

F. OTHER BUSINESS

PLANNING REPORTS (Continued)

1. **Planning Report - Application No. 7919-0187-00
2619 - 154 Street**
Owners: City of Surrey
Agent: Aplin & Martin Consultants Ltd. (Anish Sharma)
Rezoning from R3 to RM-30
to permit the development of a townhouse residential development with 31 units on a consolidated site.

* *Further to Planning Report dated December 20, 2021 additional information regarding the application is provided.*

* **Planning Recommendation**

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for Bylaw No. 21352 to rezone the property at 2619 - 154 Street from "Urban Residential Zone (R3)" to "Multiple Residential 30 Zone (RM-30)".
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) all those conditions outlined in the initial Planning & Development Report dated December 20, 2021.

BYLAWS AND PERMITS (Continued)

BYLAWS (Continued)

2. **Planning Report - Application No. 7919-0187-00
15381 and 15391 - 26 Avenue; 2627 and 2641 - 154 Street; 2655 Parkway Drive**

Owner: Hive Design & Building Ltd. (Director Information: Z. Zhao)
Agent: Aplin & Martin Consultants Ltd. (Anish Sharma)

Council direction received December 20, 2021

- * See memorandum dated July 19, 2024

To rezone the site from Single Family Residential Zone to Multiple Residential 30 Zone in order to permit the development of a townhouse residential complex with 31 units.

"Surrey Zoning Bylaw, 1993, No. 12000, Amendment Bylaw, 2021, No. 20538"

Final Adoption

BYLAWS WITH PERMITS (Continued)

3. Planning Report - Application No. 7921-0268-00
13412 - 96 Avenue (13414 - 96 Avenue) and 13420 - 96 Avenue

Owner: 1275280 B.C. Ltd. (Director Information: D. Dhillon, H. Dhillon, A. Villing)
Agent: Flat Architecture Inc. (Rajinder Warraich)

Note: Change of Director Information

Council direction received December 12, 2022

To rezone the subject site from Single Family Residential Zone to Comprehensive Development Zone in order to develop a 6-storey rental apartment building consisting of 60 dwelling units in City Centre. The proposal also includes a Development Permit for Form and Character.

"Surrey Comprehensive Development Zone 96 (CD 96), Bylaw, 2022, No. 20811"

Final Adoption

"The 1275280 B.C. Ltd. Housing Agreement, Authorization Bylaw, 2022, No. 20812"

Final Adoption

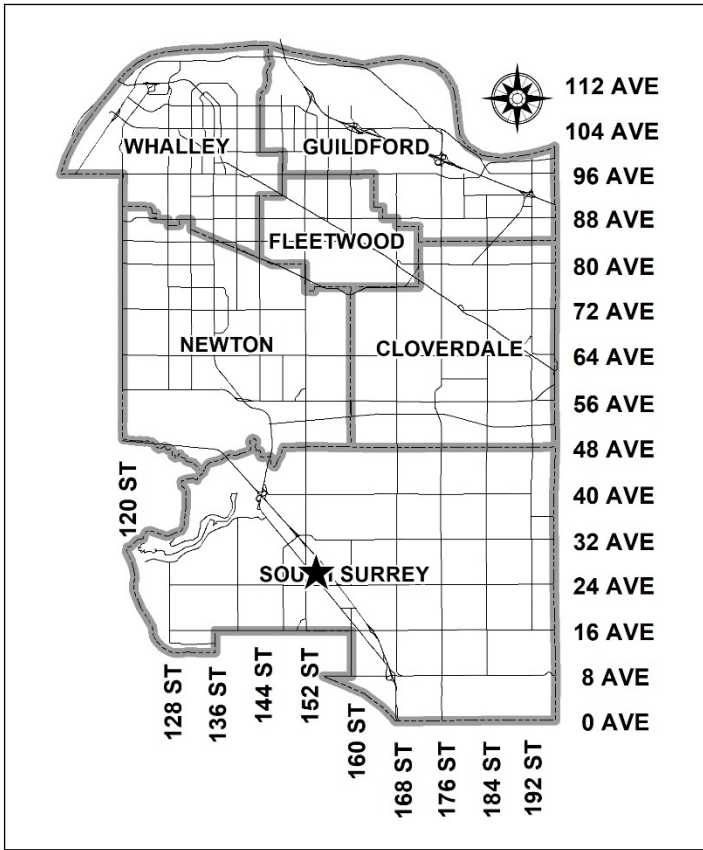
Development Permit No. 7921-0268-00

That Council authorize the issuance of Development Permit No. 7921-0268-00.

CITY OF SURREY

OTHER BUSINESS
(CONTINUED)





PROPOSAL:

- Rezoning from R₃ to RM-30

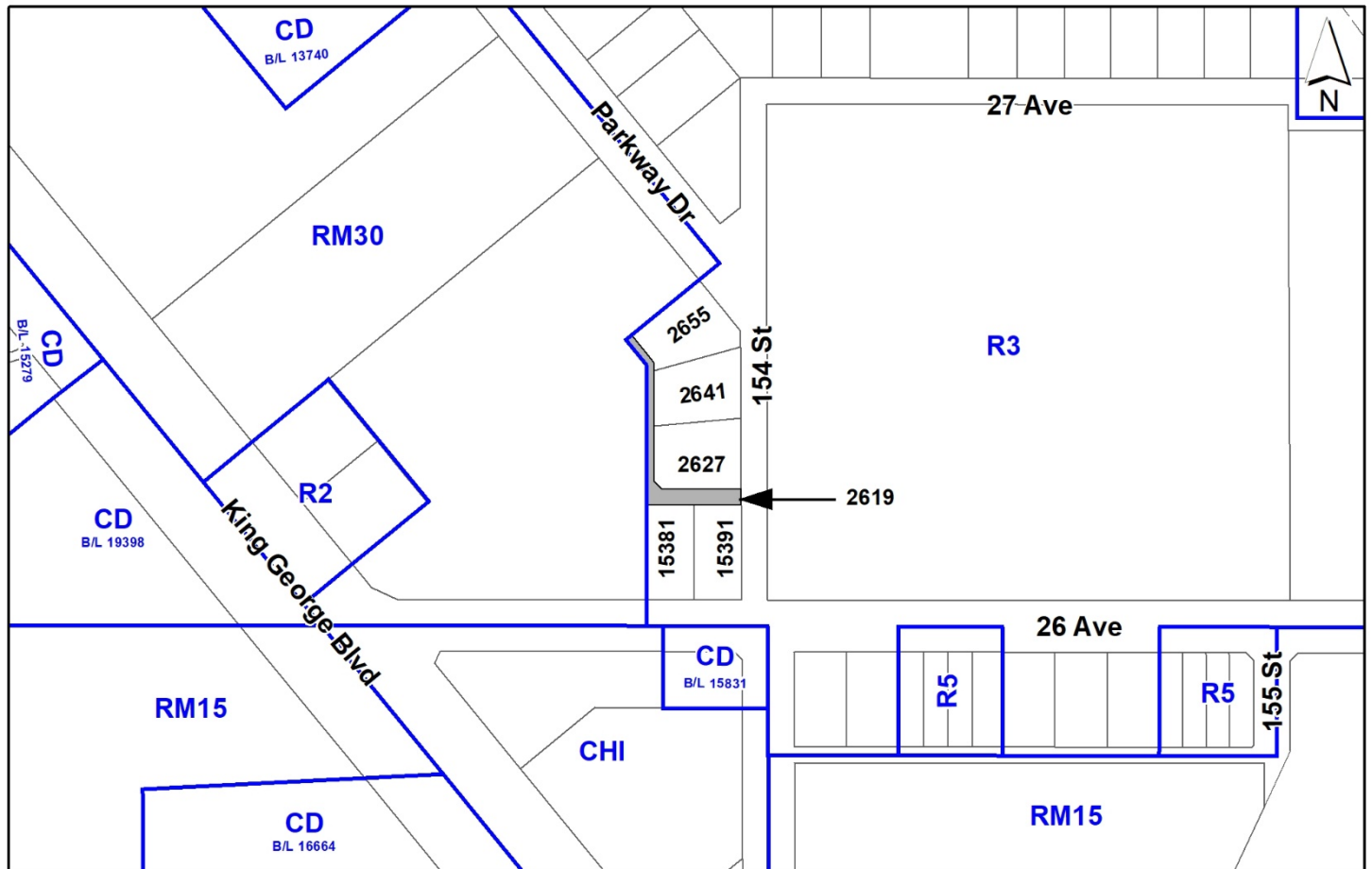
to permit the development of a townhouse residential development with 31 units on a consolidated site.

LOCATION: 2619 154 Street

ZONING: R₃

OCP DESIGNATION: Multiple Residential

LAP DESIGNATION: Garden Apartments (30 upa)



RECOMMENDATION SUMMARY

- Rezoning By-law to proceed to Public Notification. If supported the By-law will be brought forward for First, Second and Third Reading.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None

RATIONALE OF RECOMMENDATION

- Council considered a Planning & Development Report for the subject development application on December 20, 2021. The application proposes rezoning the subject site to RM-30 Zone to permit the development of 31 townhouse units.
- A Public Hearing was held on January 17, 2022, after which Council granted Third Reading to the Rezoning By-law No. 20538.
- Staff have recently discovered an error in the original Planning & Development Report and the Rezoning By-law No. 20538. The unopened lane, which runs through the middle of the site, and that the applicant proposes to close and consolidate as part of the townhouse development site, was inadvertently not included in the Rezoning By-law.
- To correct this error and ensure that the entirety of the development site is appropriately zoned for the proposed townhouse development, it is necessary that Council consider a new Rezoning By-law for the unopened lane, which has subsequently been converted to a titled lot and addressed 2619 - 154 Street.
- After the necessary Public Notification, Council can consider the new Rezoning By-law for First, Second, and Third Reading.
- Once the Rezoning By-law for the lane portion of the site is approved, then Council will be able to consider issuance of the Development Permit and Development Variance Permit for the 31-unit townhouse project.
- There are no other changes to the proposal previously supported by Council.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to rezone the property at 2619 - 154 Street from "Urban Residential Zone (R3)" to "Multiple Residential 30 Zone (RM-30)".
2. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) All those conditions outlined in the initial Planning & Development Report dated December 20, 2021.

SITE CONTEXT & BACKGROUND

| Direction | Existing Use | LAP Designation | Existing Zone |
|-------------------------------|--------------------------------|-----------------------------------|---------------------|
| Subject Site | 5 single family dwellings | Garden Apartments (30 upa) | R3 |
| North (Across Parkway Drive): | Single family dwellings | Single Family Residential (6 upa) | R3 |
| East (Across 154 Street): | Sunnyside Park | Park | R3 |
| South (Across 26 Avenue): | Parking lot (overflow parking) | Commercial | CD By-law No. 15831 |
| West: | Townhouses | Garden Apartments (30 upa) | RM-30 |

DEVELOPMENT PROPOSAL

Planning Considerations

- The subject development application includes five residential properties and an unopened lane (that has recently been converted to a titled lot) located on the northwest corner of 26 Avenue and 154 Street in South Surrey.
- Council considered a Planning & Development Report for the subject development application on December 20, 2021. The application proposes rezoning the subject site to RM-30 Zone to permit the development of 31 townhouse units.
- A Public Hearing was held on January 17, 2022, after which Council granted Third Reading to the Rezoning By-law No. 20538.
- Staff have recently discovered an error in the original Planning & Development Report and the Rezoning By-law No. 20538. The unopened lane, which runs through the middle of the site,

and that the applicant proposes to close and consolidate as part of the townhouse development site, was inadvertently not included in the Rezoning By-law.

- To correct this error and ensure that the entirety of the development site is appropriately zoned for the proposed townhouse development, it is necessary that Council consider a new Rezoning By-law for the unopened lane, which has subsequently been converted to a titled lot and addressed 2619 - 154 Street.
- After the necessary Public Notification, Council can consider the new Rezoning By-law for First, Second, and Third Reading.
- Once the Rezoning By-law for the lane portion of the site is approved, then Council will be able to consider issuance of the Development Permit and Development Variance Permit for the 31-unit townhouse project.
- There are no other changes to the proposal previously supported by Council.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Initial Planning Report No. 7919-0187-00, dated December 20, 2021

approved by Ron Gill

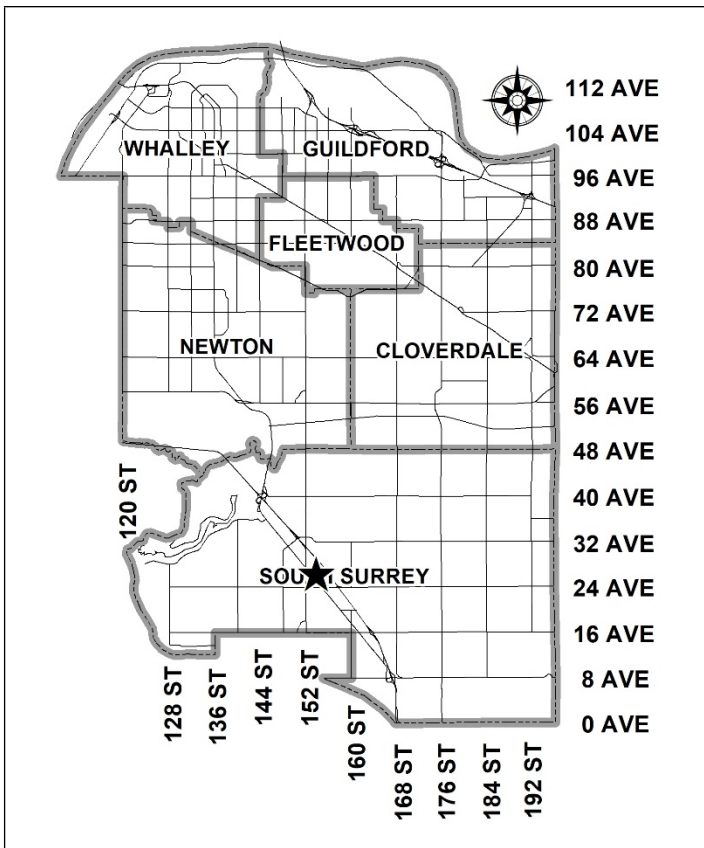
Don Luymes
General Manager
Planning and Development

LFM/ar

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7919-0187-00

Planning Report Date: December 20, 2021



PROPOSAL:

- **Rezoning** from RF to RM-30
- **Development Permit**
- **Development Variance Permit**

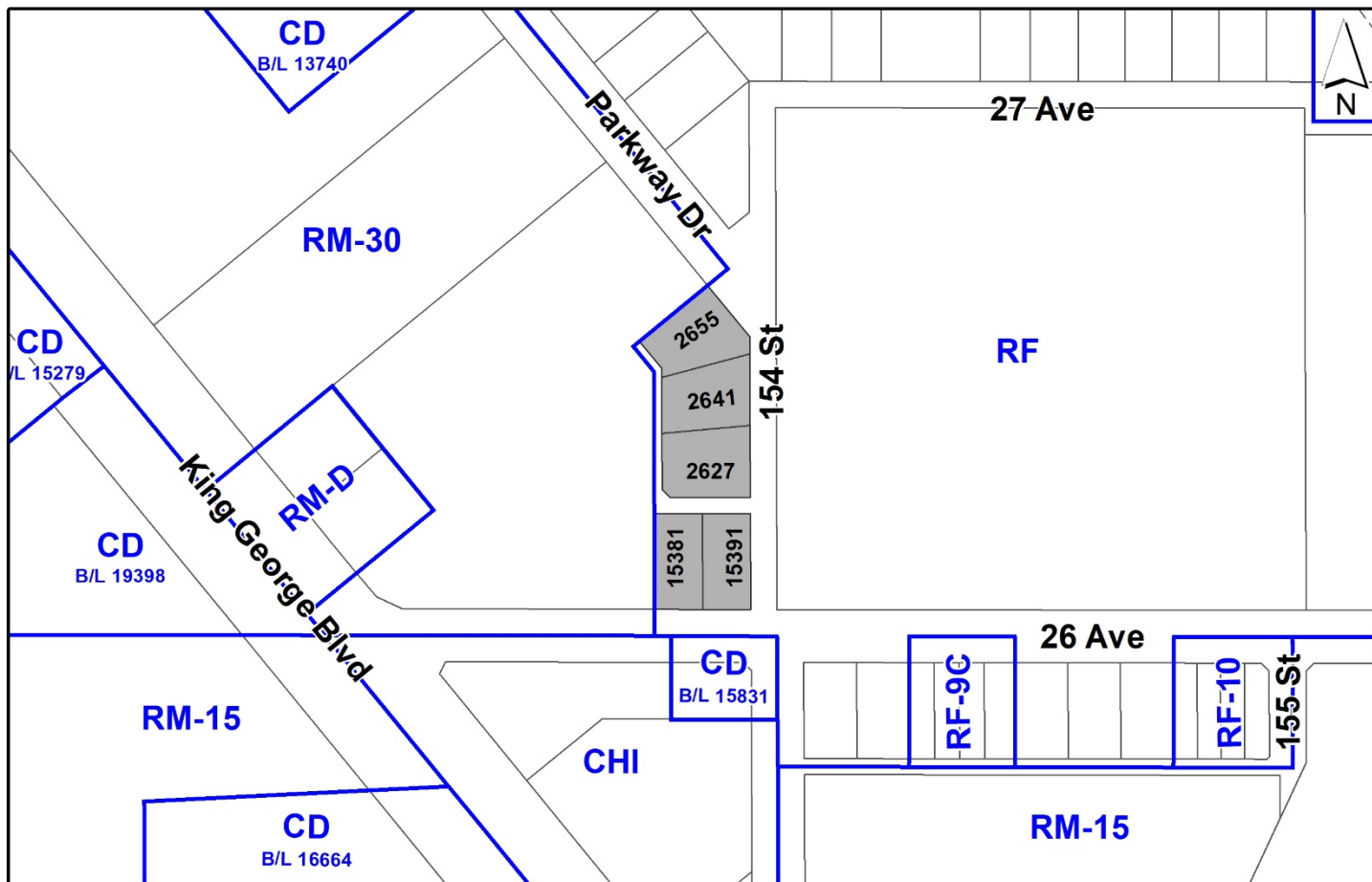
to permit the development of a townhouse residential complex with 31 units.

LOCATION: 15381 - 26 Avenue
 15391 - 26 Avenue
 2627 - 154 Street
 2641 - 154 Street
 2655 - Parkway Drive

ZONING: RF

OCP DESIGNATION: Multiple Residential

LAP DESIGNATION: Garden Apartments (30 upa)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to reduce side yard setback requirements of the RM-30 Zone.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).
- The proposal complies with the Garden Apartments (30 upa) designation in the King George Corridor South Local Area Plan (LAP).
- The proposed density and building form are appropriate for this part of South Surrey.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the King George Corridor South Local Area Plan (LAP) and in accordance with the Development Permit (Form and Character) design guidelines in the OCP. These are consistent with other setback relaxations for townhouses in the King George corridor.
- The proposed buildings achieve an attractive architectural built form, which utilizes high quality, natural materials, and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" to "Multiple Residential 30 Zone (RM-30)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7919-0187-00 generally in accordance with the attached drawings (Appendix I).
3. Council approve Development Variance Permit No. 7919-0187-00 (Appendix V) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum side yard setback (west) of the RM-30 Zone from 6.0 metres to 4.5 metres to the principal building face of Building 3; and
 - (b) to reduce the minimum side yard setback (northwest) of the RM-30 Zone from 6.0 metres to 4.5 metres to the principal building face of Building 6.
4. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) completion of the road closure and acquisition of lanes west of 154 Street;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (h) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
 - (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to the City's Affordable Housing Strategy, to the satisfaction of the General Manager, Planning & Development Services.

SITE CONTEXT & BACKGROUND

| Direction | Existing Use | LAP Designation | Existing Zone |
|-------------------------------|--------------------------------|-----------------------------------|---------------------|
| Subject Site | 5 single family dwellings | Garden Apartments (30 upa) | RF |
| North (Across Parkway Drive): | Single family dwellings | Single Family Residential (6 upa) | RF |
| East (Across 154 Street): | Sunnyside Park | Park | RF |
| South (Across 26 Avenue): | Parking lot (overflow parking) | Commercial | CD By-law No. 15831 |
| West: | Townhouses | Garden Apartments (30 upa) | RM-30 |

Context & Background

- The site is comprised of five single family lots and unopened road allowance, currently zoned "Single Family Residential Zone (RF)". The site is designated Urban in the Official Community Plan (OCP), and Garden Apartments (30 upa) in the King George Corridor South Local Area Plan (LAP).
- The property to the west consists of a large townhouse site developed in the last 1990's and properties to the north are single family dwellings. To the south, there is a commercial site with several businesses and an overflow parking lot, and to the east is Sunnyside Park.
- The site has a total gross area of 4,249 square metres, with some minor road dedication, bringing the net site area to 4,242 square metres.
- The site is moderately sloped (6%), with the higher elevation on the south portion of the site.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes to rezone the site from "Single Family Residential Zone (RF)" to "Multiple Residential 30 Zone (RM-30)", to allow for a Development Permit for Form & Character for a townhouse complex with 31 units.
- The applicant is proposing townhouses with shared underground parking, at a density of 29.5 upa (73 uph). Both the density and building form comply with the Garden Apartments (30 upa) designation in the King George Corridor South Local Area Plan (LAP), as well as the maximum density in the site's Urban OCP designation.

- The proposal also includes consolidation of the lots, including road closure and acquisition of two unopened lanes in the middle of the site.
- The proposed development will consist of 31 townhouse units, in 7 buildings, ranging from 2 to 6 units per building, and a stand-alone amenity building. All units will share an underground parkade, which includes the visitor parking stalls. All homes are proposed as three-bedroom units.
- The net developable area of the site is 4,242 square metres, with 3,284 square metres of floor area.
- The site's net density is proposed at 0.77 FAR and 29.5 units per acre, which meets the requirements of the proposed RM-30 Zone. The density and proposed form also complies with the King George Corridor South Local Area Plan (LAP).
- The proposal complies with the Urban OCP designation, which permits a maximum density of 30 units per acre for sites within a Secondary Land Use Plan.

| | Proposed |
|--------------------------------|---------------------|
| Lot Area | |
| Gross Site Area: | 4,249 square metres |
| Road Dedication: | 7 square metres |
| Net Site Area: | 4,242 square metres |
| Number of Lots: | 1 |
| Building Height: | 9.2 metres |
| Unit Density: | 29.5 upa |
| Floor Area Ratio (FAR): | 0.77 FAR |
| Floor Area | |
| Residential: | 3,284 square metres |
| Total: | 3,284 square metres |
| Residential Units: | |
| 3-Bedroom: | 31 units |
| Total: | 31 units |

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District:

The School District has advised that there will be approximately 26 of school-age children generated by this development, of which the School District has provided the following expected student enrollment.

8 Elementary students at Jessie Lee Elementary School
4 Secondary students at Earl Marriott Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by end of 2022.

Parks, Recreation & Culture:

1. Parks accepts the removal of pyramidal cedar hedges shown as A and B without compensation.
2. An Arborist to review the roundabout cross-section and adjacent pathway design for potential conflicts and to determine mitigation measures to ensure retention of park trees. Review and comments are to be provided in an updated arborist report.
3. Removal of park trees in Sunnyside Park will not be supported should conflicts with the roundabout and adjacent pathway arise in detailed design.
4. If there is any unexpected tree removal required on future or existing parkland due to development/construction impacts, cash in lieu of all trees, regardless of size, will be required. Compensation may be determined through a formal arboricultural appraisal.
5. Parks supports the trees shown as being removed in the future boulevard on the west side of 154 Street in the arborist report to be included in Trees and Landscaping's Tree Cutting Permits, with associated permit fees and replacement tree securities collected into the Green City Program.
6. A Statutory-Right-of-Way is required for roadworks within the park property lines.
7. Compensation will be required for any areas of parkland impacted by roadworks beyond the existing road pavement edge.

Surrey Fire Department:

The project is required to install a site plan at the primary response point to the property. The site plan shall be large enough to be legible from a vehicle and shall identify addressing including fire fighter access paths of travel, unit numbers, and location of onsite hydrants, annunciator panels, and fire department connections if applicable. The site plan shall be constructed to withstand the elements and be illuminated at night.

Advisory Design Panel: The application was not referred to the ADP but was reviewed by staff and found satisfactory.

Transportation Considerations

- The applicant is required to dedicate land for road widening for a 3 metres by 3 metres corner cut at 154 Street and Parkway Drive., and the applicant is required to construct a roundabout at 154 Street and Parkway Drive. The applicant is also proposing to close and acquire two unopened road allowances (lanes) through the site, for a total of 413.7 square metres of land to be acquired
- Access is proposed from the northern portion of the site, off Parkway Drive.
- The site is approximately 400 metres away from transit to the west, on 152 Street, and 700 metres to the south, on 24 Avenue. Bike routes are approximately 150 metres to the west, on King George Boulevard.

Parkland and/or Natural Area Considerations

- Sunnyside Park will have its pedestrian access and overall connectivity improved by the provision of the roundabout on 154 Street and Parkway Drive, as well as pedestrian connections and crossings. No park trees are to be affected by the works.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The site is designated General Urban in the Regional Growth Strategy (RGS), and the proposal complies with the designation.

Official Community Plan

Land Use Designation

- The site is designated Urban in the Official Community Plan (OCP).
- The proposal complies with the Urban designation in the OCP, which permits residential uses of densities up to 72 units per hectare (30 units per acre) within Secondary Land Use Plans.

Themes/Policies

- A1.1 Support compact and efficient land development that is consistent with the Metro Vancouver Regional Growth Strategy (RGS) (2011).

(The proposed development complies with the RGS designation and is a compact and efficient development.)

- A3.2 Encourage the development of remaining vacant lands in urban neighbourhoods to utilize existing infrastructure and amenities and to enhance existing neighbourhood character and viability.

(The proposed development is located on an under-developed piece of land, that is designated Urban in the OCP and complies with the density in the Secondary Land Use Plan.)

- A4.2 Encourage the full and efficient build-out of existing planned urban areas in order to:
 - achieve planned capacities;
 - use infrastructure efficiently; and
 - provide housing options.

(The proposed development will provide 3 bedroom housing options, as well as provide a roundabout at 154 Street and Parkway Drive to improve connectivity and accessibility in the neighbourhood and to Sunnyside Park.)

- B6.2 Integrate principles of urban design into the planning of neighbourhoods and centres and as part of development review processes, including:
 - Ensuring compatibility of scale, massing, and architecture with adjacent sites; and
 - Providing diversity, choice, and variety within a coherent, consistent physical environment.

(The proposed built form/massing fits well within the neighbourhood context and complies with the King George South Corridor LAP.)

- B6.4 Ensure new development responds to the existing character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.

(The proposed development is sensitive to the scale of adjacent built forms and provides high quality architectural design.)

- B6.6 Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces by:
 - Locating buildings so that they directly face public streets;
 - Providing doors, windows, and "active" building faces along public streets;
 - Avoiding blank facades and providing 'eyes on the street' by placing active uses within parts of the building that front onto streets and public spaces.

(The proposed development has street-facing units on all sides that interface with a street.)

Secondary Plans

Land Use Designation

- The site is designated Garden Apartments (30 upa) in the King George South Corridor Land Use Plan (LAP).
- The proposal complies with the Garden Apartments designation, by providing townhouses with a shared underground parkade, in the proposed density of up to 72 units per hectare (30 units per acre) with Secondary Land Use Plans.

Themes/Objectives

- Area G: On the east side of King George Boulevard, an adequate form and density transition should be considered at the interface between the redevelopment areas and the existing single family neighbourhood in the proximity of Sunnyside Park.

(The proposed development fits in well with the adjacent built form context and densities and complies with the King George South Corridor LAP. The proposal also includes an intersection improvement at 154 Street and Parkway Drive, providing a roundabout and pedestrian connections to Sunnyside Park.)

Zoning By-law

- The applicant proposes to rezone the subject site from "Single Family Residential Zone (RF)" to "Multiple Residential 30 Zone (RM-30)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Multiple Residential 30 Zone (RM-30)" and parking requirements.

| RM-30 Zone (Part 22) | Permitted and/or Required | Proposed |
|-----------------------------|-------------------------------------------------|---------------------------------------------------------------------|
| Unit Density: | 75 units per hectare | 73 units per hectare |
| Floor Area Ratio: | 1.00 | 0.77 |
| Lot Coverage: | 45% | 36% |
| Yards and Setbacks | | |
| Northeast: | 4.5 metres | 4.5 metres |
| Northwest: | 6.0 metres | 4.5 metres (DVP) |
| East: | 4.5 metres | 4.5 metres |
| South: | 4.5 metres | 4.5 metres |
| West: | 6.0 metres | 4.5 metres (DVP) |
| Height of Buildings | | |
| Principal buildings: | 13 metres | 9.2 metres |
| Accessory buildings: | 11 metres (indoor amenity) | 9.2 metres (attached to main building) |
| Amenity Space | | |
| Indoor Amenity: | 3 m ² x 31 units = 93 m ² | The proposed 95 m ² meets the Zoning By-law requirement. |

| RM-30 Zone (Part 22) | Permitted and/or Required | Proposed |
|-----------------------------|-------------------------------------------------|------------------------------------------------------------------------|
| Outdoor Amenity: | 3 m ² x 31 units = 93 m ² | The proposed 133.8 m ² meets the Zoning By-law requirement. |
| Parking (Part 5) | Required | Proposed |
| Number of Stalls | | |
| Residential: | 62 | 62 |
| Residential Visitor: | 6.2 | 7 |
| Total: | 68.2 | 69 |
| Tandem (%): | 15 | 0 |

Setback Variances

- The applicant is requesting the following variances:
 - (a) to reduce the minimum side yard setback (west) of the RM-30 Zone from 6.0 metres to 4.5 metres to the principal building face of Building 3; and
 - (b) to reduce the minimum side yard setback (northwest) of the RM-30 Zone from 6.0 metres to 4.5 metres to the principal building face of Building 6.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the King George Corridor South Local Area Plan (LAP) and in accordance with the Development Permit (Form and Character) design guidelines in the OCP and is consistent with other adjacent developments in the area. The setback to the west, adjacent the existing townhouses, is only for the building closest to the street, and it is a side-of-unit interface. This is a typical setback reduction for this kind of side-of-unit interface.
- The setback to the northwest for Building 6, adjacent the existing townhouses, is also for a side-of-unit interface. This is also a typical setback reduction for this kind of side-of-unit interface.
- Staff support the requested variances to proceed for consideration.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to Tier 1 Capital Plan Project CACs, payable at the time of Building Permit, at the rate applicable at that time.

- The proposed development will not be subject to the Tier 2 Capital Plan Project CACs as the proposal complies with the densities in the OCP and Secondary Plan designations.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on April 21, 2020, and the Development Proposal Signs were installed on April 23, 2020. Staff received 4 responses from neighbours citing concerns with the following (*staff comments in italics*):

Tree retention

(Approximately 40% of trees are being retained, with 3 trees being Douglas Firs. With the provision of underground parking, it becomes challenging to retain trees in the middle of the site, but additional setbacks have been provided to allow for the retention of trees around the perimeter of the proposal.)

Increased Traffic and vehicles driving through 15355 26 Avenue (townhouse complex to the west)

(The proposal is adding density that was proposed in the King George South Corridor LAP and will also provide a roundabout at 154 Street and Parkway Drive, which will improve traffic and safety in the area – particularly pedestrian access to Sunnyside Park. No access is proposed through the adjacent townhouse development.)

Disturbance during construction

(Some noise and disruption is an unavoidable consequence of any construction, and is only temporary. The applicant will be required to follow Noise Control By-law and apply for the appropriate traffic permits.)

- The subject development application was reviewed by the Semiahmoo Residents Association, and no comments were received.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to and generally complies with the Development Permit guidelines for Form and Character and is the urban design guidelines in the King George Corridor South Local Area Plan (LAP).
- The proposal has double garage units with a shared underground garage, where all units have direct access from the garage to each individual unit. Each unit has direct access from their two stalls to their unit, while visitor stalls are directed to the main courtyard. Development interface to the northwest is side-of-unit, and most of the interface to the west is backyard, with the unit at the southwest corner of the site having a side-of-unit interface to the west.
- The indoor amenity building is attached to the north side of Building No. 1, adjacent the outdoor amenity space, centrally located on the site, and not visible from the street. There is additional outdoor amenity space located on the northern portion of the site, between buildings No. 2 and 6, as well as a smaller space between buildings No. 5 and 7.
- The access to the site is proposed from the northern portion of the site on Parkway Drive, which has a lower grade elevation.
- All units are proposed with a rooftop deck, except for buildings No. 1 and 2, to increase privacy for the units on the adjacent townhouse development to the west.
- The applicant has worked with staff to improve the interface along the streets, particularly at the 154 Street and 26 Avenue intersection. The applicant has also worked with staff to reduce the number and height of retaining walls and to avoid blank walls.

Landscaping

- Landscaping consists of buffers along the perimeter of the site, as well as corner plazas at both 154 Street and 26 Avenue, and at 154 Street and Parkway Drive. Several trees are being retained along the north and west property lines. New trees will include Saucer Magnolia, Galaxy Magnolia, Pink Dogwood, Japanese Stewartia, and Red Japanese Maple, as well as shrubs, groundcovers, and perennials.

Indoor Amenity

- The Zoning By-law requires that 93 square metres of both indoor and outdoor amenity space be provided, based on the requirement of 3 square metres per dwelling unit.
- The proposed 95 square metres of indoor amenity exceeds the minimum required under the Zoning By-law. The indoor amenity space is proposed as part of Building No. 1, centrally located on the site. The space is proposed with two stories, which are proposed as independent and flexible spaces, each with their own kitchen area and bathroom. One is proposed as a meeting room, and the other as a game room.

Outdoor Amenity

- The applicant is proposing a total of 133.8 square metres of outdoor amenity space, which exceeds the minimum area required under the Zoning By-Law.
- The outdoor amenity space is divided into three areas: one centrally located in the interior of the site, adjacent to the indoor amenity space building, and the other two facing each other on the northern portion of the site, with a kids' play area and a dog park.
- The outdoor amenity space adjacent the indoor amenity space includes several seating areas, while the kid's play area includes play equipment and some log steppers.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include some further façade development and landscaping.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Dave Andermatt, ISA Certified Arborist of Pacific Sun Tree Services prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

| Tree Species | Existing | Remove | Retain |
|------------------------------------------------------------------|-----------|-----------|-----------|
| Deciduous Trees (excluding Alder and Cottonwood Trees) | | | |
| Pacific Dogwood | 1 | 1 | 0 |
| Japanese Maple | 2 | 2 | 0 |
| Domestic Cherry | 1 | 1 | 0 |
| Holly | 1 | 0 | 1 |
| European White Birch | 2 | 2 | 0 |
| Sweet Gum | 1 | 0 | 1 |
| Willow | 1 | 0 | 1 |
| Tuliptree | 1 | 0 | 1 |
| Coniferous Trees | | | |
| Western Red Cedar | 26 | 12 | 15 |
| Douglas Fir | 16 | 13 | 3 |
| Deodar Cedar | 1 | 1 | 0 |
| Total (excluding Alder and Cottonwood Trees) | 53 | 32 | 21 |

| | |
|--------------------------------------------------------------------------------|----------------|
| Total Replacement Trees Proposed (excluding Boulevard Street Trees) | 40 |
| Total Retained and Replacement Trees | 61 |
| Contribution to the Green City Program | \$9,600 |

- The Arborist Assessment states that there are a total of 53 mature trees on the site, with no Alder or Cottonwood trees. It was determined that 21 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio for all trees. This will require a total of 64 replacement trees on the site. Since only 40 replacement trees can be accommodated on the site, the deficit of 24 replacement trees will require a cash-in-lieu payment of \$9,600, representing \$400 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- In summary, a total of 61 trees are proposed to be retained or replaced on the site with a contribution of \$9,600 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

| | |
|---------------|-----------------------------------------------------------------------------------------------------------|
| Appendix I. | Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective |
| Appendix II. | Engineering Summary |
| Appendix III. | School District Comments |
| Appendix IV. | Summary of Tree Survey and Tree Preservation |
| Appendix V. | Development Variance Permit No. 7919-0187-00 |

approved by Shawn Low






Ron Gill
Acting General Manager
Planning and Development

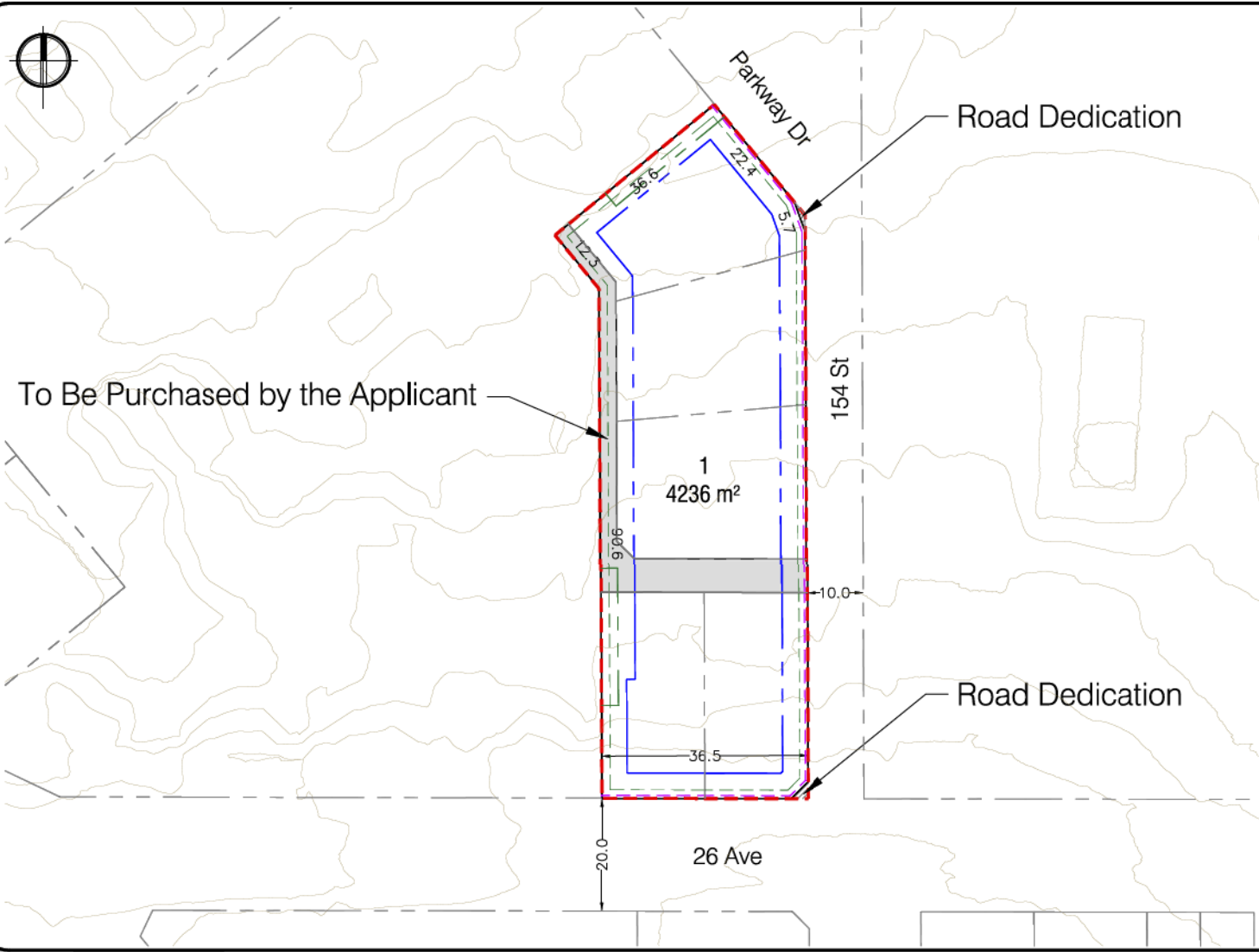
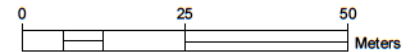
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154th Street Townhouses
 15391 & 15381 26th St, 2627 & 2641 154th
 and 2655 Parkway Dr

SITE PLAN

Legend

-  Site Boundary
-  ROW
-  Landscaped Buffer
-  Road Dedication
7.33m²
-  Proposed Lane
413.7m²



LEGAL DESCRIPTION
 PD 008-691-631
 004-744-381
 007-464-509
 008-645-841
 002-349-272

GROSS SITE AREA
 0.4 hectares / 1.0 acres

NET SITE AREA
 0.4 hectares / 1.0 acres

EXISTING DESIGNATIONS
 OCP: Multiple Residential
 NCP: Garden Apartments
 Zoning: RF

PROPOSED DESIGNATIONS
 OCP: Multiple Residential
 NCP: Townhouse (30 upa)
 Zoning: RM-30

LOT YIELD
 Existing: 5 lots
 Proposed: 1 lot

DENSITY
 Gross: 73.0 uph / 29.6 upa
 Net: 76.0 uph / 29.6 upa

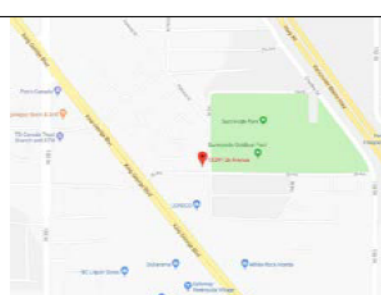
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**APLIN
 MARTIN**
 Project 19-1038
 13 / 12 / 2021

Drawing
1

154TH STREET TOWNHOUSE DEVELOPMENT

15391 & 15381 26TH AVE, 2627 &
2641 154TH ST, AND 2655 PARKWAY DR
SURREY, BC

| GENERAL NOTES | SHEET DIRECTORY | CONTRACT REQUIREMENTS |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------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| <p>ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AS ADOPTED AND AMENDED BY THE AUTHORITY HAVING JURISDICTION.</p> <p>THESE DRAWINGS ARE SUPPLIED TO THE CONTRACTOR AND OTHERS FOR THEIR USE FOR THIS SPECIFIC PROJECT. ALL COPIES OF THESE DRAWINGS SHALL REMAIN THE PROPERTY OF APLIN & MARTIN AND SHALL NOT BE REPRODUCED OR REPRODUCED WITHOUT PERMISSION OF APLIN & MARTIN.</p> <p>THE ORGANIZATION OF DOCUMENTS ARE NOT INTENDED TO CONTROL THE DIVISION OF WORK. DIVISION OF WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>THE ORGANIZATION OF DOCUMENTS ARE NOT INTENDED TO CONTROL THE DIVISION OF WORK. DIVISION OF WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>DIMENSIONS ARE TO FACE OF STUD, FACE OF MASONRY, FACE OF CONCRETE OR GROUTLINE AT NEW CONSTRUCTION AND FACE OF EXISTING FINISH AT EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED.</p> <p>CONTRACTOR SHALL VERIFY DIMENSIONS, REQUIRE CLEARANCES, AND POWER AND PLUMBING REQUIREMENTS FOR ALL OWNER ARCHITECTURAL. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.</p> <p>EXISTING CONDITIONS SHOWN ARE BASED ON RECORDED DRAWINGS AND / OR ORIGINAL CONSTRUCTION DRAWINGS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.</p> <p>ALL CONSULTANTS AND ARCHITECTS DRAWINGS AND SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH EACH OTHER.</p> <p>CONTRACTOR TO KEEP AS-BUILT RECORDS OF CONSTRUCTION AND MAKE AVAILABLE TO THE ARCHITECT AT PROJECT CLOSE.</p> | <p>ARCHITECTURAL</p> <p>A1.0 COVER SHEET A1.1 SITE CONTEXT PLAN A1.2 SITE AREA PLAN A1.3 SITE PLAN A1.04 SITE PLAN - GRADING A1.4 UNDERGROUND PARKING PLAN A2.0 FLOOR PLANS - UNIT A A2.1 FLOOR PLANS - UNIT A1 A2.2 FLOOR PLANS - UNIT A2 A2.3 FLOOR PLANS - UNIT A3 A2.04 FLOOR PLANS - UNIT A A2.04 FLOOR PLANS - UNIT B1 A2.04 FLOOR PLANS - UNIT B2 A2.04 FLOOR PLANS - UNIT B3 A2.04 FLOOR PLANS - UNIT B4 A2.04 FLOOR PLANS - UNIT B5 A2.04 FLOOR PLANS - UNIT B6 A2.04 FLOOR PLANS - UNIT B7 A2.04 FLOOR PLANS - UNIT B8 A2.04 FLOOR PLANS - UNIT B9 A2.04 FLOOR PLANS - UNIT B10 A2.04 FLOOR PLANS - UNIT B11 A2.04 FLOOR PLANS - UNIT B12 A2.04 FLOOR PLANS - UNIT B13 A2.04 FLOOR PLANS - UNIT B14 A2.04 FLOOR PLANS - UNIT B15 A2.04 FLOOR PLANS - UNIT B16 A2.04 FLOOR PLANS - UNIT B17 A2.04 FLOOR PLANS - UNIT B18 A2.04 FLOOR PLANS - UNIT B19 A2.04 FLOOR PLANS - UNIT B20 A2.04 FLOOR PLANS - UNIT B21 A2.04 FLOOR PLANS - UNIT B22 A2.04 FLOOR PLANS - UNIT B23 A2.04 FLOOR PLANS - UNIT B24 A2.04 FLOOR PLANS - UNIT B25 A2.04 FLOOR PLANS - UNIT B26 A2.04 FLOOR PLANS - UNIT B27 A2.04 FLOOR PLANS - UNIT B28 A2.04 FLOOR PLANS - UNIT B29 A2.04 FLOOR PLANS - UNIT B30 A2.04 FLOOR PLANS - UNIT B31 A2.04 FLOOR PLANS - UNIT B32 A2.04 FLOOR PLANS - UNIT B33 A2.04 FLOOR PLANS - UNIT B34 A2.04 FLOOR PLANS - UNIT B35 A2.04 FLOOR PLANS - UNIT B36 A2.04 FLOOR PLANS - UNIT B37 A2.04 FLOOR PLANS - UNIT B38 A2.04 FLOOR PLANS - UNIT B39 A2.04 FLOOR PLANS - UNIT B40 A2.04 FLOOR PLANS - UNIT B41 A2.04 FLOOR PLANS - UNIT B42 A2.04 FLOOR PLANS - UNIT B43 A2.04 FLOOR PLANS - UNIT B44 A2.04 FLOOR PLANS - UNIT B45 A2.04 FLOOR PLANS - UNIT B46 A2.04 FLOOR PLANS - UNIT B47 A2.04 FLOOR PLANS - UNIT B48 A2.04 FLOOR PLANS - UNIT B49 A2.04 FLOOR PLANS - UNIT B50 A2.04 FLOOR PLANS - UNIT B51 A2.04 FLOOR PLANS - UNIT B52 A2.04 FLOOR PLANS - UNIT B53 A2.04 FLOOR PLANS - UNIT B54 A2.04 FLOOR PLANS - UNIT B55 A2.04 FLOOR PLANS - UNIT B56 A2.04 FLOOR PLANS - UNIT B57 A2.04 FLOOR PLANS - UNIT B58 A2.04 FLOOR PLANS - UNIT B59 A2.04 FLOOR PLANS - UNIT B60 A2.04 FLOOR PLANS - UNIT B61 A2.04 FLOOR PLANS - UNIT B62 A2.04 FLOOR PLANS - UNIT B63 A2.04 FLOOR PLANS - UNIT B64 A2.04 FLOOR PLANS - UNIT B65 A2.04 FLOOR PLANS - UNIT B66 A2.04 FLOOR PLANS - UNIT B67 A2.04 FLOOR PLANS - UNIT B68 A2.04 FLOOR PLANS - UNIT B69 A2.04 FLOOR PLANS - UNIT B70 A2.04 FLOOR PLANS - UNIT B71 A2.04 FLOOR PLANS - UNIT B72 A2.04 FLOOR PLANS - UNIT B73 A2.04 FLOOR PLANS - UNIT B74 A2.04 FLOOR PLANS - UNIT B75 A2.04 FLOOR PLANS - UNIT B76 A2.04 FLOOR PLANS - UNIT B77 A2.04 FLOOR PLANS - UNIT B78 A2.04 FLOOR PLANS - UNIT B79 A2.04 FLOOR PLANS - UNIT B80 A2.04 FLOOR PLANS - UNIT B81 A2.04 FLOOR PLANS - UNIT B82 A2.04 FLOOR PLANS - UNIT B83 A2.04 FLOOR PLANS - UNIT B84 A2.04 FLOOR PLANS - UNIT B85 A2.04 FLOOR PLANS - UNIT B86 A2.04 FLOOR PLANS - UNIT B87 A2.04 FLOOR PLANS - UNIT B88 A2.04 FLOOR PLANS - UNIT B89 A2.04 FLOOR PLANS - UNIT B90 A2.04 FLOOR PLANS - UNIT B91 A2.04 FLOOR PLANS - UNIT B92 A2.04 FLOOR PLANS - UNIT B93 A2.04 FLOOR PLANS - UNIT B94 A2.04 FLOOR PLANS - UNIT B95 A2.04 FLOOR PLANS - UNIT B96 A2.04 FLOOR PLANS - UNIT B97 A2.04 FLOOR PLANS - UNIT B98 A2.04 FLOOR PLANS - UNIT B99 A2.04 FLOOR PLANS - UNIT B100</p> <p>LANDSCAPE</p> <p>L1.1 TREEMANAGEMENT PLAN L1.2 LANDSCAPE SITE PLAN L1.3 LANDSCAPE GRADING PLAN L2.1 ENLARGEMENT GRADING PLAN L2.2 ENLARGEMENT TREE PLAN L2.3 ENLARGEMENT PLANTING PLAN L2.4 ENLARGEMENT GRADING PLAN L2.5 ENLARGEMENT TREE PLAN L2.6 ENLARGEMENT PLANTING PLAN L2.7 PLANTING LIST & DETAILS L4.1 BUILDINGS & INFRASTRUCTURE L4.2 BUILDINGS & INFRASTRUCTURE L4.3 NORTH TO SOUTH SECTIONS L4.4 NORTH TO SOUTH SECTIONS L4.5 BUILDINGS & INFRASTRUCTURE L4.6 LANDSCAPE DETAILS L4.7 LANDSCAPE SPECIFICATION</p> <p>CIVIL</p> <p>C1 PRELIMINARY SITE SERVICES PLAN C2 PRELIMINARY LOT GRADING PLAN</p> | <p>CONTRACT REQUIREMENTS</p> <p>CONTRACTOR RESPONSIBILITIES: ALL CORRESPONDENCE MUST GO THROUGH THE ARCHITECT SO THAT ALL INFORMATION RELATIVE TO THE PROJECT CAN BE PROPERLY DOCUMENTED, COORDINATED AND TRACKED. ANY PERMITS OR CORRESPONDENCE NOT INCLUDING THE ARCHITECT SHALL BE SUBMITTED TO THE ARCHITECT IN THE FORM OF WRITTEN MEETING MINUTES. FIRST REQUEST FOR INFORMATION (RFI) PROCEED FOR INFORMATION PROVISIONS OR CLARIFICATIONS REQUIRED BY THE CONTRACTOR SHALL BE SUBMITTED IN WRITING (EMAIL) TO THE ARCHITECT IN THE FORM OF A RFI (REQUEST FOR INFORMATION). CONTRACTOR SHALL NUMBER THEIR RFI'S SEQUENTIALLY AND INCLUDE ANY SUB-CONTRACTOR RFI'S WITH THEIR NUMBERING SYSTEM. SEPARATE SUB-CONTRACTOR RFI'S SHOULD BE FORWARDED DIRECTLY TO THE ARCHITECT. THE ARCHITECT WILL NOT BE ACCEPTED. THE ARCHITECT MAY ALSO ASK QUESTIONS AND PROVIDE INFORMATION FROM THE CONTRACTOR IN THE FORM OF A RFI. A2'S (ARCHITECTURAL SUPPLEMENTAL INFORMATION) THE ARCHITECT MAY SUBMIT ADDITIONAL DESIGN INFORMATION DURING THE COURSE OF CONSTRUCTION IN THE FORM OF A2.IF. IF THE CONTRACTOR BELIEVES THE ADDITIONAL INFORMATION CONSTITUTES A CHANGE IN PROJECT COST OR TIME, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT. A2'S (ARCHITECTURAL INTERECTIONS) ARCHITECTURAL INTERECTIONS SHALL BE SUBMITTED DURING THE COURSE OF CONSTRUCTION. THEY WILL ACCOMPANY A2'S, A2'S, A2'S OR COST CHANGE ORDERS BUT WILL NOT BE RELEASED UNDER OWN. SIMILARLY STRUCTURAL, MECHANICAL, MECHANICAL OR ELECTRICAL E2'S, MAY BE ISSUED.</p> <p>PROGRESS DRAWS: PROGRESS DRAW APPLICATIONS SHALL BE SUBMITTED TO THE ARCHITECT PER THE REQUIREMENTS OF THE CDCC CONTRACT.</p> <p>CHANGES: CHANGES TO THE PROJECT WILL BE ISSUED AS A: O2 CHANGE ORDER O3 CHANGE ORDER (E2'S) PROPOSED CHANGES SHALL BE INITIATED BY THE ARCHITECT FOR THE CONTRACTOR TO PRICE AND WILL BE ISSUED AS A: P2 (PROPOSED CHANGE ORDER)</p> <p>SUBMITTALS: E2'S, S2'S, S2'S & A2'S ARE ACCEPTABLE AND ENCOURAGED. CONTRACTOR TO IDENTIFY LONG LEAD ITEMS AT START OF PROJECT. TURN AROUND TIME FOR SUBMITTALS REVIEW BY THE ARCHITECT SHALL BE MINIMUM 5 DAYS UNLESS OTHERWISE AGREED. ARCHITECT WILL SUPPLY THE CONTRACTOR WITH A LIST OF SUBMITTALS AT THE CONSTRUCTION Kick-off MEETING.</p> <p>SCHEDULES: CONTRACTOR TO KEEP A CURRENT CONSTRUCTION SCHEDULE AND MAKE AVAILABLE TO THE ARCHITECT... Gantt Charts are preferred.</p> <p>MEETING MINUTES: CONTRACTOR TO KEEP MEETING MINUTES OF ALL CONSTRUCTION MEETINGS INCLUDING MEETINGS WHERE THE ARCHITECT IS NOT PRESENT. MINUTES TO BE EMAILED TO PROJECT TEAM WITHIN 24 HOURS. RECORD DRAWS TO BE SUBMITTED. THE CONTRACTOR SHALL KEEP A RECORD OF ALL AS-BUILT CONDITIONS AND MAKE AVAILABLE TO THE CONSULTANT AT PROJECT CLOSE. ALL UNDERGROUND PIPING, CONDUITS... SHALL BE DEMONSTRATED TO GEALENS & SUBMIT REFERENCE POINTS.</p> <p>INSPECTIONS: AT CONSTRUCTION COMMENCEMENT THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO DETERMINE WHAT INSPECTIONS HE/SH/HE WILL REQUIRE TO PERFORM DURING THE COURSE OF THE PROJECT (PROVIDE MINUTES TO THE ARCHITECT FOR APPROVAL). THE CONTRACTOR SHALL THEN BE RESPONSIBLE FOR NOTIFYING THE CITY INSPECTOR WHEN THE WORK IS READY TO BE INSPECTED (USUALLY ONE DAY BEFORE THE REQUIRED INSPECTION - CONFIRM WITH JURISDICTION). THE CONSULTANT SHALL ALSO BE NOTIFIED AT SUCH TIMES (ON THE DAY BEFORE). ALL INSPECTOR CERTIFICATES SHALL BE FILED BY THE CONTRACTOR AND HANDED OVER TO THE CONSULTANT AT SUBMITTAL COMPLETION.</p> <p>SUBMITTAL COMPLETION: SUBMITTAL COMPLETION WALK-THRU SHALL BE SCHEDULED MINIMUM 1 WK PRIOR TO PROJECT COMPLETION (MINIMUM IN THIS WILL ALLOW ADEQUATE TIME TO CORRECT ALL DEFICIENCIES). ARCHITECT WILL REVIEW DEFICIENCIES AT TIME OF FINAL WALK-THRU AND DISTRIBUTE. CONTRACTOR TO HAND OVER ALL REQUIRED FINAL DOCUMENTATION TO THE ARCHITECT AT FINAL WALK-THRU.</p> |
| <p>CONTACTS</p> | | <p>LOCATION PLAN</p> |
| <p>CLIENT: HME DESIGN & BUILDING LTD. CONTACT: SUZUKI 2640 78-468-882 h@hmedesign.com</p> <p>ARCHITECTURAL: APLIN & MARTIN LTD. SUITE 100 - 12450 26 AVENUE SURREY, BC V3W 1S9 CONTACT: ANDY KIEL, ARCHITECTURAL MANAGER 78-533-4228 akil@aplinsmartin.com</p> <p>MECHANICAL: LIJONG SHEPHERD LTD. UNIT 121 - 549 BYRNE ROAD SURREY, BC V3L 5J1 CONTACT: ALEX L. P. ENGLISH, PE 78-532-598 alex@shepherd.com</p> <p>LANDSCAPE: ROYAL PACIFIC LANDSCAPING LTD. 165 SUPERIOR AVENUE SURREY, BC V3W 1S9 CONTACT: LIJONG LI, LANDSCAPE ARCHITECT 663-9105 li@royalpac.com</p> <p>CIVIL: APLIN & MARTIN LTD. 308-2646 B AVENUE SURREY, BC V3W 1S9 CONTACT: GARY PAVANAL, P.ENG. 664-597-9928 gpavanal@aplinsmartin.com</p> | | <p>PROPERTY INFORMATION:</p> <p>ADDRESS: 1531 & 1581 26 AVE, 2627 & 2641 154TH ST, 2655 PARKWAY DRIVE SURREY, BC</p> <p>LEGAL DESCRIPTION: LOT A SECTION 23 TOWNSHIP 1 PLAN NWP028 ENH LEGAL SUBDIVISION S, LOT 6 SECTION 23 TOWNSHIP 1 PLAN NWP028 ENH, LOT 8 SECTION 23 TOWNSHIP 1 PLAN NWP028 ENH, LOT 6 SECTION 23 TOWNSHIP 1 PLAN NWP028 ENH, LOT 8 SECTION 23 TOWNSHIP 1 PLAN NWP028 ENH, LOT 6 SECTION 23 TOWNSHIP 1 PLAN NWP028 ENH</p> <p>PD: 08491431, 06474438, 07-466-05, 06446-041, 02-046-072</p>  <p>PROJECT: 154TH STREET TOWNHOUSE DEVELOPMENT</p> <p>ADDRESS: 1531 & 1581 26TH AVE, 2627 & 2641 154TH ST, AND 2655 PARKWAY DR SURREY, BC</p> <p>SHEET TITLE: COVER SHEET</p> <p>STATUS: AS NOTED 19-1038</p> <p>REVISIONS: NO REVISIONS</p> <p>DATE: 19-1038</p> |





| 7 | REVISED PLAN FOR DEVELOPMENT PERMITS | RF | VC |
|-----------|--------------------------------------|----|----|
| 6 | REVISED PLAN FOR DEVELOPMENT PERMITS | RF | VC |
| 5 | REVISED PLAN FOR DEVELOPMENT PERMITS | RF | VC |
| 4 | REVISED PLAN FOR DEVELOPMENT PERMITS | RF | VC |
| 3 | REVISED PLAN FOR DEVELOPMENT PERMITS | RF | VC |
| 2 | REVISED PLAN FOR DEVELOPMENT PERMITS | RF | VC |
| 1 | REVISED PLAN FOR DEVELOPMENT PERMITS | RF | VC |
| REV. DATE | DESCRIPTION | DR | RV |

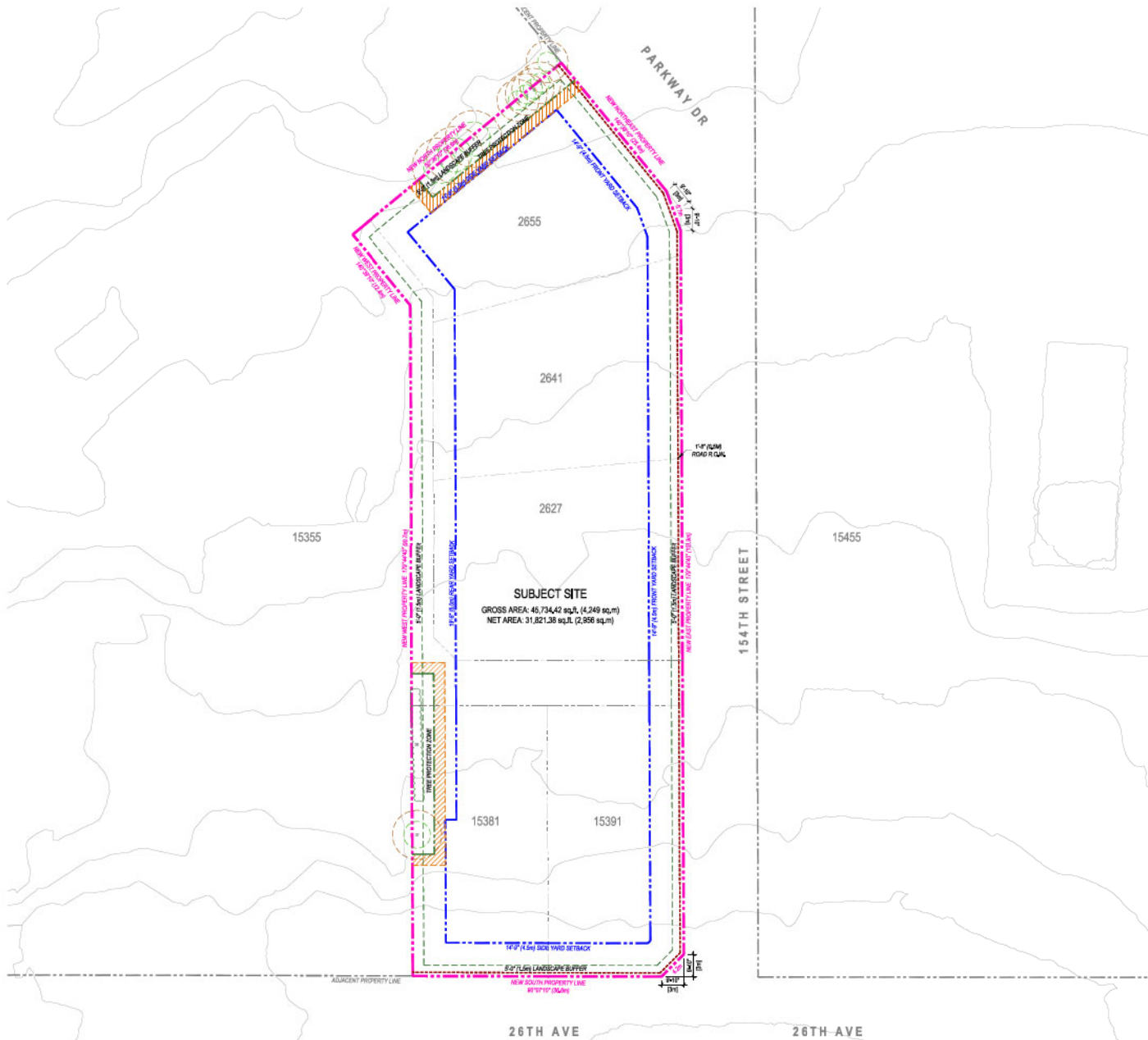
THESE DOCUMENTS ARE PREPARED BY THE ENGINEER OR ARCHITECT AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OR ARCHITECT. THE ENGINEER OR ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THEM BY OTHERS. THE ENGINEER OR ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT OR FOR THE SAFETY OF THE PROJECT. THE ENGINEER OR ARCHITECT IS NOT RESPONSIBLE FOR THE PERFORMANCE OF THE PROJECT.

PROJECT: 154TH STREET TOWNHOUSE DEVELOPMENT
 15381 & 15391 26TH AVE, 2627 & 2641 154TH ST, AND 2655 PARKWAY DR SURREY, BC

SITE CONTEXT PLAN
 A1.1 SCALE: 1/32" = 1'-0"
 TRUE NORTH PROJECT NORTH

| PROPERTY INFORMATION | |
|----------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ADDRESS: | 8381 & 15381 26 AVE, 2627 & 2641 154 ST, 2655 PARKWAY DRIVE SURREY, BC |
| LEGAL DESCRIPTION: | LOT 4 SECTION 22 TOWNSHIP 1 PLAN HWPODE HWLEGAL SUBDIVISIONS, LOT 5 SECTION 23 TOWNSHIP 1 PLAN HWPODE HW, LOT 6 SECTION 24 TOWNSHIP 1 PLAN HWPODE HW, LOT 7 SECTION 25 TOWNSHIP 1 PLAN HWPODE HW, LOT 8 SECTION 26 TOWNSHIP 1 PLAN HWPODE HW |
| PID: | 00-661-01, 00-474-001, 00-474-008, 00-474-01, 00-380-072 |

| SITE CONTEXT PLAN | |
|-------------------|---------------|
| SCALE: | 1/32" = 1'-0" |
| DATE: | 19-10-38 |
| PROJECT NO.: | A1.1 |



| PROPERTY INFORMATION | |
|----------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ADDRESS: | 8381 & 1538 26 AVE, 2627 & 2641 154 ST, 285 PARKWAY DRIVE SURREY, BC |
| LEGAL DESCRIPTION: | LOT A SECTION 25 TOWNSHIP 1 PLAN W/PPS OF ENE LEGAL SUBDIVISION, LOT B SECTION 25 TOWNSHIP 1 PLAN W/PPS OF ENE LEGAL SUBDIVISION, LOT C SECTION 25 TOWNSHIP 1 PLAN W/PPS OF ENE LEGAL SUBDIVISION, LOT D SECTION 25 TOWNSHIP 1 PLAN W/PPS OF ENE LEGAL SUBDIVISION |
| PID: | 00-60-01, 04-74-281, 04-74-282, 00-60-01, 00-60-01, 00-30-272 |



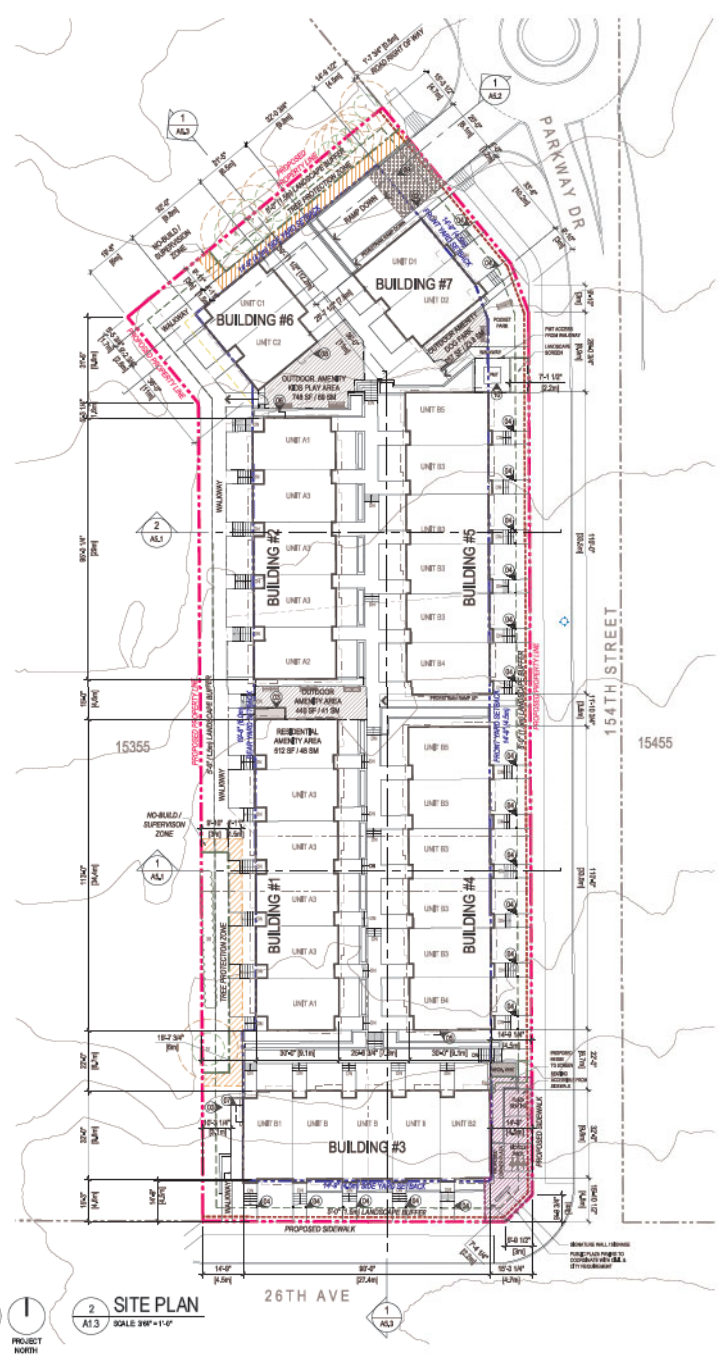
| REV | DATE | DESCRIPTION | DR | RV |
|-----|----------|----------------------------------|----|----|
| 7 | NOV 2021 | PROPOSED DEVELOPMENT FORM-RS1 | AI | AI |
| 6 | AUG 2021 | PROPOSED DEVELOPMENT FORM-RS1 | AI | AI |
| 5 | JAN 2021 | PROPOSED DEVELOPMENT FORM-RS1 | AI | AI |
| 4 | FEB 2021 | PROPOSED DEVELOPMENT TO COMMENTS | AI | AI |
| 3 | SEP 2020 | PROPOSED DEVELOPMENT | AI | VC |
| 2 | MAY 2020 | PROPOSED DEVELOPMENT | AI | VC |
| 1 | MAY 2019 | PROPOSED DEVELOPMENT | AI | AI |

PROJECT: 154TH STREET TOWNHOUSE DEVELOPMENT
 15381 & 15381 26TH AVE, 2627 & 2641 154TH ST, AND 285 PARKWAY DR SURREY, BC

| SITE TITLE | |
|----------------------|---------------------|
| SITE BASE PLAN | |
| SCALE: 3/64" = 1'-0" | PROJECT NO: 19-1038 |
| A1.2 | |

1 SITE BASE PLAN
 A1.2 SCALE: 3/64" = 1'-0"

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- ### CONSTRUCTION NOTES
- 01 PROPOSED SIGNAGE
 - 02 RAMP REES TO BE TREATED AS PER OFFICIAL COMMUNITY PLAN DEVELOPMENT PERMIT GUIDELINES FORM & CHARACTER, DP1 COMMON GUIDELINES
 - 03 EBIT STAIRS FROM THE UNDERGROUND PARKING LEVEL
 - 04 TYPICAL SLOPE DOWN 2% FOR ALL UNITS
 - 05 PROPOSED GAS METER (SERVICING BUILDING 1 & 4)
 - 06 PROPOSED GAS METER (SERVICING BUILDING 2 & 5)
 - 07 PROPOSED GAS METER (SERVICING BUILDING 3)
 - 08 PROPOSED GAS METER (SERVICING BUILDING 6 & 7)
 - 09 STAMPED CONCRETE
 - 10 PROPOSED PAINT LOCATION PAINT TO BE VISIBLY SCREENED BY MINIMUM SHLANDS GAINING. ACCESS DOORS SHALL NOT FACE THE STREET. WHEN WRAP IS NOT TO BE USED IN VIEW OF LANDSCAPE SCREENING.

