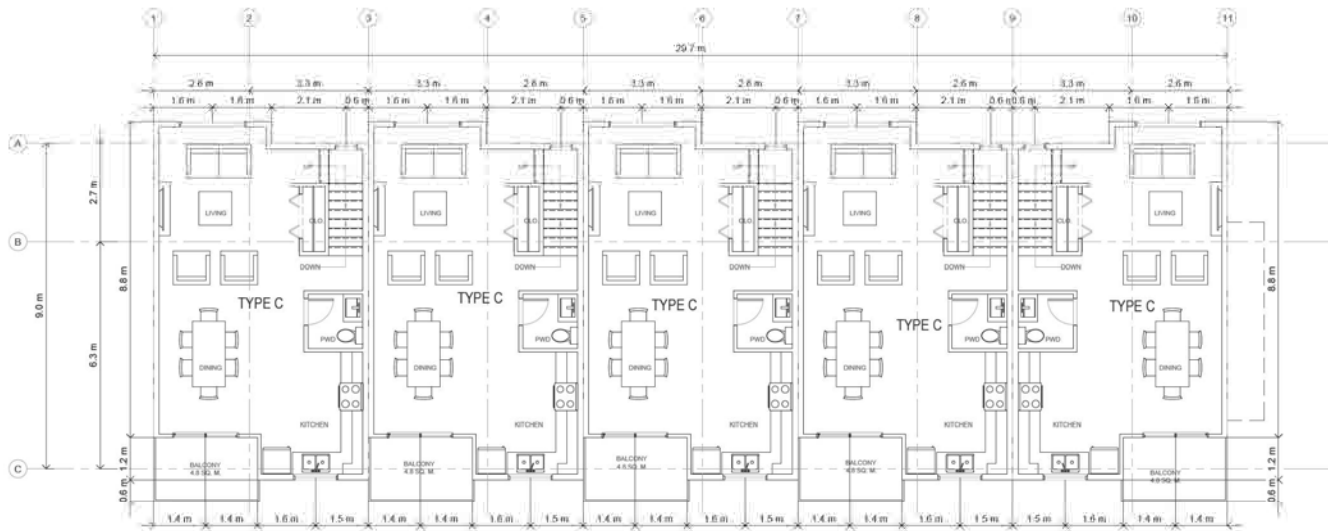


Scale:
 Scale: 1/8" = 1'-0"

DWG. NO:
A.1.3



1 MAIN FLOOR
Scale: (1/16"=1'-0")



2 SECOND FLOOR
Scale: (1/16"=1'-0")



2204 65 Avenue
Surrey BC V3R 0C4
Canada

cre8 ARCHITECTS
1 Mt. Tremblant Drive
Surrey BC V3R 0C4
Canada

Cre 8 Architecture Ltd.

Project:
TOWNHOUSE DEVELOPMENT
Client Name:
GURDEV SANDHU
Project Address:
1802 24 AVE, SURREY BC
Drawing:
LOT-3
FLOOR PLANS
BUILDING 1
Project Status:
DEVELOPMENT PERMIT

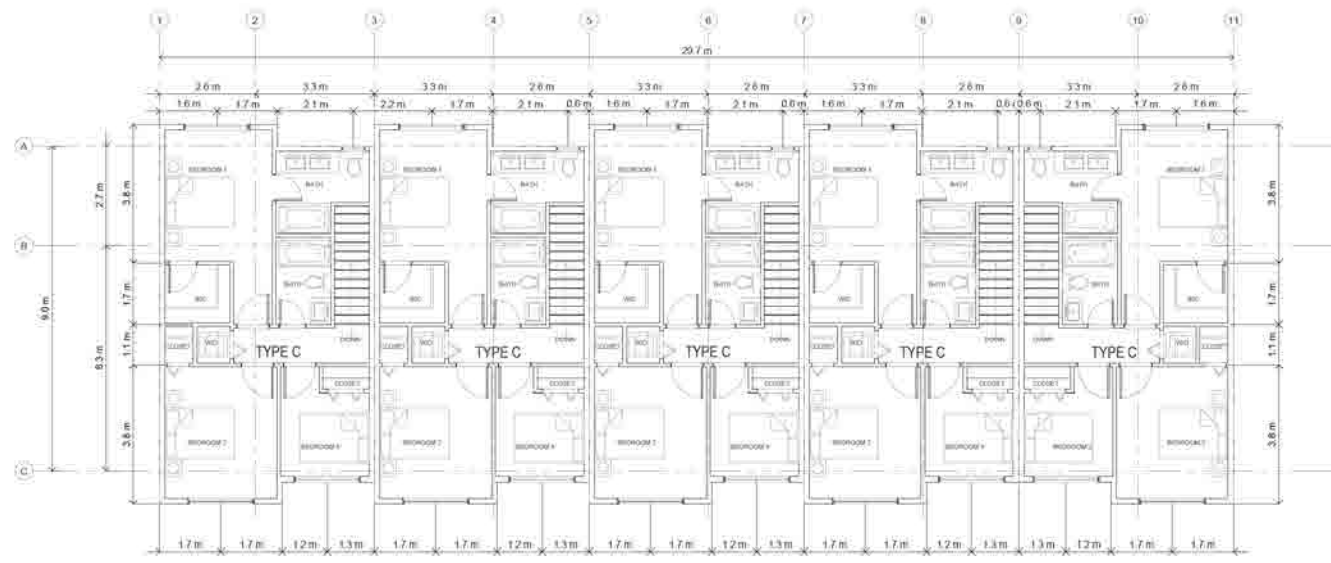
REVISION		
No.	Date	Description
01	2024-06-22	D/P Drawings
02	2024-09-26	D/P Drawings

All Drawings in this set to be read in conjunction with each other. Any errors or omissions shall be the responsibility of the client. The client shall be responsible for the accuracy of the information provided to the architect. The architect shall not be responsible for the accuracy of the information provided to the client.



Scale:
Scale: (1/16"=1'-0")

DWG. NO.:
A.2.1



1 THIRD FLOOR
Scale: 1/8" = 1'-0"

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 1062 34 AVT, SURREY BC
Drawing: LOT 3
FLOOR PLANS
BUILDING 1
Project Status:

REVISION		
No.	Date	Description
01	2023-09-22	137 Drawing
02	2023-09-26	R/P Discrep



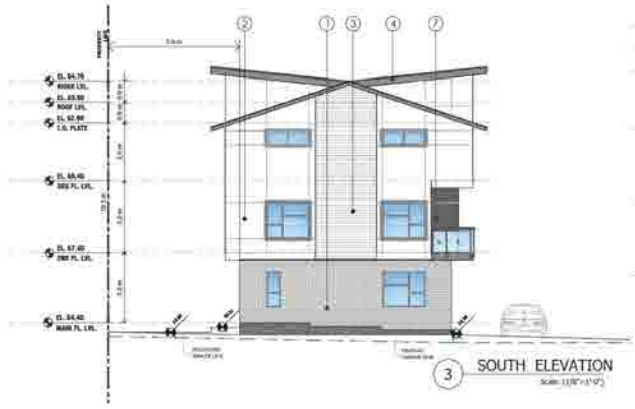
Scale: DWG. NO:
Scale: 1/8" = 1'-0" A.2.2



1 NORTH (25TH AVE) ELEVATION
Scale: 1/8"=1'-0"



2 WEST ELEVATION
Scale: 1/8"=1'-0"



3 SOUTH ELEVATION
Scale: 1/8"=1'-0"



4 EAST ELEVATION
Scale: 1/8"=1'-0"

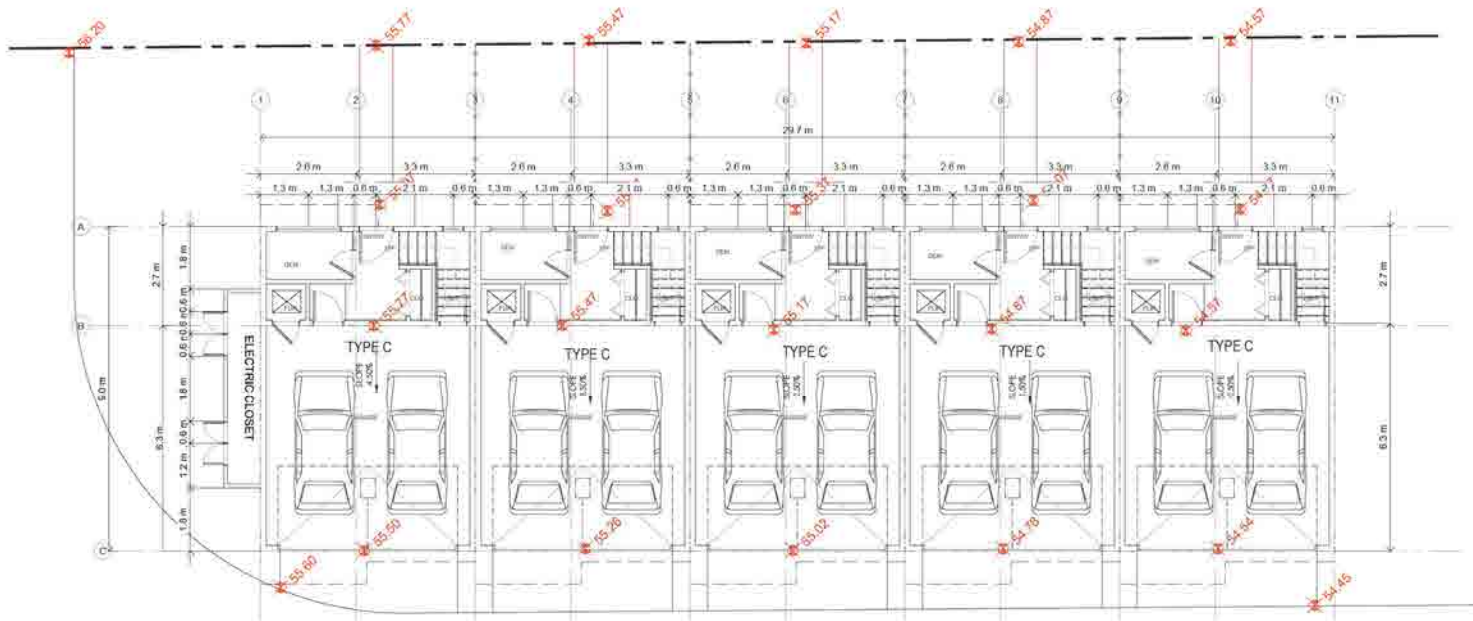
MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 16067 34 AVE., SURREY BC
Drawing: 1 OF 3
ELEVATIONS - BUILDING 1
Project Status:

REVISION		
No.	Date	Description
01	2023-02-23	1/3' Drawings
02	2023-05-26	0/0' Drawings



Scale: 1/8"=1'-0" DWG. NO.: A.3.1



1 MAIN FLOOR
Scale: (3/16"=1'-0")



7204 69 Avenue
Surrey, BC V3X 0C4

7 Mt. (778) 891-0127
Email: jay@cre8architects.com

Cre 8 Architecture Ltd.

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 34 AVT, LARBY BC
Drawing: LOT-1 FLOOR PLANS BUILDING 2
Project Status:

REVISION		
No.	Date	Description
01	2023-02-22	1/1 Drawing
02	2023-02-26	R/P Discrep



Scale: DWG. NO.:
Scale: (3/16"=1'-0") A.2.3

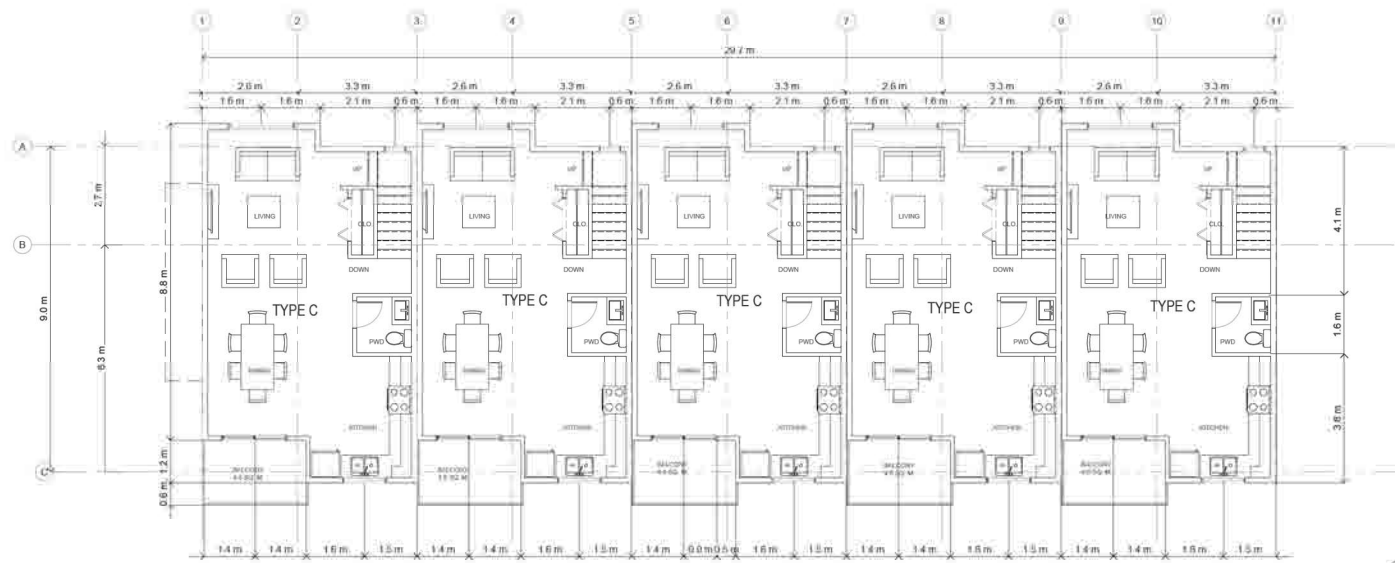
Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: JUNE 24 AVT, SURREY BC
Drawing: LOT-3 FLOOR PLANS BUILDING 2
Project Status:

REVISION		
No.	Date	Description
01	2024-09-22	D/P Drawings
02	2024-09-26	D/P Drawings

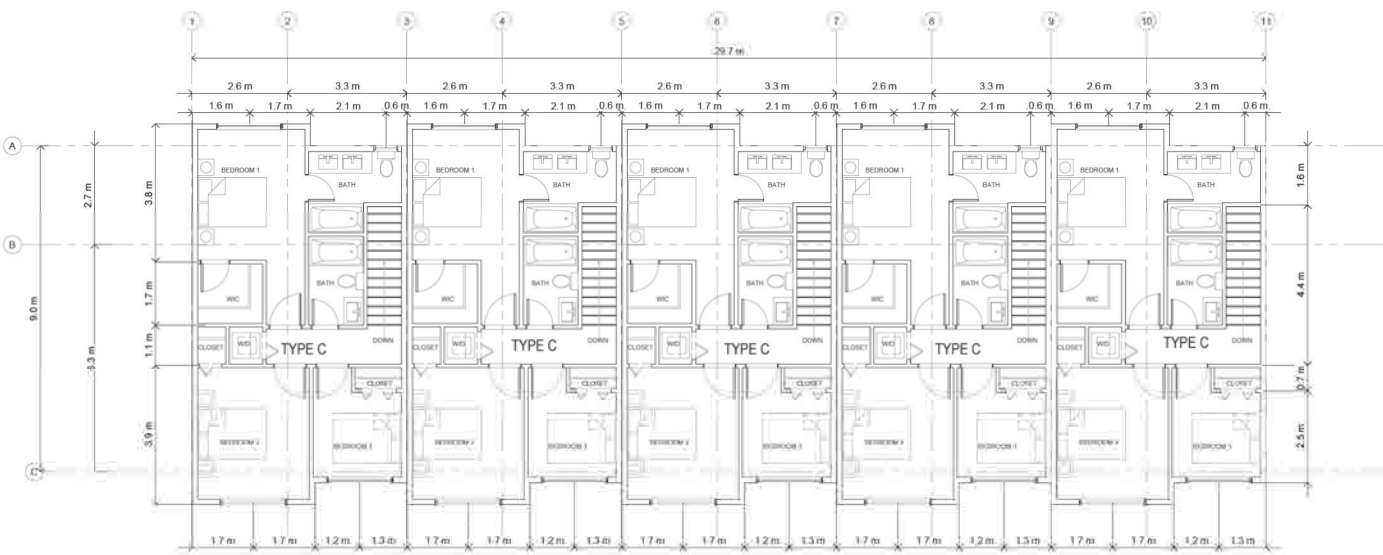
All Drawings in this set to be read in conjunction with each other. Any errors or omissions shall be the responsibility of the client. The architect shall not be responsible for any errors or omissions on the part of the contractor or any other third party.



Scale: 1/8" = 1'-0" DWG. NO: A.2.4



1 SECOND FLOOR
Scale: 1/8" = 1'-0"



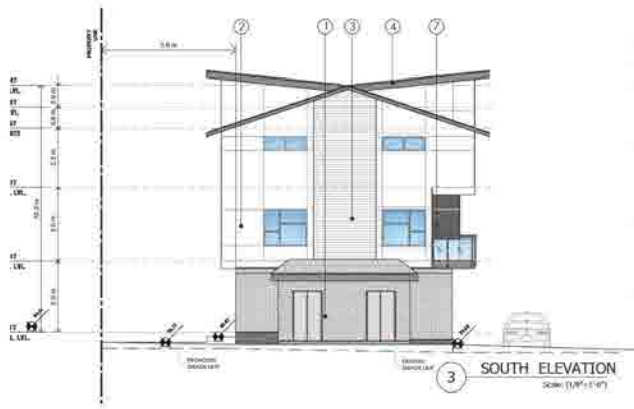
2 THIRD FLOOR
Scale: 1/8" = 1'-0"



1 NORTH ELEVATION
Scale: (1/8"=1'-0")



2 WEST ELEVATION
Scale: (1/8"=1'-0")



3 SOUTH ELEVATION
Scale: (1/8"=1'-0")



4 EAST ELEVATION
Scale: (1/8"=1'-0")

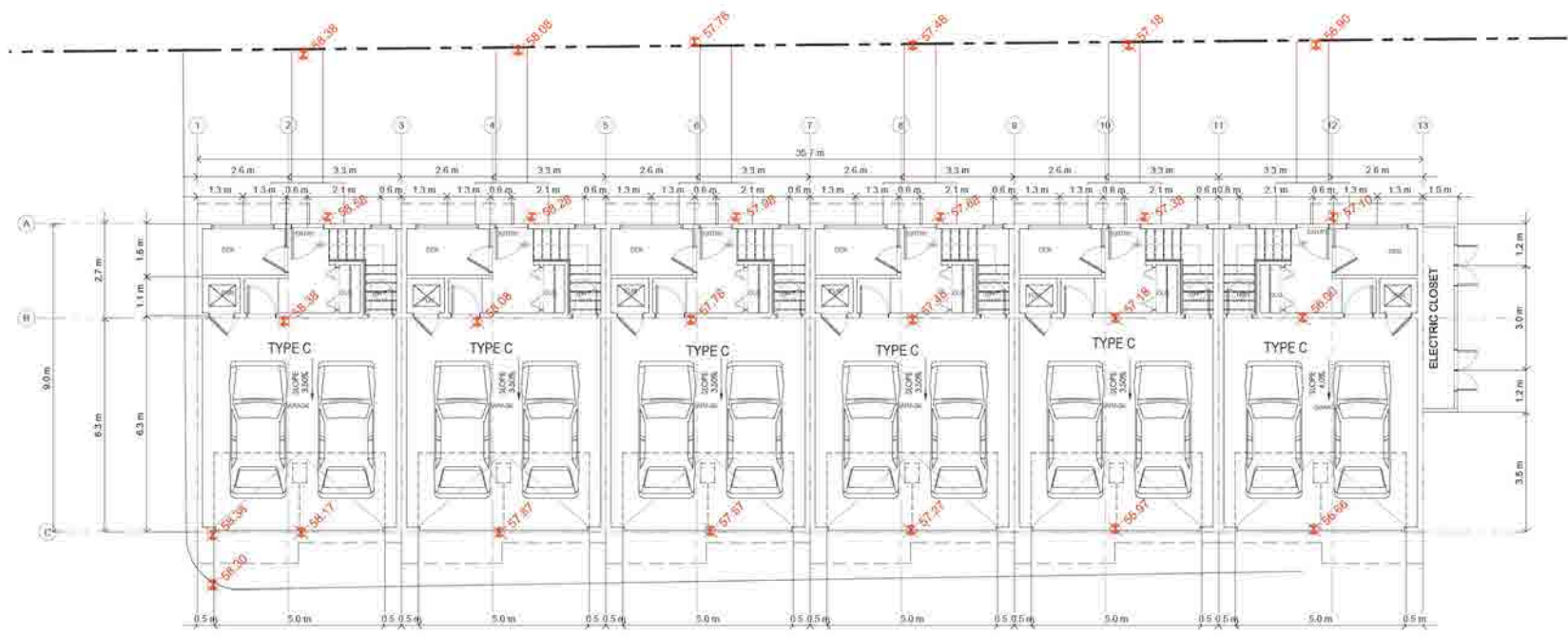
MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 16082 24 AVE., SURREY BC
Drawing: LOT-3 ELEVATIONS BUILDING 2
Project Status:

REVISION		
No.	Date	Description
01	2023-02-23	1/3' Drawings
02	2023-05-26	1/4' Drawings



Scale: 1/8"=1'-0" DWG. NO: A.3.2



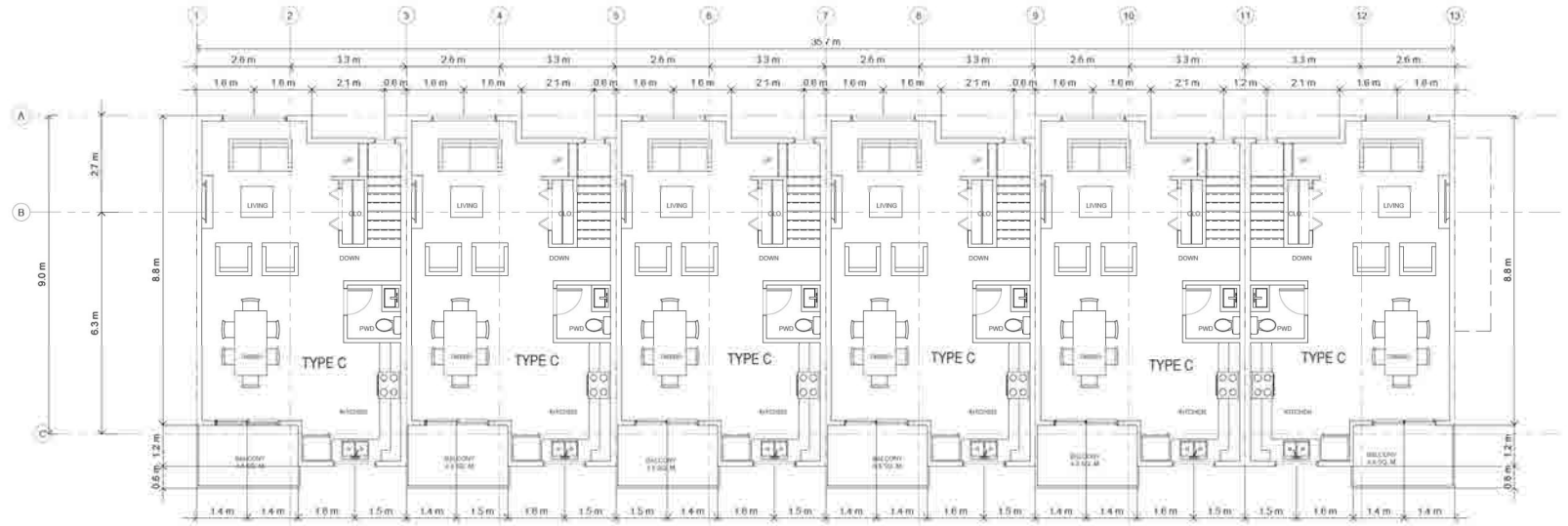
1 MAIN FLOOR
Scale: 1/32" = 1'-0"

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 34 AVT, LARBY BC
Drawing: LOT 3 FLOOR PLANS BUILDING 3
Project Status:

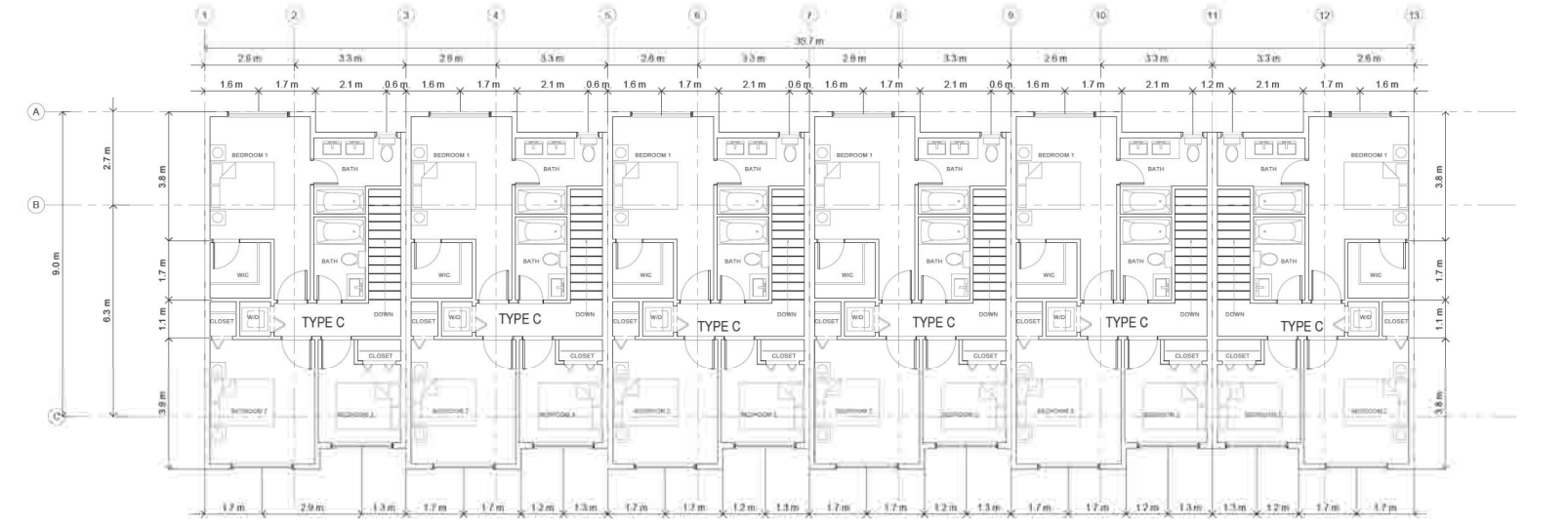
REVISION		
No.	Date	Description
01	2023-02-20	1st Drawing
02	2023-09-26	R/P Drawing



Scale: 1/32" = 1'-0" DWG. NO.: A.2.5



1 SECOND FLOOR
Scale: (1/16"=1'-0")



2 THIRD PLAN
Scale: (1/16"=1'-0")

Project:
TOWNHOUSE DEVELOPMENT
Client Name:
GURDEV SANDHU
Project Address:
JAWZ 34 AVT, SURREY BC
Drawing:
LOT-3
FLOOR PLANS
BUILDING 3
Project Status:

REVISION

No.	Date	Description
01	2024-08-22	D.P. Drawings
02	2024-09-26	D.P. Drawings

All Drawings in this set to be read in conjunction with each other. Any errors or omissions shall be the responsibility of the architect unless otherwise stated. Drawings are prepared by the architect unless otherwise stated. The information on this set may be subject to change without notice.



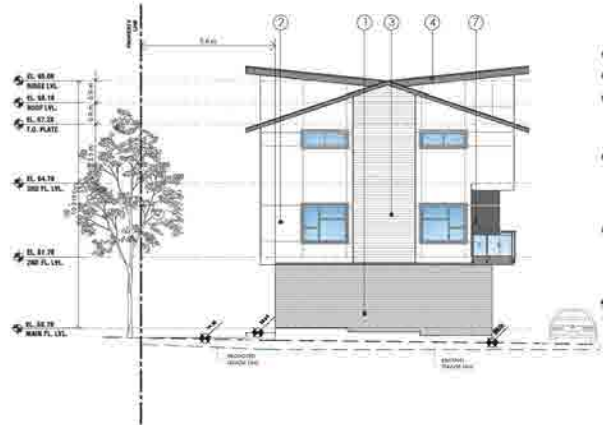
Scale: (1/16"=1'-0") DWG. NO.:
A.2.6



1 NORTH ELEVATION
Scale: (1/8"=1'-0")



2 WEST ELEVATION
Scale: (1/8"=1'-0")



3 SOUTH ELEVATION
Scale: (1/8"=1'-0")



4 EAST ELEVATION
Scale: (1/8"=1'-0")

MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 16067 34 AVE, SURREY BC
Drawing: 1 OF 3 ELEVATIONS BUILDING 3
Project Status:

REVISION		
No.	Date	Description
01	2023-02-23	D/P Drawings
02	2023-05-26	R/P Drawings

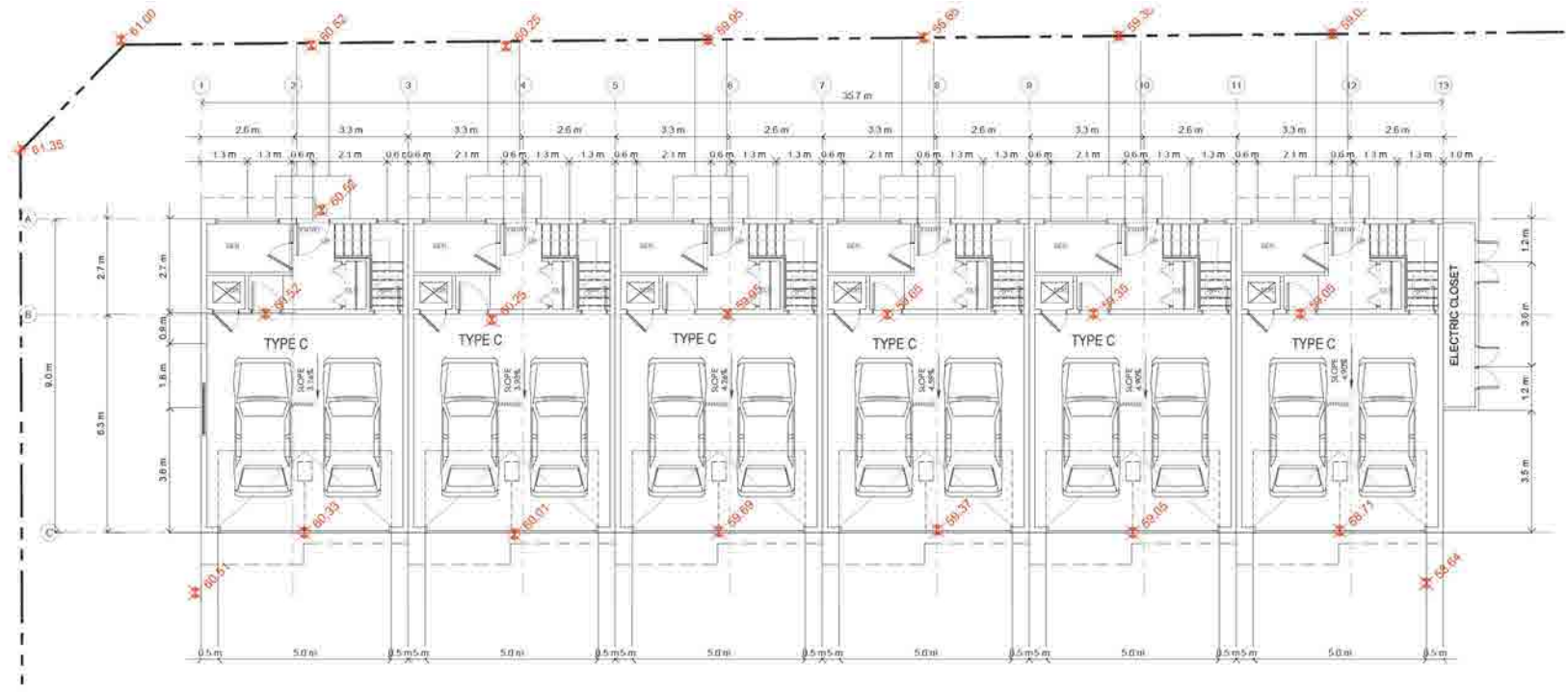


Scale: 1/8"=1'-0" DWG. NO.: A.3.3



2924 69 Avenue
Surrey, BC V3X 0A1
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Tel: (778) 991-0127

Cre 8 Architecture Ltd.



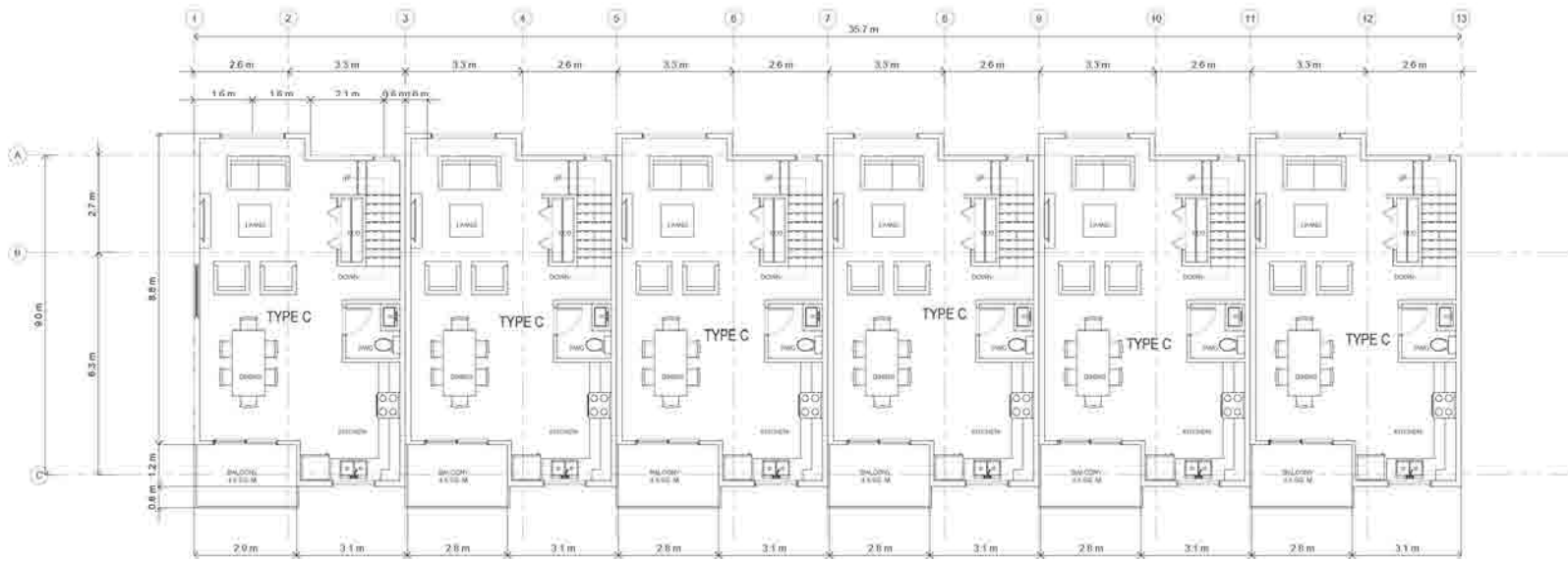
1 MAIN FLOOR
Scale: (3/16"=1'-0")

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 34 AV. LARBY BC
Drawing: LOT 3 FLOOR PLANS BUILDING 4
Project Status:

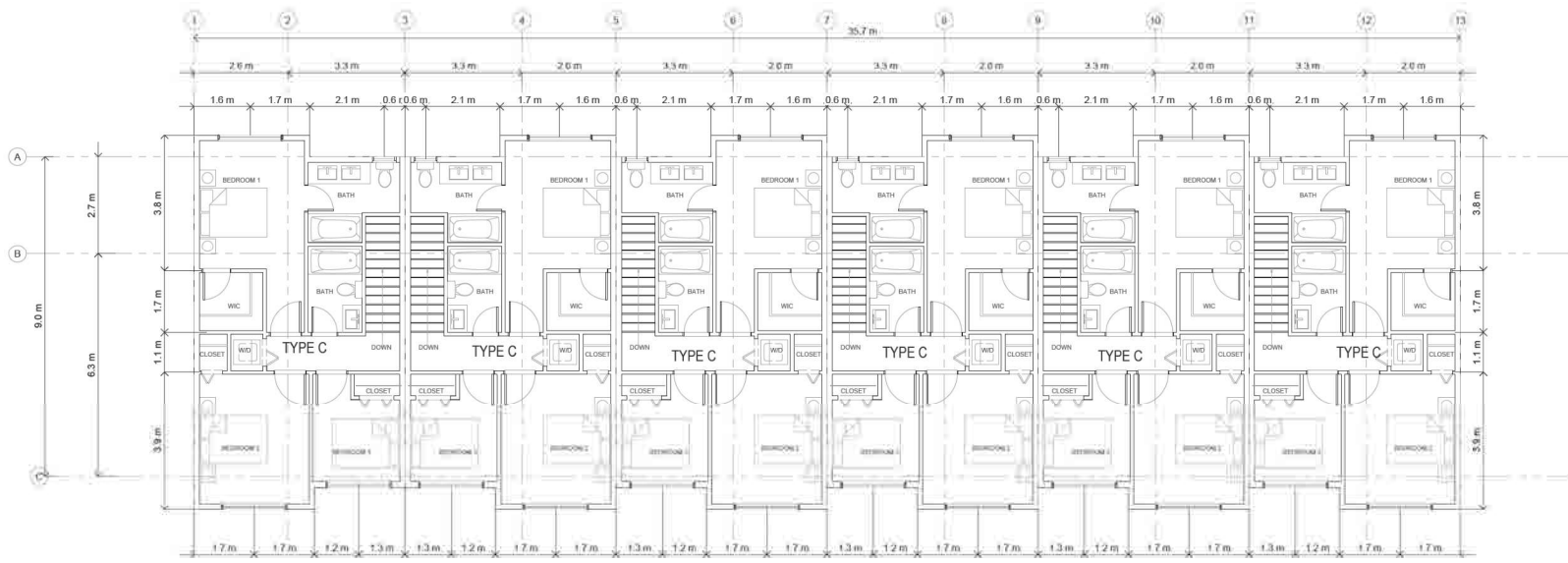
REVISION		
No.	Date	Description
01	2023-09-22	1/1 Drawing
02	2023-09-26	R/P Discrep



Scale: DWG. NO:
A.2.7



1 SECOND FLOOR
Scale: (3/16"=1'-0")



2 THIRD PLAN
Scale: (3/16"=1'-0")

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: JWC# 34 AVT, SURREY BC
Drawing: LOT 3 FLOOR PLANS BUILDING 4
Project Status:

REVISION

No.	Date	Description
01	2024-08-22	D.P Drawings
02	2024-09-26	D.P Drawings

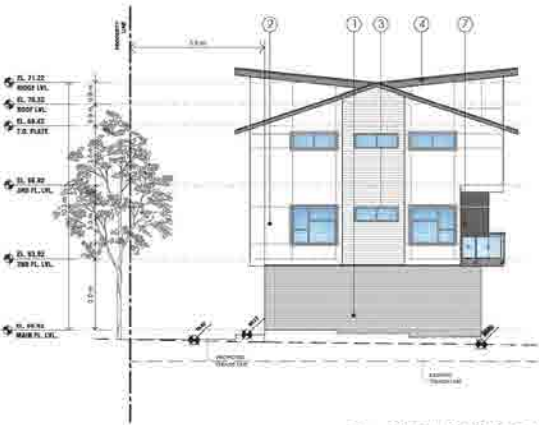




1 NORTH ELEVATION
Scale: (1/8"=1'-0")



2 WEST ELEVATION
Scale: (1/8"=1'-0")



3 SOUTH (FACING 24 AVE.) ELEVATION
Scale: (1/8"=1'-0")



4 EAST ELEVATION
Scale: (1/8"=1'-0")

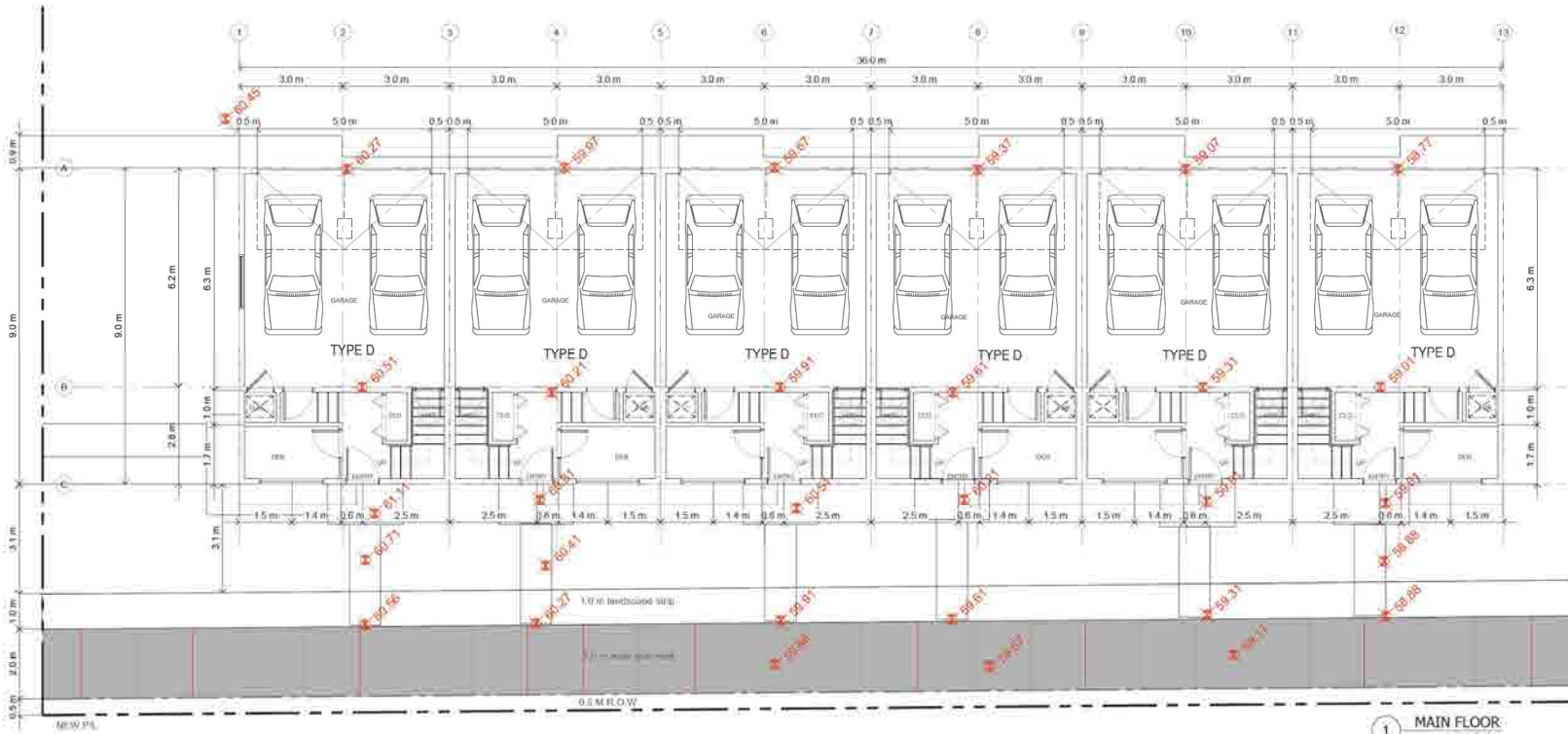
MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 1007 24 AVE, CALGARY, BC
Drawing: LOT 3 ELEVATIONS BUILDING 4
Project Status:

REVISION		
No.	Date	Description
01	2024-08-22	LOI Drawing
02	2024-09-26	D.P. Drawing



Scale: (1/8"=1'-0")
DWG. NO.: A.3.4

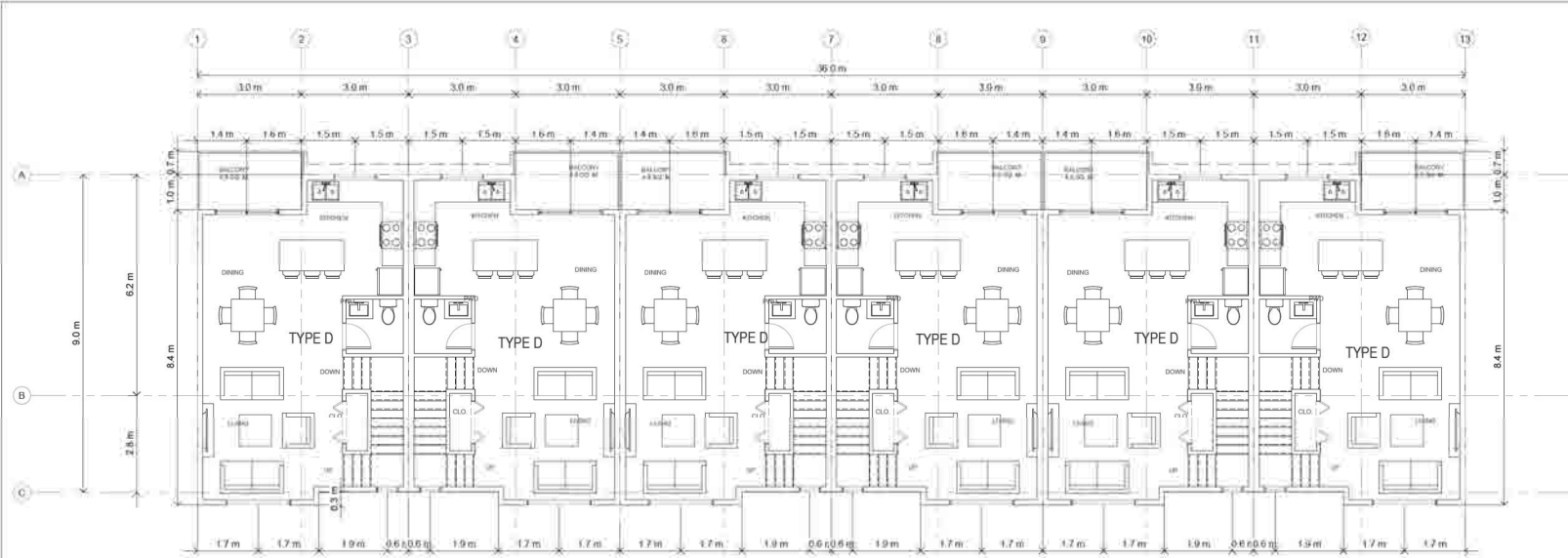


Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 34 AV. SLABBY BC
Drawing: LOT-3 FLOOR PLANS BUILDING-5
Plot/lot Status:

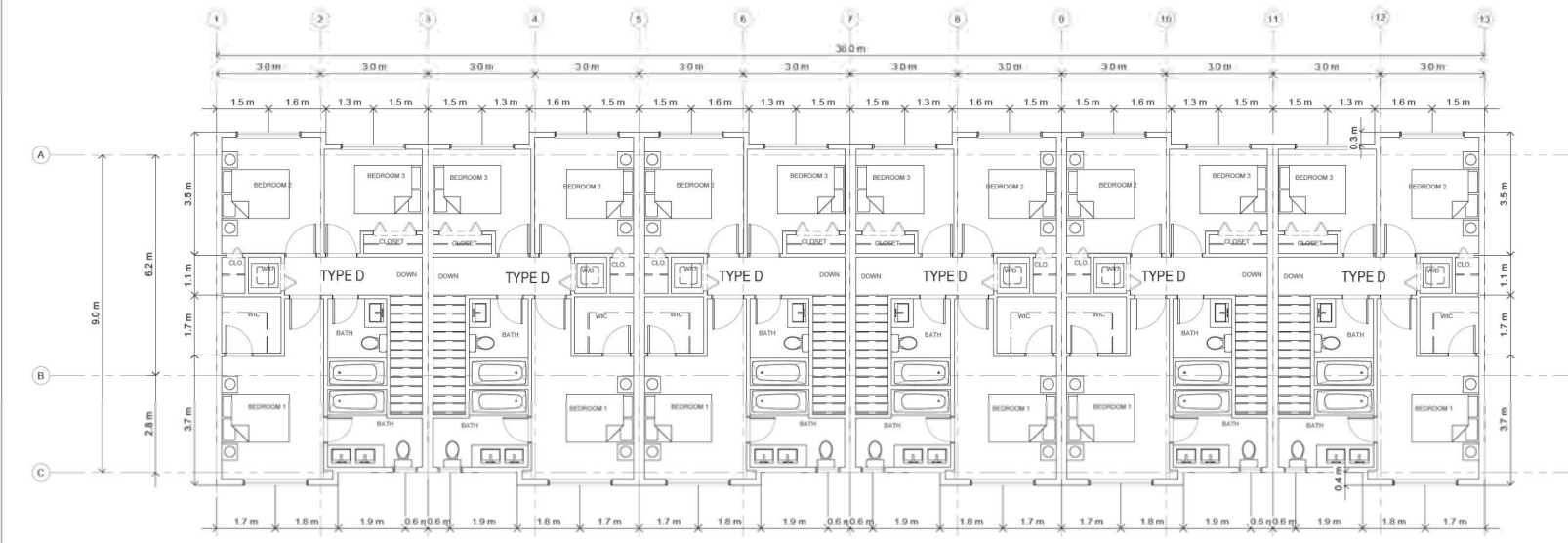
REVISION		
No.	Date	Description
01	2023-02-20	1/31 Drawings
02	2023-09-26	R/P Drawings



Scale: (1/8"=1'-0") DWG. NO.: A.2.9



1 SECOND FLOOR
Scale: (1/32"=1'-0")



2 THIRD FLOOR
Scale: (1/16"=1'-0")

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEEP SANDHU
Project Address: 1887 24 AVE, SURREY BC
Drawing: LOT-3 FLOOR PLANS BUILDING 6
Project Status:

REVISION		
No.	Date	Description
01	2024-04-22	D.P. Drawings
02	2024-09-26	D.P. Drawings

All Drawings in this set to be read in conjunction with each other. Any errors or omissions in the set shall be the responsibility of the Architect. The Architect's liability is limited to the professional services provided by the Architect. The Architect is not responsible for the construction of the building. © 2024-10-05



Scale: (1/16"=1'-0")

DWG. NO.: **A.2.10**



1 NORTH ELEVATION
Scale: (1/8"=1'-0")



3 SOUTH ELEVATION
Scale: (1/8"=1'-0")



2 WEST ELEVATION
Scale: (1/8"=1'-0")



4 EAST ELEVATION
Scale: (1/8"=1'-0")

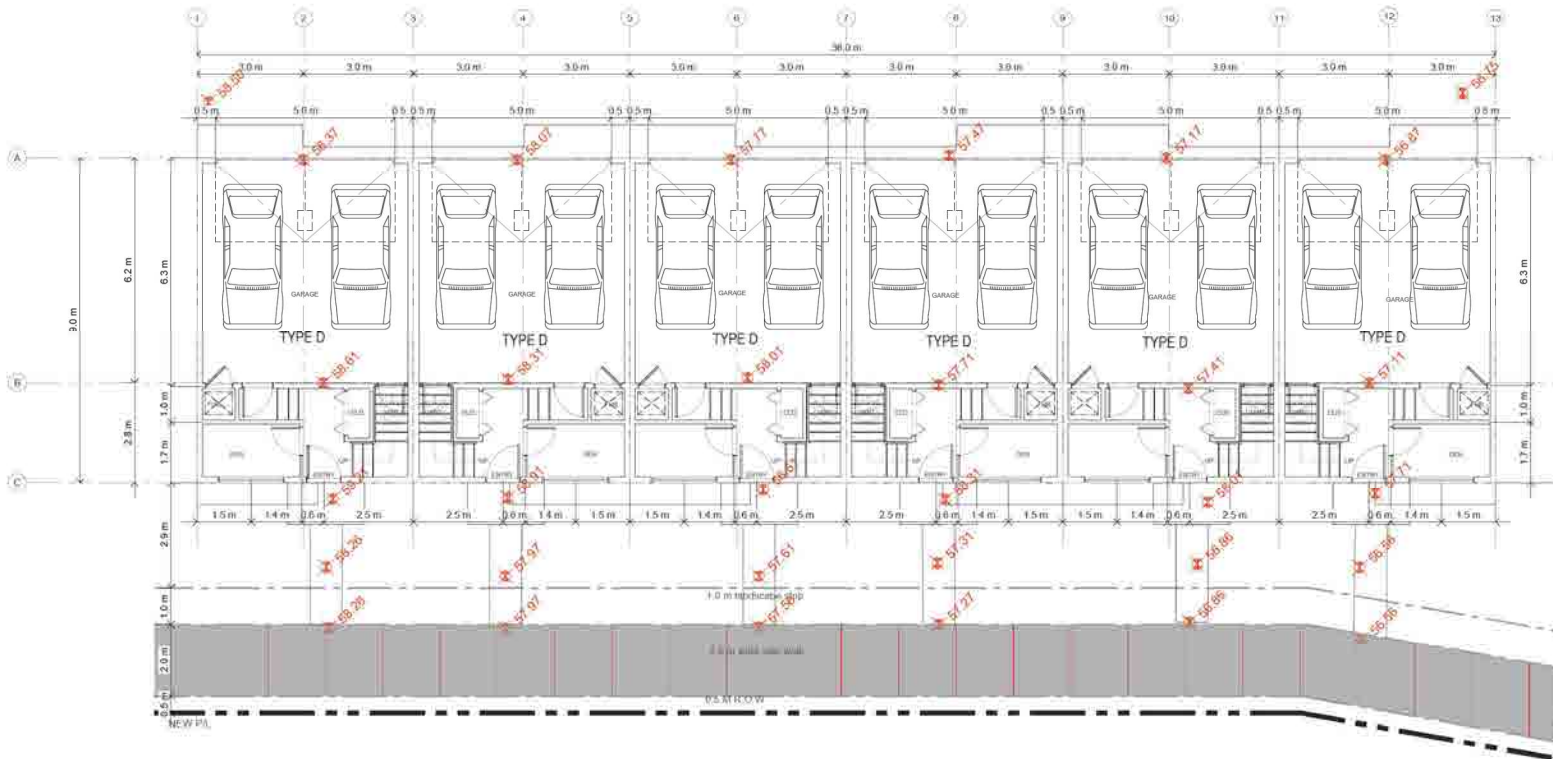
MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 16067 34 AVE, SURREY BC
Drawing: LOT 2 ELEVATIONS BUILDING 5
Project Status:

REVISION		
No.	Date	Description
01	2024-08-23	DWG Drawings
02	2024-09-26	R/P Drawings



Scale: (1/8"=1'-0") DWG. NO.: A.3.5

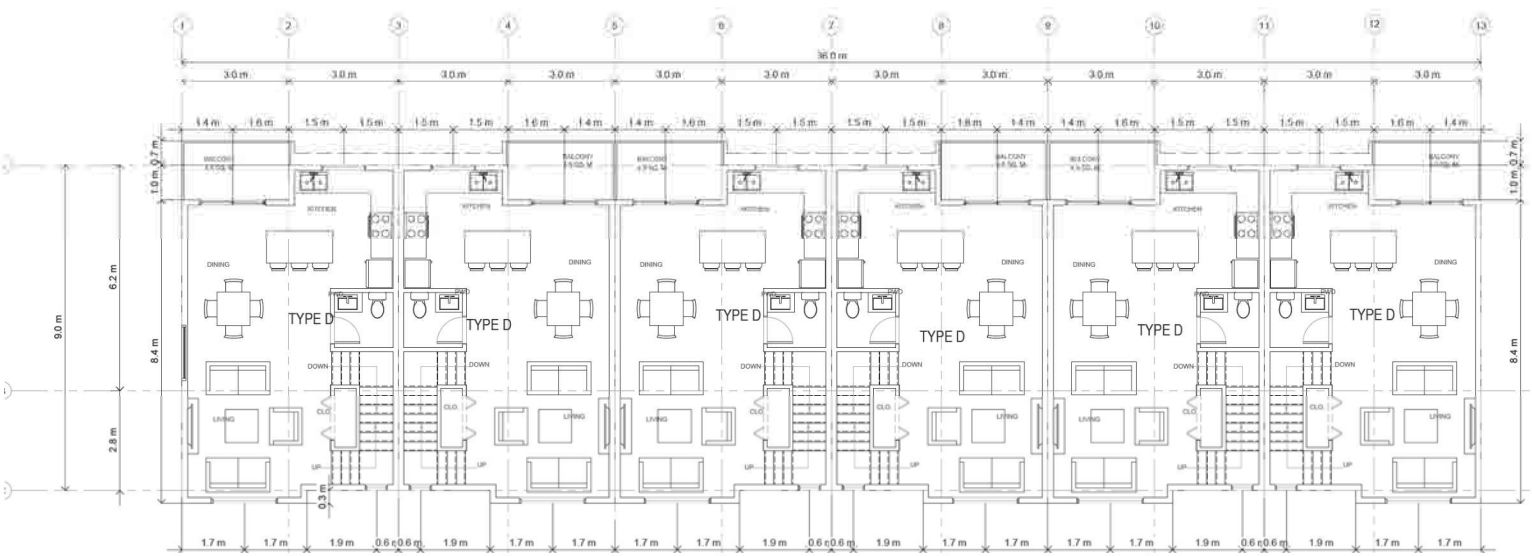


1 MAIN FLOOR
Scale: (1/4"=1'-0")

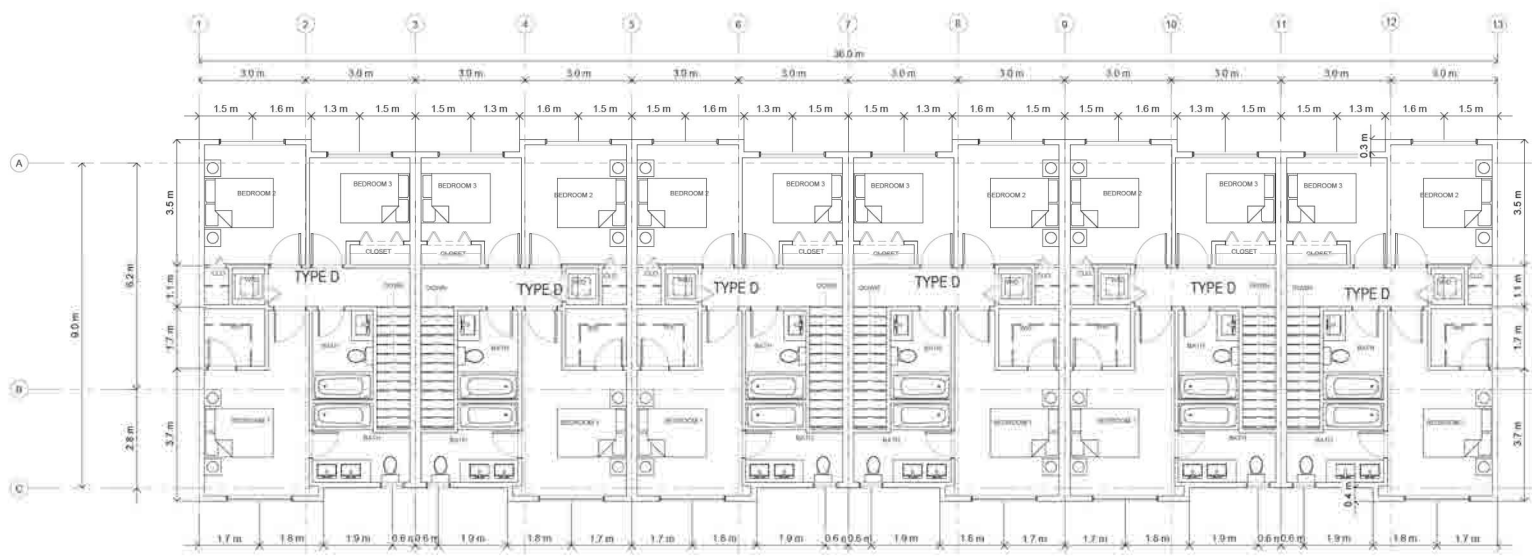
Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: MARK 34 AVE, SURREY BC
Drawing: FLOOR PLANS
BUILDING #
Plot/lot Status:

REVISION		
No.	Date	Description
01	2023-02-20	1st Drawings
02	2023-09-26	R/P Drawings





1 SECOND FLOOR
Scale: (3/16"=1'-0")



2 THIRD PLAN
Scale: (3/16"=1'-0")

Project:
TOWNHOUSE DEVELOPMENT
Client Name:
GURDEV SANDHU
Project Address:
JUNE 24 AVT, SURREY BC
Drawing:
LOT 3
FLOOR PLANS
BUILDING 5
Project Status:

REVISION

No.	Date	Description
01	2023-09-22	13% Drawings
02	2023-09-26	10% Drawings





1 NORTH ELEVATION
Scale: (1/8"=1'-0")



2 WEST ELEVATION
Scale: (1/16"=1'-0")



3 SOUTH ELEVATION
Scale: (1/8"=1'-0")



4 EAST ELEVATION
Scale: (1/16"=1'-0")

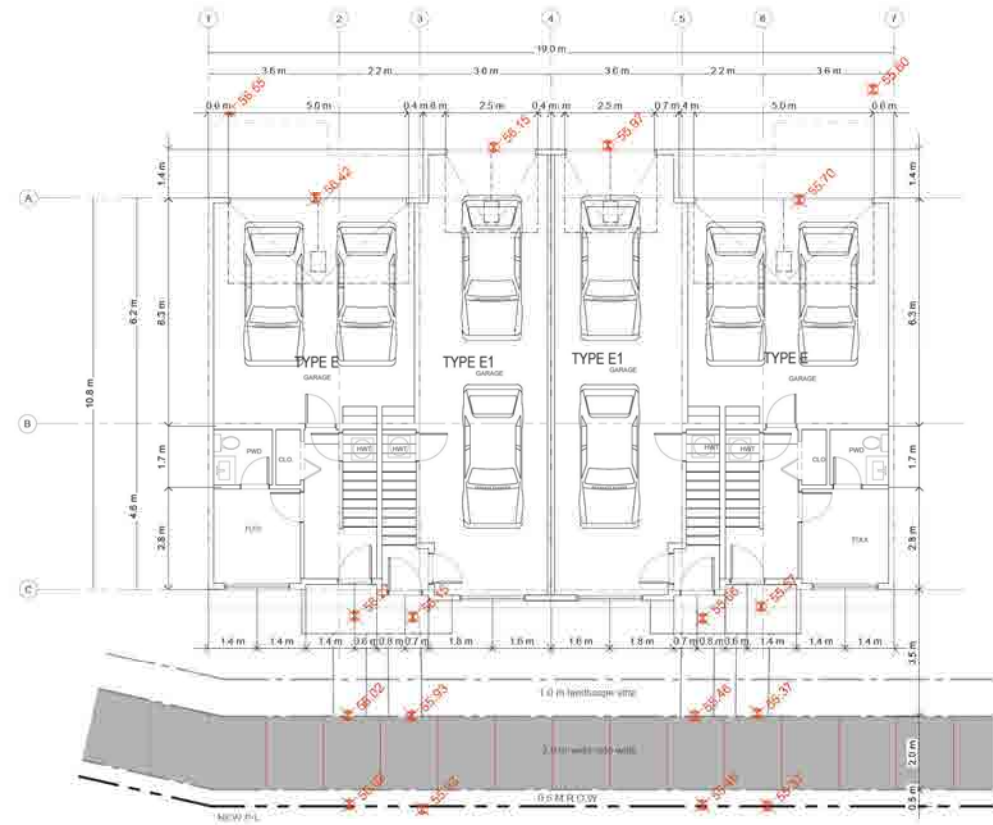
MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 16667 34 AVE, SURREY BC
Drawing: LOT 2 ELEVATIONS BUILDING #1
Project Status:

REVISION		
No.	Date	Description
01	2024-08-23	D/P Drawings
02	2024-09-26	D/P Drawings



Scale: (1/16"=1'-0") DWG. NO.: A.3.6



1 SECOND FLOOR
Scale: (3/16"=1'-0")

1 MAIN FLOOR PLAN
Scale: (3/16"=1'-0")

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 18007 24 AVE, SURREY BC
Drawing: LOT-3 FLOOR PLANS BUILDING 7
Plot/sect Status:

REVISION		
No.	Date	Description
01	2023-08-20	D/P Drawings
02	2023-09-26	D/P Drawings



Scale: DWG. NO.:
A.2.13

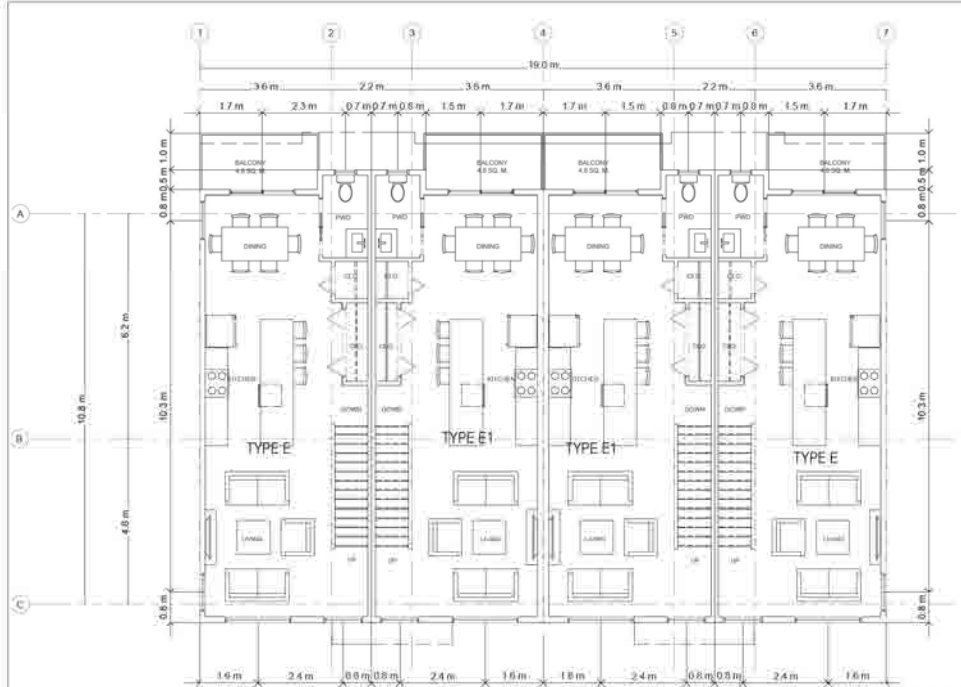
Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: JWC 34 AVT, SURREY BC
Drawing: LOT 3 FLOOR PLANS BUILDING 7
Plotset Status:

REVISION		
No.	Date	Description
01	2023-02-20	13' Drawing
02	2023-09-26	R/P Drawing

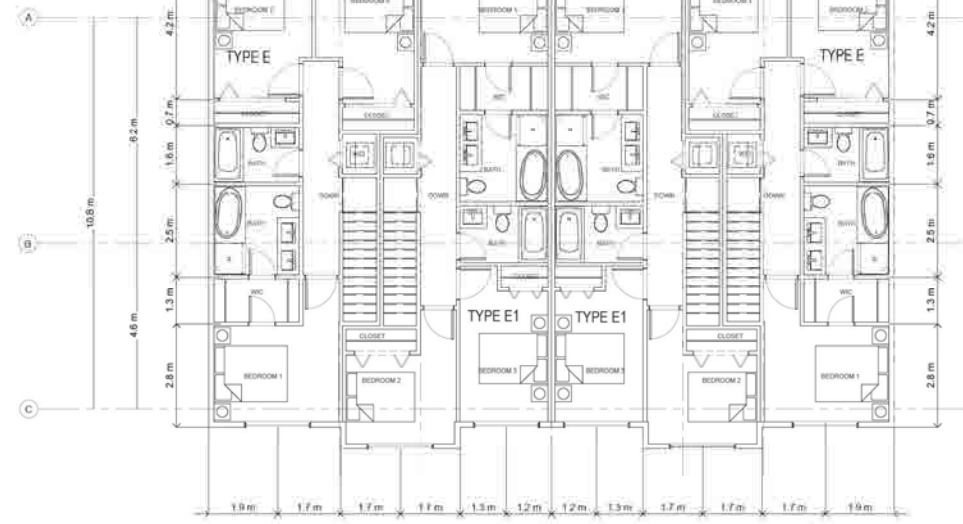
All dimensions in this set of drawings shall be in metric units (SI units). Any reference to dimensions in feet and inches shall be for information only. All dimensions shall be to the center line unless otherwise specified. The dimensions of the drawings shall be in accordance with the requirements of the applicable Building Code Authority. © 2023 Cre 8 Architecture Ltd. All rights reserved.



Scale: (1/8"=1'-0") DWG. NO: A.2.14



1 SECOND FLOOR
Scale: (1/8"=1'-0")



2 THIRD FLOOR
Scale: (1/8"=1'-0")



1 NORTH ELEVATION
Scale: (1/8"=1'-0")



2 SOUTH ELEVATION
Scale: (1/8"=1'-0")

MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)



3 WEST ELEVATION
Scale: (1/8"=1'-0")



4 EAST ELEVATION
Scale: (1/8"=1'-0")



2204 69 Avenue
Surrey, BC V3X 0C4
Email: jessie@cre8architects.ca
Tel: (778) 891-0187

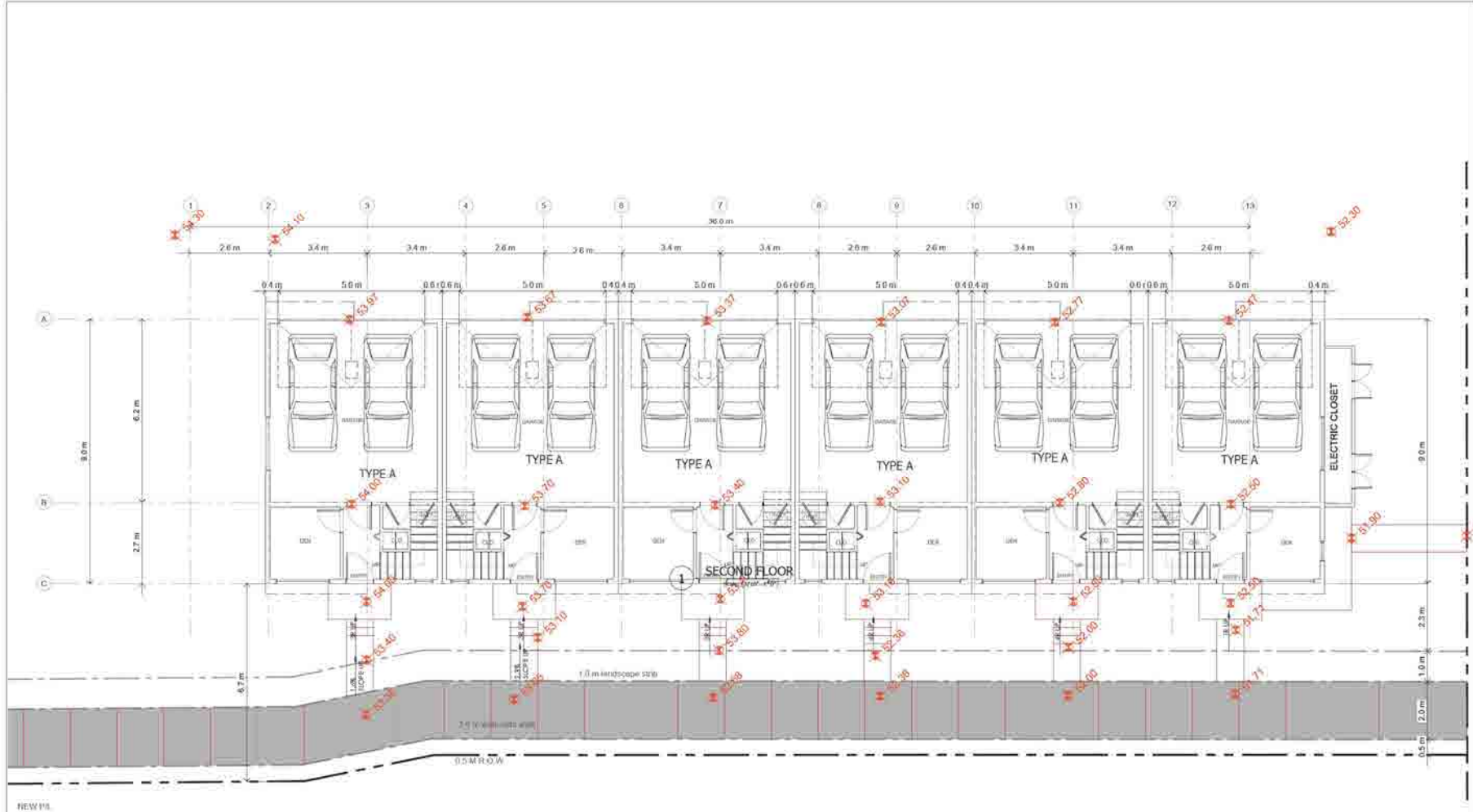
Cre 8 Architecture Ltd.

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 1602 34 AVE., SURREY BC
Drawing: 1 OF 2
ELEVATIONS - BUILDING 7
Project Status:

REVISION		
No.	Date	Description
01	2024-02-23	1st Drawing
02	2024-05-28	RP Drawing



Scale: (1/8"=1'-0") DWG. NO: A.3.7



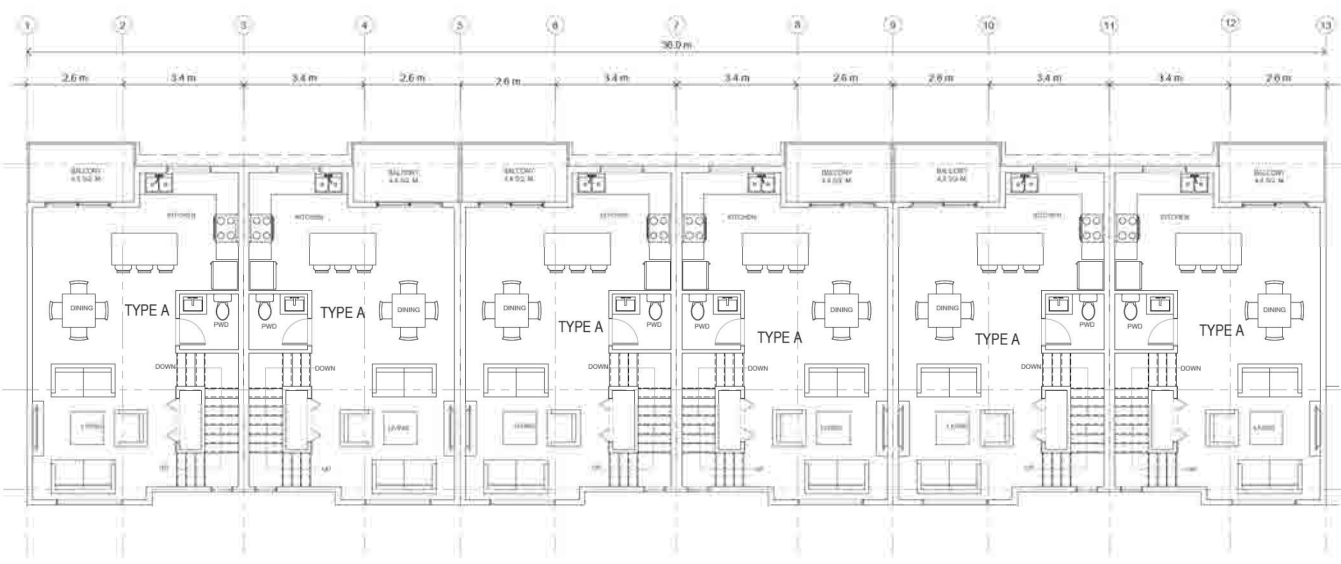
Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 34 AVT, SURREY BC
Drawing: LOT 3 FLOOR PLANS BUILDING 7
Plotset Status:

REVISION		
No.	Date	Description
01	2023-02-20	01P Drawings
02	2023-05-26	01P Drawings

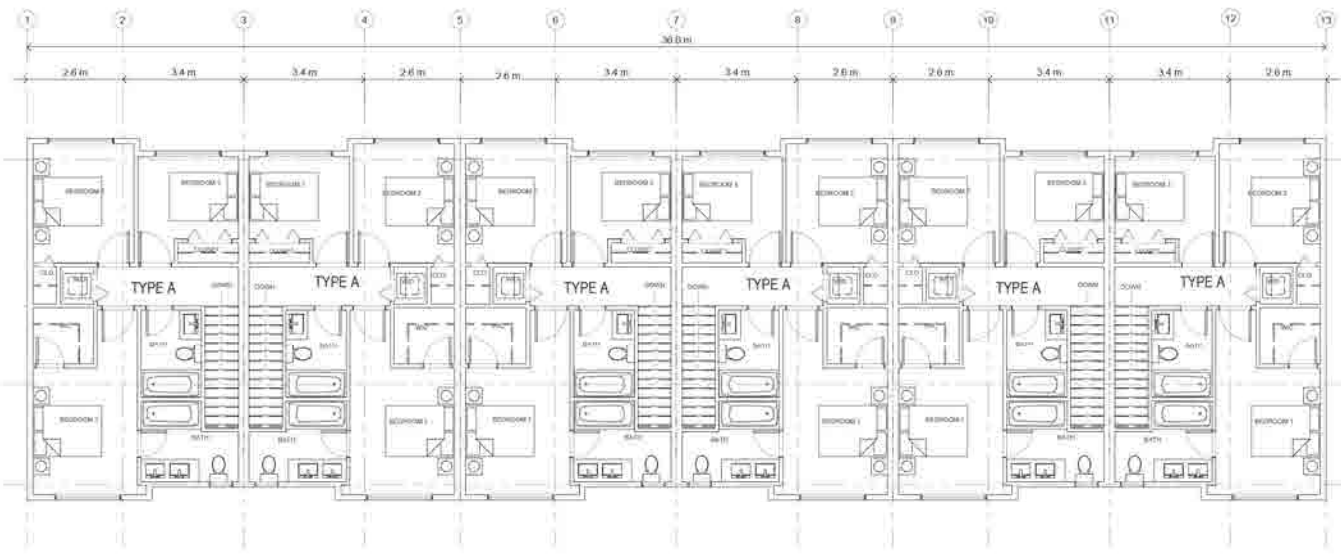
1 MAIN FLOOR PLAN
Scale: (3/16"=1'-0")



Scale: (3/16"=1'-0") DWG. NO.: A.2.15



1 SECOND FLOOR
Scale: (1/16"=1'-0")



2 THIRD FLOOR
Scale: (1/16"=1'-0")

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 1001 24 Ave, Calgary, AB
Drawing: LOT-3 FLOOR PLANS BUILDING 7
Project Status:

REVISION		
No.	Date	Description
01	2024-04-22	01/ Unsuage
02	2024-01-26	07/ Garage



Scale: (1/16"=1'-0")

DWG. NO.: A.2.16



1 NORTH ELEVATION
Scale: (1/8"=1'-0")



2 WEST ELEVATION
Scale: (1/8"=1'-0")



3 SOUTH ELEVATION
Scale: (1/8"=1'-0")



4 EAST ELEVATION
Scale: (1/8"=1'-0")

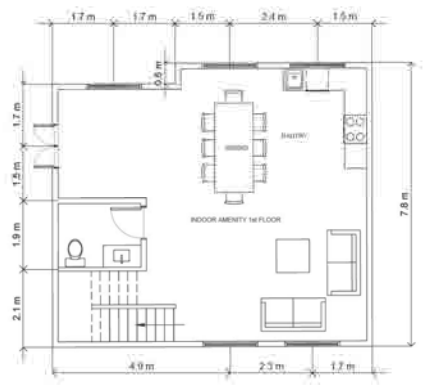
MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 16667 34 AVE, SURREY BC
Drawing: 1 OF 3
ELEVATIONS BUILDING #
Project Status:

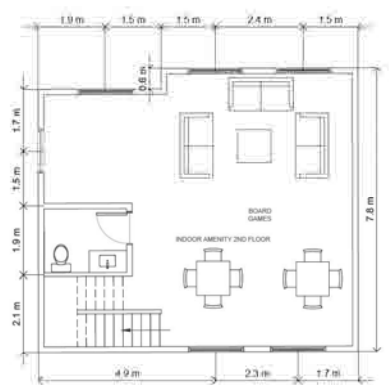
REVISION		
No.	Date	Description
01	2023-02-23	1/3 Drawings
02	2023-05-26	R/P Drawings



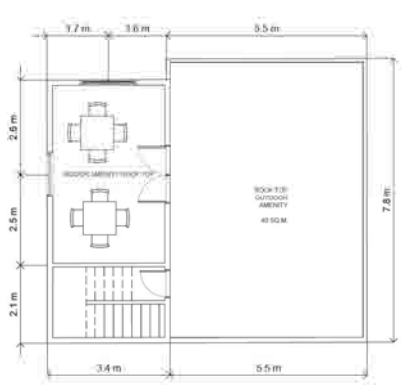
Scale: (3/16"=1'-0") DWG. NO.: A.3.8.1



1 MAIN FLOOR PLAN
Scale: (1/16"=1'-0")



2 SECOND FLOOR PLAN
Scale: (1/16"=1'-0")



3 THIRD FLOOR PLAN
Scale: (1/16"=1'-0")

MATERIAL LEGEND	
1	ENDICOTT BRICKS- THIN BRICKS- DARK IRON
2	HARDIE BOARD (ARCTIC WHITE)
3	6" HARDIE SIDING (ARCTIC WHITE)
4	FASCIA (IRON GREY)
5	ROOF SHINGLES
6	DOOR COLOR (TO MATCH WITH ROOF SHINGLES)
7	HARDIE BOARD (GREY SLATE)
8	FASCIA/TRIMS (IRON GREY)

1 SECOND FLOOR
Scale: (1/16"=1'-0")



4 WEST SIDE ELEVATION
Scale: (1/16"=1'-0")

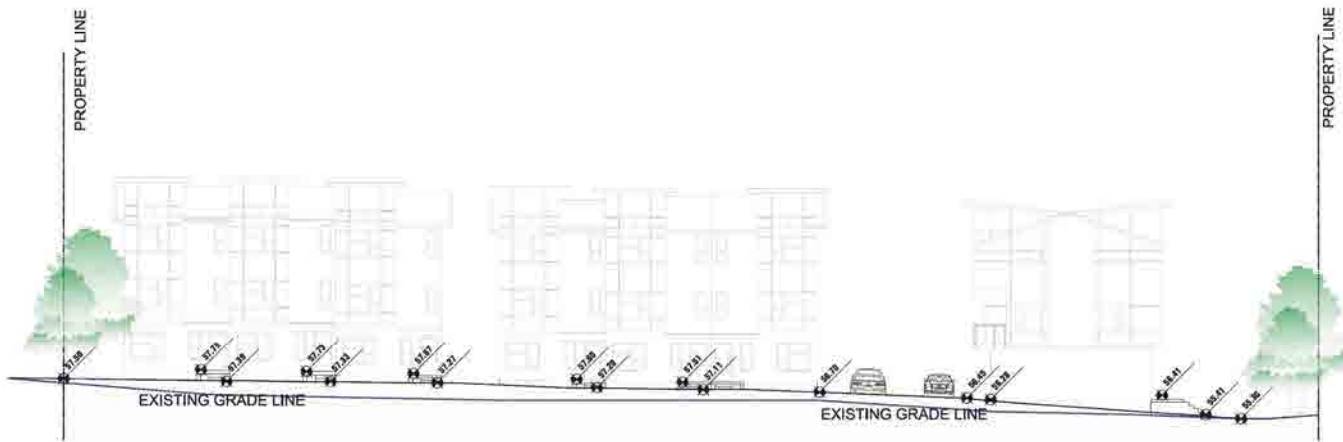
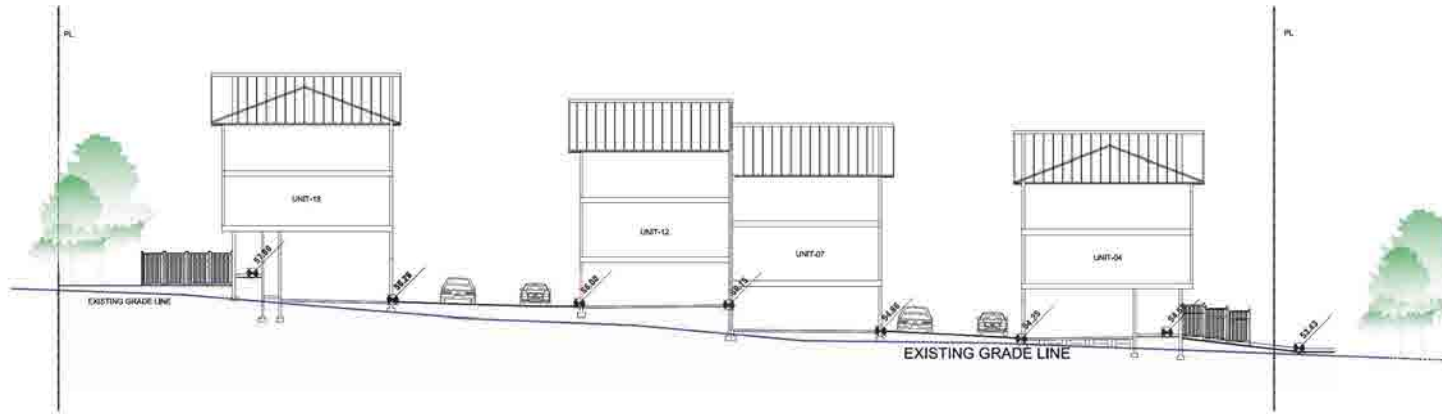
5 SOUTH SIDE ELEVATION
Scale: (1/16"=1'-0")

6 EAST SIDE ELEVATION
Scale: (1/16"=1'-0")

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 1887 24 Ave, Surrey BC
Drawing: LOT-3 INDOOR AMENITY
Project Status:

REVISION		
No.	Date	Description
01	2024-08-22	01/ Drawing
02	2024-09-26	02/ Geosage





Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHILL
Project Address: 14857 24 AVE, SURREY BC
Drawing:

LOT 1 SECTIONS

REVISION

No.	Date	Description
01	2024-06-22	D.P. Drawings
02	2024-05-26	D.P. Drawings



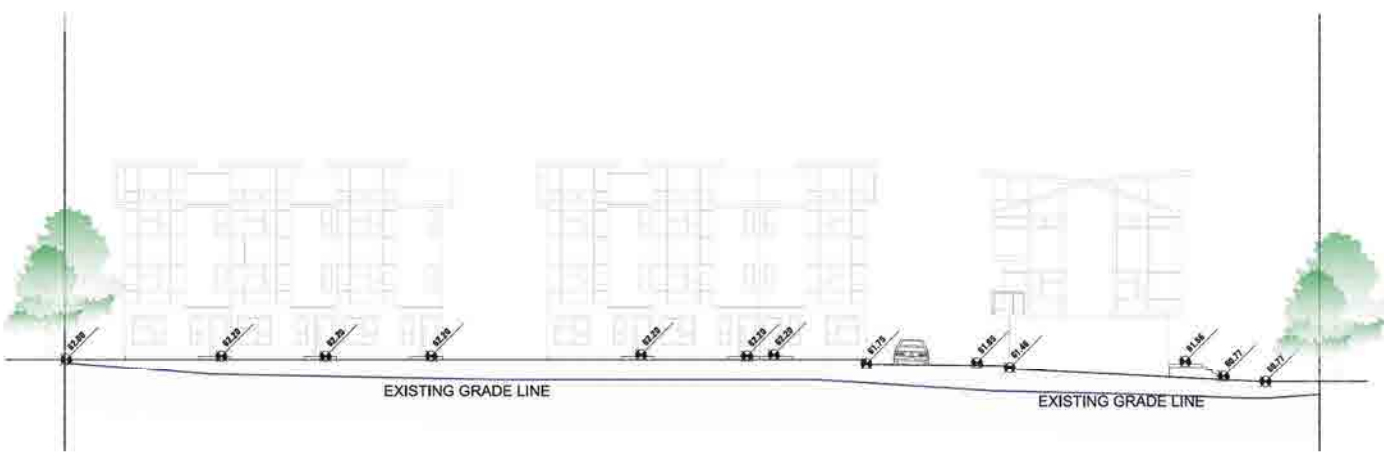
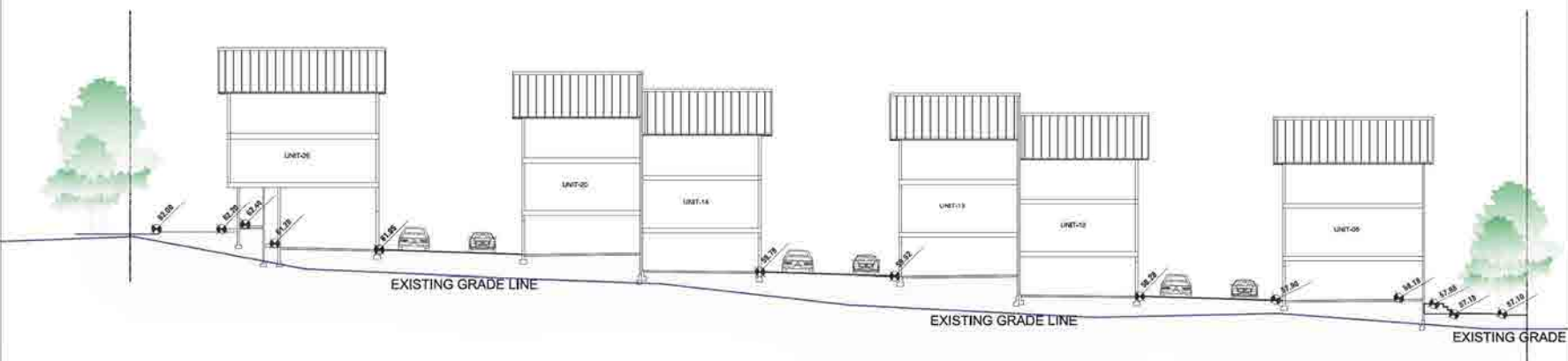
Scale: 1/8"=1'-0"
DWG. NO.: **A.4.1**



1294 59 Avenue
Surrey, BC V3X 0C4

Email: jason@cre8architects.ca
Tel: (778) 891-0167

Cre 8 Architecture Ltd.



Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHILL
Project Address: 1885 24 AVE, SURREY BC
Drawing:

Project Status: **LOT 2 SECTIONS**

REVISION

No.	Date	Description
01	2024-06-22	O.P. Drawings
02	2024-05-26	D.P. Drawings

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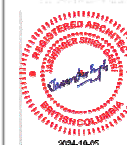
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Scale: 1/16" = 1'-0"
DWG. NO.: **A.4.2**

Project: TOWNHOUSE DEVELOPMENT
Client Name: SURDEV SANDHU
Project Address: 18827 24 AVE, SURREY BC
Drawing: UNIT PLANS

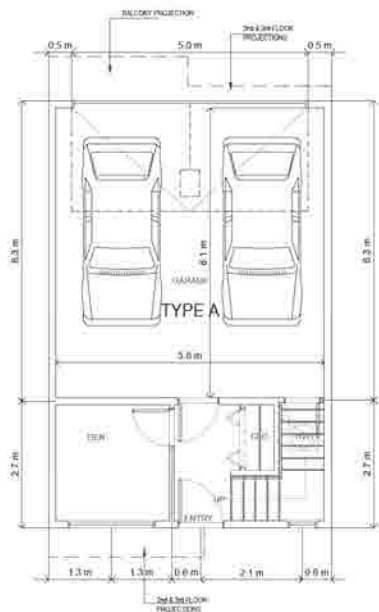
Project Status:

REVISION		
No.	Date	Description
01	2024-06-25	O.P. Drawings
02	2024-06-26	O.P. Drawings

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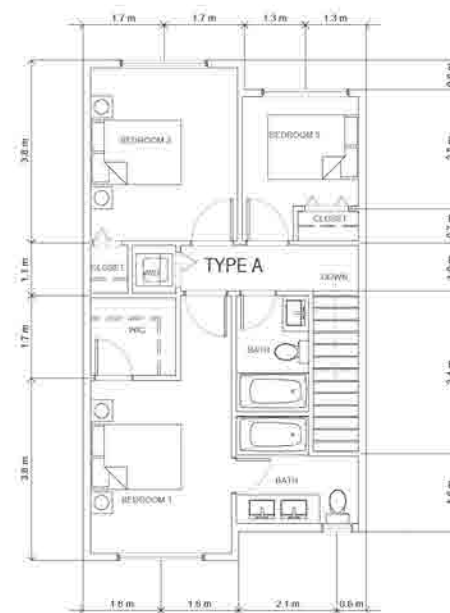
Scale: 1/8" = 1'-0"
Scale: (1/8" = 1'-0")
DWG. NO.: U.P.1



TYPE A
GARAGE AREA = 424.80 SQ.FT. = 37.53 SQ.M.
1st FLOOR AREA = 171.83 SQ.FT. = 15.96 SQ.M.

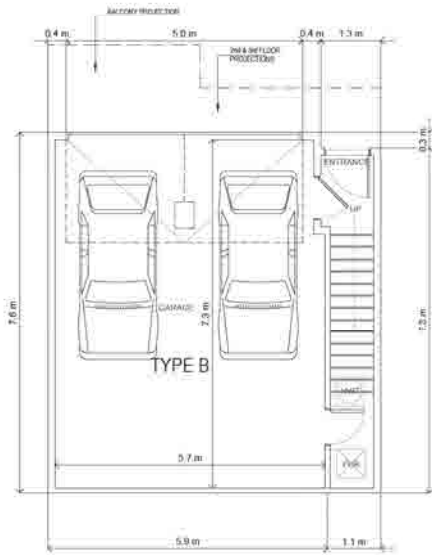


TYPE A
2nd FLOOR AREA = 281.30 SQ.FT. = 26.00 SQ.M.



TYPE A
3rd FLOOR AREA = 538.50 SQ.FT. = 49.81 SQ.M.

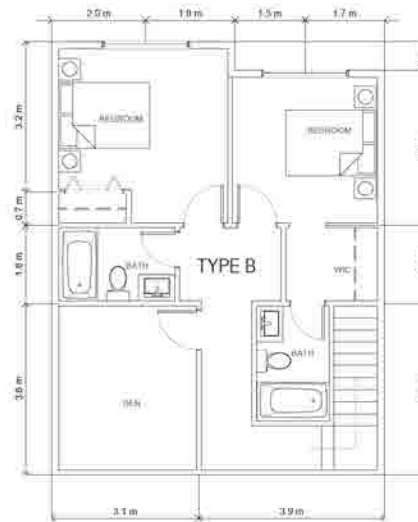
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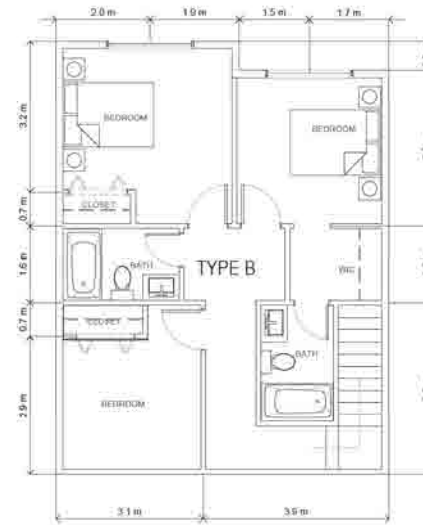
TYPE B
 GARAGE AREA = 478.46 SQ FT = 44.35 SQ.M
 NET FLOOR AREA = 82.23 SQ FT = 7.62 SQ.M



2nd FLOOR AREA = 120.78 SQ FT = 11.27 SQ.M



3rd FLOOR AREA = 82.26 SQ FT = 7.62 SQ.M



2nd FLOOR AREA = 97.25 SQ FT = 9.02 SQ.M

1 TYPE - B UNIT PLANS
 Scale: (1/4"=1'-0")



12304 59 Avenue
 Surrey BC V0X 0C4

1-617-781-0817
 Email: jason@cre8architects.ca

Cre 8 Architecture Ltd.

Project: TOWNHOUSE DEVELOPMENT
 Client Name: GURJEY SANDHI
 Project Address: 1987 14 AV. SURREY BC
 Drawing: UNIT PLANS

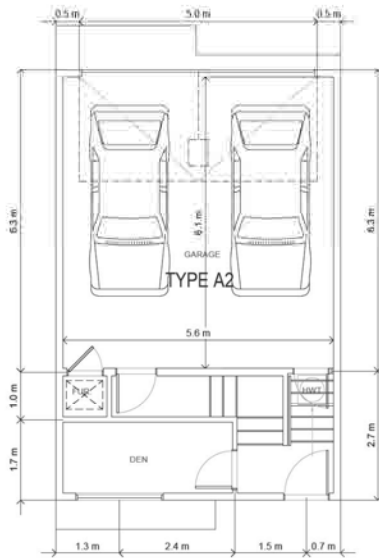
Project Status:

REVISION

No.	Date	Description
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02	2024-06-26	-3rd Drawing



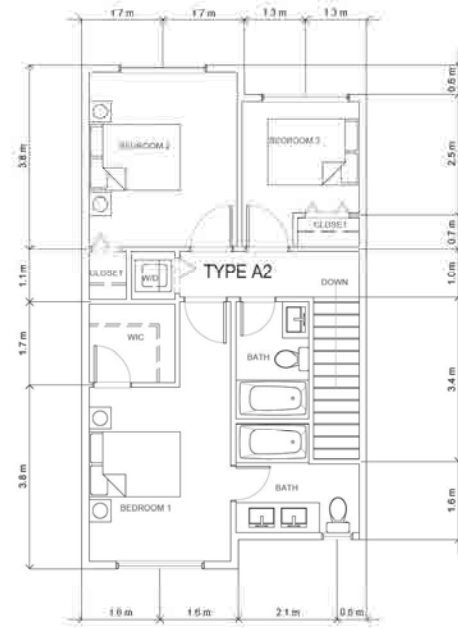
Scale: DWG. NO:
 Scale: (1/4"=1'-0") U.P.2



TYPE A2
GARAGE AREA = 478 SQ FT = 44.45 SQ M
1st FLOOR AREA = 8823 SQ FT = 819 SQ M



TYPE A2
2nd FLOOR AREA = 561.39 SQ FT = 51.99 SQ M



TYPE A2
3rd FLOOR AREA = 838 SQ FT = 77.41 SQ M

1 TYPE- A2 UNIT PLANS
Scale: (1/4"=1'-0")

Project:
TOWNHOUSE DEVELOPMENT
Client Name
GURDEV SANDHU
Project Address
18087 24 AVE, SURREY BC
Drawing:
UNIT PLANS

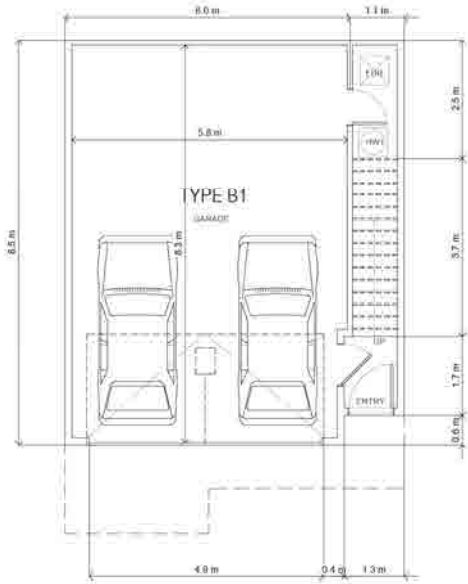
Project Status:

REVISION		
No.	Date	Description
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02	2014-09-24	D.P. Drawings

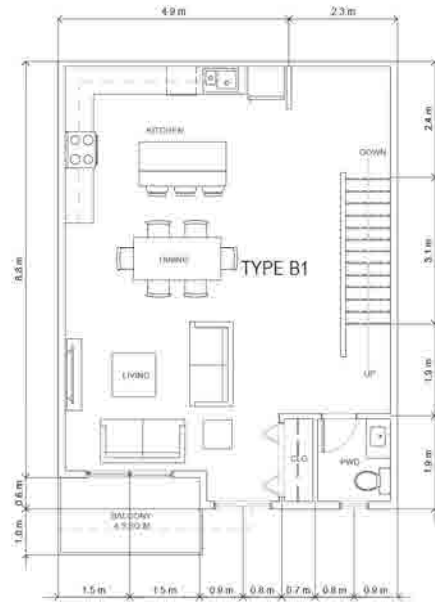


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Scale: (1/4"=1'-0")

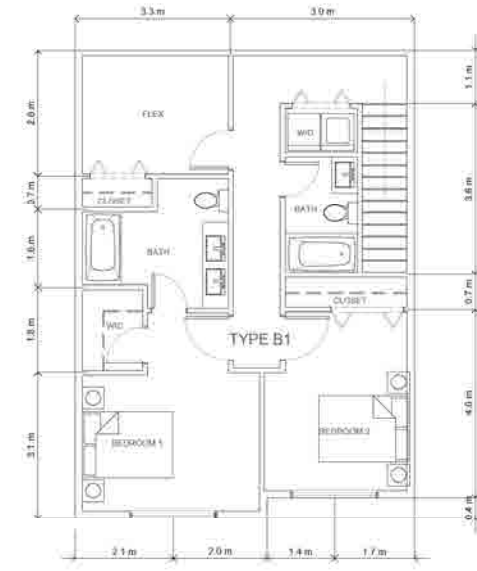
DWG. NO.
U.P.3



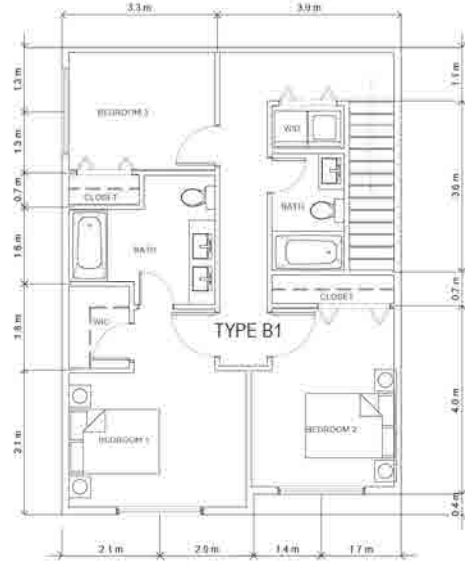
TYPE B1
 GARAGE AREA = 137.20 SQ.FT. = 49.90 SQ.M
 INFLOOR AREA = 106.43 SQ.FT. = 9.76 SQ.M



2nd FLOOR AREA = 711.57 SQ.FT. = 65.17 SQ.M



3rd FLOOR AREA = 740.77 SQ.FT. = 68.81 SQ.M



3rd FLOOR AREA = 740.77 SQ.FT. = 68.81 SQ.M

1 TYPE - B1 UNIT PLANS
 Scale: (1/4"=1'-0")



3294 89 Avenue
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Cre 8 Architecture Ltd.

Project: TOWNHOUSE DEVELOPMENT
 Client Name: GURDEV SANDHU
 Project Address: 1007 24 Ave, Surrey BC
 Drawing: UNIT PLANS

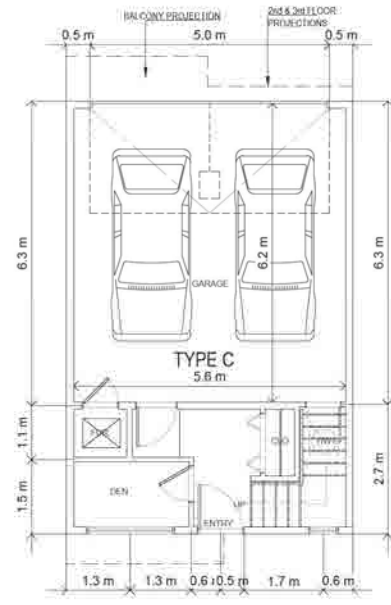
Project Status:

REVISION		
No	Date	Description
01	2024.06.30	A.R. Drawing
02	2024.06.26	D.P. Issuance

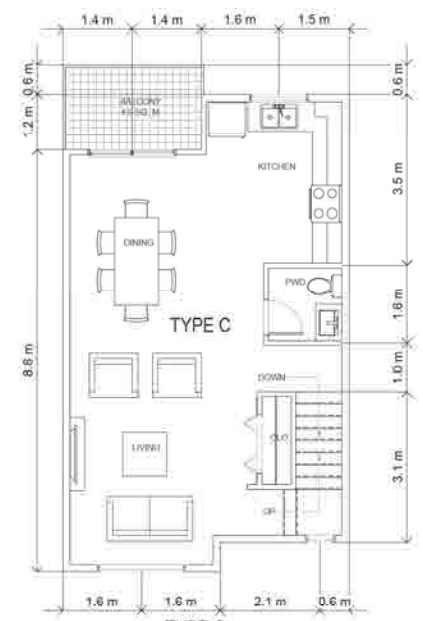
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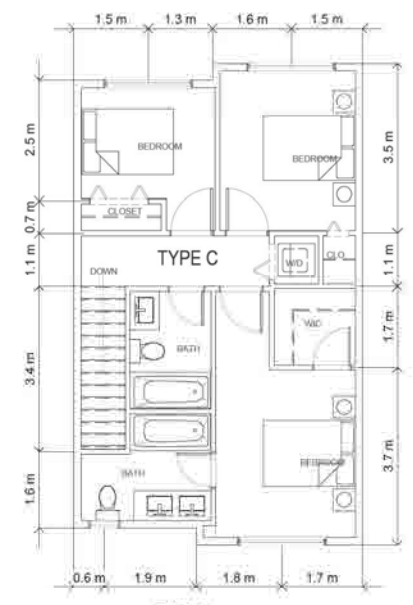
Scale: (1/4"=1'-0")
 DWG. NO: U.P.4



TYPE C
GARAGE AREA - 404.86 SQ.FT - 37.53 SQ.M.
1st FLOOR AREA - 171.83 SQ.FT - 15.96 SQ.M.



TYPE C
2nd FLOOR AREA - 581.30 SQ.FT - 54.00 SQ.M.



TYPE C
3rd FLOOR AREA - 636.50 SQ.FT - 58.41 SQ.M.

1 TYPE - C UNIT PLANS
Scale: (1/4"=1'-0")

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: JAKO 34 AVT, SURREY BC
Drawing: UNIT PLANS

Project Status:

REVISION		
No.	Date	Description
01	2023-02-22	1st Drawing
02	2023-02-26	R/P Drawing

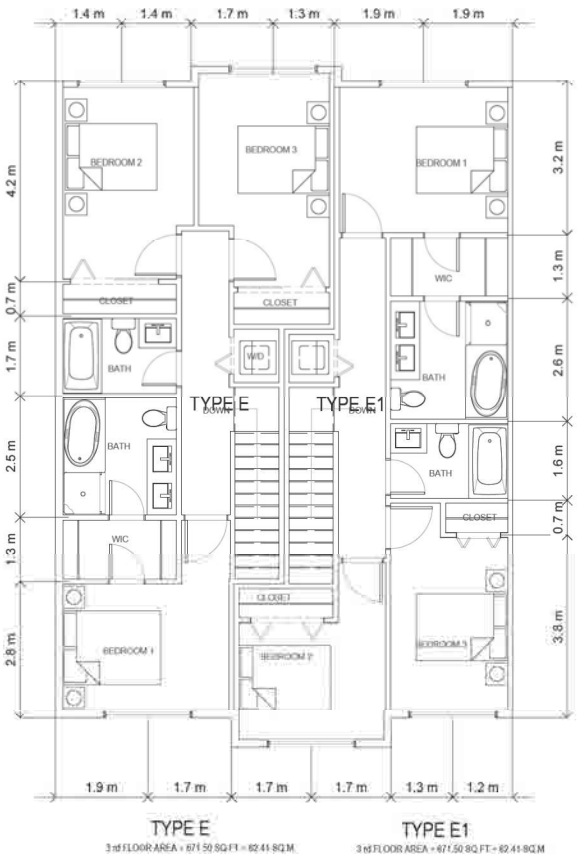
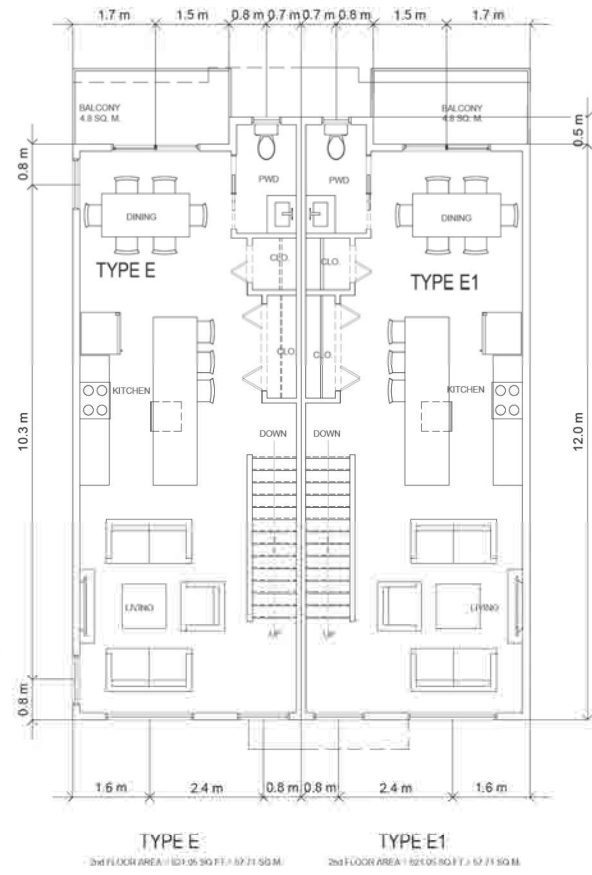
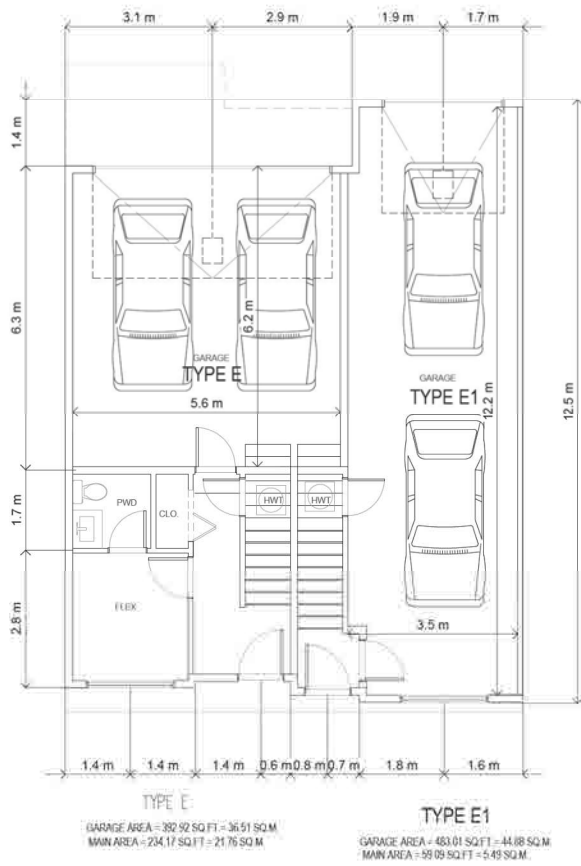


Scale: (1/4"=1'-0") DWG. NO: **U.P.5**

Project: TOWNHOUSE DEVELOPMENT
Client Name: GURDEV SANDHU
Project Address: 18087 24 AVE, SURREY BC
Drawing: UNIT PLANS





Project Status:

REVISION		
No.	Date	Description
01	2023-08-22	13' Drawing
02	2023-09-26	R/P Discrep



1 TYPE - E & E1 UNIT PLANS
Scale: (1/4" = 1'-0")



-  EXPOSED AGGREGATE CONCRETE
-  STAMPED CONCRETE
-  CONCRETE PAVERS
-  BROOM FINISHED CONCRETE

DATE	REVISION	NO.

C.KAVOLINAS & ASSOCIATES INC.
 805A 024
 2482 JUNGLE COURT
 ABU DHABI, U.A.E.
 VIZ 20
 PHONE (804) 857-2378

CLIENT
 NORTHWEST DEVELOPMENT
 ATTENTION: JORA SANDHU
 c/o FLAT ARCHITECTURE
 UNIT 203
 6321 KING GEORGE BOULEVARD
 SURREY, B.C. V3N 1G1

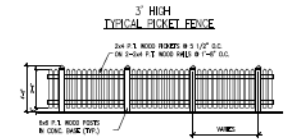
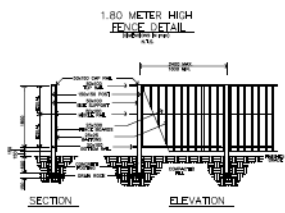
TITLE
 LOT 1
 LANDSCAPE PLAN
 117 UNIT
 TOWNHOUSE DEVELOPMENT
 18087 - 24 AVENUE
 SURREY, B.C.

SCALE	1:200	DATE	JUN/24
DRAWN BY	SAH	CHECKED BY	
DATE			
APP'D BY			

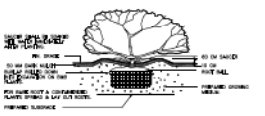
PROJECT	JOB NO.	
	DRAWING NO.	L-1



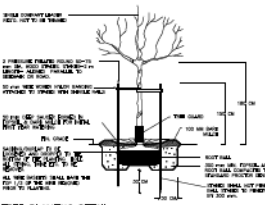
KEY	BOTANICAL NAME	PLANT LIST		QTY.	SIZE	SPACING	REMARKS
		COMMON NAME					
	SYRINGA REBICULATA 'IVORY SILK'	LLAC TREE	6	6 CM. CAL.	AS SHOWN	B. & B.	
	ACER CAMPESTRE 'RED SHINE'	RED SHINE MAPLE	1	6 CM. CAL.	AS SHOWN	B. & B.	
	CORNUS FLORIDA 'RUBRUM'	RED FLOWERING DOGWOOD	5	6 CM. CAL.	AS SHOWN	B. & B.	
	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD JAP. MAPLE	6	6 CM. CAL.	AS SHOWN	B. & B.	
	ACER RUBRUM 'BONHALL'	BONHALL RED MAPLE	5	6 CM. CAL.	AS SHOWN	B. & B.	
	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	2	2.50 METERS	AS SHOWN	B. & B.	
	TRILIA PULCATA	WESTERN RED CEDAR	2	2.50 METERS	AS SHOWN	B. & B.	
	PEONY (VARIOUS)	VARIOUS PEONIES	12	#3 POT	90 CM. O.C.		
	AZALEA JAPONICA 'HINO CRIMSON'	CRIMSON AZALEA	34	#3 POT	90 CM. O.C.		
	AZALEA NORTHERN LIGHTS 'MANDARIN LIGHTS'	NORTHERN LIGHTS AZALEA	44	#3 POT	90 CM. O.C.		
	AZALEA JAPONICA (VARIOUS)	JAPANESE AZALEA	22	#3 POT	90 CM. O.C.		
	ABELIA EDWARD GOUCHER	EDWARD GOUCHER ABELIA	44	#3 POT	90 CM. O.C.		
	BURUS MACROPHYLLA 'WINTER GEM'	ASIAN BOWWOOD	58	#3 POT	45 CM. O.C.		
	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	HYDRANGEA	29	#3 POT	90 CM. O.C.		
	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	6	#2 POT	90 CM. O.C.		
	MEDIUM RHODODENDRON (VARIOUS)	RHODODENDRON	14	#3 POT	90 CM. O.C.		
	POLYSTICHUM MUNITZUM	SWARD FERN	14	#3 POT	90 CM. O.C.		
	HOSTA (VARIOUS)	HOSTA	33	#3 POT	90 CM. O.C.		
	SYRINGA VULGARIS 'MICHEL BUCHNER'	ULAC	33	#3 POT	90 CM. O.C.		
	PRUNUS LAUROCEASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	248	#3 POT	70 CM. O.C.		
	TRILIA OCCIDENTALIS 'SMARAGO'	EMERALD ARBORVITAE	30	1.50 METERS	70 CM. O.C.		
	LAVANDULA ANGSTROFFIA 'MUNSTEAD'	LAVENDER	48	#3 POT	45 CM. O.C.		



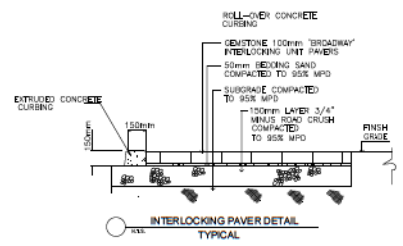
1. LAY OUT IN THE UNIT AS SHOWN ACCORDING TO THE LAYOUT DRAWING. VERIFY ALL DIMENSIONS AND LOCATIONS WITH THE ARCHITECT AND CONTRACTOR BEFORE BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
2. ALL CONCRETE SHALL BE PLACED AND FINISHED ACCORDING TO THE LAYOUT DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.



PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS



TREE PLANTING DETAIL



DATE	REVISED	BY

D. NAVOLINAS & ASSOCIATES INC.
 2020A - 100A
 2402 JONQUIL COURT
 ABSTONFORD, B.C.
 V3C 1E1
 PHONE (604) 857-0378

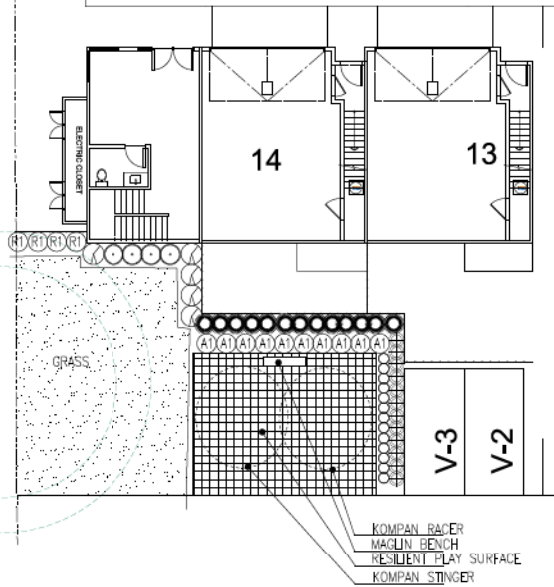
CLIENT
 NORTHWEST DEVELOPMENT
 ATTENTION: JORA SANDHU
 c/o PLAT ARCHITECTURE
 UNIT 209
 6321 KING GEORGE BOULEVARD
 SURREY, B.C. V3X 1G1

TITLE
 LOT 1
 LANDSCAPE DETAILS
 117 UNIT
 TOWNHOUSE DEVELOPMENT
 1800 - 24 AVENUE
 SURREY, B.C.

SCALE	N.T.S.	DATE	JUN/24
DRAWN	BY		
CHECKED	BY		
APPROVED	BY		

PROJECT NO.
 DRAWING NO.
 L-1A

LOT-1



KOMPAN Product Info Stage 1-11/00000

Product Features:

- Product Line: Racer
- Category: Racer
- Age Group: 2-7
- Max. Height (cm): 120
- Weight (kg): 150

LANDSCAPE Racer

Product Line: Racer
Category: Racer
Age Group: 2-7
Max. Height (cm): 120
Weight (kg): 150

MAGLIN

Product Line: Bench
Category: Bench
Age Group: 2-7
Max. Height (cm): 120
Weight (kg): 150

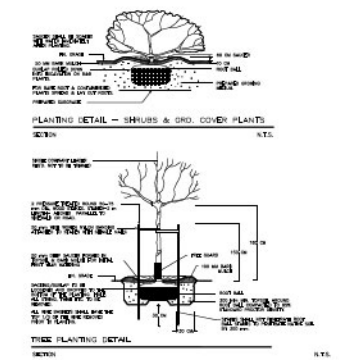
playfall Technical Data Sheet

Product Line: Fall Protection
Category: Fall Protection
Age Group: 2-7
Max. Height (cm): 120
Weight (kg): 150

C. KAVOLINAS & ASSOCIATES INC.
BCSA CSLA
2462 JENKINS COURT
ABBOTSFORD, B.C. V3G 3E9
PHONE (604) 857-2376

KEY	BOTANICAL NAME	PLANT LIST COMMON NAME	QTY.	SIZE	SPACING
○	BUXUS MACROPHYLLA 'WINTER GEM'	ASIAN BOXWOOD	13	#3 POT	45 CM. O.C.
⊕	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	12	#3 POT	70 CM. O.C.
⊕	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	13	1.50 METERS	70 CM. O.C.
⊕	AZALEA NORTHERN LIGHTS 'MANDARIN LIGHTS'	NORTHERN LIGHTS AZALEA	10	#3 POT	90 CM. O.C.
⊕	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	HYDRANGEA	4	#3 POT	90 CM. O.C.
⊕	MEDIUM RHODODENDRON (VARIOUS)	RHODODENDRON	4	#3 POT	90 CM. O.C.
⊕	SYRINGA VULGARIS 'MICHEL BUCHNER'	LILAC	5	#3 POT	90 CM. O.C.

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN HANDBOOK OF PLANTING AND MAINTENANCE OF PLANTS AND TREES, AND THE CANADIAN HANDBOOK OF PLANTING AND MAINTENANCE OF PLANTS AND TREES, AND THE CANADIAN HANDBOOK OF PLANTING AND MAINTENANCE OF PLANTS AND TREES.
2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN HANDBOOK OF PLANTING AND MAINTENANCE OF PLANTS AND TREES, AND THE CANADIAN HANDBOOK OF PLANTING AND MAINTENANCE OF PLANTS AND TREES, AND THE CANADIAN HANDBOOK OF PLANTING AND MAINTENANCE OF PLANTS AND TREES.
3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN HANDBOOK OF PLANTING AND MAINTENANCE OF PLANTS AND TREES, AND THE CANADIAN HANDBOOK OF PLANTING AND MAINTENANCE OF PLANTS AND TREES, AND THE CANADIAN HANDBOOK OF PLANTING AND MAINTENANCE OF PLANTS AND TREES.
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10. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN HANDBOOK OF PLANTING AND MAINTENANCE OF PLANTS AND TREES, AND THE CANADIAN HANDBOOK OF PLANTING AND MAINTENANCE OF PLANTS AND TREES, AND THE CANADIAN HANDBOOK OF PLANTING AND MAINTENANCE OF PLANTS AND TREES.



UNIT

NORRHEIM DEVELOPMENT
STATION, C/O. SAHAI
c/o PLAY ARCHITECTURE
UNIT 209
6321 BRG. GEORGE BOULEVARD
SURREY, B.C. V3X 1K1

TITLE

LOT 1

LANDSCAPE PLAN
117 UNIT
TOWNHOUSE DEVELOPMENT
18057 - 24 AVENUE
SURREY, B.C.

SCALE 1:100 **DATE** JUN/24

DRAWN DMS **CHECKED** DMS

DATE JUN/24 **DATE** JUN/24

PROJECT 24-18-01

REVISION





NO. 1

DATE

DESCRIPTION

L-1B



-  EXPOSED AGGREGATE CONCRETE
-  STAMPED CONCRETE
-  CONCRETE PAVERS
-  BROOM FINISHED CONCRETE

DATE: 10/19/23 10/19/23

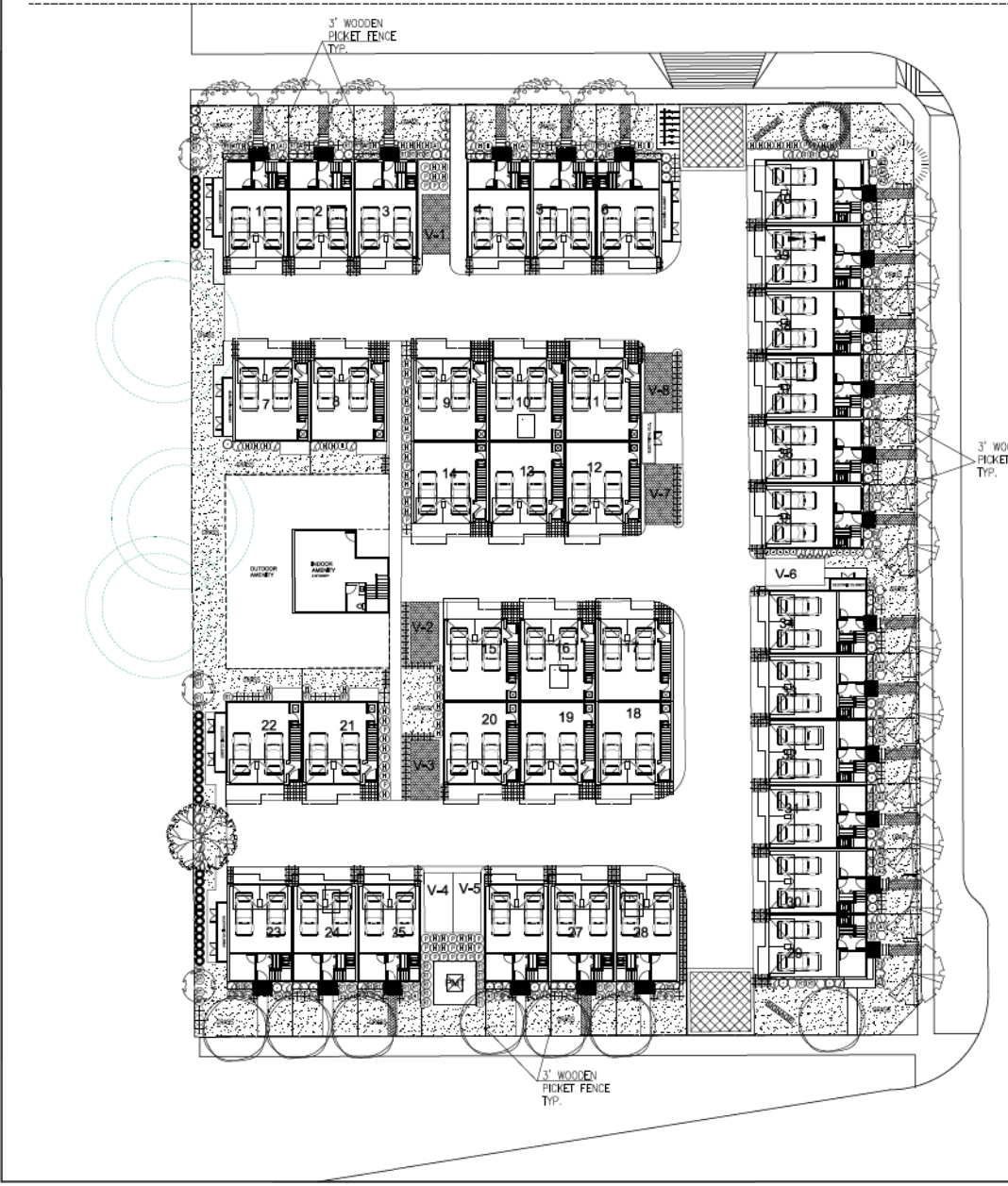
BSLA CSLA
 2462 JONQUIL COURT
 ARISTON, S.C.
 29513
 PHONE (804) 857-2376

LEDT
 NORTHWEST DEVELOPMENT
 ATTENTION: JORA SANDHU
 1/3 PLAT ARCHITECTURE
 UNIT 209
 6321 KING GEORGE BOULEVARD
 SURREY, B.C. V3R 1G1

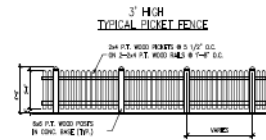
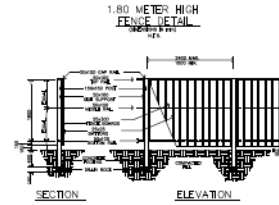
LOT 2
 LANDSCAPE PLAN
 117 UNIT
 TOWNHOUSE DEVELOPMENT
 10067 - 24 AVENUE
 SURREY, B.C.

SCALE: 1/200	DATE: JUN/24
DRAWN: BSLA	CHECKED: BSLA
DATE: 10/19/23	DATE: 10/19/23
APP'D: JG BSLA	DATE: 10/19/23

PROJECT:	JOB No.:
	DRAWING No.:
	L-2

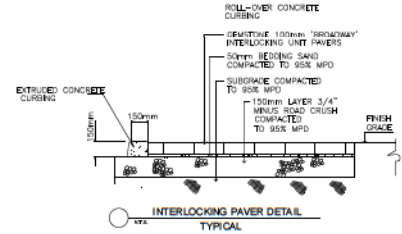
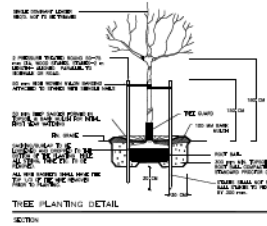
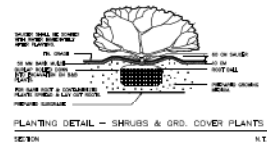


KEY	BOTANICAL NAME	PLANT LIST		QTY.	SIZE	SPACING	REMARKS
		COMMON NAME					
	SYRINGA RETICULATA 'NORY SILK'	LILAC TREE	12	6 CM. CAL	AS SHOWN	B. & B.	
	ACER CAMPESTRIS 'RED SHINE'	RED SHINE MAPLE	2	6 CM. CAL	AS SHOWN	B. & B.	
	CORNUS FLORIDA 'RUBRUM'	RED FLOWERING DOGWOOD	5	6 CM. CAL	AS SHOWN	B. & B.	
	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD JAP. MAPLE	7	6 CM. CAL	AS SHOWN	B. & B.	
	ACER RUBRUM 'BONHALL'	BONHALL RED MAPLE	1	6 CM. CAL	AS SHOWN	B. & B.	
	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	1	2.50 METERS	AS SHOWN	B. & B.	
	THUJA PLICATA	WESTERN RED CEDAR	1	2.50 METERS	AS SHOWN	B. & B.	
⊕	PEONY (VARIOUS)	VARIOUS PEONIES	11	⊕ POT	90 CM. O.C.		
⊕	AZALEA JAPONICA 'IND CRIMSON'	CRIMSON AZALEA	64	⊕ POT	90 CM. O.C.		
⊕	AZALEA NORTHERN LIGHTS 'MANDARIN LIGHTS'	NORTHERN LIGHTS AZALEA	18	⊕ POT	90 CM. O.C.		
⊕	AZALEA JAPONICA (VARIOUS)	JAPANESE AZALEA	18	⊕ POT	90 CM. O.C.		
⊕	ABELIA 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	38	⊕ POT	90 CM. O.C.		
⊕	HYDRANGEA MACROPETALA 'NINKO BLUE'	HYDRANGEA	38	⊕ POT	90 CM. O.C.		
⊕	VACCINIUM OVATUM	EVERGREEN HICKLEBERRY	10	⊕ POT	90 CM. O.C.		
⊕	SARCOCODONDA HOOKERIANA HUMILIS	HIMALAYAN SWEET BOX	10	⊕ POT	90 CM. O.C.		
⊕	MEDIUM RHODODENDRON (VARIOUS)	RHODODENDRON	89	⊕ POT	90 CM. O.C.		
⊕	POLYSTICHUM MOUNTAIN	SWARD FERN	29	⊕ POT	90 CM. O.C.		
⊕	HOSTA (VARIOUS)	HOSTA	66	⊕ POT	90 CM. O.C.		
⊕	SYRINGA VULGARIS 'MICHEL BUCHNER'	LILAC	45	⊕ POT	90 CM. O.C.		
⊕	PRUNUS LAUROCEASUS 'OTTO LYWIEN'	OTTO LYWIEN LAUREL	243	⊕ POT	70 CM. O.C.		
⊕	THUJA OCCIDENTALIS 'SMARAGO'	EMERALD ARBORVITAE	23	1.50 METERS	70 CM. O.C.		



NOTES

1. ALL PLANTING SHALL BE DONE ACCORDING TO THE LANDSCAPE DESIGN. PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE DESIGN. PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE DESIGN. PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE DESIGN.
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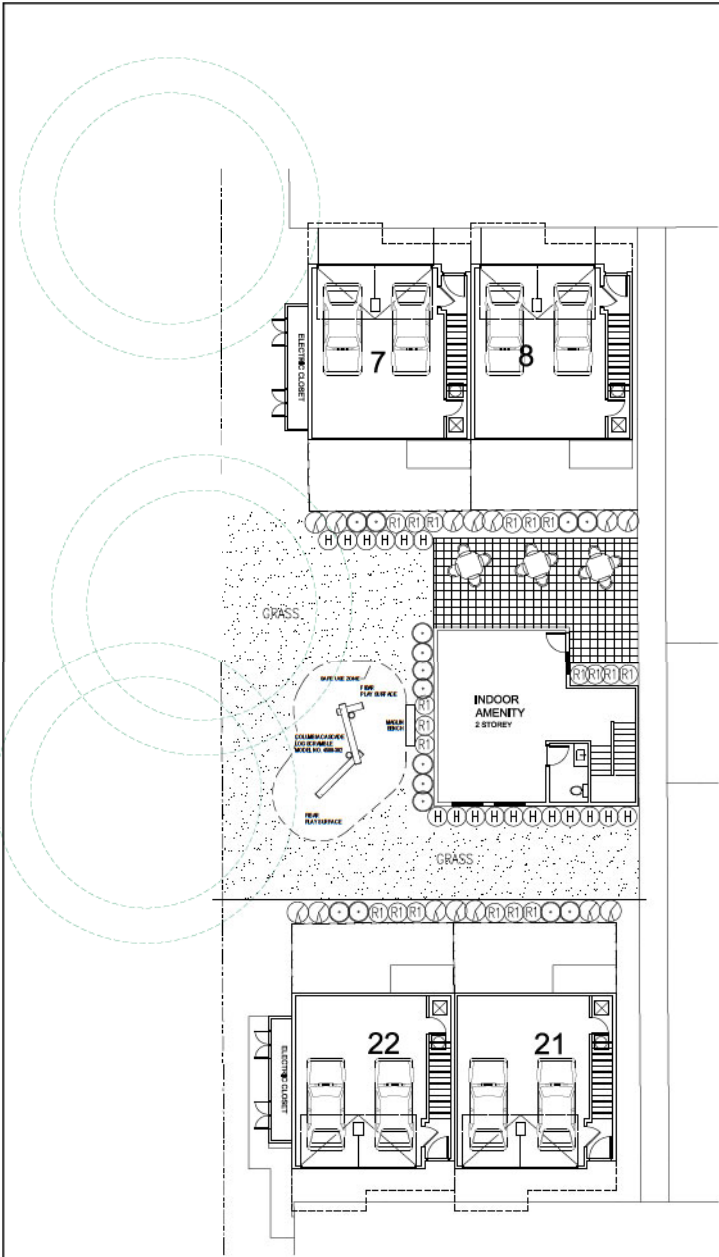
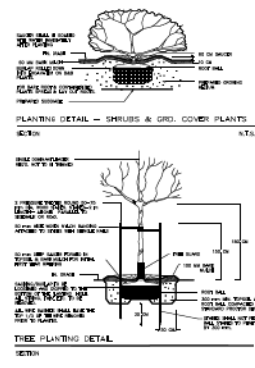
DATE	REVISED	NO.
C. KAVOLINAS & ASSOCIATES INC. 803A CILA 2462 ORCHIL COURT ARNDTOWN, B.C. V3G 3E9 PHONE (804) 857-2376		
UNIT NORMAN DEVELOPMENT ATTENTION: JOHN SANDER 4/9 FURT ARCHITECTURE UNIT 209 6301 BRIDGE ROAD SURREY, B.C. V3X 1G1		
SITE LOT 1 LANDSCAPE DETAILS 117 UNIT TOWNHOUSE DEVELOPMENT 18087 - 24 AVENUE SURREY, B.C.		
SCALE	DATE	
N.T.S.	JUN/24	
DATE	BY	
REV.	BY	
DATE	BY	
PROJECT	JOB NO.	
DRAWING NO.		
L-2A		△



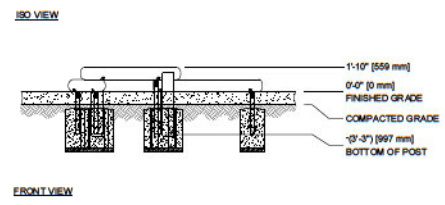
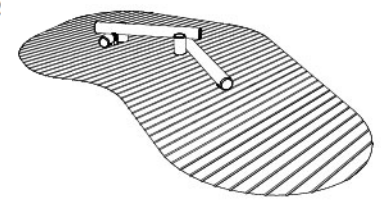
PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING
⊙	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	HYDRANGEA	15	#3 POT	90 CM. O.C.
⊕	HOSTA (VARIOUS)	HOSTA	17	#3 POT	90 CM. O.C.
⊗	SYRINGA VULGARIS 'MICHEL BUCHNER'	LILAC	14	#3 POT	90 CM. O.C.
⊗	MEDIUM RHODODENDRON (VARIOUS)	RHODODENDRON	19	#3 POT	90 CM. O.C.

