

NO: **L001**

COUNCIL DATE: **January 9, 2012**

REGULAR COUNCIL – LAND USE

TO: **Mayor & Council**

DATE: **January 9, 2012**

FROM: **General Manager, Planning and Development**

FILE: **7909-0116-00**

SUBJECT: **Amendments to Proposed Development Permit No. 7909-0116-00 -
Proposed Mixed-Use Development at 19240 – 64 Avenue and
19209 Fraser Highway**

RECOMMENDATION

The Planning and Development Department recommends that Council:

1. Receive this report as information;
2. Authorize staff to draft a Development Permit for Development Application No. 7909-0116-00, being a proposed mixed-use residential/commercial development at 19240 – 64 Avenue and 19209 Fraser Highway, based on the revised site layout and building design attached as Appendix I to this report; and
3. Instruct the City Clerk to forward a copy of this report and the related Council resolution to the applicant.

INTENT

The purpose of this report is to advise Council of changes to the design of a proposed mixed-use commercial/residential development on a site in East Cloverdale (Appendix II). Each of the related Official Community Plan ("OCP") amendment by-law and rezoning by-law received third reading on January 24, 2010. The applicant has finalized the majority of the outstanding conditions and it is expected that final adoption of the by-laws and issuance of the Development Permit for the project could occur as part of the agenda for the Regular Council meetings scheduled for January 23, 2012.

BACKGROUND

At its Regular Council - Land Use meeting on January 10, 2010 Council considered a Planning Report for the subject development application for the site at 19240 – 64 Avenue and 19209 Fraser Highway (Application No. 7909-0116-00). The application involves:

- an OCP amendment from Urban to Commercial;
- a rezoning from Local Commercial Zone (C-4) to Comprehensive Development (CD) Zone (based on the Community Commercial Zone (C-8) and Multiple Residential 45 Zone (RM-45)); and
- a Development Permit to permit the redevelopment of these two existing properties with a mixed-use commercial/residential project.

The Public Hearing for the OCP amendment by-law (By-law No. 17112) and the rezoning by-law (By-law No. 17113) was held on January 24, 2010 with the subject By-laws receiving third reading on that same date.

DISCUSSION

Since the Public Hearing, the owners of the La Masia Restaurant have determined that they no longer want to be involved with the redevelopment of the site. As a result, the applicant has proposed a new layout for the site with the previously proposed single storey restaurant being replaced with a single-storey multi-tenant commercial building.

The revised site plan is quite similar to the original proposal. Site access is the same as originally proposed and the general form of the building is similar with access to the underground parking being provided by way of an internal driveway. The architectural design for the newly proposed multi-tenant commercial (southerly) building is consistent with the remainder of the development. No changes are proposed for the other two buildings that are part of the development proposal. The new southerly building will house four tenants instead of a single restaurant (La Masia). The patio space, which was previously provided along the east elevation, is now located along the building's southern facade, adjacent to Fraser Highway.

The proposed change also triggers changes to the underground parking layout, as the parking requirements for a commercial building are less than for a restaurant. A total of 155 parking spaces are proposed, which exceeds the parking requirements of Surrey Zoning By-law, 1993, No. 12000 by five spaces. The parking is comprised of 83 residential parking spaces in addition to 11 visitor spaces for the residential part of the development and 61 parking spaces for the commercial part of the development.

The new commercial building is slightly larger than the previously proposed restaurant building with a floor area of 552 square metres (5,937 square feet) in comparison to 463 square metres (4,982 square feet) that was proposed for the restaurant. The floor area ratio (FAR) for site has increased from 0.87 to 0.88; however, this is within the maximum FAR of 0.90 as contained in the rezoning (CD) By-law for the site. Lot coverage and building height have both decreased marginally. The building setbacks have increased or remained the same for all buildings. The landscaping on the site has been revised to address the changes to the site plan.

The following table documents the changes to the development:

	CD Zone (Bylaw No. 17113 at Third Reading)	Original Proposal	Revised Proposal
Setbacks	North Yard: 0 m [0 ft.]	0 m [0 ft.]	0 m [0 ft.]
	South Yard: 0 m [0 ft.]	0 m [0 ft.]	0 m [0 ft.]
	East Yard: 13 m [43ft.]	13.2 m [43 ft.]	14.2 m [47 ft.]
Floor Area Ratio (FAR)	0.90	0.87	0.88
Lot Coverage	50%	35 %	32 %
Building Height	16 m [53 ft.]	16 m [53 ft.]	15.37 m [50 ft.]