2 SITE PLAN
SCALE 3/8" = 1'-0"
TRUE NORTH PROJECT NORTH

| PROPERTY INFORMATION | |
|----------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ADDRESS: | 1551 & 1551 26 AVE, 2027 & 2041 154 ST, 2028 PARKWAY DRIVE SURREY, BC |
| LEGAL DESCRIPTION: | LOT 4 SECTION 23 TOWNSHIP 1 PLAN W/10028 26 AVE LEGAL SUBDIVISION S, LOT 5 SECTION 23 TOWNSHIP 1 PLAN W/10028 26 AVE LEGAL SUBDIVISION S, LOT 6 SECTION 23 TOWNSHIP 1 PLAN W/10028 26 AVE LEGAL SUBDIVISION S, LOT 7 SECTION 23 TOWNSHIP 1 PLAN W/10028 26 AVE LEGAL SUBDIVISION S |
| PI: | 00601431, 00474630, 00740430, 00640441, 00334022 |

| ZONING INFORMATION | |
|----------------------------------------------|----------------------------------------------------------------------------------------------------------------------|
| EXISTING ZONING: | R1 - SINGLE FAMILY RESIDENTIAL |
| PROPOSED ZONING: | RM-30 MULTIPLE RESIDENTIAL |
| NOP DESIGNATION: | TOWNHOUSE (C/O.P.A.) |
| O.P.D. DESIGNATION: | MULTIPLE RESIDENTIAL |
| SITE AREA: | |
| GROSS SITE AREA: | 6,734.42 sq ft (4.28 ac. @ 65 m / 4.42 ha) |
| NET SITE AREA: | 6,465.83 sq ft (4.32 ac. @ 65 m / 4.42 ha) |
| BUILDING AREA: | |
| TOTAL BUILDING FOOTPRINT: | 16,641 sq ft (1,511 sqm) (EXCLUDING AMENITY) |
| TOTAL GROSS FLOOR AREA: | 35,348.89 sq ft (3,284 sqm) (EXCLUDING AMENITY) |
| EFFICIENCY: | |
| ALLOWABLE FAR: | 1.0 |
| PROPOSED FAR: | 5.24 sqm (57%) / 4,249 sqm (105%) = 6.17 |
| ALLOWABLE EFFICIENCY: | 20.0 sq ft / 75 sq ft |
| PROPOSED EFFICIENCY: | 28.5 sq ft / 173 sq ft |
| LOT COVERAGE: | |
| ALLOWABLE LOT COVERAGE: | 4% |
| PROPOSED LOT COVERAGE: | 36% |
| YARDS & SETBACKS: | |
| FRONT YARD (EAST): | 4.5m (15'-0") |
| REAR YARD (WEST): | 6.0m (20'-0") |
| SIDEYARD (NORTH): | 6.0m (20'-0") |
| SIDEYARD (SOUTH): | 4.5m (15'-0") |
| BUILDING HEIGHT: | |
| PRINCIPAL BUILDING (MAXIMUM): | 13.0m (43'-0") |
| PROPOSED BUILDING HEIGHT (TALLEST BUILDING): | 8.76m (29'-0") TBC |
| UNITS: | |
| TOTAL # OF UNITS: | 90 UNITS |
| AMENITY SPACE: | |
| INDOOR AMENITY REQUIRED AREA: | 31 UNITS X 3 sqm = 93 sqm / 1,000 sq ft |
| PROPOSED AREA: | 96 sqm / 1,034 sq ft (2 STOREYS) |
| OUTDOOR AMENITY REQUIRED AREA: | 31 UNITS X 3 sqm = 93 sqm / 1,000 sq ft |
| PROPOSED AREA: | 193 sqm / 2,082 sq ft |
| PARKING CALCULATIONS: | |
| REQUIRED SPACES: | 2.0 SPACES PER UNIT FOR RESIDENTS 0.2 SPACES PER UNIT FOR VISITORS |
| CALCULATIONS: | 31 UNITS X 2.0 = 62 SPACES FOR RESIDENTS 31 UNITS X 0.2 = 6.2 SPACES FOR VISITORS TOTAL REQUIRED = 68.2 SPACES |
| PROVIDED: | 69 SPACES (62 SPACES FOR RESIDENTS + 7 SPACES FOR VISITORS) |

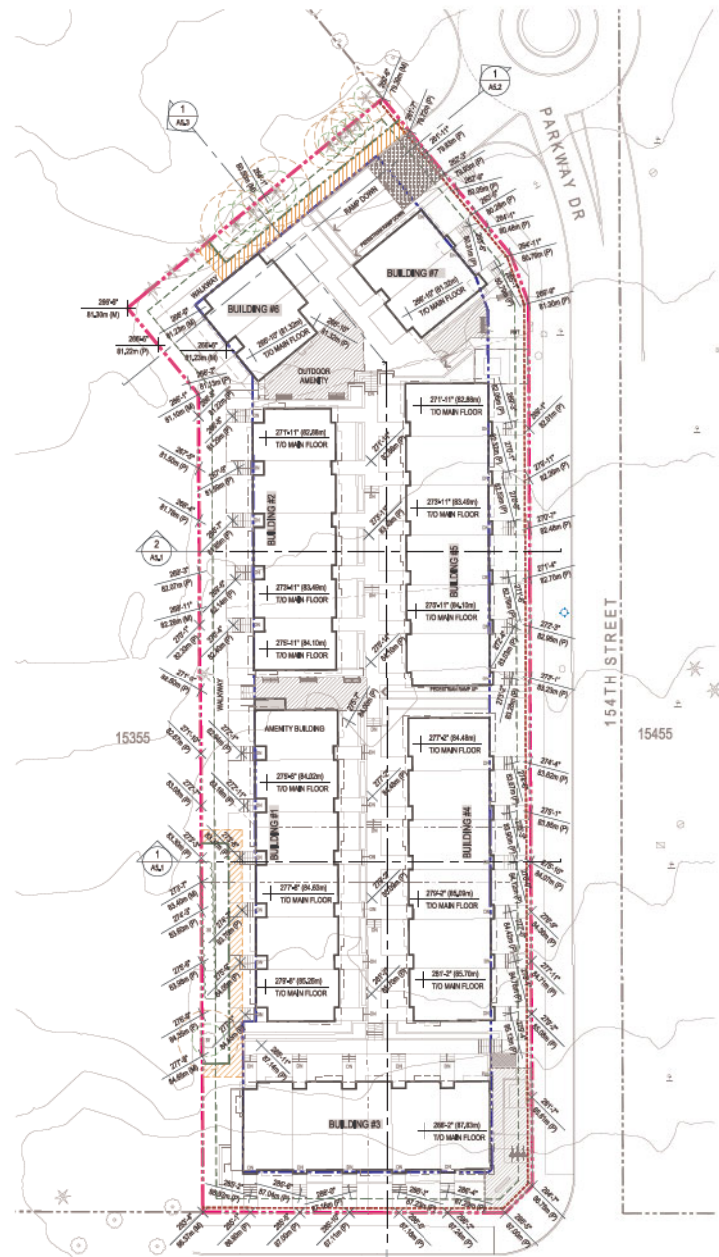
LEGEND:

- PROPERTY LINE
- BUILDING SETBACK (REQUIRED MINIMUM)
- LANDSCAPE BUFFER
- TREE PROTECTION ZONE
- ROADRIGHT OF WAY
- OUTDOOR AMENITY AREA
- TREE PROTECTION ZONE (TREES TO RETAIN)
- EXCAVATION BUFFER ZONE (1.1M)
- NO-BUILD / SUPERVISOR ZONE (1.1M)
- PROPOSED CORNER PLAZA



| REV | DATE | DESCRIPTION | DR | BY |
|-----|----------|--------------------------------------------|----|----|
| 7 | NOV 2021 | PROPOSED FOR DEVELOPMENT FORM-ROOF REAR AY | RS | VC |
| 6 | AUG 2021 | PROPOSED FOR DEVELOPMENT FORM-ROOF REAR AY | RS | VC |
| 5 | JAN 21 | PROPOSED FOR DEVELOPMENT FORM-ROOF REAR AY | RS | VC |
| 4 | FEB 21 | PROPOSED RESPONSE TO COMMENTS REAR AY | RS | VC |
| 3 | SEP 19 | PROPOSED FOR DEVELOPMENT FORM | RS | VC |
| 2 | MAR 19 | PROPOSED FOR DEVELOPMENT FORM | RS | VC |
| 1 | OCT 18 | PROPOSED FOR DEVELOPMENT FORM | RS | VC |

PROJECT: 154TH STREET TOWNHOUSE DEVELOPMENT
1551 & 1551 26TH AVE, 2027 & 2041 154TH ST, AND 2028 PARKWAY DR SURREY, BC
SHEET TITLE: SITE PLAN
SCALE: 3/8" = 1'-0"
PROJECT NO: 19-1038



TRUE NORTH
 PROJECT NORTH
 1 A1.3a SCALE 3/16" = 1'-0"
 SITE PLAN

| PROPERTY INFORMATION | |
|----------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ADDRESS | 1531 & 1535 26 AVE, 2627 & 2641 154 ST, 265 PARKWAY DRIVE SURREY, BC |
| LEGAL DESCRIPTION | LOT A SECTION 23 TOWNSHIP 1 PLAN HWPODCE IN VOLGICAL SUBDIVISION, LOT B SECTION 23 TOWNSHIP 1 PLAN HWPODCE IN VOLGICAL SUBDIVISION, LOT C SECTION 23 TOWNSHIP 1 PLAN HWPODCE IN VOLGICAL SUBDIVISION, LOT D SECTION 23 TOWNSHIP 1 PLAN HWPODCE IN VOLGICAL SUBDIVISION |
| PID | 08-68-01, 04-74-281, 007-66-05, 08-68-01, 02-39-272 |



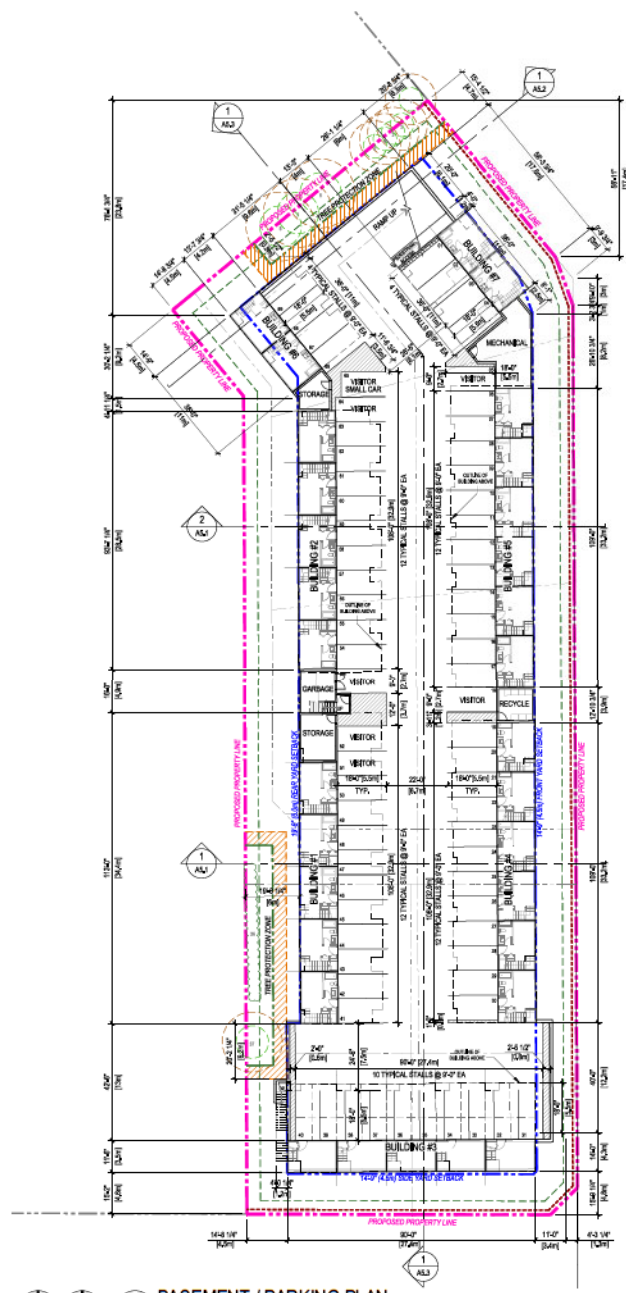
| 7 | NOV 2021 | REVISED FOR DEVELOPMENT PERMITS | RE | AV |
|-----|----------|---------------------------------|----|----|
| 6 | AUG 2021 | REVISED FOR DEVELOPMENT PERMITS | RE | AV |
| 5 | JAN 21 | REVISED FOR DEVELOPMENT PERMITS | RE | AV |
| 4 | FEB 21 | REVISED RESPONSE TO COMMENTS | RE | AV |
| 3 | SEP 19 | REVISED FOR DEVELOPMENT PERMITS | RE | VC |
| 2 | MAR 19 | REVISED FOR DEVELOPMENT PERMITS | RE | VC |
| 1 | OCT 18 | REVISED FOR DEVELOPMENT PERMITS | RE | AV |
| REV | DATE | DESCRIPTION | DR | BY |

DIMENSIONS AND SPACING OF ALL ELEMENTS OF SERVICE ARE TO BE VERIFIED BY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. ALL PERMITS TO BE OBTAINED.

PROJECT: 154TH STREET TOWNHOUSE DEVELOPMENT
 1531 & 1535 26 AVE, 2627 & 2641 154TH ST, AND 265 PARKWAY DR SURREY, BC

SHEET TITLE: SITE PLAN GRADING

| | | | |
|-------|---------------|-------------|---------|
| SCALE | 3/16" = 1'-0" | PERFORM | C |
| DATE | A1.3a | PROJECT NO. | 19-1038 |

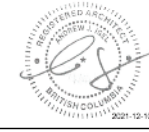


1 BASEMENT / PARKING PLAN
SCALE: 3/8" = 1'-0"



LEGEND:

- PROPERTY LINE
- BUILDING SETBACK (REQUIRED MINIMUM)
- LANDSCAPE BUFFER
- TREE PROTECTION ZONE
- ROAD RIGHT OF WAY
- PARKING LINES
- TREE PROTECTION ZONE (TREES TO RETAIN)
- EXCAVATION BUFFER ZONE (5 M)



| REV | DATE | DESCRIPTION | DR | BY |
|-----|----------|-------------------------------------------|-------|----|
| 7 | NOV 2021 | PROCESSED FOR DEVELOPMENT FROM-ROOF RECAP | AI | |
| 6 | AUG 2021 | PROCESSED FOR DEVELOPMENT FROM-ROOF RECAP | AI | |
| 5 | JAN 21 | PROCESSED FOR DEVELOPMENT FROM-ROOF RECAP | AI | |
| 4 | FEB 21 | PROCESSED RESPONSE TO COMMENTS | RECAP | AI |
| 3 | SEP 18 | PROCESSED FOR DEVELOPMENT FROM | RE | VC |
| 2 | MAY 18 | PROCESSED FOR DEVELOPMENT FROM | RE | VC |
| 1 | OCT 16 | PROCESSED FOR DEVELOPMENT FROM | RE | AI |

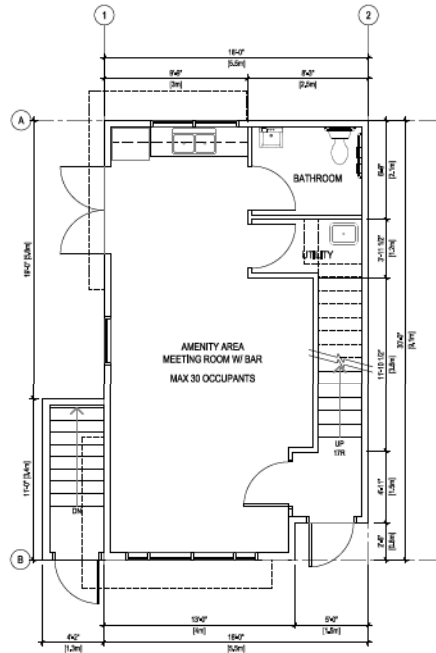
PROJECT:
**154TH STREET
TOWNHOUSE
DEVELOPMENT**

154th & 159th Street, 2027 &
2041 154th St. and 20th Rowlandy Dr
Surrey, BC

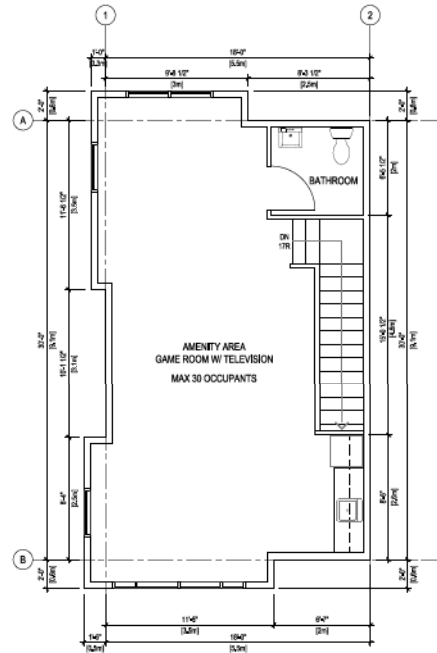
**UNDERGROUND
PARKING PLAN**

| SCALE | PROJECT NO. |
|--------------|-------------|
| 3/8" = 1'-0" | 19-1038 |

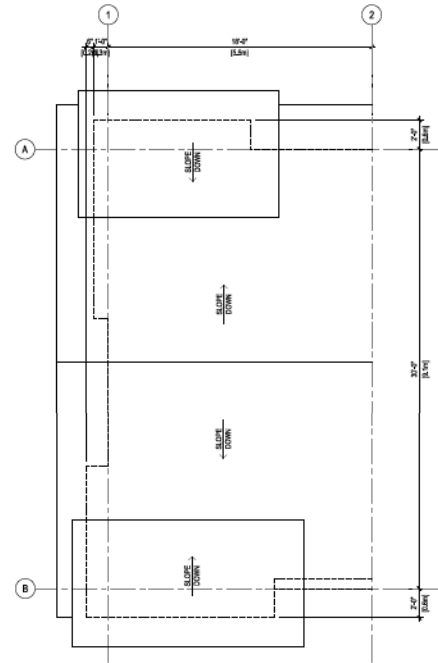
A1.4



1 GROUND LEVEL
A2.0 SCALE: 1/8" = 1'-0"



2 SECOND LEVEL
A2.0 SCALE: 1/8" = 1'-0"



4 ROOF LEVEL
A2.0 SCALE: 1/8" = 1'-0"



| REV | DATE | DESCRIPTION | DR | BY |
|-----|------------|------------------------------------|----|----|
| 7 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM-RSVP | RF | VC |
| 6 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM-RSVP | RF | VC |
| 5 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM-RSVP | RF | VC |
| 4 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM-RSVP | RF | VC |
| 3 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM-RSVP | RF | VC |
| 2 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM-RSVP | RF | VC |
| 1 | 2021-12-10 | ISSUED FOR PERMITTING | DR | RF |

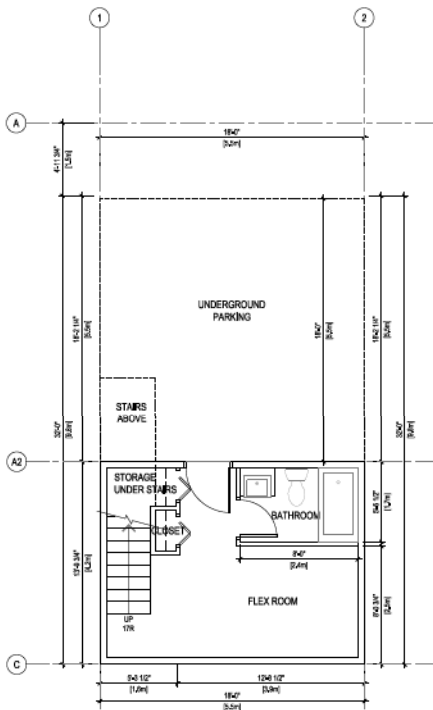
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PROJECT:
154TH STREET
TOWNHOUSE
DEVELOPMENT
15051 & 15051 20TH AVE, 2027 &
2041 154TH ST, AND 2050 HIGHWAY 10
SURREY, BC

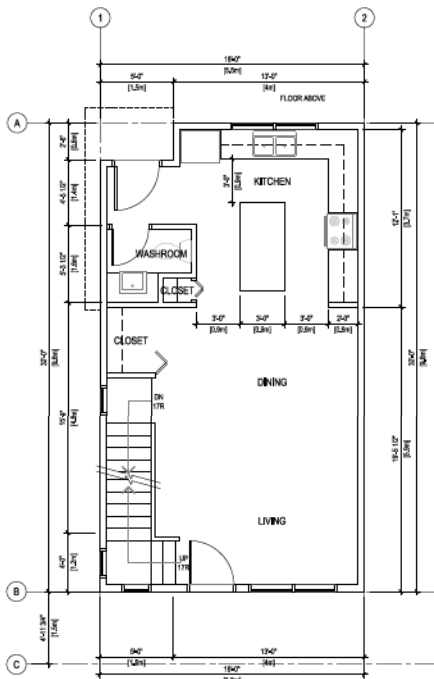
SHEET TITLE:
**UNIT A
FLOOR PLANS
(AMENITY)**

| SCALE | PROJECT NO. |
|--------------|-------------|
| 1/8" = 1'-0" | 19-1038 |

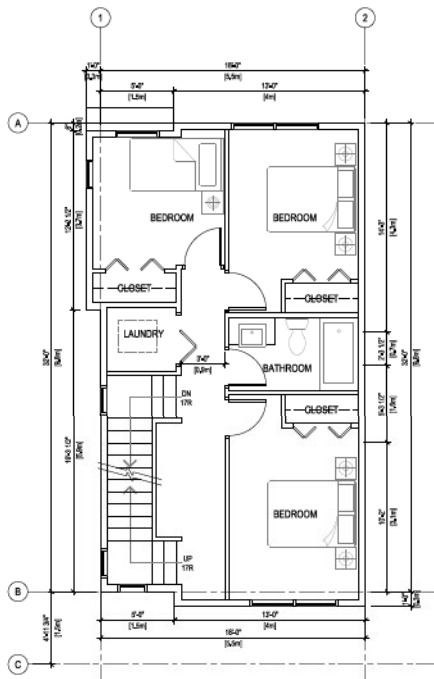
| DATE | REVISION |
|------|----------|
| A2.0 | 19-1038 |



1 PARKING LEVEL
A2.11a / SCALE: 1/4" = 1'-0"



2 GROUND LEVEL
A2.11a / SCALE: 1/4" = 1'-0"



3 SECOND LEVEL
A2.11a / SCALE: 1/4" = 1'-0"



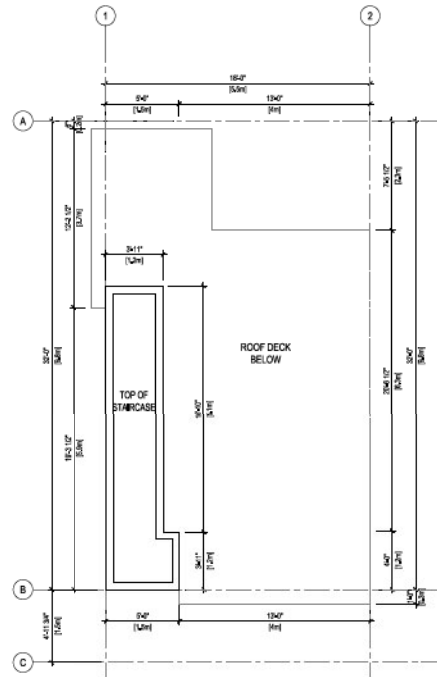
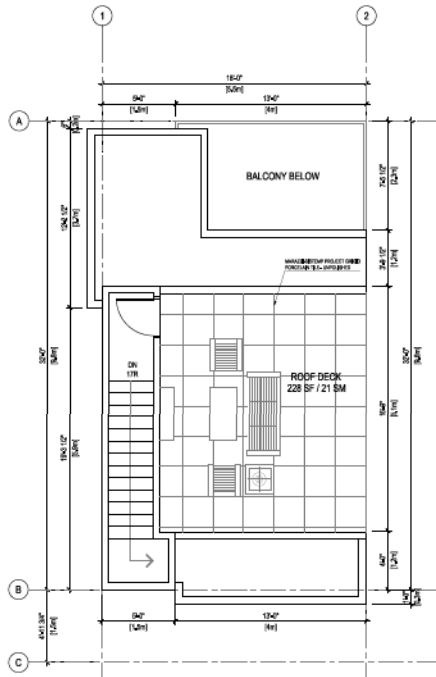
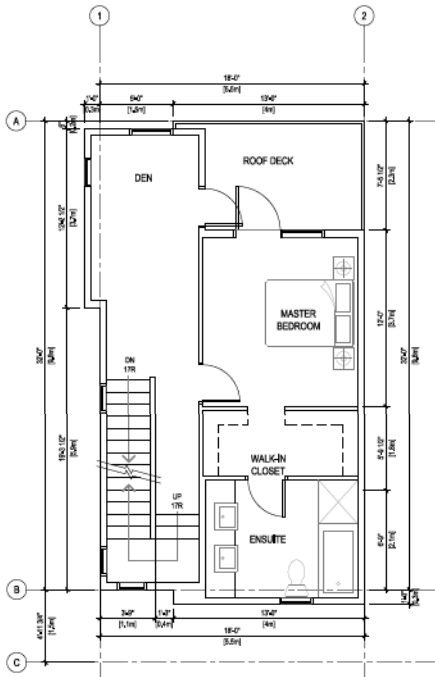
| | | | | |
|------|-----------|------------------------------------|-----|----|
| 7 | REV. 2021 | PROPOSED FOR DEVELOPMENT FORM-R001 | RF | AI |
| 6 | REV. 2021 | PROPOSED FOR DEVELOPMENT FORM-R001 | RF | AI |
| 5 | REV. 2021 | PROPOSED FOR DEVELOPMENT FORM-R001 | RF | AI |
| 4 | REV. 2021 | PROPOSED FOR DEVELOPMENT FORM-R001 | RF | AI |
| 3 | REV. 2021 | PROPOSED FOR DEVELOPMENT FORM-R001 | RF | AI |
| 2 | REV. 2021 | PROPOSED FOR DEVELOPMENT FORM-R001 | RF | AI |
| 1 | REV. 2021 | PROPOSED FOR DEVELOPMENT FORM-R001 | RF | AI |
| REV. | DATE | DESCRIPTION | DR. | BY |

PROJECT:
**154TH STREET
TOWNHOUSE
DEVELOPMENT**
150th & 150th 2nd Ave, 2027 &
2041 154th St, and 20th Rowley Dr
SURREY, BC

SHEET TITLE:
**UNIT C1
FLOOR PLANS**

| | | | |
|-----------|--------------|------------|---------|
| SCALE: | 1/4" = 1'-0" | PROJ. NO.: | 19-1038 |
| DATE: | | PROJ. NO.: | |
| REVISION: | | PROJ. NO.: | |

M:\2020\19-1038\19-1038-ARCHITECT\PLAN\Production\19-1038-C1 - C1 Floor Plans.dwg, 2021-12-10, 10:58:51 AM, 10/10/2021



| | | | |
|---|-----------|---------------------------------------|---------|
| 7 | REV. 2021 | PROPOSED FOR DEVELOPMENT FROM ROOF AI | AI |
| 6 | REV. 2021 | PROPOSED FOR DEVELOPMENT FROM ROOF AI | AI |
| 5 | REV. 2021 | PROPOSED FOR DEVELOPMENT FROM ROOF AI | AI |
| 4 | REV. 2021 | PROPOSED FOR DEVELOPMENT FROM ROOF AI | AI |
| 3 | REV. 2021 | PROPOSED FOR DEVELOPMENT FROM ROOF AI | AI |
| 2 | REV. 2021 | PROPOSED FOR DEVELOPMENT FROM ROOF AI | AI |
| 1 | DATE | DESCRIPTION | DR / RW |

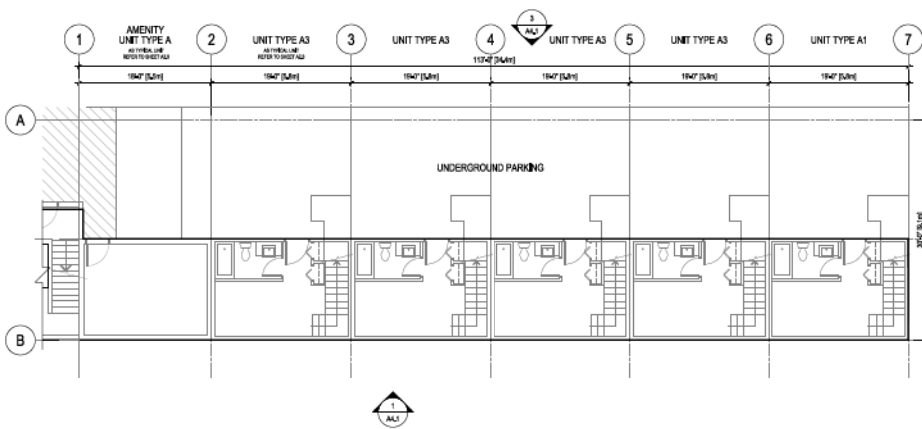
THE PROFESSIONAL ENGINEER OF BRITISH COLUMBIA HAS REVIEWED THESE PLANS AND FOUND THEM TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL ENGINEERING ACT AND THE REGULATIONS THEREUNDER. THIS REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLANS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON. THE ENGINEER ACCEPTS NO LIABILITY FOR ANY DAMAGE OR LOSS OF ANY KIND, INCLUDING REASONABLE AND CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THESE PLANS. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.

PROJECT:
154TH STREET
TOWNHOUSE
DEVELOPMENT
150M² & 150M² 20TH AVE, 2027A
2041 154TH ST, AND 2028 PARKWAY DR
SURREY, BC

SHEET TITLE:
**UNIT C1
FLOOR PLANS**

| | |
|------------------------|----------------------|
| SCALE: 1/8" = 1'-0" | PROJ. NO. C1 |
| DATE: 19-10-38 | PROJ. NO. 19-1038 |

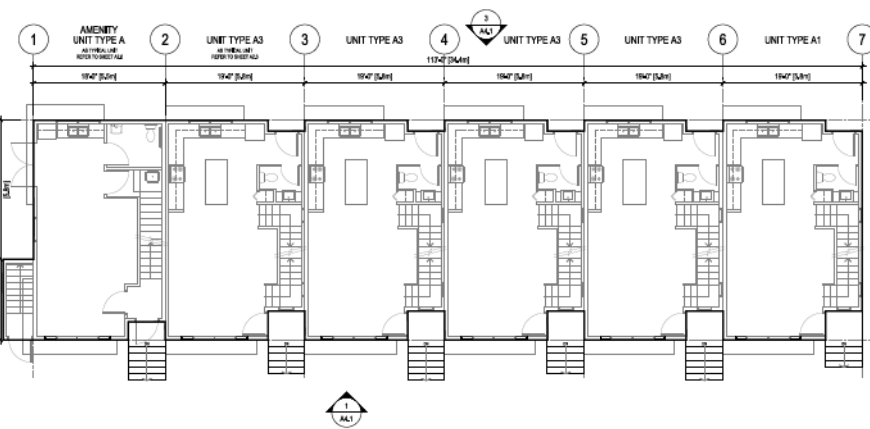
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1 PARKING LEVEL
A2.13 / SCALE 1/8" = 1'-0"

TRUE NORTH

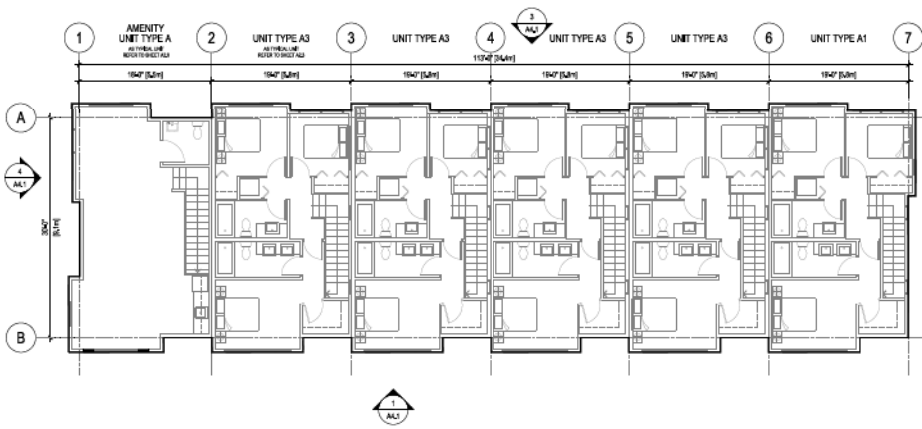
PROJECT NORTH



2 GROUND LEVEL
A2.13 / SCALE 1/8" = 1'-0"

TRUE NORTH

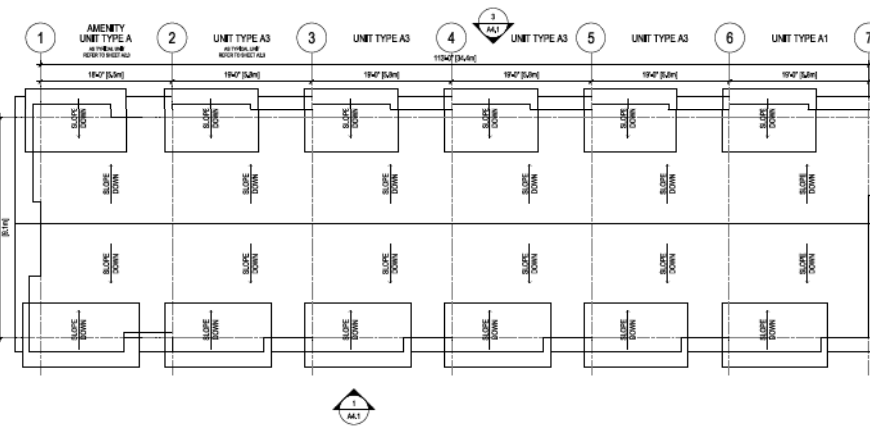
PROJECT NORTH



3 SECOND LEVEL
A2.13 / SCALE 1/8" = 1'-0"

TRUE NORTH

PROJECT NORTH



4 ROOF LEVEL
A2.13 / SCALE 1/8" = 1'-0"

TRUE NORTH

PROJECT NORTH



| REV | DATE | DESCRIPTION | DR | RV |
|-----|----------|----------------------------------------------|----|----|
| 7 | NOV 2021 | PROCESSED FOR DEVELOPMENT FORM-ROOF FLOOR PL | AM | VC |
| 6 | AUG 2021 | PROCESSED FOR DEVELOPMENT FORM-ROOF FLOOR PL | AM | VC |
| 5 | JAN 21 | PROCESSED FOR DEVELOPMENT FORM-ROOF FLOOR PL | AM | VC |
| 4 | FEB 21 | PROCESSED RESPONSE TO COMMENTS - FLOOR PL | AM | VC |
| 3 | MAY 2020 | PROCESSED FOR DEVELOPMENT FORM | AM | VC |
| 2 | MAY 2020 | PROCESSED FOR DEVELOPMENT FORM | AM | VC |
| 1 | JAN 20 | ISSUED FOR CONSTRUCTION | AM | VC |

DATE: 11/01/2021 10:58 AM
 PROJECT: 154TH STREET TOWNHOUSE DEVELOPMENT
 SHEET TITLE: BUILDING FLOOR PLANS - BLDG 1 -
 SCALE: 1/8" = 1'-0"
 DRAWING NO.: A2.13
 PROJECT NO.: 19-1038

KEYPLAN



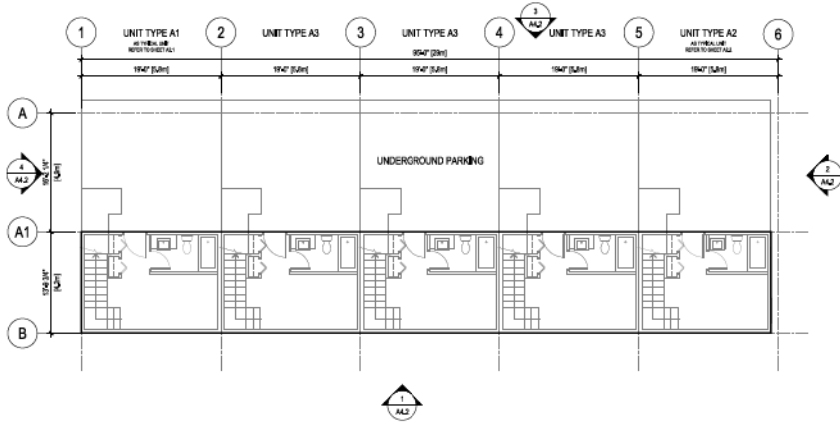
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|-----|----------|------------------------------------------|------------------------------------------|----|
| 7 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM-FLOOR PLAN | AM | VC |
| 6 | AM | REV 2021 | PROVIDED FOR DEVELOPMENT FORM-FLOOR PLAN | AM |
| 5 | AM | REV 21 | PROVIDED FOR DEVELOPMENT FORM-FLOOR PLAN | AM |
| 4 | REV 21 | PROVIDED RESPONSE TO COMMENTS | AM | VC |
| 3 | AM | REV 20 | PROVIDED FOR DEVELOPMENT FORM | AM |
| 2 | AM | REV 19 | PROVIDED FOR DEVELOPMENT FORM | AM |
| 1 | AM | REV 18 | PROVIDED FOR DEVELOPMENT FORM | AM |
| REV | DATE | DESCRIPTION | DR | RV |

DISCLAIMER: THIS PLAN IS A PRELIMINARY DESIGN. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THIS PLAN. ALL INFORMATION IS TO BE VERIFIED BY THE CLIENT. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THIS PLAN. ALL INFORMATION IS TO BE VERIFIED BY THE CLIENT. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREIN.

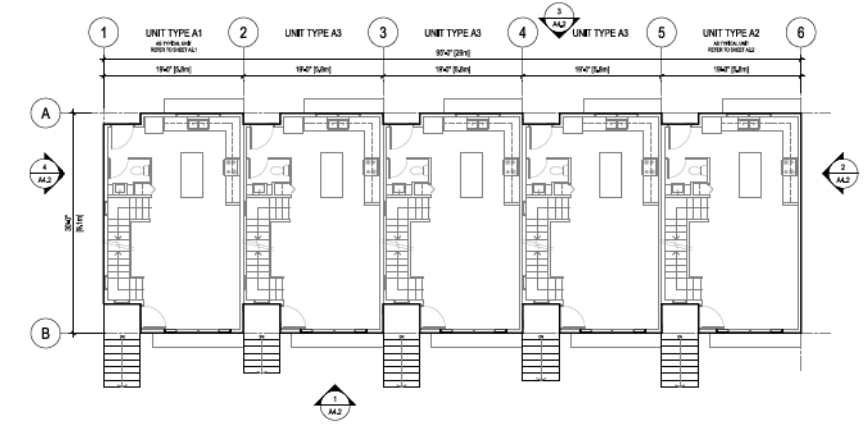
PROJECT: **154TH STREET TOWNHOUSE DEVELOPMENT**
15041 & 15041 1/2 AVENUE, 2027 & 2041 154TH ST, AND 2058 ROADWAY OR SURREY, BC

BUILDING FLOOR PLANS - BLDG 2 -

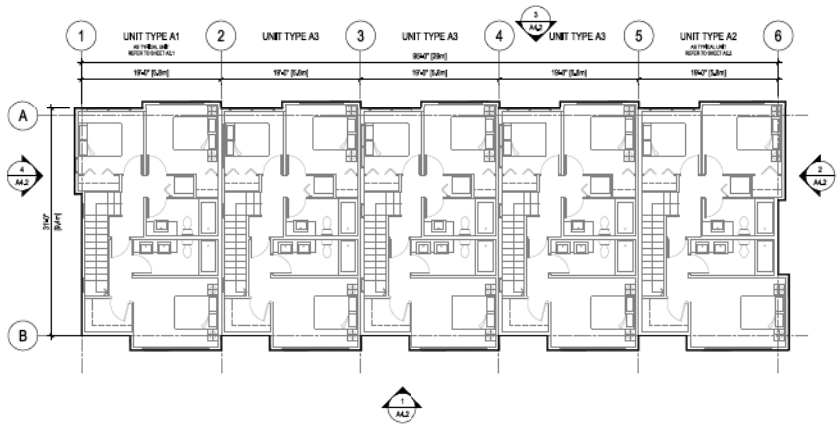
| | |
|---------------------|--------------|
| SCALE: 1/8" = 1'-0" | REVISION: 01 |
| A2.14 | 19-1038 |



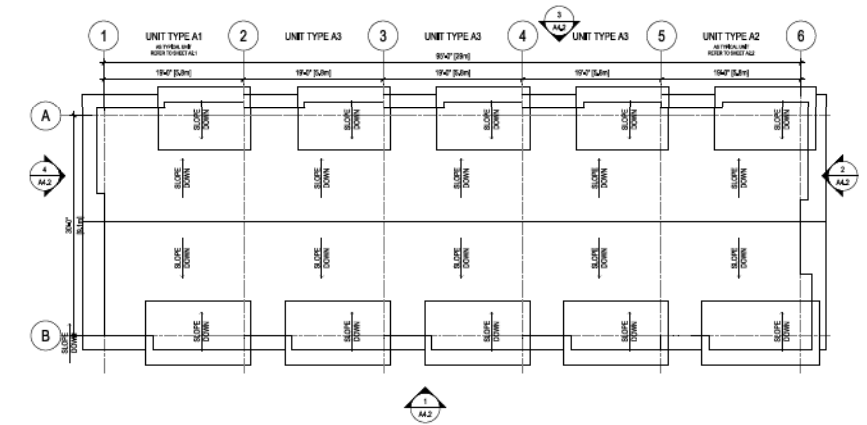
1 PARKING LEVEL
A2.14 / SCALE 1/8" = 1'-0"
TRUE NORTH PROJECT NORTH



2 GROUND LEVEL
A2.14 / SCALE 1/8" = 1'-0"
TRUE NORTH PROJECT NORTH

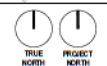
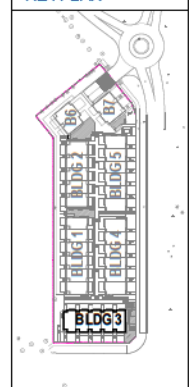


3 SECOND LEVEL
A2.14 / SCALE 1/8" = 1'-0"
TRUE NORTH PROJECT NORTH



4 ROOF LEVEL
A2.14 / SCALE 1/8" = 1'-0"
TRUE NORTH PROJECT NORTH

KEYPLAN



2021-12-10

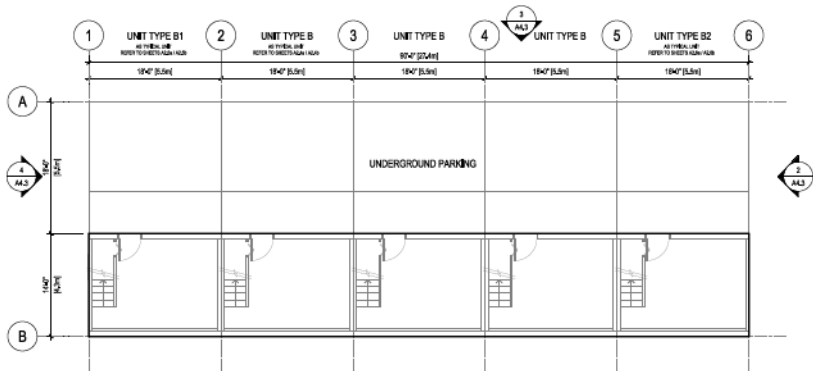
| | | | | |
|-----|----------|--------------------------------|----|----|
| 7 | REV 2021 | PROPOSED DEVELOPMENT FORM-RSHP | RF | AI |
| 6 | REV 2021 | PROPOSED DEVELOPMENT FORM-RSHP | RF | AI |
| 5 | REV 21 | PROPOSED DEVELOPMENT FORM-RSHP | RF | AI |
| 4 | REV 21 | PROPOSED RESPONSE TO COMMENTS | RF | AI |
| 3 | REV 18 | PROPOSED RESPONSE TO COMMENTS | RF | VC |
| 2 | REV 18 | PROPOSED RESPONSE TO COMMENTS | RF | VC |
| 1 | ISSUE 01 | ISSUE FOR CONCEPT REVIEW | RF | AI |
| REV | DATE | DESCRIPTION | DR | BY |

PROJECT:
**154TH STREET
TOWNHOUSE
DEVELOPMENT**

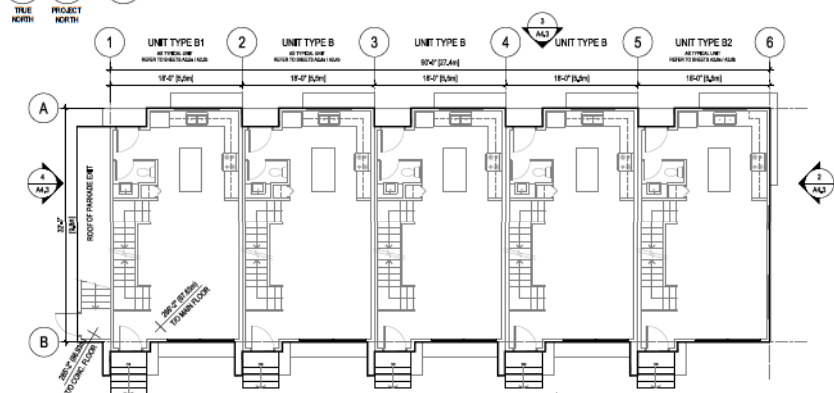
15041 & 15041 20TH AVE, 2027 &
2041 154TH ST, AND 2008 ROADWAY OR
SURREY, BC

DESCRIPTION:
**BUILDING
FLOOR PLANS
- BLDG 3 -**

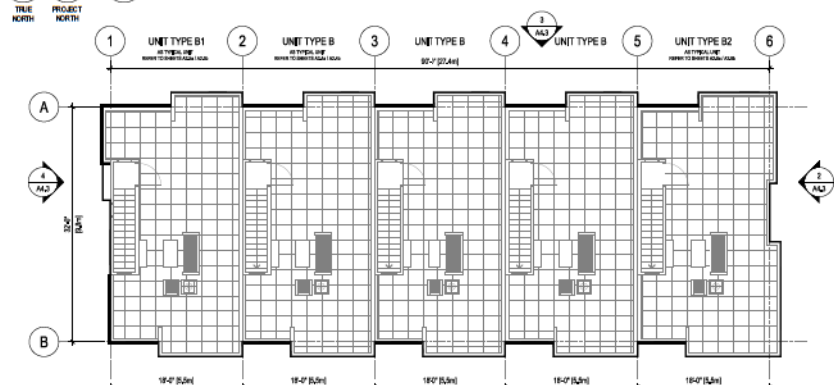
| | | | |
|-------|--------------|-------------|---------|
| SCALE | 1/8" = 1'-0" | PROJECT NO. | 19-1038 |
| DATE | A2.15 | ISSUE NO. | 19-1038 |



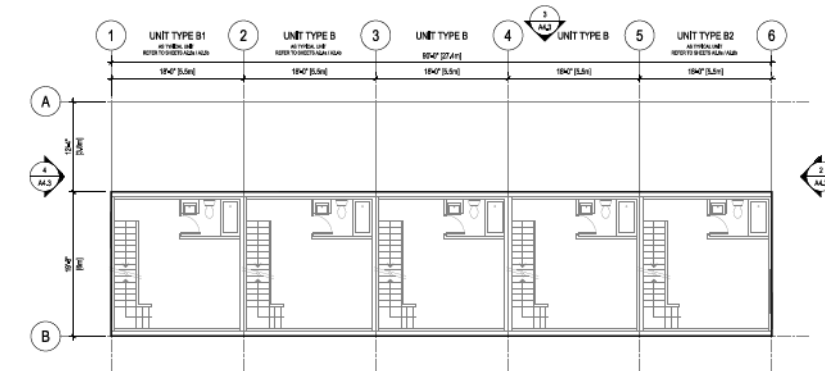
1 PARKING LEVEL
A2.15 / SCALE 1/8" = 1'-0"



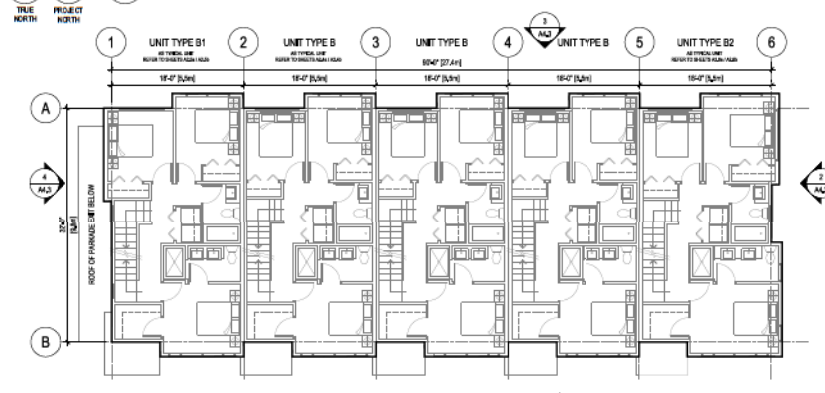
2 GROUND LEVEL
A2.15 / SCALE 1/8" = 1'-0"



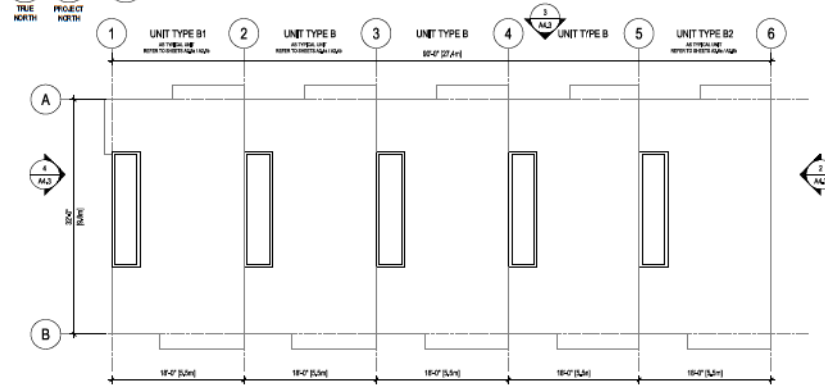
4 ROOF DECK
A2.15 / SCALE 1/8" = 1'-0"



2 BASEMENT LEVEL
A2.15 / SCALE 1/8" = 1'-0"



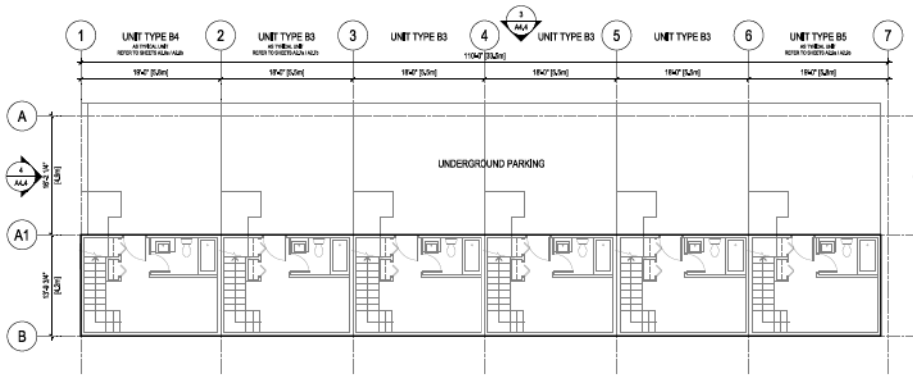
3 SECOND LEVEL
A2.15 / SCALE 1/8" = 1'-0"



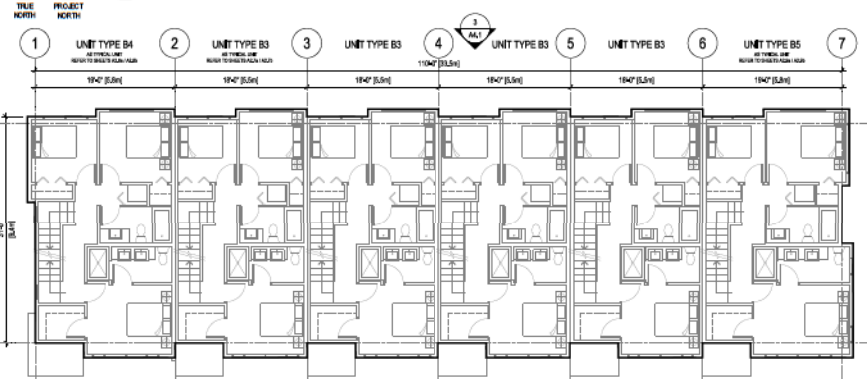
5 ROOF LEVEL
A2.15 / SCALE 1/8" = 1'-0"



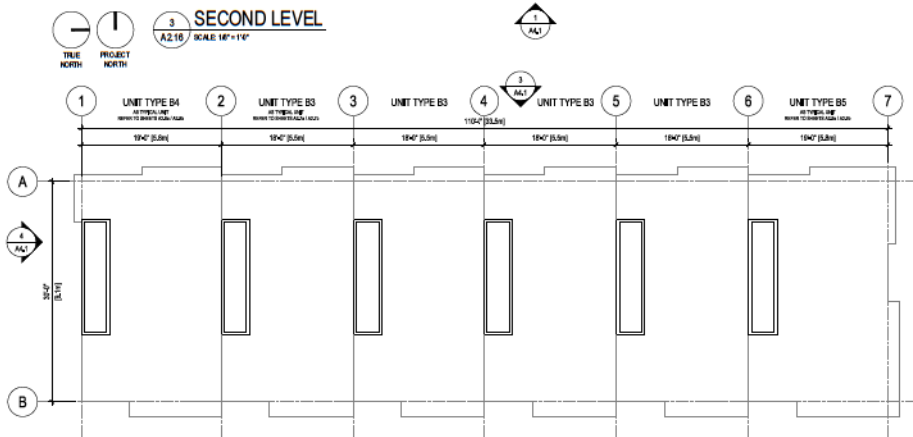
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1 PARKING LEVEL
A2.16 / SCALE 1/8" = 1'-0"



2 GROUND LEVEL
A2.16 / SCALE 1/8" = 1'-0"



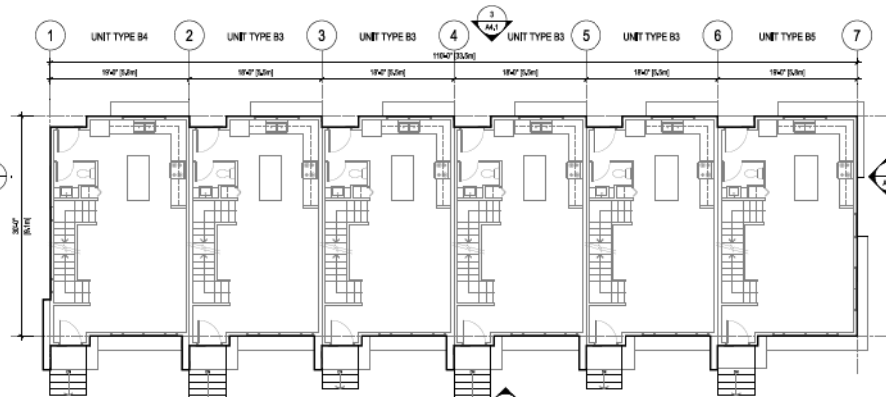
3 SECOND LEVEL
A2.16 / SCALE 1/8" = 1'-0"



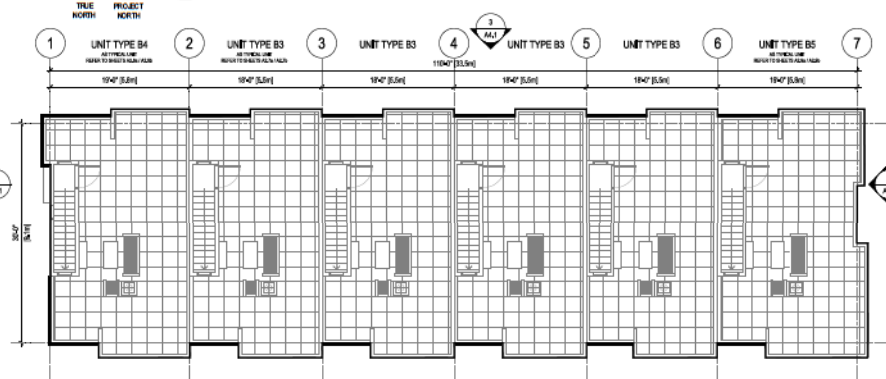
4 ROOF DECK
A2.16 / SCALE 1/8" = 1'-0"



5 ROOF LEVEL
A2.16 / SCALE 1/8" = 1'-0"



2 GROUND LEVEL
A2.16 / SCALE 1/8" = 1'-0"



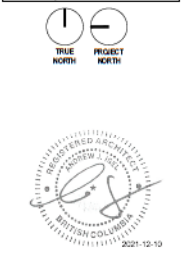
3 SECOND LEVEL
A2.16 / SCALE 1/8" = 1'-0"



4 ROOF DECK
A2.16 / SCALE 1/8" = 1'-0"



5 ROOF LEVEL
A2.16 / SCALE 1/8" = 1'-0"



| 7 | REV 2021 | PROPOSED FOR DEVELOPMENT FLOOR PLAN | RF | AI |
|-----|----------|-------------------------------------|----|----|
| 6 | REV 2021 | PROPOSED FOR DEVELOPMENT FLOOR PLAN | RF | AI |
| 5 | REV 2021 | PROPOSED FOR DEVELOPMENT FLOOR PLAN | RF | AI |
| 4 | REV 20 | PROPOSED FOR DEVELOPMENT FLOOR PLAN | RF | AI |
| 3 | REV 16 | PROPOSED FOR DEVELOPMENT FLOOR PLAN | RF | VC |
| 2 | REV 16 | PROPOSED FOR DEVELOPMENT FLOOR PLAN | RF | VC |
| 1 | REV 16 | PROPOSED FOR DEVELOPMENT FLOOR PLAN | RF | AI |
| REV | DATE | DESCRIPTION | DR | RV |

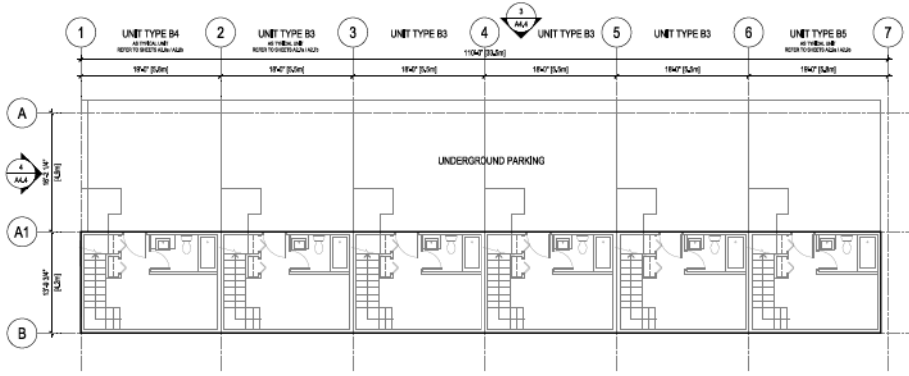
DESIGNATED PROFESSIONAL ARCHITECT, ARCHITECTURE ACT, BRITISH COLUMBIA
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PROJECT:
154TH STREET TOWNHOUSE DEVELOPMENT

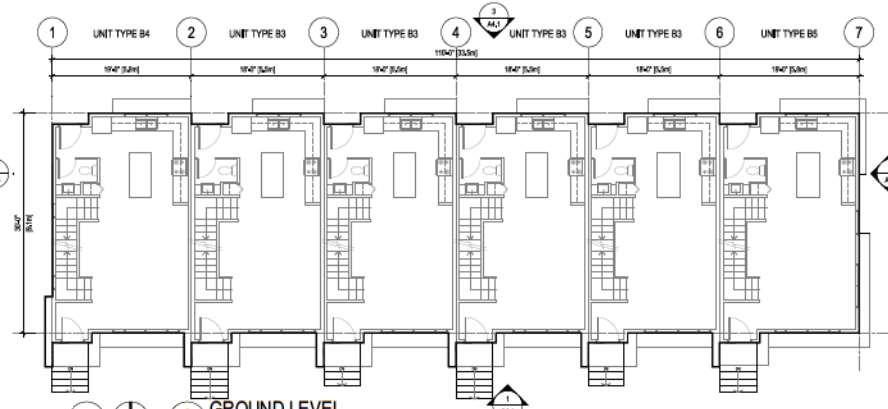
154th & 159th Street, 2027 & 2041 154th St. and 2050 Broadway OR SURREY, BC

SHEET TITLE:
BUILDING FLOOR PLANS - BLDG 4 -

| | |
|------------------------------|-----------------------------|
| SCALE 1/8" = 1'-0" | REVISED Q |
| A2.16 | PROJ. NO. 19-1038 |



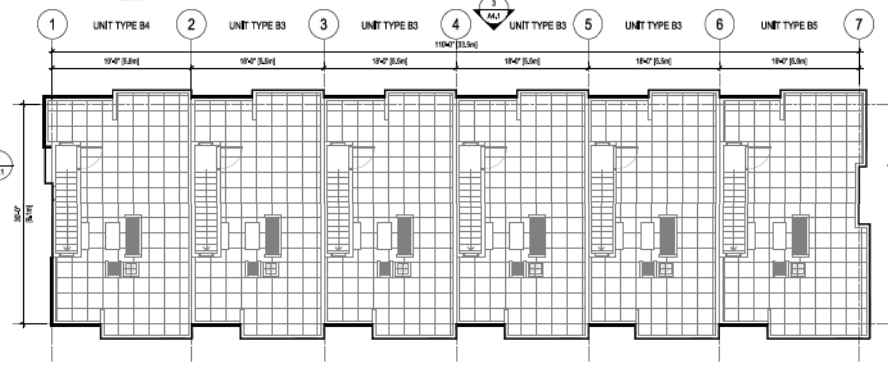
1 PARKING LEVEL
 A2.17 SCALE 1/8" = 1'-0"
 TRUE NORTH PROJECT NORTH



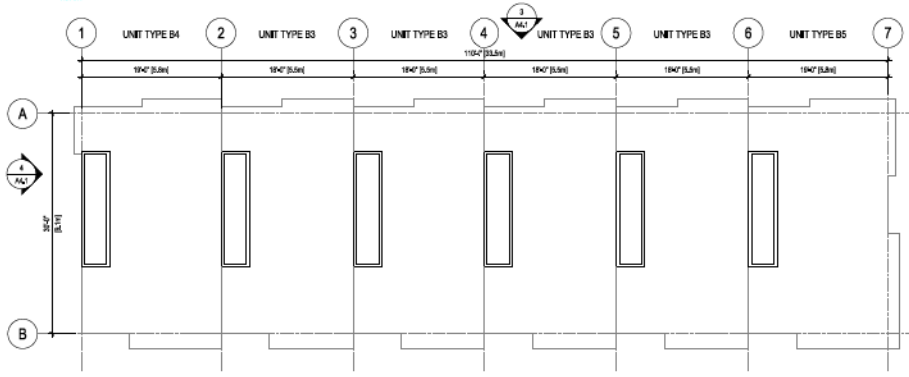
2 GROUND LEVEL
 A2.17 SCALE 1/8" = 1'-0"
 TRUE NORTH PROJECT NORTH



3 SECOND LEVEL
 A2.17 SCALE 1/8" = 1'-0"
 TRUE NORTH PROJECT NORTH



4 ROOF DECK
 A2.17 SCALE 1/8" = 1'-0"
 TRUE NORTH PROJECT NORTH



5 ROOF LEVEL
 A2.17 SCALE 1/8" = 1'-0"
 TRUE NORTH PROJECT NORTH



| 7 | REV A2.17 | PROPOSED FOR DEVELOPMENT FORM-RS-RS | RF | AI |
|-----|-----------|-------------------------------------|----|----|
| 6 | REV A2.17 | PROPOSED FOR DEVELOPMENT FORM-RS-RS | RF | AI |
| 5 | REV A2.17 | PROPOSED FOR DEVELOPMENT FORM-RS-RS | RF | AI |
| 4 | REV A2.17 | PROPOSED FOR DEVELOPMENT FORM-RS-RS | RF | AI |
| 3 | REV A2.17 | PROPOSED FOR DEVELOPMENT FORM-RS-RS | RF | AI |
| 2 | REV A2.17 | PROPOSED FOR DEVELOPMENT FORM-RS-RS | RF | AI |
| 1 | REV A2.17 | PROPOSED FOR DEVELOPMENT FORM-RS-RS | RF | AI |
| REV | DATE | DESCRIPTION | DR | RV |

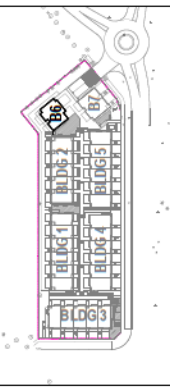
PROJECT: **154TH STREET TOWNHOUSE DEVELOPMENT**
 15041 & 15041 20TH AVE, 2027 & 2041 154TH ST, AND 2008 HURONWAY DR SURREY, BC

SHEET TITLE: **BUILDING FLOOR PLANS - BLDG 5 -**

| | |
|---------------------|---------------------|
| SCALE: 1/8" = 1'-0" | REVISED: Q3 |
| A2.17 | PROJECT NO: 19-1038 |

19-1038-BLDG 5 - 154TH STREET TOWNHOUSE DEVELOPMENT - ARCHITECTURAL FLOOR PLANS - BLDG 5 - 2021-12-10

KEYPLAN



| 7 | REV 2021 | PROPOSED FOR DEVELOPMENT FORM-RS1 | RF | AI |
|-----|----------|-----------------------------------|----|----|
| 8 | REV 2021 | PROPOSED FOR DEVELOPMENT FORM-RS1 | RF | AI |
| 9 | REV 21 | PROPOSED FOR DEVELOPMENT FORM-RS1 | RF | AI |
| 4 | REV 21 | PROPOSED RESPONSE TO COMMENTS | RF | AI |
| 3 | REV 18 | PROPOSED FOR DEVELOPMENT | RF | VC |
| 2 | REV 18 | PROPOSED FOR DEVELOPMENT | RF | VC |
| 1 | REV 18 | PROPOSED FOR DEVELOPMENT | RF | AI |
| REV | DATE | DESCRIPTION | DR | BY |

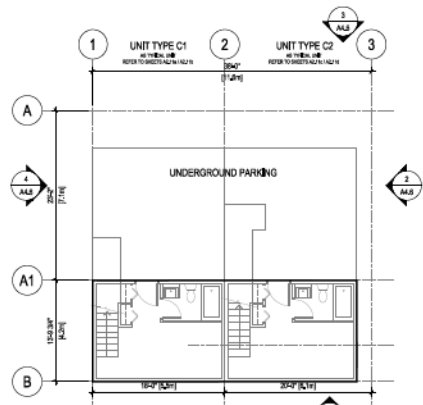
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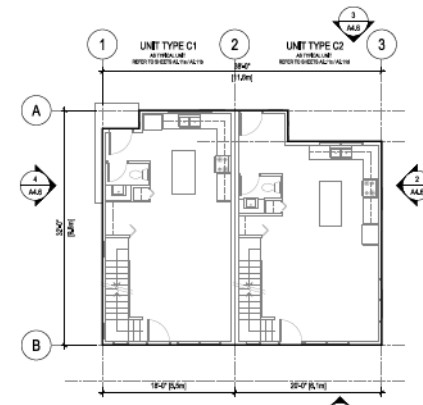
PROJECT: **154TH STREET TOWNHOUSE DEVELOPMENT**
150W & 150N1 154TH AVE, 2027 & 2041 154TH ST, AND 205B ROADWAY OR SURREY, BC

SHEET TITLE: **BUILDING FLOOR PLANS - BLDG 6 -**

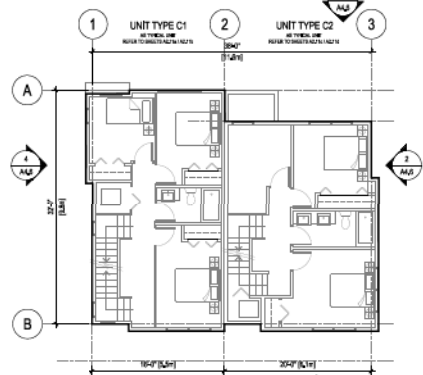
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|---------------------|---------------------|
| SCALE: 1/8" = 1'-0" | PERFORMED: Q |
| DATE: A2.18 | PROJECT NO: 19-1038 |



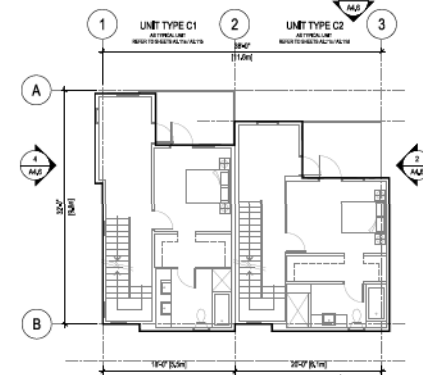
1 PARKING LEVEL
A2.18 SCALE: 1/8" = 1'-0"



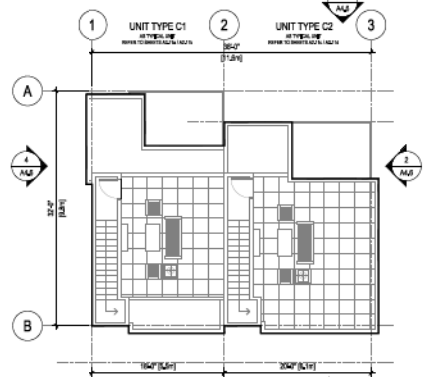
2 GROUND LEVEL
A2.18 SCALE: 1/8" = 1'-0"



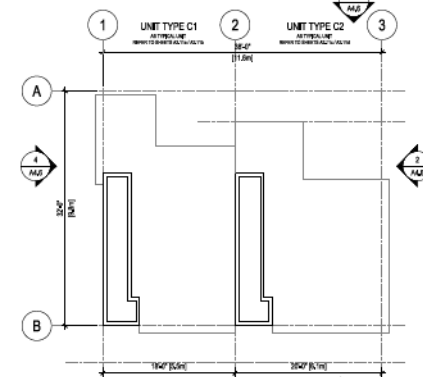
3 SECOND LEVEL
A2.18 SCALE: 1/8" = 1'-0"



4 THIRD LEVEL
A2.18 SCALE: 1/8" = 1'-0"



5 ROOF DECK
A2.18 SCALE: 1/8" = 1'-0"



6 ROOF LEVEL
A2.18 SCALE: 1/8" = 1'-0"



M:\2019\19-1038\ARCHITECT\DWG\19-1038-A2.18-Bldg6-Floor Plans.dwg, 2021-12-10 10:52:42 AM, P:\Bldg6