- NOTES:**
1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN HORTICULTURAL HANDBOOK AND THE CANADIAN PLANT HARDINESS ZONE MAP. PLANTS SHOULD BE SELECTED TO SUIT THE CLIMATE AND SOIL CONDITIONS OF THE PROJECT. PLANTS SHOULD BE SELECTED TO SUIT THE MAINTENANCE LEVEL OF THE PROJECT.
 2. ALL PLANTS SHOULD BE PLANTED IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN HORTICULTURAL HANDBOOK AND THE CANADIAN PLANT HARDINESS ZONE MAP. PLANTS SHOULD BE SELECTED TO SUIT THE CLIMATE AND SOIL CONDITIONS OF THE PROJECT. PLANTS SHOULD BE SELECTED TO SUIT THE MAINTENANCE LEVEL OF THE PROJECT.
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 4. PLANTS SHOULD BE PLANTED IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN HORTICULTURAL HANDBOOK AND THE CANADIAN PLANT HARDINESS ZONE MAP. PLANTS SHOULD BE SELECTED TO SUIT THE CLIMATE AND SOIL CONDITIONS OF THE PROJECT. PLANTS SHOULD BE SELECTED TO SUIT THE MAINTENANCE LEVEL OF THE PROJECT.
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COLUMBIA CASCADE
LOG SCRAMBLE
MODEL NO. 4500-302



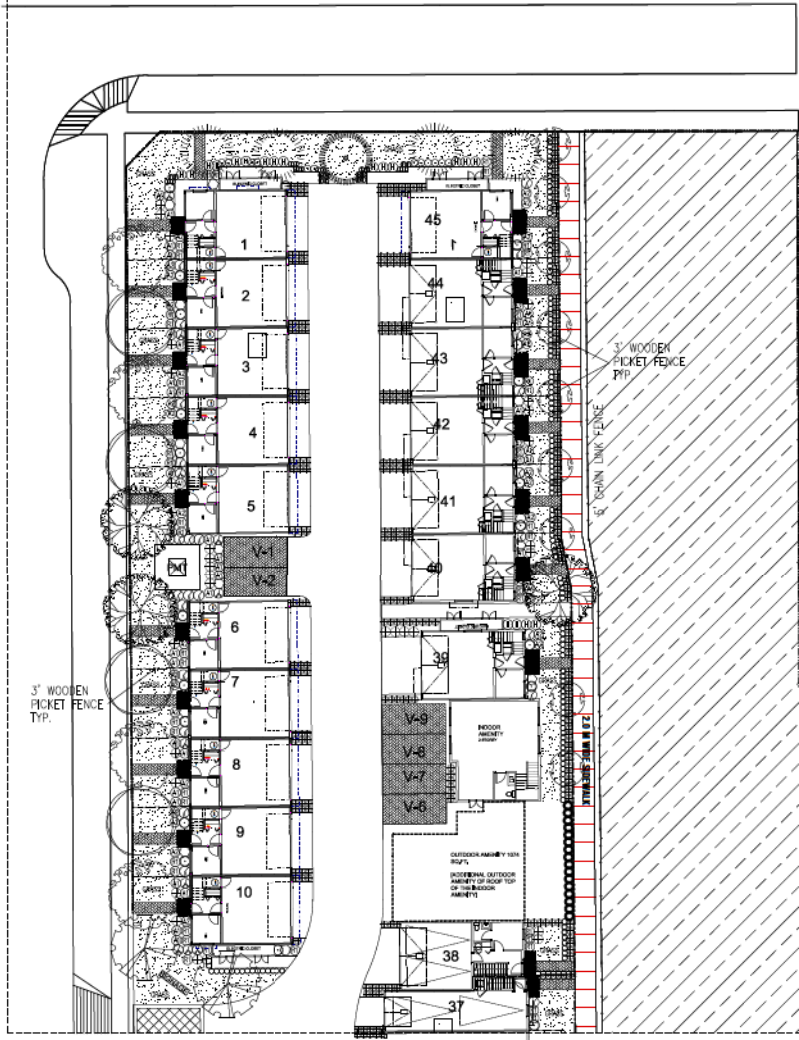
C. KAVOLINAS & ASSOCIATES INC.
BCSA - CISA
2402 JORDAN COURT
ABBOTSFORD, B.C.
V30 3E8
PHONE (604) 857-2376





CLIENT
NORTHWEST DEVELOPMENT
ATTENTION: JOSH SANDHU
c/o FLET ARCHITECTURE
UNIT 209
6321 KING SERGE BOULEVARD
SURREY, B.C. V3X 1B1

PROJECT
LOT 2
LANDSCAPE PLAN
117 UNIT
TOWNHOUSE DEVELOPMENT
18007 - 24 AVENUE
SURREY, B.C.

SCALE	1:100	DATE	JUN/24
DRAWN	DAK	CHECKED	DAK
APPROVED	AK	DATE	07/04/23

PROJECT NO.
20080 In.
L-2B



-  EXPOSED AGGREGATE CONCRETE
-  STAMPED CONCRETE
-  CONCRETE PAVERS
-  BROOM FINISHED CONCRETE

DATE	REVISION	BY

C. KAVOLINAS & ASSOCIATES INC.
 8054 155A
 2162 JUNGLE COURT
 ABBOTSFORD, B.C.
 V3C 3E8
 PHONE (604) 857-2376

LOT 3
 NORTHWEST DEVELOPMENT
 ATTORNEY: JOSE SERRANO
 C/O PLAT ARCHITECTURE
 UNIT 202
 6321 KING GEORGE BOULEVARD
 SURREY, B.C. V3K 1G1

LOT 3 NORTH
 LANDSCAPE PLAN
 117 UNIT
 TOWNHOUSE DEVELOPMENT
 1807 - 24 HERVE
 SURREY, B.C.

SCALE	1:200	DATE	JUN/24
DRAWN		CHECKED	
DATE		DATE	
APPROVED		DATE	

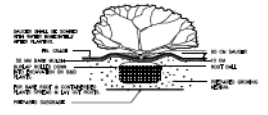
PROJECT	LOT 3 NORTH
SHEET NO.	L-3

KEY	BOTANICAL NAME	PLANT LIST COMMON NAME	QTY.	SIZE	SPACING	REMARKS
	SYRINGA RETICULATA 'IVORY SILK'	LIAC TREE	2	6 CM. CAL.	AS SHOWN	B. & B.
	ACER CAMPESTRE 'RED SHINE'	RED SHINE MAPLE	9	6 CM. CAL.	AS SHOWN	B. & B.
	CORNUS FLORIDA 'RUBROM'	RED FLOWERING DOGWOOD	4	6 CM. CAL.	AS SHOWN	B. & B.
	ACER PALMATUM 'GLAZEDWOOD'	GLAZEDWOOD JAP. MAPLE	4	6 CM. CAL.	AS SHOWN	B. & B.
	ACER RUBRUM 'BONHALL'	BONHALL RED MAPLE	3	6 CM. CAL.	AS SHOWN	B. & B.
	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	1	2.50 METERS	AS SHOWN	B. & B.
	THUJA PLICATA	WESTERN RED CEDAR	4	2.50 METERS	AS SHOWN	B. & B.
	AZALEA JAPONICA 'WIND GEMSON'	CRIMSON AZALEA	31	#3 POT	90 CM. O.C.	
	AZALEA NORTHERN LIGHTS 'MANDARIN LIGHTS'	NORTHERN LIGHTS AZALEA	29	#3 POT	90 CM. O.C.	
	AZALEA JAPONICA (VARIOUS)	JAPANESE AZALEA	28	#3 POT	90 CM. O.C.	
	ABELIA 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	11	#3 POT	90 CM. O.C.	
	BUXUS MACROPHYLLA 'WINTER OBV'	ASIAN BOXWOOD	138	#3 POT	45 CM. O.C.	
	HYDRANGEA MACROPHYLLA 'NINKO BLUE'	HYDRANGEA	19	#3 POT	90 CM. O.C.	
	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	12	#2 POT	90 CM. O.C.	
	SARCOCOCCA HOOKERIANA HUMULIS	HIMALAYAN SWEET BOX	12	#3 POT	90 CM. O.C.	
	MEDIUM RHODODENDRON (VARIOUS)	RHODODENDRON	42	#3 POT	90 CM. O.C.	
	HOSTA (VARIOUS)	HOSTA	19	#3 POT	90 CM. O.C.	
	SYRINGA VULGARIS 'MICHEL BUCHNER'	LIAC	28	#3 POT	90 CM. O.C.	
	PRUNUS LAUROCEASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	308	#3 POT	70 CM. O.C.	
	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	16	1.50 METERS	70 CM. O.C.	
	RUDEBECKIA TRILOBA	BLACK-EYED SUSAN	20	#3 POT	45 CM. O.C.	

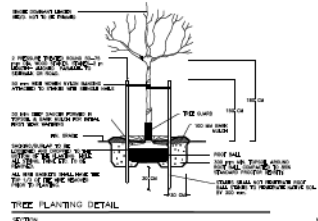


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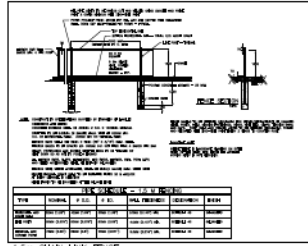
1. MAINTAIN 10% OPEN SPACE WITHIN THE LANDSCAPE DESIGN UNIT. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS. PLANTING SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
 - a. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS.
 - b. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS.
 - c. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS.
 - d. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS.
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 - f. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS.
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 - n. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS.
 - o. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS.
 - p. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS.
 - q. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS.
 - r. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS.
 - s. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS.
 - t. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS.
 - u. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS.
 - v. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS.
 - w. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS.
 - x. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS.
 - y. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS.
 - z. ALL PLANTS TO BE PLANTED IN THE SPRING MONTHS.
2. MAINTAIN 10% OPEN SPACE WITHIN THE LANDSCAPE DESIGN UNIT.
3. MAINTAIN 10% OPEN SPACE WITHIN THE LANDSCAPE DESIGN UNIT.
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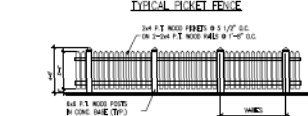
PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS
SECTION N.T.S.



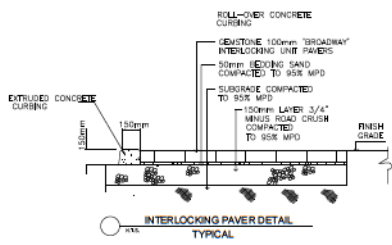
TREE PLANTING DETAIL
SECTION N.T.S.



1.5m CHAIN LINK FENCE



TYPICAL PICKET FENCE



INTERLOCKING PAVEMENT DETAIL
TYPICAL

DATE	REVISION	NO.

C. KAVOLINAS & ASSOCIATES INC.
8054 CSLA
2442 JONQUIL COURT
ARBORETOUR, B.C.
V3C 1E9
PHONE (604) 857-2376

WESTERN DEVELOPMENT
INTEREST JOHN SAVIN
c/o PLAT ARCHITECTURE
UNIT 209
6371 KING GEORGE BULLWARD
SURREY, B.C. V3X 1G1

LOT 3 NORTH
LANDSCAPE DETAILS
117 UNIT
TOWNHOUSE DEVELOPMENT
18857 - 36 AVENUE
SURREY, B.C.

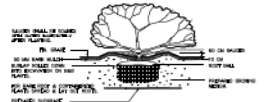
DATE	N.T.S.	DATE	JUN/24
DRAWN		BY	MS
CHECKED		BY	MS
APPROVED		DATE	AS SHOWN

SCALE
DRAWN TO
L-3A

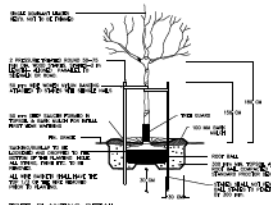
KEY	PLANT LIST		QTY.	SIZE	SPACING	REMARKS	
	BOTANICAL NAME	COMMON NAME					
	ACER CAMPESTRE 'RED SHINE'	RED SHINE MAPLE	15	6 CM. CAL.	AS SHOWN	B. & B.	
	CORNUS FLORIDA 'RUBRUM'	RED FLOWERING DOGWOOD	5	6 CM. CAL.	AS SHOWN	B. & B.	
	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD JAP. MAPLE	5	6 CM. CAL.	AS SHOWN	B. & B.	
	ACER RUBRUM 'BONHALL'	BONHALL RED MAPLE	4	6 CM. CAL.	AS SHOWN	B. & B.	
	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	2	2.50 METERS	AS SHOWN	B. & B.	
	THUJA PLICATA	WESTERN RED CEDAR	5	2.50 METERS	AS SHOWN	B. & B.	
	⊕	AZALEA JAPONICA 'HINO CRIMSON'	CRIMSON AZALEA	34	#3 POT	90 CM. O.C.	
	⊕	AZALEA NORTHERN LIGHTS 'MANDARIN LIGHTS'	NORTHERN LIGHTS AZALEA	42	#3 POT	90 CM. O.C.	
	⊕	AZALEA JAPONICA (VARIOUS)	JAPANESE AZALEA	39	#3 POT	90 CM. O.C.	
	⊕	ABELIA EDWARD GOUCHER	EDWARD GOUCHER ABELIA	21	#3 POT	90 CM. O.C.	
○	BUXUS MACROPHYLLA 'WINTER KEN'	ASIAN BOXWOOD	265	#3 POT	45 CM. O.C.		
○	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	HYDRANGEA	30	#3 POT	90 CM. O.C.		
○	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	12	#2 POT	90 CM. O.C.		
○	SARCOCODON HOOPERIANA HUMILIS	HIMALAYAN SWEET BOX	50	#3 POT	90 CM. O.C.		
○	MEIUM RHODIENDRON (VARIOUS)	RHODIENDRON	62	#3 POT	90 CM. O.C.		
○	HOSTA (VARIOUS)	HOSTA	25	#3 POT	90 CM. O.C.		
○	SYRINGA VULGARIS 'MICHEL BUCHNER'	LILAC	30	#3 POT	90 CM. O.C.		
⊕	PRUNUS LAUROCEASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	220	#3 POT	70 CM. O.C.		
○	RUDECKIA TRILOBA	BLACK-EYED SUSAN	16	#3 POT	45 CM. O.C.		

NOTES

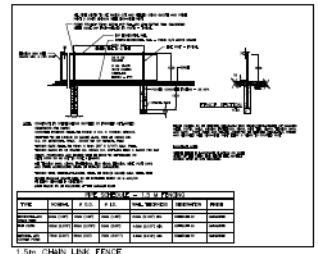
1. PLANT HEIGHTS TO BE VERIFIED AGAINST THE LANDSCAPE DESIGN LIST. CHECK PLANTING SPECIFICATIONS AND THE TREE SPECIFICATIONS LIST FOR ANY CHANGES TO BE MADE TO THE ORIGINAL DESIGN. THE PLANTING LIST IS THE FINAL AUTHORITY FOR PLANTING SPECIFICATIONS. THE PLANTING LIST IS THE FINAL AUTHORITY FOR PLANTING SPECIFICATIONS. THE PLANTING LIST IS THE FINAL AUTHORITY FOR PLANTING SPECIFICATIONS.
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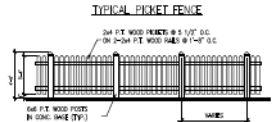
PLANTING DETAIL - SHRUBS & GROUND COVER PLANTS



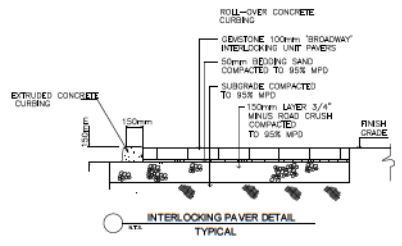
TREE PLANTING DETAIL



1.5m CHAIN LINK FENCE



TYPICAL PICKET FENCE



INTERLOCKING PAVER DETAIL

DATE	ISSUED	BY
	02/20/06	

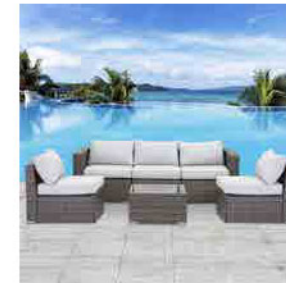
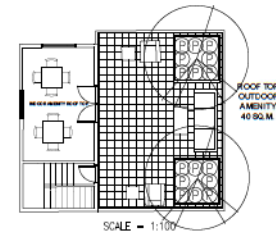
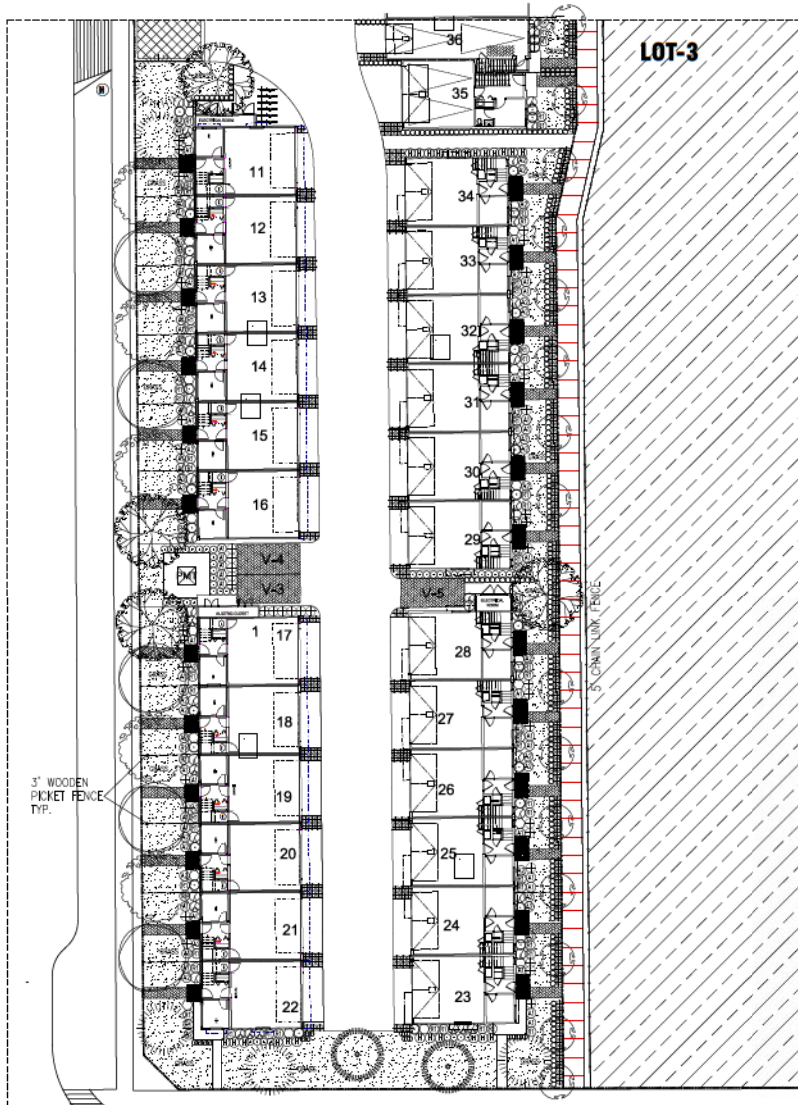
C. KAVOUNAS & ASSOCIATES INC.
 8024 150A
 2462 JONQUIL COURT
 ABERDEEN, B.C.
 V8C 2S6
 PHONE (604) 857-2376





CLIENT
 NORTHWEST DEVELOPMENT
 ATTENTION: JORA SANDHU
 0/0 FLAT APARTMENT
 UNIT 209
 6301 KING GEORGE BOULEVARD
 SURREY, B.C. V3X 1G1

TITLE
 LOT 3 SOUTH
 LANDSCAPE DETAILS
 117 UNIT
 TOWNHOUSE DEVELOPMENT
 18087 - 24 AVENUE
 SURREY, B.C.

SCALE	N.T.S.	DATE	JUN/24
DRAWN	1/13		
REV	1/13		
APPROV	AL/SAT		

PROJECT
 JOB No.
 DRAWING No.
 L-3B1



-  EXPOSED AGGREGATE CONCRETE
-  STAMPED CONCRETE
-  CONCRETE PAVERS
-  BROOM FINISHED CONCRETE

DATE	ISSUED	BY
06/24/24	06/24/24	06/24/24

KAVOLUNAS & ASSOCIATES INC.
 SCALA CISA
 2145 JUNOUIL COURT
 AUSTIN, TEXAS 78746
 PHONE (512) 837-2374

LOT
 NORTHWEST DEVELOPMENT
 ATTORNEY: JOSH SANCHEZ
 c/o PLAT ARCHITECTURE
 UNIT 209
 6321 KING GEORGE BOULEVARD
 SUITE 101, VOA 101

PLAN
 LOT 3 SOUTH
 LANDSCAPE PLAN
 117 UNIT
 TOWNHOUSE DEVELOPMENT
 18087 - 24 AVENUE
 SURVEY, S.C.

SCALE	DATE
1:200	JUN/24
OWNER	DATE
DES.	BY
APPROV.	AS NOTED

PROJECT	JOB NO.
	18087-24
DRAWING NO.	
	L-3B

TO: Director, Development Planning, Planning and Development Department

FROM: Manager, Development Services, Engineering Department

DATE: September 26, 2024

PROJECT FILE: 7822-0228-00

RE: Engineering Requirements
Location: 18087 24 Avenue

NCP AMENDMENT/DEVELOPMENT PERMIT

There are no engineering requirements related to the proposed NCP Amendment/Development Permit except for the requirements listed below.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 8.442 m for 24 Avenue.
- Dedicate as road (without compensation) gazetted road (the northerly 10.058 meters of 24th Avenue) on a road dedication or Section 115 Land Title Act Gazette Dedication.
- Dedicate 12.0 m for 25 Avenue.
- Dedicate 20.0 m for 24A Avenue.
- Dedicate 20.0 m for 181 Street.
- Register 0.5 m SRW along all frontage roads for sidewalk maintenance.

Works and Services

- Confirm Redwood Heights Drainage Pond 2 and associated drainage works, the downstream Sanitary Works and the Water Feeder system have been constructed by others prior to proceeding for Council's Final approval.
- Construct north side of 24 Avenue, both sides of 24A Avenue and 181 Street, and construct the south side of 25 Avenue to the half road standard.
- Construct frontage and downstream storm sewers to service the proposed development.
- Provide Onsite and Offsite Low Impact Development (LID) measures as per the NCP.
- Construct 300 mm water main on 24 Avenue; and 250 mm water mains on 24A Avenue and on 25 Avenue and on 181 Street.
- Construct minimum 250 mm sanitary sewers as required in the NCP.
- Construct water, storm and sanitary service connections to service each proposed lots.

A Servicing Agreement is required prior to Rezone/Subdivision.



Jeff Pang, P.Eng.
Manager, Development Services

IK₁

NOTE: Detailed Land Development Engineering Review available on file



Department: **Planning and Demographics**
 Date: **September 10, 2024**
 Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **22-0228**

The proposed development of **113** Townhouse units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	100
--	-----

Projected Number of Students From This Development In:	
Elementary School =	54
Secondary School =	29
Total Students =	83

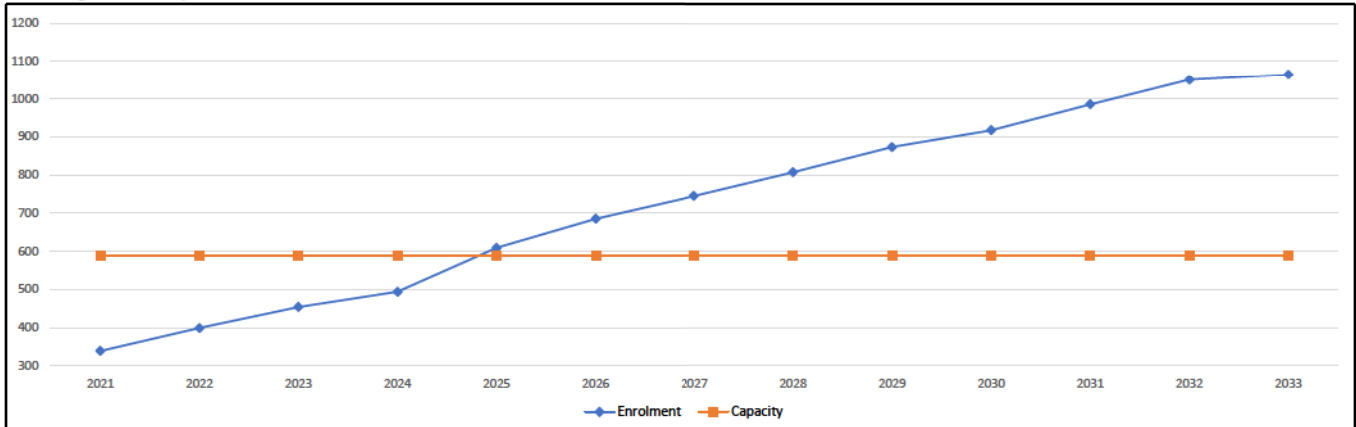
Current Enrolment and Capacities:	
Pacific Heights Elementary	
Enrolment	454
Operating Capacity	588
# of Portables	0
Grandview Heights Secondary	
Enrolment	1702
Operating Capacity	1500
# of Portables	8

Summary of Impact and Commentary
 The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

As of September 2023, Pacific Heights is at 78% capacity. Growth in this area is expected to continue at a rapid pace with the school projected to be over capacity in the very near future. Future schools are planned for the Grandview Heights area to accommodate this growth and revised catchments will be required to manage enrolment pressures.

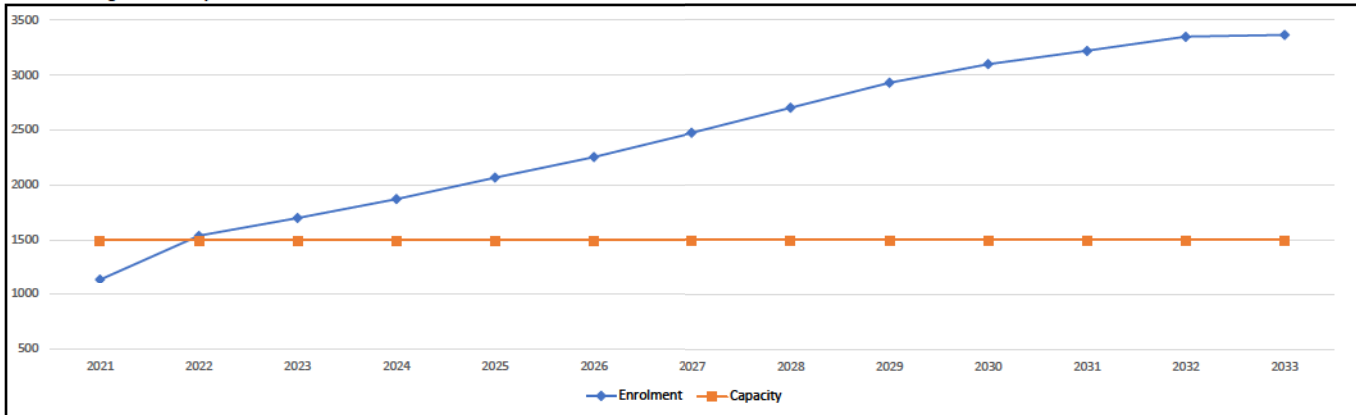
As of September 2023, Grandview Heights is operating at 114% capacity and enrolment is projected to grow rapidly in the next 10 years. The District was successful in securing support for a 500 seat addition to the school, with formal approval still pending. The expansion is targeted to open in 2029. The District was also successful in securing funding for land acquisition in the area, for a new secondary school.

Pacific Heights Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Grandview Heights Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population: The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

TREE PRESERVATION BY LOCATION

Surrey File Number:	22-0228-00
Address:	18087 24 Avenue
Arborist:	Elvis Truong PN-9567A
Date of Report/Revision:	Tuesday, September 24, 2024

*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report

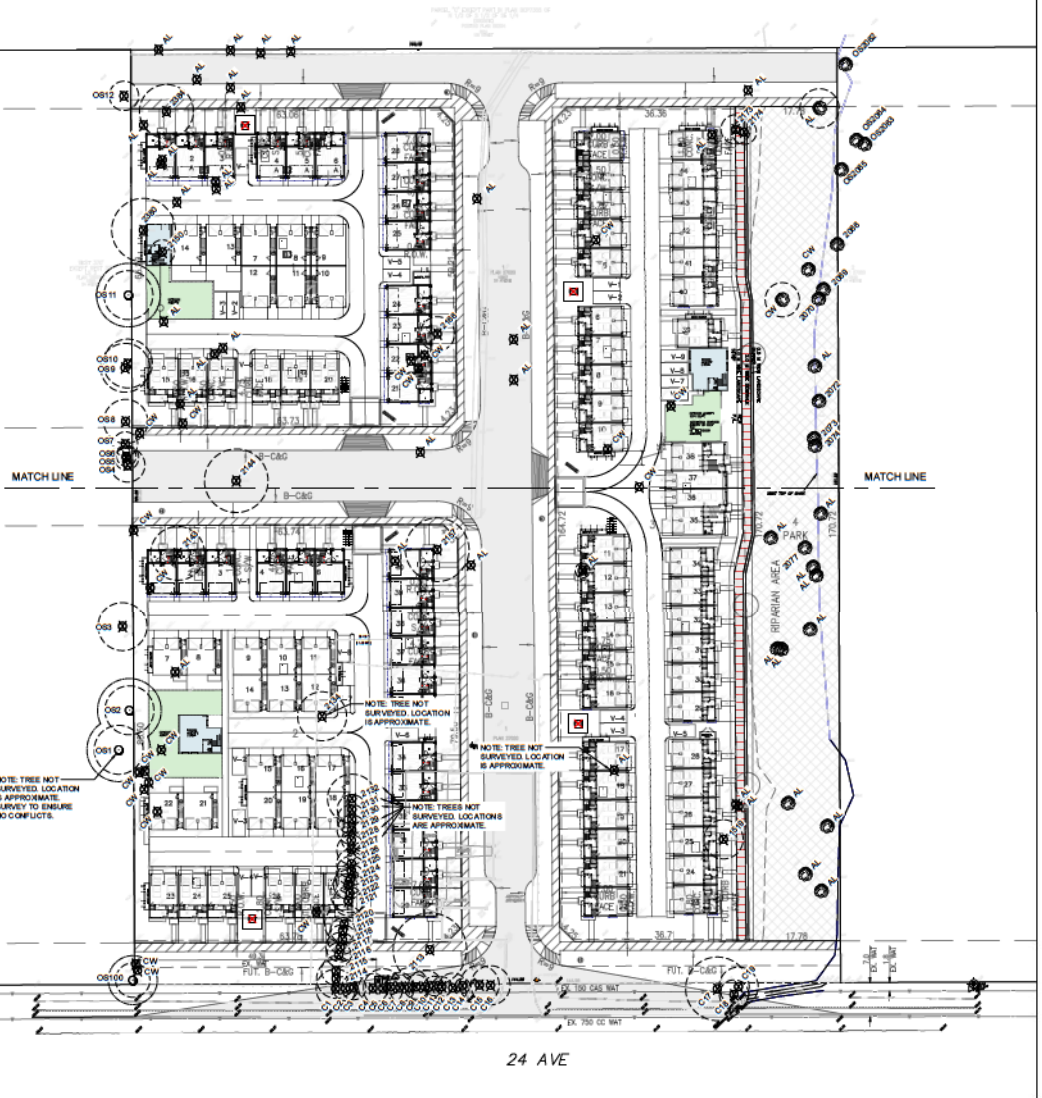
	Alder & Cottonwood Trees		
	Existing	Remove	Retain
ONSITE			
Alder/Cottonwood (outside riparian area)	49	49	0
Alder/Cottonwood (within riparian area)	15	0	15
Total	64	49	15
	Deciduous Trees		
Tree Species	Existing	Remove	Retain
<i>Maple, Bigleaf</i>	3	3	0
Deciduous Subtotal	3	3	0
	Coniferous Trees		
Tree Species	Existing	Remove	Retain
<i>Western Redcedar</i>	9	9	0
<i>Douglas-fir</i>	19	19	0
Coniferous Subtotal	28	28	0
Deciduous & Coniferous Total	31	31	0
Onsite Tree Totals	95	80	15
Onsite Replacement Trees Proposed			
Total Onsite Retained and Replacement Trees		15	
OFFSITE	Alder & Cottonwood Trees		
	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)	13	9	4
Alder/Cottonwood (within riparian area)	0	0	0
Total	13	9	4
	(excluding Alder & Cottonwood Trees)		
Tree Species	Existing	Remove	Retain
<i>NA</i>			
Deciduous & Coniferous Total	0	0	0
Offsite Tree Totals	13	9	4
Total Offsite Retained Trees		4	
CITY	Existing	Remove	Retain
Park/City Lot Trees	0	0	0
Boulevard Trees	19	19	0
Total	19	19	0

TREE PRESERVATION SUMMARY






Surrey File Number: 22-0228-00
 Address: 18087 24 Avenue
 Arborist: Elvis Truong PN-9567A
 Date of Report/Revision: Tuesday, September 24, 2024
 Arborist Signature _____

*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report

ONSITE TREES		# of Trees		
Existing Bylaw Trees			95	
Proposed Removed Bylaw Trees			80	
Proposed Retained Bylaw Trees			15	
Total Replacement Trees Required				
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio				
	Removed	Subtotal		
	49	x 1	49	
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio				
	Removed	Subtotal		
	0	x 2	0	
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio				
	Removed	Subtotal		
	31	x 2	62	
Required Replacement Trees			111	
Proposed Replacement Trees			0	
Deficit of Replacement Trees			111	
Total Onsite Retained and Replacement Trees			15	
OFFSITE TREES		# of Trees		
Existing Bylaw Trees			13	
Proposed Removed Bylaw Trees			9	
Proposed Retained Bylaw Trees			4	
Total Replacement Trees Required				
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio				
	removed			
	9	x 1	9	
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio				
	Removed			
	0	x 2	0	
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio				
	Removed			
	0	x 2	0	
Required Replacement Trees			9	
Total Offsite Retained Trees			4	
CITY TREES		Existing	Removed	Retained
Park/City Lot Trees	0	0	0	
Boulevard Trees	19	19	0	
Total	19	19	0	



LEGEND

-  TREE TO BE RETAINED
-  TREE TO BE REMOVED
-  SPEA TREE RECOMMENDED FOR RETENTION TO BE ASSESSED BY SPRC DEPT.
-  MINIMUM NO DISTURBANCE ZONE
-  1.5m NO-BUILD ZONE

NO.	DATE	BY	REVISION
1	APR2702	MK	REVISED SITE & CIVIL PLAN
2	JUN1124	MK	UPDATED SURVEY & REVISED SITE PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3W0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0392
 Email: m.fadum@fadum.ca

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PROJECT TITLE
18087 24 AVENUE
SURREY, B.C.

SHEET TITLE
KEY - TREE REMOVAL AND PRESERVATION PLAN

CLIENT

DRAWN
 MK

SCALE
 AS SHOWN

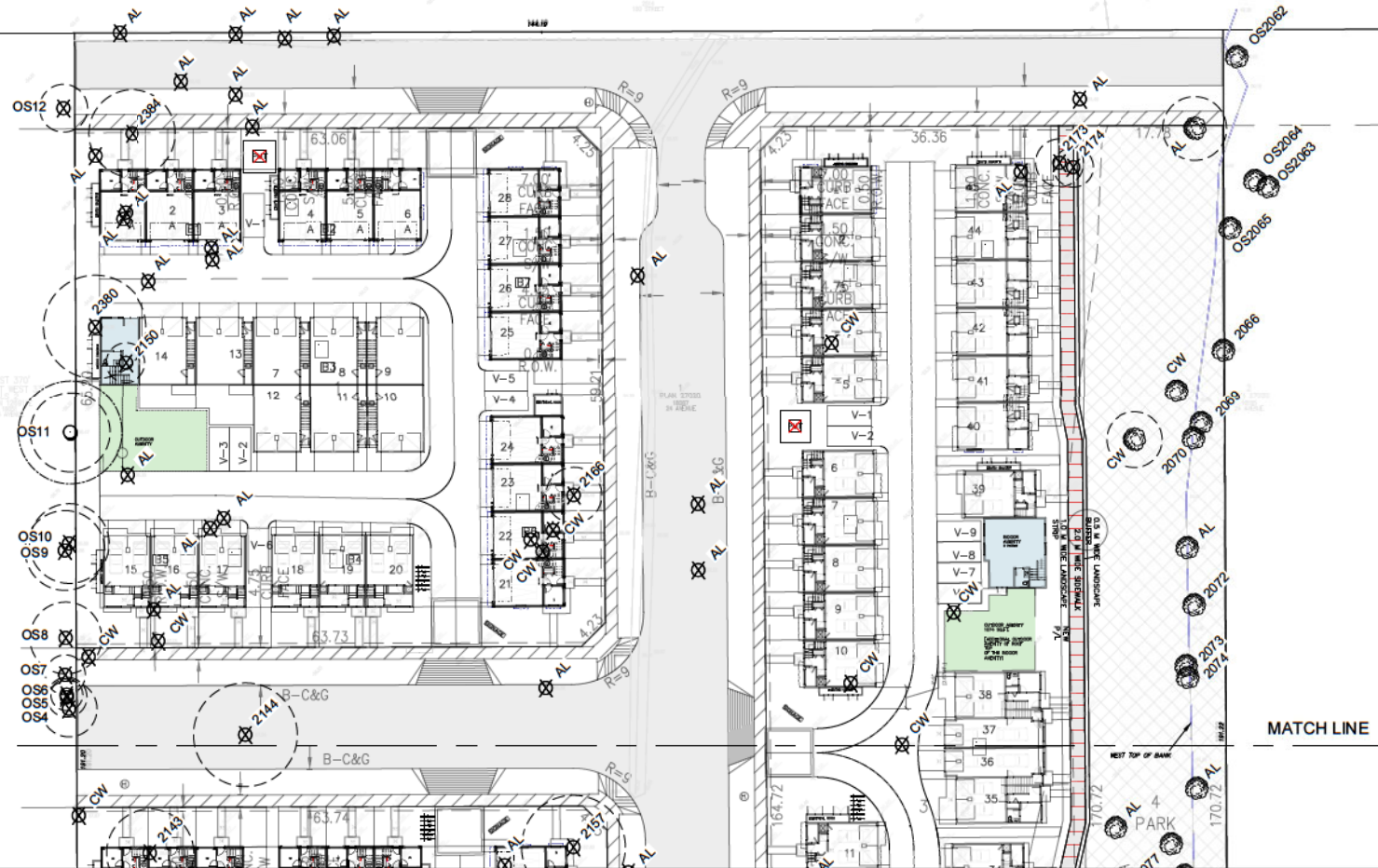
DATE
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KEY

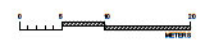
SHEET 1 OF 5



PARCEL 177 CRESTY PART IN PLAN BOTTOMS OF
 1/2 L.P. OF S172 OF S.L. 1/4
 (SOUTH)
 FRONTED PLAN BEING
 100' WIDE



GENERAL NOTES:
 • CONDUCT A TREE RISK ASSESSMENT ON ALL
 EDGE TREES INCLUDING THE RIPARIAN AREA.



LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- SPECIAL TREE RECOMMENDED FOR RETENTION TO BE ASSESSED BY SPRO DEPT.
- MINIMUM NO DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE

MATCH LINE

MATCH LINE

NO.	DATE	BY	REVISION
1	APR27/22	MK	REVISED SITE & CIVIL PLAN
2	JUN11/24	MK	UPDATED SURVEY & REVISED SITE PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105 8277 129 St.
 Surrey, British Columbia
 V3W0A6
 PH: (778) 593-0300
 Fax: (778) 593-0392
 Email: m.fadum@fadum.ca

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PROJECT TITLE
18087 24 AVENUE
SURREY, B.C.

SHEET TITLE
**T1A - TREE REMOVAL AND
 PRESERVATION PLAN - NORTH**

CLIENT

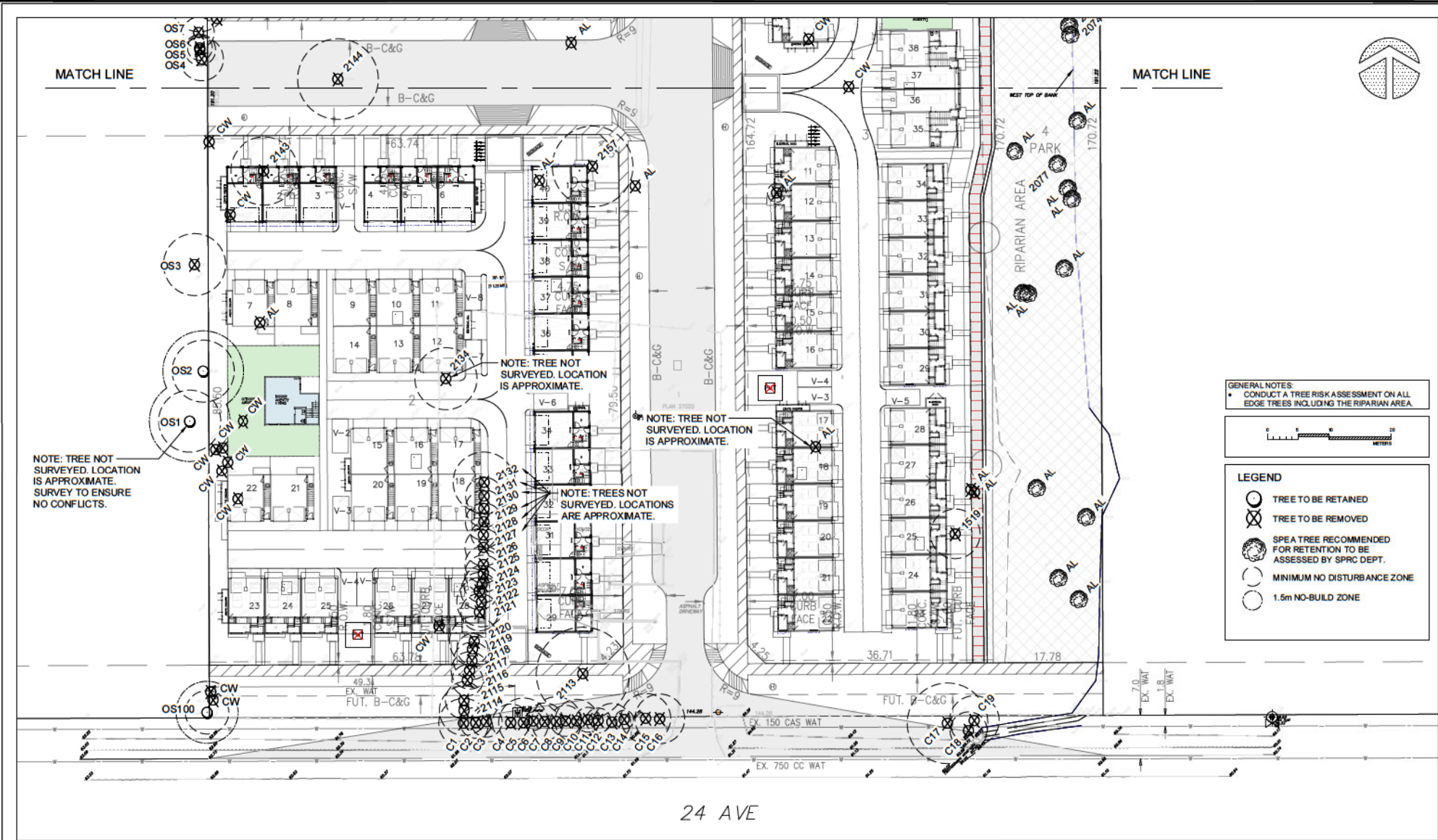
DATE
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DRAWN
 MK

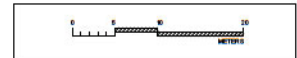
SCALE
 AS SHOWN

DATE
 JULY 23, 2021

T-1A
 SHEET 2 OF 5



GENERAL NOTES:
 • CONDUCT A TREE RISK ASSESSMENT ON ALL EDGE TREES INCLUDING THE RIPARIAN AREA.



- LEGEND**
- TREE TO BE RETAINED
 - TREE TO BE REMOVED
 - SPCA TREE RECOMMENDED FOR RETENTION TO BE ASSESSED BY SPRC DEPT.
 - MINIMUM NO DISTURBANCE ZONE
 - 1.5m NO-BUILD ZONE

NOTE: TREE NOT SURVEYED. LOCATION IS APPROXIMATE. SURVEY TO ENSURE NO CONFLICTS.

NOTE: TREE NOT SURVEYED. LOCATION IS APPROXIMATE.

NOTE: TREE NOT SURVEYED. LOCATION IS APPROXIMATE.

NOTE: TREES NOT SURVEYED. LOCATIONS ARE APPROXIMATE.

24 AVE

NO.	DATE	BY	REVISION
1	APR2722	MK	REVISED SITE & CIVIL PLAN
2	JUN1124	MK	UPDATED SURVEY & REVISED SITE PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3W0A6
 PR: (778) 593-0300
 Fax: (778) 593-0302
 Email: m.fadum@fadum.ca

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PROJECT TITLE
18087 24 AVENUE
SURREY, B.C.

SHEET TITLE
T1B - TREE REMOVAL AND PRESERVATION PLAN - SOUTH
 CLIENT

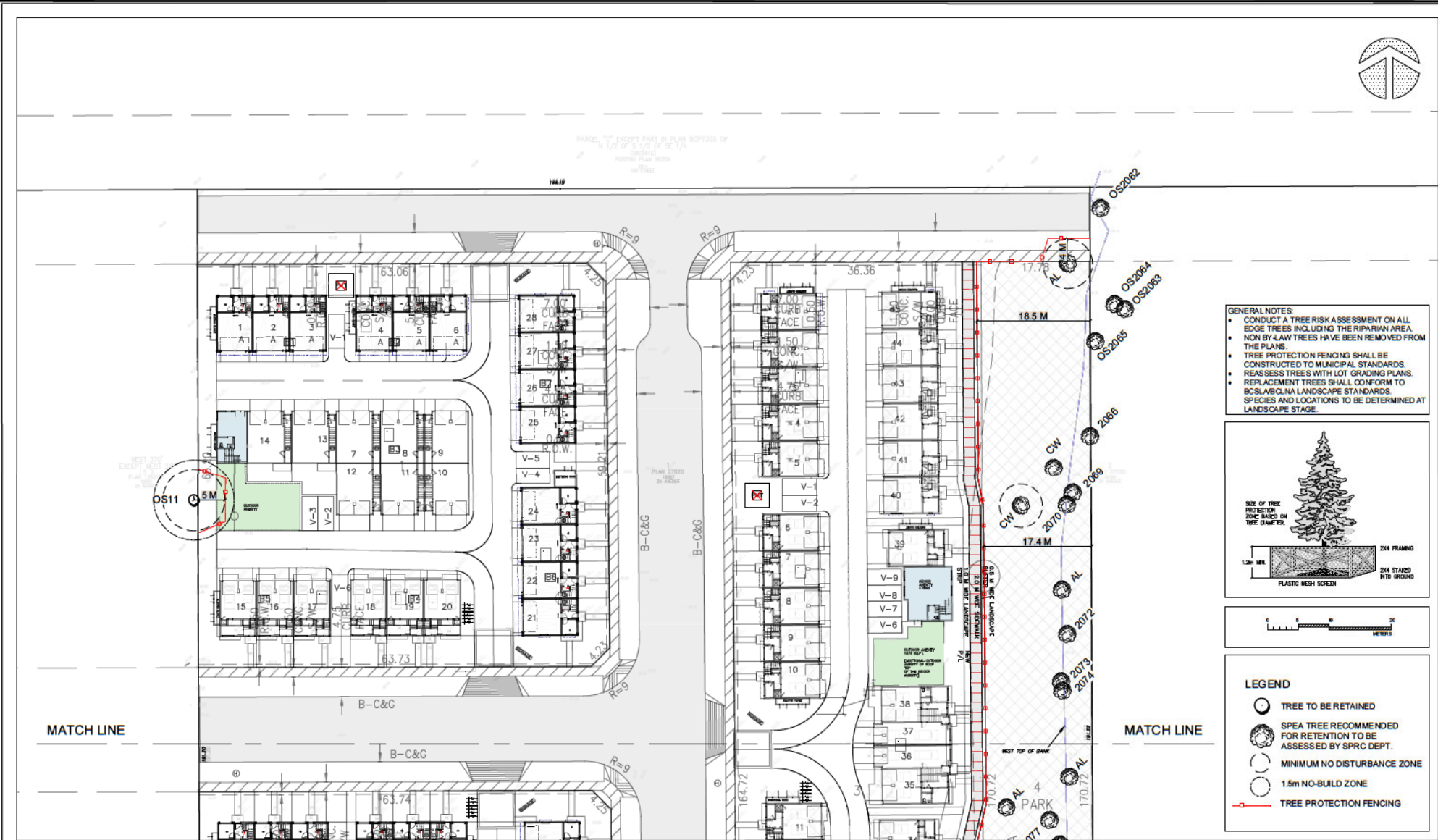
 DATE
 JULY 23, 2021

DRAWN
 MK
 SCALE
 AS SHOWN
 DATE
 JULY 23, 2021

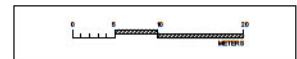
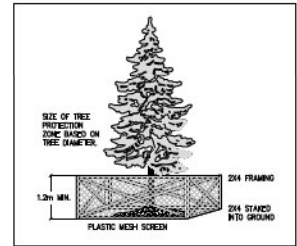
T-1B
 SHEET 3 OF 5



PARCEL TO CREDIT PARTS IN PLAN NOTICES OF
N 1/4 OF E 1/2 OF S 1/4
SECTION 10
T20 S 12 W 11 R 14
MAY 2012



- GENERAL NOTES**
- CONDUCT A TREE RISK ASSESSMENT ON ALL EDGE TREES INCLUDING THE RIPARIAN AREA.
 - NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS.
 - TREE PROTECTION FENCING SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.
 - REASSESS TREES WITH LOT GRADING PLANS.
 - REPLACEMENT TREES SHALL CONFORM TO BCSL/BCNA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.



- LEGEND**
- TREE TO BE RETAINED
 - SPEA TREE RECOMMENDED FOR RETENTION TO BE ASSESSED BY SPRC DEPT.
 - MINIMUM NO DISTURBANCE ZONE
 - 1.5m NO-BUILD ZONE
 - TREE PROTECTION FENCING

MATCH LINE

MATCH LINE

NO.	DATE	BY	REVISION
1	APR27/22	MK	REVISED SITE & CIVIL PLAN
2	JUN11/24	MK	UPDATED SURVEY & REVISED SITE PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105 8277 129 St.
Surrey, British Columbia
V3W0A6
PH: (778) 593-0300
FAX: (778) 593-0392
Email: m.fadum@fadum.ca

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PROJECT TITLE
18087 24 AVENUE
SURREY, B.C.

SHEET TITLE
T2A - TREE PROTECTION AND PRESERVATION PLAN - NORTH

DRAWN MK
SCALE AS SHOWN
DATE JULY 23, 2021

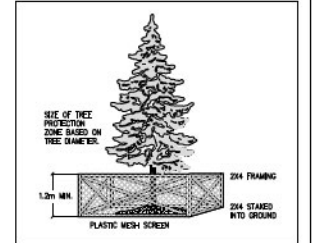
T-2A
SHEET 4 OF 5

MATCH LINE

MATCH LINE

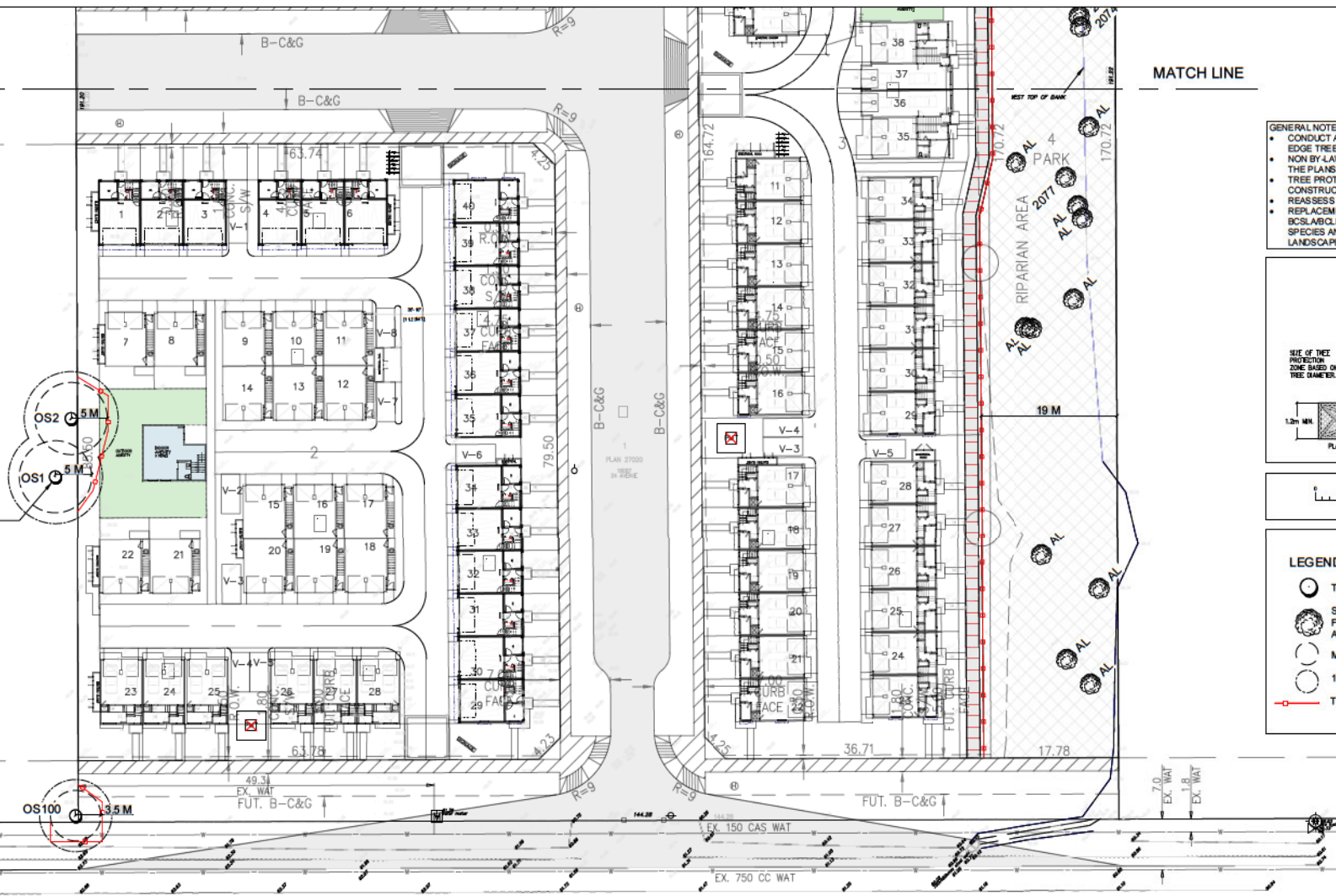


- GENERAL NOTES:**
- CONDUCT A TREE RISK ASSESSMENT ON ALL EDGE TREES INCLUDING THE RIPARIAN AREA.
 - NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS.
 - TREE PROTECTION FENCING SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.
 - REASSESS TREES WITH LOT GRADING PLANS.
 - REPLACEMENT TREES SHALL CONFORM TO BCSLAB/QLNA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.



- LEGEND**
- TREE TO BE RETAINED
 - ⊗ SPEA TREE RECOMMENDED FOR RETENTION TO BE ASSESSED BY SPRC DEPT.
 - MINIMUM NO DISTURBANCE ZONE
 - 1.5m NO-BUILD ZONE
 - TREE PROTECTION FENCING

NOTE: TREE NOT SURVEYED. LOCATION IS APPROXIMATE. SURVEY TO ENSURE NO CONFLICTS.



24 AVE

NO.	DATE	BY	REVISION
1	APR27/22	MK	REVISED SITE & CIVIL PLAN
2	JUN11/24	MK	UPDATED SURVEY & REVISED SITE PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105 8277 129 St.
Surrey, British Columbia
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PROJECT TITLE
18087 24 AVENUE
SURREY, B.C.

SHEET TITLE
T2B - TREE PROTECTION AND PRESERVATION PLAN - SOUTH

CLIENT

DATE
JULY 23, 2021

DRAWN
MK

SCALE
AS SHOWN

DATE
JULY 23, 2021

T-2B
SHEET 4 OF 5

Redwood NCP | Summary

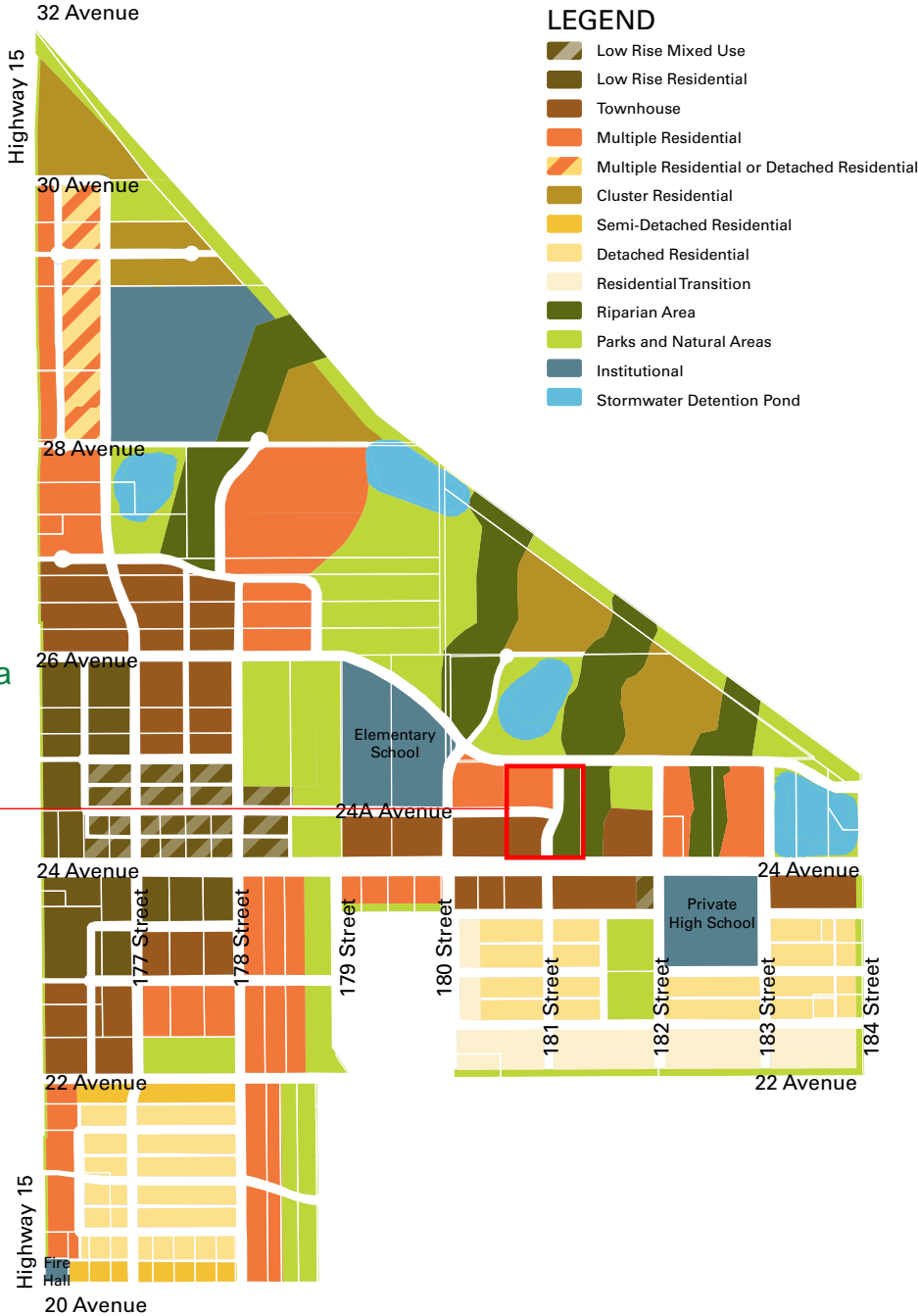
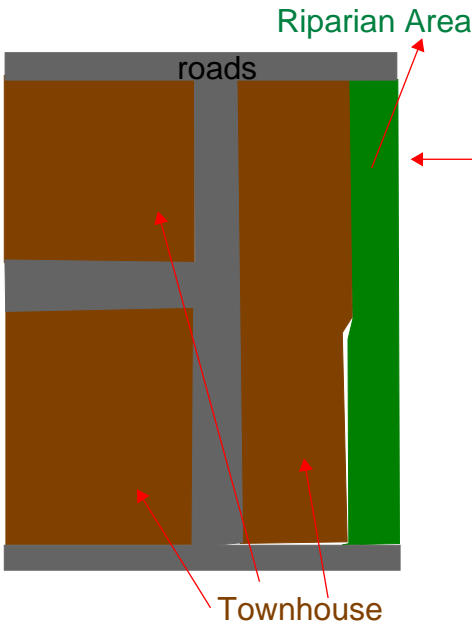
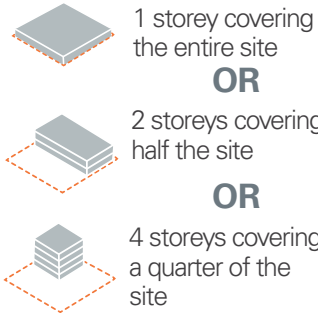
Land Use Strategy

This land use plan shows where and how land uses fit together to create a coordinated plan. Corresponding land use designations includes example images and summary descriptions for the different types of land uses that can occur within the plan area.

WHAT IS FAR?

Floor Area Ratio (FAR) is a measure of density. It is a ratio of the building's floor area divided by the site's area. FAR alone does not determine a building's height.

For example, a building with 1 FAR could have...



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0228-00

Issued To:

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 008-957-371
 Lot 1 Section 20 Township 7 New Westminster District Plan 27020
 18087 - 24 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Subsection F. Yard and Setbacks, of Part 22 Multiple Residential 30 Zone, the minimum west yard setback is reduced from 6.0 metres to 3.0 metres to the principal building face for proposed Lots 1 and 2;
 - (b) In Subsection F. Yard and Setbacks, of Part 22 Multiple Residential 30 Zone, the minimum east yard setback is reduced from 6.0 metres to 5.0 metres to the principal building face for the indoor amenity building for proposed Lot 3; and
 - (c) In Subsection J. Special Regulations, 4. Back-to-Back Ground-Oriented Dwelling Units of Part 22 Multiple Residential 30 Zone, the maximum allowable percentage of back-to-back units is increased from 20% to 21% for proposed Lot 1 and from 20% to 30% for proposed Lot 2.
5. This development variance permit applies to only the portion of the Land OR that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

To increase the allowed percentage of back-to-back units is increased from 20% to 21% for proposed Lot 1



LEGAL DESCRIPTION:
 LOT 1 SECTION 20 TOWNSHIP 7 PLAN
 NWP27020 NWD.
 CIVIC ADDRESS:
18087 24 Ave
 SURREY, BC.
 ZONING INFORMATION:
 ZONE:
 A-2
 REDWOOD HEIGHTS
 MULTIPLE RESIDENTIAL
 EXISTING
 NCP
 LAND USE

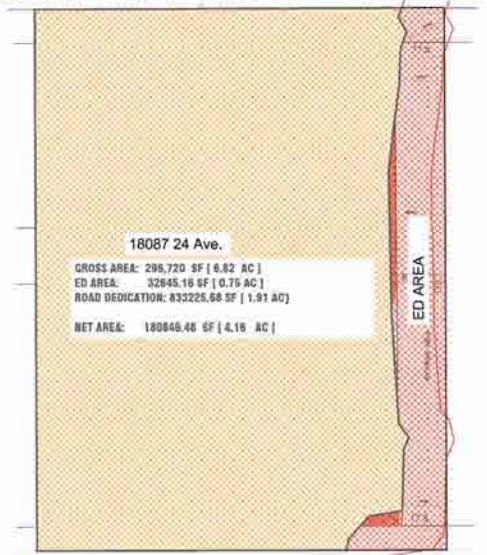
GROSS SITE AREA	295,720.30 SQ FT	27,384.89 SQ M	6.32 ACRES
ENVIRONMENTAL DEDICATION	12,445.08 SQ FT	1,146.20 SQ M	0.29 ACRES
ROAD DEDICATION	63,232.48 SQ FT	5,858.00 SQ M	1.34 ACRES
NET AREA	219,998.74 SQ FT	20,380.69 SQ M	4.69 ACRES
LOT 1	46,832.39 SQ FT	4,318.20 SQ M	1.07 ACRES
LOT 2	41,120.18 SQ FT	3,800.20 SQ M	0.86 ACRES
LOT 3	79,997.85 SQ FT	7,398.09 SQ M	1.69 ACRES

PARKING:

RESIDENTIAL:	2.0 STALLS PER UNIT = 2X 113 =	226
REQUIRED :		226
PROVIDED :		
RESIDENTIAL VISITOR:	0.2 STALLS PER UNIT = 0.2 X 113 =	22.6 STALLS (SAT'23)
REQUIRED :	\$(LOT1) + 6 (LOT2) + 9 (LOT 3) =	23 STALLS
PROVIDED :		
TOTAL PROVIDED		249 STALLS



minimum east yard setback is reduced from 6.0 metres to 5.0 metres to the principal building face for the indoor amenity building for proposed Lot 3



minimum west yard setback is reduced from 6.0 metres to 3.0 metres to the principal building face for proposed Lots 1 and 2

To increase the allowed percentage of back-to-back units is increased from 20% to 30% for proposed Lot 2

cre 8 ARCHITECTS

2004 59 Avenue
 Surrey, BC V3A 0C4
 Email: jason@cre8architects.com
 441 1778 891 0109

Project: TOWNHOUSE DEVELOPMENT
 Client Name: OURDEV SANDRS
 Project Address: 18087 24 AVE, SURREY BC
 Drawing: **SITE LAYOUT**
 Project Status:

REVISION		
No.	Date	Description
01	2024-06-27	3/17 Drawings
02	2024-09-26	3/17 Drawings

Scale: Scale (1/16"=1'-0") DWG. NO.: **A.1.0**

CITY OF SURREY

BYLAW NO. 21434

A bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015, c.1, as amended, by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule A under Part 3 of Surrey Zoning By-law, 1993, No. 12000, as amended, as follows:

FROM: INTENSIVE AGRICULTURE ZONE (A-2)
TO: MULTIPLE RESIDENTIAL 30 ZONE (RM-30)

PID: 008-957-371
Lot 1 Section 20 Township 7 NWD Plan 27020

(18087 - 24 Avenue)

2. This Bylaw shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21434".

PASSED FIRST READING on the th day of , 20 .

PASSED SECOND READING on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7924-0123-00

Planning Report Date: October 21, 2024

PROPOSAL:

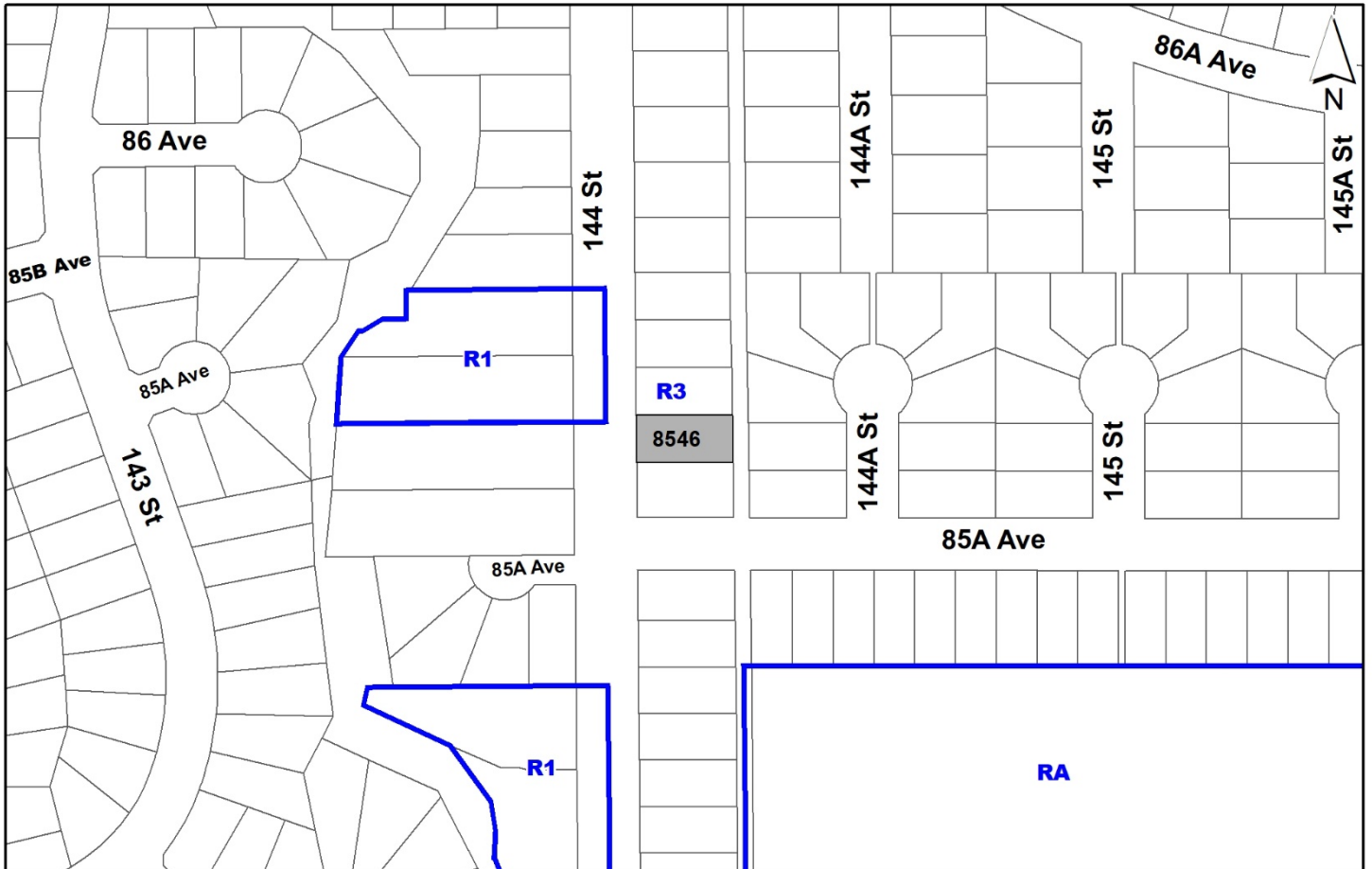
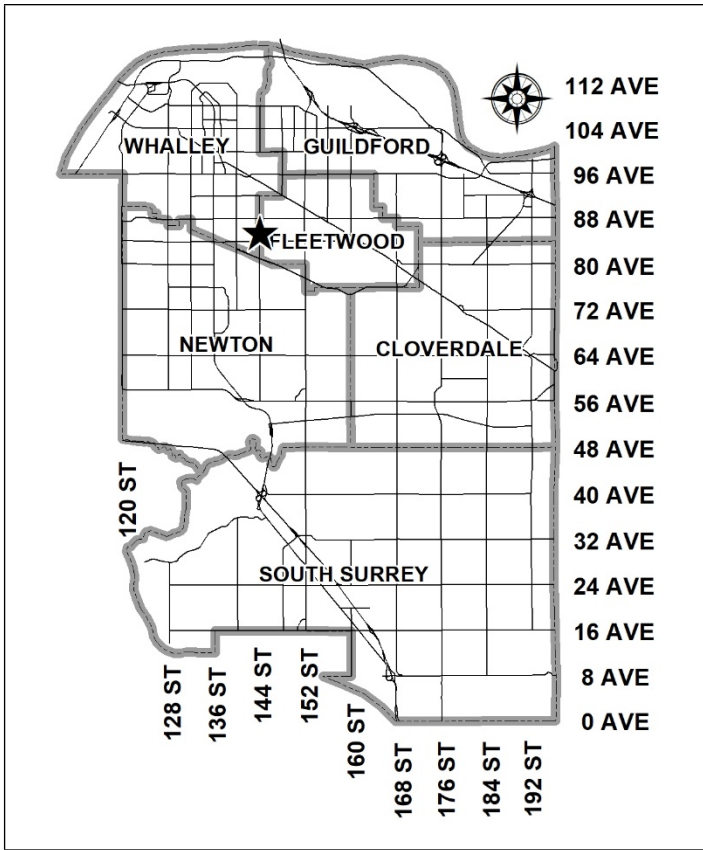
- Rezoning from R₃ to CCR
- Development Variance Permit

to permit a child care centre for up to 24 children, within an existing single family dwelling on the lot.

LOCATION: 8546 - 144 Street

ZONING: R₃

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to reduce parking requirements in order to facilitate a child care operation on the subject site.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Urban designation in the Official Community Plan (OCP).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal will assist in providing additional needed child care spaces in the City.
- The proposal adheres to the Surrey Child Care Guidelines as it pertains to location, outdoor play area, and parking spaces.
- Staff received only one response identifying concern with the proposal from an area resident in response to the pre-notification process. The applicant has demonstrated support for the proposal from 25 residents in the neighbourhood.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Urban Residential Zone (R3)" to "Child Care Zone (CCR)" and a date be set for Public Hearing.
2. Council Approve Development Variance Permit No. 7924-0123-00 (Appendix III) reducing the minimum number of Off-Street parking spaces for a Child Care Centre from 9 to 8, to proceed to Public Notification.
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering; and
 - (b) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Single family residential	Urban	R3
North:	Single family residential	Urban	R3
East:	Single family residential	Urban	R3
South:	Single family residential	Urban	R3
West (Across 144 Street):	Single family residential	Urban	R1 and R3

Context & Background

- The subject site is located on the edge of a residential neighbourhood on the east side of 144 Street between 85A Avenue and 86A Avenue. The site is approximately 676 square metres in size and contains a two-storey single family dwelling.
- The property is designated "Urban" in the Official Community Plan (OCP) and is zoned "Urban Residential Zone (R3)".
- The surrounding neighbourhood is generally comprised of single-family residences, with Enver Creek Secondary School located 76 metres to the south.

- The subject application proposes rezoning the property to allow a child care centre for up to 24 children. The proposed child care centre will be located on the main level of the existing residence, retaining the residential use as the principal use on the upper level.
- There is an existing 8 children care facility operating on the site.
- Child care centres are Provincially regulated licensed facilities. Facilities that accommodate up to eight children or less are permitted in any residential zone. However, to allow the capacity beyond eight children, a zone designated specifically to accommodate such a child care facility is required.
- The Child Care Zone (CCR Zone) is intended to permit the development of child care centres accommodating a maximum of 25 children in a residential community while retaining the existing single family dwelling as the principal use on the lot. Such facilities are licensed and regulated under the Community Care and Assisted Living Act and the Child Care Licensing Regulations.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes to rezone the subject property from "Urban Residential (R3) Zone" to "Child Care (CCR) Zone" in order to allow a child care for up to 24 children within the existing single-family dwelling.

Referrals

Engineering: The Engineering Department has no objection to the project.

Parks, Recreation & Culture: Brookside Park is the closest active park with amenities including a softball diamond and soccer fields, which are approximately 750 metres walking distance from the development. Price Creek Park is the closest park with a natural area and is approximately 410 metres walking distance from the development.

Fraser Health Authority: No concerns regarding the proposed rezoning and outdoor play area. Detailed review will be required at a later stage.

Surrey Fire Department: The Fire Department has no objections.

Transportation Considerations

- The subject site is located approximately 275 metres north of 84 Avenue which has bus stops serviced by route #341(Guildford Exchange/ Newton Exchange). The property is and will continue to be accessed from the existing rear lane to the east.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "General Urban" land use designation in the Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The subject property is located within the "Urban" land use designation in the Official Community Plan (OCP) which is intended to support low and medium density residential neighbourhoods, with small-scale daycare facilities identified as a complementary use. The scale of the proposed child care centre is compatible with the existing residential use and the surrounding neighbourhood. As such, the proposal complies with the "Urban" land use designation.

Themes/Policies

- The proposed child care centre will support the child care needs of the growing community and is considered an appropriate scale for the surrounding residential area.
- The proposal helps to create mixed-use neighbourhoods that support the needs of residents by including a child care facility within easy walking and cycling distance in order to reduce dependency on private vehicles.

Zoning By-law

- The applicant proposes to rezone the subject site from R₃ to CCR.
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Child Care Zone (CCR)" and parking requirements.

CCR Zone (Part 43)	Permitted and/or Required	Proposed
Yards and Setbacks		
Front Yard (west):	7.5 metres	9.5 metres
Side Yard (north, south):	1.8 metres	1.8 metres
Rear (east):	7.5 metres	12.8 metres
Lot Size		
Lot Size:	560 square metres	676 square metres
Lot Width:	15 metres	18.4 metres
Lot Depth:	28 metres	34.3 metres
Parking (Part 5)		
Single Family Dwelling	3	2

CCR Zone (Part 43)	Permitted and/or Required	Proposed	
Child Care Centre	0.70 parking spaces per employee	For 3 employees, $3 \times 0.7 = 2.1$	2 spaces
	0.15 parking spaces per licensed child for drop-off, or 2 parking spaces, whichever is greater.	For 24 children, $24 \times 0.15 = 3.6$	4 spaces
Total	9 spaces	8 spaces*	

*Variance requested (see Parking Variance rationale below).

Parking Variance

- A total of 8 parking spaces are proposed on-site, including 2 for the residential use and 6 for the child care centre. In accordance with the provisions in Zoning Bylaw No. 12000, single family dwellings require 3 parking spaces, however, the applicant has confirmed that there is no secondary suite within the residence, and that the occupant of the home will also be one of the operators of the child care facility.
- Staff support the requested variance to proceed for consideration.

Surrey Child Care Guidelines

- In June 2023, the City established the Surrey Child Care Guidelines which are intended to provide direction for City staff and operators looking to set up a licenced child care facility in Surrey. The following analysis illustrates how the proposed application adheres to the general policies and regulations pertaining to location, outdoor spaces, and parking related of Child Care Centres:
 - Location in Community
 - The subject site is close to community facilities including Enver Creek Secondary School;
 - The property is adjacent to an arterial road, which is not a preferred location under the Child Care Guidelines, however, the proposed outdoor play area is setback from the arterial road with an existing landscape buffer and secure fencing, which is supported by the guidelines.
 - The proposed child care facility is in an area that is currently under-served. Based on the information provided on the Surrey Community Resource Maps, there are 12 existing child care facilities (subject site included) within 1 km of the subject site.
 - The subject site is not close to any industrial areas.
 - Adjacent Uses & Safety Considerations
 - The proposal will not result in significant changes to privacy, lighting or visual impacts; and
 - Landscaping, including fencing will help screen the child care use, including the outdoor play area, from neighbouring properties.
 - Arterial Roads

- The outdoor play area is located adjacent to the arterial road frontage but has been setback from the road with an existing landscape buffer and proposed secure fencing.
- The proposed drop-off parking is not located along the arterial road frontage.
- Access & Parking
 - The access to the drop off area and the proposed eight parking spaces is from the existing rear lane.
 - There is sufficient space at the rear of the site to accommodate pick-up/drop-off as well as service, delivery and emergency vehicles.
- Trees & Landscaping
 - Existing onsite hedges provide a buffer along the frontage of the site.
- Fencing & Screening
 - Existing landscaping (hedge) along west property line will provide visual screening of outdoor play areas; and
 - Proposed internal fencing (beyond existing fencing on the west property line) along the arterial roadside will be designed to provide necessary safety and security.
- Relationship to Grade
 - The site is relatively flat, and the existing two-storey building is at grade. The child care is proposed on the main floor level.
- Natural Light & Views
 - The facility is located on the main floor with plenty of windows to provide natural light.
- Outdoor Play Areas
 - The applicant has confirmed that the proposal complies with the Fraser Health licencing requirements.
 - The outdoor play area has direct access to the indoor care area, and it provides natural shading and soft surfaces (grass, sand, wood chips).
 - The outdoor play area is one large space to allow for efficient supervision, and is located in the front yard, sufficiently screened and fenced from the arterial road.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on August 7, 2024, and the Development Proposal Sign was also installed on August 7, 2024. Staff received one response from a neighbouring property (*staff comments in italics*):
- One resident raised concerns around the proposed child care facility and its impact to the neighbourhood, citing noise as a potential problem. They also questioned how a predominantly commercial use will interface with the area.
 - *The proposed child care operation will operate within typical business hours and will be an accessory use to a single family dwelling with the operators residing in the building. The property is located abutting an arterial (144 Street) at the edge of the neighbourhood and vehicular access will be from the existing rear lane.*
- The applicant canvassed their immediate neighbourhood and were able to secure support from 25 neighbors between 85A Avenue and 86A Avenue.
- The subject application was reviewed by the Whalley Community Advisory Association, which did not provide any comments.

TREES

- There are no mature trees on the site.
- The provided arborist report confirms that all city and offsite trees are being retained.
- The applicant has confirmed that the existing hedge along 144 Street will be retained and maintained as it provides an adequate screening from the fronting arterial roadway.
- Staff will work with the applicant to choose a style of fencing for the interior of the property that provides necessary safety and security, while also being aesthetically appropriate.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Proposed Site Plan
Appendix II.	Engineering Summary
Appendix III.	Development Variance Permit
Appendix IV.	Summary of Tree Survey and Tree Preservation

approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development

ELM/cm

Appendix I

ZONING RECONCILIATION - EXISTING CONDITION (APPLICATION FOR REZONING)		
CIVIC ADDRESS	8546 144 STREET SURREY BC	
LEGAL ADDRESS	LOT 179 SECTION 27 TOWNSHIP 2 PLAN NWP56325 NWD	
ZONING	EXISTING ZONE	PROPOSED ZONE
	RP(SINGLE FAMILY RESIDENTIAL ZONE)	CD (based on CCR)
PERMITTED USES	SINGLE FAMILY DWELLING	CHILD CARE CENTER for a max 25 children and Single Family dwelling
REGULATIONS		
LOT AREA	N/A	N/A
DENSITY		
LOT COVERAGE	MAX 40%	max. 40%
YARD AND SETBACKS		
FRONT	7.5m (25 feet)	9.5m (31'3")
REAR	7.5m (25 feet)	12.8 m (42'0")
SIDE	3 m (10 ft)	1.3 m (4'2") & 2.3m(7'5")
HEIGHT OF BUILDING	Principle building +9m (30 ft)	Principle building +9m (30 ft)
OFF-STREET PARKING		
PART 5 TABLE C.1	PARKING SPACES REQUIRED as per CHILDCARE FACILITY	Single family dwelling unit = 3 parking spaces Single family dwelling unit = 2 parking spaces (Variance Requested)
	3 EMPLOYEES	0.7 PARKING SPACES PER EMPLOYEE 0.7*3 = 2.00
	24 CHILDREN	0.15 PARKING SPACES PER LICENSED CHILD FOR DROP-OFF OR 2 PARKING SPACES WHICHEVER IS GREATER. 0.15*24 = 4
TOTAL	Total spaces req for whole site = 3+6= 9 spaces	Total spaces provided for whole site = 2+6= 8 spaces

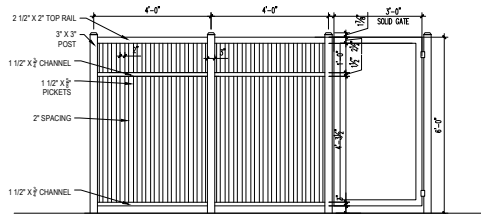
DENSITY CALCULATIONS:
 LOT AREA - 6739.16SF
 MAIN FLOOR GFA - 1776.79FT
 SECOND FLOOR GFA - 632.65FT
 DENSITY = 1776.7 / 6739.16 = 260.65SF
 = 2409.3/6739.16 = 0.357

CHILDCARE REGULATIONS

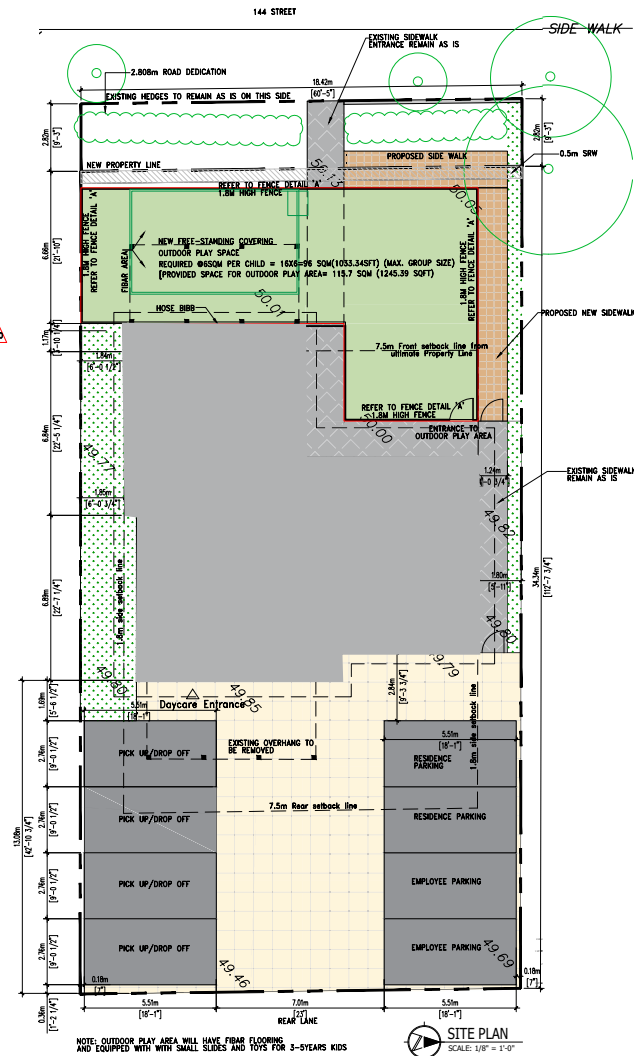
CARE PROGRAM	GROUP SIZE PROPOSED	INDOOR SPACE REQUIREMENTS		OUTDOOR SPACE REQUIREMENTS		STAFF REQUIREMENTS	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
30 MONTHS TO 5 YEAR	16 CHILDREN	16 CHILDREN @3.7 SQM =59.25SQM	68.1 SQM	16 CHILDREN @6 SQM TOTAL 16 X6=96 SQM	115.7 SQM (MAXIMUM GROUP OF 16 CHILDREN)	1 EDUCATOR + 1 ASSISTANT	2 TEACHERS
MULTI-AGE GROUP	8 CHILDREN	8 CHILDREN @3.7 SQM =29.6SQM	30.55 SQM			1 EDUCATOR	1 TEACHERS

WASHROOM CALCULATION

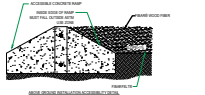
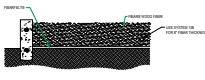
FOR CHILDREN BASED ON FRASER HEALTH REGULATIONS			
NUMBER OF CHILDREN	REQUIRED	PROVIDED	
		WC	WB
24	FOR EVERY 10 CHILDREN 1 WC AND 1 WB = REQUIRED IS 3 WC AND 3 WB	3	3
FOR TEACHERS BASED ON BCBC 2024			
NUMBER OF TEACHERS	REQUIRED	1	1
3	BASED ON 3, 1, 2, 2, (4) WC = 1 AND WB = 1		
TOTAL REQUIRED		4	4



ALUMINIUM FENCE DETAIL A
 1/2" = 1'-0"



SITE PLAN
 SCALE: 1/8" = 1'-0"



ENGINEERED WOOD FIBER PLAYGROUND SAFETY SURFACING
 (ASTM F2955-19)

FIBAR WOOD FIBER DETAILS
 1/2" = 1'-0"

REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY
01	2023-04-07	ISSUED TO CITY OF SURREY FOR REVIEW	JM	01	2023-04-07	ISSUED TO CITY OF SURREY FOR REVIEW	JM
02	2023-04-11	ISSUED TO CITY OF SURREY FOR REVIEW	JM	02	2023-04-11	ISSUED TO CITY OF SURREY FOR REVIEW	JM
03	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM	03	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM
04	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM	04	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM
05	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM	05	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM
06	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM	06	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM
07	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM	07	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM
08	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM	08	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM
09	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM	09	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM
10	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM	10	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM
11	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM	11	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM
12	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM	12	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM
13	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM	13	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM
14	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM	14	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM
15	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM	15	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM
16	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM	16	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM
17	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM	17	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM
18	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM	18	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM
19	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM	19	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM
20	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM	20	2023-04-14	ISSUED TO CITY OF SURREY FOR REVIEW	JM

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Architects Seal & Signature

JMArchitecture Inc.
 Principal: Joe M. Miran
 1100 144 Street
 UNIT 7 15005 144 Avenue
 Surrey, B.C. V3S 5X7
 604 - 583 5922 - 1
 joe@jmaarchitecture.co

START DATE: Feb 2023
 PROJECT NO.: 2023-05
 SCALE: AS SHOWN

Client: Mrs Bajinder Thind

SITE PLAN
 Project No: A-100
 Date: 2023-05

DO NOT SCALE DRAWING



INTER-OFFICE MEMO

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **September 16, 2024**

PROJECT FILE: **7824-0123-00**

RE: **Engineering Requirements**
Location: 8546 144 St

REZONE

Property and Right-of-Way Requirements

- Dedicate 2.808 m along 144 St.
- Register 0.5 m SRW along 144 St.

Works and Services

- Construct new sanitary, drainage, and water service connections.
- Submit water meter sizing calculations. Construct water meter and backflow preventer at the property line.

A Servicing Agreement may be required prior to Rezone.

DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit.

Jeff Pang, P.Eng.
Manager, Development Services

JNC

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7924-0123-00

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-444-004
Lot 179 Section 27 Township 2 New Westminster District Plan 56325
8546 - 144 Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) Section D.1 of Part 5 Off-Street Parking and Loading/Unloading to reduce the minimum number of Off-Street parking spaces for a Child Care Centre from 9 to 8.
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

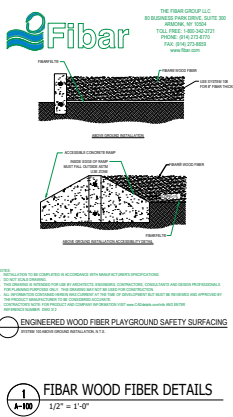
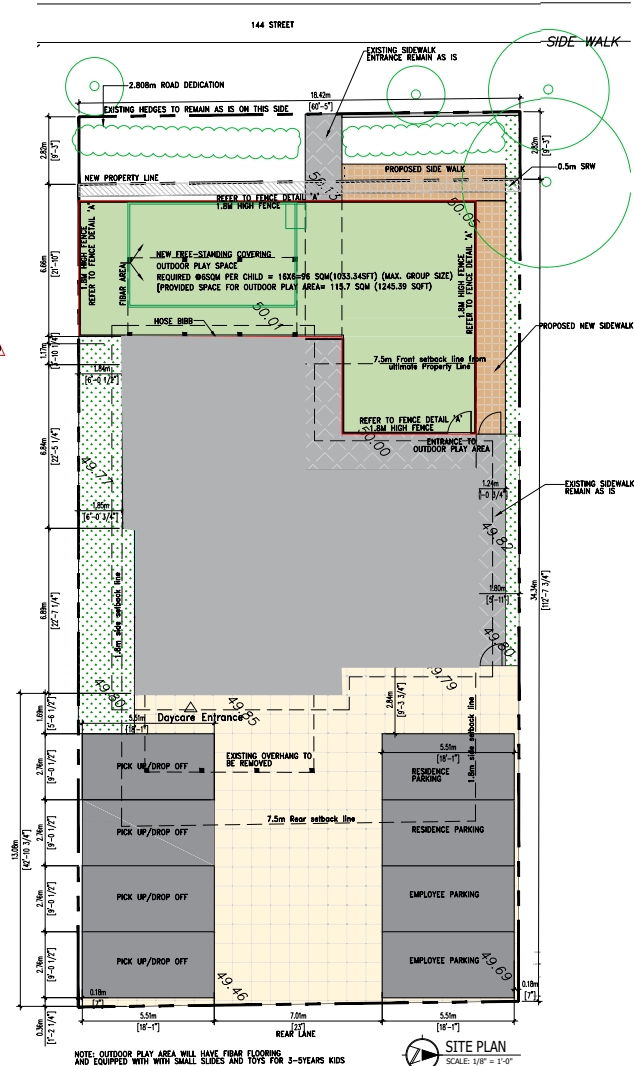
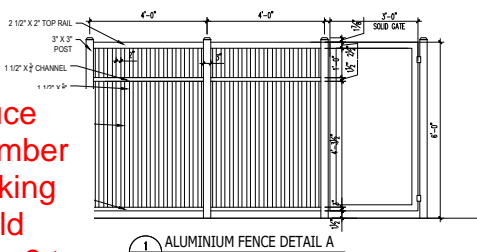
ZONING RECONCILIATION - EXISTING CONDITION (APPLICATION FOR REZONING)			
CIVIC ADDRESS	8546 144 STREET SURREY BC		
LEGAL ADDRESS	LOT 179 SECTION 27 TOWNSHIP 2 PLAN NWP56325 NWD		
ZONING	EXISTING ZONE	PROPOSED ZONE	
	RP(SINGLE FAMILY RESIDENTIAL ZONE)	CD (based on CCR)	
PERMITTED USES	SINGLE FAMILY DWELLING	CHILD CARE CENTER for a max 25 children and Single Family dwelling	
REGULATIONS			
LOT AREA	N/A	N/A	
DENSITY			
LOT COVERAGE	MAX 40%	max. 40%	
YARD AND SETBACKS			
	FRONT	7.5m (25 feet)	9.5m (31'3")
	REAR	7.5m (25 feet)	12.8m (42'0")
	SIDE	3m (10 ft)	1.3m (4'2") & 2.3m(7'5")
HEIGHT OF BUILDING	Principle building +9m (30 ft)	Principle building +9m (30 ft)	
OFF-STREET PARKING			
PART 5 TABLE C.1	PARKING SPACES REQUIRED as per CHILDCARE FACILITY	Single family dwelling unit = 3 parking spaces	
	3 EMPLOYEES	0.7 PARKING SPACES PER EMPLOYEE	0.7*3 = 2.00
	24 CHILDREN	0.15 PARKING SPACES PER LICENSED CHILD FOR DROP-OFF OR 2 PARKING SPACES WHICHEVER IS GREATER.	0.15*24 = 4
TOTAL		Total spaces req for whole site = 3+6= 9 spaces	Total spaces provided for whole site = 2+6= 8 spaces

DENSITY CALCULATIONS:
 LOT AREA - 6739.16SF
 MAIN FLOOR GFA - 1776.79FT
 SECOND FLOOR GFA - 1276.65FT
 DENSITY = 1776.7 / 6739.16 = 0.262
 = 2409.3/6739.16 = 0.357

CHILDCARE REGULATIONS						
CARE PROGRAM	GROUP SIZE PROPOSED	INDOOR SPACE REQUIREMENTS		OUTDOOR SPACE REQUIREMENTS		STAFF REQUIREMENTS
		REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED
30 MONTHS TO 5 YEAR	16 CHILDREN	16 CHILDREN @3.7 SQM =59.25SQM	68.1 SQM	16 CHILDREN @9 SQM TOTAL 16 X9=96 SQM	115.7 SQM (MAXIMUM GROUP OF 16 CHILDREN)	1 EDUCATOR + 1 ASSISTANT
MULTI-AGE GROUP	8 CHILDREN	8 CHILDREN @3.7 SQM =29.6SQM	30.55 SQM			1 EDUCATOR

WASHROOM CALCULATION			
FOR CHILDREN BASED ON FRASER HEALTH REGULATIONS			
NUMBER OF CHILDREN	REQUIRED	PROVIDED	
		WC	WB
24	FOR EVERY 10 CHILDREN 1 WC AND 1 WB = REQUIRED 16.5 WC AND 3 WB	3	3
FOR TEACHERS BASED ON BCBC 2024			
NUMBER OF TEACHERS	REQUIRED	PROVIDED	
3	BASED ON WC = 1		
	TOTAL WC=4		

Variance to reduce the minimum number of Off-Street parking spaces for a Child Care Centre from 9 to 8.



REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY
04	2024-04-07	RE-CHECKED TO CITY OF SURREY FOR REZONING	JM	18	2024-04-19	ISSUED TO OWNER FOR REVISION	JM
				19	2024-04-22	ISSUED TO OWNER FOR REVISION	JM
				20	2024-04-23	ISSUED TO OWNER FOR REVISION	JM
				21	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				22	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				23	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				24	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				25	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				26	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				27	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				28	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				29	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				30	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				31	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				32	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				33	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				34	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				35	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				36	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				37	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				38	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				39	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				40	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				41	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				42	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				43	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				44	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				45	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				46	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				47	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				48	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				49	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM
				50	2024-04-24	ISSUED TO CITY OF SURREY FOR REZONING APPLICATION	JM

JMArchitecture Inc.
 Unit 7 5005 54th Avenue
 Surrey, B.C. V3S 5X7
 604-583-5922 - 1
 jim@jmaarchitecture.co

Architects Seal & Signature
 Project Name: LITTLE WILLES DAYCARE CTR.
 8546 144 Street SURREY, BC
 Client: Mrs Bajlander Thind
 Project No: 2023-05
 Scale: AS SHOWN
 Date: Feb 2023

DO NOT SCALE DRAWING

TREE PRESERVATION SUMMARY

Surrey File Number: TBD
 Address: 8546 144 Street
 Arborist: Elvis Truong PN-9567A
 Date of Report/Revision: October 4, 2024

Arborist Signature 

*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report

<u>ONSITE TREES</u>				<u># of Trees</u>
Existing Bylaw Trees				<u>0</u>
Proposed Removed Bylaw Trees				<u>0</u>
Proposed Retained Bylaw Trees				<u>0</u>
Total Replacement Trees Required				
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio				
Removed			Subtotal	
0	x	1	0	
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio				
Removed			Subtotal	
0	x	2	0	
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio				
Removed			Subtotal	
0	x	2	0	
Required Replacement Trees				<u>0</u>
Proposed Replacement Trees				<u>0</u>
Deficit of Replacement Trees				<u>0</u>
Total Onsite Retained and Replacement Trees				<u>0</u>
<u>OFFSITE TREES</u>				<u># of Trees</u>
Existing Bylaw Trees				<u>1</u>
Proposed Removed Bylaw Trees				<u>0</u>
Proposed Retained Bylaw Trees				<u>1</u>
Total Replacement Trees Required				
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio				
Removed				
0	x	1	0	
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio				
Removed				
0	x	2	0	
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio				
Removed				
0	x	2	0	
Required Replacement Trees				<u>0</u>
Total Offsite Retained Trees				<u>1</u>
<u>CITY TREES</u>		<u>Existing</u>	<u>Removed</u>	<u>Retained</u>
Park/City Lot Trees		0	0	0
Boulevard Trees		3	0	3
Total		3	0	3



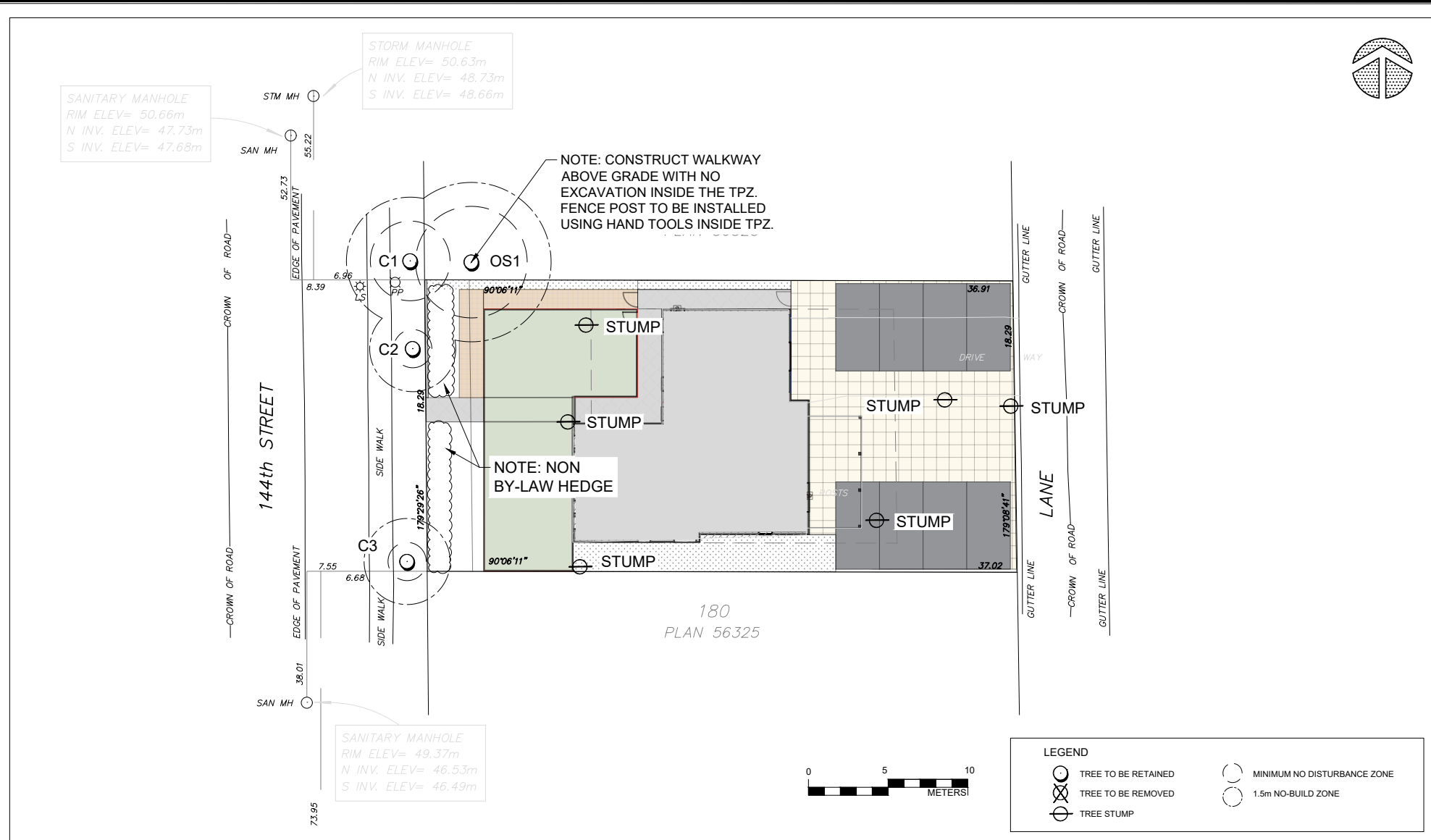
SANITARY MANHOLE
RIM ELEV= 50.66m
N INV. ELEV= 47.73m
S INV. ELEV= 47.68m

STORM MANHOLE
RIM ELEV= 50.63m
N INV. ELEV= 48.73m
S INV. ELEV= 48.66m

NOTE: CONSTRUCT WALKWAY ABOVE GRADE WITH NO EXCAVATION INSIDE THE TPZ. FENCE POST TO BE INSTALLED USING HAND TOOLS INSIDE TPZ.

NOTE: NON BY-LAW HEDGE

180
PLAN 56325



LEGEND	
	TREE TO BE RETAINED
	TREE TO BE REMOVED
	TREE STUMP
	MINIMUM NO DISTURBANCE ZONE
	1.5m NO-BUILD ZONE

STAMP	NO.	DATE	BY	REVISION

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Email: m.fadum@fadum.ca

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PROJECT TITLE
8546 - 144th STREET
LITTLE SMILES DAYCARE
CORP.
SURREY, B.C.

SHEET TITLE
T1 - TREE REMOVAL AND PRESERVATION PLAN

CLIENT

DRAWN MK
SCALE AS SHOWN
DATE OCTOBER 03, 2024

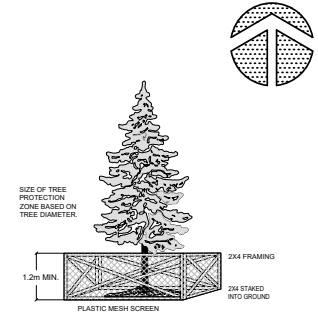
T-1
SHEET 1 OF 2

SANITARY MANHOLE
RIM ELEV= 50.66m
N INV. ELEV= 47.73m
S INV. ELEV= 47.68m

STORM MANHOLE
RIM ELEV= 50.63m
N INV. ELEV= 48.73m
S INV. ELEV= 48.66m

NOTE: CONSTRUCT WALKWAY ABOVE GRADE WITH NO EXCAVATION INSIDE THE TPZ. FENCE POST TO BE INSTALLED USING HAND TOOLS INSIDE TPZ.

NOTE: NON BY-LAW HEDGE



TREE PROTECTION BARRIER

TREE PROTECTION BARRIERS MUST BE BUILT TO THE FOLLOWING SPECIFICATIONS:

MATERIALS:

- 2x4'S FOR FRAMING (VERTICAL POSTS, TOP AND BOTTOM RAILS, AND CROSS-BRACING)
- PLASTIC MESH SCREENING

DIMENSIONS:

- 1.2M IN HEIGHT
- MAXIMUM 3.7M SPACING BETWEEN VERTICAL POSTS

BARRIER SIZE:

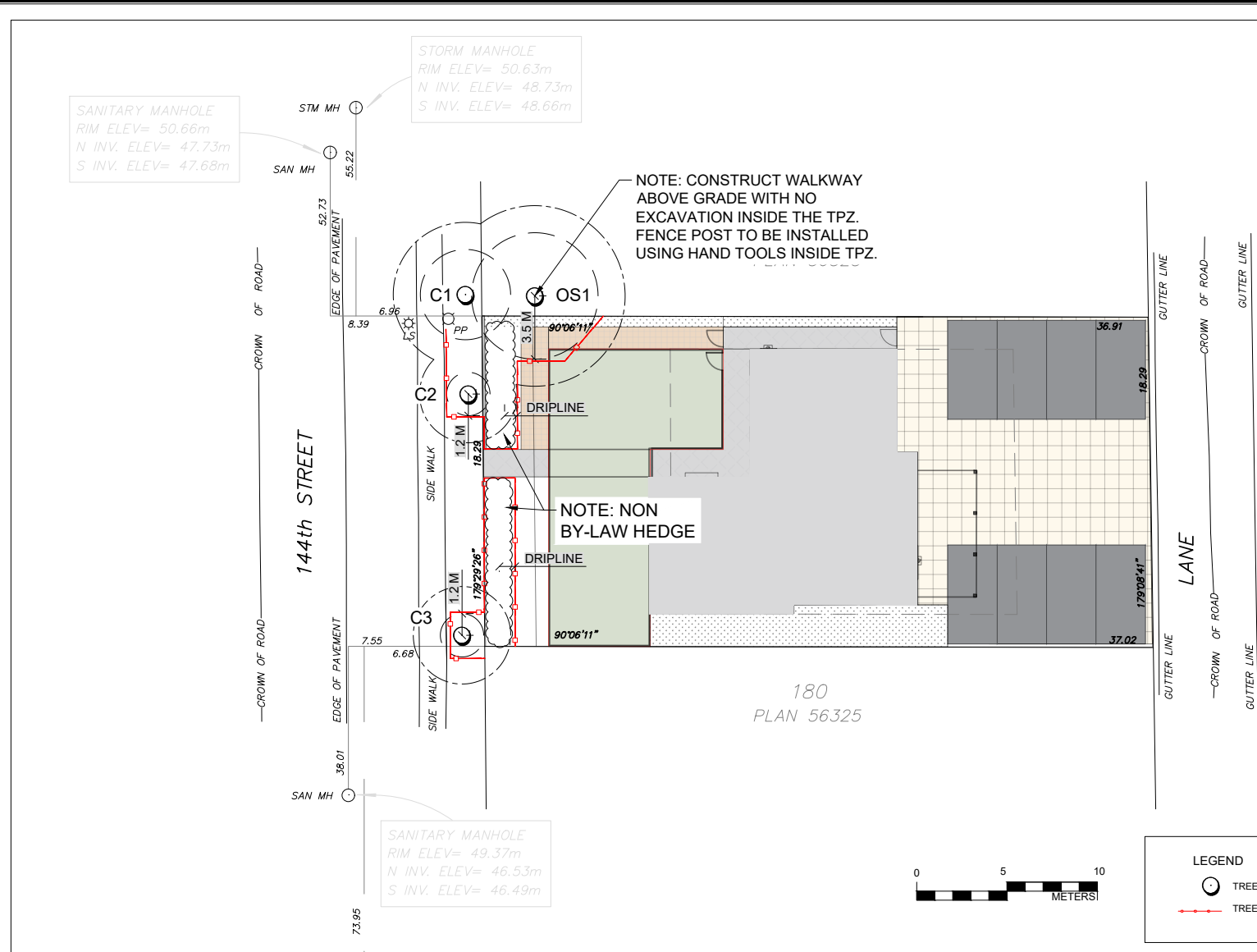
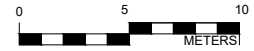
- BARRIERS MUST BE BUILT A MINIMUM DISTANCE OF SIX (6) TIMES THE TREE DIAMETER.
- BARRIER SIZE = 6X DIAMETER OF TREE

GENERAL NOTES:

- NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS.
- PROPOSED PERIMETER FENCE. NO EXCAVATION AND HAND DIG POSTS IF INSIDE TREE PROTECTION ZONE.
- TREE PROTECTION FENCING TO BE MEASURED FROM THE OUTER EDGE OF TREE TRUNK AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.
- REASSESS TREES WITH LOT GRADING PLANS.
- REPLACEMENT TREES SHALL CONFORM TO BC/SLA/BC/LNA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.

LEGEND

- TREE TO BE RETAINED
- MINIMUM NO DISTURBANCE ZONE
- TREE PROTECTION FENCING
- 1.5m NO-BUILD ZONE



STAMP	NO.	DATE	BY	REVISION

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
Surrey, British Columbia
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PROJECT TITLE
8546 - 144th STREET
LITTLE SMILES DAYCARE CORP.
SURREY, B.C.

SHEET TITLE
T2 - TREE PROTECTION PLAN

CLIENT

DATE
OCTOBER 03, 2024

DRAWN MK

SCALE AS SHOWN

T-2
SHEET 2 OF 2

CITY OF SURREY

BYLAW NO. 21435

A bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015, c.1, as amended, by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule A under Part 3 of Surrey Zoning By-law, 1993, No. 12000, as amended, as follows:

FROM: URBAN RESIDENTIAL ZONE (R3)
TO: CHILD CARE ZONE (CCR)

PID: 005-444-004
Lot 179 Section 27 Township 2 NWD Plan 56325

(8546 - 144 Street)

2. This Bylaw shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21435".

PASSED FIRST READING on the th day of , 20 .

PASSED SECOND READING on the th day of , 20 .

PUBLIC HEARING HELD thereon on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7924-0267-00

Planning Report Date: October 21, 2024

PROPOSAL:

- **Development Variance Permit**

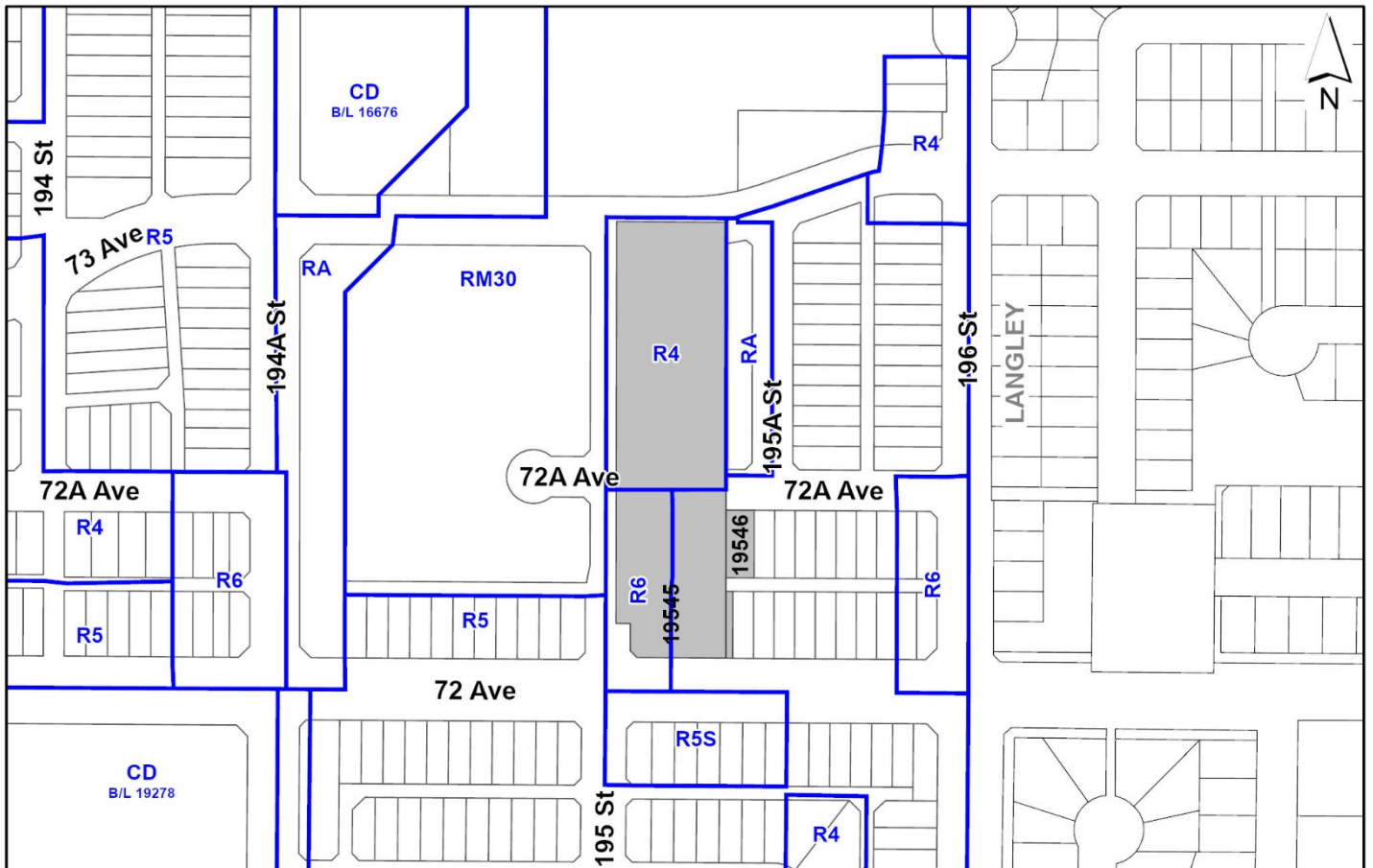
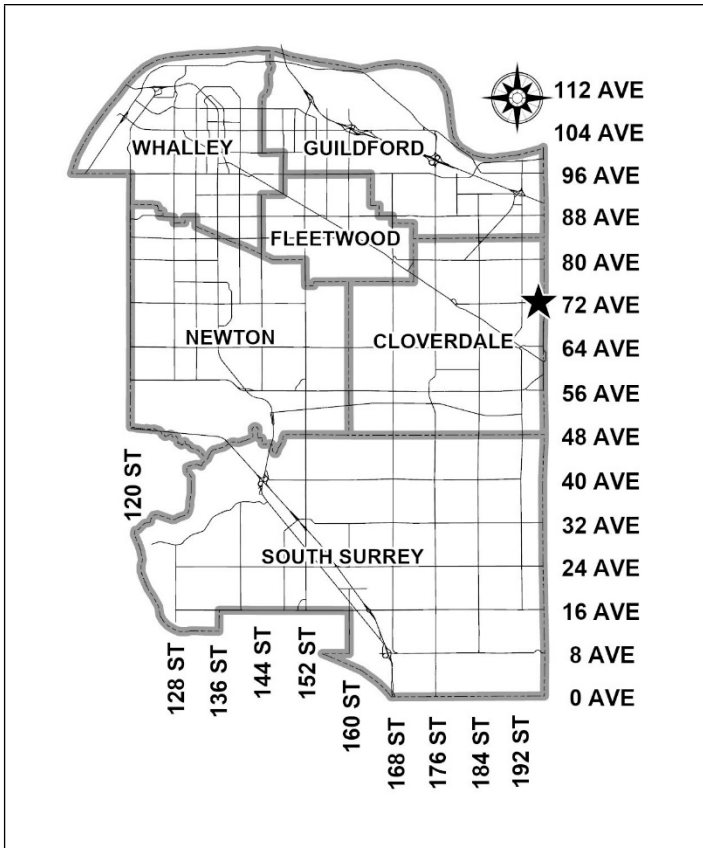
in order to allow subdivision into seven (7) small residential lots, six (6) compact lots and four (4) semi-detached narrow lots.

LOCATION: 19545 - 72 Avenue
 19546 - 72A Avenue

ZONING: R4, R5 and R6

OCP DESIGNATION: Urban

NCP DESIGNATION: 10-15 u.p.a. Medium Density



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- To reduce minimum lot width of the "Compact Residential Zone (R5)" for Proposed Lots 3-6 and 16-17.

RATIONALE OF RECOMMENDATION

- Prior to the Small-Scale Multi-Unit Housing (SSMUH) Zoning Bylaw updates, Council finalized formal Development Application No. 7913-0156-00 application at the April 8, 2024 Regular Council – Land Use Meeting. At that time, the applicant was proposing the following:
 - OCP Amendment from Suburban to Urban;
 - NCP Amendment of a portion from 6-10 u.p.a. Low Density and 10-15 u.p.a. Special Residential to 10-15 u.p.a. Medium Density;
 - Rezoning portions from RA to RF-9, RF-12 and RF-SD; and
 - Subdivision from two (2) lots to seventeen (17) lots.
- Due to non-compliance of resulting R5 lot dimensions as a result of new SSMUH zoning, the application was unable to formally subdivide. The proposed variance will allow the subdivision component of Application No. 7913-0156-00 to complete, effectively finalizing the project.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7924-0267-00 (Appendix II) to reduce the minimum lot width of the R5 Zone Interior Lot Type II from 12.3 metres to 9 metres for proposed Lots 3-6 and 16-17, to proceed to Public Notification.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Vacant residential lots which received Final Adoption on April 8, 2024 under Application No. 7913-0156-00	10-15 u.p.a Medium Density	R4, R5 and R6
North (Across 73 Avenue):	Townhouses	15-25 u.p.a. High Density	RM-30
East (including across 15A Street):	Existing and remnant residential lots	10-15 u.p.a Medium Density	RA, R5, R6
South (Across 72 Avenue):	Existing residential lots	10-15 u.p.a. Special Residential	R5S
West (Across 195 Street):	Townhouses and small single family lots	15-25 u.p.a. High Density and 10- 15 u.p.a. Medium Density	RM-30 and R5

Context & Background

- The two subject sites, 19545 - 72 Avenue and 19546 – 72A Avenue are designated Urban in the Official Community Plan (OCP) and designated 10-15 u.p.a. Medium Density in the East Clayton Extension North of 72 Avenue Neighbourhood Concept Plan (NCP).
- Under Application No. 7913-0156-00, the subject sites received Final Adoption from Council at the April 8, 2024, Regular Council – Land Use Meeting. The intent of the development application was to subdivide the subject parcels into seventeen (17) residential lots under the Zoning that was in effect prior to the small-scale multi-unit housing (SSMUH) Zoning Bylaw updates:
 - Semi-Detached Residential Zone (RF-SD) (Lots-2, 7-8);
 - Single Family Residential (9) Zone (RF-9) (Lots 3-6, 16-17); and
 - Single Family Residential (12) Zone (RF-12) (Lots 9-15)
- Subsequent to Final Adoption, the Approving Officer approved the Application to Deposit the Subdivision Plan (ADP).

- The Approving Officer signature on the ADP expires after sixty days. Unfortunately, the applicant did not register the ADP prior to this expiry. As such, applicable legal documentation was unable to be registered at the Land Titles Office (LTO) in order to formalize the subdivision.
- On June 10, 2024, Council endorsed Corporate Report No. R0109; 2024, titled "Small-Scale Multi-Unit Housing: Zoning By-law Amendments Related to Provincial Housing Legislation". These amendments to the Zoning By-law were aligned with provincial housing legislation by replacing 14 single-family zones, one semi-detached zone, four gross density zones, and one duplex zone with nine new SSMUH zones.
- As a result, proposed Lots 3-6 and 16-17 do not comply with the minimum lot widths of the new Compact Residential (R5) Zone. The applicant is seeking a Development Variance Permit (DVP) in order to address this non-compliance.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to facilitate Subdivision, the applicant is proposing to reduce the minimum lot width of the R5 Zone Interior Lot Type II from 12.3 metres to 9 metres for proposed Lots 3-6 and 16-17.
- No other changes are proposed to the Rezoning Bylaw, OCP Amendment or NCP Amendment that were previously approved by Council
- Staff support the requested variances to proceed for consideration.

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements previously specified in Servicing Agreement 7813-0156-00.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Proposed Subdivision Layout
- Appendix II. Development Variance Permit No. 7924-0267-00

approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development

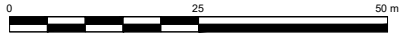
ELM/cb

**SUBDIVISION PLAN OF
EAST HALF LOT 3 PLAN 2600 EXCEPT PLAN EPP48746
AND PARTS OF LOT 6 EPP39569
SECTION 22 TOWNSHIP 8
NEW WESTMINSTER DISTRICT**

PLAN EPP114806

BCGS 92G.017

DATUM.....NAD83 (CSRS)	4.0.0.BC.1.MVRD
UTM ZONE.....	10
UTM NORTHING.....	5443166.244
UTM EASTING.....	522555.448
ABSOLUTE ACCURACY.....	0.03



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF

THE INTENDED PLOT SIZE OF THIS PLAN IS 432 mm IN WIDTH BY 560 mm IN HEIGHT (C-SIZE) WHEN PLOTTED AT A SCALE OF 1:500

INTEGRATED SURVEY AREA No. 1 (CITY OF SURREY)
NAD83 (CSRS) 4.0.0.BC.1.MVRD

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN GEODETIC CONTROL MONUMENTS 5161 AND 88H4596 AND ARE REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 10

THE UTM COORDINATES AND ESTIMATED ABSOLUTE ACCURACY ACHIEVED ARE DERIVED FROM THE MASCOOT PUBLISHED COORDINATES AND STANDARD DEVIATIONS FOR GEODETIC CONTROL MONUMENTS 5161 AND 88H4596

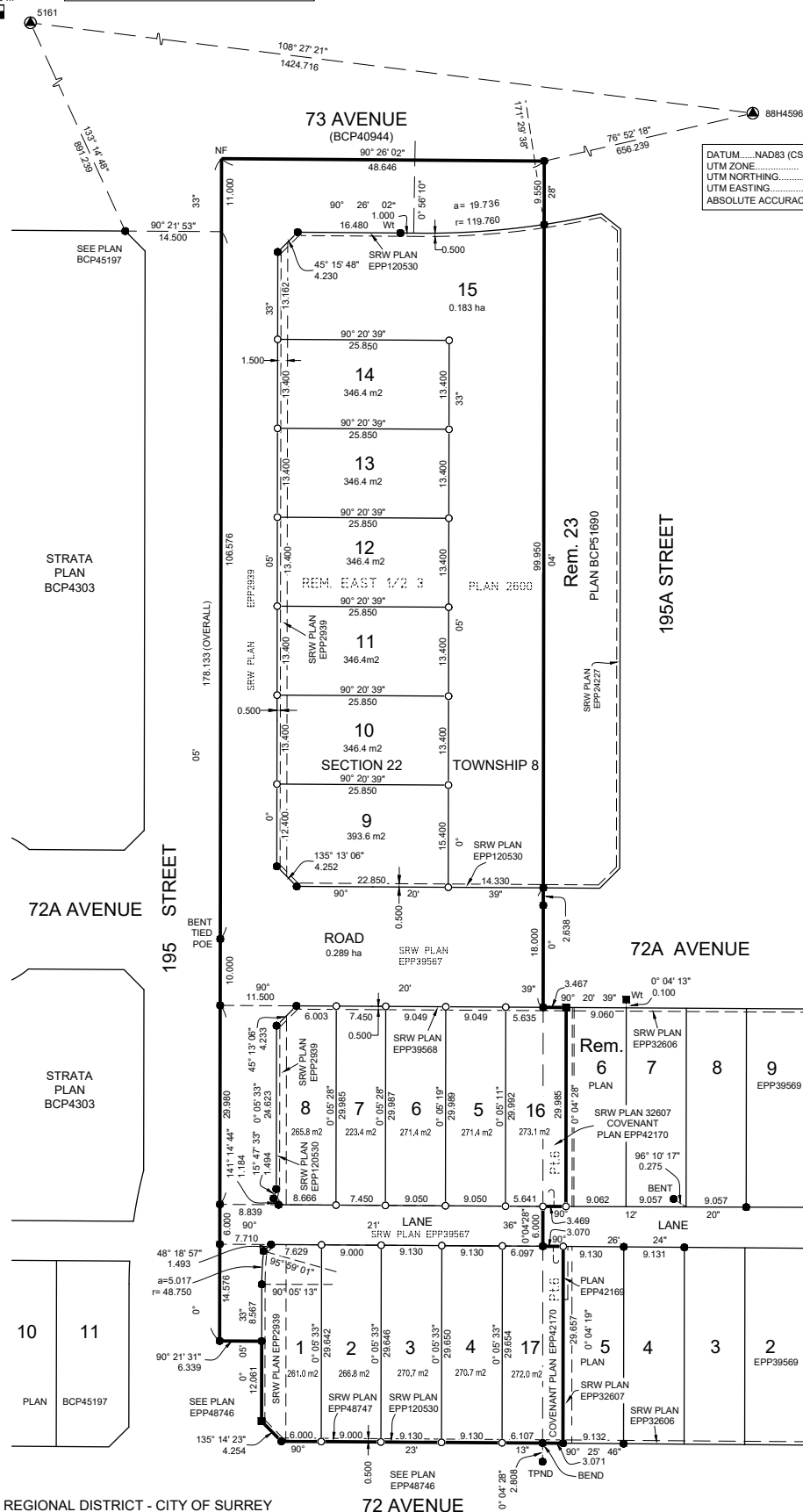
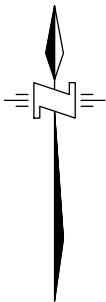
THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES, UNLESS OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF 0.9995977. THE AVERAGE COMBINED FACTOR HAS BEEN DETERMINED BASED ON CONTROL MONUMENTS 5161 AND 88H4596

LEGEND:

SYMBOLS	DESCRIPTION
FOUND PLACED	
●	CONTROL MONUMENT
○	STANDARD IRON POST
■	LEAD PLUG
a	DENOTES ARC
r	DENOTES RADIUS
ha	DENOTES HECTARE(S)
m2	DENOTES SQUARE METRE(S)
NF	DENOTES NOTHING FOUND
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Rem.	DENOTES REMAINDER

NOTE:
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SOME LINES ARE EXAGGERATED FOR CLARITY.



DATUM.....NAD83 (CSRS)	4.0.0.BC.1.MVRD
UTM ZONE.....	10
UTM NORTHING.....	5442715.395
UTM EASTING.....	523906.344
ABSOLUTE ACCURACY.....	0.01

THIS PLAN LIES WITHIN THE JURISDICTION OF THE APPROVING OFFICER FOR THE CITY OF SURREY.

A COVENANT IN THE NAME OF THE CITY OF SURREY PURSUANT TO SECTION 219 OF THE LAND TITLE ACT IS A CONDITION OF APPROVAL FOR THIS SUBDIVISION.

INSPECTED UNDER THE LAND TITLE ACT ON THE 9th DAY OF AUGUST, 2024
JASON A. WALKER, BCLS #909

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED ON THE 13th DAY OF JANUARY, 2023
JASON WALKER, BCLS #909

THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT - CITY OF SURREY

McELHANNAY ASSOCIATES
LAND SURVEYING LTD.
Suite 2300
13450 - 102 Avenue
Surrey BC
Canada V3T 5X3
Tel 604 596 0391

FILE NO.: 2112-63064-03 R5

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7924-0267-00

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 006-157-343

East Half Lot 3 Section 22 Township 8 New Westminster District Plan 2600, Except Plan EPP48746

19545 - 72 Avenue

Parcel Identifier: 029-378-842

Lot 6 Section 22 Township 8 New Westminster District Plan EPP39569

19546 - 72A Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In sub-Section C.2 of Part 16 "Compact Residential Zone (R5)" the minimum lot width of the R5 (Interior Type II) is reduced from 12.3 metres to 9 metres for proposed Lot 3-6 and 16-17.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

- (a) In sub-Section C.2 of Part 16 “Compact Residential Zone (R5)” the minimum lot width of the R5 (Interior Type II) is reduced from 12.3 metres to 9 metres for proposed Lot 3-6 and 16-17.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
 8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
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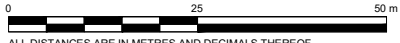
City Clerk and
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**SUBDIVISION PLAN OF
EAST HALF LOT 3 PLAN 2600 EXCEPT PLAN EPP48746
AND PARTS OF LOT 6 EPP39569
SECTION 22 TOWNSHIP 8
NEW WESTMINSTER DISTRICT**

PLAN EPP114806

BCGS 92G.017

DATUM.....NAD83 (CSRS)	4.0.0.BC.1.MVRD
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UTM EASTING.....	522555.448
ABSOLUTE ACCURACY.....	0.03



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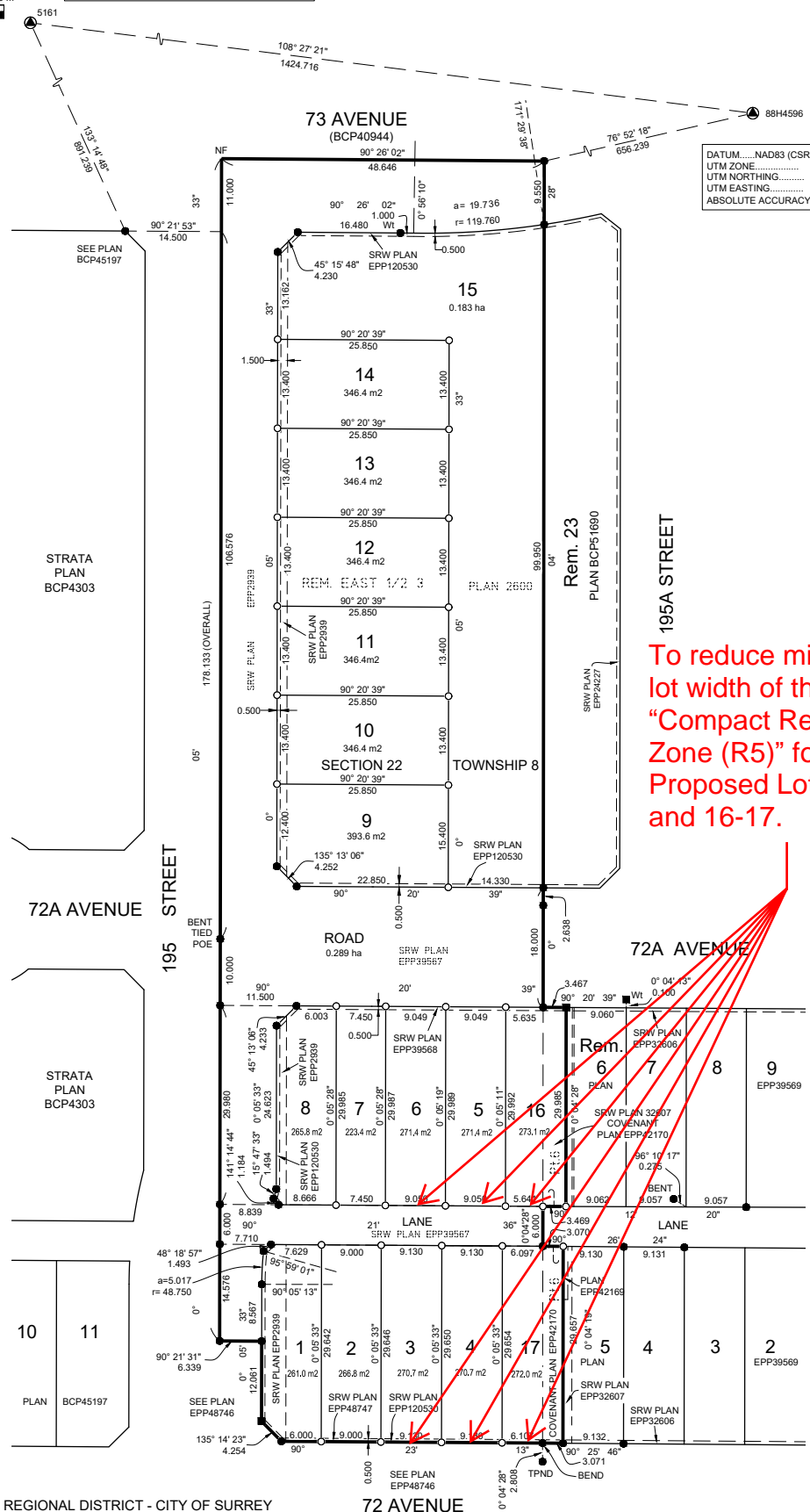
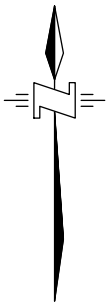
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LEGEND:

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Rem.	DENOTES REMAINDER

NOTE:
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SOME LINES ARE EXAGGERATED FOR CLARITY.



To reduce minimum lot width of the "Compact Residential Zone (R5)" for Proposed Lots 3-6 and 16-17.