Whereas the previous design provided a staggered roofline, which allowed for glazing on the portion where the roofs met on the western façade, the current proposal has simplified the roof to provide a more conventional peaked roof. Similarly, the amount of glazing along the easterly façade has been reduced, as this area will now be the back of the retail space.

The building materials are similar to those that were originally proposed and primarily include tan-coloured hardie board panels with brown accents. Each building will be clad in metal roofing ("cordovan", a reddish brown colour). Silver metal panels are utilized below the roof to further emphasize this feature. Vinyl canopies (also in cordovan) are provided on the west elevation and over unit entries.

A series of painted concrete columns are also utilized along the west façade that allows the roof to overhang slightly and to help articulate the façade. This treatment is also provided on the southern façade over a portion of the patio space.

The revised plan for the site is consistent with the proposed CD Zone (By-law No. 17113) for the site that has been given third reading by Council. Legal Services has confirmed that the plans can be revised as proposed, without requiring a second Public Hearing.

The applicant has indicated that it is their intention to move forward with the development of the site upon final adoption of the related by-laws, issuance of the Development Permit and issuance of the related building permits.

CONCLUSION

Based on the above discussion, it is recommended that Council:

- Authorize staff to draft a Development Permit for Development Application No. 7909-0116-00, being a proposed mixed-use residential/commercial development at 19240 – 64 Avenue and 19209 Fraser Highway, based on the revised site layout and building design attached as Appendix I to this report; and

- Instruct the City Clerk to forward a copy of this report and the related Council resolution to the applicant.

Original signed by
Jean Lamontagne
General Manager
Planning and Development

SML/kms/saw

Attachments:

Appendix I. Revised Architectural and Landscape Drawings

Appendix II Map of Subject Site

7	DEC 16/17	REVISION 10 (PLOT COPIES)
8	NOV 21/17	REVISION 9 (CORRECTION ERRORS)
9	OCT 26/17	REVISION 8 (CORRECTION ERRORS)
10	OCT 26/17	REVISION 7 (CORRECTION ERRORS)
11	OCT 26/17	REVISION 6 (CORRECTION ERRORS)
12	OCT 26/17	REVISION 5 (CORRECTION ERRORS)
13	OCT 26/17	REVISION 4 (CORRECTION ERRORS)
14	OCT 26/17	REVISION 3 (CORRECTION ERRORS)
15	OCT 26/17	REVISION 2 (CORRECTION ERRORS)
16	OCT 26/17	REVISION 1 (CORRECTION ERRORS)