KEYPLAN



| | | | | |
|-----|------------|-------------------------------------|----|----|
| 7 | REV 2021 | PROPOSED FOR DEVELOPMENT FLOOR PLAN | RF | AI |
| 6 | REV 2021 | PROPOSED FOR DEVELOPMENT FLOOR PLAN | RF | AI |
| 5 | REV 21 | PROPOSED FOR DEVELOPMENT FLOOR PLAN | RF | AI |
| 4 | REV 21 | PROPOSED FOR DEVELOPMENT COMMENTS | RF | AI |
| 3 | REV 18 | PROPOSED FOR DEVELOPMENT | RF | VC |
| 2 | MAINTAINED | PROPOSED FOR DEVELOPMENT | RF | VC |
| 1 | ISSUED | FOR CONSTRUCTION | RF | AI |
| REV | DATE | DESCRIPTION | DR | BY |

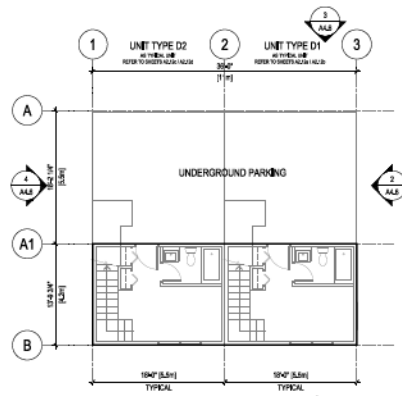
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PROJECT:
154TH STREET
TOWNHOUSE
DEVELOPMENT

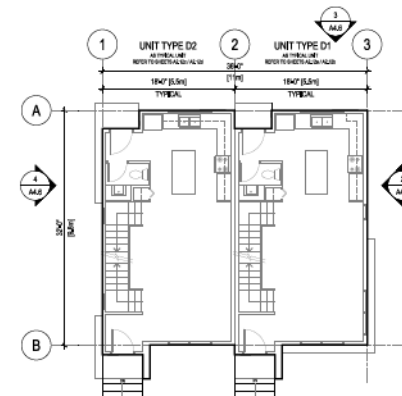
15081 & 15091 154TH AVE, 2027 &
2041 154TH ST, AND 2050 HURDWAY DR
SURREY, BC

SHEET TITLE:
**BUILDING
FLOOR PLANS
- BLDG 7 -**

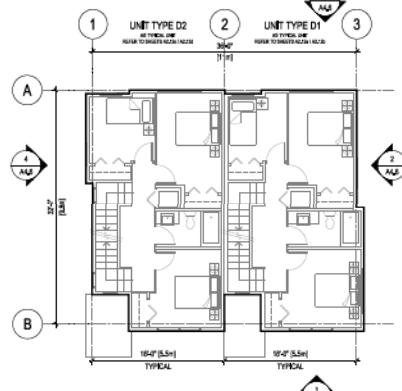
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|------------|--------------|-------------|---------|
| SCALE | 1/8" = 1'-0" | PERMANENT | 0 |
| DEPARTMENT | A2.19 | PROJECT NO. | 19-1038 |



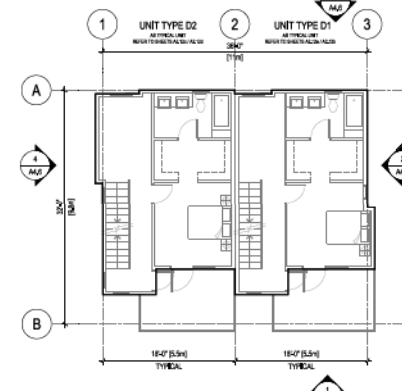
1 PARKING LEVEL
A2.19 SCALE: 1/8" = 1'-0"



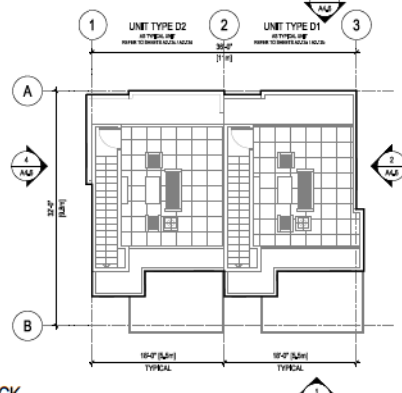
2 GROUND LEVEL
A2.19 SCALE: 1/8" = 1'-0"



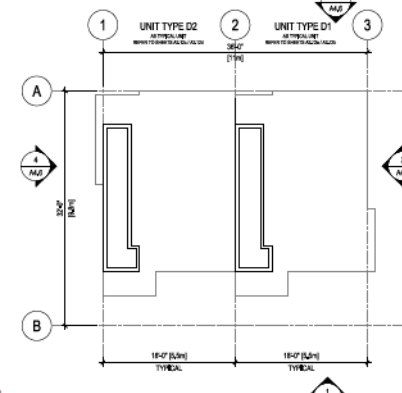
3 SECOND LEVEL
A2.19 SCALE: 1/8" = 1'-0"



4 THIRD LEVEL
A2.19 SCALE: 1/8" = 1'-0"



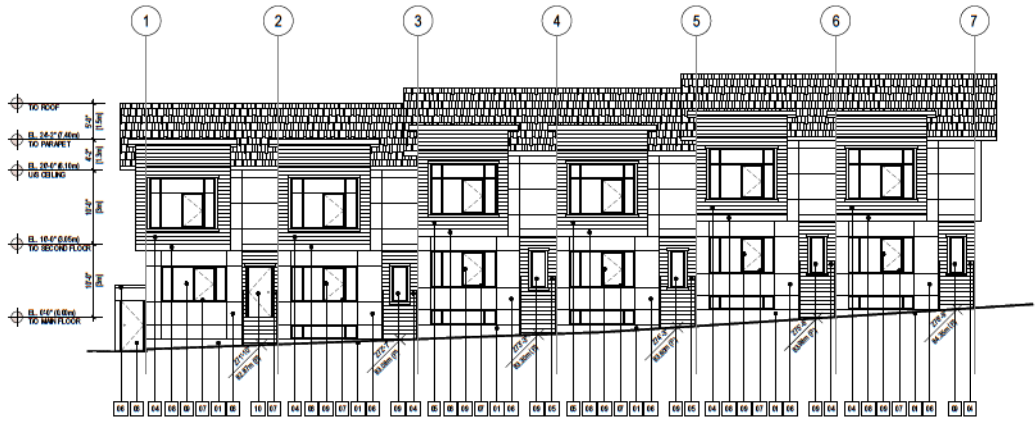
5 ROOF DECK
A2.19 SCALE: 1/8" = 1'-0"



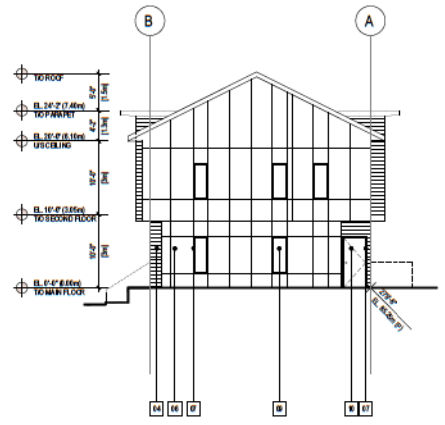
6 ROOF LEVEL
A2.19 SCALE: 1/8" = 1'-0"



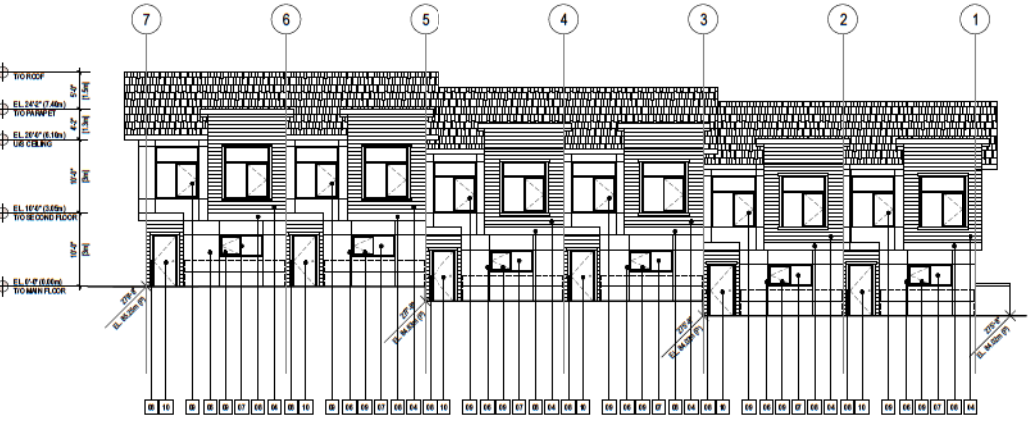
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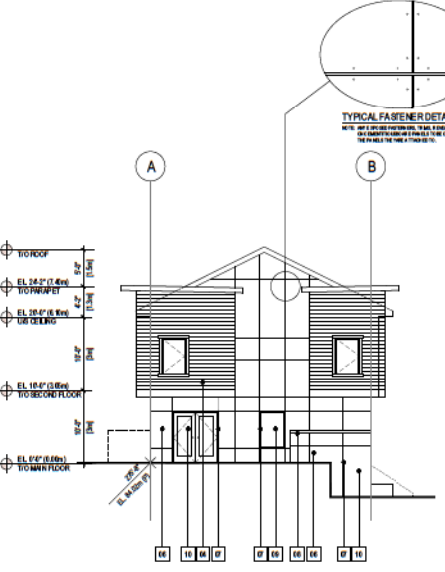
1 WEST ELEVATION (LANE)
A4.1 SCALE 1/8" = 1'-0"



2 SOUTH ELEVATION
A4.1 SCALE 1/8" = 1'-0"



3 EAST ELEVATION (COURTYARD)
A4.1 SCALE 1/8" = 1'-0"

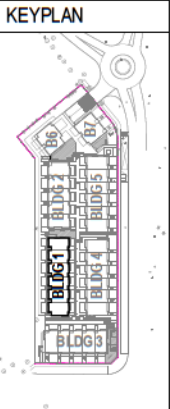


4 NORTH ELEVATION
A4.1 SCALE 1/8" = 1'-0"

MATERIAL LEGEND

- CONCRETE COLOR - NA
- ALUMINUM FINING & GLASS COLOR - NA
- WINDOW WELL COLOR - NA
- WOOD TRIM COLOR - NA
- WIDE PLANK COLOR - DARK GRAY
- WIDE PLANK COLOR - DARK BEIGE
- WIDE PANEL COLOR - LIGHT GRAY
- ALUMINUM WINDOW & DOORFRAME COLOR - BLACK
- WOODEN TRIM COLOR - BLACK
- GLASS FRAME COLOR - CLEAR
- MAIN DOOR COLOR - BROWN
- METAL SOFFIT COLOR - ROUGHEN FINISH
- ARCHITECTURAL CONCRETE LIGHT GRAY W/ REVEALS
- ROOFTOP SHINGLES COLOR - CHARCOAL
- FACED BOARD COLOR - DARK GRAY
- WALLS - SYSTEM PROJECT GREGO MEXICO PORCELAIN TILE UNPOLISHED (SP-04)
- ALUMINUM FINING BLACK
- TREATED GLASS NA

NOTE: SOME FININGS ARE SHOWN AS DASH LINES FOR VISUAL CLARITY OF FACED MATERIALS.



TYPICAL FASTENER DETAIL
NOTE: ALL FASTENERS SHALL BE CORROSION RESISTANT AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.



| | | | | |
|---|----------|--------------------------------------------|----|----|
| 7 | REV 2021 | PROVIDED TO DEVELOPMENT FORM - RESIDENTIAL | RF | VC |
| 6 | REV 2021 | PROVIDED TO DEVELOPMENT FORM - RESIDENTIAL | RF | VC |
| 5 | REV 2021 | PROVIDED TO DEVELOPMENT FORM - RESIDENTIAL | RF | VC |
| 4 | REV 2021 | PROVIDED TO DEVELOPMENT FORM - RESIDENTIAL | RF | VC |
| 3 | REV 2021 | PROVIDED TO DEVELOPMENT FORM | RF | VC |
| 2 | REV 2021 | PROVIDED TO DEVELOPMENT FORM | RF | VC |
| 1 | DATE | DESCRIPTION | DR | RV |

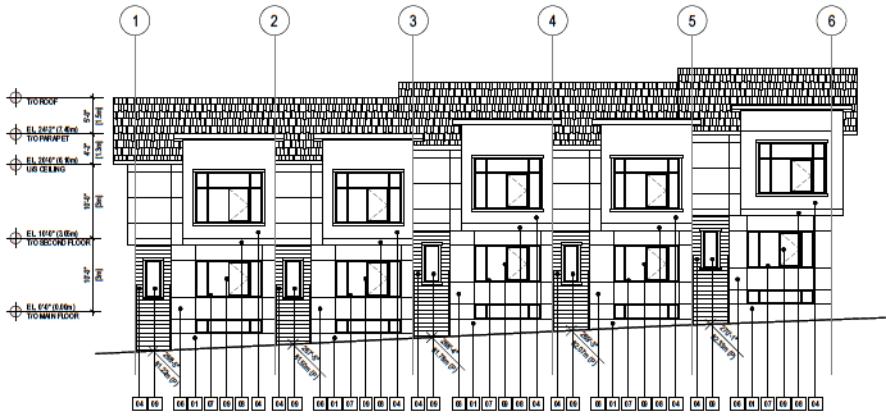
DESIGNATED BY: [Signature] DATE: 2021-12-10
PROJECT: 154TH STREET TOWNHOUSE DEVELOPMENT
154TH & 159TH 20TH AVE, 2027 & 2041 154TH ST, AND 2058 HAINSWAY DR SURREY, BC
SHEET TITLE: EXTERIOR ELEVATIONS BLDG 1
SCALE: 1/8" = 1'-0"
PROJECT NO: 19-1038

KEYPLAN

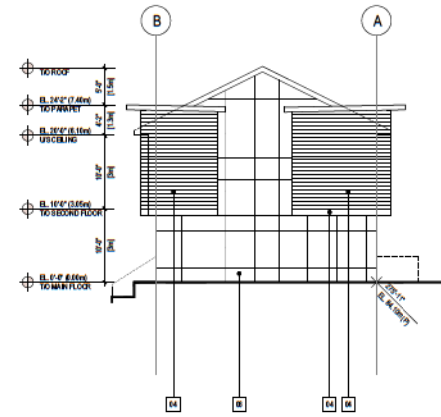


| MATERIAL LEGEND | |
|-----------------|-------------------------------------------------------------------------|
| [Hatched Box] | CONCRETE COLOR - NA |
| [Hatched Box] | ALUMINUM FINING & GLASS COLOR - NA |
| [Hatched Box] | WINDOW WELL COLOR - NA |
| [Hatched Box] | WIDE PLANK COLOR - DARK GRAY |
| [Hatched Box] | WIDE PLANK COLOR - DARK BEIGE |
| [Hatched Box] | WIDE PANEL COLOR - LIGHT GRAY |
| [Hatched Box] | ALUMINUM WINDOW & DOOR FRAME COLOR - BLACK |
| [Hatched Box] | WOODEN TRIM COLOR - BLACK |
| [Hatched Box] | GLASS PANEL COLOR - CLEAR |
| [Hatched Box] | MAIN DOOR COLOR - BROWN |
| [Hatched Box] | METAL SOFFIT COLOR - BRASS FINISH |
| [Hatched Box] | ARCHITECTURAL CONCRETE LIGHT GRAY W/ REINETS |
| [Hatched Box] | ROOFTOP SHINGLES COLOR - CHARCOAL |
| [Hatched Box] | FACIA BOARD COLOR - DARK GRAY |
| [Hatched Box] | INLAIDS - SET IN PROJECT OF GROUND PORCELAIN TILE UNPOLISHED (SP-04) |
| [Hatched Box] | ALUMINUM FINING BLACK |
| [Hatched Box] | TREATED GLASS NA |

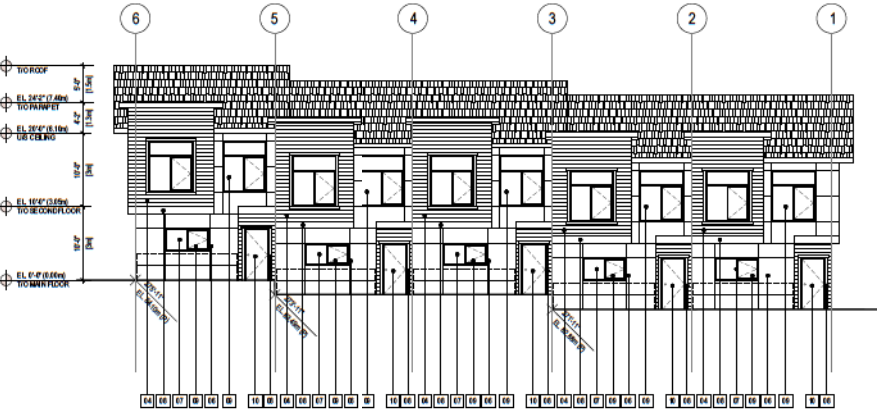
NOTE: SOME FININGS ARE SHOWN AS DASH LINES FOR VISUAL CLARITY OF FACEMATERIALS.



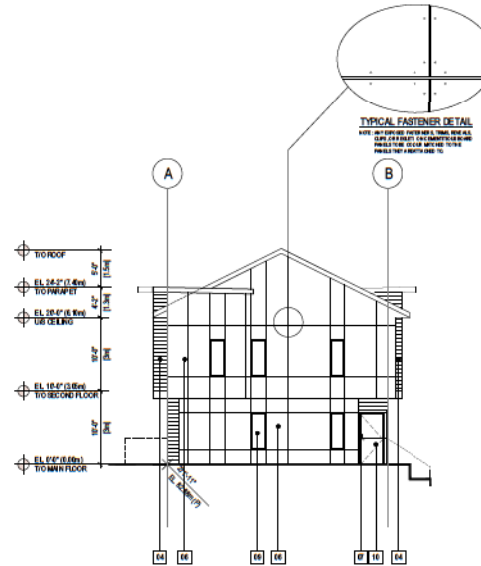
1 WEST ELEVATION (LANE)
A4.2 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
A4.2 SCALE: 1/8" = 1'-0"



3 EAST ELEVATION (COURTYARD)
A4.2 SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
A4.2 SCALE: 1/8" = 1'-0"



2021-12-10

| | | | |
|---|----------|---------------------------------------------|---------|
| 7 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM - RESIDENTIAL | AI |
| 6 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM - RESIDENTIAL | AI |
| 5 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM - RESIDENTIAL | AI |
| 4 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM - RESIDENTIAL | AI |
| 3 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM - RESIDENTIAL | AI |
| 2 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM - RESIDENTIAL | AI |
| 1 | DATE | DESCRIPTION | DR / RW |

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PROJECT:
154TH STREET
TOWNHOUSE
DEVELOPMENT

15081 & 15081 20TH AVE, 2027 &
2041 154TH ST, AND 2058 MAINWAY OR
SURREY, BC

| | |
|---------------------------------------|------------------------|
| EXTERIOR ELEVATIONS BLDG 2 | |
| DATE: 1/8" = 1'-0" | REVISION: NO. 01 |
| PROJECT NO. A4.2 | PROJECT NO. 19-1038 |



1 SOUTH ELEVATION (26TH AVE)
A4.3 SCALE 1/8"=1'-0"



2 EAST ELEVATION (154TH STREET)
A4.3 SCALE 1/8"=1'-0"

MATERIAL LEGEND

- 1 CONCRETE COLOR - NA
- 2 ALUMINUM FINING & GLASS COLOR - NA
- 3 WINDOW WELL COLOR - NA
- 4 WIDE PLANK COLOR - DARK GRAY
- 5 WIDE PLANK COLOR - DARK BEIGE
- 6 WIDE PANEL COLOR - LIGHT GRAY
- 7 ALUMINUM WINDOW & DOOR FRAME COLOR - BLACK
- 8 WOODEN TRIM COLOR - BLACK
- 9 GLASS/PANE COLOR - CLEAR
- 10 MAIN DOOR COLOR - BROWN
- 11 METAL SOFFIT COLOR - BRONZE FINISH
- 12 ARCHITECTURAL CONCRETE LIGHT GRAY W/ REVEALS
- 13 ROOFTOP SHINGLES COLOR - CHARCOAL
- 14 FIBER BOARD COLOR - DARK GRAY
- 15 WALLS - SETEM PROJECT GREGO MEXICO PORCELAIN TILE UNPOLISHED (36"x24")
- 16 ALUMINUM FINING BLACK
- 17 TINTED GLASS NA

NOTE: SOME FININGS ARE SHOWN AS DASH LINES FOR VISUAL CLARITY OF FACEMATERIALS

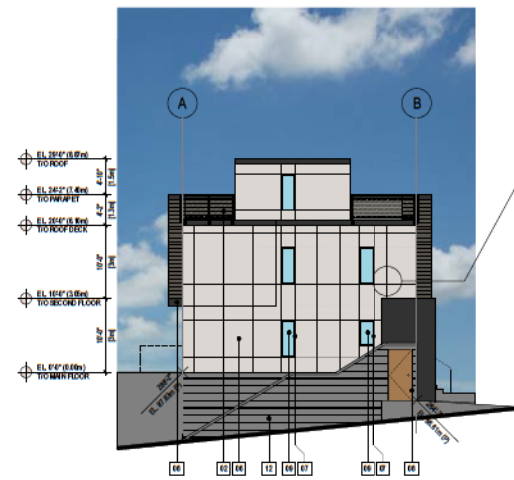
APLIN MARTIN
Aplin & Martin Consultants Ltd.
201 - 12448 92 Avenue, Surrey, B.C. V3W 1S9
Tel: (604) 597-0066, Fax: (604) 597-9081
Email: general@aplinmartin.com

KEYPLAN

TRUE NORTH PROJECT NORTH



3 NORTH ELEVATION (COURTYARD)
A4.3 SCALE 1/8"=1'-0"



4 WEST ELEVATION
A4.3 SCALE 1/8"=1'-0"



| | | | |
|---|----------|----------------------------------------|---------|
| 7 | REV 2021 | PROVIDE FOR DEVELOPMENT FORM - ROOFTOP | AI |
| 6 | REV 2021 | PROVIDE FOR DEVELOPMENT FORM - ROOFTOP | AI |
| 5 | REV 2021 | PROVIDE FOR DEVELOPMENT FORM - ROOFTOP | AI |
| 4 | REV 2021 | PROVIDE FOR DEVELOPMENT FORM - ROOFTOP | AI |
| 3 | REV 2021 | PROVIDE FOR DEVELOPMENT FORM - ROOFTOP | AI |
| 2 | REV 2021 | PROVIDE FOR DEVELOPMENT FORM - ROOFTOP | AI |
| 1 | DATE | DESCRIPTION | DR / RV |

DATE: 2021-12-10

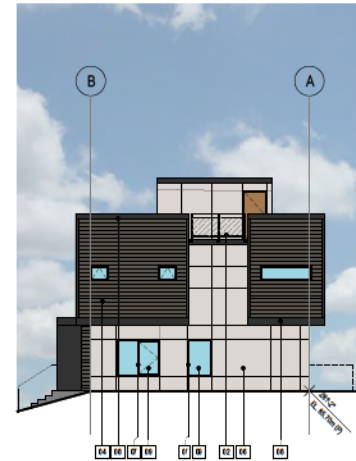
PROJECT:
154TH STREET TOWNHOUSE DEVELOPMENT
15381 & 15391 26TH AVE, 2627 & 2641 154TH ST, AND 2628 HAINSWAY DR SURREY, BC

DATE: 1/8" = 1'-0"
PROJECT NO: A4.3
PROJ. SET NO: 19-1038



1 EAST ELEVATION (154TH STREET)

A4.4 SCALE 1/8" = 1'-0"



2 NORTH ELEVATION

A4.4 SCALE 1/8" = 1'-0"

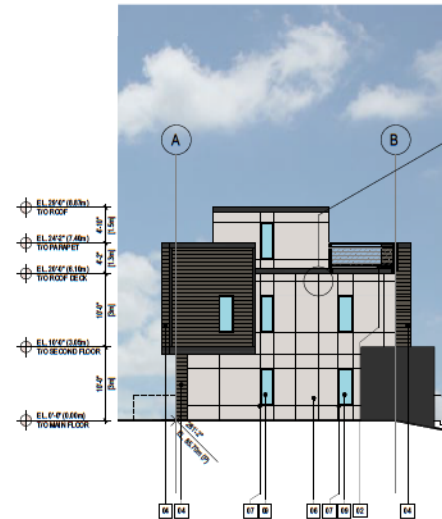
| MATERIAL LEGEND | |
|-----------------|------------------------------------------------------------------------------|
| [C] | CONCRETE COLOR - NA |
| [A] | ALUMINUM PANEL & GLASS COLOR - NA |
| [W] | WINDOW WELL COLOR - NA |
| [H1] | WIDE PLANK COLOR - DARK GRAY |
| [H2] | WIDE PLANK COLOR - DARK BEIGE |
| [F] | WIDE FINEL COLOR - LIGHT GRAY |
| [P] | ALUMINUM WINDOW & DOOR FRAME COLOR - BLACK |
| [T] | WOODEN TRIM COLOR - BLACK |
| [G] | GLASS/FRME COLOR - CLEAR |
| [M] | MAIN DOOR COLOR - BROWN |
| [S] | METAL SOFFIT COLOR - ROCCO FINISH |
| [C1] | ARCHITECTURAL CONCRETE LIGHT GRAY W/ REVEALS |
| [S1] | ROOFTOP SHINGLES COLOR - CHARCOAL |
| [F1] | FACED BOARD COLOR - DARK GRAY |
| [M1] | MIRRORS - SET IN PROJECT GRESS/ MEXICO PORCELAIN TILE UNPOLISHED (30"x4") |
| [A1] | ALUMINUM FINISH BLACK |
| [G1] | FRACTIONATED GLASS NA |

NOTE: SOME FINISHES ARE SHOWN AS DASH LINES FOR VISUAL CLARITY OF FACED MATERIALS



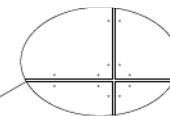
3 WEST ELEVATION (COURTYARD)

A4.4 SCALE 1/8" = 1'-0"



4 SOUTH ELEVATION

A4.4 SCALE 1/8" = 1'-0"



TYPICAL FASTENER DETAIL

NOTE: SEE SECTION 05100 FOR FASTENER REQUIREMENTS. THE FASTENER SHALL BE A 3/8" DIA. X 3" LONG. THE FASTENER SHALL BE A 304 STAINLESS STEEL. THE FASTENER SHALL BE A 304 STAINLESS STEEL. THE FASTENER SHALL BE A 304 STAINLESS STEEL.



| | | |
|---|-----------------------------------------------|----|
| 7 | REV 2021 11/08 FOR DEVELOPMENT FORM - ROOFTOP | AI |
| 6 | REV 2021 11/08 FOR DEVELOPMENT FORM - ROOFTOP | AI |
| 5 | REV 2021 11/08 FOR DEVELOPMENT FORM - ROOFTOP | AI |
| 4 | REV 2021 11/08 FOR DEVELOPMENT FORM - ROOFTOP | AI |
| 3 | REV 2021 11/08 FOR DEVELOPMENT FORM | AI |
| 2 | REV 2021 11/08 FOR DEVELOPMENT FORM | AI |
| 1 | REV 2021 11/08 FOR DEVELOPMENT FORM | AI |

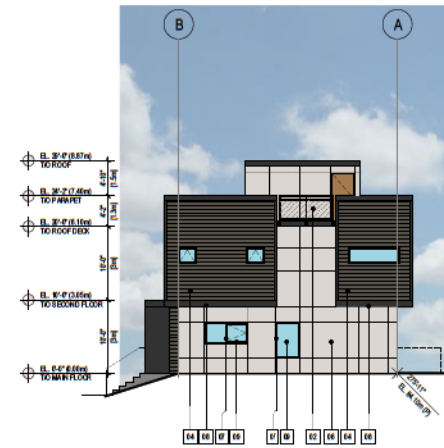
PROJECT:
154TH STREET
TOWNHOUSE
DEVELOPMENT

15081 & 15081 20TH AVE, 2027 A
2041 154TH ST, AND 2008 HURDWAY OR
SURREY, BC

| EXTERIOR ELEVATIONS BLDG 4 | |
|-------------------------------|------------------------|
| SCALE 1/8" = 1'-0" | PROJECT NO. 19-1038 |



1 EAST ELEVATION (154TH STREET)
A4.5 SCALE 1/8" = 1'-0"



2 NORTH ELEVATION
M.5 SCALE 1/8" = 1'-0"

MATERIAL LEGEND

- CONCRETE
COLOR - NA
- ALUMINUM FINISH & GLASS
COLOR - NA
- WINDOW WELL
COLOR - NA
- WIDE FLANK
COLOR - DARK GRAY
- WIDE FLANK
COLOR - DARK BEIGE
- WIDE FLANK
COLOR - LIGHT GRAY
- ALUMINUM WINDOW & DOOR FRAME
COLOR - BLACK
- WOODEN TRIM
COLOR - BLACK
- GLASS PANE
COLOR - CLEAR
- MAIN DOOR
COLOR - BROWN
- METAL SOFFIT
COLOR - ROSSER FINISH
- ARCHITECTURAL CONCRETE
COLOR - LIGHT GRAY W/ METALS
- ROOFTOP SHINGLES
COLOR - CHARCOAL
- FIBER BOARD
COLOR - DARK GRAY
- WALLS - SETBACK PROJECT GROUND FLOOR
COLOR - UNPOLISHED (SP-24)
- ALUMINUM FINISH
BLACK
- TEMPERATED GLASS
NA

NOTE: SOME FINISHES ARE SHOWN AS DASH LINES FOR VISUAL CLARITY OF FACEMATERIALS

APLIN MARTIN
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KEYPLAN

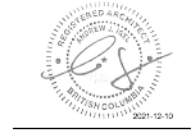
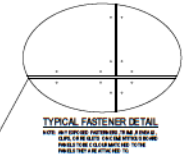
TRUE NORTH
PROJECT NORTH



3 WEST ELEVATION (COURTYARD)
A4.5 SCALE 1/8" = 1'-0"



4 SOUTH ELEVATION
A4.5 SCALE 1/8" = 1'-0"



| | | | | |
|-----|----------|----------------------------------------|----|----|
| 7 | REV 2021 | PROVIDE FOR DEVELOPMENT FORM - ROOFTOP | RF | AI |
| 6 | ADD ALL | PROVIDE FOR DEVELOPMENT FORM - ROOFTOP | RF | AI |
| 5 | ADD 21 | PROVIDE FOR DEVELOPMENT FORM - ROOFTOP | RF | AI |
| 4 | REV 21 | PROVIDE FOR DEVELOPMENT FORM - ROOFTOP | RF | AI |
| 3 | REV 14 | PROVIDE FOR DEVELOPMENT FORM | RF | VC |
| 2 | MAJOR | REVISED FOR COMMENTS | RF | VC |
| 1 | DATE | REVISED FOR REVIEW | RF | AI |
| REV | DATE | DESCRIPTION | DR | RV |

APLIN MARTIN ARCHITECTURAL ENGINEERING
154TH STREET TOWNHOUSE DEVELOPMENT
154TH & 159TH STREET, 2027A
2041 154TH ST, #102 SURREY, BC
SURREY, BC

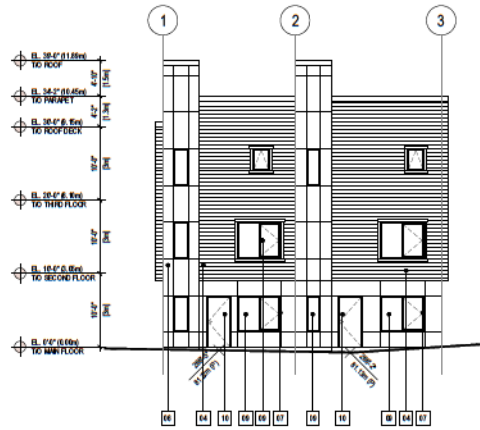
EXTERIOR ELEVATIONS BLDG 5

SCALE: 1/8" = 1'-0"

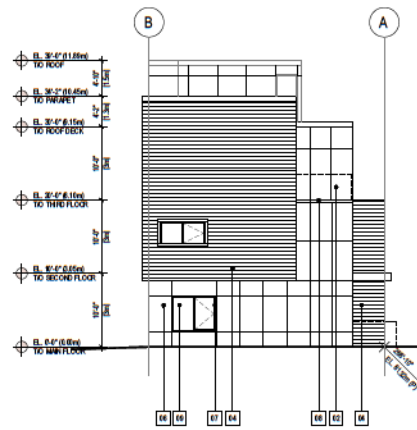
PROJECT NO: 19-1038

DATE: 19-10-38

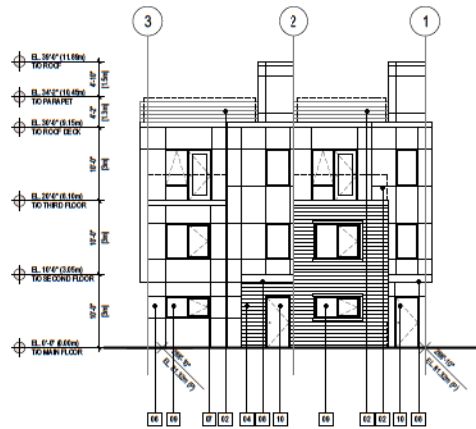
M:\2020\19-1038\19-1038_ARCHITECT\BLDG 5 EXTERIOR ELEVATIONS.dwg, 12/20/2019 1:55:51 PM, R3/2019



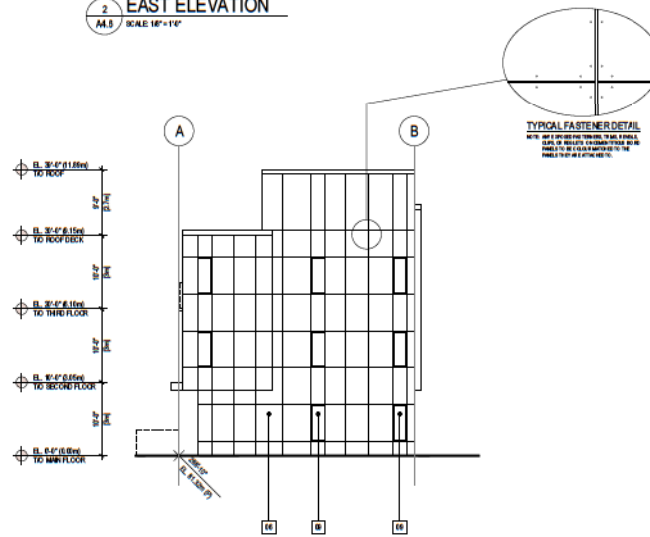
1 SOUTH ELEVATION (LANE)
M1.6 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
M1.6 SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION (COURTYARD)
M1.6 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
M1.6 SCALE: 1/8" = 1'-0"

MATERIAL LEGEND

- M1 CONCRETE
COLOR - NA
- M2 ALUMINUM FINING & GLASS
COLOR - NA
- M3 WINDOW WELL
COLOR - NA
- M4 WIDE PLANK
COLOR - DARK GRAY
- M5 WIDE PLANK
COLOR - DARK BEIGE
- M6 WIDE PANEL
COLOR - LIGHT GRAY
- M7 ALUMINUM WINDOW COFFRAME
COLOR - BLACK
- M8 WOODEN TRIM
COLOR - BLACK
- M9 GLASS FRAME
COLOR - CLEAR
- M10 MAIN DOOR
COLOR - BROWN
- M11 METAL SOFFIT
COLOR - WOODEN FINISH
- M12 ARCHITECTURAL CONCRETE
LIGHT GRAY W/ REINERS
- M13 ROOFTOP SHINGLES
COLOR - CHARCOAL
- M14 FIBRA BOARD
COLOR - DARK GRAY
- M15 MVAZCO SYSTEM PROJECT GREGO MEXICO PORCELAIN TILE
UNPOLISHED (30x30")
- M16 ALUMINUM FINING
BLACK
- M17 TINTED GLASS
NA

NOTE: SOME MATERIALS SHOWN AS DASH LINES FOR VISUAL CLARITY OF FACADE MATERIALS.



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KEYPLAN



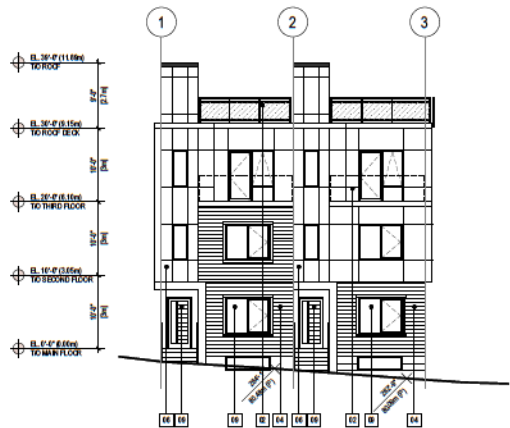
| REV | DATE | DESCRIPTION | DR | BY |
|-----|----------|----------------------------------------------|----|----|
| 7 | NOV 2021 | PROCESSED FOR DEVELOPMENT FORM - RESIDENTIAL | AI | AI |
| 6 | AUG 2021 | PROCESSED FOR DEVELOPMENT FORM - RESIDENTIAL | AI | AI |
| 5 | JAN 21 | PROCESSED FOR DEVELOPMENT FORM - RESIDENTIAL | AI | AI |
| 4 | FEB 21 | PROCESSED RESPONSE TO COMMENTS - RESIDENTIAL | AI | AI |
| 3 | SEP 20 | PROCESSED FOR DEVELOPMENT FORM | AI | VC |
| 2 | MAY 20 | PROCESSED FOR DEVELOPMENT FORM | AI | VC |
| 1 | OCT 19 | ISSUED FOR DEVELOPMENT FORM | AI | AI |

PROJECT:
154TH STREET
TOWNHOUSE
DEVELOPMENT

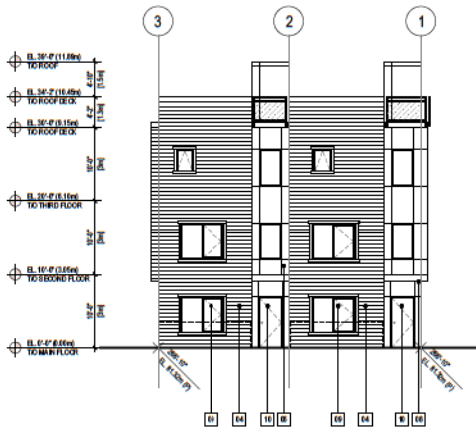
15041 & 15041 NORTH AVE, 2027 &
2041 154TH ST, AND 2050 HURONWAY OR
SURREY, BC

EXTERIOR
ELEVATIONS
BLDG 6

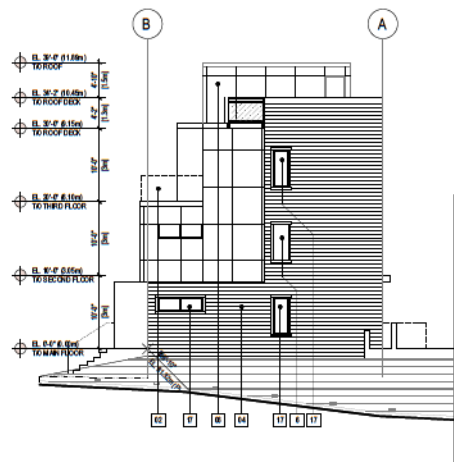
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|------------------------|---------------|
| SCALE: 1/8" = 1'-0" | PERMIT NO. |
| A4.6 | 19-1038 |



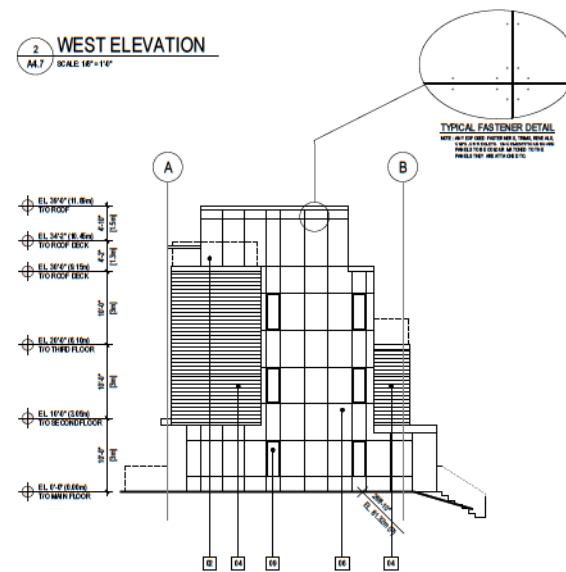
1 NORTH ELEVATION (PARKWAY DR)
M.7 SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION (COURTYARD)
M.7 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
M.7 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
M.7 SCALE: 1/8" = 1'-0"

MATERIAL LEGEND

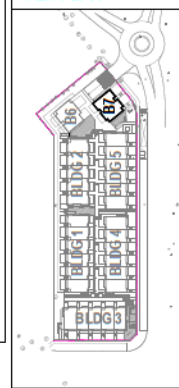
- M1 CONCRETE
COLOR - NA
- M2 ALUMINUM FINING & GLASS
COLOR - NA
- M3 WINDOW WELL
COLOR - NA
- M4 WIDE PLANK
COLOR - DARK GRAY
- M5 WIDE PLANK
COLOR - DARK BEIGE
- M6 WIDE PANEL
COLOR - LIGHT GRAY
- M7 ALUMINUM WINDOW & DOOR FRAME
COLOR - BLACK
- M8 WOODEN TRIM
COLOR - BLACK
- M9 GLASS PANEL
COLOR - CLEAR
- M10 MHW DOOR
COLOR - BROWN
- M11 METAL SOFFIT
COLOR - BRICKEN FINISH
- M12 ARCHITECTURAL CONCRETE
LIGHT GRAY W/ REINETS
- M13 ROOFTOP SHINGLES
COLOR - CHARCOAL
- M14 FIBER BOARD
COLOR - DARK GRAY
- M15 MIRRORS - SETITEM PROJECT OREGON MEXICO PORCELAIN TILE
UNPOLISHED (DP-04)
- M16 ALUMINUM FINING
BLACK
- M17 TINTED GLASS
NA

NOTE: SOME FININGS ARE SHOWN AS DASH LINES FOR VISUAL CLARITY OF FACEMATERIALS.



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KEYPLAN

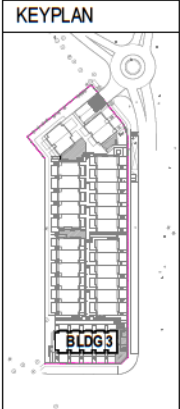


| REV | DATE | DESCRIPTION | DR | RV |
|-----|------------|---------------------------------------------|----|----|
| 7 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM - RESIDENTIAL | AR | VC |
| 6 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM - RESIDENTIAL | AR | VC |
| 5 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM - RESIDENTIAL | AR | VC |
| 4 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM - RESIDENTIAL | AR | VC |
| 3 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM - RESIDENTIAL | AR | VC |
| 2 | REV 2021 | PROVIDED FOR DEVELOPMENT FORM - RESIDENTIAL | AR | VC |
| 1 | 2021-10-10 | ISSUED FOR PERMIT REVIEW | AR | VC |

PROJECT: 154TH STREET TOWNHOUSE DEVELOPMENT
154th & 159th Street, 2027 & 2041 154th St, and 2050 Parkway Dr, Surrey, BC

SHEET TITLE: EXTERIOR ELEVATIONS BLDG 7

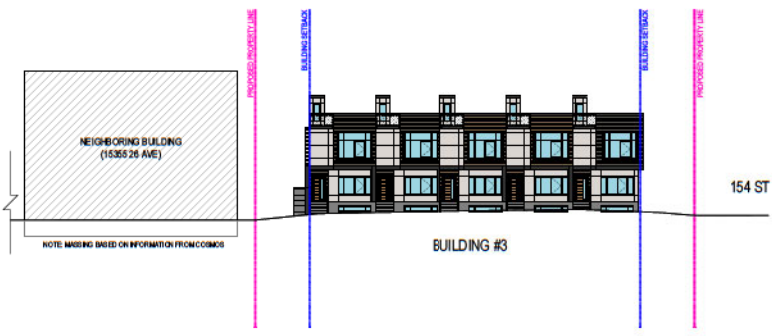
| SCALE | PROJECT NO. |
|--------------|-------------|
| 1/8" = 1'-0" | 19-1038 |



1 EAST STREETScape (ALONG 154 STREET)
A4.8 SCALE: 1/8" = 1'-0"



2 WEST STREETScape (ALONG REAR LANE)
A4.8 SCALE: 1/8" = 1'-0"



3 SOUTH CONTEXT ELEVATION (ALONG 26 AVE)
A4.8 SCALE: 1/8" = 1'-0"

NOTE: SOME RAILING ARE SHOWN AS DASH LINES FOR VISUAL CLARITY OF FACADE DETAILS.

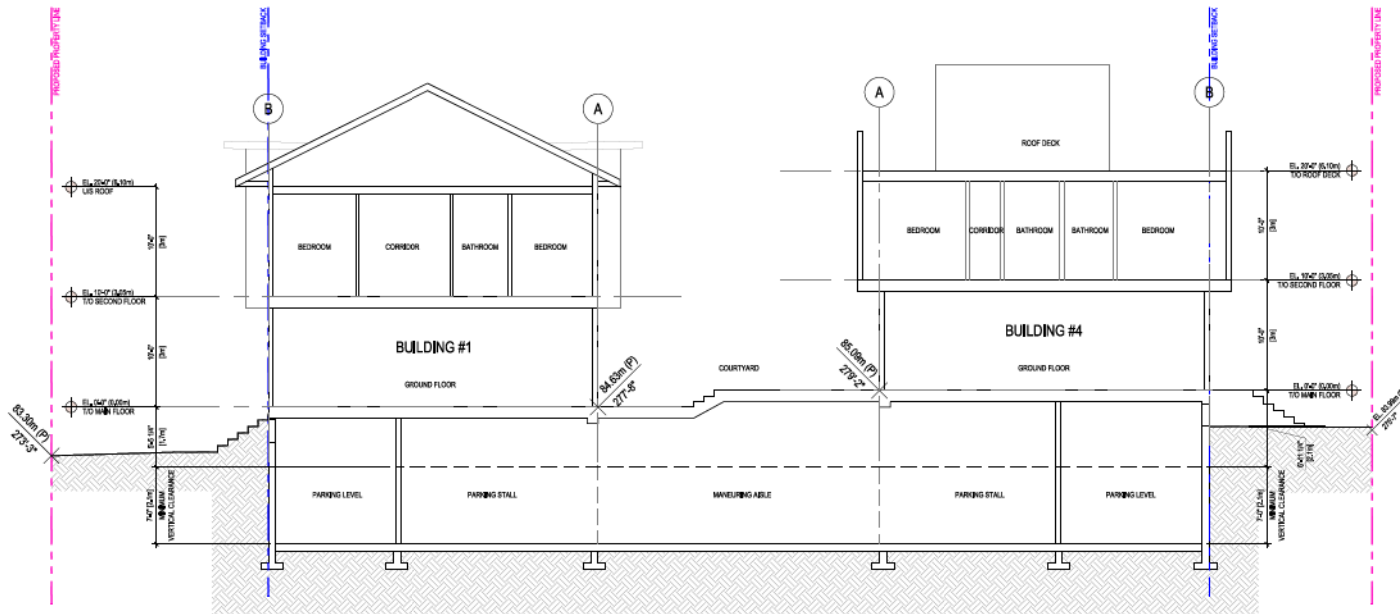


| REV | DATE | DESCRIPTION | DR | BY |
|-----|------------|----------------------------------------------|----|----|
| 7 | REV 2021 | PROCESSED FOR DEVELOPMENT FORM - RESIDENTIAL | AI | |
| 6 | REV 2021 | PROCESSED FOR DEVELOPMENT FORM - RESIDENTIAL | AI | |
| 5 | REV 2021 | PROCESSED FOR DEVELOPMENT FORM - RESIDENTIAL | AI | |
| 4 | REV 2021 | PROCESSED FOR DEVELOPMENT FORM - RESIDENTIAL | AI | |
| 3 | REV 2021 | PROCESSED FOR DEVELOPMENT FORM | AI | VC |
| 2 | REV 2021 | PROCESSED FOR DEVELOPMENT FORM | AI | VC |
| 1 | 2021-10-10 | ISSUED FOR CONCEPT REVIEW | AI | AI |

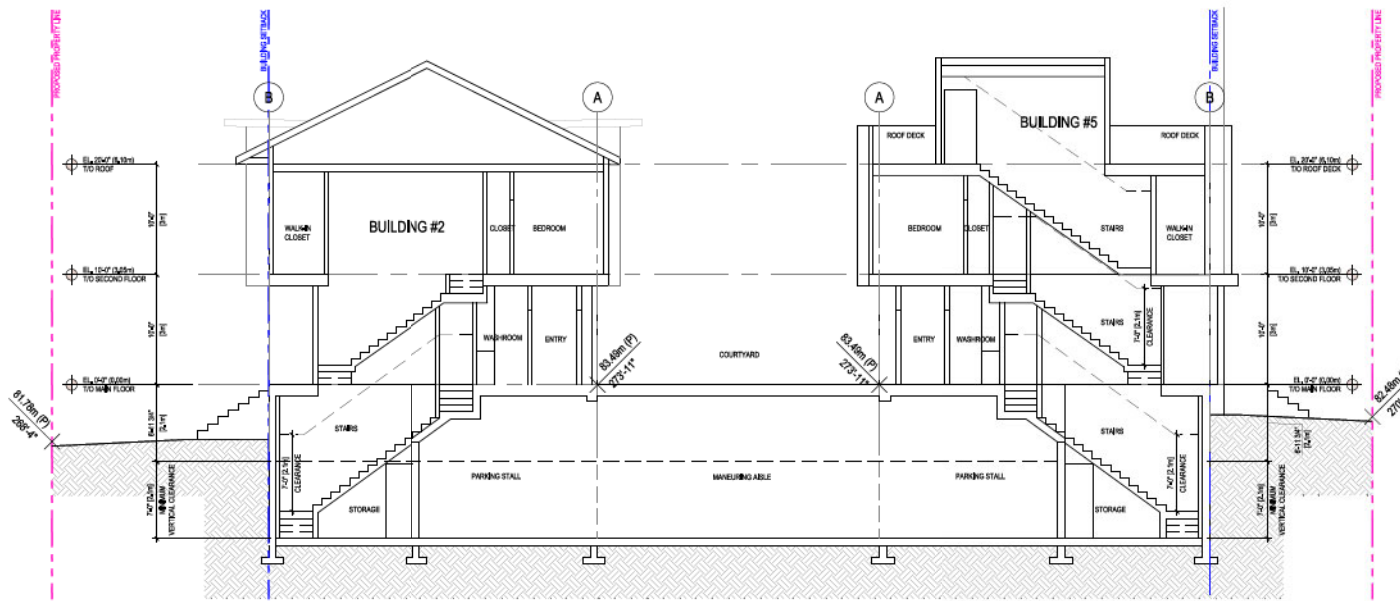
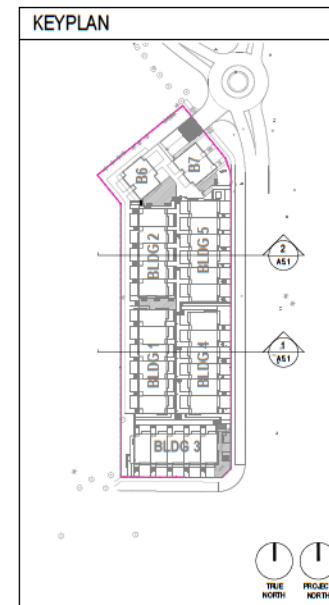
DATE: 2021-10-10

PROJECT: 154TH STREET TOWNHOUSE DEVELOPMENT
15361 & 15361 20TH AVE, 2027 & 2041 154TH ST, AND 2028 HAINSWAY DR SURREY, BC
SHEET TITLE: STREETScape & CONTEXT ELEVATIONS
SCALE: 3/8" = 1'-0"
A4.8

| SCALE | PROJECT NO. |
|--------------|-------------|
| 3/8" = 1'-0" | 19-1038 |



1 BUILDING SECTION 1
A5.1 SCALE 3/8" = 1'-0"



2 BUILDING SECTION 2
A5.1 SCALE 3/8" = 1'-0"



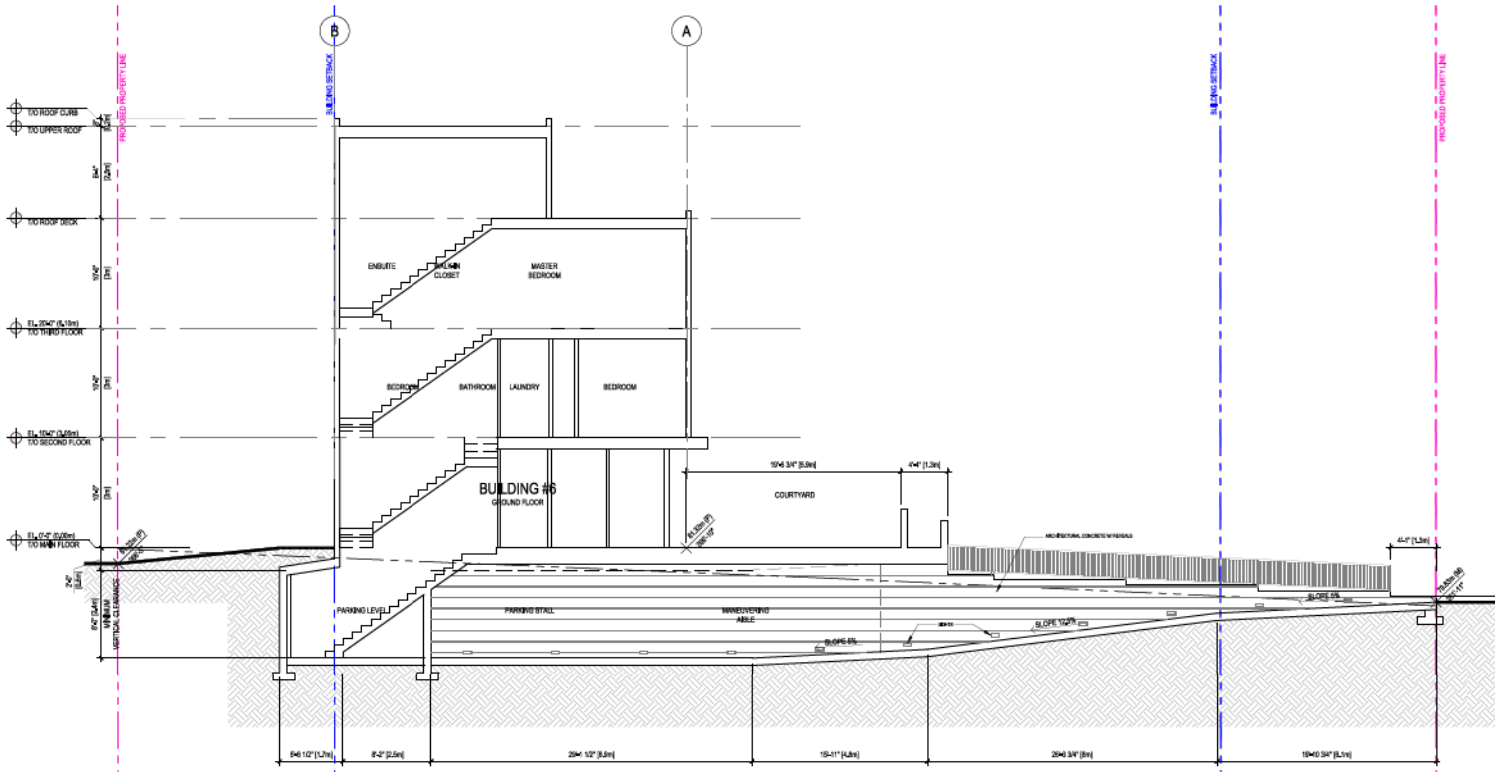
| | | | | |
|----|---------|-------------------------------------------------|----|----|
| 1 | REV 001 | ISSUED FOR DEVELOPMENT PERMITS - BLDG DEVELOPER | RS | VC |
| 2 | REV 002 | ISSUED FOR DEVELOPMENT PERMITS - BLDG DEVELOPER | AI | |
| 3 | REV 003 | ISSUED FOR DEVELOPMENT PERMITS - BLDG DEVELOPER | AI | |
| 4 | REV 004 | ISSUED FOR DEVELOPMENT PERMITS - BLDG DEVELOPER | AI | |
| 5 | REV 005 | ISSUED FOR DEVELOPMENT PERMITS - BLDG DEVELOPER | AI | |
| 6 | REV 006 | ISSUED FOR DEVELOPMENT PERMITS - BLDG DEVELOPER | AI | |
| 7 | REV 007 | ISSUED FOR DEVELOPMENT PERMITS - BLDG DEVELOPER | AI | |
| 8 | REV 008 | ISSUED FOR DEVELOPMENT PERMITS - BLDG DEVELOPER | AI | |
| 9 | REV 009 | ISSUED FOR DEVELOPMENT PERMITS - BLDG DEVELOPER | AI | |
| 10 | REV 010 | ISSUED FOR DEVELOPMENT PERMITS - BLDG DEVELOPER | AI | |

PROJECT:
**154TH STREET
TOWNHOUSE
DEVELOPMENT**

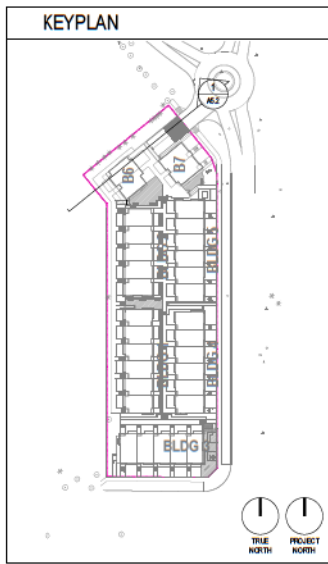
15041 & 15041 20TH AVE, 2027 &
2041 154TH ST, AND 2008 HURONWAY DR
SURREY, BC

**BUILDING
SECTIONS**

| | | | |
|--------|---------------|--------------|---------|
| SCALE: | 3/16" = 1'-0" | PROJECT NO.: | 19-1038 |
| DATE: | 03 | REVISED: | |
| A5.1 | | | |



1 BUILDING SECTION 3
A5.2 / SCALE 3/16" = 1'-0"



| 7 | REV 2021 | PROCESSED FOR DEVELOPMENT FORM - RESUBMIT | RS | VC |
|-----|------------------------------|-------------------------------------------|----|----|
| 6 | REV 2021 | PROCESSED FOR DEVELOPMENT FORM - RESUBMIT | RS | VC |
| 5 | REV 21 | PROCESSED FOR DEVELOPMENT FORM - RESUBMIT | RS | VC |
| 4 | REV 21 | PROCESSED FOR DEVELOPMENT FORM - RESUBMIT | RS | VC |
| 3 | REV 19 | PROCESSED FOR DEVELOPMENT FORM | RS | VC |
| 2 | MAJOR REVISIONS FOR COMMENTS | | RS | VC |
| 1 | DATE 19 | ISSUE FOR CONSTRUCTION | RS | VC |
| REV | DATE | DESCRIPTION | DR | RV |

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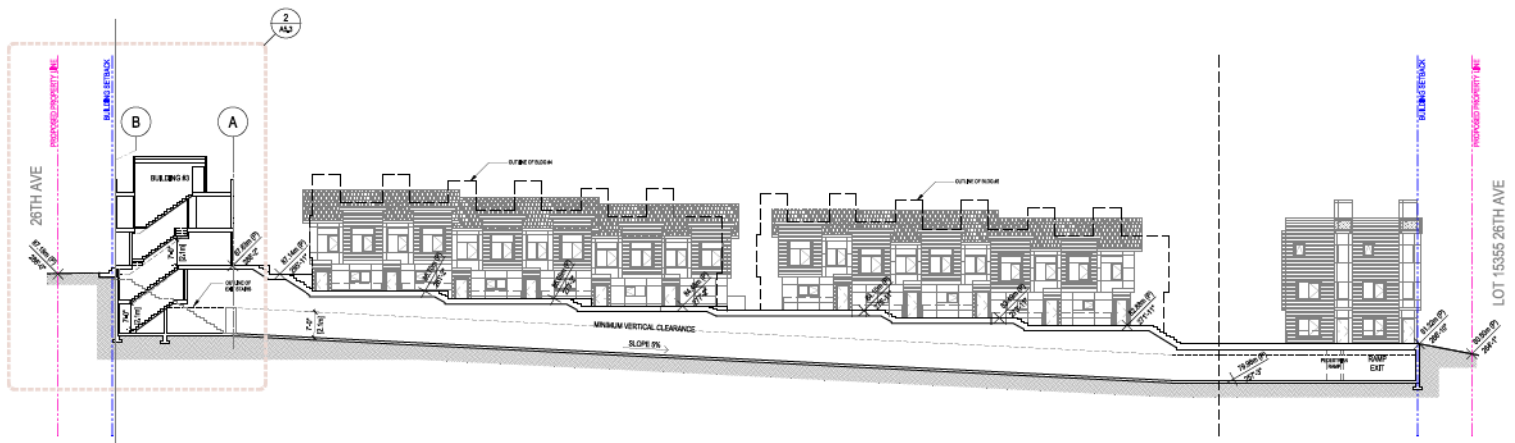
PROJECT:
**154TH STREET
TOWNHOUSE
DEVELOPMENT**

150W & 150N 20TH AVE, 2027 &
2041 154TH ST, AND 205B HAINSWAY DR
SURREY, BC

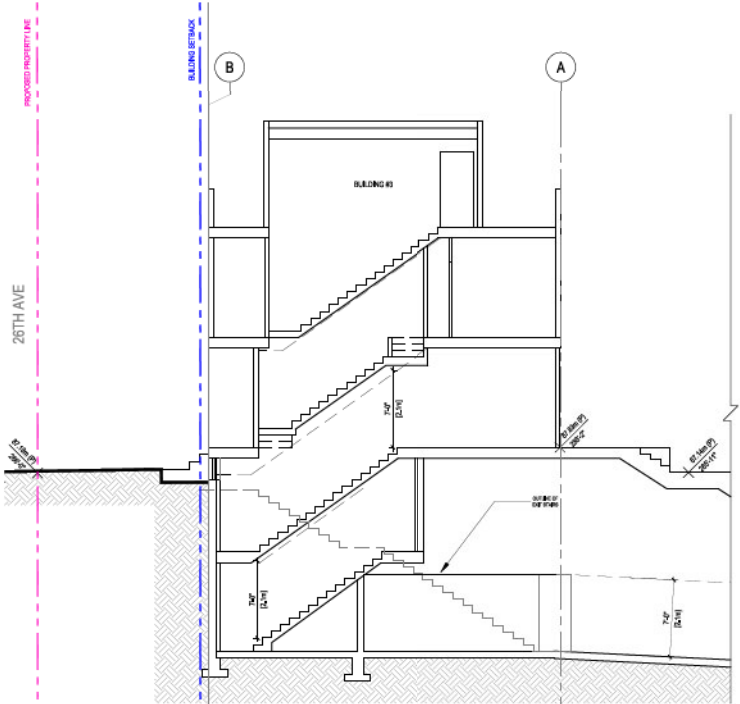
**BUILDING
SECTIONS**

| | |
|-------------------------|------------------------|
| SCALE: 3/16" = 1'-0" | PROJECT NO: 19-1038 |
| A5.2 | |

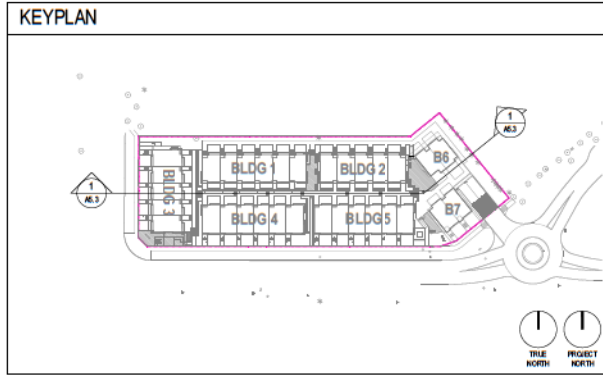




1 BUILDING SECTION 4
A5.3 SCALE: 1/8" = 1'-0"



2 ENLARGED BUILDING SECTION 4
A5.3 SCALE: 1/8" = 1'-0"



| | | | | |
|---|-----------|---------------------------------------------|----|----|
| 7 | REV. 2021 | PROPOSED FOR DEVELOPMENT FORM - RESIDENTIAL | RS | VC |
| 6 | REV. 2021 | PROPOSED FOR DEVELOPMENT FORM - RESIDENTIAL | AI | |
| 5 | REV. 2021 | PROPOSED FOR DEVELOPMENT FORM - RESIDENTIAL | AI | |
| 4 | REV. 2021 | PROPOSED FOR DEVELOPMENT FORM - RESIDENTIAL | AI | |
| 3 | REV. 2021 | PROPOSED FOR DEVELOPMENT FORM | RS | VC |
| 2 | REV. 2021 | PROPOSED FOR DEVELOPMENT FORM | RS | VC |
| 1 | DATE | DESCRIPTION | DR | RV |

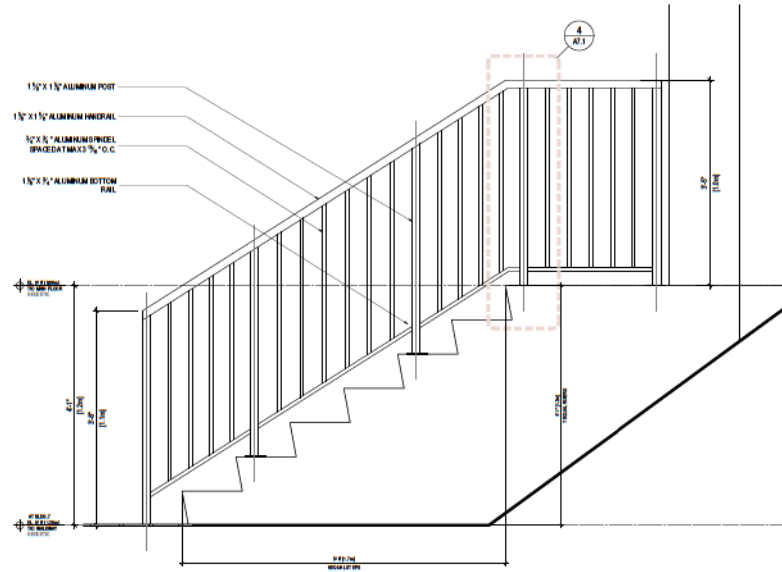
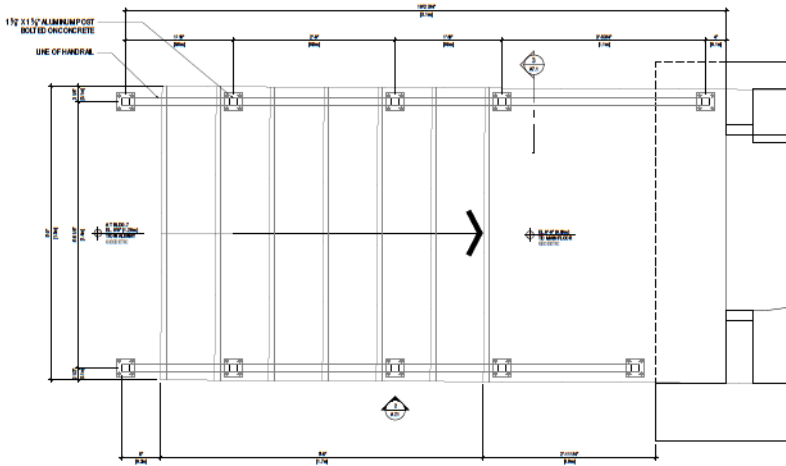
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PROJECT:
154TH STREET
TOWNHOUSE
DEVELOPMENT

150W & 150N 26TH AVE, 2627 &
26W & 154TH ST, AND 26B PARALLEL ON
SURREY, BC

SHEET TITLE:
**BUILDING
SECTIONS**

| | |
|----------|-------------|
| DATE: | REVISED: |
| AS SHOWN | PROJECT NO. |
| A5.3 | 19-1038 |

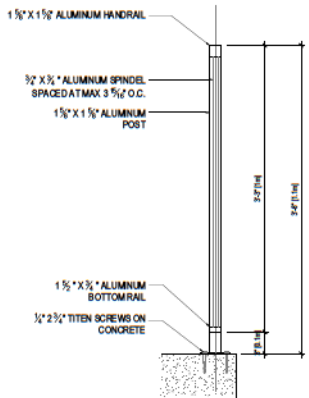


1 PLAN OF HANDRAIL (AT BLDG.7)

A7.1 SCALE: 1" = 1'-0"

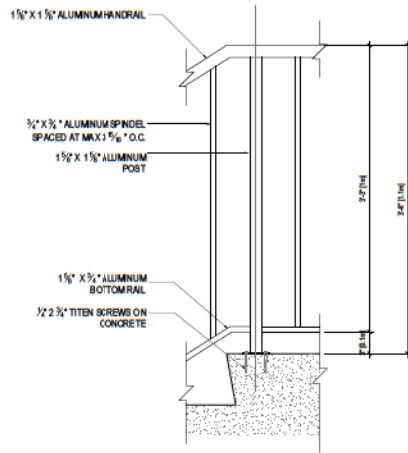
2 ELEVATION OF HANDRAIL (AT BLDG.7)

A7.1 SCALE: 1" = 1'-0"



3 HANDRAIL SECTION DETAIL

A7.1 SCALE: 1" = 1'-0"



4 HANDRAIL ELEVATION DETAIL

A7.1 SCALE: 1" = 1'-0"



| REV | DATE | DESCRIPTION | DR | BY |
|-----|------|-------------|----|----|
| | | | | |
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1 NOV 2021 PRELIMINARY DEVELOPMENT PROPOSAL OF VHA
 THE APPLICANT AGREES TO THE REQUIREMENTS OF THESE
 CONDITIONS OF CONTRACT AND TO HOLD THE CONTRACTOR
 HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES AND
 EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES,
 THAT MAY BE INCURRED BY THE CONTRACTOR IN CONNECTION
 WITH THE CONTRACT. THESE CONDITIONS SHALL APPLY TO
 ALL CONTRACTS ENTERED INTO BY THE APPLICANT AND THE
 CONTRACTOR, WHETHER BEFORE OR AFTER THE DATE OF
 THESE CONDITIONS OF CONTRACT. THESE CONDITIONS SHALL
 APPLY TO ALL CONTRACTS ENTERED INTO BY THE APPLICANT
 AND THE CONTRACTOR, WHETHER BEFORE OR AFTER THE
 DATE OF THESE CONDITIONS OF CONTRACT. THESE CONDITIONS
 SHALL APPLY TO ALL CONTRACTS ENTERED INTO BY THE
 APPLICANT AND THE CONTRACTOR, WHETHER BEFORE OR
 AFTER THE DATE OF THESE CONDITIONS OF CONTRACT.