DATUM.....NAD83 (CSRS)	4.0.0.BC.1.MVRD
UTM ZONE.....	10
UTM NORTHING.....	5442715.395
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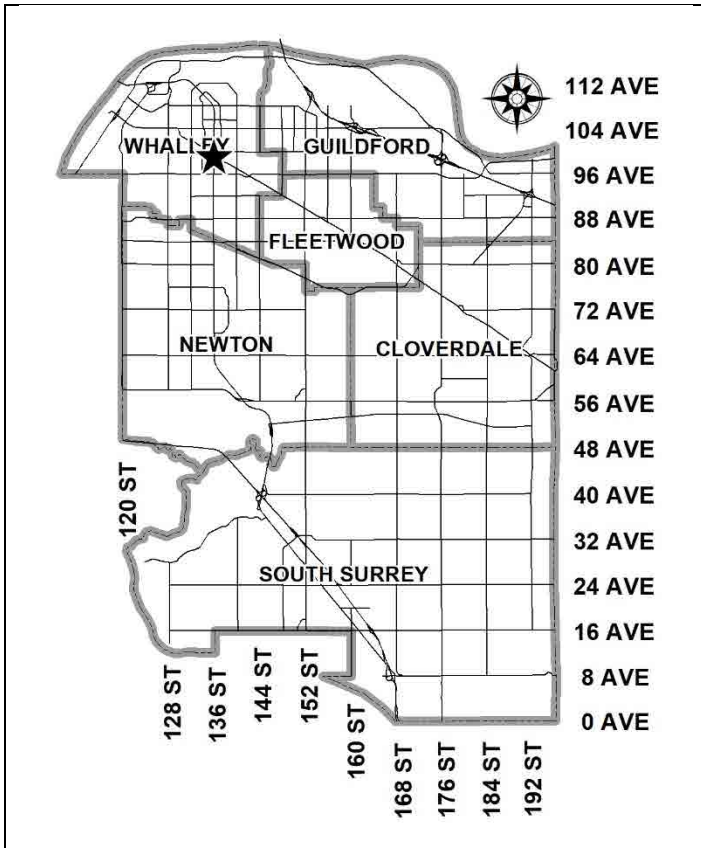
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Tel 604 596 0391
FILE NO.: 2112-63064-03 R5

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7924-0016-00

Planning Report Date: October 21, 2024



PROPOSAL:

- **Development Permit**
- **Housing Agreement**

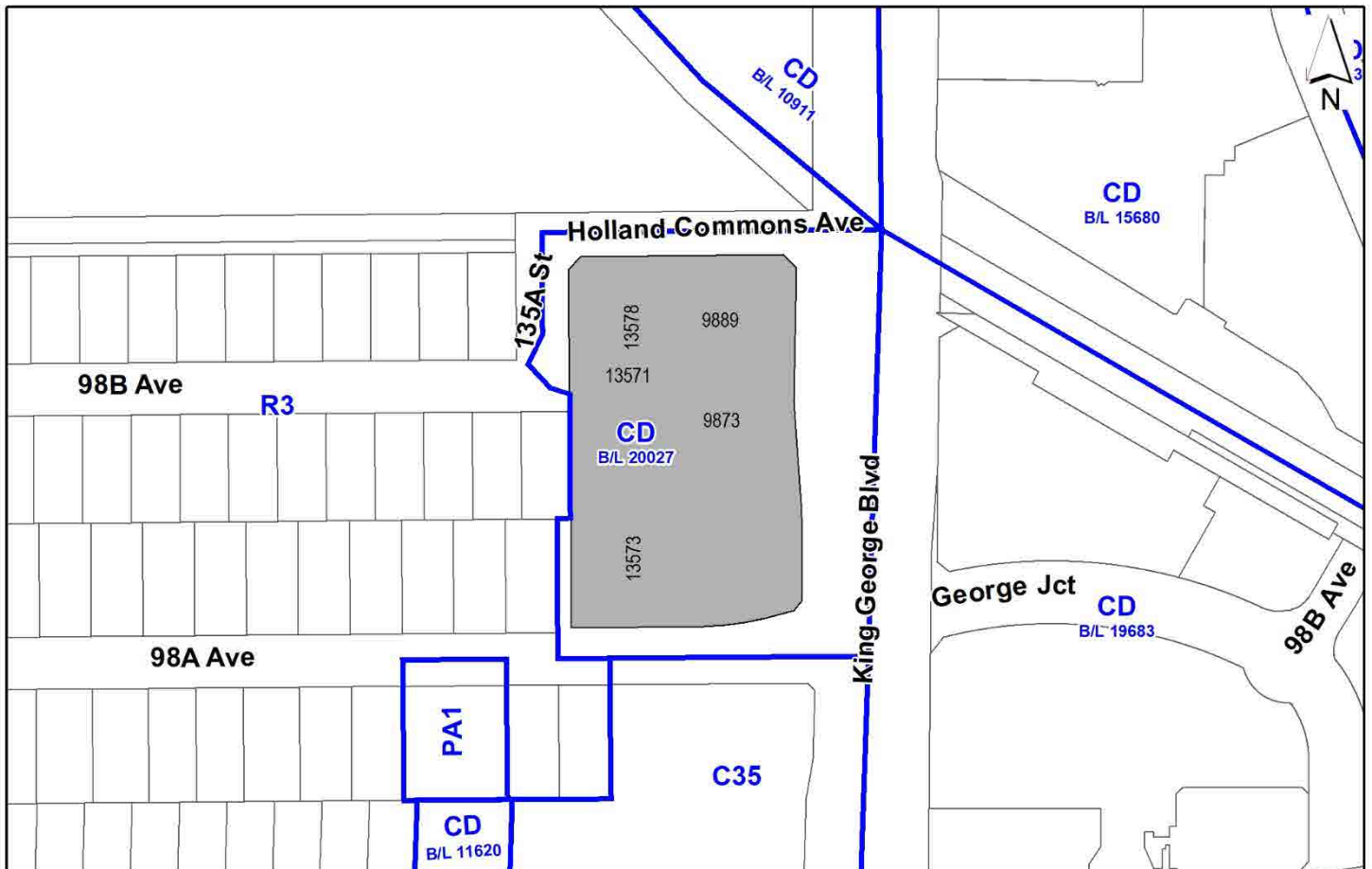
to permit the development of a 20-storey mixed-use tower with a two-storey podium consisting of ground floor commercial and approximately 274 purpose-built rental dwelling units above.

LOCATION: 9889 - King George Boulevard
 (9873 - King George Boulevard,
 13573 - 98A Avenue, 13571 - 98B
 Avenue & 13578 - Holland
 Commons)

ZONING: CD (Bylaw No. 20027)

OCP DESIGNATION: Downtown

CCP DESIGNATION: High Rise Mixed-Use - Type I



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Form and Character.
- Bylaw Introduction, First, Second and Third Reading for a Housing Agreement.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the "Downtown" designation in the Official Community Plan (OCP).
- The proposal complies with the "High Rise Mixed-Use - Type I" designation in the Surrey City Centre Plan.
- The proposed density and building form are appropriate for this part of City Centre and are generally consistent with the General Development Permit No. 7918-0217-00, approved for this site on December 21, 2020 with the exception of the massing, height and programming revision for the northeast portion of the site.
- The proposed development conforms to the goal of achieving high-density mixed-use development nodes around SkyTrain Stations. The proposed mixed-use rental residential tower is located within a walking distance of 60 metres from the King George Skytrain Station.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the City Centre Plan and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The proposed building achieves an attractive architectural built form, which utilizes high quality materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposal includes 274 purpose-built rental units, which will be secured through a Housing Agreement for a minimum 60-year duration.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A Bylaw be introduced to enter into a Housing Agreement and be given First, Second and Third Reading.
2. Council authorize staff to draft Development Permit No. 7924-0016-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (c) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) the applicant enter into a Housing Agreement with the City to restrict a total of 274 dwelling units on the subject site to provide rental housing for a minimum 60-year duration; and
 - (e) registration of a Section 219 Restrictive Covenant to reflect the 274 rental units and ensure the proposal will adequately address the City's needs with respect to Public Art, Affordable Housing and Capital Project CACs (Tier 1 and Tier 2) if the market rental tenure of the proposed development changes, at any point in the future.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	CCP Designation	Existing Zone
Subject Site	Presentation sales centre (northwest), Phase 2, 39-storey market residential tower (southwest) under construction and 19-storey mixed-use purpose-built rental tower (southeast).	High Rise Mixed-Use - Type I	CD (Bylaw No. 20027)
North (Across Holland Park Commons Avenue):	Holland Park	Park	R3 & CD (Bylaw No. 10911)

Direction	Existing Use	CCP Designation	Existing Zone
East (Across King George Boulevard):	King George SkyTrain station, mixed-use development ("King George Hub")	High Rise Mixed-Use - Type I	CD Bylaw No. 19683
South (Across 98A Avenue):	Apartment building, single family dwellings	Mid to High Rise Mixed-Use	C-35 and R3
West:	Holland Park, single family dwellings	Park and Low to Mid Rise Residential	R3

Context & Background

- The approximately 1.44-hectare subject site is located in the Holland Park neighbourhood of City Centre, south of Holland Park on the west side of King George Boulevard. It is in close proximity to King George SkyTrain station.
- The subject site is designated "Downtown" in the Official Community Plan (OCP) and "High Rise Mixed-Use - Type I" in the City Centre Plan and is zoned "Comprehensive Development Zone (CD) Bylaw No. 20027".
- The site is the location of Century Group's high-density mixed-use development called "Century City Holland Park" (formerly known as "Holland Parkside"). The parent properties were rezoned previously under Development Application No. 7918-0217-00, which received Final Adoption on December 21, 2020. The parent properties were subsequently consolidated into one development parcel to accommodate this comprehensive development project.
- General Development Permit No. 7918-0217-00 was also issued to guide the general design of the entire development site.
- Subsequently, Detailed Development Permit No. 7920-0149-00 for Phase 1 was issued on April 12, 2021, and permitted one 19-storey mixed-use tower with ground floor commercial retail units (CRUs) and 243 purpose-built rental residential units secured with a Housing Agreement (southeast corner) and one 11-storey office building with a ground floor market food hall, restaurant with childcare and office above (northeast corner).
- The 19-storey mixed-use tower in the southeast corner of the site has since been constructed and received occupancy in May of 2024. However, the applicant has undertaken a programming change that has resulted in a significant redesign of the tower and podium for the northeast corner of Phase 1. The redesign has removed all of the office programming which required a change to the original building massing and design. This substantial revision requires a new Detailed Development Permit which is the subject of this report.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing a Detailed Development Permit for the northeast corner of the subject site to allow for one 20-storey mixed-use tower comprised of 1,416 square metres of ground floor commercial retail, and 274 purpose-built rental residential dwelling units located above 2 levels of underground parking.
- The proposed Detailed Development Permit is generally in keeping with the Form and Character specified within General Development Permit No. 7918-0217-00 with a revision to the height, massing and programming to remove the proposed office floor space and the addition of purpose-built rental residential dwelling units for the northeast portion of the site.
- The proposed 274 purpose-built rental units will be secured through a Housing Agreement for a minimum 60-year duration.
- Development details are provided in the following table:

	Proposed
Lot Area	
Net Site Area:	12,430 m ²
Number of Lots:	1 (no change)
Building Height:	75 m/20 storeys
Floor Area Ratio (FAR):	7.7 FAR (site-wide) 1.6 FAR (NE portion only)
Floor Area	
Residential:	18,816 m ²
Commercial:	1,416 m ²
Total:	20,232 m ²
Residential Units:	
Studio:	103
1-Bedroom:	76
2-Bedroom:	76
3-Bedroom:	19
Total:	274

Referrals

Engineering:

The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements under Application No. 7818-0217-00.

School District:	<p>The School District has advised that there will be approximately 23 school-age children generated by this development, of which the School District has provided the following expected student enrollment.</p> <p>14 Elementary students at AHP Matthew School 5 Secondary students at Queen Elizabeth School</p> <p>(Appendix II)</p> <p>Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.</p> <p>The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by August 2028.</p>
Parks, Recreation & Culture:	<p>Parks has no concerns with the proposed development.</p> <p>Holland Park is the closest active park with amenities including, playgrounds, walking paths, and basketball courts is 15 metres walking distance from the development. Quibble Creek Park is the closest park with natural area and is 455 metres walking distance from the development.</p> <p>Future active parkland is proposed adjacent to the west of the subject site as part of the Surrey City Centre Plan.</p>
Surrey Fire Department:	<p>The Fire Department has no concerns with the proposed development application. However, there are some items which will be required to be addressed as part of the Building Permit application.</p>
Advisory Design Panel:	<p>The proposal was considered at the ADP meeting on July 25, 2024 and was supported. The applicant has resolved most of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's issuance of Development Permit No. 7924-0016-00, to the satisfaction of the Planning and Development Department.</p>

Transportation Considerations

Road Network and Infrastructure

- Under the original application, File No. 7918-0217-00, the applicant provided a Transportation Impact Assessment (TIA), as well as satisfied all road dedication requirements.

Transit

- The site is located across King George Boulevard (within 60 metres) from the City Centre transit hub that includes the Surrey King George Skytrain Station and multiple bus routes connecting to all the town centres within Surrey and neighbouring municipalities.

Access

- The primary vehicle access to the site (underground parking) will be via 98A Avenue and Holland Commons.

Parking and Bicycle Storage

- On June 10, 2024, Council approved the "Designation of Transit-Oriented Areas and Changes to Off-Street Parking Requirements Related to Provincial Housing Legislation" Corporate Report (No. Ro89; 2024) to revise residential off-street parking requirements within designated Transit-Oriented Areas. The applicant is proposing to provide only the required accessible parking spaces for the northeast phase to reflect the recently revised parking requirements to eliminate parking in Transit-Oriented Areas for residential uses except for accessible parking spaces.
- The accessible parking spaces for this portion of Phase 1 (northeast corner) are proposed to be located on P2 of the four-level underground parkade which will be accessed from Holland Commons at the northeast corner of the site. Phase 1 parking will be connected at level P1 to the subsequent phase of development with the intent of providing multiple access and egress points for the overall development.
- The applicant is proposing a total of 897 parking spaces, for the overall development exceeding the number of parking spaces required.
- The proposed development is required to provide 329 bicycle parking spaces. The applicant is proposing 329 bicycle parking spaces for residents and 6 visitor bicycle spaces, which meets the number required under the Zoning Bylaw.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- The building will be connected to the City's District Energy system.
- In addition, the applicant has highlighted the following additional sustainable features:
 - Continuous insulation, airtightness and a maximum window-to-wall ratio of 60% to minimize heat gain and loss;
 - an extensive bike workshop and end-of-trip facilities to promote bicycle use;
 - an extensively landscaped central courtyard that will retain rainwater and mitigate run-off, and will reduce the heat island effect of the building and site; and
 - a central courtyard and associated shared amenity spaces, greenhouse and turf lawn open space that will function as a gathering place.

School Capacity Considerations

- As of September 2023, AHP Matthews Elementary is operating at capacity 103% capacity. The 10-year enrolment projection anticipates strong growth for the catchment. The current growth expected at AHP Matthews can be accommodated by portables over the next 10 years. The District will be re-evaluating the space needs of this school and its neighbouring elementary schools, once a revised City Centre land use plan is adopted.
- As of September 2023, Queen Elizabeth Secondary is operating at 92% capacity. The current projections show modest growth, but this will be updated with the adoption of a revised City Centre plan. Further rapid growth is expected.

POLICY & BYLAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is compliant with the Urban Centres (Surrey Metro Centre) Land Use Designation of Metro Vancouver's Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The subject site is designated Downtown in the Official Community Plan, with a permitted maximum density of 5.5 FAR as noted in Figure 16 of the OCP.
- The applicant is not proposing to amend the OCP.

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Growth Management:
 - Accommodating Higher Density: Direct higher-density development into Surrey's City Centre.
 - Centres, Corridors and Neighbourhoods:
 - Dynamic City Centre: Strengthen Surrey's City Centre as a dynamic, attractive and complete Metropolitan Core.
 - Transit Corridors: Support Transit Oriented Development along major corridors linking urban centres and employment areas.
 - Healthy Neighbourhood: Build complete, walkable and green neighbourhoods.
 - Urban Design: Encourage beautiful and sustainable urban design.
 - Ecosystems:
 - Energy, Emissions and Climate Resiliency: Design a community that is energy-efficient, reduces carbon emissions and adapts to a changing environment.
 - Economy:
 - Employment Lands: Ensure sufficient supply and efficient use of employment lands.

- Employment, Investment and Innovation: Ensure high-quality, business innovation and diversified employment and investment opportunities.

Secondary Plans

Land Use Designation

- The subject site is designated High Rise Mixed-Use – Type I in the City Centre Plan.
- The applicant is not proposing to amend the City Centre Plan.

Themes/Objectives

- The proposed development is consistent with the following guiding principles:
 - Build Density and Mixed Use, by providing a mix of commercial, office and residential space.
 - Encourage Housing Diversity, with a mix of rental and condominium units and a variety of unit types and sizes.
 - Create Vibrant Urban Spaces, with a large accessible central courtyard and a strong public realm along King George Boulevard.
 - Green the Downtown, with appropriate new tree planting and landscaping treatments.
 - Promote Identity and Sense of Place, with a unique blend of interconnected commercial, amenity and residential spaces.

Housing Agreement

- Section 483 of the Local Government Act authorizes local governments to enter into Housing Agreements, for terms and conditions agreed to by the owner and the local government, that pertain to the occupancy of the housing units.
- The applicant has proposed to enter into a Housing Agreement (Appendix IV) with the City of Surrey that will secure the 274 dwelling units created under this development proposal as market rental units for a period of 60 years.

CD Bylaw

- The subject site is zoned "Comprehensive Development Zone (CD) Bylaw No. 20027". The applicant is not proposing any change in zoning.
- The table below provides an analysis of the development proposal in relation to the requirements of the existing CD Bylaw No. 20027.

CD Bylaw No. 20027	Permitted and/or Required	Proposed for NE Corner
--------------------	---------------------------	------------------------

CD Bylaw No. 20027	Permitted and/or Required	Proposed for NE Corner
Floor Area Ratio:	7.7 FAR (overall site)	1.6 FAR (NE corner only)
Lot Coverage:	82%	82% (overall development)
Yards and Setbacks		
North:	4.5 m	4.5 m
East:	2.0 m	2.0 m
South:	3.3 m	3.3 m
West:	7.0 m	7.0 m
Height of Buildings		
Principal buildings:	145 m	Residential tower: 69 metres (20 storeys)
Amenity Space		
Indoor Amenity:	646 square metres	The proposed 672 m ² exceeds the Zoning Bylaw requirement.
Outdoor Amenity:	822 square metres	The proposed 828 m ² exceeds the Zoning Bylaw requirement.
Parking (Part 5)		
	Required	Proposed for NE Corner
Number of Stalls		
Retail:	33	28
Residential:	0	0
Residential Visitor:	0	0
Accessible:	14	14
Total	47	42*
TDMs include but limited to: Carshare (EV onsite) Carshare (EV offsite and infill)		8 (x5) = 40 4 (x4) = 16
*overall parking for the entire Holland Parkside development site has been provided in accordance with CD Bylaw No. 20027		
Bicycle Spaces		
Residential Secure Parking:	329	329
Residential Visitor:	6	6

Signage

- On-site signage will be considered through a separate Development Permit application.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2024, under Corporate Report No.Ro46;2024.
- It was determined under the original application 7918-0217-00, that the proposed development will not be subject to the Tier 2 Capital Plan Project CACs as the proposal complies with the densities in the Official Community Plan (OCP) and City Centre Plan (CCP) designation.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,113.92 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- As a market rental project, the proposal is exempt from the provision of this policy. The 274 rental proposed-built residential units will be secured by a Housing Agreement for a 60-year duration.
- The applicant will also be required to register a Section 219 Restrictive Covenant, making the fees payable if there is a future change in tenure from the market rental, to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- In accordance with the City's Public Art Policy, the Public Art contribution will not be required given the proposal is for market rental secured through a Housing Agreement. A Section 219 Restrictive Covenant will be required to be registered on title that states the Public Art contribution will be applicable and payable to the City if there is a future change in tenure from market rental residential units.
- The requirements for public art had previously been addressed under the original application 7918-0217-00. The applicant registered a Restrictive Covenant and provided a Letter of Credit to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. Given the change in programming from office to purpose-built market rental secured with a Housing Agreement, the applicant is no longer required to provide a portion of the original Public Art Plan (Public Art Opportunity B).

PUBLIC ENGAGEMENT

- Development Proposal Signs were installed on August 8, 2024. Staff have received no responses from neighbouring property and business owners to date.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Surrey City Centre Plan.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Surrey City Centre Plan.
- The applicant has worked with staff to develop a design that incorporates City Centre urban design guidelines and principles through tower and podium refinement, public realm, and street interface. The applicant has continued to work with staff on an ongoing basis to resolve specific design-related concerns.
- The applicant and staff have agreed to continue to work on the following items prior to issuance of Development Permit No. 7924-0016-00:
 - Detailed development of landscape plans, in particular at the public realm interfaces and resolution of garbage area;
 - Detail the public realm interface to ensure it is useable and comfortable;
 - Refine the architectural expression to optimize the play between horizontal and vertical elements; and
 - Clarify building finish materials to confirm the stated intent.
- The multi-phase, mixed-use development proposal ("Century City", formerly "Holland Parkside") includes two high-rise market residential towers (42 and 36 storeys) and two high-rise purpose-built rental mixed-use buildings at an overall gross density of 6.6 FAR. Located in close proximity to King George SkyTrain station, the mixed-use development will contribute to the emerging transit hub in this location.
- The four buildings of Century City are organized around a central courtyard that includes urban agriculture opportunities and communal gathering spaces, with a theme focused on the shared experience of food. While this is intended as privately-owned space to serve as an amenity for residents and occupants, this courtyard is designed to be welcoming and accessible to the general public. The courtyard will be completed as part of the last phase of construction under the subject application.
- The two taller high-rise market residential towers located on the western portion of the site were approved under Detailed Development Permit No. 7921-0171-00 with the southwest tower currently under construction.

- The subject of the current Detailed Development Permit includes one 20-storey mixed-use tower comprised of 1,416 square metres of ground floor commercial retail and 274 purpose-built rental residential dwelling units located above 2 levels of underground parking. The tower is located in the northeast corner of the site, at the intersection of King George Boulevard and Holland Commons directly across King George Boulevard from the entrance into the King George SkyTrain station.
- The proposed mixed-use rental building provides a simple, short "slab" form oriented with the slender massing presenting north and south with the intent to create a strong urban street wall enclosure along King George Boulevard. The tower design includes a modern articulated facade to suggest movement and fragmentation.
- The building separation between the west face of the rental building and the east elevation of the approved tower to the west requests a reduction from that recommended in the OCP DP₁ guidelines. The intent of building separation between facing units is to provide visual privacy, outlook and light. A similar separation was reviewed and supported by the Advisory Design Panel for the southern buildings in the Century City development. The site has a constrained width and the design attempts to minimize the number of units with primary outlooks to the courtyard by providing larger units toward this space and orienting the end units to have the best outlooks.
- Ground floor commercial retail units are located at the base of the building within a double-height podium that continues the strong street wall enclosure along King George Boulevard. The podium base has a finer pedestrian scale than the building above, with more varied treatment of the façade.
- The commercial space will consist of a mix of smaller commercial retail units (CRUs). A grand staircase will lead from street-level up to the central courtyard, allowing patrons to use this outdoor space and providing a connection to King George Boulevard.
- The principal lobby entrance for the rental building is located on Holland Commons, adjacent Holland Park. The public realm along this edge is enhanced with a large bike workshop and small entrance plaza directly adjacent to the rental lobby in order to activate the street-fronting elevation adjacent Holland Park.
- A co-working "deck" is located on the second level that overlooks and has a direct connection out to the central courtyard. An indoor amenity fitness space, community kitchen, and media room are also located on the second level and have a direct connection to private outdoor amenity space and the larger communal courtyard.

Landscaping

- The most significant landscaping on the site is located within the central courtyard, which is divided into a series of zones, including a central green, variety of seating, bocce court, and an orchard.
- The King George Boulevard streetscape is lined with Red Maples. The street trees help buffer bikes and pedestrians from the busy road. A planting bed with shrubs and Vine Maples adds another layer of greenery and separation between cyclists and pedestrians.

- The north edge along Holland Commons includes terraced planters and linear bench seating and is intended to be planted with London Plane trees. A shrub buffer strip separates the sidewalk from the street.
- Outdoor amenity areas are proposed on Level L1 in the central courtyard as well as on the roof of the tower and will include landscaping and programmed areas (more details included in Outdoor Amenity section).

Indoor Amenity

- Per CD Zoning Bylaw No. 20027, the proposed development must provide 646 square metres of indoor amenity space to serve the residents of the proposed 274 residential units.
- The applicant is proposing 672 square metres of indoor amenity space with a portion of the proposed indoor amenity space proposed to be shared with the rental building to the south.
- The applicant registered a no-build Restrictive Covenant that requires resolution of an access easement across the site to ensure access to the proposed shared amenity facilities within the development for all residents.
- The indoor amenity spaces are organized around the courtyard level and include a community kitchen, co-working space for rental residential tenants, media room, fitness centre all with direct access to the outdoor amenity space.

Outdoor Amenity

- Based upon the City's Zoning Bylaw requirement of 3.0 square metres per dwelling unit for amenity space, 822 square metres of outdoor amenity space is required for the proposed development.
- The applicant is proposing 828 square metres of outdoor amenity space located in the subject development (NE corner) with additional amenity space to be shared throughout the development in previously approved phases. Similar to the indoor amenity, most of the outdoor amenity spaces are provided at the courtyard level atop the podium and include a central green that serves as an outdoor flex space for passive and active recreation opportunities. Bocce court with catenary lighting above, outdoor fitness deck and multiple seating options and an outdoor kitchen.

TREES

- An arborist report for the overall development site, prepared by Krisanna Mazur, registered arborist, for Woodridge Tree Consultants was approved under the original Development Application No. 7918-0217-00.
- In summary, a total of 147 trees were proposed to be retained or replaced on the site, including City trees, with a contribution of \$31,600 to the Green City Fund.

CITY ENERGY

- The subject site is located within Service Area A, as defined in the "City Centre District Energy System By-law" (see Appendix V for location). The District Energy System consists of three primary components:
 - community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;
 - distribution piping that links the community energy centres with buildings connected to the system; and
 - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system, and is used to meter the amount of energy used.
- All new developments within Service Area A with a build-out density equal to or greater than a floor area ratio (FAR) of 1.0 will be required to provide hydronic thermal energy systems in support of the City's District Energy (DE) system including domestic hot water, make-up air units and in-suite hydronic space heating. The City is committed to having the DE system operational within the timeframe of this project. Therefore, the subject application will be required to connect to the City's DE system prior to occupancy.
- In order to avoid conflicts between the District Energy System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
 - City access to, and maintenance and operation of, the ETS within the building and any infrastructure between the building and the property line; and
 - to prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. School District Comments
- Appendix III. ADP Comments and Response
- Appendix IV. Proposed Housing Agreement
- Appendix V. District Energy Service Area Map

approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development

JLM/cb

Century City

Holland Park



Submission for Response to ADP NE Comment | 7924-0016-00
for the North-East Detailed Development Permit (DDP) : Sept. 27, 2024

Based on:

- Masterplan GDP 18-0217 approved by council (12_12_2019)
- Phase One DDP submission (10_02_2021)
- Phase Two Comment submission (29_03_2022)
- DDP NE Phase (25_07_2024)

ZGF | HAPA



2 Site & Context
Future Development



Aerial perspective of the current site based on DDP Phase 1 and DDP Phase 2

3 Design Rationale



3 Design Rationale



3 Design Rationale



3 Design Rationale



3 Design Rationale



3 Design Rationale



Section through Grand Stair looking towards Holland Park

3 Design Rationale





4 Program

Program Summary and Parking Distribution

Zoning

Gross Site Area		155,276 SF	14,426 m ²	3.56 Acres	1.44 Hectares
Road Dedications		21,482 SF	1,996 m ²	0.49 Acres	0.20 Hectares
Net Site Area		133,794 SF	12,430 m ²	3.07 Acres	1.24 Hectares
Base FSR (from Gross Site)	5.5	854,018 SF	79,341 m ²	0.33 Acres	0.13 Hectares
Gross FSR allowed	6.6	1,024,822 SF	95,209 m ²	23.53 Acres	9.53 Hectares
Net FSR allowed	7.7	1,030,214 SF	95,710 m ²	23.65 Acres	9.58 Hectares
Required Amenity (Rental Only)		6,620 SF	615 m ²	0.15 Acres	0.06 Hectares

Proposed Gross Floor Area (GFA) Summary

Use	GFA (incl. Amenity)	Units	Indoor Amenity		Outdoor Amenity	
			Required sqm ² / Unit	Provided	Required sqm ² / Unit	Provided
Parking (Levels P1 to P4)	NA	-	0.0	0.0	0.0	0.0
Residential (incl. Amenity)						
Market (S-W Tower)	34,296.0 SF 31,862.5 m ²	409	8,352.8 SF 775.0 m ²	8,858.0 SF 822.9 m ²	13,207.3 SF 1,227.0 m ²	12,285.0 SF 1,132.4 m ²
Market (N-W Tower)	296,520.0 SF 27,547.6 m ²	367	7,900.7 SF 734.0 m ²	7,819.0 SF 707.8 m ²	11,891.1 SF 1,101.0 m ²	11,463.0 SF 1,064.9 m ²
Rental (S-E Tower)	193,007.0 SF 17,930.9 m ²	243	7,946.9 SF 729.0 m ²	4,245.0 SF 394.4 m ²	7,846.9 SF 729.0 m ²	8,993.0 SF 835.5 m ²
Rental (N-E Tower)	202,530.5 SF 18,815.7 m ²	274	6,953.5 SF 646.0 m ²	7,291.0 SF 671.8 m ²	8,847.9 SF 822.0 m ²	8,910.0 SF 827.9 m ²
Commercial						
Retail (SE)	4,959.0 SF 460.7 m ²	-	0.0 SF 0.0 m ²	0.0 SF 0.0 m ²	0.0 SF 0.0 m ²	0.0 SF 0.0 m ²
Retail (NE)	15,242.5 SF 1,416.1 m ²	-	0.0 SF 0.0 m ²	0.0 SF 0.0 m ²	0.0 SF 0.0 m ²	0.0 SF 0.0 m ²
SE Foodhall	2,937.0 SF 272.9 m ²	-	0.0 SF 0.0 m ²	0.0 SF 0.0 m ²	0.0 SF 0.0 m ²	0.0 SF 0.0 m ²
Total Units / Amenity Area		1293 units	31,053.9 SF 2,885.0 m ²	27,953.0 SF 2,596.9 m ²	41,753.2 SF 3,879.0 m ²	42,631.0 SF 3,960.5 m ²
Total GFA (incl. Amenity)	1,058,161.0 SF 98,074.6 m ²		217,773.0 SF 20,231.8 m ²			
Total GFA (excl. Amenity)	1,030,208.0 SF 95,477.6 m ²		210,542.0 SF 19,560.0 m ²			
FSR	7.70		1.57			

Note Regarding Net FSR :

The Net FSR for the site shall not exceed 7.7 as noted in the original GDP. This results in an overall maximum GFA of 1,030,214 SF (95,710 m²). With the NE rental/retail adding an additional 210,965 SF of additional GFA (excluding amenity), the full site caps out at 1,029,606 SF. This is 607 SF short of the GDP maximum.

Building Statistics + Bylaw 20027 Compliance

Number of Rental Units : 274 rental

Tower Height :
Main Building : 148.99m (= 488.82')
Building Overrun : 155.39m (= 509.82')

Average Grade : 80.34m (= 263.57')

Over 15,000 SF of CRU is located along King George Boulevard. Together with the 274 rental units and rental amenity at the courtyard level and shared between both SE and NE rental towers, the current program is in accordance with the permitted uses stipulated in Bylaw No. 20027.

As noted on the left, the total resulting FSR (excluding indoor amenity) from all four quadrants (SW, NW, SE and the proposed NE) does not exceed 7.7, as noted under D(2) of the CD Bylaw 20027. As per the previous proposal (phase one) with an office tower in the NE quadrant, lot coverage does not exceed the permitted 82%.

All setbacks established in Bylaw 20027 have been upheld in this current proposal.

Bylaw 20027 section G allows a building height of 145m [475 ft.]. Current proposed building height of the NE rental tower is 68.65m (= 225.25') for the main roof and 75.05m (= 246.25') for the building overrun. This height is well within the allowable building height.

In keeping with the traffic report provided as part of the ADP used to develop Bylaw 20027, the NE quadrant was tasked with providing all visitor parking for the entire site as well as all commercial parking for the entire site. The collection of plan diagrams on the right show that all visitor stalls (SE, NW and SW) are provided on level P1 and P2, along with the required CRU and foodhall parking. In keeping with the report provided by Bunt, five modo stalls are provided in the NE quadrant to complete the total 8 car-share stall promised for the site.



Level P1



Level P2



Parkade Zoning

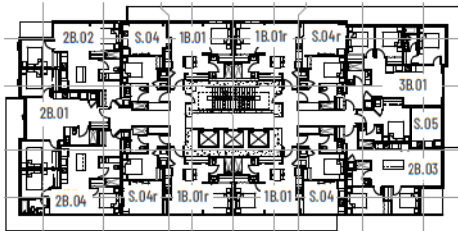
The diagrams above establish a connection between the GDP Masterplan 18-0217, approved by council (Bylaw 20027), and this current Phase NE_DP submission.

In Phase One and Two of the masterplan submission, the NE quadrant was tasked with providing stalls for shortfalls generated in the SE, SW and NW quadrants for stalls associated with residential visitor requirements, as well as retail requirements from the SE.

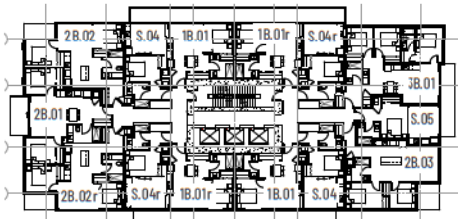
4 Program

Rental Unit Mix and Distribution

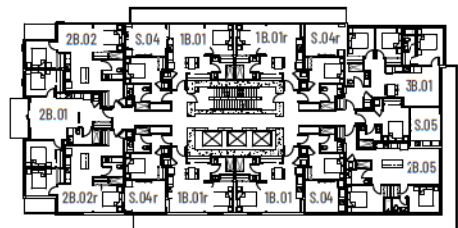
Floor Plate Types



Levels L02 - L04



Levels L06 - L16

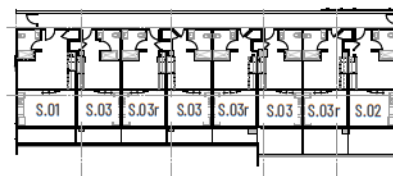


Levels L17 - L20

Unit Distribution

Levels L01 + L02 - L20

UNIT TYPE	LEVEL IN TOWER																			UNITS TYPES IN BUILDING			
	L1	L2	L3	L4	L5	L6	L7	L8	L9	L10	L11	L12	L13	L14	L15	L16	L17	L18	L19		L20		
STUDIOS	S.01	585	54	m ²	1																1	UNITS	
	S.02	476	44	m ²	1																	1	UNITS
	S.03 / s.03 r	448	42	m ²	6																	6	UNITS
	S.04 / s.04 r	408	38	m ²		4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	76	UNITS
	TOTAL 95	S.05	420	39	m ²	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	19	UNITS
1-BED	1B.01 / 1B.01 r	482	46	m ²		4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	76	UNITS	
TOTAL 76																							
2-BED	2B.01	685	64	m ²				1	1	1	1	1	1	1	1	1	1	1	1	1	12	UNITS	
	2B.02 / 2B.02 r	694	64	m ²		2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	38	UNITS	
	2B.03	748	69	m ²		1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	19	UNITS	
	2B.04	824	77	m ²		1	1	1													3	UNITS	
	TOTAL 72	2B.05	824	77	m ²													1	1	1	1	4	UNITS
3-BED	3B.01	97	85	m ²		1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	19	UNITS	
TOTAL 19																							
TOTAL UNITS PER LEVEL					8	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14	274	UNITS



Level L01

Unit Summary

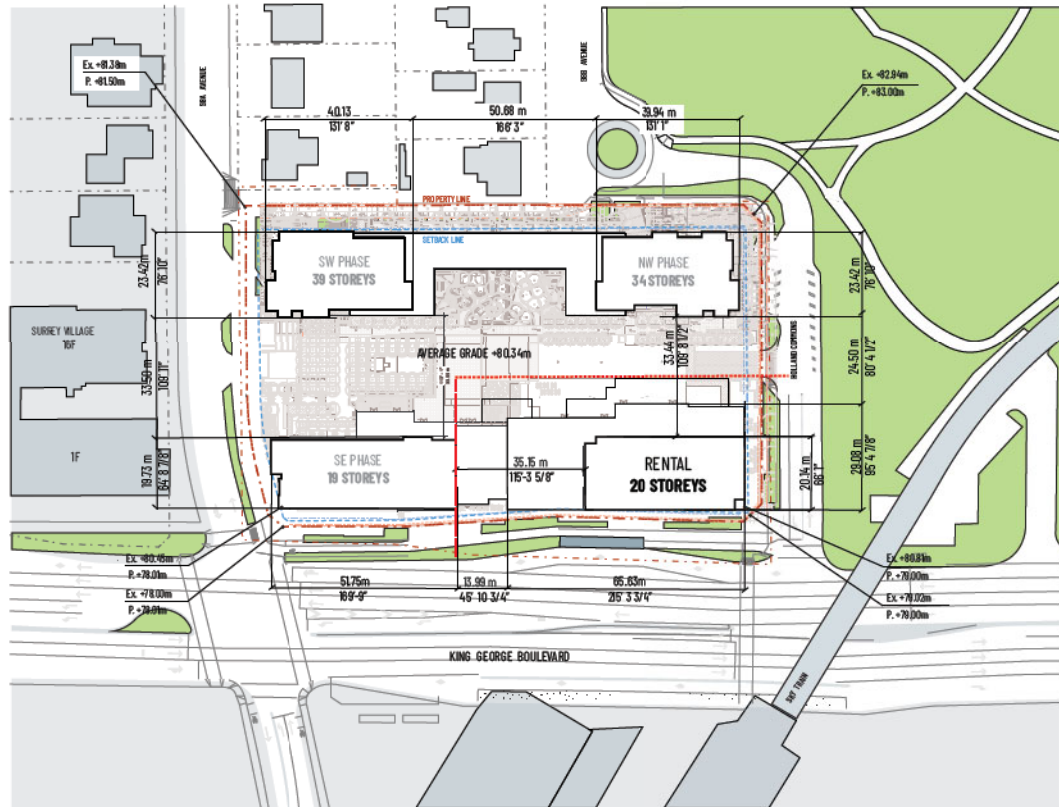
A healthy number of three beds and studios, balance out the unit mix for the 274 units provided in the NE rental tower. Currently the plans are anticipated to provide the minimum number of required adaptable units.

Due to the long and narrow floor plate, the rental units are kept to a smaller, more affordable scale, while providing a large window wall to floor area ratio.

5 Documentation
Plans

Site Plan and Tower Separation

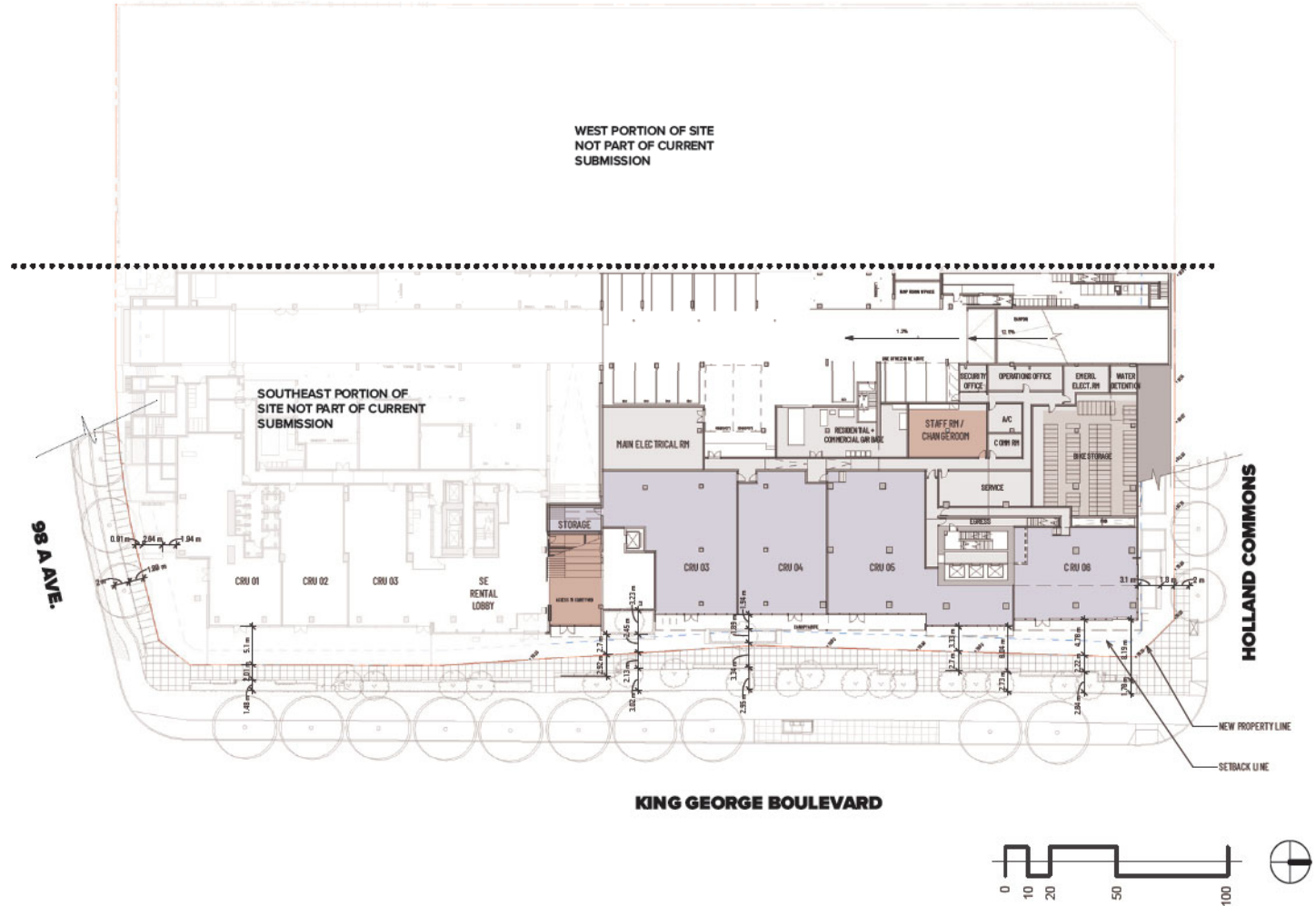
Scale: NTS



5 Documentation

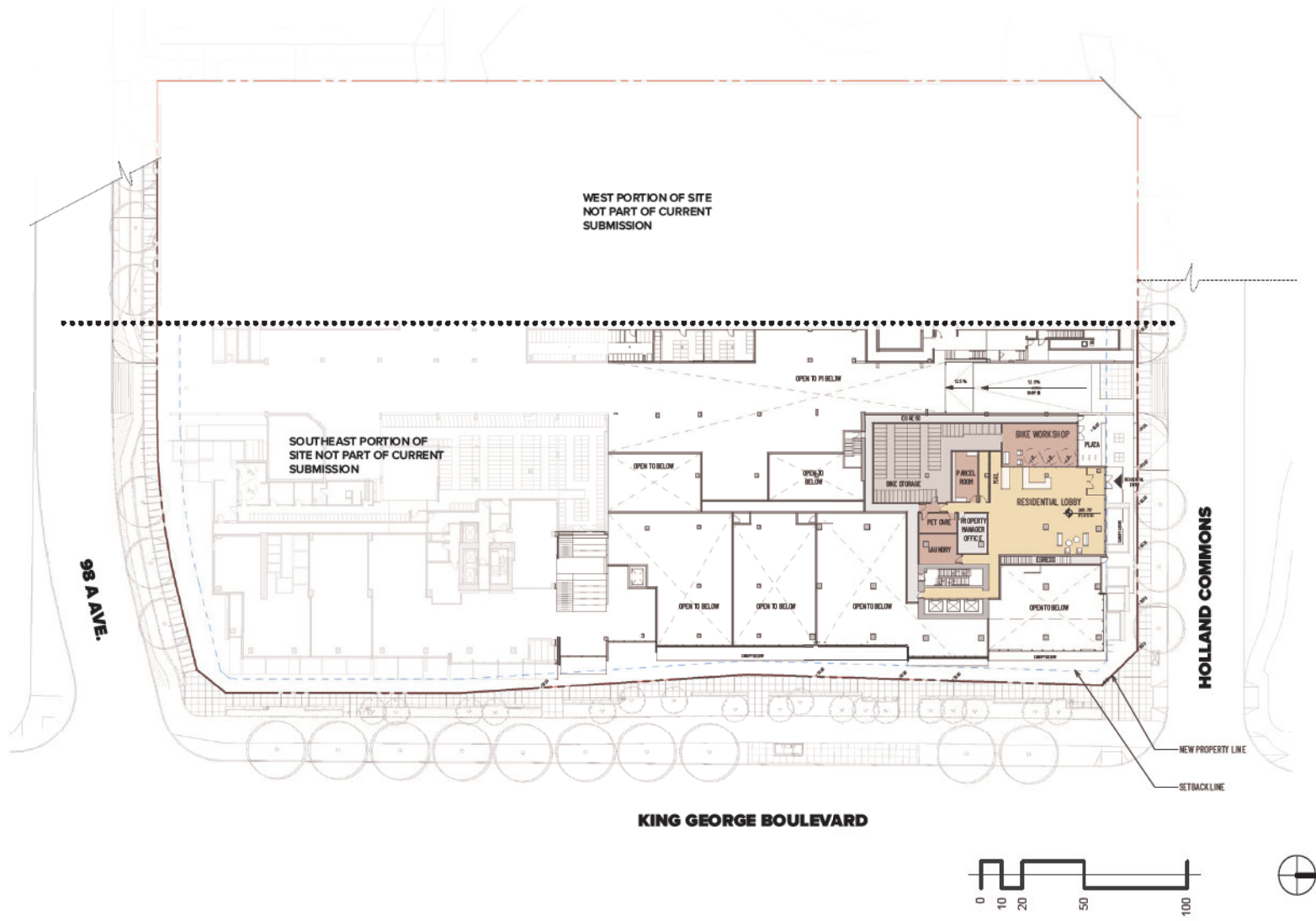
P1 Plan

(RETAIL ALONG
KING GEORGE)



5 Documentation

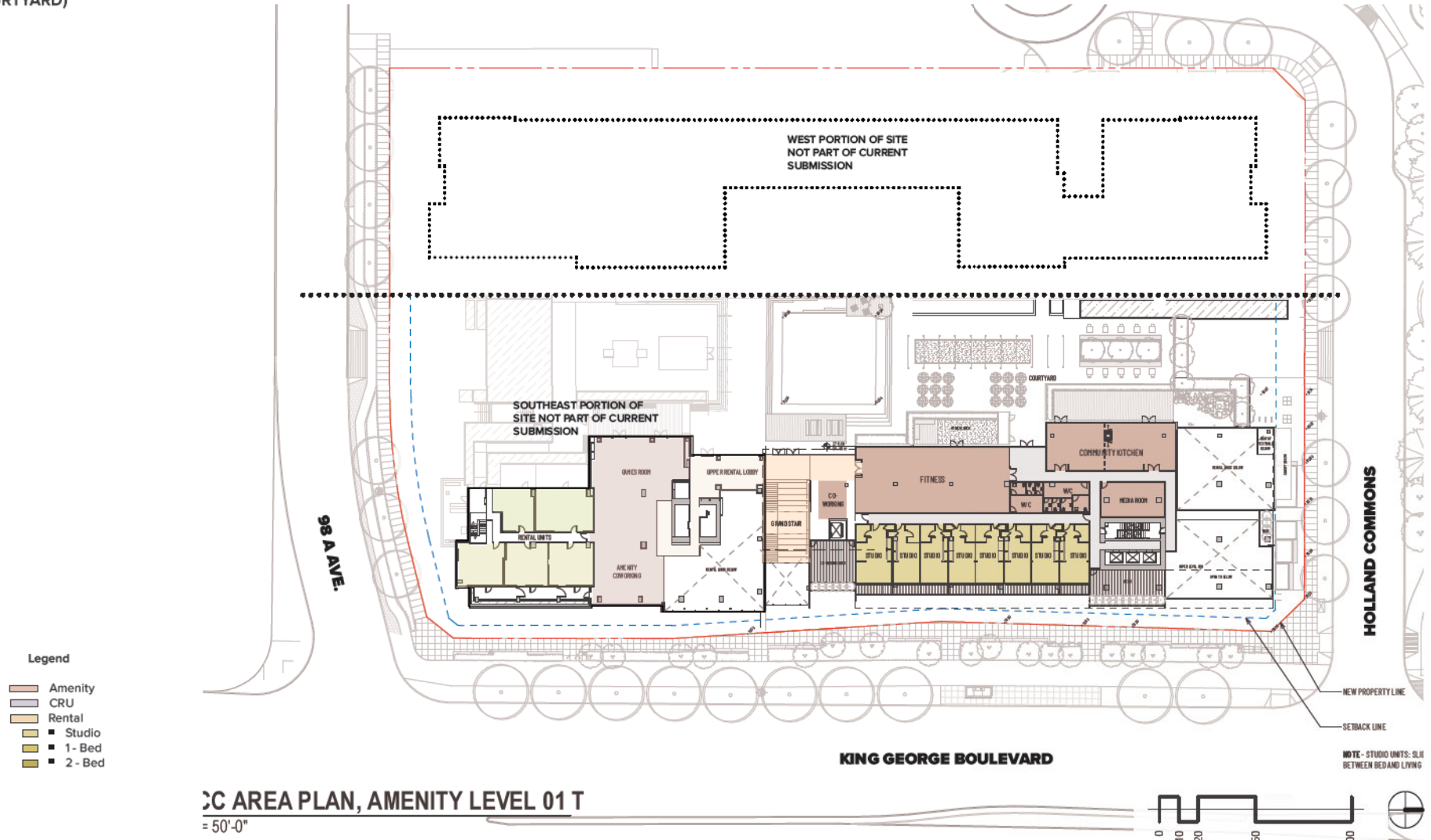
P1 Mezzanine



5 Documentation

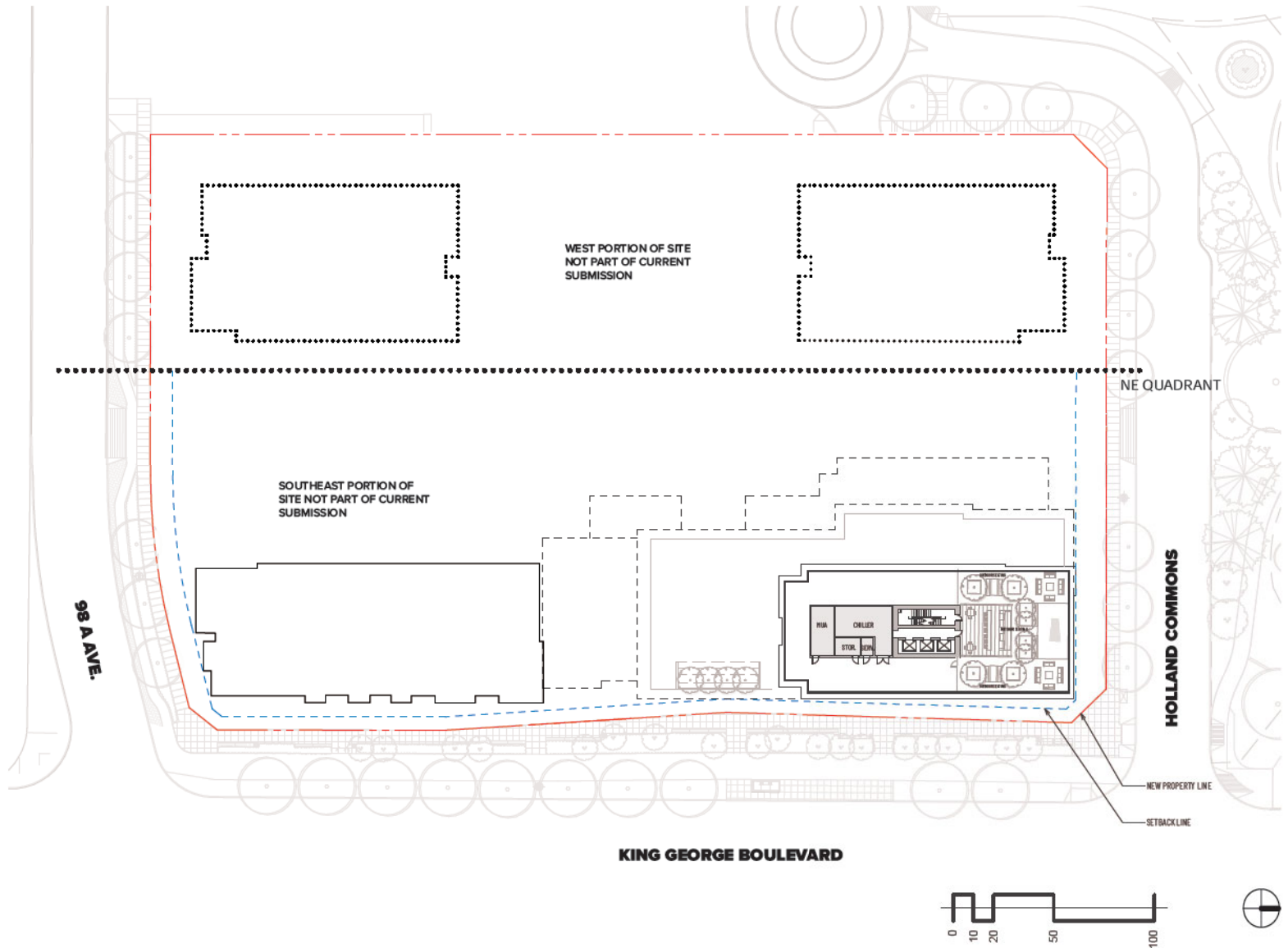
L1 Plan

(COURTYARD)



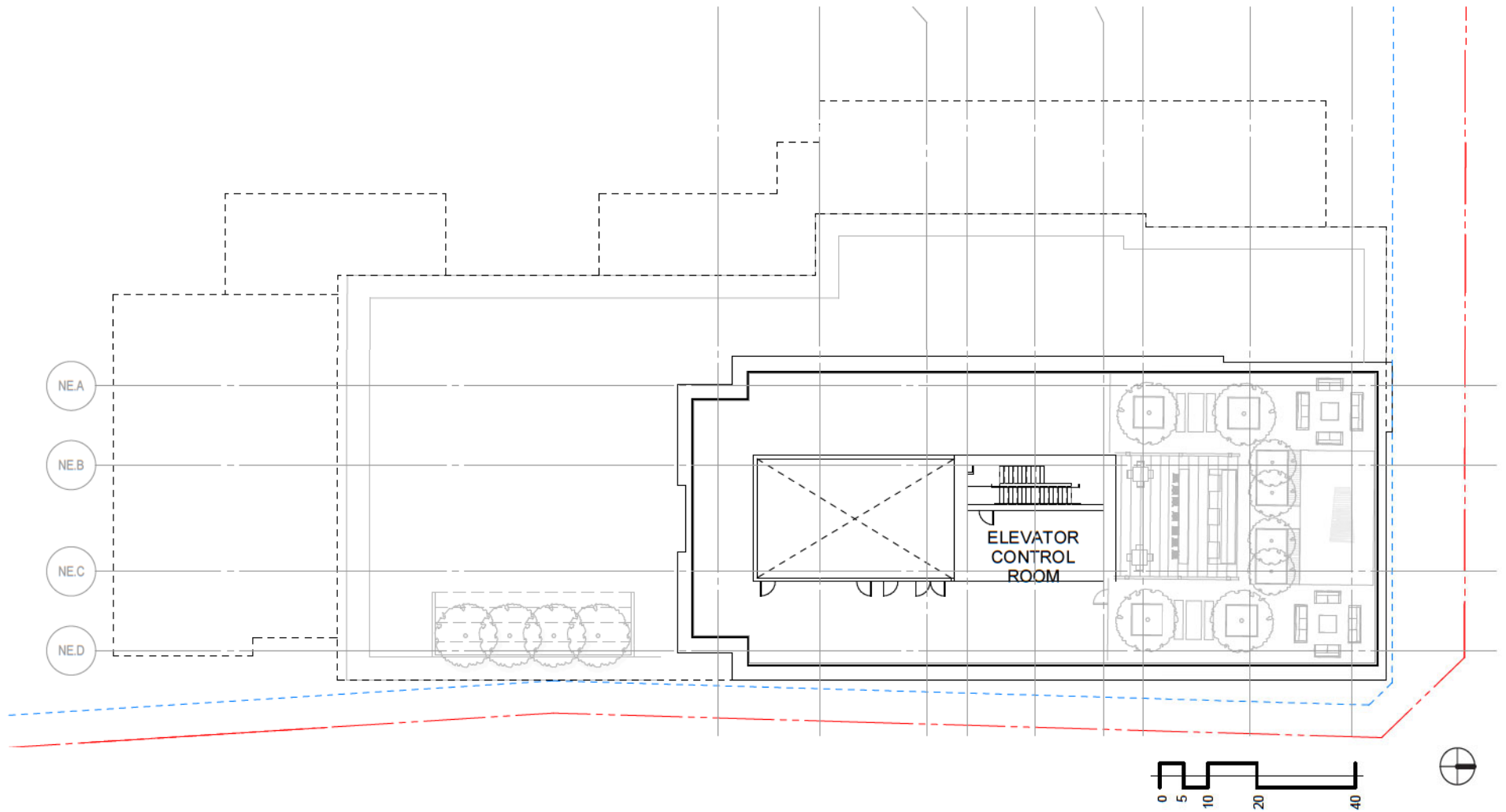
5 Documentation

Roof Plan



5 Documentation

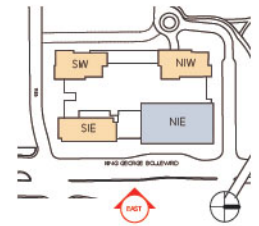
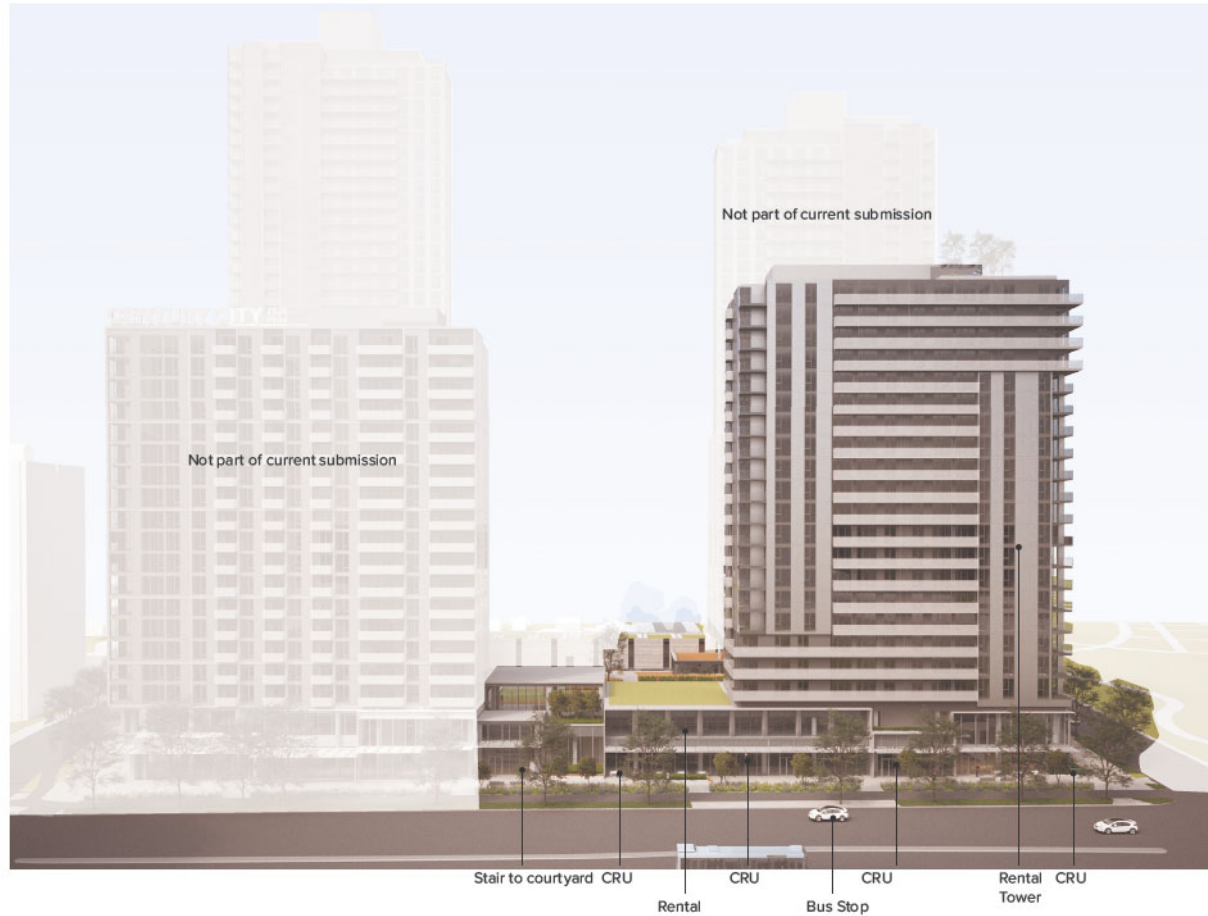
Floor Plan: Upper Roof Level



5 Documentation

Elevations

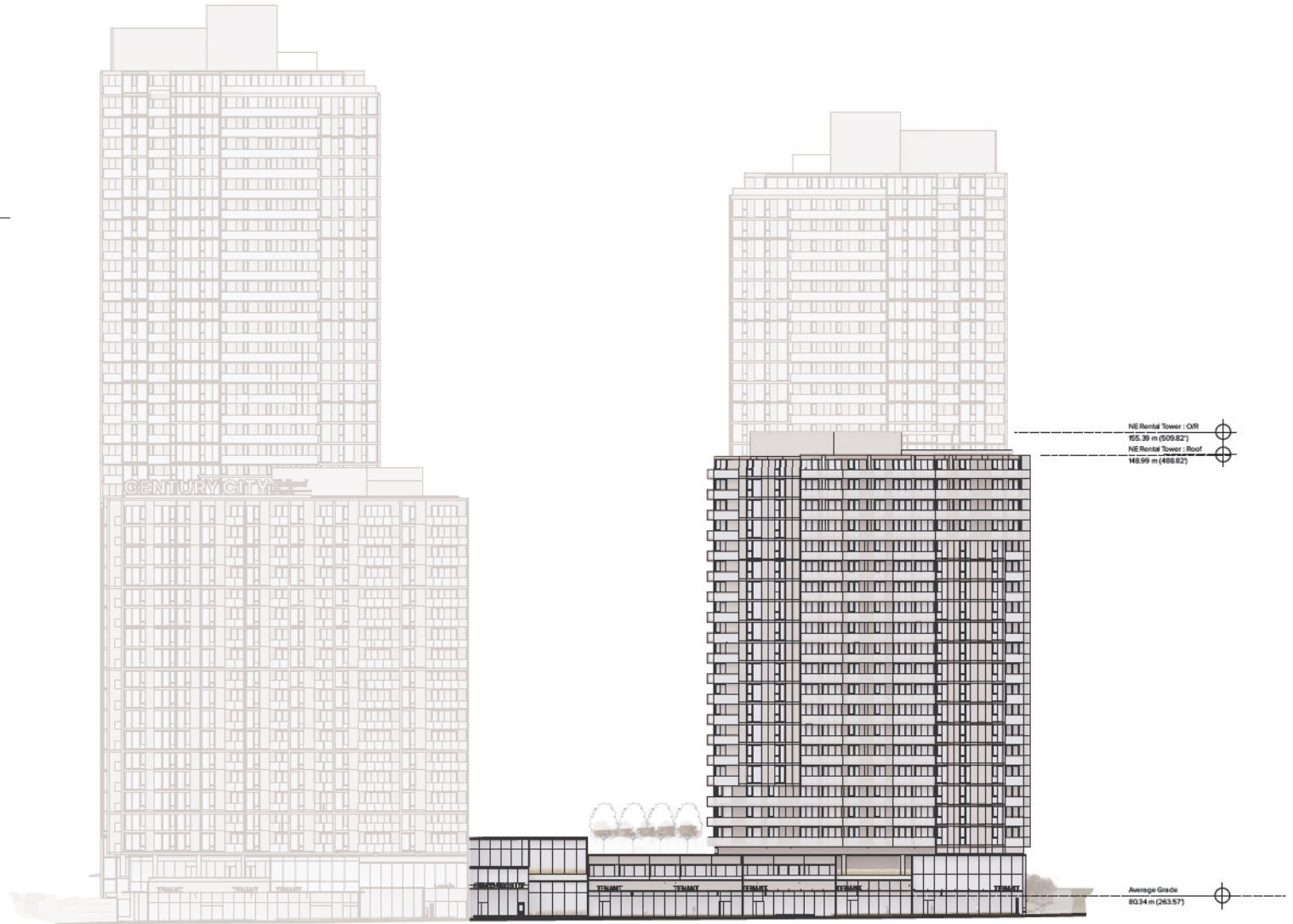
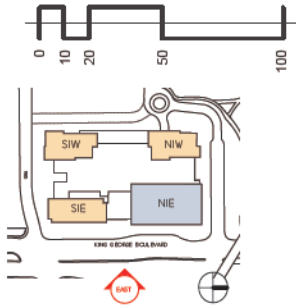
East Elevation Perspective (King George Boulevard)



5 Documentation

Elevations

East Elevation (King George Boulevard)



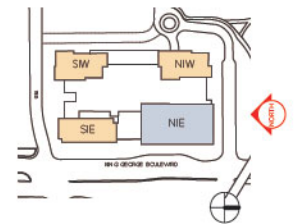
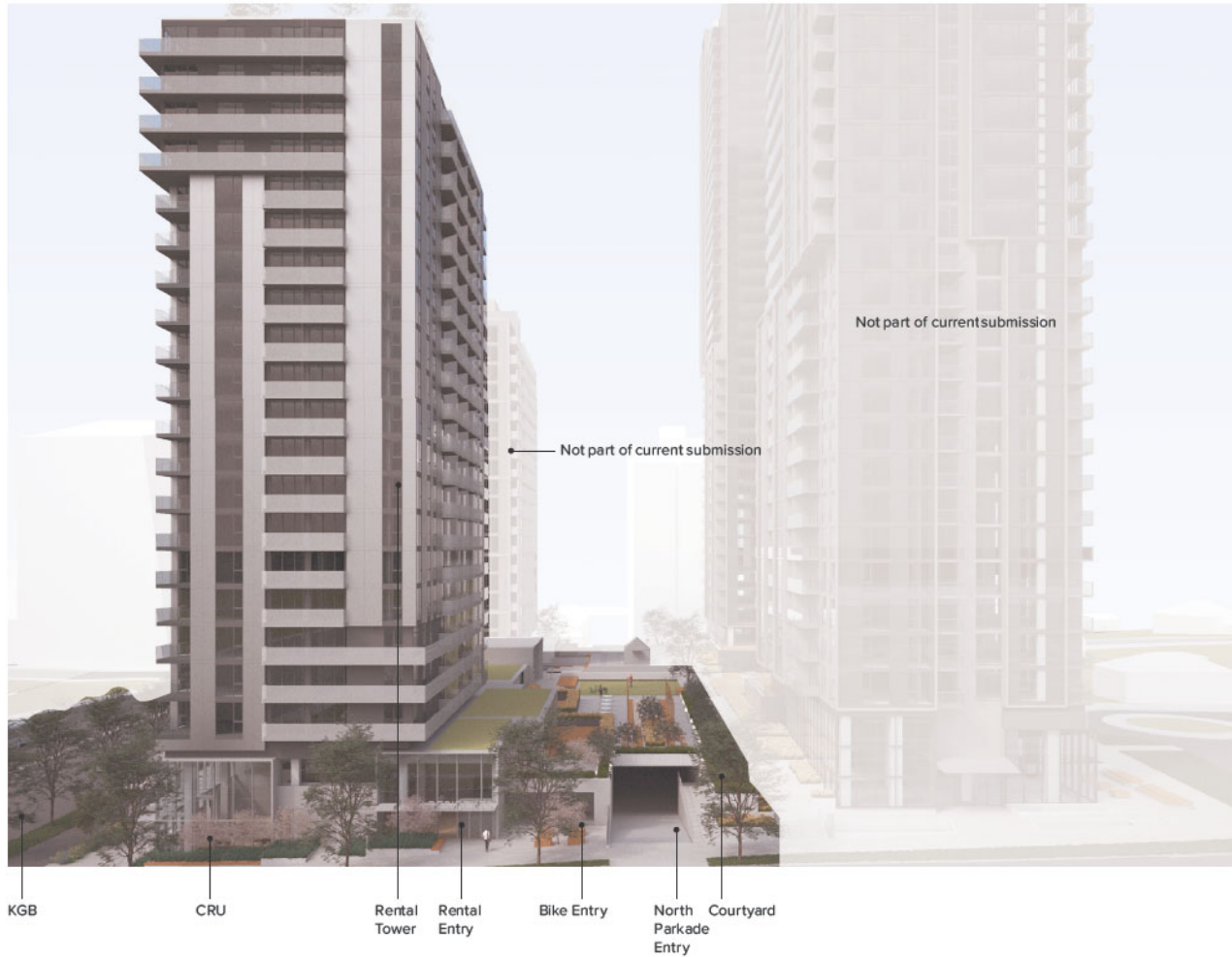
Note Regarding Noise Along KGB

Acoustic Report provided by BAP Acoustics in Phase One ADP currently being updated to include NE rental tower.

Upgrades will include increasing the OITC rating to all east facade bedroom windows to OITC 31 and all east facade living room windows to OITC 32.

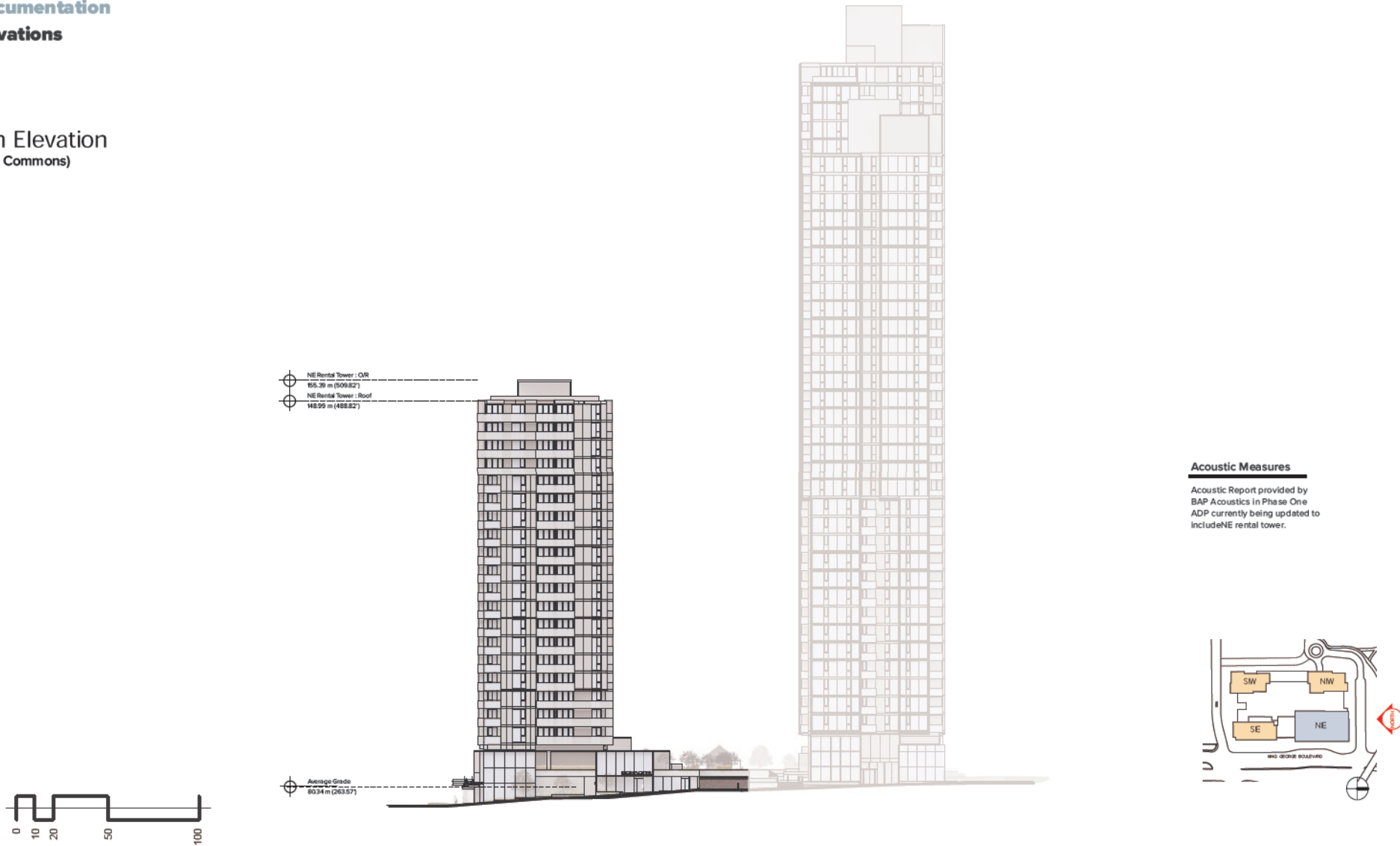
5 Documentation
Elevations

North Elevation Perspective (Holland Commons)



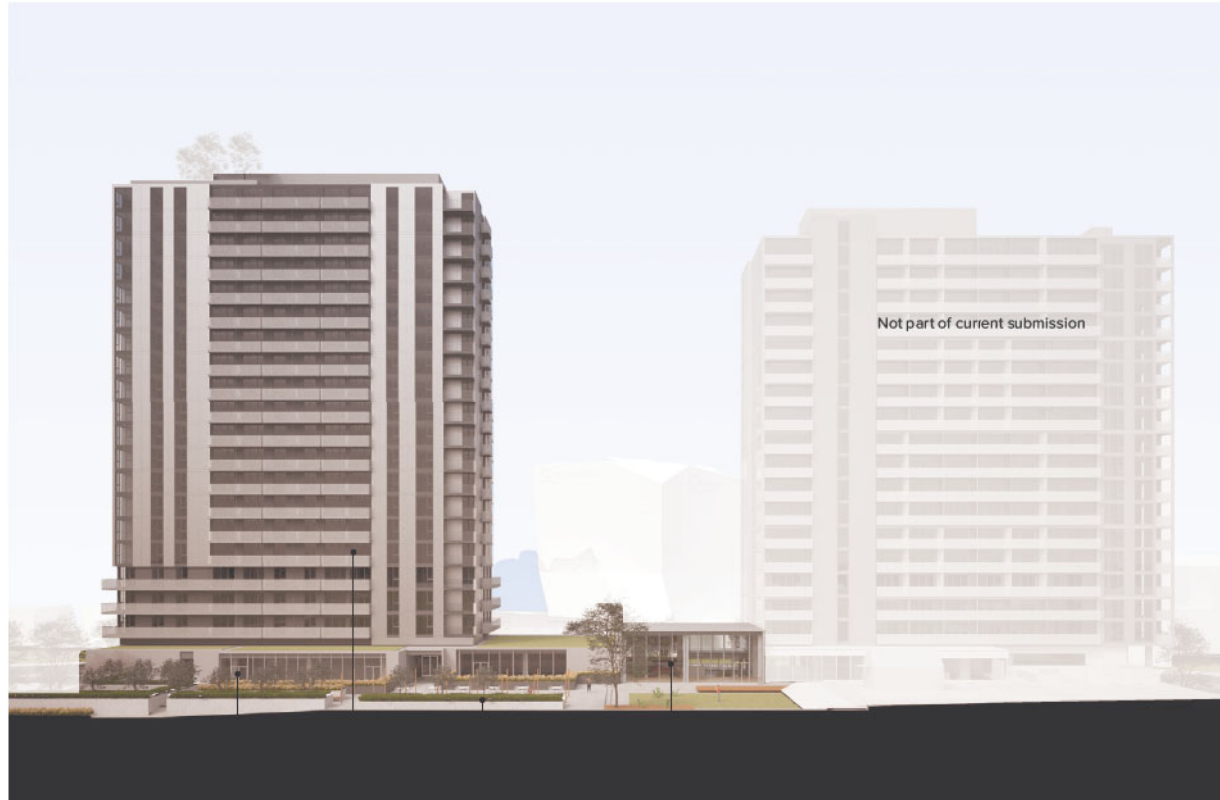
5 Documentation Elevations

North Elevation (Holland Commons)

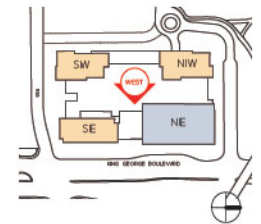


5 Documentation
Elevations

West Elevation Perspective (Courtyard)



Amenity
Rental Tower
Courtyard
Grand Stair



5 Documentation

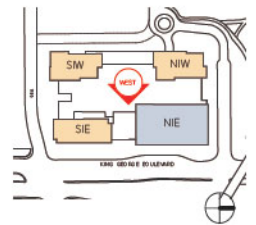
Elevations

West Elevation (Courtyard)



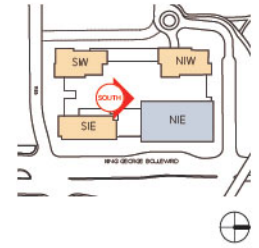
Acoustic Measures

Acoustic Report provided by BAP Acoustics in Phase One ADP currently being updated to include NE rental tower.



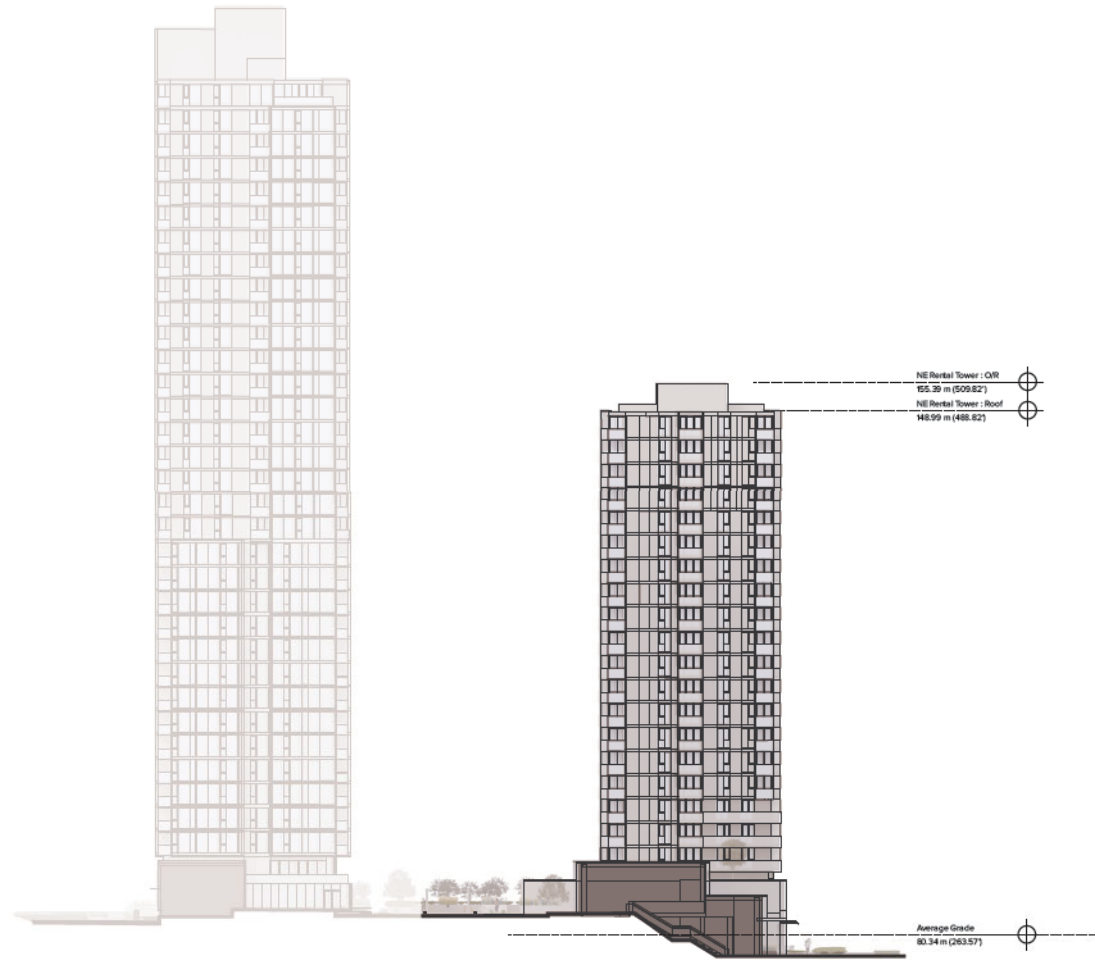
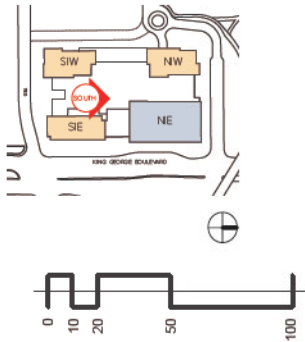
5 Documentation
Elevations

South Elevation Perspective (98A Avenue)



5 Documentation Elevations

South Elevation (98A Avenue)

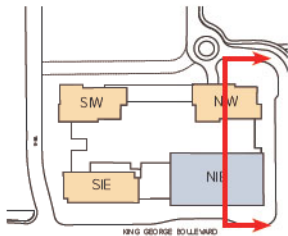


Acoustic Measures

Acoustic Report provided by
BAP Acoustics in Phase One
ADP currently being updated to
include NE rental tower.

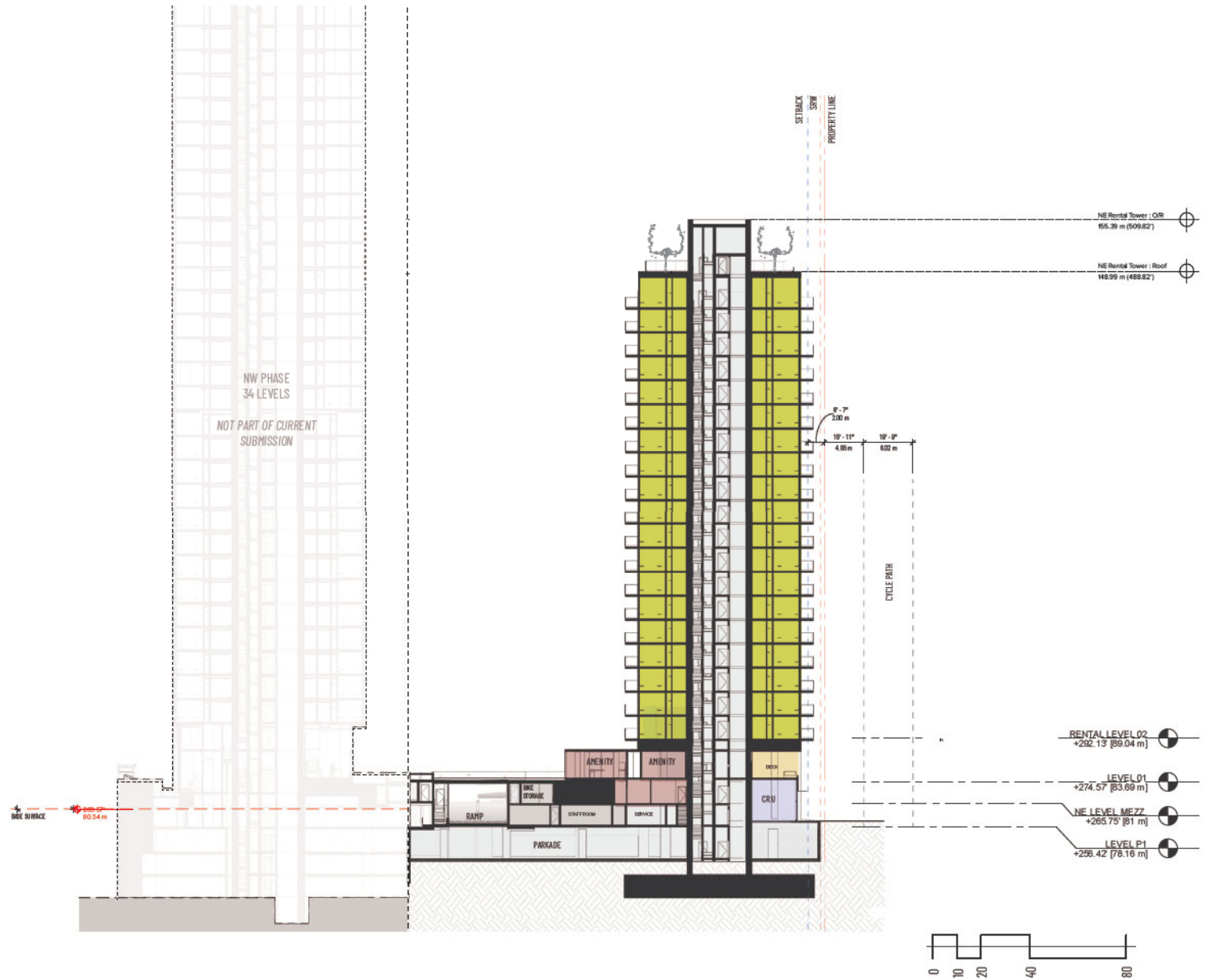
5 Documentation Sections

East-West Section Through Rental



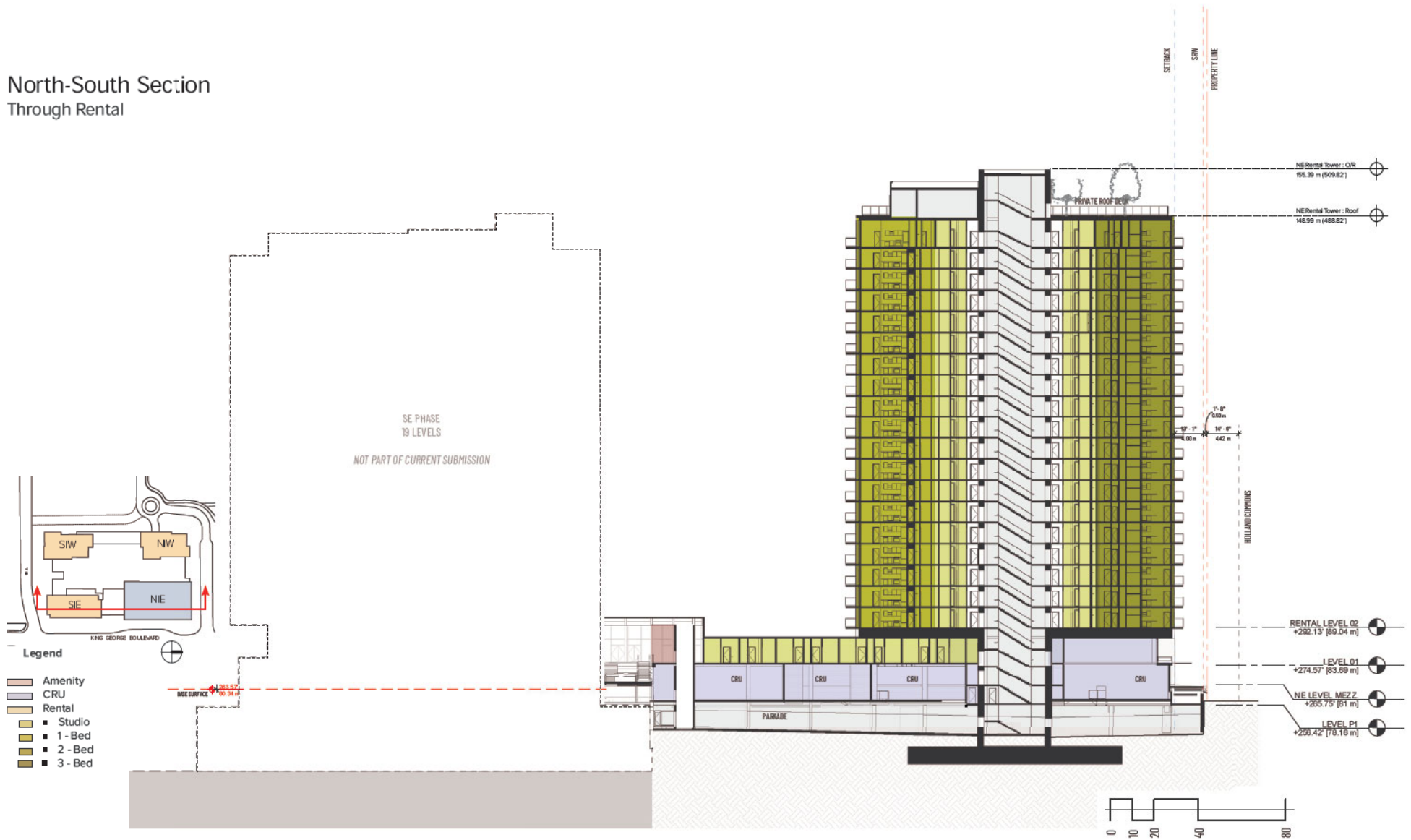
Legend

- Amenity
- CRU
- Rental
- Studio
- 1-Bed
- 2-Bed
- 3-Bed



5 Documentation Sections


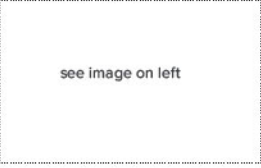

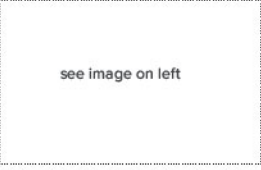
North-South Section Through Rental



5 Documentation


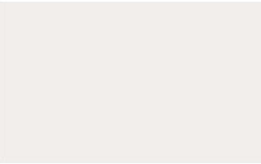

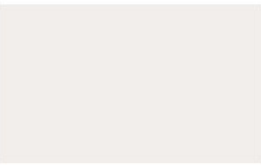


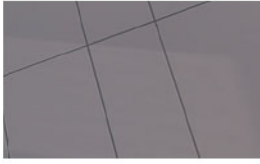

Exterior Material Legend

Glazing Systems

TYPE	LOCATION	DESCRIPTION	SYSTEM TYPE	MATERIAL / COLOR
CW-1	Base at Rental, CRU, and Amenity areas	<ul style="list-style-type: none">Stick-built curtain wall systemOutside-glazed, SSG		
WW-1	Typical rental L2 - L20	<ul style="list-style-type: none">Window wall with by-pass slab. Raised metal panel (MP-2) and flush metal panel (MP-3)Operable windows (hopper) as necessaryWindow mullion finish to match cladding		

5 Documentation
Exterior Material Legend

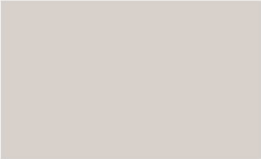

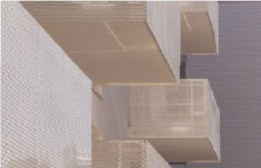
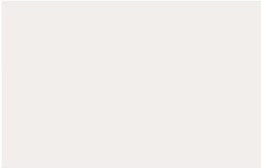

Metal Cladding

TYPE	LOCATION	DESCRIPTION	SYSTEM TYPE	MATERIAL / COLOR
MP-1	Base	• Rain screen metal panel cladding system and trim		
MP-2	Typical rental L2 - L20	• Raised metal panel vertical grid		
MP-3	Typical rental L2 - L20	• Flush metal panel at SE and NE corners on level 2-5 and NE corner on level 17-20		
MP-4	Rental soffit, base	• Rain screen metal panel soffit		

5 Documentation





Exterior Material Legend

(Metal Cladding cont.)

TYPE	LOCATION	DESCRIPTION	SYSTEM TYPE	MATERIAL / COLOR
MP-5	Balcony privacy screens	<ul style="list-style-type: none">Aluminium panel		
LV-1	Base at CRU	<ul style="list-style-type: none">Extruded aluminium architectural louver cladding		
RL-1	Typical rental L2 - L20	<ul style="list-style-type: none">Perforated metal, side mounted balcony railings		
RL-2	Typical rental L2 - L20	<ul style="list-style-type: none">Glass balustrade		

5 Documentation

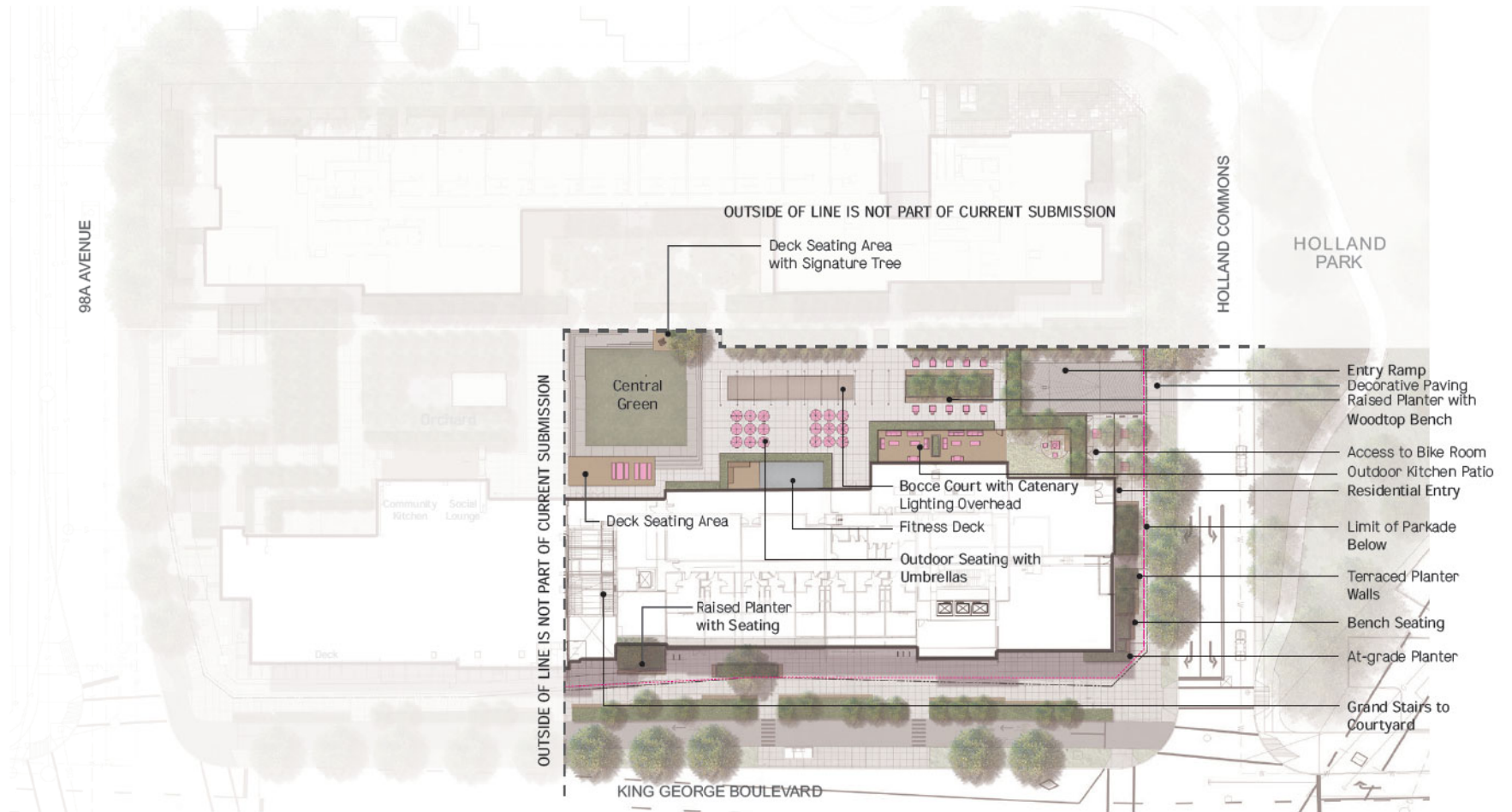
Architectural Concrete

TYPE	LOCATION	DESCRIPTION	SYSTEM TYPE	MATERIAL / COLOR
C-1	Columns at base	<ul style="list-style-type: none"> Exposed structural concrete with architectural finish, class A finish 		<div style="border: 1px dashed black; padding: 10px; text-align: center;"> <p>see image on left</p> </div>
C-2	Planters, Parkade entry ramps	<ul style="list-style-type: none"> Architectural concrete 		<div style="border: 1px dashed black; padding: 10px; text-align: center;"> <p>see image on left</p> </div>
C-3	Rental Balconies	<ul style="list-style-type: none"> top : traffic coat : U/S painted (latex) bottom: skim coat with integral color 		
<h3>Canopy</h3>				
CP-1	CRU at base and Rental Entry	<ul style="list-style-type: none"> Metal plate canopy system 		

6 Landscape
Plans

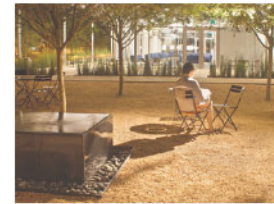
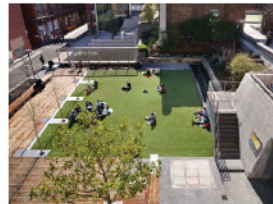
Site and Courtyard Level
Plan

Site Plan



6 Landscape

Plans Precedent Imagery



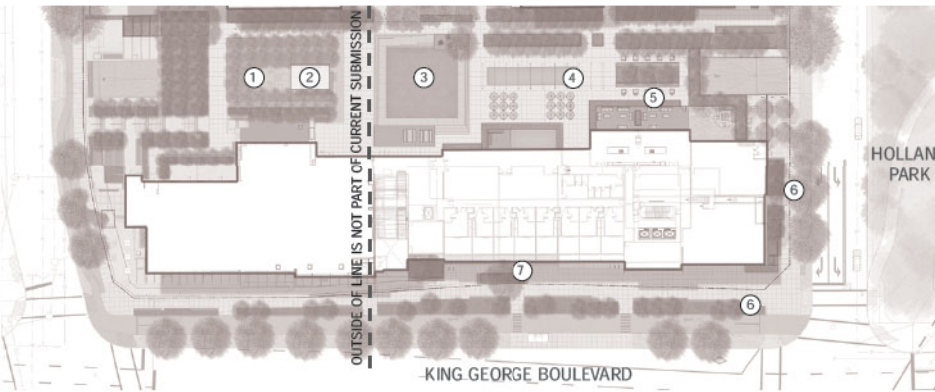
③ Central Green

③ Central Green

④ Bocce Court



② Greenhouse

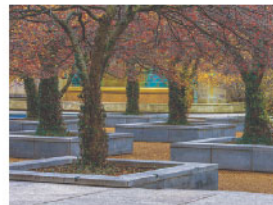
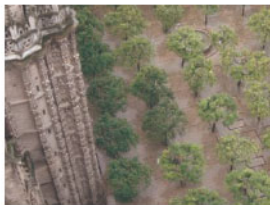


⑤ Seating



① Orchard

⑥ Public Realm Street Edge



① Orchard

① Orchard

⑦ Commercial Outdoor Seating

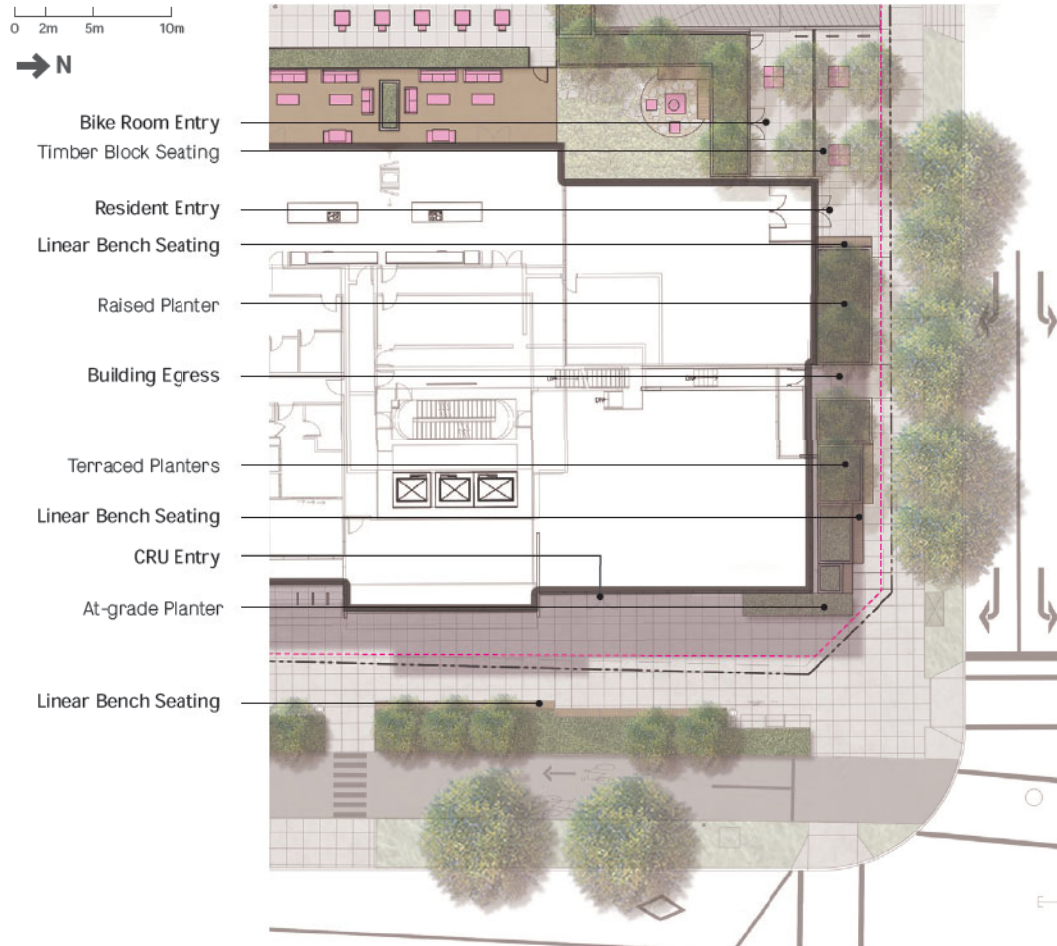
⑦ Commercial Outdoor Seating

⑥ Public Realm Street Edge

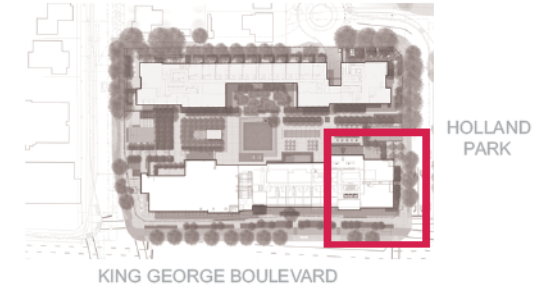
6 Landscape

Plans

North-East Corner Enlargement Plan



Key Plan

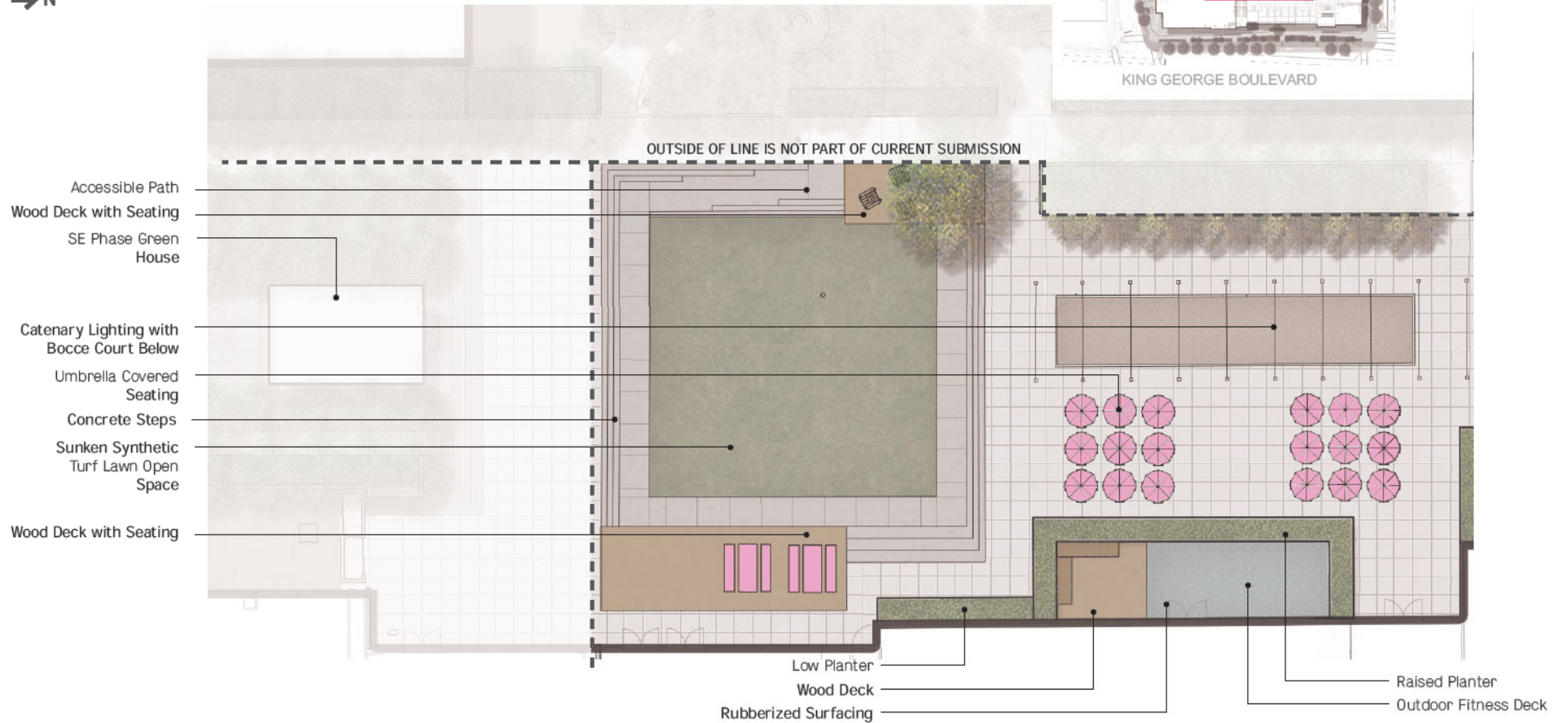


6 Landscape

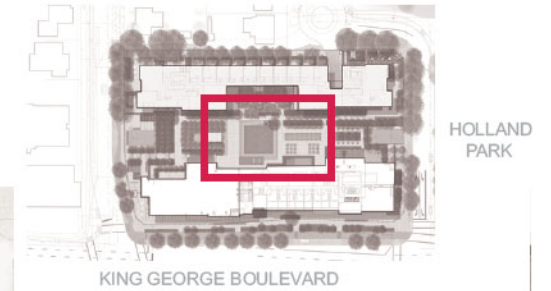
Plans

South Central Courtyard Enlargement Plan

0 2m 5m



Key Plan

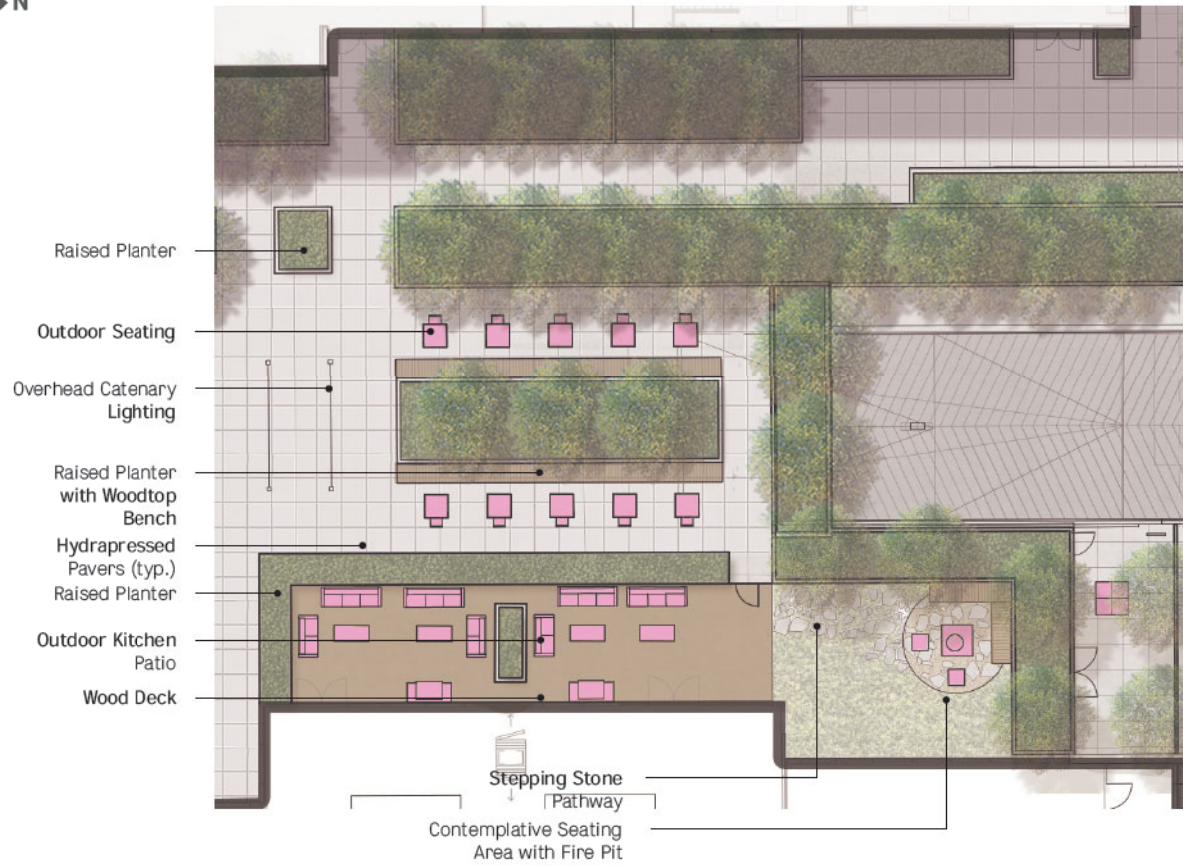


6 Landscape

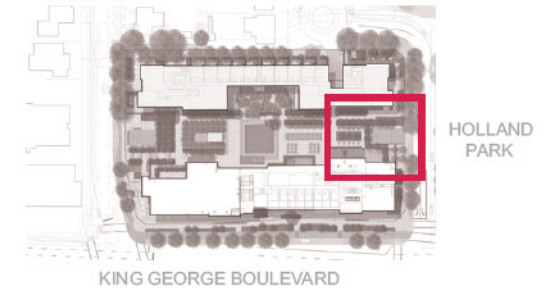
Plans

North Central Courtyard - Amenity Area

0 2m 5m



Key Plan



6 Landscape

Plans

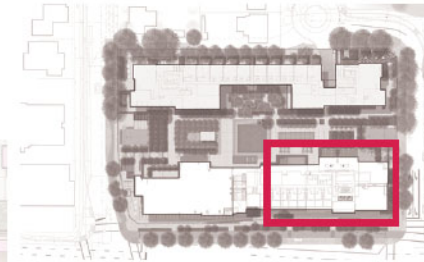
Level 2 Green Roof

0 2m 5m



Extensive Green Roof

Key Plan



HOLLAND PARK

KING GEORGE BOULEVARD

Extensive green roof

Maintenance edge

6 Landscape

Plans

Roof Plan

Materials Plan



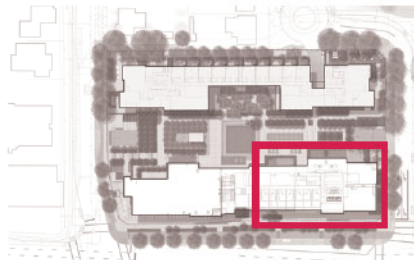
Trellis

Outdoor Dining

Play Space

Lounge Seating

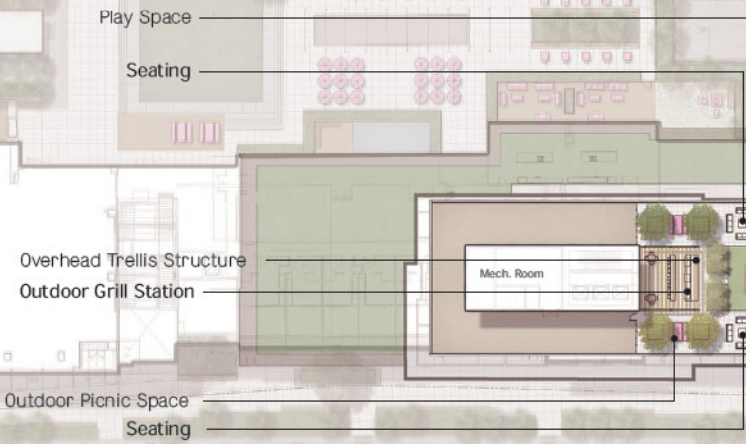
Key Plan



KING GEORGE BOULEVARD

HOLLAND PARK

KING GEORGE BOULEVARD



6 Landscape

Plant Schedule

Plant Schedule

Sym	Qty	Botanical Name	Common Name	Spacing & Size	Comments	Sym	Qty	Botanical Name	Common Name	Spacing & Size	Comments	Notes	
<u>Trees</u>													
AC	21	Acer circinatum	Vine Maple	5cm cal., B&B		Pm		Polystichum munitum	Sword Fern	#2 Pot, 600mm O.C.	Full	<ol style="list-style-type: none"> All streetscape design is as per City of Surrey Design Standards, the Cadian Landscape Standard and the Surrey Tree Protection Bylaw. This plan shows landscape proposed as part of streetscape development. All plant material to BCLNA and CSLA standards. Refer to the CSLA Canadian Landscape Standard, latest edition. Area of search for plant material Pacific Northwest, including British Columbia, Washington, and Oregon. All planted areas to have automatic irrigation. Refer to specification for general conditions, materials, and installation requirements. 	
MG	12	Magnolia grandiflora	Southern Magnolia	7cm cal., B&B	Uniform size & quantity	Ro		Rosa meidland White	White Meidland Rose	#2 pot, 450mm O.C.	Full		
MD	5	Malus domestica	Espalier Apple	1.5m Ht., B&B	Uniform size & quantity	Br		Brechinum spicant	Deer Fern	#1 pot, 380mm O.C.	Full		
PY	34	Prunus yedoensis	Yoshino Cherry	7cm cal., B&B	Uniform size & quantity	Vc		Vaccinium 'Jelly Bean'	Blueberry	#2 pot, 450mm O.C.	Full		
AM	22	Amelanchier canadensis	Canadian Serviceberry	4cm cal., B&B	Uniform size & quantity	Rs		Ribes sanguineum	Flowering Currant	#2 pot, 600mm O.C.	Full		
WS	22	Liquidambar styraciflua	Worplesdon/Worplesdon Sweetgum	7 cm cal. (3" cal.)	Uniform size & quantity	Bs		Buxus sempervirens	Boxwood	#2 pot, 450mm O.C.	Full		
<u>Offsite Trees</u>													
46		Offsite Street Trees To be species to be Selected at the Discretion of Surrey Parks		7cm cal., B&B	Uniform size & quantity	pt		Pachysandra terminalis	Japanese Spurge	#1 pot, 380mm O.C.	Full		
<u>Hedges & Shrubs</u>													
<u>Groundcover</u>													
						mr		Meritha rugerli	Corisican Mint	#1 pot, 150mm O.C.	Full		
						st		Stipa tenuisima	Mexican Feather Grass	#1 pot, 500mm O.C.	Full		
						lp		Leptinella potentillina	Verdigris Brass Buttons	#1 pot, 150mm O.C.	Full		



Red Maple



Southern Magnolia



London Plane



Vine Maple



Yoshino Cherry



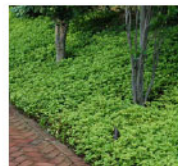
Worplesdon Sweetgum



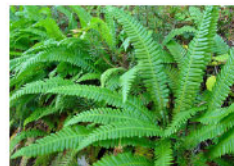
White Meidland Rose



Verdigris Brass Buttons



Japanese Spurge



Deer Fern



Sword Fern



Canadian Serviceberry



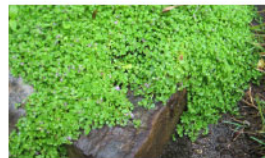
Flowering Currant



Espalier Apple



Blueberry



Corisican Mint

Department: **Planning and Demographics**
Date: **July 5, 2024**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **24-0016**

The proposed development of **274** High Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	23
---	----

Projected Number of Students From This Development In:	
Elementary School =	14
Secondary School =	5
Total Students =	19

Current Enrolment and Capacities:	
A H P Matthew Elementary	
Enrolment	425
Operating Capacity	406
# of Portables	0
Queen Elizabeth Secondary	
Enrolment	1472
Operating Capacity	1600
# of Portables	4

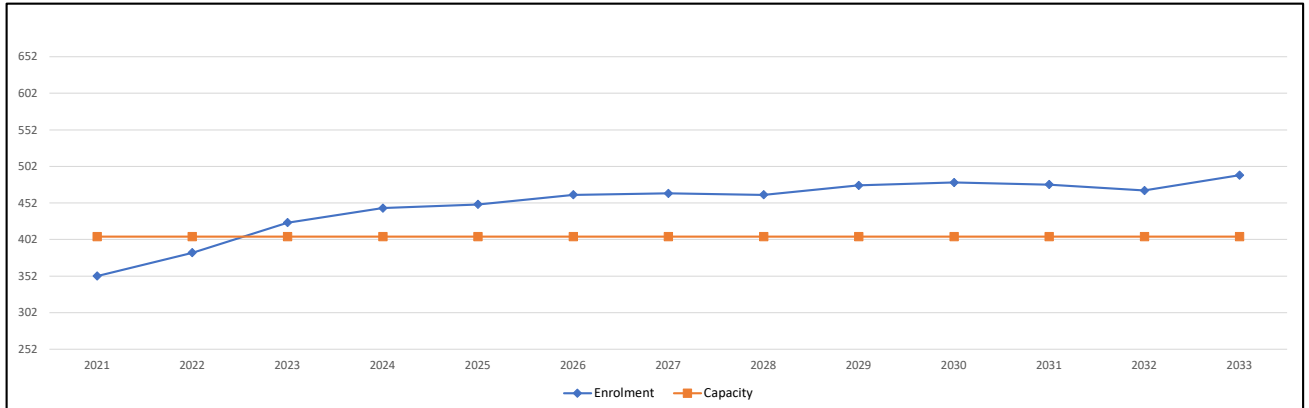
Summary of Impact and Commentary

The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

As of September 2023, AHP Matthews is operating at capacity 103% capacity. The 10 year enrolment projection anticipates strong growth for the catchment. The current growth expected at AHP Matthews can be accommodated by portables over the next 10 years. The District will be re-evaluating the space needs of this school and its neighbouring elementary schools, once a revised City Centre land use plan is adopted.

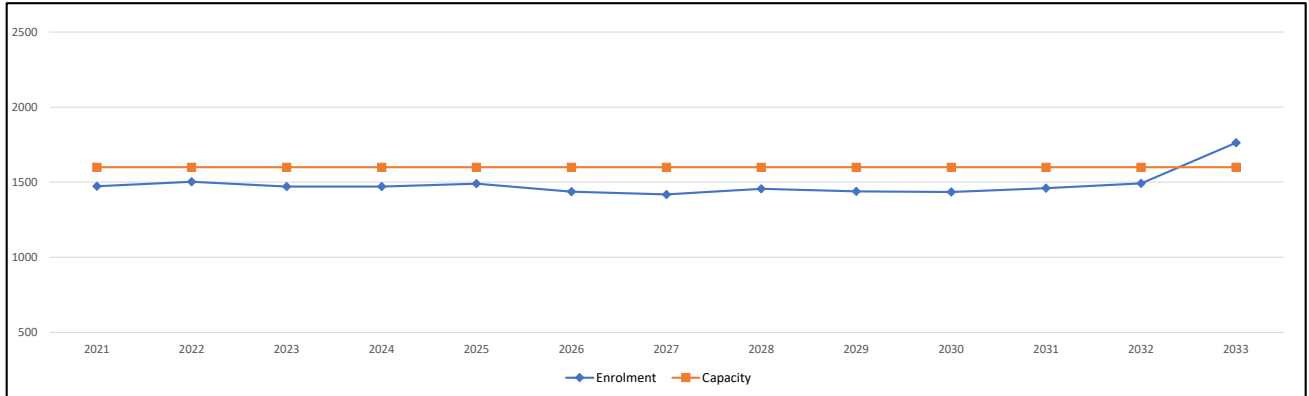
As of September 2023, Queen Elizabeth is operating at 92% capacity. The current projections show modest growth but this will be updated with the adoption of a revised City Centre plan. Further rapid growth is expected.

A H P Matthew Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Queen Elizabeth Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population : The projected population of children aged 0-17 impacted by the development.
Enrolment : The number of students projected to attend the Surrey School District ONLY.



Advisory Design Panel Minutes

Location: Electronic
Meeting
THURSDAY, JULY 25, 2024
Time: 3:30 p.m.

Present:

Panel Members:

M. Krivolutsкая, Chair
A. Chen
D. Dilts
D. Dirscherl
K. Lit
J. Packer

Guests:

Joanne Shao, Century Group
Jan Carl Willemse, ZGF Architects Inc.
James Skinnider, ZGF Architects Inc.
Joseph Fry, Hapa Collaborative
Malkit Athwal, 689631 BC Ltd.
Wilson Chang, Wilson Chang Architect Inc.
Meredith Mitchell, M2 Landscape Architecture

Staff Present:

A. McLean, City Architect
N. Chow, Urban Design Planner
A. Yahav, Legislative Services Assistant

1. 3:40 p.m.

File No.:	7924-0016-00
New or Resubmit:	New
Last Submission Date:	N/A
Description:	The applicant is proposing a Development Permit for Form and Character and a Housing Agreement to secure 274 purpose-built rental units to allow for one 20-storey mixed-use high-rise tower, consisting of 274 purpose-built residential dwelling units and 1,079 m ² of ground floor retail over three levels of underground parking with an overall gross site-wide FAR of 6.6 (7.7 net FAR).
Address:	9889 King George Boulevard
Developer:	Joanne Shao, Century Group
Architect:	Jan Carl Willemse, Architect AIBC and James Skinnider, ZGF Architects Inc.
Landscape Architect:	Joseph Fry, Hapa Collaborative
Planner:	Jennifer McLean
Urban Design Planner:	Ann McLean, Architect AIBC, City Architect

Applicant's response to the Panel's recommendations:

Minutes to meeting provided by the City of Surrey. All comments made by the ADP have been itemize below in order they appear in the City of Surrey's meeting minutes from August 9, 2024, and assigned a number for clarity, as some of the comments are duplicates and overlap.

Key Points:

1. Recommend strengthening the connection between the central courtyard and Holland Park to the north to better align with the stated intent of providing an inclusive, welcoming and accessible public amenity.
 - As per recommendations provided by the ADP for the master site (GDP December 2019) the grading along the north property allows for only a visual connection between the park and the courtyard (with accessible route limited to the N-W corner of site). Effort has been made to maintain this connection through planting along the ramp overhead and tiered planting stepping up to the courtyard north of the ramp. The current ADP sees an increase of planting along the north edge of the courtyard overlooking Holland Park, that was once a vegetation-free outdoor play area for the since-deleted Childcare. A large outdoor 'plaza' space in front of the bike workshop (to the south of the ramp) has also been added and is meant to activate the street directly across from the park.
2. Consider providing more private outdoor amenity space for the northeast building.
 - Outdoor amenity space requirements have been met on the NE, with outdoor amenity located on the courtyard as well as on the tower roof. Additional outdoor amenity on the amenity roof would be difficult to program as access and privacy would be a concern.
3. Consider further design development of the interface between the northeast corner commercial retail units and residential tower above, with a focus on increased setbacks and/or more meaningful façade articulation at the transition.
 - Please refer to updated renderings and elevations in the Response book provided. Both through massing and articulation (enhanced "band" with varying depth marking transition between tower and podium) as well as through material differentiation (wood soffit used exclusively in commercial podium as well as wood ceiling in grand stair) enhance the separation and individuality of the two elements.
4. Consider increasing the ground floor setbacks.
 - Setbacks have been set at GDP (December 2019). The architect has pulled back sections of the CRU along KGB to increase the public realm and simplify the podium massing (see update P1 floor plan).
5. Consider a number of sustainability measures and net zero initiatives.
 - Noted. The applicant is currently exploring opportunities to improve building performance.

Site

1. Consider shifting the location of the garbage area to the left to optimize circulation.
 - Noted. This area is currently being reviewed in more detail with the core consultant team. The applicant will consider optimal location for the garbage area, as well as other building services.

Form and Character

1. Reconsider the design of the northeast corner of the tower
 - Please refer to item #3 under **Key Points** with regards to further strengthening of the identities of the tower and podium. In addition to this, the landscaping previously lining the north face of the CRU now wraps around the corner to provide exposure to the public realm along KGB. This both softens the edge of the public realm and hints at the courtyard above to those users along KGB, approaching this intersection from the south. The bike workshop 'plaza' adjacent to the rental lobby entry has been enhanced with more vegetation and more seating to promote use. The same knife-blade picket guard design used in the courtyard on the SE is to be provided between the 'plaza' and the north ramp to further define the space.
2. Consider adding some wood materials to the façade at the pedestrian level for warmth during grey seasons.
 - Please refer to item #3 under **Key Points** with regards to further strengthening of the identities of the tower and podium through use of material. Wood in the soffit is employed on both the KGB façade and the north façade along Holland Commons. Wood color and type will reflect the benches along the public realm.

3. Reconsider the design strategy of the building. It reads more as an office tower than a residential tower.
 - Noted. The intent of the proposed massing and articulation is for the NE tower to use its prominent position at the intersection of Holland Commons and KGB and bring the various building forms on the site (SE rental and SW/NW condo towers) together as a cohesive group. While linking to these other towers, the NE tower / podium is also to read as its own, introducing a vertical / horizontal language dominated with prominent balcony strips and unbroken vertical cladding strips. The more distinct separation of the tower from the podium as well as the roof vegetation (not shown in the original ADP package) should alter this misconception. As offices typically do not have balconies, it is difficult to see how this building could be mistaken for an office.
4. Reconsider the relationship between the building's form and character to the Surrey SkyTrain station.
 - Noted. ZGF has applied the same approach to the site and its immediate urban setting as presented and approved at the GDP. The SE and NE tower both employ a simple massing to create a strong urban enclosure along KGB, maintaining a similar height of structure found across the street. This creates a corridor down KGB that avoids the imposing 'canyon' created in some downtown cores. The scale and articulation are meant to tie into the form and character found in the immediate surroundings of residential and office towers (note horizontal striping of the coast capital building).
5. Consider adding some terracing to the south side of the building reflecting the overall site concept.
 - From an aesthetic perspective, introducing terracing into the massing of one of the four towers would conflict with the current design language on site. From a practical perspective, terracing to the south side of the NE tower (i.e. bringing the base of the tower southward in successive steps at the lower levels) would introduce challenging privacy issues to the SE and NE rental units facing each other. Great care has been given to maximizing rental floor space to ensure the viability of the project while, at the same time, ensuring that reasonable distance to building is maintained between the NE and SE tower. Significantly reducing the floor plate on the upper floors or extending the floor plate south on the lower levels would create difficult challenges.

Landscape

1. Consider adapting the catenary light posts to allow for detachable fabric sails for shading over the bocce courts.
 - The applicant feels that sails in this setting would not match the design language used in the rest of the courtyard. The introduction of sails would further introduce necessary provision of the structure to accommodate wind and potential snow load. Flexible seating adjacent to the bocce court will be provided with umbrellas for necessary weather protection.

Crime Prevention Through Environmental Design (CPTED)

1. No specific issues were identified.
 - Noted.

Sustainability

2. Consider opportunities to use energy modelling for design assist and not just for confirming compliance.
 - Noted. The team is currently working with Morrison Hershfield and JRS on opportunities related to optimizing building performance.
3. Consider using future climate files for thermal comfort modelling to test resiliency and ensure livability in future.
 - Noted.

4. Before you go too far with layouts, consider the location of HRVs with the intent of minimizing duct runs and awkward layout. Simpler duct runs can reduce bulkheads and allow for better insulation. For a little bit more space, you can get significantly better HRV units with higher efficiency, lower noise, better filtration, and (critically) summer bypass.
 - Noted. The core consultant team is reviewing this. We have the added benefit of receiving input from the construction team for the SE rental who are providing feedback of lessons learned on the SE tower.
5. Consider how fresh air and thermal comfort will be ensured in studio spaces where separation is in place.
 - Noted. The studio layouts have been adjusted to remove the translucent glass floor to ceiling panels in response to comments from Planning.
6. Consider using fibreglass window framing as an alternative to thermally broken balconies if problems meeting step code 3 arise.
 - Noted. Step code target and outline specifications exploring window wall systems are currently being reviewed.
7. Consider opportunities with fenestration design to maximize passive cooling though good air circulation.
 - Noted. The design targets location of openings at opposite ends of corner units in order to maximize cross-ventilation.
8. Consider high quality bike amenities including good wayfinding for bicyclists, automatic door operators to ease entry and exit, ample room for cargo bikes and trailers, and electric bike charging.
 - Noted. As per the SW and NW condo towers, a bike shop amenity space is provided in a prime outdoor location, directly adjacent to public realm. The NE rental also provides a small 'plaza' in front of the work area to promote outdoor bike maintenance weather permitting. The NE design is in line with the applicants attempt to make cycling in all buildings front and center in order to promote cycling as an alternate transport method.
9. Carefully consider how bicyclists interact with pedestrians and drivers both on the ground plane and within buildings.
 - Noted. See previous response to item #8 of this section. Easy bike access is provided directly adjacent to the lobby entry and incorporates a 'bike plaza' in front of the highly visible bike workshop. To better promote cycling the NE tower, similar to the SW and NW condos, has the bike workshop front and center, with prime views to and from Holland park. Improved seating and vegetation in this plaza helps connect, but also isolate, cyclists and the pedestrians using the sidewalk. Connection is made through close proximity of the bike workshop / bike storage entry to the sidewalk, but the 'bike plaza' acts as a buffer to collect cyclists entering or leaving the facility off of, and away from, the sidewalk where pedestrians traffic flows.
10. Consider how best to encourage waste management with three stream systems in suites, and central recycling rooms that are well lit, include sorting tables, and include pictograms to address language barriers.
 - Noted.
11. Consider measures to reduce embodied carbon by including slag or fly ash in concrete mixes to reduce embodied carbon due to cement content.
 - Noted. The architect's internal building performance team is already looking into the feasibility and viability of different processes and in communication with the construction team.
12. Consider using thermally modified ash.
 - Noted. The architect's internal building performance team is already looking into the feasibility and viability of different processes and in communication with the construction team.
13. Consider forgoing outdoor gas connections.
 - Noted. The decision has been made by the applicant to forgo gas connection to the NE rental building and commercial below. Outdoor fireplaces in the outdoor amenity will use an alternative fuel.

Accessibility

1. Consider the inclusion of adaptable units.
 - o Noted. It is the intent to provide the minimum adaptable unit quota.
2. Ensure that some accessible parking stalls are equipped with electric vehicle charging set-ups.
 - o Noted.

Amenity Space and Programming

1. Consider better-utilizing the green roof above the fitness centre for additional amenity space.
 - o Noted. See response to item #2 under **Key Points** above regarding the provision of 'more private outdoor amenity space'. Early studies around utilizing the courtyard show that additional outdoor amenity on the amenity roof (L2) would be difficult to program without negatively affecting L3 unit privacy. The required 5' deep transfer slab also makes accessibility to this level challenging, with potential significant loss of program efficiency.

End of Panel Recommendations

CITY OF SURREY

HOUSING AGREEMENT
Mixed-Use

THIS HOUSING AGREEMENT made the _____ day of _____, 2024.

BETWEEN:

CITY OF SURREY, a municipal corporation having its offices at 13450 – 104 Avenue, Surrey, B.C. V3T 1V8

(the “**City**”)

OF THE FIRST PART

AND:

CENTURY CITY PARKSIDE PROPERTIES LTD., a corporation having its offices at 10th Floor, Anvil Centre, 11 Eighth Street, New Westminster, BC, V3M 3N7

(the “**Owner**”)

OF THE SECOND PART

WHEREAS:

- A. The Owner is the current registered owner of those certain lands and premises located in the City of Surrey, in the Province of British Columbia, legally described as:

Parcel Identifier: 031-294-987
Lot A Section 34 Block 5 North Range 2 West New Westminster District
Plan EPP102781 Except Air Space Plan EPP120920

(the “**Lands**”);

- B. The Owner proposes to use the Lands for a 20-storey building containing approximately 274 rental Dwelling Units (the “**Development**”);
- C. The Owner has voluntarily agreed to enter into a housing agreement pursuant to Section 483 of the *Local Government Act*, R.S.B.C. 2015, Chapter 1, as amended, to ensure that the Rental Units are rented in accordance with this Agreement.

NOW THEREFORE in consideration of the premises herein and of the mutual covenants and agreements hereinafter set forth and contained herein and \$1.00 now paid by the City to the Owner (the receipt of which is hereby acknowledged), the parties hereto covenant and agree each with the other as follows:

1. DEFINED TERMS

1.1 In and for the purpose of this Agreement, in addition to the definitions on the first page of this document, the following terms shall have the following meanings:

- (a) **“Agreement”** means this housing agreement and any amendments to or modifications of the same;
- (b) **“City”** means the City of Surrey and any person authorized by the City of Surrey, including assigns of whole or partial interest in this Agreement or of any of the rights conferred upon the City of Surrey by this Agreement;
- (c) **“City Personnel”** means all of the City’s elected and appointed officials, officers, employees, agents, nominees, delegates, permittees, contractors, subcontractors, invitees and the Approving Officer;
- (d) **“Claims and Expenses”** means all actions, causes of actions, suits, judgments, proceedings, demands, and claims, whether at law or in equity, losses, damages, expenses and costs (including legal fees and disbursements on an indemnity basis) of any kind or nature whatsoever, at law or in equity, for any damages, losses, injuries or death;
- (e) **“Development”** means as defined in Recital B;
- (f) **“Dwelling Unit”** means each of the 274 dwelling units to be constructed within the Development;
- (g) **“Lands”** means the parcel of land situated in the City of Surrey, British Columbia and legally described in Recital A, and includes any parcel into which such land is consolidated or further subdivided (including a subdivision pursuant to the *Land Title Act* and a subdivision pursuant to the *Strata Property Act* of British Columbia);
- (h) **“Owner”** means the person named on the first page of this Agreement and the legal and beneficial owner at any given time and any successors in title of the Lands and, without limitation, if the Lands are subdivided by way of a strata plan under the *Strata Property Act* of British Columbia, then “Owner” includes the strata corporation thereby created;
- (i) **“Rental Units”** means 274 Dwelling Units which must be made available by the Owner to the general public at arms’ length for use as residential rental accommodation on a month-to-month or longer basis in accordance with all applicable laws including, without limitation, the *Residential Tenancy Act*, S.B.C. 2002, Chapter 78, as amended, and

any regulations pursuant thereto; and

- (j) “**Term**” means 60 years, commencing on the first day of the month after the City issues an occupancy permit for the Development.

2. RESTRICTION ON OCCUPANCY OF DWELLING UNITS

- 2.1 During the Term the Rental Units must be made available for rent in accordance with this Agreement.
- 2.2 The City may, from time to time, during the Term request the Owner to provide written proof of compliance with section 2.1 and the Owner agrees to provide, or cause an operator of the Lands to provide, the City with such proof in a form reasonably satisfactory to the City.
- 2.3 All of the Rental Units must be owned by the same Owner(s).
- 2.4 Throughout the Term, the Owner shall not sell or transfer the beneficial or registered title or any interest in and to the Rental Units, unless the Owner obtains from the transferee an agreement in writing from the transferee to assume and perform all of the obligations of the Owner arising under this Agreement.

3. LIABILITY

- 3.1 **Indemnity.** The Owner shall indemnify and save harmless the City and City Personnel from all Claims and Expenses which the City and City Personnel may suffer, or incur, or be put to, arising out of or in connection with any breach or default of any covenants or agreements on the part of the Owner contained in this Agreement, or arising out of, or in connection with the Development or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.2 **Release.** The Owner does hereby remise, release and forever discharge the City and City Personnel from all Claims and Expenses which the Owner may have against the City and City Personnel, which the Owner now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.3 **Obligations Continue.** The Owner covenants and agrees that the indemnity and release in Sections 3.1 and 3.2 will remain effective and survive the expiration or termination of this Agreement whether by fulfillment of the covenants contained in this Agreement or otherwise.

4. NOTICE

- 4.1 Any notices or other documents to be given or delivered pursuant to this Agreement will be addressed to the proper party as follows:

(a) As to the City:

City of Surrey
13450 – 104 Avenue
Surrey, BC V3T 1V8

Attention: General Manager, Planning and Development Department

(b) As to the Owner:

Century City Parkside Properties Ltd.
10th Floor, Anvil Centre, 11 Eighth Street
New Westminster, BC, V3M 3N7

Attention: Sean Hodgins

or such other address as such party may direct. Any notice or other documents to be given or delivered pursuant to this Agreement will be sufficiently given or delivered if delivered to the particular party as its address set out or determined in accordance with this section and shall be deemed complete two (2) days after the day of delivery.

4.2 It is specifically agreed that for any notice or document to be validly given or delivered pursuant to this Agreement, such notice or document must be delivered and not mailed.

5. **GENERAL**

5.1 **Joint and Several.** Where the Owner consists of more than one person, each such person will be jointly and severally liable to perform the Owner's obligations under this Agreement.

5.2 **Assignment by City.** This Agreement or any of the rights conferred by this Agreement upon the City may be assigned in whole or in part by the City without the consent of the Owner.

5.3 **City's Other Rights Unaffected.** Nothing contained or implied herein will derogate from the obligations of the Owner under any other agreement with the City or, if the City so elects, prejudice or affect the City's rights, powers, duties or obligations in the exercise of its functions pursuant to the *Local Government Act* and the *Community Charter*, as amended from time to time and the rights, powers, duties and obligations of the City under all public and private statutes, by-laws, orders and regulations, which may be, if the City so elects, as fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner and the City.

5.4 **Agreement for Benefit of City.** The Owner and the City hereby acknowledge, agree and declare that this Agreement is entered into for the sole purpose of

benefitting the City and, in particular, acknowledge, agree and declare that this Agreement is not designed to protect or promote the interests of the Owner or any mortgagee of the Owner, or any future owner or occupier of the Lands and any improvements on the Lands or any other person and the City may, at its sole option, execute a release of this Agreement at any time without liability to any person for so doing.

- 5.5 **No Waiver.** The Owner acknowledges and agrees that no failure on the part of the City to exercise and no delay in exercising any right under this Agreement will operate as a waiver thereof, nor will any single or partial exercise by the City of any right under this Agreement preclude any other or future exercise thereof of the exercise of any other right.
- 5.6 **City Not Required to Prosecute.** The Owner agrees that the City is not required or is under no obligation in law or equity to prosecute or enforce this Agreement in any way whatsoever.
- 5.7 **Remedies.** The remedies provided for in this Agreement will be cumulative and not exclusive of any other remedies provided by law or in equity. In addition to any remedies which are available under this Agreement or at law, the City will be entitled to all equitable remedies, including, without limitation, specific performance, injunction and declaratory relief, or any combination thereof, to enforce its rights under this Agreement. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy for a default by the Owner under this Agreement.
- 5.8 **Severability.** All the obligations and covenants in this Agreement are severable, so that if any one or more of the obligations or covenants are declared by a court of competent jurisdiction to be void and unenforceable, the balance of the obligations and covenants will remain and be binding.
- 5.9 **City Court Costs.** In an action to enforce this Agreement in respect of which the court determines that the position of the City will prevail, the City will be entitled to court costs on a solicitor-client basis.
- 5.10 **Subdivision/Consolidation.** If the Lands are subdivided or consolidated at any time hereafter either under the provisions of the *Land Title Act* or under the *Strata Property Act*, then upon the deposit of a plan of subdivision, strata plan, consolidation plan or similar plan or application as the case may be the rights, benefits, burdens, obligations, and covenants contained in this Agreement will continue to charge each of the new parcels, lots, or other subdivided or consolidated parcels and areas so created.
- 5.11 **Subdivision by Strata Plan.** If the Lands, or any portion thereof, are subdivided by a strata plan, this Agreement will charge title to the strata lots and the common property comprising such strata plan and:
- (a) this Agreement will be registered against each individual strata lot and noted on the common property sheet;

- (b) the strata corporation or the strata corporations created will perform and observe the Owner's covenants in this Agreement, solely at the expense of the strata lot owners; and
 - (c) the liability of each strata lot owner for the performance and observance of the Owner's covenants herein will be in proportion to the unit entitlement of his, her or its strata lot as established by the strata plan.
- 5.12 **Personal Representatives and Successors.** This Agreement shall enure to the benefit of and be binding upon the parties hereto and their personal representatives, respective heirs, executors, administrators, successors, and assigns.
- 5.13 **Governing Law.** This Agreement will be governed by and construed in accordance with the laws of the Province of British Columbia and the laws of Canada applicable in British Columbia.
- 5.14 **Priority.** The Owner shall at the sole expense of the Owner, do or cause to be done all acts reasonably necessary to grant priority to this Agreement over all charges and encumbrances which may have been registered against the title to the Lands at the Land Title Office save and except those specifically approved in writing by the City.
- 5.15 **Further Assurances.** The Owner shall do, or cause to be done, all things and execute or cause to be executed all documents and give such further and other assurances which may be reasonably necessary to give proper effect to the intent of this Agreement.
- 5.16 **Counterparts.** This Agreement may be executed in any number of counterparts and delivered via facsimile or e-mail, each of which will be deemed to be an original and all of which taken together will be deemed to constitute one and the same instrument, provided that any party delivering this Agreement via facsimile or e-mail will deliver to the other party any originally executed copy of this Agreement forthwith upon request by the other party.

- **Entire Agreement.** This Agreement represents the entire agreement between the City and the Owner regarding the matters set out in this Agreement and supersedes all prior agreements, letters of intent or understandings about these matters.

IN WITNESS WHEREOF the City of Surrey and the Owner have executed this Agreement under seal of their duly authorized officers as of the references of this Agreement.

CITY OF SURREY

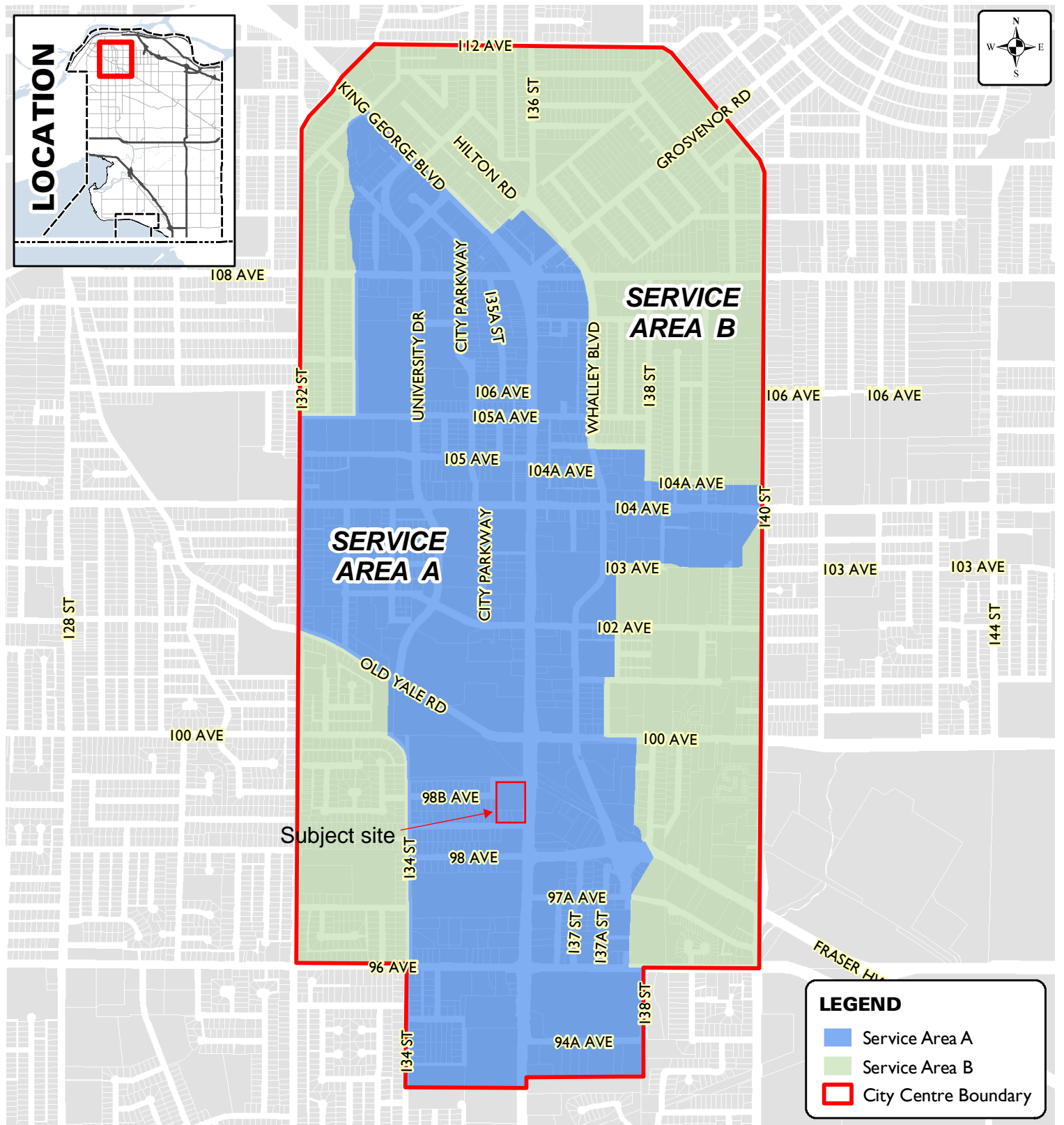
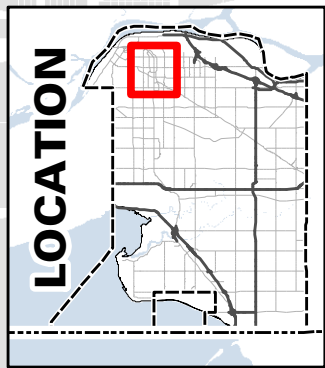
By: _____
Authorized Signatory
Brenda Locke,
Mayor
City of Surrey

By: _____
Authorized Signatory
Jennifer Ficocelli,
City Clerk and Director Legislative Services
City of Surrey

CENTURY CITY PARKSIDE PROPERTIES LTD.

By:  _____
Authorized Signatory
Name: Sean Hodgins
Title: Director

FIGURE 1



LEGEND

- Service Area A
- Service Area B
- City Centre Boundary

Produced by GIS Section: May 31, 2012, CS/AW8



**DISTRICT ENERGY SERVICE AREA
(SERVICE AREA A & SERVICE AREA B)**

**ENGINEERING
DEPARTMENT**

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, Legal descriptions and encumbrances must be confirmed at the Land Title Office.

CITY OF SURREY

BYLAW NO. 21437

A bylaw to authorize the City of Surrey to enter into a Housing Agreement
.....

WHEREAS the City of Surrey has received an application to enter into a housing agreement;

AND WHEREAS Section 483 of the Local Government Act, R.S.B.C. 2015 c.1, as amended (the "*Local Government Act*"), empowers the Council or the City of Surrey to enter into a housing agreement.

NOW, THEREFORE, the Council of the City of Surrey, enacts as follows:

1. The City of Surrey is hereby authorized to enter into a housing agreement in the form attached as Schedule A and forming part of this Bylaw (the "Housing Agreement") with the following party:

Century City Parkside Properties Ltd.
10th Floor, Anvil Centre, 11 – Eighth Street
New Westminster, BC V3M 3N7

and with respect to that certain parcel of lands and premises, in the City of Surrey, more particularly known and described as:

Parcel Identifier: 031-294-987
Lot A Section 34 Block 5 North Range 2 West New Westminster District
Plan EPP102781 Except Air Space Plan EPP120920

(9889 King George Boulevard)

(the "Lands");

2. The Mayor and Clerk are hereby empowered to execute the Housing Agreement on behalf of the City of Surrey.
3. The City of Surrey shall file in the Land Title Office a notice against the Lands in accordance with Section 483 of the *Local Government Act*, that the Lands are subject to the Housing Agreement.

4. This Bylaw shall be cited for all purposes as "The Century City Parkside Properties Ltd. Housing Agreement, Authorization Bylaw, 2024, No. 21437".

PASSED FIRST READING on the th day of , 202 .

PASSED SECOND READING on the th day of , 202 .

PASSED THIRD READING on the th day of , 202 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, _____.

_____ MAYOR

_____ CLERK

CITY OF SURREY
HOUSING AGREEMENT
Mixed-Use

THIS HOUSING AGREEMENT made the _____ day of _____, 2024.

BETWEEN:

CITY OF SURREY, a municipal corporation having its offices at 13450 – 104 Avenue, Surrey, B.C. V3T 1V8

(the “**City**”)

OF THE FIRST PART

AND:

CENTURY CITY PARKSIDE PROPERTIES LTD., a corporation having its offices at 10th Floor, Anvil Centre, 11 Eighth Street, New Westminster, BC, V3M 3N7

(the “**Owner**”)

OF THE SECOND PART

WHEREAS:

- A. The Owner is the current registered owner of those certain lands and premises located in the City of Surrey, in the Province of British Columbia, legally described as:

Parcel Identifier: 031-294-987
Lot A Section 34 Block 5 North Range 2 West New Westminster District
Plan EPP102781 Except Air Space Plan EPP120920

(the “**Lands**”);

- B. The Owner proposes to use the Lands for a 20-storey building containing approximately 274 rental Dwelling Units (the “**Development**”);
- C. The Owner has voluntarily agreed to enter into a housing agreement pursuant to Section 483 of the *Local Government Act*, R.S.B.C. 2015, Chapter 1, as amended, to ensure that the Rental Units are rented in accordance with this Agreement.

NOW THEREFORE in consideration of the premises herein and of the mutual covenants and agreements hereinafter set forth and contained herein and \$1.00 now paid by the City to the Owner (the receipt of which is hereby acknowledged), the parties hereto covenant and agree each with the other as follows:

1. DEFINED TERMS

1.1 In and for the purpose of this Agreement, in addition to the definitions on the first page of this document, the following terms shall have the following meanings:

- (a) **“Agreement”** means this housing agreement and any amendments to or modifications of the same;
- (b) **“City”** means the City of Surrey and any person authorized by the City of Surrey, including assigns of whole or partial interest in this Agreement or of any of the rights conferred upon the City of Surrey by this Agreement;
- (c) **“City Personnel”** means all of the City’s elected and appointed officials, officers, employees, agents, nominees, delegates, permittees, contractors, subcontractors, invitees and the Approving Officer;
- (d) **“Claims and Expenses”** means all actions, causes of actions, suits, judgments, proceedings, demands, and claims, whether at law or in equity, losses, damages, expenses and costs (including legal fees and disbursements on an indemnity basis) of any kind or nature whatsoever, at law or in equity, for any damages, losses, injuries or death;
- (e) **“Development”** means as defined in Recital B;
- (f) **“Dwelling Unit”** means each of the 274 dwelling units to be constructed within the Development;
- (g) **“Lands”** means the parcel of land situated in the City of Surrey, British Columbia and legally described in Recital A, and includes any parcel into which such land is consolidated or further subdivided (including a subdivision pursuant to the *Land Title Act* and a subdivision pursuant to the *Strata Property Act* of British Columbia);
- (h) **“Owner”** means the person named on the first page of this Agreement and the legal and beneficial owner at any given time and any successors in title of the Lands and, without limitation, if the Lands are subdivided by way of a strata plan under the *Strata Property Act* of British Columbia, then “Owner” includes the strata corporation thereby created;
- (i) **“Rental Units”** means 274 Dwelling Units which must be made available by the Owner to the general public at arms’ length for use as residential rental accommodation on a month-to-month or longer basis in accordance with all applicable laws including, without limitation, the *Residential Tenancy Act*, S.B.C. 2002, Chapter 78, as amended, and

any regulations pursuant thereto; and

- (j) “**Term**” means 60 years, commencing on the first day of the month after the City issues an occupancy permit for the Development.

2. RESTRICTION ON OCCUPANCY OF DWELLING UNITS

- 2.1 During the Term the Rental Units must be made available for rent in accordance with this Agreement.
- 2.2 The City may, from time to time, during the Term request the Owner to provide written proof of compliance with section 2.1 and the Owner agrees to provide, or cause an operator of the Lands to provide, the City with such proof in a form reasonably satisfactory to the City.
- 2.3 All of the Rental Units must be owned by the same Owner(s).
- 2.4 Throughout the Term, the Owner shall not sell or transfer the beneficial or registered title or any interest in and to the Rental Units, unless the Owner obtains from the transferee an agreement in writing from the transferee to assume and perform all of the obligations of the Owner arising under this Agreement.

3. LIABILITY

- 3.1 **Indemnity.** The Owner shall indemnify and save harmless the City and City Personnel from all Claims and Expenses which the City and City Personnel may suffer, or incur, or be put to, arising out of or in connection with any breach or default of any covenants or agreements on the part of the Owner contained in this Agreement, or arising out of, or in connection with the Development or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.2 **Release.** The Owner does hereby remise, release and forever discharge the City and City Personnel from all Claims and Expenses which the Owner may have against the City and City Personnel, which the Owner now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.3 **Obligations Continue.** The Owner covenants and agrees that the indemnity and release in Sections 3.1 and 3.2 will remain effective and survive the expiration or termination of this Agreement whether by fulfillment of the covenants contained in this Agreement or otherwise.

4. NOTICE

- 4.1 Any notices or other documents to be given or delivered pursuant to this Agreement will be addressed to the proper party as follows:

(a) As to the City:

City of Surrey
13450 – 104 Avenue
Surrey, BC V3T 1V8

Attention: General Manager, Planning and Development Department

(b) As to the Owner:

Century City Parkside Properties Ltd.
10th Floor, Anvil Centre, 11 Eighth Street
New Westminster, BC, V3M 3N7

Attention: Sean Hodgins

or such other address as such party may direct. Any notice or other documents to be given or delivered pursuant to this Agreement will be sufficiently given or delivered if delivered to the particular party as its address set out or determined in accordance with this section and shall be deemed complete two (2) days after the day of delivery.

4.2 It is specifically agreed that for any notice or document to be validly given or delivered pursuant to this Agreement, such notice or document must be delivered and not mailed.

5. GENERAL

5.1 **Joint and Several.** Where the Owner consists of more than one person, each such person will be jointly and severally liable to perform the Owner's obligations under this Agreement.

5.2 **Assignment by City.** This Agreement or any of the rights conferred by this Agreement upon the City may be assigned in whole or in part by the City without the consent of the Owner.

5.3 **City's Other Rights Unaffected.** Nothing contained or implied herein will derogate from the obligations of the Owner under any other agreement with the City or, if the City so elects, prejudice or affect the City's rights, powers, duties or obligations in the exercise of its functions pursuant to the *Local Government Act* and the *Community Charter*, as amended from time to time and the rights, powers, duties and obligations of the City under all public and private statutes, by-laws, orders and regulations, which may be, if the City so elects, as fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner and the City.

5.4 **Agreement for Benefit of City.** The Owner and the City hereby acknowledge, agree and declare that this Agreement is entered into for the sole purpose of

- benefitting the City and, in particular, acknowledge, agree and declare that this Agreement is not designed to protect or promote the interests of the Owner or any mortgagee of the Owner, or any future owner or occupier of the Lands and any improvements on the Lands or any other person and the City may, at its sole option, execute a release of this Agreement at any time without liability to any person for so doing.
- 5.5 **No Waiver.** The Owner acknowledges and agrees that no failure on the part of the City to exercise and no delay in exercising any right under this Agreement will operate as a waiver thereof, nor will any single or partial exercise by the City of any right under this Agreement preclude any other or future exercise thereof of the exercise of any other right.
- 5.6 **City Not Required to Prosecute.** The Owner agrees that the City is not required or is under no obligation in law or equity to prosecute or enforce this Agreement in any way whatsoever.
- 5.7 **Remedies.** The remedies provided for in this Agreement will be cumulative and not exclusive of any other remedies provided by law or in equity. In addition to any remedies which are available under this Agreement or at law, the City will be entitled to all equitable remedies, including, without limitation, specific performance, injunction and declaratory relief, or any combination thereof, to enforce its rights under this Agreement. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy for a default by the Owner under this Agreement.
- 5.8 **Severability.** All the obligations and covenants in this Agreement are severable, so that if any one or more of the obligations or covenants are declared by a court of competent jurisdiction to be void and unenforceable, the balance of the obligations and covenants will remain and be binding.
- 5.9 **City Court Costs.** In an action to enforce this Agreement in respect of which the court determines that the position of the City will prevail, the City will be entitled to court costs on a solicitor-client basis.
- 5.10 **Subdivision/Consolidation.** If the Lands are subdivided or consolidated at any time hereafter either under the provisions of the *Land Title Act* or under the *Strata Property Act*, then upon the deposit of a plan of subdivision, strata plan, consolidation plan or similar plan or application as the case may be the rights, benefits, burdens, obligations, and covenants contained in this Agreement will continue to charge each of the new parcels, lots, or other subdivided or consolidated parcels and areas so created.
- 5.11 **Subdivision by Strata Plan.** If the Lands, or any portion thereof, are subdivided by a strata plan, this Agreement will charge title to the strata lots and the common property comprising such strata plan and:
- (a) this Agreement will be registered against each individual strata lot and noted on the common property sheet;

- (b) the strata corporation or the strata corporations created will perform and observe the Owner's covenants in this Agreement, solely at the expense of the strata lot owners; and
 - (c) the liability of each strata lot owner for the performance and observance of the Owner's covenants herein will be in proportion to the unit entitlement of his, her or its strata lot as established by the strata plan.
- 5.12 **Personal Representatives and Successors.** This Agreement shall enure to the benefit of and be binding upon the parties hereto and their personal representatives, respective heirs, executors, administrators, successors, and assigns.
- 5.13 **Governing Law.** This Agreement will be governed by and construed in accordance with the laws of the Province of British Columbia and the laws of Canada applicable in British Columbia.
- 5.14 **Priority.** The Owner shall at the sole expense of the Owner, do or cause to be done all acts reasonably necessary to grant priority to this Agreement over all charges and encumbrances which may have been registered against the title to the Lands at the Land Title Office save and except those specifically approved in writing by the City.
- 5.15 **Further Assurances.** The Owner shall do, or cause to be done, all things and execute or cause to be executed all documents and give such further and other assurances which may be reasonably necessary to give proper effect to the intent of this Agreement.
- 5.16 **Counterparts.** This Agreement may be executed in any number of counterparts and delivered via facsimile or e-mail, each of which will be deemed to be an original and all of which taken together will be deemed to constitute one and the same instrument, provided that any party delivering this Agreement via facsimile or e-mail will deliver to the other party any originally executed copy of this Agreement forthwith upon request by the other party.

- **Entire Agreement.** This Agreement represents the entire agreement between the City and the Owner regarding the matters set out in this Agreement and supersedes all prior agreements, letters of intent or understandings about these matters.

IN WITNESS WHEREOF the City of Surrey and the Owner have executed this Agreement under seal of their duly authorized officers as of the references of this Agreement.

CITY OF SURREY

By: _____
Authorized Signatory
Brenda Locke,
Mayor
City of Surrey

By: _____
Authorized Signatory
Jennifer Ficocelli,
City Clerk and Director Legislative Services
City of Surrey

CENTURY CITY PARKSIDE PROPERTIES LTD.

By:  _____
Authorized Signatory
Name: Sean Hodgins
Title: Director

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7918-0067-00

Planning Report Date: October 21, 2024

PROPOSAL:

- Development Permit
- Major RC Amendment

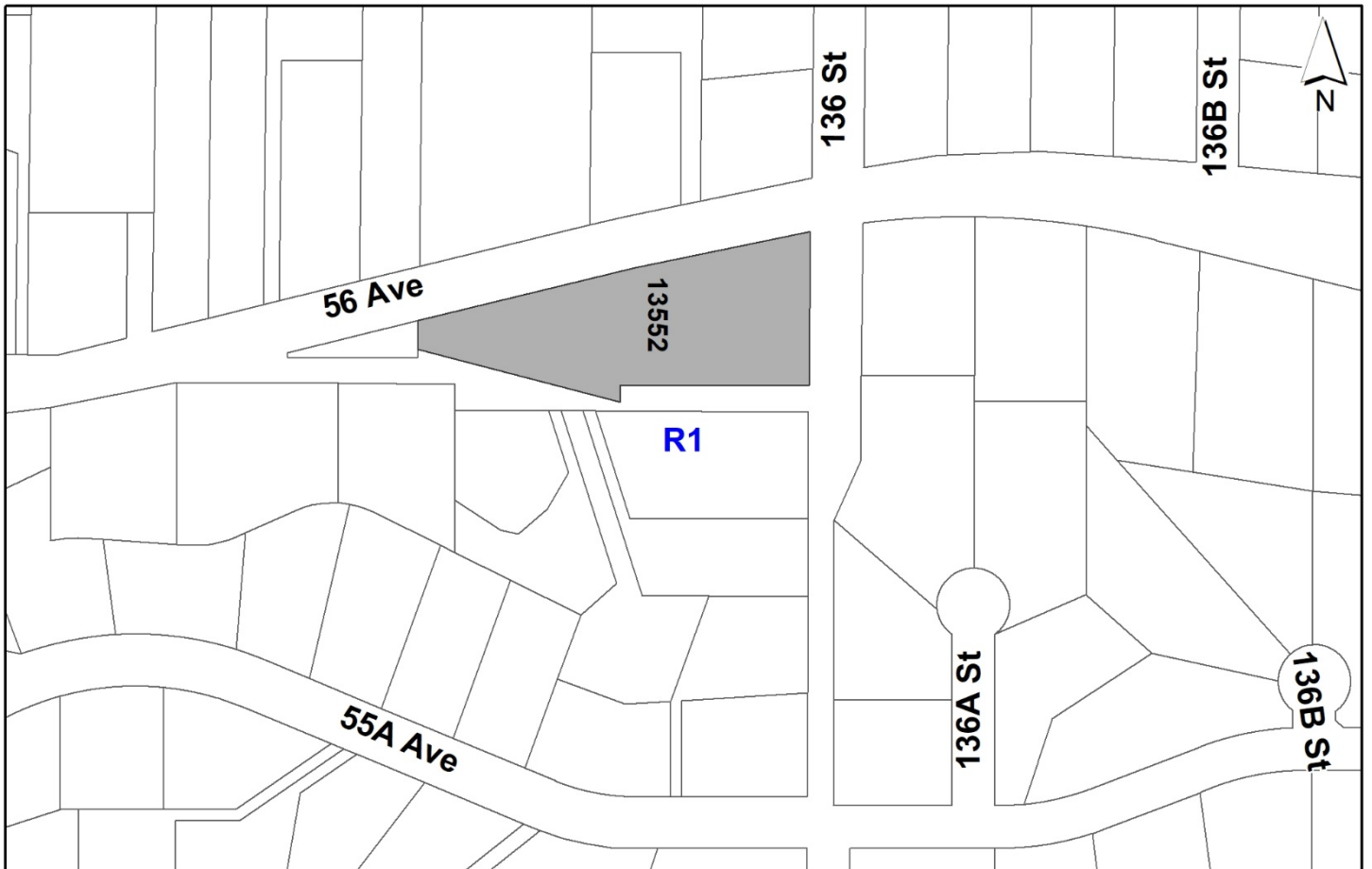
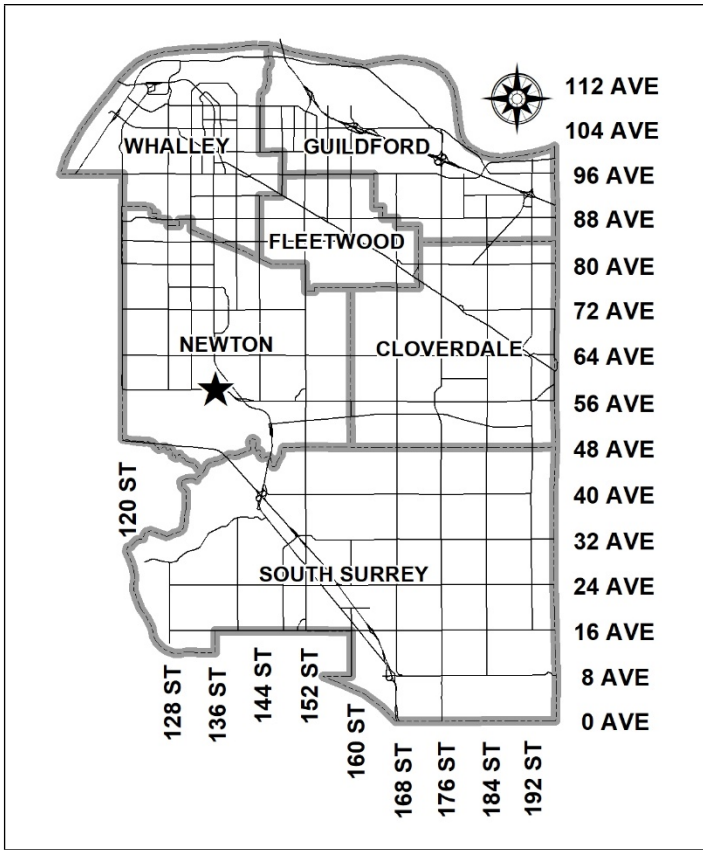
to subdivide a parcel into three lots

LOCATION: 13552 - 56 Avenue

ZONING: R1

OCP DESIGNATION: Suburban Density Exception Area
(max 2 upa)

LAP DESIGNATION: Suburban Residential ½ Acre



RECOMMENDATION SUMMARY

- The Planning & Development Department recommends that this application be referred to the Approving Officer to ensure the proposal limits the hazardous condition of the proposed new lots. This would require a reduction in the number of lots from what is currently proposed.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to deviate from the Development Permit (DP₂) requirements in the Official Community Plan (OCP) for Hazard Lands (Steep Slopes) by allowing development in area of steep slope that have a slope gradient of 30% or greater and including these areas within the lot size calculation.

RATIONALE OF RECOMMENDATION

- The Development Permit Procedures and Delegation Bylaw, 2016, No. 18642 delegates Hazard Land Development Permits to the Delegated Official; however, where the content of a development permit cannot be agreed upon between the Delegated Official and the applicant, authority to consider an application for a development permit remains with Council. The subject Development Permit No. 7918-0067-00 is being brought forward for Council's consideration at the request of the applicant.
- Despite Council's purview over development permits, Section 86(1) of the Land Title Act outlines the "matters to be considered by approving officer on application for approval [of subdivision plans]". This includes subsection (c)v. "the land is subject, or could reasonably be expected to be subject, to flooding, erosions, land slip or avalanche". Therefore, consideration for subdivision, including evaluating concerns for land slip, rests solely with the Approving Officer.
- The Approving Officer is of the opinion that the proposed subdivision intensifies development in a hazardous area, increases risk and could reasonably be expected to be subject to land slip.
- The proposal does not comply with the Development Permit requirements in the OCP for Hazard Lands (Steep Slopes). Lands within the Hazardous Development Permit Area that are greater than 30% are to be excluded from the lot area calculation when considering subdivision within steep slope areas. When lands with a slope gradient of 30% or greater are excluded from the lot area of the proposed lots, Lot 2 has an area of 657 square metres and Lot 3 has an area of 246 square metres, well below the required 1,858 square metres for subdivision.
- The applicant prepared a building envelope concept demonstrating the locations of the new dwellings on three proposed lots. The proposed building envelopes for Lots 2 and 3 are entirely on the slope and almost entirely within areas where there is a slope gradient of 30% or greater, with the slope gradient on Lot 3 exceeding 40% (Appendix I).

- The proposal increases the number of lots that could be potentially subject to land slip due to the significant slopes on the two new proposed lots (three lots in total). Therefore, the proposal intensifies development within a hazardous area.
- While the applicant has prepared a geotechnical report stating that new dwellings could possibly be geotechnically engineered and constructed on the steeply sloped lots, the geotechnical report states that the geotechnical engineer accepts no liability as a result of use of the report. This suggests that, even if the recommendations in the report are followed, which may create a condition for new homes to feasibly be constructed, the geotechnical engineer accepts no liability should the slope fail.
- A restrictive covenant was registered on title in 1994 limiting subdivision of the property into no more than two lots.

RECOMMENDATION

The Planning & Development Department recommends that this application be referred to the Approving Officer to ensure the proposal limits the hazardous condition of the proposed new lots. This would require a reduction in the number of lots from what is currently proposed.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Single detached dwelling	Suburban Residential ½ Acre	R1
North (Across 56 Avenue):	Single detached dwelling	Suburban Residential ½ Acre	R1
East (Across unopened 136 Street road allowance):	Single detached dwelling	Suburban Residential ½ Acre	R1
South (Across):	Single detached dwellings and 81C-Greenbelt Park	Suburban Residential ½ Acre	R1
West (Across):	Cartwright Lookout Park	Suburban Residential ½ Acre	R1

Context & Background

- The subject property is located along 56 Avenue in West Panorama Ridge and is approximately 6,176 square metres in size. The site is currently designated "Suburban" and located within the Density Exception Area (maximum 2 units per acre)" in the OCP; "Suburban Residential ½ Acre" in the West Panorama Ridge Local Area Plan (LAP); and zoned "Suburban Residential Zone (R1)".
- In 1994, the previous owners of the subject property and the City agreed to an exchange of land which included the dedication of approximately 22 square metres of land for road allowance and the closure, purchase and consolidation with the subject site of approximately 1,274 square metres of surplus road allowance. The exchange was proposed by the previous owners of the property to obtain legal rights to the land that had been used, unpermitted, as their backyard.
- The area of land that was to be purchased by the previous owners and consolidated with the subject property was large enough that the subject property would become of sufficient size to subdivide into three lots, based on lot size alone but not taking into consideration other environmental or geotechnical factors, under the minimum subdivision requirements of the Zoning By-law. Without the acquisition of the road allowance, the subject property was only large enough to subdivide into two lots.
- The Road Exchange Agreement was endorsed by Council under Resolution 94-1197 on April 18, 1994 under Corporate Report Item S283.

- The lands to be purchased by the previous owners were therefore appraised according to the future subdivision potential into three lots. Due to the higher valuation than the previous owners had anticipated, the City agreed to reduce the valuation based on a future subdivision potential of two lots, provided the owner registered a restrictive covenant limiting future subdivision to a maximum total of two lots. This allowed the previous owners to provide a lesser purchase amount to acquire the lands.
- A Special Council Report, dated July 12, 1994 was brought forward to Council to seek approval for the adjusted value from \$64,000 to \$9,400 based on the reduced subdivision potential to only two lots. The Special Council Report highlighted the purpose of the restrictive covenant was to limit future subdivision into only two lots, while also ensuring this hazardous area is more adequately protected from development.
- The proposed reduced value was supported by Council and the road closure and purchase was completed by the previous owners in conjunction with the registration of a restrictive covenant limiting future development to two lots.
- The applicant has requested to purchase the existing 55A Avenue and 136 Street road allowances to the south and east of the subject site, respectively. Staff have confirmed for the applicant that the City is not supportive of selling these lands. Moreover, these lands are completely encumbered by a steep slope, which would not support any future development.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes a Hazard Lands Development Permit for Steep Slopes for subdivision into three lots.
- The proposed Hazard Lands Development Permit for Steep Slopes is to be considered by Council in accordance with Development Permit Procedures and Delegation Bylaw, 2016, No. 18642, which requires Council consideration of Hazard Land Development Permits when there is disagreement between the applicant and the Delegated Official regarding the content of the Development Permit.
- The subject Development Permit No. 7918-0067-00 is being brought forward for Council's consideration at the request of the applicant.

	Proposed
Lot Area	
Gross Site Area:	6,176 square metres
Road Dedication:	n/a
Undevelopable Area:	n/a
Net Site Area:	6,176 square metres

	Proposed
Number of Lots:	3
Unit Density:	2 units per acre
Range of Lot Sizes	1,858 – 2,461 square metres
Range of Lot Widths	40.4 – 68.9 metres
Range of Lot Depths	11 – 59.6 metres

PUBLIC ENGAGEMENT

- A Development Proposal Sign was installed on June 11, 2024. Staff did not receive any responses from neighbouring residents.
- The applicant submitted signed letters from residents in support of the proposal, including both people who reside in West Panorama Ridge and those who live elsewhere in Surrey. In total, 29 residents who reside in West Panorama Ridge and 47 residents who reside elsewhere in Surrey signed a letter in support. An additional four residents submitted separate emails indicating their support for the proposal.
- The subject development application was reviewed by the West Panorama Ridge Ratepayers Association (WPRRA). The WPRRA is opposed to the proposed development for the following reasons:
 - The proposed development will remove many trees;
 - The proposed development will not maintain the standard 15 metre wide setback, inclusive of a 7.5 metre wide landscape buffer on 56 Avenue that is typical for new developments in this area; and
 - The proposed subdivision may negatively impact the adjacent property to the east.

DEVELOPMENT PERMITS

Hazard Lands (Steep Slope) Development Permit Requirement

- The subject property falls within the Hazard Lands (Steep Slope) Development Permit Area (DPA) in the OCP, given that the site contains steep slopes in excess of 20% gradient. The Hazard Land (Steep Slope) Development Permit is required to protect developments from hazardous conditions.
- There is an existing dwelling within the western half of the property where there is a gentle slope. The eastern half of the subject property is significantly sloped from north to south with a slope gradient of approximately 40% for the majority of this half of the property, increasing to 60% in certain areas of proposed Lot 3 (the eastern-most lot). The slopes are based on survey information and geotechnical information provided by the applicant in support of the proposal (Appendix I).
- A geotechnical report, prepared by Tegbir S. Bajwa, *P. Eng.*, of Able Geotechnical Ltd. and dated July 4, 2024 was peer reviewed by Qiyan Jiang, *P. Eng.*, of Tetris Geotechnical Engineering Ltd. and found to be generally acceptable by the peer reviewer. However, staff have significant concerns with increasing the existing hazardous condition by allowing subdivision into three single-detached lots.

- The geotechnical report investigated issues related to slope stability and natural storm water drainage, from a geotechnical perspective, to determine the feasibility of developing the site and proposing recommendations to help the ongoing stability of the slope.
- The applicant prepared a building envelope analysis identifying the location of the new dwellings on three proposed lots. The proposed building envelope for Lots 2 and 3 are almost entirely within areas where there is a slope gradient of 30% or greater, with the slope gradient on Lot 3 exceeding 40%.
- The geotechnical report does not include any geotechnical setback distances, which is typically provided for developments within steep slope areas. However, the omission of a geotechnical setback is due to the new building envelopes being located entirely on or below the geotechnical ridge itself.
- Despite Council's purview over development permits, Section 86(1) of the Land Title Act outlines the "matters to be considered by approving officer on application for approval [of subdivision plans]". This includes subsection (c)v. "the land is subject, or could reasonably be expected to be subject, to flooding, erosions, land slip or avalanche". Therefore, consideration for subdivision, including evaluating concerns for land slip, rests solely with the Approving Officer.
- The Approving Officer is of the opinion that the proposed subdivision intensifies development in a hazardous area, increases risk and could reasonably be expected to be subject to land slip.
- While the applicant has prepared a geotechnical report stating that new dwellings could be geotechnically engineered and constructed on the steeply sloped lots, the geotechnical report suggests that the geotechnical engineer accepts no liability as a result of use of the report. This suggests that, even if the recommendations in the report are followed, which may create a condition for new homes to feasibly be constructed, the geotechnical engineer accepts no liability should the slope fail.
- The proposal does not comply with the Development Permit requirements in the OCP for Hazard Lands (Steep Slopes). Lands within the Hazardous Development Permit Area that are greater than 30% are to be excluded from the lot area calculation when considering subdivision within steep slope areas. When lands with a slope gradient of 30% or greater are excluded from the lot area of the proposed lots, Lot 2 has an area of 657 square metres and Lot 3 has an area of 246 square metres, well below the required 1,858 square metres for subdivision in the R1 zone. The areas of Lot 2 and Lot 3 that have a slope gradient of less than 30% are not conducive or of sufficient size to locate any single-detached dwellings.

TREES

- Jeff Ross, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. There are a significant number of mature trees on the subject site. The applicant's preliminary arborist assessment includes a review of trees that could be targeted for retention (Appendix III). If the application is referred back to staff by Council, the applicant would be required to provide a revised arborist assessment that

includes replacement trees, where determined as appropriate by the geotechnical engineer so as to avoid impact to the existing steep slope.

- The proposed subdivision would result in significant tree removal and necessitate severe grading on the steep slope.

CONCLUSION

- This report is being forwarded to Council for consideration only of the Development Permit for Hazard Lands, in accordance with the Development Permit Procedures and Delegation Bylaw, 2016, No. 18642. The review of the proposed subdivision will be a separate and independent decision by the Approving Officer.
- The Approving Officer is not supportive of the proposed subdivision for the following reasons:
 - Section 86(1) of the Land Title Act outlines the "matters to be considered by approving officer on application for approval [of subdivision plans]". This includes subsection (c)v. "the land is subject, or could reasonably be expected to be subject, to flooding, erosions, land slip or avalanche";
 - the Geotechnical Report prepared by Tegbir S. Bajwa, *P. Eng.* of Able Geotechnical Ltd. states that "Able and its employees accept no responsibility to another party for loss or liability incurred as a result of use of this report" suggesting that even if the recommendations in the report may create a condition for new homes to feasibly be constructed, the geotechnical engineer accepts no liability;
 - the proposed measures for building the homes on the steep slope represent a harsh engineering approach to mitigating risk and would result in significant tree removal and necessitate severe grading.
 - the Approving Officer is of the opinion that the proposed subdivision is contrary to the objectives of the DP2 Hazard Lands policies in the OCP;
 - all of the new homes will be constructed on or below the ridge within the steep slope areas; and
 - the proposed subdivision would unreasonably increase risk by intensifying the number of lots, structures and persons who could be subject to land slip.
- The Planning & Development Department recommends that this application be referred to the Approving Officer to ensure the proposal reasonably limits the hazardous condition of the proposed new lots. This would require a reduction in the number of lots from what is currently proposed.

INFORMATION ATTACHED TO THIS REPORT

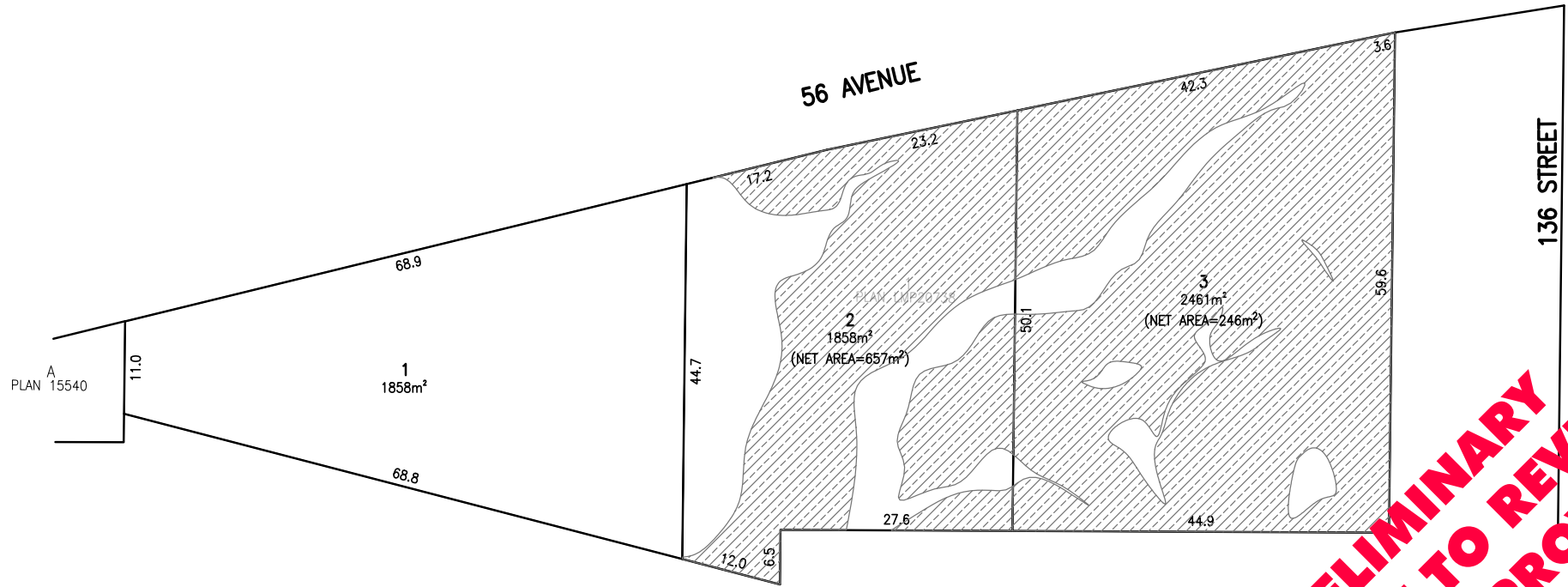
The following information is attached to this Report:

- Appendix I. Proposed Subdivision Layout
- Appendix II. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix III. Aerial Image with Contours
- Appendix IV. Pictometry Image of Subject Site

approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development

KS/cb



**PRELIMINARY
SUBJECT TO REVIEW
AND APPROVAL**

G:\Projects\18012.ssm\A0 Drawings\Layouts\Lot_Layout - Op 5 - Oct 1, 2024.dwg [Lot_Layout 11x17] 10/01/2024 10:14AM

CLIENT:		PROJECT: 13552 56 AVENUE, SURREY			
DRAWING TITLE: RESIDENTIAL SUBDIVISION					
PROJECT No.	DATE:	LEGAL:	SCALE:	MUNICIPAL PROJECT No:	
18012	OCT 2024		1:500		
PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES					

Hub Engineering Inc.
Engineering and Development Consultants



Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6
tel: 604-572-4328 | fax: 604-501-1625 | mail@hub-inc.com | www.hub-inc.com

Tree Preservation Summary

Surrey Project No: TBD

Address: 13552 - 56 Avenue

Registered Arborist: Elvis Truong, PN-9567A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	97
Protected Trees to be Removed	36
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	61
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 2 X one (1) = <u>2</u> - All other Trees Requiring 2 to 1 Replacement Ratio 34 X two (2) = <u>68</u>	70
Replacement Trees Proposed	15
Replacement Trees in Deficit	55
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	13
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 4 X one (1) = 4 - All other Trees Requiring 2 to 1 Replacement Ratio 9 X two (2) = 18	22
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist:

Date: June 26, 2024

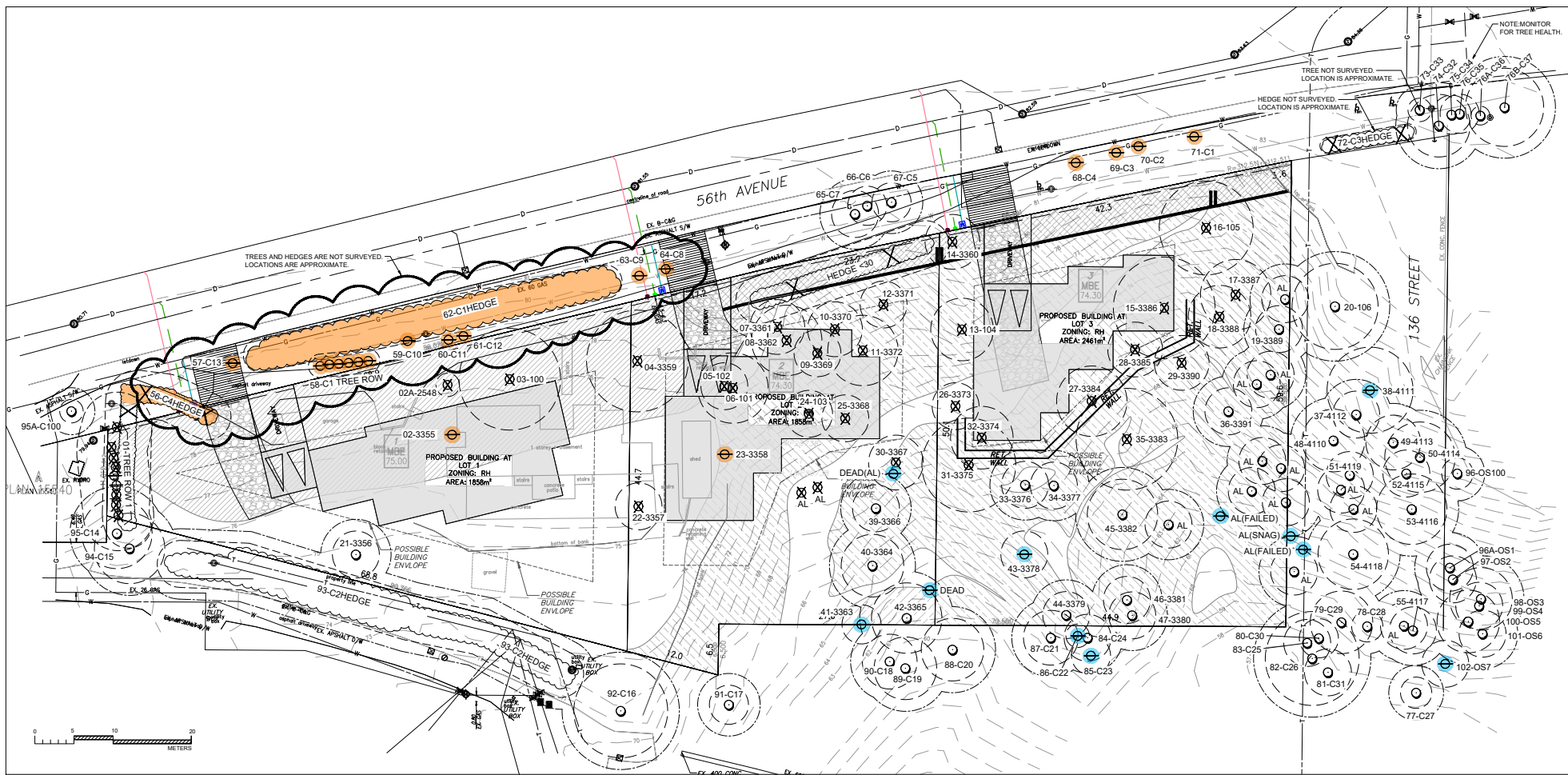


Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/Cottonwood	14	2	12
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Apple	1	0	1
Beech	1	0	1
Birch, Paper	6	2	4
Cherry, Bitter	1	0	1
Maple, Bigleaf	39	19	20
Maple, Japanese	1	1	0
Magnolia sp.	1	1	0
Locust, Black	4	1	3
Japanese Snowbell	1	0	1
Coniferous Trees			
Cedar, Western Red	4	0	4
Falsecypress	2	2	0
Douglas-fir	21	8	13
Larch, European	1	0	1
Total (Not including Alder and Cottonwood)	83	34	49
Additional Trees in the proposed Open Space / Riparian Area	NA	NA	NA
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		15	
Total Retained and Replacement Trees		76	

***TOTALS DO NOT INCLUDE OFFSITE TREES**





LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- NON-BY-LAW TREE
- MINIMUM NO-DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE
- FILL IN EXCESS OF 0.5m
- SLOPE IN EXCESS OF 30%
- FAILED/DEAD/SNAG TREE AS OF JUNE 19, 2024 SITE VISIT
- TREE/HEDGE REMOVED AS OF JUNE 19, 2024 SITE VISIT

GENERAL NOTES:

- ALL RETAINED TREES TO UNDERGO AN EDGE TREE RISK ASSESSMENT.
- ALL TREES TO BE REASSESSED IN CONJUNCTION WITH FINAL DEVELOPMENT, GRADING AND CONSTRUCTION PLANS.
- STUMPS TO BE REMOVED AND LEFT IN THE GROUND TO BE DETERMINED BY THE GEOTECHNICAL ENG. OR APPROPRIATE PROFESSIONAL.



STAMP	NO.	DATE	BY	REVISION
	1	DEC22/17	MK	UPDATED SURVEY
	2	JAN05/18	MK	REVISIONS
	3	MAY16/19	MK	GRADING PLAN AND LOT LAYOUT
	4	JUN17/24	MK	GRADING PLAN, LOT LAYOUT AND BUILDING PLANS

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3W 0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Mobile: (604) 240-0309
 Email: mfadum@fadum.ca

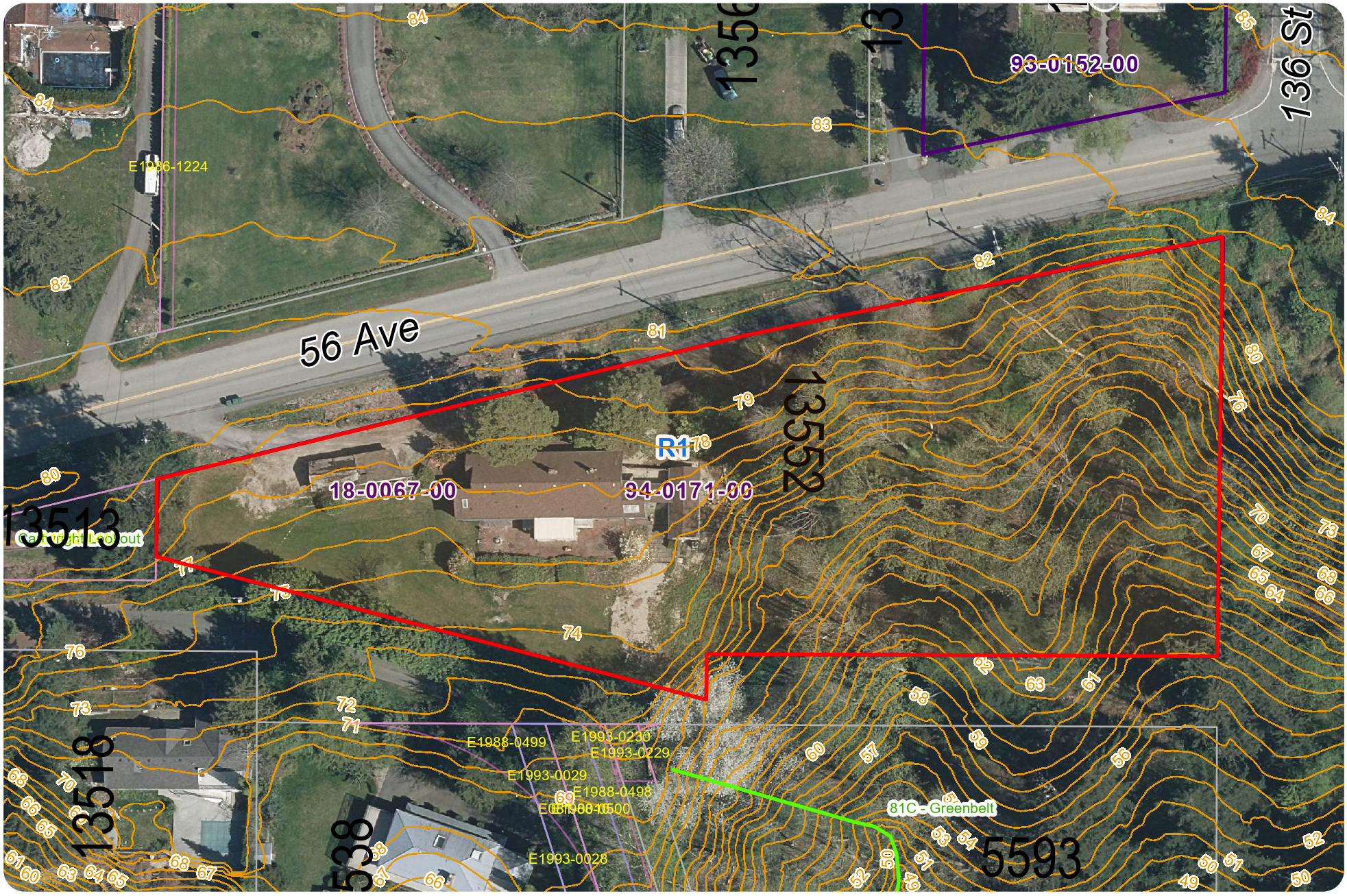
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PROJECT TITLE
13552 56 AVENUE
SURREY, B.C.

SHEET TITLE
T1 - TREE REMOVAL AND PRESERVATION PLAN
 CLIENT

DRAWN MK
 SCALE AS SHOWN
 DATE AUGUST 29, 2017

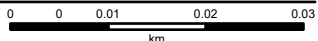
T-1
 SHEET 1 OF 2



Enter Map Description

Scale: 1:736

The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at cosmos.surrey.ca



Map created on: 2024-10-09



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ADDITIONAL PLANNING COMMENTS

Application No.: 7914-0147-00
 7914-0147-01
 7914-0147-02

Planning Report Date: October 21, 2024

PROPOSAL:

- **Rezoning** from R4 to CD (based on R4)
- **Development Variance Permit**

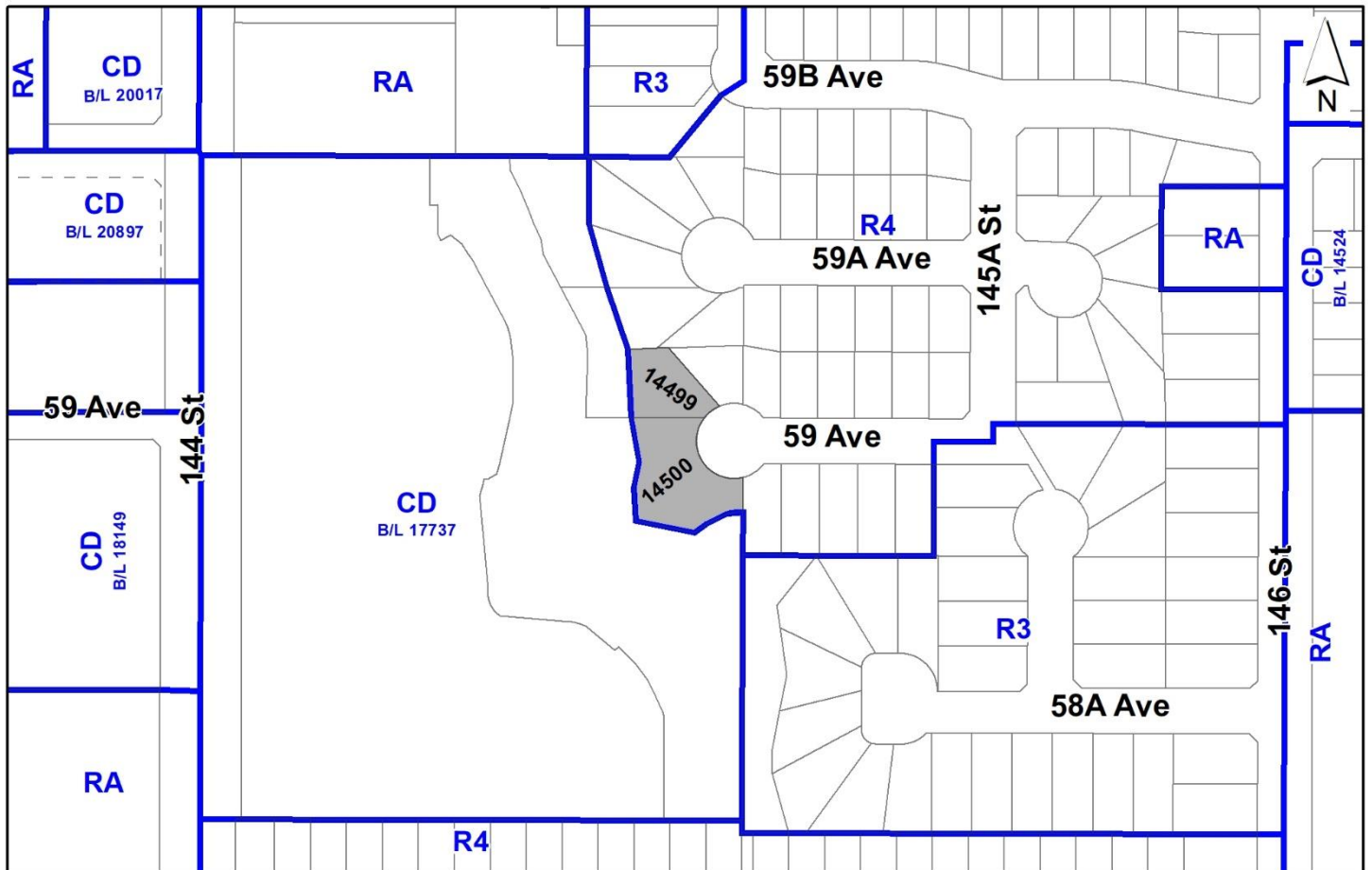
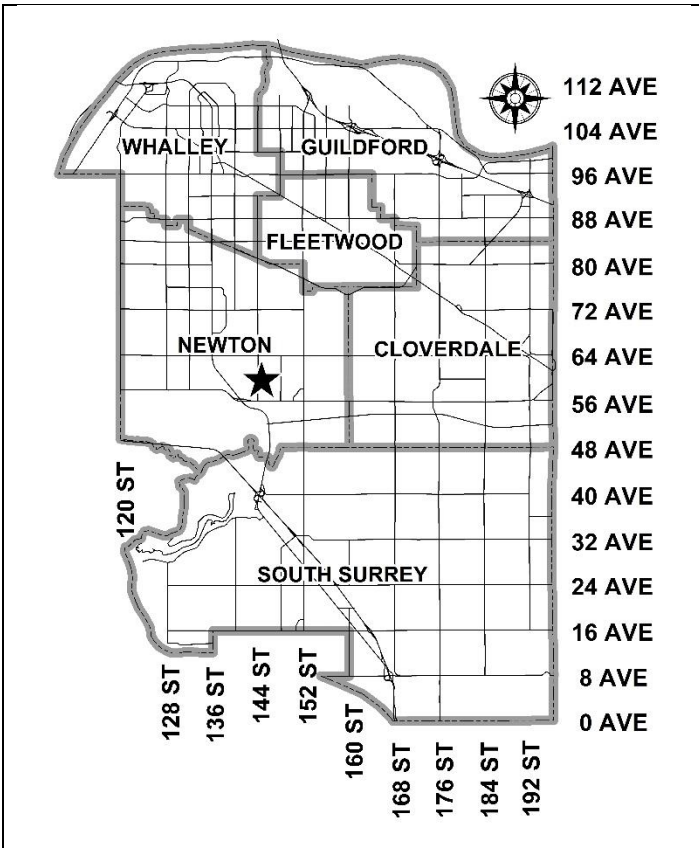
to facilitate alignment with the updated Zoning Bylaw in order to allow subdivision into 5 residential lots.

LOCATION: 14499 - 59 Avenue
 14500 - 59 Avenue

ZONING: R4

OCP DESIGNATION: Urban

NCP DESIGNATION: Single Family Residential Flex
 (6 - 14.5 upa)



RECOMMENDATION SUMMARY

- Council file Development Variance Permit Nos. 7914-0147-00 and 7914-0147-01.
- Rezoning By-law to proceed to Public Notification. If supported, the By-law will be brought forward for consideration of First, Second and Third Reading.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- To reduce the minimum lot area and lot width of the Small Lot Residential Zone (R4) in the proposed CD zone; and
- To vary the minimum rear yard setback and the garage/parking configuration of the Small Lot Residential Zone (R4) Zone.

RATIONALE OF RECOMMENDATION

- Prior to the Small-Scale Multi-Unit Housing (SSMUH) related Zoning Bylaw updates, Development Application No. 7914-0147-00 was introduced on March 7, 2022, with an additional Development Variance Permit No. 7914-0147-01 introduced on April 11, 2022. The application proposed a Development Permit for Sensitive Ecosystems and Development Variance Permits to the minimum lot width, setbacks and parking configuration in order to facilitate the subdivision of 2 lots into 5. Council supported the application and a Preliminary Layout Approval (PLA) was issued on April 27, 2022.
- Due to changes to the minimum subdivision regulations as a result of new SSMUH related zoning, the application no longer complies with the existing zoning. The proposed CD zone and accompanying variances under the subject application will align the proposal with the updated Zoning Bylaw in order to allow the 5 lot subdivision to proceed as intended.
- There is no change to the previously approved 5 lot proposal. The subject application is a house-keeping measure to align with the recent Zoning Bylaw update.
- In accordance with changes to the Local Government Act, Section 464, under Bill 44 (2023) a Public Hearing is not required for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed Rezoning By-law. The Rezoning By-law will be presented to Council for consideration of First, Second, and Third Reading, as amended after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council file Development Variance Permit Nos. 7914-0147-00 and 7914-0147-01.
2. Council endorse the Public Notification to proceed for a By-law to rezone the subject site from "Small Lot Residential Zone (R4)" to "Comprehensive Development Zone (CD) (based on R4)".
3. Council approve Development Variance Permit No. 7914-0147-02 (Appendix II) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum rear yard setback for a principal building in the R4 Zone from 7.5 metres to 6.0 metres for proposed Lots 1, 2 and 4 and from 7.5 metres to 5.5 metres for proposed Lot 3; and
 - (b) to vary the R4 Zone to allow a double garage that can accommodate two vehicles parked side by side accessed from the front yard on a lot that is less than 13.4 metres wide, on proposed Lots 2 to 5.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) all conditions of approval outlined in the Additional Planning Comments Report No. 7914-0147-00 and 7914-0147-01, dated April 11, 2022 (Appendix II); and
 - (c) approval from the Ministry of Transportation & Infrastructure.

ADDITIONAL PLANNING COMMENTS

Application Background

- The application was initially introduced to Council on March 7, 2022, proposing Development Permit No. 7914-0147-00 for Sensitive Ecosystems and Development Variance Permit No. 7914-0147-00 to reduce the minimum rear yard setback and an additional Development Variance Permit No. 7914-0147-01 was introduced on April 11, 2022 to reduce the minimum lot width and parking configuration. The proposal, which utilized the existing zoning to facilitate a 5 lot subdivision, was supported by Council and a Preliminary Layout Approval (PLA) was subsequently issued on April 27, 2022.

SSMUH Zoning Bylaw Update

- In November 2023, the Provincial Government introduced legislation under Bill 44, which included Small-Scale Multi-Unit Housing ("SSMUH") requirements intended to facilitate additional housing supply and affordability in British Columbia communities.
- On June 10, 2024, Council endorsed Corporate Report No. R0109; 2024, titled "Small-Scale Multi-Unit Housing: Zoning By-law Amendments Related to Provincial Housing Legislation". These amendments to *Surrey Zoning By-law, 1993, No. 12000* (the "Zoning By-law") align with provincial housing legislation by replacing 14 single-family zones, one semi-detached zone, four gross density zones, and one duplex zone with nine new SSMUH zones.
- The new SSMUH Zoning By-law amendments adopted on July 8, 2024 impacted about 150 single-family and duplex development applications at Third Reading. Applications that received Final Adoption prior to July 8, 2024, or that are proposed to be rezoned from an old single-family or duplex zone to a non-SSMUH zone are not impacted. The impacted in-stream bylaws will need to be filed and closed, and new bylaw replacements and associated development variance permits introduced to align with the new SSMUH zones.
- In order to streamline this administrative requirement, staff have been bringing forward these bylaws for Council's consideration in batches; more specifically, these batch amendments simply update the reference to the new zone.
- However, there are a small number of in-stream applications which no longer comply with the minimum subdivision regulations of the SSMUH zone and therefore require an amendment beyond referencing the new SSMUH zone. In this case, Development Application No. 7914-0147-00 proposed to utilize the Single Family Residential Zone (RF-12) which previously regulated the subject properties. When the SSMUH Zoning By-law amendments were adopted on July 8, 2024, the subject properties were rezoned from RF-12 to the Small Lot Residential Zone (R4) which contains minimum subdivision regulations that are slightly different. As a result, proposed Lot 1 does not comply with the minimum lot area of the R4 zone; in order to address this discrepancy, staff are bringing forward a Comprehensive Development Zone (CD) based on R4.

Proposed CD Zone and Development Variance Permit

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate the area of proposed Lot 1 and incorporate the reduced lot widths supported under Development Variance Permit No. 7914-0147-01. The CD By-law utilizes the provisions of the "Small Lot Residential Zone (R4)", with the following revisions:
 - Subdivision, Permitted Lot Size Reductions
 - Reduce the minimum lot area of an Interior Lot from 336 square metres to 315 square metres; and
 - Reduce the minimum lot width of a Type II Lot from 13.4 metres to 9 metres.
- Development Variance Permit No. 7914-0147-02 is proposed to incorporate the following variances, which were previously supported under Development Variance Permit No. 7914-0147-00 and 7914-0147-01:
 - reduce the minimum rear yard setback for a principal building in the R4 Zone from 7.5 metres to 6.0 metres for proposed Lots 1, 2 and 4 and from 7.5 metres to 5.5 metres for proposed Lot 3; and
 - vary the R4 Zone to allow a double garage that can accommodate two vehicles parked side by side accessed from the front yard on a lot that is less than 13.4 metres wide, on proposed Lots 2 to 5.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan
Appendix II.	Development Variance Permit No. 7914-0147-02
Appendix III.	Additional Planning Comments Report No. 7914-0147-00/7914-0147-01, dated April 11, 2022 (included within as Appendix II is the Initial Planning Report No. 7914-0147-00, dated March 7, 2022).

approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development

SA/cb

**SUBDIVISION PLAN OF LOT 4 PLAN BCP50999 AND LOT 2
PLAN EPP27795, BOTH OF SECTION 10 TOWNSHIP 2
NEW WESTMINSTER DISTRICT**

The City of Surrey B.C.G.S. 92G.016



SCALE - 1 : 500
All distances are in metres

The intended plot size of this plan is 432mm in width by 560mm in height (C Size) when plotted at a scale of 1:500

Integrated Survey Area No. 1
City of Surrey, NAD83 (CSRS) 4.0.0.BC.1.GVRD

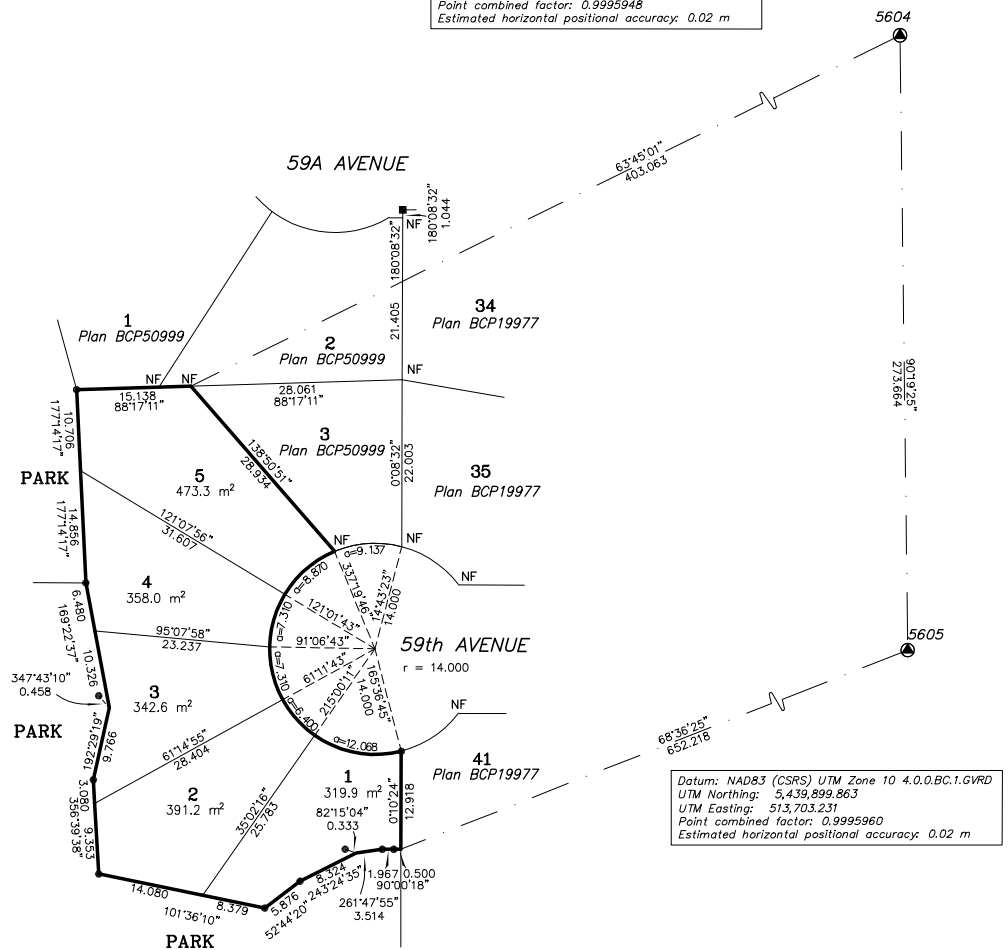
Grid Bearings are derived from observations between Control Monuments 5604 and 5605.

The UTM co-ordinates and horizontal positional accuracy achieved have been derived from the Mascot published coordinates for geodetic control monuments 5604 and 5605.

This plan shows horizontal ground-level distances except where otherwise noted. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9995948, which has been derived from geodetic control monument 5604.

PRELIMINARY (JANUARY 22, 2019)

Datum: NAD83 (CSRS) UTM Zone 10 4.0.0.BC.1.GVRD
UTM Northing: 5,439,901.433
UTM Easting: 513,429.765
Point combined factor: 0.9995948
Estimated horizontal positional accuracy: 0.02 m



Datum: NAD83 (CSRS) UTM Zone 10 4.0.0.BC.1.GVRD
UTM Northing: 5,439,899.863
UTM Easting: 513,703.231
Point combined factor: 0.9995960
Estimated horizontal positional accuracy: 0.02 m

Legend:

- Denotes control monument found
- Denotes standard iron post found
- Denotes standard iron post set
- Denotes old lead plug found
- WT Denotes witness
- NF Denotes nothing found

Note: This plan shows one or more witness posts which are not set on the true corner(s).
Witness posts are set along the production of a boundary unless otherwise noted.
Some symbols and lines have been exaggerated for clarity.

This plan lies within the jurisdiction of the Approving Officer for the City of Surrey

The field survey represented by this plan was completed on the day of , 2019.
Sean Costello, BCLS 900

This plan lies within the Metro Vancouver Regional District

Cameron Land Surveying Ltd.
B.C. Land Surveyors
Unit 206 - 16055 Fraser Highway
Surrey, B.C. V4N 0G2
Phone: 604-597-3777
Fax: 604-597-3783
File: 6928-SUB

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7914-0147-02

Issued To:

Address of Owner:

Issued To:

Address of Owner:

(collectively referred to as the "Owner")

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-880-137
 Lot 4 Section 10 Township 2 New Westminster District Plan BCP50999

14499 – 59 Avenue

Parcel Identifier: 029-039-240
 Lot 2 Section 10 Township 2 New Westminster District Plan EPP27795

14500 – 59 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
- (a) In Section F.1 of Part 16, Small Lot Residential Zone (R4) – to reduce the minimum rear yard setback of a single family dwelling from 7.5 metres to 6.0 metres for Lots 1, 2 and 4, and from 7.5 metres to 5.5 metres for Lot 3.
- (b) In Section H.4 of Part 16, Small Lot Residential Zone (R4) – to allow a double garage that can accommodate two cars parked side by side where a lot is less than 13.4 metres in width and accessed from the front yard for Lots 2 to 5.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF _____, 20__ .

ISSUED THIS _____ DAY OF _____, 20__ .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

PLAN BCP50999

LOT AREA=472.4m²

PLAN BCP50999

PARK
PLAN BCP50999

LOT AREA=356.8m²

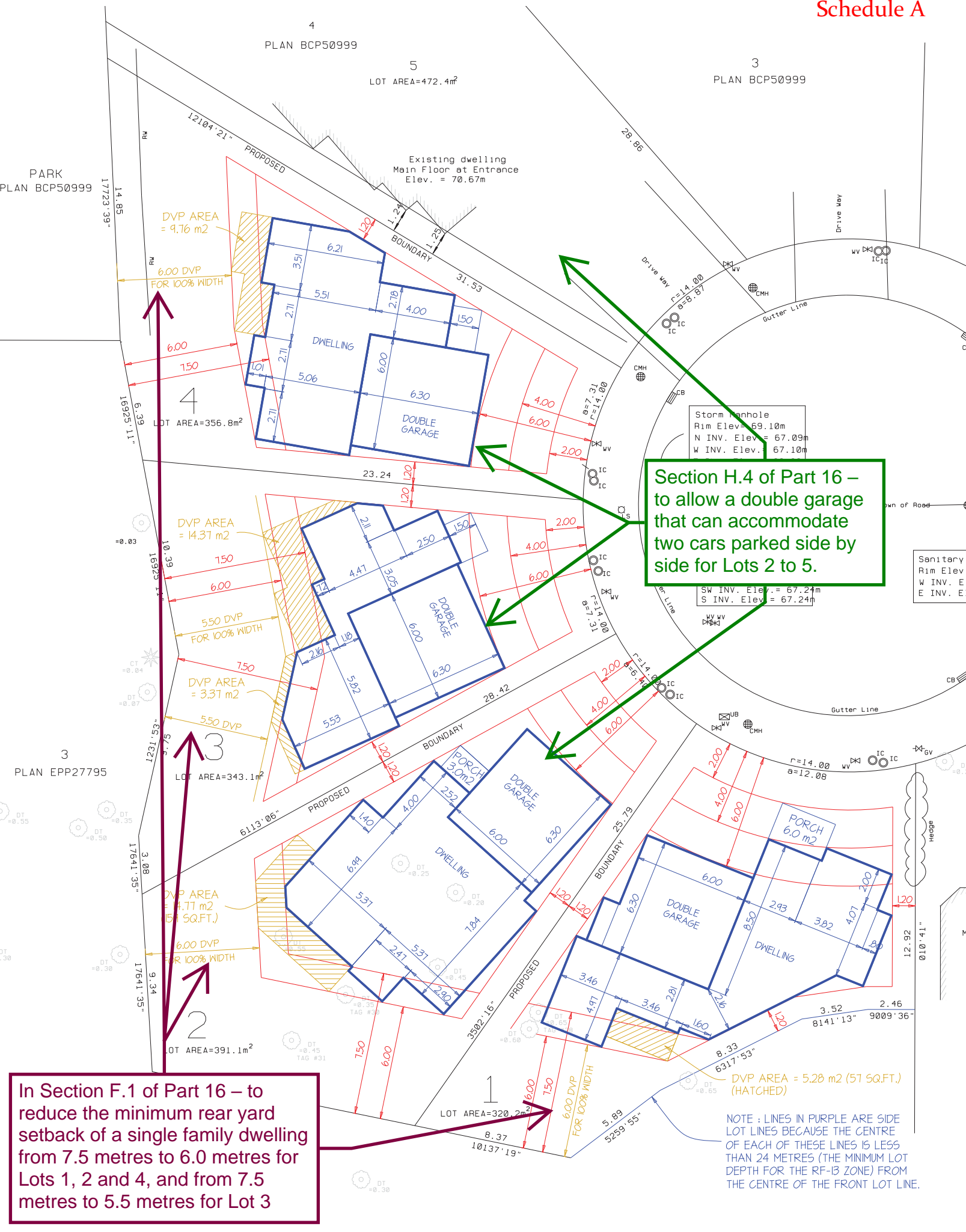
PLAN EPP27795

LOT AREA=343.1m²

LOT AREA=391.1m²

In Section F.1 of Part 16 – to reduce the minimum rear yard setback of a single family dwelling from 7.5 metres to 6.0 metres for Lots 1, 2 and 4, and from 7.5 metres to 5.5 metres for Lot 3

Section H.4 of Part 16 – to allow a double garage that can accommodate two cars parked side by side for Lots 2 to 5.



Storm Manhole
Rim Elev. = 69.10m
N INV. Elev. = 67.09m
W INV. Elev. = 67.10m

SW INV. Elev. = 67.24m
S INV. Elev. = 67.24m

NOTE : LINES IN PURPLE ARE SIDE LOT LINES BECAUSE THE CENTRE OF EACH OF THESE LINES IS LESS THAN 24 METRES (THE MINIMUM LOT DEPTH FOR THE RF-13 ZONE) FROM THE CENTRE OF THE FRONT LOT LINE.

City of Surrey
ADDITIONAL PLANNING COMMENTS

Application No.: 7914-0147-00
 7914-0147-01

Planning Report Date: April 11, 2022

PROPOSAL:

- **Development Variance Permit**

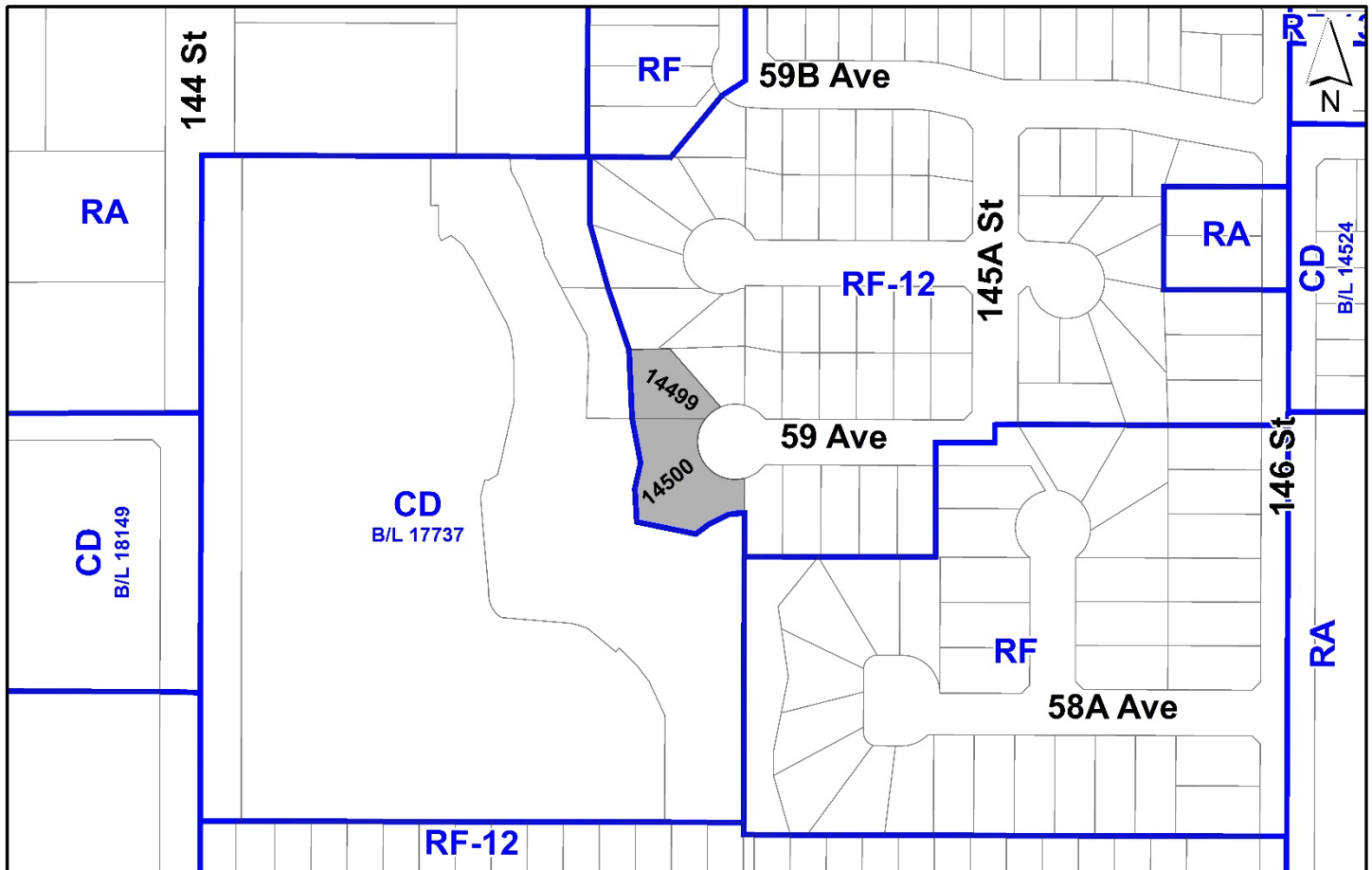
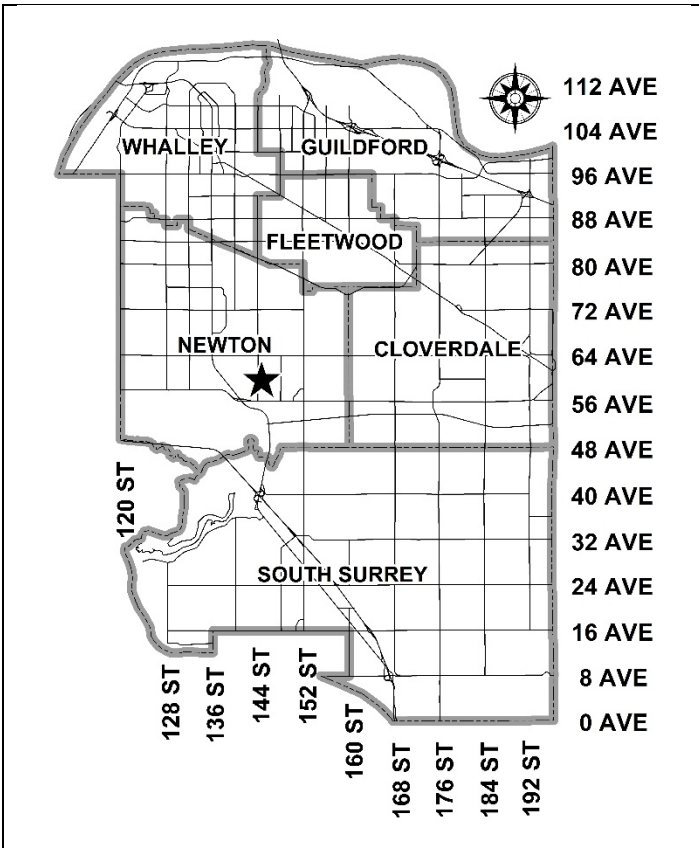
To allow subdivision into 5 single family lots.

LOCATION: 14499 - 59 Avenue
 14500 - 59 Avenue

ZONING: RF-12

OCP DESIGNATION: Urban

NCP DESIGNATION: Single Family Residential Flex (6 - 14.5 upa)



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to reduce the minimum lot width requirement of the "Single Family Residential (12) Zone (RF-12)" for proposed Lots 2 to 5.
- Proposing to vary the parking configuration of the "Single Family Residential (12) Zone (RF-12)" for proposed Lots 2 to 5.

RATIONALE OF RECOMMENDATION

- The proposal complies with the 'Urban' designation in the Official Community Plan (OCP) and the 'Single Family Residential Flex (6 – 14.5 upa)' designation in the South Newton Neighbourhood Concept Plan (NCP).
- The proposed density and building form are appropriate for this part of South Newton.
- Proposed Lots 1 to 5 are irregularly shaped with narrow lot frontages situated along an existing cul-de-sac bulb. Proposed Lots 2 to 5 meet the minimum depth required of a RF-12 Type II Interior Lot and are considerably larger than the minimum lot area required of a RF-12 Type II Interior Lot.
- The proposed variance to allow front-accessed garages facing the 59 Avenue cul-de-sac bulb that can accommodate two vehicles parked side by side will result in a more optimal off-street parking layout. Double garages that can accommodate two vehicles parked side by side offer a more desirable parking option for single family small lots as they result in four (4) off-street parking spaces which can help reduce the volume of cars parking on the street. A limited number of on-street parking spaces are achievable around cul-de-sac bulbs due to the narrow spacing between driveways.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7914-0147-01 (Appendix I) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum lot width of the "Single Family Residential (12) Zone (RF-12)" for a Type II Interior Lot from 13.4 metres to 9.7 metres for proposed Lot 2, 13.4 metres to 11.6 metres for proposed Lot 3, 13.4 metres to 10.6 metres for proposed Lot 4, and 13.4 metres to 11.2 metres for proposed Lot 5; and
 - (b) to allow a double garage that can accommodate two vehicles parked side by side accessed from the front yard on a Single Family Residential (12) Zone (RF-12) Type II interior lot, that is less than 13.4 metres wide, on proposed Lots 2 to 5.
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect; and
 - (d) submission of a finalized Ecosystem Development Plan to the satisfaction of City staff.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	<u>14499 – 59 Avenue:</u> Single Family Residential <u>14500 – 59 Avenue:</u> Vacant Lot	Single Family Residential Flex (6-14.5 upa)	RF-12
North & East:	Single Family Residential	Single Family Residential Flex (6-14.5 upa)	RF-12
South & West:	City Park	Creeks and Riparian Set Backs	RF-12

Context & Background

- The subject site is comprised of two properties, 14499 and 14500 – 59 Avenue, located at the end of an existing cul-de-sac bulb west of 145A Street in Newton. The properties are designated "Urban" in the Official Community Plan (OCP) and "Single Family Residential Flex (6-14.5 upa)" in the South Newton Neighbourhood Concept Plan (NCP) and are zoned "Single Family Residential (12) Zone (RF-12)".
- 14499 – 59 Avenue was created under Development Application No. 7908-0091-00, which received final adoption at the May 28, 2012, Regular Council – Land Use meeting. The application rezoned the site to RF-12 Zone, and a no-build covenant was registered on title for a portion of the lot for future consolidation with 14500 – 59 Avenue. There is an existing single family dwelling on this property that is proposed to be retained (on Lot 5) as part of this new development application.
- 14500 – 59 Avenue was created under Development Application No. 7911-0044-00, which received final adoption at the March 11, 2013, Regular Council – Land Use meeting. As part of the application, the site was rezoned to RF-12 Zone and a no-build covenant was registered on title until the lot could be further subdivided.
- A Class B (yellow-coded) watercourse, Sullivan Heights Creek, borders the property along the west and south property lines. This watercourse requires a 15 metre setback from the top of bank in accordance with Part 7A Section B.1 of Zoning By-law No. 12000. As part of Development Application Nos. 7908-0091 and 7911-0044-00, the full 15 m setback on the east side of the creek area was conveyed to the City for riparian protection.
- The subject site was included in an area of private land and public parkland where unauthorized tree removal occurred in the summer of 2012. All requirements by the City as a result of this violation have now been addressed, with the exception of outstanding replacement trees to be planted on the subject site. This will be finalized as part of this development application.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to subdivide the subject site into 5 single family lots under the current "Single Family Residential (12) Zone".
- The existing dwelling at 14999 – 59 Avenue is proposed to be retained as part of this application on proposed Lot 5 at the north-west part of the cul-de-sac.
- The applicant is proposing a Development Permit for Sensitive Ecosystems (Streamside Area) and has submitted an Ecosystem Development Plan in accordance with the requirements outlined in the OCP. The Development Permit for Sensitive Ecosystems was discussed in a previous report to Council (Appendix II)
- The applicant is also proposing a Development Variance Permit to reduce the minimum lot width for proposed Lots 2 to 5, and to vary the parking configuration for proposed Lots 2 to 5.

	Proposed
Lot Area	
Site Area:	0.1885 hectares
Number of Lots:	5
Unit Density:	26.5 units per hectare
Range of Lot Sizes	320 square metres to 473 square metres
Range of Lot Widths	9.7 metres to 16.3 metres
Range of Lot Depths	23 metres to 32 metres

Referrals

Engineering: The Engineering Department has no objection to the proposed variance.

POLICY & BY-LAW CONSIDERATIONS

Zoning By-law

Lot Width, Setback and Parking Variances

- The applicant is requesting the following variances:
 - to reduce the minimum lot width of the "Single Family Residential (12) Zone (RF-12)" for a Type II Interior Lot from 13.4 metres to 9.7 metres for proposed Lot 2, 13.4 metres to 11.6 metres for proposed Lot 3, 13.4 metres to 10.6 metres for proposed Lot 4, and 13.4 metres to 11.2 metres for proposed Lot 5; and
 - to allow a double garage that can accommodate two vehicles parked side by side accessed from the front yard on a Single Family Residential (12) Zone (RF-12) Type II interior lot, that is less than 13.4 metres wide, on proposed Lots 2 to 5.
- Proposed Lots 1 to 5 will be pie shaped with narrow lot frontages situated along an existing cul-de-sac bulb.
- The Zoning By-law No. 12000 specifies that lot width for a lot of an irregular shape shall be determined by a straight line 7.5 metres from and parallel to the frontage of the lot. By this definition, A Development Variance Permit is needed to reduce the minimum lot width requirement of the RF-12 Zone for proposed Lots 2 to 5.
- Proposed Lots 2 to 5 meet the minimum depth required of a RF-12 Type II Interior Lot and are considerably larger than the minimum lot area required of a RF-12 Type II Interior Lot.
- The RF-12 Zone prohibits double garages that can accommodate two vehicles parked side by side that are accessed from the front yard on lots that are less than 13.4 metres wide.
- Allowing a double garage on proposed Lots 2 to 5 will have minimal impact to the neighbourhood and will be similar to the other single family dwellings in the area.

- All existing single-family dwellings fronting this portion of 59 Avenue have double garages.
- The applicant has provided building envelope analyses that show single family dwellings can be accommodate on the proposed lots meeting front yard and side yard building setbacks under the RF-12 Zone.
- Access to a double garage on proposed Lots 2 to 4 from the rear of the property is not achievable given the location of a Class B watercourse, Sullivan Creek, and a city owned park lot along the proposed rear property lines.
- The proposed variance to allow front-accessed garages facing the 59 Avenue cul-de-sac bulb that can accommodate two vehicles parked side by side will result in an optimal off-street parking layout. Double garages that can accommodate two vehicles parked side by side offer a more desirable parking option for single family small lots as they result in four (4) off-street parking spaces which can help reduce the volume of cars parking on the street. A limited number of on-street parking spaces are achievable around cul-de-sac bulbs.
- Staff support the requested variances to proceed for consideration.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Development Variance Permit No. 7914-0147-01
Appendix II. Initial Planning Report No. 7914-0147-00, dated March 7, 2022

approved by Shawn Low

Jeff Arason
Acting General Manager
Planning and Development

SR/cm

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7914-0147-01

Issued To:

Address of Owner:

Issued To:

Address of Owner:

(collectively referred to as the "Owner")

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-880-137
Lot 4 Section 10 Township 2 New Westminster District Plan BCP50999

14499 - 59 Avenue

Parcel Identifier: 029-039-240
Lot 2 Section 10 Township 2 New Westminster District Plan EPP27795

14500 - 59 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
- (a) Section K Subdivision of Part 17A “Single Family Residential (12) Zone (RF-12)” is varied to reduce the minimum lot width of a Type II Interior Lot from 13.4 metres to 9.7 metres for proposed Lot 2, 13.4 metres to 11.6 metres for proposed Lot 3, 13.4 metres to 10.6 metres for proposed Lot 4, and 13.4 metres to 11.2 metres for proposed Lot 5; and
 - (b) Section H.3 Off-Street Parking of Part 17A “Single Family Residential (12) Zone (RF-12)” is varied to allow a double garage that can accommodate two cars parked side by side on a Type II Interior Lot that is less than 13.4 metres wide that is accessed from the front yard for proposed Lots 2 to 5.
5. This development variance permit applies to only that portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

**SUBDIVISION PLAN OF LOT 4 PLAN BCP50999 AND LOT 2
PLAN EPP27795, BOTH OF SECTION 10 TOWNSHIP 2
NEW WESTMINSTER DISTRICT**

Schedule A

PLAN EPP89922

The City of Surrey B.C.G.S. 92G.016



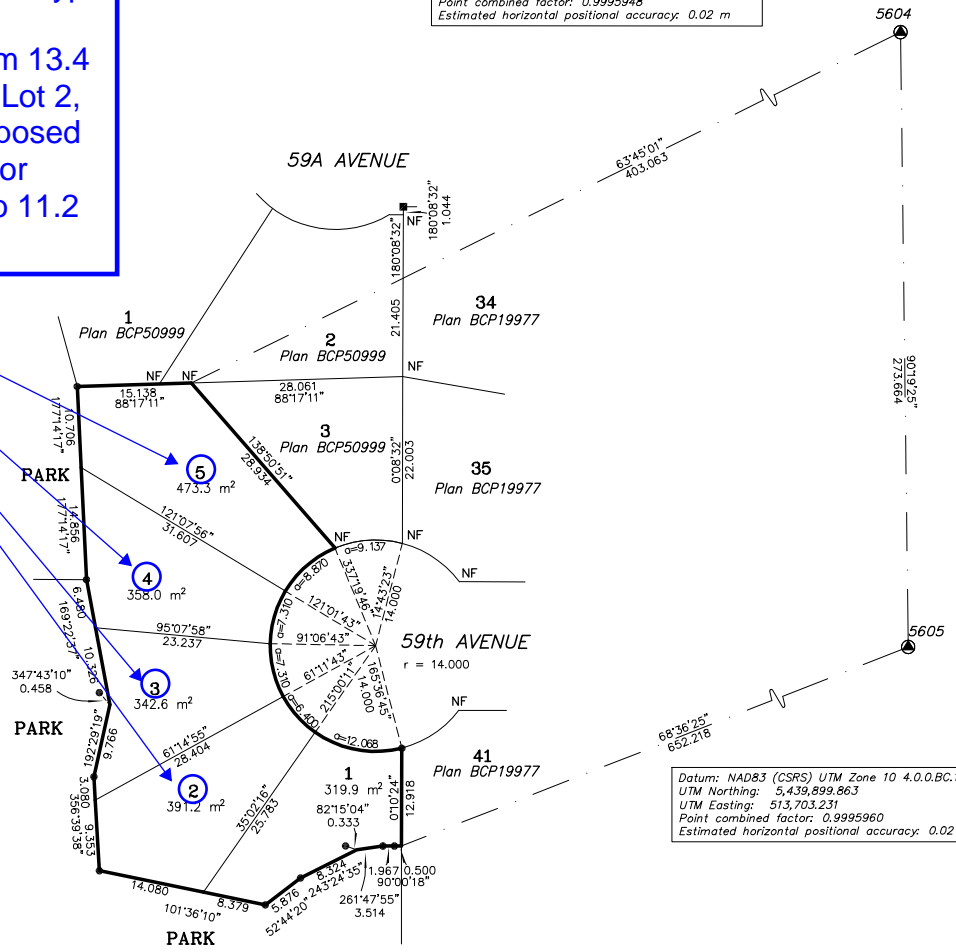
SCALE - 1 : 500
All distances are in metres

The intended plot size of this plan is 432mm
in width by 560mm in height (C Size) when
plotted at a scale of 1:500

PRELIMINARY (JANUARY 22, 2019)

**Development Application No.
7914-0147-01:**
to reduce the minimum lot width of a Type
II Interior Lot of the "Single Family
Residential (12) Zone (RF-12)" from 13.4
metres to 9.7 metres for proposed Lot 2,
13.4 metres to 11.6 metres for proposed
Lot 3, 13.4 metres to 10.6 metres for
proposed Lot 4, and 13.4 metres to 11.2
metres for proposed Lot 5;

Datum: NAD83 (CSRS) UTM Zone 10 4.0.0.BC.1.GVRD
UTM Northing: 5,439,901.433
UTM Easting: 513,429.765
Point combined factor: 0.9995948
Estimated horizontal positional accuracy: 0.02 m



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Legend:
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 ○ Denotes standard iron post found
 ○ Denotes standard iron post set
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 NF Denotes nothing found

Note: This plan shows one or more witness posts which are not set on the true corner(s).
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 Some symbols and lines have been exaggerated for clarity.

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Approving Officer for the City of Surrey

The field survey represented by this plan was
completed on the day of , 2019.
Sean Costello, BCLS 900

This plan lies within the Metro Vancouver Regional District

Cameron Land Surveying Ltd.
B.C. Land Surveyors
Unit 206 - 16055 Fraser Highway
Surrey, B.C. V4N 0G2
Phone: 604-597-3777
Fax: 604-597-3783
File: 6928-SUB

Schedule A

(of Appendix III, 3 7914-0147-00/02)

PLAN BCP50999

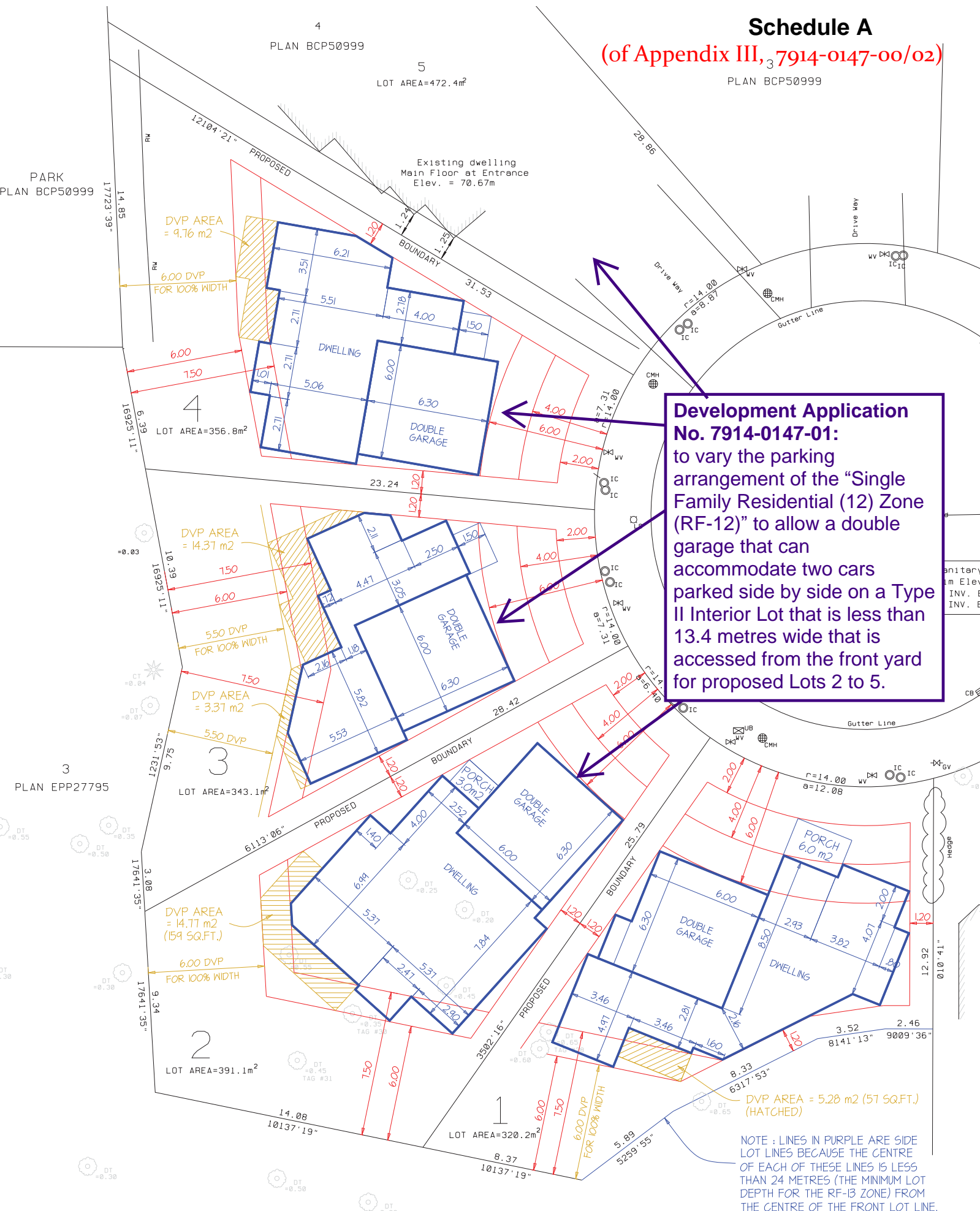
PLAN BCP50999

LOT AREA=472.4m²

PARK
PLAN BCP50999

PLAN EPP27795

Development Application No. 7914-0147-01:
to vary the parking arrangement of the "Single Family Residential (12) Zone (RF-12)" to allow a double garage that can accommodate two cars parked side by side on a Type II Interior Lot that is less than 13.4 metres wide that is accessed from the front yard for proposed Lots 2 to 5.

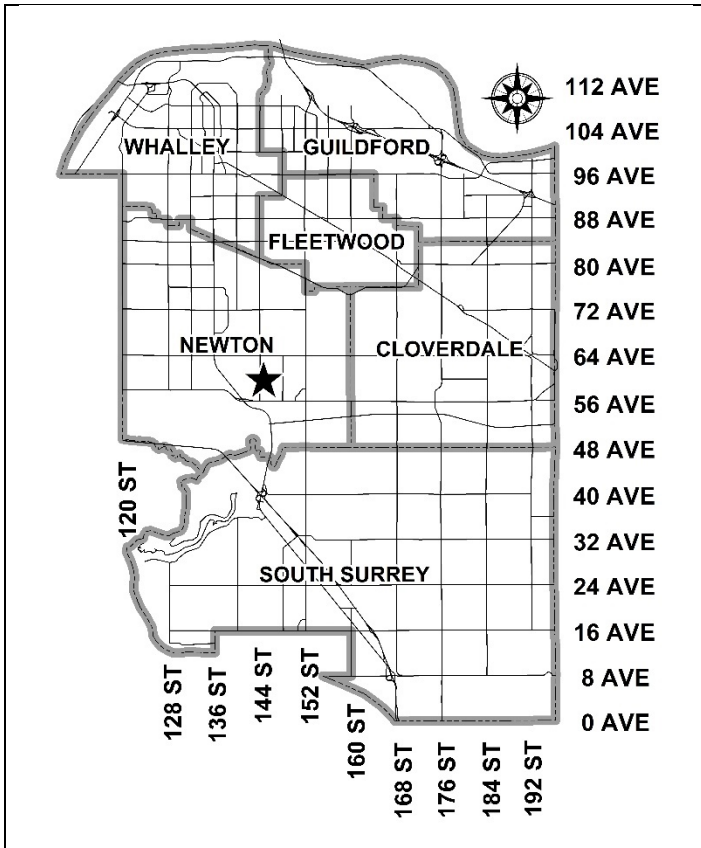


Appendix II

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7914-0147-00

Planning Report Date: March 7, 2022



PROPOSAL:

- Development Permit
- Development Variance Permit

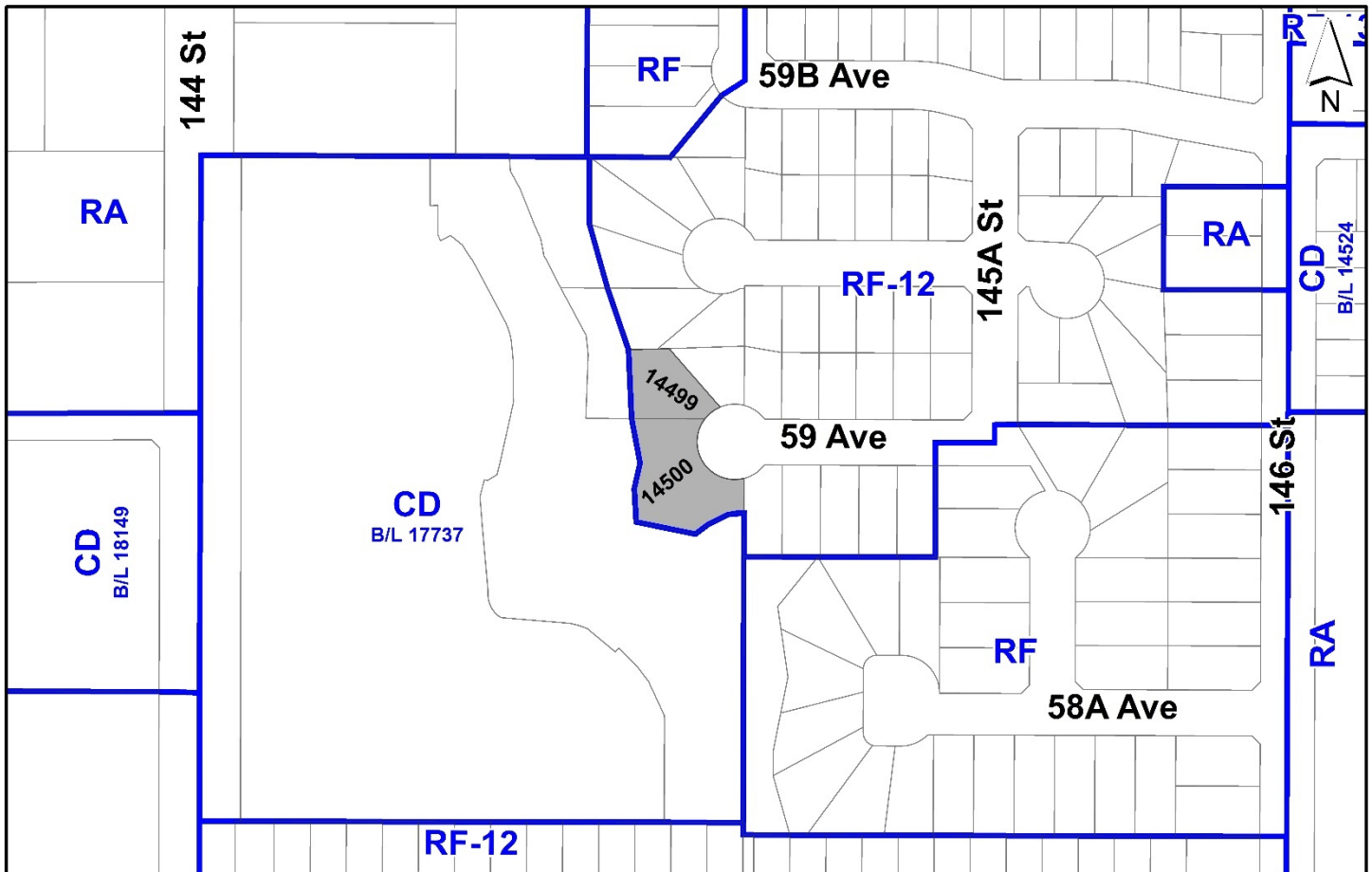
to allow subdivision into 5 single family lots.

LOCATION: 14499 - 59 Avenue
14500 - 59 Avenue

ZONING: RF-12

OCP DESIGNATION: Urban

NCP DESIGNATION: Single Family Residential Flex (6 - 14.5 upa)



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Sensitive Ecosystems.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to reduce the minimum rear yard setback requirement of the ‘Single Family Residential (12) Zone (RF-12)’ for proposed Lots 1 to 4.

RATIONALE OF RECOMMENDATION

- The proposal complies with the ‘Urban’ designation in the Official Community Plan (OCP) and the ‘Single Family Residential Flex (6 – 14.5 upa)’ designation in the South Newton Neighbourhood Concept Plan (NCP).
- The proposed density and building form are appropriate for this part of South Newton.
- The proposal complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Streamside Areas).
- Applying the building setback requirements of Zoning By-law No. 12000 will not allow for standard sized single-family dwellings to be constructed on proposed Lots 1 to 4. The irregular shape and depth of these lots does not allow for a functional building footprint. The reduction to the rear yard setback will allow the applicant to design more functional floor plans, while achieving a design that is in keeping with newer houses constructed in this area of South Newton.
- The proposed setbacks will have minimal visual impact from neighbouring properties and provide a functional rear yard area.
- A Class B (yellow-coded) watercourse, Sullivan Heights Creek, borders the property along the west and south property lines. The proposed variance will not encroach into the 15 metres streamside setback requirements from the top of bank.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7914-0147-00 for Sensitive Ecosystems (Streamside Areas) generally in accordance with the Ecosystem Development Plan prepared by Binpal Engineering Ltd. and dated January 5, 2021.
2. Council approve Development Variance Permit No. 7914-0147-00 (Appendix IV) varying the following, to proceed to Public Notification, to reduce the minimum rear yard setback of a principal building of the "Single Family Residential (12) Zone (RF-12)" from 7.5 metres to 6.0 metres for proposed Lots 1, 2 and 4, and from 7.5 metres to 5.5 metres for proposed Lot 3.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect; and
 - (d) submission of a finalized Ecosystem Development Plan to the satisfaction of City staff.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	<u>14499 – 59 Avenue:</u> Single Family Residential <u>14500 – 59 Avenue:</u> Vacant Lot	Single Family Residential Flex (6-14.5 upa)	RF-12
North & East:	Single Family Residential	Single Family Residential Flex (6-14.5 upa)	RF-12
South & West:	City Park	Creeks and Riparian Set Backs	RF-12

Context & Background

- The subject site is comprised of two properties, 14499 and 14500 – 59 Avenue, located at the end of an existing cul-de-sac west of 145A Street in Newton. The properties are designated "Urban" in the Official Community Plan (OCP) and "Single Family Residential Flex (6-14.5 upa)" in the South Newton Neighbourhood Concept Plan (NCP) and are zoned "Single Family Residential (12) Zone (RF-12)".
- 14499 – 59 Avenue was created under Development Application No. 7908-0091-00, which received final adoption at the May 28, 2012, Regular Council – Land Use meeting. The application rezoned the site to RF-12 Zone, and a no-build covenant was registered on title for a portion of the lot for future consolidation with 14500 – 59 Avenue. There is an existing single family dwelling on this property that is proposed to be retained as part of this new development application.
- 14500 – 59 Avenue was created under Development Application No. 7911-0044-00, which received final adoption at the March 11, 2013, Regular Council – Land Use meeting. As part of the application, the site was rezoned to RF-12 Zone and a no-build covenant was registered on title until the lot could be further subdivided.
- A Class B (yellow-coded) watercourse, Sullivan Heights Creek, borders the property along the west and south property lines. This watercourse requires a 15 metre setback from the top of bank in accordance with Part 7A Section B.1 of Zoning By-law No. 12000. As part of Development Application Nos. 7908-0091 and 7911-0044-00, the full 15 m setback on the east side of the creek area was conveyed to the City for riparian protection.
- The subject site was included in an area of private land and public parkland where unauthorized tree removal occurred in the summer of 2012. All requirements by the City as a result of this violation have now been addressed, with the exception of outstanding replacement trees to be planted on the subject site. This will be finalized as part of this development application.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to subdivide the subject site into 5 single family lots under the current "Single Family Residential (12) Zone".
- The existing dwelling at 14999 – 59 Avenue is proposed to be retained as part of this application on proposed Lot 5 at the north-west part of the cul-de-sac.
- The applicant is proposing a Development Permit for Sensitive Ecosystems (Streamside Area) and has submitted an Ecosystem Development Plan in accordance with the requirements outlined in the OCP.
- The applicant is also proposing a Development Variance Permit to reduce the minimum rear yard setbacks for proposed Lots 1 to 4.

	Proposed
Lot Area	
Site Area:	0.1885 hectares
Number of Lots:	5
Unit Density:	26.5 units per hectare
Range of Lot Sizes	320 square metres to 473 square metres
Range of Lot Widths	13.4 metres to 14.3 metres
Range of Lot Depths	22 metres to 32 metres

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Parks, Recreation & Culture:	Parks supports the application. The applicant is required to pay an NCP amenity contribution on a per unit basis as per the South Newton Neighbourhood Concept Plan (NCP) and 5% cash-in-lieu of parkland.

Parkland and/or Natural Area Considerations

- There is a Class B (yellow-coded) watercourse located on a City owned green belt which runs parallel to the south and west property lines of the subject property.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the site's "General Urban" designation in the Regional Growth Strategy (RGS).

Official Community Plan

Land Use Designation

- The proposal complies with the site's "Urban" designation in the Official Community Plan (OCP).

Themes/Policies

- A3.2 – Encourage the development of remaining vacant lands in urban neighbourhoods to utilize existing infrastructure and amenities and to enhance existing neighbourhood character and viability.

(The proposed development will complete the residential block along 59 Avenue in South Newton.)

- A3.5- Support infill development that is appropriate in scale and density to its neighbourhood context and that uses compatible design to reinforce neighbourhood character.

(The proposed development has been designed to be in keeping with the established neighbourhood character.)

Secondary Plans

Land Use Designation

- The proposal complies with the site's designation of "Single Family Residential Flex (6-14.5 upa)" in the South Newton Neighbourhood Concept Plan (NCP).

Zoning By-law

Setback Variance

- The applicant is requesting the following variances:
 - to reduce the minimum rear yard setback of a principal building of the "Single Family Residential (12) Zone (RF-12)" from 7.5 metres to 6.0 metres for proposed Lots 1, 2 and 4, and from 7.5 metres to 5.5 metres for proposed Lot 3.
- Proposed Lots 1 to 4 will be pie shaped with narrow lot frontages situated along a cul-de-sac bulb. Applying the building setback requirements of Zoning By-law No. 12000 will not allow for a standard sized single family dwelling to be constructed on the lot.
- The irregular shape and depth of the lots does not allow for a functional building footprint. The reduction to the rear yard setback will allow the applicant to design more functional floor plans, while achieving a design that is in keeping with other houses recently constructed in the area.
- The proposed setbacks will have minimal visual impact to neighbouring properties and provide a functional rear yard area.

- A Class B watercourse, Sullivan Heights Creek, borders the property along the west and south property lines. This watercourse requires a 15 metre setback from the top of bank in accordance with Part 7A Section B.1 of Zoning By-law No. 12000. As part of Development Application Nos. 7908-0091 and 7911-0044-00, the full 15 m setback on the east side of the creek area was conveyed to the City for riparian protection. The proposed variance to the rear yard setback will not encroach into the streamside setback area.
- The RF-12 Zone requires a minimum rear yard setback for a principal building of 7.5 metres, which may be reduced to 6.0 metres for a maximum 50% of the width of the rear of the principal building for Type II lots. The proposal is to reduce the minimum rear yard setback of 7.5 metres to 6.0 metres for the entire width of the principal building for proposed Lots 1, 2, and 4, and to 5.5 metres for Lot 3.
- Staff support the requested variances to proceed for consideration.

Lot Grading and Building Scheme

- Building Design Guidelines were developed, based on a character study of the surrounding homes, as part of Development Application No. 7908-0091-00, which created 14499 - 59 Avenue. The Building Design Guidelines will remain unchanged and will be registered on the title of proposed Lots 1 to 4.
- A preliminary lot grading plan, submitted by Coastland Engineering and Surveying Ltd. and dated July 2017, has been reviewed by staff and found to be generally acceptable. The applicant does propose in-ground basements. The feasibility of in-ground basements will be confirmed once the City's Engineering Department has reviewed and accepted the applicant's final engineering drawings.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval (\$4,000 per unit (2022 rate)).
- The proposed development will not be subject to the Tier 2 Capital Plan Project CACs as the proposal complies with the permitted densities in the sites NCP and OCP designations.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on November 5, 2020, and the Development Proposal Signs were installed on November 17, 2020. Staff received one email correspondence from an area resident seeking clarification on the proposed variances, and one phone call from an area resident expressing concern with the proposal (*staff comments in italics*):

- One resident expressed concern with the impact the proposal may have on on-street parking in the area.

(The proposed development will be required to provide a minimum of 3 off-street parking spaces, 2 of which may be located in the driveway, for each proposed single family dwelling, as per Section H.2 of Part 17 A 'Single Family Residential (12) Zone (RF-12)' of the Zoning By-law No. 12000.)

DEVELOPMENT PERMITS

Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of an existing Class B (yellow-coded) watercourse which flows north. The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class B (yellow-coded) watercourse requires a minimum streamside setback of 15 metres, as measured from the top of bank. The proposed setbacks comply with the requirements outlined in the Zoning By-law.
- The 15 metre setback that is required from the top of bank of Sullivan Heights Creek extends to the site's western and southern property lines. As these property lines are not proposed to change, no additional setback is required within the subject site. The riparian area was previously conveyed to the City as a lot for conservation purposes as a condition of rezoning approval for Development Application No. 7911-0044-00.
- An Ecosystem Development Plan (EDP), prepared by Libor Michalak R.P. Bio., of Keystone Environmental Ltd. and dated January 5, 2021, was reviewed by staff, and found to be generally acceptable. This report was peer reviewed by Ryan Preston, P. Ag., of BlueLines Environmental Ltd., and found that the setback requirements of Part 7A of the Zoning By-law No. 12000 were determined accurately, and that the report was found to be acceptable. The report and peer review will be incorporated into the Development Permit.
- A Riparian Area Protection Regulation (RAPR) report, prepared by Ryan Preston of BlueLines Environmental Ltd., has been reviewed by the Province and found to meet the provisions of the RAPR. The report submitted provides confirmation that the proposed setback exceeds the 10 m RAPR SPEA setback for Sullivan Heights Creek. The City's Part 7A Streamside Setbacks exceeds RAPR setbacks on the subject site.
- The proposed development is sited in accordance with RAPR and Part 7A Streamside Setbacks.

TREES

- Richard Lange, ISA Certified Arborist of Tree MD Consulting, prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	3	3	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bigleaf Maple	3	3	0
Total (excluding Alder and Cottonwood Trees)	3	3	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		14	
Total Retained and Replacement Trees		14	
Contribution to the Green City Program		N/A	

- The Arborist Assessment states that there are a total of 3 protected trees on the site, excluding Alder and Cottonwood trees. 3 existing trees, approximately 50% of the total trees on the site, are Alder trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 9 replacement trees on the site. The applicant is proposing 14 replacement trees, meeting City requirements.
- In summary, a total of 14 trees are proposed to be retained or replaced on the site and as the applicant is meeting City requirements related to replacement trees, contribution to the Green City Fund is not required.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Proposed Subdivision Layout
- Appendix II. Engineering Summary
- Appendix III. Summary of Tree Survey and Tree Preservation
- Appendix IV. Development Variance Permit No. 7914-0147-00

Jeff Arason
Acting General Manager
Planning and Development

SR/cm

**SUBDIVISION PLAN OF LOT 4 PLAN BCP50999 AND LOT 2
PLAN EPP27795, BOTH OF SECTION 10 TOWNSHIP 2
NEW WESTMINSTER DISTRICT**

**Appendix I
PLAN EPP89922
(of Appendix III, 7914-0147-00/02)**

The City of Surrey B.C.G.S. 92G.016



SCALE - 1 : 500
All distances are in metres

The intended plot size of this plan is 432mm in width by 560mm in height (C Size) when plotted at a scale of 1:500

Integrated Survey Area No. 1
City of Surrey, NAD83 (CSRS) 4.0.0.BC.1.GVRD

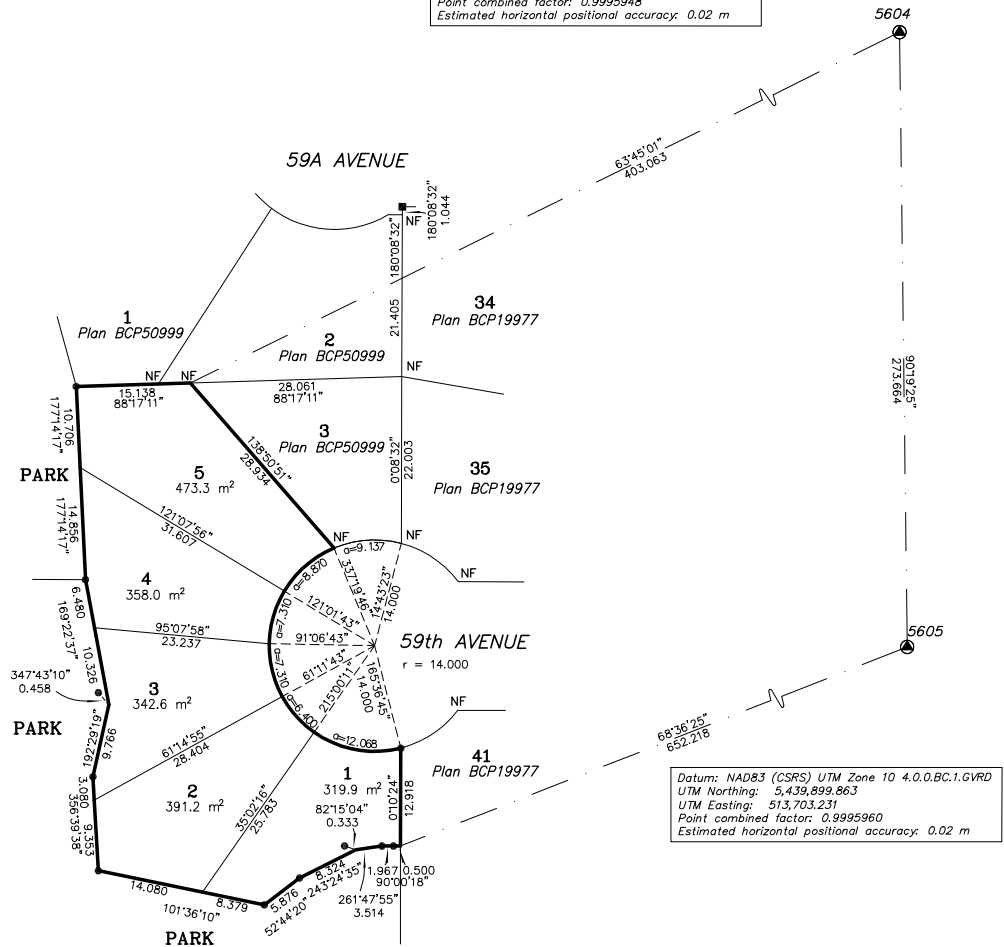
Grid Bearings are derived from observations between Control Monuments 5604 and 5605.

The UTM co-ordinates and horizontal positional accuracy achieved have been derived from the Mascot published coordinates for geodetic control monuments 5604 and 5605.

This plan shows horizontal ground-level distances except where otherwise noted. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9995948 which has been derived from geodetic control monument 5604.

PRELIMINARY (JANUARY 22, 2019)

Datum: NAD83 (CSRS) UTM Zone 10 4.0.0.BC.1.GVRD
UTM Northing: 5,439,901.433
UTM Easting: 513,429.765
Point combined factor: 0.9995948
Estimated horizontal positional accuracy: 0.02 m



Datum: NAD83 (CSRS) UTM Zone 10 4.0.0.BC.1.GVRD
UTM Northing: 5,439,899.863
UTM Easting: 513,703.231
Point combined factor: 0.9995960
Estimated horizontal positional accuracy: 0.02 m

Legend:

- Denotes control monument found
- Denotes standard iron post found
- Denotes standard iron post set
- Denotes old lead plug found
- WT Denotes witness
- NF Denotes nothing found

Note: This plan shows one or more witness posts which are not set on the true corner(s).
Witness posts are set along the production of a boundary unless otherwise noted.
Some symbols and lines have been exaggerated for clarity.

This plan lies within the jurisdiction of the Approving Officer for the City of Surrey

The field survey represented by this plan was completed on the day of , 2019.
Sean Costello, BCLS 900

This plan lies within the Metro Vancouver Regional District

Cameron Land Surveying Ltd.
B.C. Land Surveyors
Unit 206 - 16055 Fraser Highway
Surrey, B.C. V4N 0G2
Phone: 604-597-3777
Fax: 604-597-3783
File: 6928-SUB



INTER-OFFICE MEMO

TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department

FROM: Development Services Manager, Engineering Department

DATE: January 15, 2021 **PROJECT FILE:** 7814-0147-00

RE: Engineering Requirements
Location: 14500 & 14499 59 Avenue

SUBDIVISION

Works and Services

- Construct 6.0 m concrete driveway letdowns for each lot.
- Ensure adequately sized storm, sanitary and water service connection is provided to each lot.
- Register an RC on title for the onsite mitigation features as determined through detailed design.

A Servicing Agreement is required prior to Subdivision. A processing fee of \$3,890.25 (GST included) is required.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/ Development Variance Permit.

Tommy Buchmann, P.Eng.
Development Services Manager

AY

Tree Preservation Summary

Surrey Project No:


Address: 14500 59 Avenue, Surrey

Registered Arborist: Richard Lange - Tree MD Consulting

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	6
Protected Trees to be Removed	6
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{\quad 3 \quad} \times \text{one (1)} = 3$ - All other Trees Requiring 2 to 1 Replacement Ratio $\underline{\quad 3 \quad} \times \text{two (2)} = 6$ 	9
Replacement Trees Proposed	14
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	0

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{\quad 0 \quad} \times \text{one (1)} = 0$ - All other Trees Requiring 2 to 1 Replacement Ratio $\underline{\quad 0 \quad} \times \text{two (2)} = 0$ 	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by:



 (Signature of Arborist)

November 30, 2021

 Date

TOPOGRAPHIC SURVEY PLAN OF LOT 2
SECTION 10 TOWNSHIP 2
NWD PLAN EPP 27795

PID: 029-039-240

Civic Address:

#14500 - 59th Avenue
Surrey, B.C.

Elevation Derivation

Elevations are geodetic derived
from the City of Surrey
Control Monument No. 5609
Datum CVD28GVRD 2005
Elevation=74.401m

Lot dimensions according to Plan EPP 27795 and
Land Title and Survey Authority records.

This plan does not show non-plan charges,
liens or interests.

This plan was prepared for inspection purposes and is
for the exclusive use of our client. This documents
shows the relative location of the surveyed structures
and features with respect to the boundaries of the
parcel described above. This document shall not be
used to define property lines or property corners.

The signatory accepts no responsibility or liability for
any damages that may be suffered by a third party as
a result of any decisions made or actions taken based
on this document.

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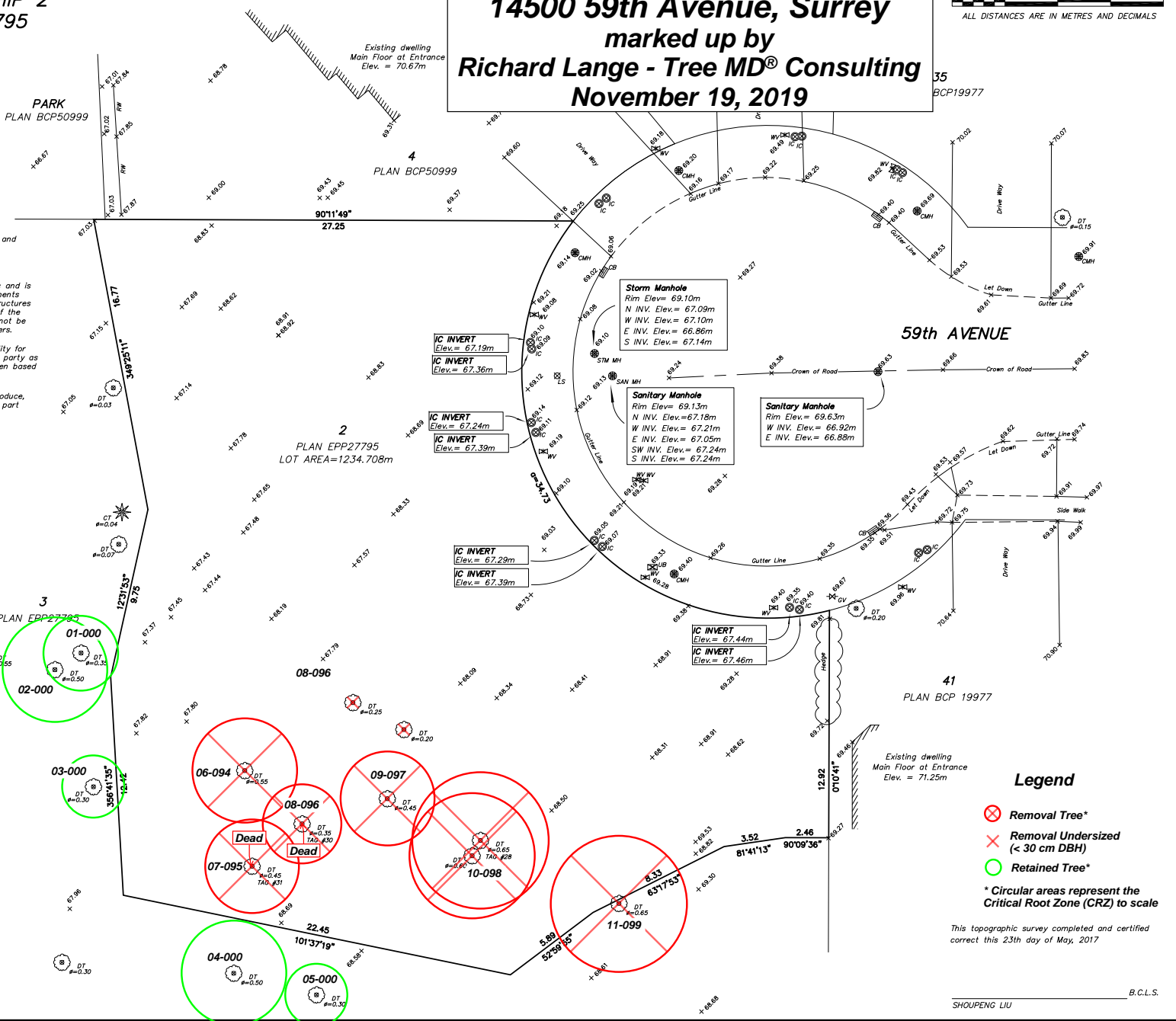
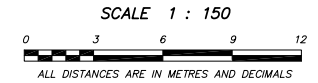
LEGEND :

- x 0.00 Denotes spot elevation
- DT Denotes deciduous tree
- CT Denotes coniferous tree
- SAN MH Denotes sanitary manhole
- STM MH Denotes storm manhole
- CMH Denotes concrete manhole
- CB Denotes rectangular catch basin
- WV Denotes water valve
- UB Denotes utility box
- LS Denotes lamp stand
- IC Denotes inspection chamber
- EB Denotes electronic box
- Denotes retaining wall
- GV Denotes gas valve



COMPASS LAND SURVEYING LTD.
Professional Land Surveyors
13367-28th Avenue
Surrey, B.C. V3T 5M8
Tel: 604-588-3701
Email: Office@CompassSurveys.com
File : 1705007 11

Arborist Report Site Survey
14500 59th Avenue, Surrey
marked up by
Richard Lange - Tree MD® Consulting
November 19, 2019



Legend

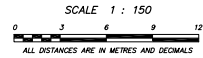
- Removal Tree*
 - Removal Undersized (< 30 cm DBH)
 - Retained Tree*
- * Circular areas represent the
Critical Root Zone (CRZ) to scale

This topographic survey completed and certified
correct this 23th day of May, 2017

SHOUPENG LIU

B.C.L.S.

BC LAND SURVEYOR'S PROPOSED SUBDIVISION
AND TOPOGRAPHIC SURVEY PLAN OF LOT 2
PLAN EPP 27795 AND LOT 4 PLAN BCP50999,
BOTH OF SECTION 10 TOWNSHIP 2
NEW WESTMINSTER DISTRICT



PID(Lot 2): 029-039-240
PID(Lot 4): 028-880-137

Civic Address:
(Lot 2): #14500 - 59th Avenue
(Lot 4): #14499 - 59th Avenue
Surrey, B.C.