PROJECT:
**154TH STREET
 TOWNHOUSE
 DEVELOPMENT**
 15041 & 15041 20TH AVE, 2027 &
 2041 154TH ST, AND 2050 HURDWAY OR
 SURREY, BC

SHEET TITLE:
**HANDRAIL
 CONCEPT
 DETAILS**

| SCALE | REVISION |
|----------|----------|
| AS NOTED | 0 |
| A7.1 | 19-1038 |



STREETVIEW FROM 26 AVE (SOUTH ELEVATION - BUILDING 3)



STREETVIEW FROM CORNER PLAZA INTERSECTION (154 ST & 26 AVE)



STREETVIEW FROM CORNER PLAZA INTERSECTION (154 ST & 26 AVE)



STREET VIEW FROM 154 ST (EAST ELEVATION - BUILDING 3 & 4)



| REV | DATE | DESCRIPTION | DR | RV |
|-----|----------|-------------------------------------------------|----|----|
| 1 | AUG 2018 | ISSUED FOR PERMIT REVIEW | RS | VP |
| 2 | MAY 2019 | ISSUED FOR DEVELOPMENT PERMIT | RS | VC |
| 3 | FEB 21 | ISSUED FOR RESPONSE TO COMMENTS - M-APP #1 | | |
| 4 | JUN 21 | ISSUED FOR DEVELOPMENT PERMIT - M-APP #1 | | |
| 5 | AUG 21 | ISSUED FOR DEVELOPMENT PERMIT - REGISTRATION #1 | | |
| 6 | NOV 2021 | ISSUED FOR DEVELOPMENT PERMIT - REGISTRATION #1 | | |

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PROJECT:
**154TH STREET
TOWNHOUSE
DEVELOPMENT**

15041 & 15041 20TH AVE, 2027 &
2041 154TH ST, AND 2008 HURDWAY DR
SURREY, BC

PERSPECTIVES

| SCALE | PROJ. NO. |
|-------------|-----------|
| NTS | 19-1038 |
| A8.1 | |



ELEVATED VIEW FROM PARKWAY DRIVE (NORTH ELEVATION - BUILDING 7)



BIRDS-EYE VIEW FROM PARKWAY DRIVE



STREETVIEW FROM 154 ST (EAST ELEVATION - BUILDING 4)



STREETVIEW FROM PARKWAY DRIVE (NORTH ELEVATION - BUILDING 7)



| REV | DATE | DESCRIPTION | DR | RV |
|-----|-----------|---------------------------------------------|----|----|
| 8 | NOV 2023 | PROCESSED FOR DEVELOPMENT FORM-REDESIGN | AI | |
| 6 | AUG 2023 | PROCESSED FOR DEVELOPMENT FORM-REDESIGN | AI | |
| 4 | JUN 23 | PROCESSED FOR DEVELOPMENT TO COMMENTS - MAP | AI | |
| 3 | MAY 16/23 | DESIGN FOR DEVELOPMENT FORM | VC | VC |
| 1 | MAY 2023 | DESIGN FOR DEVELOPMENT FORM | VP | VP |

PROJECT:
154TH STREET
TOWNHOUSE
DEVELOPMENT
15401 & 15401 20TH AVE, 2027 &
2041 154TH ST, AND 2008 PARKWAY DR
SURREY, BC

PERSPECTIVES

| SCALE | PROJECT NO. |
|-------|-------------|
| NTS | 19-1038 |
| A8.2 | |



ELEVATED VIEW FROM REAR LANE (WEST ELEVATION - BUILDINGS 1, 2 & 6)



STREETVIEW FROM REAR LANE ENTRANCE (FROM 26 AVE)



2021-12-10

6 MAY 2021 PERMITTED FOR DEVELOPMENT FORM - HOUSE DEVELOPMENT

6 AUG 2021 PERMITTED FOR DEVELOPMENT FORM - HOUSEMAY AY

4 JAN 21 PERMITTED FOR DEVELOPMENT FORM - HOUSEMAY AY

3 FEB 21 PERMITTED FOR DEVELOPMENT TO COMMENTS - M-AY AY

2 SEP 2020 PERMITTED FOR DEVELOPMENT FORM PERM VICE

1 MAY 2020 PERMITTED FOR DEVELOPMENT FORM PERM VP

REV DATE DESCRIPTION DR BY

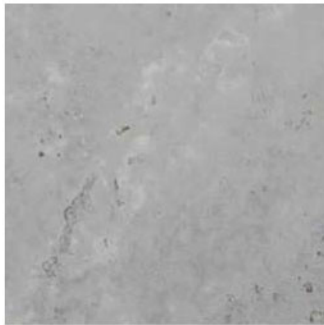
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PROJECT: 154TH STREET TOWNHOUSE DEVELOPMENT

154th & 150th North Ave, 2627 & 2641, 154th St, and 26th Rowanway Dr
SURREY, BC

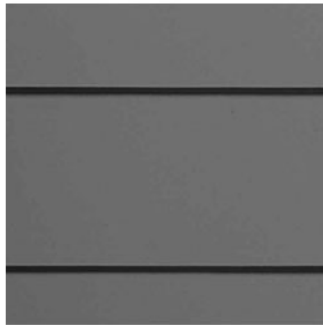
SHEET TITLE: PERSPECTIVES

| | | |
|-------|------|---------|
| SCALE | DATE | REVISED |
| NTS | 1 | 1 |
| A8.3 | | 19-1038 |



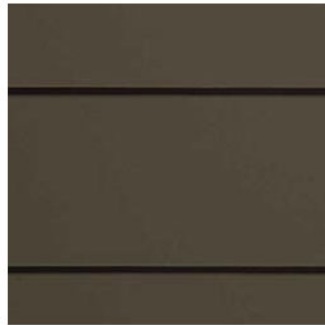
CONCRETE FACE

01



HARDIEPLANK: DARK GRAY

04



HARDIEPLANK: DARK BEIGE

05



HARDIEPANEL: LIGHT GRAY / WHITE

06



VICWEST: BLACK

07



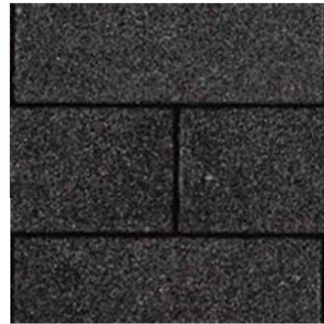
ENTRY DOOR

08



METAL SOFFIT: WOOD FINISH

09



ASPHALT SHINGLES

10



MARAZZI- PORCELAIN TILE-UNPOLISHED

11



ALUMINUM RAILING : BLACK

12



MATERIAL LEGEND

| | | |
|----|------------------------------|------------------------------|
| 01 | CONCRETE | COLOR: NA |
| 02 | ALUMINUM FINING & GLASS | COLOR: NA |
| 03 | WINDOW WELL | COLOR: NA |
| 04 | HARDIE PLANK | COLOR: DARK GRAY |
| 05 | HARDIE PLANK | COLOR: DARK BEIGE |
| 06 | HARDIE PANEL | COLOR: LIGHT GRAY |
| 07 | ALUMINUM WINDOW & DOOR FRAME | COLOR: BLACK |
| 08 | WOODEN TRIM | COLOR: BLACK |
| 09 | GLASS FINISH | COLOR: CLEAR |
| 10 | WALK DOOR | COLOR: BROWN |
| 11 | METAL SOFFIT | COLOR: WOODEN FINISH |
| 12 | SPORTEC/ITAL CONCRETE | COLOR: LIGHT GRAY W/ FINIALS |
| 13 | ROOFTOP SHINGLES | COLOR: CHARCOAL |
| 14 | FACIA BOARD | COLOR: DARK GRAY |
| 15 | ALUMINUM FINING | BLACK |
| 16 | FIRE RATED GLASS | NA |

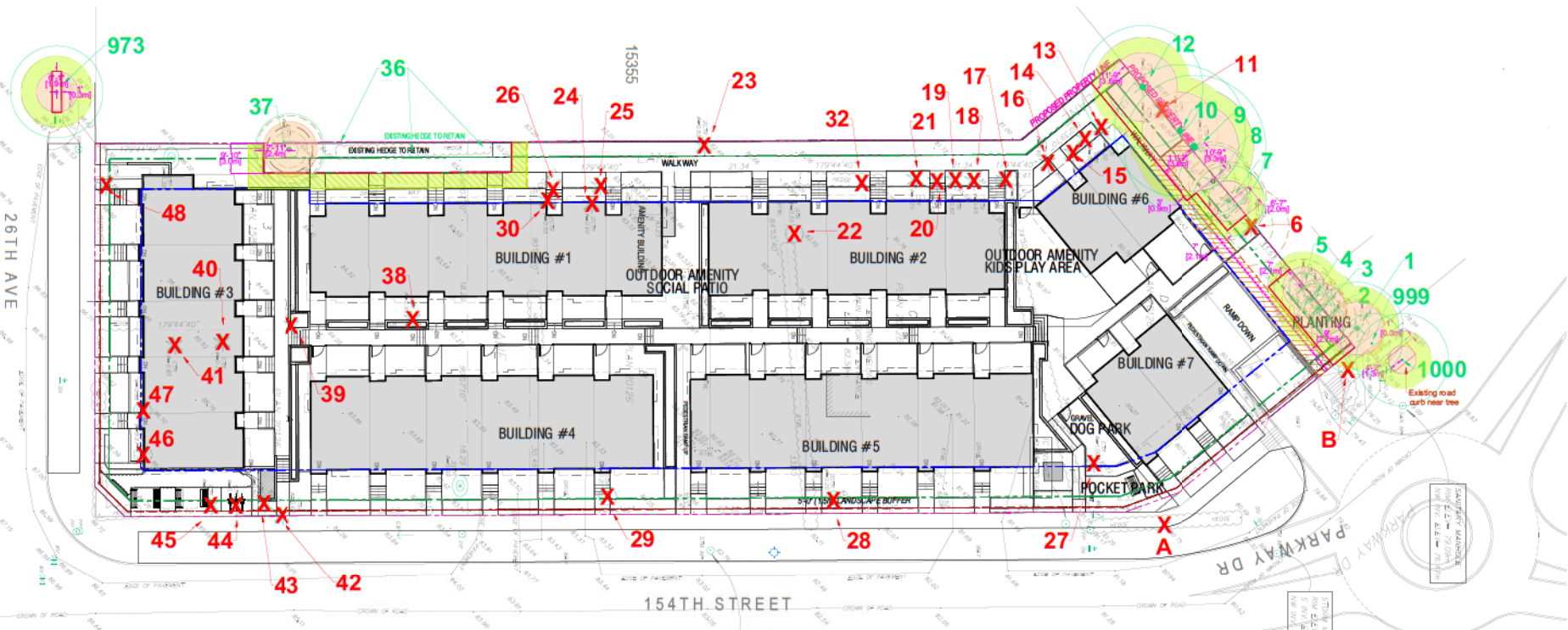
| | | | | | |
|---|-----------------------------------|------|-------------|----|----|
| 1 | REV | DATE | DESCRIPTION | DR | RV |
| 1 | ADD 2018 REVISION FOR PRELIMINARY | | | | |
| 2 | ADD 2018 REVISION FOR PRELIMINARY | | | | |
| 3 | ADD 2018 REVISION FOR PRELIMINARY | | | | |
| 4 | ADD 2018 REVISION FOR PRELIMINARY | | | | |
| 5 | ADD 2018 REVISION FOR PRELIMINARY | | | | |

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PROJECT:
**154TH STREET
TOWNHOUSE
DEVELOPMENT**
15451 & 154TH STREET, 2027 &
2041 154TH ST., AND 2038 ROADWAY OR
SURREY, BC

**MATERIAL
BOARD**

| | | | |
|---------------|---|---------------------|---------|
| TOTAL SNTS | 1 | PERCENT PAGE NO. | 19-1038 |
| A9.1 | | | |



1 TREE MANAGEMENT PLAN
 SCALE 1/16"=1'-0"

Tree Recommended for Retention:

Tree Recommended for Removal:

Undersized Tree: UT

Crown Dripline for:
 Retain Tree:
 Remove Tree:

Tree Protection Barrier (Outlines Tree Protection Zone)

Tree Protection Zone

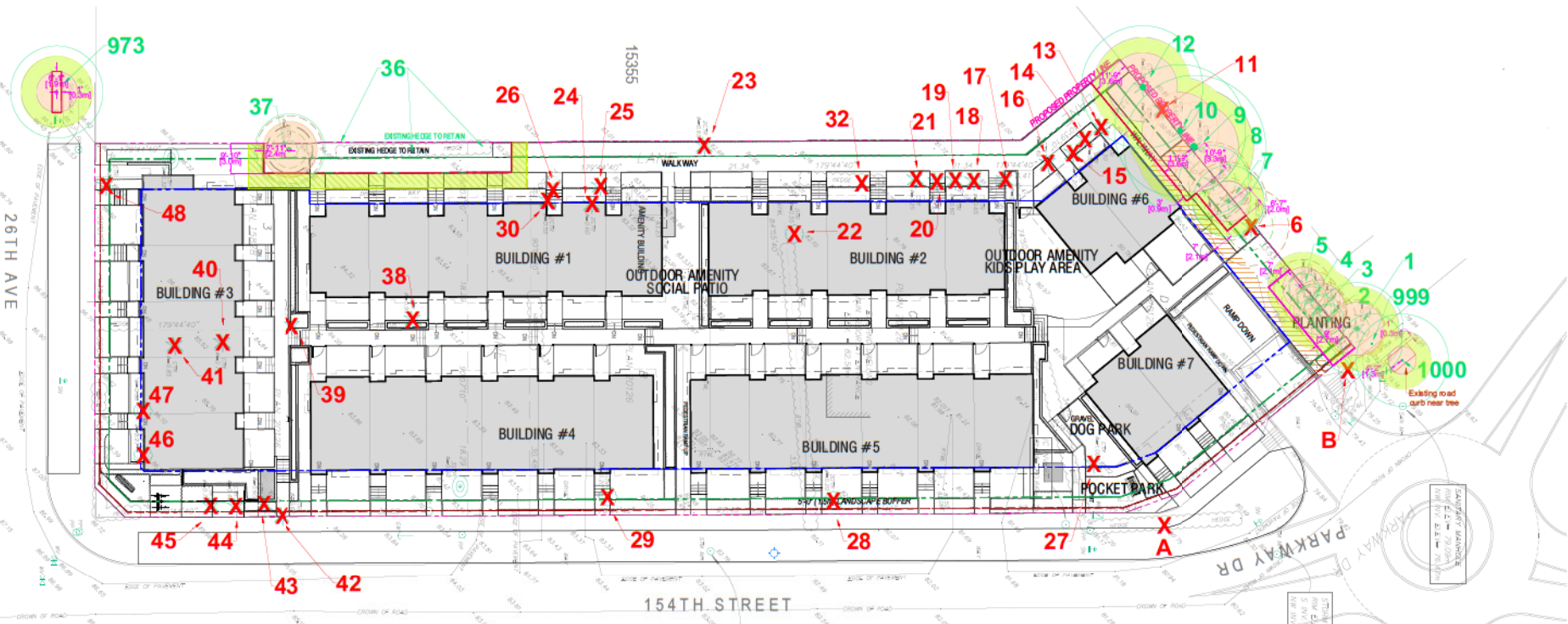
Supervision Zone (1.5m)

Notes:
 1. Where trees are densely clustered the crown dripline may not be shown for some trees to provide legibility.
 2. Trees recommended for retention are illustrated with DBH to scale (except for trees with numerous small stems).
 3. Calculations and measurements for Tree Barriers, CRZ & TPZ are from the outside trunk of the subject tree.

LEGEND:

- EXISTING LAND
- NEWLAND PLANTING
- CONCRETE PAVEMENT/SLAB
- SAND
- DOG PARK, GRASS, MULCH BELLA
- HEDG PLANTING/CLIP
- PAVED CONCRETE SLAB/POD
- CONCRETE WALKWAY
- WOOD DECK OR COMPOSITE DECK
- VINYL SIDING
- EXISTING TREE TO BE MAINTAINED WITH TREE PROTECTION
- EXISTING TREE TO BE REMOVED WITH TREE PROTECTION
- NEW TREES

| | |
|--------------------------------|---------------------------------------------------------------------------------------------------------------------|
| REVISIONS | |
| 1 | |
| 10 ISSUED FOR DP R4 2021.12.02 | |
| ISSUES | |
| 6 | ISSUED FOR DP R3 2021.06.19 |
| 7 | ISSUED FOR DP PRIOR TO 2021.04.06 |
| 8 | ISSUED FOR DP PRIOR TO 2021.02.25 |
| 9 | ISSUED FOR DP PRIOR TO 2021.01.20 |
| 4 | ISSUED FOR DP PRIOR TO 2020.10.04 |
| 3 | ISSUED FOR DP PRIOR TO 2020.06.17 |
| 2 | ISSUED FOR DP PRIOR TO 2020.06.14 |
| 1 | ISSUED FOR DP 2020.02.28 |
| PROJECT NUMBER | LE59 |
| DRAWN BY | LX |
| CHECKED BY | LX |
| DATE CHECKED | |
| DATE TECHNICED | |
| CONSULTANT | |
| PROJECT | 154TH STREET TOWNHOUSE 15391 & 15391 26TH AVE, 2627 & 2641 154TH ST, AND 2695 PARKWAY DR SURREY, BC |
| DRAWING TITLE | TREE MANAGEMENT PLAN |
| DRAWING NO. | L1.1 |



1 TREE MANAGEMENT PLAN
 SCALE 1 / 16" = 1' - 0"

Tree Recommended for Retention:

Tree Recommended for Removal:

Undersized Tree: UT

Crown Dripline for:
 Retain Tree:

Remove Tree:

Tree Protection Barrier (Outlines Tree Protection Zone)

Tree Protection Zone

Supervision Zone (1.5m)

Notes:
 1. Where trees are densely clustered the crown dripline may not be shown for some trees to provide legibility.
 2. Trees recommended for retention are illustrated with DBH to scale (except for trees with numerous small stems).
 3. Calculations and measurements for Tree Barriers, CRZ & TPZ are from the outside trunk of the subject tree.

LEGEND:

- EXISTING LAND
- NEW LAND PLANTING
- CONCRETE PAVEMENT / ASPHALT
- SAND
- DOG PARK, GRAVE, POCKET PARK
- HEDGELAND / PLANTING
- PAVED CONCRETE / ASPHALT
- CONCRETE WALKWAY
- WOOD DECK OR COMPOSITE DECK
- VINYL CLADDING
- EXISTING TREE TO BE MAINTAINED WITH TREE PROTECTION ZONE
- EXISTING TREE TO BE REMOVED WITH TREE PROTECTION ZONE
- NEW TREES

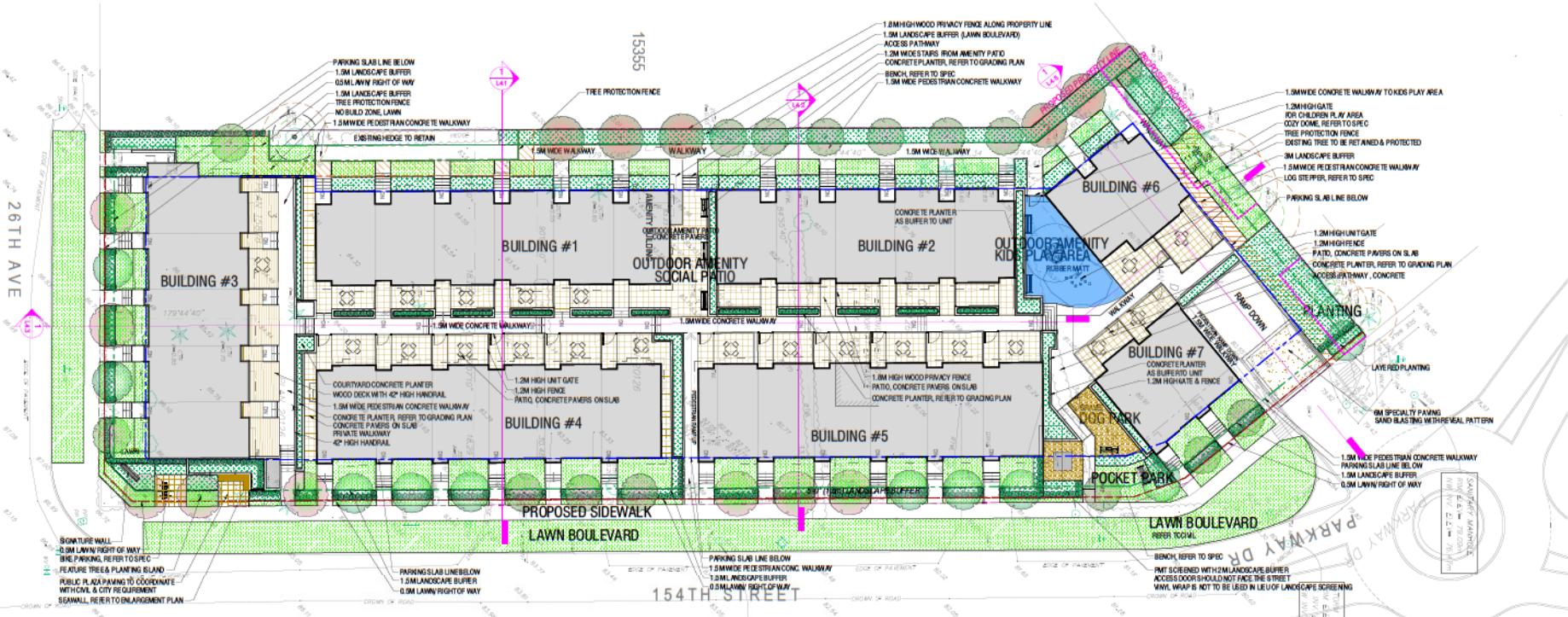
| NO. | ISSUED FOR | DATE |
|---------------|------------------------|------------|
| 10 | ISSUED FOR DP R4 | 2021.12.14 |
| ISSUES | | |
| 8 | ISSUED FOR DP R3 | 2021.06.19 |
| 7 | ISSUED FOR DP PRIOR TO | 2021.04.06 |
| 9 | ISSUED FOR DP PRIOR TO | 2021.02.25 |
| 6 | ISSUED FOR DP PRIOR TO | 2021.01.20 |
| 4 | ISSUED FOR DP PRIOR TO | 2020.10.04 |
| 3 | ISSUED FOR DP PRIOR TO | 2020.06.17 |
| 5 | ISSUED FOR DP PRIOR TO | 2020.06.14 |
| 1 | ISSUED FOR DP | 2020.02.26 |

| | |
|-----------------|------|
| PROJECT NUMBER: | LE59 |
| DRAWN BY: | LX |
| CHECKED BY: | LX |
| DATE CHECKED: | |
| CONSULTANT: | |

PROJECT
154TH STREET TOWNHOUSE
 15391 & 15391 26TH AVE,
 2627 & 2641 154TH ST, AND 2695 PARKWAY DR
 SURREY, BC

DRAWING TITLE
TREE MANAGEMENT PLAN

DRAWING NO.:
L1.1



1 LANDSCAPE SITE PLAN
SCALE 1/16" = 1'-0"

REVISIONS

| NO | REVISION | DATE |
|----|------------------------|------------|
| 1 | ISSUED FOR DP R4 | 2021.12.14 |
| 2 | ISSUED FOR DP R3 | 2021.06.19 |
| 3 | ISSUED FOR DP PRIOR TO | 2021.04.06 |
| 4 | ISSUED FOR DP PRIOR TO | 2021.02.25 |
| 5 | ISSUED FOR DP PRIOR TO | 2021.01.20 |
| 6 | ISSUED FOR DP PRIOR TO | 2020.10.04 |
| 7 | ISSUED FOR DP PRIOR TO | 2020.06.17 |
| 8 | ISSUED FOR DP PRIOR TO | 2020.06.14 |
| 9 | ISSUED FOR DP | 2020.02.20 |

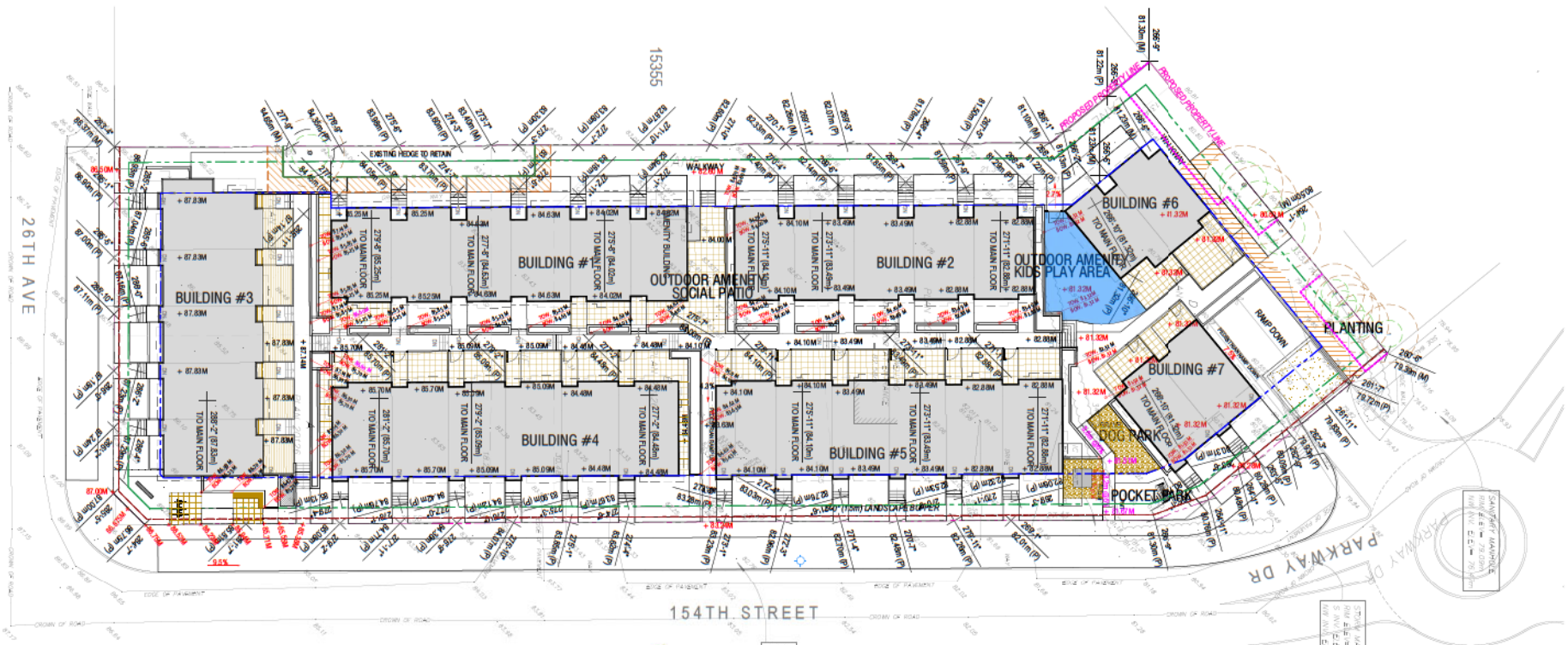
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| PROJECT NUMBER | LE20 |
| DRAWN BY | LX |
| CHECKED BY | LX |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
154TH STREET TOWNHOUSE
15391 & 15381 26TH AVE,
2627 & 2641 154TH ST, AND 2695 PARKWAY DR
SURREY, BC

DRAWING TITLE
LANDSCAPE SITE PLAN

DRAWING NO.
L1.2

- LEGEND:**
- EXISTING LAWN
 - NEW LAWN RE-PLANTING
 - CONCRETE PLANTER ON SLAB
 - SAND
 - DOG PARK (SAND ON SLAB)
 - KIDS PLAYING (SAND ON SLAB)
 - PATIO
 - CONCRETE GRAB PATIO
 - CONCRETE WALKWAY
 - WOOD DECK OR COMPOSITE DECK
 - NEW TREES
 - EXISTING TREE TO RETAIN WITH TREE PROTECTION FENCE
 - EXISTING TREE TO BE REMOVED WITH TREE PROTECTION FENCE
 - NEW TREES



1 LANDSCAPE GRADING PLAN
SCALE 1/16" = 1'-0"

| REVISIONS | | |
|----------------|------------------------|------------|
| NO | DESCRIPTION | DATE |
| 1 | ISSUED FOR CP R4 | 2021.12.14 |
| ISSUES | | |
| 6 | ISSUED FOR CP R3 | 2021.06.19 |
| 7 | ISSUED FOR CP PRIOR TO | 2021.06.06 |
| 8 | ISSUED FOR CP PRIOR TO | 2021.02.25 |
| 9 | ISSUED FOR CP PRIOR TO | 2021.01.20 |
| 4 | ISSUED FOR CP PRIOR TO | 2020.10.04 |
| 3 | ISSUED FOR CP PRIOR TO | 2020.06.17 |
| 2 | ISSUED FOR CP PRIOR TO | 2020.06.14 |
| 1 | ISSUED FOR CP | 2020.02.26 |
| PROJECT NUMBER | LE28 | |
| DRAWN BY | LX | |
| CHECKED BY | LX | |
| DATE CHECKED | | |
| CONSULTANT | | |

PROJECT
154TH STREET TOWNHOUSE
15391 & 15381 26TH AVE,
2627 & 2641 154TH ST, AND 2695 PARKWAY DR
SURREY, BC

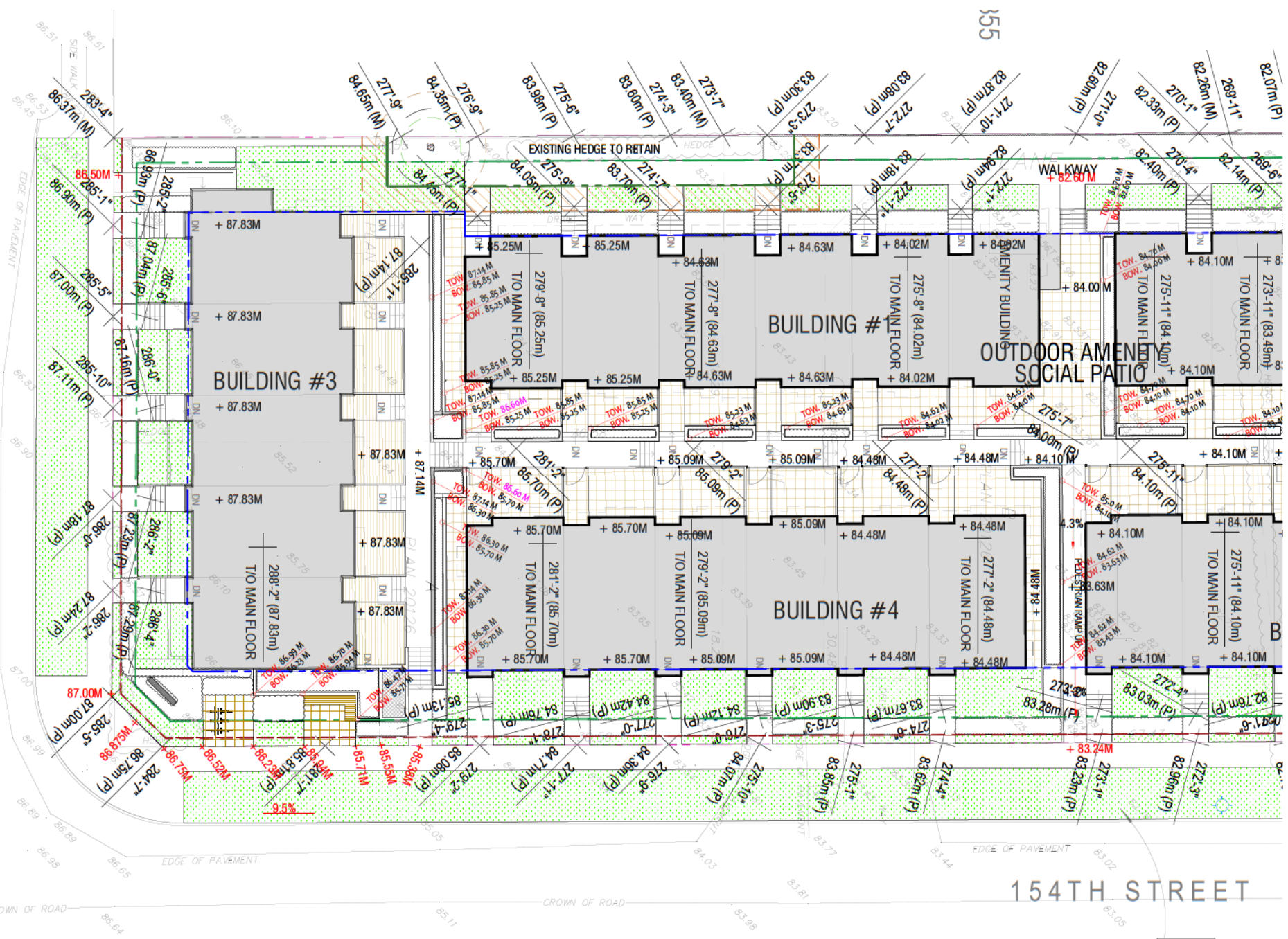
DRAWING TITLE
LANDSCAPE GRADING PLAN

DRAWING NO.
L1.3

- LEGEND:**
- EXISTING LAWN
 - REIMAGINED PLANTING
 - CONCRETE PATIONS/SLAB
 - SAND
 - DOG PARK (CONCRETE IN USE)
 - NEW PLAYGROUND FOR ADJACENT BUILDING
 - PAVED CONCRETE/SLAB PAV.
 - CONCRETE WALKWAY
 - WOOD DECK OR COMPOSITE DECK
 - 15M TREES
 - 20M TREES TO 15M WITH TREE GUARDRAILS
 - EXISTING TREES TO BE REMOVED WITH TREE GUARDRAILS
 - NEW TREES



SCALE 1/8" = 1'-0"



REVISIONS

| NO | DESCRIPTION | DATE |
|----|------------------|------------|
| 1 | ISSUED FOR CP R4 | 2021.12.14 |

ISSUES

| NO | DESCRIPTION | DATE |
|----|------------------------|------------|
| 1 | ISSUED FOR CP R3 | 2021.06.19 |
| 2 | ISSUED FOR CP PRIOR TO | 2020.06.06 |
| 3 | ISSUED FOR CP PRIOR TO | 2021.02.25 |
| 4 | ISSUED FOR CP PRIOR TO | 2021.01.29 |
| 5 | ISSUED FOR CP PRIOR TO | 2020.10.04 |
| 6 | ISSUED FOR CP PRIOR TO | 2020.06.17 |
| 7 | ISSUED FOR CP PRIOR TO | 2020.06.14 |
| 8 | ISSUED FOR CP | 2020.02.26 |

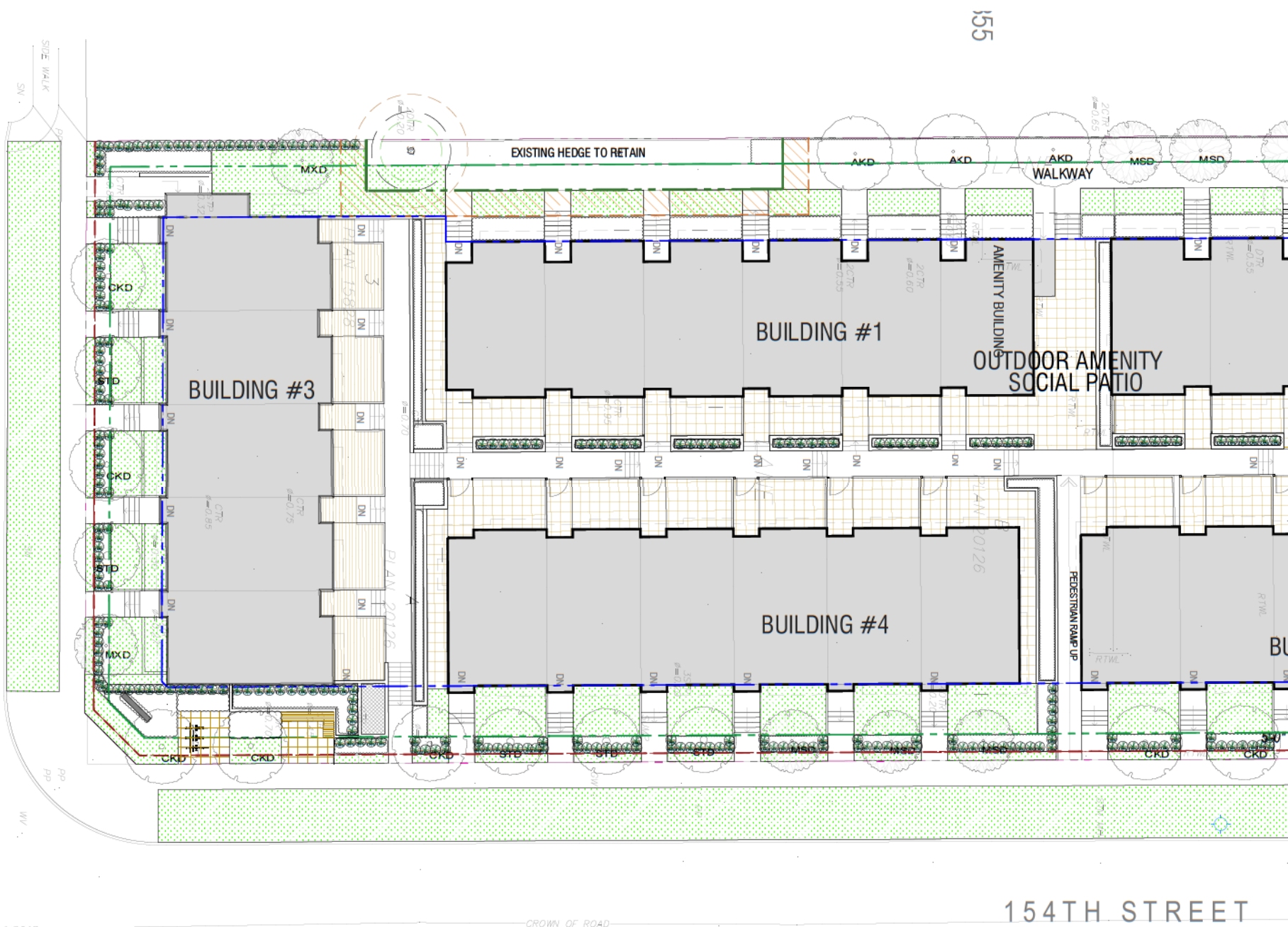
| PROJECT NUMBER | LEDR |
|----------------|------|
| DRAWN BY | LR |
| CHECKED BY | LR |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
154TH STREET TOWNHOUSE
 15391 & 15381 26TH AVE,
 2627 & 2681 154TH ST, AND 2685 PARKWAY DR
 SURREY, BC

DRAWING TITLE
ENLARGEMENT GRADING PLAN

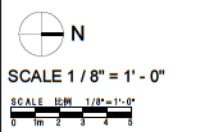
DRAWING NO.

L2.1



155

RPL PROJECTS
 WWW.RPLPROJECTS.COM
 lu@rplprojects.com
 604-338-9035



| REVISIONS | | |
|-----------|------------------------|------------|
| NO | DESCRIPTION | DATE |
| 1 | ISSUED FOR DP R4 | 2021.12.14 |
| ISSUES | | |
| 6 | ISSUED FOR DP R3 | 2021.06.19 |
| 7 | ISSUED FOR DP PRIOR TO | 2021.04.06 |
| 8 | ISSUED FOR DP PRIOR TO | 2021.02.25 |
| 4 | ISSUED FOR DP PRIOR TO | 2021.01.20 |
| 6 | ISSUED FOR DP PRIOR TO | 2020.10.01 |
| 4 | ISSUED FOR DP PRIOR TO | 2020.09.17 |
| 3 | ISSUED FOR DP PRIOR TO | 2020.06.14 |
| 1 | ISSUED FOR DP | 2020.02.26 |

| | |
|----------------|------|
| PROJECT NUMBER | LEIS |
| DRAWN BY | LX |
| CHECKED BY | LX |
| DATE CHECKED | |
| CONSULTANT | |

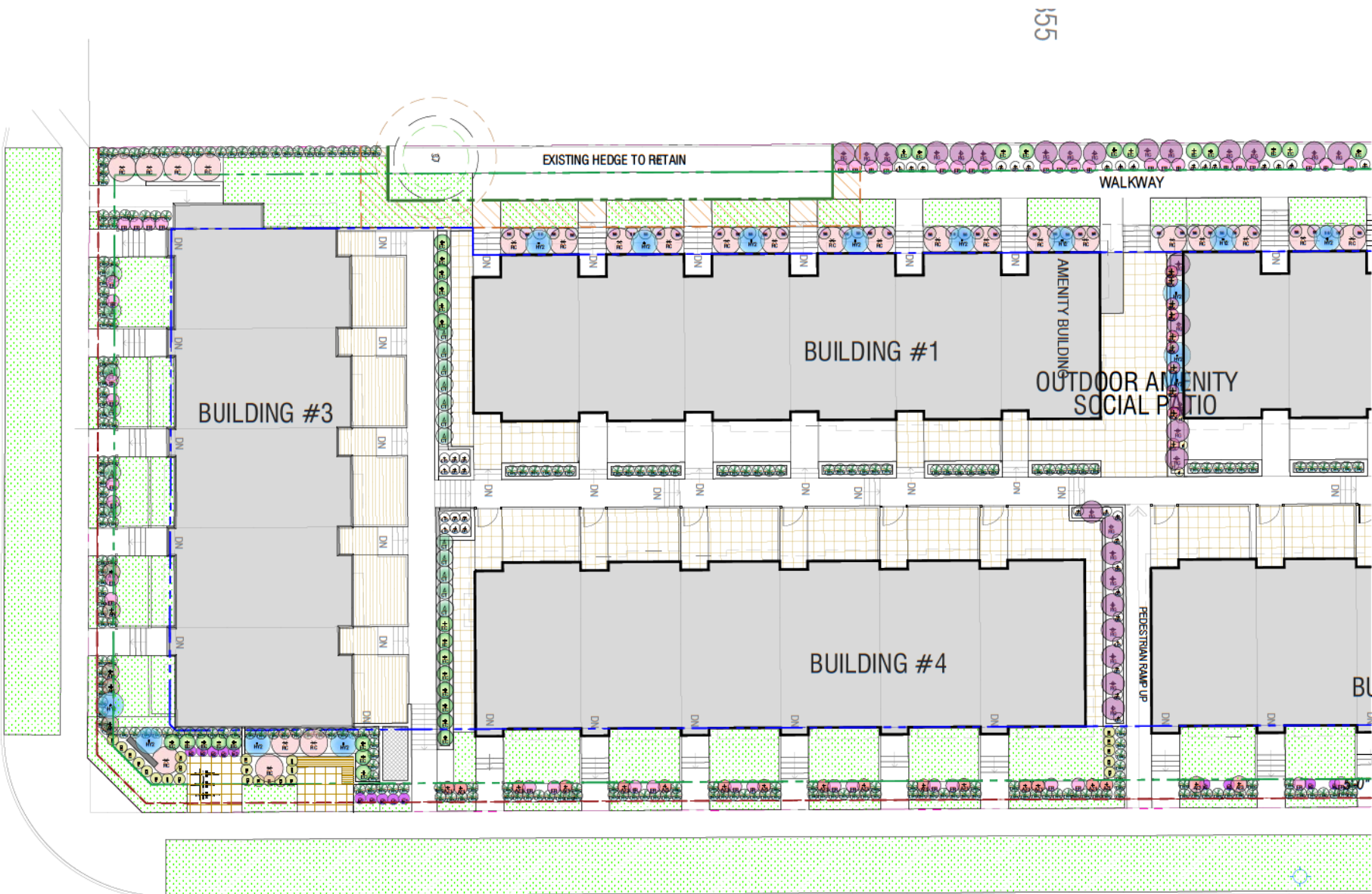
PROJECT
154TH STREET TOWNHOUSE
 15391 & 15381 26TH AVE,
 2627 & 2641 154TH ST, AND 2685 PARKWAY DR
 SURREY, BC

DRAWING TITLE
ENLARGEMENT TREE PLAN

DRAWING NO.
L2.2

154TH STREET

DOWN OF ROAD CROWN OF ROAD



SCALE 1/8" = 1' - 0"



REVISIONS

| NO | DESCRIPTION | DATE |
|----|---------------|------------|
| 1 | ISSUED FOR CP | 2020.02.28 |
| 2 | ISSUED FOR CP | 2020.06.14 |
| 3 | ISSUED FOR CP | 2020.06.17 |
| 4 | ISSUED FOR CP | 2020.10.01 |
| 5 | ISSUED FOR CP | 2021.08.29 |
| 6 | ISSUED FOR CP | 2021.08.25 |
| 7 | ISSUED FOR CP | 2021.06.06 |
| 8 | ISSUED FOR CP | 2021.06.19 |
| 9 | ISSUED FOR CP | 2021.12.14 |

| | |
|----------------|-----|
| PROJECT NUMBER | LEB |
| DRAWN BY | LX |
| CHECKED BY | LX |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
154TH STREET TOWNHOUSE
 15391 & 15381 26TH AVE,
 2627 & 2641 154TH ST, AND 2685 PARKWAY DR
 SURREY, BC

DRAWING TITLE
ENLARGEMENT PLANTING PLAN

DRAWING NO.
L2.3

| REVISIONS | | |
|-----------|--|--|
| 1 | | |

| NO | ISSUED FOR | DATE |
|----|------------------|------------|
| 10 | ISSUED FOR CP R4 | 2021.12.14 |

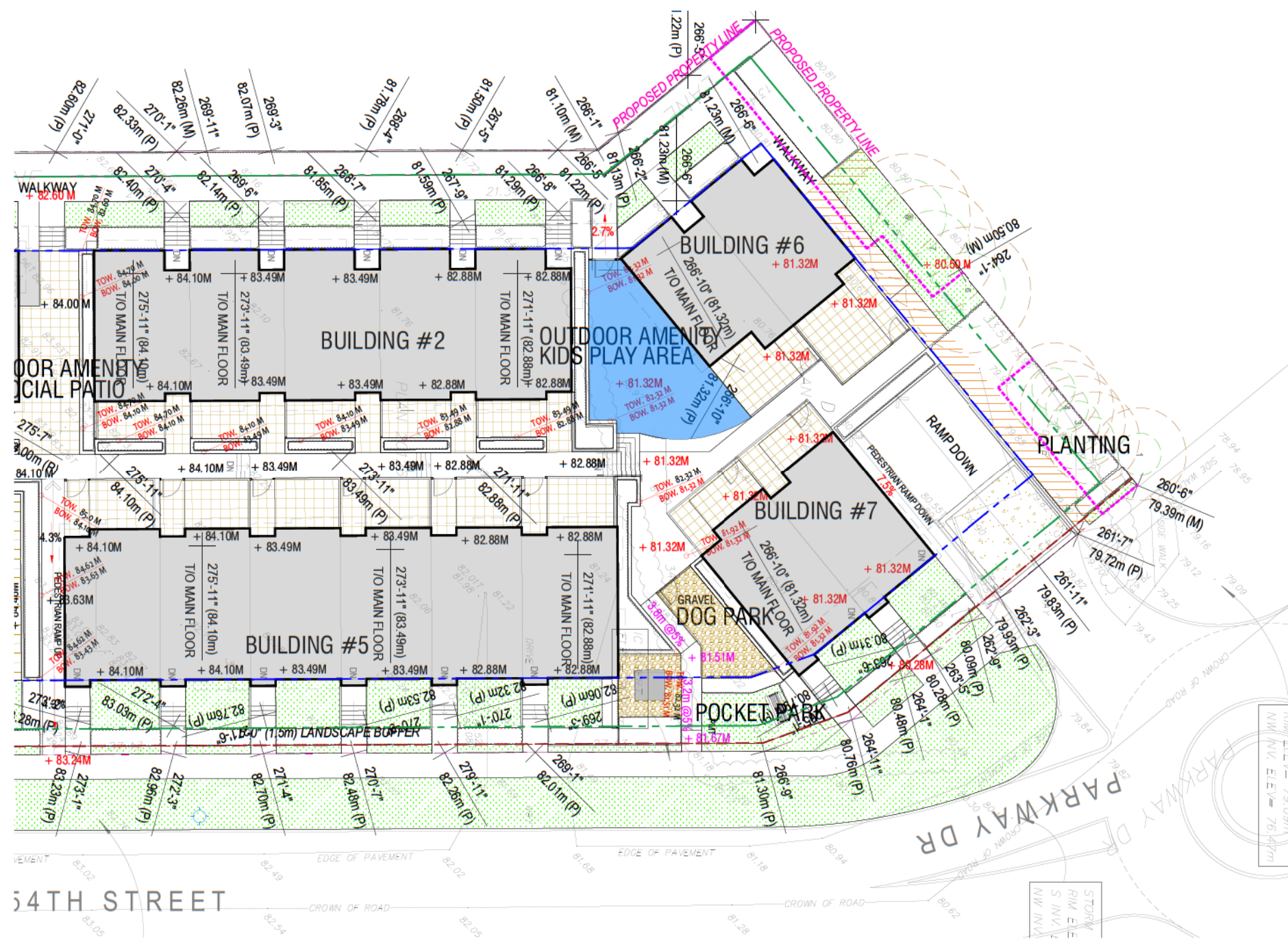
| NO | ISSUED FOR | DATE |
|----|------------------------|------------|
| 6 | ISSUED FOR CP R3 | 2021.06.19 |
| 7 | ISSUED FOR CP PRIOR TO | 2021.06.06 |
| 8 | ISSUED FOR CP PRIOR TO | 2021.02.25 |
| 9 | ISSUED FOR CP PRIOR TO | 2021.01.20 |
| 4 | ISSUED FOR CP PRIOR TO | 2020.10.01 |
| 5 | ISSUED FOR CP PRIOR TO | 2020.06.17 |
| 3 | ISSUED FOR CP PRIOR TO | 2020.06.14 |
| 1 | ISSUED FOR CP | 2020.02.26 |

| PROJECT NUMBER | LEDR |
|----------------|------|
| DRAWN BY | LA |
| CHECKED BY | LA |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
154TH STREET TOWNHOUSE
 15391 & 15381 26TH AVE,
 2627 & 2641 154TH ST, AND 2685 PARKWAY DR
 SURREY, BC

DRAWING TITLE
ENLARGEMENT GRADING PLAN

DRAWING NO.
L2.4



154TH STREET

PARKWAY DR

STORM
 RIM ELEV
 S INV
 NW INV

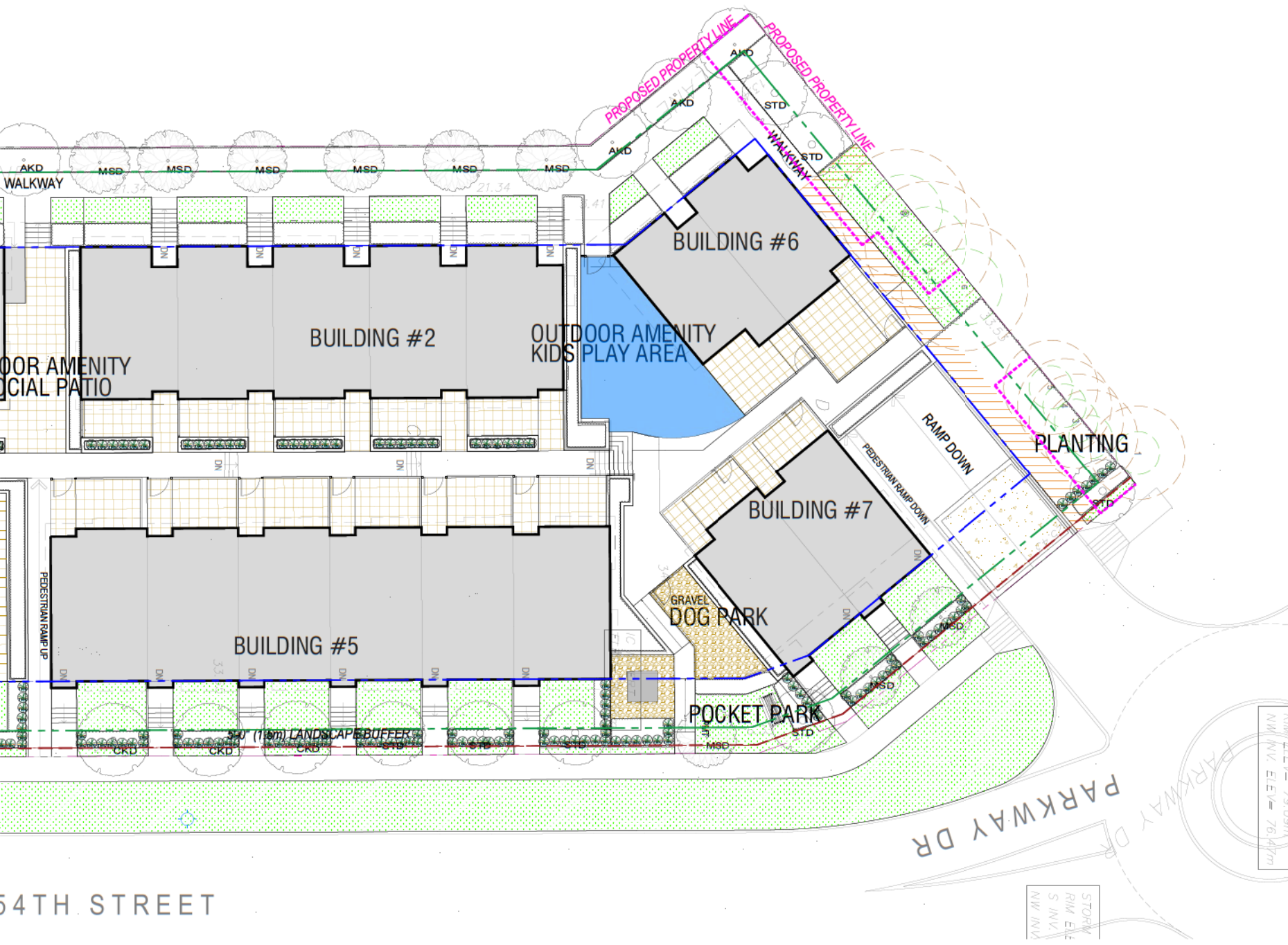
| NO | DESCRIPTION | DATE |
|----|------------------|------------|
| 10 | ISSUED FOR CP R4 | 2021.12.14 |
| 9 | ISSUED FOR CP R3 | 2021.06.19 |
| 8 | ISSUED FOR CP R2 | 2021.04.09 |
| 7 | ISSUED FOR CP R1 | 2021.02.26 |
| 6 | ISSUED FOR CP R0 | 2021.01.20 |
| 5 | ISSUED FOR CP R0 | 2020.10.04 |
| 4 | ISSUED FOR CP R0 | 2020.06.17 |
| 3 | ISSUED FOR CP R0 | 2020.06.14 |
| 2 | ISSUED FOR CP | 2020.02.20 |
| 1 | ISSUED FOR CP | 2020.02.20 |

| | |
|----------------|-----|
| PROJECT NUMBER | LEB |
| DRAWN BY | LR |
| CHECKED BY | LR |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
154TH STREET TOWNHOUSE
 15391 & 15391 26TH AVE,
 2627 & 2641 154TH ST, AND 2695 PARKWAY DR
 SURREY, BC

DRAWING TITLE
ENLARGEMENT TREE PLAN

DRAWING NO.
L2.5



154TH STREET

STORM
 RIM ELEV
 S INV
 NW INV



SCALE 1/8" = 1'-0"



REVISIONS

1

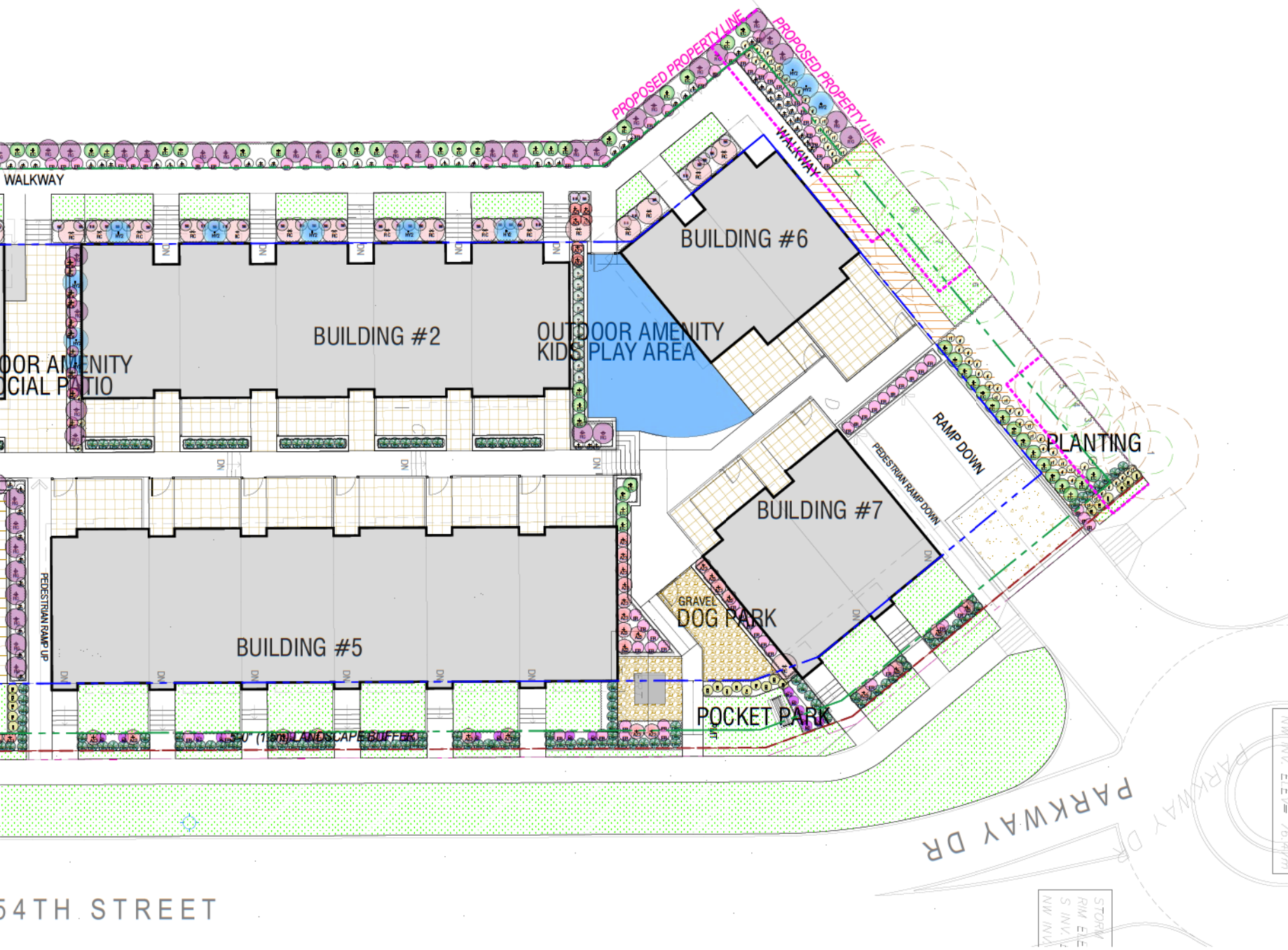
| NO | ISSUED FOR | DATE |
|--------|------------------------|------------|
| 9 | ISSUED FOR CP R4 | 2021.12.14 |
| ISSUES | | |
| 8 | ISSUED FOR CP R3 | 2021.06.19 |
| 7 | ISSUED FOR CP PRIOR TO | 2021.06.06 |
| 6 | ISSUED FOR CP PRIOR TO | 2021.02.25 |
| 5 | ISSUED FOR CP PRIOR TO | 2021.01.20 |
| 4 | ISSUED FOR CP PRIOR TO | 2020.10.04 |
| 3 | ISSUED FOR CP PRIOR TO | 2020.06.17 |
| 2 | ISSUED FOR CP PRIOR TO | 2020.06.14 |
| 1 | ISSUED FOR CP | 2020.02.26 |

| | |
|----------------|------|
| PROJECT NUMBER | LEIS |
| DRAWN BY | LX |
| CHECKED BY | LX |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
154TH STREET TOWNHOUSE
15391 & 15391 26TH AVE,
2627 & 2641 154TH ST, AND 2695 PARKWAY DR
SURREY, BC

DRAWING TITLE
ENLARGEMENT PLANTING PLAN

DRAWING NO.
L2.6



154TH STREET

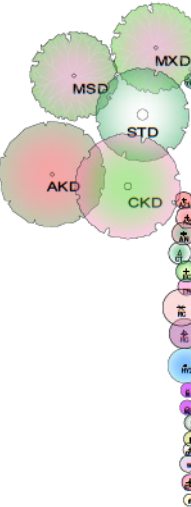
PARKWAY DR

STORM
RIM ELEV
S INV
NW INV

NW INV. ELEV = 76.417m

PLANT LIST:

| KEY | QTY. | BOTANICAL NAME | COMMON NAME | SIZE & COND. |
|---------------------------------|------|-----------------------------------------------|----------------------------------------|----------------------|
| TREES & HEDGES | | | | |
| TMC | 336 | TAXUS MEDIA "HIM EDDIE" | EDDIE YEW | 5FT HT. 20" O.C. B&B |
| MSD | 12 | MAGNOLIA X SOULANGEANA "LILIPUTAN" | SAUCER MAGNOLIA (PINK FLOWER) | 5CM CAL. B&B |
| MXD | 2 | MAGNOLIA X GALAXY | GALAXY MAGNOLIA | 5CM CAL. B&B |
| OKD | 8 | CORNUS KOUSA "SATOMI" | PINK DOGWOOD | 5CM CAL. B&B |
| STD | 12 | STEWARTIA PSEUDOCAMELLIA | JAPANESE STEWARTIA | 5CM CAL. B&B |
| AKD | 6 | ACER PALMATUM "BLOODGOOD" | RED JAPANESE MAPLE | 3M HT. B&B |
| SHRUBS | | | | |
| AZ1 | 24 | GRADUS FUGHSIA AZALEA / HIND CRISMS ON AZALEA | AZALEA (RED) | #2 @ 2' 6" O.C. |
| AZ3 | 25 | AZALEA ROSEBUD | ROSEBUD AZALEA (PINK) | #2 @ 2' 6" O.C. |
| AN | 5 | ARBUTUS UNEDO COMPACTED | COMPACT STRAWBERRY BUSH | #2 @ 2' 6" O.C. |
| CT | 18 | CHOISYA TERNATA SUNDANCE | MEXICAN MOCK ORANGE | #2 @ 4' O.C. |
| EC | 70 | EUPHORBIA CHARACIAS "WULFENII" | MEDITERRANEAN SPURGE | #1 POT @ 3' O.C. |
| ER | 116 | ERICA X DARLEYENSIS | WINTER HEATHER (MIXED COLOR) | #2 POT @ 1' O.C. |
| RC | 31 | RHODODENDRON "CHRISTMAS CHEER" | CHEER RHODO. (WHITE PINK) | #2 POT @ 3'-6" O.C. |
| RG | 48 | RHODODENDRON "ANAH KRUSCHKE" | DHODO. (PURPLE PINK) | #2 POT @ 3'-6" O.C. |
| HY2 | 22 | HYDRANGEA MACROPHYLLA "MONMAR" | ENCHANTRESS HYDRANGEA (REPEAT BLOOMER) | #2 POT @ 3'-6" O.C. |
| GROUNDCOVERS & GRASS | | | | |
| la2 | 28 | LAVANDULA STOECHAS SUBSP. | ENGLISH LAVENDER (EVERGREEN) | #2 POT @ 18" O.C. |
| SR | 11 | SARCOCOCCA RUSCIFOLIA | FRAGRANT SWEETBOX | #2 POT @ 1' O.C. |
| lx | 33 | HAKONECHLOA MACRA "AUREOLA" | GOLDEN JAPANESE FOREST GRASS | #2 POT @ 1' O.C. |
| PERENNIALS | | | | |
| cm | 75 | COREOPSIS VERTICILLATA MOONBEAM | MOONBEAM TICKSEED | #1 60CM O.C. |
| sa | 67 | SALVA VIOLET RIOT | SAGE | #1 POT @ 24" O.C. |
| Ex | 10 | ECHINACEA SPS | CONE FLOWER | #1 POT # 60CM O.C. |
| rf | 67 | RUDEBECKIA FULGIDA var "GOLDSTRUM" | BLACK EYED SUSAN | #1 POT @ 18" O.C. |



NOTES:

- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCNTA OR BCSLA GUIDELINES.
- TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
- AMMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
- TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 - A. GRASSED AREAS: 150MM (6")
 - B. GROUND COVERS: 300MM (12")
 - C. SHRUBS: 450MM (18")
 - D. TREE PITS: 1000MM (40") WITH 300MM(12") (BELOW ROOT BALL)
- LAWN AREAS SHALL BE SODDED WITH #1 PREMIUM RESIDENTIAL SOD.
- ALL SHRUB PLANTING AREAS SHALL HAVE GROUND COVERS 350MM (14") O.C.
- *MINUS BARK MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.