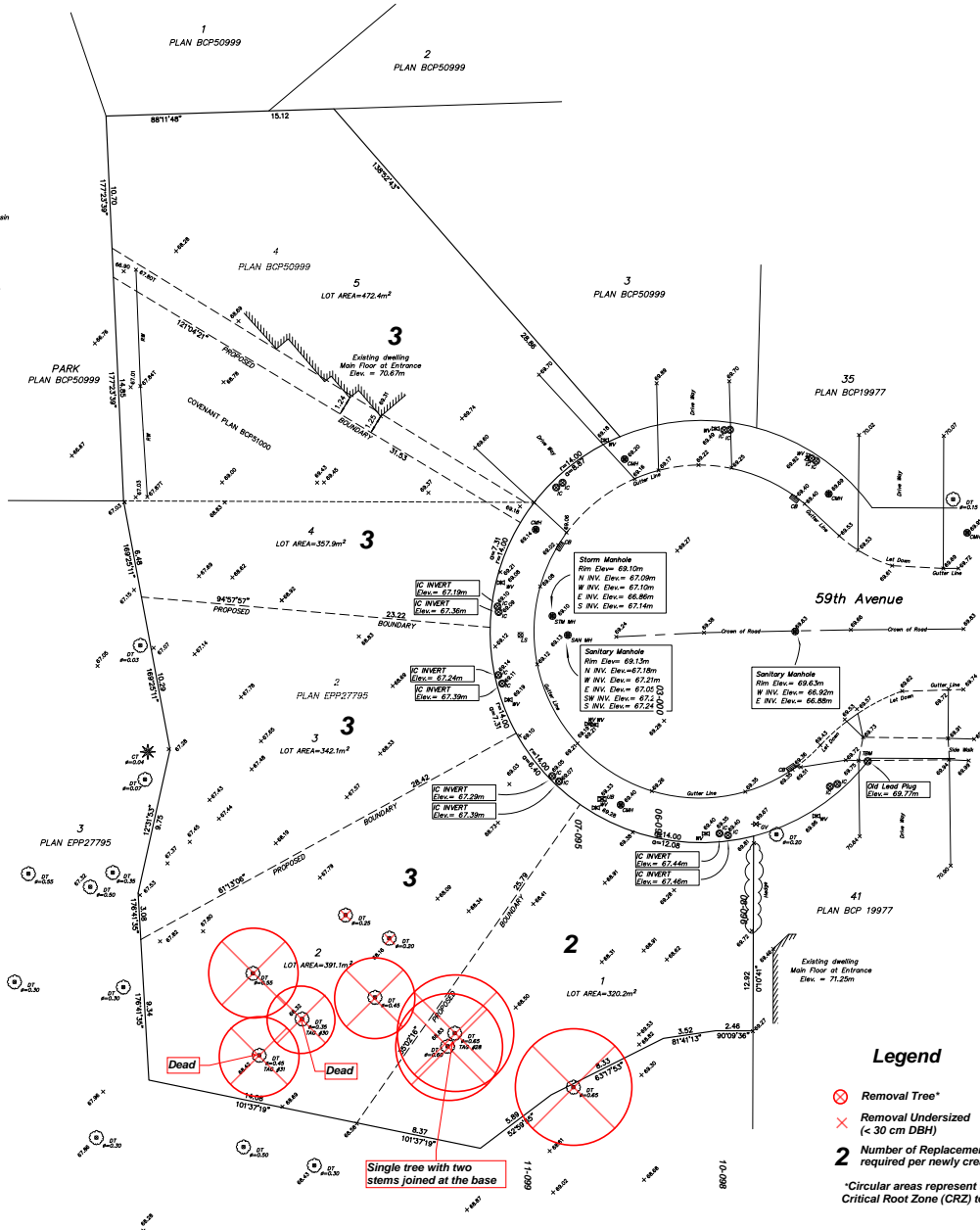
Elevation Derivation
Elevations are geoidic derived
from the City of Surrey
Control Monument No. 5609
Datum: CNA2000 2005
Deviation: 74.40mm

Note:
Preliminary Layout, subject to approval.
Areas and dimensions are subject to detailed
legal survey and calculations, and may vary.

Arborist Replacement Tree Plan
14500 59th Avenue, Surrey
marked up by
Richard Lange - Tree MD® Consulting
November 19, 2019



- LEGEND :**
- x \odot Denotes spot elevation
 - DT Denotes deciduous tree
 - CT Denotes coniferous tree
 - SM Denotes sanitary manhole
 - SM Denotes storm manhole
 - CM Denotes concrete manhole
 - RC Denotes rectangular catch basin
 - WV Denotes water valve
 - UB Denotes utility box
 - LS Denotes lamp stand
 - IC Denotes inspection chamber
 - RW Denotes retaining wall
 - GV Denotes gas valve
 - TM Denotes temporary benchmark



Legend

- \otimes Removal Tree*
 - \times Removal Undersized (< 30 cm DBH)
 - 2 Number of Replacement Trees required per newly created lot
- *Circular areas represent the Critical Root Zone (CRZ) to scale

Lot dimensions according to field survey and Land Title and Survey Authority records.

This plan does not show non-plan charges, liens or interests.
This plan was prepared for inspection purposes and is for the exclusive use of our client. This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.

The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made or actions taken based on this document.

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© Copyright

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7914-0147-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-880-137

Lot 4 Section 10 Township 2 New Westminster District Plan BCP50999

14499 - 59 Avenue

Parcel Identifier: 029-039-240

Lot 2 Section 10 Township 2 New Westminster District Plan EPP27795

14500 - 59 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) Section F Yards and Setbacks of Part 17A "Single Family Residential 12 Zone (RF-12)" is varied to reduce the minimum rear yard setback of the principal building from 7.5 metres to 6.0 metres for Lots 1, 2 and 4 and from 7.5 metres to 5.5 metres for Lot 3.
5. This development variance permit applies to only that portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

Schedule A

(of Appendix III, 7914-0147-00/02)

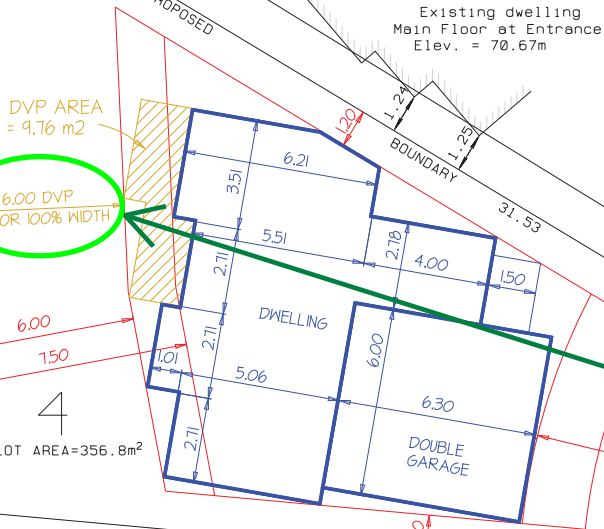
PLAN BCP50999

PLAN BCP50999

LOT AREA=472.4m²

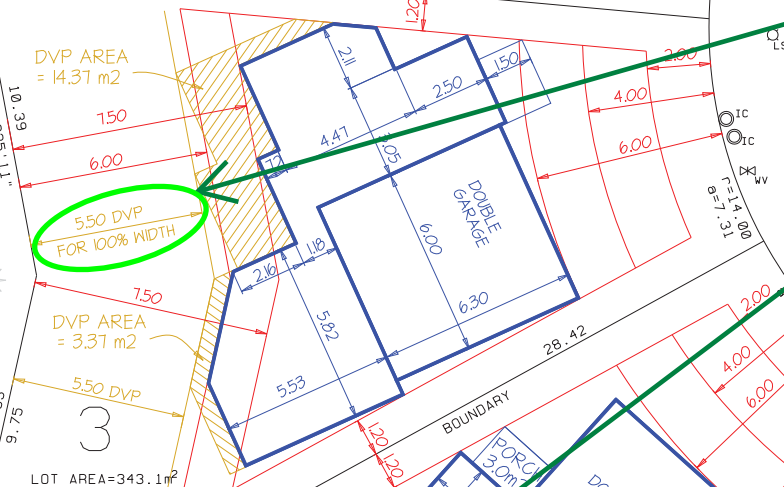
PARK
PLAN BCP50999

17723'39"
14.85
16925'11"
6.39

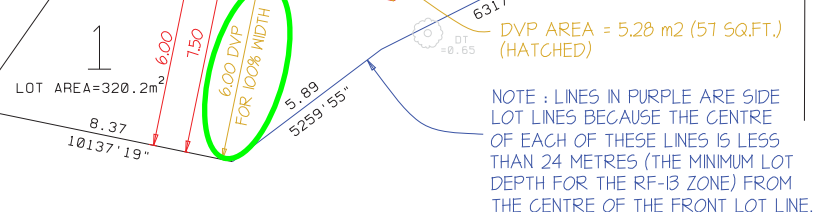
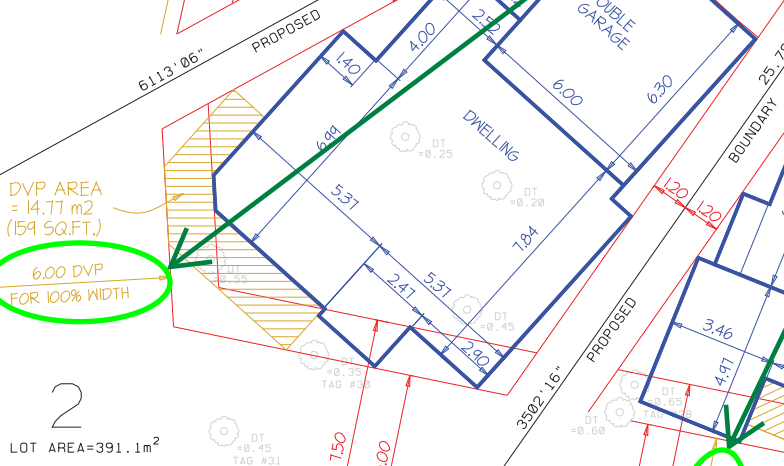


Development Application No. 7914-0147-00:
to reduce the minimum rear yard setback of the principal building of the "Single Family Residential (12) Zone (RF-12)" from 7.5 metres to 6.0 metres for proposed Lots 1,2 and 4, and from 7.5 metres to 5.5 metres for proposed Lot 3.

16925'11"
10.39
16925'11"
9.75
1231'53"
9.75



17641'35"
3.08
17641'35"
9.34
17641'35"



NOTE : LINES IN PURPLE ARE SIDE LOT LINES BECAUSE THE CENTRE OF EACH OF THESE LINES IS LESS THAN 24 METRES (THE MINIMUM LOT DEPTH FOR THE RF-13 ZONE) FROM THE CENTRE OF THE FRONT LOT LINE.

CITY OF SURREY

BYLAW NO. 21438

A Comprehensive Development bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015 c. 1, as amended, for the following lands:

Address: As described in Appendix "A".
Legal: As described in Appendix "A".
PID: As described in Appendix "A".

as follows:

- (a) by creating a new Comprehensive Development Zone 255 (CD 255), attached as Appendix "A" and forming part of this bylaw;
- (b) by changing the zoning classification shown in Schedule A, Zoning Maps, as follows:
FROM: SMALL LOT RESIDENTIAL ZONE (R4)
TO: COMPREHENSIVE DEVELOPMENT ZONE (CD); and
- (c) by amending Part 52, Comprehensive Development Zone, Section C. Comprehensive Development Zones, by adding a new CD Zone "CD 255" as follows:

CD Zone ID	Civic Address	Legal Description	CD Bylaw No.	Replaces Bylaw No.
"CD 255"	(a) 14499 - 59 Avenue (b) 14500 - 59 Avenue	(a) Lot 4, Plan BCP50999 (b) Lot 2, Plan EPP27795	21438	N/A"

2. This By-law shall be cited for all purposes as "Surrey Comprehensive Development Zone 255 (CD 255), Bylaw, 2024, No. 21438".

PASSED FIRST READING on the th day of , 20 .

PASSED SECOND READING on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECEIVED APPROVAL FROM THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

APPENDIX "A"

COMPREHENSIVE DEVELOPMENT ZONE 255 (CD 255)

In this Comprehensive Development Zone 255 (CD 255), **Part 16, Small Lot Residential Zone (R4)**, as well as all other applicable regulations of Surrey Zoning By-law, 1993, No. 12000, as amended, (the "Zoning By-law") apply to the following lands:

Address	Legal Descriptions	PID
14499 – 59 Avenue	Lot 4 Section 10 Township 2 NWD Plan BCP50999	028-880-137
14500 – 59 Avenue	Lot 2 Section 10 Township 2 NWD Plan EPP27795	029-039-240

except as follows:

1. Intent

Delete Section "A. Intent" and replace it with a new Section "A. Intent" as follows:

"A. Intent

This Comprehensive Development Zone is intended for small-scale multi-unit housing on small *lots* typically 315 sq. m or larger, which may accommodate 2 to 6 *dwelling units*, and is subject to the remainder of Part 16."

2. Subdivision

Amend Section "C. Subdivision" by deleting Sub-Section 2. and replacing it with a new Sub-Section 2. as follows:

"2. Permitted Lot Size Reductions:

In accordance with the *unit density* increases permitted in Section D.1.(b), if amenity contributions are provided in accordance with Schedule G, *lots* created through subdivision in the R4 Zone may be reduced to the following minimum standards:

Criteria	Minimum Lot Area	Minimum Lot Width	Minimum Lot Depth
Interior Lot	315 sq. m. (Type I, II)	12 m (Type I – narrow deep) 9 m (Type II – wide shallow)	28 m (Type I – narrow deep) 24 m (Type II – wide shallow)"

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7914-0147-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-880-137

Lot 4 Section 10 Township 2 New Westminster District Plan BCP50999

14499 - 59 Avenue

Parcel Identifier: 029-039-240

Lot 2 Section 10 Township 2 New Westminster District Plan EPP27795

14500 - 59 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) Section F Yards and Setbacks of Part 17A “Single Family Residential 12 Zone (RF-12)” is varied to reduce the minimum rear yard setback of the principal building from 7.5 metres to 6.0 metres for Lots 1, 2 and 4 and from 7.5 metres to 5.5 metres for Lot 3.
5. This development variance permit applies to only that portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

Schedule A

DVP 7914-0147-00 - To be filed

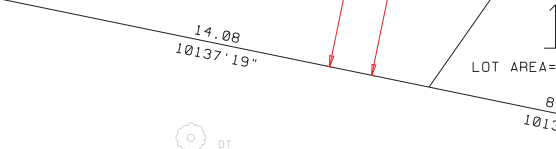
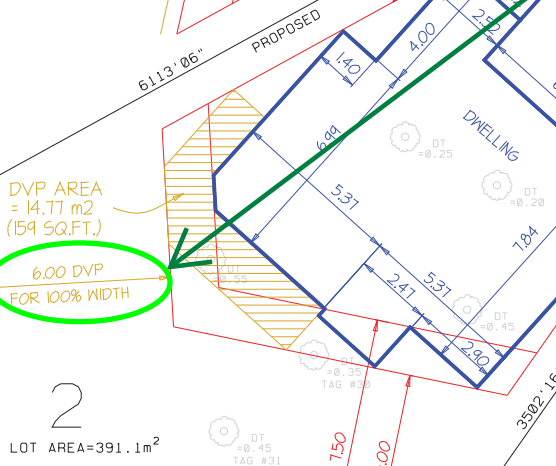
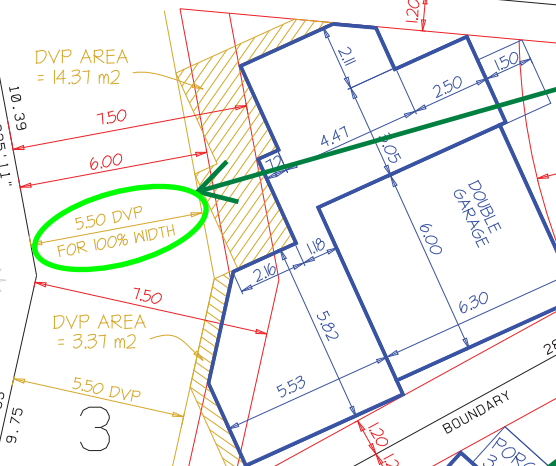
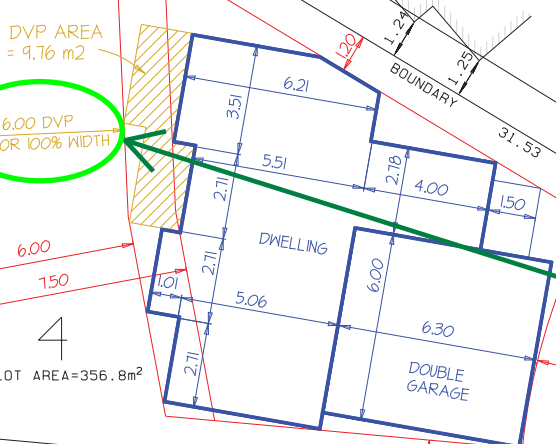
PLAN BCP50999

PLAN BCP50999

LOT AREA=472.4m²

PARK
PLAN BCP50999

17723'39"
14.85
16925'11"
6.39



Development Application No. 7914-0147-00:
to reduce the minimum rear yard setback of the principal building of the "Single Family Residential (12) Zone (RF-12)" from 7.5 metres to 6.0 metres for proposed Lots 1,2 and 4, and from 7.5 metres to 5.5 metres for proposed Lot 3.

NOTE : LINES IN PURPLE ARE SIDE LOT LINES BECAUSE THE CENTRE OF EACH OF THESE LINES IS LESS THAN 24 METRES (THE MINIMUM LOT DEPTH FOR THE RF-13 ZONE) FROM THE CENTRE OF THE FRONT LOT LINE.

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7914-0147-01

Issued To:

Address of Owner:

Issued To:

Address of Owner:

(collectively referred to as the "Owner")

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-880-137
Lot 4 Section 10 Township 2 New Westminster District Plan BCP50999

14499 - 59 Avenue

Parcel Identifier: 029-039-240
Lot 2 Section 10 Township 2 New Westminster District Plan EPP27795

14500 - 59 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
- (a) Section K Subdivision of Part 17A “Single Family Residential (12) Zone (RF-12)” is varied to reduce the minimum lot width of a Type II Interior Lot from 13.4 metres to 9.7 metres for proposed Lot 2, 13.4 metres to 11.6 metres for proposed Lot 3, 13.4 metres to 10.6 metres for proposed Lot 4, and 13.4 metres to 11.2 metres for proposed Lot 5; and
 - (b) Section H.3 Off-Street Parking of Part 17A “Single Family Residential (12) Zone (RF-12)” is varied to allow a double garage that can accommodate two cars parked side by side on a Type II Interior Lot that is less than 13.4 metres wide that is accessed from the front yard for proposed Lots 2 to 5.
5. This development variance permit applies to only that portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

**SUBDIVISION PLAN OF LOT 4 PLAN BCP50999 AND LOT 2
PLAN EPP27795, BOTH OF SECTION 10 TOWNSHIP 2
NEW WESTMINSTER DISTRICT**

Schedule A

PLAN EPP89922

DVP 7914-0147-01 - To be filed

The City of Surrey B.C.G.S. 92G.016



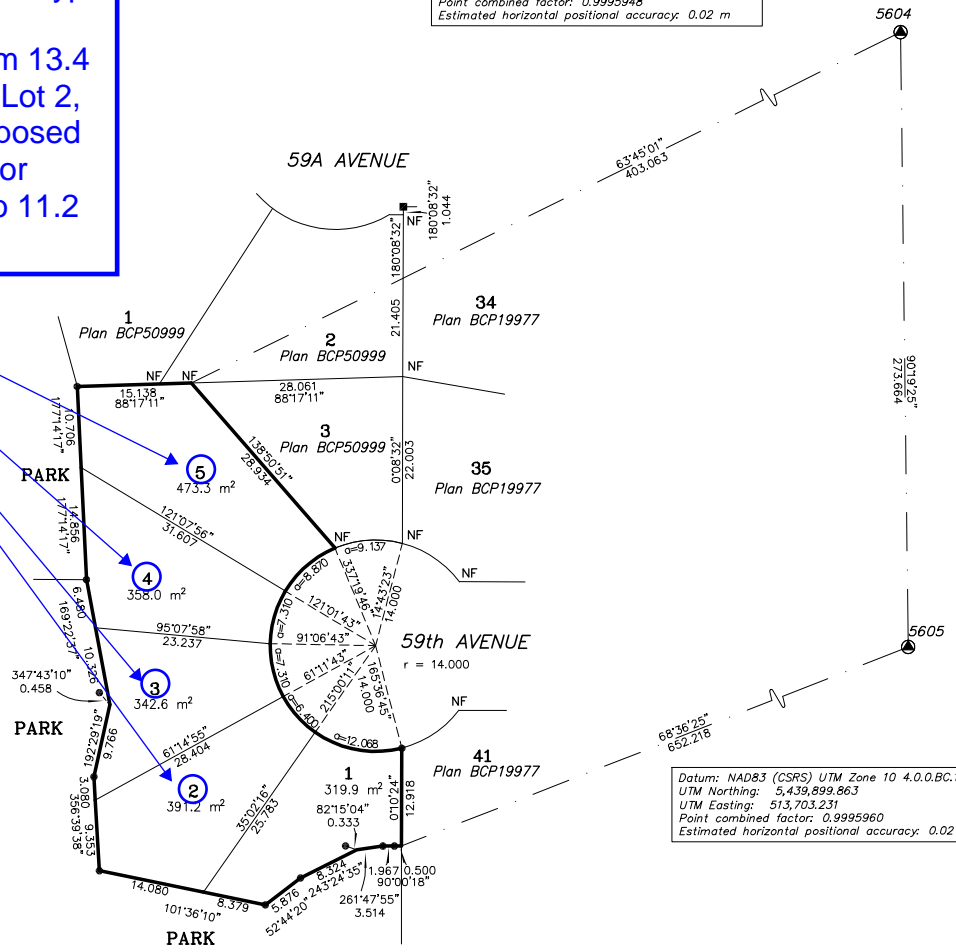
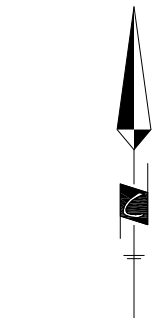
SCALE - 1 : 500
All distances are in metres

The intended plot size of this plan is 432mm
in width by 560mm in height (C Size) when
plotted at a scale of 1:500

PRELIMINARY (JANUARY 22, 2019)

**Development Application No.
7914-0147-01:**
to reduce the minimum lot width of a Type
II Interior Lot of the "Single Family
Residential (12) Zone (RF-12)" from 13.4
metres to 9.7 metres for proposed Lot 2,
13.4 metres to 11.6 metres for proposed
Lot 3, 13.4 metres to 10.6 metres for
proposed Lot 4, and 13.4 metres to 11.2
metres for proposed Lot 5;

Datum: NAD83 (CSRS) UTM Zone 10 4.0.0.BC.1.GVRD
UTM Northing: 5,439,901.433
UTM Easting: 513,429.765
Point combined factor: 0.9995948
Estimated horizontal positional accuracy: 0.02 m



Datum: NAD83 (CSRS) UTM Zone 10 4.0.0.BC.1.GVRD
UTM Northing: 5,439,899.863
UTM Easting: 513,703.231
Point combined factor: 0.9995960
Estimated horizontal positional accuracy: 0.02 m

Legend:

- Denotes control monument found
- Denotes standard iron post found
- Denotes standard iron post set
- Denotes old lead plug found
- WT Denotes witness
- NF Denotes nothing found

Note: This plan shows one or more witness posts which are not set on the true corner(s).
Witness posts are set along the production of a boundary unless otherwise noted.
Some symbols and lines have been exaggerated for clarity.

This plan lies within the jurisdiction of the
Approving Officer for the City of Surrey

The field survey represented by this plan was
completed on the day of , 2019.
Sean Costello, BCLS 900

This plan lies within the Metro Vancouver Regional District

Cameron Land Surveying Ltd.
B.C. Land Surveyors
Unit 206 - 16055 Fraser Highway
Surrey, B.C. V4N 0G2
Phone: 604-597-3777
Fax: 604-597-3783
File: 6928-SUB

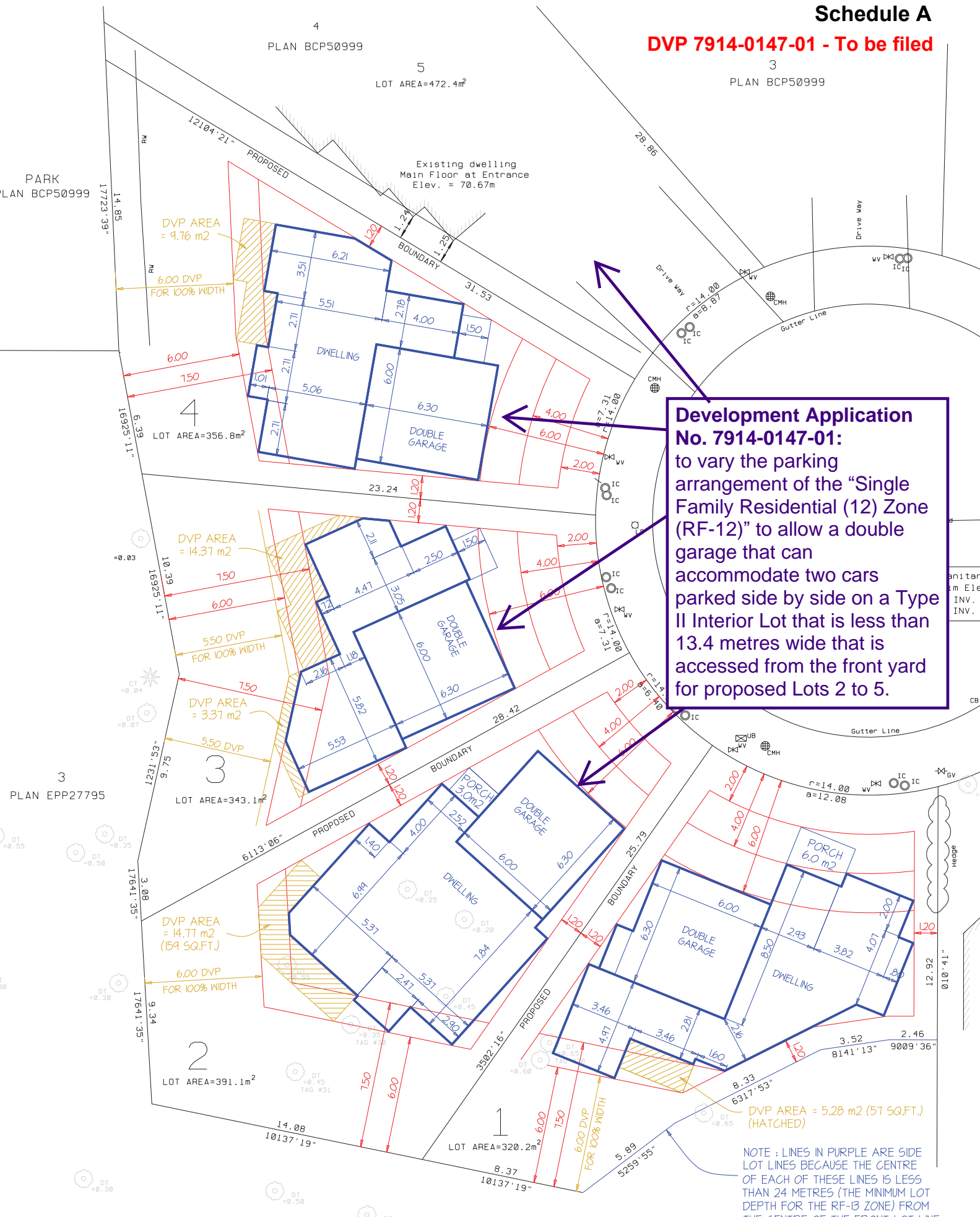
PLAN BCP50999

PLAN BCP50999

LOT AREA=472.4m²

PARK
PLAN BCP50999

PLAN EPP27795



Development Application No. 7914-0147-01: to vary the parking arrangement of the "Single Family Residential (12) Zone (RF-12)" to allow a double garage that can accommodate two cars parked side by side on a Type II Interior Lot that is less than 13.4 metres wide that is accessed from the front yard for proposed Lots 2 to 5.

NOTE : LINES IN PURPLE ARE SIDE LOT LINES BECAUSE THE CENTRE OF EACH OF THESE LINES IS LESS THAN 24 METRES (THE MINIMUM LOT DEPTH FOR THE RF-13 ZONE) FROM THE CENTRE OF THE FRONT LOT LINE.

City of Surrey
PLANNING & DEVELOPMENT REPORT
 Application No.: 7923-0365-00

Planning Report Date: October 21, 2024

PROPOSAL:

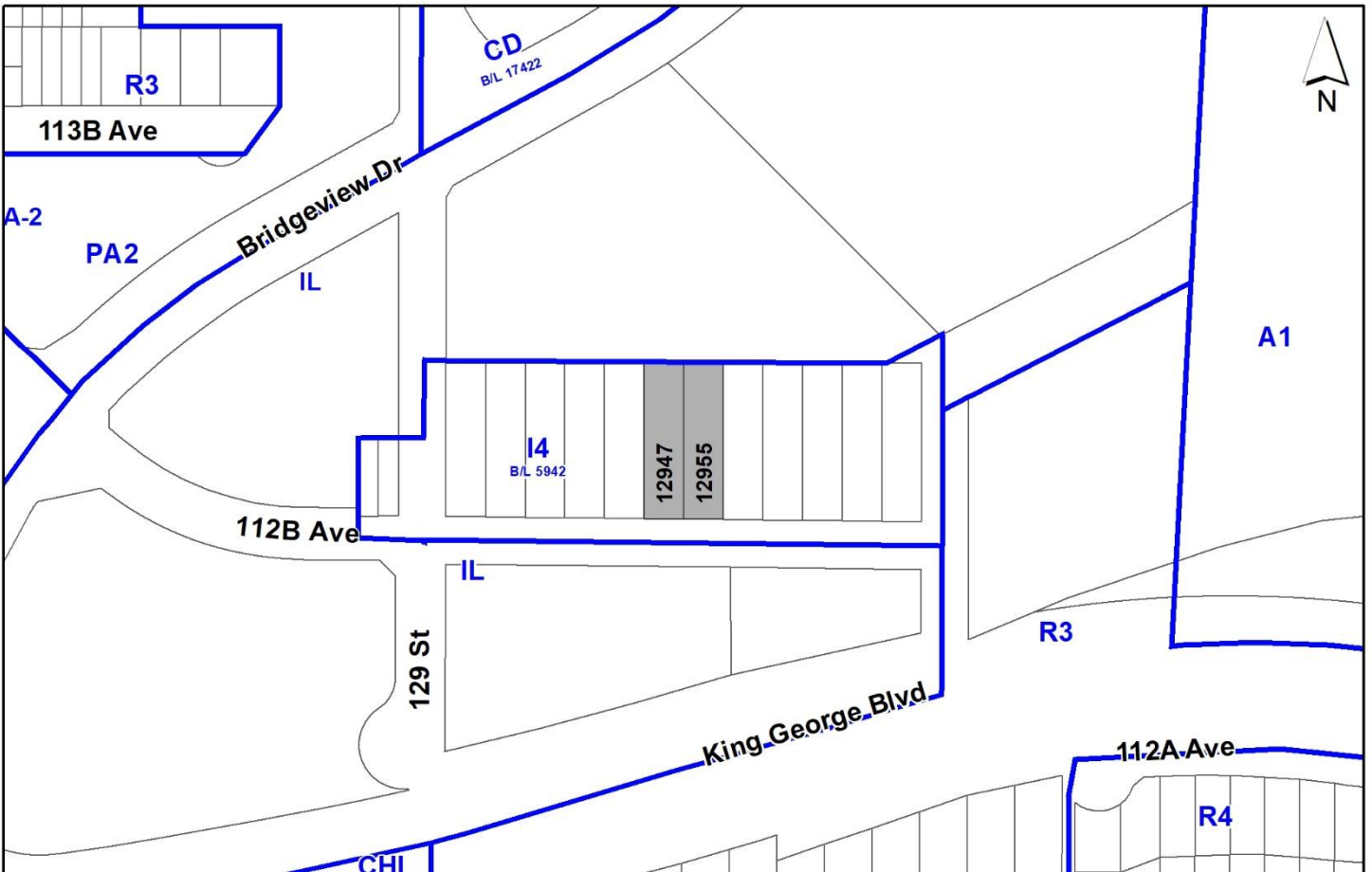
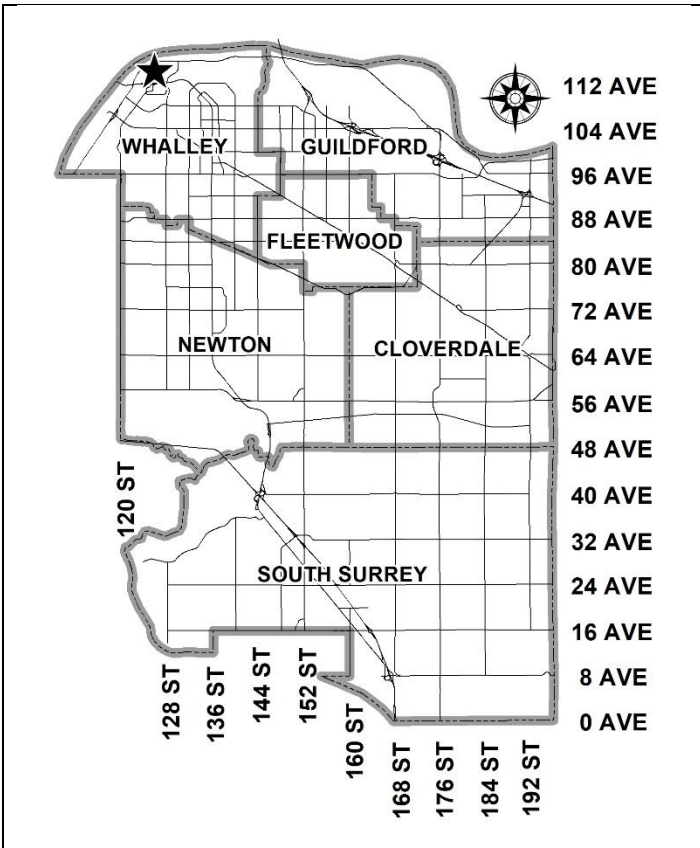
- **Temporary Use Permit**

to permit the development of a temporary semi-truck cab parking facility.

LOCATION: 12947 - 112B Avenue
 12955 - 112B Avenue

ZONING: I-4

OCP DESIGNATION: Industrial



RECOMMENDATION SUMMARY

- Approval for Temporary Use Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The Special Industry Zone (I-4) does not permit semi-truck cab parking.

RATIONALE OF RECOMMENDATION

- There is a significant demand for semi-truck cab parking in the City and approval of this Temporary Use Permit would assist in addressing that need. The applicant does not propose any trailer parking/storage.
- The site is in close proximity to major truck routes and is surrounded by industrial lots.
- The applicant has assembled two properties, which can accommodate a more reasonable semi-truck cab parking plan than a single property. Semi-truck cab will be able to access the site with queuing and make on-site semi-truck cab turning movements (vehicles do not need to back in or out of the site).
- The proposed TUP for semi-truck cab parking will allow for interim use on the land until consolidation with neighbouring properties can occur for more intensive industrial development.
- The applicant will be required to install appropriate screening along 112B Avenue to improve the aesthetic of the site.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Temporary Use Permit No. 7923-0365-00 (Appendix III) to proceed to Public Notification.
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) removal of unauthorized fill from 112B Avenue road right-of-way to the satisfaction of the General Manager, Engineering Department;
 - (c) submission of a finalized fencing plan and fencing cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) installation and subsequent inspection and approval of all required fencing and/or screening works along 112B Avenue frontage of the property, to the satisfaction of the General Manager, Planning & Development; and
 - (e) the applicant to undertake the necessary work and obtain a building permits, as required, for an on-site washroom facility.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Unauthorized semi-truck cab park.	Industrial	I-4
North:	Industrial building.	Industrial	IL
East:	Unauthorized truck park.	Industrial	I-4
South (Across 112B Avenue):	Industrial businesses.	Industrial	IL
West:	Unauthorized aggregate business.	Industrial	I-4

Context & Background

- The subject site is comprised of two lots located at 12947 and 12955 – 112B Avenue in Bridgeview. The site is approximately 1,841 square metres in area and 30.5 metres wide. The site is zoned "Special Industry Zone (I-4)" (By-law No. 5942) and is designated Industrial in the OCP. The site is currently being used for the storage of semi-truck cabs, parking of cars, and an office trailer. The site presently has a lock block wall located adjacent the south property line on City property. The wall will be relocated onto the subject property as part of the subject proposal.
- The I-4 Zone (Zoning By-law No. 5942) permits only certain high-tech industrial uses with strict regulations. A number of properties in the Bridgeview area were rezoned to the I-4 Zone in 1976, under a Council-initiative, for the purpose of ensuring that these properties were developed comprehensively for industrial purposes. Semi-truck cab parking and outside storage are not permitted uses in the I-4 Zone.
- It is noted that the site has vacant and underutilized industrial designated lands to the east and west that could be consolidated and redeveloped for more intensive industrial use as has occurred to the north.
- Due to the dimensions and size of the site only semi-truck cab parking is proposed with no truck trailers allowed on site.
- This is the first TUP application for the subject site.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing a Temporary Use Permit (TUP) to allow for semi-truck cab parking for approximately 21 semi-truck cabs and an office trailer for a period not to exceed 3 years.
- The site plan includes two rows of seven parking spaces along both the east and west property line and a row of eight spaces along the north property line. An office trailer and a porta-potty, is located in the southwest corner of the lot.
- Along 112B Avenue, the applicant has proposed to replace the existing lock blocks with a black chain link fence with privacy slats. The site is located on an industrial dead-end road, surrounded by other industrial land uses.
- The subject site has unauthorized historical fill which has breached into the 112B Avenue road right-of-way. The applicant will be required to remove the fill from the road.
- The subject site is currently under an injunction that was issued by the BC Supreme Court on March 14, 2024 requiring removal of unauthorized trucks.
- The applicant will be required to provide washroom (porta potty) facilities and obtain the required permits for the existing office trailer on site.

- Semi-truck cab access will be from 112B Avenue along the southern extent of the property. The applicant will be required to pave the driveway.
- The applicant anticipates approximately 5 trips per day with operating hours being irregular due to the return time of long haul trips.

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

Transportation Considerations

- The applicant will be required to pave a 9-metre driveway entrance onto 112B Avenue.
- Semi-truck cabs will access the site from 112B Avenue which has a full signalized intersection with Bridgeview Drive.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is designated Industrial in the Regional Growth Strategy. The proposed semi-truck cab parking TUP will allow for the site to operate as an interim industrial use until the site can ultimately be redeveloped for more intensive industrial uses.

Official Community Plan

- The subject site is designated Industrial in the Official Community Plan (OCP). The proposed semi-truck cab parking TUP will allow for the site to operate as an interim industrial use until the site can ultimately be redeveloped for more intensive industrial uses.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on March 5, 2024, and the Development Proposal Signs were installed on April 5, 2024. Staff have received two responses from residents. Resident comments are summarized below (staff comments in italics):
- Semi-truck cabs are loud and should not be close to residential area.

(The closest residential areas are located approximately 150 metres to the south and 300 metres to the west. The subject site is surrounded by other industrial uses and is located on an industrial road with a full signalized intersection onto Bridgeview Drive which will prevent the semi-truck cabs from driving through residential areas.)

TREES

No trees are present on the subject site.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Proposed Semi-Truck Cab Park Layout and Site Plan

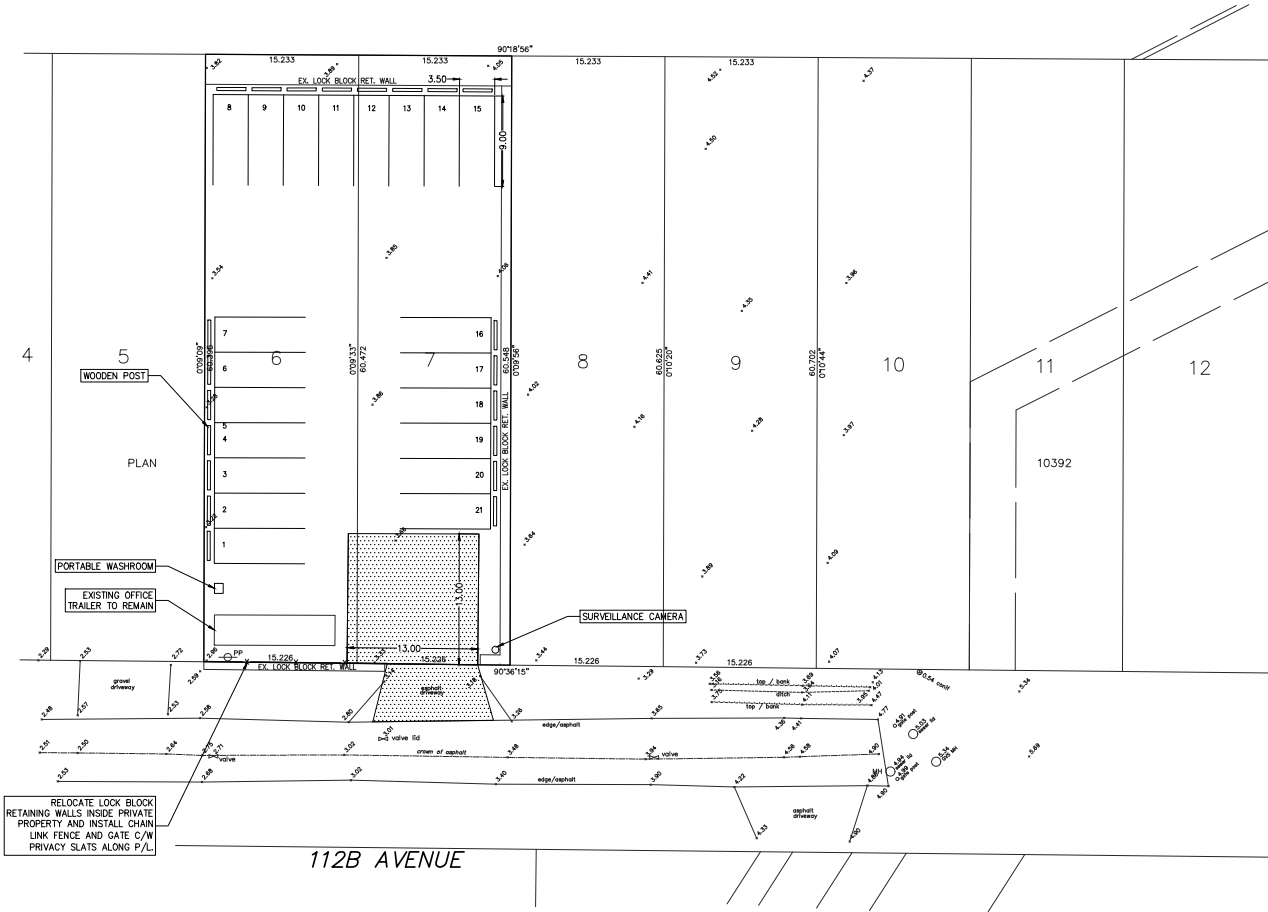
Appendix II. Engineering Summary

Appendix III. Temporary Use Permit No. 7923-0365-00

approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development

JKS/cb



NOTE:
 PRIOR TO ANY CONSTRUCTION THE CONTRACTOR IS TO
 VERIFY INVERTS & LOCATIONS OF EXISTING SERVICES
 AND NOTIFY THE ENGINEER OF ANY CONFLICTS

PRELIMINARY SUBMISSION
 NOT TO BE USED FOR CONSTRUCTION

No.	Date	Revision	LC	DC
1	2024/10/07	REVISED PER CITY COMMENTS	LC	DC
			Dr	Ch

CitiWest Consulting Ltd.
 No.101-9030 KING GEORGE BLVD., SURREY, BC, V3V 7Y3
 TELEPHONE 604-591-2213 FAX 604-591-5518
 E-MAIL: office@citiwest.com
 EGBC Permit to Practice #1001824



PRO MAX TRUCKING LTD.
 22854 - 82A AVENUE, SURREY, BC V3V 1J6, CELL: 778-552-2028, EMAIL: admin@promaxtrucking.com

TUP PLAN
 TUP AT 12947 & 12955 - 112B AVENUE, SURREY, BC

Scale:	1:250	Mun. Proj. No.	7923-0365-00	Dwg. No.	1
Drawn:	LC	Mun. Dwg. No.			
Designed:	JK	Job No.	23-5001	Of	
Drawn P.U.		Date	DEC./2023	Revision	1
Approved:		destroy all prints bearing previous number			

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INTER-OFFICE MEMO

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Development Process Manager, Engineering Department**

DATE: **August 28, 2024**

PROJECT FILE: **7823-0365-00**

RE: **Engineering Requirements**

Location: 12947 112B Ave

TEMPORARY USE PERMIT

The following are to be addressed as a condition of issuance of the Temporary Use Permit:

- Construct road improvements from the site to the intersection of 129 Street to support truck turning movements. Provide adequate drainage for the road and Benkelman beam test report for pavement structure assessment on 112B Ave.
- Construct 9.0 m wide paved access, extend into the site for minimum one truck length.
- Reduced Pressure backflow preventer for premise isolation is required at property line.
- Implement on-site stormwater mitigation to meet pre-development conditions up to the 100-year storm event. There shall be no uncontrolled drainage onto adjacent properties.
- Provide on-site stormwater quality treatment and register associated covenant on title.

A Servicing Agreement may be required. Works and Services must be constructed and placed on final maintenance prior to issuance of the Temporary Use Permit.



Daniel Sohn, P.Eng.
Development Process Manager
BD

CITY OF SURREY

(the "City")

TEMPORARY USE PERMIT

NO.: 7923-0365-00

Issued To:

(the "Owner")

Address of Owner:

1. This temporary use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this temporary use permit.
2. This temporary use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 009-313-486

Lot 6 Section 9 Block 5 North Range 2 West New Westminster District Plan 10392

12947 - 112B Avenue

Parcel Identifier: 009-313-508

Lot 7 Section 9 Block 5 North Range 2 West New Westminster District Plan 10392

12955 - 112B Avenue

(the "Land")

3. The authority to issue Temporary Use Permits is granted to municipalities under Sections 492 and 493 of the *Local Government Act* R.S.B.C. 2015, c.1. Pursuant to Implementation, II(c) Implementation Instruments, Temporary Use Permits of Surrey Official Community Plan, 2013, No. 18020, as amended, the entire City of Surrey is designated a Temporary Use Permit area.
4. The temporary use permitted on the Land shall be for to allow the parking of approximately 22 tractors that exceed 5,000 kilograms (11,000 lbs.) G.V.W for a period of three years with the access and the location of the structures, and fencing, substantially in compliance with Schedule A (the "Site Plan") which is attached hereto and forms part of this permit.

5. The temporary use permitted on the Land shall be in accordance with:
 - (a) The parking area shall be designed to support the anticipated vehicle load in order to prevent dirt from being tracked onto the City roadway;
 - (b) Adequate washroom facilities are to be provided on site to the satisfaction of the General Manager of Planning & Development with a minimum of one such facility on site; and
 - (c) the following activities are prohibited on the land:
 - i. vehicle washing
 - ii. vehicle maintenance except if it is on an asphalt or concrete pad and excludes all oil, coolant or chemical use as per the Environmental Management Act, S.B.C. 2002 Chapter 43
 - iii. truck fuel storage or refuelling
 - iv. storage of waste petroleum fluids
 - v. parking or storage of vehicles containing Dangerous Goods as defined by the *Transport of Dangerous Goods Act* R.S.B.C. 1996, Chapter 458.
6. The Owner covenants and agrees that the pre-servicing requirements attached as Schedule B (the "Pre-Servicing Requirements") which is attached hereto and forms part of this permit, have been completed and will be maintained for the duration of the Temporary Use Permit.
7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary use permit. This temporary use permit is not a building permit.
8. An undertaking submitted by the Owner is attached hereto as Appendix I and forms part of this temporary use permit.
9. This temporary use permit is not transferable.
10. This temporary use permit shall lapse on or before three years from date of issuance

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

Authorized Agent: Signature

Name (Please Print)

OR

Owner: Signature

Name: (Please Print)

APPENDIX I

TO THE CITY OF SURREY:

I, _____ (Name of Owner)

being the owner of _____
(Legal Description)

known as _____
(Civic Address)

hereby undertake as a condition of issuance of my temporary use permit to:

- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to the temporary use permit issued to me; and
- (b) restore the land described on the temporary use permit to a condition specified in that permit;

all of which shall be done not later than the termination date set out on the temporary use permit.

I further understand that should I not fulfill the undertaking described herein, the City or its agents may enter upon the land described on the temporary use permit and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended, and that any securities submitted by me to the City pursuant to the temporary use permit shall be forfeited and applied to the cost of restoration of my land as herein set out.

This undertaking is attached hereto and forms part of the temporary use permit.

(Owner)

(Witness)

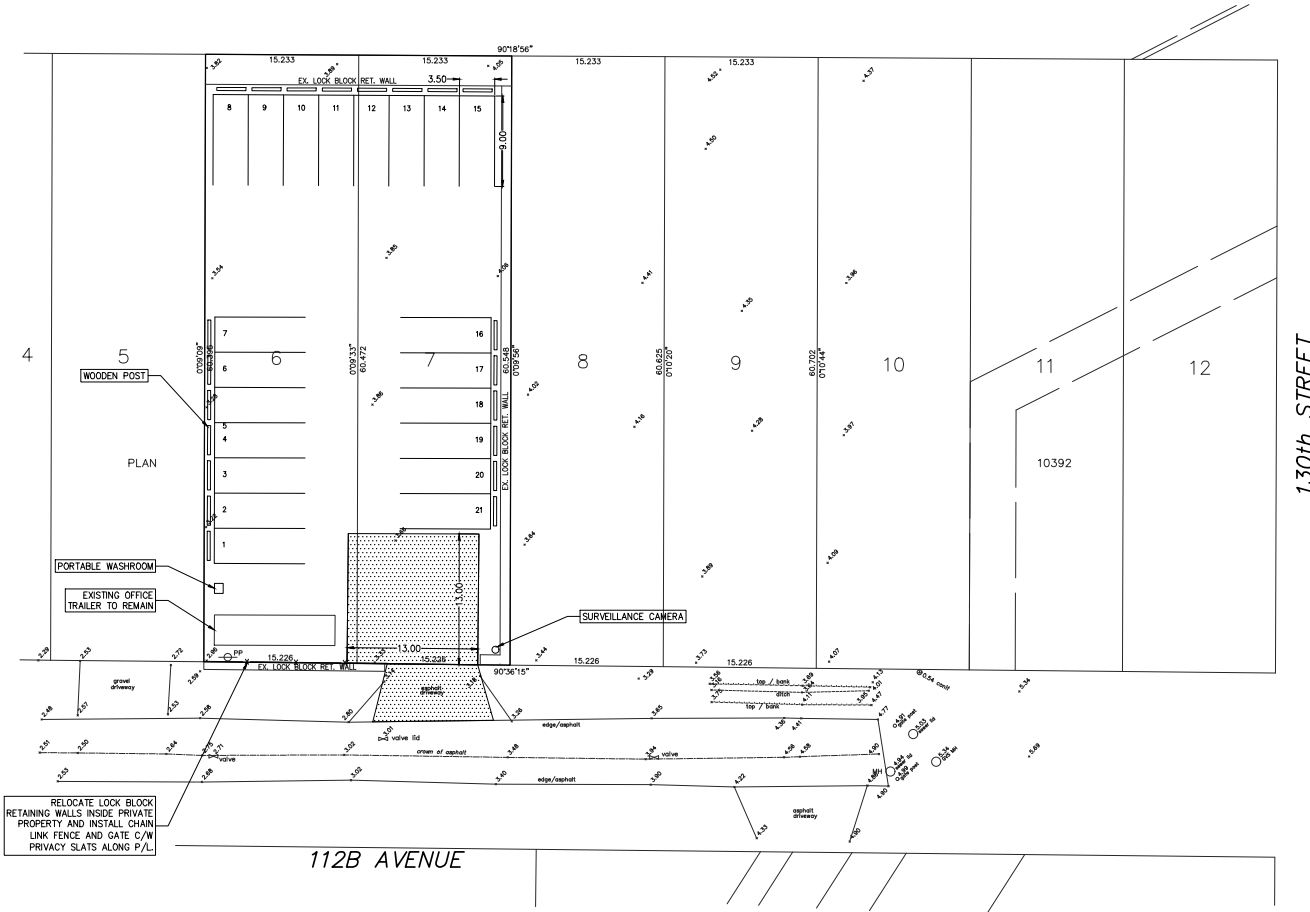


BENCHMARK & CONTROL
 ALL ELEV. ARE GEODETIC AND REFERRED TO MGN. NO. 5344
 XX
 ELEV. 30.295m

Schedule A

LEGAL DESCRIPTION OF PROPERTY
 LOTS 6 AND 7, SECTION 9, BLOCK 5 NORTH, RANGE 2 WEST, NWD, PLAN 10392.

TOPOGRAPHIC SURVEY PROVIDED BY DHALIWAL AND ASSOCIATES LAND SURVEYING INC.



NOTE:
 PRIOR TO ANY CONSTRUCTION THE CONTRACTOR IS TO
 VERIFY INVERTS & LOCATIONS OF EXISTING SERVICES
 AND NOTIFY THE ENGINEER OF ANY CONFLICTS

PRELIMINARY SUBMISSION
 NOT TO BE USED FOR CONSTRUCTION

No.	Date	Revision	LC	DC
1	2024/10/07	REVISED PER CITY COMMENTS	LC	DC
			Dr	Ch

CitiWest Consulting Ltd.
 No.101-9030 KING GEORGE BLVD., SURREY, BC, V3V 7Y3
 TELEPHONE 604-591-2213 FAX 604-591-5518
 E-MAIL: office@citiwest.com
 EGBC Permit to Practice #1001824



PRO MAX TRUCKING LTD.
 22854 - 82A AVENUE, SURREY, BC V3V 1J8, CELL: 778-552-2028, EMAIL: admin@promaxtrucking.com

TUP PLAN

TUP AT 12947 & 12955 - 112B AVENUE, SURREY, BC

Scale:	1:250	Mun. Proj. No.	7923-0365-00	Dwg. No.	1
Drawn:	LC	Mun. Dwg. No.			
Designed:	JK	Job No.	23-5001	Of	
Approved:		Date	DEC./2023	Revision	1

destroy all prints bearing previous number

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INTER-OFFICE MEMO

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Development Process Manager, Engineering Department**

DATE: **August 28, 2024**

PROJECT FILE: **7823-0365-00**

RE: **Engineering Requirements**

Location: 12947 112B Ave

TEMPORARY USE PERMIT

The following are to be addressed as a condition of issuance of the Temporary Use Permit:

- Construct road improvements from the site to the intersection of 129 Street to support truck turning movements. Provide adequate drainage for the road and Benkelman beam test report for pavement structure assessment on 112B Ave.
- Construct 9.0 m wide paved access, extend into the site for minimum one truck length.
- Reduced Pressure backflow preventer for premise isolation is required at property line.
- Implement on-site stormwater mitigation to meet pre-development conditions up to the 100-year storm event. There shall be no uncontrolled drainage onto adjacent properties.
- Provide on-site stormwater quality treatment and register associated covenant on title.

A Servicing Agreement may be required. Works and Services must be constructed and placed on final maintenance prior to issuance of the Temporary Use Permit.



Daniel Sohn, P.Eng.
Development Process Manager
BD

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7924-0239-00

Planning Report Date: October 21, 2024

PROPOSAL:

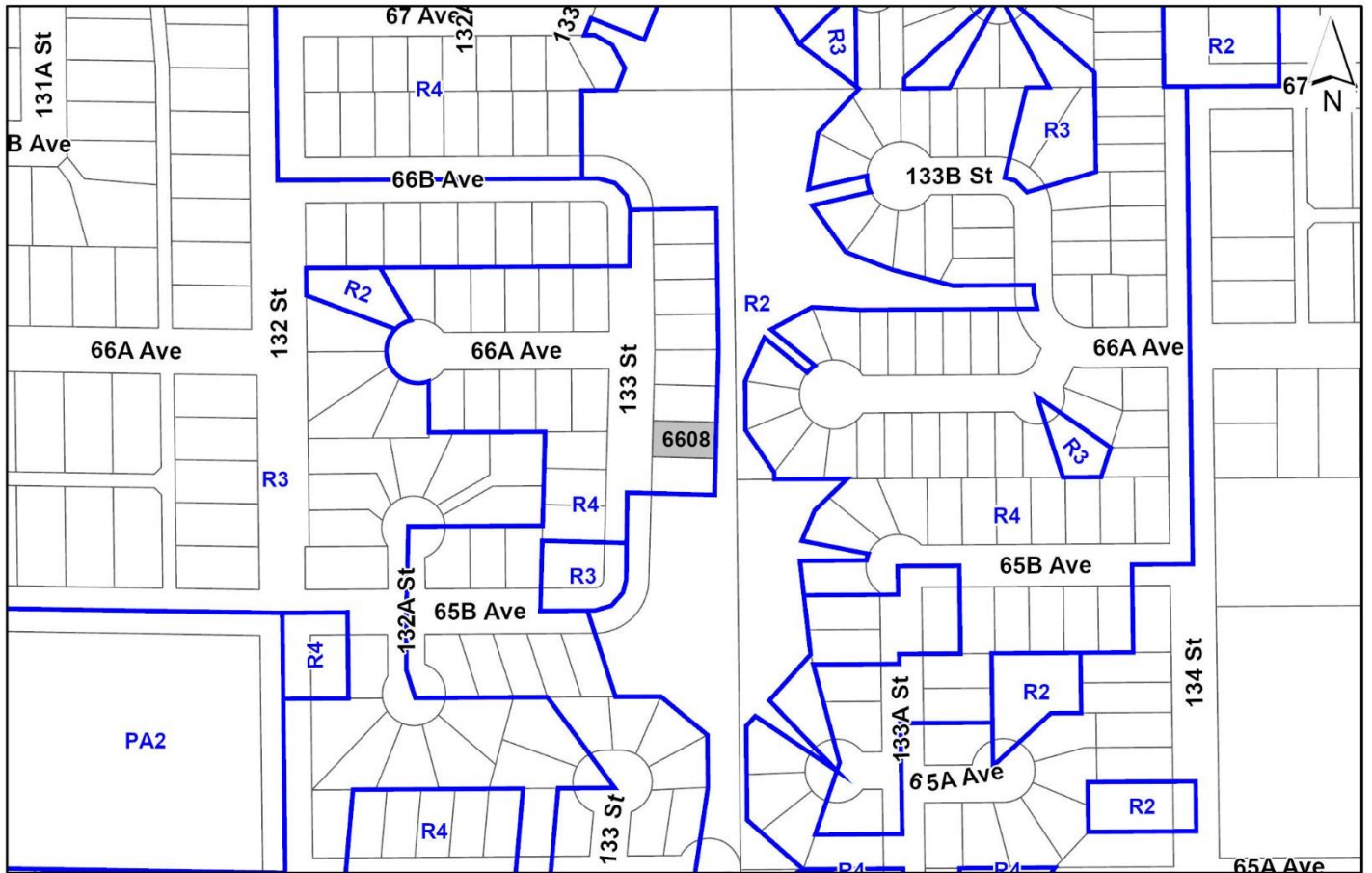
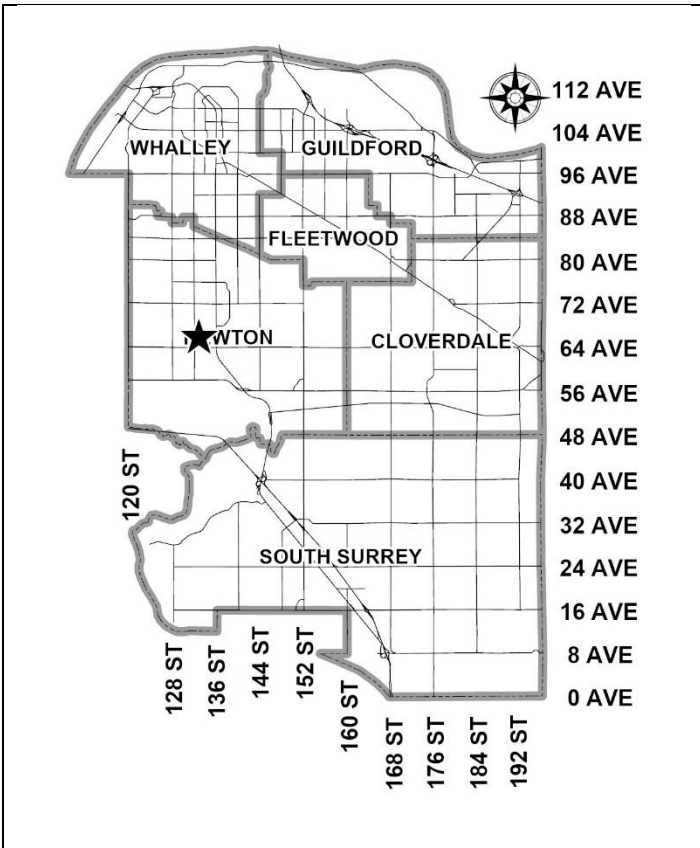
- **Development Variance Permit**

to allow the reduction of the required rear yard setback from 7.5 meters to 4.5 meters for an addition to the existing single-family dwelling.

LOCATION: 6608 - 133 Street

ZONING: R4

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to reduce the rear yard (east) setback of the of the Small Lot Residential (R4) Zone from 7.5 metres to 4.5 metres to accommodate an addition to the existing house.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Urban designation in the Official Community Plan (OCP).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed building form is appropriate for this part of Newton.
- The house will still have a functional rear yard space to the east side of the house.
- The proposed addition should have limited impact as the proposed addition is located adjacent to Pioneer Park.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7924-0239-00 (Appendix II) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum rear yard (east) setback of the R4 Zone from 7.5 metres to 4.5 metres to the principal building face to allow for an addition to the existing single-family dwelling.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Single Family Dwelling	Urban	R4
North:	Single Family Dwelling	Urban	R4
West (Across 133 Street):	Single Family Dwelling	Urban	R4
South:	Single Family Dwelling	Urban	R4
East:	City Park	Urban	R2

Context & Background

- The subject site is located at 6608 - 133 Street in Newton. The property is designated "Urban" in the Official Community Plan (OCP) and is currently zoned "Small Lot Residential Zone (R4)".
- The subject lot is 448 square metres in area and is directly adjacent to Pioneer Park to the east. There are existing single-family dwellings to the north and south and across 133 Street to the west zoned "Small Lot Residential Zone (R4)" and "Urban Residential Zone (R3)".
- The applicant began unpermitted construction of the home addition prior to submission of the subject Development Variance Permit application. Since the addition is not fully constructed, staff determined that inspections can still take place to ensure the extension complies with BC Building Code, should the proposed variance be granted.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant has requested a variance to reduce the rear yard setback requirements from 7.5 metres to 4.5 metres for the "Small Lot Residential Zone (R4)" to allow for an addition of the house into the rear yard.

	Existing
Lot Area	
Net Site Area:	448 square metres
Number of Lots:	1
Unit Density:	22.3 UPH

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The site is designated "General Urban" in the Regional Growth Strategy (RGS).
- General Urban areas are intended for residential neighbourhoods.
- The proposed single family residential development complies with the RGS designation for the site.

Official Community Plan

Land Use Designation

- The proposal complies with the "Urban" designation in the Official Community Plan (OCP) with a maximum density of up to 37 units per hectare. The expansion of the dwelling will increase the FAR but not increase the number of units on the lot. The existing density of 22.3 units per hectare is unchanged and is compliant with the R4 zone.

Zoning By-law

Setback Variances

- The applicant is requesting the following variances:
 - to reduce the minimum rear yard (east) setback of the "Small Lot Residential Zone (R4)" Zone from 7.5 metres to 4.5 metres to the principal building face to allow for an addition to the existing single family dwelling.
- The applicant is requesting the variance to accommodate an addition to the rear of the single-family dwelling. Without the proposed encroachment of 269 square feet into the 7.5 metre rear yard setback, the applicant has 88% of the potential allowable lot coverage.
- Despite the proposed variance, the lot will still have a functional rear yard space to the east side of the house.
- The proposed addition should have limited impact as the proposed addition is located adjacent to Pioneer Park.
- Staff support the requested variance to proceed for consideration.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Site Plan
Appendix II. Development Variance Permit No. 7924-0239-00

approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development

GS/cb

ZONING CALCULATIONS:
6608 133 Street, Surrey - Zone - R4

LOT AREA - 4820 SQFT / 448 SM
ALLOWED COVERAGE 50% - 2410.00 SQFT
PROPOSED COVERAGE: 1810.94 SQFT
ALLOWED FAR 266 SM CAP - 2363.20 SQFT
PROPOSED FAR: 2862.11 SQFT

EXISTING MAIN FLOOR - 812.50 SQFT
EXISTING GARAGE: 444.50 SQFT
PROPOSED PART - 429.47 SQFT
TOTAL MAIN FLOOR - 1686.47 SQFT
EXISTING UPPER FLOOR: 1175.64 SQFT
TOTAL FAR - 2862.11 SQFT

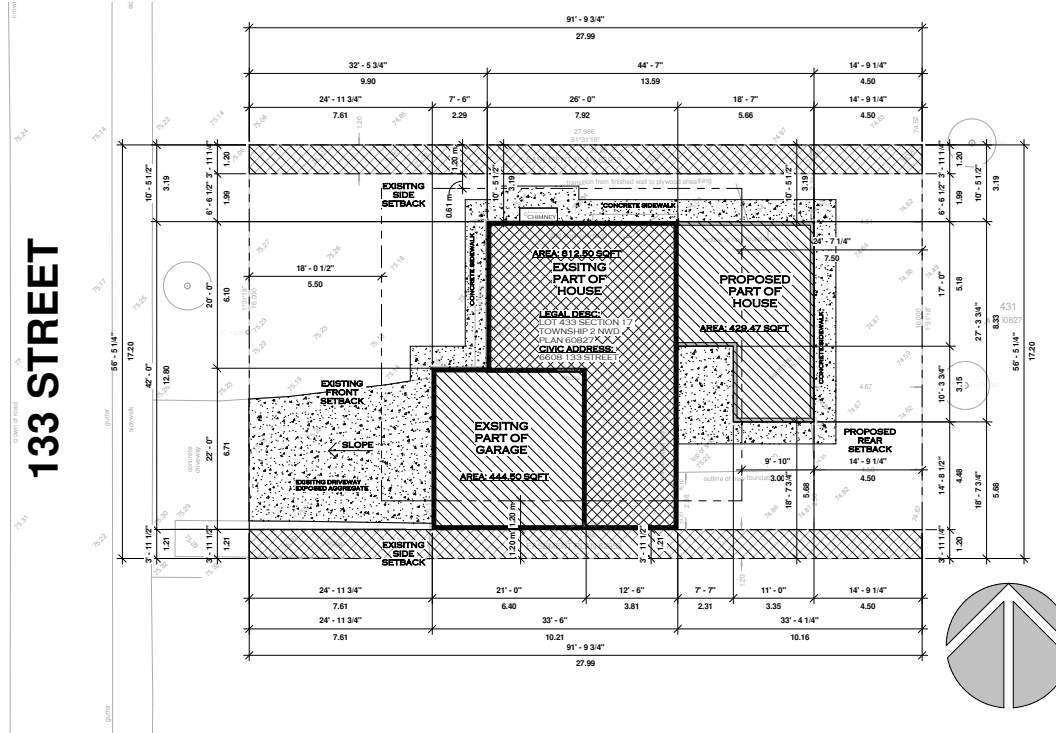
THESE PLANS CONFORM TO BCBC 2018
CONSTRUCTION SHALL FOLLOW LOCAL
BUILDING BY-LAWS ALONG WITH THESE
PLANS.

CONTRACTOR MUST CONFIRM ALL
DIMENSIONS PRIOR TO START OF
CONSTRUCTION.

THE DESIGNER ASSUMES NO LIABILITY FOR
ANY ERRORS AND OMISSIONS IN THESE
PLANS. IT IS THE BUILDER/OWNER'S
RESPONSIBILITY TO REVIEW AND VERIFY
THE WHOLE PLAN (i.e. ALL LEVELS,
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1 Site Plan
1/8" = 1'-0"



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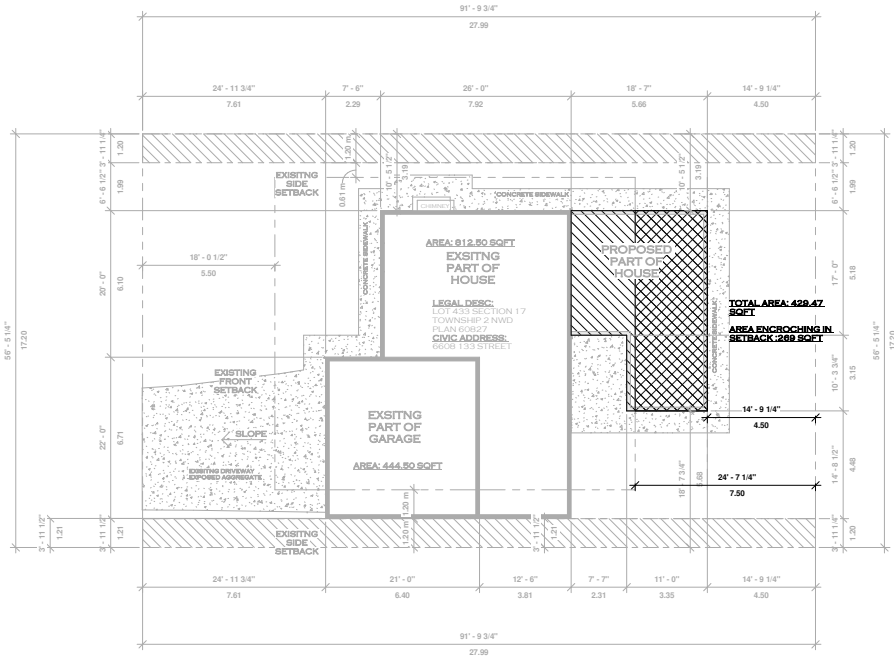
Harpreet Singh
604-700-9583
harpreetprmr256@gmail.com

6608 133St
Surrey, B.C.

SITE PLAN, NOTES & CALCULATIONS

Project number	PVDL-24-1053-RENO-HS
Project Date	11 JULY 24
EA Plan Review Date	11 JULY 24
Drawn by	HB
A1	
Scale	1/8" = 1'-0"

133 STREET



LOT AREA - 4820 SQFT / 448 SM
ALLOWED COVERAGE 50% - 2410.00 SQFT
PROPOSED COVERAGE: 1810.84 SQFT
ALLOWED FAR 266.9M CAR - 2863.20 SQFT
PROPOSED FAR : 2862.11 SQFT

EXISTING MAIN FLOOR - 812.50 SQFT
 EXISTING GARAGE - 444.50 SQFT
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Site Plan DVP
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Drawn by	HB
A1.1	
Scale	1/8" = 1'-0"

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7924-0239-00

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 002-640-881
Lot 433 Section 17 Township 2 New Westminster District Plan 60827
6608 - 133 Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F of Part 16 "Small Lot Residential Zone (R4)" to reduce the minimum rear yard (east) setback from 7.5 metres to 4.5 metres to the principal building face to allow for an addition to the existing single-family dwelling.
4. This development variance permit applies to only the portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

ZONING CALCULATIONS:
6608 133 Street, Surrey - Zone - R4

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DVP 7924-0239-00: to reduce the minimum rear yard (east) setback from 7.5 metres to 4.5 metres to the principal building face.

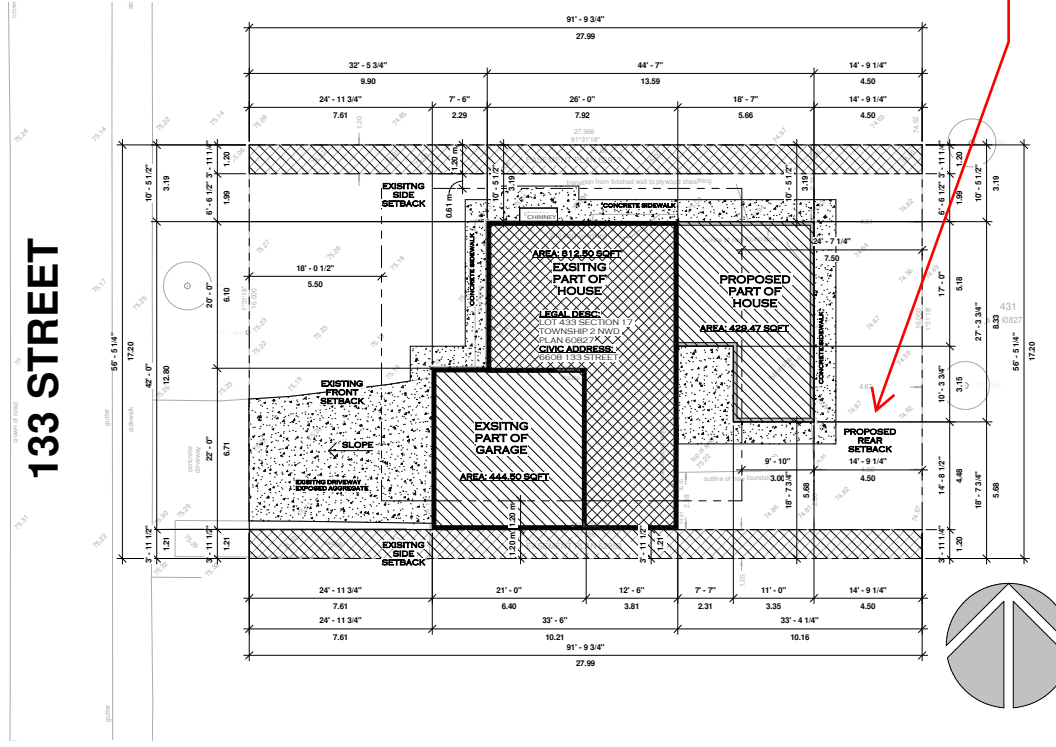
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DESIGNER
CERTIFIED PASSIVE HOUSE DESIGNER



CERTIFIED PASSIVE HOUSE TRADESPERSON

Harpreet Singh
604-700-9583
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6608 133St
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SITE PLAN, NOTES & CALCULATIONS

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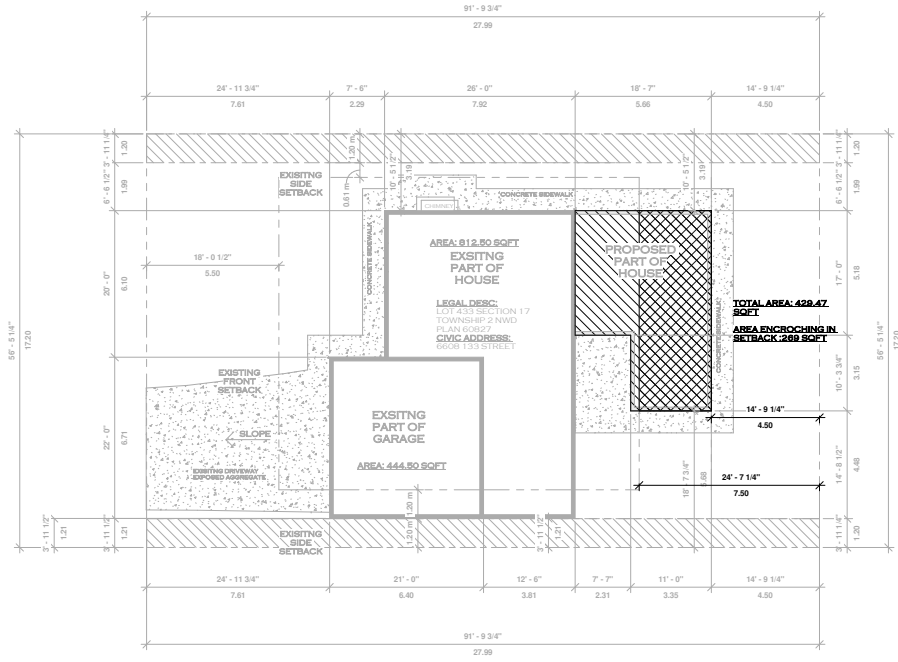
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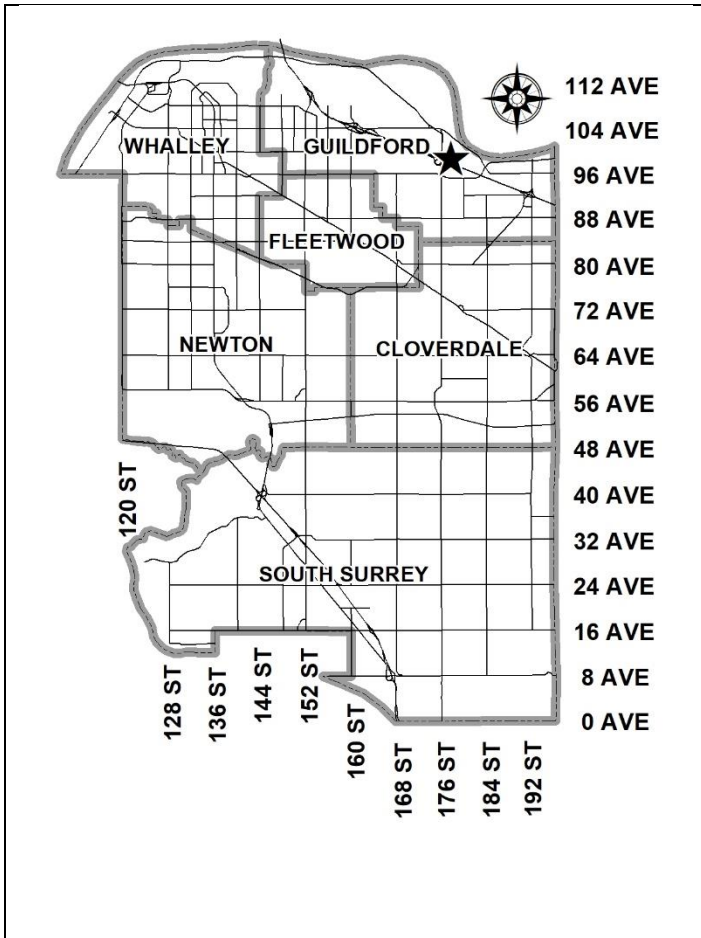
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**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7923-0214-00

Planning Report Date: October 21, 2024



PROPOSAL:

- **OCP Amendment** from Suburban to Urban
- **LAP Amendment** from Suburban Residential 2-4 UPA Gross, Urban Transition 4-5 UPA, Urban Residential 8-10 UPA and Low-Density Townhouse 12-15 UPA Gross to Townhouse 15-20 UPA Gross and to Proposed City Greenway
- **Rezoning** from RA to CD
- **Development Permit**

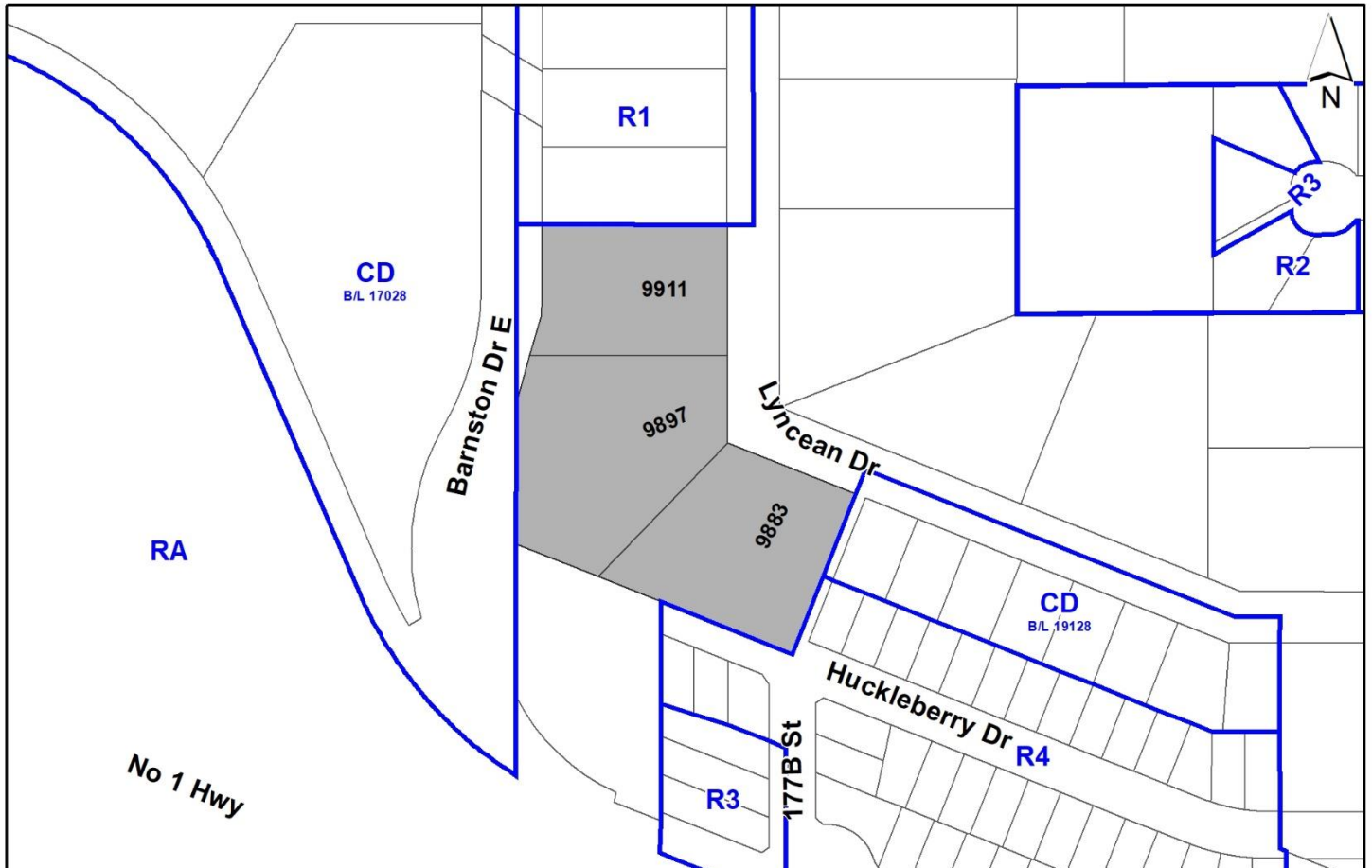
to permit the development of 55 townhomes.

LOCATION: 9883, 9897 and 9911- Lyncean Drive

ZONING: RA

OCP DESIGNATION: Suburban

LAP DESIGNATION: Suburban Residential 2-4 UPA Gross, Urban Transition 4-5 UPA, Urban Residential 8-10 UPA and Low-Density Townhouse 12-15 UPA Gross to Townhouse 15-20 UPA Gross



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) from Suburban to Urban
- Proposing an amendment to the Abbey Ridge Local Area Plan (LAP) from "Suburban Residential 2-4 UPA Gross", "Urban Transition 4-5 UPA", "Urban Residential 8-10 UPA" and "Low-Density Townhouse 12-15 UPA" to "Townhouse 15-20 UPA Gross".

RATIONALE OF RECOMMENDATION

- The proposal does not comply with the Suburban designation in the Official Community Plan (OCP). The application is proposing an OCP amendment to Urban to allow for a townhouse form under 20 units per acre (UPA).
- The proposal does not comply with the "Suburban Residential 2-4 UPA Gross", "Urban Transition 4-5 UPA", "Urban Residential 8-10 UPA" and "Low-Density Townhouse 12-15 UPA Gross" designations in the Abbey Ridge Local Area Plan (LAP). The application is proposing an amendment to the plan to "Townhouse 15-20 UPA Gross" and to "Proposed City Greenway" to allow for the proposed townhouse form and a future City Greenway along the north portion of the site.
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Abbey Ridge.
- The proposed density and building form are appropriate given the subject site is located directly across the street (Barnston Drive E) from a future Neighbourhood Commercial node.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The applicant has demonstrated community support for the proposal and area residents have also raised objections to the proposal. Bringing the proposal forward for the Public Hearing will allow an opportunity for residents to speak directly to Council regarding the level of support/opposition in the community for what is proposed.

-
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and traditional and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
 - The applicant has modified the proposal to address concerns raised by adjacent residents by providing additional tree retention, altering access to the site and incorporating a duplex and triplex style interface along Lyncean Drive to be sensitive to existing single-family neighbours.
 - The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.
 - The applicant is conveying a portion of the site to the City for a greenway connecting Lyncean Drive to Barnston Drive East.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to amend the OCP Figure 3: General Land Use Designations for the subject site from Suburban to Urban and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone the subject site from "Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7923-0214-00 generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) Approval from the Ministry of Transportation & Infrastructure;
 - (d) final approval from Trans Mountain given the presences of a statutory right-of-way located in the northeast corner of the property;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (g) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (h) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (i) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (j) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;

- (k) Conveyance of 687 square metres of land to the City without compensation along the north portion of the property to facilitate the delivery of a future greenway;
- (l) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department.
7. Council pass a resolution to amend the Abbey Ridge Local Area Plan (LAP) to redesignate the land from "Suburban Residential 2-4 UPA Gross", "Urban Transition 4-5 UPA", "Urban Residential 8-10 UPA" and "Low-Density Townhouse 12-15 UPA Gross" to "Townhouse 15-20 UPA Gross" and "Proposed City Greenway" when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	3 single family dwellings and a portion of a Trans Mountain Statutory Right-of-Way	Suburban Residential 2-4 UPA Gross, Urban Transition 4-5 UPA, Urban Residential 8-10 UPA and Low-Density Townhouse 12-15 UPA Gross	RA
North:	Single family dwelling and Trans Mountain Statutory Right-of-Way	Suburban Residential 2-4 UPA Gross	R1
East (Across Lyncean Drive):	Single family dwellings and Trans Mountain Statutory Right-of-Way	Future Neighbourhood Park	RA
South (Across Huckleberry Drive):	Vacant lot and Single family dwellings and lots	Urban Residential 8-10 UPA & Low Density Townhouse 12-15 UPA Gross	RA & R4
West (Across Barnston Drive East):	Mixed use buildings, under construction	Neighbourhood Commercial	CD (Bylaw No. 17028)

Context & Background

- The subject site includes three properties located at 9883, 9897, 9911 – Lyncean Drive in Abbey Ridge and is approximately 1.34 hectares in total area.
- The subject site is designated "Suburban" in the Official Community Plan (OCP), " Suburban Residential 2-4 UPA Gross", "Urban Transition 4-5 UPA", "Urban Residential 8-10 UPA" and "Low-Density Townhouse 12-15 UPA Gross " in the Abbey Ridge Local Area Plan and is currently zoned "Acreage Zone (RA)".

- There are three (3) existing single family dwellings on the three subject lots that will be demolished as part of the development.
- There is an existing Trans Mountain Statutory Right-of-Way (SROW) in north east corner of the subject site. As part of the development application, this SROW will be maintained and transferred on title on the proposed 10-metre wide greenway along the north portion of the subject site.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit the development of 55 townhouses units on a consolidated site (Lot A) in the Abbey Ridge Local Area Plan, the applicant is requesting the following:
 - **OCP Amendment** from Urban to Suburban;
 - **LAP Amendment** from Suburban Residential 2-4 UPA Gross, Urban Transition 4-5 UPA, Urban Residential 8-10 UPA and Low-Density Townhouse 12-15 UPA Gross to Townhouse 15-20 UPA Gross;
 - **Rezoning** from RA to CD (based on RM-15 and RM-30);
 - **Development Permit** for Form and Character; and
 - **Subdivision (Consolidation)** from three (3) lots to two (2).
 - Lot A will be created as a lot for townhouse development.
 - Lot B will be created as a lot for open space purposes (greenway).
- The following table provides development details for the proposal:

	Proposed
Lot Area	
Gross Site Area:	1.34 hectares
Road Dedication:	0.082 hectares
Undevelopable Area:	0.069 hectares
Net Site Area:	1.19 hectares
Number of Lots:	2 (Lot A and Lot B)
Building Height:	11.8 metres
Unit Density:	34.1 UPH Net / 41 UPH Gross / 16.57 UPA Gross
Floor Area Ratio (FAR):	0.62 Gross / 0.70 Net
Floor Area	
Total:	8,382.56 square metres
Residential Units:	
3-Bedroom:	48 units
4-Bedroom:	7 units
Total:	55 units

Referrals

Engineering:

The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II. (Eng comments still not rec'd)

School District:	<p>The School District has advised that there will be approximately 48 school-age children generated by this development, of which the School District has provided the following expected student enrollment.</p> <p>26 Elementary students at Bothwell Elementary School 14 Secondary students at Fraser Heights Secondary School</p> <p>(Appendix III)</p> <p>Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.</p> <p>The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by September 2027.</p>
Parks, Recreation & Culture:	<p>The closest natural area is Barnston Park and is 650 metres away, while the closest active park is located at Bothwell Elementary School 1.6 km away.</p>
Ministry of Transportation & Infrastructure (MOTI):	<p>Preliminary approval of the rezoning is granted by MOTI for one (1) year.</p>
Surrey Fire Department:	<p>No concerns. Comments provided are to be addressed as part of the future Building Permit Application.</p>
Trans Mountain:	<p>No concerns. Comments were provided that any work near the Right of Way of the pipeline would require a permit from Tran Mountain</p>

Transportation Considerations

- The application will provide approximately 824.5 square metres of road dedication.
 - 2.5 metres of dedication is required for Lyncean Drive
 - Huckleberry Drive will be expanded to complete the existing cul-de-sac bulb with a 6.5 metre dedication.
- Vehicular access to the proposed townhouse development is proposed from a driveway connection to Lyncean Drive. Previously, access was proposed from Huckleberry Drive, but was revised due to neighbourhood concerns of local traffic congestion.
- The proposed development includes a total of 128 parking stalls for 55 townhouse units, consisting of 110 resident parking spaces and 18 spaces for visitors, which complies with the Zoning By-law.
- Resident parking will be provided in fully enclosed side-by-side double garage for 100% of the units.

Parkland and/or Natural Area Considerations

- A 10-metre wide greenway along the north portion of the site will be dedicated as a lot (Lot B) under the subject application. The proposed greenway meets the requirements of the LAP to form a connection between a future City park and Barnston Drive.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is designated as "General Urban" in the Metro Vancouver Regional Growth Strategy (RGS). The "General Urban" designation is intended for residential neighbourhoods and centres. The proposed townhouse units comply with this designation.

Official Community Plan

Land Use Designation

- The proposal does not comply with the current "Suburban" designation of the subject site in the Official Community Plan (OCP). The Suburban designation allows for densities up to 10 units per hectare.
- An OCP amendment from Suburban to Urban is required to allow for a townhouse development with a proposed gross density of 41 units per hectare. The Urban designation allows for densities up to 49 units per hectare within established or existing residential neighbourhoods in exchange for provision of sufficient community amenities in accordance with approved City Council and Department policies.

Amendment Rationale

- The proposed "Urban" designation is consistent with the intended land uses in the Abbey Ridge LAP. The necessary OCP Amendments to facilitate the land uses and densities outlined in the Abbey Ridge LAP were anticipated to be undertaken through individual land development applications.
- Corporate Report No. R109 *Small-Scale Multi-Unit Housing: Zoning By-law Amendments Related to Provincial Housing Legislation* was brought forward to Council on June 10, 2024. The report outlines amendments to Surrey Zoning By-law, 1993, No. 12000, as amended, to allow small-scale multi-unit housing on existing single-family and duplex zoned lots in accordance with provincial housing legislation Bill 44. The proposed Zoning By-law Amendments will apply to the existing single-family neighbourhood surrounding the subject site.

- The proposed amendment will result in a townhouse form of development that will be subject to a Development Permit for Form and Character, allowing staff to regulate the overall form of the development, a requirement which is not in effect for small-scale multi-unit housing on single family lots.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character ensuring the townhouse development will feature a high quality design.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report.
- The applicant will be required to provide the per unit flat rate for the number of units above the Official Community Plan in order to satisfy the proposed amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.
- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Support compact and efficient land development that is consistent with Metro Vancouver's Regional Growth Strategy (OCP Policy A1);
 - Retain existing trees and natural features in existing neighbourhoods where possible, in order to preserve neighbourhood character and ecology (A3.4);
 - Support infill development that is appropriate in scale and density to its neighbourhood context and that uses compatible design to reinforce neighbourhood character (A3.5); and
 - Ensure new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods (B6).

Secondary Plans

Land Use Designation

- The proposal does not comply with the current "Suburban Residential 2-4 UPA Gross", "Urban Transition 4-5 UPA", "Urban Residential 8-10 UPA" and "Low-Density Townhouse 12-15 UPA Gross" designation of the subject site in the Abbey Ridge Local Area Plan (LAP).
- An LAP amendment to "Townhouse 15-20 UPA Gross" is required to allow for a townhouse development with a proposed gross density of 41 units per hectare (uph).

Amendment Rationale

- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.

- The applicant will be required to provide the per unit or per sq. ft. flat rate for the number of units or floor area above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.
- The proposed density and building form are appropriate for this part of Abbey Ridge, and will be regulated by a Development Permit. The siting of units and provision of off-street parking is better regulated through the Development Permit review process.

CD By-law

- The applicant proposes to rezone the subject site from "Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)".
- The applicant is proposing a "Comprehensive Development Zone (CD)" to develop 55 townhouse units on the subject site (Lot A). The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 15 Zone (RM-15)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-15 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-15 Zone (Part 22)	Proposed CD Zone (Lot A)
Unit Density:	37 UPH	34.1 UPH Net / 41 UPH Gross / 16.57 UPA Gross
Floor Area Ratio:	0.70	0.70 Net / 0.62 Gross
Lot Coverage:	45%	33.6%
Yards and Setbacks	7.5m from all lot lines	Front (east): 4.5 m Rear (west): 4.5 m Side (north): 3.0 m Side (south): 3.0 m
Principal Building Height:	11 m	11.8 m
Accessory Building Height:	4.5 m	10.3 m
Permitted Uses:	Ground-oriented multiple unit residential buildings Accessory Uses: Child Care centres	Ground-oriented multiple unit residential buildings
Indoor Amenity:	3.0 sq. m per dwelling unit	The proposed 165.45 m ² meets the Zoning By-law requirement.
Outdoor Amenity:	3.0 sq. m per dwelling unit	The proposed 174.91 m ² meets the Zoning By-law requirement.
Parking (Part 5)		Proposed
Residential Ground-Oriented:		110
Residential Visitor:		18 (6 required)
Total:		128
Residential Visitor (Bicycle):		6

- The permitted unit density has increased from 37 units per hectare (uph) to 41 uph gross, (34.1 uph net) to match the proposed density of development. The proposed density requires an amendment to the OCP designation from Suburban to Urban.
- Child care centres have been eliminated as a proposed accessory use in the CD Zone as one is not proposed as part of this project.
- The building setbacks have changed from 7.5 metres from all lot lines in the RM-15 zone to 4.5 metres from the east front yard, 4.5 metres from the west rear yard, 3.0 metres from the north side yard, and 3.0 metres from the south side yard in the CD Zone.
- The permitted building height has increased from 11 metres in the RM-15 zone to 11.8 metres in the CD Zone.
- The proposed parking complies with the minimum requirement, and visitor parking exceeds the minimum required.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2024, under Corporate Report No. Ro46;2024.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,227.85 per new unit.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation.
- The applicant will be required to provide the per unit flat rate for the number of units above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption. The current fee for Abbey Ridge is \$2,380.81 per unit for townhouses.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects. A fee update has been approved in April 2024, under Corporate Report No. Ro46; 2024.
- The applicant will be required to contribute \$1,113.92 per new lot to support the development of new affordable housing.

- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on April 10, 2024, and the Development Proposal Signs were installed on March 28, 2024. Staff received 10 responses from neighbouring residents - 2 requesting information, 1 expressing support, and 7 expressing opposition to the proposed development. A summary of the comments received are as follows (*staff comments in italics*):
 - Two (2) residents contacted City staff asking for information and clarification on the proposed development.
 - One (1) resident expressed support for the proposed development. Comments included support for higher density development at this location and that it would provide more affordable housing options to the community. The resident also expressed the proposed development would create jobs and stimulate local businesses.
 - Seven (7) residents expressed opposition to the proposed townhouse development locating within an established single-family suburban neighbourhood. Residents expressed concern with how the proposed development would impact their quality of life and neighbourhood character. Their comments are summarized as follows:
 - The residents expressed concern with how the proposed development will impact local traffic. Residents expressed concern regarding the impact to supply of on street parking in the neighbourhood and level of congestion that would result on local roads. Some residents noted that the site is not in close proximity to any transit services and such future residents will be vehicle dependant and forced to drive everywhere. Additionally, residents are concerned that visitor parking will be accommodated on-street and on-site parking will not be adequate.

(The applicant is proposing to meet the residential parking requirements. Each townhouse unit is proposed to have a side-by-side double car garage.

The applicant is proposing to exceed the visitor parking requirements for ground-oriented multi-unit residential buildings with 18 visitor parking spaces to be provided within the proposed townhouse development (exceeding the 6 required spaces).

Unlike with the proposed townhouse development, with small-scale multi-unit housing staff will not have the same ability to regulate visitor parking spaces. Proposed parking regulations for small-scale multi-unit housing only set requirements for parking spaces per dwelling unit; there are no requirements associated with residential visitor parking.)

- Additionally, residents have concern over the high-density development resulting in overcrowding in the neighbourhood and concern with the capacity for existing infrastructure and amenities (school, roads, police, hospitals, community services, commercial spaces) to accommodate the proposed increase in density associated with the project.

(As part of the development application review process staff assess the capacity of existing infrastructure, including roads, services, parks and schools, to accommodate the proposed density and its associated impacts. Through the review and referral process staff will outline any requirements or conditions that the applicant will need to meet if they proceed with the project through to construction, such as servicing upgrades, road improvements, or fees and charges.

Development applications are typically subject to a number of fees and charges that help to fund infrastructure as well as community amenities. For example, community amenity contributions help offset the impacts of growth and help fund new community facilities and services, such as parks, libraries, fire and police facilities, public art and affordable housing. Development cost charges are levied on new development to help fund the costs of expanding and upgrading City roads, water, drainage and sewer services, and for parkland acquisition or improvement.)

- Residents also expressed concern regarding safety impacts from the proposed development along Huckleberry Drive and Lyncean Drive. The proposed access from Huckleberry Drive will increase safety issues for local residents, including children who play in this area. Additionally, access from Huckleberry Drive will increase congestion along this local road.

(The proposed townhouse development will have one pedestrian and driveway connection to local roads. The townhouse development includes a significant pedestrian pathway network with lighting and ground floor rooms, as such there will be many sight lines to the street and within the development itself.

The applicant has revised their site plan to relocate access from Lyncean Drive to address concerns over the previously proposed access from Huckleberry Drive.)

- Residents also expressed concern over environmental impacts from converting suburban areas to townhouse developments through loss of greenspace resulting in long-term consequences on our local ecosystem, and increased harm to public health.

(The applicant is proposing to retain a large stand of trees along the south west area of the proposed townhouse development, separate from the outdoor amenity area.

The proposed tree retention complies with OCP guidelines advising that development should look to retain existing trees and preserve natural features where possible in order to preserve neighbourhood character.

Tree retention opportunities will be more challenging with small-scale multi-unit housing; such development provides smaller building setbacks and additional driveway and servicing connections.)

- Residents also expressed concern over lack of parks in the area versus the amount of development taking place.

(There will be a new park designed and constructed directly across Lyncean Drive from the subject development application as per the Abbey Ridge Land Use Plan. The City of Surrey is working to acquire the required lots to transform this space into a neighbourhood park for all residents to enjoy.)

- Staff have also received a petition in opposition to the proposed development signed by 189 residents expressing strong opposition to the proposed townhouse development.
 - The petition states that residents strongly oppose the proposed townhouse development as it does not fit into the character of their neighbourhood. They state that the townhome proposal is not appropriate to be located within this neighbourhood context as it will result in overcrowding, increased traffic congestion and parking issues, environmental impacts and overall decrease the quality of life and community well-being of the area.
- In addition, the subject development application was reviewed by the Fraser Heights Community Association (FHCA) which provided the following comments (*staff comments in italics*):
 - The FHCA supports that position of the neighbourhood who have come out in opposition to the proposed townhouse development and have similar concerns as residents.
 - The FHCA requested to meet with the developer to discuss alternative development options to address neighbourhood concerns.
 - Additionally, the FHCA requested a Public Information Meeting to be held by the developer to gain public feedback and ensure neighbourhood concerns are addressed by the development.
- The applicant has provided 71 signatures expressing support for the proposed development, many from outside the immediate neighbourhood.

Public Information Meeting

- The applicant held a public information meeting (PIM) to present the proposed development plans and gain feedback from the community. A total of 39 individuals recorded their attendance at the PIM and a total of 32 comment sheets were submitted. A staff representative from the Planning and Development Department was in attendance at the PIM. Below is a summary of the nature of the comments provided:
 - 23 residents expressed support for the proposal. Comments expressed in support included:
 - Good design and layout,
 - Good affordable housing, and
 - Good for growth of the area.
 - Seven (7) residents expressed opposition to the proposal. Comments expressed in opposition included:
 - Concerns about density and overcrowding in the area,
 - Concerns about the access from Huckleberry Drive,
 - Concerns about traffic and parking,
 - Concerns of lack of amenity in the area, and
 - Concerns about school capacity.
- The developer took the feedback from the community and revised their layout with access from Lyncean Drive instead of Huckleberry Drive to reduce congestion and ensure safety along this local road.

- Should the proposal be supported by Council, then the application will be presented at a Public Hearing where residents, both in favour and in opposition, can express their views directly to Council on the application.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Abbey Ridge Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Abbey Ridge Local Area Plan (LAP).
- The proposed 55-unit townhouse development consists of three-storey townhouse units in either a drive under or walk out condition. All proposed townhouse units are ground-oriented and provide a variety of housing choices for families.
- The drive under units are proposed to have three bedrooms on the top floor, an open concept living and kitchen space on the middle floor, and garage with additional flex space on the ground floor. These units have a proposed floor area (including garages) of approximately 217 square metres (2,336 sq. ft).
- The walk out units are proposed to have four bedrooms with an adaptable floor plan incorporating primary bedrooms on the main floor. The unit layouts will include two bedrooms and a loft area on the top floor, a primary bedroom and open concept living and kitchen space on the main (second) floor, and a fourth bedroom, lounge and office space located in the basement/walk out level. These units, located along the east side of the site, include basements with walk-outs, working with the natural grading of the site, and have a proposed floor area (including garages and basements) of 286 square metre (3,085 sq. ft) to 288 square metre (3,099 sq. ft).
- All units are proposed to have side-by-side double car garages. Residential visitor parking spaces have been distributed throughout the site for convenience.
- The buildings are proposed with a coordinated colour scheme, light and dark. The buildings are proposed with a typical west coast craftsman theme, with large windows and gable roofs. Building materials include fibre cement panels, horizontal plank siding and board and batten siding in shades of white ("arctic white"), dark grey ("aged pewter"), light brown ("cork") and brown ("cedar"), with black trim and dark shingled roofs. Unit front doors are proposed with solid black.
- The applicant has worked with staff to resolve the following issues:
 - Incorporate duplex and triplex style units along Lyncean Drive to achieve single family character in this neighbourhood;
 - Alter site access from Huckleberry Drive to Lyncean Drive to reduce traffic congestion along Huckleberry Drive; and
 - Accommodate additional tree retention within the site.

Landscaping

- The proposed landscaping for the site includes a centrally located outdoor amenity space, and significant landscape buffers along the north and west property lines.
- The development is also incorporating a large stand of mature trees for retention in addition to the proposed outdoor amenity space for residents to enjoy.
- The individual townhouse units will have landscaped yards, utilizing a variety of trees and shrubs, and access to private patio spaces.

Indoor Amenity

- The required indoor amenity space is 165 square metres, at a rate of 3.0 square metres per unit. The applicant is proposing to provide 168 square metres of programmable outdoor amenity space, meeting the minimum requirement.
- The applicant is proposing to provide the indoor amenity space as a two-storey indoor amenity building located in the east area of the site, across an internal strata lane from the main outdoor amenity space.
- The indoor amenity building includes, on the first floor, an open-concept lounge with kitchen facilities, an accessible washroom and a games/theatre room, while the second floor includes a lounge and kitchen area, a washroom, and a games/theatre room. The building includes a roof overhang to provide some shading and cover for a small outdoor amenity courtyard.

Outdoor Amenity

- The required outdoor amenity space is 165 square metres, at a rate of 3.0 square metres per unit. The applicant is proposing to provide 175 square metres of programmable outdoor amenity space, exceeding the minimum requirement.
- The outdoor amenity space is separated into two distinct areas:
 - an central amenity courtyard, located across an internal strata lane from the indoor amenity building, which includes a variety of outdoor seating options and places for outdoor dining; and
 - an outdoor patio area connected to the indoor amenity building.
- In addition to this there is a 1,655 square metre area for tree protection where 75 mature trees are being retained to provide additional outdoor amenity to the residents.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include resolution of urban design issues resulting from detailed coordination with architectural, landscape and civil designs.
- The applicant has agreed to resolve any outstanding comments prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Kelly Koome, ISA Certified Arborist of Koome Urban Forestry Ltd. prepared an Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal. A detailed list of the proposed tree retention and removal by tree species can be found in Appendix IV.
- All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Table 1: Summary of Proposed Onsite Tree Preservation by Tree Species:

	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)	15	8	7
Deciduous Trees	4	1	3
Coniferous Trees	137	94	43
Onsite Tree Totals	156	103	53
Onsite Replacement Trees Proposed	214		
Total Onsite Retained and Replacement Trees	267		

- The Arborist Assessment states that there are a total of **156** bylaw protected trees on the site. Additionally, there are **0** bylaw protected offsite trees and **53** bylaw protected City trees within proximity of the proposed development. The applicant proposes to retain **53** onsite trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading. Additionally, **1** of offsite tree is proposed for removal and **25** City trees are proposed for removal.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of **214** replacement trees on the site. Since the proposed **214** replacement trees cannot be accommodated on the site, the proposed deficit of **214** replacement trees will require an estimated cash-in-lieu payment of \$117,700, representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees will be planted on Lyncean Drive, Huckleberry Drive and Barnston Drive. This will be determined by the Engineering Department during the servicing design review process.

- The new trees on the site will consist of a variety of trees including Korean Fir, Japanese Maple, Frans Fontaine European Hornbeam, Eastern Redbud, Green Arrow Weeping Nootka Cypress, Pink Flowering Dogwood, Purple Fastigiata Beech, Oyama Magnolia (White), Persian Ironwood, Blue Mist Blue Spruce, Amanogawa Cherry and Whitebeam Mountain Ash.
- In summary, a total of 267 trees are proposed to be retained or replaced on the site with an estimated contribution of \$117,700 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix V.	NCP Plan Amendment Abbey Ridge Local Area Plan
Appendix VI.	OCP Redesignation Map

approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development

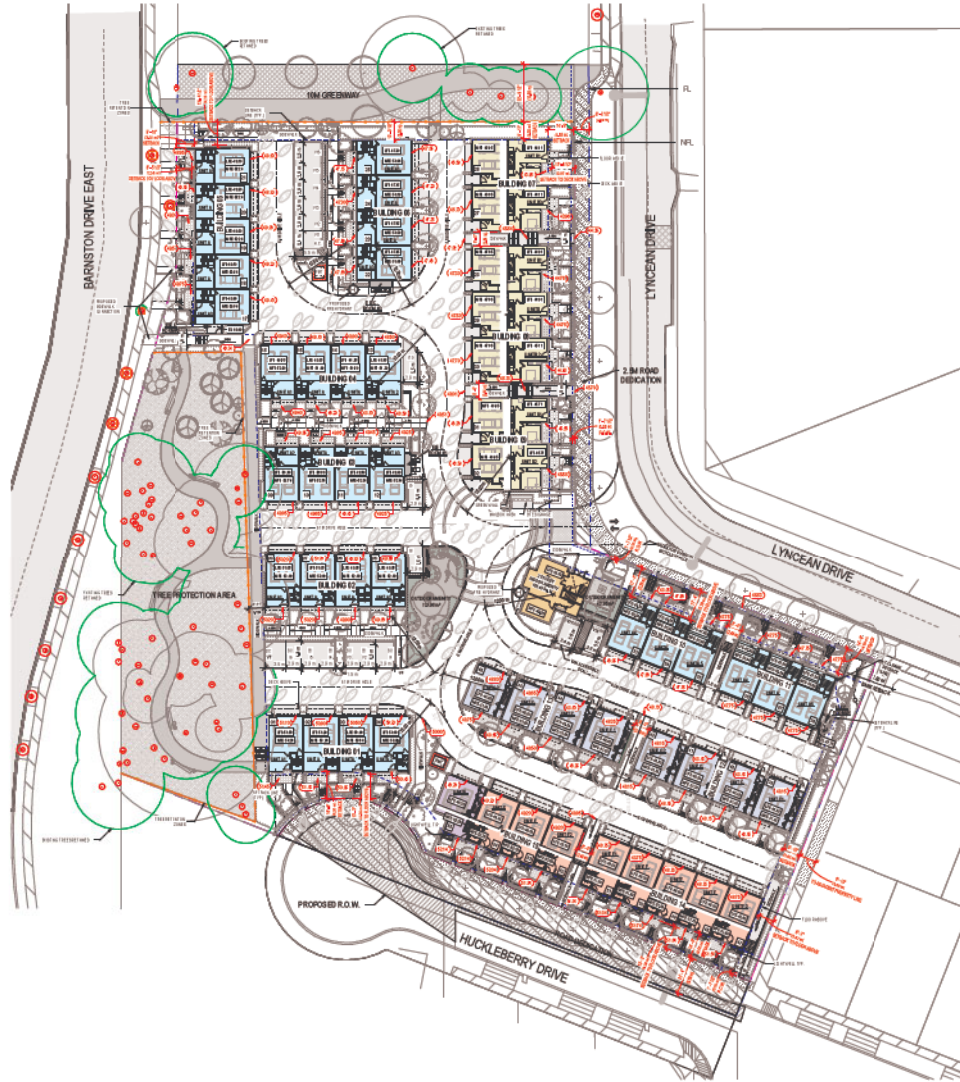
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55 UNIT TOWNHOUSE DEVELOPMENT

9883/ 9897/ 9911 LYNCEAN DRIVE



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Interior Design
and Planning Ltd
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Vancouver, BC Canada V6J 2J8
Tel: 604.276.7449
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LEGEND

- ELEC. ROOM #1
- ELEC. ROOM #2
- ELEC. ROOM #3
- ELEC. ROOM #4
- INDOOR AMENITY
- OUTDOOR AMENITY
- UNIT A
- UNIT A1
- UNIT A2
- UNIT A3
- UNIT A4
- UNIT A5
- UNIT A6
- UNIT B
- UNIT B1
- UNIT B2
- UNIT C
- UNIT C1
- UNIT C2
- UNIT E
- UNIT F
- UNIT F1
- UNIT F2
- TREE PROTECTION ZONES



1 SITE PLAN
SCALE: 1:400

NO.	DESCRIPTION	STATUS	REVISION
4	3046947 ISSUED FOR DP SUBMISSION		
3	3046947 ISSUED FOR DP SUBMISSION		
2	3046947 DP PRELIMINARY		
1	3046947 ISSUED FOR CITY REVIEW		
REV.	1/2/2024	REVISED LAYOUT/SCALE	REVISED

DATE: 2024-05-20

PROJECT STAMP



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PROJECT
55 UNIT TOWNHOUSES
8883, 8887, AND 8911 LYNCEAN DRIVE, SURREY, B.C.

DRAWING TITLE
SITE PLAN

DRAWING ISSUE
ISSUED FOR DP SUBMISSION

PROJECT NO. 722501	PLAT DATE 06-17-2024	DRAWN As Indicated	REVIEWED
DRAWING NO. A-1.0	REVISION 4		



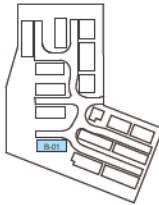
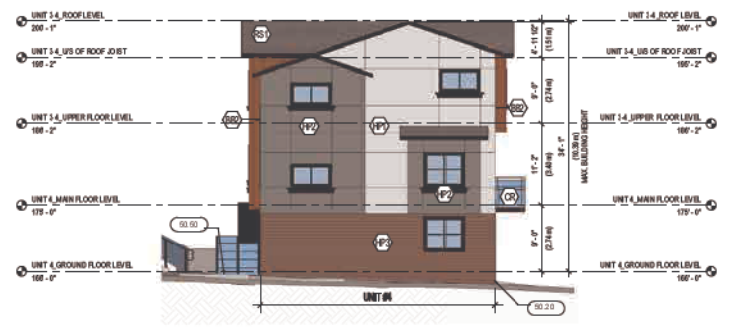
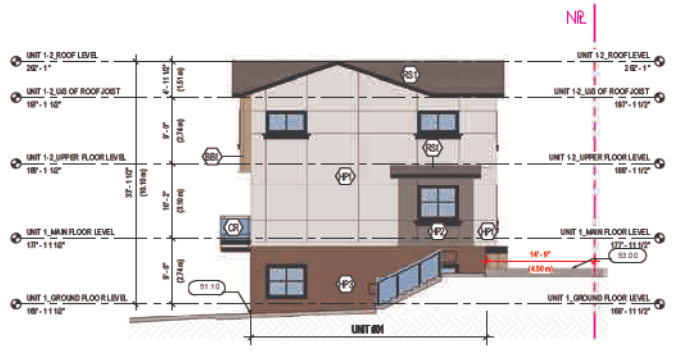
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and Planning Ltd

9011m of Draytonville Lake, #10
Vancouver, BC Canada V6L 2C8
Tel: 604.266.7649 Fax: 604.266.7649
www.kasian.com

MATERIAL LEGEND :

MATERIAL	COLOR	
CB	BOARD & BATTEN SIDING - CORK	CORK
CC	BOARD & BATTEN SIDING - CEDAR	CEDAR
CP	HARDEPANEL - PRY REGLET	WHITE
CP2	HARDEPANEL - PRY REGLET	AGED PINE/TER
CP3	HARDEPANEL - PRY REGLET	BROWN
CS	ASPHALT SHINGLE ROOF	BLACK
CT1	6" TRIMS	BLACK
CT2	6" TRIMS	GRAY
CD	GARAGE DOOR PANEL	BLACK
CP4	HARDEPANEL	BLACK
CR	ALUMINUM FRAME GUARDRAIL C/W TEMPERED GLASS - POWDERED COATED	RAL 9005 COLOUR, BLACK GLASS: TRANSPARENT

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMITS	2024-05-20		
2	ISSUED FOR PRELIMINARY REVIEW			
3	ISSUED FOR PERMITS			
4	ISSUED FOR SUBMISSION			
5	ISSUED FOR CITY REVIEW			
6	ISSUED FOR APPROVAL			



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PROJECT
55 UNIT TOWNHOUSES
8833, 8887, AND 8911 LYNDEN DRIVE, SURREY, B.C.

DRAWING TITLE
BUILDING - 1 COLORED ELEVATIONS

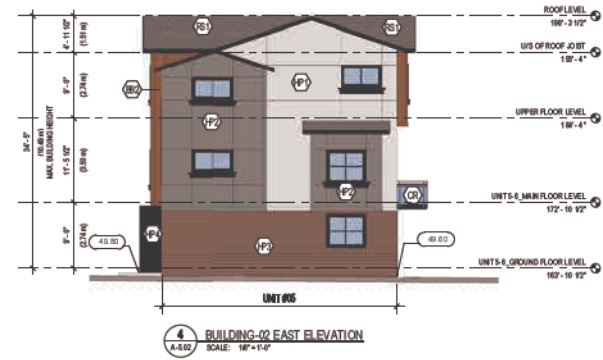
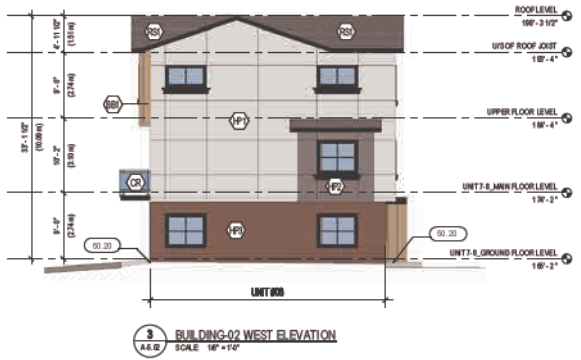
DRAWING ISSUE
ISSUED FOR DP SUBMISSION

PROJECT NO.	722501	DATE	06-17-2024	DRAWN	
DRAWING NO.	A-5.01	SCALE	As Indicated	REVIEWED	
					REVISION
					4

MATERIAL LEGEND :

MATERIAL	COLOR	
1001 BOARD & BATTEN SIDING - CORK	CORK	
1002 BOARD & BATTEN SIDING - CEDAR	CEDAR	
1101 HARDEPANEL - FRY REGLET	WHITE	
1102 HARDEPANEL - FRY REGLET	AGED PEWTER	
1103 HARDEPANEL - FRY REGLET	BROWN	
1201 ASPHALT SHINGLE ROOF	BLACK	
1301 6" TRIMS	BLACK	
1302 6" TRIMS	GRAY	
1401 GARAGE DOOR PANEL	BLACK	
1402 HARDEPANEL	BLACK	
1501 ALUMINUM FRAME GUARDRAIL C/W TEMPERED GLASS - POWDER COATED	RAILING COLOUR: BLACK GLASS: TRANSPARENT	

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



KEY PLAN
SCALE: N.T.S.

NO.	DESCRIPTION	STATUS	DATE
1	ISSUED FOR PERMITS	ISSUED	2024-05-20
2	ISSUED FOR PRELIMINARY	ISSUED	2024-05-20
3	ISSUED FOR CITY REVIEW	ISSUED	2024-05-20
4	ISSUED FOR SUBMIT	ISSUED	2024-05-20

CHECKLIST

PROJECT STAMP

SEAL



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PROJECT

55 UNIT TOWNHOUSES
8833, 8837, AND 8911 LYNEAN DRIVE, SURREY, B.C.

DRAWING TITLE
BUILDING - 2 COLORED ELEVATIONS

DRAWING ISSUE
ISSUED FOR DP SUBMISSION

PROJECT NO.	PLAT DATE	DRAWN
722501	06-17-2024	
DRAWING NO.	SCALE	REVIEWED
A-5.02	As Indicated	



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and Planning Ltd

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www.kasian.ca

MATERIAL	COLOR	
1001 BOARD & BATTEN SIDING - CORK	CORK	
1002 BOARD & BATTEN SIDING - CEDAR	CEDAR	
4101 HARDEPANEL - FRY ROULET	WHITE	
4102 HARDEPANEL - FRY ROULET	AGED PINE/TER	
4103 HARDEPANEL - FRY ROULET	BROWN	
4201 ASPHALT SHINGLE ROOF	BLACK	
4301 6" TRIMS	BLACK	
4302 6" TRIMS	GRAY	
4401 GARAGE DOOR PANEL	BLACK	
4402 HARDEPANEL	BLACK	
4501 ALUMINUM FRAME GUARDRAIL C/W TEMPERED GLASS - POWDERED COATED	RAL 9005 COLOUR BLACK GLASS: TRANSPARENT	

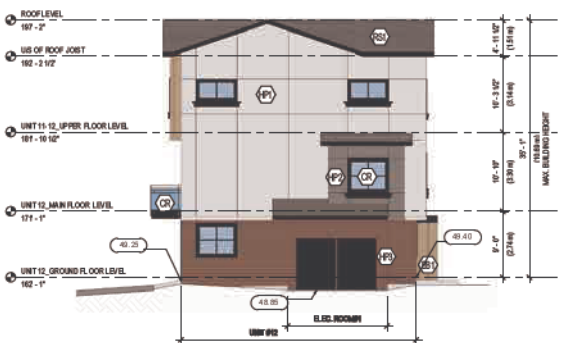
NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



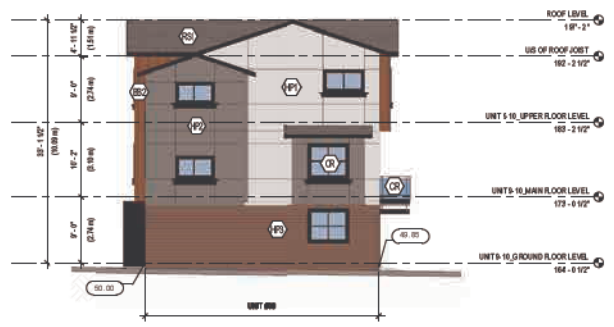
1 BUILDING-03 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



2 BUILDING-03 NORTH ELEVATION
SCALE: 1/8"=1'-0"



3 BUILDING-03 EAST ELEVATION
SCALE: 1/8"=1'-0"



4 BUILDING-03 WEST ELEVATION
SCALE: 1/8"=1'-0"

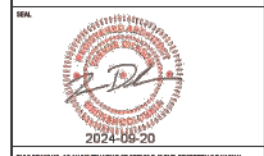


KEY PLAN
SCALE: N.T.S.

NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR CITY REVIEW			
2	FOR PRELIMINARY			
3	ISSUED FOR PRELIMINARY			
4	ISSUED FOR PERMITS			

CONTRACT NO. 2024-05-20

PROJECT STAMP



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PROJECT

55 UNIT TOWNHOUSES
8833, 8837, AND 8811 LYNDEN DRIVE, SURREY, B.C.

DRAWING TITLE
BUILDING 03 - COLORED ELEVATIONS

DRAWING DATE
ISSUED FOR DP SUBMISSION

PROJECT NO. 722501 **PLANT DATE** 06-17-2024 **DRAWN**

DRAWING NO. A-5.03 **SCALE** As Indicated **REVIEWED**

REVISION 4



1 BUILDING-4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

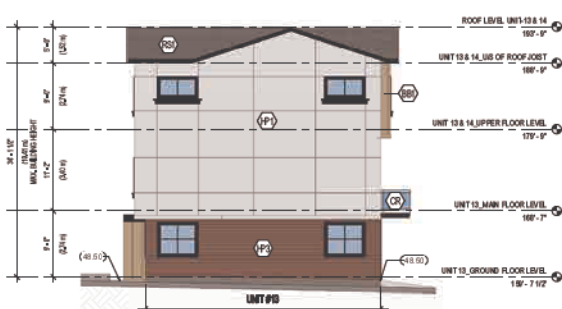
MATERIAL LEGEND :

MATERIAL	COLOR
B01	CORK
B02	CEDAR
W01	WHITE
W02	AGED PEWTER
W03	BROWN
W04	BLACK
W05	BLACK
W06	GRAY
W07	BLACK
W08	BLACK
W09	PAINTING COLOUR BLACK GLASS TRANSPARENT

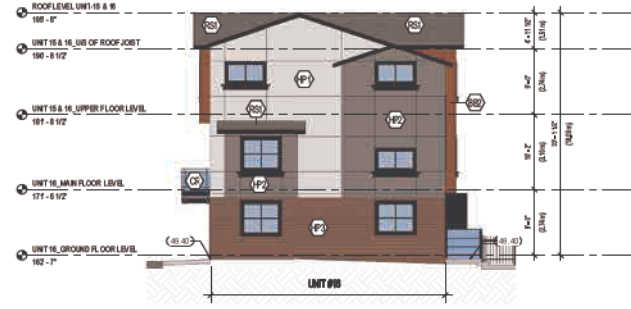
NOTE: COLOURS FROM SUPPLIER VENDOR UNLESS NOTED



2 BUILDING-4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING-4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING-4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



KEY PLAN
SCALE: N.T.S.

4	20240517	ISSUED FOR DP SUBMISSION		
3	20240517	ISSUED FOR PRELIMINARY		
2	20240517	FOR PRELIMINARY		
1	20240518	ISSUED FOR CITY REVIEW		
REV.	1	17/12/2023	REVISION DESCRIPTION	FOR REVIEW

FOR MP STAMP

SEAL



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PROJECT
55 UNIT TOWNHOUSES
8833, 8887, AND 8911 LYNDEN DRIVE, SURREY, B.C.

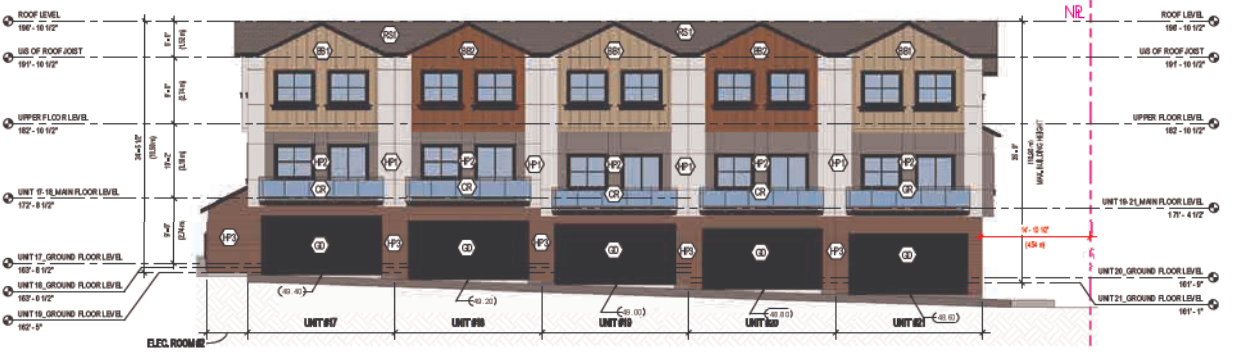
DRAWING TITLE
BUILDING-4 COLORED ELEVATIONS

DRAWING ISSUE
ISSUED FOR DP SUBMISSION

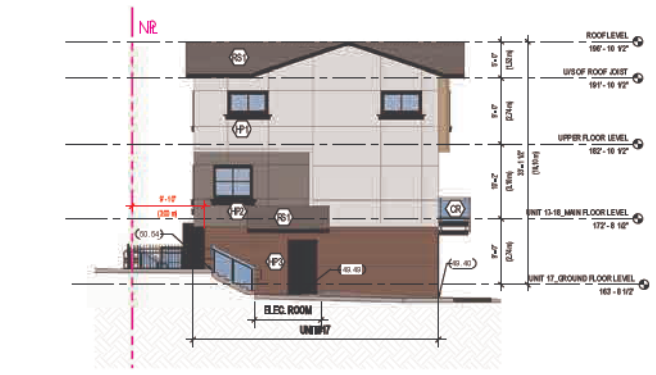
PROJECT NO.	722501	PLAT DATE	06-17-2024	DRAWN	
DRAWING NO.	A-5.04	SCALE	As Indicated	REVIEWED	
REVISION					4



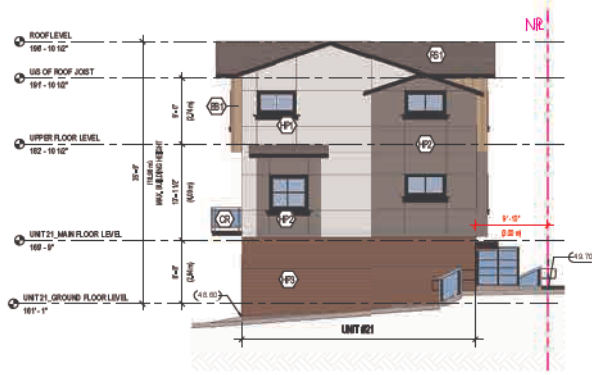
1 BUILDING-5 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING-5 EAST ELEVATION
SCALE: 1/8" = 1'-0"



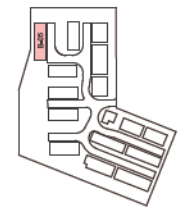
3 BUILDING-5 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING-5 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND :		
NOTATION	COLOR	
(B1)	BOARD & BATTEN SIDING - CORK	CORK
(B2)	BOARD & BATTEN SIDING - CEDAR	CEDAR
(F1)	HARDEPANEL - PLY SHEET	WHITE
(F2)	HARDEPANEL - PLY SHEET	AGED PINKER
(F3)	HARDE PANK	BROWN
(R1)	ASPHALT SHINGLE ROOF	BLACK
(T1)	"T" TRIMS	BLACK
(T2)	"T" TRIMS	GRAY
(G1)	GARAGE DOOR PANEL	BLACK
(F4)	HARDEPANEL	BLACK
(G2)	ALUMINUM FRAME GUARDRAIL CM TEMPERED GLASS - POWDERED COATED	RAILING COLOUR: BLACK GLASS: TRANSPARENT

NOTE: COLOURS FROM BERRYHILL WILLIAMS UNLESS NOTED



NO.	REVISION	DATE	BY	CHKD.	APP'D.
1	ISSUED FOR PERMITS				
2	ISSUED FOR PRELIMINARY				
3	ISSUED FOR SUBMITTAL				
4	ISSUED FOR CONSTRUCTION				

PROJECT STAMP

DATE: 2024-05-20



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PROJECT: 55 UNIT TOWNHOUSES
8833, 8837, AND 8811 LYNDEN DRIVE, SURREY, B.C.

DRAWING TITLE: BUILDING-5 COLORED ELEVATIONS

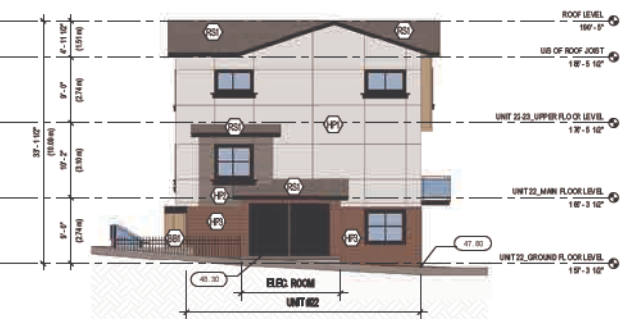
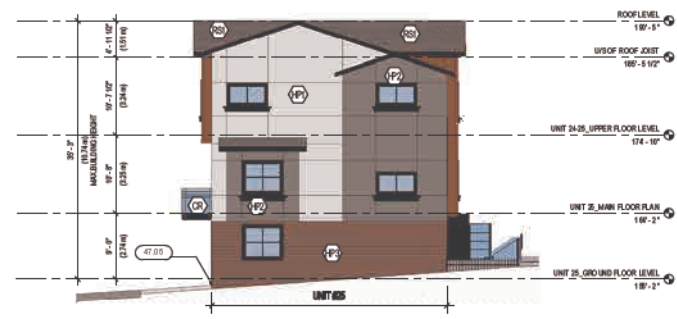
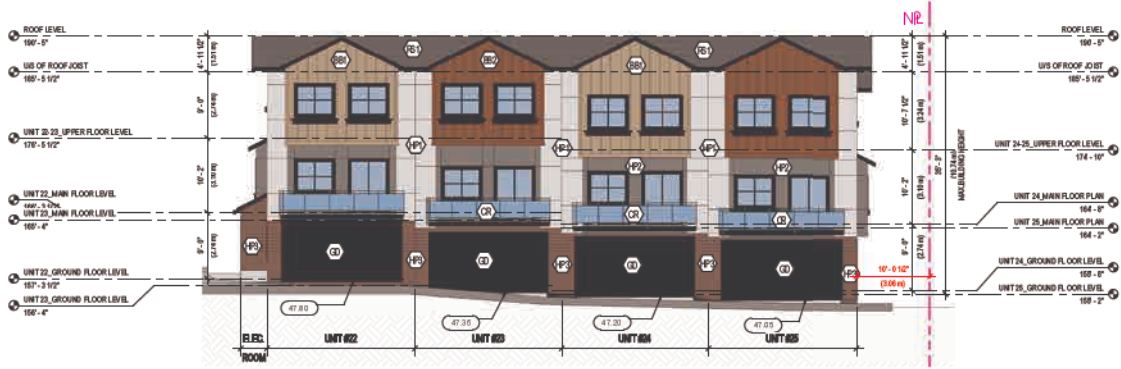
DRAWING ISSUE: ISSUED FOR DP SUBMISSION

PROJECT NO. 722501	DATE 06-17-2024	DRAWN
SCALE As Indicated	REVIEWED	
DRAWING NO. A-5.05	REVISION 4	

MATERIAL LEGEND :

MATERIAL	COLOR	
1001 BOARD & BATTEN SIDING - CORK	CORK	
1002 BOARD & BATTEN SIDING - CEDAR	CEDAR	
4101 HARDPANEL - PLY REGLET	WHITE	
4102 HARDPANEL - PLY REGLET	AGED PINE/TER	
4103 HARDPANEL	BROWN	
4201 ASPHALT SHINGLE ROOF	BLACK	
4701 6" TRIMS	BLACK	
4702 6" TRIMS	GRAY	
4801 GARAGE DOOR PANEL	BLACK	
4104 HARDPANEL	BLACK	
CR1 ALUMINUM FRAME GUARDRAIL C/W TEMPERED GLASS - POWDERED COATED	RAIL: RG COLOUR: BLACK GLASS: TRANSPARENT	

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



NO.	DESCRIPTION	DATE	BY	CHKD.	REVISION
1	ISSUED FOR PERMITS	2024-05-20			
2	ISSUED FOR CITY REVIEW				
3	ISSUED FOR PRELIMINARY				
4	ISSUED FOR SUBMITTAL				

CONTRACT

PROJECT STAMP



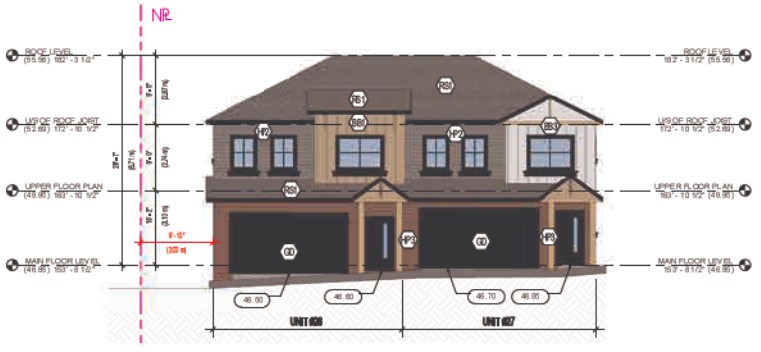
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PROJECT
55 UNIT TOWNHOUSES
8833, 9887, AND 9911 LYNDEN DRIVE, SURREY, B.C.

DRAWING TITLE
BUILDING 06 - COLORED ELEVATIONS

DRAWING DATE
ISSUED FOR DP SUBMISSION

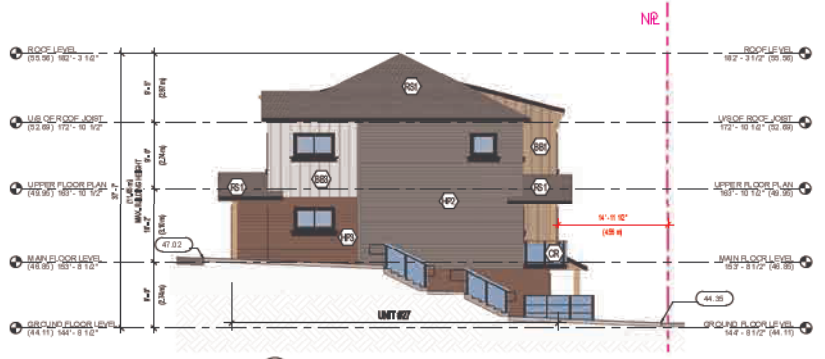
PROJECT NO.	PLT DATE	DRAWN
722501	06-17-2024	
DRAWING NO.	SCALE	REVISION
A-5.06	As Indicated	4



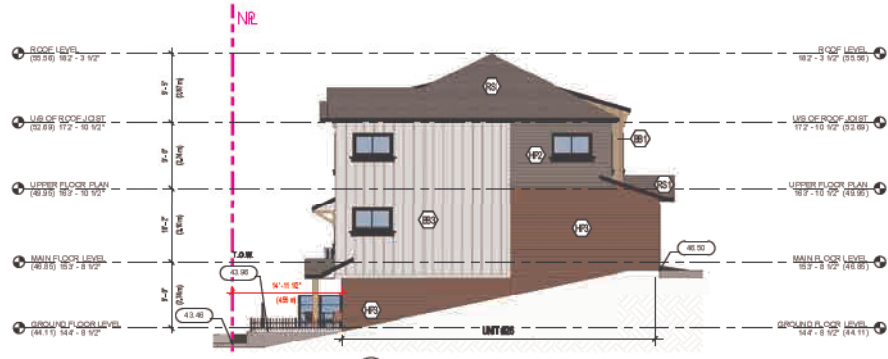
1 BUILDING 7 WEST ELEVATION
A-5.07 SCALE: 1/8"=1'-0"



2 BUILDING 7 EAST ELEVATION
A-5.07 SCALE: 1/8"=1'-0"



3 BUILDING 7 SOUTH ELEVATION
A-5.07 SCALE: 1/8"=1'-0"

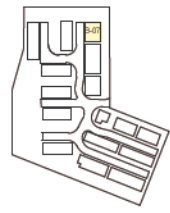


4 BUILDING 7 NORTH ELEVATION
A-5.07 SCALE: 1/8"=1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
881 BORD & BATTEN SIDING - CORK	CORK	
882 BORD & BATTEN SIDING - CEDAR	CEDAR	
883 BORD & BATTEN SIDING - WHITE	WHITE	
884 HARDE PAVEL - FRY RIDOLET	WHITE	
885 HARDE PAVEL - HORIZONTAL SIDING	ASID PEWTER	
886 HARDE PAVEL - HORIZONTAL SIDING	BROWN	
887 HARDE PAVEL - HORIZONTAL SIDING	CORK	
888 ASPHALT SHINGLE ROOF	BLACK	
889 6" TRIMS	BLACK	
890 6" TRIMS	GRAY	
891 GARAGE DOOR PAVEL	BLACK	
892 HARDE PAVEL	BLACK	
893 ALUMINUM FRAME QUADRAL CW TEMPERED GLASS - POWDER COATED	WILMO COLOUR BLACK GLASS TRANSPARENT	

NOTE : COLORS FROM B-BROWN WILLIAMS UNLESS NOTED



KEY PLAN
SCALE: N.T.S.

NO.	DESCRIPTION	STATUS	REVISION
1	ISSUED FOR CITY REVIEW	ISSUED	1
2	FOR PRELIMINARY	ISSUED	2
3	ISSUED FOR PRELIMINARY	ISSUED	3
4	ISSUED FOR SUBMISSION	ISSUED	4

CONSULTANT

NAME	DATE

PROJECT STAMP



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PROJECT

55 UNIT TOWNHOUSES

883, 887, AND 891 LYNCEAN DRIVE, SURREY, B.C.

DRAWING TITLE

BUILDING-7 COLORED ELEVATIONS

DRAWING DATE

ISSUED FOR DP SUBMISSION

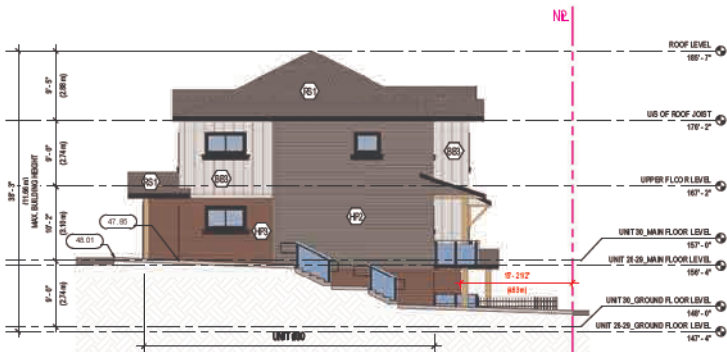
PROJECT NO.	722501	PLAT DATE	06-17-2024	DRAWN BY	RM
DRAWING NO.	A-5.07	SCALE	As Indicated	REVIEWED BY	KK
				REVISION	4



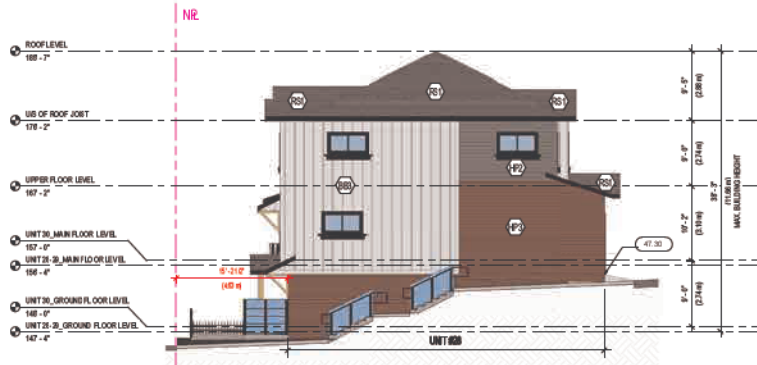
1 BUILDING-08 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING-08 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING-08 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

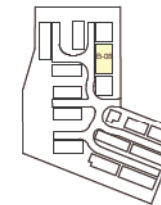


4 BUILDING-08 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
801 BOARD & BATTEN SIDING - CORK	CORK	
802 BOARD & BATTEN SIDING - CEDAR	CEDAR	
803 BOARD & BATTEN SIDING - WHITE	WHITE	
1011 HARDIPANEL - FRY REGLET	WHITE	
1012 HARDIPANEL - HORIZONTAL SIDING	AGED FENSTER	
1013 HARDIPANEL - HORIZONTAL SIDING	BROWN	
1014 HARDIPANEL - HORIZONTAL SIDING	CORK	
1015 HARDIPANEL - HORIZONTAL SIDING	CORN	
1021 ASPHALT SHINGLE ROOF	BLACK	
1101 P*TRIMS	BLACK	
1102 P*TRIMS	GRAY	
1201 GARAGE DOOR PANEL	BLACK	
1202 HARDIPANEL	BLACK	
1203 ALUMINUM FRAME/GUARDRAIL CAN TEMPERED GLASS - POWDERED COATED	PAINTING COLOUR BLACK GLASS TRANSPARENT	

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



KEY PLAN
SCALE: N.T.S.



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Interior Design
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Vancouver, BC Canada V6C 2E8
Tel: 604-261-7649 Fax: 604-261-7649
www.kasian.com

NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR CITY REVIEW	2024-05-20		
2	ISSUED FOR PRELIMINARY			
3	ISSUED FOR OF SUBMISSION			
4	ISSUED FOR OF SUBMISSION			

PROJECT STAMP
SCALE: N.T.S.



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PROJECT
55 UNIT TOWNHOUSES
8833, 8887, AND 8911 LYNDEN DRIVE, SURREY, B.C.

DRAWING TITLE
BUILDING- 8 COLORED ELEVATIONS

DRAWING ISSUE
ISSUED FOR DP SUBMISSION

PROJECT NO. 722501
DATE 06-17-2024
SCALE As Indicated
DRAWN BY
REVIEWED
REVISION 4

A-5.08

NO.	DATE	DESCRIPTION	BY	CHKD.
1	2024-05-17	ISSUED FOR DP SUBMISSION	AK	AK
2	2024-05-17	ISSUED FOR PRELIMINARY	AK	AK
3	2024-05-17	ISSUED FOR PRELIMINARY	AK	AK
4	2024-05-17	ISSUED FOR PRELIMINARY	AK	AK
5	2024-05-17	ISSUED FOR CITY REVIEW	AK	AK
6	2024-05-17	ISSUED FOR CITY REVIEW	AK	AK

CONTRACT NO. 2024-05-17

PROJECT NAME

SCALE



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PROJECT

55 UNIT TOWNHOUSES

8833, 8837, AND 8811 LYNDEN DRIVE, SURREY, B.C.

DRAWING TITLE

BUILDING-9 COLORED ELEVATIONS

DRAWING DATE

ISSUED FOR DP SUBMISSION

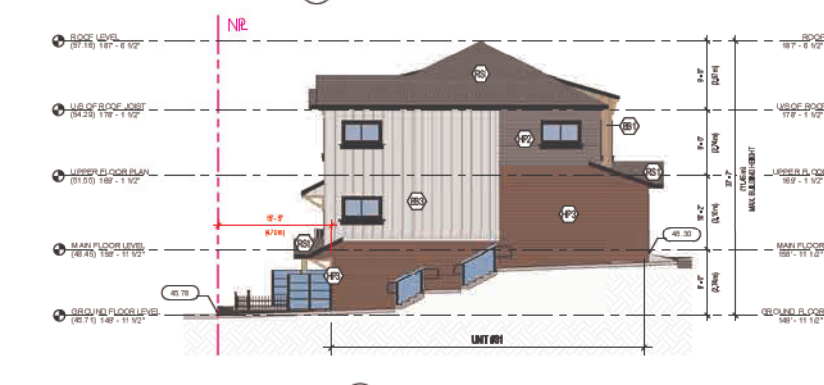
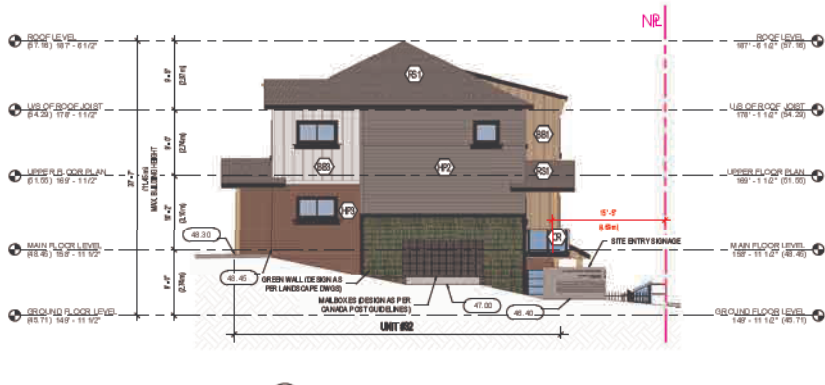
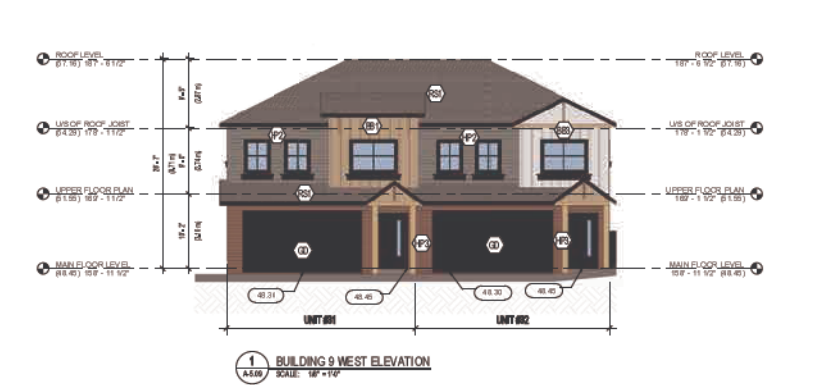
PROJECT NO. 722501

DATE 06-17-2024

SCALE As Indicated

DRAWING NO. A-5.09

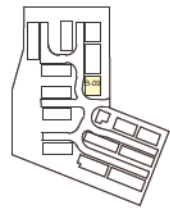
REVISION 4



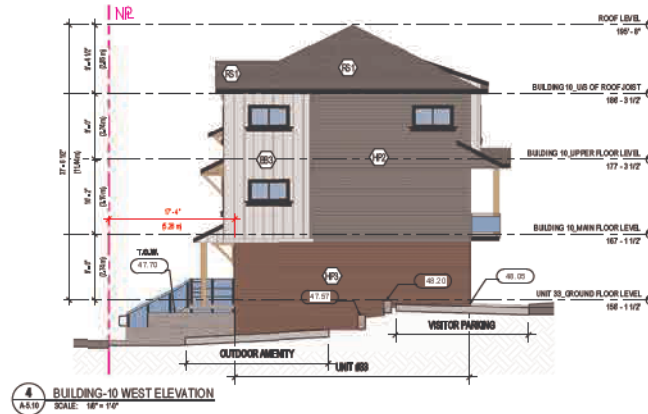
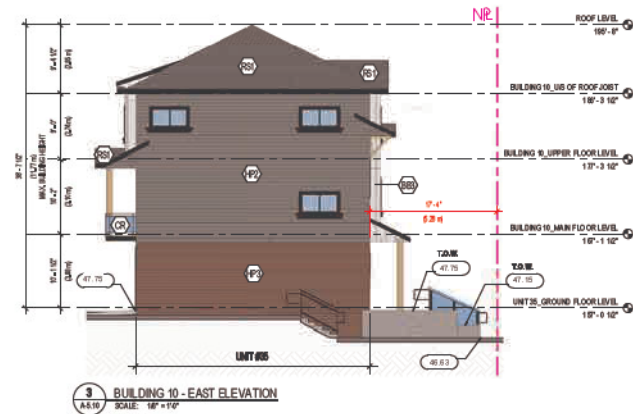
MATERIAL LEGEND:

MATERIAL	COLOR	
001 BOUND BATTEN SIDING - CORK	CORK	
002 BOUND BATTEN SIDING - CEDAR	CEDAR	
003 BOUND BATTEN SIDING - WHITE	WHITE	
004 HARDIE PANEL - FRY ROULET	WHITE	
005 HARDIE PANEL - HORIZONTAL SIDING	ASID PEWTER	
006 HARDIE PLANK - HORIZONTAL SIDING	BROWN	
007 HARDIE PLANK - HORIZONTAL SIDING	CORK	
008 ASPHALT SHINGLE ROOF	BLACK	
009 6" TRIMS	BLACK	
010 6" TRIMS	GRAY	
011 GARAGE DOOR PANEL	BLACK	
012 HARDIE PANEL	BLACK	
013 ALUMINUM FRAME QUADRANT LOW TEMPERED GLASS - POWDER COATED	WILLOW COLOUR BLACK GLASS TRANSPARENT	

NOTE: COLORS FROM @-SERIES WALLS UNLESS NOTED



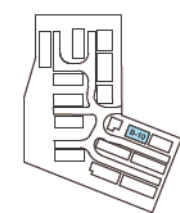
KEY PLAN
SCALE: N.T.S.



MATERIAL LEGEND :

NOTATION	COLOR	
DB	BOARD & BATTEN SIDING - CORK	CORK
DC	BOARD & BATTEN SIDING - CEDAR	CEDAR
DD	BOARD & BATTEN SIDING - WHITE	WHITE
EP	HARD PAVEMENT - FRY SELECT	WHITE
EPH	HARD PAVEMENT - HORIZONTAL SIDING	AGRID PEWEE
EPV	HARD PAVEMENT - HORIZONTAL SIDING	BROWN
EPW	HARD PAVEMENT - HORIZONTAL SIDING	CORK
EPX	ASPHALT SHINGLE ROOF	BLACK
FTL	6" TRIM	BLACK
FTG	6" TRIM	GRAY
GD	GARAGE DOOR PANEL	BLACK
HP	HARD PAVEMENT	BLACK
AL	ALUMINUM FRAME QUINCY GLW TEMPERED GLASS - POWDERED COATED	FINISH COLOUR: BLACK GLASS TINT: NEUTRAL

NOTE: COLOURS FROM ARCHIBOX WELPMR LIBRARY NOTED



KEY PLAN
SCALE: N.T.S.



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NO.	DATE	DESCRIPTION	BY	CHKD
1	2024-05-20	ISSUED FOR CITY REVIEW		
2	2024-05-20	FOR PERMITS		
3	2024-05-21	ISSUED FOR PERMITS		
4	2024-05-21	ISSUED FOR SUBMITTAL		

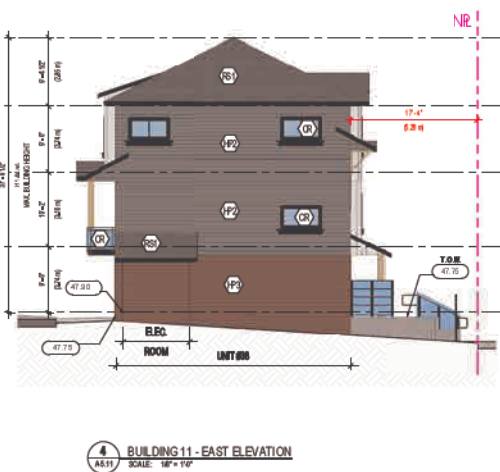
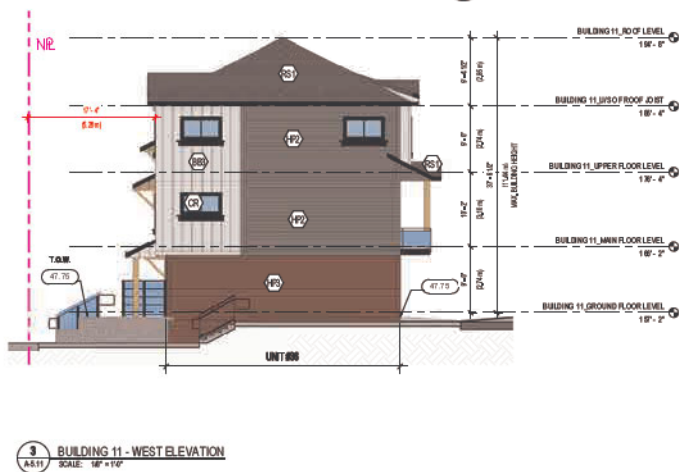
PROFESSIONAL SEAL
ARCHITECTURE
2024-05-20

PROJECT
55 UNIT TOWNHOUSES
8833, 8887, AND 8911 LYNDEN DRIVE, SURREY, B.C.

DRAWING TITLE
BUILDING- 10 COLORED ELEVATIONS

DRAWING ISSUE
ISSUED FOR DP SUBMISSION

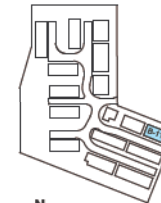
PROJECT NO. 722501
DATE 06-17-2024
SCALE As Indicated
DRAWN
REVIEWED
DRAWING NO. A-5.10
REVISION 4



MATERIAL LEGEND :

MATERIAL	COLOR	
1801 BOARD & BATTEN SIDING - CORK	CORK	
1802 BOARD & BATTEN SIDING - CEDAR	CEDAR	
1803 BOARD & BATTEN SIDING - WHITE	WHITE	
4115 HARDFINISH - FRY RELEET	WHITE	
4117 HARDFINISH - HORIZONTAL SIDING	AGED PEWEE	
4118 HARDFINISH - HORIZONTAL SIDING	BROWN	
4119 HARDFINISH - HORIZONTAL SIDING	CORK	
4120 ASPHALT SHINGLE ROOF	BLACK	
1115 6" TRIM	BLACK	
1116 6" TRIM	GRAY	
4101 GARAGE DOOR PANEL	BLACK	
4114 HARDFINISH	BLACK	
4121 ALUMINUM FRAME WINDOW/DOOR WITH TEMPERED GLASS - POWDERED COATED	PAINTING COLOUR: BLACK GLASS TRANSPARENT	

NOTE: COLORS FROM MATERIAL LIBRARY UNLESS NOTED



KEY PLAN
SCALE: N.T.S.



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and Planning Ltd

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NO.	DATE	DESCRIPTION	BY	CHKD.
4	2024-05-17	ISSUED FOR DP SUBMISSION		
3	2024-05-17	ISSUED FOR PRELIMINARY		
2	2024-05-17	ISSUED FOR PRELIMINARY		
1	2024-05-18	ISSUED FOR CITY REVIEW		

PREPARED BY: [Signature] CHECKED BY: [Signature]

PROJECT STAMP



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PROJECT

55 UNIT TOWNHOUSES
8833, 8837, AND 8811 LYNDEN DRIVE, SURREY, B.C.

DRAWING TITLE
BUILDING - 11 COLORED ELEVATIONS

DRAWING ISSUE
ISSUED FOR DP SUBMISSION

PROJECT NO.	PLAT DATE	DRAWN
722501	06-17-2024	
DRAWING NO.	SCALE	REVISION
A-5.11	As Indicated	4

NO.	DESCRIPTION	STATUS	REVISION
1	ISSUED FOR PERMITS	APPROVED	
2	ISSUED FOR PRELIMINARY REVIEW	APPROVED	
3	ISSUED FOR PRELIMINARY REVIEW	APPROVED	
4	ISSUED FOR PERMITS	APPROVED	

DATE: 2024-05-20

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PROJECT

55 UNIT TOWNHOUSES

8833, 8887, AND 8911 LYNDEN DRIVE, SURREY, B.C.

DRAWING TITLE

BUILDING-12 COLORED ELEVATIONS

DRAWING DATE

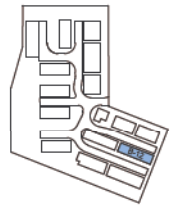
ISSUED FOR DP SUBMISSION

PROJECT NO.	722501	DATE	06-17-2024	DRAWN BY	Author
DRAWING NO.	A-5.12	SCALE	As Indicated	REVIEWED BY	Checker
					REVISION
					4

MATERIAL LEGEND :

MATERIAL	COLOR
BOARD & BATTEN SIDING - CORK	CORK
BOARD & BATTEN SIDING - CEDAR	CEDAR
HIDE PANEL - FRY RISLET	WHITE
HIDE PANEL - FRY RISLET	ACID PINK
HIDE PLANK	BROWN
ASPHALT SHINGLE ROOF	BLACK
# TRIMS	BLACK
# TRIMS	GRAY
GARAGE DOOR PANEL	BLACK
HIDE PANEL	BLACK
ALUMINUM FRAME QUADRAL OW TINTED GLASS - POWDERED COAT ED	PAVING COLOUR BLACK GLASS TRANSPARENT

NOTE: COLOURS FROM INTERIOR WALLS ARE NOT SHOWN



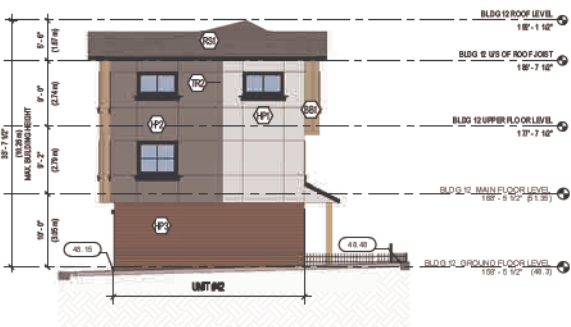
KEY PLAN
SCALE: N.T.S.



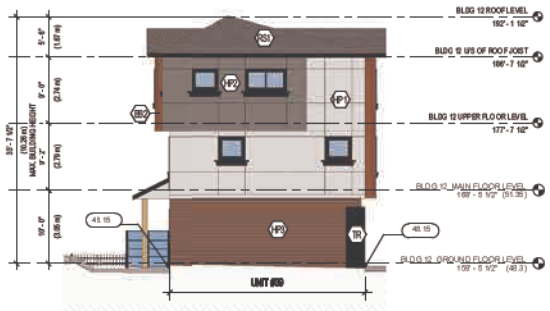
1 BUILDING-12 BACK SIDE ELEVATION
SCALE: 1/8"=1'-0"



2 BUILDING-12 FRONT SIDE ELEVATION
SCALE: 1/8"=1'-0"



3 BUILDING-12 SIDE ELEVATION
SCALE: 1/8"=1'-0"



4 BUILDING-12 SIDE ELEVATION
SCALE: 1/8"=1'-0"

MATERIAL LEGEND :

MARKING	COLOR	
1001	BOARD BATTEN SIDING - CORK	CORK
1002	BOARD BATTEN SIDING - CEDAR	CEDAR
1101	HARDIE PANEL - FRY HEIGHT	WHITE
1102	HARDIE PANEL - FRY HEIGHT	AGED PEWTER
1103	HARDIE PLANK	BROWN
1201	ASPHALT SINGLE ROOF	BLACK
1202	P TRIMS	BLACK
1203	P TRIMS	GRAY
1301	GARAGE DOOR PANEL	BLACK
1302	HARDIE PANEL	BLACK
1401	ALUMINUM FRAME QUARTER GLASS TEMPERED GLASS - POWDER COATED	RAUIND COLOUR BLACK GLASS TRANSPARENT

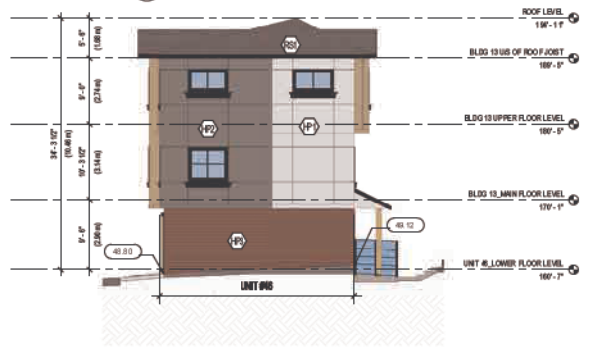
NOTE: COLORS FROM INTERIOR WALLINGS UNLESS NOTED



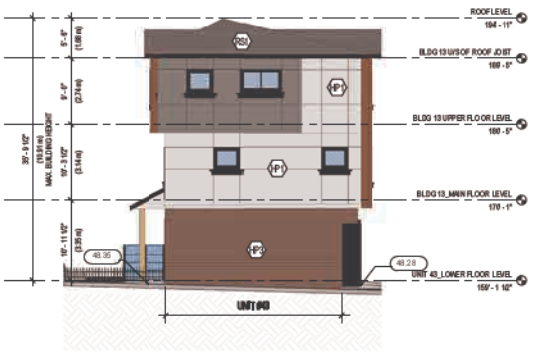
1 BUILDING-13 FRONT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING-13 BACK SIDE ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING-13 SIDE ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING-13 SIDE ELEVATION
SCALE: 1/8" = 1'-0"



KEY PLAN
SCALE: N.T.S.

NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR CITY REVIEW	2024-05-20		
2	FOR PERMITS			
3	ISSUED FOR PERMITS			
4	ISSUED FOR SUBMITTAL			

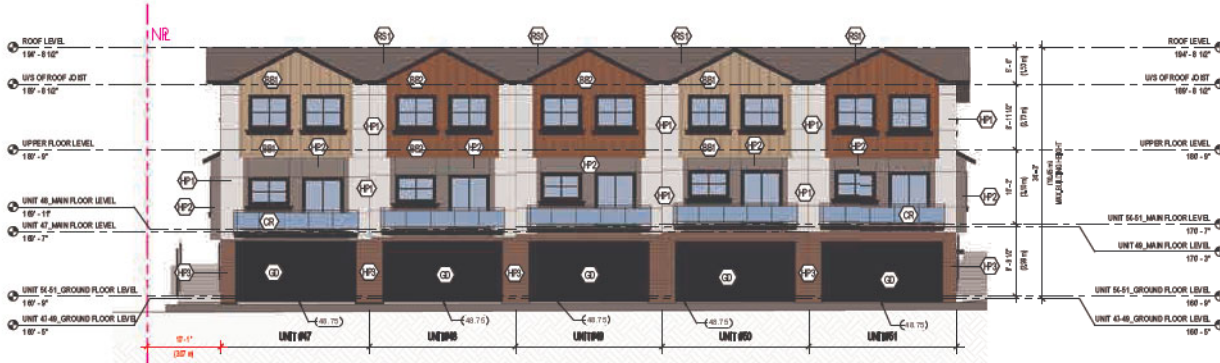
PROJECT STAMP



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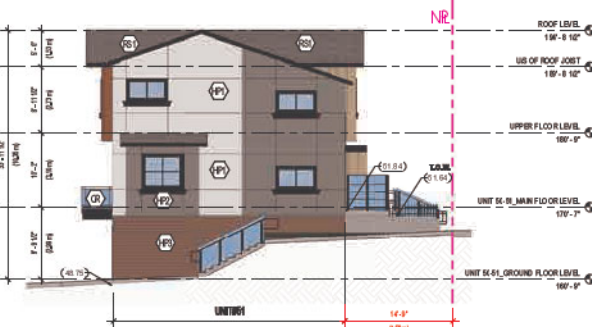
PROJECT			
55 UNIT TOWNHOUSES			
8833, 8887, AND 8911 LYNDEN DRIVE, SURREY, B.C.			
DRAWING TITLE			
BUILDING-13 COLORED ELEVATIONS			
DRAWING DATE			
ISSUED FOR DP SUBMISSION			
PROJECT NO.	PLAT DATE	DRAWN	
722501	06-17-2024		
DRAWING NO.	SCALE	REVIEWED	
A-5.13	As Indicated		
REVISION			
			4



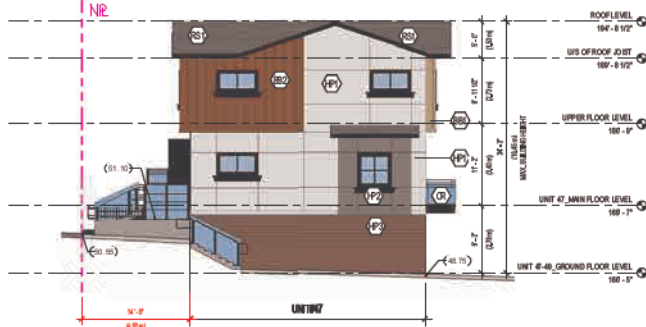
1 BUILDING-14 FRONT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING-14 BACK SIDE ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING-14 SIDE ELEVATION
SCALE: 1/8" = 1'-0"

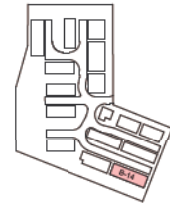


4 BUILDING-14 SIDE ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND:

MATERIAL	COLOR	
1001 BOARD & BATTEN SIDING - CORK	CORK	
1002 BOARD & BATTEN SIDING - CEDAR	CEDAR	
1003 HARDE PANEL VERTICAL SIDING - PLY SHEET	AGED PEWTER	
1004 HARDE PLANK	BROWN	
1005 HARDE SHINGLE SIDING	TIMBER BIRCH	
1006 ASPHALT SHINGLE ROOF	BLACK	
1007 6" TRIMS	BLACK	
1008 6" TRIMS	GRAY	
1009 GARAGE DOOR PANEL	BLACK	
1010 HARDE PANEL	BLACK	
1011 ALUMINUM FRAME GUARDRAIL CNT TEMPERED GLASS - POWDER COATED	PAINTING COLOUR BLACK GLASS TRANSPARENT	

NOTE: COLOURS FROM BERRINI WILLIAMS UNLESS NOTED



KEY PLAN
SCALE: N.T.S.



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NO.	DATE	DESCRIPTION	BY	CHKD.
1	2024-05-20	ISSUED FOR CITY REVIEW	AS	AS
2	2024-05-20	FOR PRELIMINARY	AS	AS
3	2024-05-21	ISSUED FOR PRELIMINARY	AS	AS
4	2024-05-21	ISSUED FOR DP SUBMISSION	AS	AS

DESIGNED BY: AS
CHECKED BY: AS
DATE: 2024-05-20



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PROJECT

55 UNIT TOWNHOUSES

8833, 8887, AND 8911 LYNDEN DRIVE, SURREY, B.C.

DRAWING TITLE

BUILDING-14 COLORED ELEVATIONS

DRAWING DATE

ISSUED FOR DP SUBMISSION

PROJECT NO.	722501	DATE	06-17-2024	DRAWN BY	AS
DRAWING NO.	A-5.14	SCALE	As Indicated	REVIEWED BY	AS

REVISION: 4

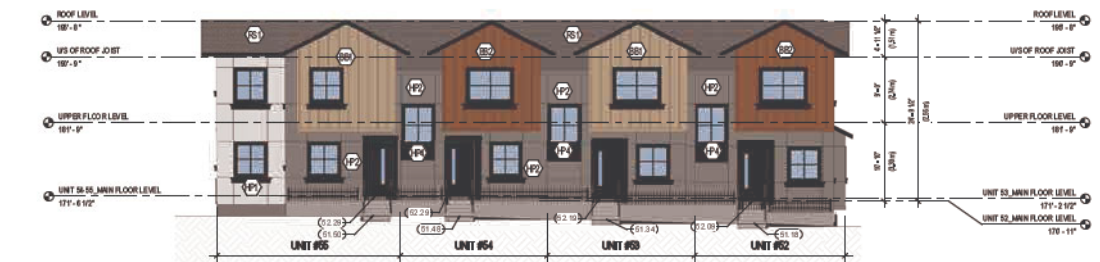
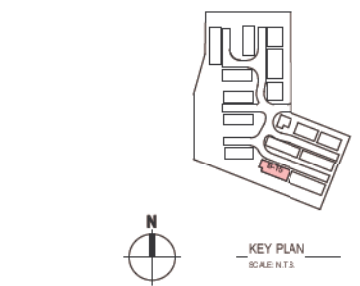
MATERIAL LEGEND :

MATERIAL	COLOR	
SB1	BORD & BATTEN SIDING - CORK	CORK
SB2	BORD & BATTEN SIDING - CEDAR	CEDAR
FP1	HARDE PAVEL VERTICAL SIDING - FRY REULET	ACID PAVTEL
FP2	HARDE PLANK	BROWN
WB1	HARDE SHINGLE SIDING	TIMBER BARK
AS1	ASPHALT SHINGLE ROOF	BLACK
TR1	6" TRIMS	BLACK
TR2	6" TRIMS	GRAY
GD1	GRANITE DOOR PAVEL	BLACK
HP1	HARDE PAVEL	BLACK
GL1	ALUMINUM FRAME QUADRANT CNT TEMPERED GLASS - POWDER COATED	PAVING COLOUR BLACK GLASS TRANSPARENT

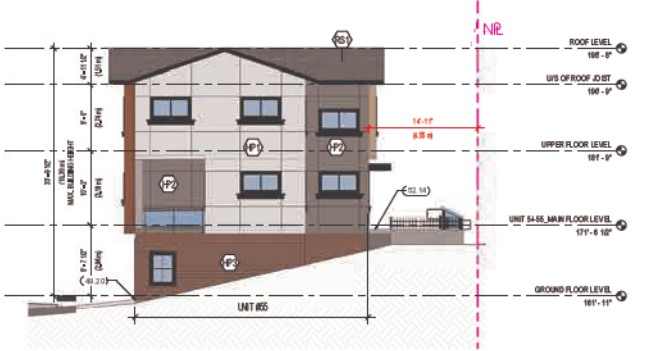
NOTE: COLOURS FROM SWHORN WILLIAMS LINE SHE NOTED



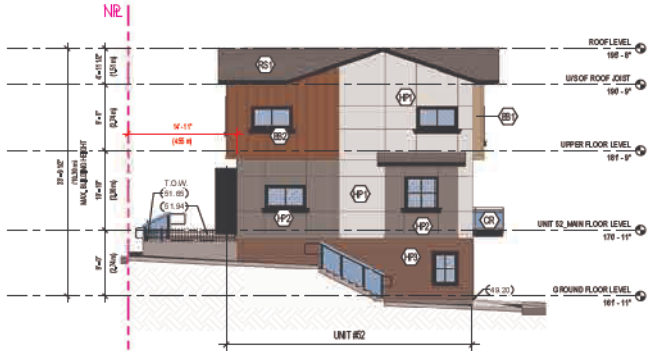
1 BUILDING-15 FRONT SIDE ELEVATION
SCALE: 1/8"=1'-0"



2 BUILDING-15 BACK SIDE ELEVATION
SCALE: 1/8"=1'-0"



3 BUILDING-15 SIDE ELEVATION
SCALE: 1/8"=1'-0"



4 BUILDING-15 SIDE ELEVATION
SCALE: 1/8"=1'-0"

4	20240417	ISSUED FOR DP SUBMISSION	
3	20240321	ISSUED FOR DP PRELIMINATION	
2	20240304	DP PRELIMINATION	
1	20240118	ISSUED FOR CITY REVIEW	
REV.	1/1/2024	FIELD WORK/ISSUE	PREVIEW

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55 UNIT TOWNHOUSES
8833, 8837, AND 8811 LYNDEN DRIVE, SURREY, B.C.

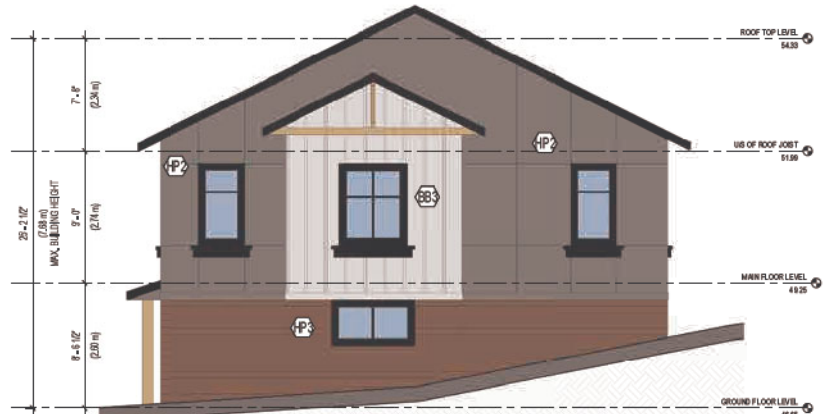
BUILDING-15 COLORED ELEVATIONS

ISSUED FOR DP SUBMISSION

PROJECT NO.	722501	DATE	06-17-2024	DRAWN BY	
DRAWING NO.	A-5.15	SCALE	As Indicated	REVIEWED	
					REVISION
					4



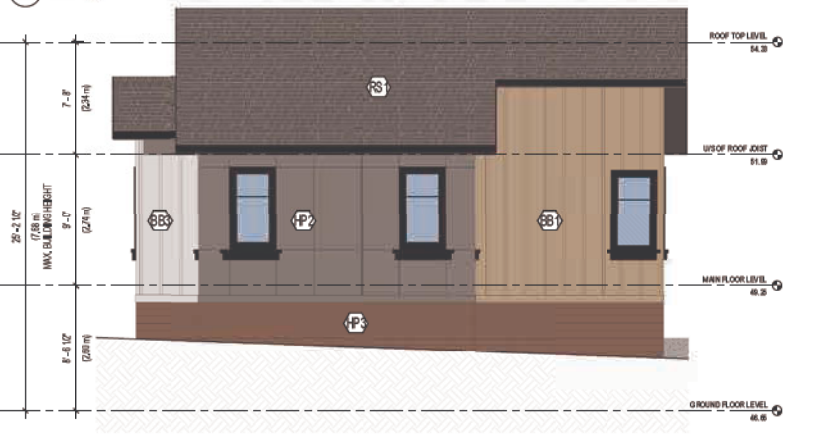
1 INDOOR AMENITY NORTH SIDE ELEVATION
SCALE: 1:48



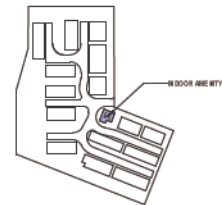
2 INDOOR AMENITY WEST SIDE ELEVATION
SCALE: 1:48



3 INDOOR AMENITY EAST SIDE ELEVATION
SCALE: 1:48



4 INDOOR AMENITY SOUTH SIDE ELEVATION
SCALE: 1:48



KEY PLAN
SCALE: N.T.S.

MATERIAL LEGEND :

NOTATION	COLOR	
8B1	BOARD & BATTEN SIDING - CORK	CORK
8B2	BOARD & BATTEN SIDING - CEDAR	CEDAR
8P1	HARDIE PANEL - PLYSULET	WHITE
8P2	HARDIE PANEL - PLYSULET	AGED POWDER
8P3	HARDIE PLANK	BROWN
8P4	ASPHALT SHINGLE ROOF	BLACK
8T1	6" TRIMS	BLACK
8T2	6" TRIMS	GRAY
8G1	GARAGE DOOR PANEL	BLACK
8P4	HARDIE PANEL	BLACK
8G2	ALUMINUM FRAME GUARDRAIL, O/TIMPORED GLASS - POWDERED COATED	PAVING COLOUR BLACK GLASS TRANSPARENT

NOTE: COLOURS FROM BROWN WILLIAMS UNLESS NOTED



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9011 St. Charles Street, Suite 100
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www.kasian.ca

NO.	DATE	DESCRIPTION	BY	CHKD.
1	2024-05-20	ISSUED FOR DP SUBMISSION		
2	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
3	2024-05-20	ISSUED FOR CITY REVIEW		
4	2024-05-20	ISSUED FOR SUBMISSION		

PROJECT NAME: 55 UNIT TOWNHOUSES
PROJECT ADDRESS: 8883, 8887, AND 8911 LYNCEN DRIVE, SURREY, B.C.
DRAWING TITLE: INDOOR AMENITY ELEVATIONS
DRAWING DATE: ISSUED FOR DP SUBMISSION



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PROJECT NO.	722501	PLAT DATE	06-17-2024	DRAWN	
DRAWING TITLE	INDOOR AMENITY ELEVATIONS				
DRAWING DATE	ISSUED FOR DP SUBMISSION				
SCALE	As Indicated				
DRAWING NO.	A-5.16			REVISION	4



3D VIEW - BUILDING 9 & 10 ALONG LYNCEAN DRIVE



3D VIEW - BUILDING 10 & 11 ALONG LYNCEAN DRIVE



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NO.	DATE	DESCRIPTION	BY	CHKD.
4	2024-04-17	ISSUED FOR DP SUBMISSION		
3	2024-04-17	ISSUED FOR PRELIMINARY		
2	2024-04-17	DP DEVELOPMENT		
1	2024-04-18	ISSUED FOR CITY REVIEW		
REV.	1/2/2024	REVISED LAYOUT		

CHECKLIST

PROJECT STAMP



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PROJECT

55 UNIT TOWNHOUSES

8883, 8887, AND 8911 LYNCEAN DRIVE, SURREY, B.C.

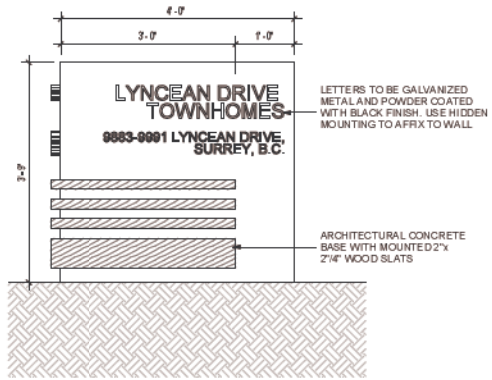
DRAWING TITLE

3D RENDERS

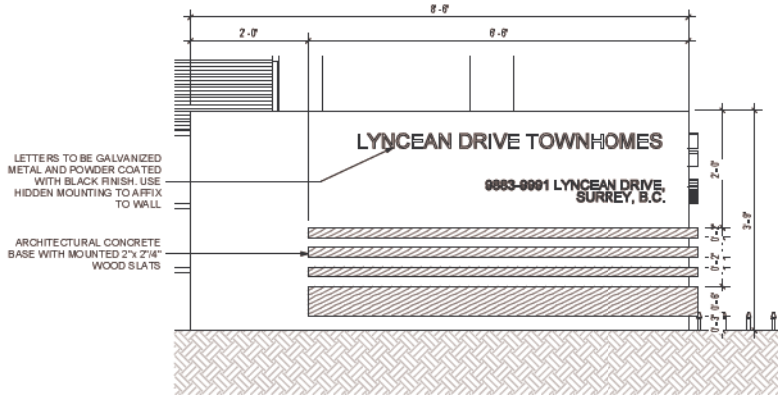
DRAWING ISSUE

ISSUED FOR DP SUBMISSION

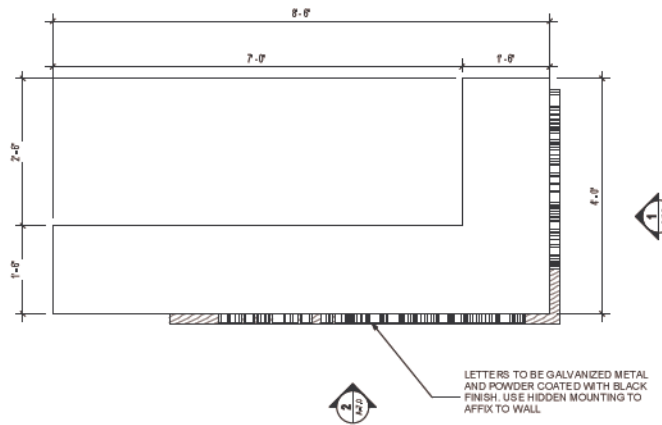
PROJECT NO.	DATE	SCALE	DRAWN	REVIEWED	AUTHOR
722501	06-17-2024				Chandler
DRAWING NO.	REVISION	REVISION	REVISION	REVISION	REVISION
A-6.3					4



1 SITE SIGNAGE SIDE ELEVATION
SCALE: 1:12



2 SITE SIGNAGE FRONT ELEVATION
SCALE: 1:12



3 SITE SIGNAGE - PLAN VIEW
SCALE: 1:12



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8810 St. Johns St. Unit 106
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NO.	DATE	DESCRIPTION	BY	CHECKED
1	2024-08-20	ISSUED FOR CITY REVIEW	AK	AK
2	2024-08-20	ISSUED FOR PERMITS	AK	AK
3	2024-08-20	ISSUED FOR SUBMISSION	AK	AK
4	2024-08-20	ISSUED FOR SUBMISSION	AK	AK

CONTRACT: 2024-08-20

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PROJECT:

55 UNIT TOWNHOUSES

8883, 8887, AND 8911 LYNCEAN DRIVE, SURREY, B.C.

DRAWING TITLE:

SIGN DETAIL

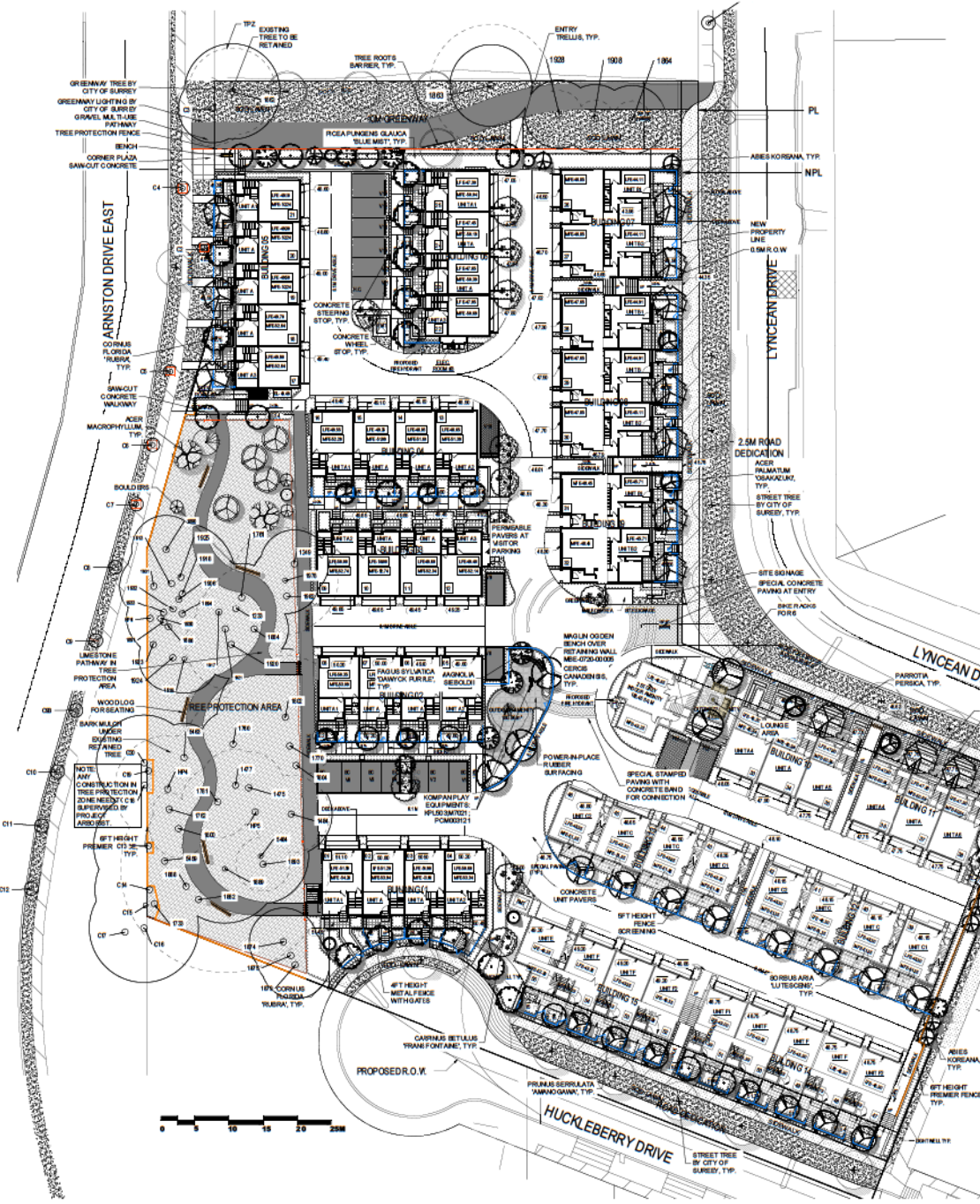
DRAWING DATE:

ISSUED FOR DP SUBMISSION

PROJECT NO. 722501 PLOT DATE 08-17-2024 DRAWN BY AK

SCALE 1:12 REVIEWED BY AK

DRAWING NO. A-7.0 REVISION 4



TREE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PNG PROJECT NUMBER: 23-092
8		ABIES KORSIANA	KOREAN FR	3M HT. BAB
9		ACER PALMATUM 'OSKAZKO'	GREEN JAPANESE MAPLE	50M CAL. BAB, TREE FORM
10		CARPINUS BETULUS 'FRANS FONTAINE'	FRANS FONTAINE EUROPEAN HORNBEAM	50M CAL. 1.1M STD. BAB
5		CERCIS CANADENSIS	EASTERN RED CEDAR	50M CAL. BAB
5		CHAMAECYPARIS NODOTICENSIS 'GREEN ARROW'	GREEN ARROW WEERING NODDY CYPRESS	3M HT. BAB
16		CORNUS FLORIDA YULBIRA	PINK FLOWERED GDOOMWOOD	50M CAL. 2.5M HT. BAB; CUMMERS RESILIENT
11		FAGUS SYLVATICA 'DANYOK PURPLE'	PURPLE LEAFED BEECH	50M CAL. 1.1M STD. BAB
5		MAKNOJA SIEBOLDII	GYAMA MAKNOJA (WHITE)	50M CAL. BAB
13		PANICOLA PERISKA	PERSIAN PINKWOOD	50M CAL. SPEC. TREE FORM; BAB, 31STEM CLUMP
3		ACECIA PARVIFLOIDA CAUCASICA 'BLUE MIST'	BLUE MIST BLUE SPRUCE	3M HT. BAB
7		FRAXUS SERRULATA 'AMANO GAWA'	AMANO GAWA CHERRY	50M CAL. 1.1M STD. BAB
8		SORBUS ARALIA LUTESCENS	WHITEBEN MOUNTAINASH	50M CAL. 1.1M STD. BAB

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD, BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. ** REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCHING REGION HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND RAISER VALLEY. * SUBSTITUTIONS, OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BOLSOLS NOT PERMITTED IN BROWN MEDIA UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

PLANT SCHEDULE: TREE PROTECTION ZONE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PNG PROJECT NUMBER: 23-092
3		ABIES KORSIANA	KOREAN FR	1.75M HT. 2.5M HT. BAB
2		ACER MACROPHYLLUM	BIG LEAF MAPLE	60M CAL. 2M STD. BAB
4		ACER PALMATUM 'OSKAZKO'	GREEN JAPANESE MAPLE	2.4M HT. BAB, TREE FORM
1		CHAMAECYPARIS NODOTICENSIS 'GREEN ARROW'	GREEN ARROW WEERING NODDY CYPRESS	3M HT. BAB
1		THUJA PLICATA	WESTERN RED CEDAR	2M HT. BAB

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD, BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. ** REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCHING REGION HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND RAISER VALLEY. * SUBSTITUTIONS, OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BOLSOLS NOT PERMITTED IN BROWN MEDIA UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTES: TOTAL REQUIRED REPLACEMENT TREE 504
TOTAL PROPOSED REPLACEMENT TREE 102

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SCALE:

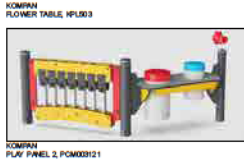
PNG PROJECT NUMBER: 23-092



NO.	DATE	REVISION DESCRIPTION	DR.
1	23.03.22	URGENT TREE MANAGEMENT PLAN	WZ
2	24.06.23	NEW 9'S PLAN	WZ
3	24.06.23	NEW 9'S PLAN	WZ
4	24.06.23	NEW 9'S PLAN	WZ
5	24.06.23	REVIEW 9'S PLAN COMMENTS	WZ
6	24.06.23	NEW 9'S PLAN (31) SCHEME TWO	WZ
7	25.07.23	NEW 9'S PLAN	WZ
8	23.04.24	REVIEW 9'S PLAN COMMENTS	WZ
9	23.04.24	REVIEW 9'S PLAN COMMENTS	WZ

NO. DATE REVISION DESCRIPTION DR.

CLIENT:



PROJECT:
55 UNIT TOWNHOUSES
9833-9991 LYNCEAN DRIVE
SURREY, BC

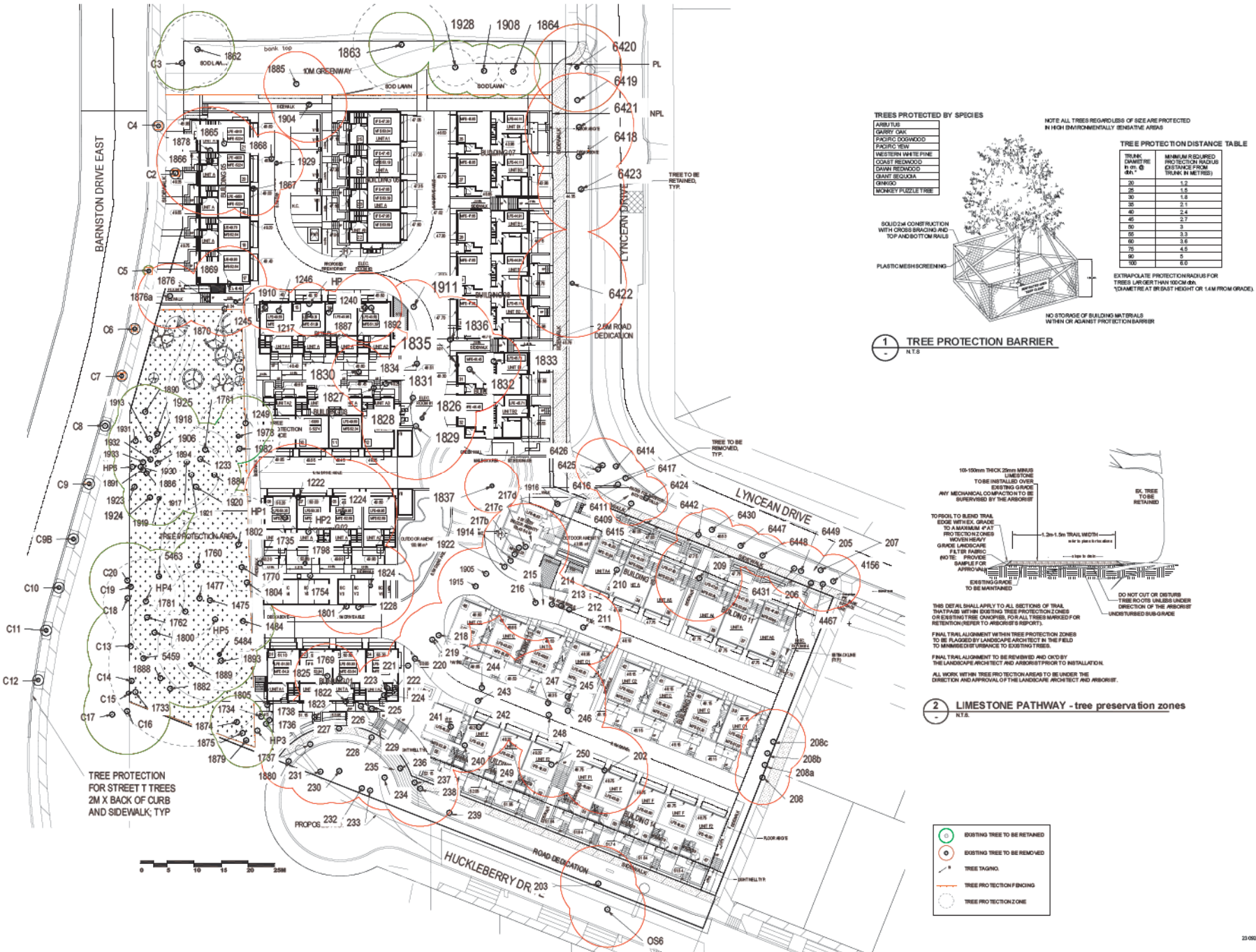
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LANDSCAPE PLAN

DATE: MAY.12.2023 DRAWING NUMBER:
SCALE: 1:300
DRAWN: WZ
DESIGN: WZ
CHECKED: YR

L1

OF 8

2302-10.2P PNG PROJECT NUMBER: 23-092



TREES PROTECTED BY SPECIES

- ASHLAR
- GARRY OAK
- PACIFIC DOGWOOD
- PACIFIC YEW
- WESTERN WHITE PINE
- COAST REDWOOD
- CHINA REDWOOD
- GIANT SEQUOIA
- GRAND
- MONKEY PUZZLE TREE

NOTE ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS

TREE PROTECTION DISTANCE TABLE

TRUNK DIAMETER (IN INCHES)	MINIMUM REQUIRED PROTECTION RADIUS (DISTANCE FROM TRUNK IN METRES)
10	1.6
15	2.1
20	2.7
30	3.3
40	4.0
50	4.9
75	6.4
100	8.0

EXTRAPOLATE PROTECTION RADIUS FOR TREES LARGER THAN 100MM DIA. (DIAMETER AT BREAST HEIGHT OR 1.4M FROM GRADE).

SOLID 2M CONSTRUCTION WITH CROSS BRACING AND TOP AND BOTTOM RAILS

PLASTIC MESH SCREENING

NO STORAGE OF BUILDING MATERIALS WITHIN OR AGAINST PROTECTION BARRIER

1 TREE PROTECTION BARRIER
N.T.S.

100-150mm THICK 25mm MINUS LIMESTONE TO BE INSTALLED OVER EXISTING GRADE. ANY MECHANICAL CONSTRUCTION TO BE SUPERVISED BY THE ARBORIST.

DO NOT CUT OR DISTURB TREE ROOTS UNLESS UNDER DIRECTION OF THE ARBORIST UNDISTURBED SUB-GRADE

DO NOT CUT OR DISTURB TREE ROOTS UNLESS UNDER DIRECTION OF THE ARBORIST UNDISTURBED SUB-GRADE

THIS DETAIL SHALL APPLY TO ALL SECTIONS OF TRAIL THAT PASS WITHIN EXISTING TREE PROTECTION ZONES OR EXISTING TREE CANOPIES. FOR ALL TREES MARKED FOR RETENTION (REFER TO ARBORIST'S REPORT).

FINAL TRAIL ALIGNMENT WITHIN TREE PROTECTION ZONES TO BE FLAGGED BY LANDSCAPE ARCHITECT BY THE FIELD TO MINIMIZE DISTURBANCE TO EXISTING TREES.

FINAL TRAIL ALIGNMENT TO BE REVIEWED AND OK'D BY THE LANDSCAPE ARCHITECT AND ARBORIST PRIOR TO INSTALLATION.

ALL WORK WITHIN TREE PROTECTION AREAS TO BE UNDER THE DIRECTION AND APPROVAL OF THE LANDSCAPE ARCHITECT AND ARBORIST.

2 LIMESTONE PATHWAY - tree preservation zones
N.T.S.

LEGEND

- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REACHED
- TREE TAGNO.
- - - TREE PROTECTION BOUNDARY
- TREE PROTECTION ZONE

CLIENT: _____

PROJECT:
55 UNIT TOWNHOUSES
9833-9991 LYNCEAN DRIVE
SURREY, BC

DRAWING TITLE:
TREE MANAGEMENT PLAN

DATE: MAY.12.2023 DRAWING NUMBER:
SCALE: 1:500
DRAWN: WZ
DESIGN: WZ
CH'KT: YR OF 8

L2

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p: 604-294-0011 ; f: 604-294-0022

SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
1	24.03.23	UPDATE TO MANAGER'S PLAN	KL
2	24.03.23	REVISE PLAN	WZ
3	24.03.23	REVISE PLAN	WZ
4	24.03.23	REVISE PLAN	WZ
5	24.03.23	REVISE PLAN COMMENTS	WZ
6	24.03.23	REVISE PLAN COMMENTS	WZ
7	24.03.23	REVISE PLAN COMMENTS	WZ
8	24.03.23	REVISE PLAN COMMENTS	WZ
9	24.03.23	REVISE PLAN COMMENTS	WZ
10	24.03.23	REVISE PLAN COMMENTS	WZ

NO. DATE REVISION DESCRIPTION DR.

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PROJECT:

55 UNIT TOWNHOUSES
9833-9991 LYNCEAN DRIVE
SURREY, BC

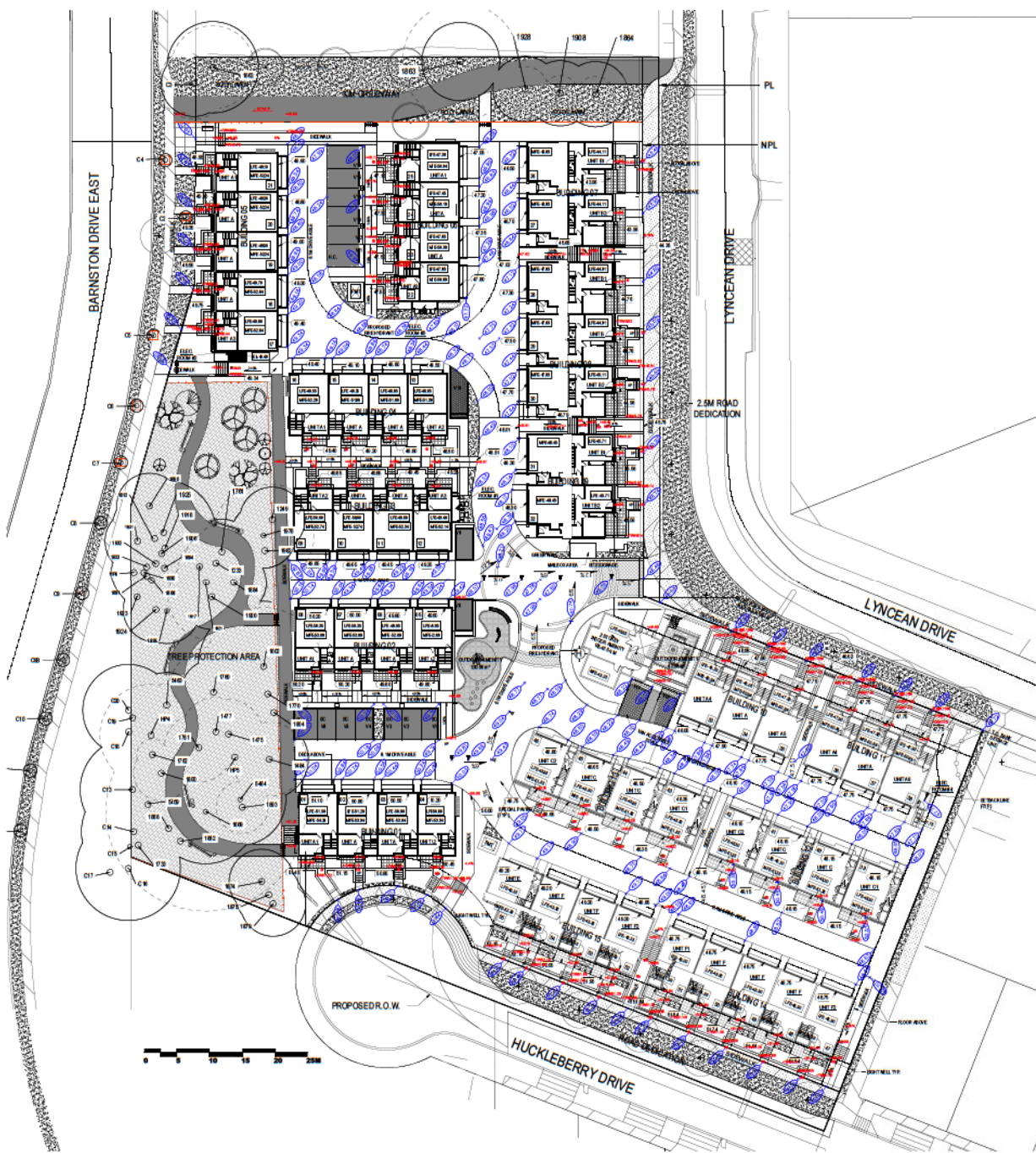
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GRADING PLAN

DATE: MAY.12.2023 DRAWING NUMBER:
SCALE: 1:300
DRAWN: WZ
DESIGN: WZ
CHK'D: YR

L3

OF 8

2300-10.2P PMG PROJECT NUMBER: 23-092



SCALE:



6	24.8.20	UPDATE TO MANAGER'S PLAN	KL
8	24.9.20	REVISE PLAN	WZ
7	24.9.21	REVISE PLAN	WZ
4	24.MAY.22	REVISE PLAN	WZ
5	24.MAY.22	REVISE PLAN COMMENTS	WZ
2	24.APR.22	REVISE PLAN WITH SCENE SHOT	WZ
3	23.OCT.21	REVISE PLAN	WZ
1	23.MAY.20	REVISE PLAN COMMENTS	WZ
1	23.MAY.20	REVISE PLAN COMMENTS	WZ

NO. DATE REVISION DESCRIPTION DR

CLIENT:

PROJECT:

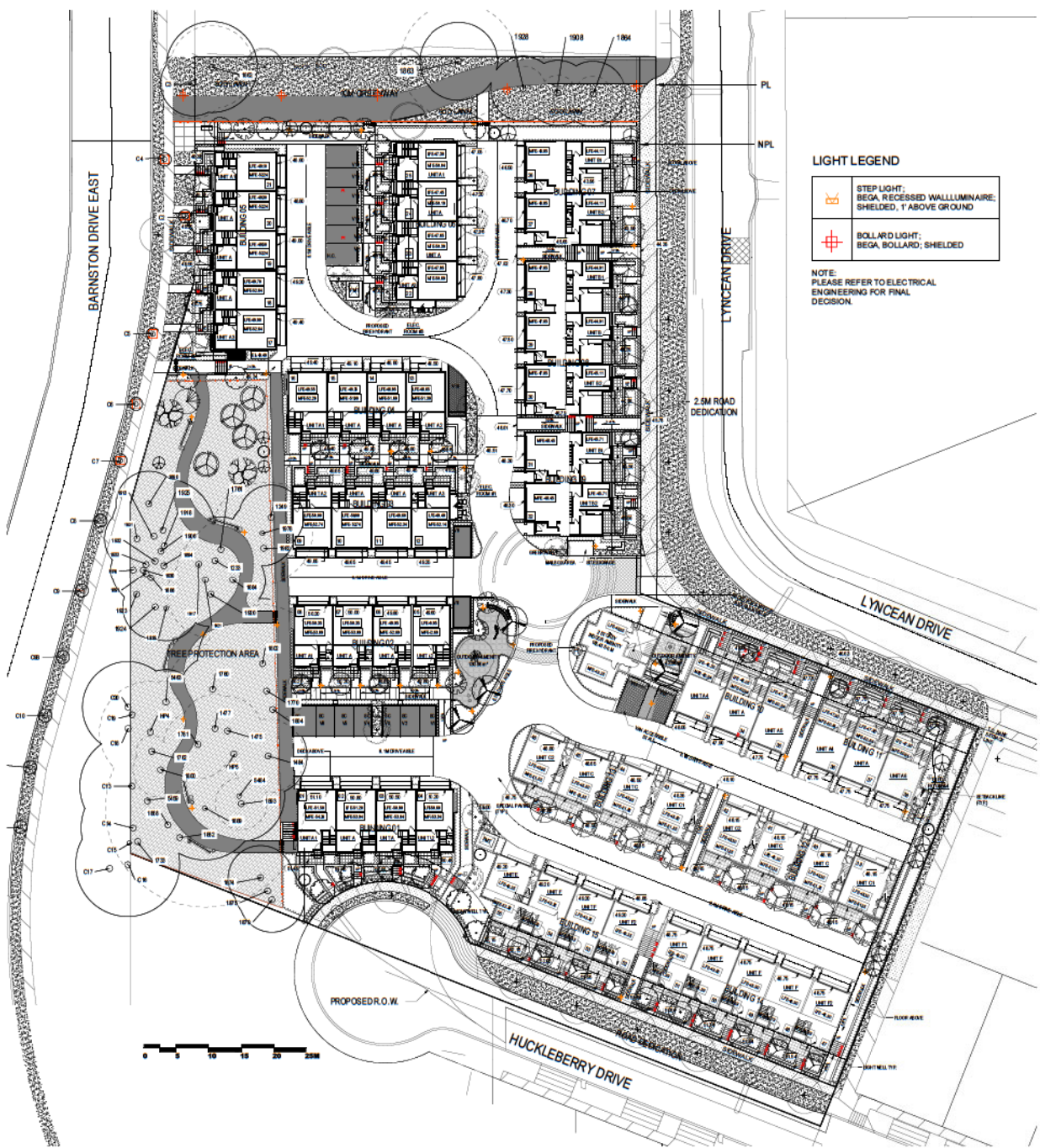
55 UNIT TOWNHOUSES
9833-9991 LYNCEAN DRIVE
SURREY, BC

DRAWING TITLE:
LANDSCAPE LIGHTING PLAN

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DESIGN: WZ
CHK'D: YR

L4
OF 8

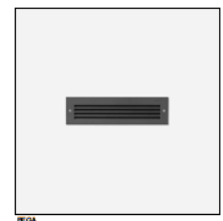
2300-10.2P PMG PROJECT NUMBER: 23-092



LIGHT LEGEND

	STEP LIGHT; BEGA, RECESSED WALLUMINAIRE, SHIELDED, 1' ABOVE GROUND
	BOLLARD LIGHT; BEGA, BOLLARD, SHIELDED

NOTE:
PLEASE REFER TO ELECTRICAL
ENGINEERING FOR FINAL
DECISION.

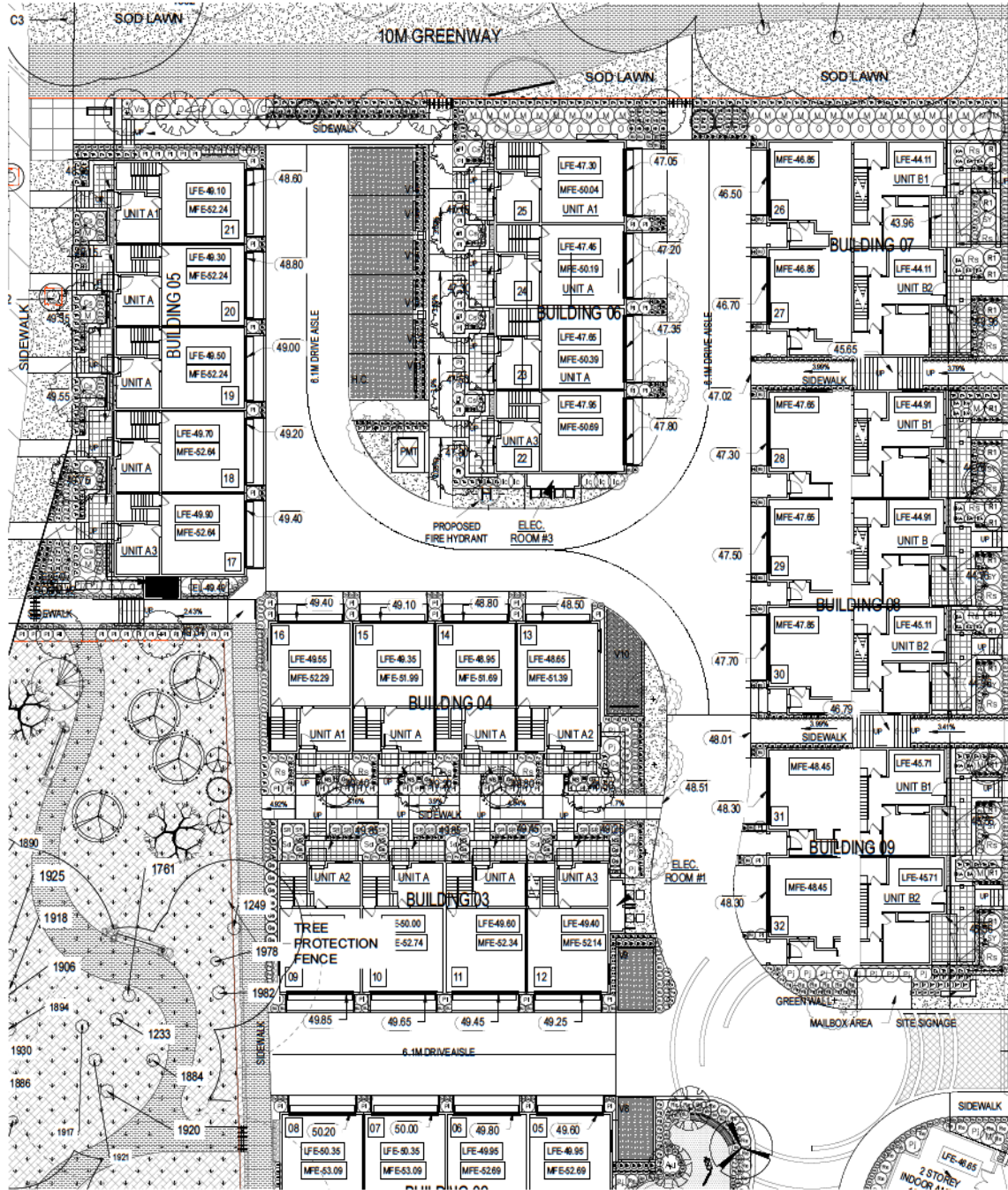


BEGA
RECESSED WALL LUMINAIRE,
SHIELD



BEGA
BOLLARD, SHIELDED





PLANT	QTY	BOTANICAL NAME	COMMON NAME	PMG PROJECT NUMBER
TREE	8	ABIES HORENSA	KORIAN FIR	3M HT, B&B
	9	ACHER PLATANUS 'OSAKADOL'	GREEN JAPANESE MAPLE	50M CAL, B&B, TREE FORM
	13	CARINIAS BETULUS TRANS FONTANE	FRANS FONTANE EUROPEAN HORNBARK	50M CAL, 1.8M STD, B&B
	5	CERES CANADENSIS	EASTERN RED BUD	50M CAL, B&B
	5	CHAMAECIPRESS VIRENS ARBOR	GREEN GEM BOWNWOOD	3M HT, B&B
	15	CORNIUS FLORIDA 'SILERA'	PINK FLORENING DOGWOOD	50M CAL, 5M HT, B&B, CLIMATE RESILIENT
	11	FAUGUS SYLVATICUS 'DAWYOK PURPLE'	PURPLE FAUSTGATE BEECH	50M CAL, 1.8M STD, B&B
	5	MAHONIA BESCULY	OVAMA MAHONIA (W&T)	50M CAL, B&B
	13	PARGOTA PERUCA	PERSIAN ROMANO OD	50M CAL, SPEC TREE FORM, B&B, 3 STEM CLUMP
	3	PICULA PINKENSIS 'GLAUKA BLUE MIST'	BLUE MIST BLUE SPRUCE	3M HT, B&B
	7	PRUNUS SEROTINATA 'MANSONIAN'	MANSONIAN CHERRY	50M CAL, 1.8M STD, B&B
	8	SORBUS ARA 'LITESCENS'	WHITEBAM MOUNTAIN ASH	50M CAL, 1.8M STD, B&B
	24	ARBUXTUS UNEDIO COMPACTA	COMPACT STRAWBERRY BUSH	# POT, 1.2M
	105	AZALEA JAPONICA 'HARDERS BEAUTY'	AZALEA LIGHT PINK	# POT, 25CM
	11	BESBERGIA THUNBERGII 'WOLFE GLOW'	ROSE PURPLE FOLIAGE BARBERRY	# POT, 40CM
	202	BUXUS MICROPHYLLA VIRENENSA	GREEN GEM BOWNWOOD	# POT, 45CM
	9	CARYOPHYTE X CLAUDONEN 'S DANK INKHT'	SLUEBERRY	# POT
	46	CORNUS BERGICATA 'SILVERMA'	YELLOWING DOGWOOD	# POT, 35CM
	7	FOTHERGILLIA MAJOR 'MOUNT AIRY'	MOUNT AIRY FOTHERGILLA	# POT, 60CM
	2	HEBE RAKAENENSIS	SUTHERLAND HEBE	# POT, 40CM
	6	HYDRANGEA 'SIRIRUA 'SILVERBIRD'	MOUNTAIN HYDRANGEA, LACECAP BLUE	# POT, 40CM
	28	ILEX 'CRENATA 'CONHEX'	JAPANESE HOLLY	# POT
	4	KALAMA LATHOLIA 'MUKET'	MINNET MOUNTAIN LAUREL	# POT, 30CM
	72	MAHONIA AQUIFOLIUM	OREGON GRUE	# POT, 40CM
	100	MAHONIA NERVOISA	LONGLEAF MAHONIA	# POT, 30CM
	30	NAKANDA DUMSTICA 'SINNA SUNSET'	SINNA SUNSET HEAVENLY BAMBOO	# POT
	80	OSMANTHUS 1 'EUBRYWOOD'	SHINING OSMANTHUS	# POT, 16CM
	9	PIRIS JAPONICA 'FLAMING SILVER'	PIRIS, WHITE BLOOM, VAREGATED FOLIAGE	# POT, 30CM
	121	FRANKS LAUROCARPUS 'OTTO LUYHNI'	OTTO LUYHN LAUREL	# POT, 30CM
	34	RHOXODENDRON 'CHRISTMAS CHEER'	RHOXODENDRON BUSH PINK	# POT, 15CM, 6M B&B
	9	RHOXODENDRON 'P.M ELITE'	P.M ELITE RHOXODENDRON	# POT
	36	RHOXODENDRON 'TAMPO'	RHOXODENDRON FINVIOLETT	# POT, 60CM
	22	RIEES SANGUELIUM	RED FLORENING CURRANT	# POT, 60CM
	63	ROSA EXPLORER 'FRONTENAC'	FRONTENAC ROSE, DEEP PINK	# POT, 60CM
	6	ROSA 'EDELROSE' 'HENRY VIIIODON'	HENRY VIIIODON ROSE, WHITE WITH PINK TRINE	# POT, 40CM
	21	SANDUCOCOLA RUBICOLA	FRAGRANT SWEET BOX	# POT, 45CM
	22	SPIREEA JAPONICA 'OLD MOON'	DWARF GOLD MOON SPIREA	# POT, 30CM
	11	SYMPHORICARPOS ALBUS	SNOWBERRY	# POT, 30CM
	12	SYRINGA PATULA 'MISS KEM'	MISS KEM COMPACT LILAC	# POT, 60CM
	328	TAXUS X MEDIA 'NAE EDDIE'	EDDIE'S YEW	# POT, 80CM
	7	VIBURNUM 'T. SUMMER SNOWFLAKE'	SUMMER SNOWFLAKE VIBURNUM	# POT, 40CM
	62	CALAMAGROSTIS ACUTIFLORA 'KARL HOERSTER'	FEATHER REED GRASS	# POT
	272	CAREX OMBIFENSIS 'SODGRASS'	EVERSOLO WHESE SEDGE	# POT
	180	HAKONECHLOA MACR A 'ALL GOLD'	GOLDEN JAPANESE FOREST GRASS	# POT
	417	HELICTROCHLOA SEMPERVIRENS	BLUE CAT GRASS	# POT
	180	POMABETULA SPECIOSA 'DWARF HAWK'	DWARF PINK BUSH GRASS	# POT
	11	ACTAEA SIMPLEX 'BLACK NEIGHEE'	BLACK-LEAVED BUMBERWE	15CM POT
	1	ACTAEEMIA X KONIS 'CASTLE'	PINK CASTLE ACTAEEMIA	15CM POT
	30	BRANBRERA MACROPHYLLA	SIBERIAN BLUEBLOSS	15CM POT
	14	HELLBORUS x HYBRIDUS	LENTIL HORSE	15CM POT
	41	HEMEROCALLIS 'SINO BRANNAN'S'	RESEL COLOMBIA DUTYLLY	# POT, 2.3 FM
	69	HEPETA x FRASSERI 'DRO PMORE'	BLUE CATMINT	15CM POT
	11	RUBICODIA 'LUGSA VAS BULLIVANTH'	GOLD COLOMBIA YELLOW ORANGE	15CM POT
	9	SEDUM 'AUFIMUNDOY'	AUFIMUNDOY STONECROP	5CM POT
	408	ARCTOSTAPHYLOS 'VAVA'SIRI' 'HAKODUMER JADE'	HINOKINUCK	# POT, 30CM
	76	GALLIETHEA 'SHALON'	SALAL	# POT, 30CM, 60CM, 0.2
	34	PACHYSTEMATA 'TERMINALS'	JAPANESE SPURGE	5CM POT
	240	POLYSTACHYA 'MANTIM'	WESTERN MANDY FERN	# POT, 25CM

NOTES: *PLANT BILLS WITH LIFE ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZE IS SPECIFIED AS PER CANADA STANDARD, BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. **REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. **SEARCH AND REVIEW MUST BE PROVIDED FOR PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. **AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. **SUBSTITUTION: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. **DEFINITION OF CONDITIONS OF AVAILABILITY: **ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. **ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE SOURCES. **SOD-COLORED NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

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SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
1	24.09.23	REVISED SUBMITTAL	WZ
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3	24.09.23	REVISED SUBMITTAL	WZ
4	24.09.23	REVISED SUBMITTAL	WZ
5	24.09.23	REVISED SUBMITTAL	WZ

PROJECT:

55 UNIT TOWNHOUSES
9833-9991 LYNCEAN DRIVE
SURREY, BC

DRAWING TITLE:
SHRUB PLAN

DATE: MAY 12, 2023 DRAWING NUMBER:
SCALE: 1:50 **L5**
DRAWN: WZ
DESIGN: WZ
CHECK: YR OF 8

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SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
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2	24.05.23	ISSUE FOR PERMIT	WZ
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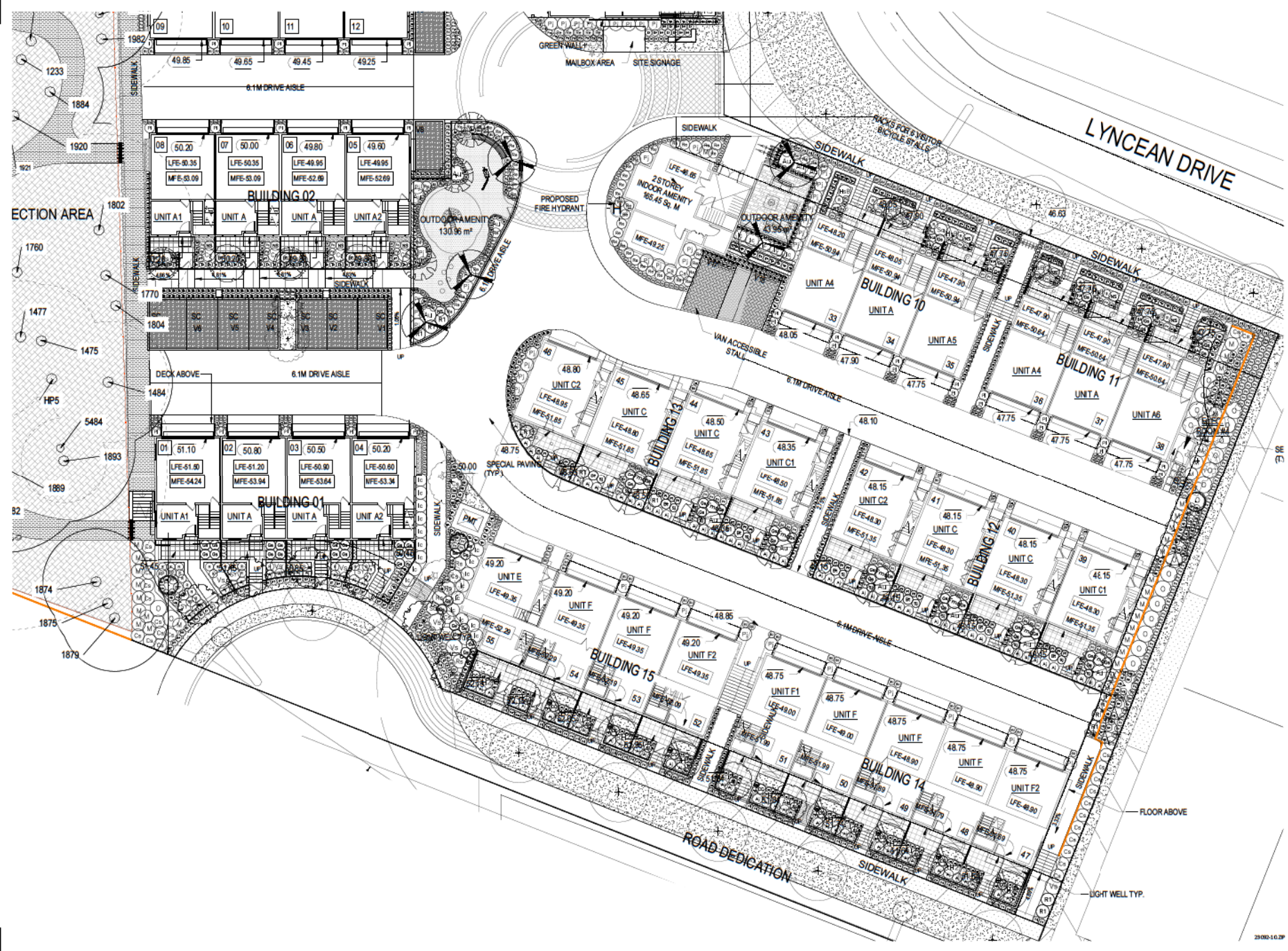
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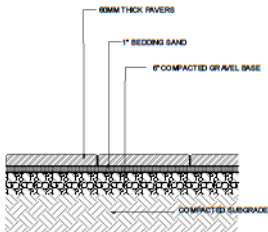
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9833-9991 LYNCEAN DRIVE
SURREY, BC

DRAWING TITLE:
SHRUB PLAN

DATE: MAY.12.2023 DRAWING NUMBER:
SCALE: 1:50 **L6**
DRAWN: WZ
DESIGN: WZ
CHECKED: YR **OF 8**

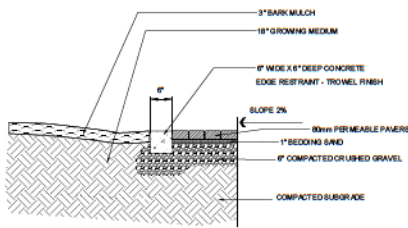
23-000-10-2P PMG PROJECT NUMBER: 23-092



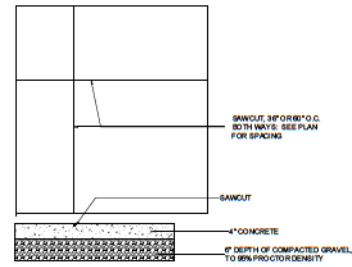


NOTE:
PAVERS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS

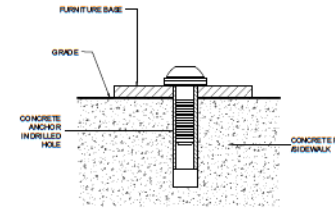
1 PAVERS ON GRADE
SCALE: 1/20



2 CONCRETE EDGE RESTRAINT
SCALE: 1/20

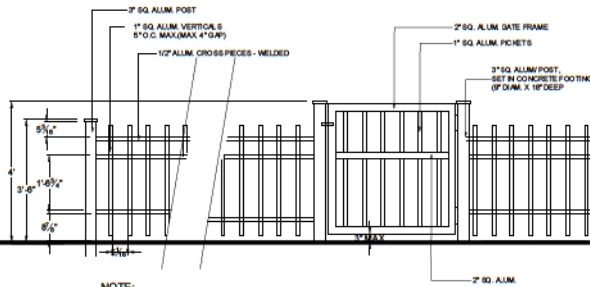


3 CONCRETE SAW CUTS
SCALE: 1/20



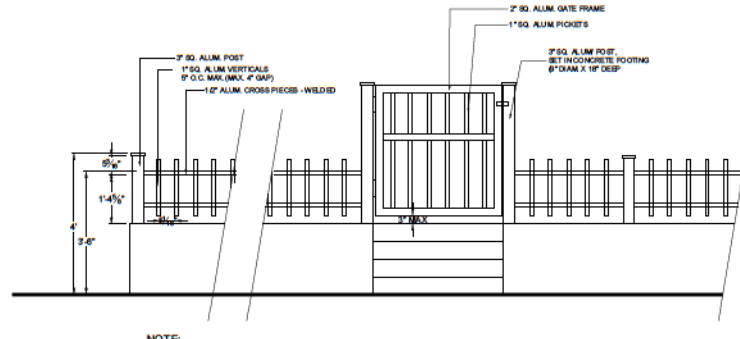
NOTE:
SITE FURNISHINGS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS

4 SITE FURNITURE MOUNTING
SCALE: N.T.S.



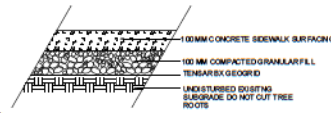
NOTE:
HEAVY DUTY HANDLE & HINGES
COLOUR OF FENCE TO MATCH THE BUILDING AND BE APPROVED BY LANDSCAPE ARCHITECT

5 3.5FT HT. METAL PICKET FENCE
SCALE: 1/20



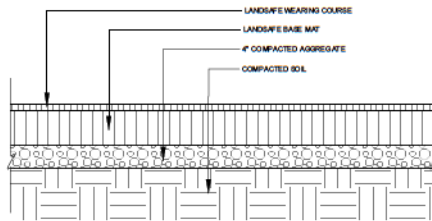
NOTE:
HEAVY DUTY HANDLE & HINGES
COLOUR OF FENCE TO MATCH THE BUILDING AND BE APPROVED BY LANDSCAPE ARCHITECT

6 3.5FT HT. METAL PICKET FENCE ON RETAINING WALL
SCALE: 1/20



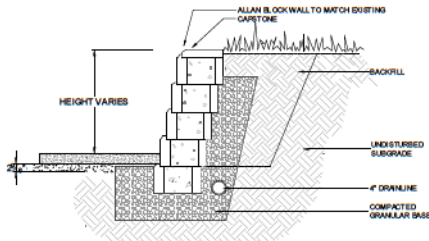
NOTE:
1. GEGRID PLACEMENT TO FOLLOW THE LAYOUT AS INDICATED ON THE CIVIL PLANS AS REQUIRED TO PROTECT THE ROOTS OF THE RETAINED TREES.
2. IF THE EXISTING ROOTS ARE EXPOSED, CONTACT PROJECT ARCHITECT FOR ASSISTANCE PRIOR TO PROCEEDING.

10 CONCRETE THROUGH TPZ
SCALE: 1/20



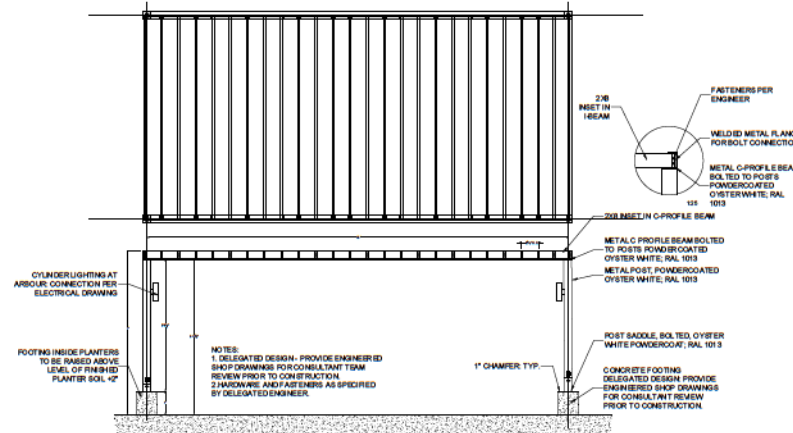
NOTES:
1. INSTALL RUBBER SURFACE AND EDGE PER MANUFACTURERS SPECIFICATION
2. RUBBER DEPTH VARIES FROM 2\"/>

7 RUBBER PLAY SURFACE
SCALE: 1/5



NOTES:
1. SEE ENGINEERING DRAWING FOR HEIGHT OF WALLS
2. ALLAN BLOCK CLASSIC WALL COLOUR TO MATCH EXISTING
3. INSTALL WALLS PER MANUFACTURERS SPECIFICATIONS

8 ALLAN BLOCK WALL
SCALE: 1/20



NOTES:
1. DELEGATED DESIGN - PROVIDE ENGINEERED END-DRAWINGS FOR CONSULTANT TEAM REVIEW PRIOR TO CONSTRUCTION
2. HARDWARE AND FASTENERS AS SPECIFIED BY DELEGATED ENGINEER

9 TRELLIS
SCALE: 1/50

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.

NO.	DATE	REVISION DESCRIPTION	DR.
1	24.03.24	UPDATE DRAWING WITH PLAN	WZ
2	24.03.24	REV W/ B RANK	WZ
3	24.03.24	REV W/ B RANK	WZ
4	24.03.24	REV W/ B RANK	WZ
5	24.03.24	REV W/ REVISION COMMENTS	WZ
6	24.03.24	REV W/ PLAN SET CHANGE	WZ
7	25.03.24	REV W/ B RANK	WZ
8	25.03.24	REV W/ REVISION COMMENTS	WZ
9	25.03.24	REV W/ REVISION COMMENTS	WZ

PROJECT:
55 UNIT TOWNHOUSES
9833-9991 LYNCEAN DRIVE
SURREY, BC

DRAWING TITLE:
LANDSCAPE DETAILS

DATE: MAY.12.2023 DRAWING NUMBER:
SCALE: AS SHOWN **L7**
DRAWN: WZ
DESIGN: WZ
CHK'D: YR OF 8

SCALE:

NO.	DATE	REVISION DESCRIPTION	DR.
1	24.09.20	ISSUE FOR TOWNHOUSE PERMIT PLAN	KL
2	24.09.20	REVW BY K RANK	WZ
3	24.09.20	REVW BY K RANK	WZ
4	24.09.20	REVW BY K RANK	WZ
5	24.09.20	REVW BY K RANK	WZ
6	24.09.20	REVW BY K RANK	WZ
7	24.09.20	REVW BY K RANK	WZ
8	24.09.20	REVW BY K RANK	WZ
9	24.09.20	REVW BY K RANK	WZ

NO. DATE REVISION DESCRIPTION DR.

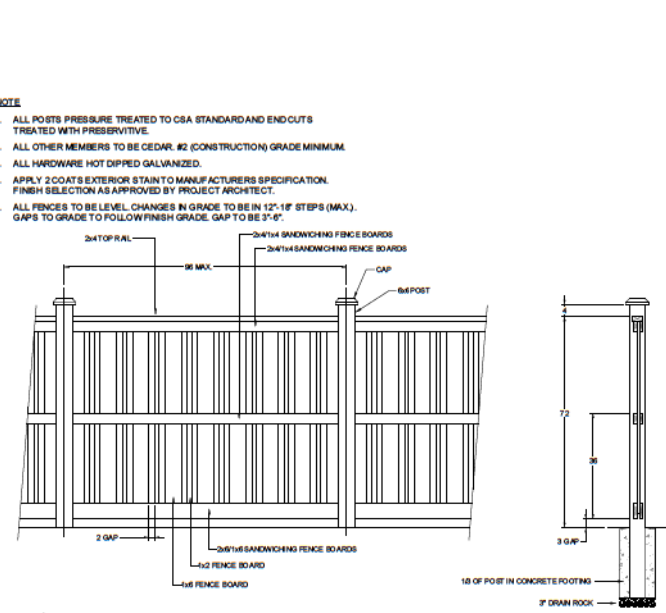
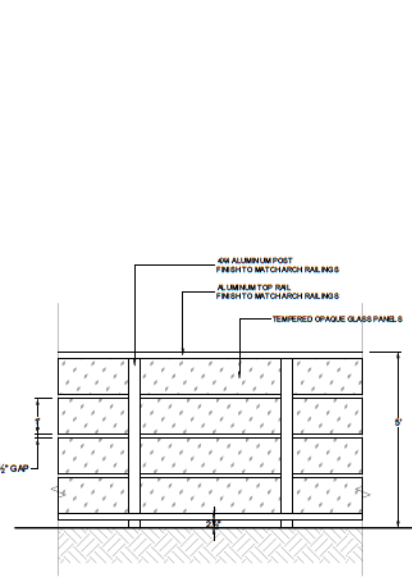
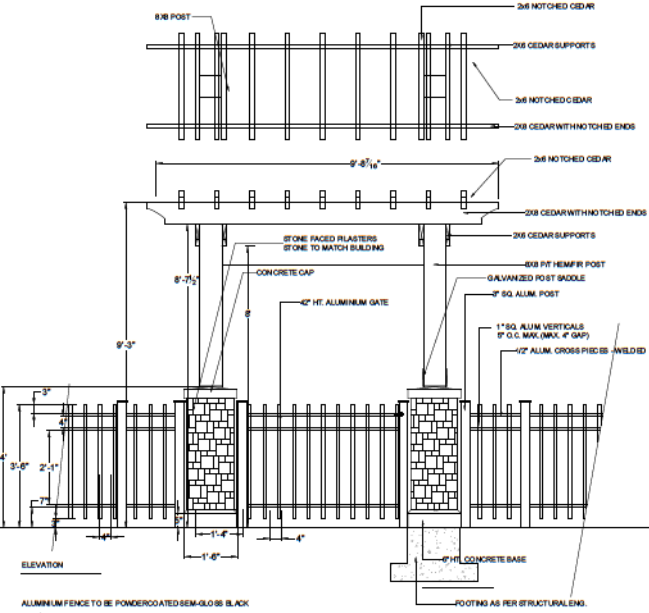
CLIENT:

PROJECT:

55 UNIT TOWNHOUSES
 9833-9991 LYNCHEAN DRIVE
 SURREY, BC

DRAWING TITLE:
DETAILS

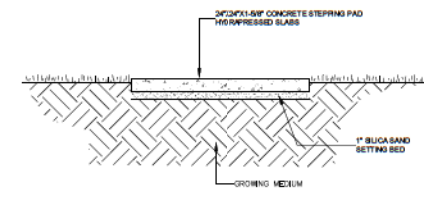
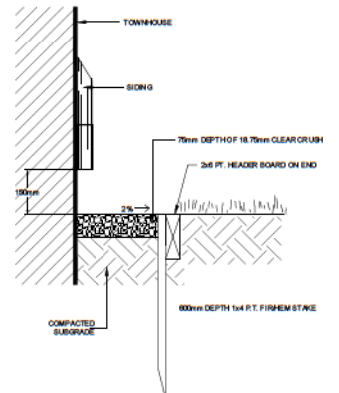
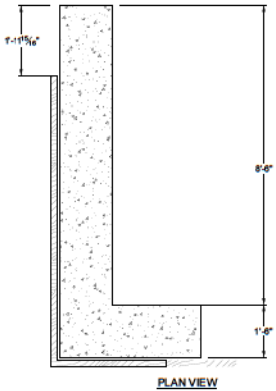
DATE: MAY.12.2023 DRAWING NUMBER:
 SCALE: AS SHOWN
 DRAWN: WZ
 DESIGN: WZ
 CHECKED: YR **L8**
 OF 8



1 ENTRY TRELIS WITH 42\"/>

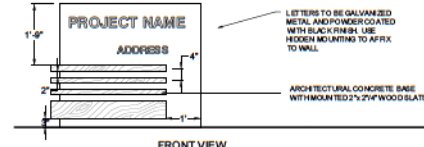
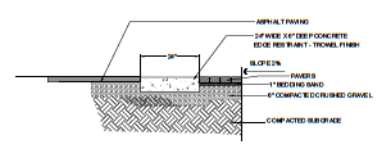
2 5' OPAQUE GLASS FENCE SCREENING

3 6' HT. PREMIER WOOD FENCE



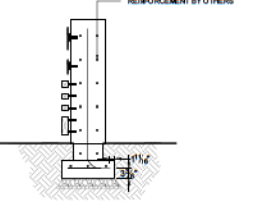
6 GRAVEL DRAIN STRIP

7 CONCRETE STEPPING STONE



4 CONCRETE EDGE RESTRAINT

5 PROJECT SIGN



REINFORCEMENT BY OTHERS



INTER-OFFICE MEMO

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **October 15, 2024**

PROJECT FILE: **7823-0214-00**

RE: **Engineering Requirements**
Location: 9883 Lyncean Dr

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment/NCP Amendment/ALR Exclusion.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Register 0.5m SRW along development frontages.
- Dedicate 2.5m along north-south portion of Lyncean Dr.
- Dedicate 6.5m along Huckleberry Dr.

Works and Services

- Construct Lycean Dr along the side fronting the development.
- Construct 4.0m MUP north of the new Greenway connection along Barnston Dr East.
- Construct north side of Huckleberry Dr.
- Provide adequately sized storm, sanitary and water service connection to each lot.
- Provide downstream catchment analyses for drainage to confirm capacities, and address any constraints as required.
- Register RC for on-site sustainable drainage features.
- Register RC for onsite sanitary pumping (if required).

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/ Development Variance Permit.

Jeff Pang, P.Eng.
 Manager, Development Services

NOTE: Detailed Land Development Engineering Review available on file

Department: **Planning and Demographics**
Date: **July 30, 2024**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23-0214**

The proposed development of **55** Townhouse units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	48
---	----

Projected Number of Students From This Development In:	
Elementary School =	26
Secondary School =	14
Total Students =	40

Current Enrolment and Capacities:	
Bothwell Elementary	
Enrolment	308
Operating Capacity	294
# of Portables	2
Fraser Heights Secondary	
Enrolment	1597
Operating Capacity	1200
# of Portables	12

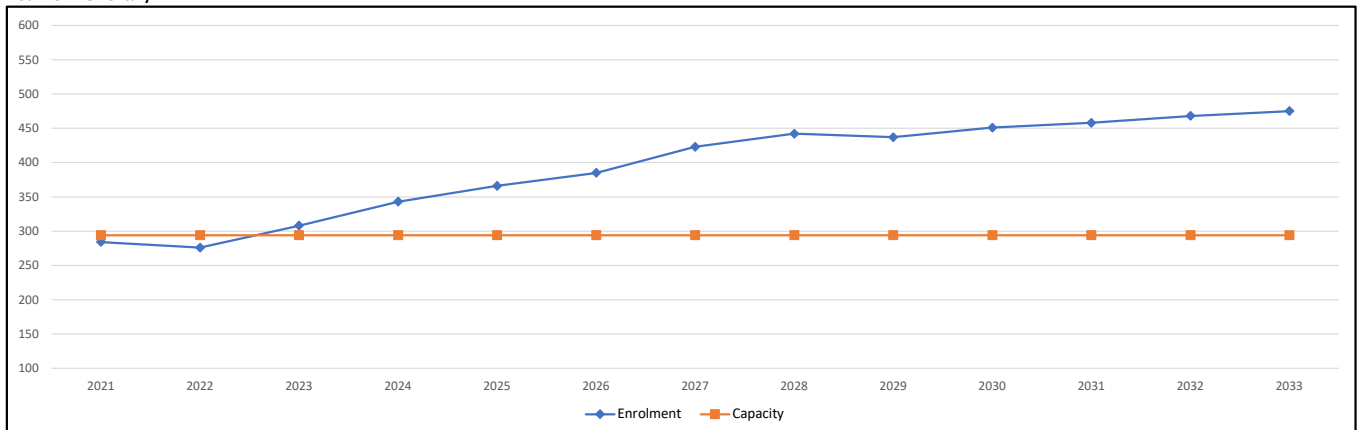
Summary of Impact and Commentary

The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

As of September 2023, Bothwell is at 105% capacity. 10 year enrolment projections show continued growth with the build out of the Abbey Ridge land use plan area. As part of the 2024/2025 Capital Plan the District is requesting a new site in the new Abbey Ridge area. There has been no Ministry funding approval for this project to date. Until then, enrolment growth at Bothwell will be accommodated by portables.

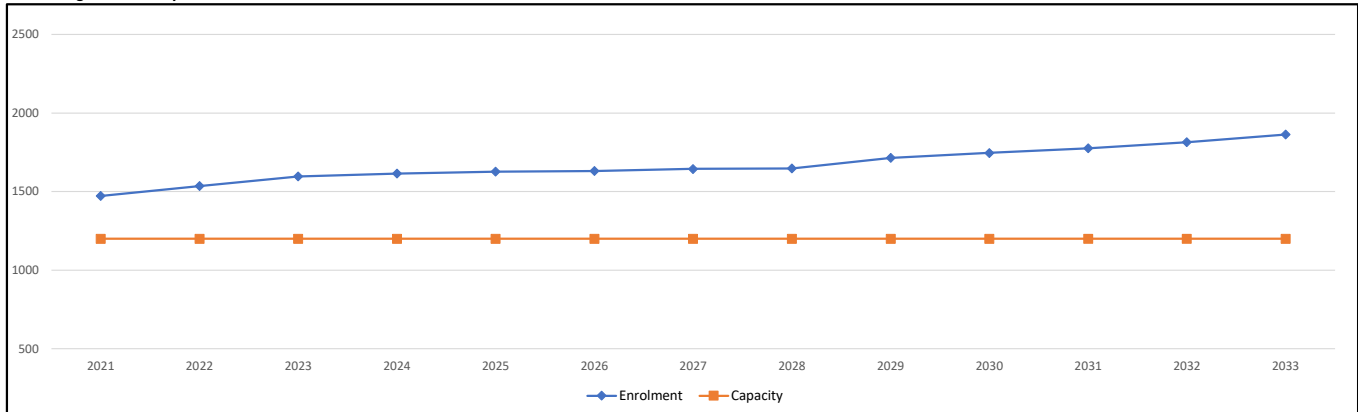
As of September 2023, Fraser Heights is currently operating at 133% capacity. It is the only secondary school that serves the communities north of Highway 1. The school's 10 year projections show enrolment to continue at this level and potentially grow as the Bothwell and Abbey Ridge communities start to build out. As a result, the District has requested as part of their 2025/2026 Capital Plan submission to the Ministry a 500 capacity addition for the school, targeted to open in 2029. There has been no Ministry funding approval for this project.

Bothwell Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.


Fraser Heights Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population: The projected population of children aged 0-17 impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.

3.3 Replacement Tree Requirements

Surrey File Number: no: 23-092
 Address: 9883, 9897, 9911 Lyncean Drive, Surrey, BC
 Arborist: Kelly Koome
 Date of Report/Revision: Sept 19, 2024
 Arborist Signature: 

*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the Arborist Report

Table 2: Tree Preservation by Location

	<u>Alder & Cottonwood Trees</u>		
	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)	15	8	7
Alder/Cottonwood (within riparian area)	N/A	N/A	N/A
Total	15	8	7
<u>Deciduous Trees</u> (excluding Alder & Cottonwood Trees)			
Tree Species	Existing	Remove	Retain
Flowering cherry	1	0	1
Apple	2	0	2
Plum	1	1	0
Deciduous Subtotal	4	1	3
<u>Coniferous Trees</u>			
Tree Species	Existing	Remove	Retain
Western redcedar	121	81	40
Douglas-fir	10	8	2
Deodar cedar	1	1	0
Hinoki cypress	1	1	0
Western hemlock	4	3	1
Coniferous Subtotal	137	94	43
Deciduous & Coniferous Total	141	95	46
Onsite Tree Totals	156 + 7 DEAD STANDING	103	53
Onsite Replacement Trees Proposed <small>*insert "0" if TBD or unknown</small>		113	
Total Onsite Retained and Replacement Trees		166	

Alder & Cottonwood Trees					
	Existing	Remove	Retain		
OFFSITE	Alder/Cottonwood (outside riparian area)	N/A	N/A	N/A	
	Alder/Cottonwood (within riparian area)	N/A	N/A	N/A	
	Total	0	0	0	
	Deciduous & Coniferous (excluding Alder & Cottonwood Trees)				
	Tree Species	Existing	Remove	Retain	
		1	1	0	
	Deciduous & Coniferous Total	1	1	0	
	Offsite Tree Totals	1	1	0	
Total Offsite Retained Trees			0		
CITY		Existing	Remove	Retain	
	Park/City Lot Trees	35	25	10	
	Boulevard Trees	12	0	12	
	Total	Numbers in Table 1 go up to C46 but there is a C9B, making the total 47	25	22	



Table 3: Tree Preservation Summary

<u>ONSITE TREES</u>				<u># of Trees</u>
Existing Bylaw Trees				<u>156</u>
Proposed Removed Bylaw Trees				<u>103</u>
Proposed Retained Bylaw Trees				<u>53</u>
Total Replacement Trees Required				
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio				
Removed		x		Subtotal
8	1	1		1
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio				
Removed		x		Subtotal
0	2	0		0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio				
Removed		x		Subtotal
103	2	206		-
Required Replacement Trees				<u>207</u>
Proposed Replacement Trees				<u>0</u>
Deficit of Replacement Trees				<u>0</u>
Total Onsite Retained and Replacement Trees				<u>0</u>
<u>OFFSITE TREES</u>				<u># of Trees</u>
Existing Bylaw Trees				<u>1</u>
Proposed Removed Bylaw Trees				<u>1</u>
Proposed Retained Bylaw Trees				<u>0</u>
Total Replacement Trees Required				
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio				
Removed		x		Subtotal
0	1	0		0
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio				
Removed		x		Subtotal
0	2	0		0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio				
Removed		x		Subtotal
1	2	2		2
Required Replacement Trees				<u>2</u>
*To be taken as cash-in-lieu				
Total Offsite Retained Trees				<u>0</u>



<u>CITY TREES</u>	<u>Existing</u>	<u>Removed</u>	<u>Retained</u>
Park/City Lot Trees	35	25	10
Boulevard Trees	12	0	12
Total	47	25	22





Barnston-Dr E

Lyncean Dr

177B St

Huckleberry Dr

No-1-Hwy

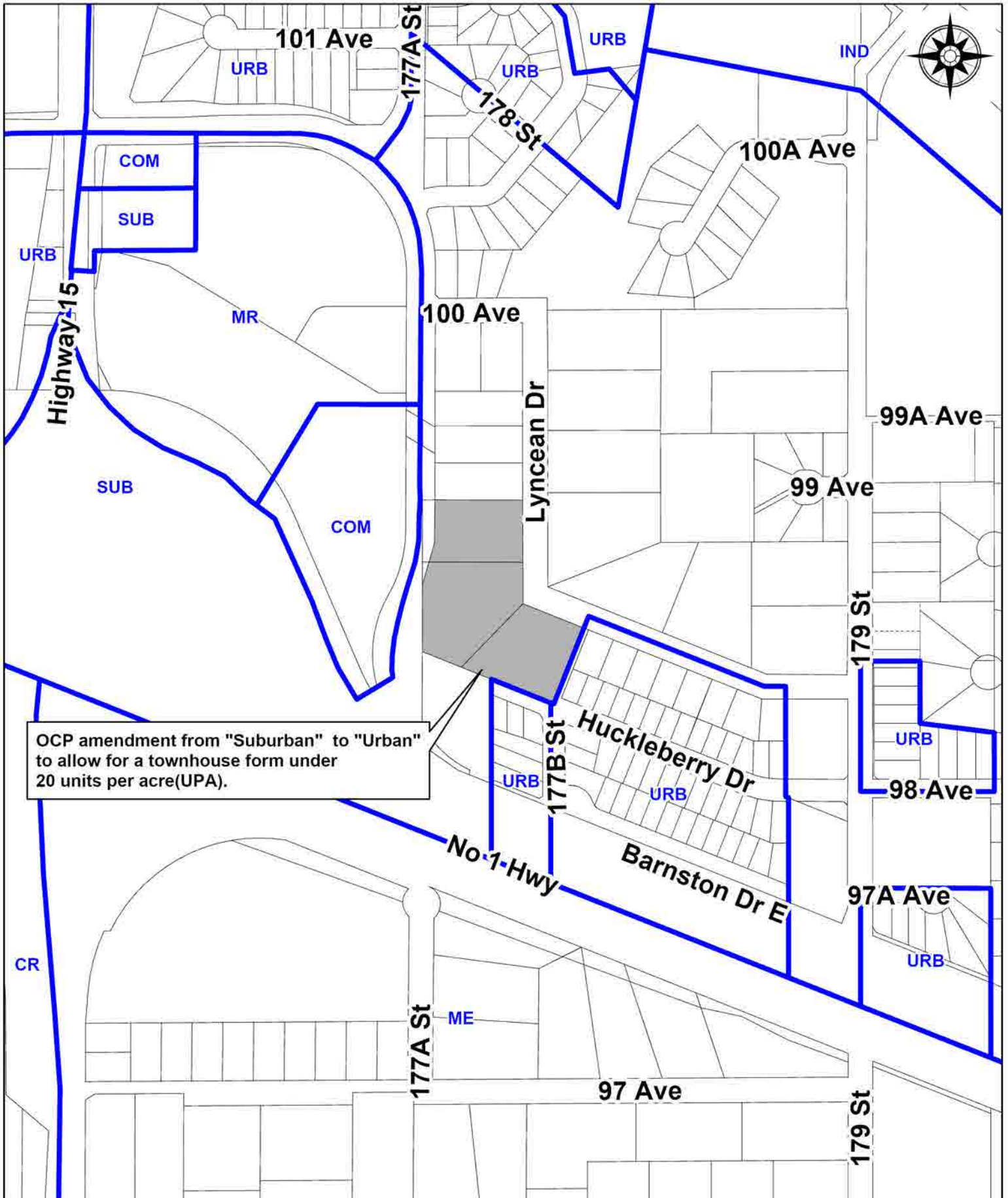
“LAP Amendment to
“Townhouse 15-20 UPA Gross”
and “City Greenway”
to allow for the proposed
townhouse form and greenway.”



LAP Amendment 23-0214-00

to “Townhouse 15-20 UPA Gross” and “City Greenway”
to allow for the proposed townhouse form and greenway.”





CITY OF SURREY

BYLAW NO. 21439

A bylaw to amend the provisions of Surrey Official
Community Plan Bylaw, 2013, No. 18020, as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Official Community Plan Bylaw, 2013, No. 18020, as amended, is hereby further amended by modifying "Figure 3, General Land Use Designations" of the Land Uses and Densities Section by changing the land use designation for the area shown shaded on the plan labeled Schedule A, attached hereto as follows:

FROM: SUBURBAN (SUB)

TO: URBAN (URB)

PID: 007-024-142

Lot 37 District Lot 390A Group 2 NWD Plan 43614

(9883 Lyncean Drive)

PID: 007-024-169

Lot 38 District Lot 390A Group 2 NWD Plan 43614 Except Plan EPP5627

(9897 Lyncean Drive)

PID: 006-795-927

Lot 39 District Lot 390A Group 2 NWD Plan 43614 Except Plan EPP5628

(9911 Lyncean Drive)

2. This Bylaw shall be cited for all purposes as "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2024, No. 21439".

PASSED FIRST READING on the th day of , 20 .

PASSED SECOND READING on the th day of , 20 .

PUBLIC HEARING HELD thereon on the th day of , 20.

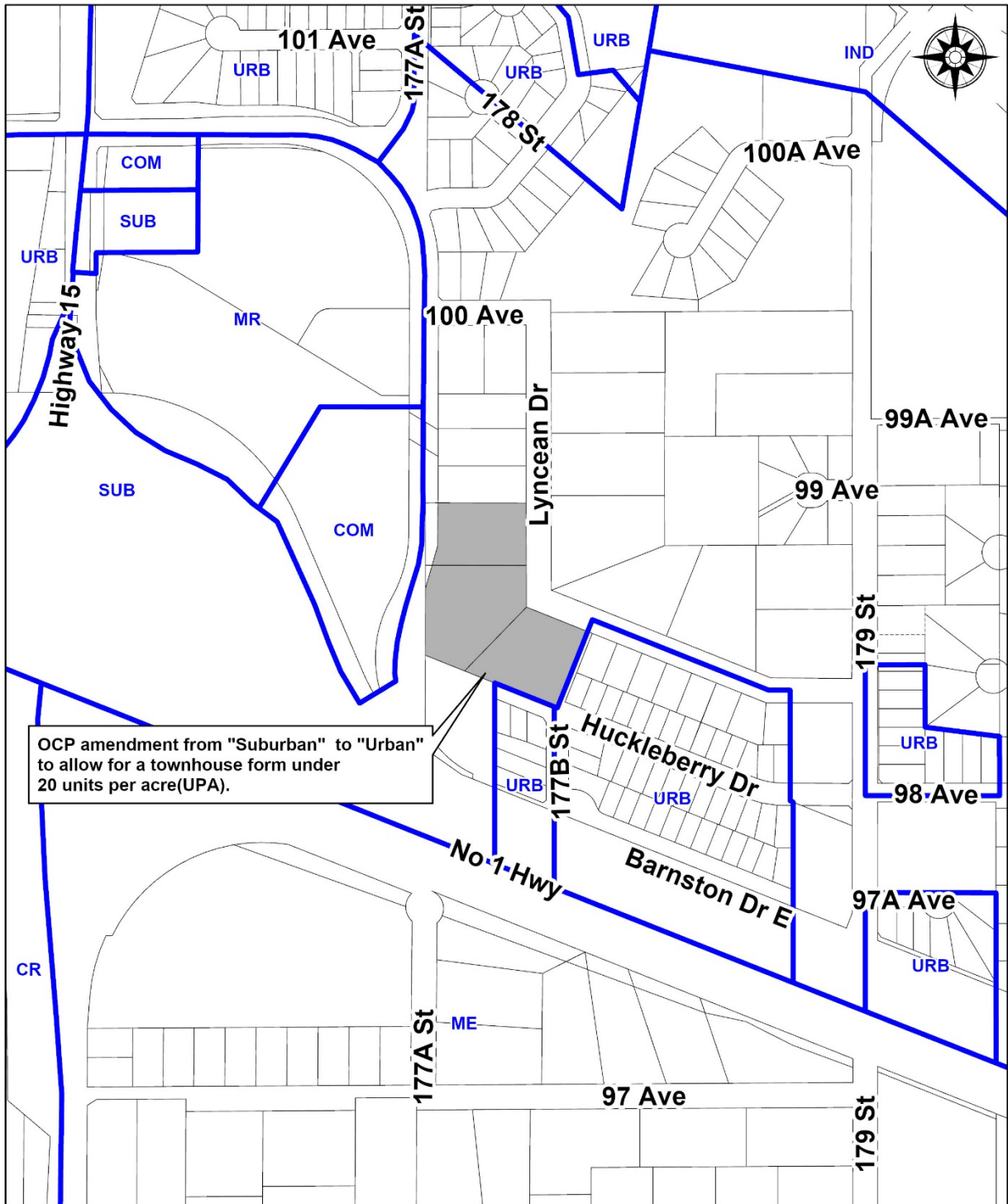
PASSED THIRD READING on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

SCHEDULE A



OCP Amendment 23-0214-00
from "Suburban" to "Urban".



CITY OF SURREY

BYLAW NO. 21440

A Comprehensive Development bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended

.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015 c. 1, as amended, for the following lands:

Address: As described in Appendix "A".
Legal: As described in Appendix "A".
PID: As described in Appendix "A".

as follows:

- (a) by creating a new Comprehensive Development Zone 256 (CD 256), attached as Appendix "A" and forming part of this bylaw;
- (b) by changing the zoning classification shown in Schedule A, Zoning Maps, as follows:
 FROM: ACREAGE RESIDENTIAL ZONE (RA)
 TO: COMPREHENSIVE DEVELOPMENT ZONE (CD); and
- (c) by amending Part 52, Comprehensive Development Zone, Section C. Comprehensive Development Zones, by adding a new CD Zone "CD 256" as follows:

CD Zone ID	Civic Address	Legal Description	CD Bylaw No.	Replaces Bylaw No.
"CD 256"	(a) 9883 Lyncean Drive	(a) Lot 37, Plan 43614	21440	N/A"
	(b) 9897 Lyncean Drive	(b) Lot 38, Plan 43614		
	(c) 9911 Lyncean Drive	(c) Lot 39, Plan 43614		

- 2. This By-law shall be cited for all purposes as "Surrey Comprehensive Development Zone 256 (CD 256), Bylaw, 2024, No. 21440".

PASSED FIRST READING on the th day of , 20 .

PASSED SECOND READING on the th day of , 20 .

PUBLIC HEARING HELD thereon on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECEIVED APPROVAL FROM THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

APPENDIX "A"

COMPREHENSIVE DEVELOPMENT ZONE 256 (CD 256)

In this Comprehensive Development Zone 256 (CD 256), **Part 21, Multiple Residential 15 Zone (RM-15)**, as well as all other applicable regulations of Surrey Zoning By-law, 1993, No. 12000, as amended, (the "Zoning By-law") apply to the following lands:

Address	Legal Descriptions	PID
9883 Lyncean Drive	Lot 37 District Lot 390A Group 2 NWD Plan 43614	007-024-142
9897 Lyncean Drive	Lot 38 District Lot 390A Group 2 NWD Plan 43614 Except Plan EPP5627	007-024-169
9911 Lyncean Drive	Lot 39 District Lot 390A Group 2 NWD Plan 43614 Except Plan EPP5628	006-795-927

(collectively the "Lands")

except as follows:

1. Permitted Uses

Delete Sub-section B.2. in Section B. Permitted Uses and renumber the remaining Sub-sections accordingly.

2. Density

Delete Sub-section D.1.(b) in Section D. Density and replace it with a new Sub-section D.1.(b) as follows:

Delete Section "D. Density" and replace it with a new Section "D. Density" as follows:

"(b) Permitted Unit Density Increases:

If amenity contributions are provided in accordance with Schedule G, *unit density* may be increased as follows:

- (a) Maximum 34.1 *dwelling units* per hectare; and
- (b) Maximum *floor area ratio* of 0.70 excluding the indoor *amenity space* requirement (pursuant to Section J.1. of this Zone)."

3. Yards and Setbacks

Delete Section "F. Yards and Setbacks" and replace it with a new Section "F. Yards and Setbacks" as follows:

"F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum *setbacks*:

USES:	SETBACKS:			
	Front Yard (east)	Rear Yard (west)	Side Yard (north)	Side Yard (south)
<i>Principal and Accessory Buildings and Structures</i>	4.5 m	4.5 m	3.0 m	3.0 m"

4. Height of Buildings

Delete Section "G. Height of Buildings" and replace it with a new Section "G. Height of Buildings" as follows:

"G. Height of Buildings

1. Principal Buildings:

Principal building height shall not exceed 11.8 m."

5. Special Regulations

Delete Sub-section J.2. in Section J. Special Regulations and renumber the remaining Sub-sections accordingly.

6. Subdivision

Delete Section "K. Subdivision" and replace it with a new Section "K. Subdivision" as follows:

"K. Subdivision

1. Minimum Lot Sizes:

Lots created through subdivision except strata lots, shall conform to the following minimum standards:

(a) *Lot Area: Minimum 11,930 sq. m;*

(b) *Lot Width: Minimum 52 m; and*

(c) *Lot Depth: Minimum 52 m."*

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0325-00

Planning Report Date: October 21, 2024

PROPOSAL:

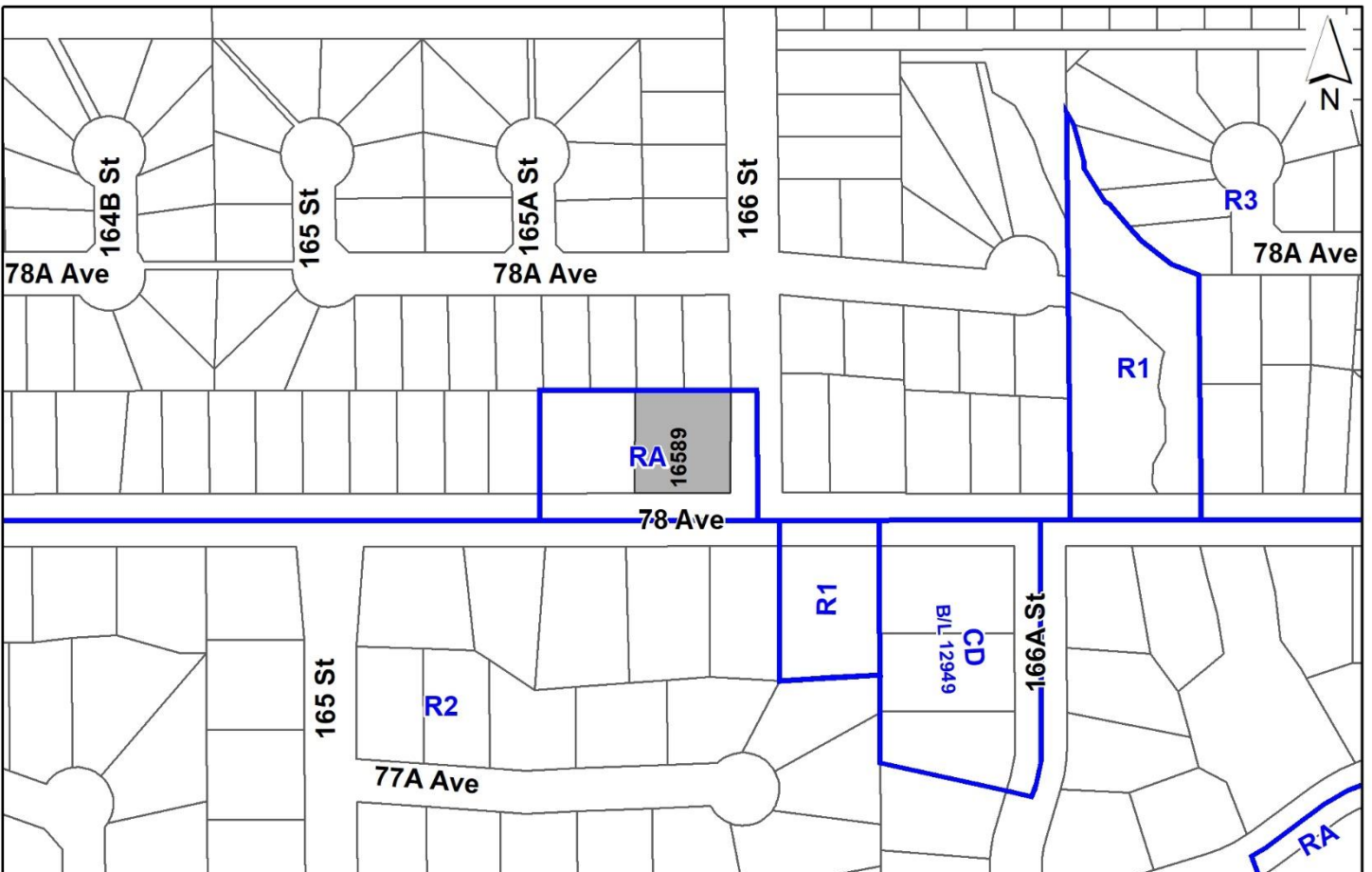
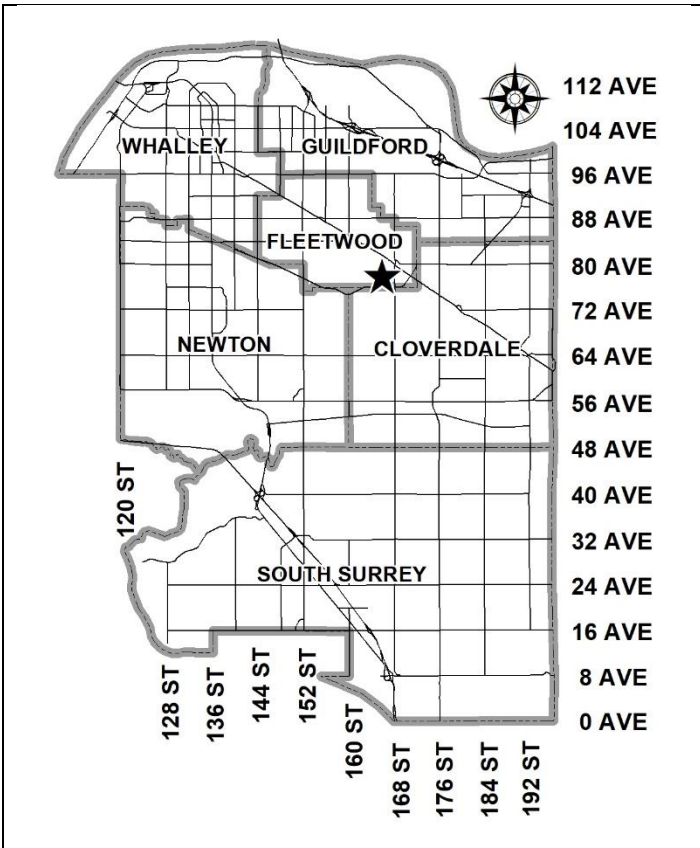
- **Rezoning** from RA to R3 and R4 to subdivide into one R3 lot and two R4 lots.

LOCATION: 16589 - 78 Avenue

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: Urban Residential



RECOMMENDATION SUMMARY

- Rezoning By-law to proceed to Public Notification. If supported the By-law will be brought forward for consideration of First, Second and Third Reading.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Urban designation in the Official Community Plan (OCP).
- In accordance with changes to the Local Government Act, Section 464, under Bill 44 (2023) a Public Hearing is not permitted for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed Rezoning By-law. The Rezoning By-law will be presented to Council for consideration of First, Second, and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.
- The proposal complies with the Urban Residential designation in the Fleetwood Plan (NCP)
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Fleetwood.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to rezone the subject site from "Acreage Residential Zone (RA)" to "Urban Residential Zone (R3)" for Block A on the attached Survey Plan and "Small Lot Residential Zone (R4)" for Block B on the attached Survey Plan. (Appendix I)
2. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) the applicant adequately address the City's needs with respect to the City's Affordable Housing Strategy, to the satisfaction of the General Manager, Planning & Development Services; and
 - (d) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Single Family Dwelling	Urban/Urban Residential	RA
North:	Single Family Dwellings	Urban/ Urban Residential	R3
East (Across 166 Street):	Single Family Dwelling	Urban/ Urban Residential	R3
South (Across 78 Avenue):	Single Family Dwellings	Suburban/ NA	R2
West:	Single Family Dwelling	Urban/ Urban Residential	RA

Context & Background

- The subject property is located at 16589 - 78 Avenue in Fleetwood. It is 1,454 square metres in size and zoned "Acreage Residential Zone (RA)". It is designated as "Urban" in the OCP and "Urban Residential" in the Fleetwood Plan.
- The subject property is within 800 metres of the future Bakerview – 166 Street Station and is within a Tier 3 Transit Oriented Area.

- As the subject site is located within a Transit Oriented Area (TOA) associated with the future Bakerview-166 Street SkyTrain Station along the Surrey-Langley SkyTrain corridor, per Sub-Section B.1.(b)i of both the R₃ and R₄ Zones, the maximum number of dwelling units permitted on each of the subject lots will be two (2), with the principal use limited to a single family dwelling with one additional accessory dwelling such as secondary suite, garden suite or coach house uses.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to rezone the subject property from "Acreage Residential Zone (RA)" to "Urban Residential Zone (R₃)" and "Small Lot Residential Zone (R₄)" in order to permit subdivision from one to three lots (one R₃ lot and two R₄ lots).

	Proposed
Lot Area	
Gross Site Area:	0.15 ha
Road Dedication:	N/A
Undevelopable Area:	N/A
Net Site Area:	0.15 ha
Number of Lots:	3
Unit Density:	20 uph
Range of Lot Sizes	R ₃ = 560 sq. m. R ₄ = 336 to 380 sq. m.
Range of Lot Widths	R ₃ = 15 m.; R ₄ = 18 m.
Range of Lot Depths	R ₃ = 37 m; R ₄ = 24 m.

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: The School District has advised that there will be approximately 3 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

1 Elementary student at William Watson Elementary School
1 Secondary student at Fleetwood Park Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by mid to late 2026.

Parks, Recreation & Culture:

Parks accepts the removal of 3 city trees, labeled ci1, ci2, and ci3, as recommended in the project arborist's report dated July 16, 2024. Parks requires 2:1 compensation into the Green City Program for these removals. Compensation to be collected by Trees and Landscaping and paid prior to Final Adoption.

William Watson Park is the closest park with natural area and a park pathway. It is 140 metres walking distance from the development.

Transportation Considerations

- Vehicular access for the R3 lot will be from 166 Street and 78 Avenue for the two R4 lots.
- The subject site is about 550 metres from the closest bus stops on 168 Street. Transit route 320 provides connection between Langley Centre and Surrey Central Station. Transit route 395 provides connection between Langley Centre and King George Station route.
- Except for sidewalks, there are no cycle tracks, bicycle lanes or multi-use pathways in the area.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The property is designated "General Urban" in the Regional Strategy (RGS). General Urban areas are intended for residential neighborhoods. The proposed residential development complies with the RGS designation for the site.

Official Community Plan

Land Use Designation

- The property is designated "Urban" in the Official Community Plan (OCP) with a maximum density of up to 37 units per hectare (uph). The Urban designation is intended to support low and medium density residential neighborhoods. The development proposes a unit density of 20 uph which complies with the "Urban" designation in the OCP.

Themes/Policies

- The proposed development is consistent with the following guiding policies and objectives in the OCP:
 - A1.5a: Support Frequent Transit Corridors, Frequent Transit Development Areas (FTDA) and Skytrain Corridor Planning Areas (Figure 22) as priority development areas for Surrey to accommodate an increased proportion of density and growth.
 - A4.9: Receive and process land development applications for rezonings, Development Permits or subdivisions only after Stage 1 of a Neighbourhood Concept Plan is approved. Final approval of development applications that are consistent with the Neighbourhood Concept Plan will only be considered after Stage 2 of the NCP is approved and only as is consistent with the procedures outlined in the Implementation Section of this Official Community Plan.

Secondary Plans

Land Use Designation

- The site is designated "Urban Residential" in the Fleetwood Plan. The development proposal complies with this designation.

Themes/Objectives

- The Fleetwood Plan will support the extension of the Surrey Langley Skytrain and guide the growth of Fleetwood over the next 30 years. A key feature of the plan is an employment district around the Bakerview – 166 Street Station, which is within 800 metres of the proposed development.

- One of the guiding principles of the Fleetwood Plan is focused growth. A variety of residential designations are included in the Land Use Concept to support a diversity of housing options. A greater variety of housing types will support a full range of housing needs for young families, working professionals, and seniors. The proposed development will meet this guiding principle and objective.

Zoning By-law

- The applicant proposes to rezone the subject site from RA to R3 and R4.
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the R3, R4 and parking requirements.

R3 Zone (Part 15)	Permitted and/or Required	Proposed
Unit Density:	2.5 uph or 14.8 uph with amenity contributions	16.6 uph
Yards and Setbacks		
Front Yard (east):	6.5 metres	6.5 metres
Side Yard (north & south):	1.8 metres	1.8 metres
Side Yard Flanking (direction):	N/A	N/A
Rear (west):	7.5 metres	7.5 metres
Lot Size		
Lot Size:	560 square metres	560 square metres
Lot Width:	15 metres	15 metres
Lot Depth:	28 metres	37 metres
Parking (Part 5)		
Number of Spaces	2 parking spaces + 1 parking space for secondary suite or garden suite	TBD

R4 Zone (Part 16)	Permitted and/or Required	Proposed
Unit Density:	2.5 uph or 28 uph with amenity contributions	Interior (Lot 2) 25 uph Corner (Lot 1) 25 uph
Yards and Setbacks		
Front Yard (south): Corner (Lot 1) Interior (Lot 2) Side Yard: Corner Lot 1 (west) Interior Lot 2 (east and west) Side Yard Flanking: Corner (Lot 1) (east) Lot 2 (not applicable) Rear (north): Corner (Lot 1) Interior (Lot 2)	5.5 metres 5.5 metres 1.2 metres 1.2 metres 1.2 metres 1.2 metres 7.5 metres 7.5 metres	5.5 metres 5.5 metres 1.2 metres 1.2 metres 1.2 metres 1.2 metres 7.5 metres 7.5 metres
Lot Size		
Lot Sizes: (Type II) Lot Width: (Type II) Lot Depth: (Type II)	Interior (Lot 2) 336 sq. m. Corner (Lot 1) 380 sq. m. Interior (Lot 2) 13.4 metres Corner (Lot 1) 15.4 metres Interior (Lot 2) 24 metres Corner (Lot 1) 24 metres	Interior (Lot 2) 446 sq. m. Corner (Lot 1) 440 sq. m. Interior (Lot 2) 18 metres Corner (Lot 1) 18 metres Interior (Lot 2) 24 metres Corner (Lot 1) 24 metres
Parking (Part 5)	Required	Proposed
Number of Spaces	2 parking spaces + 1 parking space for secondary suite or garden suite	TBD

- As previously noted, the subject site is located within a TOA associated with the future Bakerview-166 Street SkyTrain Station. The maximum number of dwelling units permitted on each of the subject lots will be two (2), with the principal use limited to a single family dwelling with one additional accessory dwelling such as secondary suite or a garden suite.

Lot Grading and Building Scheme

- The applicant retained Gurinder Dhaliwal of Marq Consulting as the Design Consultant. The Design Consultant conducted a character study of the surrounding homes and based on the findings of the study, proposed a set of building design guidelines (Appendix IV).
- Styles recommended for this site include massing designs using new standards for a more suitable architectural context. New homes will exhibit mid-scale massing with interesting architectural elements and projections at the front façade. Roof slopes of 6:12 or higher are recommended using asphalt shingles or asphalt shake roofs. Reasonable flexibility for exterior wall cladding will be permitted provided the overall quality meets or exceeds common standards for the new R3 and R4 Zones.