TREES & HEDGES

| | | | |
|-------------------|-------------------|-------------------|------------|
| 红豆杉 TMC | 山茱萸 MSD | 夏山茶 STD | AKD |
|-------------------|-------------------|-------------------|------------|

SHRUBS

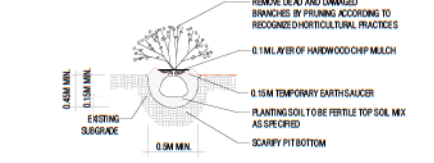
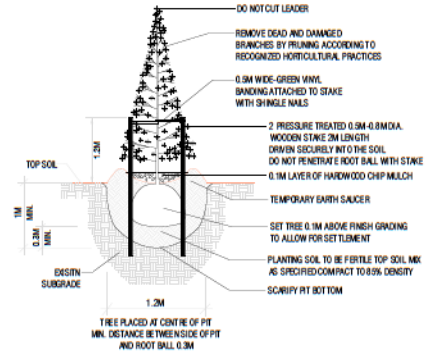
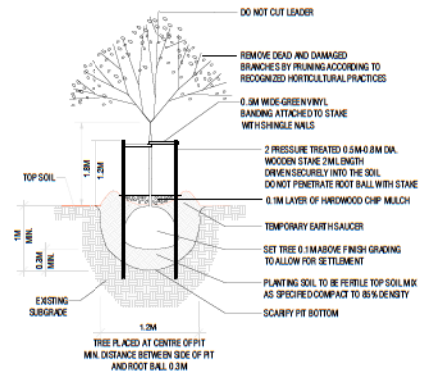
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|---------------|--------------|----------------|--------------|---------------|---------------|---------------|---------------|
| AZ 映山红 | AN 草梅 | CT 墨西哥桔 | EC 大戟 | HY2 绣球 | RC 杜鹃花 | ER 杜鹃花 | RG 杜鹃花 |
|---------------|--------------|----------------|--------------|---------------|---------------|---------------|---------------|

GROUNDCOVERS & GRASS

| | | |
|------------|---------------|---------------|
| la2 | SR 野扇花 | lx 金边草 |
|------------|---------------|---------------|

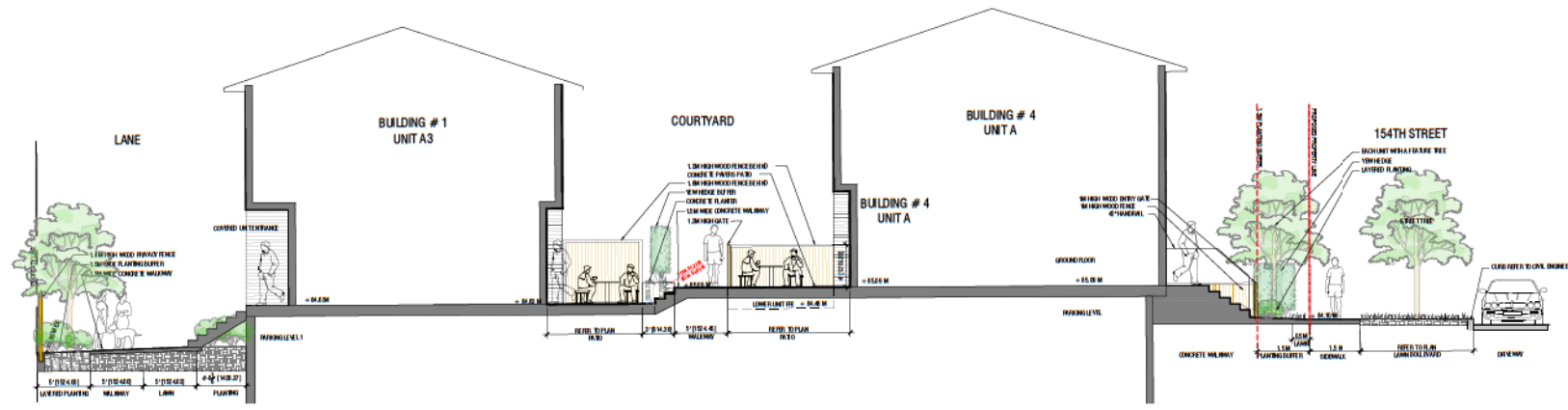
PERENNIALS

| | | | |
|-----------|---------------|---------------|---------------|
| cm | sa 鼠尾草 | Ex 雏菊花 | rf 金光菊 |
|-----------|---------------|---------------|---------------|

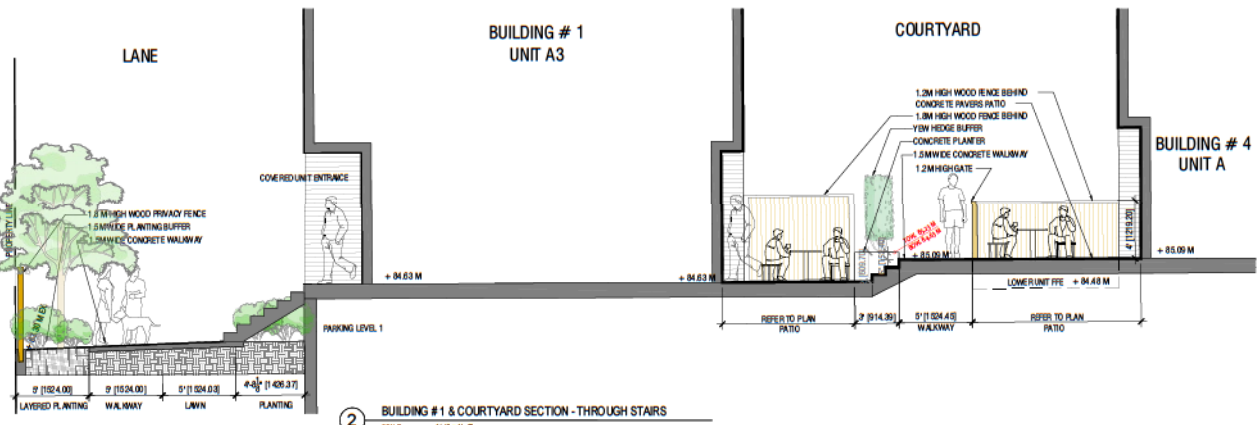


1 TYPICAL PLANTING DETAILS
SCALE NTS

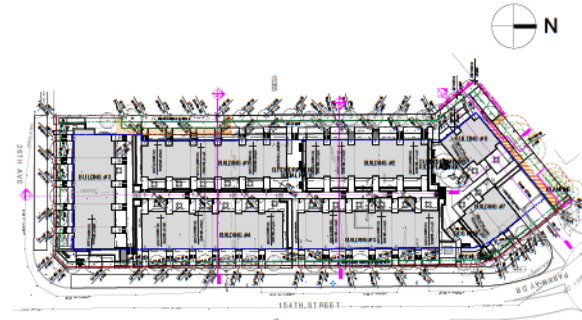
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| TO | ISSUED FOR CP R4 | 2021.12.14 |
| ISSUES | | DATE |
| 2 | ISSUED FOR CP R3 | 2021.06.19 |
| 3 | ISSUED FOR CP PRIOR TO | 2021.06.08 |
| 4 | ISSUED FOR CP PRIOR TO | 2021.02.25 |
| 5 | ISSUED FOR CP PRIOR TO | 2021.01.29 |
| 6 | ISSUED FOR CP PRIOR TO | 2020.10.04 |
| 7 | ISSUED FOR CP PRIOR TO | 2020.06.17 |
| 8 | ISSUED FOR CP PRIOR TO | 2020.06.14 |
| 9 | ISSUED FOR CP | 2020.02.28 |
| PROJECT NUMBER | LE3 | |
| DRAWN BY | LX | |
| CHECKED BY | LX | |
| DATE CHECKED | | |
| CONSULTANT | | |
| PROJECT | 154TH STREET TOWNHOUSE 15391 & 15361 26TH AVE, 2627 & 2641 154TH ST, AND 2695 PARKWAY DR SURREY, BC | |
| DRAWING TITLE | PLANTING LIST & DETAILS | |
| DRAWING NO. | L3 | |



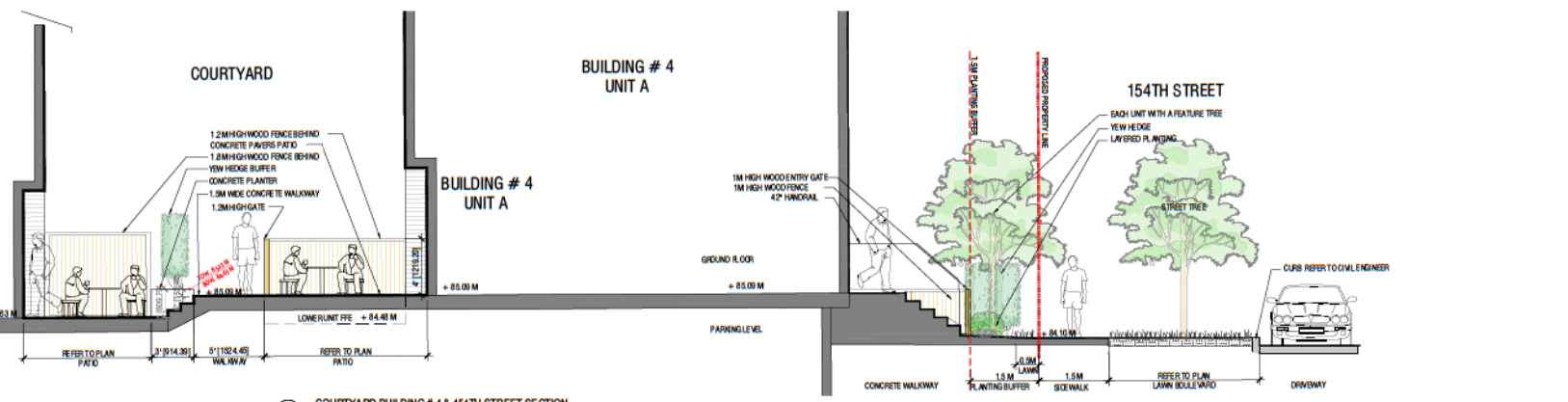
1 BUILDING # 1-4 SECTION
SCALE 3/16" = 1'-0"



2 BUILDING #1 & COURTYARD SECTION - THROUGH STAIRS
SCALE 1/4" = 1'-0"



KEY PLAN
SCALE: NTS



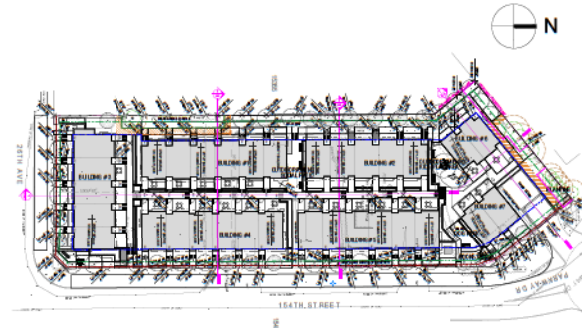
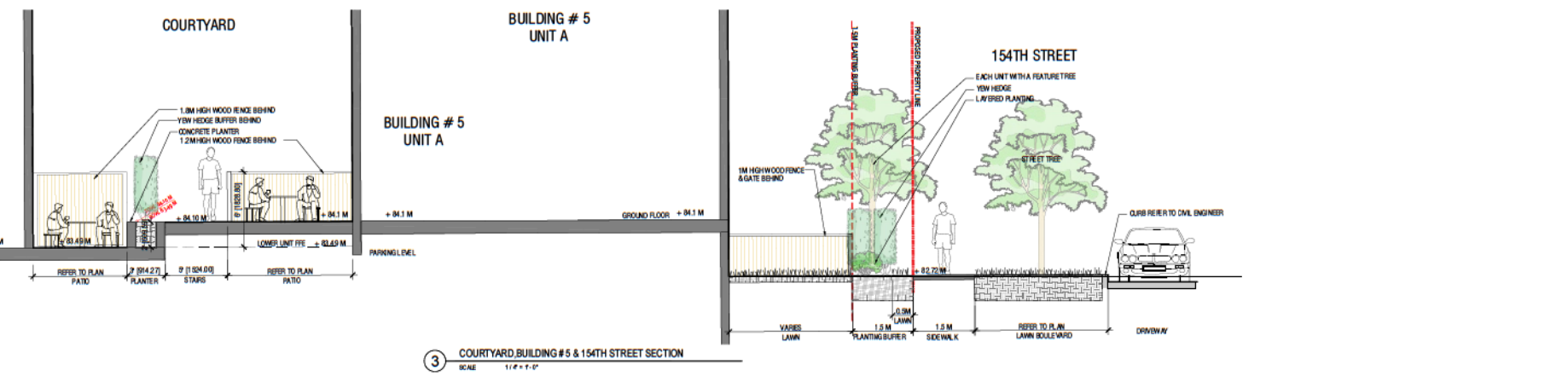
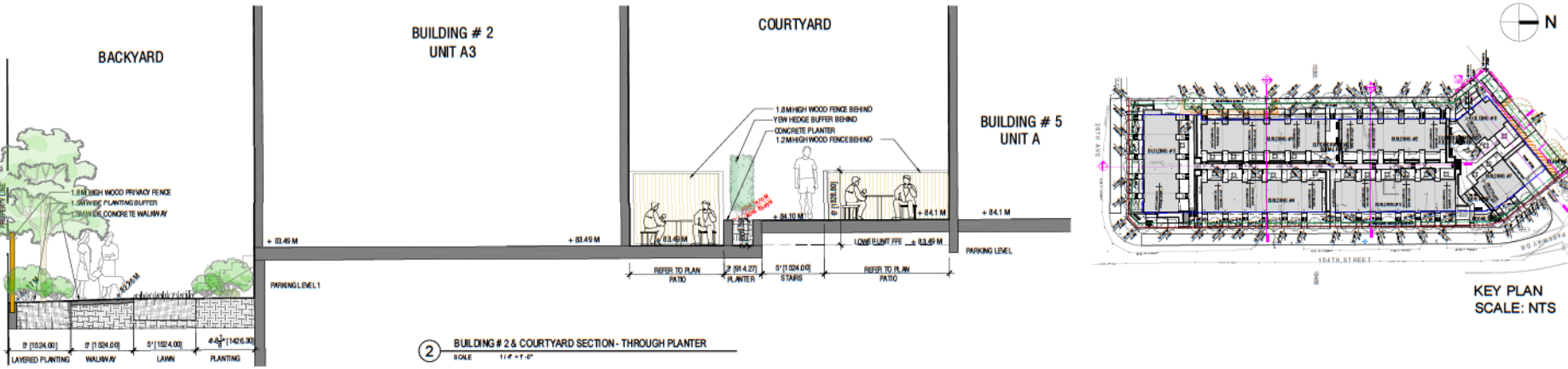
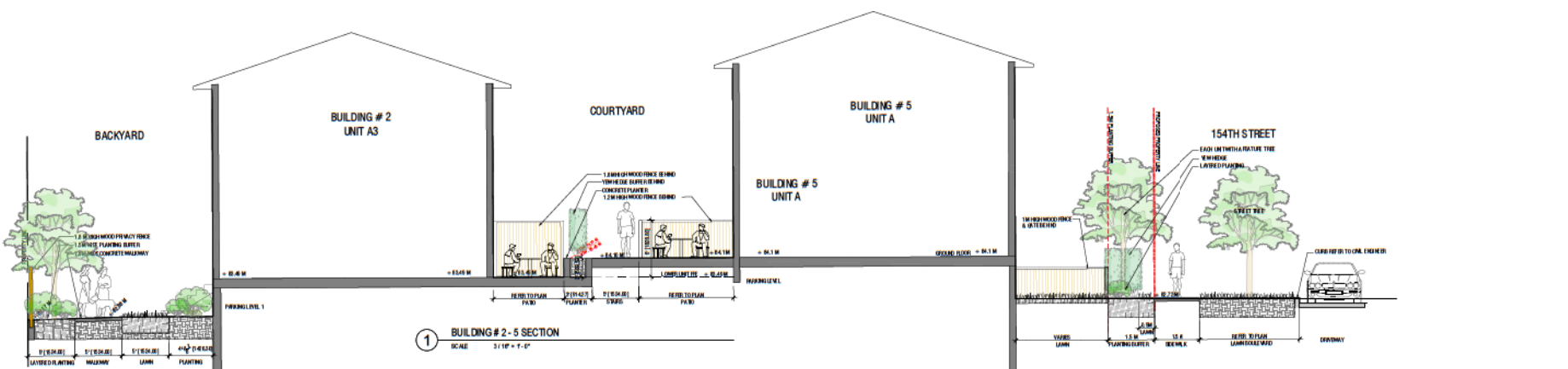
3 COURTYARD BUILDING # 4 & 154TH STREET SECTION
SCALE 1/4" = 1'-0"

| REVISIONS | | |
|----------------|------------------------|------------|
| 1 | | |
| TO | | |
| 6 | ISSUED FOR DP R4 | 2021.12.14 |
| ISSUES | | |
| 6 | ISSUED FOR DP R3 | 2021.06.19 |
| 7 | ISSUED FOR DP PRIOR TO | 2021.04.06 |
| 8 | ISSUED FOR DP PRIOR TO | 2021.02.25 |
| 9 | ISSUED FOR DP PRIOR TO | 2021.01.30 |
| 4 | ISSUED FOR DP PRIOR TO | 2020.10.04 |
| 3 | ISSUED FOR DP PRIOR TO | 2020.06.17 |
| 2 | ISSUED FOR DP PRIOR TO | 2020.06.14 |
| 1 | ISSUED FOR DP | 2020.02.26 |
| PROJECT NUMBER | LEIS | |
| DRAWN BY | LX | |
| CHECKED BY | LX | |
| DATE CHECKED | | |
| CONSULTANT | | |

PROJECT
154TH STREET TOWNHOUSE
15391 & 15391 26TH AVE,
2627 & 2641 154TH ST, AND 2695 PARKWAY DR
SURREY, BC

DRAWING TITLE
BUILDING #1 & 4 SECTIONS

DRAWING NO.
L4.1



| NO. | REVISIONS | DATE |
|-----|-----------|------|
| 1 | | |

| NO. | ISSUED FOR | DATE |
|-----|------------------------|------------|
| 1 | ISSUED FOR CP | 2021.12.14 |
| 2 | ISSUED FOR CP R3 | 2021.06.19 |
| 3 | ISSUED FOR CP PRIOR TO | 2021.04.06 |
| 4 | ISSUED FOR CP PRIOR TO | 2021.02.25 |
| 5 | ISSUED FOR CP PRIOR TO | 2021.01.30 |
| 6 | ISSUED FOR CP PRIOR TO | 2020.10.04 |
| 7 | ISSUED FOR CP PRIOR TO | 2020.06.17 |
| 8 | ISSUED FOR CP PRIOR TO | 2020.04.14 |
| 9 | ISSUED FOR CP | 2020.02.26 |

| | |
|----------------|------|
| PROJECT NUMBER | LE59 |
| DRAWN BY | LX |
| CHECKED BY | LX |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
154TH STREET TOWNHOUSE
 15391 & 15391 26TH AVE,
 2627 & 2641 154TH ST, AND 2495 PARKWAY DR
 SURREY, BC

DRAWING TITLE
BUILDING # 2 & 5 SECTIONS

DRAWING NO.
L4.2

REVISIONS

| NO | REVISION | DATE |
|----|------------------------|------------|
| 1 | ISSUED FOR CP R4 | 2021.12.14 |
| 2 | ISSUED FOR CP R3 | 2021.08.19 |
| 3 | ISSUED FOR CP PRIOR TO | 2021.04.06 |
| 4 | ISSUED FOR CP PRIOR TO | 2021.02.25 |
| 5 | ISSUED FOR CP PRIOR TO | 2021.01.20 |
| 6 | ISSUED FOR CP PRIOR TO | 2020.10.01 |
| 7 | ISSUED FOR CP PRIOR TO | 2020.08.17 |
| 8 | ISSUED FOR CP PRIOR TO | 2020.06.14 |
| 9 | ISSUED FOR CP | 2020.02.26 |

PROJECT CHAIRMAN: LDR
DRAWN BY: LX
CHECKED BY: LX
DATE CHECKED:
CONSULTANT:

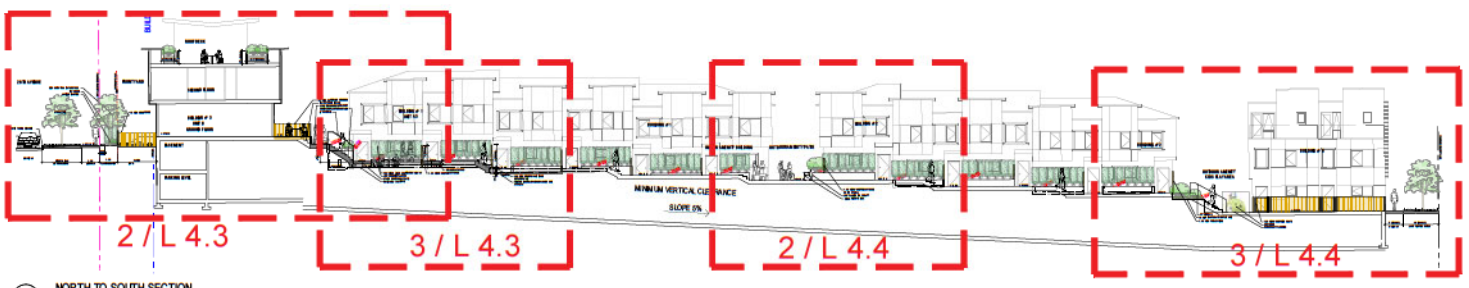
PROJECT
154TH STREET TOWNHOUSE
15391 & 15391 26TH AVE,
2627 & 2641 154TH ST, AND 2695 PARKWAY DR
SURREY, BC

DRAWING TITLE
NORTH TO SOUTH SECTIONS

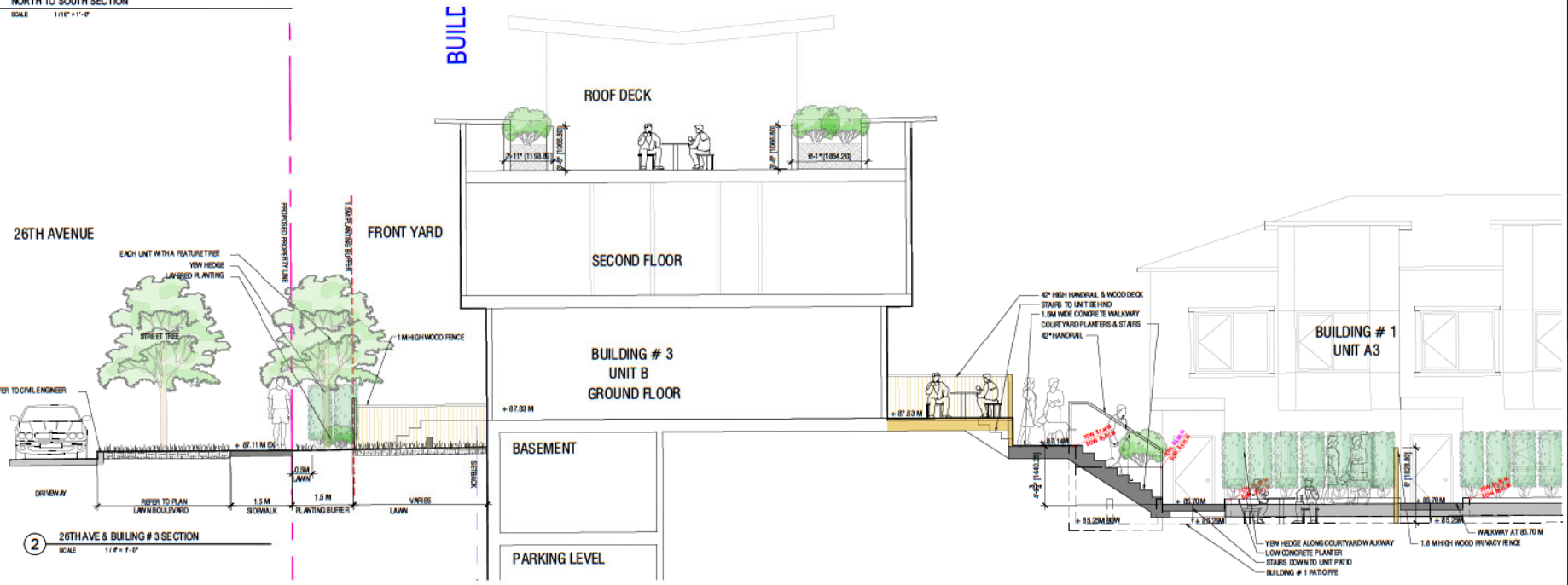
DRAWN BY:

L4.3

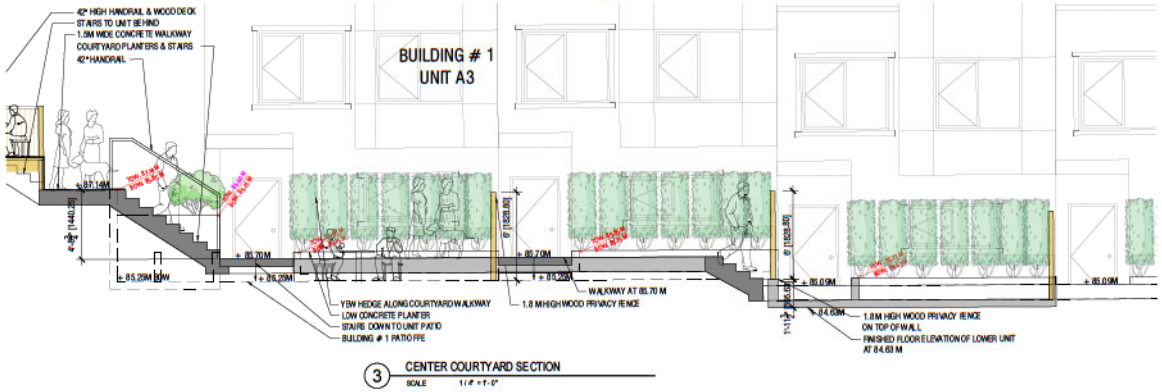
KEY PLAN
SCALE: NTS



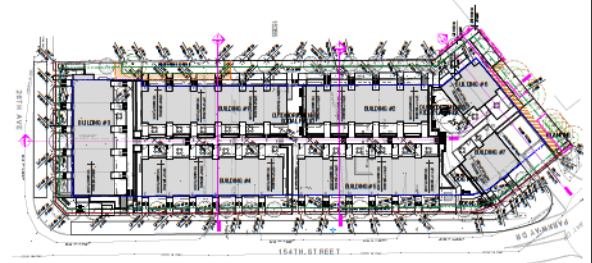
1 NORTH TO SOUTH SECTION
SCALE 1/16" = 1'-0"



2 26TH AVE & BUILDING # 3 SECTION
SCALE 1/8" = 1'-0"



3 CENTER COURTYARD SECTION
SCALE 1/8" = 1'-0"



REVISIONS

| NO | DESCRIPTION | DATE |
|----|------------------|------------|
| 10 | ISSUED FOR CP #4 | 2021.12.14 |
| 9 | ISSUED FOR CP #3 | 2021.08.19 |
| 8 | ISSUED FOR CP #2 | 2021.06.08 |
| 7 | ISSUED FOR CP #1 | 2021.02.25 |
| 6 | ISSUED FOR CP #1 | 2021.01.30 |
| 5 | ISSUED FOR CP #1 | 2020.10.01 |
| 4 | ISSUED FOR CP #1 | 2020.08.17 |
| 3 | ISSUED FOR CP #1 | 2020.06.14 |
| 2 | ISSUED FOR CP #1 | 2020.02.26 |
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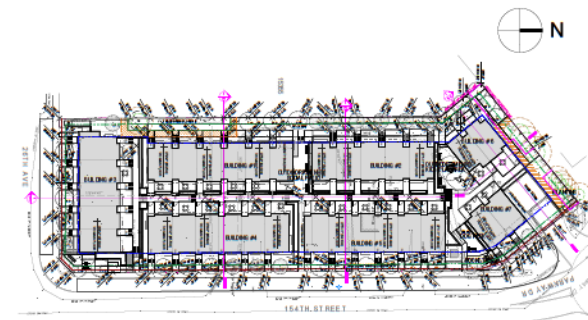
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| PROJECT NUMBER | LEB |
| DRAWN BY | LX |
| CHECKED BY | LX |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
154TH STREET TOWNHOUSE
15391 & 15391 26TH AVE,
2627 & 2641 154TH ST, AND 2695 PARKWAY DR
SURREY, BC

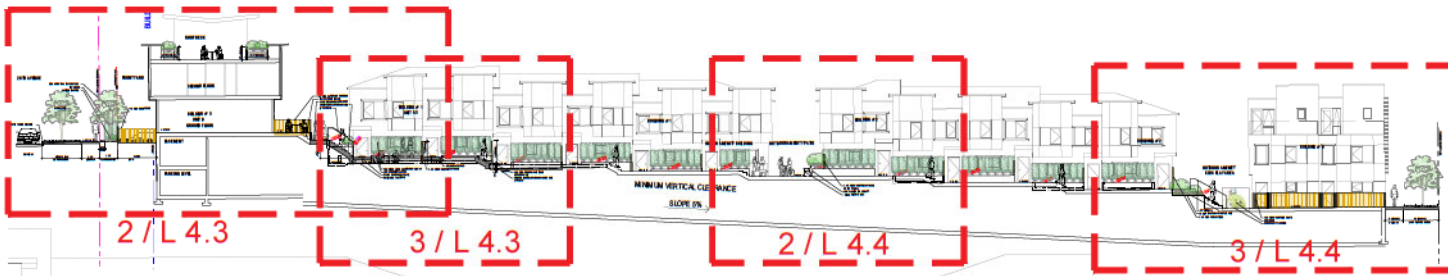
DRAWING TITLE
NORTH TO SOUTH SECTIONS

DRAWING NO.
L4.4

KEY PLAN
SCALE: NTS

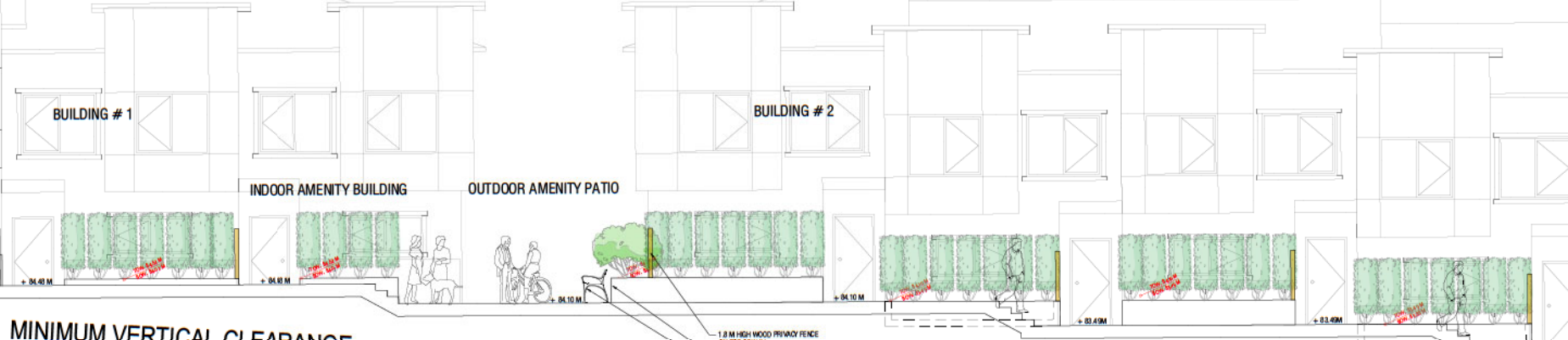


① NORTH TO SOUTH SECTION
SCALE 1/8" = 1'-0"

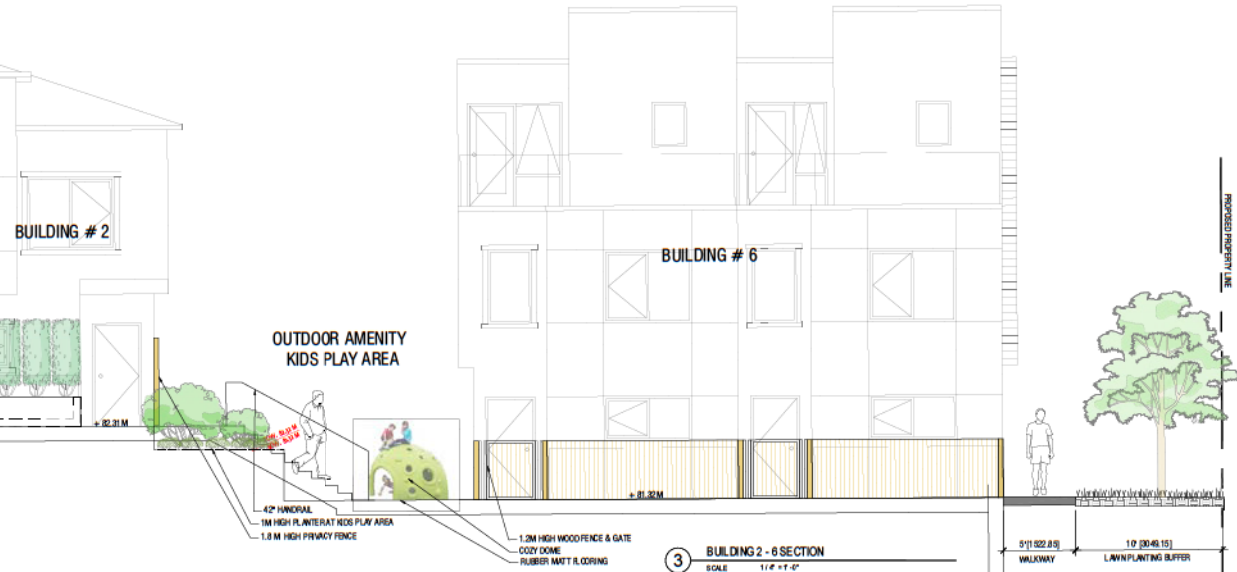


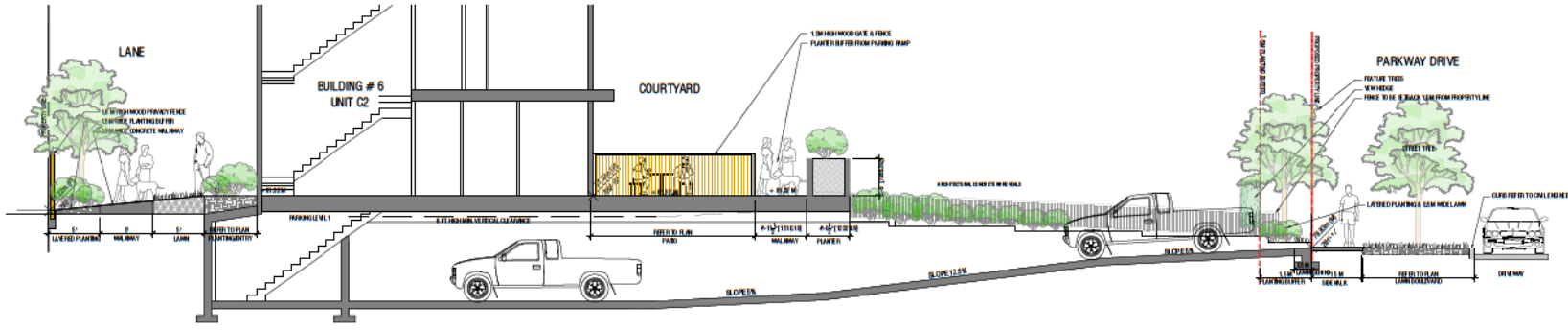
② OUTDOOR AMENITY PATIO SECTION
SCALE 1/4" = 1'-0"

MINIMUM VERTICAL CLEARANCE

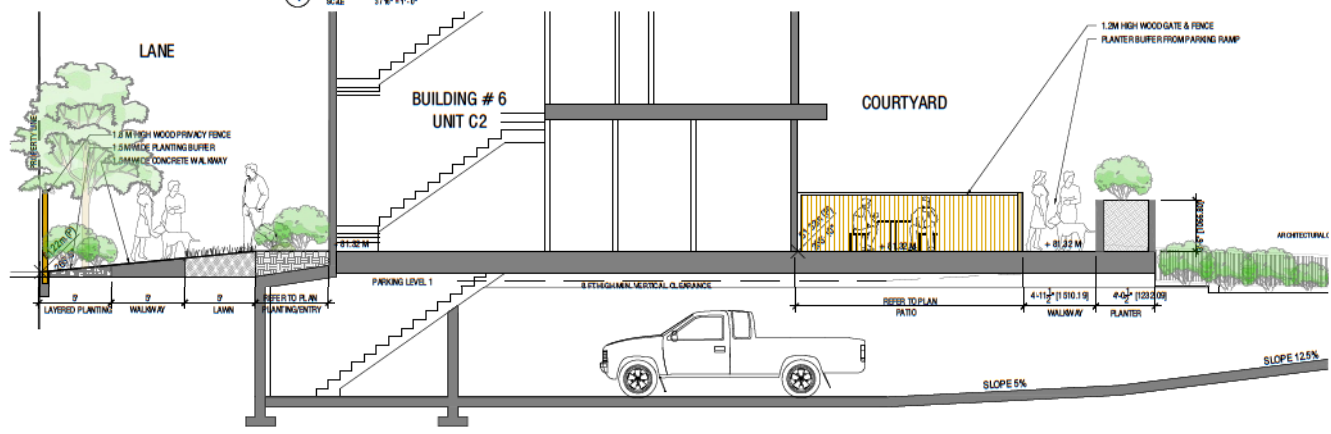


③ BUILDING 2 - 6 SECTION
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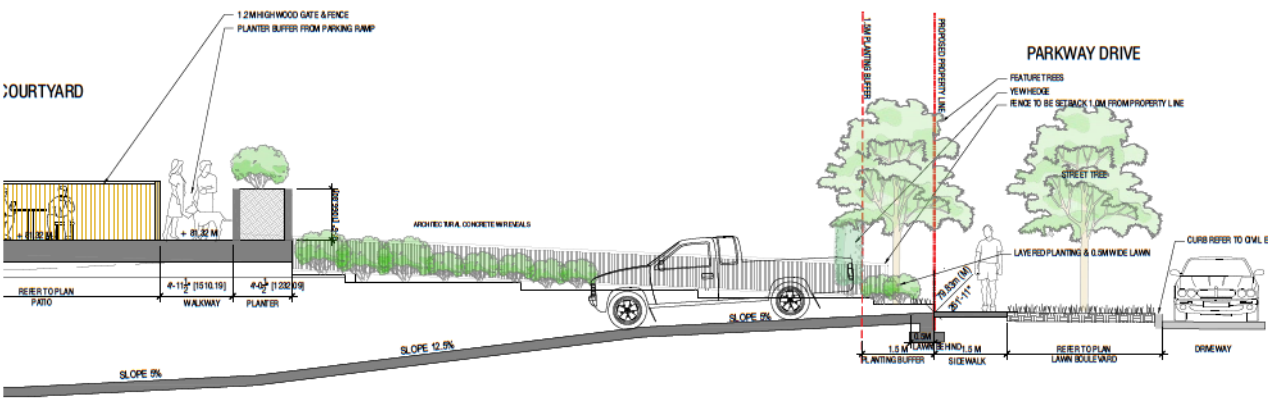




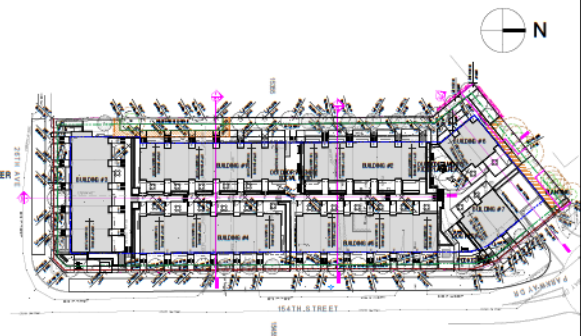
1 BUILDING 6 - RAMP SECTION
SCALE 3/8" = 1'-0"



2 BUILDING 6 - COURTYARD SECTION
SCALE 1/4" = 1'-0"



3 COURTYARD - RAMP SECTION
SCALE 1/4" = 1'-0"



KEY PLAN
SCALE: NTS

RPL PROJECTS
WWW.RPLPROJECTS.COM
lu@rplprojects.com
604-338-9035

SCALE 1/8" = 1'-0"
SCALE 1/4" = 1'-0"

REVISIONS
1

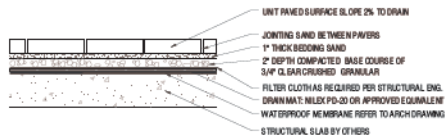
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|----|------------------------|------------|
| 10 | ISSUED FOR DP R4 | 2021.12.14 |
| 9 | ISSUED FOR DP R3 | 2021.06.19 |
| 8 | ISSUED FOR DP PRIOR TO | 2021.04.06 |
| 7 | ISSUED FOR DP PRIOR TO | 2021.02.25 |
| 6 | ISSUED FOR DP PRIOR TO | 2021.01.20 |
| 5 | ISSUED FOR DP PRIOR TO | 2020.10.04 |
| 4 | ISSUED FOR DP PRIOR TO | 2020.06.17 |
| 3 | ISSUED FOR DP PRIOR TO | 2020.06.14 |
| 2 | ISSUED FOR DP | 2020.02.26 |

PROJECT NUMBER: L4.5
DRAWN BY: LX
CHECKED BY: LX
DATE CHECKED:
CONSULTANT:

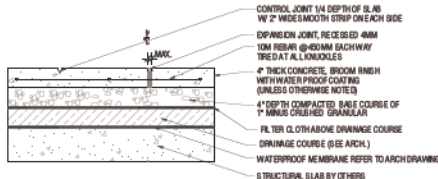
PROJECT
154TH STREET TOWNHOUSE
15391 & 15391 26TH AVE,
2627 & 2641 154TH ST, AND 2695 PARKWAY DR
SURREY, BC

DRAWING TITLE
BUILDING 6 & RAMP SECTIONS

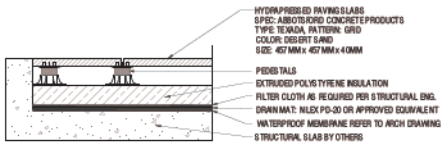
DRAWING NO.
L4.5



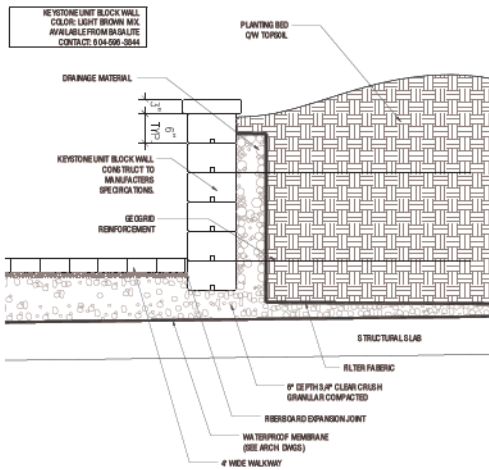
1 UNIT PAVERS ON STRUCTURAL SLAB
SCALE 1" = 1'-0"



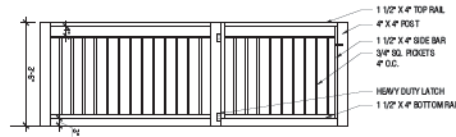
2 CONCRETE ON STRUCTURAL SLAB
SCALE 1" = 1'-0"



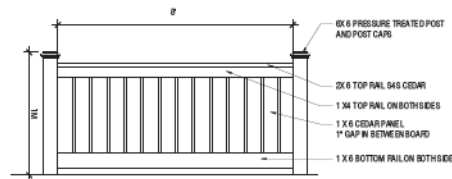
3 HYDRAPRESSED SLAB ON PEDESTALS ON STRUCTURAL SLAB
SCALE 1" = 1'-0"



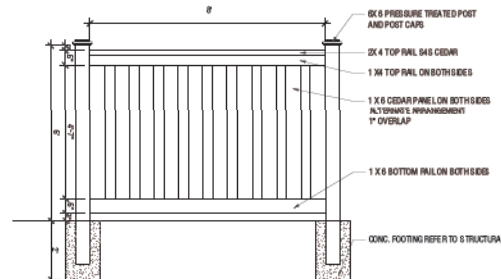
4 INTERLOCK PLANTER WALL ON STRUCTURAL SLAB
SCALE 1" = 1'-0"



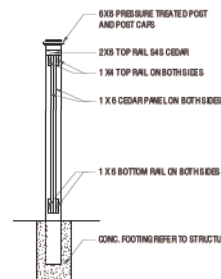
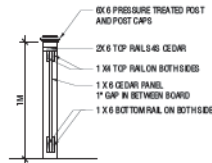
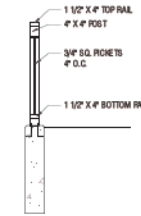
5 42" HIGH METAL PICKET GATE & FENCE DETAILS
SCALE 1/2" = 1'-0"



6 1 M HIGH WOOD PICKET FENCE DETAILS
SCALE 1/2" = 1'-0"



7 6FT HIGH WOOD PRIVACY FENCE DETAILS
SCALE 1/2" = 1'-0"



REVISIONS

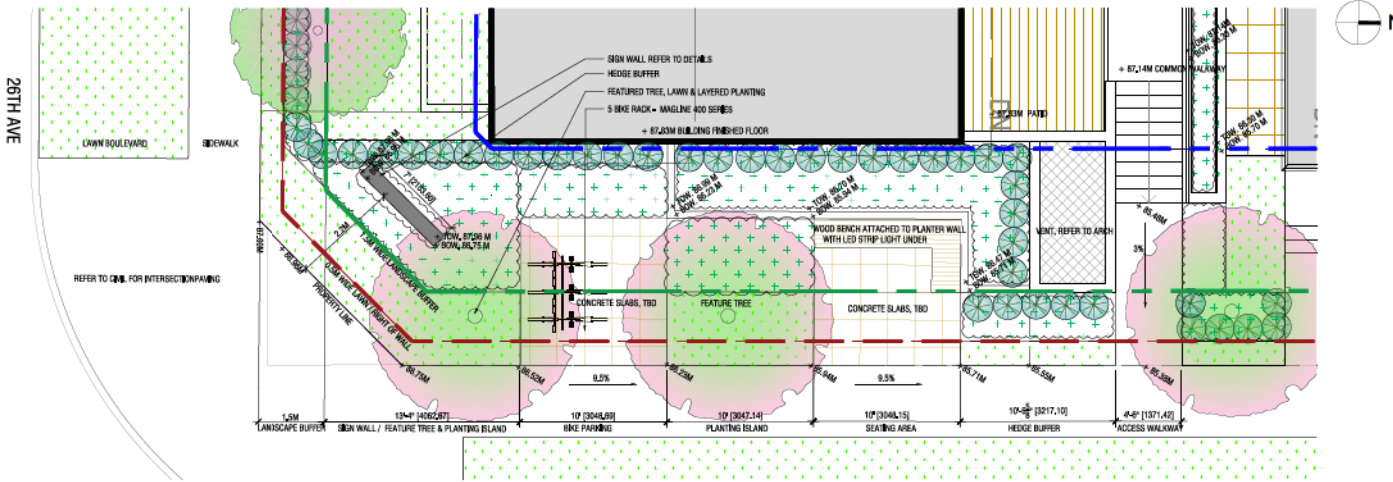
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|----|------------------------|------------|
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| 10 | ISSUED FOR DP R4 | 2021.12.14 |
| 9 | ISSUED FOR DP R3 | 2021.08.19 |
| 8 | ISSUED FOR DP PRIOR TO | 2021.04.06 |
| 7 | ISSUED FOR DP PRIOR TO | 2021.03.25 |
| 6 | ISSUED FOR DP PRIOR TO | 2021.01.20 |
| 5 | ISSUED FOR DP PRIOR TO | 2020.10.01 |
| 4 | ISSUED FOR DP PRIOR TO | 2020.07.17 |
| 3 | ISSUED FOR DP PRIOR TO | 2020.06.14 |
| 2 | ISSUED FOR DP | 2020.02.28 |
| 1 | ISSUED FOR DP | 2020.02.28 |

| | |
|----------------|------|
| PROJECT NUMBER | LE58 |
| DRAWN BY | LX |
| CHECKED BY | LX |
| DATE CHECKED | |
| CONSULTANT | |

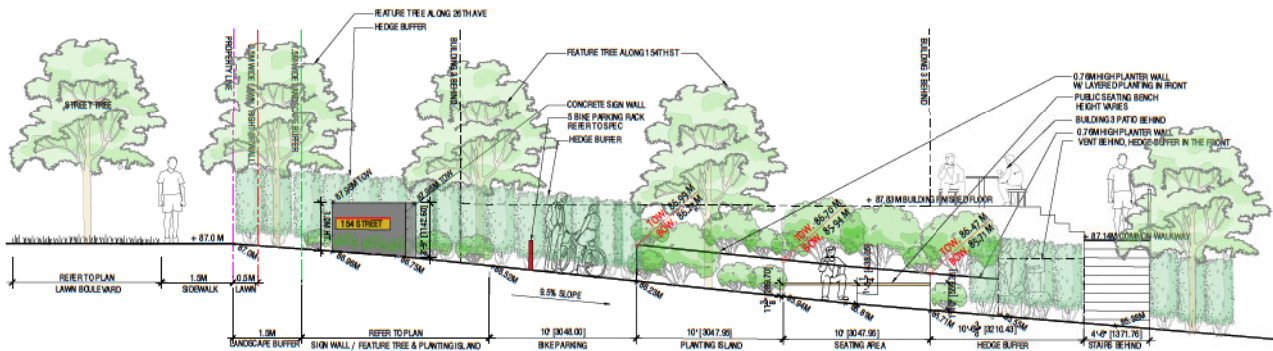
PROJECT
154TH STREET TOWNHOUSE
153 91 & 153 81 26TH AVE,
2827 & 2841 164TH ST, AND 2885 PARKWAY DR
SURREY, BC

DRAWING TITLE
LANDSCAPE DETAILS

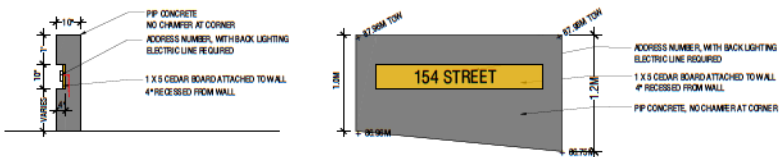
DRAWING NO.
L5.1



1 CORNER PLAZA - ENLARGEMENT PLAN
SCALE 1/4" = 1'-0"



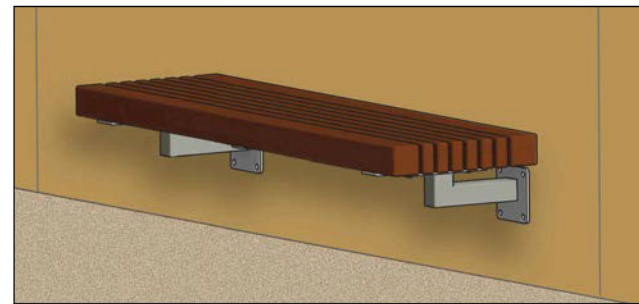
2 CORNER PLAZA - ELEVATION
SCALE 1/4" = 1'-0"



3 SIGN WALL DETAILS
SCALE 1/2" = 1'-0"



4 ADDRESS NUMBER WITH BACKLIGHTING
SCALE N/A



5 BENCH ATTACHED TO PLANTER WALL
SCALE N/A

| REVISIONS | | |
|----------------|------------------------|------------|
| 1 | | |
| | | |
| 10 | ISSUED FOR CP R4 | 2021.12.14 |
| ISSUES | | DATE |
| 6 | ISSUED FOR CP R3 | 2021.06.19 |
| 7 | ISSUED FOR CP PRIOR TO | 2021.04.06 |
| 8 | ISSUED FOR CP PRIOR TO | 2021.03.25 |
| 4 | ISSUED FOR CP PRIOR TO | 2021.01.29 |
| 4 | ISSUED FOR CP PRIOR TO | 2020.10.04 |
| 3 | ISSUED FOR CP PRIOR TO | 2020.06.17 |
| 2 | ISSUED FOR CP PRIOR TO | 2020.06.14 |
| 1 | ISSUED FOR CP | 2020.02.26 |
| PROJECT NUMBER | L55 | |
| DRAWN BY | LX | |
| CHECKED BY | LX | |
| DATE CHECKED | | |
| CONSULTANT | | |

PROJECT
154TH STREET TOWNHOUSE
15391 & 15361 26TH AVE,
2627 & 2641 154TH ST, AND 2685 PARKWAY DR
SURREY, BC

DRAWING TITLE
CORNER PLAZA ENLARGEMENT

DRAWING NO.
L5.2

habitat

Cozy Dome®
Landscape Structures Inc. Model #14000, Age 3-12

The Cozy Dome® offers kids a place to escape the heat and bustle of a busy playground. Like two by themselves or buddies together, it can provide a quiet place for overstimulated kids with quiet holes to sit in, and supervisors keep an eye on the action. Various textures on the outer surface create a perfect climbing experience as well.

Available for direct buy or surface mount - \$3,991

*Always playing in supervised only and play.safesites.org for information, remove area fees, installations, and requirements in applicable areas.

habitatlandscape.com | 1.888.422.4829 | www.habitatlandscape.com

1 KIDS PLAY - COZY DOME
SCALE: NTS

Fibrecrete PIP (18-12 years)

TOTAL SQUARE FOOTAGE: 272 SQ.FT.
MAX FALL HEIGHT FOR THIS STRUCTURE: 46'

DESIGN: 2/00
LANDSCAPE STRUCTURE

MADE IN CANADA

2 KIDS PLAY - LOG STEPPERS
SCALE: NTS

FIBAR PLAYSPACE SUPPLY

FIBAR PIP POURED - IN - PLACE

1/2" TOP COURSE
CLEANONBASE
(THICKNESS DEPENDENT ON FALL HEIGHT REQUIREMENT)
MIN. 3" MUST BE OUTSIDE OF USE ZONE

NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING, FOR ILLUSTRATION PURPOSES ONLY.
3. POURED-IN-PLACE SAFETY SURFACE IS INSTALLED OVER A COMPACTED AGGREGATE BASE.
4. CONTACT OUR NOTE FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CALMESH.COM/US
REFERENCE NUMBER 31-2-008

3 FIBAR PIP POURED - IN - PLACE
SCALE: NTS

Neoliviano Backed Bench, 60in, Surface Mount, Wood

Date: 10/10/2019
Ph: 800.521.2516

WOOD BOARD

ALUMINUM CASTING

4" SURFACE MOUNT TABS WITH 1/2" HOLE FOR ANCHORING. NON-CORROSIIVE HARDWARE SUPPLIED BY OTHERS.

GRADE

landscape forms
Drawing: N1.036-02
Dimensions are in inches (mm)
Special Imperial Design 151,240

CONFIDENTIAL TRADE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF LANDSCAPE FORMS. INFORMATION IS LIMITED TO DESIGN PROFESSIONALS SPECIFIC LANDSCAPE FORMS PRODUCTS AND THEIR DIRECT CLIENTS. DRAWING IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF LANDSCAPE FORMS. © 2019 LANDSCAPE FORMS. ALL RIGHTS RESERVED.

4 NEOLIVIANO BENCH - LANDSCAPE FORMS
SCALE: NTS

400 SERIES

MBR-0400-00007
Legacy # MBR400-S-S

MATERIALS: All parts of the MBR-0400 Series Bicycle Racks are made from H.S. Steel tube. This bike rack can hold up to 3 bicycles.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The bike racks are delivered pre-assembled. It is available with a surface mount installation.

TO SPECIFY: Select MBR-0400-00007
Options:
- Powdercoat Color

HEIGHT: 37 5/8" (954mm) LENGTH: 37 5/8" (954mm) DIAMETER: 1 3/8" (41mm) WEIGHT: 88.2lbs (40kg)

MAGLIN
Bike Products

5 BIKE RACK - MAGLIN 400 SERIES
SCALE: NTS

Wally Collection - Wall-hung Benches

| Part No. | Description | Size | Weight (lbs.) |
|----------|---------------------------------------------------------------|-------------------------|---------------|
| 0430-01 | Wally Collection "W" Wood and Steel Wall-hung Flat Bench | 48" x 18" x 24" nominal | 25.66 |
| 0430-02 | Wally Collection "W" Wood and Steel Wall-hung Flat Bench | 27" x 18" x 24" nominal | 15.66 |
| 0430-03 | Wally Collection "W" Wood and Steel Wall-hung Flat Bench | 36" x 18" x 24" nominal | 20.12 |
| 0430-04 | Wally Collection "W" Wood and Steel Wall-hung Flat Bench | 48" x 18" x 24" nominal | 25.66 |
| 0430-05 | Wally Collection "W" Wood and Steel Wall-hung Flat Bench | 60" x 18" x 24" nominal | 31.12 |
| 0430-06 | Wally Collection "W" Wood and Steel Wall-hung Flat Bench | 72" x 18" x 24" nominal | 36.66 |
| 0430-07 | Wally Collection "W" Wood and Steel Wall-hung Curved Bench | 48" x 18" x 24" nominal | 25.66 |
| 0430-08 | Wally Collection "W" Wood and Steel Wall-hung Curved Bench | 27" x 18" x 24" nominal | 15.66 |
| 0430-09 | Wally Collection "W" Wood and Steel Wall-hung Curved Bench | 36" x 18" x 24" nominal | 20.12 |
| 0430-10 | Wally Collection "W" Wood and Steel Wall-hung Curved Bench | 48" x 18" x 24" nominal | 25.66 |
| 0430-11 | Wally Collection "W" Wood and Steel Wall-hung Curved Bench | 60" x 18" x 24" nominal | 31.12 |
| 0430-12 | Wally Collection "W" Wood and Steel Wall-hung Curved Bench | 72" x 18" x 24" nominal | 36.66 |
| 0430-13 | Wally Collection "W" Wood and Steel Wall-hung Explosive Bench | 48" x 18" x 24" nominal | 25.66 |
| 0430-14 | Wally Collection "W" Wood and Steel Wall-hung Explosive Bench | 27" x 18" x 24" nominal | 15.66 |
| 0430-15 | Wally Collection "W" Wood and Steel Wall-hung Explosive Bench | 36" x 18" x 24" nominal | 20.12 |
| 0430-16 | Wally Collection "W" Wood and Steel Wall-hung Explosive Bench | 48" x 18" x 24" nominal | 25.66 |
| 0430-17 | Wally Collection "W" Wood and Steel Wall-hung Explosive Bench | 60" x 18" x 24" nominal | 31.12 |
| 0430-18 | Wally Collection "W" Wood and Steel Wall-hung Explosive Bench | 72" x 18" x 24" nominal | 36.66 |

Note: Weight varies depending on material used. Particles used with Wally Collection benches should be 20% lightweight concrete or steel and require additional reinforcement of the planer wall. Particles that will have a Wally Bench attached must be anchored if they are smaller than 3/8" or 3/4" in size. For example, if a particle is 3/8" or 3/4" in size it would not need to be anchored. Check with your manufacturer for details.

2

Tournesol SITEWORKS

6 TOURNESOL - BENCH
SCALE: NTS

RPL PROJECTS
WWW.RPLPROJECTS.COM
lu@rplprojects.com
604-338-9035

| REVISIONS | DATE |
|-----------|------|
| 1 | |

| REVISED FOR | DATE |
|-------------|------------|
| 1 | 2021.12.14 |
| 2 | 2021.08.19 |
| 3 | 2021.08.19 |
| 4 | 2021.04.06 |
| 5 | 2021.02.25 |
| 6 | 2021.01.29 |
| 7 | 2020.10.18 |
| 8 | 2020.06.17 |
| 9 | 2020.04.14 |

PROJECT NUMBER: L66

DRAWN BY: LX

CHECKED BY: LX

DATE CHECKED:

CONSULTANT:

PROJECT

154TH STREET TOWNHOUSE
15391 & 15361 26TH AVE,
2627 & 2641 154TH ST, AND 2685 PARKWAY DR
SURREY, BC

DRAWING TITLE

LANDSCAPE SPECIFICATION

DRAWING NO.

L6



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Acting Development Services Manager, Engineering Department**

DATE: **December 6, 2021** PROJECT FILE: **7819-0187-00**

RE: **Engineering Requirements
Location: 15381/91 26 Avenue, 2627/2641 154 Street, 2655 Parkway Drive**

REZONE/SUBDIVISION***Property and Statutory Right-of-Way Requirements (SRW)***

- Dedicate north Bylaw Road on 26 Avenue, and corner cut at 154 Street
- Dedicate corner cut at southwest corner of Parkway Drive and 154 Street
- Register SRW along property lines of 26 Avenue, 154 Street, and Parkway Drive
- Register SRW for any 154 Street works that encroach onto Sunnyside Park
- Close lane allowance that aligns within the site

Works and Services

- Construct north side 26 Avenue, west side of 154 Street, south side of Parkway Drive
- Build roundabout at Parkview Drive and 154 Street
- Extend storm sewer to service road drainage on Parkway Drive, and assess adjacent service area on Sunnyside Park
- Construct sanitary sewer to service the site
- Install onsite low impact development drainage features
- Provide adequately sized service connections to the site

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT / DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development and Development Variance Permits.

Jeff Pang, P.Eng.
Acting Development Services Manager

KMH

NOTE: Detailed Land Development Engineering Review available on file



December 14, 2021

Planning

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Actual enrollment to Jessie Lee Elementary has grown modestly the past five years. The 10-year projections support continuing growth at a similar modest pace. Enrolment growth can be handled with 4 portables or less. Currently there are no capital expansion requests for Jessie Lee Elementary.

Grandview Heights Secondary opened September 2021. This new facility relieves the overcrowding at Earl Marriot Secondary. Newly adopted secondary boundary changes have come into effect. At this time, Jessie Lee will no longer feed two secondary schools but will only feed Earl Marriott.

THE IMPACT ON SCHOOLS

APPLICATION #: 19 0187 00 (Updated Dec 2021)

SUMMARY

The proposed 31 townhouse units are estimated to have the following impact on the following schools:

Projected enrolment at Surrey School District for this development:

| | |
|----------------------|---|
| Elementary Students: | 8 |
| Secondary Students: | 4 |

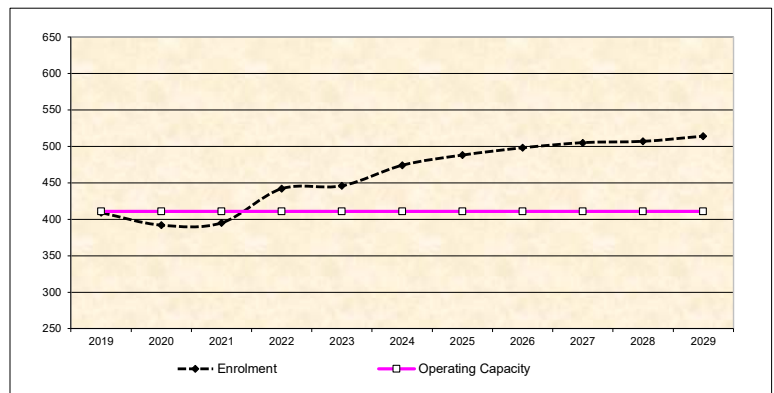
September 2021 Enrolment/School Capacity

| | |
|--------------------------------|------------|
| Jessie Lee Elementary | |
| Enrolment (K/1-7): | 57 K + 338 |
| Operating Capacity (K/1-7) | 38 K + 373 |
| Earl Marriott Secondary | |
| Enrolment (8-12): | 1411 |
| Capacity (8-12): | 1500 |

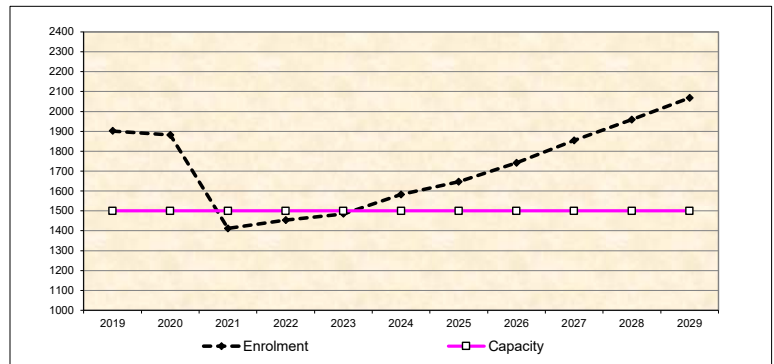
| | |
|--------------------------------------------------------------------------|----|
| Projected population of school-age children for this development: | 26 |
|--------------------------------------------------------------------------|----|

Population: The projected population of children aged 0-19 Impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.

Jessie Lee Elementary



Earl Marriott Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
 Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

Tree Preservation Summary

| On Site Trees | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|
| Protected Trees Identified (on-site and any shared trees; also including trees within existing city boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas) | 53 |
| Protected Trees to be Removed | 32 |
| Protected Trees to be Retained (excluding trees within proposed open space or riparian areas) | 21 |
| Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 : 1 Replacement Ratio: <u> 0 </u> x 1 = <u> 0 </u> All Other Trees Requiring 2 : 1 Replacement Ratio: <u> 32 </u> x 2 = <u> 64 </u> | 64 |
| Replacement Trees Proposed | Not Available |
| Replacement Trees in Deficit | Not Available |

| Off-Site Trees | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---|
| Protected Off-Site Trees to be Removed | 0 |
| Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 : 1 Replacement Ratio: <u> 0 </u> x 1 = <u> 0 </u> All Other Trees Requiring 2 : 1 Replacement Ratio: <u> 0 </u> x 2 = <u> 0 </u> | 0 |
| Replacement Trees Proposed | 0 |
| Replacement Trees in Deficit | 0 |

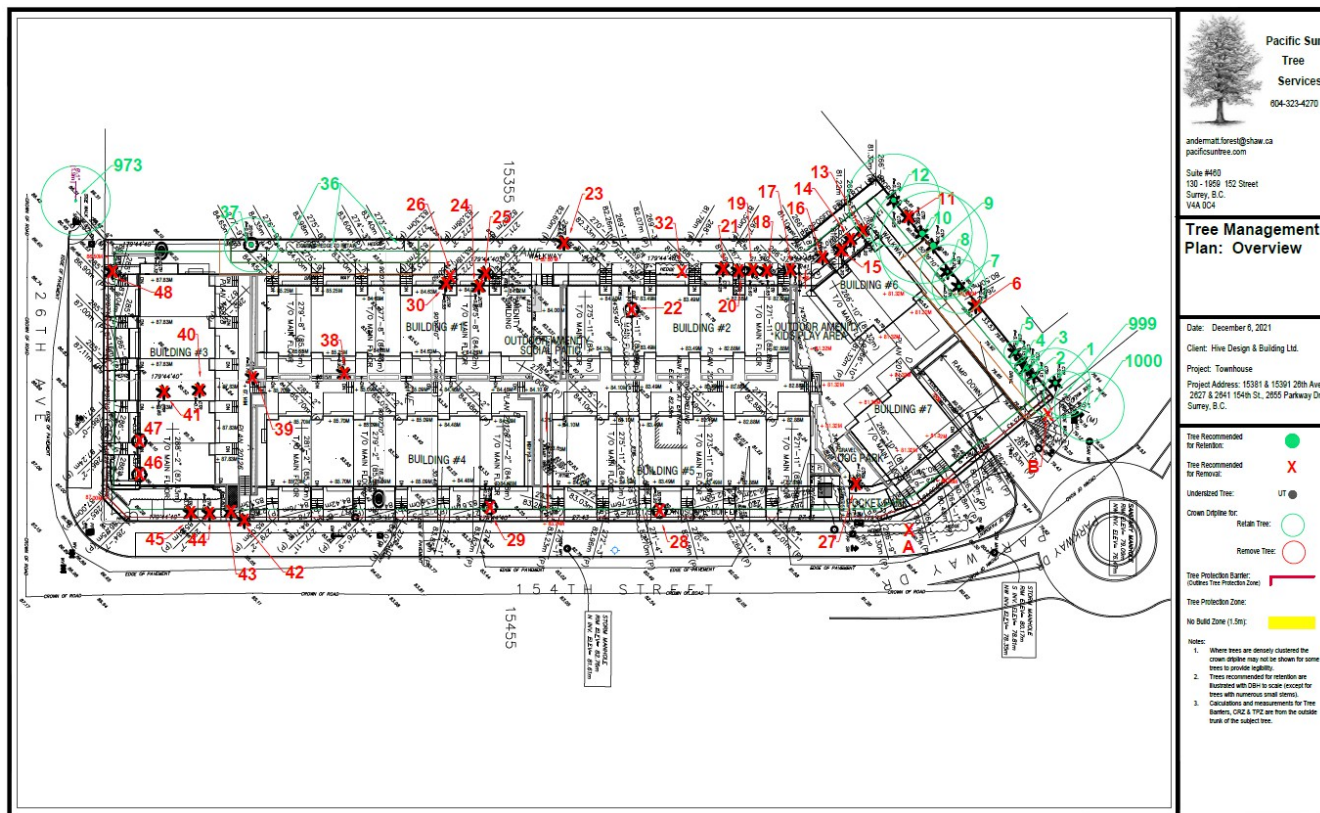
Ensure Adherence to City Tree Bylaws

Prior to undertaking any works on the site:

- trees recommended for removal in this report must also be given approval and issued permitting for removal by the city;
- all trees proposed for retention must be properly protected; and
- protection measures must be inspected and approved by the City's Tree Protection Staff.



Tree Management Plan(s)



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7919-0187-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 004-744-381

Lot 3 Section 23 Township 1 New Westminster District Plan 15828

15381 - 26 Avenue

Parcel Identifier: 008-691-631

Lot "A" Section 23 Township 1 New Westminster District Plan 20126

15391 - 26 Avenue

Parcel Identifier: 007-464-509

Lot B Section 23 Township 1 New Westminster District Plan 20126

2627 - 154 Street

Parcel Identifier: 008-645-841

Lot "C" Section 23 Township 1 New Westminster District Plan 20126

2641 - 154 Street

Parcel Identifier: 002-349-272

Lot "D" Section 23 Township 1 New Westminster District Plan 20126

2655 - Parkway Drive

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Subsection F. Yard and Setbacks, of Part 22 Multiple Residential 30 Zone, the minimum side yard setback (west) is reduced from 6.0 metres to 4.5 metres to the principal building face of Building 3; and
 - (b) In Subsection F. Yard and Setbacks, of Part 22 Multiple Residential 30 Zone, the minimum side yard setback (northwest) is reduced from 6.0 metres to 4.5 metres to the principal building face of Building 6.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli



ApIn & Martin Consultants Ltd.
201 - 12448 82 Avenue, Surrey, B.C. V3W 3E9
Tel: (604) 887-9008, Fax: (604) 887-9061
Email: general@apinmartin.com

Minimum side yard setback (northwest) of the RM-30 ZONE is reduced from 6.0 metres to 4.5 metres to the principal building face of Building 6

Minimum side yard setback (west) of the RM-30 Zone is reduced from 6.0 metres to 4.5 metres to the principal building face of Building 3

CONSTRUCTION NOTES

- 01 PROPOSED SIGNAGE
- 02 RAMP SEES TO BE TREATED AS PER OPTIONAL COMMUNITY PLAN DEVELOPMENT PERMIT GUIDELINES: FORM & CHARACTER, DP1.1 COMMON GUIDELINES
- 03 EXIT STAIRS FROM THE UNDERGROUND PARKING LEVEL
- 04 TYPICAL SLOPE DOWN 2% - FOR ALL UNITS
- 05 PROPOSED GAS METER (SERVICING BUILDING 1 & 4)
- 06 PROPOSED GAS METER (SERVICING BUILDING 2 & 5)
- 07 PROPOSED GAS METER (SERVICING BUILDING 3)
- 08 PROPOSED GAS METER (SERVICING BUILDING 6 & 7)
- 09 STAMPED CONCRETE
- 10 PROPOSED PAT LOCATION. PAT TO BE VISUALLY SCREENED BY MINIMUM 2M LANDSCAPING. ACCESS DOORS SHALL NOT FACE THE STREET. VINYL WRAP IS NOT TO BE USED IN LIEU OF LANDSCAPE SCREENING.



TRUE NORTH PROJECT NORTH

| PROPERTY INFORMATION | |
|-----------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| PROPERTY INFORMATION | |
| ADDRESS: | 15391 & 15381 26 AVE, 2627 & 2641 154 ST, 2655 PARKWAY DRIVE SURREY, BC |
| LEGAL DESCRIPTION: | LOT A SECTION 23 TOWNSHIP 1 PLAN NWP20126 NWD LEGAL SUBDIVISIONS, LOT B SECTION 23 TOWNSHIP 1 PLAN NWP19828 NWD, LOT C SECTION 23 TOWNSHIP 1 PLAN NWP20126 NWD, LOT D SECTION 23 TOWNSHIP 1 PLAN NWP20126 NWD, LOT E SECTION 23 TOWNSHIP 1 PLAN NWP20126 NWD. |
| PID: | 008-691-031, 008-744-381, 007-464-508, 008-645-841, 002-349-272 |

| ZONING INFORMATION | |
|----------------------------------------------|------------------------------------------------------------------------------------------------------------------------|
| EXISTING ZONING: | RF - SINGLE FAMILY RESIDENTIAL |
| PROPOSED ZONING: | RM-30 MULTIPLE RESIDENTIAL |
| NCP DESIGNATION: | TOWNHOUSE (30 u.p.a.) |
| OSR DESIGNATION: | MULTIPLE RESIDENTIAL |
| SITE AREA: | |
| GROSS SITE AREA: | 43,774.42 sq.ft. / 4,248 sq.m. (1.05 ac / 0.42 ha) |
| NET SITE AREA: | 45,655.53 sq.ft. / 4,242 sq.m. (1.05 ac / 0.42 ha) |
| BUILDING AREA: | |
| TOTAL BUILDING FOOTPRINT: | 16,977.09 sq.ft. / 1,541 sq.m. (EXCLUDING AMENITY) |
| TOTAL GROSS FLOOR AREA: | 35,348.09 sq.ft. / 3,294 sq.m. (EXCLUDING AMENITY) |
| DENSITY: | |
| ALLOWABLE FAR: | 1.0 |
| PROPOSED FAR: | 3.284 sq.m. (GFA) / 4,249 sq.m. (GSA) = 0.77 |
| ALLOWABLE EFFICIENCY: | 30.0 u.p.a. / 75.0 u.p.ha. |
| PROPOSED EFFICIENCY: | 29.5 u.p.a. / 73.0 u.p.ha. |
| LOT COVERAGE: | |
| ALLOWABLE LOT COVERAGE: | 45% |
| PROPOSED LOT COVERAGE: | 36% |
| YARDS & SETBACKS: | |
| | REQUIRED: PROPOSED: |
| FRONT YARD (EAST): | 4.5m (15'-0") 4.5m (14'-9") |
| REAR YARD (WEST): | 6.0m (20'-0") 6.0m (19'-4") - 4.5m (14'-9") at south corner |
| SIDE YARD (NORTH): | 6.0m (20'-0") 4.5m (14'-9") |
| SIDE YARD (SOUTH): | 4.5m (15'-0") 4.5m (14'-9") |
| BUILDING HEIGHT: | |
| PRINCIPAL BUILDINGS (MAXIMUM): | 13.0m (42'-7") |
| PROPOSED BUILDING HEIGHT: (TALLEST BUILDING) | 9.15m (29'-9") TIC |
| UNITS: | |
| TOTAL # OF UNITS: | 31 UNITS |
| AMENITY SPACE: | |
| INDOOR AMENITY REQUIRED AREA: | 31 UNITS X 3 sq.m. = 93 sq.m. / 1,001.05 sq.ft. |
| PROPOSED AREA: | 95 sq.m. / 1,024 sq.ft. (2 STOREYS) |
| OUTDOOR AMENITY REQUIRED AREA: | 31 UNITS X 3 sq.m. = 93 sq.m. / 1,001.05 sq.ft. |
| PROPOSED AREA: | 133.8 sq.m. / 1,448.2 sq.ft. |
| PARKING CALCULATIONS: | |
| REQUIRED SPACES: | 2.0 SPACES PER UNIT FOR RESIDENTS 0.2 SPACES PER UNIT FOR VISITORS |
| CALCULATIONS: | 31 UNITS X 2.0 = 62.0 SPACES FOR RESIDENTS 31 UNITS X 0.2 = 6.2 SPACES FOR VISITORS TOTAL REQUIRED = 68.2 SPACES |
| PROVIDED: | 69 SPACES (62 SPACES FOR RESIDENTS + 7 SPACES FOR VISITORS) |

| LEGEND: | |
|---------|----------------------------------------|
| | PROPERTY LINE |
| | BUILDING SETBACK (REQUIRED MINIMUM) |
| | LANDSCAPE BUFFER |
| | TREE PROTECTION ZONE |
| | ROAD RIGHT OF WAY |
| | OUTDOOR AMENITY AREA |
| | TREE PROTECTION ZONE (TREES TO RETAIN) |
| | EXCAVATION BUFFER ZONE (1.5M) |
| | NO-BUILD / SUPERVISION ZONE (1.5M) |
| | PROPOSED CORNER PLAZA |



| REV | DATE | DESCRIPTION | DR | RV |
|-----|-----------|--------------------------------------------|----|----|
| 7 | NOV 22 21 | REBID FOR DEVELOPMENT PERMIT - REBID REAMP | AL | |
| 6 | AUG 24 21 | REBID FOR DEVELOPMENT PERMIT - REBID REAMP | AL | |
| 5 | JUN 24 21 | REBID FOR DEVELOPMENT PERMIT - REBID REAMP | AL | |
| 4 | FEB 24 21 | REBID RESPONSE TO COMMENTS - REAMP | AL | |
| 3 | SEP 16 20 | REBID FOR DEVELOPMENT PERMIT | RS | VC |
| 2 | MAR 04 20 | REBID FOR DEVELOPMENT PERMIT | RS | VC |
| 1 | OCT 19 19 | REBID FOR DEVELOPMENT PERMIT | RS | AL |

PROJECT: 154TH STREET TOWNHOUSE DEVELOPMENT
15391 & 15381 26TH AVE, 2627 & 2641 154TH ST, AND 2655 PARKWAY DR SURREY, BC

| SITE PLAN | |
|-------------|---------------|
| SCALE: | 3/64" = 1'-0" |
| DRAWING NO: | A1.3 |
| PROJECT NO: | 19-1038 |

CITY OF SURREY

BYLAW NO. 21352

A bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015, c.1, as amended, by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule A under Part 3 of Surrey Zoning By-law, 1993, No. 12000, as amended, as follows:

FROM: URBAN RESIDENTIAL ZONE (R3)
TO: MULTIPLE RESIDENTIAL 30 ZONE (RM-30)

PID: 031-881-734
Parcel A of Section 23 Township 1 NWD Shown on Plan EPP125924

(2619 - 154 Street)

2. This Bylaw shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21352".

PASSED FIRST READING on the th day of , 20 .

PASSED SECOND READING on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

TO: **City Clerk, Legislative Services Division**

FROM: **Chief Development Approvals Officer
Planning & Development Department**

DATE: **July 19, 2024**

FILE: **7919-0187-00**

RE: **By-law No. 20538
Development Application No. 7919-0187-00**

ADDRESS: 15381 26 Avenue
15391 26 Avenue
2627 154 Street
2641 154 Street
2655 Parkway Drive

OWNER: Hive Design & Building Ltd. (Director Information: Z. Zhao)

AGENT: Anish Sharma
Aplin & Martin Consultants Ltd.
12448 82 Ave Unit 201 Surrey V3W 3E9

PROPOSAL: Rezoning from RF to RM-30.

Development Permit No. 7919-0187-00.

Development Variance Permit No. 7919-0187-00.

To permit the development of a townhouse residential complex with 31 units.

Rezoning By-law No. 20538 received Third Reading on January 17, 2022.

All conditions of approval with respect to this By-law have been met.

It is in order for Council to grant Final Adoption to this By-law.

Development Permit No. 7919-0187-00, and Development Variance Permit No. 7919-0187-00 have outstanding conditions, and will be brought forward at a later date for issuance.



Ron Gill, Chief Development Approvals Officer
LFM

CITY OF SURREY

BYLAW NO. 20538

A bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015, c.1, as amended, by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule A under Part 3 of Surrey Zoning By-law, 1993, No. 12000, as amended, as follows:

FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)
TO: MULTIPLE RESIDENTIAL 30 ZONE (RM-30)

PID: 004-744-381
Lot 3 Section 23 Township 1 New Westminster District Plan 15828
(15381 – 26 Avenue)

PID: 008-691-631
Lot "A" Section 23 Township 1 New Westminster District Plan 20126
(15391 – 26 Avenue)

PID: 007-464-509
Lot B Section 23 Township 1 New Westminster District Plan 20126
(2627 – 154 Street)

PID: 008-645-841
Lot "C" Section 23 Township 1 New Westminster District Plan 20126
(2641 – 154 Street)

PID: 002-349-272
Lot "D" Section 23 Township 1 New Westminster District Plan 20126
(2655 Parkway Drive)

2. This Bylaw shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment Bylaw, 2021, No. 20538".

PASSED FIRST READING on the 20th day of December, 2021.

PASSED SECOND READING on the 20th day of December, 2021.

PUBLIC HEARING HELD thereon on the 17th day of January, 2022.

PASSED THIRD READING on the 17th day of January, 2022.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

B. DELEGATIONS - PUBLIC HEARING

**10. "Surrey Zoning Bylaw, 1993, No. 12000, Amendment Bylaw, 2021, No. 20538"
Application No. 7919-0187-00**

CIVIC ADDRESS: 15381 and 15391 - 26 Avenue; 2627 and 2641 – 154 Street;
2655 Parkway Drive

APPLICANT: Owner: Hive Design & Building Ltd.
Agent: Aplin & Martin Consultants Ltd. (Samira Khayambashi)

PURPOSE: The applicant is requesting to rezone the site from
Single Family Residential Zone to Multiple Residential 30
Zone in order to permit the development of a townhouse
residential complex with 31 units.

The proposal also includes a Development Variance Permit
to reduce the minimum side yard setback (west) from
6.0 metres to 4.5 metres to the principal building face of
Building 3; and reduce the minimum side yard setback
(northwest) from 6.0 metres to 4.5 metres to the principal
building face of Building 6.

The Notice of the Public Hearing was read by the City Clerk.

D. Jack, Surrey Environmental Partners: The delegation spoke to tree and hedge
valuation, the removal of trees from the subject site and the implementation of a
meandering sidewalk to retain additional trees.

Written submissions were received as follows:

- Submission dated January 5, 2022, K. Vuong expressing concerns for the
proposal citing traffic, parking, and congestion.
- Email dated January 13, 2022, R. Landale expressing opposition for the
proposal citing trees and traffic.
- Email dated January 15, 2022, Miranda Townhomes expressing opposition
for the proposal citing parking, infrastructure, traffic, school capacity,
safety, and quality of life.
- Submission and email dated January 17, 2022, S. Casey expressing concerns
for the proposal citing roundabout, drainage, parking, and traffic.

TO: City Clerk, Legislative Services Division

**FROM: Chief Development Approvals Officer,
Planning & Development Department**

DATE: July 19, 2024

FILE: 7921-0268-00

**RE: By-law No. 20811 & 20812
Development Application No. 7921-0268-00**

ADDRESS: 13412 - 96 Avenue, (13414 - 96 Avenue)
13420 - 96 Avenue

OWNER: 1275280 BC Ltd (Director Information: D. Dhillon, H. Dhillon, A. Villing)

AGENT: Rajinder Warraich
Flat Architecture Inc.
6321 King George Blvd, Unit 209
Surrey, BC V3X 1G1

PROPOSAL: Rezoning from RF to CD (based on RM-70).

Development Permit No. 7921-0268-00.

Housing Agreement.

To permit the development of a 6-storey rental apartment consisting of 60 dwelling units in City Centre.

Rezoning By-law No. 20811. received Third Reading on January 16, 2023.

Housing Agreement By-law No. 20812 received Third Reading on December 12, 2022.

All conditions of approval with respect to these By-laws have been met.

It is in order for Council to grant Final Adoption to these By-laws.

Staff was authorized to draft Development Permit No. 7921-0268 on December 12, 2022.

It is now in order for Council to issue attached Development Permit No. 7921-0268-00 and to authorize the Mayor and Clerk to execute the Permit.

Note: If the Development Permit, as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the buildings and structures, Council may refer the Development Permit application back to staff with direction regarding any of these matters.

Legislative Services is requested to hold registration of the Notice on Title with respect to this Development Permit at Land Title Office, pending a new legal description for the property.

A handwritten signature in black ink, appearing to read "Ron Gill". The signature is stylized and cursive.

Ron Gill, Chief Development Approvals Officer
P207637

CITY OF SURREY

BYLAW NO. 20811

A Comprehensive Development bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015 c. 1, as amended, for the following lands:

Address: As described in Appendix "A".
Legal: As described in Appendix "A".
PID: As described in Appendix "A".

as follows:

- (a) by creating a new Comprehensive Development Zone 96 (CD 96), attached as Appendix "A" and forming part of this bylaw;
- (b) by changing the zoning classification shown in Schedule A, Zoning Maps, as follows:
FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)
TO: COMPREHENSIVE DEVELOPMENT ZONE (CD); and
- (c) by amending Part 52, Comprehensive Development Zone, Section C. Comprehensive Development Zones, by adding a new CD Zone "CD 96" as follows:

| CD Zone ID | Civic Address | Legal Description | CD Bylaw No. | Replaces Bylaw No. |
|------------|------------------------------------------------|------------------------------------------------|--------------|--------------------|
| "CD 96" | (a) 13412 – 96 Avenue (b) 13420 – 96 Avenue | (a) Lot 4, Plan 17174 (b) Lot 5, Plan 17174 | 20811 | N/A" |

2. This Bylaw shall be cited for all purposes as "Surrey Comprehensive Development Zone 96 (CD 96), Bylaw, 2022, No. 20811".

PASSED FIRST READING on the 12th day of December, 2022.

PASSED SECOND READING on the 12th day of December, 2022.

PUBLIC HEARING HELD thereon on the 16th day of January, 2023.

PASSED THIRD READING on the 16th day of January, 2023.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

APPENDIX "A"

COMPREHENSIVE DEVELOPMENT ZONE 96 (CD 96)

In this Comprehensive Development Zone 96 (CD 96), **Part 24, Multiple Residential 70 (RM-70) Zone**, as well as all other applicable regulations of Surrey Zoning By-law, 1993, No. 12000, as amended, (the "Zoning By-law") apply to the following lands:

| Address | Legal Descriptions | PID |
|-------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|
| 13412 – 96 Avenue | Lot 4, Section 32, Township 2, NWD, Plan 17174, Except Part on Bylaw Plan 53128 and Part Parcel B Bylaw Plan 78740 and Part Dedicated Road on Plan BCP14978 | 010-287-809 |
| 13420 – 96 Avenue | Lot 5, Section 32, Township 2, NWD, Plan 17174 | 010-287-817 |

(collectively the "Lands")

except as follows:

1. Intent

Delete Section "A. Intent" and replace it with a new Section "A. Intent" as follows:

"A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density*, medium rise, *multiple unit residential buildings* and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design*."

2. Permitted Uses

Delete sub-section B.2. in Section B. Permitted Uses.

3. Density

Delete sub-section D.2. in Section D. Density and replace it with a new sub-section D.2. as follows:

"2. Permitted Density Increases:

If amenity contributions are provided in accordance with Schedule G, *density* may be increased to a maximum *floor area ratio* of 3.12, excluding:

- (a) The indoor *amenity space* requirement (pursuant to Section J.1. of this Zone); and
- (b) Up to a maximum of 170 sq. m of *the secure bicycle parking area* requirement (pursuant to Section H.5. of this Zone)."

4. Lot Coverage

Delete Section "E. Lot Coverage" and replace it with a new Section "E. Lot Coverage" as follows:

"E. Lot Coverage

The maximum *lot coverage* for all *buildings* and *structures* shall be 61%."

5. Yards and Setbacks

Delete Section "F. Yards and Setbacks" and replace it with a new Section "F. Yards and Setbacks" as follows:

"F. Yards and Setbacks

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

| USES: | SETBACKS: | | | |
|------------------------------------------|-------------------|------------------|-------------------|--------------------------|
| | Front Yard (West) | Rear Yard (East) | Side Yard (South) | Street Side Yard (North) |
| <i>Principal Building and Structures</i> | 4.0 m | 3.0 m | 3.5 m | 4.5 m |

- 1 Notwithstanding Section A.3.(d) of Part 5, Off-Street Parking and Loading/Unloading, *parking - underground* may be located up to 0.5 m of any *lot line*.
- 2 Notwithstanding the definition of *setback* in Part 1, Definitions, roof overhangs, vertical fins, *balconies* and canopies may encroach into the required *setbacks*.
- 3 Notwithstanding Section A.26.(b) of Part 4, General Provisions, stairs with more than three risers may encroach into the *setbacks*."

6. Height of Buildings

Delete sub-section G.1. in Section G. Height of Buildings and replace it with a new sub-section G.1. as follows:

- "1. Principal Buildings:
Principal building height shall not exceed 21.0 m."

7. Off-Street Parking and Loading/Unloading

Delete sub-section H.1 in Section H. Off-Street Parking and Loading/Unloading and replace it with a new sub-section H.1. as follows:

- "1. Parking Calculation:
Notwithstanding Table D.1 of Part 5 Off-Street Parking and Loading/Unloading, resident *parking spaces* shall be provided at a rate of 0.65 *parking spaces* per *dwelling unit* and visitor *parking spaces* shall be provided at a rate of 0.1 *parking spaces* per *dwelling unit*."

8. Landscaping and Screening

Delete Section "I. Landscaping and Screening" and replace it with a new Section "I. Landscaping and Screening" as follows:

- "I. Landscaping and Screening
1. General Landscaping:
 - (a) All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained; and
 - (b) *Highway* boulevards abutting a *lot* shall be seeded or sodded with grass, except at *driveways*.
 2. Refuse:
Garbage containers and *passive recycling containers* shall be located within the *parking - underground* or within a *building*."

9. Special Regulations

Delete sub-section J.1.(d) and J.2. in Section J. Special Regulations.

10. Subdivision

Delete Section "K. Subdivision" and replace it with a new Section "K. Subdivision" as follows:

- "K. Subdivision
Lots created through subdivision in this Zone, except strata lots, shall conform to the following standards:
1. *Lot Area: Minimum 1,100 sq. m;*
 2. *Lot Width: Minimum 30 m; and*
 3. *Lot Depth: Minimum 35 m."*

CITY OF SURREY

BYLAW NO. 20812

A bylaw to authorize the City of Surrey to enter into a Housing Agreement
.....

WHEREAS the City of Surrey has received an application to enter into a housing agreement;

AND WHEREAS Section 483 of the Local Government Act, R.S.B.C. 2015 c.1, as amended (the "*Local Government Act*"), empowers the Council or the City of Surrey to enter into a housing agreement.

NOW, THEREFORE, the Council of the City of Surrey, enacts as follows:

1. The City of Surrey is hereby authorized to enter into a housing agreement in the form attached as Schedule A and forming part of this Bylaw (the "Housing Agreement") with the following party:

1275280 B.C. Ltd.
15272 Croydon Drive
Surrey, BC V3S 0Z5

and with respect to that certain parcel of lands and premises, in the City of Surrey, more particularly known and described as:

Parcel Identifier: 010-287-809
Lot 4 Except: Firstly; Part on Bylaw Plan 53128
Secondly; Part Parcel B (Bylaw Plan 78740)
Thirdly; Part Dedicated Road on Plan BCP14978
Section 32 Township 2 NWD Plan 17174

(13412- 96 Avenue)

Parcel Identifier: 010-287-817
Lot 5 Section 32 Township 2 NWD Plan 17174

(13420 - 96 Avenue)

(herein after referred to as the "Lands");

2. The Mayor and Clerk are hereby empowered to execute the Housing Agreement on behalf of the City of Surrey.
3. The City of Surrey shall file in the Land Title Office a notice against the Lands in accordance with Section 483 of the *Local Government Act*, that the Lands are subject to the Housing Agreement.
4. This Bylaw shall be cited for all purposes as "The 1275280 B.C. Ltd. Housing Agreement, Authorization Bylaw, 2022, No. 20812".

PASSED FIRST READING on the 12th day of December, 2022.

PASSED SECOND READING on the 12th day of December, 2022.

PASSED THIRD READING on the 12th day of December, 2022.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ day of _____, _____.

_____ MAYOR

_____ CLERK

CITY OF SURREY
HOUSING AGREEMENT
(Residential Only)

THIS HOUSING AGREEMENT made the ____ day of _____, 2022.

BETWEEN:

CITY OF SURREY, a municipal corporation having its
offices at 13450 – 104 Avenue, Surrey, B.C. V3T 1V8

(the "**City**")

OF THE FIRST PART

AND:

1275280 B.C. LTD., a corporation having its offices at 206
– 15272 Croydon Drive, Surrey, British Columbia V3S 0Z5

(the "**Owner**")

OF THE SECOND PART

WHEREAS:

- A. The Owner is the legal and beneficial owner of those certain lands and premises located in the City of Surrey, in the Province of British Columbia, legally described as:

Parcel Identifier: 010-287-809
LOT 4 EXCEPT: FIRSTLY; PART ON BYLAW PLAN 53128 SECONDLY;
PART PARCEL B (BYLAW PLAN 78740) THIRDLY; PART DEDICATED
ROAD ON PLAN BCP14978 SECTION 32 TOWNSHIP 2 NEW
WESTMINSTER DISTRICT PLAN 17174; and

Parcel Identifier: 010-287-817
LOT 5 SECTION 32 TOWNSHIP 2 NEW WESTMINSTER DISTRICT
PLAN 17174

(collectively, the "**Lands**");

- B. The Owner proposes to use the Lands for a residential development to be comprised of 60 units within a 6-storey building (the "**Development**");

- C. The Owner has voluntarily agreed to enter into a housing agreement pursuant to Section 483 of the *Local Government Act*, R.S.B.C. 2015, Chapter 1, as amended, to ensure that the Rental Units are rented in accordance with this Agreement.

NOW THEREFORE in consideration of the premises herein and of the mutual covenants and agreements hereinafter set forth and contained herein and \$1.00 now paid by the City to the Owner (the receipt of which is hereby acknowledged), the parties hereto covenant and agree each with the other as follows:

1. **DEFINED TERMS**

1.1 In and for the purpose of this Agreement, in addition to the definitions on the first page of this document, the following terms shall have the following meanings:

- (a) **"Agreement"** means this housing agreement and any amendments to or modifications of the same;
- (b) **"City"** means the City of Surrey and any person authorized by the City of Surrey, including assigns of whole or partial interest in this Agreement or of any of the rights conferred upon the City of Surrey by this Agreement;
- (c) **"City Personnel"** means all of the City's elected and appointed officials, officers, employees, agents, nominees, delegates, permittees, contractors, subcontractors, invitees and the Approving Officer;
- (d) **"Claims and Expenses"** means all actions, causes of actions, suits, judgments, proceedings, demands, and claims, whether at law or in equity, losses, damages, expenses and costs (including legal fees and disbursements on an indemnity basis) of any kind or nature whatsoever, at law or in equity, for any damages, losses, injuries or death;
- (e) **"Development"** means as defined in Recital B;
- (f) **"Dwelling Unit"** means each of the 60 dwelling units to be constructed within the Development;
- (g) **"Lands"** means the parcel of land situated in the City of Surrey, British Columbia and legally described in Recital A, and includes any parcel into which such land is consolidated or further subdivided (including a subdivision pursuant to the *Land Title Act*;
- (h) **"Owner"** means the person named on the first page of this Agreement and the legal and beneficial owner at any given time and any successors in title of the Lands;
- (i) **"Rental Units"** means 60 Dwelling Units which must be made available by the Owner to the general public at arms' length for use as residential rental accommodation on a month-to-month or longer basis in accordance with all applicable laws including, without limitation, the *Residential Tenancy Act*, S.B.C. 2002, Chapter 78, as amended, and any regulations pursuant thereto; and
- (j) **"Term"** means 20 years, commencing on the first day of the month after the City issues an occupancy permit for the Development.

2. RESTRICTION ON OCCUPANCY OF DWELLING UNITS

- 2.1 During the Term the Rental Units must be made available for rent in accordance with this Agreement.
- 2.2 The City may, from time to time, during the Term request the Owner to provide written proof of compliance with section 2.1 and the Owner agrees to provide, or cause an operator of the Lands to provide, the City with such proof in a form reasonably satisfactory to the City.
- 2.3 During the Term, the portion of the Lands containing the Development shall not be stratified.
- 2.4 All of the Rental Units must be owned by the same Owner(s).
- 2.5 Throughout the Term, the Owner shall not sell or transfer the beneficial or registered title or any interest in and to the Rental Units, unless the Owner obtains from the transferee an agreement in writing from the transferee to assume and perform all of the obligations of the Owner arising under this Agreement.

3. LIABILITY

- 3.1 **Indemnity.** The Owner shall indemnify and save harmless the City and City Personnel from all Claims and Expenses which the City and City Personnel may suffer, or incur, or be put to, arising out of or in connection with any breach or default of any covenants or agreements on the part of the Owner contained in this Agreement, or arising out of, or in connection with the Development or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.2 **Release.** The Owner does hereby remise, release and forever discharge the City and City Personnel from all Claims and Expenses which the Owner may have against the City and City Personnel, which the Owner now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.3 **Obligations Continue.** The Owner covenants and agrees that the indemnity and release in Sections 3.1 and 3.2 will remain effective and survive the expiration or termination of this Agreement whether by fulfillment of the covenants contained in this Agreement or otherwise.

4. NOTICE

- 4.1 Any notices or other documents to be given or delivered pursuant to this Agreement will be addressed to the proper party as follows:

(a) As to the City:

City of Surrey
13450 – 104 Avenue
Surrey, BC V3T 1V8

Attention: General Manager, Planning and Development Department

(b) As to the Owner:

1275280 B.C. LTD.
206 – 15272 Croydon Drive, Surrey, British Columbia V3S
0Z5

Attention: H/s. 22(1) Dhillon

or such other address as such party may direct. Any notice or other documents to be given or delivered pursuant to this Agreement will be sufficiently given or delivered if delivered to the particular party as its address set out or determined in accordance with this section and shall be deemed complete two (2) days after the day of delivery.

4.2 It is specifically agreed that for any notice or document to be validly given or delivered pursuant to this Agreement, such notice or document must be delivered and not mailed.

5. **GENERAL**

5.1 **Joint and Several.** Where the Owner consists of more than one person, each such person will be jointly and severally liable to perform the Owner's obligations under this Agreement.

5.2 **Assignment by City.** This Agreement or any of the rights conferred by this Agreement upon the City may be assigned in whole or in part by the City without the consent of the Owner.

5.3 **City's Other Rights Unaffected.** Nothing contained or implied herein will derogate from the obligations of the Owner under any other agreement with the City or, if the City so elects, prejudice or affect the City's rights, powers, duties or obligations in the exercise of its functions pursuant to the *Local Government Act* and the *Community Charter*, as amended from time to time and the rights, powers, duties and obligations of the City under all public and private statutes, by-laws, orders and regulations, which may be, if the City so elects, as fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner and the City.

- 5.4 **Agreement for Benefit of City.** The Owner and the City hereby acknowledge, agree and declare that this Agreement is entered into for the sole purpose of benefitting the City and, in particular, acknowledge, agree and declare that this Agreement is not designed to protect or promote the interests of the Owner or any mortgagee of the Owner, or any future owner or occupier of the Lands and any improvements on the Lands or any other person and the City may, at its sole option, execute a release of this Agreement at any time without liability to any person for so doing.
- 5.5 **No Waiver.** The Owner acknowledges and agrees that no failure on the part of the City to exercise and no delay in exercising any right under this Agreement will operate as a waiver thereof, nor will any single or partial exercise by the City of any right under this Agreement preclude any other or future exercise thereof of the exercise of any other right.
- 5.6 **City Not Required to Prosecute.** The Owner agrees that the City is not required or is under no obligation in law or equity to prosecute or enforce this Agreement in any way whatsoever.
- 5.7 **Remedies.** The remedies provided for in this Agreement will be cumulative and not exclusive of any other remedies provided by law or in equity. In addition to any remedies which are available under this Agreement or at law, the City will be entitled to all equitable remedies, including, without limitation, specific performance, injunction and declaratory relief, or any combination thereof, to enforce its rights under this Agreement. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy for a default by the Owner under this Agreement.
- 5.8 **Severability.** All the obligations and covenants in this Agreement are severable, so that if any one or more of the obligations or covenants are declared by a court of competent jurisdiction to be void and unenforceable, the balance of the obligations and covenants will remain and be binding.
- 5.9 **City Court Costs.** In an action to enforce this Agreement in respect of which the court determines that the position of the City will prevail, the City will be entitled to court costs on a solicitor-client basis.
- 5.10 **Personal Representatives and Successors.** This Agreement shall enure to the benefit of and be binding upon the parties hereto and their personal representatives, respective heirs, executors, administrators, successors, and assigns.
- 5.11 **Governing Law.** This Agreement will be governed by and construed in accordance with the laws of the Province of British Columbia and the laws of Canada applicable in British Columbia.

- 5.12 **Priority.** The Owner shall at the sole expense of the Owner, do or cause to be done all acts reasonably necessary to grant priority to this Agreement over all charges and encumbrances which may have been registered against the title to the Lands at the Land Title Office save and except those specifically approved in writing by the City.
- 5.13 **Further Assurances.** The Owner shall do, or cause to be done, all things and execute or cause to be executed all documents and give such further and other assurances which may be reasonably necessary to give proper effect to the intent of this Agreement.
- 5.14 **Counterparts.** This Agreement may be executed in any number of counterparts and delivered via facsimile or e-mail, each of which will be deemed to be an original and all of which taken together will be deemed to constitute one and the same instrument, provided that any party delivering this Agreement via facsimile or e-mail will deliver to the other party any originally executed copy of this Agreement forthwith upon request by the other party.

5.15 **Entire Agreement.** This Agreement represents the entire agreement between the City and the Owner regarding the matters set out in this Agreement and supersedes all prior agreements, letters of intent or understandings about these matters.


IN WITNESS WHEREOF the City of Surrey and the Owner have executed this Agreement under seal of their duly authorized officers as of the references of this Agreement.

CITY OF SURREY

By: _____
Authorized Signatory
Brenda Locke,
Mayor
City of Surrey

By: _____
Authorized Signatory
Jennifer Ficocelli,
City Clerk
City of Surrey

1275280 B.C. LTD.

By:  _____
Authorized Signatory
Name: H/s. 22(1) Dhillon
Title: Director

B. DELEGATIONS - PUBLIC HEARING

**5. "Surrey Comprehensive Development Zone 96 (CD 96), Bylaw, 2022, No. 20811"
Application No. 7921-0268-00**

CIVIC ADDRESS: 13412 - 96 Avenue (13414 - 96 Avenue) and 13420 - 96 Avenue

APPLICANT: Owner: 1275280 B.C. Ltd.
(Director Information: Harmunpreet Dhillon, Akashdeep Villing)
Agent: Flat Architecture Inc. (Rajinder Warraich)

PURPOSE: The applicant is requesting to rezone the subject site from Single Family Residential Zone to Comprehensive Development Zone in order to permit the development of a 6-storey rental apartment building consisting of 60 dwelling units in City Centre.

The Notice of the Public Hearing was read by the City Clerk.

R. Landale, Fleetwood: The delegation spoke to tree removal, Green City Fund contribution, and traffic.

D. Jack, Surrey Environmental Partners: The delegation spoke to tree removal and tree plantings in City Centre.

Resident, Surrey: The delegation spoke to greenspace, tree removal and impacts on birds and wildlife.

Written submissions were received as follows:

- R. Landale expressing opposition for the proposal citing trees and traffic.
- Z. Zhou expressing opposition for the proposal.

CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT

NO.: 7921-0268-00

Issued To:

Address of Owner:

A. General Provisions

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-287-809
 Lot 4 Except: Firstly; Part on Bylaw Plan 53128; Secondly; Part Parcel B (Bylaw Plan 78740);
 Thirdly; Part Dedicated Road on Plan BCP14978;
 Section 32 Township 2 New Westminster District Plan 1714
 13412 - 96 Avenue

Parcel Identifier: 010-287-817
 Lot 5 Section 32 Township 2 New Westminster District Plan 17174
 13420 - 96 Avenue

(the "Land")

3. As the legal description of the Land will change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier: _____

LEGAL

4. If the civic address(es) of the Land change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

CIVIC

5. This development permit applies to only the portion of the Land, building and structures shown on Schedule A which is attached to and forms part of this development permit.
6. The Land has been designated as a development permit area in Surrey Official Community Plan, 2013, No. 18020, as amended.

B. Form and Character

1. The character of the development including landscaping, siting, form, exterior design and finish of buildings and structures, and comprehensive sign packages on the Land shall be in accordance with the drawings attached and referenced as 7921-0268-00(1) through to and including 7921-0268-00(48) (the "Drawings").
2. Minor changes to the Drawings that do not affect the general form and character of the landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign details on the Land, may be permitted subject to the approval of the City.

C. Landscaping Installation and Maintenance

1. The landscaping shall be constructed, planted, installed and maintained in good order in accordance with the landscaping plans prepared by PMG Landscape Architects, attached and referenced as 7921-0268-00(41) through to 7921-0268-00(48) (the "Landscaping").
2. For Form and Character development permits, or for that portion of a development permit pertaining to Form and Character, the Landscaping shall be installed and completed within six (6) months after the date of the final inspection of the buildings and structures.
3. For Form and Character development permits, Landscaping shall be maintained for a minimum of twelve (12) months after the date of substantial completion.

D. Security and Inspections

1. Security must be submitted to the City prior to the installation of any Landscaping.
2. For Form and Character development permits, security may be submitted after the issuance of a Development Permit.
3. The security for Landscaping is to be submitted as follows:

- i. An Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of \$170,140.74 (the "Security").
4. Security release will only be considered once installation of the Landscaping has been completed, after final approval of the installation has been given by the City, and after the completion by the Owner of any required maintenance periods identified in this development permit, to the satisfaction of the City.
5. For Form and Character development permits, when the Landscaping has been determined to be substantially complete, as determined by the City, and without the City having to use the Security, 90%, less deficiencies, of the original Security will be returned. When the Landscaping requirements and permit requirements receive final approval by the City, 10% of the original Security will be returned.
6. If final approval of the Landscaping installation and maintenance is not given by the City, the City has the option of using the Security to complete the Landscaping (or to hire a contractor to complete the work on the City's behalf) with any remaining money returned to the Owner. The Owner authorizes the City or its agent to enter upon the Land to complete the Landscaping.
7. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.

E. Administration

1. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.
2. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued within two (2) years after the date this development permit is issued. The terms and conditions of this development permit, and any amendment to it, are binding on any and all persons who acquire an interest in the Land.
3. This development permit is only valid for the development that is described in this development permit. If a change to development is considered, a new development permit or an amendment to this permit is required before any work is started.
4. All reports, documents and drawings referenced in this development permit shall be attached to and form part of this development permit.

5. This development permit is issued subject to compliance by the Owner and the Owner's employees, contractors and agents with all applicable City bylaws, including the Tree Protection Bylaw, Erosion and Sediment Control Bylaw and the Soil Removal and Deposition Bylaw, all as may be amended or replaced from time to time.

6. This development permit is NOT A BUILDING PERMIT.


AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE DAY OF _____, 20__ .

ISSUED THIS _____ DAY OF _____, 20__ .

Mayor

City Clerk

IN CONSIDERATION OF COUNCIL APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREE TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.



Owner (Signature)

Hs. 22(1) Dhillon

Name: (Please Print)



GENERAL INFO AND RATIONALE

- A 0.0 COVER SHEET
- A 0.1 SITE STATISTICS
- A 0.2 CONTEXT PLAN
- A 0.3 FIRE PLAN
- A 0.4 SITE ANALYSIS
- A 0.5 SHADOW STUDY
- A 0.6 DESIGN RATIONALE
- A 0.7 STREETSCAPE
- A 0.8 MATERIAL BOARD

PLANS

- A 1.0 SITE PLAN
- A P.1 UNDERGROUND PARKING P1 PLAN
- A P.2 UNDERGROUND PARKING P2 PLAN
- A 2.1 LEVEL 1 FLOOR PLAN
- A 2.2 LEVEL 2 FLOOR PLAN
- A 2.3 LEVEL 3,4 FLOOR PLAN
- A 2.4 LEVEL 5,6 FLOOR PLAN
- A 2.5 ROOF PLAN

BUILDING ELEVATIONS

- A 3.1 ELEVATIONS
- A 3.2 ELEVATIONS
- A 3.3 ELEVATIONS
- A 3.4 ELEVATIONS

BUILDING AND DETAIL SECTIONS

- A 4.1 DETAILED SECTIONS
- A 4.2 BUILDING SECTIONS
- A 4.3 BUILDING SECTIONS
- A 4.4 DETAILED SECTIONS

UNIT PLANS

- A 5.1 UNIT PLANS
- A 5.2 UNIT PLANS
- A 5.3 UNIT PLANS
- A 5.4 UNIT PLANS
- A 5.5 UNIT PLANS
- A 5.6 UNIT PLANS
- A 5.7 UNIT PLANS
- A 5.8 UNIT PLANS
- A 5.9 UNIT PLANS
- A 5.10 UNIT PLANS
- A 5.11 UNIT PLANS

3D VIEWS

- A 6.1 VIEWS
- A 6.2 VIEWS
- A 6.3 VIEWS

LANDSCAPE

- L1 LANDSCAPE PLAN
- L2 LANDSCAPE SHRUB PLAN
- L3 GRADING PLAN
- L4 ROOF DECK LANDSCAPE PLAN
- L5 LANDSCAPE DETAILS

CIVIL

- 03 KEY PLAN
- 04 SITE GRADING PLAN

Plans created by A. McLean
 Planning & Development, City of Surrey
 City Architect

Date: 2024-07-19

Acceptable Not Acceptable
 On site only

Multifamily 6 Story Residential Development

DP SUBMISSION : 04-12-2022

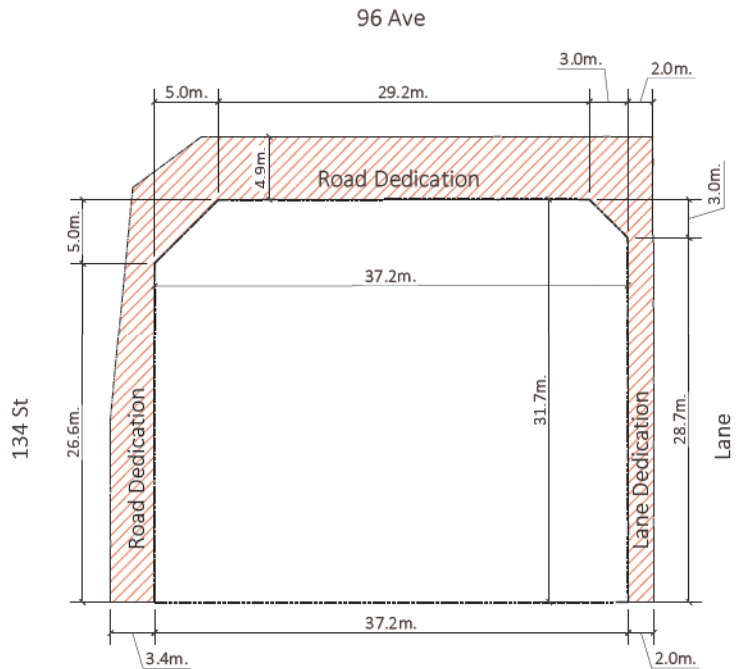
City of Surrey File No. 21-0253



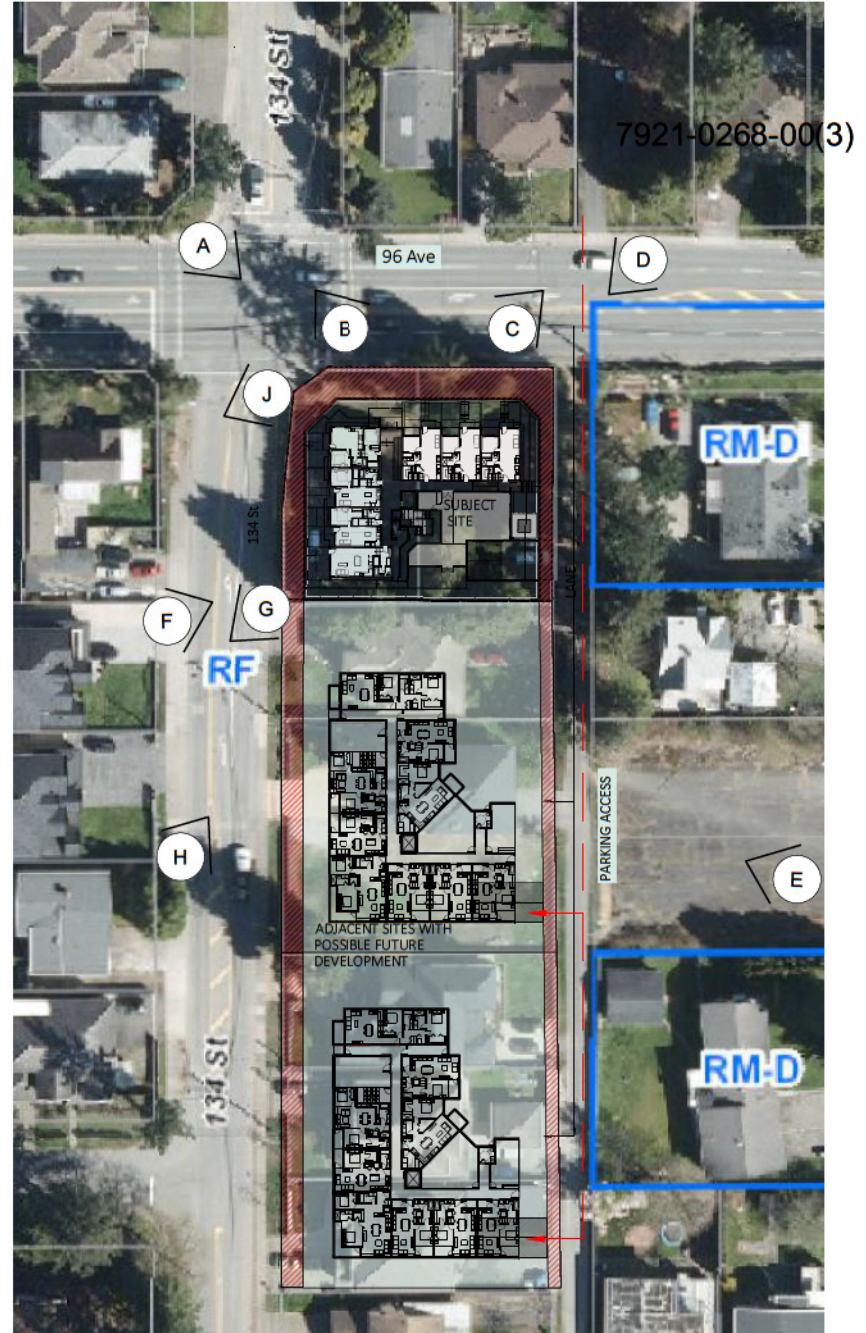
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7921-0268-00(2)

| SITE STATISTICS | | | | |
|---------------------------------------------------------------------------------------|------------------------------|----------------------------------------|-------------------------------------|-----------------------|
| CIVIC ADDRESS: | | 13412, 13414, 13420, 96 Ave, Surrey BC | | |
| LEGAL DESCRIPTION: | | | | |
| ZONING: | | RFTO-CO | | |
| GROSS SITE AREA: | | 16,459,005 sq ft | 1,529 m ² = .38 Acre | |
| ROAD DEDICATIONS: | | | 387 m ² | |
| NET AREA: | | | 1,162 m ² | |
| ZONING | | | | |
| BUILDING HEIGHT: | | ALLOWED | PROVIDED | |
| | | 40 M | 21 M | |
| SETBACKS | | | | |
| NORTH: 96 Ave Surrey | | | PROVIDED | 4.50 m |
| SOUTH: | | | | 3.50 m |
| EAST / BEAR LANE: | | | | 3.00 m |
| WEST: 134 ST | | | | 4.00 m |
| FOT COVERAGE | | | | |
| ALLOWED: | | | | |
| PROPOSED: | | 60.2% | | |
| DENSITY | | | | |
| PROPOSED FSR: | 2.37 on Gross | 3.12 on Net | | |
| Floor Level | | | | |
| 1 | FSR Area | Indoor Amenity Area | Total Area | Residential |
| -2 | 485.04 M ² | 130.00 M ² | 615.04 M ² | 7 UNITS |
| -3 | 677.49 M ² | | 677.49 M ² | 9 UNITS |
| -4 | 677.49 M ² | | 677.49 M ² | 12 UNITS |
| -5 | 532.43 M ² | | 532.43 M ² | 22 UNITS |
| -6 | 532.43 M ² | 8.80 M ² | 541.23 M ² | 10 UNITS |
| Terrace: | 40.68 M ² | | 40.68 M ² | |
| TOTAL BUILDING AREA | 3622.96 M² | 138.80 M² | 3761.76 M² | 60 UNITS |
| OUTDOOR AMENITY | | | | |
| REQUIRED: | | | REQUIRED: | PROVIDED: |
| 152 X 31 + (8 X 4) M ² | | | 188.00 M ² | 188.00 M ² |
| INDOOR AMENITY | | | | |
| REQUIRED: | | | REQUIRED: | PROVIDED: |
| 152 X 31 + (8 X 4) M ² | | | 188.00 M ² | 180.00 M ² |
| OFF STREET PARKING: | | | | |
| RESIDENTIAL - 60 units | MARKET RENTAL UNITS | 85 car per unit | REQUIRED: | PROVIDED: |
| | | | = 39.0 SPACES | 49 SPACES |
| TOTAL | | | | 40 SPACES |
| VISITORS PARKING: | | | | |
| RESIDENTIAL - 60 units | BRAND TOTAL | 1 car per unit | REQUIRED: | PROVIDED: |
| | | | 6 SPACES | 6.0 SPACES |
| REGULAR CARS (85.2%) | | | | = 30.0 SPACES |
| SMALL CARS (14.8%) | | | | = 18.0 SPACES |
| PROVIDED: TOTAL INCLUDING VISITOR AND RESIDENTIAL: | | | | = 46.0 SPACES |
| B/E PARKING: | | | | |
| If required Parking spaces are between 50 & 100, then 1 Parking space is required. | | | 1 SPACES | = 1.0 SPACES |
| If required Parking spaces are between 100 & 200, then 2 Parking spaces are required. | | | | |
| BICYCLE PARKING: | | | | |
| | | | REQUIRED: | PROVIDED: |
| | | | | |
| | | | 1.2 STALLS PER RES UNIT = 72 STALLS | 76 |
| | | | | 6 |



| UNIT MIX SCHEDULE | | | | | | | |
|-------------------|----------------|-----------------|-----------------|-----------------|----------------|-----------------|-----------------------|
| Floor Level | Town Home | 1 Bed | 2 Bed | 1 Bed + Den | 2 Bed + Den | Studio | Total Units per Floor |
| LVL 1 | 3 | 2 | 1 | | | 1 | 7 |
| LVL 2 | | 1 | 2 | 2 | 1 | 3 | 9 |
| LVL 3 | | 2 | 3 | 4 | 1 | 2 | 12 |
| LVL 4 | | 2 | 3 | 4 | 1 | 2 | 12 |
| LVL 5 | | 7 | 1 | | | 2 | 10 |
| LVL 6 | | 7 | 1 | | | 2 | 10 |
| TOTAL | 3 UNITS | 21 UNITS | 11 UNITS | 10 UNITS | 3 UNITS | 12 UNITS | 60 UNITS |



CONTEXT PLAN



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ME: 84.9m²
TREES: 3

134 St

22.1m²
TREES: 1

JIL VOLUME 99.0m²
PROPOSED TREES: 3

7921-0268-00(4)

Sidewalk

Landscape Plaza

Main Entry

2.0m.
Fire Hydrant

8.0m.

17.5m.

Fire Truck location
h AVE.

96 Ave

96 AVENUE

Sidewalk

Lane

TOTAL SOIL VOLUME 64.58 m²
PROPOSED TREES: 6



Unit 209- 6321 King George Blvd
Surrey BC, V3K 1G1
www.flatarchitecture.ca
contact@flatarchitecture.ca
Ph: 604-503-4484



PROJECT INFO:
13412, 13414, 13420, 96 Ave
Surrey BC
CLIENT:

DATE:
20 Oct 2022

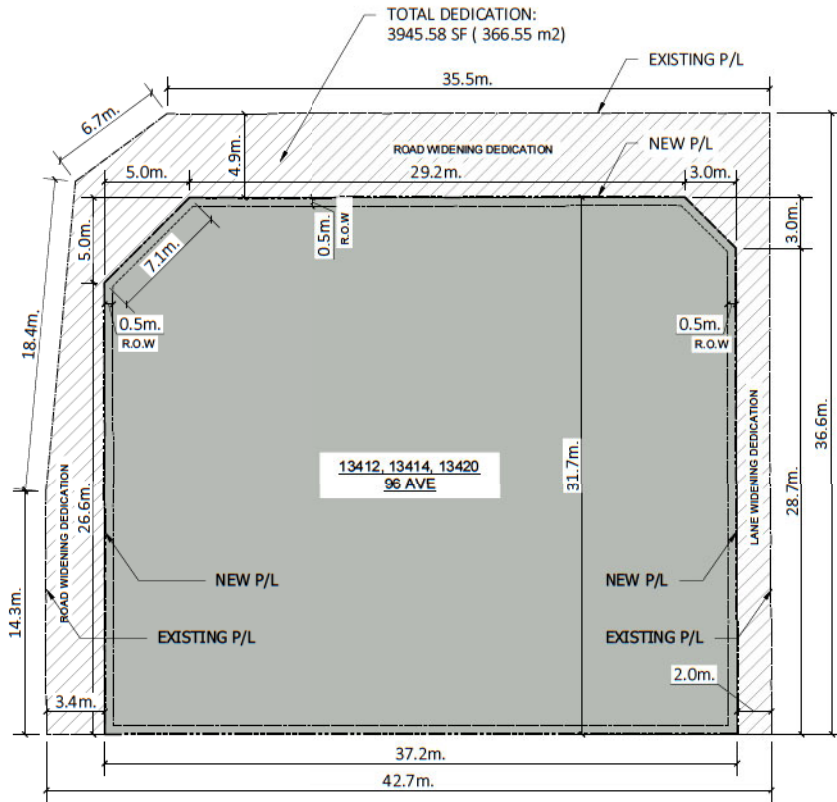
PROJECT NO:
21-204

SCALE: 1/16"=1'
DRAWN BY: VK

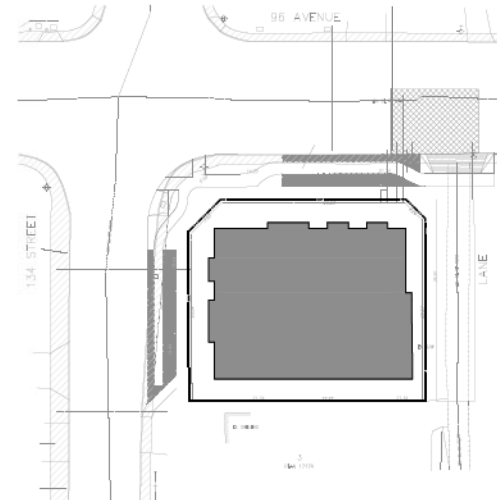
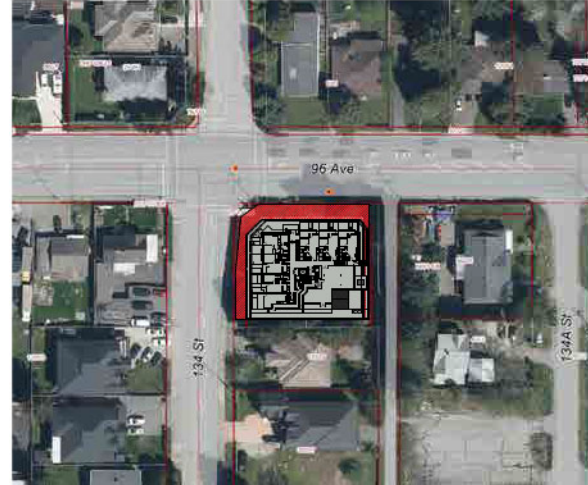
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FIRE PLAN

A 0.3



1 LOT LAYOUT C/W DEDICATIONS
1/24"=1'



7921-0268-00(5)

OCP, NCP & ZONING :

The designated zoning for the site is single family RF; Rezoning of the existing property is requested with variances in height, setbacks and FSR. The property falls under the City centre landuse plan. As per existing Zoning the property is designated under RF - Single family residential zone. A comprehensive development zone - CD is proposed for this site with an FSR of 2.43 on Net.

THE PROJECT:

The proposed project consists of 6-storey multifamily residential building in wood frame construction on top of 2 levels of underground parking.

The new development will provide 60 residential units.

SITE CONTEXT:

The proposed development is on a site that combines three existing lots - 13412, 13414, 13420 - at the corner of 134 St and 96 Ave.

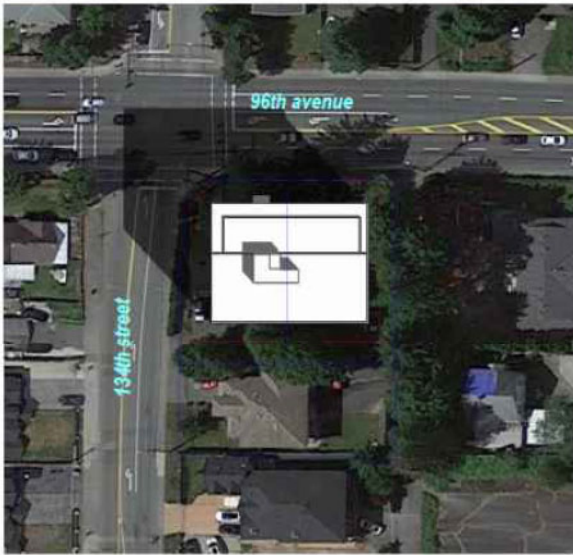
The overall site dimensions are about 37.2m x 31.7m with a 5.0m chamfer at the Northwest corner and 3.0m chamfer at the Northeast corner. The site slopes down from the Southwest to the Northeast with a difference of approximately 2.6m from its highest to lowest point.

The main entry to the building is from 96 Ave. The lane will serve as the access to underground parking from the East side of the property. The site is flanked by single family residences on its South side.



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7921-0268-00(6)



EQUINOX (MARCH/SEPTEMBER21) - 10AM

EQUINOX (MARCH/SEPTEMBER21) - 12PM

EQUINOX (MARCH/SEPTEMBER21) - 2PM



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FORM OF THE DEVELOPMENT :

The overall design is consonant with the guidelines laid out in the OCP. The development balances the need to provide affordable rental housing for the community with meeting the objectives and planning guidelines.

The building form is designed with a simple approach to the massing parti and expression with a minimal use of materials and patterns. It takes into account adjacent single-family residential and other lower scale buildings. The units along 96 Ave are designed to visually emulate 2 storey townhouses and has raised patios and individual entries facing the street. These are clearly identified with a distinct material (dark brick) and form. Towards 134 St the single storey units at ground level are expressed with the same material as the Townhouse units. In the overall composition this creates the effect of a strong, recessed base from which the forms of the upper storey are suspended. The individual entries to the Townhouse units and the condominiums at the grade level are clearly emphasised with a slab projection finished in white to contrast with the dark brick. The main entrance to the building also acquires a strong character based on a similar approach.



SUSTAINABILITY FEATURES:

- 1. Location and Transportation
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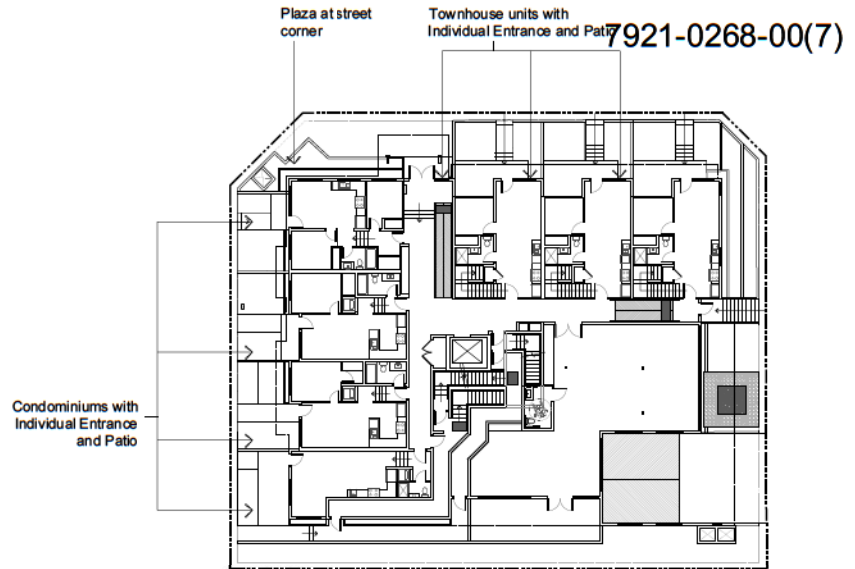
- Top two stories set back to reduce mass
- Strong datum line on both 96 Ave and 134 St
- Corner opened up with glazing to reduce effect of mass at street corner
- Strong Main entrance facing 96 Ave
- Public plaza at street corner

Above the townhouses, the facade is articulated by an interplay of masses, planes and projections. Dominant massing in blue delineates the residential units on the upper floor. The blue forms are arranged in a manner resembling a pinwheel formation, reflecting the spatial arrangement in the plan, such that each orientation gets a similar yet distinct facade. The blue mass is offset by recessed planes from which the balcony slab projects outward. Care has been taken to further reduce the effect of the mass, especially at the street corner, by opening up its corners and introducing glazing to visually lighten it.

The building, at Level 5 and 6, is stepped back by 2.5m towards 96 Ave and 134 St, and 1.5m on the South towards the rear portion of the site. This, along with varied planes and an interplay of horizontal and vertical elements, reduces the effect of the massing. We have also established a strong datum point at the 4th storey level through our use of material. The top two stories, predominantly finished in white and grey tones, are made distinct through the use of colors, materials and visual elements selected to reduce the effect of the mass on the upper storeys.

The outdoor amenity is located on the rooftop above the 6th storey and positioned on the terrace facilitating views to the North. The amenity is further divided into Adult and Kids zones and has a guard rail to reduce the massing

Indoor and outdoor amenities are provided consistent with size of the development and meet zoning bylaw requirements. Bicycle storage, Garbage / Recycle room, Mechanical / electrical rooms as per the requirements of the project will be located on the parkade level of the buildings.



- Rooftop Outdoor Amenity
- Strong Datum point at 4th storey
- Vertically expression of townhouse units
- Entry to units delineated



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7921-0268-00(8)



Unit 209- 6321 King George Blvd
Surrey BC, V3K 1G1
www.flat1architecture.ca
contact@flat1architecture.ca

Ph: 604-503-4484



PROJECT INFO:
13412, 13414, 13420, 96 Ave
Surrey BC
CLIENT:

DATE
20 Oct 2022

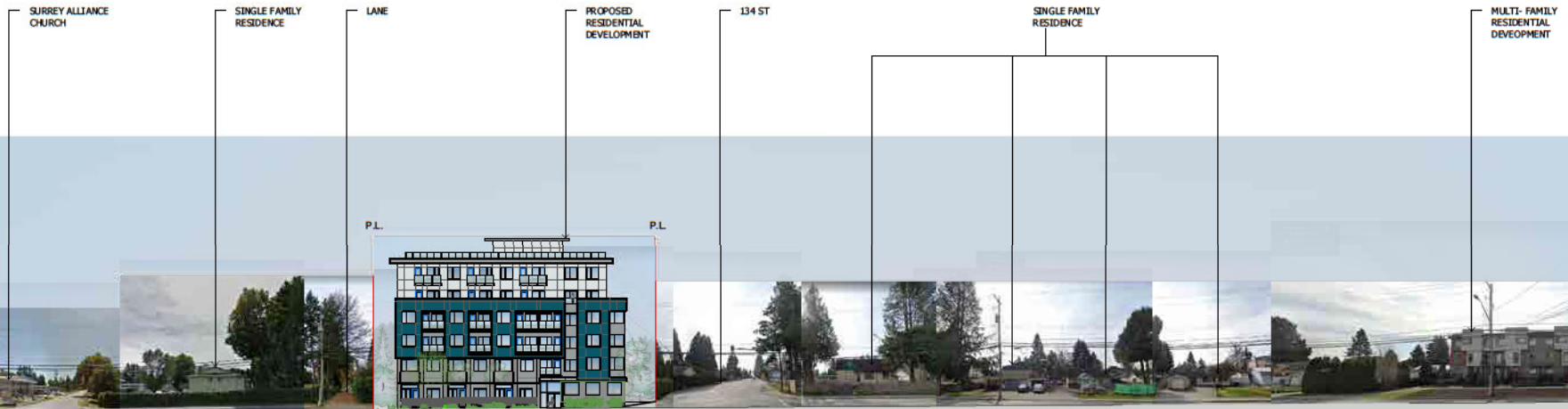
PROJECT NO:
21-204

SCALE: 1/16"=1'
DRAWN BY: VK

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STREETSCAPE

A 0.7

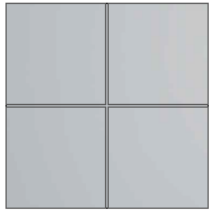


Streetscape Along 96 Avenue

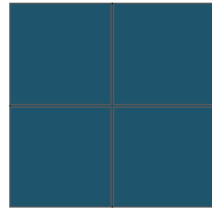
1/16"=1"



A WIRE-CUT THIN BRICK CLADDING
(PACIFIC STONE ART)
COLOR (710 HANOVER)



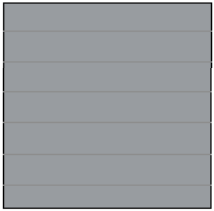
B EXTERIOR HIGH DENSITY FIBRE
CEMENT BOARD C/W EASY TRIMS
TO MATCH (HARDIE OR SIMILAR)
COLOR (2121-50 ICE CUBE SILVER)



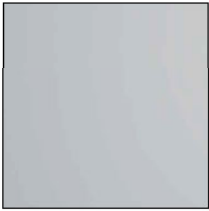
C EXTERIOR HIGH DENSITY FIBRE
CEMENT BOARD C/W EASY TRIMS
TO MATCH (HARDIE OR SIMILAR)
COLOR (2058-20 SLATE TEAL)



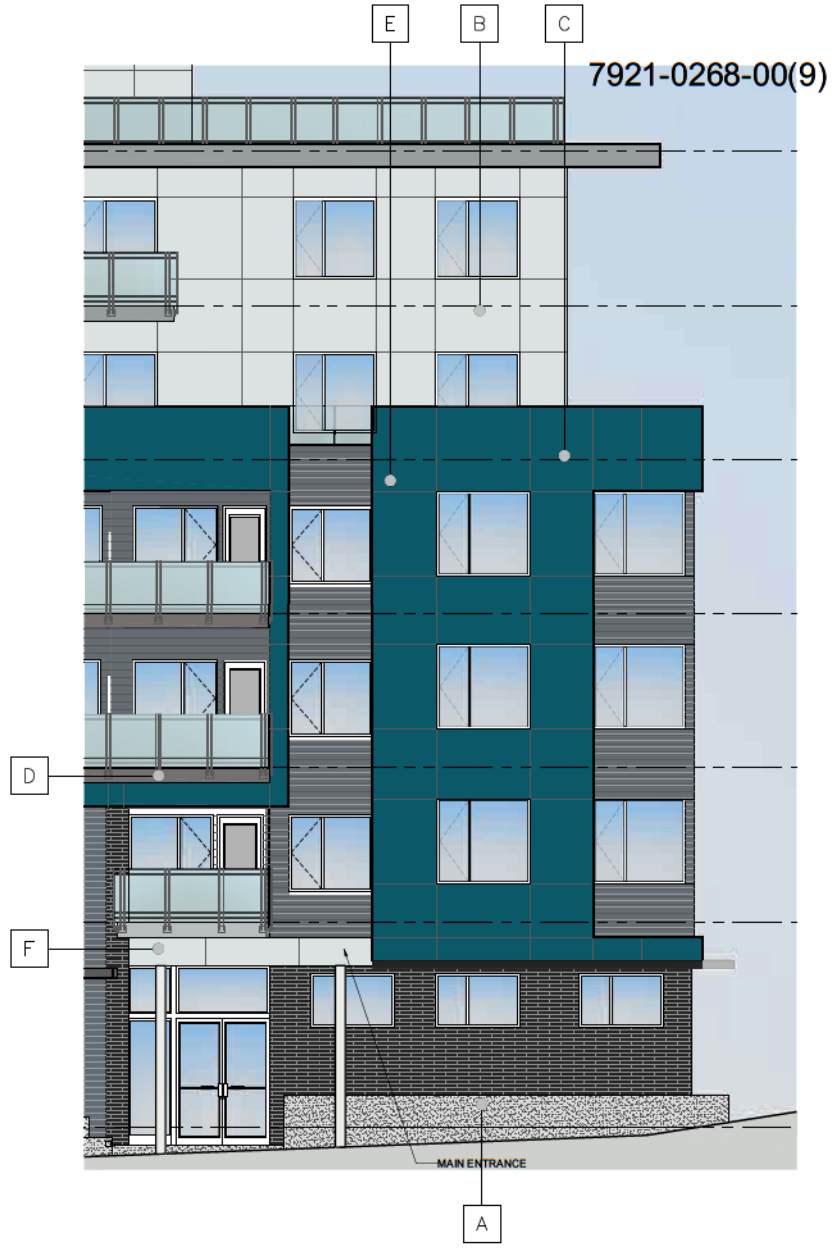
D PAINT FINISH (2121-30 PEWTER)



E CEMENT FIBRE BOARD 5\"/>



F PAINT FINISH (2121-50 ICED CUBE
SILVER)



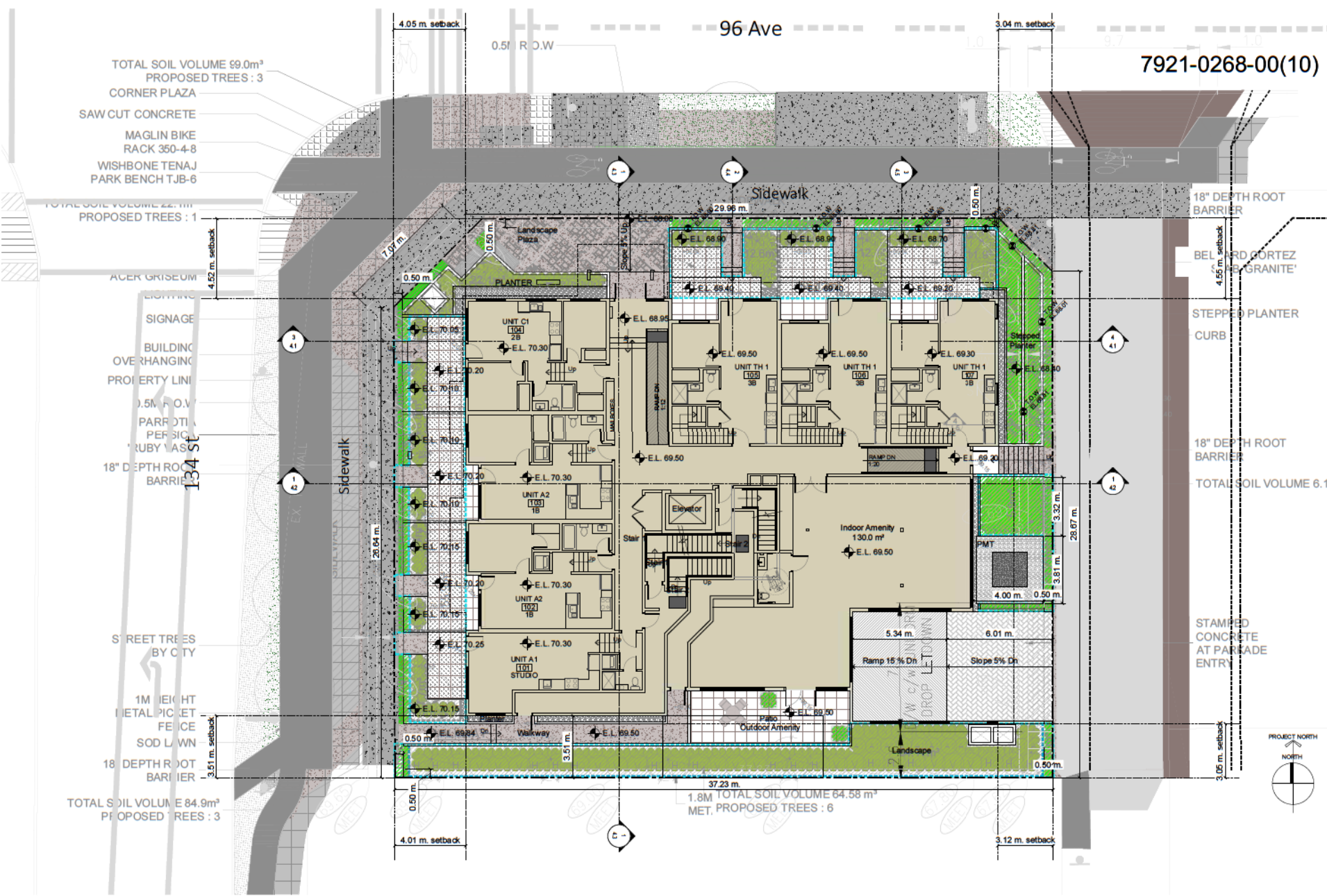
PROJECT INFO:
13412, 13414, 13420, 96 Ave
Surrey BC
CLIENT:

DATE:
20 Oct 2022

PROJECT NO:
SCALE: NTS
DRAWN BY: VK

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MATERIAL BOARD



96 Ave

7921-0268-00(10)

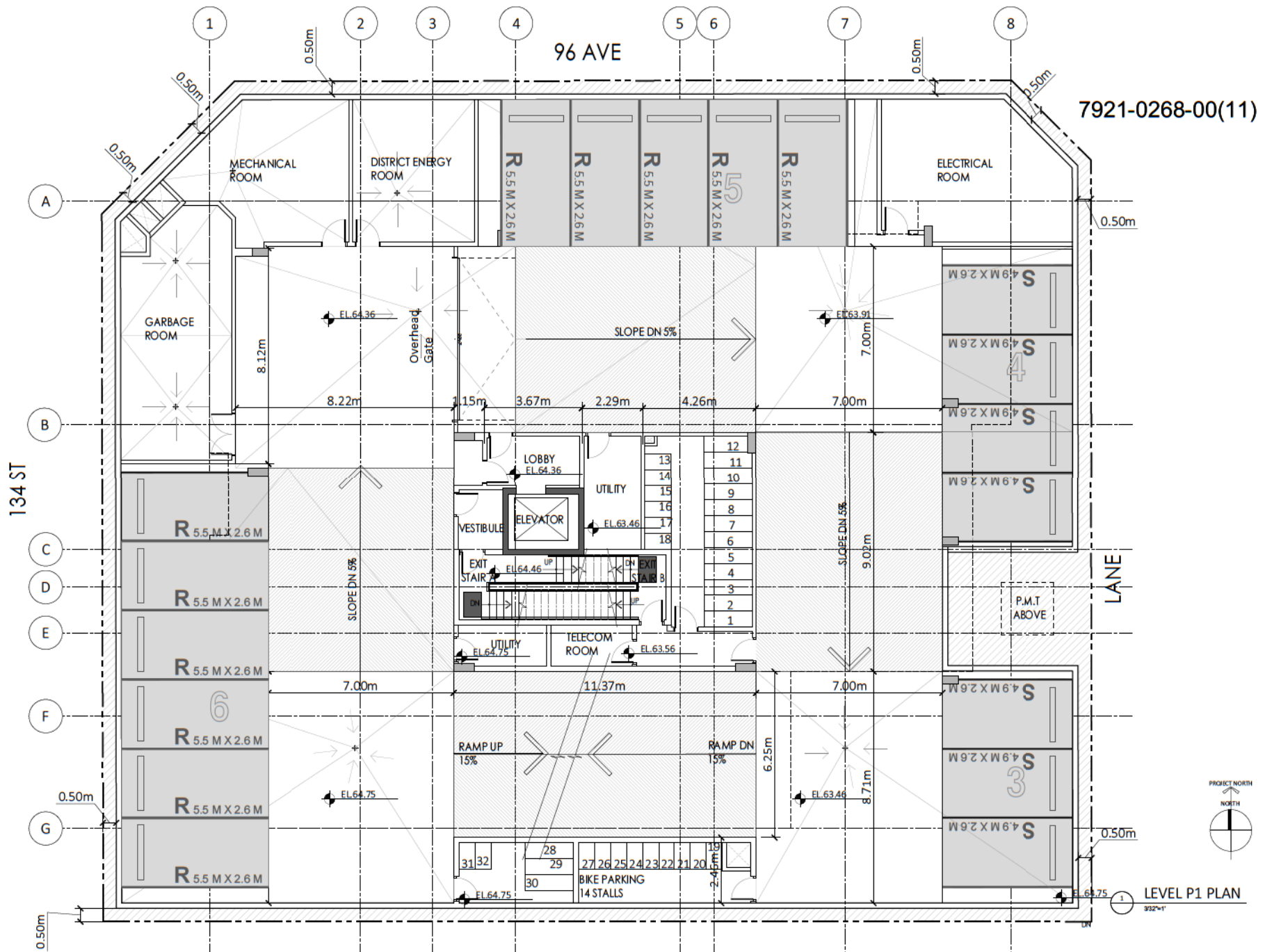
134 St



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SITE PLAN

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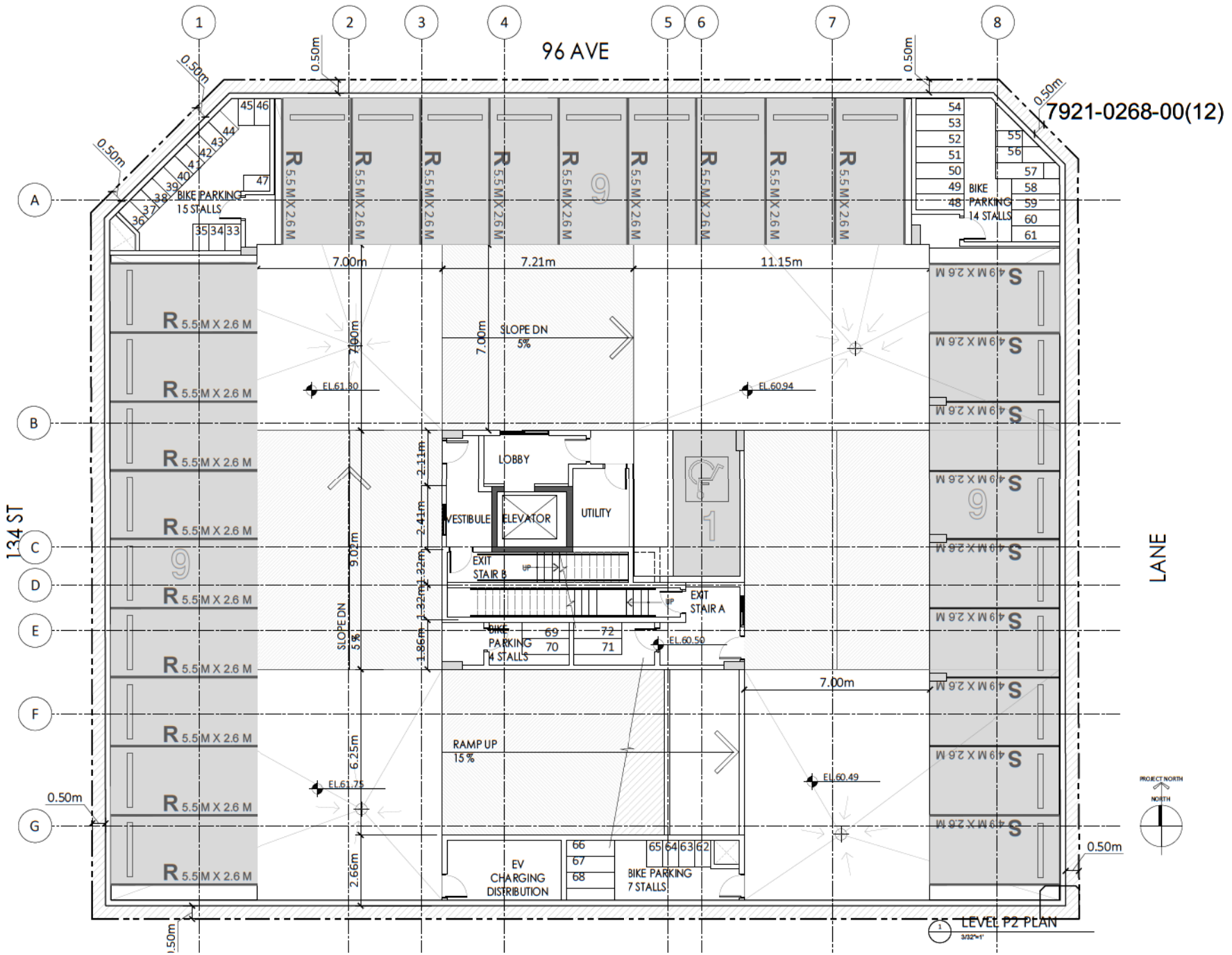