- A preliminary lot grading plan, submitted by Hub Engineering Inc., and dated February 28, 2024 has been reviewed by staff and found to be generally acceptable. The applicant does propose in-ground basements. The feasibility of in-ground basements will be confirmed once the City's Engineering Department has reviewed and accepted the applicant's final engineering drawings.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No. R037; 2023.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,227.85 per new unit.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute on a per new-unit basis to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to contribute \$1,132.92 per new lot to support the development of new affordable housing.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on July 24, 2024, and the Development Proposal Sign was installed on February 1, 2024 and updated reflecting the new zones on September 23, 2024. Staff received four responses from neighbouring homeowners. *(staff comments in italics)*

(Concerns received from neighbouring homeowners were about lot sizes, access to the new lots, parking, school capacity and retention of a big tree on 166 Street. Staff went over the eventual lot sizes and driveway locations of each lot upon subdivision and explained how the newly created lots meet the OCP and NCP designations. Staff also explained that the lots are within Tier 3 of the Bakerview - 166 Street Station Transit Oriented Area which removes residential parking minimums.

Staff acknowledged that William Watson Elementary School and Fleetwood Park Secondary School are operating beyond capacity. Plans for additional elementary schools and a 500-capacity addition to Fleetwood Park Secondary were conveyed to the resident.

Based on the approved Arborist Report submitted by the applicant, staff confirmed that the big Douglas Fir along 166 Street will be retained.)

- The subject development application was reviewed by the Fleetwood Community Association and the Surrey Board of Trade. Staff received an inquiry from the Fleetwood Community Association. *(staff comments in italics)*

(The Fleetwood Community Association inquired if the application had a Development Variance Permit (DVP) associated with it. Staff advised that no DVP application was received.)

TREES

- Adrian Szabunio, ISA Certified Arborist of Woodridge Tree Consulting Arborists Ltd. prepared an Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal. A detailed list of the proposed tree retention and removal by tree species can be found in Appendix V.
- All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Table 1: Summary of Proposed Onsite Tree Preservation by Tree Species:

	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)	0	0	0
Deciduous Trees	3	1	2
Coniferous Trees	21	17	4
Onsite Tree Totals	24	18	6
Onsite Replacement Trees Proposed	18		
Total Onsite Retained and Replacement Trees	24		

- The Arborist Assessment states that there are a total of 24 bylaw protected trees on the site. Additionally, there is 1 bylaw protected offsite tree and 5 bylaw protected City trees within proximity of the proposed development. The applicant proposes to retain 6 onsite trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- 3 additional City trees are noted (Appendix V) for removal as the building footprints are within the tree protection zone (TPZ) or the tree is located within a hedgerow that is recommended for removal.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of 42 replacement trees on the site. The proposed 18 replacement trees can be accommodated on the site, and the proposed deficit of 24 replacement trees will require an estimated cash-in-lieu payment of \$13,200, representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- In summary, a total of 18 trees are proposed to be retained or replaced on the site with an estimated contribution of \$13,200 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Block Plan & Proposed Layout
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Building Design Guidelines Summary
- Appendix V. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix VI. Aerial Photo

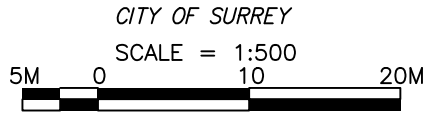
approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development

DQ/cm

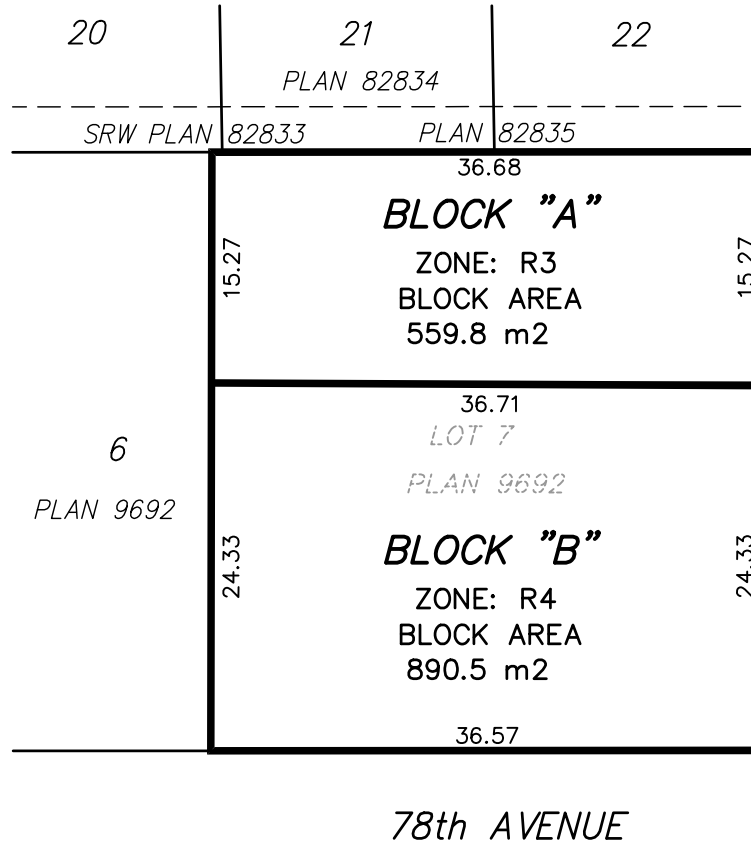
**SURVEY PLAN TO ACCOMPANY CITY OF SURREY
ZONING BYLAW No. _____ OF LOT 7 SECTION 24 TOWNSHIP 2
NEW WESTMINSTER DISTRICT PLAN 9692**

Appendix I



P.I.D. 005-347-157
CIVIC ADDRESS: #16589 78th AVENUE

"ALL DISTANCES ARE IN METRES"



CERTIFIED CORRECT ACCORDING TO
LAND TITLE OFFICE RECORDS DATED
THIS 1st DAY OF OCTOBER 2024

Gene Paul Mikula

GENE PAUL MIKULA B.C.L.S. (80)

SOUTH FRASER LAND SURVEYING LTD.
B.C. LAND SURVEYORS
SUITE 202 - 19292 60th AVENUE
SURREY B.C. V3S 3M2
TELEPHONE: 604 599-1886
FILE: 231486ZONE2

THIS PLAN LIES WITHIN THE
METRO VANCOUVER REGIONAL DISTRICT

231486ZONE2



INTER-OFFICE MEMO

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **September 29, 2024**

PROJECT FILE: **7823-0325-00**

RE: **Engineering Requirements**

Location: 16589 78 Ave

REZONE/SUBDIVISION***Property and Right-of-Way Requirements***

- Dedicate 3 m by 3 m corner cut at the intersection of 78 Ave and 166 St
- Register 0.5 m SRW along 78 Ave and 166 St.

Works and Services

- Construct the north side of 78 Ave.
- Construct the west side of 166 St.
- Construct sanitary sewers along 78 Ave and 166 St.
- Provide driveways, drainage, water, and sanitary service connections to each lot.
- Conduct a storm water analysis to assess post development flows to the nearest trunk storm mains and address deficiencies as required.

A Servicing Agreement is required prior to Rezone and Subdivision.

Jeff Pang, P.Eng.
Manager, Development Services

JNC

Department: **Planning and Demographics**
 Date: **February 15, 2024**
 Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23 0325 00**

The proposed development of **3** Single Family with Suite units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	2
---	---

Projected Number of Students From This Development In:	
Elementary School =	1
Secondary School =	1
Total Students =	2

Current Enrolment and Capacities:	
William Watson Elementary	
Enrolment	457
Operating Capacity	332
# of Portables	6
Fleetwood Park Secondary	
Enrolment	1733
Operating Capacity	1200
# of Portables	12

Summary of Impact and Commentary
 The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

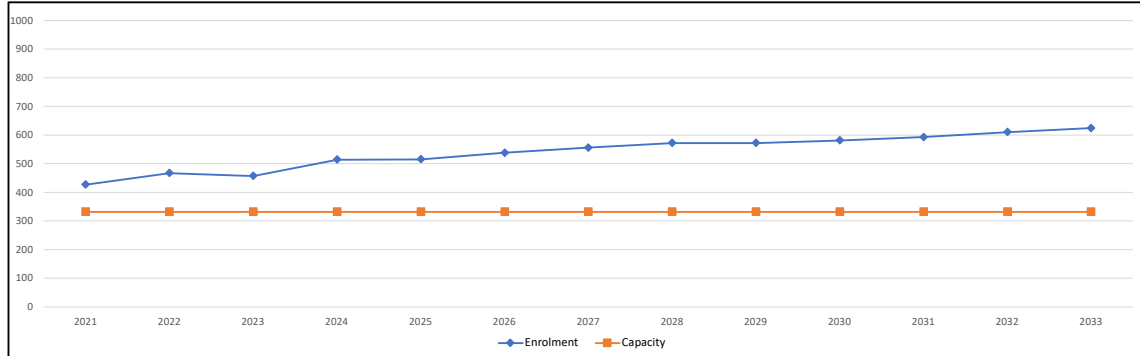
William Watson Elementary is operating over capacity and requires 6 portables for enrolling space. It is anticipated more portables will be placed on the site in the coming years to accommodate enrolment growth. The projections do not include for the pending land use amendments to revise existing residential zoning to higher densities to support future SkyTrain ridership. These enrolment projections should be considered very conservative at this time.

With 152nd Street to the west, Fraser Highway to the North and the ALR to the south, the Fleetwood area is contained within these barriers. Three elementary schools and one Secondary serve this community. The elementary schools consist of: William Watson, Walnut Road and Coyote Creek. As both 152nd and Fraser Highway are major arterial roads, catchments have been created to ensure families/children do not have to cross such major roadways for safety reasons. Therefore, all new enrolling spaces constructed to relieve pressure in the Fleetwood area must fall within the Fleetwood boundaries as described.

In the fall 2020, the District opened a four-classroom addition at Coyote Creek Elementary, which has provided some enrolment relief by emptying two existing enrolling portables. To further relieve current enrolment pressures in the Fleetwood area, the Surrey School District has submitted as part of the 2024/2025 Five Year Capital Plan submission to the Ministry of Education, a request for a 12-classroom addition at Walnut Road and a 22-classroom addition at William Watson. As part of the District's Long Range Facility Plan 2020/21, the District recognizes that these additions will not be enough to accommodate any growth associated with the pending land use amendments mentioned above and has laid out a longer term strategy for the Fleetwood area. With this in mind, the District has also included requests for elementary sites for future elementary schools in the area as part of the said Capital Plan submission. The Ministry has yet to approve capital funding for any of these projects.

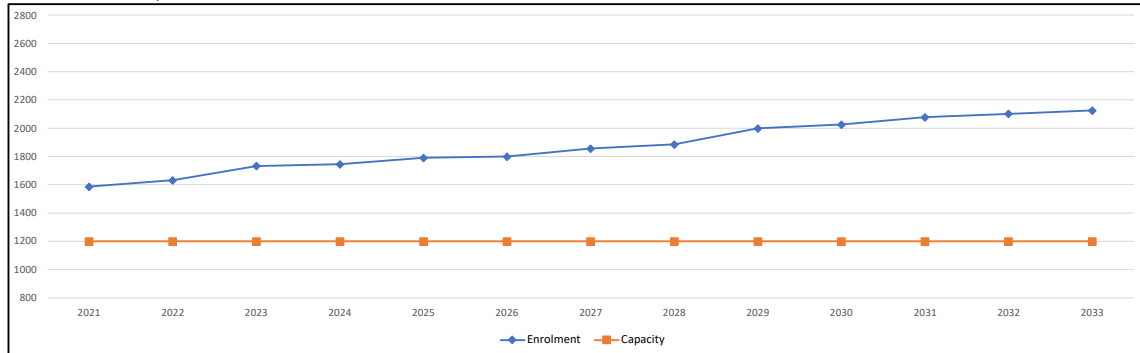
Fleetwood Secondary total enrollment, as of September 2022, is 1632 and projected to grow over the next 10 years. There are currently 7 portables on site. The school's capacity is 1200. The Ministry of Education supported the District to prepare a feasibility study for a 500-capacity addition for Fleetwood Park Secondary. No funding has been approved to move the project into design and construction.

William Watson Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Fleetwood Park Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population: The projected population of children aged 0-17 impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.



Building Guidelines Summary

Surrey Project no: 95-00083-00

Project Location: 16589 78 Ave. Surrey, B.C.

Design Consultant: Marq S Consulting Ltd., ([Gurinder Dhaliwal](#))

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.

1. Residential Character

1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

1) The subject site is located in an area with multiple zonings. On the north side of the property lots are R3, and south of the subject site lots are zoned R2. Non-developed lots on the East and West side of the property are also zoned R3. The subject RA TO R3 & R4 rezoning is consistent with the current mix of modern urban and compact urban residential homes in this area.

2) The subject site is located in a blended neighborhood consisting of old growth areas, homes from the 1980s, 1990s and early 2020s. A key note to consider is the 1990's development area comprising 2500-3000 sq.ft. "Traditional Old Urban 90s" style two story homes to the West of this site, and early 2020's development area comprised 3500-6500 sq.ft.

"Traditional/Farmhouse" style three story homes to the South of this site, with desirable mid-scale massing characteristics. These homes have 6:12 pitch common hip roofs with common gable projections and roof surfaces of either Stucco or asphalt shingle surfaces. Although there is nothing objectionable with the designs of these homes, they are not recommended to be emulated for this project as the character of new homes typically has updated material and massing design features which should be consistent with all future developments in this area rather than the older standard.



1.2. Features of surrounding dwellings significant to building scheme:

- 1) Context Homes: The housing stock in the area surrounding the subject site does provide suitable architectural context for current R3 & R4 Zone developments. Roof designs, construction materials, massing designs, massing scale, trim, and detailing elements have improved since most homes in the east area were constructed. As a result, it's more logical to use updated standards that facilitate the improvement in standards over time rather than specifically emulating and building homes to an older standard. It should be noted that to the south Side of the property there are new R3 developments in the immediate area for a much more suitable architectural context.
- 2) Home Types/Style Character: Most existing homes are either small old Bungalows or old traditional homes. New R2 developments which are suitable for use on most new RF-10 zoned lots. Home type (Two-Storey, Bungalow, Split Level, Basement Entry, etc.) will not be regulated in the building scheme. Most new developments are either Traditional homes or west coast contemporary homes.
- 3) Massing Designs: Massing designs should meet new standards for R3 & R4 zoned subdivisions. New homes should exhibit "mid-scale" massing. Various elements and projections on the front of the home should be interesting architecturally, and should be in pleasing natural proportions to one another. These elements and proportions should be located so as to create balance across the façade.
- 4) Front Entrance Design: Front entrance verandas on all homes in this area are all either one storey or 1 ½ storeys in height. However, the existing housing stock will not be emulated. The most common entrance height standard for new R3 & R4 developments is in a height range from one to 1½ storeys. The recommendation is to limit the range of the veranda heights to one and 1½ storeys to ensure there is no proportional overstatement of this one element.
- 5) Exterior Wall Cladding: A wide range of cladding materials has been used in this area including: stone, brick, horizontal vinyl, and stucco. Reasonable flexibility should be permitted provided that the overall quality of wall cladding materials meets or exceeds common standards for new R3 & R4 developments.
- 6) Roof Surface: This is an area where most homes have asphalt shingle roofs. It is expected that most new homes should have the same or asphalt shake roofs for continuity. Exceptions should only be given when introducing new environmentally sustainable products.
- 7) Roof Slope: Most of the newer existing homes have roof slopes that are suitable for new R3 & R4 developments. Roof slopes of 6:12 or higher are recommended to ensure that homes appear style-authentic within the proposed style range (with common roof slope exceptions used in most building schemes).



2. Proposed Design Guidelines

2.1 Proposed Residential Character and Design Scheme

The styles recommended for this site are West Coast Contemporary/Traditional and compatible styles as determined by the design consultant. Note that style range is not restricted in the building scheme. However, the consultant refers to character study when reviewing plans for meeting style-characters intent. It should also be recognized that there is a strong style change in demand now towards “Traditional/West Coast” designs. Manifestations of this style that are reasonably compatible with other homes approved at the subject site should also be considered.

2.2 Proposed Design Solutions

Exterior Materials/ Colours:	Stucco, Cedar, Vinyl, Hardiplank, Brick, and stone.
Roof Pitch:	Minimum roof pitch is to be 6:12 except where having lower pitch achieves the goal of style authenticity in a particular section (e.g. Reduced pitch or flat roof at a covered veranda) [ending the Design Consultant’s approval.
Roof Materials/Colours:	Roof surfaces are to be made of shake profile concrete roof tiles, shake profile asphalt shingles, or other sha shake products approved by the Design Consultant an and Canadian Standards Association (CSA approved). All roof elements (stacks, flashing, etc) are to be in m matching uniform color groups (charcoal, dark grey or dark brown) throughout the subdivision.
In-ground basements:	Basements are permitted, subject to confirmation/ depth of service invert locations. All basements are to be 50% in-ground.



Treatment of Corner Lots:

Both front and flanking side of the corner house will have the same main cladding materials used. All corner lot front and flanking elevations will be reviewed and confirmed by Design Consultant to ensure that continuity of the design scheme is carried out on both street faces.

Landscapings:

No existing trees are to be removed unless a tree cutting permit has been obtained from the City after receiving written recommendations from an accredited arborist. Any tree removed is to be replaced with a minimum of two other trees on the lot. Native trees and shrubs are preferred; All street fronting yard areas are to be landscaped within 60 days of the building's completion except if weather conditions make it impossible to do so, in which case the landscaping is completed as expeditiously as possible, and prior to the final inspection; Rear and side yards are to be cleaned and graded within 30 days of completion of house construction, and prior to final inspection; Landscape design is to be in accordance with the development's Tree Replacement plan with minimum of 12 shrubs of a 3 gallon pot size and half of which are planted in the boulevard area; and is to be placed on all street fronting yard areas or areas adjacent to publicly visible greenways regardless of a corner or interior lot.

Compliance Deposit: \$10,500.00

Summary prepared and submitted by: Marq S Consulting Ltd.

Date: July 22, 2024

Tree Preservation Summary

Surrey Project No:

Address: 16589 78 Avenue, Surrey

Registered Arborist: Woodridge Tree Consulting Arborists Ltd., Adrian Szabunio PR 5079A

On-Site Trees	Number of Trees	Off-Site Trees	Number of Trees
Protected Trees Identified *	24	Protected Trees Identified	6
Protected Trees to be Removed	18 21	Protected Trees to be Removed	3
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	6	Protected Trees to be Retained	3
Total Replacement Trees Required:		Total Replacement Trees Required:	
- Alder & Cottonwoods to be removed (1:1) 0 X one (1) = 0	36	- Alder & Cottonwoods to be removed (1:1) 0 X one (1) = 0	6
- All other species to be removed (2:1) 18 X two (2) = 36	42	- All other species to be removed (2:1) 3 X two (2) = 6	
Replacement Trees Proposed	18	Replacement Trees Proposed	0
Replacement Trees in Deficit	18 24	Replacement Trees in Deficit	6
Protected Trees to be Retained in Proposed Open Space or Riparian Areas	0		

*on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas

Summary, report and plan prepared and submitted by:

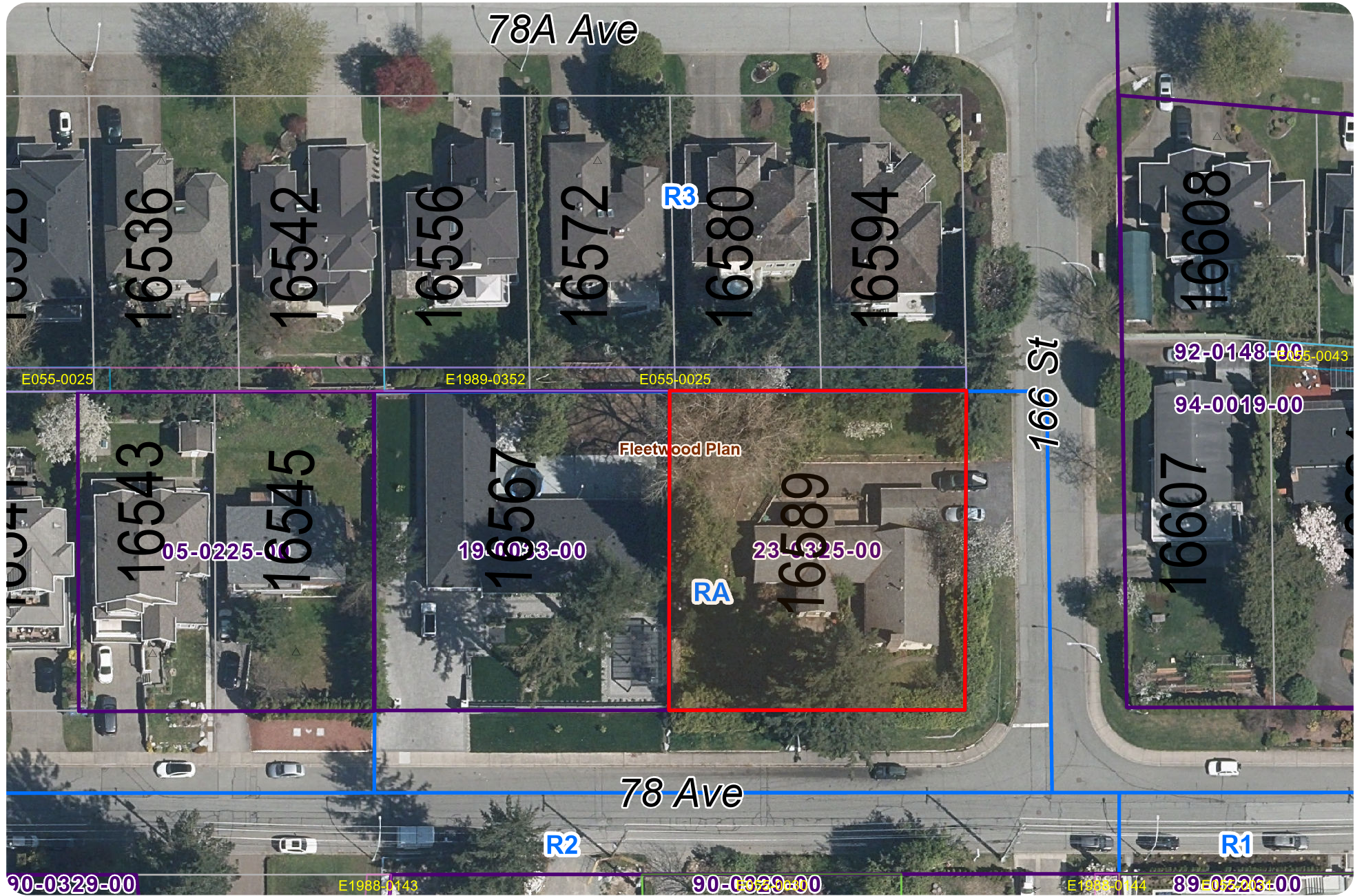


(Signature of Arborist)

*No off-site, private trees will be removed.
JR, Sept 19, 2024

July 16, 2024

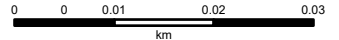
Date



Enter Map Description

Scale: 1:645

The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at cosmos.surrey.ca



Map created on: 2024-10-16

CITY OF SURREY

BYLAW NO. 21442

A bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015, c.1, as amended, by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule A under Part 3 of Surrey Zoning By-law, 1993, No. 12000, as amended, as follows:

FROM: ACREAGE RESIDENTIAL ZONE (RA)
TO: URBAN RESIDENTIAL ZONE (R3)

Portion of PID: 005-347-157
Lot 7 Section 24 Township 2 NWD Plan 9692

(Portion of 16589 – 78 Avenue)

Shown on the Survey Plan labelled Block A, containing 559.8 square metres,
attached as Schedule A,

FROM: ACREAGE RESIDENTIAL ZONE (RA)
TO: SMALL LOT RESIDENTIAL ZONE (R4)

Portion of PID: 005-347-157
Lot 7 Section 24 Township 2 NWD Plan 9692

(Portion of 16589 – 78 Avenue)

Shown on the Survey Plan labelled Block B, containing 890.5 square metres,
attached as Schedule A, certified correct by Gene Paul Mikula, B.C.L.S.
on the 1st day of October, 2024.

2. This Bylaw shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21442".

PASSED FIRST READING on the th day of , 20 .

PASSED SECOND READING on the th day of , 202 .

PASSED THIRD READING on the th day of , 20 .

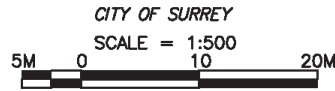
RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

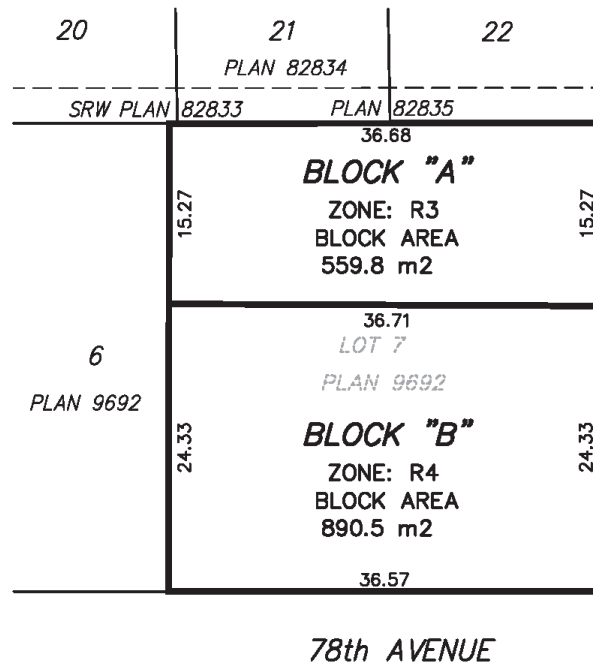
SCHEDULE A

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY
ZONING BYLAW No. 21442 OF LOT 7 SECTION 24 TOWNSHIP 2
NEW WESTMINSTER DISTRICT PLAN 9692**



"ALL DISTANCES ARE IN METRES"

P.I.D. 005-347-157
CIVIC ADDRESS: #16589 78th AVENUE



SOUTH FRASER LAND SURVEYING LTD.
B.C. LAND SURVEYORS
SUITE 202 - 19292 60th AVENUE
SURREY B.C. V3S 3M2
TELEPHONE: 604 599-1886
FILE: 231486ZONE2

THIS PLAN LIES WITHIN THE
METRO VANCOUVER REGIONAL DISTRICT

CERTIFIED CORRECT ACCORDING TO
LAND TITLE OFFICE RECORDS DATED
THIS 1st DAY OF OCTOBER 2024

GENE PAUL NIKILA B.C.L.S. (R0)
231486ZONE2

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0128-00

Planning Report Date: October 21, 2024

PROPOSAL:

- **NCP Amendment** to the South Newton NCP from Suburban Residential ½ Acre to Suburban Residential ¼ Acre
- **Rezoning** from R1 to R2
- **Development Variance Permit**

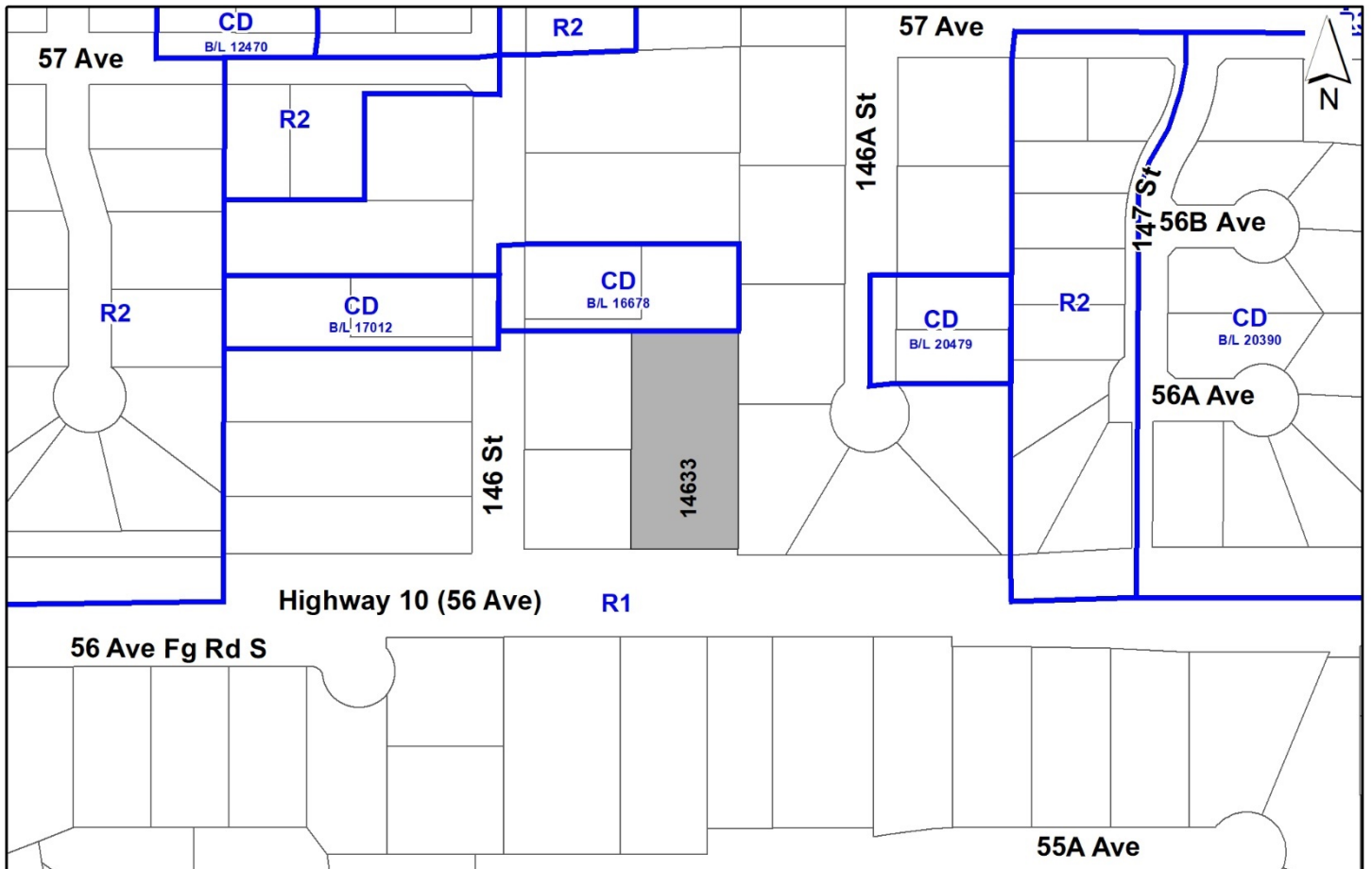
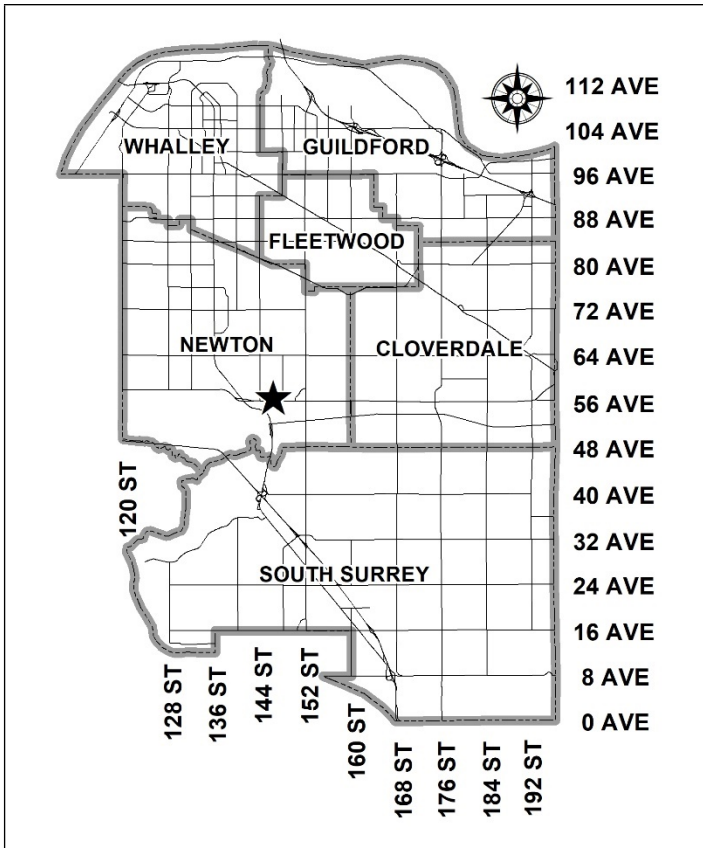
to allow subdivision into three (3) single family lots.

LOCATION: 14633 - No 10 (56 Avenue) Highway

ZONING: R1

OCP DESIGNATION: Urban

NCP DESIGNATION: Suburban Residential ½ Acre



RECOMMENDATION SUMMARY

- Rezoning By-law to proceed to Public Notification. If supported the By-law will be brought forward for consideration of First, Second and Third Reading.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the South Newton Neighbourhood Concept Plan (NCP) from "Suburban Residential ½ Acre" to "Suburban Residential ¼ Acre".
- Proposing to reduce the lot width requirements of the Quarter Acre Residential (R2) Zone from 24 meters to 13.8 meters.
- Proposing to reduce the front yard setback requirements of the Quarter Acre Residential (R2) Zone from 7.5 meters to 6.5 meters.
- Proposing to reduce the side yard setback requirements of the Quarter Acre Residential (R2) Zone from 2.4 meters to 1.8 meters.

RATIONALE OF RECOMMENDATION

- The proposal complies with the "Urban" designation in the Official Community Plan (OCP).
- In accordance with changes to the Local Government Act, Section 464, under Bill 44 (2023) a Public Hearing is not required for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed Rezoning By-law. The Rezoning By-law will be presented to Council for consideration of First, Second, and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.
- The proposal includes an amendment to the South Newton Neighbourhood Concept Plan (NCP). The proposed "Suburban Residential ¼ Acre" designation and proposed Quarter Acre Residential Zone (R2) lots are a suburban type of lot that are appropriate for suburban infill development in this neighbourhood. The proposal will follow the pattern of redevelopment in this neighbourhood, providing an appropriate lot size transition between land designated "Single Family Residential" to the east and land designated "Suburban Residential ½ Acre" to the west.
- Proposed Lots 1, 2 and 3 are over 84 meters in depth, exceeding the minimum lot depth requirement of the R2 Zone. Additionally, the proposed Lot sizes of 1,163 square meters exceed the minimum lot size requirement of the R2 Zone.
- The proposal includes vehicular access from the rear only by utilizing the rear access easement from 146 Street that was provided under previous Development Application

No.7907-0234-00 to the subject property in order to ensure access could be provided in the event of subdivision. Access from Highway No. 10 is not supported from the Ministry of Transportation and Infrastructure.

- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to rezone the subject site from "Suburban Residential Zone" (R1) to "Quarter Acre Residential Zone" (R2).
2. Council approve Development Variance Permit No. 7923-0128-00 (Appendix VII) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum lot width of the R2 Zone from 24 metres to 13.8 metres for proposed Lots 1, 2 and 3;
 - (b) to reduce the minimum front yard setback of the R2 zone from 7.5 meters to 6.5 meters for proposed Lots 1, 2 and 3.
 - (c) to reduce the minimum side yard setback from 2.4 meters to 1.8 meters for proposed Lots 1, 2 and 3.
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) Approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (f) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and

- (h) registration of a Restrictive Covenant to prohibit habitable buildings in the area north of the safety line as shown on Appendix I
- (i) registration of a combined Section 219 Restrictive Covenant/access easement to prohibit direct vehicular access to Highway 10 and ensure access to proposed Lots 1, 2 and 3 is from the rear driveway.
4. Council pass a resolution to amend the South Newton Neighbourhood Concept Plan (NCP) to redesignate the land from Suburban Residential ½ Acre to Suburban Residential ¼ Acre when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Single Family Residential	Urban/ Suburban Residential ½ Acre	R1
North:	Single Family Dwelling	Urban/ Suburban Residential ½ Acre	CD Zone Bylaw No. 16678 (Based on R1)
East:	Single Family Dwelling	Urban/ Suburban Residential ½ Acre	R1
South (Across Highway 10 (56 Ave)):	Single Family Dwelling	Suburban	R1
West:	Single Family Dwelling	Urban/ Suburban Residential ½ Acre	R1

Context & Background

- The subject site is 0.35 hectares and is located north of Highway 10 (56 Avenue) and approximately 50 metres to the east of 146 Street.
- The subject site is designated "Urban" in the Official Community Plan (OCP), "Suburban Residential ½ Acre" in the South Newton Neighbourhood Concept Plan (NCP) and is zoned "Suburban Residential Zone (R1)."
- Suburban Residential ¼ Acre lots have previously been introduced into this neighbourhood as a compatible type of suburban infill development. To the East of the subject site, Development Application No.7921-0175-00 received final adoption on February 26, 2024 to rezone from RH to CD based on RQ to allow subdivision into 2 lots. Further to the East of the subject site, Development Application No.7921-0202-00 received initial Conditional Approval on January 16, 2023 to rezone from RH to RQ to allow subdivision into 2 single family lots.
- The property currently has an existing home and driveway access directly from Highway 10 (56 Avenue). As the property only has vehicular access from the frontage along Highway 10, previous Development Application No.7907-0234-00 was required to provide an access easement from 146 St to the subject property in order to ensure access could be provided in the event of subdivision.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to rezone the site from "Suburban Residential Zone (R1)" to "Quarter Acre Residential Zone (R2)" and to amend the South Newton Neighbourhood Concept Plan (NCP) to designate the site from "Suburban Residential ½ Acre" to "Suburban Residential ¼ Acre", to facilitate subdivision into 3 single family lots.
- To facilitate this subdivision, the applicant is proposing a Development Variance Permit to reduce the lot widths of proposed Lots 1, 2 and 3 from the minimum 24 meters to 13.8 meters.
- The DVP for lot width is considered suitable since the lots have significant depth, exceed the R2 area minimum and this portion along Highway 10 has non-uniform lot widths and streetscape appearance.
- The DVP for front yard setback is appropriate in order to accommodate the proposed Restrictive Covenant prohibiting habitable buildings in the area north of the fire safety line as shown in Appendix I.

	Proposed
Lot Area	
Net Site Area:	0.35 hectares (3,480 square meters)
Number of Lots:	3
Lot Size	1163 square meters each
Lot Widths	13.8 meters
Lot Depth	84.3 meters
Unit Density	8.6 lots per hectare

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District The School District has advised that there will be approximately 2 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

- 1 Elementary student at Cambridge School
- 1 Secondary student at Sullivan Heights School

(Appendix III)

Parks, Recreation & Culture:	<p>Parks has no concerns with this proposal.</p> <p>The closest active park is Goldstone Park and is 450 metres away, and the closest natural area is Bob Rutledge Park and is 575 metres away.</p>
Ministry of Transportation & Infrastructure (MOTI):	<p>MOTI has granted preliminary approval of the proposal for 1 year.</p> <p>No direct vehicular access will be permitted to Highway 10 (56 Avenue). No on-site drainage shall be directed to MOTI drainage systems. All access must be obtained via the rear driveway access easement. A combined Section 219 Covenant/access easement is a requirement of approval. Provincial Approving Officer approval is required as the proposed subdivision is adjacent to a controlled access highway.</p>
Surrey Fire Department:	<p>No objection to the proposed subdivision. Further comments will be made at the future Building Permit stage. The lots will be Fire serviced from along the frontage.</p>

Transportation Considerations

- Vehicle access for the existing lot currently utilizes driveway access from Highway 10 (56 Avenue). Under the proposal this driveway access from Highway 10 will be removed and vehicular access for proposed Lots 1, 2 and 3 will instead utilize the rear vehicular access easement in order to meet MOTI conditions, which do not permit direct vehicular access to Highway 10 for the proposed lots.

POLICY & BY-LAW CONSIDERATIONS

Official Community Plan

Land Use Designation

- The proposal complies with the "Urban" designation in the Official Community Plan (OCP).

Themes/Policies

- A3.1: Permit gradual and sensitive residential infill within existing neighbourhoods, particularly in areas adjacent to Town Centres, neighbourhood centres and transit corridors, in order to support significant transit improvements, utilize existing infrastructure and implement improvements to the public realm.

(The proposed development is representative of a suburban type of lot that will provide an appropriate transition between higher-density Single Family Residential Lots designated land to the east and lower-density Suburban Residential ½ Acre land to the west. The proposed development is near the Panorama Village neighbourhood centre at the intersection of 152 Street and No 10 (56 Avenue) Highway.)

- A3.5: Support infill development that is appropriate in scale and density to its neighbourhood context and that uses compatible design to reinforce neighbourhood character.

(The lot sizes are compatible within the context. The applicant has provided Design Guidelines for the proposed development based on a Character Study evaluating the form and character of the residential neighbourhood surrounding the subject site.)

Secondary Plans

Land Use Designation

- The property at 14633 – No 10 (56 Avenue) Highway is designated "Suburban Residential ½ Acre" in the South Newton Neighbourhood Concept Plan (OCP).

Amendment Rationale

- The applicant proposes an NCP amendment to redesignate 14633 – No 10 (56 Avenue) Highway from "Suburban Residential ½ Acre" to "Suburban Residential ¼ Acre".
- The South Newton NCP was first approved by Council in May 1999. Under Development Application No. 7918-0167-00, Council passed a resolution to introduce the "Suburban Residential ¼ Acre" land use designation to the South Newton NCP on July 22, 2019. Subsequently, additional infill proposals have followed, Development Application No.7920-0145-00 to the east of the subject property, was approved for rezoning to R2 Zone and an amendment to the "Suburban Residential ¼ Acre designation on July 29, 2021.
- The proposed lots would be narrower in width relative to this suburban pocket. However, the "Suburban Residential ¼ Acre" designation is still representative of a suburban type of lot. The proposed lots at 1163 square metres, exceed the R2 lot area minimum (930 square metres) and this portion along Highway 10 has non-uniform lot widths and streetscape appearance.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.

Themes/Objectives

- The proposal is consistent with the following NCP goals and objectives:
 - Protect development patterns and character of existing single family urban and suburban subdivisions in planning for future land uses;
 - Ensure that the types of and densities of land uses in South Newton are in keeping with the hierarchy of urban centres promoted in the OCP; and
 - Providing a mix of housing densities and types to accommodate a range of needs.

Zoning By-law

- The applicant proposes to rezone the subject site from "Suburban Residential Zone (R1)" to "Quarter Acre Residential Zone (R2)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Quarter Acre Residential Zone (R2)".

R2 Zone (Part 15C)	Permitted and/or Required	Proposed
Unit Density:	10 lots per hectare	8.6 lots per hectare
Yards and Setbacks		
Front Yard:	7.5 meters	6.5 meters*
Side Yard:	2.4 meters	1.8 meters*
Rear Yard:	7.5 meters	7.5 meters
Lot Size		
Lot Size:	930 square meters	1163 square meters
Lot Width:	24 meters	13.8 meters*
Lot Depth:	30 meters	84.3 meters

*Development Variance Required

Lot Width and Front Yard Setback Variance

- The applicant is requesting the following variances:
 - to reduce the minimum lot width of the R2 Zone from 24 metres to 13.8 metres for proposed Lots 1, 2 and 3.
 - to reduce the minimum front yard setback of the R2 zone from 7.5 meters to 6.5 meters for proposed Lots 1, 2 and 3.
 - to reduce the minimum side yard setback from 2.4 meters to 1.8 meters for proposed Lots 1, 2 and 3.
- Proposed Lots 1, 2 and 3 are over 84 meters in depth, exceeding the minimum lot depth requirement of the R2 Zone (30 meters). Additionally, the proposed Lot sizes of 1163 square meters exceed the minimum lot size requirement of the R2 Zone (930 square metres) and are in keeping with the suburban character of the neighbourhood.
- Vehicle access for proposed Lots 1, 2 and 3 are restricted to the rear driveway easement and will not be permitted to have direct vehicular access to Highway 10 in accordance with MOTI requirements. The proposed lot width and side yard setback variances allow for all three proposed lots to be accessed via the rear easement.
- The proposed buildable area is restricted to the area south of the fire safety line shown in Appendix I, as such the proposed front yard setback variance is reasonable while maintaining a suburban type of lot.

- While the proposed lots are narrower than a typical suburban lot type, they will not be fully visible from major roads given the presence of an existing sound attenuation fence along Highway No. 10. Similarly, development of habitable space in the rear yards is not supported as these areas cannot be serviced by the Fire Department and thus the potential impact on surrounding property's should be minimized with lots located on the south of the property.
- Staff support the requested variances to proceed for consideration.

Lot Grading and Design Guidelines

- The applicant retained Angus J. Muir of AJ Muir Design Ltd. as the Design Consultant. The Design Consultant conducted a character study of the surrounding homes and based on the findings of the study, proposed a set of building design guidelines (Appendix VI)
- Styles recommended for this site include Modern Prairie, Modern Farmhouse, or Contemporary-Traditional.
- A preliminary lot grading plan, submitted by Aplin & Martin Consultants Ltd., and dated August 13, 2024, has been reviewed by staff and found to be generally acceptable. The applicant does propose in-ground basements. The feasibility of in-ground basements will be confirmed once the City's Engineering Department has reviewed and accepted the applicant's final engineering drawings.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No.R037;2023.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation.
- The applicant will be required to provide the per lot flat rate for the number of lots above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,113.92 per new lot to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.

- The applicant will be required to contribute \$1,113.92 per new lot to support the development of new affordable housing.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on November 10, 2023, and the Development Proposal Signs were installed on November 28, 2023. Staff was contacted by a homeowner at an adjacent property to the north of the subject site. That lot utilizes the 4.5 m wide driveway easement from 146 Street. They expressed concern that the proposed new development on the subject site would increase traffic on the driveway. Staff noted that the driveway easement was put in place several years ago specifically to allow access for the subject property and any subdivision.

TREES

- Anne Kulla and Tony Zang, ISA Certified Arborists of Huckleberry Landscape Design prepared an Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal. A detailed list of the proposed tree retention and removal by tree species can be found in (Appendix IV):
- All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Table 1: Summary of Proposed Onsite Tree Preservation by Tree Species:

	Existing	Remove	Retain
Deciduous Trees	4	2	2
Coniferous Trees	23	15	8
Onsite Tree Totals	27	17	10
Onsite Replacement Trees Proposed	11		
Total Onsite Retained and Replacement Trees	21		

- The Arborist Assessment states that there are a total of 27 bylaw protected on-site and a total of 5 protected off-site trees. Additionally, there are no bylaw protected City trees within proximity of the proposed development. The applicant proposes to retain 10 onsite trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. There are no Alder/Cottonwood trees. This will require a proposed total of 34 replacement trees on the site. Since the proposed 34 replacement trees cannot be accommodated on the site, the proposed deficit of 23 replacement trees will require an estimated cash-in-lieu payment of \$12,650.00, representing \$550 per tree to the Green City Program, in accordance with the City’s Tree Protection By-law.
- In summary, a total of 21 trees are proposed to be retained or replaced on the site with an estimated contribution of \$12,650.00 to the Green City Program.

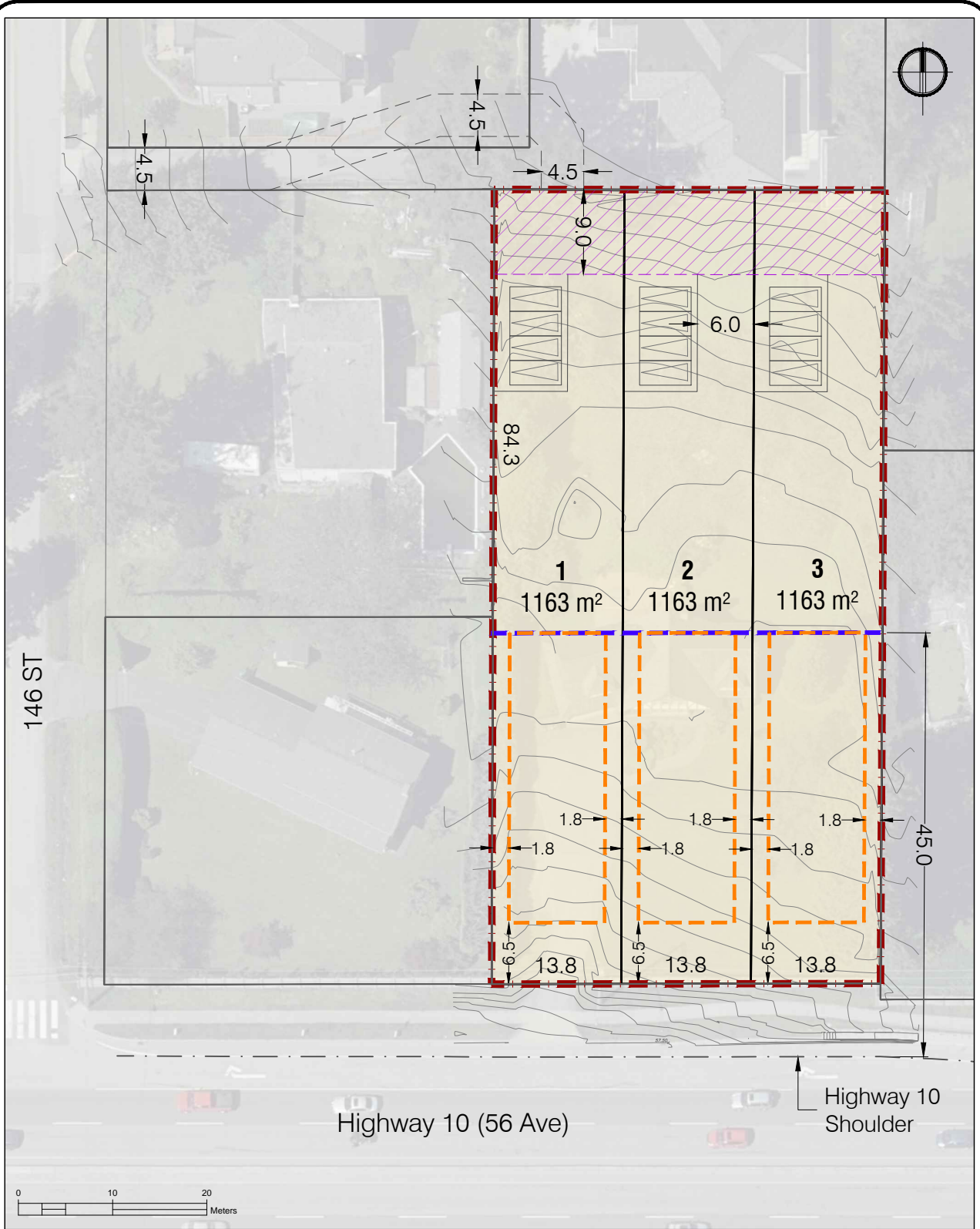
INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Survey Plan, Proposed Subdivision Layout, Site Plan
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix V. NCP Plan
- Appendix VI. Design Guidelines Summary
- Appendix VII. Development Variance Permit No. 7923-0128-00

Ron Gill
Acting General Manager
Planning and Development

AB/cb



LEGAL DESCRIPTION
PID 008-374-775

GROSS SITE AREA
0.35 hectares / 0.86 acres

NET SITE AREA
0.35 hectares / 0.86 acres

EXISTING DESIGNATIONS
OCP: Urban
NCP: Suburban Residential 1/2 acre,
Buffers
Zoning: R1

PROPOSED DESIGNATIONS
OCP: Urban
NCP: Single Family
Residential, Buffers
Zoning: R3

LOT YIELD
Existing: 1 lots
Proposed: 3 lots

DENSITY
Gross Area: 8.6 uph / 3.5 upa
Net Area: 8.6 uph / 3.5 upa

- Site Boundary
- Proposed Lots
- Proposed Shared Access Easement
- Building Envelope
- Existing Easement
- Fire Safety Line

Mercier Family Estate
Residential Development
14633 Highway 10, Surrey, BC

SUBDIVISION CONCEPT

	Lot Area	Permitted Lot Coverage	Permitted Coverage
Lot 1	1163 m ²	37.2%	433 m ²
Lot 2	1163 m ²	37.2%	433 m ²
Lot 3	1163 m ²	37.2%	433 m ²

- Notes:
- All dwelling units to be constructed south of the fire safety line. No-Build Restrictive Covenants will be registered on the title of each proposed lot for the areas north of the fire safety line.
 - Three (3) lots would require a 1.2m lot width variance.



Project 22-1065A
08 / 08 / 2024
Drawn By: BJ / AR / CV



TO: Director, Development Planning, Planning and Development Department

FROM: Manager, Development Services, Engineering Department

DATE: October 15, 2024

PROJECT FILE: 7823-0128-00

**RE: Engineering Requirements
Location: 14633 No 10 (56 Ave) Hwy**

NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Register reciprocal access easement over the rear of proposed lots.

Works and Services

- Extend the drainage main along Hwy 10.
- Prepare a stormwater control plan to assess downstream capacity of existing drainage mains and address deficiencies as required.
- Extend the sanitary main along Hwy 10
- Address sanitary constraints within existing 200 mm sanitary main along Hwy 10.
- Provide driveways, water, drainage, and sanitary service connections to each lot.

A Servicing Agreement is required prior to Rezone and Subdivision.

DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit.



Jeff Pang, P.Eng.
Manager, Development Services

JNC

Department: **Planning and Demographics**
 Date: **November 22, 2023**
 Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23 0128 00**

The proposed development of **3** Single Family with Suite units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	2
---	----------

Projected Number of Students From This Development In:	
Elementary School =	1
Secondary School =	1
Total Students =	2

Current Enrolment and Capacities:	
Cambridge Elementary	
Enrolment	784
Operating Capacity	495
# of Portables	13
Sullivan Heights Secondary	
Enrolment	1882
Operating Capacity	1700
# of Portables	11

Summary of Impact and Commentary
 The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

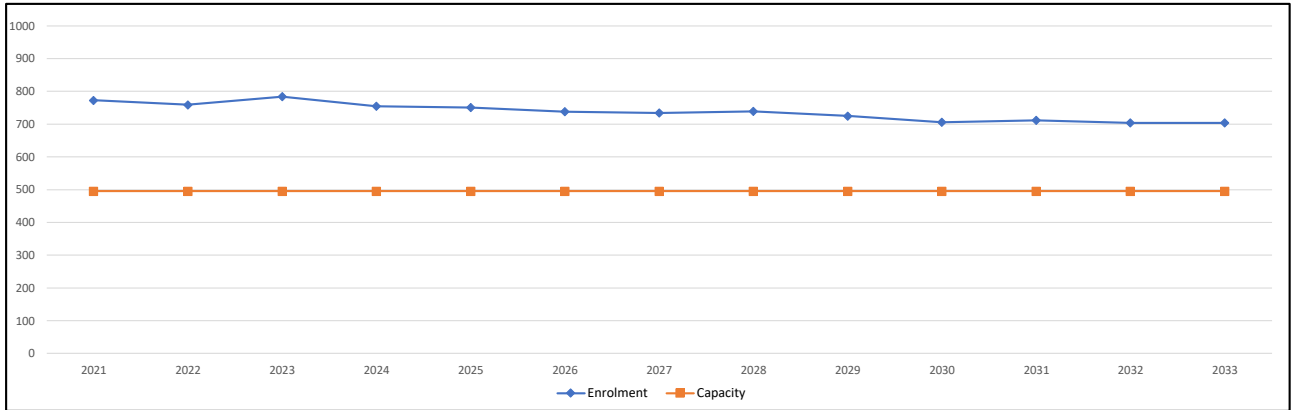
Cambridge Elementary along with Goldstone Park, Woodward Hill and Sullivan Elementary service the south Newton community. All schools work together to meet the in-catchment demand. With 64th Street to the north, ALR to east and south and King George Boulevard to the West, these schools catchments are contained within these barriers. As both 64th and King George serve as major arterial roads, catchments have been created to ensure families do not have to cross such major roadways for safety reasons.

As of September 2023, Cambridge elementary was operating 158%, there are 13 portables on site used for enrolling space. Though the school site is large enough to accommodate more portables in the future, actual enrolment is almost double of the capacity of the existing school. The neighbouring schools are in a similar situation.

Enrolment pressure will continue in this area for the next 10 years. To manage this long term demand, on June 2020, the Ministry approved design and construction funding to build a new 612-capacity elementary school; located next to the existing Goldstone Park. The new Snokomish Elementary is targeted to open in the Spring of 2026 will provide enrolment relief to the other neighbouring schools: Goldstone Park, Woodward Hill and Cambridge.

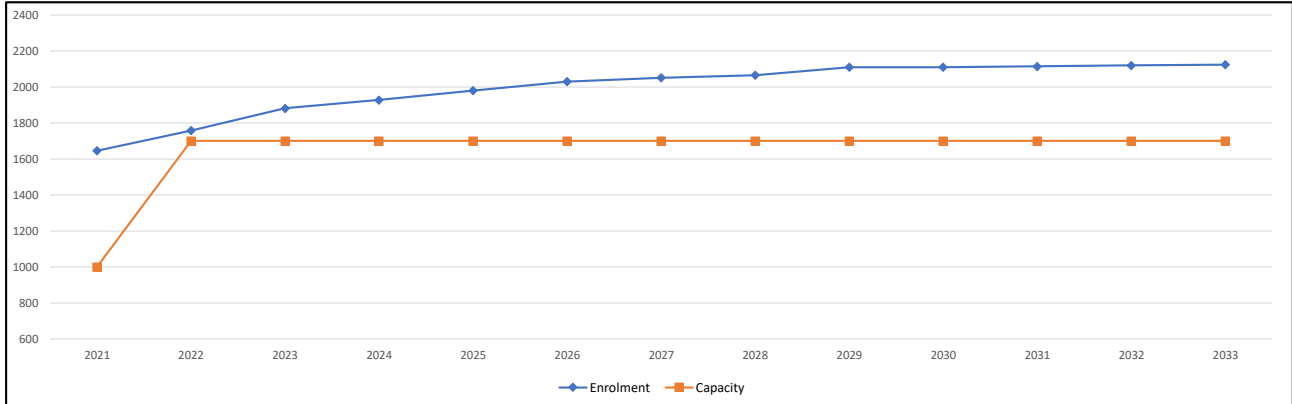
The 700 capacity addition at Sullivan Heights Secondary opened in September 2022 but the school has 11 portables and is still operating above capacity even with the addition.

Cambridge Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Sullivan Heights Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population : The projected population of children aged 0-17 impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.

Tree Preservation Summary

Surrey Project No: 7923 0128 00

Address: 14633 56 Ave, Surrey

Registered Arborist: Anne Kulla, Huckleberry Landscape Design

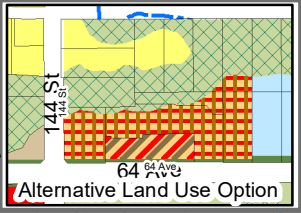
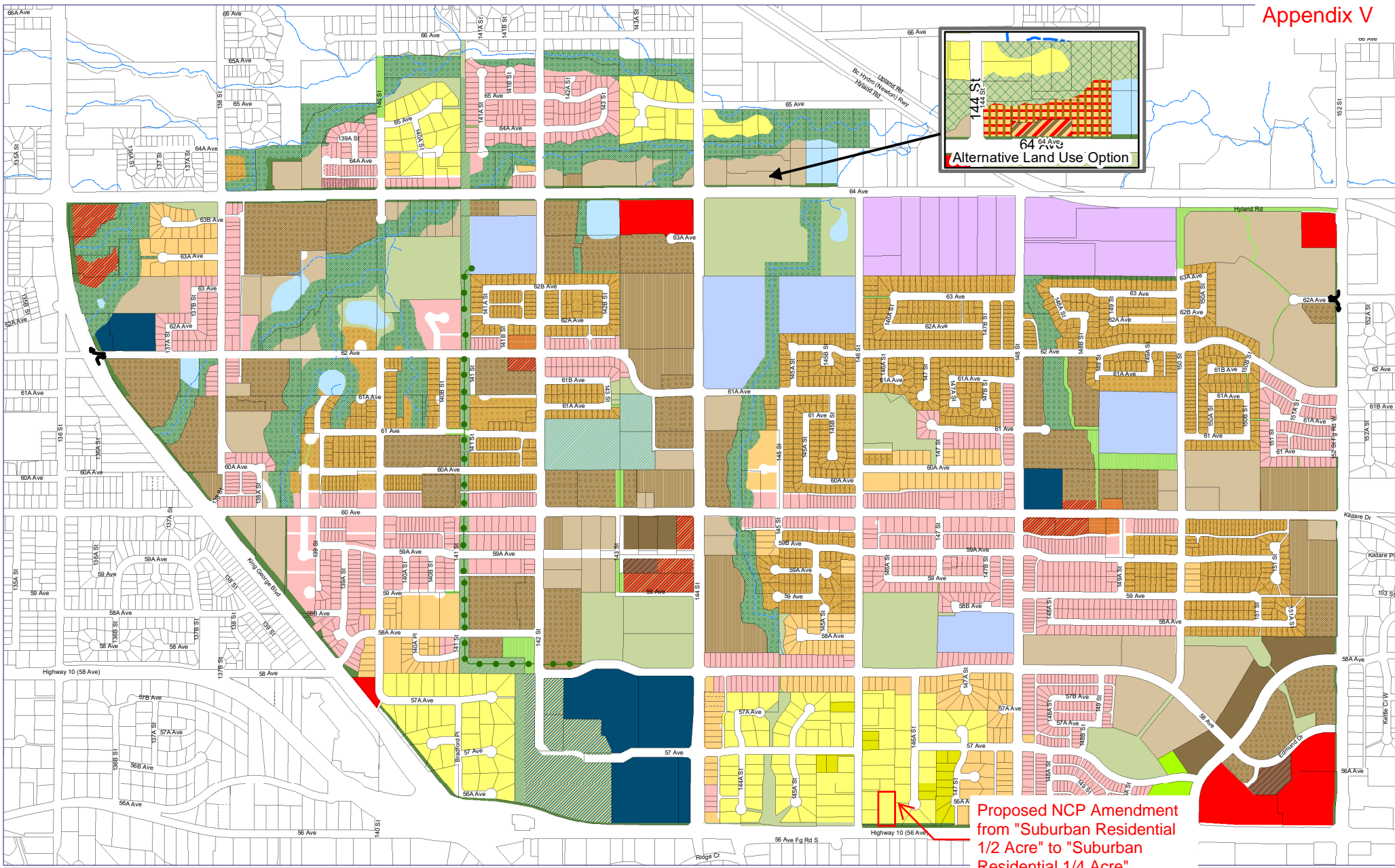
On-Site Trees	Numbers of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	27
Protected Trees to be Removed	17
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	10
Total Replacement Trees Required: <ul style="list-style-type: none"> • Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio o X one (1) = 0 • All other Trees Requiring 2 to 1 Replacement Ratio 17 X two (2) = 34 	34
Replacement Trees Proposed	11
Replacement Trees in Deficit	23
Protected Trees to be Retained in Proposed [Open Space/ Riparian Areas]	0
Off-Site Trees	Numbers of Trees
Protected Off- Site Trees to be Removed	0
Total Replacement Trees Required: <ul style="list-style-type: none"> • Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio o X one (1) = ____ • All other Trees Requiring 2 to 1 Replacement Ratio o X two (2) = 	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by:



Anne Kulla

Certified ISA Arborist PN-6263A Certified Tree Risk Assessor no. 334



Proposed NCP Amendment from "Suburban Residential 1/2 Acre" to "Suburban Residential 1/4 Acre"

SOUTH NEWTON

NEIGHBOURHOOD CONCEPT PLAN
City of Surrey Planning & Development Department

- | | | | | |
|--------------------------|--|-----------------|------------------------------|----------------------|
| Apartments 65 upa max | Row Housing | Commercial | Proposed School and Park | Buffers |
| Apartments 45 upa max | Single Family Residential Flex 6 to 14.5 | Institutional | Parks | Detention Ponds |
| Townhouses 25 upa max | Single Family Residential | Office Park | Proposed Park and Walkway | Utility R/W Greenway |
| Townhouses 20 upa max | Suburban Residential 1/2 Acre | Industrial | Recreational | WALKWAY |
| Townhouses 15 upa max | Suburban Residential 1/4 Acre | Schools | Creeks and Riparian Set-back | |
| Single Family Small Lots | Mixed Com/Res Apartments | Proposed School | | |
| | Mixed Com/Res Townhouse | | | |



This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

BUILDING GUIDELINES SUMMARY

Surrey Project no: 23-0128-00
Project Location: 14633 56 Avenue, Surrey, B.C.
Design Consultant: Angus J. Muir – AJ Muir Design Ltd.
Date: October 10, 2023

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.

1. Context Neighborhood and Context Homes

1.1 Establishing the Context Neighborhood:

The Context Neighborhood includes the parent parcel(s) of the proposed development (herein called the Subject Site) and surrounding properties. The Context Neighborhood (as outlined graphically on Appendix A) was established by considering the geographical area, road system, and generally what would be perceived as the neighborhood to which the parent parcel(s) belongs. This includes consideration of homes visible from the Subject Site and along the main access route. The Context Neighborhood should be seen as the area to which the parent parcel(s) is part of, and would be affected by development of the Subject Site as new lots are created and added to the neighborhood.

The Context Neighborhood is bounded by 57 Avenue to the north, Highway 10 (56 Avenue) to the south, 146 Street to the west and 146A Street to the east. Along 146A Street there are a number lots relatively close to the Subject Site which have not been included in the Context Neighborhood as the Subject Site is generally not visible from these lots and they do not appear to be part of the same neighborhood. The lots immediately to the South of the Subject Site have also not been included as Highway 10 (56 Avenue) provides a significant boundary and separates the neighborhoods both physically and visually. The Context Neighborhood generally consists of homes and properties which front onto 146 Street and the west side of 146A Street.

The greater area beyond the Context Neighborhood is primarily residential neighborhoods including RH, RH-G, RQ and RF zoned properties. The Context Neighborhood that was selected fairly represents this broader area, and this study would not have different findings if this broader area was included within the Context Neighborhood for the sake of this study.

1.2 Establishing Context Homes within the Context Neighborhood:

In the Residential Character Study for this development the properties in the Context Neighborhood have been reviewed to determine which will be considered Context Homes and have features that are considered when developing the recommendations for the Design Guidelines and Building Scheme. The Context Neighborhood is comprised of 18 properties and 17 homes not including the Subject Site or the home(s) on the Subject Site. After careful review 7 of the properties have been excluded for reasons outlined in the Residential Character Study, and the remaining 11 properties have been determined to be Context Homes.

2. Residential Character

2.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site and Context Neighborhood:

The Subject Site is located on the east side of 146 Street and fronts onto Highway 10. It currently only has access from Highway 10 (56 Avenue). The new layout will create three lots which will be accessed from an existing private access to 146 Street, but will retain firefighting access from Highway 10 (56 Avenue). All three lots will appear to be panhandle lots and will most likely not be visible from any road.

146 Street in this location starts on the south end at Highway 10 (56 Avenue) where west bound traffic has access to 146 Street but east bound does not. Turning from 146 Street onto Highway 10 (56 Avenue) is only possible heading west and no left turn is possible from 146 Street onto Highway 10. 146 Street runs north beyond 58 Avenue which is an intersection with a four way stop. 57 Avenue has a T intersection on the west side into 146 Street but does not run through.

Considering the layout of the roads, infrastructure and lots in the Context Neighborhood it is unlikely that any future development will significantly alter the overall layout of the neighborhood or create new roads which might impact the proposed lots at the Subject Site. It can be expected that some of the adjacent half acre lots will undergo similar subdivision to create additional lots of a similar layout to the Subject Site but this will not significantly alter the layout or the character of the Context Neighborhood.

The Context Homes within the Context Neighborhood range in age and style. The styles are very eclectic and even homes built in a similar era are radically different in style, layout and quality. Context Homes range in styles from Post War, Basement Entry and West Coast to Craftsman and Neo Traditional. It would be impossible to say that any one particular home establishes the character of the neighborhood or sets the tone. Instead the best way to consider the overall character of the Context Neighborhood is say that the character is eclectic and mature.

It can be expected that older homes within the Context Neighborhood will eventually be replaced. It is very common in the Greater Vancouver area and Lower Mainland for homes to start being replaced when they are more than 30 years old. Almost certainly the older homes will individually be replaced, one at a time, rather than multiple lots at the same time, and this may happen over a period of one or two decades. The Residential Character of the Context Neighborhood will slowly change as older homes are replaced, but this is not happening at a pace which would justify calling the residential character emerging. Instead it would be said that the character of the neighborhood is existing and well established.

2.2 Prevailing Features of the Context Homes Significant to the Proposed Design Guidelines and Building Scheme and Recommendations:

The Context Homes identified in the Residential Character Study have been reviewed for individual components which contribute to the overall character of the Context Neighborhood. In this section the major components which contribute have been identified, Context Homes are reviewed for each major component, and recommendations are made for the Design Guidelines of the new homes and properties on the Subject Site.

House Styles

- The Context Homes represent a vastly eclectic mix of housing styles including Traditional, Basement Entry, West Coast, French Provincial, Neo Heritage, Neo Traditional, California and Craftsman. Styles of the Context Homes generally represent the era in which they were built and styles popular during those eras. The styles of older homes from the 1970's tend to be representative of affordable housing styles while newer homes tend to represent styles more complex and represent the increased land values in the area.
- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should encourage some current popular styles and a range of well-established styles in the Context Neighborhood. Some hybrid styles such as Modern Prairie, Modern Farmhouse or Contemporary-Traditional may suit well if the materials used on the home are mostly traditional materials but with contemporary use and massing. Certain current popular styles such as Modern, which may be characterized as having radical geometric shapes, modern building materials such as metal panels, and flat roofs or opposing monoplane roofs, should be discouraged by restricting specific roof forms and modern building materials, and addressing building massing.

Building Massing

- The Context Homes are a relatively even combination of one and two storey homes, some with basements that are partially visible and some with no basement. Massing ranges from modest single storey massing to bold full two storey massing on elevations facing the road. The two storey homes generally have some amount of reduced upper floor massing with most having a minor reduction in upper floor mass and some having a significantly reduced upper floor mass with the upper floor mostly concealed within the main roof form. A small number of basement entry style homes have a full two storey massing.
- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should discourage full two storey massing and limit two storey elements by requiring portions of the upper floor to be set back from the main floor and where two storey elements occur they should be broken up by design elements such as skirt roofs and boxed out windows. Some two storey massing should be permitted.

Corner Lot Design

- There are no corner lots in the proposed layout for the Subject Site. However, generic corner lot restrictions should be included in the design guidelines in case the Building Scheme should run with the lots until a time at which further development may create a corner lot situation.

Roof Form and Material

- All of the Context Homes have pitched roofs with a vast range of low to steep pitches. Roofing is predominantly asphalt shingle roofing but with some homes having concrete tile or cedar shake roofs. Roof forms are generally mixed use of hips and gables and would be considered multi-plane roof forms. One of the Context Homes has monoplane roof forms. Some homes have feature roofs facing the road including gables, porch roofs, boxed windows, dormers, etc. while other homes have no feature roofs.

- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should encourage a wide range of roof forms indicative of the Context Homes and should permit low to steep roof pitches. Feature roofs should be encouraged and alternate materials for feature roofs should be permitted if it suits the style. Low or flat roof slopes, and monoplane roof forms, should be permitted but only as feature roofs and not as the main roof form. Asphalt roofing should be the primary roofing material but concrete tile in shake profile and cedar roofing should be permitted. Alternate roofing materials should also be permitted but only in a shake pattern. Metal roofing should not be permitted as the main roofing material but should be permitted as feature roofing.

Cladding and Detailing

- The Context Homes include a mix of traditional building materials and cladding such as stone, stucco, horizontal bevel siding, vertical siding, horizontal vinyl and/or metal siding, wall shakes and brick. Some street facing facades include significant window and door trim, layered fascias and barge boards, trim at base and top of walls, and architectural details such as timber braces, ornamental gable vents and stone bases on columns and feature walls. Many of the older homes are lacking in this type of detail and have minimalistic treatments for cladding and detailing. Some of the two storey homes have different main cladding materials for each storey while others only have one cladding material for the entire home.
- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should encourage the use of similar cladding, materials and detailing as the newer homes in the Context Neighborhood, but materials and features of the older homes should not be considered. Minimum requirements for trim and use of feature elements should be included. A broad range of cladding materials should be permitted but vinyl siding and similar low quality materials should not be permitted. Minimum requirements for fascias and gable barge boards should be outlined. Of special consideration is the fact that these homes will not be visible from the road, so any restrictions which indicate they are typically required for the front and portions visible from the road should apply to the portion which is considered the front even if it is not visible from the road.

Surfacing Materials:

- The Context Homes include a mix of gravel, concrete, asphalt and unit pavers for driveways and surfacing visible from the street. The driveways which have gravel and asphalt tend to be for the much older homes and for panhandle lots. The medium age and more current homes primarily use concrete with either stamped, broom or exposed aggregate finish, or concrete unit pavers. Several homes have driveway borders of contrasting material.
- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should encourage driveway and walkway surfacing to be concrete with finishes similar to those used by the Context Homes. However, this should only be for the portion immediately in front of the garage and not for the entire property. Walkways should only be permitted to match the driveway material. Asphalt surfacing may be appropriate to connect the concrete driveways to the private access, for surfacing on the private access, and for the firefighting access.

Garages:

- The Context Homes have a fairly even mix of two and three car attached garages. Some homes have detached two car garages. There are also homes with only a one car garage or a two car carport. Four car garages either do not exist or are not visible from the road. Two car garages are either one double overhead door or two single overhead doors. Three car garages are either a double and a single overhead door or three single overhead doors.
- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should require a minimum of two car and maximum of three car attached garage. Where the attached garage is a three car there should be articulation required between the second and third space to encourage softer massing.

Front Entry and Porches

- The porches on the Context Homes range from very minimal or even non-existent to well balanced and dominant. There does not appear to be any front porches which are overly embellished or extremely large & tall although some are quite grand. Generally the oldest homes have minimal porches and even where front doors face the road and are visible they may have no defined porch element. Homes which were built in the 1990's and later tend to have well defined front porches with doors that face the road and architectural features which complement the style of the home.
- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should encourage a dominant front entry porch and door which is visible from the road but should be limited to a single storey.

Landscaping

- In general the Context Neighborhood is a very mature area and many lots have large well established trees and landscaping. Some are quite overgrown with natural vegetation and others have overgrown landscaping such as hedging and shrubs. Very few have fully maintained yards but have at least maintained the front yard to ensure the home remains visible from the road. Some homes are not visible from the road and several lots have disorganized and unkempt front yards. Fencing is prevalent in many yards but generally for side and rear yard separation rather than to enclose front yards. Most of the visible fencing is cedar panel.
- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should require a mix of planting beds and lawn area in the front yards along with guidelines for hedging and planting materials to ensure front yards remain manageable and provide natural transitions from the street. Fencing and hedging should be limited to the sides and rear yards to ensure new homes remain visible, presentable and neighborly.

Retaining:

- In the Context Neighborhood where retaining is used it is mostly low and terraced, and tall retaining is not prevalent except for some specific areas used to transition where overall lot grades are more extreme. Low borders are of materials such as garden ties, concrete or stone. Higher retaining walls are primarily Allan Block or Pisa Stone. No walls higher than 1.2m are visible from the street.
- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should limit retaining walls to be 0.9m or less and include guidelines for approved material and finish.

Conclusion:

The Context Neighborhood and Context homes have an eclectic mix of styles, features, layouts and landscaping. The new homes built on the subject site should suit the neighborhood and the Design Guidelines for the lots should ensure compatibility. However, it is difficult to encourage the new homes and landscaping to have all features of all homes in the Context Neighborhood. By selectively identifying common themes within the Context Neighborhood and considering the nature of new home construction with current trends and industry standard levels of quality the Design Guidelines for the home can provide flexibility while ensuring the new homes suit the neighborhood and maintain levels of quality which will safeguard all home owners in the area.

Compliance Deposit: \$10,000.00

Summary prepared and submitted by: Angus J. Muir, AJ Muir Design Ltd. Date: October 10, 2023

Reviewed and Approved by: Angus J. Muir  Date: October 10, 2023

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7923-0128-00

Issued To:

{{the Owner}}

Address of Owner:

Issued To:

{{the Owner}}

Address of Owner:

Issued To:

{{the Owner}}

Address of Owner:

Issued To:

{{the Owner}}

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 008-374-775

Lot 40, Except Part in Plan BCP25559 Section 10 Township 2 New Westminster District Plan 37178
14633 No 10 (56 Ave) Hwy

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Section C.2 of Part 14 “Quarter Acre Residential Zone (R2)” to reduce the minimum lot width from 24 meters to 13.8 meters for proposed Lots 1, 2 and 3;
- (b) In Section F.1 of Part 14 “Quarter Acre Residential Zone (R2)” to reduce the minimum front yard setback from 7.5 meters to 6.5 meters for proposed Lots 1, 2 and 3; and
- (c) In Section F.1 of Part 14 “Quarter Acre Residential Zone (R2)” to reduce the minimum side yard setback from 2.4 meters to 1.8 meters for proposed Lots 1, 2 and 3.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

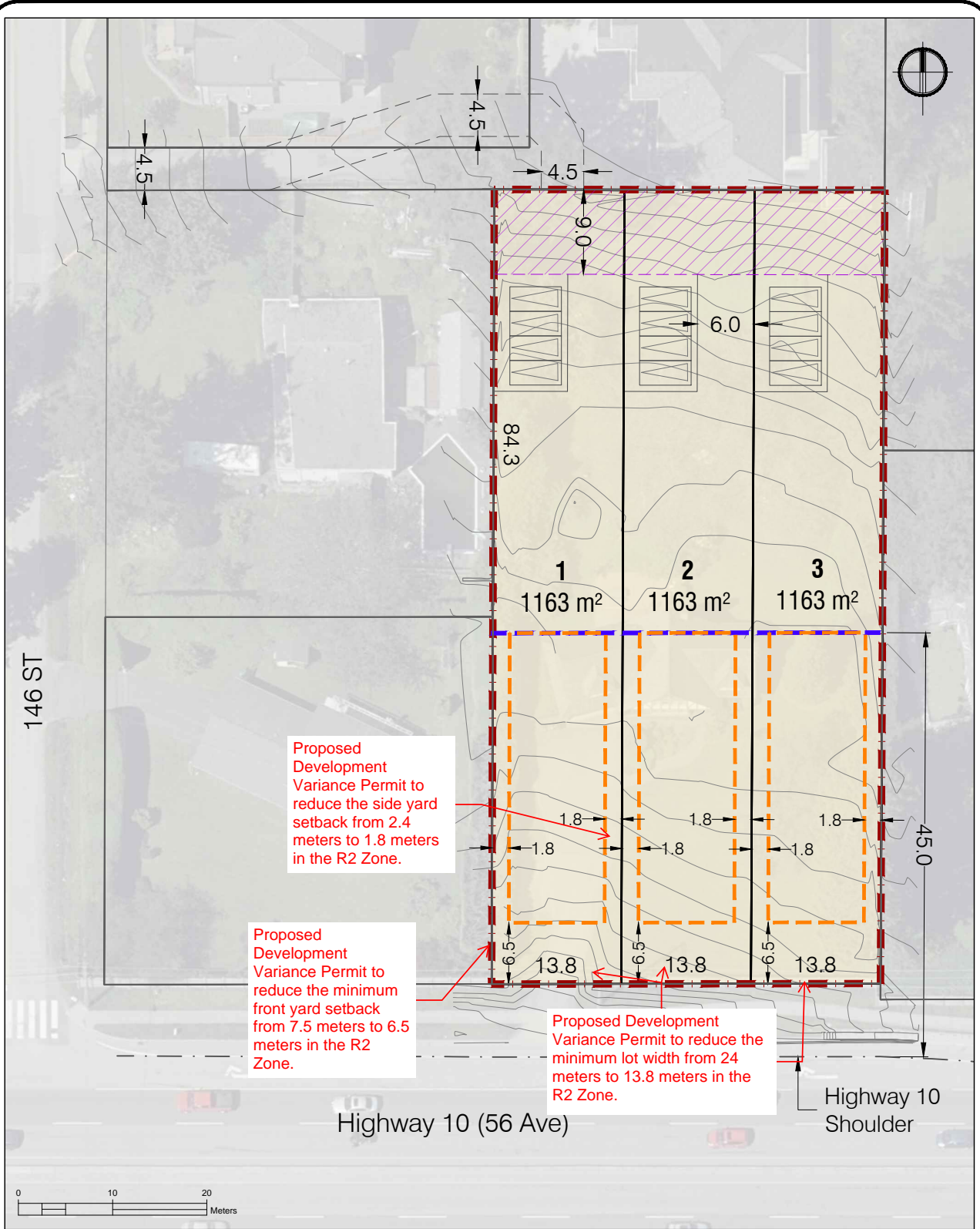
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli



LEGAL DESCRIPTION
PID 008-374-775

GROSS SITE AREA
0.35 hectares / 0.86 acres

NET SITE AREA
0.35 hectares / 0.86 acres

EXISTING DESIGNATIONS
OCP: Urban
NCP: Suburban Residential 1/2 acre,
Buffers
Zoning: R1

PROPOSED DESIGNATIONS
OCP: Urban
NCP: Single Family Residential, Buffers
Zoning: R3

LOT YIELD
Existing: 1 lots
Proposed: 3 lots

DENSITY
Gross Area: 8.6 uph / 3.5 upa
Net Area: 8.6 uph / 3.5 upa

- Site Boundary
- ▭ Proposed Lots
- ▨ Proposed Shared Access Easement
- Building Envelope
- - Existing Easement
- Fire Safety Line

	Lot Area	Permitted Lot Coverage	Permitted Coverage
Lot 1	1163 m ²	37.2%	433 m ²
Lot 2	1163 m ²	37.2%	433 m ²
Lot 3	1163 m ²	37.2%	433 m ²

- Notes:
- All dwelling units to be constructed south of the fire safety line. No-Build Restrictive Covenants will be registered on the title of each proposed lot for the areas north of the fire safety line.
 - Three (3) lots would require a 1.2m lot width variance.

Mercier Family Estate
Residential Development
14633 Highway 10, Surrey, BC

SUBDIVISION CONCEPT

APLIN MARTIN
Project 22-1065A
08 / 08 / 2024
Drawn By: BJ / AR / CV

Drawing
1

CITY OF SURREY

BYLAW NO. 21443

A bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015, c.1, as amended, by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule A under Part 3 of Surrey Zoning By-law, 1993, No. 12000, as amended, as follows:

FROM: SUBURBAN RESIDENTIAL ZONE (R1)
TO: QUARTER ACRE RESIDENTIAL ZONE (R2)

PID: 008-374-775
Lot 40, Except Part in Plan BCP25559 Section 10 Township 2 NWD Plan 37178

(14633 No. 10 (56 Avenue) Highway)

2. This Bylaw shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21443".

PASSED FIRST READING on the th day of , 20 .

PASSED SECOND READING on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECEIVED APPROVAL FROM THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE
on the day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the
Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

CITY OF SURREY

BYLAWS AND PERMITS



TO: City Clerk, Legislative Services Division

FROM: Chief Development Approvals Officer
Planning & Development Department

DATE: October 8, 2024

FILE: 7924-0228-00

RE: By-law Nos. 21406 and 21407
Development Application No. 7924-0228-00

ADDRESS: 8122 – 168 St
8136 – 168 St
8148 – 168 St
16832 – 81A Ave
8145 – 168A St
8139 – 168A St
8127 – 168A St
8128 – 168A St
16852 – 81A Ave
16856 – 81A Ave
16860 – 81A Ave
16864 – 81A Ave

OWNER: 1243100 BC Ltd.
Director Information: T. Sablok and S. Sablok

AGENT: T. Gill
15838 – 109 Avenue
Surrey, BC V4N 4W4

PROPOSAL: Rezoning from R₃ to CD and R₄ to CD.

To permit the construction of SSMUH-related housing options on existing residential lots located within a Transit Oriented Area.

Rezoning By-law Nos. 21406 and 21407.

Received Third Reading on October 7, 2024.

All conditions of approval with respect to these Bylaws have been met.

It is in order for Council to grant Final Adoption to these Bylaws.



Ron Gill, Chief Development Approvals Officer

CITY OF SURREY

BYLAW NO. 21406

A Comprehensive Development bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015 c. 1, as amended, for the following lands:

Address: As described in Appendix "A".
Legal: As described in Appendix "A".
PID: As described in Appendix "A".

as follows:

- (a) by creating a new Comprehensive Development Zone 252 (CD 252), attached as Appendix "A" and forming part of this bylaw;
- (b) by changing the zoning classification shown in Schedule A, Zoning Maps, as follows:
FROM: URBAN RESIDENTIAL ZONE (R₃)
TO: COMPREHENSIVE DEVELOPMENT ZONE (CD); and
- (c) by amending Part 52, Comprehensive Development Zone, Section C. Comprehensive Development Zones, by adding a new CD Zone "CD 252" as follows:

CD Zone ID	Civic Address	Legal Description	CD Bylaw No.	Replaces Bylaw No.
"CD 252"	(a) 8127 – 168A Street (b) 8128 – 168A Street (c) 16860 – 81A Avenue	(a) Lot 7, Plan EPP112552 (b) Lot 8, Plan EPP112552 (c) Lot 11, Plan EPP112552	21406	N/A"

2. This By-law shall be cited for all purposes as "Surrey Comprehensive Development Zone 252 (CD 252), Bylaw, 2024, No. 21406".

PASSED FIRST READING on the 7th day of October, 2024.

PASSED SECOND READING on the 7th day of October, 2024.

PASSED THIRD READING on the 7th day of October, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

APPENDIX "A"

COMPREHENSIVE DEVELOPMENT ZONE 252 (CD 252)

In this Comprehensive Development Zone 252 (CD 252), **Part 15, Urban Residential Zone (R3)**, as well as all other applicable regulations of Surrey Zoning By-law, 1993, No. 12000, as amended, (the "Zoning By-law") apply to the following lands:

Address	Legal Descriptions	PID
8127 – 168A Street	Lot 7 Section 30 Township 8 NWD Plan EPP112552	031-741-142
8128 – 168A Street	Lot 8 Section 30 Township 8 NWD Plan EPP112552	031-741-151
16860 – 81A Avenue	Lot 11 Section 30 Township 8 NWD Plan EPP112552	031-741-185

(collectively the "Lands")

except as follows:

1. Permitted Uses

Delete Section "B. Permitted Uses" and replace it with a new Section "B. Permitted Uses" as follows:

"B. Permitted Uses

Lands, buildings and structures in this R3 Zone must only be used for the following uses, or a combination of *principal uses* and *accessory uses* if the maximum number of *dwelling units* is not exceeded as follows:

Lot Size	Lot Location	Maximum Number of Dwelling Units ¹	Principal Uses	Accessory Uses
≤ 4,050 sq. m and ≥ 280 sq. m	All areas ²	Up to 6	Single Family Dwelling or Duplex or Houseplex ^{3,4}	Secondary Suite Garden Suite Coach House Bed and Breakfast ⁵ Boarders or Lodgers ⁵ Short-Term Rental ⁶

- 1 Despite the permitted uses in Table B.1., *Land* that is not connected to a community water or community sewer system provided as a service by a municipality or regional district is not allowed to have more than 2 *dwelling units* on a *lot*.
- 2 Small-scale multi-unit housing requirements are only permitted on the subject *Lands*, which are located within a *Transit-Oriented Area*.
- 3 A *houseplex* requires rear *lane* access, and the *lot* must be at least 18 m wide.
- 4 A *houseplex* may achieve up to 6 *dwelling units* with 4 principal *dwelling units* and 2 *coach houses*, provided there is rear *lane* access.
- 5 *Bed and Breakfast* use and the keeping of *boarders or lodgers* are only permitted in accordance with Section B.7. of Part 4 General Provisions.
- 6 *Short-Term Rental* is only permitted in accordance with Section B.7.(d) of Part 4 General Provisions."

CITY OF SURREY

BYLAW NO. 21407

A Comprehensive Development bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015 c. 1, as amended, for the following lands:

Address: As described in Appendix "A".
Legal: As described in Appendix "A".
PID: As described in Appendix "A".

as follows:

- (a) by creating a new Comprehensive Development Zone 253 (CD 253), attached as Appendix "A" and forming part of this bylaw;
- (b) by changing the zoning classification shown in Schedule A, Zoning Maps, as follows:
FROM: SMALL LOT RESIDENTIAL ZONE (R4)
TO: COMPREHENSIVE DEVELOPMENT ZONE (CD); and
- (c) by amending Part 52, Comprehensive Development Zone, Section C. Comprehensive Development Zones, by adding a new CD Zone "CD 253" as follows:

CD Zone ID	Civic Address	Legal Description	CD Bylaw No.	Replaces Bylaw No.
"CD 253"	(a) 8122 – 168 Street (b) 8136 – 168 Street (c) 8148 – 168 Street (d) 16832 – 81A Avenue (e) 8145 – 168A Street (f) 8139 – 168A Street (g) 16852 – 81A Avenue (h) 16856 – 81A Avenue (i) 16864 – 81A Avenue	(a) Lot 1, Plan EPP122552 (b) Lot 2, Plan EPP112552 (c) Lot 3, Plan EPP112552 (d) Lot 4, Plan EPP112552 (e) Lot 5, Plan EPP112552 (f) Lot 6, Plan EPP112552 (g) Lot 9, Plan EPP112552 (h) Lot 10, Plan EPP112552 (i) Lot 12, Plan EPP112552	21407	N/A"

2. This By-law shall be cited for all purposes as "Surrey Comprehensive Development Zone 253 (CD 253), Bylaw, 2024, No. 21407".

PASSED FIRST READING on the 7th day of October, 2024.

PASSED SECOND READING on the 7th day of October, 2024.

PASSED THIRD READING on the 7th day of October, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

APPENDIX "A"

COMPREHENSIVE DEVELOPMENT ZONE 253 (CD 253)

In this Comprehensive Development Zone 253 (CD 253), **Part 16, Small Lot Residential Zone (R4)**, as well as all other applicable regulations of Surrey Zoning By-law, 1993, No. 12000, as amended, (the "Zoning By-law") apply to the following lands:

Address	Legal Descriptions	PID
8122 – 168 Street	Lot 1 Section 30 Township 8 NWD Plan EPP112552	031-741-088
8136 – 168 Street	Lot 2 Section 30 Township 8 NWD Plan EPP112552	031-741-096
8148 – 168 Street	Lot 3 Section 30 Township 8 NWD Plan EPP112552	031-741-100
16832 – 81A Avenue	Lot 4 Section 30 Township 8 NWD Plan EPP112552	031-741-118
8145 – 168A Street	Lot 5 Section 30 Township 8 NWD Plan EPP112552	031-741-126
8139 – 168A Street	Lot 6 Section 30 Township 8 NWD Plan EPP112552	031-741-134
16852 – 81A Avenue	Lot 9 Section 30 Township 8 NWD Plan EPP112552	031-741-169
16856 – 81A Avenue	Lot 10 Section 30 Township 8 NWD Plan EPP112552	031-741-177
16864 – 81A Avenue	Lot 12 Section 30 Township 8 NWD Plan EPP112552	031-741-193

(collectively the "Lands")

except as follows:

1. Permitted Uses

Delete Section "B. Permitted Uses" and replace it with a new Section "B. Permitted Uses" as follows:

"B. Permitted Uses

Lands, buildings and structures in this R4 Zone must only be used for the following uses, or a combination of *principal uses* and *accessory uses* if the maximum number of *dwelling units* is not exceeded as follows:

Lot Size	Lot Location	Maximum Number of Dwelling Units ¹	Principal Uses	Accessory Uses
≤ 4,050 sq. m and ≥ 280 sq. m	All areas ²	Up to 6	Single Family Dwelling or Duplex	Secondary Suite Garden Suite Coach House Short-Term Rental ³

1 Despite the permitted uses in Table B.1., *Land* that is not connected to a community water or community sewer system provided as a service by a municipality or regional district is not allowed to have more than 2 *dwelling units* on a *lot*.

2 Small-scale multi-unit housing requirements are only permitted on the subject *Lands*, which are located within a *Transit-Oriented Area*.

3 *Short-Term Rental* is only permitted in accordance with Section B.7.(d) of Part 4 General Provisions."

TO: City Clerk, Legislative Services Division

FROM: Director of Development Planning
Planning & Development Department

DATE: October 16, 2024

FILE: 7923-0209-00

RE: By-law No. 21250
Development Application No. 7923-0209-00

ADDRESS: 14784 - 106 Avenue
14794 - 106 Avenue
10563 - 148 Street
10573 - 148 Street

OWNER: DS 106 Developments Ltd.
Director Information:
T. Dawson
J. Hooge
No Officer Information as at March 29, 2024.

AGENT: P. Magistrale
Dawson and Sawyer Properties Ltd
15240 - 56 Avenue, Suite 205
Surrey, BC V3S 5K7

PROPOSAL: Rezoning from R3 to CD (based on RM-70).

Development Permit No. 7923-0209-00.

NCP Amendment to redesignate the subject site from “Low Rise Transition Residential” to “Low to Mid Rise Residential” under the Guildford Plan.

To permit the development of a 6-storey building containing 93 dwelling units over two (2) levels of underground parking on a consolidated site in the Guildford Plan area.

Rezoning By-law No. 21250 received Third Reading on May 6, 2024.

All conditions of approval with respect to this By-law have been met. It is in order for Council to grant Final Adoption to this By-law.

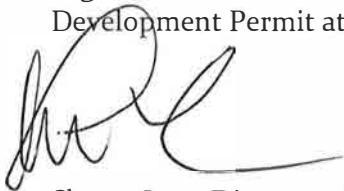
It is now in order for Council to pass a resolution amending the Guildford Plan to redesignate the subject site from “Low Rise Transition Residential” to “Low to Mid Rise Residential”.

Staff was authorized to draft Development Permit No. 7923-0209-00 on April 22, 2024.

It is now in order for Council to issue attached Development Permit No. 7923-0209-00 and to authorize the Mayor and Clerk to execute the Permit.

Note: If the Development Permit, as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the buildings and structures, Council may refer the Development Permit application back to staff with direction regarding any of these matters.

Legislative Services is requested to hold registration of the Notice on Title with respect to this Development Permit at Land Title Office, pending a new legal description for the property.

A handwritten signature in black ink, appearing to read 'Shawn Low', is written over the printed name below.

Shawn Low, Director of Development Planning

CITY OF SURREY

BYLAW NO. 21250

A Comprehensive Development bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015 c. 1, as amended, for the following lands:

Address: As described in Appendix "A".
Legal: As described in Appendix "A".
PID: As described in Appendix "A".

as follows:

- (a) by creating a new Comprehensive Development Zone 196 (CD 196), attached as Appendix "A" and forming part of this bylaw;
- (b) by changing the zoning classification shown in Schedule A, Zoning Maps, as follows:
FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)
TO: COMPREHENSIVE DEVELOPMENT ZONE (CD); and
- (c) by amending Part 52, Comprehensive Development Zone, Section C. Comprehensive Development Zones, by adding a new CD Zone "CD 196" as follows:

CD Zone ID	Civic Address	Legal Description	CD Bylaw No.	Replaces Bylaw No.
"CD 196"	(a) 14784 - 106 Avenue (b) 14794 - 106 Avenue (c) 10563 - 148 Street (d) 10573 - 148 Street	(a) Lot 2, Plan EPP127075 (b) Lot 131, Plan 41515 (c) Lot 133, Plan 41515 (d) Lot 132, Plan 41515	21250	N/A"

2. This Bylaw shall be cited for all purposes as "Surrey Comprehensive Development Zone 196 (CD 196), Bylaw, 2024, No. 21250".

PASSED FIRST READING on the 6th day of May, 2024.

PASSED SECOND READING on the 6th day of May, 2024.

PASSED THIRD READING on the 6th day of May, 2024.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

APPENDIX "A"

COMPREHENSIVE DEVELOPMENT ZONE 196 (CD 196)

In this Comprehensive Development Zone 196 (CD 196), **Part 24, Multiple Residential 70 Zone (RM-70)**, as well as all other applicable regulations of Surrey Zoning By-law, 1993, No. 12000, as amended, (the "Zoning By-law") apply to the following lands:

Address	Legal Descriptions	PID
14784 – 106 Avenue	Lot 2 Section 19 Block 5 North Range 1 West NWD Plan EPP127075	032-117-612
14794 – 106 Avenue	Lot 131 Section 19 Block 5 North Range 1 West NWD Plan 41515	006-211-437
10563 – 148 Street	Lot 133 Section 19 Block 5 North Range 1 West NWD Plan 41515	004-614-640
10573 – 148 Street	Lot 132 Section 19 Block 5 North Range 1 West NWD Plan 41515	006-211-445

(collectively the "*Lands*")

except as follows:

1. Intent

Delete Section "A. Intent" and replace it with a new Section "A. Intent" as follows:

"A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density*, medium rise, *multiple unit residential buildings* and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design*."

2. Permitted Uses

Delete Sub-Section B.2. in Section B. Permitted Uses.

3. Density

Delete Sub-Section D.2. in Section D. Density and replace it with a new Sub-Section D.2. as follows:

"2. Permitted Density Increases:

If amenity contributions are provided in accordance with Schedule G, *density* may be increased to a maximum *floor area ratio* of 2.60, excluding:

- (a) The indoor *amenity space* requirement (pursuant to Section J.1. of this Zone); and
- (b) Up to a maximum of 170 sq. m of the *secure bicycle parking area* requirement (pursuant to Sub-Section H.5. of this Zone)."

4. Lot Coverage

Delete Section "E. Lot Coverage" and replace it with a new Section "E. Lot Coverage" as follows:

"E. Lot Coverage

The maximum *lot coverage* for all *buildings* and *structures* shall be 47%."

5. Yards and Setbacks

Delete Section "F. Yards and Setbacks" and replace it with a new Section "F. Yards and Setbacks" as follows:

"F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum setbacks:

USES:	SETBACKS:			
	North Yard	East Yard	South Yard	West Yard
<i>Principal Building and Structures</i>	5.5 m	5.5 m	6.0 m	4.5 m

1 Notwithstanding the definition of *setback* in Part 1, Definitions, canopies, and their associated structural elements, columnar *building* elements, *balconies*, and roof overhangs may encroach into the required *setbacks*. Building projection may encroach into the south and west *yard setbacks* by a maximum of 0.4 metres.

2 Notwithstanding Section A.3.(d) of Part 5, Off-Street Parking and Loading/Unloading, *parking - underground* may be located up to 0.5 m of the north, east, and west *lot lines*."

6. Height of Buildings

Delete Sub-Section G.1. in Section G. Height of Buildings and replace it with a new Sub-Section G.1. as follows:

"1. Principal Buildings:

Principal building height shall not exceed 21.0 m."

7. Off-Street Parking and Loading/Unloading

Delete Section "H. Off-Street Parking and Loading/Unloading" and replace it with a new Section "H. Off-Street Parking and Loading/Unloading" as follows:

"H. Off-Street Parking and Loading/Unloading

1. Parking Calculation:

Refer to Table D.1. of Part 5 Off-Street Parking and Loading/Unloading.

- (a) Notwithstanding Table D.1. of Part 5 Off-Street Parking and Loading/Unloading, resident *parking spaces* shall be provided at a rate of 1.1 *parking space per dwelling unit* and visitor *parking spaces* shall be provided at a rate of 0.1 *parking space per dwelling unit*.

2. Tandem Parking:

Tandem parking is not permitted.

3. Underground Parking:

All required resident *parking spaces* shall be provided as *parking – underground*.

4. Parking Area:

- (a) Parking within the required *setbacks* is not permitted; and
- (b) Parking is not permitted in front of the main entrance of a *multiple unit residential building*, except for the purpose of short-term drop-off or pick-up.

5. Bicycle Parking:

A *secure bicycle parking area* shall be provided in a separate bicycle room located within a *building*, whether located at or above *finished grade*, with convenient access to the outside of the *building*."

8. Landscaping and Screening

Delete Section "I. Landscaping and Screening" and replace it with a new Section "I. Landscaping and Screening" as follows:

"I. Landscaping and Screening

1. General Landscaping:

- (a) All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained; and
- (b) *Highway* boulevards abutting a *lot* shall be seeded or sodded with grass, except at *driveways*.

2. Refuse:

Garbage containers and *passive recycling containers* shall be located within the *parking - underground* or within a *building*."

9. Special Regulations

Delete Section "J. Special Regulations" and replace it with a new Section "J. Special Regulations" as follows:

"J. Special Regulations

1. Amenity Spaces:

Amenity space, subject to Section B.6. of Part 4, General Provisions, shall be provided on the *lot* as follows:

- (a) Outdoor *amenity space* in the amount of 3.0 sq. m per *dwelling unit* and shall not be located within the required *setbacks*.
- (b) Indoor *amenity space* in the amount of 3.0 sq. m per *dwelling unit*.

2. Balconies:

Balconies are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 sq. m per *dwelling unit*, whichever is greater."

CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT

NO.: 7923-0209-00

Issued To:

Address of Owner:

A. General Provisions

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.

2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 032-117-612
LOT 2 SECTION 19 BLOCK 5 NORTH RANGE 1 WEST NEW WESTMINSTER DISTRICT
PLAN EPP127075
14784 - 106 Avenue

Parcel Identifier: 006-211-437
LOT 131 SECTION 19 BLOCK 5 NORTH RANGE 1 WEST
NEW WESTMINSTER DISTRICT PLAN 41515
14794 - 106 Avenue

Parcel Identifier: 004-614-640
LOT 133 SECTION 19 BLOCK 5 NORTH RANGE 1 WEST NEW WESTMINSTER DISTRICT
PLAN 41515
10563 - 148 Street

Parcel Identifier: 006-211-445
LOT 132 SECTION 19 BLOCK 5 NORTH RANGE 1 WEST NEW WESTMINSTER DISTRICT
PLAN 41515
10573 - 148 Street

(the "Land")

3. As the legal description of the Land will change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier: _____

_____ **LEGAL**

4. If the civic address(es) of the Land change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

_____ **CIVIC**

5. The Land has been designated as a development permit area in Surrey Official Community Plan, 2013, No. 18020, as amended.

B. Form and Character

1. The character of the development including landscaping, siting, form, exterior design and finish of buildings and structures, and sign design packages on the Land shall be in accordance with the drawings attached and referenced 7923-0209-00 (1) through to and including 7923-0209-00 (42) (the "Drawings").
2. Minor changes to the Drawings that do not affect the general form and character of the landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign details on the Land, may be permitted subject to the approval of the City.

C. Landscaping Installation and Maintenance

1. The landscaping shall be constructed, planted, installed and maintained in good order in accordance with the landscaping plans prepared by PMG Landscape Architects attached and referenced 7923-0209-00 (36) through to 7923-0209-00 (42) (the "Landscaping").
2. For Form and Character development permits, or for that portion of a development permit pertaining to Form and Character, the Landscaping shall be installed and completed within six (6) months after the date of the final inspection of the buildings and structures.
3. For Form and Character development permits, Landscaping shall be maintained for a minimum of twelve (12) months after the date of substantial completion.

D. Security and Inspections

1. Security must be submitted to the City prior to the installation of any Landscaping.
2. For Form and Character development permits, security may be submitted after the issuance of a Development Permit.
3. The security for Landscaping is to be submitted as follows:
 - i. An Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of **\$233,714.83** (the "Security")
4. Security release will only be considered once installation of the Landscaping has been completed, after final approval of the installation has been given by the City, and after the completion by the Owner of any required maintenance periods identified in this development permit, to the satisfaction of the City.
5. If final approval of the Landscaping installation and maintenance is not given by the City, the City has the option of using the Security to complete the Landscaping (or to hire a contractor to complete the work on the City's behalf) with any remaining money returned to the Owner. The Owner authorizes the City or its agent to enter upon the Land to complete the Landscaping.
6. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.
7. If the Owner or shared vehicle operator fails to supply the shared vehicle as required, the City has the option of using the Security to cover all costs of fulfilling the obligations of the shared vehicle agreement. The Owner authorizes the City or its agent to enter upon the Land to complete any work necessary to fulfill the obligations of the shared vehicle agreement.

E. Administration

1. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.

2. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued within two (2) years after the date this development permit is issued. The terms and conditions of this development permit, and any amendment to it, are binding on any and all persons who acquire an interest in the Land.
3. This development permit is only valid for the development that is described in this development permit. If a change to development is considered, a new development permit or an amendment to this permit is required before any work is started.
4. All reports, documents and drawings referenced in this development permit shall be attached to and form part of this development permit.
5. This development permit is issued subject to compliance by the Owner and the Owner's employees, contractors and agents with all applicable City bylaws, including the Tree Protection Bylaw, Erosion and Sediment Control Bylaw and the Soil Removal and Deposition Bylaw, all as may be amended or replaced from time to time.

6. This development permit is NOT A BUILDING PERMIT.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

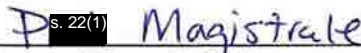
Mayor

City Clerk

IN CONSIDERATION OF COUNCIL APPROVAL OF THIS DEVELOPMENT PERMIT AND
OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREE TO
THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE
THAT WE HAVE READ AND UNDERSTOOD IT.



Authorized Agent: (Signature)



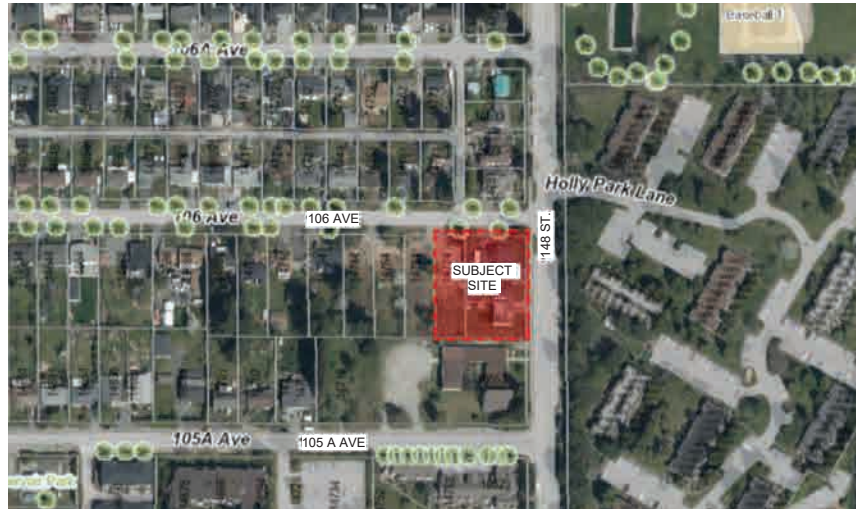
Name: (Please Print)

Owner: (Signature)

Name: (Please Print)

MULTI FAMILY DEVELOPMENT

14798 106 AVE, SURREY,
BRITISH COLUMBIA



NOTES:

PROJECT INFO

LEGAL DESCRIPTION:

LOT 131 BLOCK 5N SECTION 19 RANGE 1W PLAN NWP41515 NWD
LOT 132 BLOCK 5N SECTION 19 RANGE 1W PLAN NWP41515 NWD
LOT 133 BLOCK 5N SECTION 19 RANGE 1W PLAN NWP41515 NWD
LOT 134 SECTION 19 RANGE 1 PLAN NWP41515 NWD

CIVIC ADDRESS:

14798 106 AVE, SURREY BRITISH COLUMBIA

ZONING INFORMATION:

ZONE:
EXISTING: RF
PROPOSED: CD

LOT AREA:

GROSS SITE AREA - 0.70 AC. / 2827.82 SQM
DEDICATION - 0.04 AC. / 172.43 SQM
NET SITE AREA - 0.66 AC. / 2655.47 SQM

PROJECT DIRECTORY

CLIENT:
DAWSON + SAWYER
CONTACT: Phil Magistrale
T: 604.315.0609
phil@dawsonswayer.ca

ARCHITECTURAL:
DF ARCHITECTURE INC.
350 - 10851 SHELLBRIDGE WAY
RICHMOND, BC V6X 3Z6
CONTACT: JESSIE ARORA
T: 604-294-5194
jessie@dfarchitecture.ca

SURVEY:
OLSEN & ASSOCIATES
204 15585 24 AVENUE, SURREY
BC, V4A2J4
T: 604-531-4067
info@olsensurveying.ca

ENERGY:
RED PELICAN BUILDING SCIENCE LTD.
200 8661 201 STREET,
LANGLEY, BC V2Y 0G9
T: 778 873 3177
CONTACT: NICHOLAS SCHOCK
nick@redpelican.ca

CIVIL:
APLIN & MARTIN
201 12448 82 AVE.
SURREY BC V3W 3E9
T: 604 597 9058
CONTACT: STEVE DINDO
SDindo@aplinmartin.com

STRUCTURAL:
WEILER SMITH BOWERS CONSULTING STRUCTURAL ENGINEERS
118-3855 HENNING DR.
BURNABY, BC V5C 6N3
T: 604 294 3753
CONTACT: DARRELL BOWERS
bowers@wsb-eng.com

CODE:
PONTEM GROUP
309-63 W 6TH AVE.
VANCOUVER, BC V5Y 1K2
T: 604 439 0922
CONTACT: JACK HUI
jhui@pontemgrp.com

ELECTRICAL:
GAGER ELECTRICAL CONSULTANTS LTD.
206889 56 AVE.
LANGLEY, BC V3A 3Y9
T: 778 277 2225
CONTACT: MARC GAGER
marc.gager@gagerelectrical.com

SPRINKLER & FIRE SUPPRESSION:
CARDINAL ENGINEERING
709 610 GRANVILLE ST.
VANCOUVER, BC V6C 3T3
T: 604 605 0606
CONTACT: RYAN PAVEY
pavey@cardinalfire.ca

GEO TECHNICAL:
GEOPACIFIC CONSULTANTS LTD.
1779 W 75TH AVE.
VANCOUVER, BC V6P 6P2
T: 604 439 0922
CONTACT: MATTHEW AKENHEAD
akenhead@geopacific.ca

ARCHITECTURAL

Category	SHEET NO.	SHEET NAME
	A-001	COVER SHEET
	A-002	DATA DEVELOPMENT
	A-003	BASE PLAN
	A-004	OVER VIEW OF PLAN AREA
	A-005	LAND USE CONCEPT
	A-006	PARKS AND OPEN SPACE
	A-007	ROAD NETWORK
	A-008	CONTEXT PLAN
	A-008B	CONTEXT PLAN
	A-009	CONTEXT PHOTO - CURRENT SITE VIEW
	A-010	CONTEXT PHOTO - CURRENT SURROUNDING VIEW
	A-011	SHADOW ANALYSIS
	A-012	SITE ANALYSIS
	A-100	SITE PLAN
	A-101	SITE PLAN FIRE DEPARTMENT
	A-200	PARKING LEVEL_2
	A-201	PARKING LEVEL_1
	A-202	FLOOR PLANS - LEVEL 1
	A-203	FLOOR PLANS - LEVEL 2-4
	A-204	FLOOR PLANS - LEVEL 5
	A-205	FLOOR PLANS - LEVEL 6
	A-206	FLOOR PLANS - ROOF LEVEL
	A-220	UNIT PLANS
	A-221	UNIT PLANS
	A-222	UNIT PLANS
	A-223	UNIT PLANS
	A-300	ELEVATIONS - NORTH & EAST
	A-301	ELEVATION - SOUTH & WEST
	A-302	STREETScape
	A-303	PUBLIC REALM SECTION
	A-320	BUILDING SECTION 1
	A-321	BUILDING SECTION 2
	A-322	BUILDING SECTION 3
	A-323	BUILDING SECTION 4
	A-350	3D VIEWS

SITE & INFO.

BUILDING & UNIT PLANS

ELEVATIONS, SECTIONS, 3D VIEW

2024-06-19	11	DF PREL. DRAWINGS
2024-05-23	11	DF PREL. DRAWINGS
2024-05-23	11	DF PREL. DRAWINGS
2024-04-15	11	DF PREL. DRAWINGS
2024-03-28	11	DF PREL. DRAWINGS
2024-03-28	11	DF PREL. DRAWINGS
2024-03-28	11	DF PREL. DRAWINGS
2024-03-28	11	DF PREL. DRAWINGS
2024-03-28	11	DF PREL. DRAWINGS

DF ARCHITECTURE INC.
350-10851 SHELLBRIDGE WAY, RICHMOND, B.C.
VANCOUVER, BC V6X 3Z6
T: (604) 294-5194 F: (604) 294-5131
info@dfarchitecture.ca



GROUP 161 IS NOT AN ARCHITECTURAL FIRM. ALL ARCHITECTURAL SERVICES ARE PROVIDED THROUGH OUR FIRMS THAT HOLD THE CERTIFICATE OF PRACTICE.

PROJECT:

GULDFORD THE GREATEST 2

14798 106 AVE, SURREY, B.C.

CLIENT:
DAWSON + SAWYER

DRAWN: LB JP	
CHECKED: DS	
SCALE:	
JOB NO: SUR-194	
DATE: MAR 2023	2024-06-20

SHEET TITLE:
COVER SHEET

DRAWING NO.	A-001	I
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2024-06-19 - DP REV. DRAWINGS

C:\Users\ljohnson\Documents\DF_ARCH\14798_106_AVE_2024-06-20\14798_106_AVE_2024-06-20.dwg (viewed: protected as per username: ljohnson@df.ca)

7923-209-00 (1)

DEVELOPMENT DATA				
LEGAL DESCRIPTION				
LOT 131 BLOCK 5N SECTION 19 RANGE 1W PLAN NWP41515 NWD				
LOT 132 BLOCK 5N SECTION 19 RANGE 1W PLAN NWP41515 NWD				
LOT 133 BLOCK 5N SECTION 19 RANGE 1W PLAN NWP41515 NWD				
LOT 134 SECTION 19 RANGE 1 PLAN NWP41515 NWD				
CIVIC ADDRESS				
14774 & 14794 106 AVENUE, 10573 & 10563 148 ST, SURREY BRITISH COLUMBIA				
ZONING INFORMATION				
ZONE				
EXISTING	RF			
PROPOSED	CD			
LOT AREA				
GROSS SITE AREA	30,463.56 Sq.Ft.	2,830.13 Sq.Mt.	0.70 ac	0.28 ha
DEDICATIONS AREA	1,856.00 Sq.Ft.	172.43 Sq.Mt.	0.04 ac	0.14 ha
NET SITE AREA	28,607.56 Sq.Ft.	2,657.71 Sq.Mt.	0.66 ac	0.27 ha
LOT COVERAGE				
PROPOSED ON NET SITE AREA	13151.93 ft.	1,221.81 Sq.Mt.	45.97%	
BUILDING HEIGHT				
PROPOSED	6 STOREYS			
SETBACK				
NORTH (FROM 106 AVE.)	18.04 ft.	5.50 Mt.		
NORTH (FROM 106 AVE. ON LEVEL 6)	24.61 ft.	7.50 Mt.		
SOUTH (FROM NEIGHBOURING LOT)	19.69 ft.	6.00 Mt.		
EAST (FROM 148 ST.)	18.04 ft.	5.50 Mt.		
EAST (FROM 148 ST. ON LEVEL 6)	24.61 ft.	7.50 Mt.		
WEST (FROM NEIGHBOURING LOT)	15.00 ft.	4.50 Mt.		
WEST (FROM NEIGHBOURING LOT ON LEVEL 6)	21.33 ft.	6.50 Mt.		

UNIT SCHEDULE													
APARTMENT UNITS													
FLOOR	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	LEVEL 6	AREA PER UNIT		NO. OF UNITS				
UNIT A1	1 BED RM.+ DEN	6	4	4	4	3	631.17 Sq.Ft.	58.64 Sq.M.	25				
UNIT A1 ADAP.	1 BED RM.+ DEN	1	1	1	1	0	631.17 Sq.Ft.	58.64 Sq.M.	5				
UNIT A2	2 BED RM.	2	2	2	2	0	689.80 Sq.Ft.	64.08 Sq.M.	8				
UNIT A3	1 BED RM.	0	0	0	0	1	528.90 Sq.Ft.	49.13 Sq.M.	1				
UNIT A3 ADAP.	1 BED RM.	0	0	0	0	1	528.90 Sq.Ft.	49.13 Sq.M.	1				
UNIT A5	1 BED RM.+DEN	0	0	0	0	2	580.20 Sq.Ft.	53.90 Sq.M.	2				
UNIT A6	2 BED RM.	0	2	2	2	0	736.21 Sq.Ft.	68.39 Sq.M.	8				
UNIT B	2 BED RM.+ DEN	1	1	1	1	0	756.62 Sq.Ft.	70.29 Sq.M.	5				
UNIT B1	1 BED RM.	0	0	0	0	1	636.44 Sq.Ft.	59.13 Sq.M.	1				
UNIT B4	1 BED RM.+ DEN	0	0	0	0	1	598.72 Sq.Ft.	55.62 Sq.M.	1				
UNIT B5	1 BED RM.	0	0	0	0	1	537.69 Sq.Ft.	49.95 Sq.M.	1				
UNIT B6	1 BED RM.+ DEN	0	0	0	0	1	670.62 Sq.Ft.	62.30 Sq.M.	1				
UNIT C	2 BED RM.+ DEN	1	1	1	1	0	873.03 Sq.Ft.	81.10 Sq.M.	5				
UNIT C1	3 BED RM.	0	2	2	2	0	868.47 Sq.Ft.	80.68 Sq.M.	8				
UNIT C1a	3 BED RM.	2	0	0	0	0	899.75 Sq.Ft.	83.59 Sq.M.	2				
UNIT C2	2 BED RM.+ DEN	0	0	0	0	1	722.01 Sq.Ft.	67.07 Sq.M.	1				
UNIT C3	2 BED RM.	0	1	1	1	0	911.55 Sq.Ft.	84.68 Sq.M.	4				
UNIT D	1 BED RM.+ DEN	0	1	1	1	1	730.21 Sq.Ft.	68.67 Sq.M.	5				
UNIT D1	1 BED RM.	0	1	1	1	1	638.67 Sq.Ft.	59.33 Sq.M.	5				
UNIT E	STUDIO	0	0	0	0	1	405.44 Sq.Ft.	37.67 Sq.M.	1				
UNIT E1	1 BED RM.	0	0	0	2	1	506.39 Sq.Ft.	47.04 Sq.M.	3				
TOTAL NO. OF APARTMENT UNITS							13	16	16	16	16	16	93

AMENITY SPACE				
OUTDOOR AMENITY	NO OF UNITS	AREA PER UNIT	AREA	
REQUIRED	93	3.00 Sq.M.	3,002.04 Sq.Ft.	279.00 Sq.M.
TOTAL REQUIRED AMENITY AREA			3,002.04 Sq.Ft.	279.00 Sq.M.
PROVIDED ON LEVEL 1			2,008.50 Sq.Ft.	186.59 Sq.M.
PROVIDED ON ROOF			1,272.00 Sq.Ft.	118.17 Sq.M.
TOTAL PROVIDED OUTDOOR AMENITY			3,280.50 Sq.Ft.	304.77 Sq.M.
INDOOR AMENITY	NO OF UNITS	AREA PER UNIT	AREA	
REQUIRED	93	3.00 Sq.M.	3,002.04 Sq.Ft.	279.00 Sq.M.
TOTAL REQUIRED AMENITY AREA			3,002.04 Sq.Ft.	279.00 Sq.M.
PROVIDED ON LEVEL 1			1,383.68 Sq.Ft.	128.55 Sq.M.
TOTAL PROVIDED INDOOR AMENITY			1,383.68 Sq.Ft.	128.55 Sq.M.

OFF STREET PARKING				
UNIT TYPE	NO. OF UNITS	CARS PER DWELLING	NO. OF CARS	SAY
TOTAL REQUIRED RESIDENTIAL PARKING	93	1.1	102.3	102
TOTAL VISITORS PARKING	93	0.1	9.3	9
NO. OF PARKING REQUIRED (INCLUDING VISITOR PARKING)				111
TOTAL NO OF PARKING PROVIDED				112
NO. OF SMALL CAR PARKING PROVIDED				38
NO. OF ACCESSIBLE CAR PARKING PROVIDED				2
				34%
				2%
BICYCLE SPACES				
REQ. BICYCLE SPACES	REQUIRED		PROVIDED	
BICYCLE PARKING	1.2/D.U	111.6	112 SPACES AT 1ST	
TEMPORARY BICYCLE PARKING	6		6 SPACES	
STORAGE				
STORAGE ON PARKING LEVEL 1			17	
STORAGE ON PARKING LEVEL 2			54	
TOTAL STORAGE			71	

F.A.R							
6 STOREY APARTMENT BUILDING							
	STUDIO	1 BED RM.	2 BED RM.	3 BED RM.		Sq.Ft.	Sq.Mt.
LEVEL 1	0	7	4	2		13,274.13 Sq.Ft.	1,233.17 Sq.Mt.
LEVEL 2	0	7	7	2		12,982.35 Sq.Ft.	1,206.08 Sq.Mt.
LEVEL 3	0	7	7	2		12,982.35 Sq.Ft.	1,206.08 Sq.Mt.
LEVEL 4	0	7	7	2		12,982.35 Sq.Ft.	1,206.08 Sq.Mt.
LEVEL 5	0	9	5	2		12,599.28 Sq.Ft.	1,170.47 Sq.Mt.
LEVEL 6	1	14	1	0		10,896.16 Sq.Ft.	1,012.25 Sq.Mt.
INDOOR AMENITY						1,380.14 Sq.Ft.	128.22 Sq.Mt.
TOTAL NO. OF UNITS	1	51	31	10	93		
PERCENTAGE	1.08%	54.84%	33.33%	10.75%	100.00%		
TOTAL BUILDABLE AREA (EXCLUDING INDOOR AMENITY)						74,337.08 Sq.Ft.	6,905.91 Sq.Mt.
F.A.R (ON NET SITE AREA)						2.60	
F.A.R (ON GROSS SITE AREA)						2.44	

NOTES:

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PROJECT:

GULDFORD THE GREATEST 2

14798 106 AVE, SURREY, B.C

CLIENT:
DAWSON + SAWYER

DRAWN: LB, JP	
CHECKED: DS	
SCALE:	
JOB NO: SUR-194	
DATE: MAR 2023	
SHEET TITLE:	2024-09-20

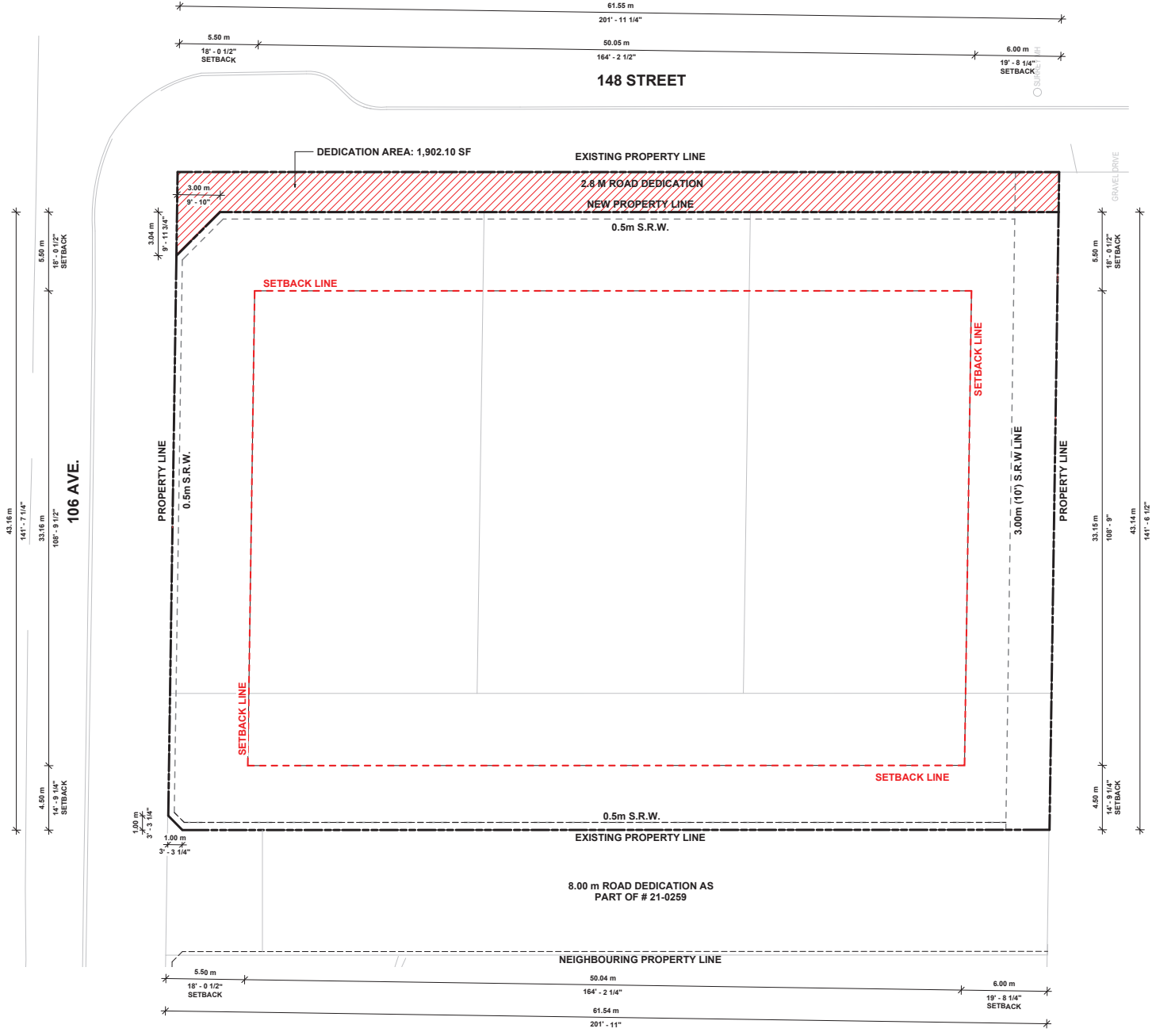
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DRAWING NO:
A-002 I

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PROJECT:

GUILDFORD THE GREATEST 2

14798 106 AVE, SURREY, B.C.

CLIENT:

DAWSON + SAWYER

DRAWN: LB, JP	
CHECKED: DS	
SCALE: 3/32" = 1'-0"	
JOB NO: SUR-194	
DATE: MAR 2023	
SHEET TITLE:	2024-09-20

BASE PLAN

DRAWING NO:	
A-003	

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1 BASE PLAN
3/32" = 1'-0"

NOTES:

Figure 1.2 Overview of Plan Area



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PROJECT:
GUILDFORD THE GREATEST 2

14798 106 AVE, SURREY, B.C.

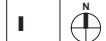
CLIENT:
DAWSON + SAWYER

DRAWN: LB, JP
 CHECKED: DS
 SCALE:
 JOB NO: SUR-194
 DATE: MAR 2023
 SHEET TITLE: 2024-09-20



OVER VIEW OF PLAN AREA

DRAWING NO:
A-004 I



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Figure 6.1: Road Network



LEGEND

- Provincial Highway
- Arterial Road
- Collector Road
- Local Road
- High Street
- Pedestrian Connection
- Green Lane
- Lane
- New Road
- Long Term Road
- Existing Traffic Signal
- New Traffic Signal
- New Roundabout
- Intersection Improvements

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DAWSON + SAWYER

DRAWN: LB, JP	
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SCALE:	
JOB NO: SUR-194	
DATE: MAR 2023	
SHEET TITLE: ROAD NETWORK	2024-06-20

ROAD NETWORK

DRAWING NO: A-007	I	N
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DAWSON + SAWYER

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CHECKED: DS	
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JOB NO: SUR-194	
DATE: MAR 2023	
SHEET TITLE: 2024-06-20	

CONTEXT PLAN

DRAWING NO: A-008B I	
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3. EAST VIEW_LOT 10573 & 10563 148 St



4. NORTH VIEW_LOT 14774 & 14794 106 AVENUE



5. NORTH-WEST VIEW_LOT 14774 & 14794 106 AVENUE



SUBJECT SITE: 14774 & 14794 106 AVENUE, 10573 & 10563 148 St, SURREY BRITISH COLUMBIA



1. NORTH-EAST VIEW_LOT 10573 & 10563 148 St & LOT 14774 & 14794 106 AVENUE



2. SOUTH-EAST VIEW_LOT 10573 & 10563 148 St

NOTES:

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CLIENT:
DAWSON + SAWYER

DRAWN:	LB, JP
CHECKED:	DS
SCALE:	
JOB NO.:	SUR-194
DATE:	MAR 2023
SHEET TITLE:	2024-09-20



CONTEXT PHOTO -
 CURRENT SITE VIEW

DRAWING NO. **A-009** I

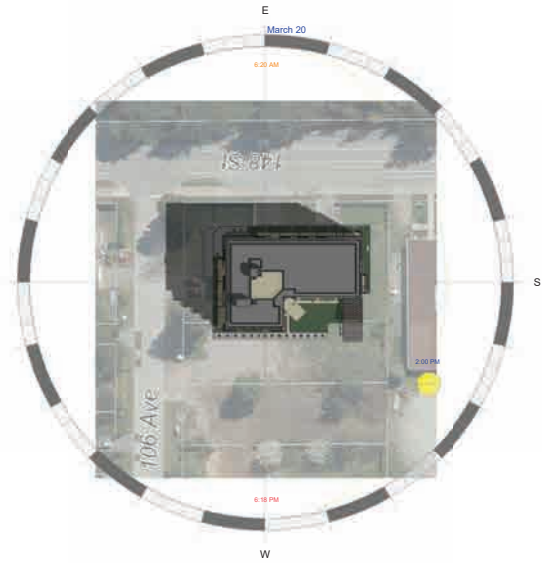
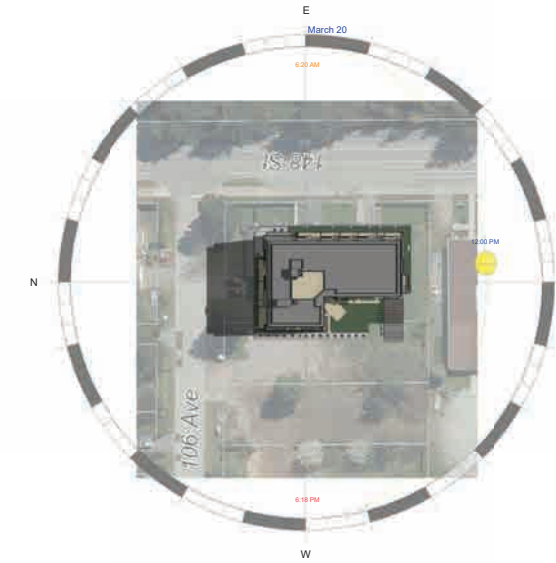
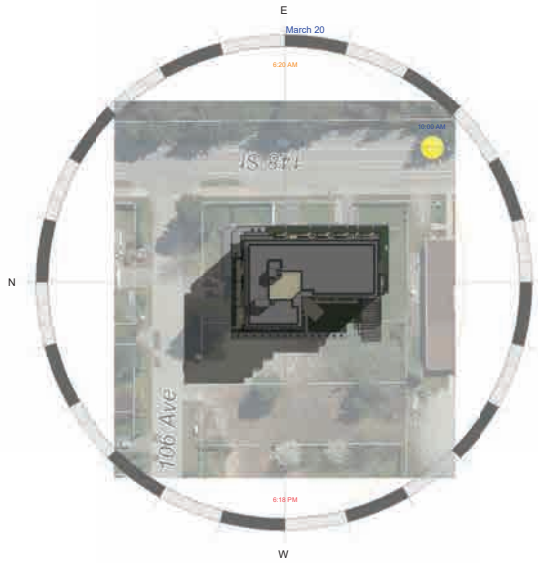
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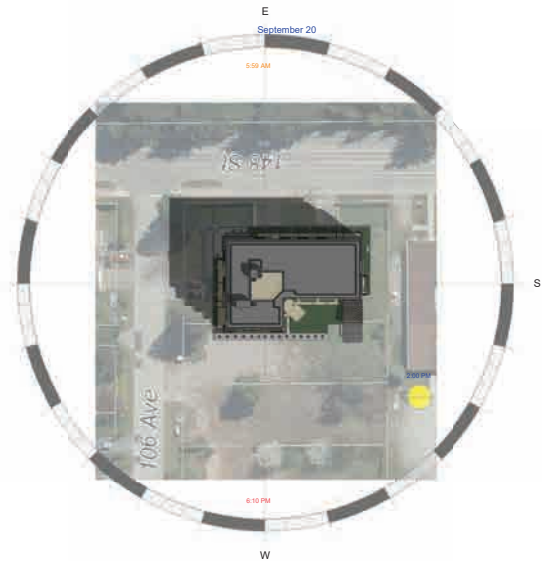
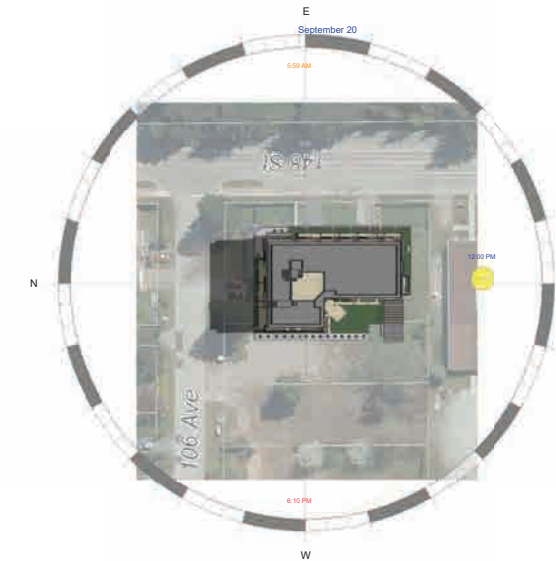
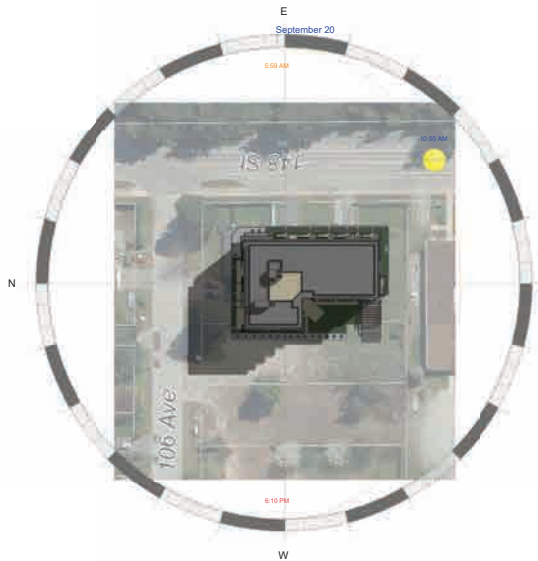
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1 EQ MARCH-10AM

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3 EQ MARCH-2PM



4 EQ SEPTEMBER-10AM

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2024-12-30	DP REV. DRAWINGS
2024-12-31	DP REV. DRAWINGS

DF ARCHITECTURE INC.

300-10851 SHELLBROOK WAY, RICHMOND, B.C.
 CANADA, V6V 2W9
 T: (604) 264-5154 F: (604) 264-5131
 info@dfarchitecture.ca

GROUP 161

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PROJECT:

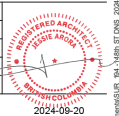
GUILDFORD THE GREATEST 2

14798 106 AVE, SURREY, B.C.