7921-0268-00(11)

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P1 LEVEL

LEVEL P1 PLAN
3/32"=1'



7921-0268-00(12)



PROJECT INFO:
13412, 13414, 13420, 96 Ave
Surrey BC
CLIENT:

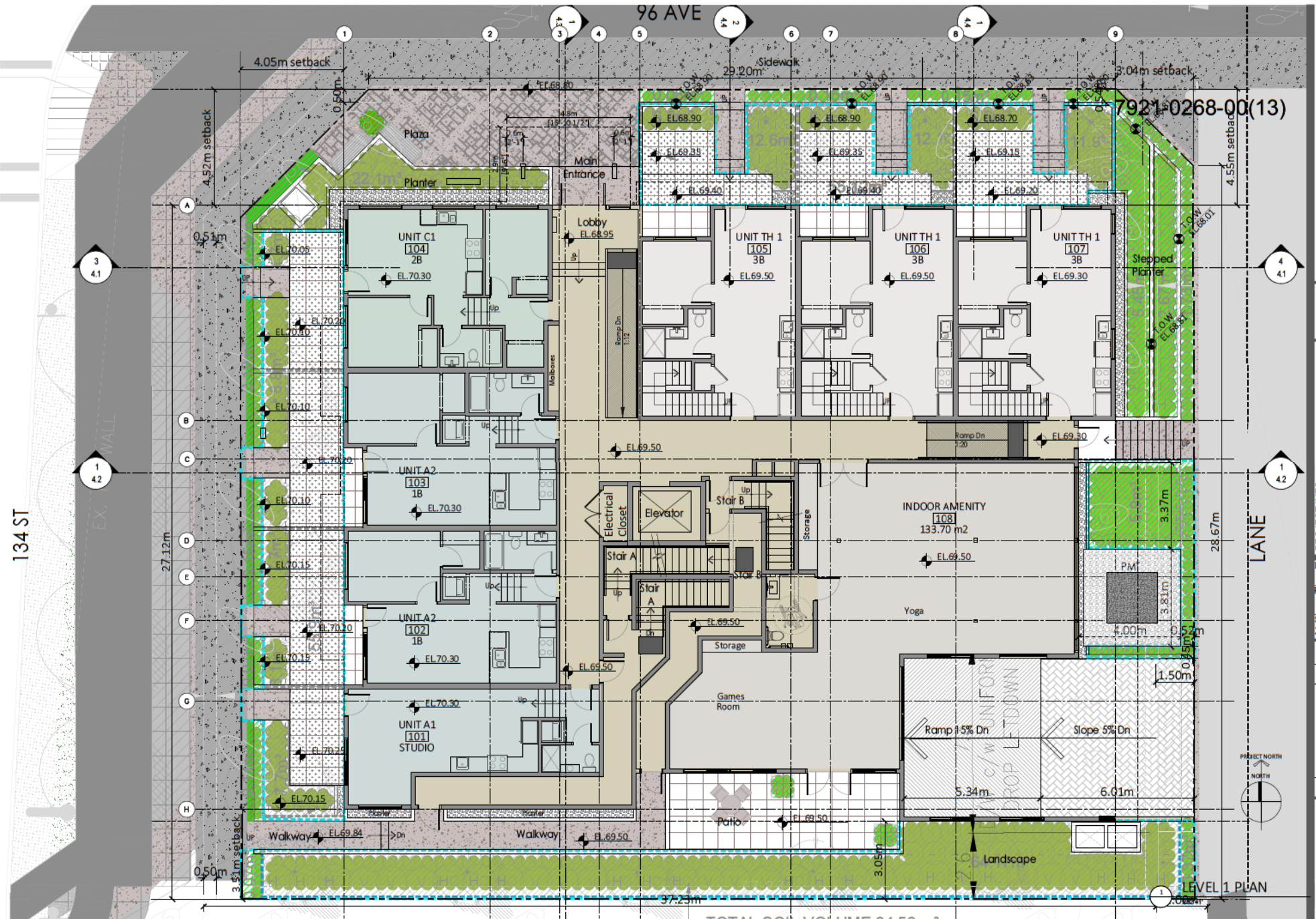
DATE: 25-Jun-24
PROJECT NO: 21-204
SCALE: 3/32"=1'
DRAWN BY: VK

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P2 LEVEL



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LEVEL 1 PLAN

7921-0268-00(14)



LEVEL 2 PLAN
3/32"=1"

FLATI.
ARCHITECTURE
2

Unit 209-6321 King George Blvd
Surrey BC, V3X 1G1
www.flatiarchitecture.ca
contact@flatiarchitecture.ca
Ph: 604-503-4484



PROJECT INFO:
13412, 13414, 13420, 96 Ave
Surrey BC
CLIENT:

DATE:
30-May-24
PROJECT NO.:

SCALE:
3/32"=1'
DRAWN BY:
VK

| REV | DESCRIPTION | DATE |
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LEVEL 2

A 2.2

7921-0268-00(15)



LEVEL 3-4 PLAN
3/32"=1"



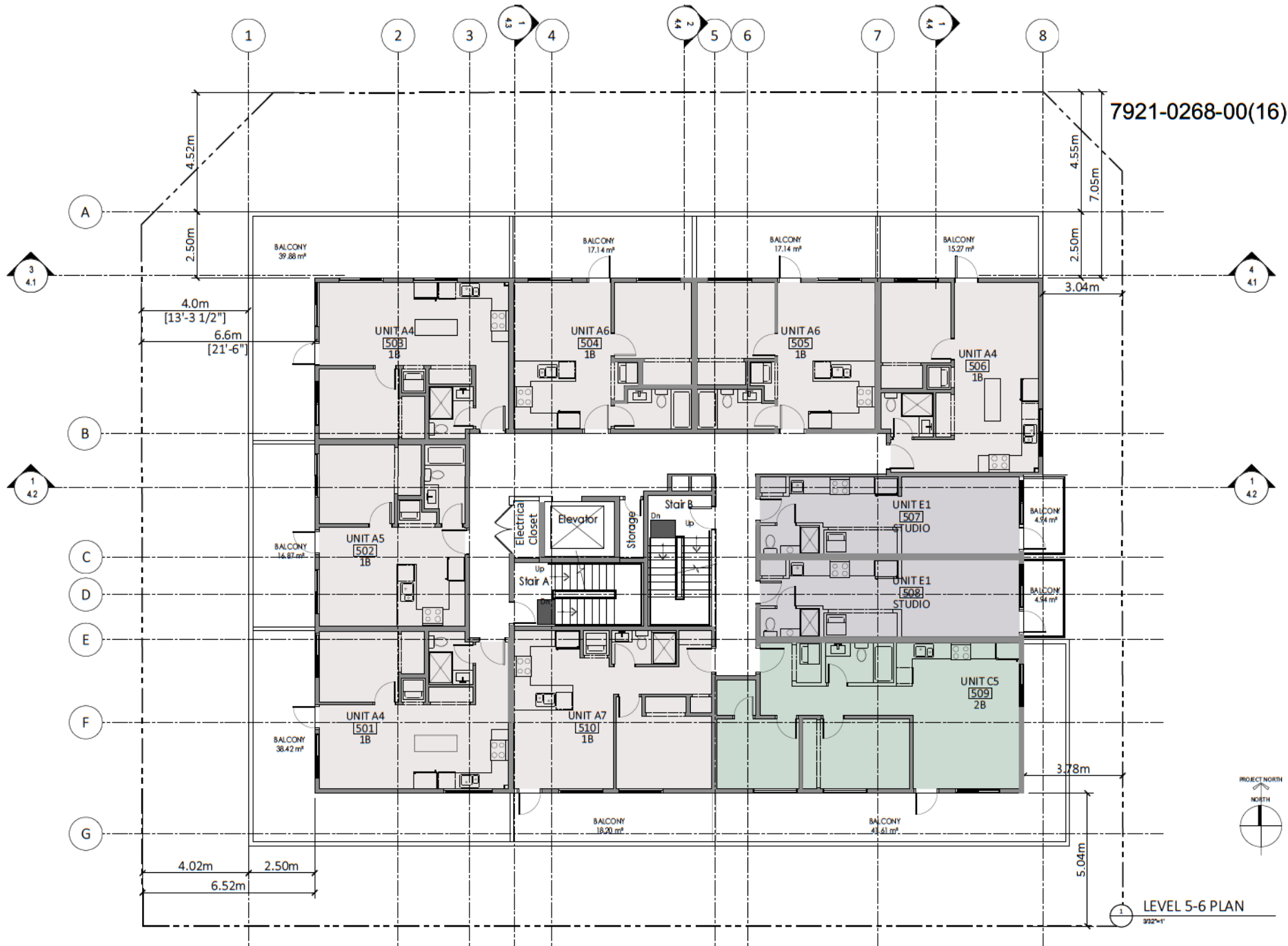
PROJECT INFO:
13412, 13414, 13420, 96 Ave
Surrey BC
CLIENT:

DATE:
28-Mar-24
PROJECT NO.:

SCALE: 3/32"=1'
DRAWN BY: VK

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LEVEL 34



LEVEL 5-6 PLAN
3/32"=1'

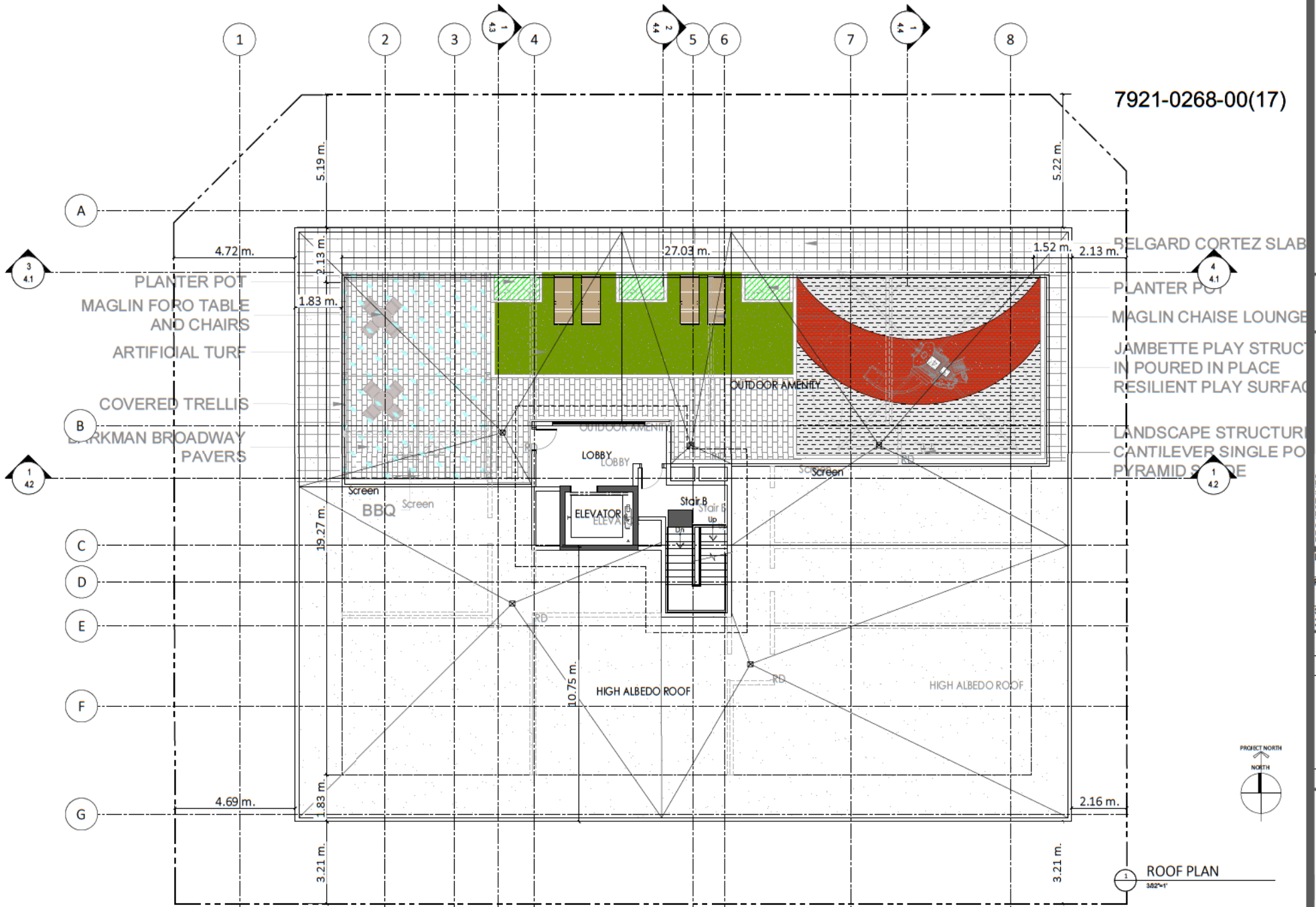


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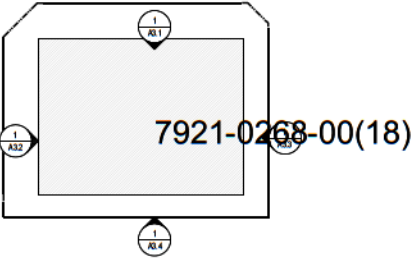
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7921-0268-00(17)



ROOF PLAN
3/32"=1'

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| A | WIRE-CUT THIN BRICK 710 - HANOVER (ROYALE PACIFIC STONE ART OR SIMILAR) |
| B | EXTERIOR HIGH DENSITY FIBRE CEMENT BOARD C/W EASY TRIMS TO MATCH (HARDIE OR SIMILAR) COLOR (2121-50 ICE CUBE SILVER) |
| C | EXTERIOR HIGH DENSITY FIBRE CEMENT BOARD C/W EASY TRIMS TO MATCH (HARDIE OR SIMILAR) COLOR (2058-20 SLATE TEAL) |
| D | PAINT FINISH (2121-30 PEWTER) |
| E | 5" HARDIE PLANK FINISH (2121-30 PEWTER) |
| F | PAINT FINISH (2121-50 ICED CUBE SILVER) |
| G | HIGH ALBEDO ROOF (SOPREMA SUPERSTAR) |



PROJECT INFO:
13412, 13414, 13420, 96 Ave
Surrey BC
CLIENT:

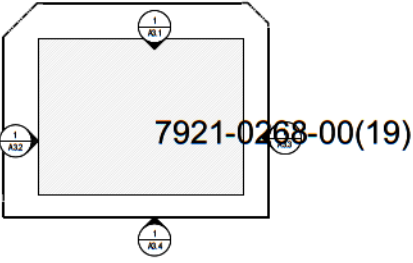
DATE: 18-Jul-24
PROJECT NO: 21-204
SCALE: NTS DRAWN BY: VK

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ELEVATIONS

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| A | WIRE-CUT THIN BRICK 710 - HANOVER (ROYALE PACIFIC STONE ART OR SIMILAR) |
| B | EXTERIOR HIGH DENSITY FIBRE CEMENT BOARD C/W EASY TRIMS TO MATCH (HARDIE OR SIMILAR) COLOR (2121-50 ICE CUBE SILVER) |
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| G | HIGH ALBEDO ROOF (SOPREMA SUPERSTAR) |



PROJECT INFO:
13412, 13414, 13420, 96 Ave
Surrey BC
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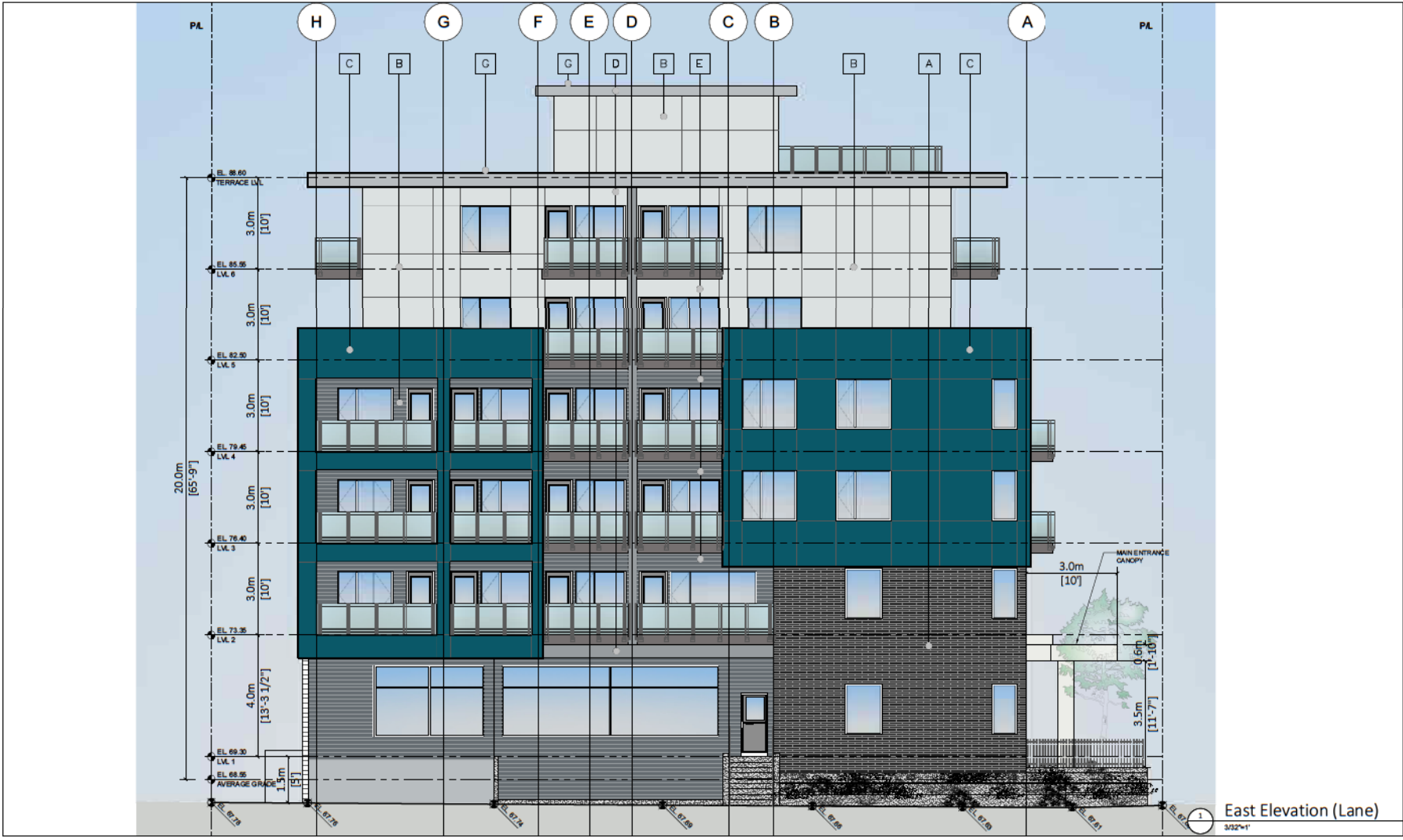
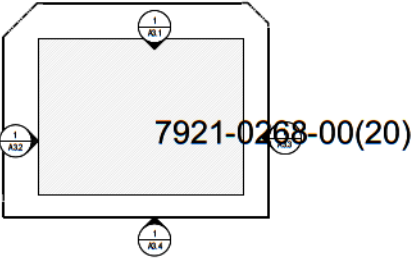
DATE:
18-Jul-24
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ELEVATIONS

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| A | WIRE-CUT THIN BRICK 710 - HANOVER (ROYALE PACIFIC STONE ART OR SIMILAR) |
| B | EXTERIOR HIGH DENSITY FIBRE CEMENT BOARD C/W EASY TRIMS TO MATCH (HARDIE OR SIMILAR) COLOR (2121-50 ICE CUBE SILVER) |
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| G | HIGH ALBEDO ROOF (SOPREMA SUPERSTAR) |



PROJECT INFO:
13412, 13414, 13420, 96 Ave
Surrey BC
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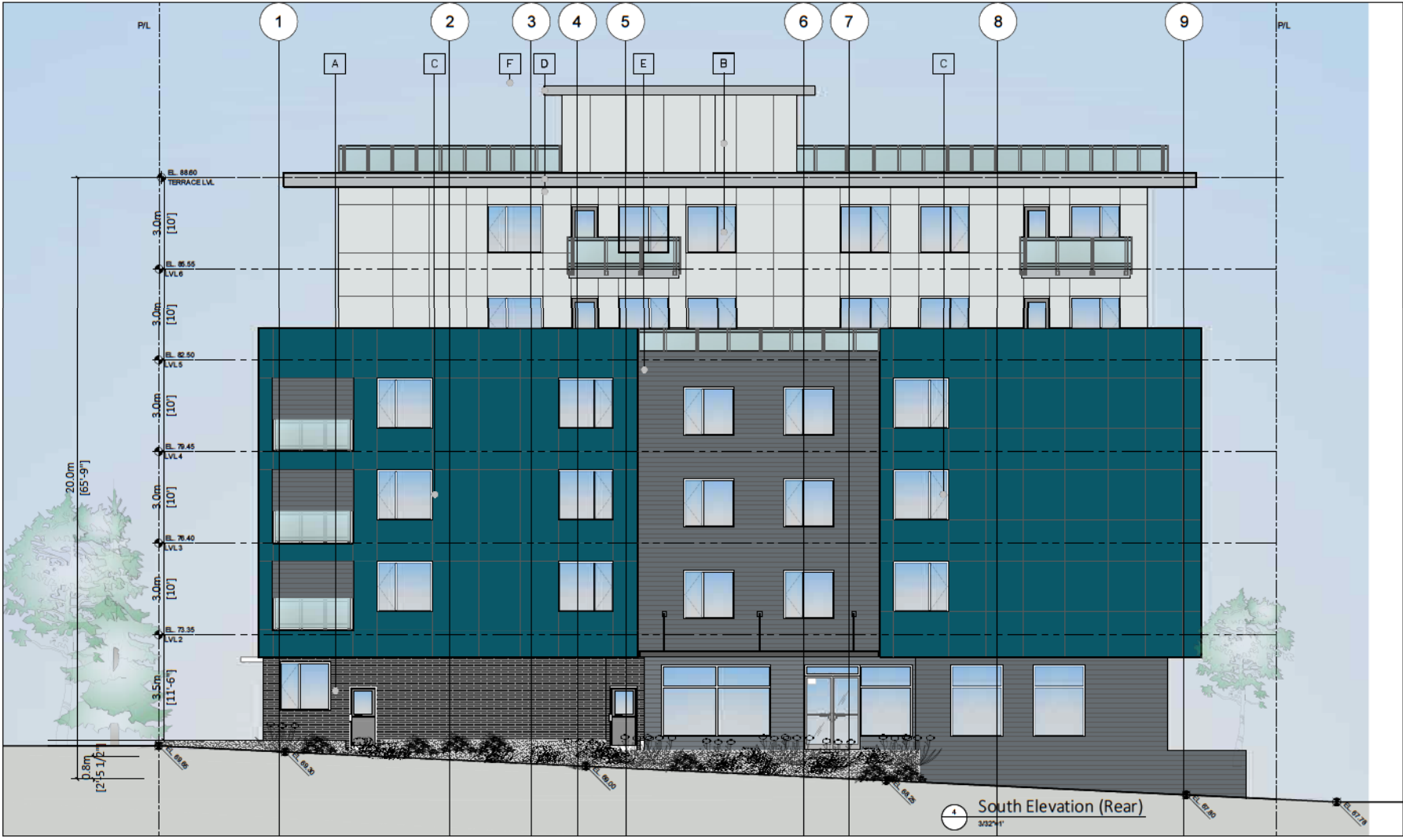
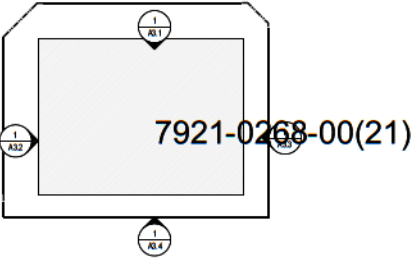
DATE:
18-Jul-24
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ELEVATIONS

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| A | WIRE-CUT THIN BRICK 710 - HANOVER (ROYALE PACIFIC STONE ART OR SIMILAR) |
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| F | PAINT FINISH (2121-50 ICED CUBE SILVER) |
| G | HIGH ALBEDO ROOF (SOPREMA SUPERSTAR) |



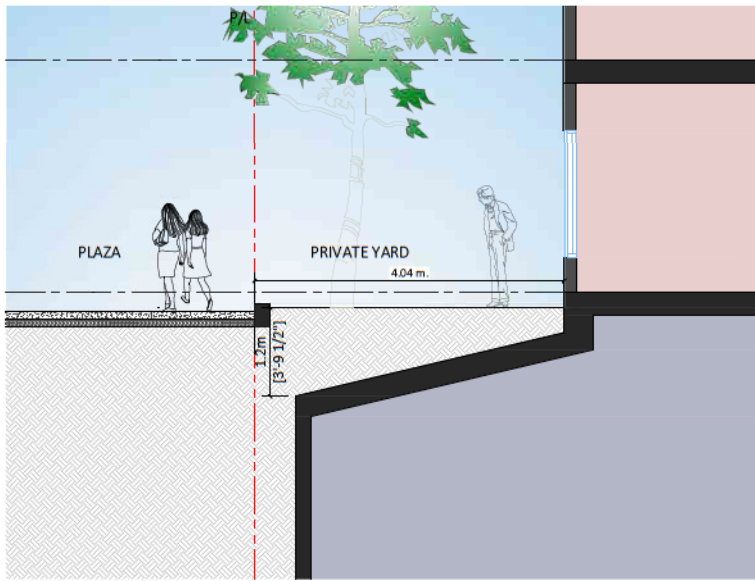
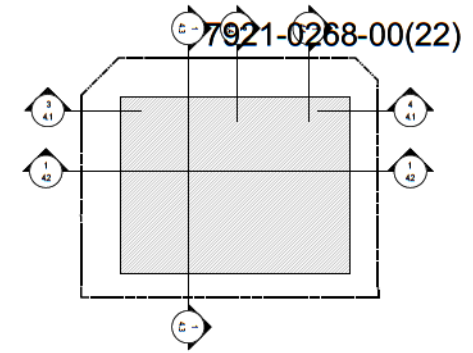
PROJECT INFO:
13412, 13414, 13420, 96 Ave
Surrey BC
CLIENT:

DATE:
20 Oct 2022
PROJECT NO.:

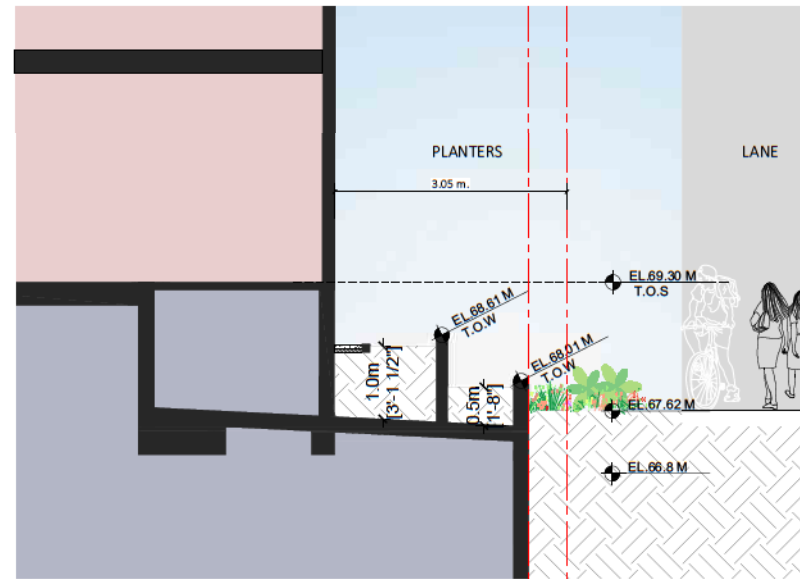
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NTS VK

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ELEVATIONS



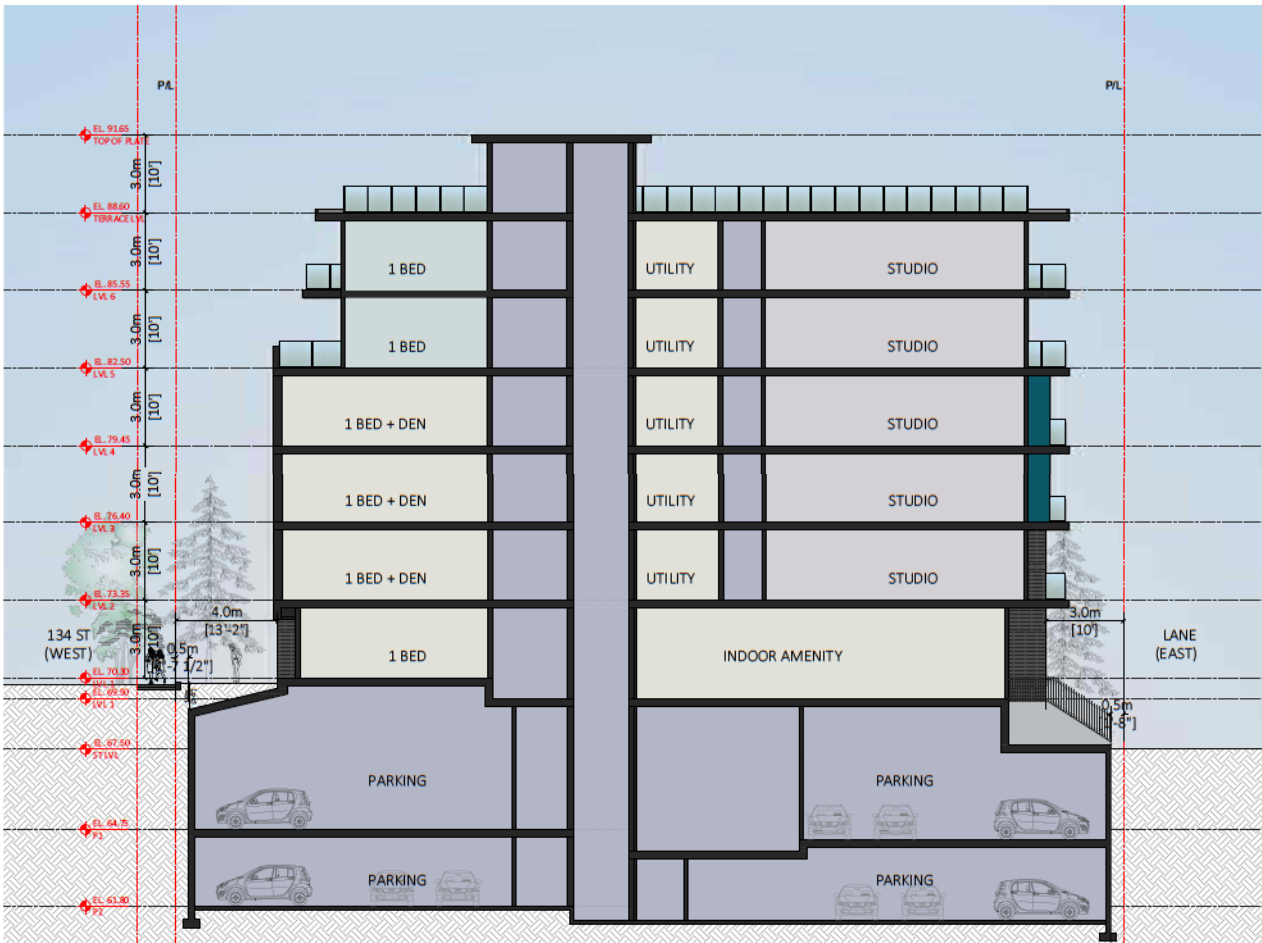
3
41 Section along 134 st
3/16"=1'



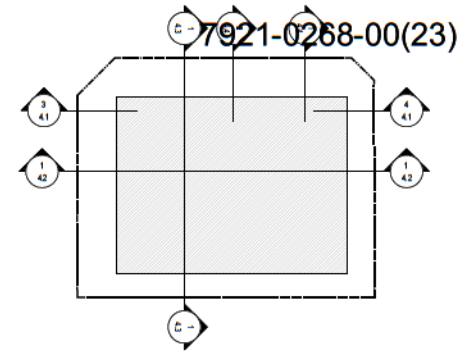
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41 Section along Lane
3/16"=1'



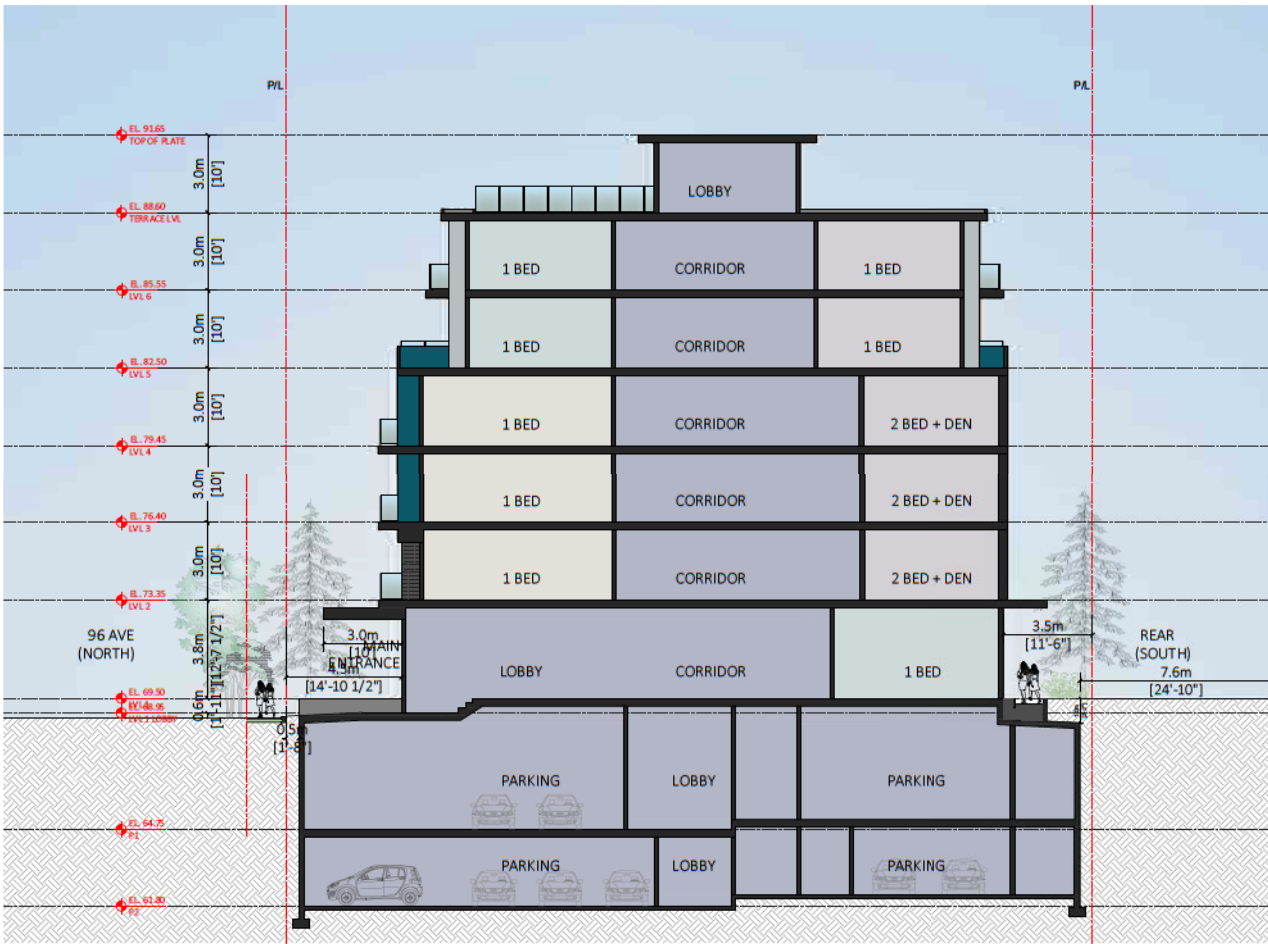
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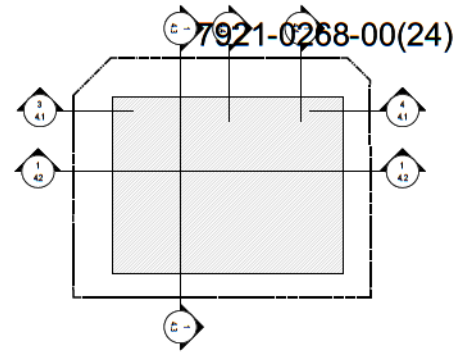
Section
1/42 1/16"=1'



| REV | DESCRIPTION | DATE |
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1 Section
43 1/16"=1'

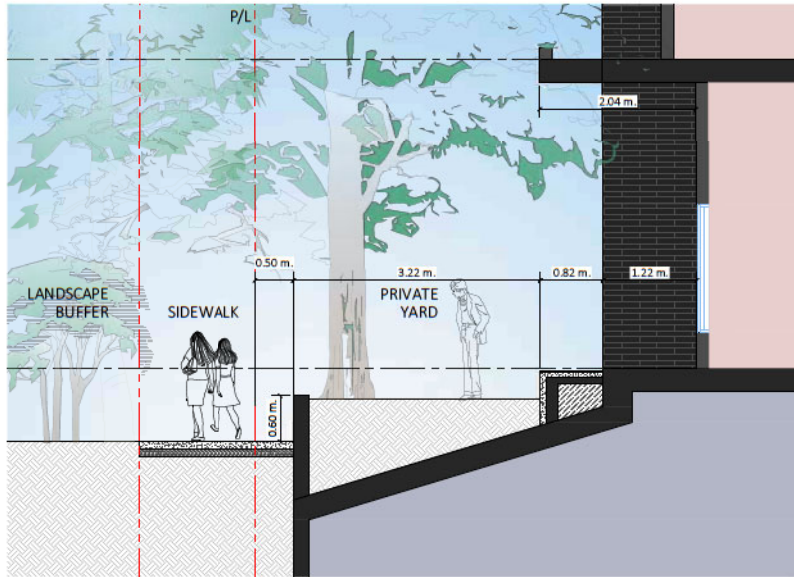
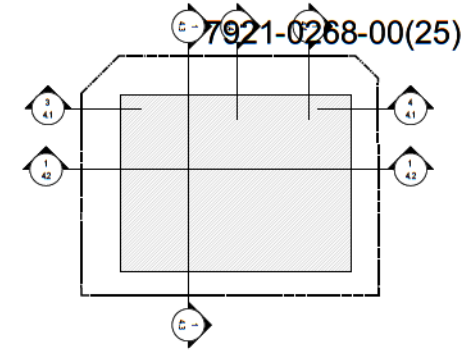


PROJECT INFO:
13412, 13414, 13420, 96 Ave
Surrey BC
CLIENT:

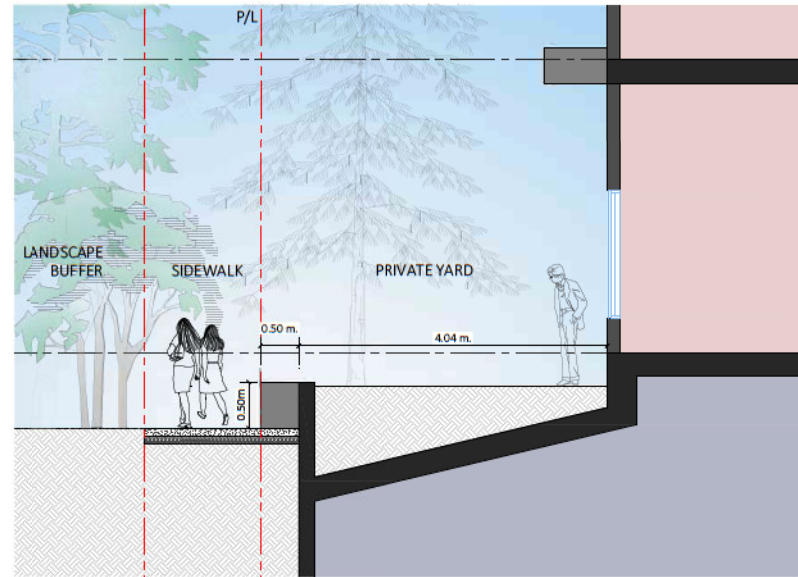
DATE: 28-Jun-24
PROJECT NO: 21-204
SCALE: NTS DRAWN BY: VK

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Section



1 Section along 96 ave
3/16"=1'



2 Section along 96 ave
3/16"=1'



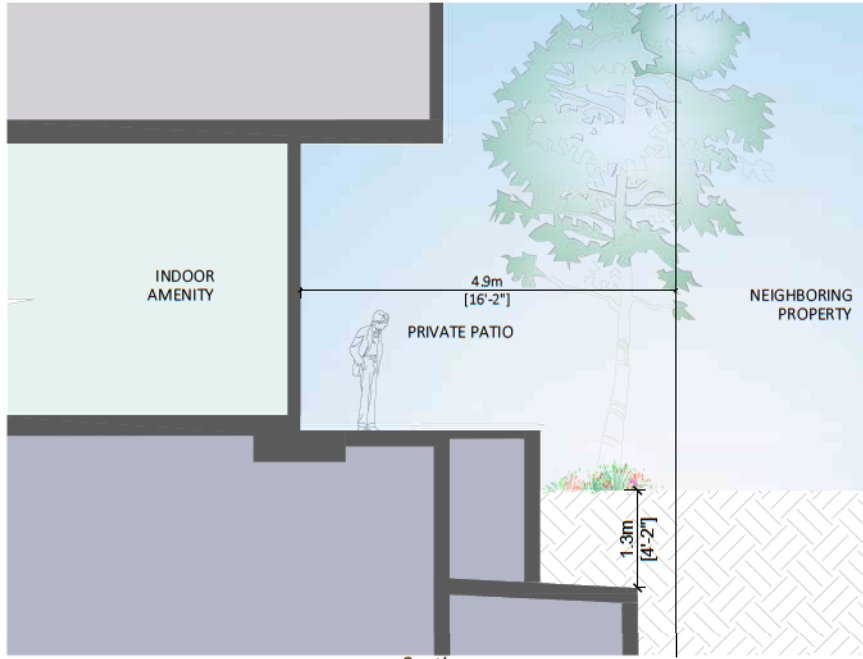
PROJECT INFO:
13412, 13414, 13420, 96 Ave
Surrey BC
CLIENT:

DATE:
09 Aug 2022
PROJECT NO:
21-204
SCALE: NTS DRAWN BY:
VK

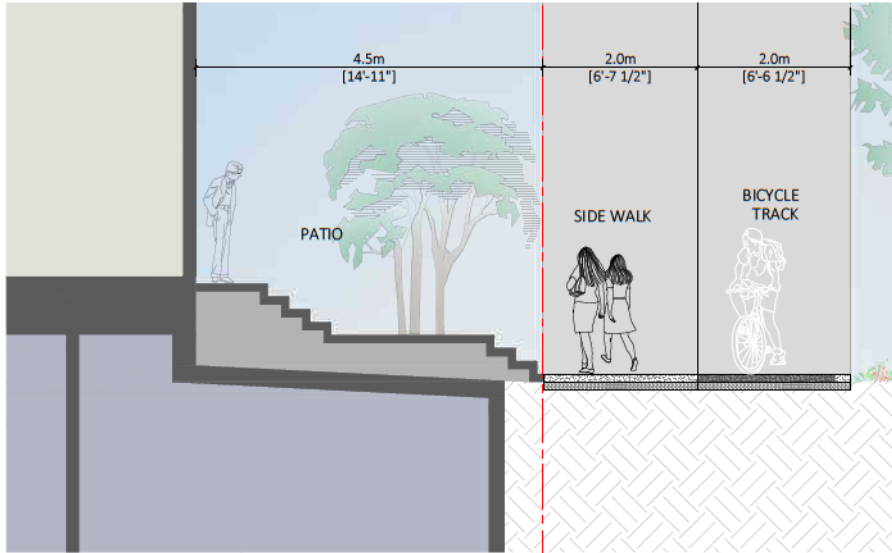
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DETAILS

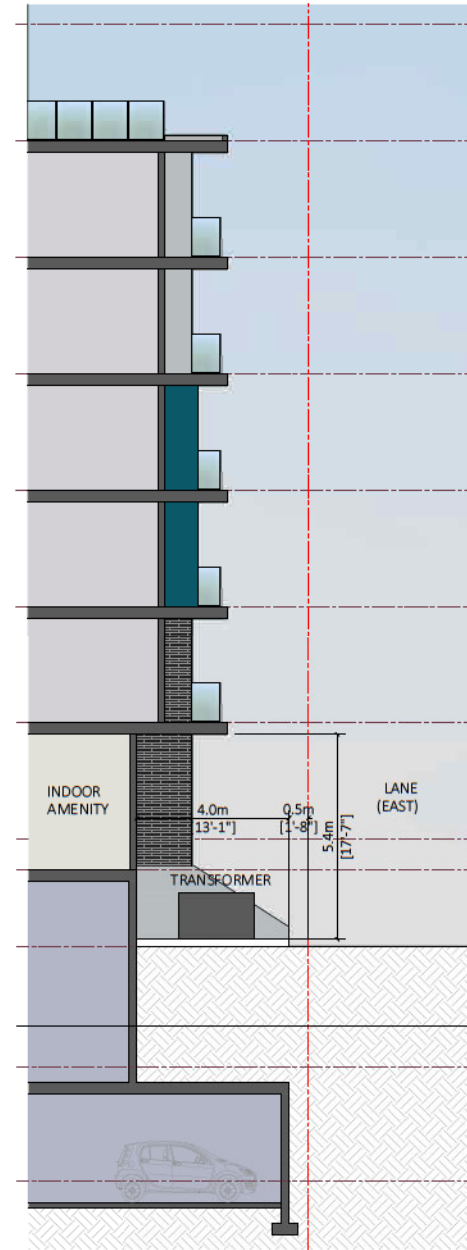
A 4.4



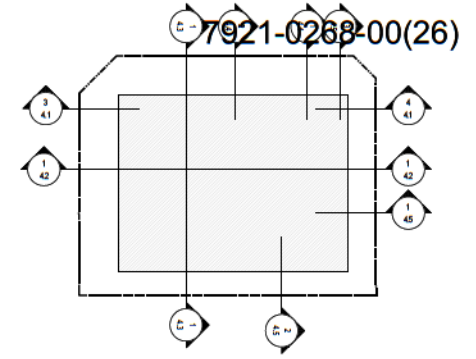
Section 2
3/16"=1'



Section 3
3/16"=1'



Section 1
3/32"=1'



PROJECT INFO:
13412, 13414, 13420, 96 Ave
Surrey BC
CLIENT:

DATE:
06 Oct 2022

PROJECT NO:
21-204

SCALE:
NTS

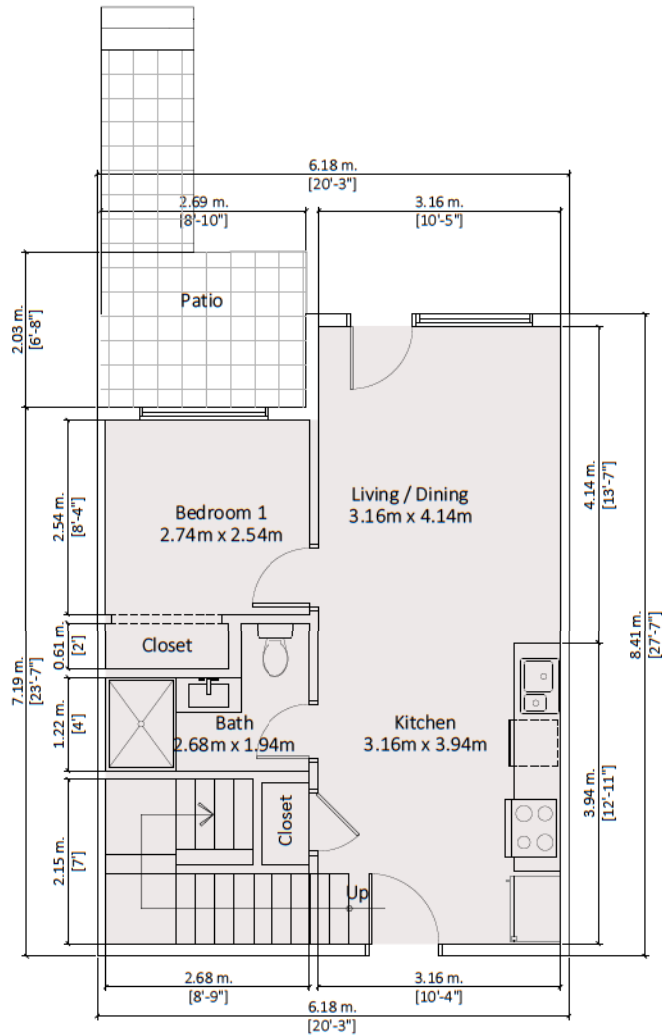
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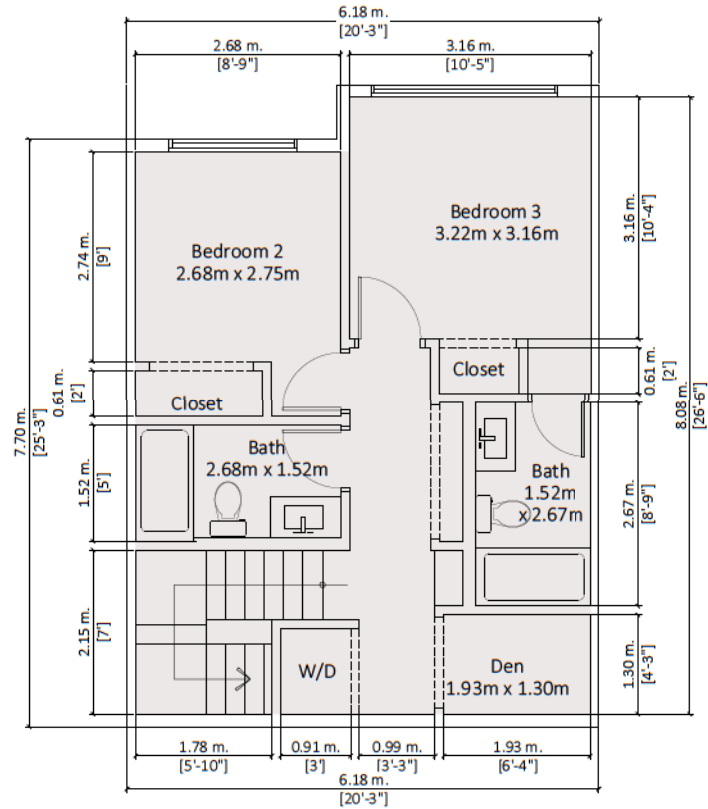
Section

A 4.5

7921-0268-00(27)



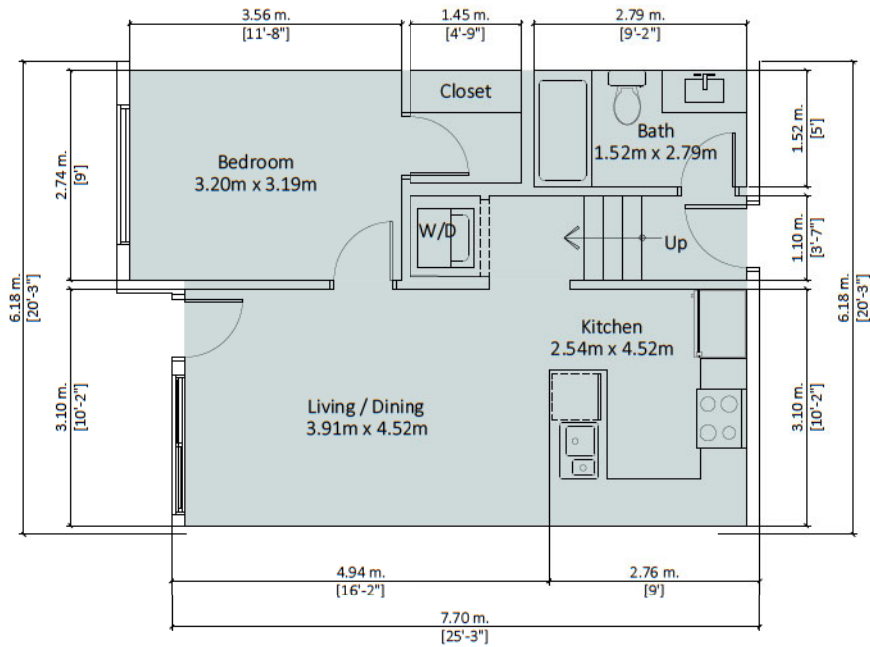
1 Unit Type TH-1 Lvl1 (3 Bed)
3/16"=1'-0"
 UNIT AREA : 523.76 SQ.FT. / 48.66 SQ.M.



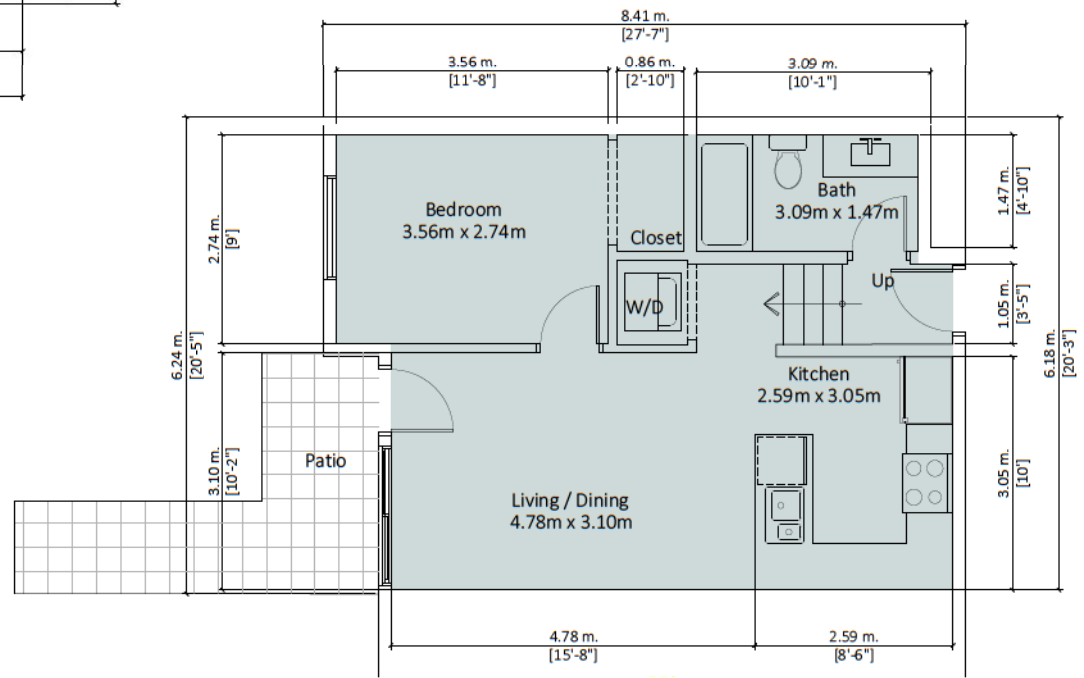
2 Unit Type TH-1 Lvl2 (3 Bed)
3/16"=1'-0"
 UNIT AREA : 538.71 SQ.FT. / 50.05 SQ.M.
 TOTAL AREA : 1062.47 SQ.FT. / 98.71 SQ.M.



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1 Unit Type A1 (1 Bed)
 3/16"=1'-0"
 UNIT AREA : 678.77 SQ.FT. / 63.06 SQ.M.

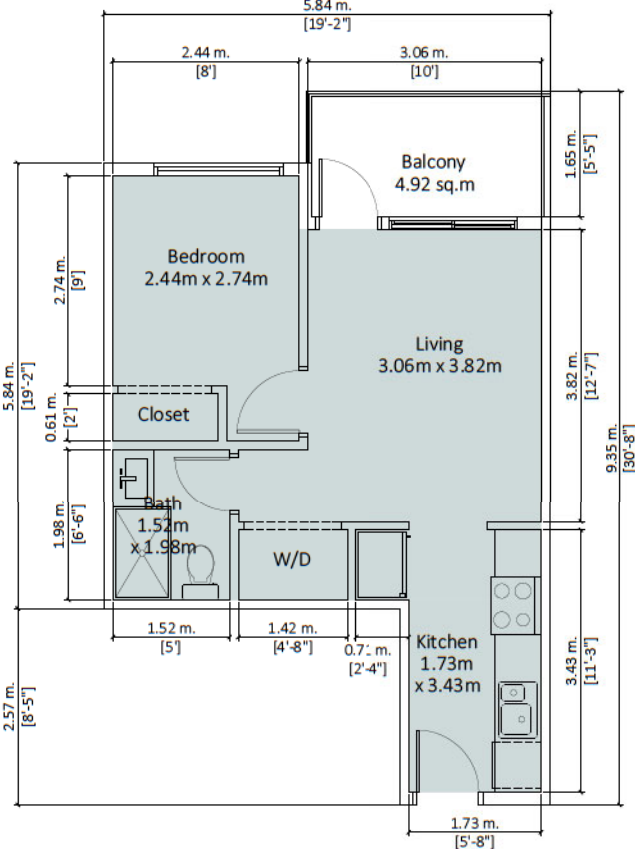


2 Unit Type A2 (1 Bed)
 3/16"=1'-0"
 UNIT AREA : 535.50 SQ.FT. / 49.75 SQ.M.

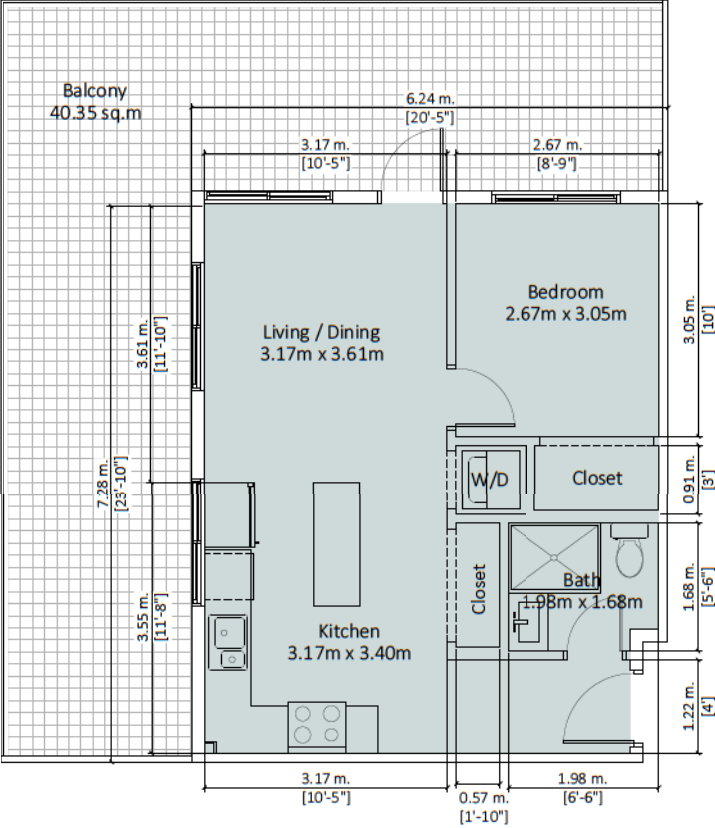
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① Unit Type A3 (1 Bed)
3/16"=1'-0"
 UNIT AREA : 397.46 SQ.FT. / 36.93 SQ.M.

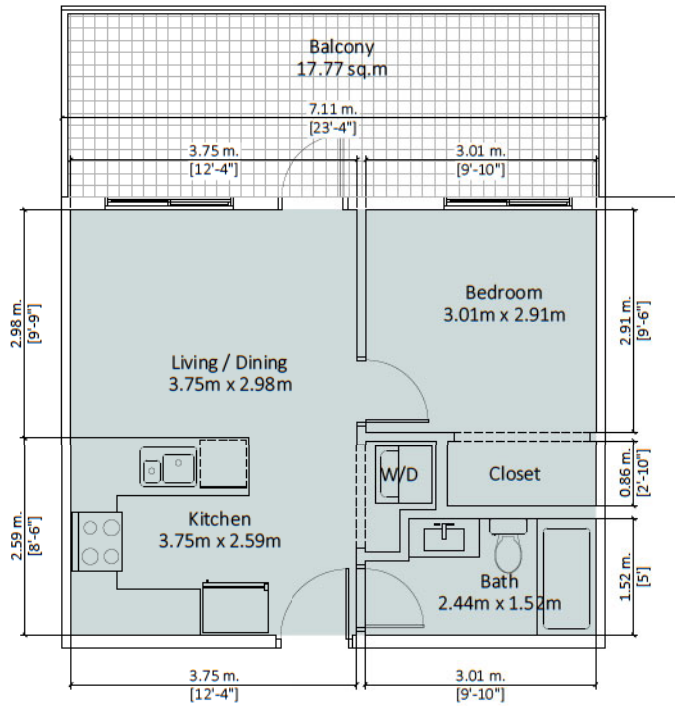


② Unit Type A4 (1 Bed)
3/16"=1'-0"
 UNIT AREA : 496.46 SQ.FT. / 46.12 SQ.M.

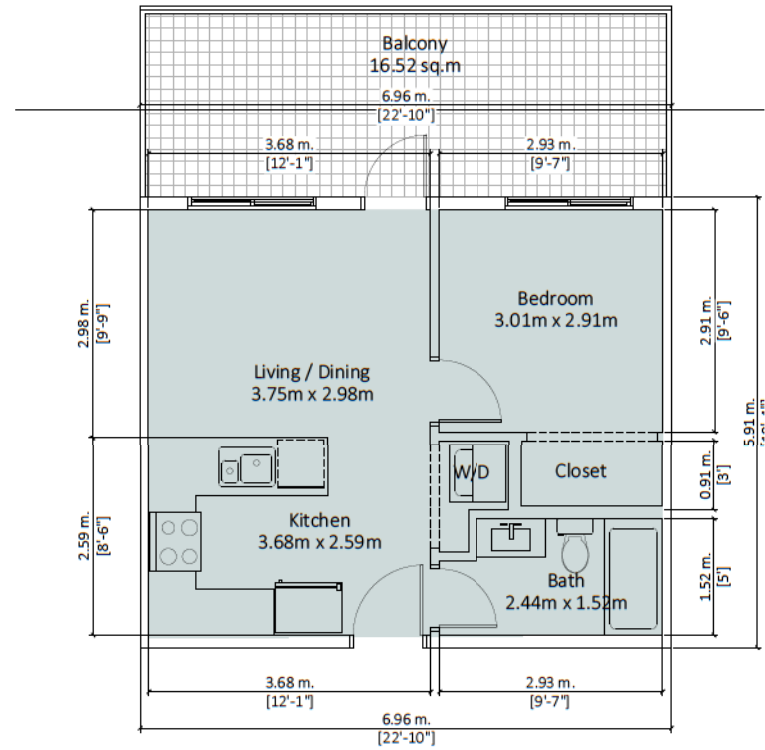


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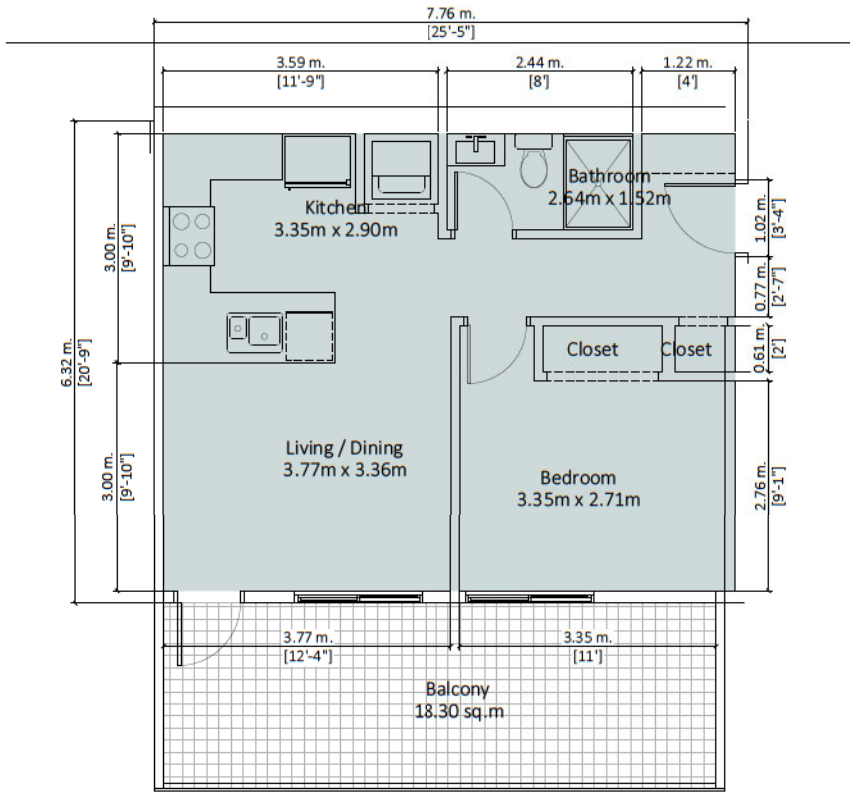
① Unit Type A5 (1 Bed)
3/16"=1'-0"
UNIT AREA : 451.68 SQ. FT. / 41.96 SQ.M.



② Unit Type A6 (1 Bed)
3/16"=1'-0"
UNIT AREA : 442.39 SQ. FT. / 41.10 SQ.M.

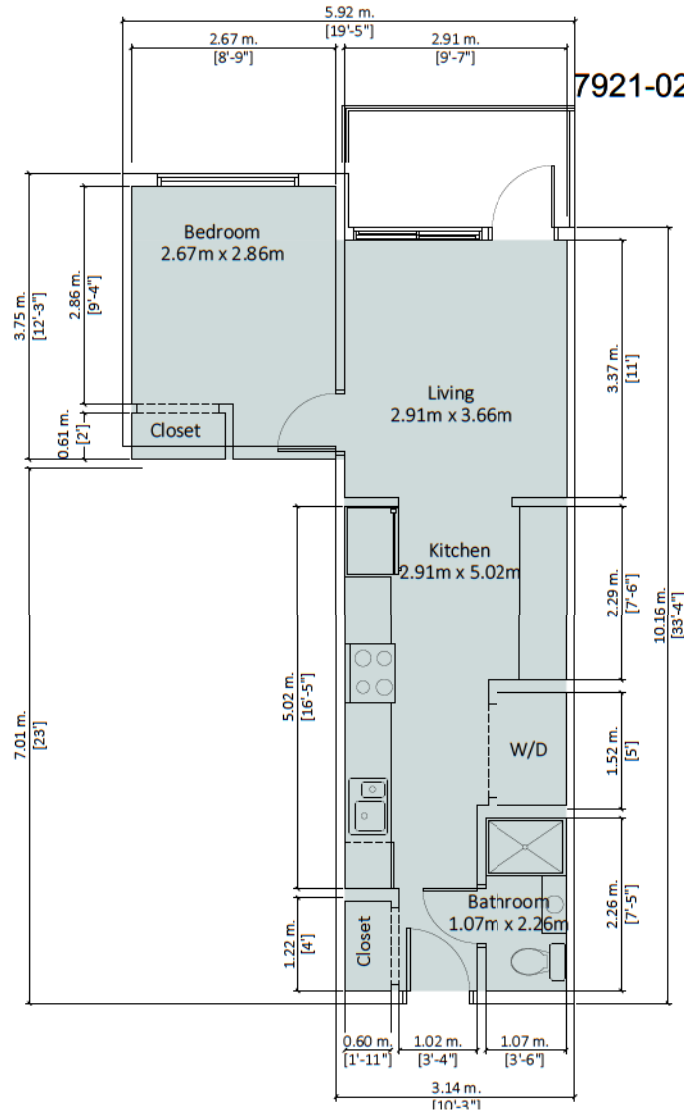


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① Unit Type A7 (1 Bed)
3/16"=1'-0"

UNIT AREA : 522.65 SQ.FT. / 48.56 SQ.M.



① Unit Type A8 (1 Bed)
3/16"=1'-0"

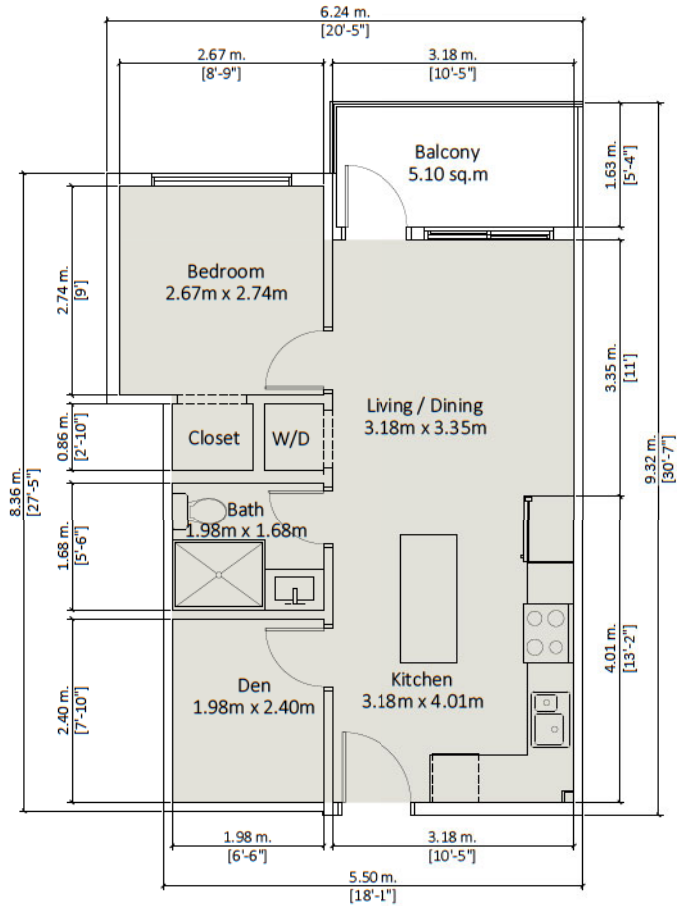
UNIT AREA : 469.76 SQ.FT. / 43.64 SQ.M.

7921-0268-00(31)



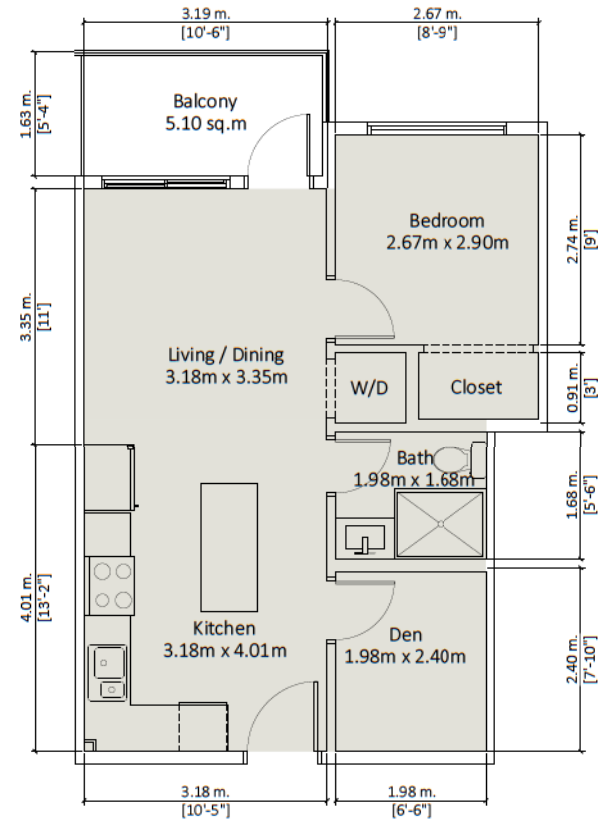
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7921-0268-00(32)



2 Unit Type B1 (1 Bed + Den)

UNIT AREA : 495.69 SQ.FT. / 46.05 SQ.M.



1 Unit Type B2 (1 Bed+Den)

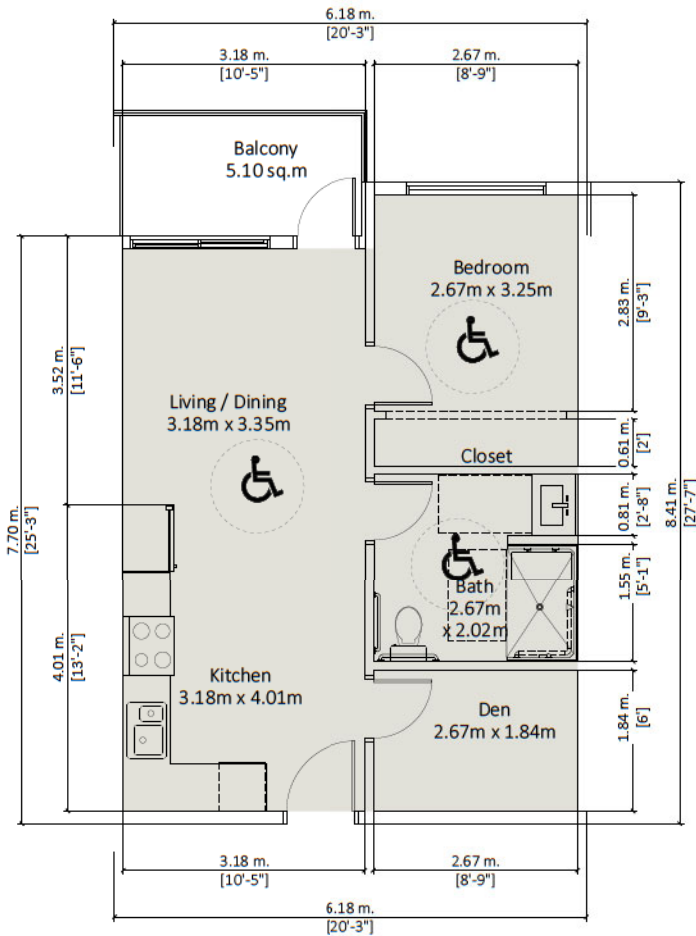
UNIT AREA : 502.77 SQ.FT. / 46.71 SQ.M.



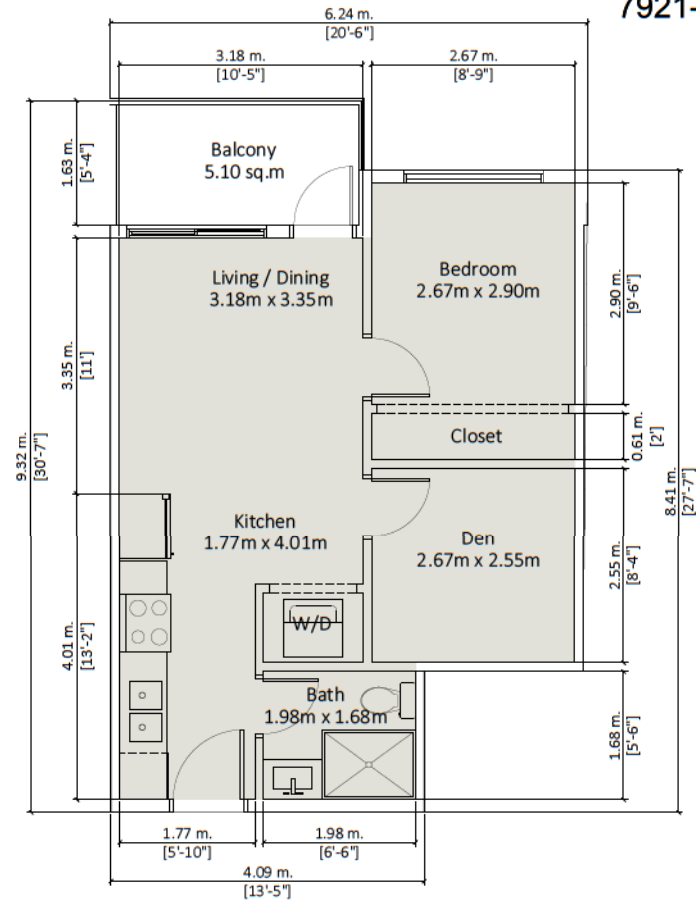
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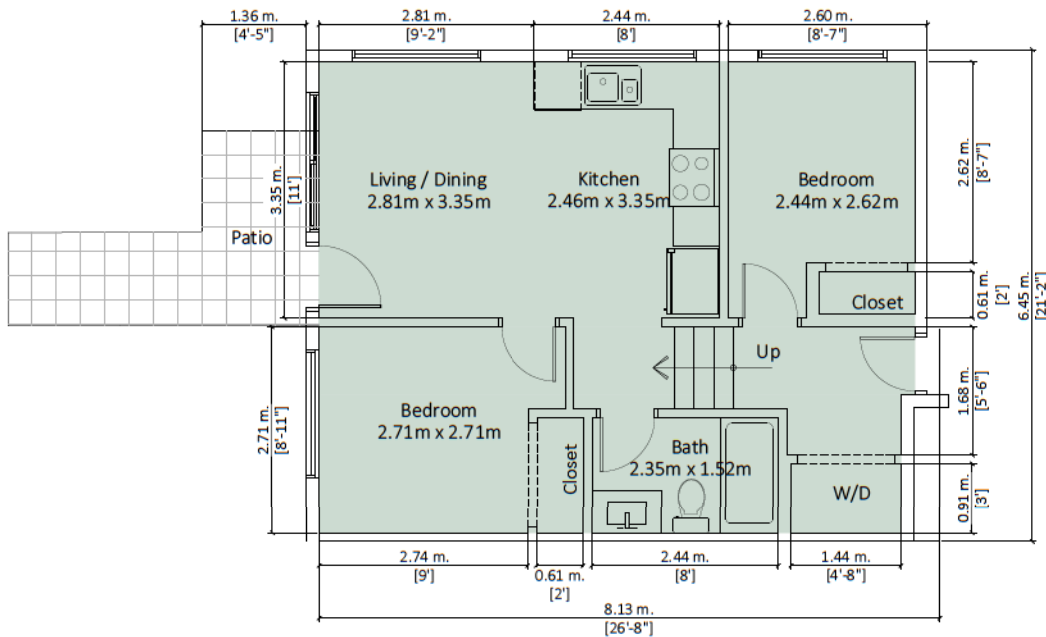
7921-0268-00(33)



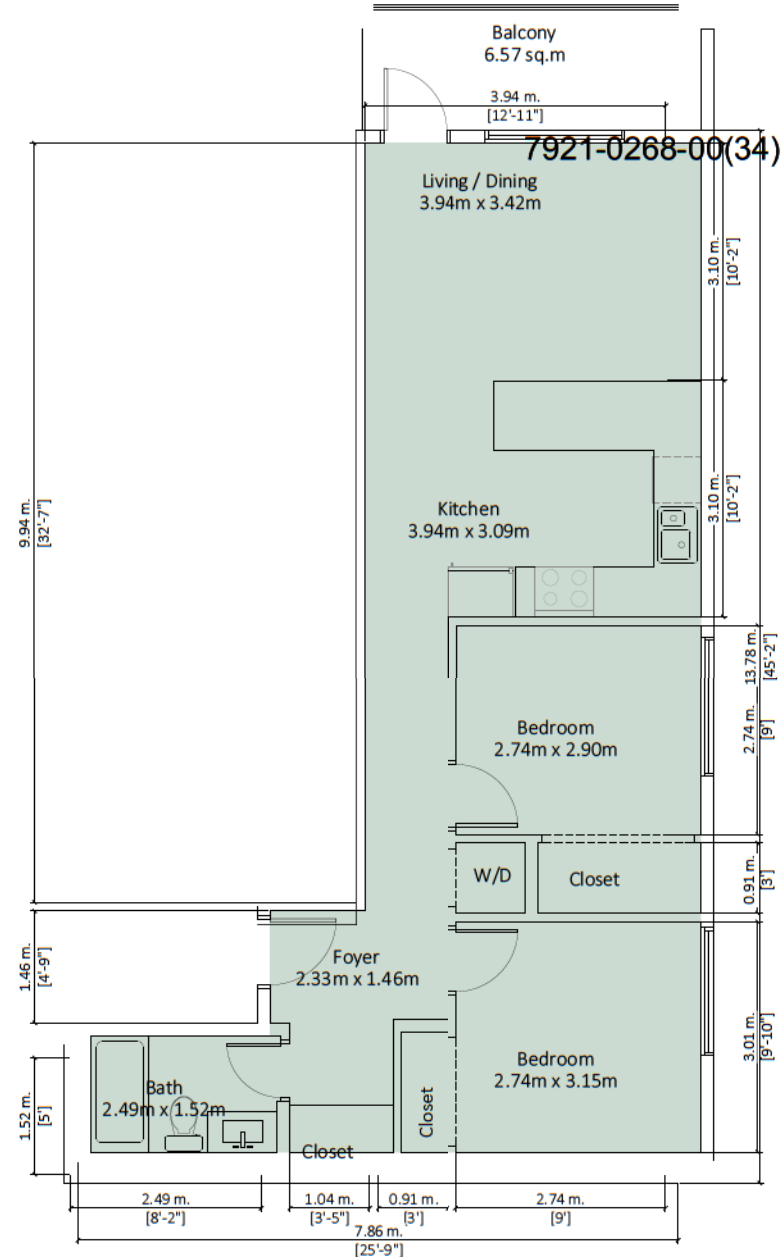
2 Unit Type B3 (1 Bed+Den)
3/16"=1'-0"
UNIT AREA : 534.92 SQ.FT. / 49.70 SQ.M.



1 Unit Type B4 (1 Bed+Den)
3/16"=1'-0"
UNIT AREA : 493.78 SQ.FT. / 45.87 SQ.M.

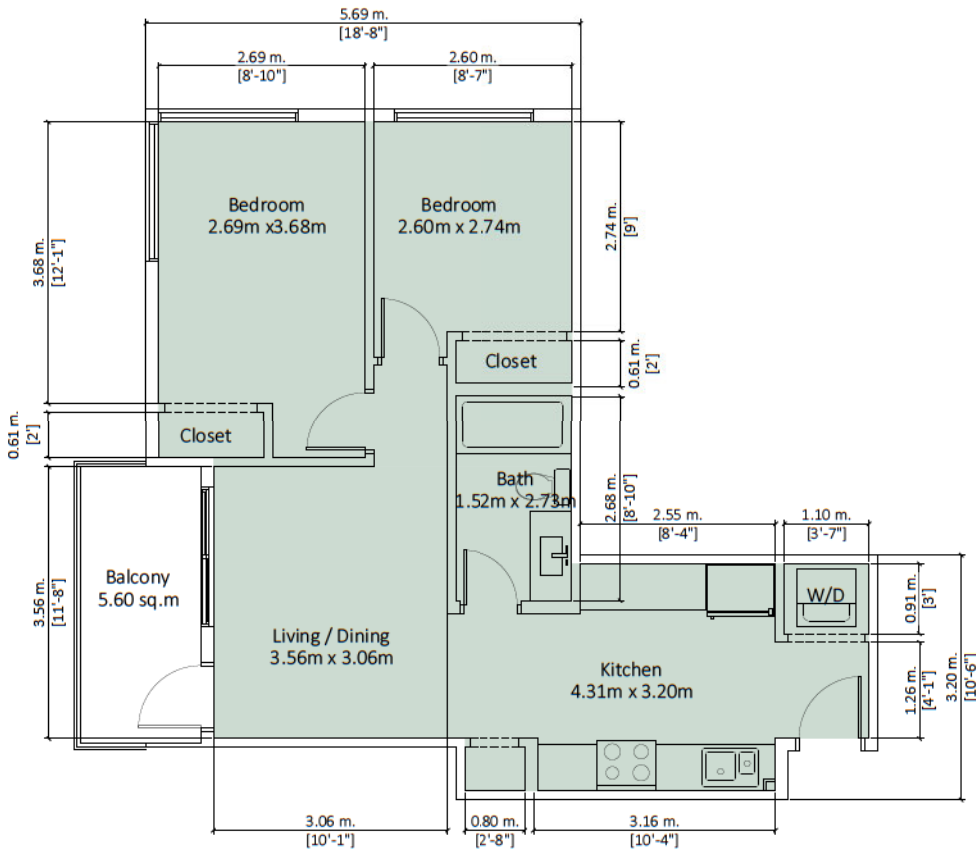


2 Unit Type C1 (2 Bed)
 3/16"=1'-0"
 UNIT AREA : 560.52SQ.FT. / 52.07 SQ.M.



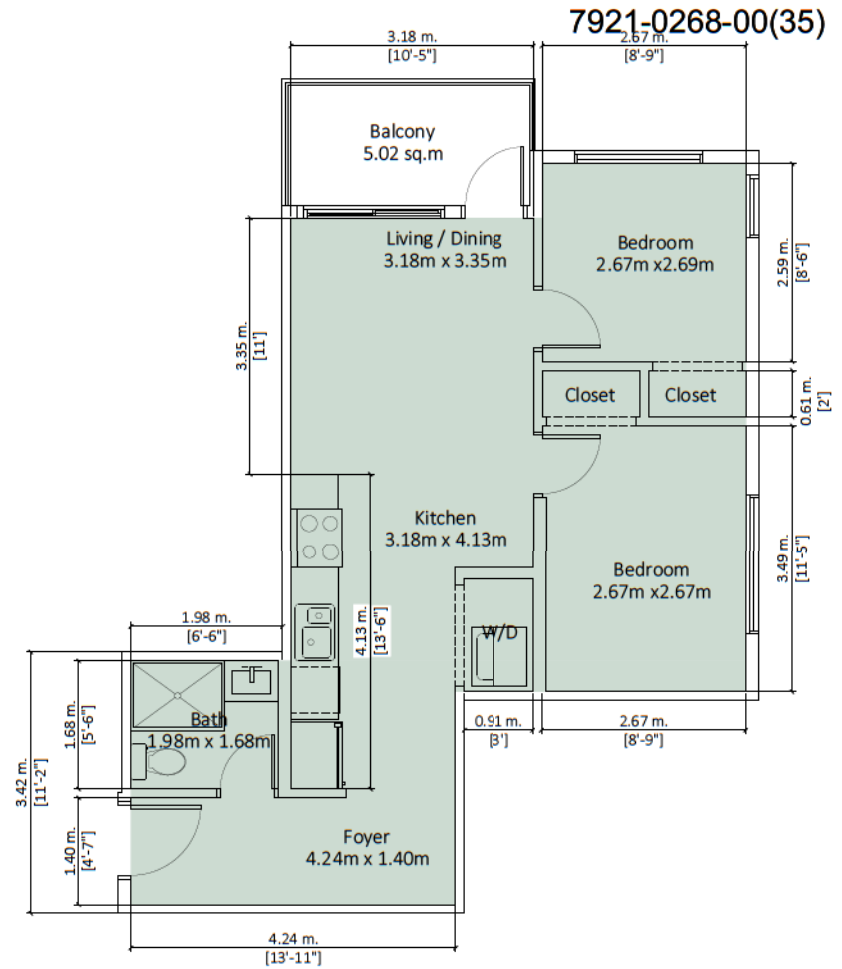
1 Unit Type C2 (2 Bed)
 3/16"=1'-0"
 UNIT AREA : 722.36 SQ.FT. / 67.11 SQ.M.

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2 Unit Type C3 (2 Bed)

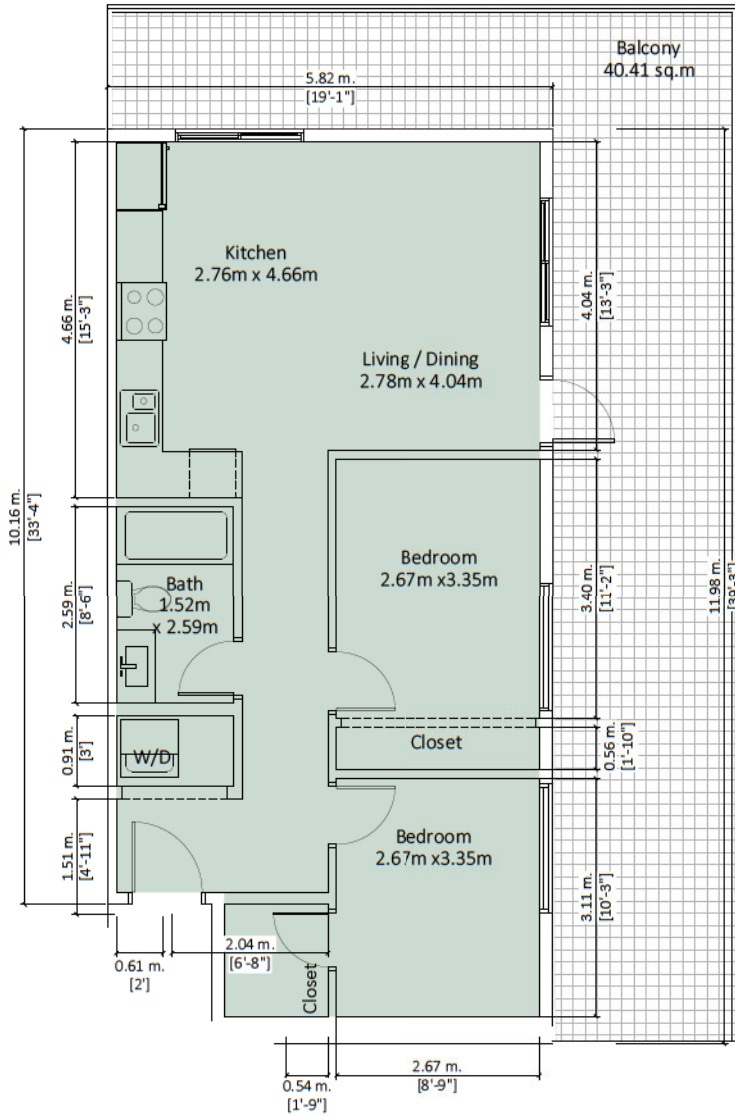
UNIT AREA : 621.56 SQ.FT. / 57.75 SQ.M.



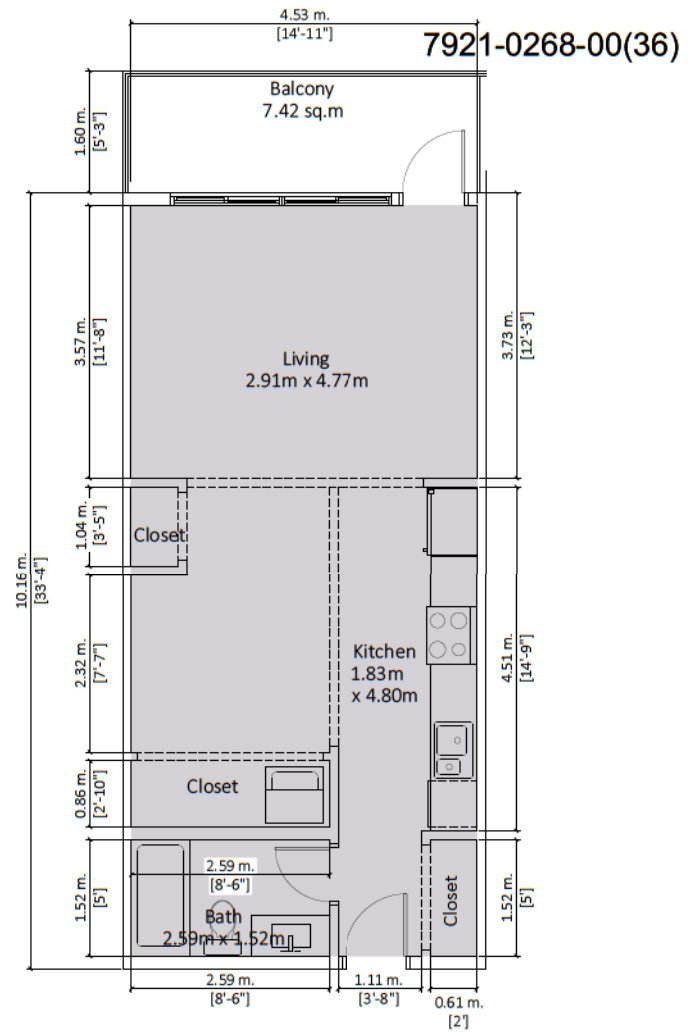
2 Unit Type C4 (2 Bed)

UNIT AREA : 607.54 SQ.FT. / 56.44 SQ.M.

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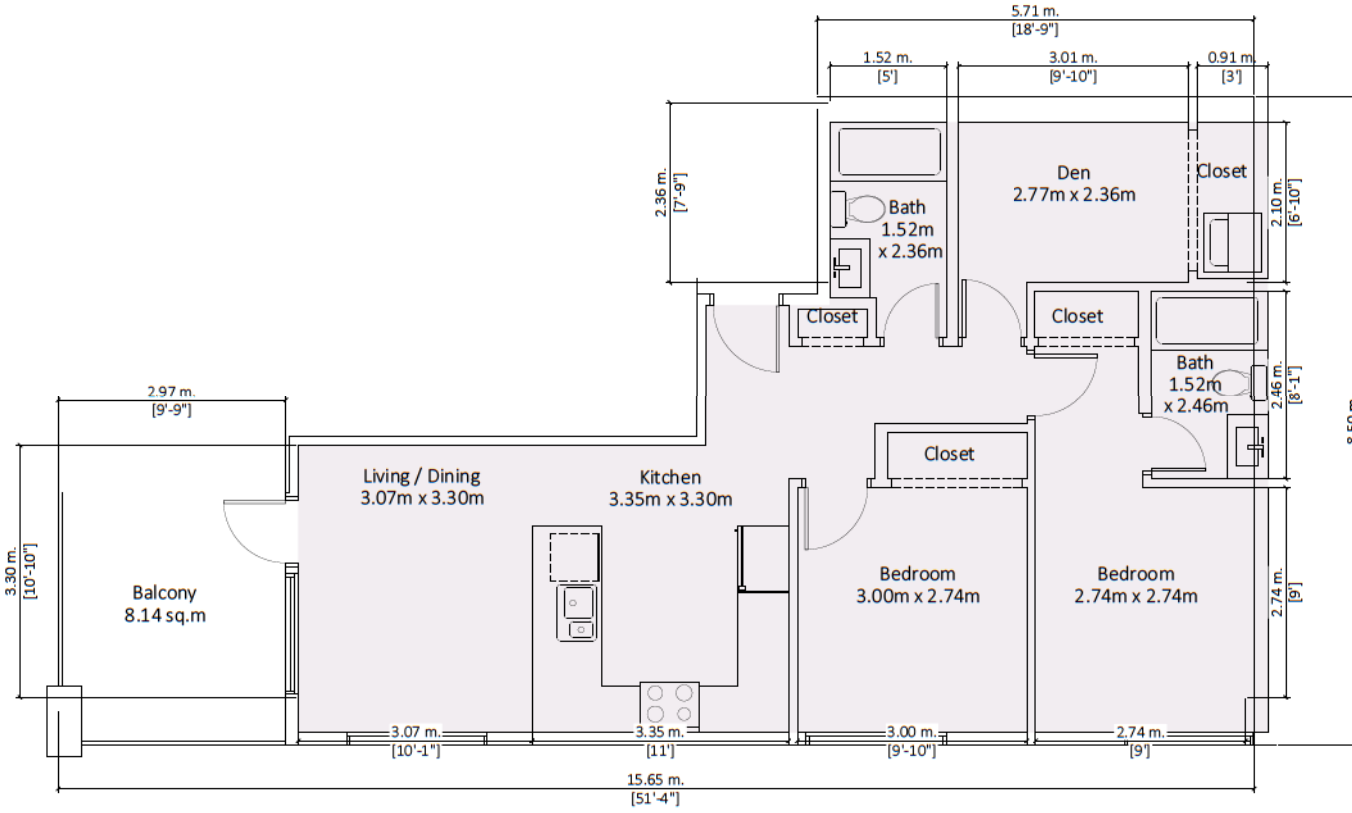


② Unit Type C5 (2 Bed)
 3/16"=1'-0"
 UNIT AREA : 721.34 SQ.FT. / 67.02 SQ.M.

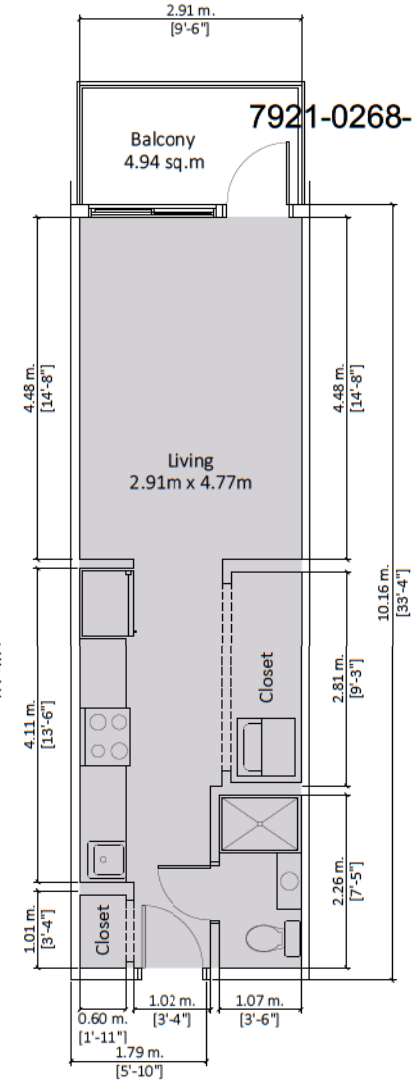


② Unit Type E2 (Studio)
 3/16"=1'-0"
 UNIT AREA : 535.82 SQ.FT. / 49.78 SQ.M.

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① Unit Type D1 (2 Bed+Den)
 3/16"=1'-0"
 UNIT AREA : 796.55 SQ.FT. / 74.00 SQ.M.



② Unit Type E1 (Studio)
 3/16"=1'-0"
 UNIT AREA : 352.92 SQ.FT. / 32.79 SQ.M.

7921-0268-00(37)



PROJECT INFO:
 13412, 13414, 13420 . 96 Ave
 Surrey BC
 CLIENT:

DATE:
 14-Mar-22
 PROJECT NO:

SCALE: DRAWN BY:
 3/16"=1'-0" VK

| REV | DESCRIPTION | DATE |
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UNIT PLANS

7921-0268-00(38)



1 North West View from 96 Ave



Unit 209- 6321 King George Blvd
Surrey BC, V3X 1G1
www.flatiarchitecture.ca
contact@flatiarchitecture.ca
Ph: 604-503-4484



PROJECT INFO:
13412, 13414, 13420, 96 Ave
Surrey BC
CLIENT:

DATE
20 Oct 2022
PROJECT NO:

SCALE: DRAWN BY:
NTS VK

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VIEW

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7921-0268-00(39)



Unit 209- 6321 King George Blvd
Surrey BC, V3X 1G1
www.flatiarchitecture.ca
contact@flatiarchitecture.ca

Ph: 604-503-4484



PROJECT INFO:
13412, 13414, 13420 , 96 Ave
Surrey BC
CLIENT:

DATE
21 Oct 2022
PROJECT NO:

SCALE: DRAWN BY:
NTS VK

| REV | DESCRIPTION | DATE |
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VIEW

1 North East View from 96 Ave

A 6.2

7921-0268-00(40)



1 South West View from 134 St



PROJECT INFO:
13412, 13414, 13420, 96 Ave
Surrey BC
CLIENT:

DATE
21 Oct 2022
PROJECT NO:

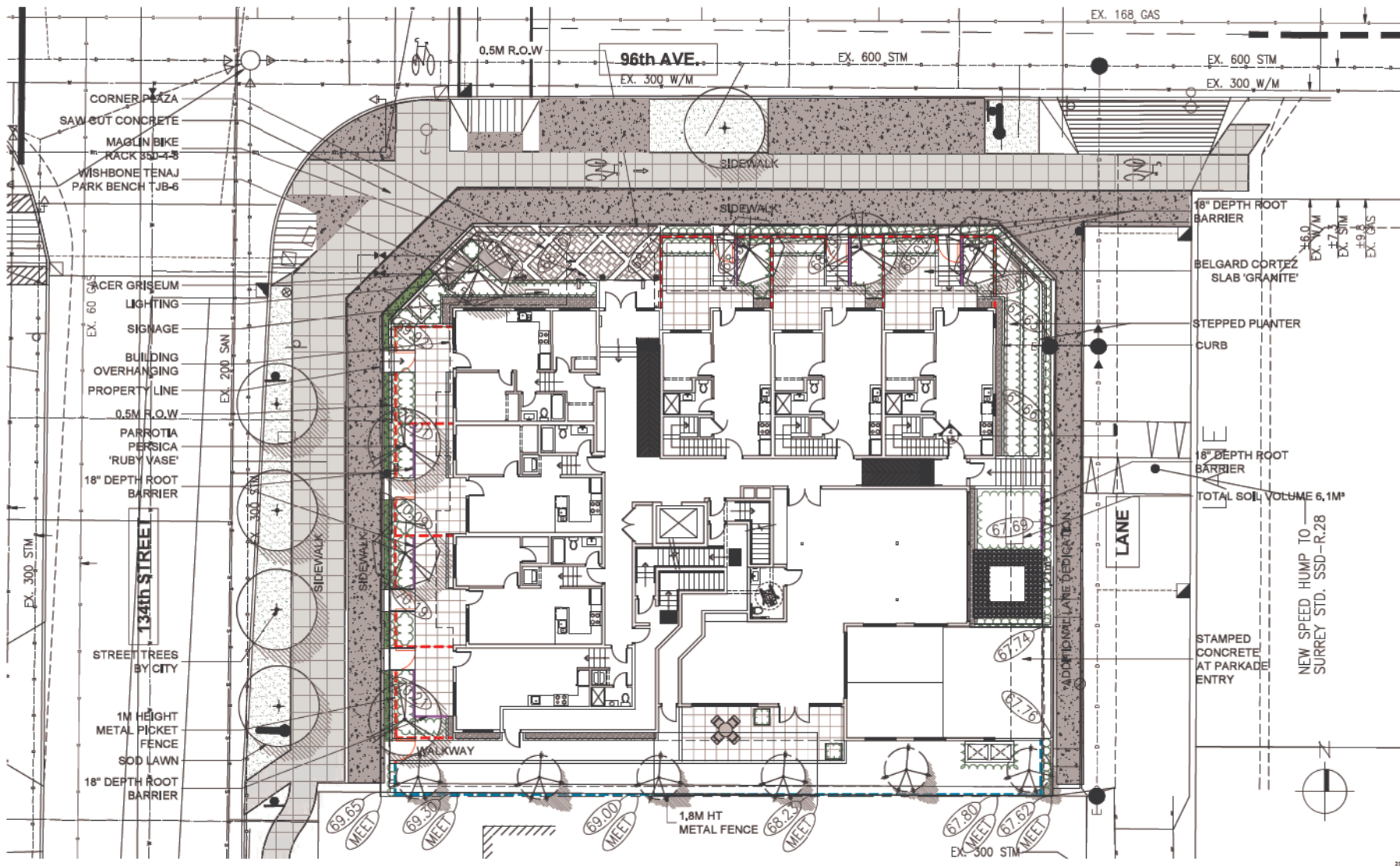
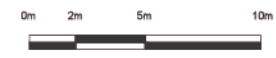
SCALE: NTS
DRAWN BY: VK

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VIEW

| TREE SCHEDULE | | PROJ. NO. | PROJ. NAME |
|---------------|--------------------------------------|--------------|-------------------|
| NO. | TREE SYMBOL | 7921-0268-00 | 13410 96th Avenue |
| 1 | ACER GRiseum | | |
| 2 | PARROTIA PERSICA 'RUBY VASE' | | |
| 3 | PRULIS PLENA 'VAN DERWOLF'S PYRAMID' | | |
| 4 | STREET TREES | | |

NOTE: PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARDS AND CANADIAN LANDSCAPE STANDARDS. LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER DATA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR DETAILED CONTAINER, MEDIA, FERTILIZER AND OTHER PLANT MATERIAL REQUIREMENTS. * DESIGN AND FURNISH SIZES PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND PRASER VALLEY. * SUBSTITUTIONS COSTS WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF 72 DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARDS AND CANADIAN LANDSCAPE STANDARDS. * DIMENSIONS OF CONTAINERS OF ANY VARIETY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARDS AND CANADIAN LANDSCAPE STANDARDS LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * PLANTS NOT PERMITTED IN GROWING MEDIA UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



Checked by: [Signature]
 Planning & Development [Signature]
 Date: July 16, 2024

| NO. | DATE | DESCRIPTION | BY |
|-----|----------|----------------------------------------|----|
| 1 | 24.02.24 | CITY COMMENTS | MM |
| 2 | 24.02.27 | REVISED FOR TENDER | EE |
| 3 | 24.03.27 | RF REVISIONS | EE |
| 4 | 24.04.26 | SOIL VOLUME REVISION | MM |
| 5 | 25.08.24 | RF REVISIONS | EE |
| 6 | 24.05.24 | REV. PER NEW SITE PLAN | EE |
| 7 | 24.05.24 | REV. PER NEW SITE PLAN | EE |
| 8 | 22.02.23 | REVISE PER CITY COMMENTS OF SUBMISSION | EE |
| 9 | 22.02.23 | REVISE PER CITY COMMENTS OF SUBMISSION | EE |
| 10 | 22.02.23 | NEW SITE PLAN | MM |
| 11 | 22.02.23 | NEW SITE PLAN | MM |
| 12 | 22.02.23 | REVISE PER NEW SITE PLAN | EE |
| 13 | 22.02.23 | REVISE PER NEW SITE PLAN | EE |
| 14 | 23.04.24 | RF REVISIONS | EE |
| 15 | 23.04.24 | NEW SITE PLAN | MM |

CUSTOMER: [Blank]

PROJECT: **RESIDENTIAL DEVELOPMENT**

13410 96th AVENUE
SURREY, B.C.

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 23 JUNE 24 DRAWING NUMBER:
 SCALE: 1:500
 DRAWN: MM
 DESIGN: MM
 CHECKED: [Blank]

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| PLANT SCHEDULE | | | | PNO PROJECT NUMBER: 21-113 |
|----------------|-----|----------------------------------|-------------------------------|----------------------------|
| SYM | QTY | BOTANICAL NAME | COMMON NAME | PLANTED SIZE / REMARKS |
| (1) | 18 | AZALEA JAPONICA FURREA SPLENDENS | AZALEA RED-HOYT | #2 POT, 8CM |
| (2) | 18 | BUXUS MICROPHYLLA WINTER GEM | LITTLE LEAF BOX | #2 POT, 8CM |
| (3) | 3 | HYDRANGEA ACROPHYLLA 'NOVOCOLOR' | BIGLEAF HYDRANGEA (BLUE) | #2 POT, 8CM |
| (4) | 18 | HYDRANGEA AGARDII 'POLA' | OWLEAF HYDRANGEA | #2 POT, 8CM |
| (5) | 20 | KALAMA LATEFOLIA 'SUN' | CHERRY MOON ANI LUREL | #2 POT, 8CM |
| (6) | 180 | PAONIA CORONATA 'FABRICEA DWARF' | DWARF PEONARY (PINK) | #2 POT, 8CM |
| (7) | 24 | SKIMMIA JAPONICA 'OPUS MALE' | JAPANESE SKIMMIA | 1.5M HIE |
| (8) | 24 | TAUSUG MEDA 'VALLEY' | WALL WREATH | #2 POT, 8CM |
| (9) | 24 | VIOLAFUMPT 'SUMMER SNOWFLAKE' | SUMMER SNOWFLAKE VIBURNUM | #2 POT, 8CM |
| (10) | 78 | CAREX OSMONDII 'EVERGOLD' | EVERGOLD JAPANESE SEDGE | #1 POT |
| (11) | 28 | BERIS SEMPERVIVENS 'SNOWFLAKE' | SNOWFLAKE EVERGREEN CANDYTUFF | #1 POT |

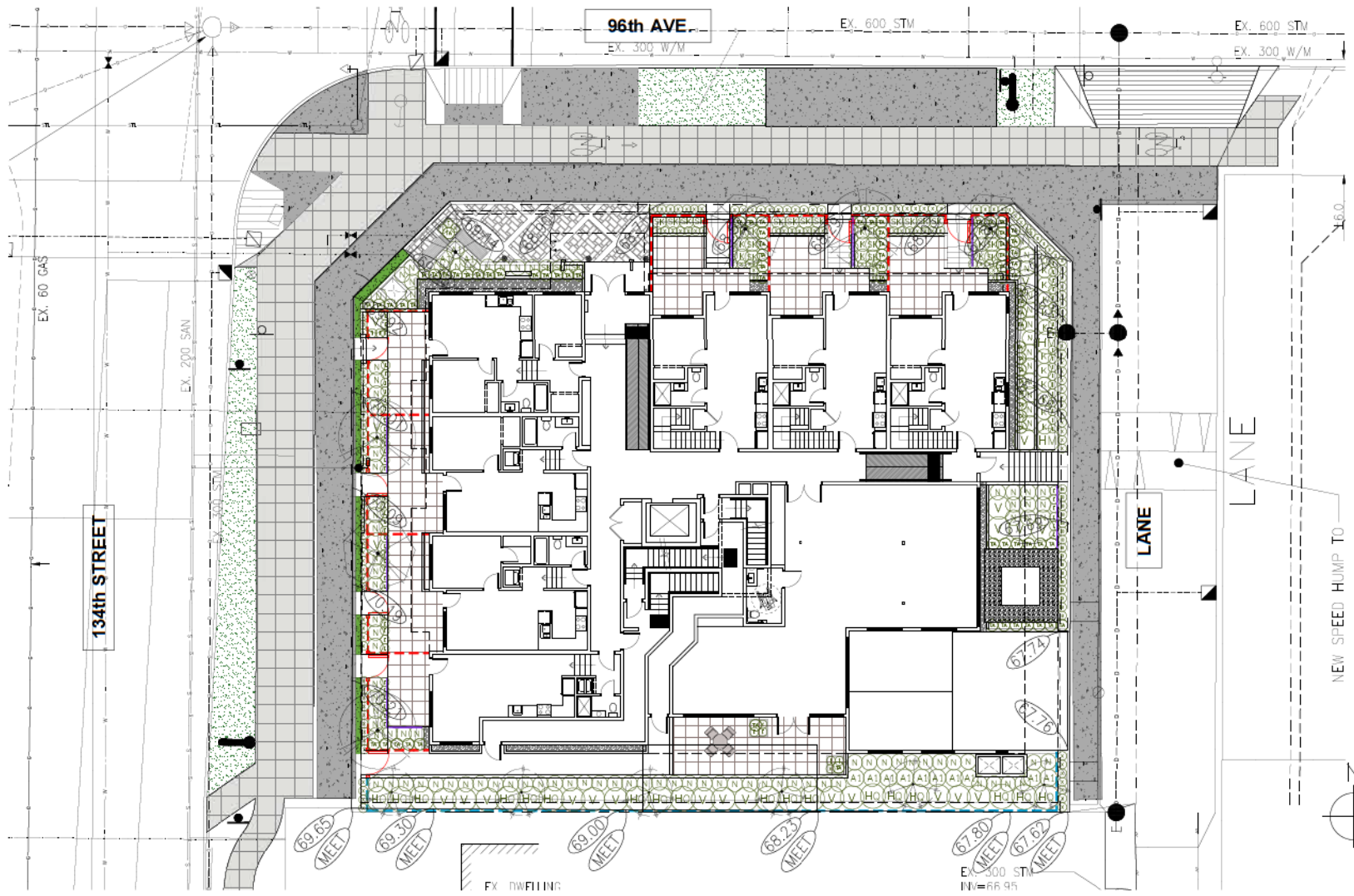
NOTES: *PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. COMMON SIZES SPECIFIED ARE FOR CANS AND BARS. BOTH PLANT SIZES AND COMMON SIZES ARE THE MINIMUM ACCEPTABLE SIZES. **REFER TO SPECIFICATIONS FOR DEFINED COMMON INDUSTRY AND OTHER PLANT MATERIAL REQUIREMENTS. *SEARCH AND REVIEW THE PLANT MATERIAL AVAILABLE FOR OPTIMAL PERFORM BY LANDSCAPE ARCHITECT AT SOURCE OF PURCHASE. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. *SUBSTITUTIONS OTHER THAN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL UNAPPROVED. SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR PROJECT TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BE LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. COPIES OF STANDARD FORMS OF AVAILABILITY. *ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. *ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED ORIGIN FREE PLANTING. **NO SACHS NOT PERMITTED IN GROUND MEDIA UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

7921-0268-004



Suite C100 - 4185 98th Creek Drive
Burnaby, British Columbia, V5C 6S9
p: 604-294-0011 | f: 604-294-0022

SCALE:



| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|-----------|-------------------------|-----|
| 1 | 24 JUN 23 | REV: CITY COMMENTS | MM |
| 2 | 26 JUN 23 | REV: FOR TENDER | MM |
| 3 | 26 JUN 23 | REV: FOR BID/ISSUE | MM |
| 4 | 26 JUN 23 | REV: FOR VALUE REVISION | MM |
| 5 | 28 JUN 23 | REV: FOR BID/ISSUE | MM |
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| 19 | 28 JUN 23 | REV: FOR BID/ISSUE | MM |
| 20 | 28 JUN 23 | REV: FOR VALUE REVISION | MM |

CLIENT:

PROJECT:

RESIDENTIAL DEVELOPMENT

13410 96th AVENUE
SURREY, B.C.

DRAWING TITLE:

LANDSCAPE SHRUB PLAN

DATE: 24 JUN 23 DRAWING NUMBER:

SCALE: 1:300

DRAWN: MM

DESIGN: MM

CHK'D:

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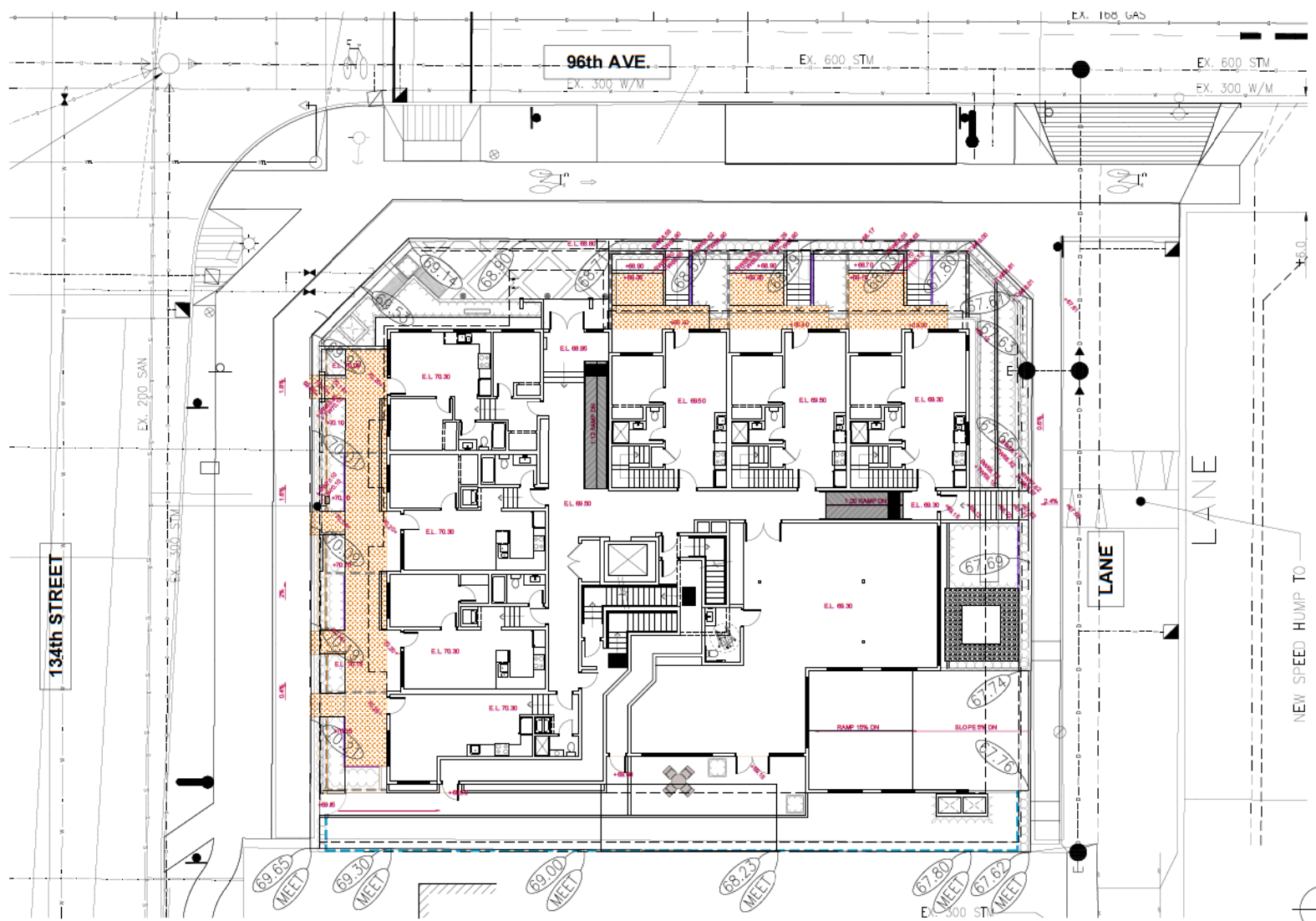
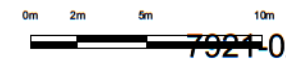
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Suite C100 - 4185 98th Street
Burnaby, British Columbia, V5C 6S9
p: 604 294-0061 f: 604 294-0022

SCALE:



| NO. | DATE | REVISION DESCRIPTION | DR. |
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CLIENT:

PROJECT:

RESIDENTIAL DEVELOPMENT
13410 96th AVENUE
SURREY, B.C.

DRAWING TITLE:
GRADING PLAN

DATE: 21.JUNE.20
SCALE: 1:50
DRAWN: MM
DESIGN: MM
CHK'D: MCY

L3
OF 8

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7021-0268-0044

pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 96th Street
Burnaby, British Columbia, V5C 6G9
p: 604-294-0061 | f: 604-294-0022

SEAL:

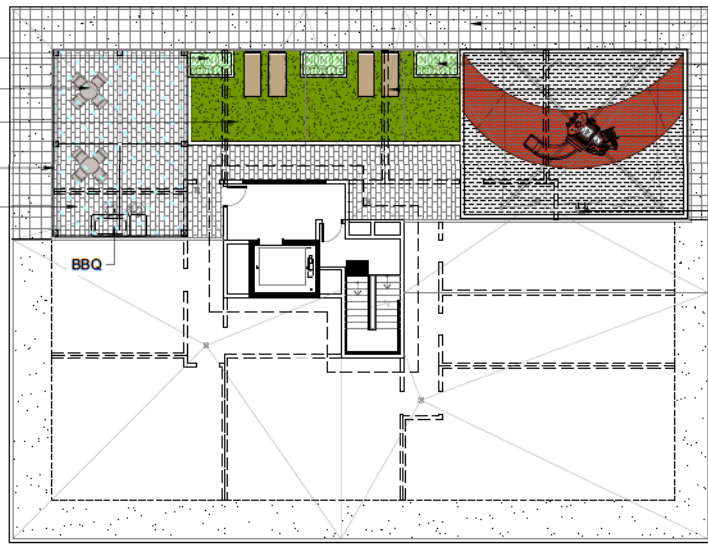


| ROOF PLANT SCHEDULE | | | | | PMG PROJECT NUMBER: 21419 |
|---------------------|-----------------------------------|-----------------------|------------------------|--|---------------------------|
| QTY | BOTANICAL NAME | COMMON NAME | PLANTED SIZE / REMARKS | | |
| 15 | NANDINA DOMESTICA 'HARBOUR OWENS' | DWARF HEAVENLY BAMBOO | #3 POT, 50CM | | |
| 25 | RUBUS SPECTABILIS | SALMONBERRY | #1 POT, 30CM | | |

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLY STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MARKS PLANT MATERIAL, AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTION TO THE SPECIFICATION. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF TWO DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * SOILS SHOULD NOT BE FIRMED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



PLANTER POT
MAGLIN FORO TABLE AND CHAIRS
ARTIFICIAL TURF
COVERED TRELLIS
BARKMAN BROADWAY PAVERS



BELGARD CORTEZ SLAB 'GRANITE'
PLANTER POT
MAGLIN CHAISE LOUNGE CHAIRS
JAMBETTE PLAY STRUCTURE IN POURED IN PLACE RESILIENT PLAY SURFACING
LANDSCAPE STRUCTURES CANTILEVER SINGLE POST PYRAMID SHADE

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| 88 | 21.06.21 | REVISED COMMENTS | MM |
| 89 | 21.06.21 | REVISED COMMENTS | MM |
| 90 | 21.06.21 | REVISED COMMENTS | MM |
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| 95 | 21.06.21 | REVISED COMMENTS | MM |
| 96 | 21.06.21 | REVISED COMMENTS | MM |
| 97 | 21.06.21 | REVISED COMMENTS | MM |
| 98 | 21.06.21 | REVISED COMMENTS | MM |
| 99 | 21.06.21 | REVISED COMMENTS | MM |
| 100 | 21.06.21 | REVISED COMMENTS | MM |

CLIENT:

PROJECT:
RESIDENTIAL DEVELOPMENT
13410 96th AVENUE
SURREY, B.C.

DRAWING TITLE:
ROOF DECK LANDSCAPE PLAN

DATE: 21.JUNE.21 DRAWING NUMBER:
SCALE: 1:500
DRAWN: MM
DESIGN: MM
CHK'D: MM

L4
OF 8



| TREE SCHEDULE | | | PROJECT NUMBER: 21419 | |
|---------------|-----|--------------------------------|-----------------------|------------------------|
| NO. | QTY | BOTANICAL NAME | COMMON NAME | PLANTED REE/STANDARD |
| 1 | 3 | ACER GREGGII | PAPERBARK MAPLE | 60M CAL. 1.8M STD. 60B |
| 2 | 4 | PANICOLA PERSICA TRISTE VARIET | RUSSIAN MAIE | 60M CAL. 1.8M STD. 60B |
| 3 | 4 | FRAX EXCELSA | WAX MAIE | 60M CAL. 1.8M STD. 60B |
| 4 | 4 | QUERCUS PRINCEPIS | PRINCE OF WALES MAIE | 60M CAL. 1.8M STD. 60B |
| 5 | 4 | QUERCUS PRINCEPIS | PRINCE OF WALES MAIE | 60M CAL. 1.8M STD. 60B |
| 6 | 4 | QUERCUS PRINCEPIS | PRINCE OF WALES MAIE | 60M CAL. 1.8M STD. 60B |
| 7 | 4 | QUERCUS PRINCEPIS | PRINCE OF WALES MAIE | 60M CAL. 1.8M STD. 60B |
| 8 | 4 | QUERCUS PRINCEPIS | PRINCE OF WALES MAIE | 60M CAL. 1.8M STD. 60B |
| 9 | 4 | QUERCUS PRINCEPIS | PRINCE OF WALES MAIE | 60M CAL. 1.8M STD. 60B |
| 10 | 4 | QUERCUS PRINCEPIS | PRINCE OF WALES MAIE | 60M CAL. 1.8M STD. 60B |
| 11 | 4 | QUERCUS PRINCEPIS | PRINCE OF WALES MAIE | 60M CAL. 1.8M STD. 60B |
| 12 | 4 | QUERCUS PRINCEPIS | PRINCE OF WALES MAIE | 60M CAL. 1.8M STD. 60B |
| 13 | 4 | QUERCUS PRINCEPIS | PRINCE OF WALES MAIE | 60M CAL. 1.8M STD. 60B |
| 14 | 4 | QUERCUS PRINCEPIS | PRINCE OF WALES MAIE | 60M CAL. 1.8M STD. 60B |
| 15 | 4 | QUERCUS PRINCEPIS | PRINCE OF WALES MAIE | 60M CAL. 1.8M STD. 60B |
| 16 | 4 | QUERCUS PRINCEPIS | PRINCE OF WALES MAIE | 60M CAL. 1.8M STD. 60B |
| 17 | 4 | QUERCUS PRINCEPIS | PRINCE OF WALES MAIE | 60M CAL. 1.8M STD. 60B |
| 18 | 4 | QUERCUS PRINCEPIS | PRINCE OF WALES MAIE | 60M CAL. 1.8M STD. 60B |
| 19 | 4 | QUERCUS PRINCEPIS | PRINCE OF WALES MAIE | 60M CAL. 1.8M STD. 60B |
| 20 | 4 | QUERCUS PRINCEPIS | PRINCE OF WALES MAIE | 60M CAL. 1.8M STD. 60B |

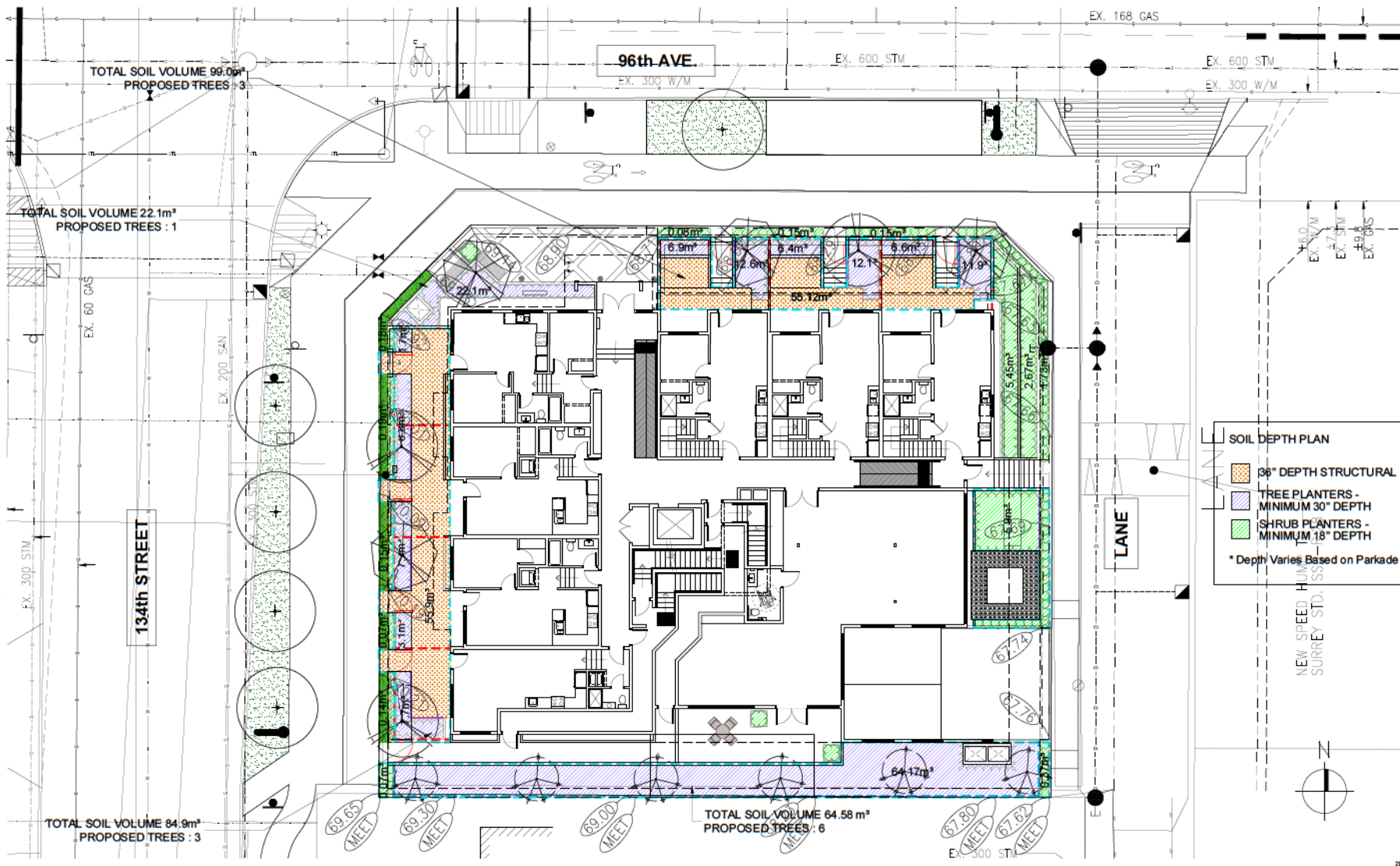
NOTES: 1. PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. LA TEST SECTION, CONTAINER SIZE SPECIFIED AS PER CMA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DETAILED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. 2. SPECIES AND COMMON NAMES PLANT MATERIAL SHALL BE OBTAINED FROM A REPUTABLE LANDSCAPE ARCHITECT'S SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND PRINCE GEORGE VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY SUBSTITUTION TO THE SPECIFICATION. ONLY APPROVED SUBSTITUTIONS WILL BE ACCEPTED. 3. A MINIMUM OF 10% OF TREES FROM THE SPECIFICATION FOR REQUEST TO SUBMIT. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. 4. IDENTIFICATION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND MATERIALS MUST BE OBTAINED FROM A REPUTABLE LANDSCAPE ARCHITECT'S SOURCE OF SUPPLY. 5. IDENTIFICATION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND MATERIALS MUST BE OBTAINED FROM A REPUTABLE LANDSCAPE ARCHITECT'S SOURCE OF SUPPLY. 6. IDENTIFICATION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND MATERIALS MUST BE OBTAINED FROM A REPUTABLE LANDSCAPE ARCHITECT'S SOURCE OF SUPPLY. 7. IDENTIFICATION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND MATERIALS MUST BE OBTAINED FROM A REPUTABLE LANDSCAPE ARCHITECT'S SOURCE OF SUPPLY. 8. IDENTIFICATION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND MATERIALS MUST BE OBTAINED FROM A REPUTABLE LANDSCAPE ARCHITECT'S SOURCE OF SUPPLY. 9. IDENTIFICATION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND MATERIALS MUST BE OBTAINED FROM A REPUTABLE LANDSCAPE ARCHITECT'S SOURCE OF SUPPLY. 10. IDENTIFICATION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND MATERIALS MUST BE OBTAINED FROM A REPUTABLE LANDSCAPE ARCHITECT'S SOURCE OF SUPPLY. 11. IDENTIFICATION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND MATERIALS MUST BE OBTAINED FROM A REPUTABLE LANDSCAPE ARCHITECT'S SOURCE OF SUPPLY. 12. IDENTIFICATION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND MATERIALS MUST BE OBTAINED FROM A REPUTABLE LANDSCAPE ARCHITECT'S SOURCE OF SUPPLY. 13. IDENTIFICATION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND MATERIALS MUST BE OBTAINED FROM A REPUTABLE LANDSCAPE ARCHITECT'S SOURCE OF SUPPLY. 14. IDENTIFICATION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND MATERIALS MUST BE OBTAINED FROM A REPUTABLE LANDSCAPE ARCHITECT'S SOURCE OF SUPPLY. 15. IDENTIFICATION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND MATERIALS MUST BE OBTAINED FROM A REPUTABLE LANDSCAPE ARCHITECT'S SOURCE OF SUPPLY. 16. IDENTIFICATION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND MATERIALS MUST BE OBTAINED FROM A REPUTABLE LANDSCAPE ARCHITECT'S SOURCE OF SUPPLY. 17. IDENTIFICATION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND MATERIALS MUST BE OBTAINED FROM A REPUTABLE LANDSCAPE ARCHITECT'S SOURCE OF SUPPLY. 18. IDENTIFICATION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND MATERIALS MUST BE OBTAINED FROM A REPUTABLE LANDSCAPE ARCHITECT'S SOURCE OF SUPPLY. 19. IDENTIFICATION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND MATERIALS MUST BE OBTAINED FROM A REPUTABLE LANDSCAPE ARCHITECT'S SOURCE OF SUPPLY. 20. IDENTIFICATION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND MATERIALS MUST BE OBTAINED FROM A REPUTABLE LANDSCAPE ARCHITECT'S SOURCE OF SUPPLY.

4 REPLACEMENT TREES REQUIRED

7921-0268-004



Suite C100 - 4185 96th Street Drive
Burnaby, British Columbia, V5C 6G9
p: 604-294-0061 | f: 604-294-0022



SOIL DEPTH PLAN

- 36" DEPTH STRUCTURAL SOIL
- TREE PLANTERS - MINIMUM 30" DEPTH
- SHRUB PLANTERS - MINIMUM 18" DEPTH

* Depth Varies Based on Parkade Slab



| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|----------|----------------------|-----|
| 1 | 21.04.23 | REV FOR COMMENTS | MM |
| 2 | 21.04.23 | REV FOR TREE | MM |
| 3 | 21.04.23 | REV FOR TREE | MM |
| 4 | 21.04.23 | REV FOR TREE | MM |
| 5 | 21.04.23 | REV FOR TREE | MM |
| 6 | 21.04.23 | REV FOR TREE | MM |
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| 18 | 21.04.23 | REV FOR TREE | MM |
| 19 | 21.04.23 | REV FOR TREE | MM |
| 20 | 21.04.23 | REV FOR TREE | MM |

CLIENT:

PROJECT:

RESIDENTIAL DEVELOPMENT

13410 96th AVENUE
SURREY, B.C.

DRAWING TITLE:

SOIL VOLUME PLAN

DATE: 21.04.23 DRAWING NUMBER: **L5**

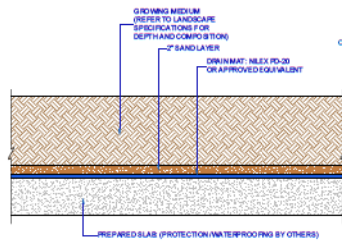
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DRAWN: MM

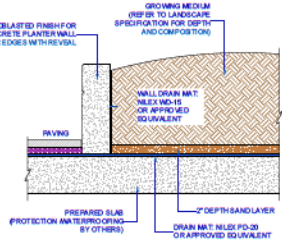
DESIGN: MM

CHK'D: MM

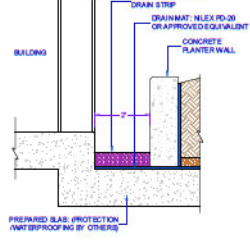
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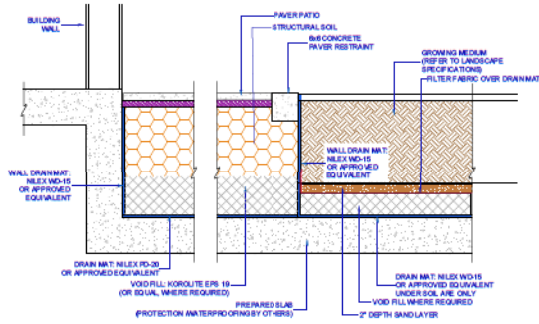
1 PLANTING ON SLAB
1/2" x 1/4"



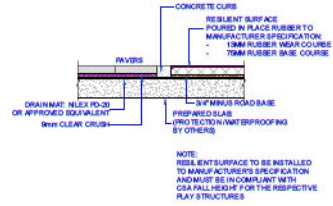
2 PLANTER WALL ON SLAB
1/2" x 1/4"



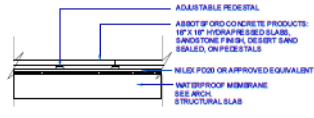
3 DRAIN ROCK STRIP AT BUILDING ON SLAB
1/2" x 1/4"



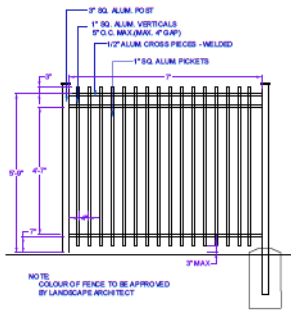
4 PATIO/LANDSCAPE AT SLAB DROP
1/2" x 1/4"



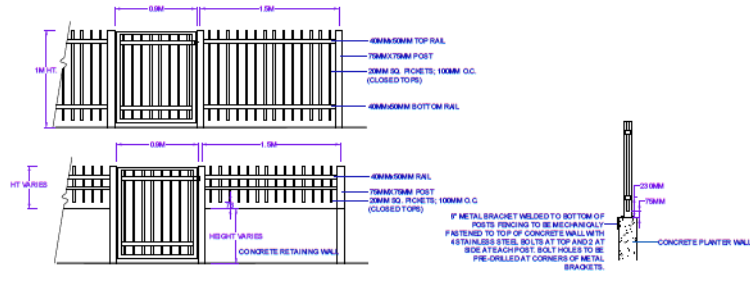
5 POURED PLAY SURFACE EDGE
1/2" x 1/4"



6 HYDRAPRESSED SLABS OVER PEDESTALS
SCALE: 1/2" x 1/4"



7 6' HT. METAL PICKET FENCE
1/2" x 1/4"



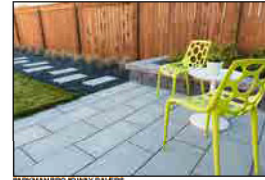
8 1m HEIGHT FENCE AND GATE DETAIL
1/2" x 1/4"



VISIONAL TERRACE PARK BENCH 1256



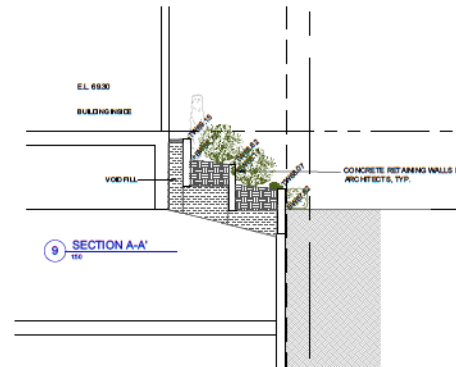
TABLE TABLE



BARMAN BROADWAY PAVERS



WAGLIN BIKE RACK



9 SECTION A-A'
1/2"

7921-0268-0046

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Suite C100 - 4185 96th Street Drive
Burnaby, British Columbia, V5C 6G9
p: 604-294-0061 | f: 604-294-0022

SEAL:



| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|----------|----------------------|-----|
| 1 | 14.04.15 | DTY COMMENTS | MM |
| 2 | 26.04.17 | REVISED FOR TENDER | PM |
| 3 | 28.04.17 | RFI FROM BARMAN | PM |
| 4 | 28.04.17 | 5th VISUAL REVISION | AD |
| 5 | 28.04.17 | RFI FROM BARMAN | PM |
| 6 | 19.08.17 | REV. FROM WETLAN | PM |
| 7 | 19.08.17 | REV. FROM WETLAN | PM |
| 8 | 19.08.17 | REV. FROM WETLAN | PM |
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| 50 | 19.08.17 | REV. FROM WETLAN | PM |

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:
RESIDENTIAL DEVELOPMENT
13410 96th AVENUE
SURREY, B.C.

DRAWING TITLE:
LANDSCAPE DETAILS

DATE: 21.JUNE.20 DRAWING NUMBER:
SCALE: AS SHOWN **L6**
DRAWN: MM
DESIGN: MM
CHK'D: OF 8



Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia V5C 5G5
Tel: 604 291-3111 | Fax: 604 294-0022

SCALE:



PART ONE GENERAL REQUIREMENTS

1.0 REFERENCES
 1.1 CIDC 08-2008
 Comply with all articles in the General Conditions of Contract in conjunction with this section unless superseded or other Contract Documents.
 1.2 Canadian Landscape Standard, latest edition, prepared by the Canadian Society of Landscape Architects and the Canadian Landscape & Nursery Association, jointly. All work shall conform with all articles set out in the Canadian Landscape Standard unless superseded by this specification or as directed by the Landscape Architect with written instructions.
 1.3 PROFESSIONAL OPERATIONS & STANDARD DETAILS, 2008 edition, prepared by the Consulting Engineers of British Columbia, Association of Engineers and Professional Engineers and the Professional Engineers.
 1.4 STANDARDS FOR LANDSCAPE IRRIGATION SYSTEMS, 2008, Proposed by the Irrigation Industry Association of British Columbia.
 1.5 MUNICIPAL PLANS AND ENGINEERING OPERATIONS WERE NOTED.

1.10 TESTING
 1.1 All work shall be done in accordance with the approved drawings for this work and shall be subject to inspection by an independent testing facility.
 1.2 The Contractor shall provide all testing materials and pay for testing materials and pay for testing materials and pay for testing materials.
 1.3 All testing shall be done in accordance with the approved drawings for this work and shall be subject to inspection by an independent testing facility.
 1.4 The Contractor shall provide all testing materials and pay for testing materials and pay for testing materials.

1.11 SUBJECT MATTER
 1.1 All work shall be done in accordance with the approved drawings for this work and shall be subject to inspection by an independent testing facility.
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1.12 SITE REVIEW
 1.1 The Contractor shall attend the site for a site visit prior to the start of the work. The site visit shall be attended by the Contractor, the Landscape Architect and the Owner. The site visit shall be held at a mutually convenient time and shall be held at the site of the work. The Contractor shall provide all testing materials and pay for testing materials and pay for testing materials.

1.13 MATERIALS
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PART TWO SCOPE OF WORK

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PART THREE SOFT LANDSCAPE DEVELOPMENT

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PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

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PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

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PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

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PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

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794110268-00

PROJECT: RESIDENTIAL DEVELOPMENT

13491, 9th AVENUE SURREY, B.C.

DRAWING TITLE: LANDSCAPE SPECIFICATION

DATE: 21.JUNE.28 DRAWING NUMBER: SCALE: AS SHOWN DRAWN: MM DESIGNED: MM CHECKED: MM

L7

PAGS PROJECT NUMBER: 21119.1.2/29