CLIENT:

DAWSON + SAWYER

DRAWN: LB, JP
 CHECKED: DS
 SCALE:
 JOB NO: SUR-194
 DATE: MAR 2023
 SHEET TITLE:



SHADOW ANALYSIS

DRAWING NO: **A-011**

1 I z

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2024-09-19 - DP REV. DRAWINGS

C:\Users\jlp@df.com\Documents\DF_ARCH\14798_106_AVE_2024-09-19_2024-09-20\14798_106_AVE_2024-09-19_2024-09-20.dwg (viewed/printed as per custom_user@3037.r)

7923-209-00 (12)

NOTES:

LEGEND

- |||| PEDESTRIAN CIRCULATION
- VEHICULAR CONNECTION TO DEVELOPMENT

DF ARCHITECTURE INC.
 350-10501 SHELLBROOK HWY, RICHMOND, B.C.
 CANADA V6V 2M9
 T 604.284.4104 F 604.284.6131
 info@dfarch.com



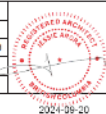
GROUP 161 IS NOT AN ARCHITECTURAL FIRM. ALL ARCHITECTURAL SERVICES ARE PROVIDED THROUGH OUR FIRM THAT HOLD THE CERTIFICATE OF PRACTICE.

PROJECT:
GULDFORD THE GREATEST 2

14798 106 AVE, SURREY, B.C.

CLIENT:
DAWSON + SAWYER

DRAWN: LB, JP
 CHECKED: DS
 SCALE: As Indicated
 JOB NO: SLUR-194
 DATE: MAR 2023
 SHEET NO: 2024-09-20



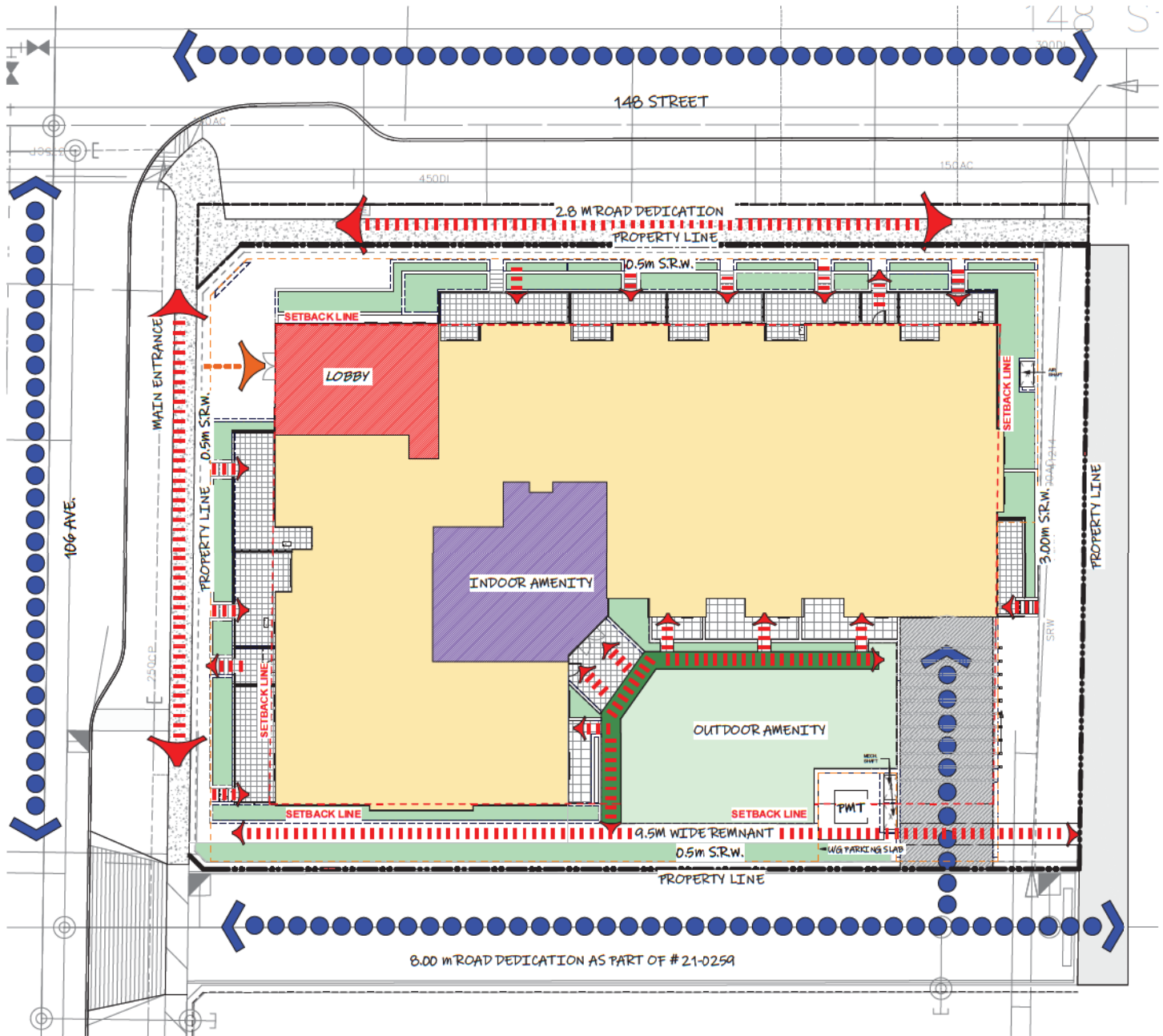
SITE ANALYSIS

OWNER:
A-012 I

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2024-09-19 - DP REV. DRAWINGS

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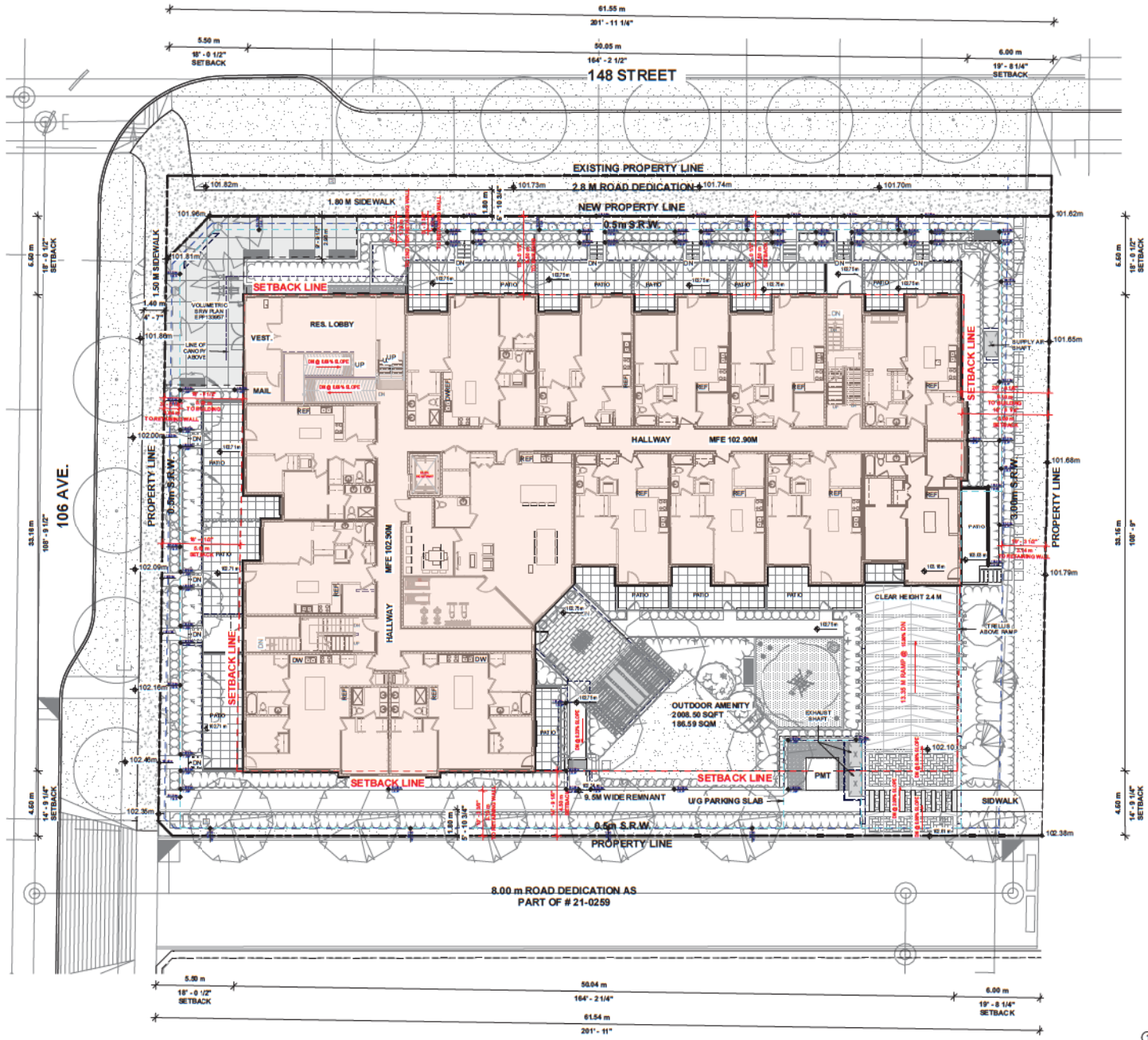


1 SITE ANALYSIS
 332' = 1"0"

7923-209-00 (13)

NOTES:

FOR CLADDING OF ALL BEDROOMS AND BATHS ON EAST FACADE SUBJECT TO HAVE MINIMUM OTC RATING 2W



2024-09-19 - DP REV. DRAWINGS

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 info@dfarchitecture.ca

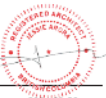
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PROJECT:
GULDFORD THE GREATEST 2

14798 106 AVE, SURREY, B.C.

CLIENT:
DAWSON + SAWYER

DRAWN: LB, JP
 CHECKED: DS
 SCALE: As Indicated
 JOB NO: SLR-184
 DATE: MAR 2023
 SHEET NO: 2024-09-20



SITE PLAN

DRAWING NO:
A-100 I

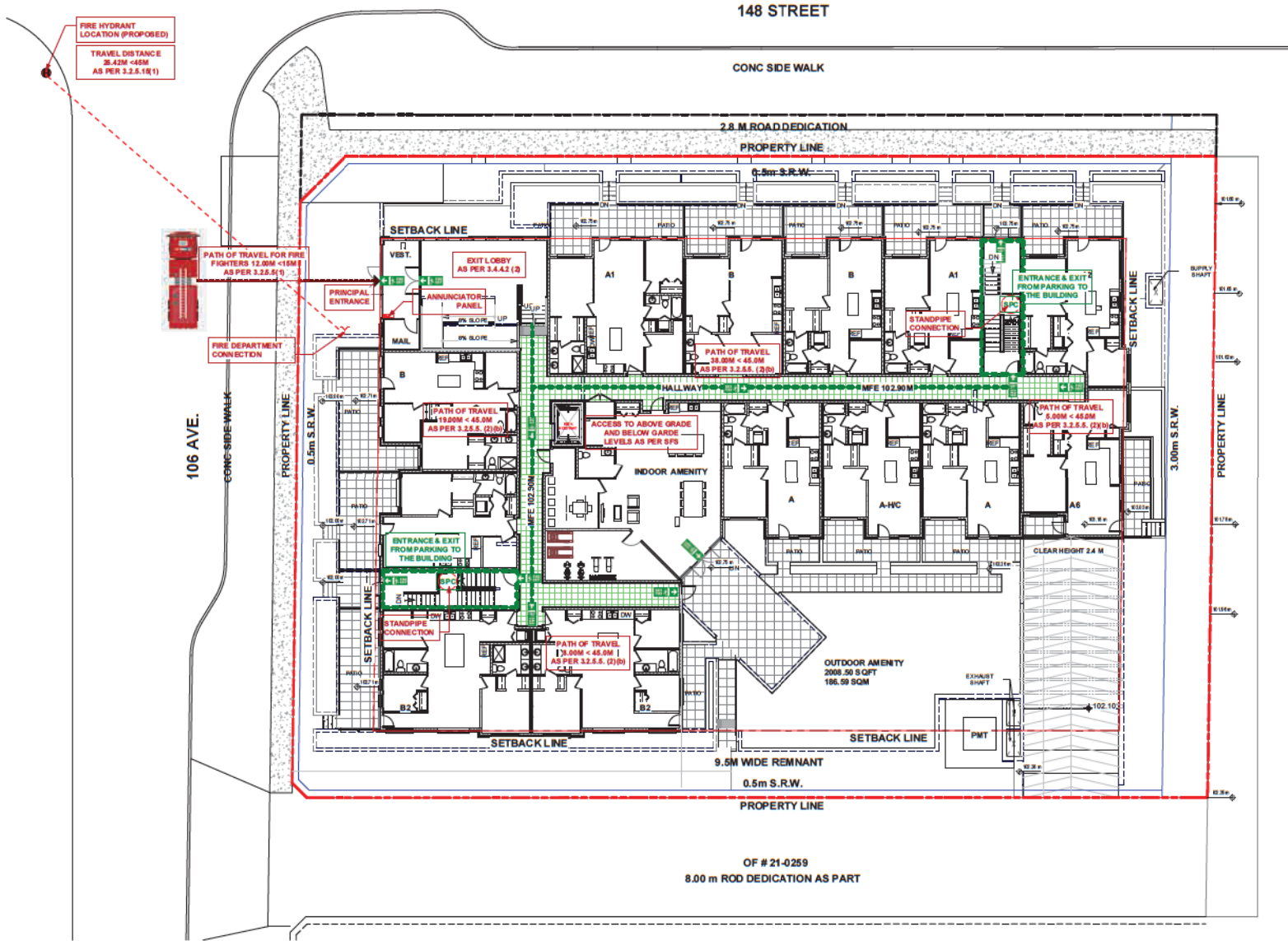
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1 SITE PLAN
3/32" = 1'-0"

7923-209-00 (14)

NOTES:

7923-209-00 (15)



148 STREET

CONC SIDE WALK

2.8 M ROAD DEDICATION
PROPERTY LINE

106 AVE.

9.5M WIDE REMNANT
0.5m S.R.W.

OF # 21-0259
8.00 m ROAD DEDICATION AS PART

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2024-03-20
2	REVISED	
3	REVISED	
4	REVISED	
5	REVISED	
6	REVISED	
7	REVISED	
8	REVISED	
9	REVISED	
10	REVISED	

DF ARCHITECTURE INC.
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info@dfarch.com



PROJECT:
GULDFORD THE GREATEST 2
14798 106 AVE, SURREY, B.C.
CLIENT:
DAWSON + SAWYER

DRAWN: LB, JP	
CHECKED: DB	
SCALE: 3/32" = 1'-0"	
JOB NO: SLR-194	
DATE: MAR 2023	
SHEET NO: 2024-09-20	

SITE PLAN FIRE DEPARTMENT

OWNER: **A-101 I**

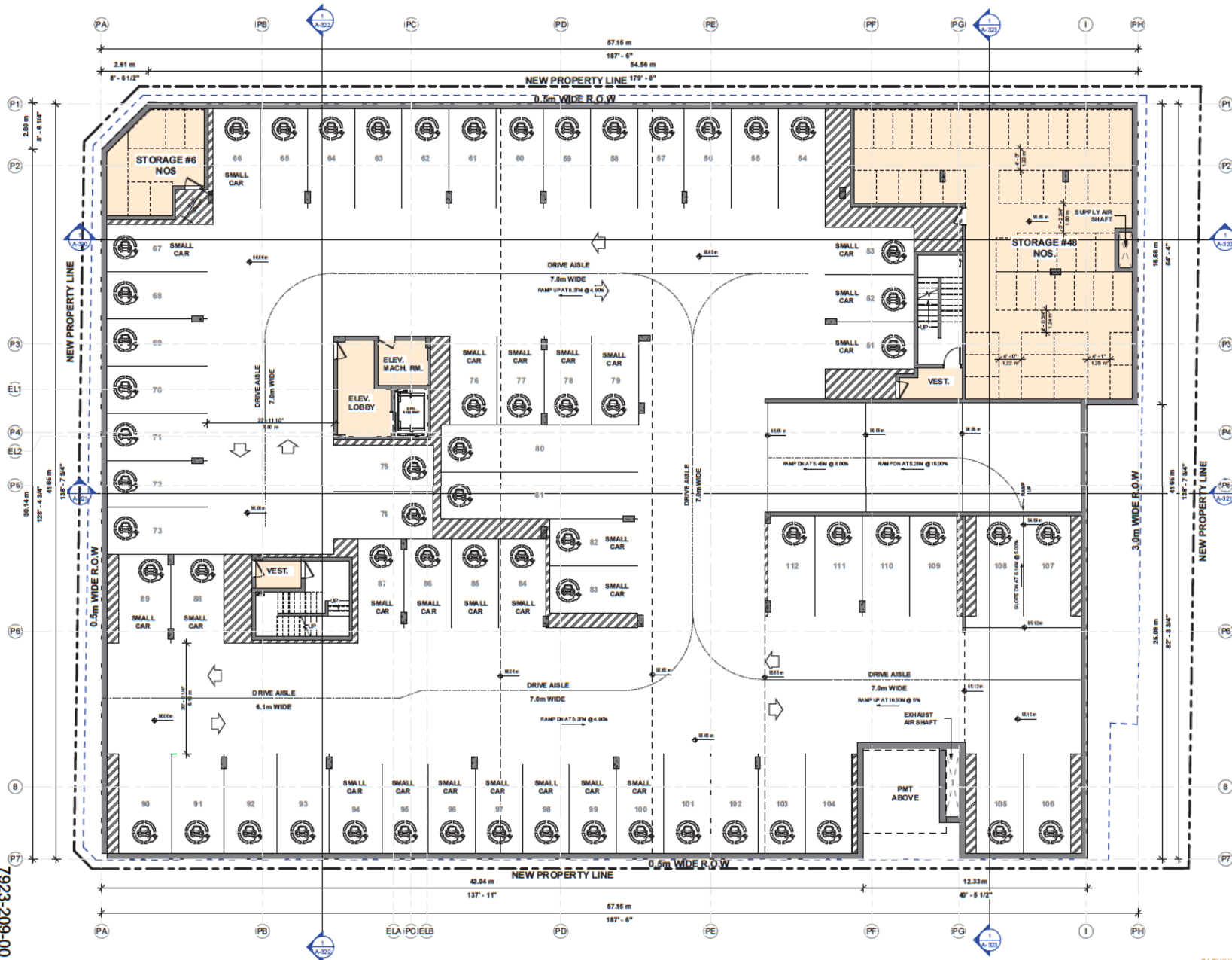
1 SITE PLAN FIRE DEPARTMENT
3/32" = 1'-0"

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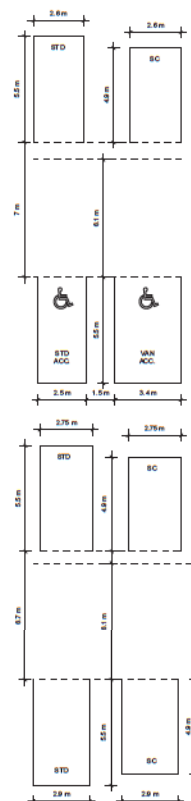
2024-09-19 - DP REV. DRAWINGS

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NOTES:



PARKING STALL SIZES



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GROUP 161
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PROJECT: **GULDFORD THE GREATEST 2**

14798 106 AVE, SURREY, B.C.

CLIENT: **DAWSON + SAWYER**

DRAWN: LL, JP	
CHECKED: DS	
SCALE: As Indicated	
JOB NO: SLR-104	
DATE: MAR-2024	
SHEET NO: 2024-06-20	

PARKING LEVEL_2

OWNER: **A-200 I**

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7923-209-00 (16)

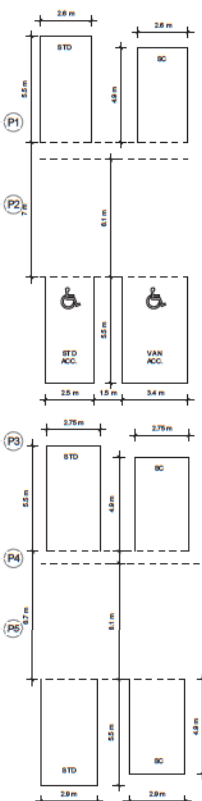
2024-09-19 - DP REV. DRAWINGS

C:\Users\llorenz\Desktop\SLR_104\2024-06-20_Parking_Level_2.dwg (user: llorenz, date: 2024-06-20)

1 PARKING LEVEL 2
 1/8" = 1'-0"

NOTES:

PARKING STALL SIZES



DF ARCHITECTURE INC. 300-10001 SHELLBROOK HWY. RICHMOND, B.C. CANADA V6X 2M6
TEL: 604-273-8100 FAX: 604-273-8101
info@dfarch.com

GROUP 161
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PROJECT: GUILDFORD THE GREATEST 2

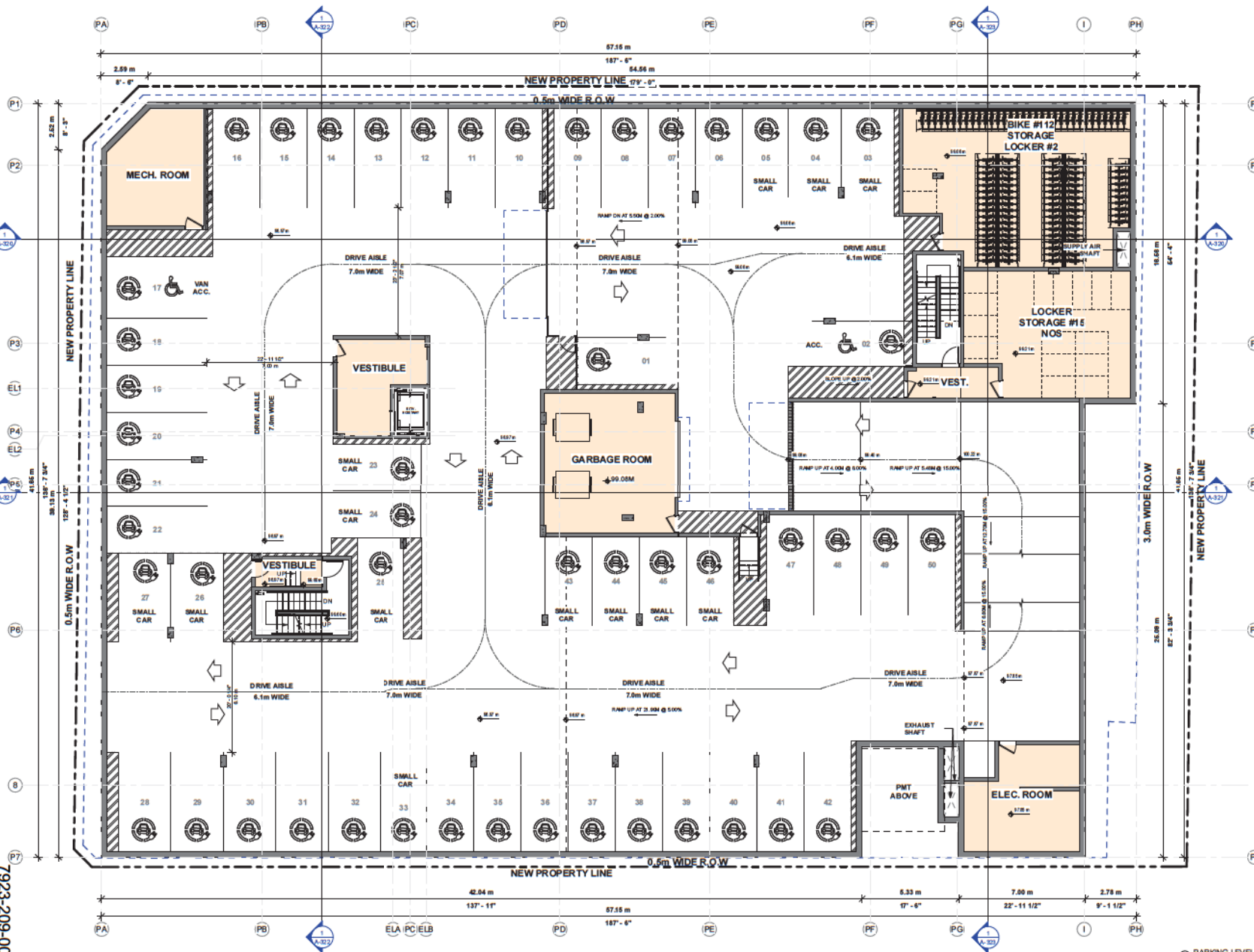
SKESTALL STORAGE RACK 147 98 106 AVE, SURREY, B.C.
CLIFF
DAWSON + SAWYER

Table with drawing metadata: DRAWN: LBJ, JP; CHECKED: DS; SCALE: As Indicated; JOB NO: SLR-194; DATE: MAR 2023; SHEET NO: 2024-09-20

PARKING LEVEL_1

DRAWING NO: A-201 I

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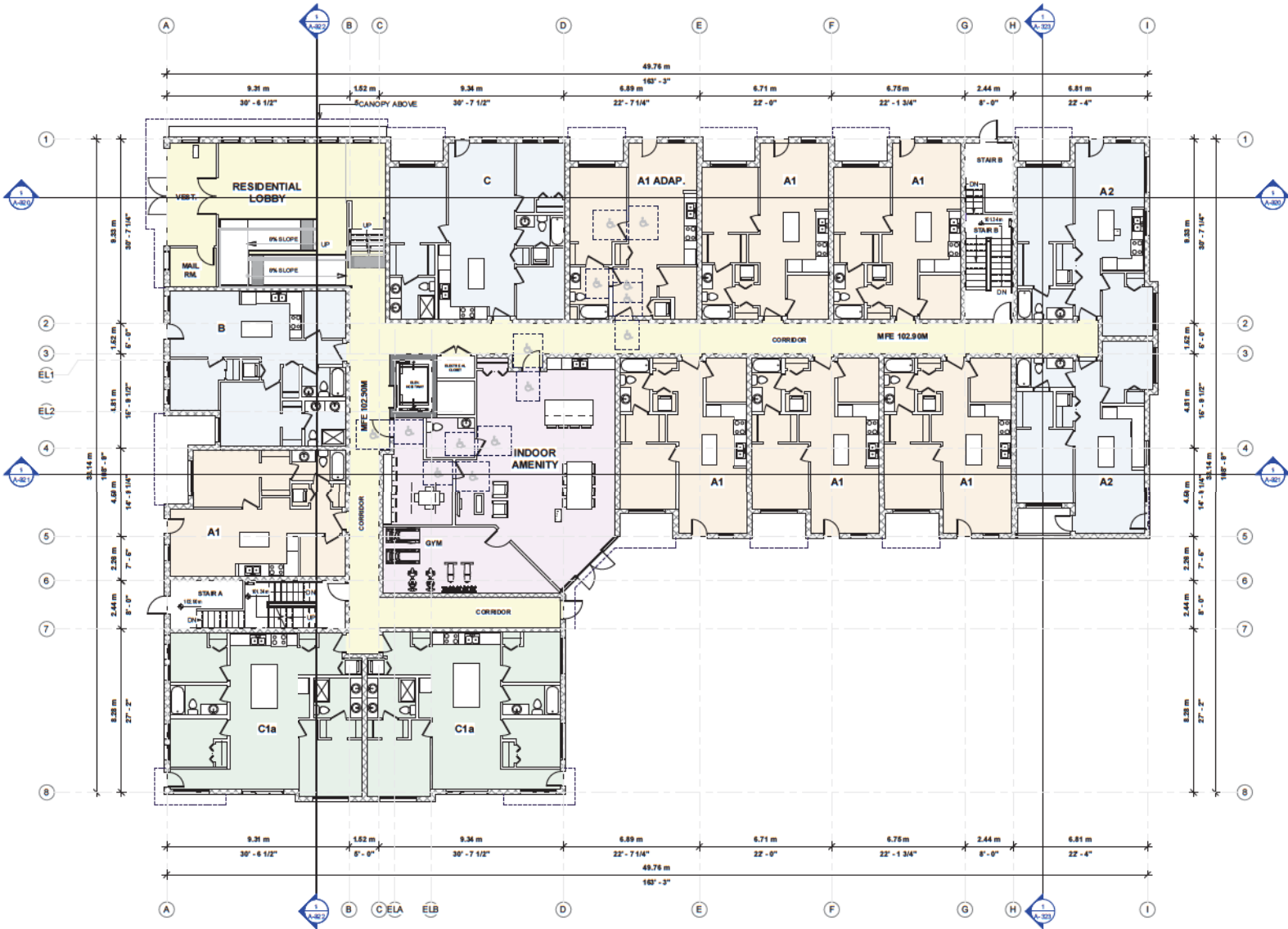
1 PARKING LEVEL_1 1/8" = 1'-0"

2024-09-19 - DP REV. DRAWINGS

7923-209-00 (17)

NOTES:

FOR CLADDING OF ALL BEDROOMS AND STUDIO ON EAST FRONT, CLIENTS TO HAVE MINIMUM FIRE RATING OF



2024-09-19 - DP REV. DRAWINGS

100000-01	PROJECT CHAIRMAN
100000-02	PROJECT MANAGER
100000-03	ARCHITECT
100000-04	ARCHITECT
100000-05	ARCHITECT
100000-06	ARCHITECT
100000-07	ARCHITECT
100000-08	ARCHITECT
100000-09	ARCHITECT
100000-10	ARCHITECT

DF ARCHITECTURE INC.

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 info@dfarch.com

GROUP 161

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PROJECT:

GULDFORD THE GREATEST 2

14706 106 AVE, SURREY, B.C

CLIENT:

DAWSON + SAWYER

DRAWN: LB, JP

CHECKED: DB

SCALE: As Indicated

JOB NO: SLR-104

DATE: MAR 2023

SHEET NO: 2024-09-20



FLOOR PLANS - LEVEL 1

UNIT TYPE A4
 18' x 12'

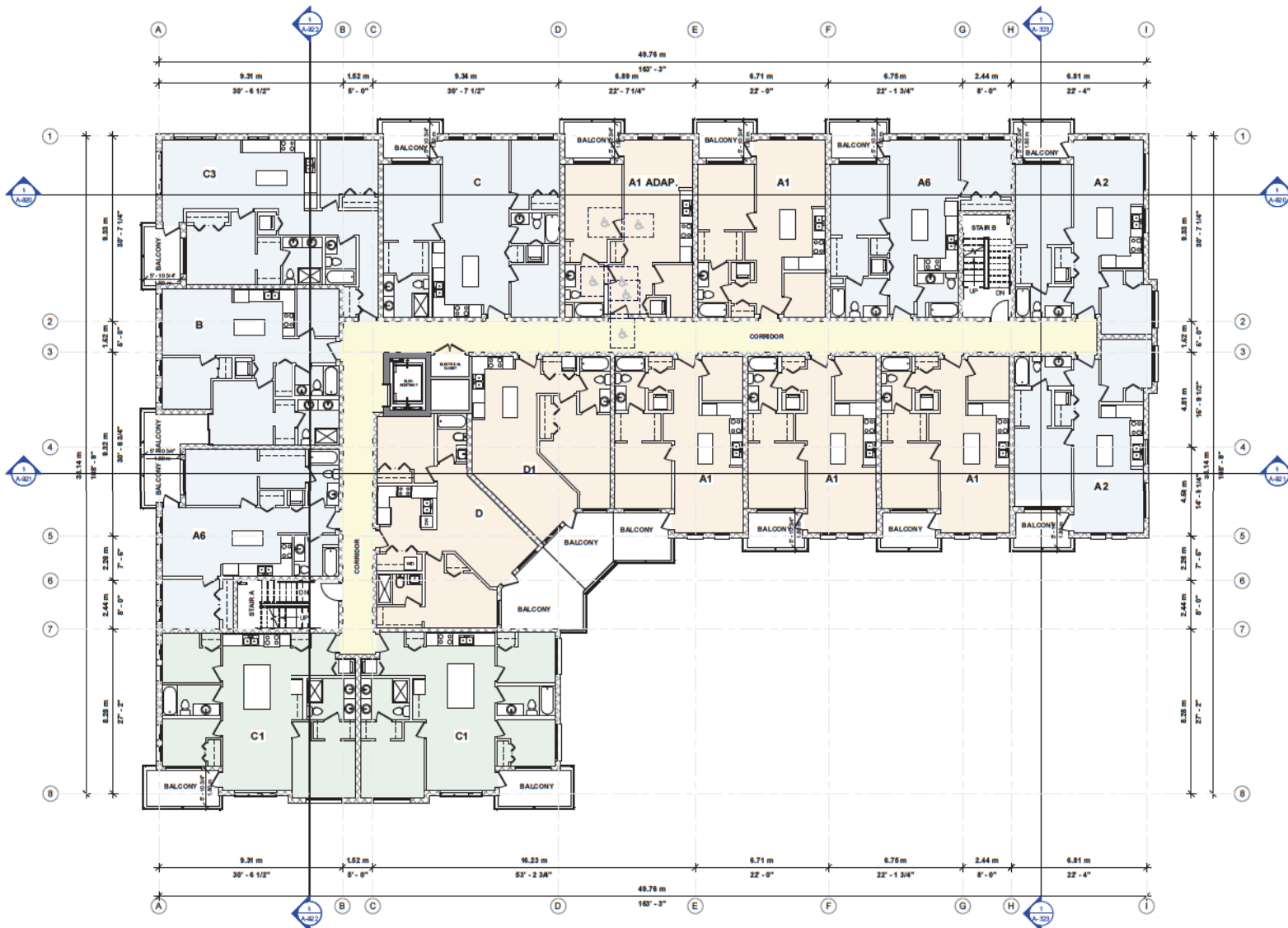
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7923-209-00 (18)

NOTES:

FOR CLADDING OF ALL BEDROOMS AND BATHS ON EAST FRONT (REFER TO HAVE MINIMUM FIRE RATING 2H)



2024-05-19 - DP REV. DRAWINGS

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 350-10051 SHELLBROOK HWY, RICHMOND, B.C.
 CANADA V6V 2G6
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PROJECT:
GULDFORD THE GREATEST 2

14798 106 AVE, SURREY, B.C.

CLIENT:
DAWSON + SAWYER

DRAWN: LB, JP
 CHECKED: DS
 SCALE: As Indicated
 JOB NO: SUR-194
 DATE: MAR 2023
 SHEET NO: 2024-05-20



FLOOR PLANS - LEVEL
 2-4

DRAWING NO:
A-203 I

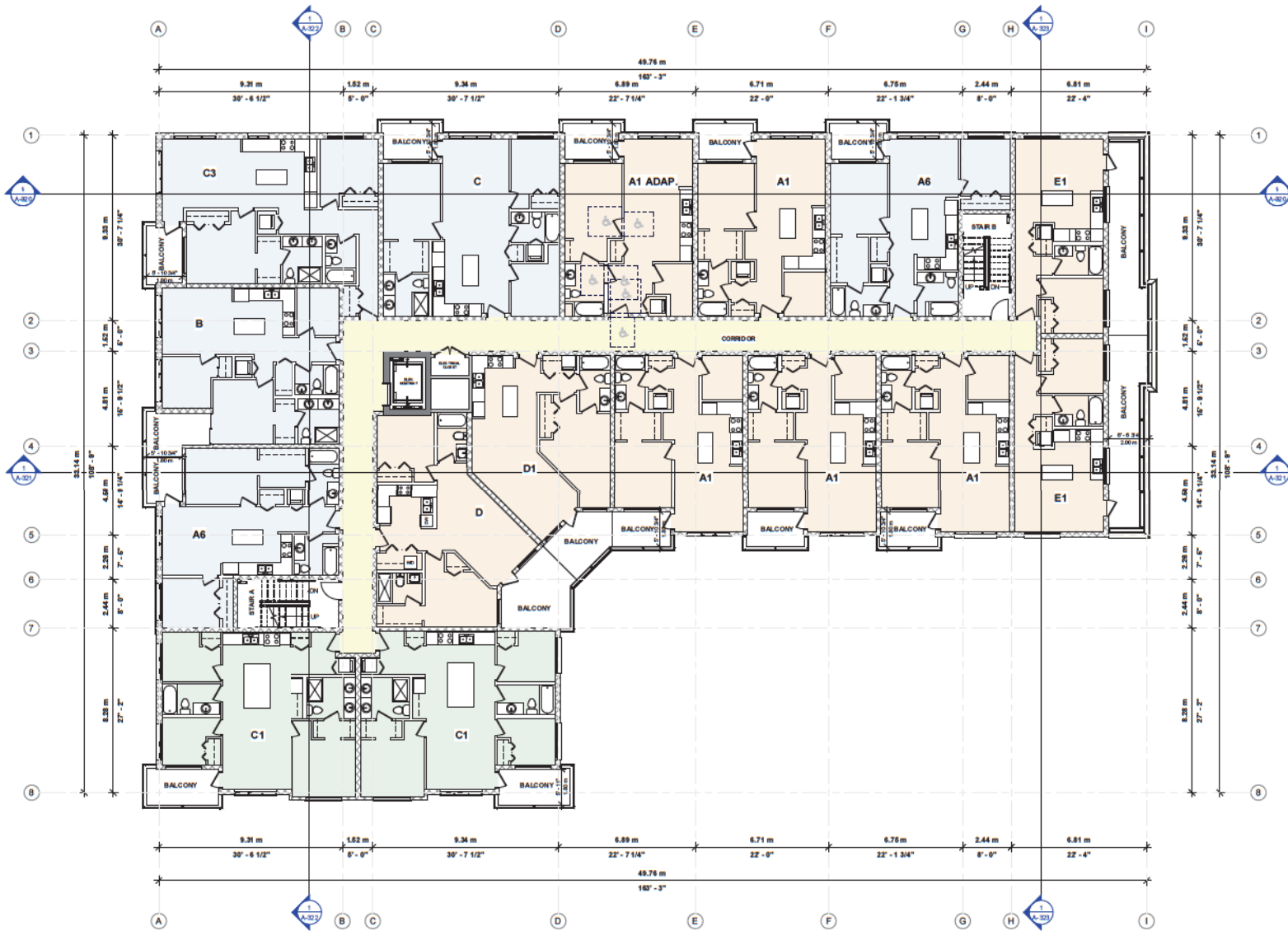
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UNIT TYPE A7
 1/8" = 1'-0"

7923-209-00 (19)

NOTES:

FOR CLADDING OF ALL BEDROOMS AND STUDIOS ON EAST FRONT, REFER TO HAVE MINIMUM FIRE RATING 2W



UNIT TYPE 2
1/8" = 1'-0"

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2024-03-20
2	REVISED PER COMMENTS	2024-03-20
3	REVISED PER COMMENTS	2024-03-20
4	REVISED PER COMMENTS	2024-03-20
5	REVISED PER COMMENTS	2024-03-20
6	REVISED PER COMMENTS	2024-03-20
7	REVISED PER COMMENTS	2024-03-20
8	REVISED PER COMMENTS	2024-03-20

DF ARCHITECTURE INC.

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info@dfarch.com

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PROJECT:
GULDFORD THE GREATEST 2

14798 106 AVE, SURREY, B.C

CLIENT:
DAWSON + SAWYER

DRAWN: LB, JP	
CHECKED: DB	
SCALE: As Indicated	
JOB NO: SLR-194	
DATE: MAR 2024	
SHEET NO: 2024-09-20	

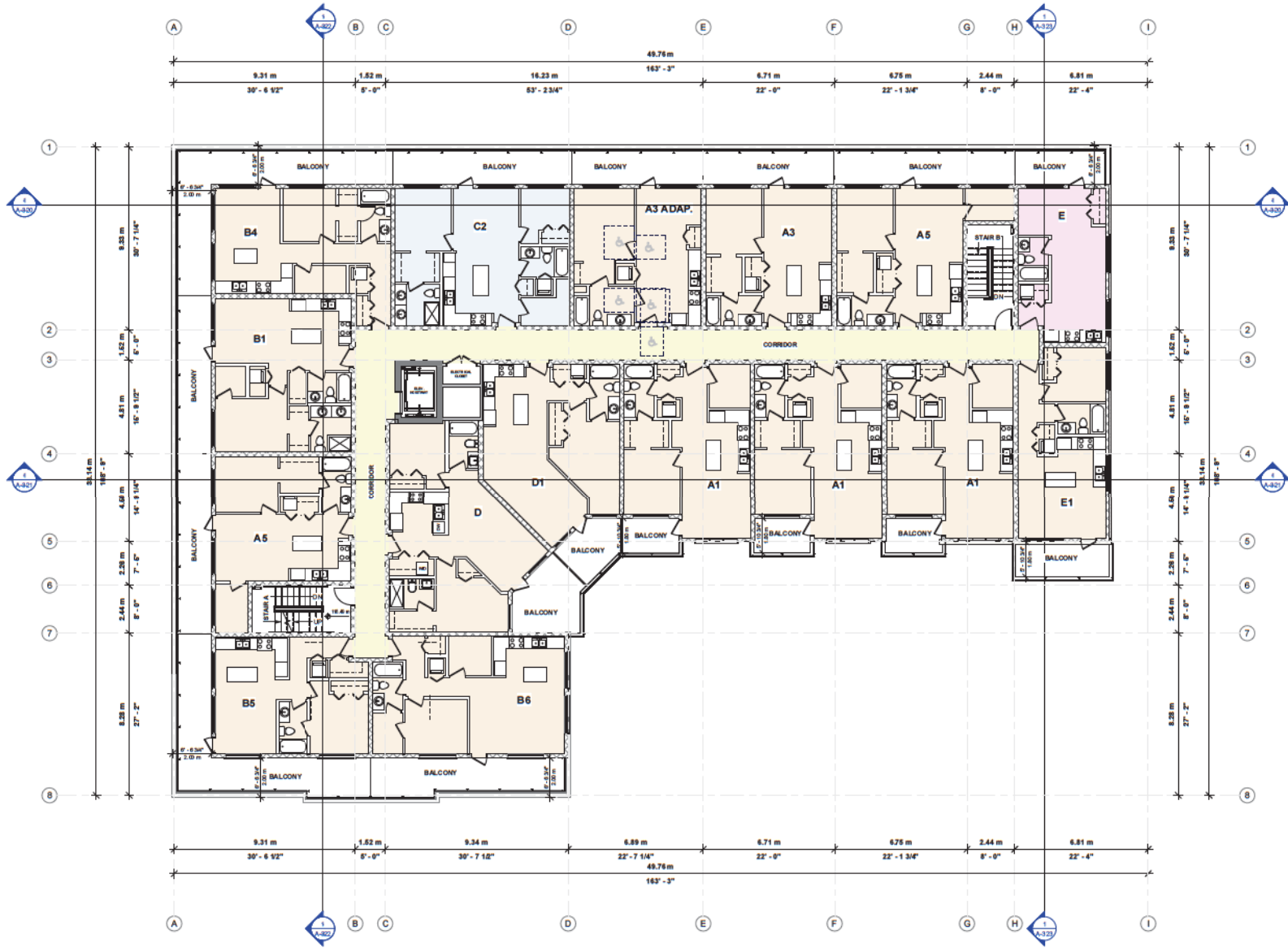
FLOOR PLANS - LEVEL 5

OWNER: A-204	I	
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NOTES:

FOR CLADDING OF ALL BEDROOMS AND STUDIO ON EAST FRONT, REFER TO HAVE MINIMUM FIRE RATING OF



2024-09-19 - DP REV. DRAWINGS

2024-09-19	DP REV. DRAWINGS
2024-09-19	DP REV. DRAWINGS
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2024-09-19	DP REV. DRAWINGS

DF ARCHITECTURE INC.

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 CANADA V6X 2R6
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PROJECT:
GULDFORD THE GREATEST 2

14706 106 AVE, SURREY, B.C

CLIENT:
DAWSON + SAWYER

DRAWN: LB, JP	
CHECKED: DB	
SCALE: As Indicated	
JOB NO: SUR-104	
DATE: MAR 2023	
SHEET NO: 2024-09-20	

FLOOR PLANS - LEVEL 6

OWNER: A-205	I	
------------------------	---	--

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① UNIT TYPE B2
 1/8" = 1'-0"

7923-209-00 (21)

NOTES:

FOR GUIDING OF ALL BEDROOMS AND STUDIO OR EAST FACING BATTERIES TO HAVE MINIMUM OTC RATING 20



SARATOGA STEEL LOUVERED PERGOLA

DF ARCHITECTURE INC.

300-10001 SHELLBROOK WAY, RICHMOND, B.C.
CANADA V6V 2M6
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info@dfarch.ca

GROUP 161

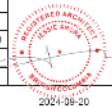
GROUP 161 IS NOT AN ARCHITECTURAL FIRM. ALL ARCHITECTURAL SERVICES ARE PROVIDED THROUGH OUR FIRM THAT HOLD THE CERTIFICATE OF PRACTICE.

PROJECT:
GULDFORD THE GREATEST 2

14798 106 AVE, SURREY, B.C.

CLIENT:
DAWSON + SAWYER

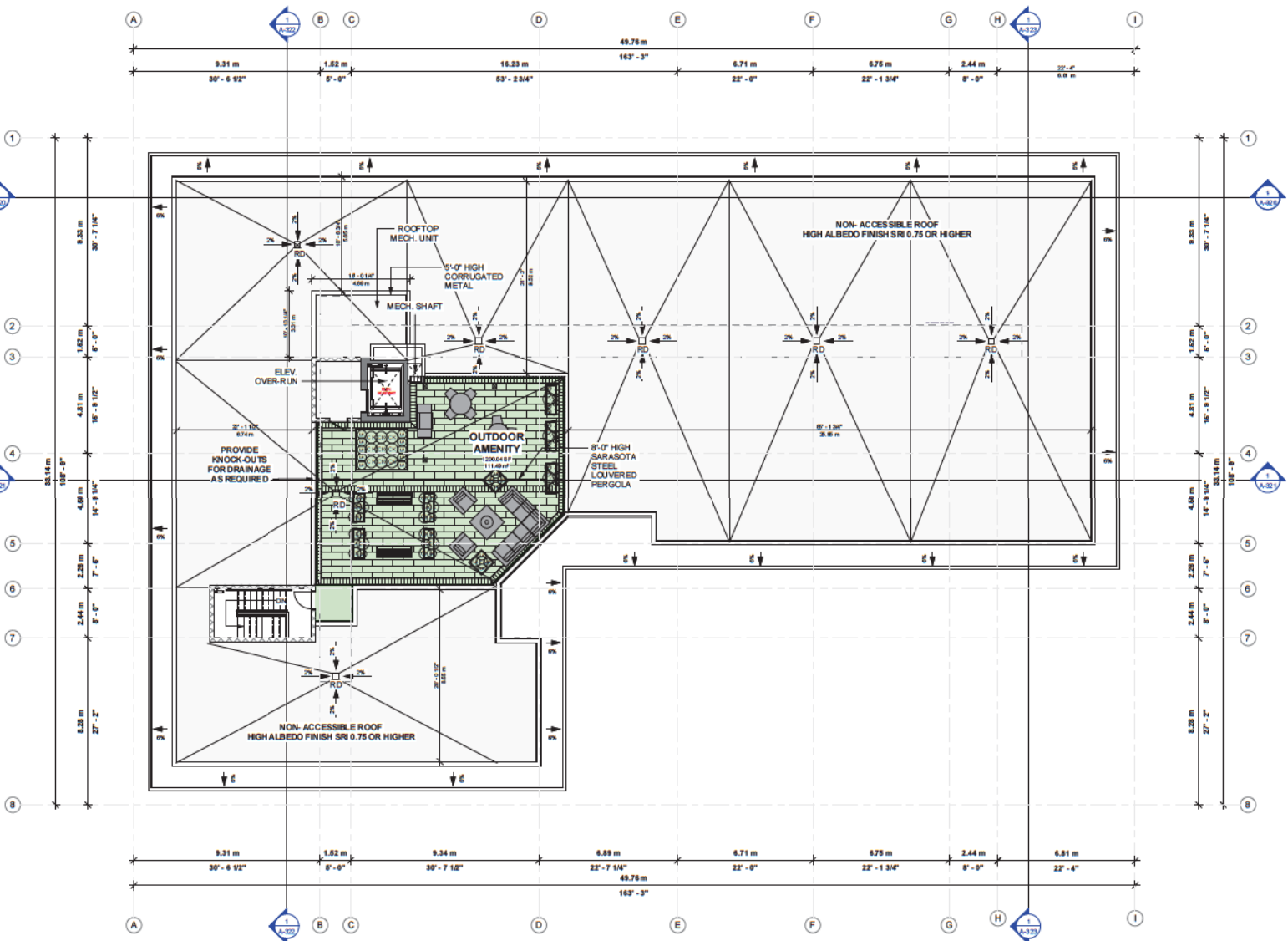
DRAWN: L.B., J.P.
CHECKED: D.B.
SCALE: As Indicated
JOB NO: SLR-104
DATE: MAR 2023
SHEET NO: 2024-06-20



FLOOR PLANS - ROOF LEVEL

OWNER: A-206 I

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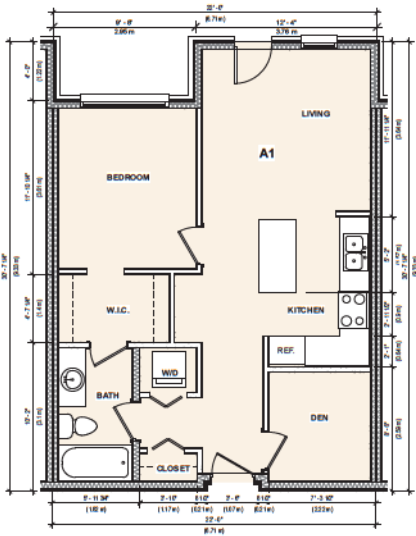


1 LEVEL ROOF
1/8" = 1'-0"

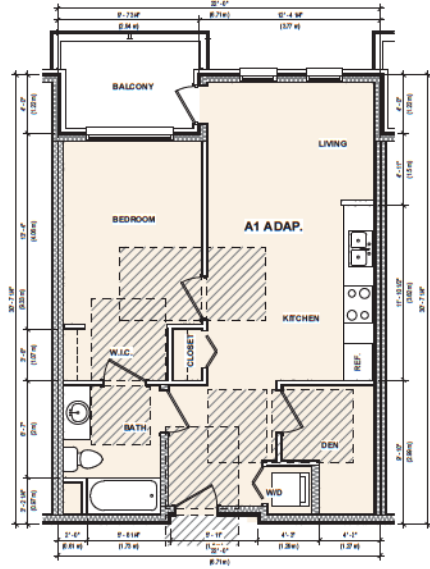
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2024-09-19 - DP REV. DRAWINGS

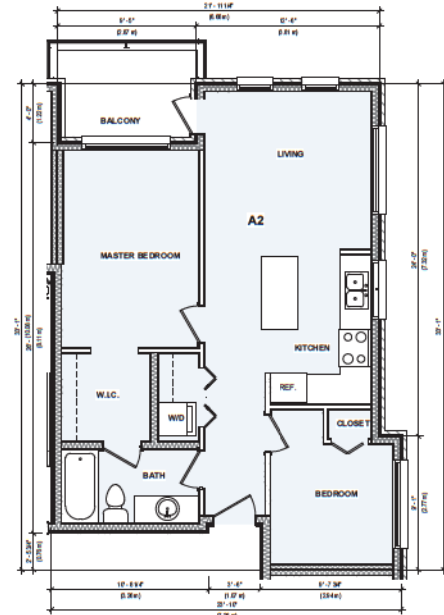
C:\Users\pawson\OneDrive\Documents\SLR_14798_106_AVE_SURREY\Drawings\pawson\A-206-22.rvt



① LEVEL 1
1/4" = 1'-0"



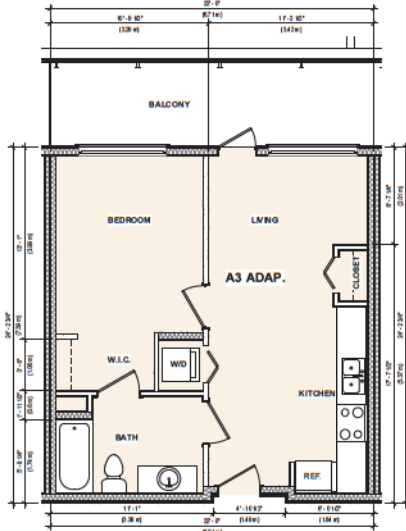
② UNIT TYPE A1 ADAP.
1/4" = 1'-0"



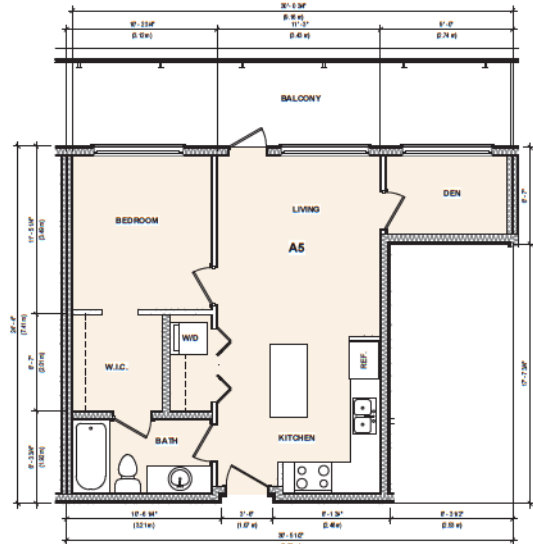
③ UNIT TYPE A2
1/4" = 1'-0"



④ UNIT TYPE A3
1/4" = 1'-0"



⑤ UNIT TYPE A3 ADAP.
1/4" = 1'-0"



⑥ UNIT TYPE A5
1/4" = 1'-0"

NOTES:

DF ARCHITECTURE INC.

350-10001 SHELLBOURNE HWY, RICHMOND, B.C.
CANADA V6X 2M6
TEL: 604-274-5104 FAX: 604-274-5131
info@dfarchitecture.ca

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PROJECT:

GULDFORD THE GREATEST 2

14798 106 AVE, SURREY, B.C

CLIENT:

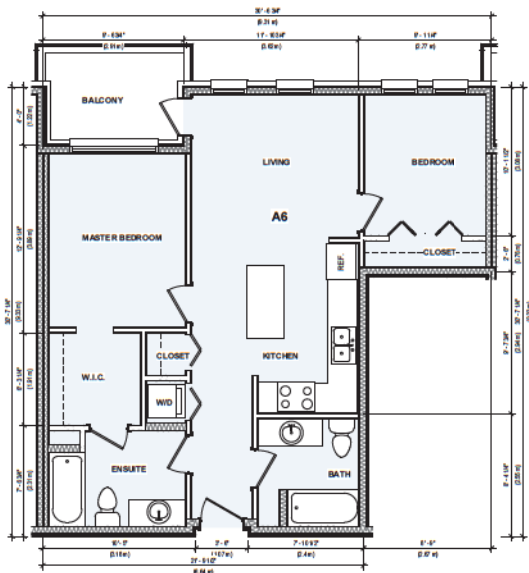
DAWSON + SAWYER

DRAWN: LB, JP	
CHECKED: DB	
SCALE: 1/4" = 1'-0"	
JOB NO.: SUR-194	
DATE: MAR-2024	
SHEET NO.: 2024-09-20	

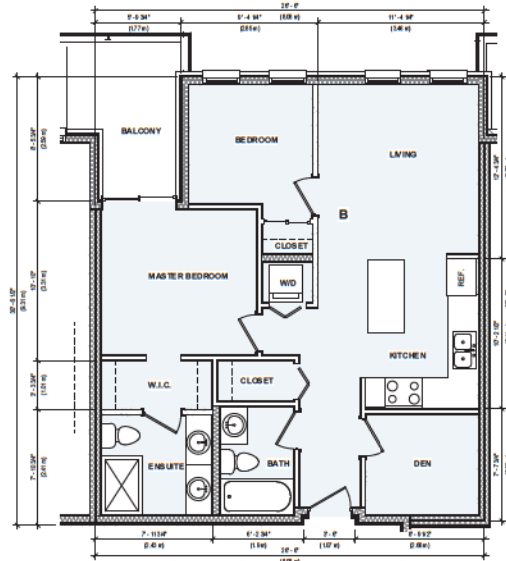
UNIT PLANS

DRAWING NO. **A-220 I**

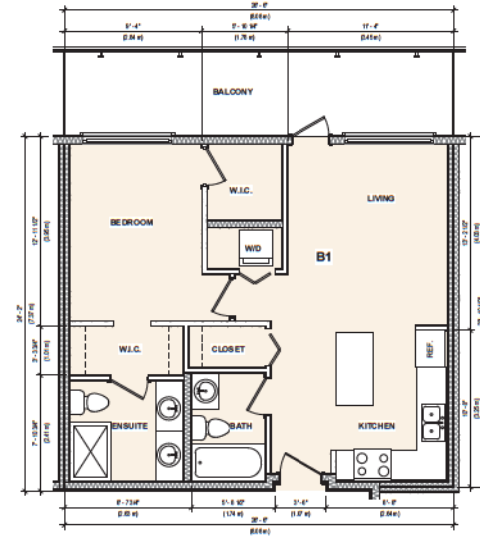
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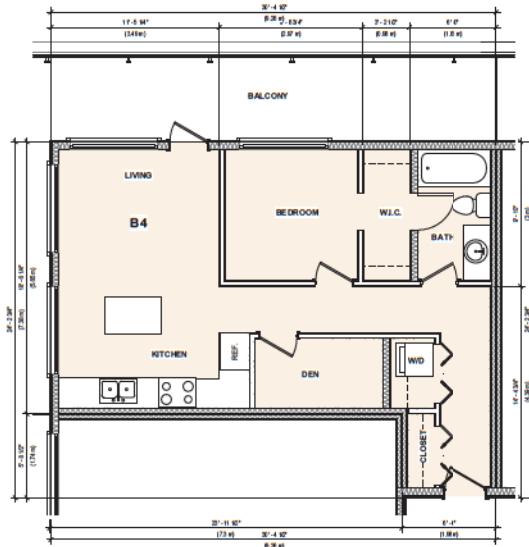
① LEVEL 2
1/4" = 1'-0"



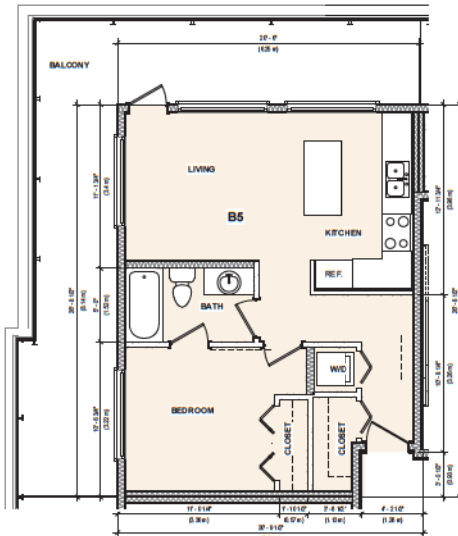
② UNIT TYPE B
1/4" = 1'-0"



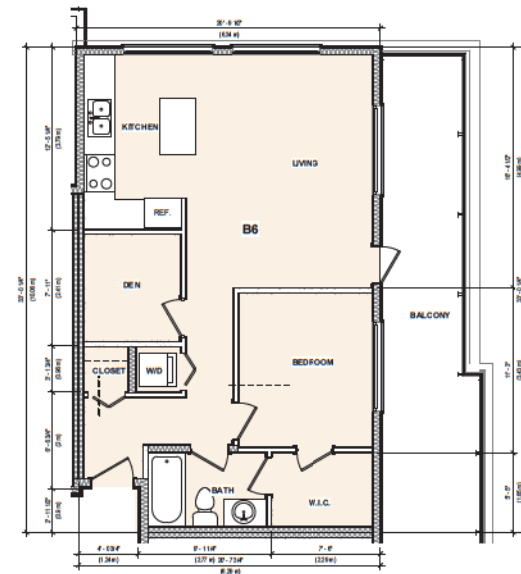
③ UNIT TYPE B1
1/4" = 1'-0"



④ LEVEL 6
1/4" = 1'-0"



⑤ UNIT TYPE B5
1/4" = 1'-0"



⑥ UNIT TYPE B6
1/4" = 1'-0"

NOTES:

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info@dfarch.com

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PROJECT:

GULDFORD THE GREATEST 2

14798 106 AVE, SURREY, B.C.

CLIENT:

DAWSON + SAWYER

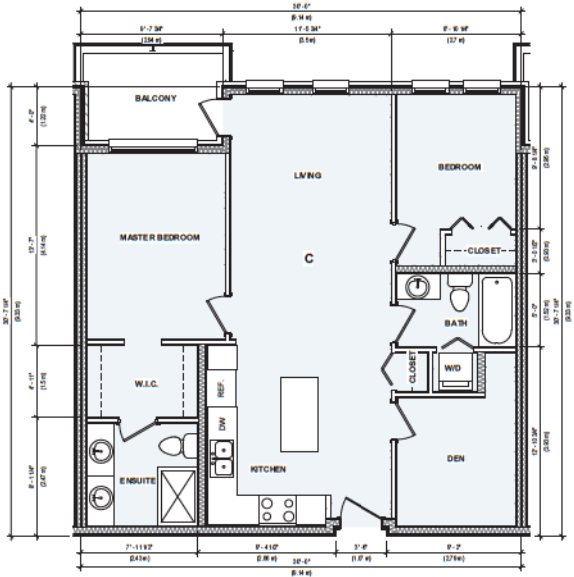
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CHECKED: DB	
SCALE: 1/4" = 1'-0"	
JOB NO: SUR-194	
DATE: MAR 2023	
SHEET NO: 2024-09-20	

UNIT PLANS

A-221 I

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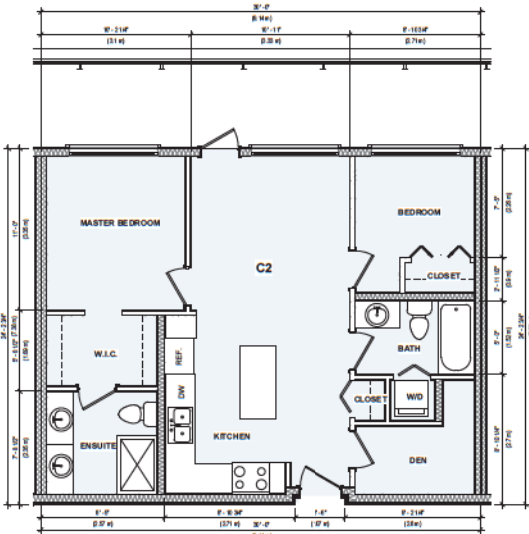
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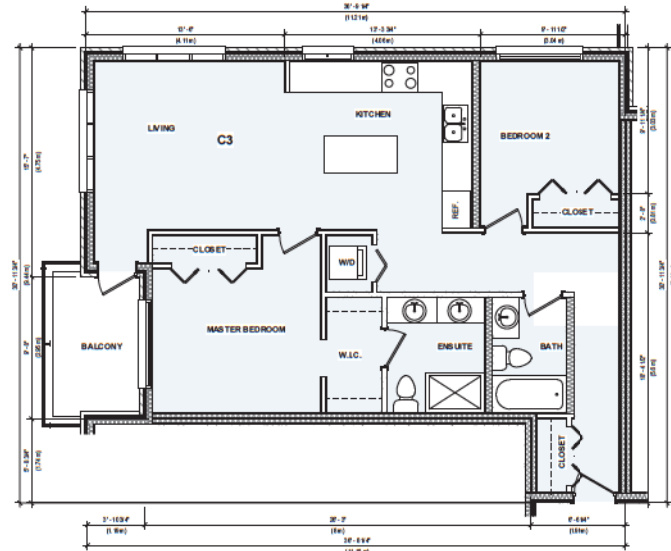
1 UNIT TYPE C
1/4" = 1'-0"



2 UNIT TYPE C1
1/4" = 1'-0"



3 UNIT TYPE C2
1/4" = 1'-0"



4 UNIT TYPE C3
1/4" = 1'-0"

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PROJECT:
GULDFORD THE GREATEST 2

14798 106 AVE, SURREY, B.C.

CLIENT:
DAWSON + SAWYER

DRAWN: LB, JP
CHECKED: DB
SCALE: 1/4" = 1'-0"
JOB NO: SLR-194
DATE: MAR-194
SHEET NO: 2024-09-20



UNIT PLANS

DRAWING NO:
A-222 I

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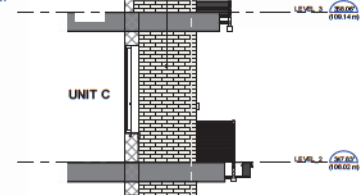
7923-209-00 (25)



1 NORTH ELEVATION (106 AVE)
1/8" = 1'-0"

SCHEDULE OF FINISHES - BLDG 1

- 1. GLAZED WHITE ENDOCOTT BRICK NORMAN SW 818/819/820
- 2. SMOOTH FINISH HORIZONTAL HARDE PANEL LAPING COLOR TO MATCH AGED PEWTER
- 3. POWDER COATED ALUMINUM FINISH COLOR: STANDARD BLACK GLASS (TRANSPARENT) COLOR
- 4. PAINTED VINYL WINDOWS COLOR: STANDARD BLACK
- 5. WINDOW WALL SYSTEM COLOR (TRANSPARENT) MALLON COLOR TO MATCH BM 103 GRAPHITE OR EQUIVALENT
- 6. 6 FEET HIGH ALUMINUM & GLASS PRIVACY SCREEN
- 7. ARCHITECTURAL FINISH CONCRETE
- 8. C-CHANNEL CANOPY FRAME: STANDARD BLACK GLASS (TRANSPARENT)
- 9. FLASHINGS COLOR TO MATCH: WHITE BRICK
- 10. FLASHINGS COLOR TO MATCH: AGED PEWTER
- 11. SOLID CORE WOOD DOORS PAINTED TO MATCH COLOR LIGHT GREY
- 12. SLIDING DOOR SYSTEM COLOR: (TRANSPARENT) COLOR: STANDARD BLACK
- 13. SOLID CORE WOOD DOORS WITH GLAZING CLOR: STANDARD BLACK
- 14. SOLID CORE WOOD DOORS COLOR TO MATCH LIGHT GREY
- 15. STOREFRONT WINDOW
- 16. SMOOTH FINISH HARDE PANEL FRY REQUET REVEAL SYSTEM COLOR TO MATCH: GRAPHITE BM 1003
- 17. FLASHING GRAPHITE
- 18. GLAZED BLACK 818 - ENDOCOTT BRICK NORMAN SW 818/819/820
- 19. VINYL SORFIT (COLOR TO MATCH ADJACENT FINISH MATERIAL)



NOTES:



3 EXTERIOR WALL BRICK - PLAN SECTION
1 1/2" = 1'-0"

4 ENLARGED SIDE BRICK ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION (148 STREET)
1/8" = 1'-0"

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GROUP 161

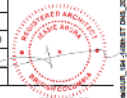
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PROJECT:
GULDFORD THE GREATEST 2

14798 106 AVE, SURREY, B.C

CLIENT:
DAWSON + SAWYER

DRAWN: LB, JP
CHECKED: DS
SCALE: As Indicated
JOB NO: SUR-194
DATE: MAR 2023
SHEET NO: 2024-06-20



ELEVATIONS - NORTH & EAST

A-300 I

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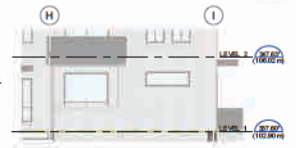
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SCHEDULE OF FINISHES - BLDG 1

- | | |
|--|---|
| <ul style="list-style-type: none"> 1. GLAZED WHITE - ENDCOTT BRICK NORWEGIAN 3-5/2-131/11-68 2. SMOOTH FINISH HORIZONTAL HARDIE PLANK LAPPED COLOR TO MATCH AGED PEWTER 3. POWDER COATED ALUMINUM RAILING COLOR: STANDARD BLACK GLASS (TRANSPARENT) COLOR 4. PAINTED VINYL WINDOWS COLOR: STANDARD BLACK 5. WINDOW WALL SYSTEM COLOR (TRANSPARENT), MILLION COLOR TO MATCH BM 1603 GRAPHITE OR EQUIVALENT 6. 6 FEET HIGH ALUMINUM & GLASS PRIVACY SCREEN 7. ARCHITECTURAL FINISH CONCRETE 8. C-CHANNEL CANOPY FRAME: STANDARD BLACK GLASS (TRANSPARENT) 9. FLASHINGS COLOR TO MATCH: WHITE BRICK 10. FLASHINGS COLOR TO MATCH: AGED PEWTER | <ul style="list-style-type: none"> 11. SOLID CORE WOOD DOORS PAINTED TO MATCH COLOR: LIGHT GREY 12. SLIDING DOOR SYSTEM COLOR: (TRANSPARENT), COLOR: STANDARD BLACK 13. SOLID CORE WOOD DOORS WITH GLAZING COLOR: STANDARD BLACK 14. SOLID CORE WOOD DOORS COLOR TO MATCH: LIGHT GREY 15. STOREFRONT WINDOW 16. SMOOTH FINISH HARDIE PANEL FRY REGLET REVEAL SYSTEM COLOR TO MATCH: GRAPHITE BM 1603 17. FLASHING GRAPHITE 18. GLAZED BLACK 8H8 - ENDCOTT BRICK NORWEGIAN 3-5/2-131/11-68 19. VINYL GOFFIT (COLOR TO MATCH ADJACENT FINISH MATERIAL) |
|--|---|

NOTES:



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PROJECT: **GULDFORD THE GREATEST 2**

14798 106 AVE, SURREY, B.C.

CLIENT: **DAWSON + SAWYER**

DRAWN: LB, JP	
CHECKED: DS	
SCALE: As Indicated	
JOB NO: SUR-164	
DATE: MAR 2023	
SHEET NO: 2024-09-20	

ELEVATION - SOUTH & WEST

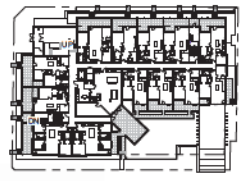
OWNER: **A-301** | **I** |

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7923-209-00 (28)

2024-09-19 - DP REV. DRAWINGS

NOTES:



106 AVE.



① STREETSCAPE - EAST VIEW
1" = 16'-0"

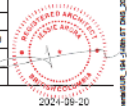
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PROJECT:
GULDFORD THE GREATEST 2
14798 106 AVE, SURREY, B.C.
CLIENT:
DAWSON + SAWYER

DRAWN: LB, JP
CHECKED: DS
SCALE: As Indicated
JOB NO: SLUR-194
DATE: MAR 2023
SHEET NO: 2024-09-20



STREETSCAPE

DRAWING NO:
A-302 I

② STREETSCAPE - NORTH VIEW
1" = 16'-0"

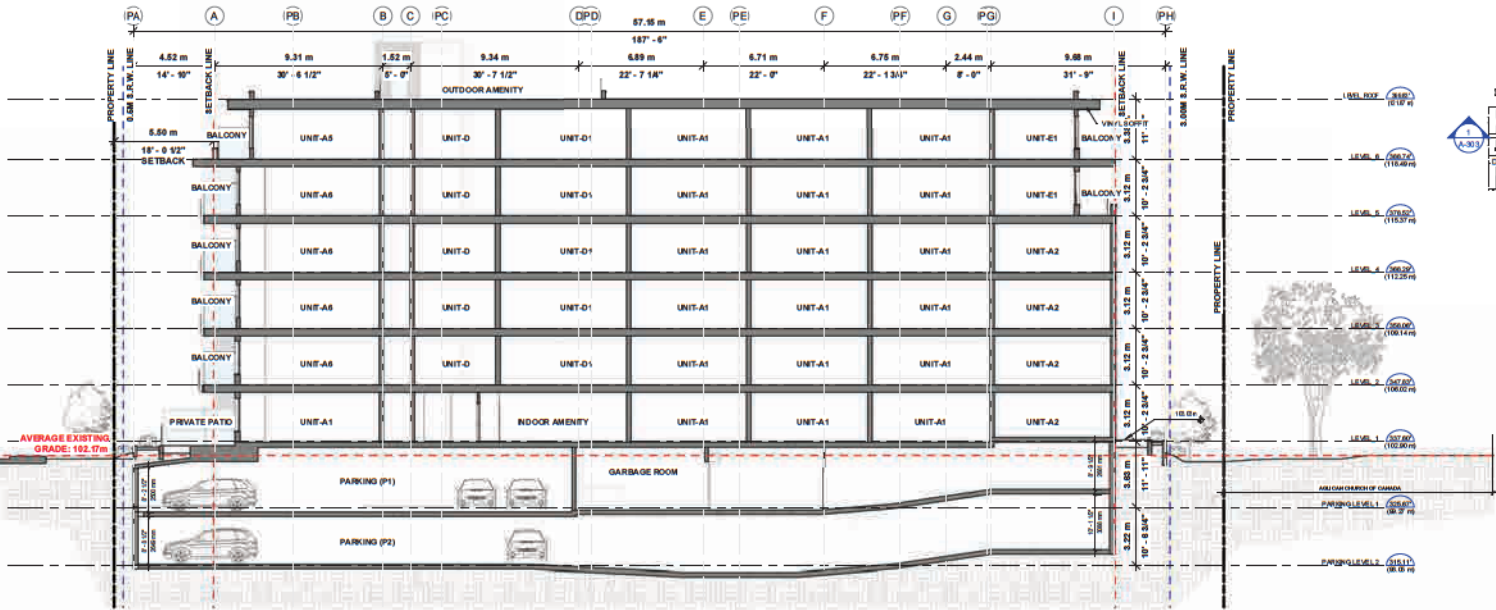
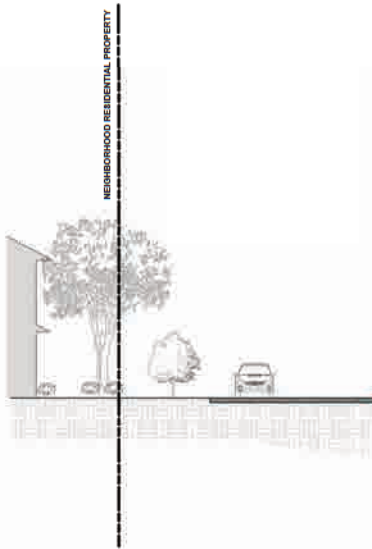


14784 84/ 74 106 AVE.
AS PART OF # 21-0259

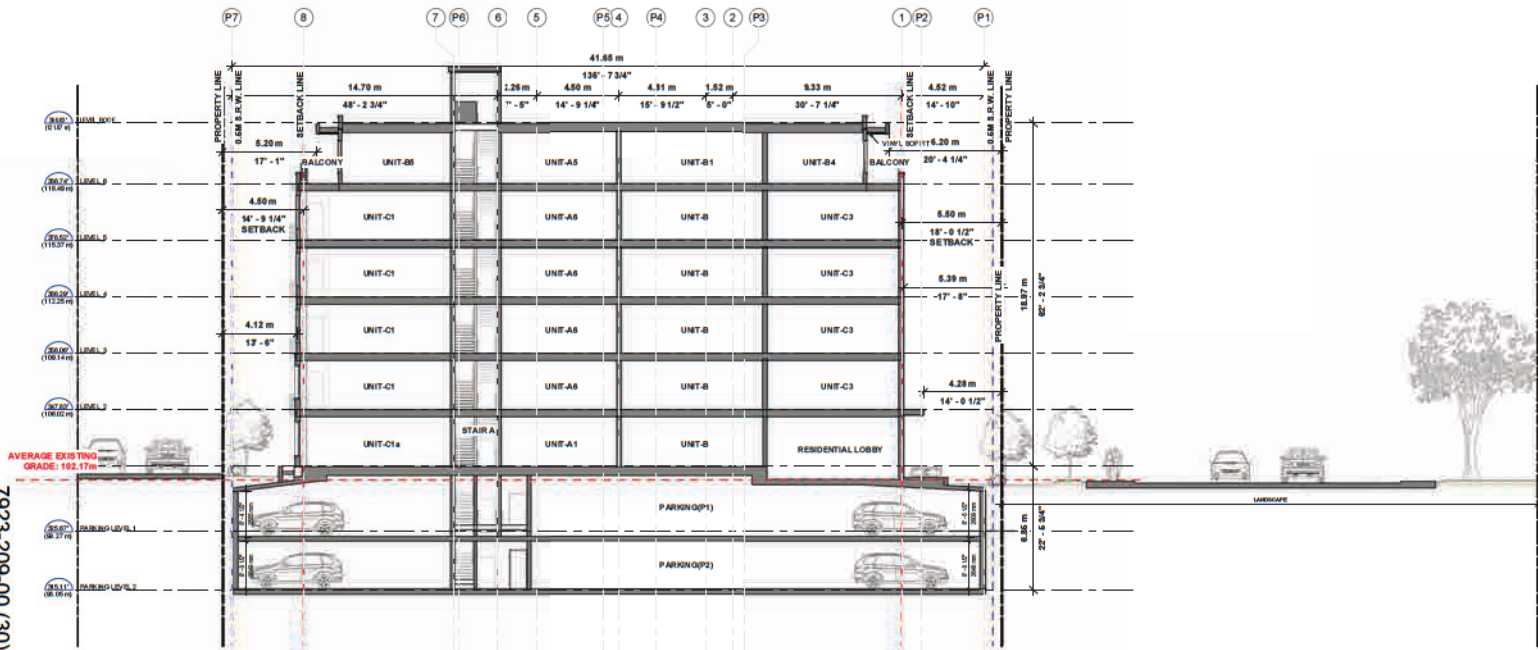
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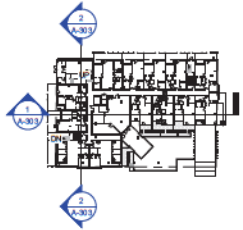


1 PUBLIC REALM SECTION @ 106 AVE
3/32" = 1'-0"



1 PUBLIC REALM SECTION @ 148 ST
3/32" = 1'-0"

NOTES:



DF ARCHITECTURE INC.

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CANADA V6V 2R6
TEL: 604-274-5194 FAX: 604-274-5191
info@dfarchitecture.ca

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GULDFORD THE GREATEST 2

14798 106 AVE, SURREY, B.C.

CLIENT:

DAWSON + SAWYER

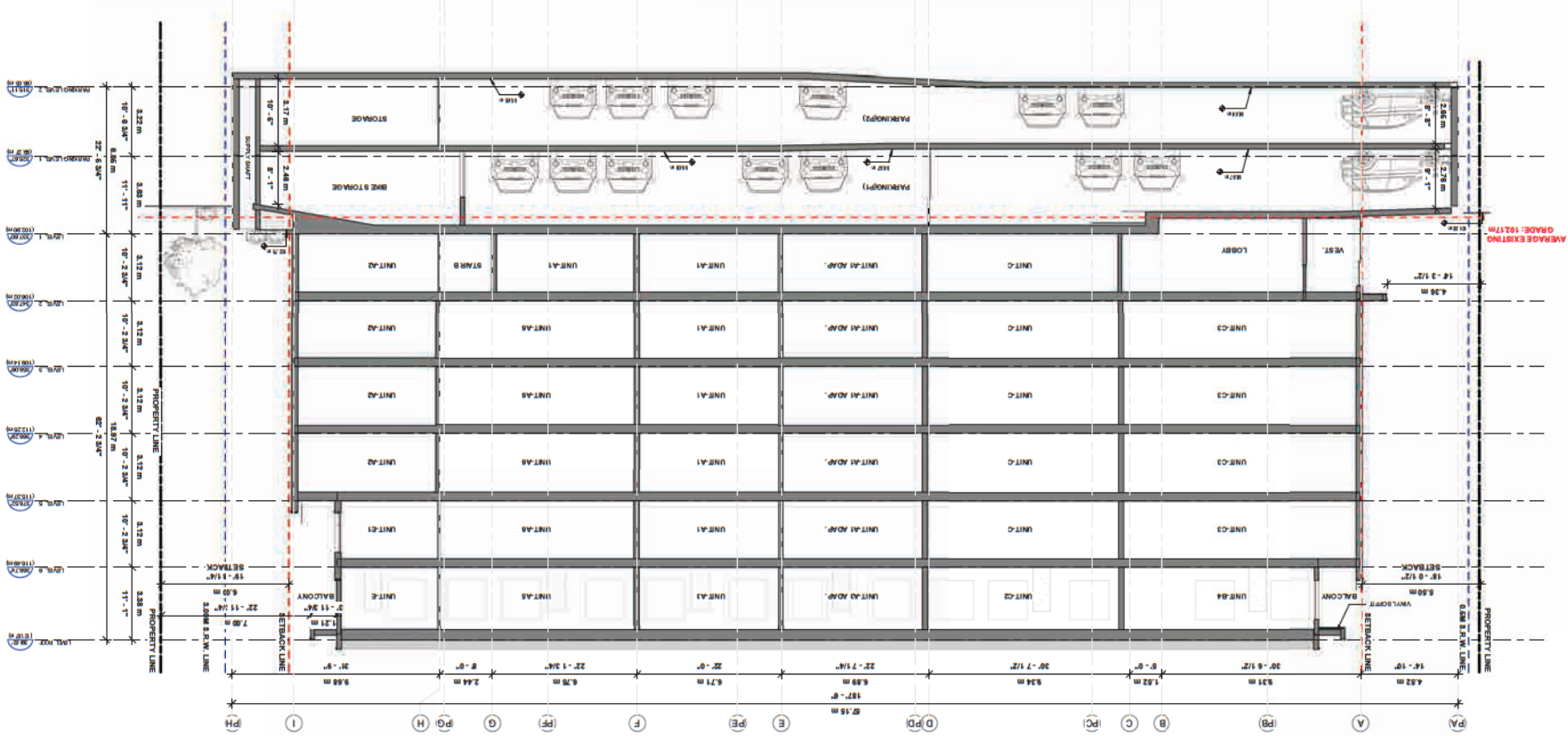
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CHECKED: DS
SCALE: As Indicated
JOB NO: SLR-194
DATE: MAR 2023
SHEET NO: 2024-09-20



PUBLIC REALM SECTION

OWNER: A-303 H

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COMMAND
A-320 H

BUILDING SECTION 1

2024-09-20

SHEET TITLE

DATE MAY 2023

JOB NO. SJB-24

SCALE As Indicated

CHANGER DS

DRAWN L.A.P

DAMSON + SAWYER
 CLERK

14798 106 AVE. SURREY, B.C.

GULFORD THE GREATEST 2

PROJECT

GROUP 161

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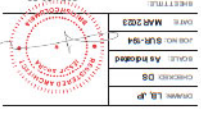
329-1080 BELLINGHAM AVE. SUITE 100, B.C.
 VANCOUVER, B.C. V6X 3S8
 TEL: 604-277-7227
 WWW.DFARCHITECTURE.COM



NOTES:

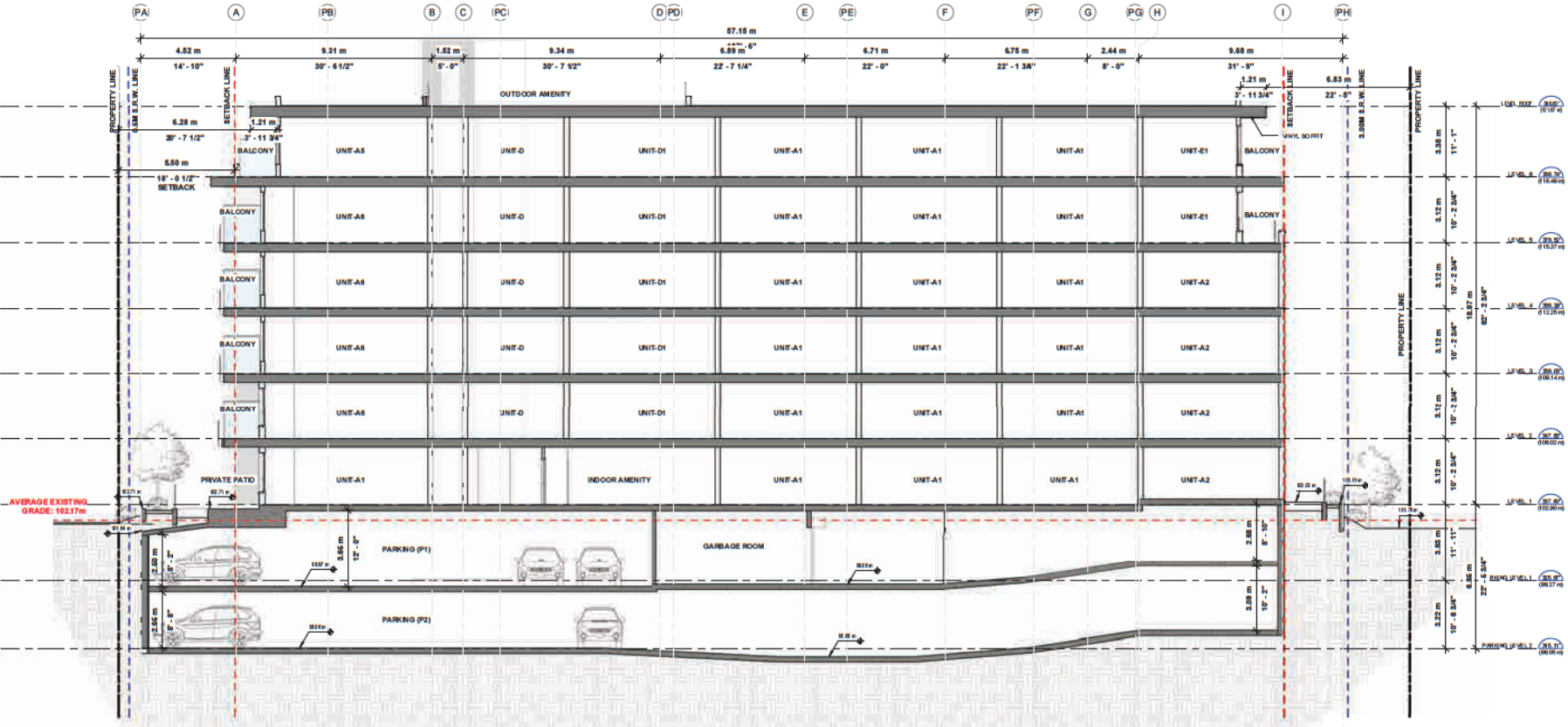


1/8" = 1'-0"



CONTRACT 2024-08-27 - DF REV. DRAWINGS

NOTES:



000000-00	DATE	DESCRIPTION
000000-01	DATE	DESCRIPTION
000000-02	DATE	DESCRIPTION
000000-03	DATE	DESCRIPTION
000000-04	DATE	DESCRIPTION
000000-05	DATE	DESCRIPTION
000000-06	DATE	DESCRIPTION
000000-07	DATE	DESCRIPTION
000000-08	DATE	DESCRIPTION
000000-09	DATE	DESCRIPTION
000000-10	DATE	DESCRIPTION

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 300-10051 SHELLBROOK HWY, RICHMOND, B.C.
 CANADA V6V 2G6
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 info@dfarch.com.ca

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PROJECT:
GULFORD THE GREATEST 2

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CLIENT:
DAWSON + SAWYER

DRAWN: LB, JP	
CHECKED: DS	
SCALE: As Indicated	
JOB NO: SUR-104	
DATE: MAR-2024	
SHEET NO: 2024-09-20	2024-09-20

① BUILDING SECTION 2
 1/8" = 1'-0"

BUILDING SECTION 2

DRAWING NO:
A-321 I

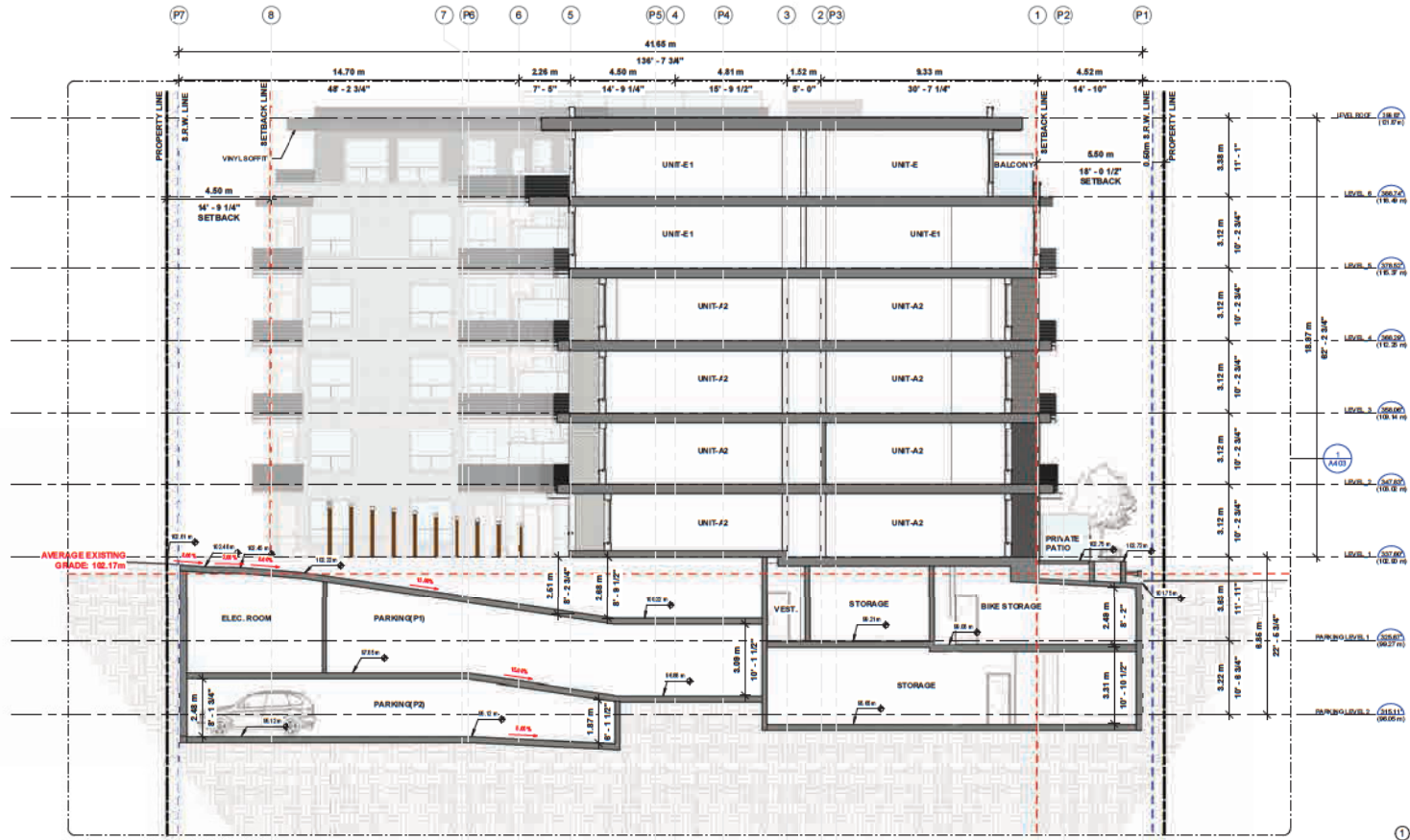
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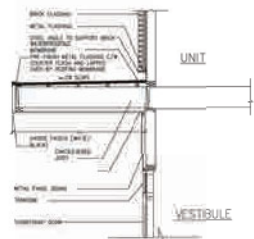
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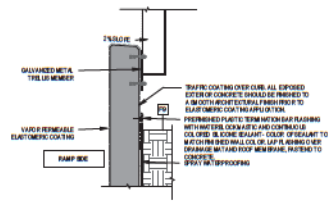
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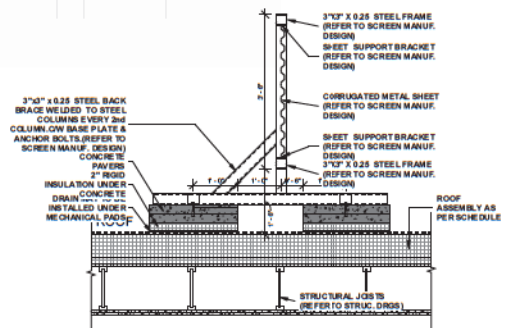
① BUILDING SECTION 4
1/8" = 1'-0"



④ CANOPY DETAIL
3/4" = 1'-0"



⑤ TRELLIS DETAIL (RAMP)
1" = 1'-0"



⑥ MECH. EQUIPMENT SCREEN
3/4" = 1'-0"

DF ARCHITECTURE INC.

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CANADA V6V 2G6
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PROJECT:

GULDFORD THE GREATEST 2

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CLIENT:
DAWSON + SAWYER

DRAWN: LB, JP
CHECKED: DB
SCALE: As Indicated
JOB NO.: SUR-194
DATE: MAR 2023
SHEET NO.: 2024-09-20

BUILDING SECTION 4

OWNER:
A-323 I

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7923-209-00 (34)



3D VIEW 1: VIEW FROM 148 STREET



3D VIEW 3: VIEW FROM THE INTERSECTION OF 106 AVE. AND 148 STREET



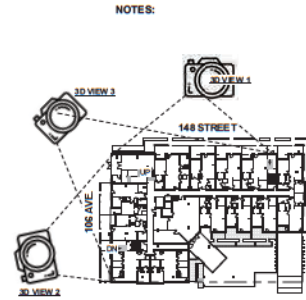
3D VIEW 2: VIEW FROM 106 AVENUE



3D VIEW : VIEW MAIN ENTRANCE



3D VIEW : VIEW FROM 148 STREET



NOTES:

NO.	DESCRIPTION
000001-01	DATE CHANGED
000001-02	DATE CHANGED
000001-03	DATE CHANGED
000001-04	DATE CHANGED
000001-05	DATE CHANGED
000001-06	DATE CHANGED
000001-07	DATE CHANGED
000001-08	DATE CHANGED
000001-09	DATE CHANGED
000001-10	DATE CHANGED

DF ARCHITECTURE INC.

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 info@dfarchitecture.ca

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PROJECT:

GULDFORD THE GREATEST 2

14798 106 AVE, SURREY, B.C

CLIENT:

DAWSON + SAWYER

DRAWN: LB, JP	
CHECKED: DS	
SCALE: 1" = 60'-0"	
JOB NO.: SUR-164	
DATE: MAR 2023	
SHEET NO.:	2024-09-20

3D VIEWS

DRAWING NO.	PROJECT NO.	SCALE	DATE
A-350	I		

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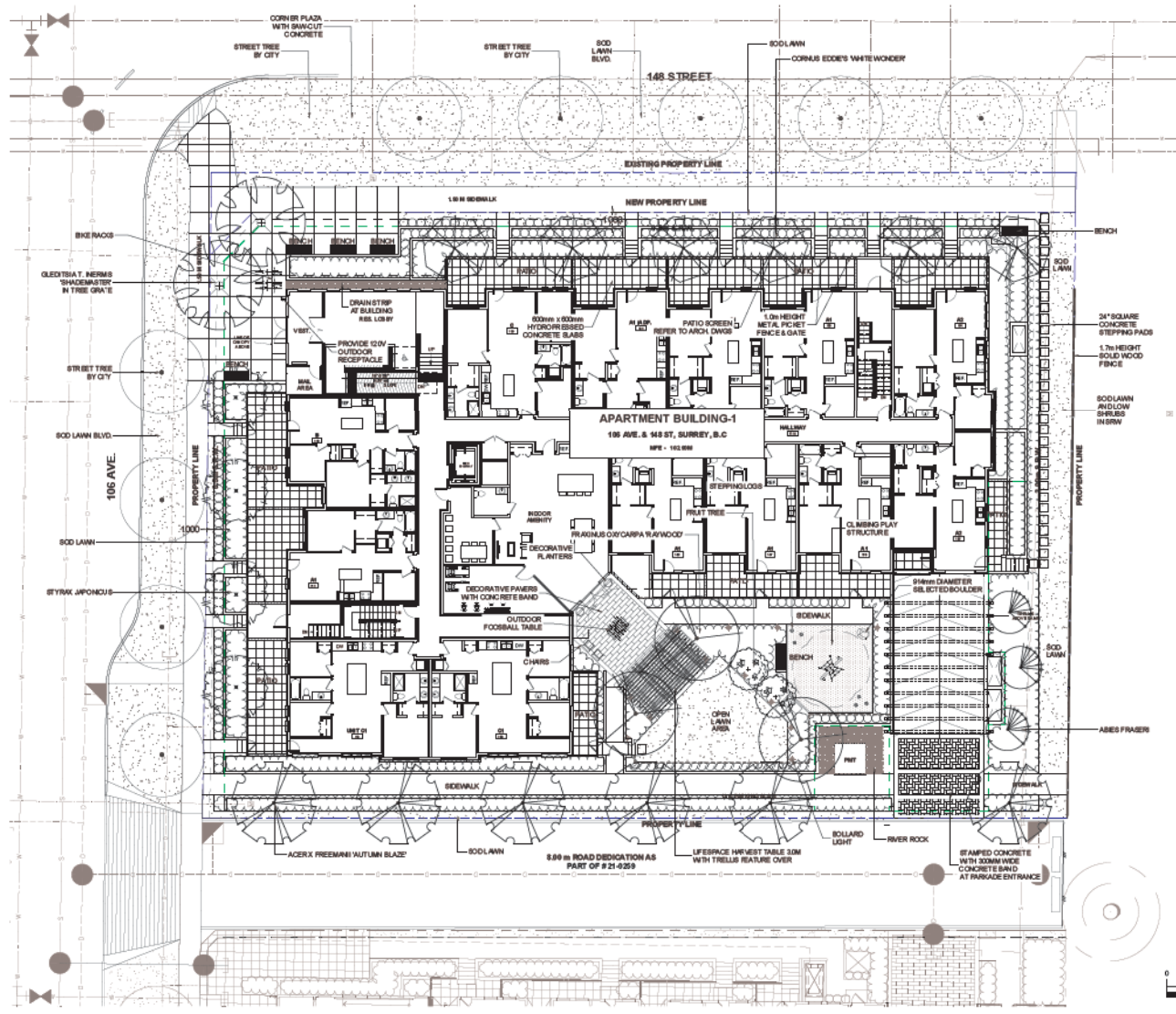
2024-09-19 - DP REV. DRAWINGS

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PLANT SCHEDULE				PMG PROJECT NUMBER: 23-162
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE/REMARKS
3		ABIES FRASER	FRASER FIR	25M HT, 88S
6		ACER X FREEMANI 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	50M CAL, 1.8M STD, 84S
6		CORNUS EDDY'S 'WHITE WONDER'	EDDY'S WHITE WONDER DOGWOOD	50M CAL, STD FORM, 84S
3		PRUNUS DOY CARPA 'RAYWOOD'	RAYWOOD ASH	50M CAL, 1.8M STD, 84S
2		FRUIT TREE	COLUMBIAN APPLE VARIETIES	#7 POT
2		OLEOSTA T. NERMIS 'SHADENMASTER'	SHADENMASTER HONEY LOCUST	50M CAL, 1.8M STD, 84S
4		STYRAX JAPONICUS	JAPANESE SPANDELL	50M CAL, 1.8M STD, 84S

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER OMA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENT AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. * AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BC SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



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pmg
LANDSCAPE ARCHITECTS
Suite C10 - 495 8th Street Drive
Burnaby, British Columbia, V5C 0G9
P: 604-294-0011 F: 604-294-0022

SCALE:

NO.	DATE	REVISION DESCRIPTION	DR.
1	24.AUG.23	NEW STEPPING/CONCREMENTS	BT
2	24.AUG.23	NEW STEPPING/CONCREMENTS	DO
3	24.AUG.23	NEW STEPPING/CONCREMENTS	P

NO.	DATE	REVISION DESCRIPTION	DR.
4	28.SEP.23	CITY COMMENTS	BT
5	28.SEP.23	NEW STEPPING/CONCREMENTS	BT
6	28.SEP.23	NEW STEPPING/CONCREMENTS	DO
7	28.SEP.23	NEW STEPPING/CONCREMENTS	P

CLIENT:
DAWSON SAWYER

PROJECT:
6-STORY APARTMENT MULTI-FAMILY DEVELOPMENT

14798 - 106th Avenue
SURREY, BC

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 28.AUG.23 DRAWING NUMBER:
SCALE: 1:50
DRAWN: JR **L1**
DESIGN: JR
CHK'D: MCV OF 7

PMG PROJECT NUMBER: 23-162

7923-209-00 (36)

SCALE

4	24.05.20	OTTCOMMENTS	01
1	24.04.20	REV BY STEPHAN/OTTCOMMENTS	02
2	24.04.20	REV BY STEPHAN/OTTCOMMENTS	03
1	24.04.20	REV BY STEPHAN/OTTCOMMENTS	04

NO. DATE REVISION DESCRIPTION DR.

CLIENT
DAWSON SAWYER

PROJECT
**6-STORY APARTMENT
MULTI-FAMILY DEVELOPMENT**

**14798 - 106th Avenue
SURREY, BC**

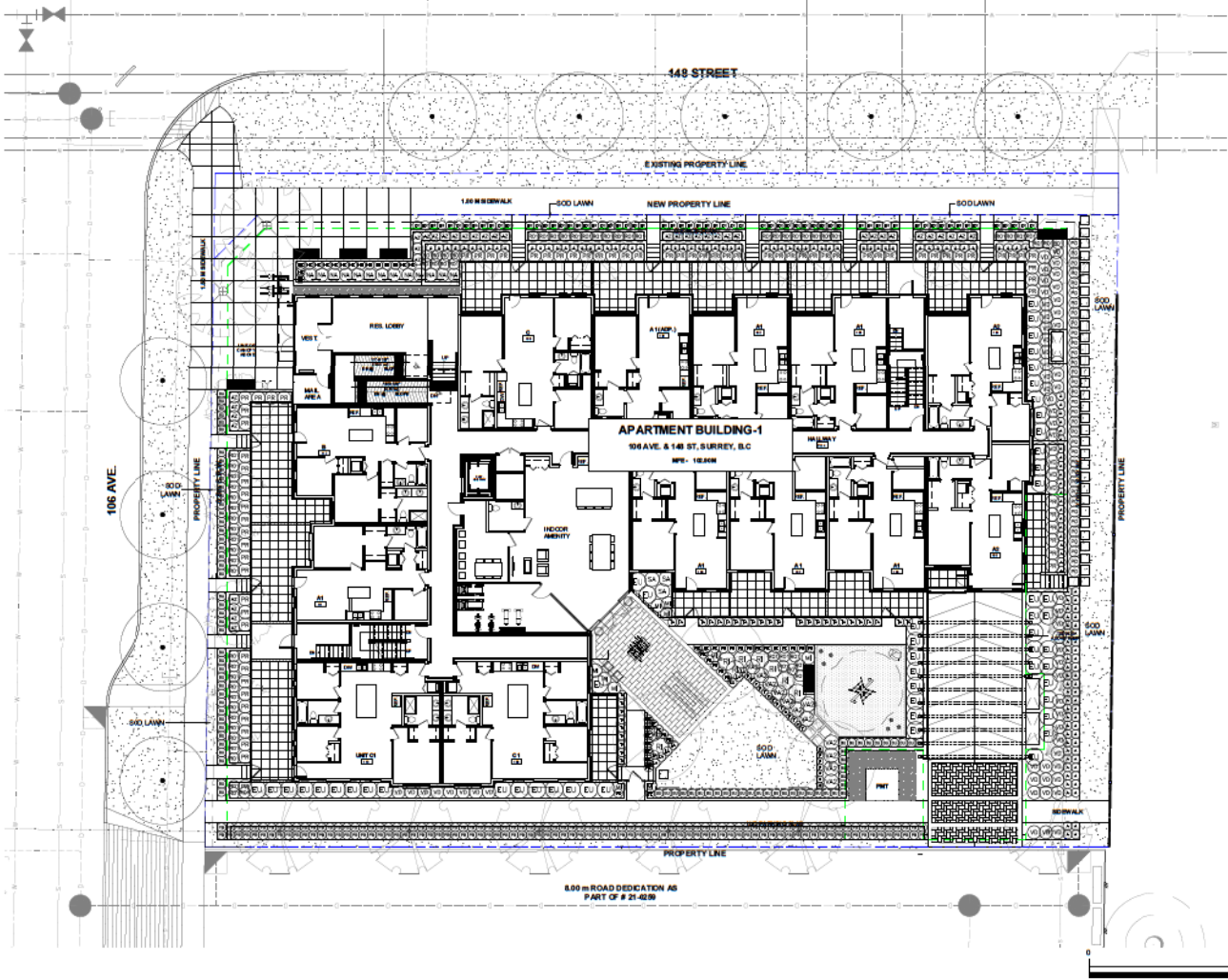
DRAWING TITLE
**LANDSCAPE
SHRUB PLAN**

DATE: 23.AUG.23 DRAWING NUMBER
SCALE: 1:50
DRAWN: JR **L2**
DESIGN: JR
CHK'D: MCV **OF 7**

PLANT SCHEDULE				PMG PROJECT NUMBER: 23-162
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
38		AZALEA JAPONICA 'BLUE DANUBE'	AZALEA BUSH-VIOLET	#2 POT, 25CM
80		BUDSUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#1 POT, 40CM
53		ELDERON MUIS ALATA 'COMPACTUS'	COMPACT WINGSO BURFINDO BUSH	#1 POT, 50CM
13		HANDMA DOMESTICA	HEAVENLY BAMBOO	#1 POT, 50CM
170		PIERIS JAPONICA 'TRICOLOREDE MIMAZURE'	ORNAMENTAL PIERIS	#1 POT, 50CM
77		PRUNUS LAUROCEBASTUS 'OTTO LYNNEN'	OTTO LYNNEN LAUREL	#1 POT, 50CM
8		RIBES SAKURANEUM	RED FLOWERING CURRANT	#2 POT, 60CM
47		ROSA 'NOBLES'	CWRET ROSE YELLOW	#2 POT, 40CM
3		SARCOCODON HODGERIANA 'RUSCOFOLIA'	FRAGRANT SWEETBOX	#2 POT, 30CM
33		TAXUS X MEDIA 'HECHT'	HORT'S YEW	1.2M H65
12		VACCINIUM OVATUM	BONDSMITH HAZELLEBBRY	#1 POT, 80CM
62		VIBURNUM DAVIDO	DAVID'S VIBURNUM	#2 POT, 30CM

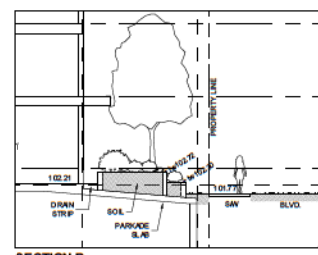
PLANT SCHEDULE				PMG PROJECT NUMBER: 23-162
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
GRASS				
32		FESTUCA AEMEREA	BLUE FESCUE	#1 POT
11		MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP-SILVER GRASS	#1 POT
PERENNIAL				
16		HEMEROCALLIS 'RED MAGIC'	DAYLILY RED AND YELLOW	#1 POT, 1-2 FAN
8		LAVENDULA ANNUIFOLIA 'MUNSTADT'	ENGLISH LAVENDER, COMPACT, VIOLET-BLUE	#1 POT
GC				
106		ARCTOSTAPHYLOS UVA-URSINI 'VANCOUVER JADE'	KINKY KINK	#1 POT, 30CM
21		FRAGARIA CHILOIDES	BEACH STRAWBERRY	15CM POT
24		POLYSTICHUM MUNITUM	WESTERN SWORDFERN	#1 POT, 25CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR PREPARED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, IF BOTH ARE AVAILABLE. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

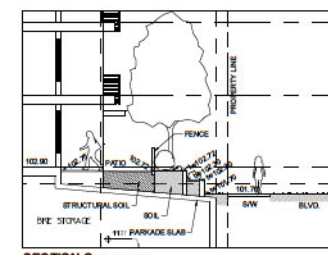


7923-209-00 (37)

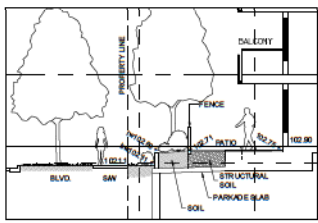
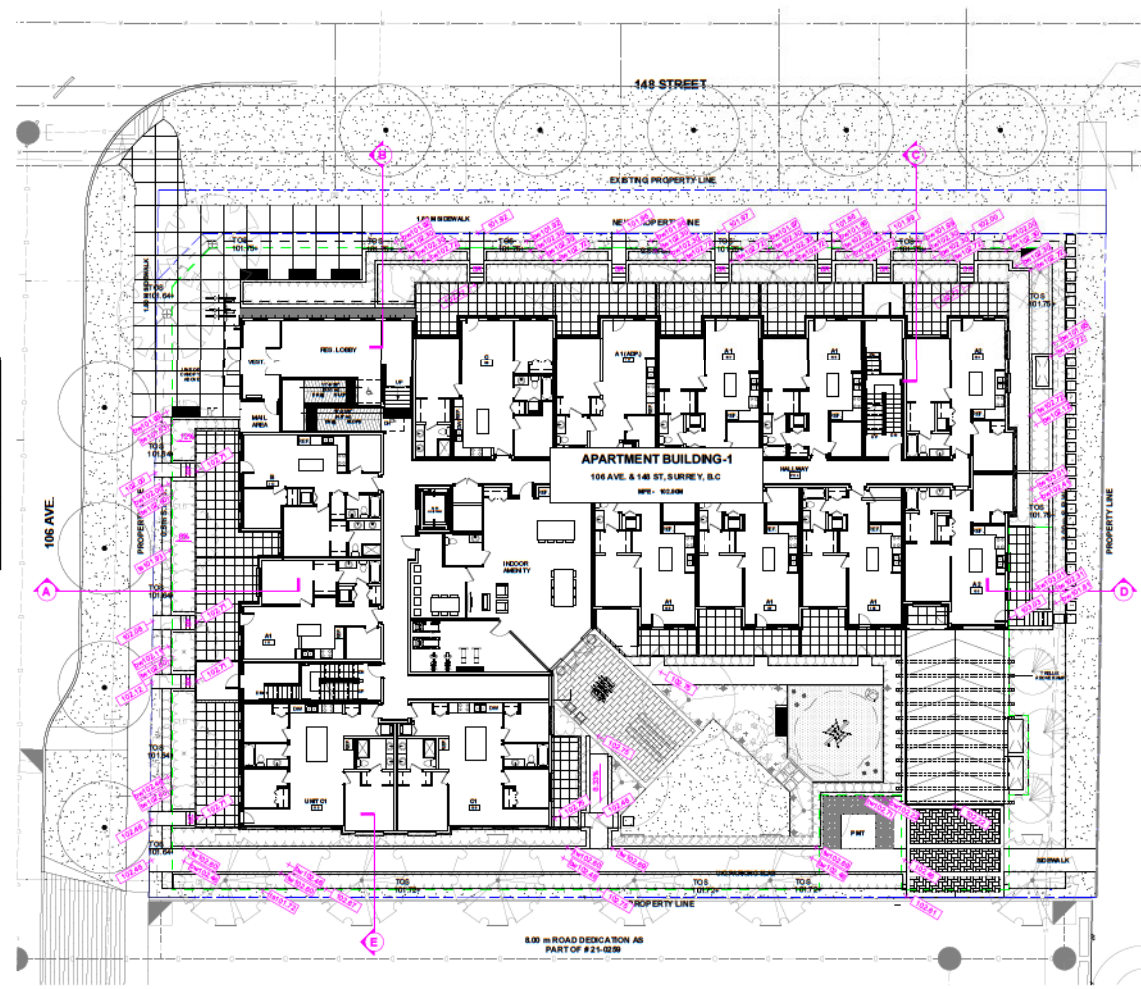
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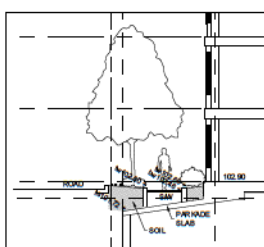
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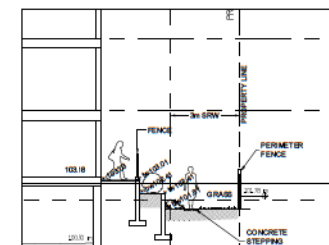
SECTION C SCALE: 1:100



SECTION A SCALE: 1:100



SECTION E SCALE: 1:100



SECTION D SCALE: 1:100

NO.	DATE	REVISION DESCRIPTION	DR.
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2	24.AUG.23	NEW STEPMARK/OTTCOMMANS	DR.
3	24.AUG.23	NEW STEPMARK/OTTCOMMANS	DR.

NO.	DATE	REVISION DESCRIPTION	DR.
4	28.SEP.23	OTTCOMMANS	DR.
5	28.SEP.23	NEW STEPMARK/OTTCOMMANS	DR.
6	28.SEP.23	NEW STEPMARK/OTTCOMMANS	DR.
7	28.SEP.23	NEW STEPMARK/OTTCOMMANS	DR.

CLIENT:
DAWSON SAWYER

PROJECT:
**6-STORY APARTMENT
MULTI-FAMILY DEVELOPMENT**
14798 - 106th Avenue
SURREY, BC

DRAWING TITLE:
**GRADING
PLAN**

DATE: 23.AUG.23 DRAWING NUMBER:
SCALE: 1:50 **L4**
DRAWN: JR
DESIGN: JR
CHK'D: MCV **OF 7**

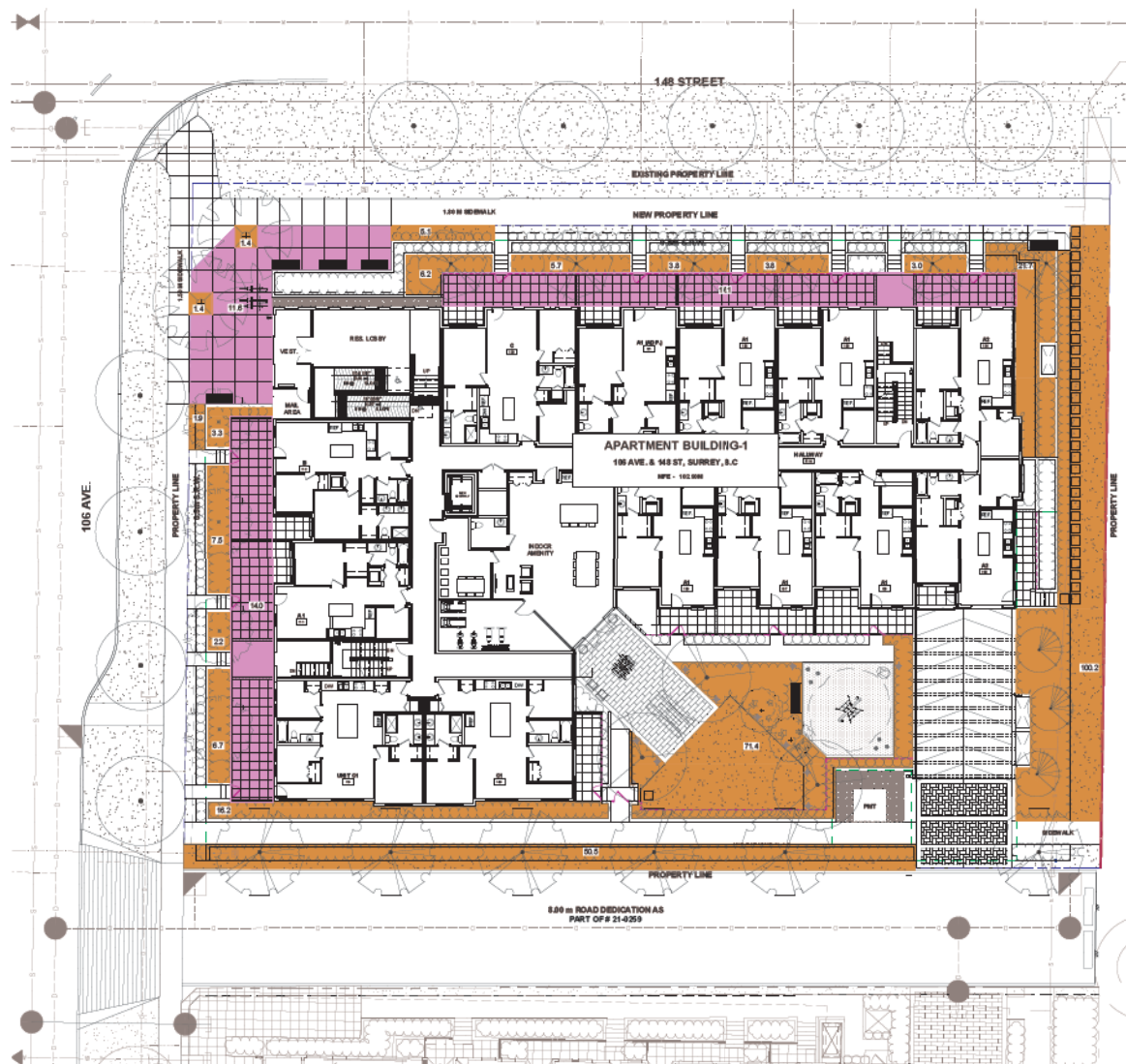
PMG PROJECT NUMBER: 23-162

7923-209-00 (39)



23162-42.P

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
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2	24.AUG.23	NEW STEPHAN/CITY COMMENTS	DO
3	24.AUG.23	NEW STEPHAN/CITY COMMENTS	SR
4	28.SEP.23	CITY COMMENTS	DO

CLIENT:

DAWSON SAWYER

PROJECT:

**6-STORY APARTMENT
MULTI-FAMILY DEVELOPMENT**

14798 - 106th Avenue
SURREY, BC

DRAWING TITLE:

**SOIL VOLUME
PLAN**

DATE: 28.AUG.23 DRAWING NUMBER:

SCALE: 1:50

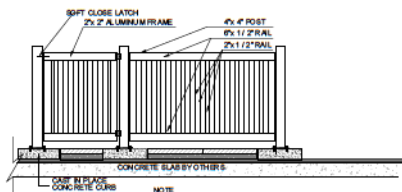
DRAWN: JR

DESIGN: JR

CHECKED: MCY

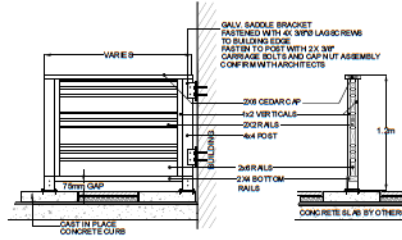
L5

OF 7



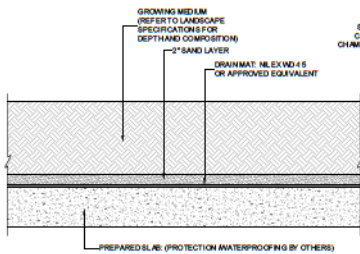
- NOTE**
1. METAL MATERIAL - ALUMINUM TO BE POWDER COATED BLACK, TWO COATS.
 2. ALL HARDWARE TO BE HOT DIPPED GALVANIZED, MEDIUM GAUGE.
 3. GATE HARDWARE TO BE CHOSEN BY OWNER. INSTALL PER MANUFACTURER'S INSTRUCTIONS.

1. 1.0M HT. ALUMINUM PICKET FENCE ON SLAB
1/2" = 1'-0"

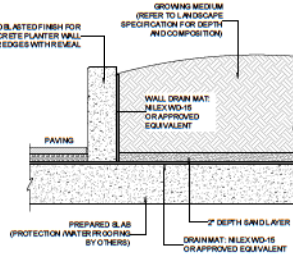


1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURER'S SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3/4".

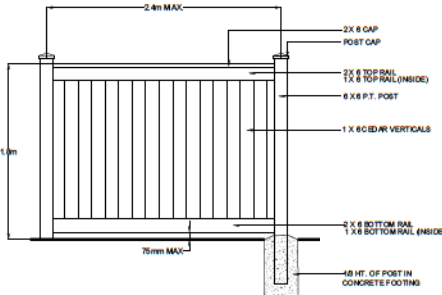
2. 1.2M HT. PATIO SCREEN ON SLAB
1/2" = 1'-0"



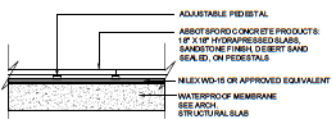
3. PLANTING ON SLAB
1/2" = 1'-0"



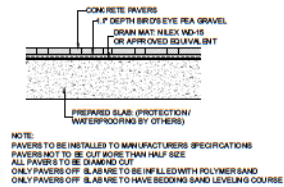
4. PLANTER WALL ON SLAB
1/2" = 1'-0"



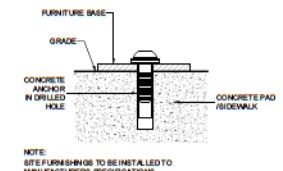
5. 1.8M HT. WOOD PERIMETER FENCE
1/2" = 1'-0"



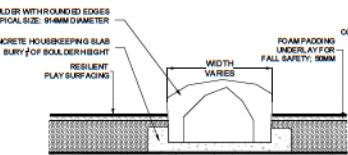
6. HYDRAPRESSED SLABS OVER PEDESTALS
SCALE: 1/2" = 1'-0"



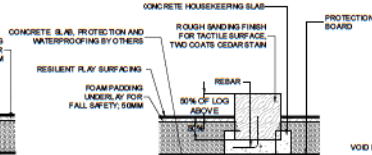
7. PAVERS OVER SLAB
1/2" = 1'-0"



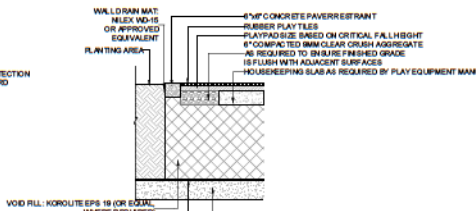
8. SITE FURNITURE MOUNTING
N.T.S.



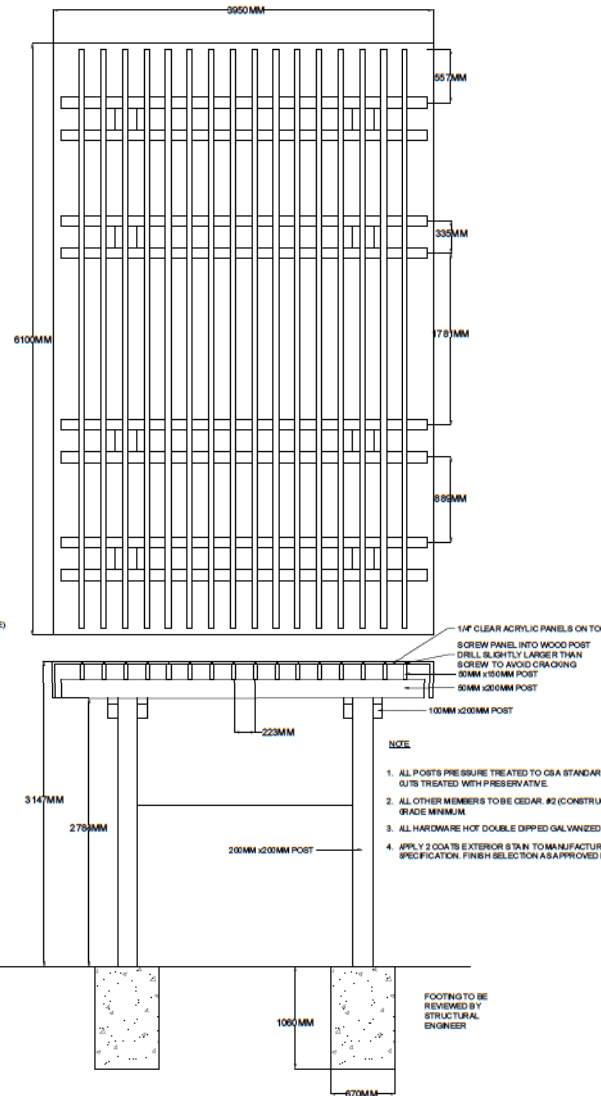
10. BOULDER ON SLAB
1/2" = 1'-0"



11. STEPPING LOG OVER SLAB
1/2" = 1'-0"



12. PLAY TILE SURFACE EDGE
1/2" = 1'-0"



9. TRELLIS
1/2" = 1'-0"

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Burnaby, British Columbia, V5C 6G9
p. 604.294-0011 f. 604.294-0022

SCALE:

NO.	DATE	REVISION DESCRIPTION	DR.
1	24.AUG.24	REV. SITE PLAN (OTYOMAM'S)	DR.
2	24.AUG.24	REV. SITE PLAN (OTYOMAM'S)	DR.
3	24.AUG.24	REV. SITE PLAN (OTYOMAM'S)	DR.
4	24.SEP.24	OTYOMAM'S	DR.

CLIENT: **DAWSON SAWYER**

PROJECT: **6-STORY APARTMENT MULTI-FAMILY DEVELOPMENT**

14798 - 106th Avenue
SURREY, BC

DRAWING TITLE: **LANDSCAPE DETAILS**

DATE: 23.AUG.23 DRAWING NUMBER: **L7**
SCALE: AS NOTED
DRAWN: JR
DESIGN: JR
CHK'D: MCY OF 7

7923-209-00 (42)

TO: **City Clerk, Legislative Services Division**

FROM: **Director, Development Planning**

DATE: **October 16, 2024**

FILE: **7917 0427 00**

RE: **Request to File OCP Amendment By-law No. 20776, Rezoning By-law No. 20777 and Close Development Application No. 7917-0427-00**

Civic Address: 8483 - 164 Street

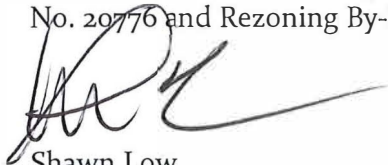
File No.: 7917 0427 00

By-law Nos.: 20776 and 20777

Owner: Ravi Investments Ltd. (Director Information: R. Sanghera, P. Sanghera)

The applicant has requested that the file be closed (see attached email). The application has been replaced by a new Development Application No. 7924-0233-00.

Given the applicant's request and submission of a new application, it is appropriate for Council to direct staff to close Development Application No. 7924-0233-00 and file OCP Amendment By-law No. 20776 and Rezoning By-law No. 20777.



Shawn Low
Director, Development Planning

E2M

Attachment

c.c. - Land Development Engineering

MacGregor, Erin

From: Hs. 22(1) Johal s. 22(1)
Sent: September 4, 2024 1:21 PM
To: Deo, Harinder
Subject: Re: 8483 / 8495 164 Street, Surrey, B.C. : D.P. APPLICATION

Harinder

I would like to close the previous application 7917-0427-00 and continue with the new application filed.

Regards

Hs. 22(1) Johal

On Wed, Sep 4, 2024, 11:54 a.m. Deo, Harinder <Harinder.Deo@surrey.ca> wrote:

Good morning,

Thank you for providing the documents requested.

There is an instream application 7917-0427-00. Can you please provide written authorization for that Application to be closed. Once received I can process this application.

Best Regards,

HARINDER DEO | GENERAL OPERATIONS CLERK



CITY OF SURREY

Planning & Development Department

13450 104th Ave, Surrey, BC, Canada V3T 1V8
T 604.591.4060 | www.surrey.ca

CITY OF SURREY

BYLAW NO. 20776

A bylaw to amend the provisions of Surrey Official
Community Plan Bylaw, 2013, No. 18020, as amended.

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Official Community Plan Bylaw, 2013, No. 18020, as amended, is amended as follows:
 - a. "Figure 3: General Land Use Designations" of the Land Uses and Densities Section is amended by changing the land use designation for the area shown shaded on the plan labeled Schedule A, attached hereto and forming part of this bylaw:

FROM: URBAN (URB)

TO: MULTIPLE RESIDENTIAL (MR)

PID: 024-734-217
Lot 2 Section 25 Township 2 NWD Plan LMP45256
(8495 - 164 Street)

PID: 024-734-233
Lot 3 Section 25 Township 2 NWD Plan LMP452566
(8483 - 164 Street)

- b. "Table 7a: Land Use Designation Exceptions" is amended to include 8483 - 164 Street and 8495 - 164 Street, as shown below:

Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
"Bylaw # 20776"	Multiple Residential	8483 - 164 Street Lot 3 Section 25 Township 2 New Westminster District Plan LMP45256 8495 - 164 Street Lot 2 Section 25 Township 2 New Westminster District Plan LMP45256	Density permitted up to 2.16 FAR (gross density)"

2. This Bylaw shall be cited for all purposes as "Surrey Official Community Plan Bylaw, 2013, No. 18020, Amendment Bylaw, 2022, No. 20776".

PASSED FIRST READING on the 3rd day of October, 2022.

PASSED SECOND READING on the 3rd day of October, 2022.

PUBLIC HEARING HELD thereon on the 28th day of November, 2022.

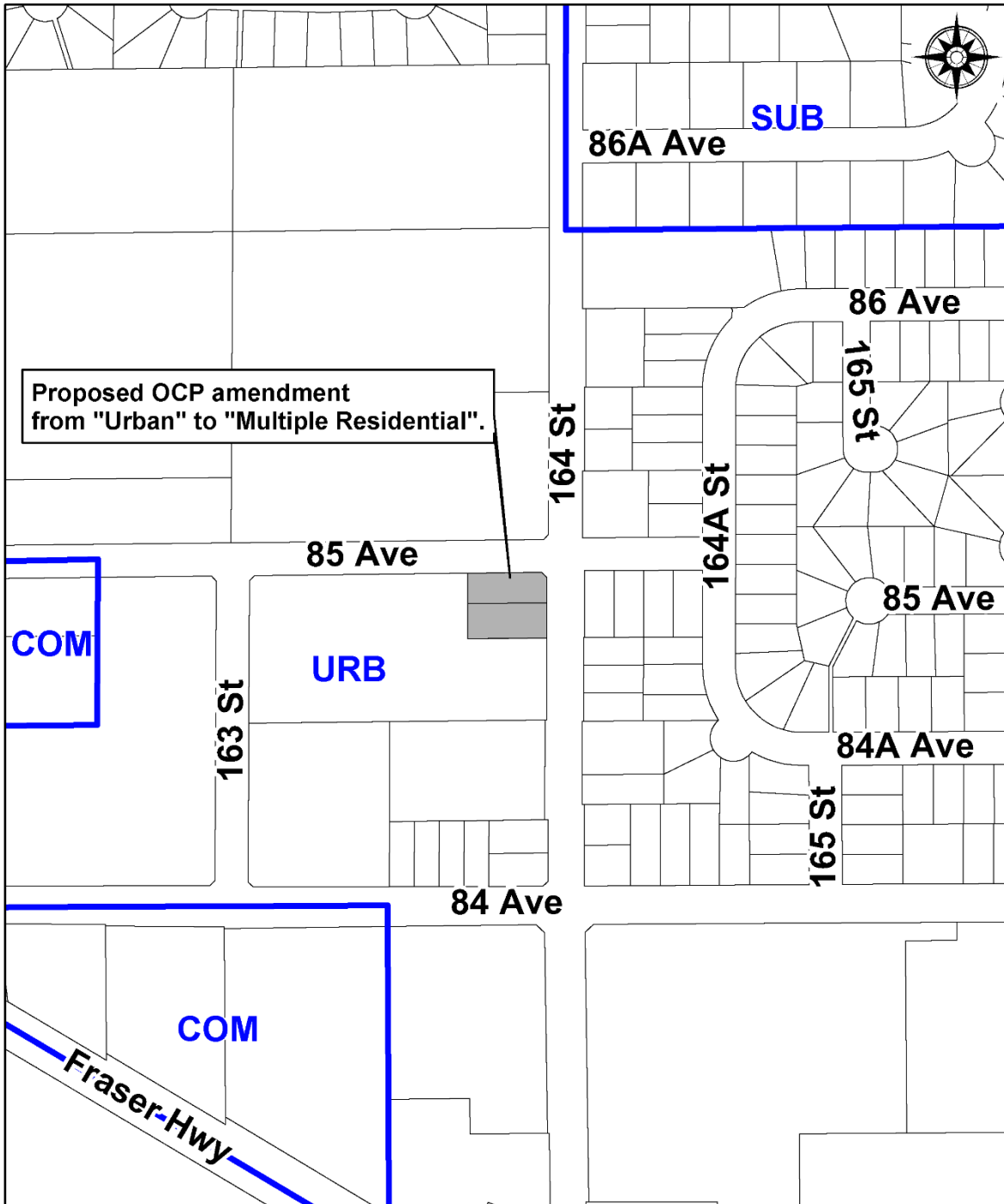
PASSED THIRD READING on the 5th day of June, 2023.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20__.

_____MAYOR

_____CLERK

SCHEDULE A



OCP Amendment 17-0427-00

Proposed OCP amendment from "Urban" to "Multiple Residential".



CITY OF SURREY

BYLAW NO. 20777

A Comprehensive Development bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended

.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015 c. 1, as amended, for the following lands:

Address: As described in Appendix "A".
Legal: As described in Appendix "A".
PID: As described in Appendix "A".

as follows:

- (a) by creating a new Comprehensive Development Zone 91 (CD 91), attached as Appendix "A" and forming part of this bylaw;
- (b) by changing the zoning classification shown in Schedule A, Zoning Maps, as follows:
 FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)
 TO: COMPREHENSIVE DEVELOPMENT ZONE (CD); and
- (c) by amending Part 52, Comprehensive Development Zone, Section C. Comprehensive Development Zones, by adding a new CD Zone "CD 91" as follows:

CD Zone ID	Civic Address	Legal Description	CD Bylaw No.	Replaces Bylaw No.
"CD 91"	(a) 8495 - 164 Street (b) 8483 - 164 Street	(a) Lot 2, Plan LMP45256 (b) Lot 3, Plan LMP45256	20777	N/A"

- 2. This Bylaw shall be cited for all purposes as "Surrey Comprehensive Development Zone 91 (CD 91), Bylaw, 2022, No. 20777".

PASSED FIRST READING on the 3rd day of October, 2022.

PASSED SECOND READING, as amended, on the 5th day of June, 2023.

PUBLIC HEARING HELD thereon on the 28th day of November, 2022.

PASSED THIRD READING on the 5th day of June, 2023.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

APPENDIX "A"

COMPREHENSIVE DEVELOPMENT ZONE 91 (CD 91)

In this Comprehensive Development Zone 91 (CD 91), **Part 23, Multiple Residential 45 (RM-45) Zone**, as well as all other applicable regulations of Surrey Zoning By-law, 1993, No. 12000, as amended, (the "Zoning By-law") apply to the following lands:

Address	Legal Descriptions	PID
8495 – 164 Street	Lot 2 Section 25 Township 2 NWD Plan LMP45256	024-734-217
8483 – 164 Street	Lot 3 Section 25 Township 2 NWD Plan LMP45256	024-734-233

(collectively the "Lands")

except as follows:

1. Density

Delete sub-section D.2. in Section D. Density and replace it with a new sub-section D.2. as follows:

"2. Permitted Density Increases:

If amenity contributions are provided in accordance with Schedule G, *density* may be increased as follows:

(a) Maximum *floor area ratio* of 1.88, excluding:

i. The indoor *amenity space* requirement (pursuant to Section J.1. of this Zone)."

2. Lot Coverage

Delete Section "E. Lot Coverage" and replace it with a new Section "E. Lot Coverage" as follows:

"E. **Lot Coverage**

The maximum *lot coverage* for all *buildings* and *structures* shall be 51%."

3. Yards and Setbacks

Delete Section "F. Yards and Setbacks" and replace it with a new Section "F. Yards and Setbacks" as follows:

"F. **Yards and Setbacks**

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

USES:	SETBACKS:			
	Front Yard	Rear Yard	Side Yard	Street Side Yard
<i>Principal Building</i>	4.5 m	6.0 m	4.5 m	4.5 m

1 Notwithstanding Section A.3.(d) of Part 5, Off-Street Parking and Loading/Unloading, *parking - underground* may be located up to 0 m of any *lot line*.

2 Notwithstanding the definition of *setback* in Part 1, Definitions, patios, decks, canopies and roof overhangs may encroach up to 2.0 m into the required *setbacks*.

3 Notwithstanding Section A.26.(b) of Part 4, General Provisions, stairs with more than three risers may encroach into the *setbacks*."

4. Height of Buildings

Delete sub-section G.1. in Section G. Height of Buildings and replace it with a new sub-section G.1. as follows:

"1. Principal Buildings:

Principal building height shall not exceed 15.5 m."

5. Subdivision

Delete sub-section K.1 in Section "K. Subdivision" and replace it with a new sub-section K.1 as follows:

"1. Minimum Lot Sizes:

Lots created through subdivision except strata lots, shall conform to the following minimum standards:

- (a) *Lot Area:* Minimum 1,700 sq. m;
- (b) *Lot Width:* Minimum 35 m; and
- (c) *Lot Depth:* Minimum 44 m."

CITY OF SURREY

NOTICE OF MOTION



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