PROJECT NO:
**Lamasia Commercial/
 Residential Development**

REVISION NO:
COVER

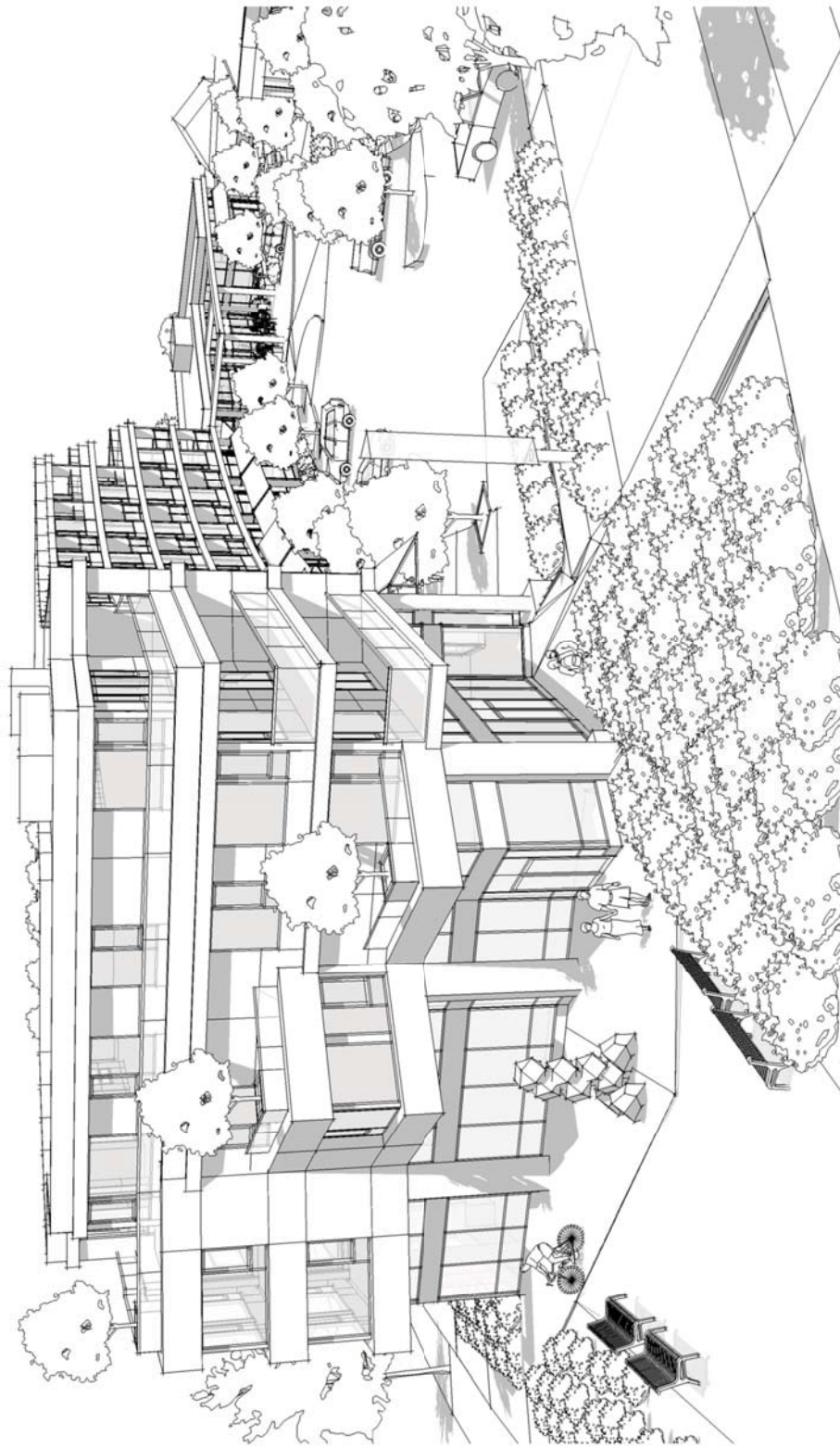
DRAWN BY:
 J. W.

CHECKED BY:
 J. W.

SCALE:
 AS SHOWN

DATE:
 2017

PROJECT NO:
 1505



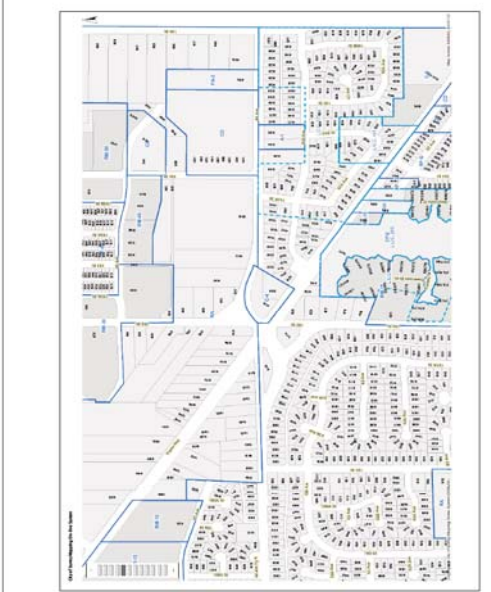
LAMASIA COMMERCIAL / RESIDENTIAL DEVELOPMENT
 FRASER HIGHWAY AND 64TH AVENUE, SURREY, B.C.

1	DEC 16/17	REVISION OF SITE PLAN
2	NOV 21/17	REVISION OF SITE PLAN
3	NOV 21/17	REVISION OF SITE PLAN
4	NOV 21/17	REVISION OF SITE PLAN
5	NOV 21/17	REVISION OF SITE PLAN
6	NOV 21/17	REVISION OF SITE PLAN
7	NOV 21/17	REVISION OF SITE PLAN
8	NOV 21/17	REVISION OF SITE PLAN
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13	NOV 21/17	REVISION OF SITE PLAN
14	NOV 21/17	REVISION OF SITE PLAN
15	NOV 21/17	REVISION OF SITE PLAN
16	NOV 21/17	REVISION OF SITE PLAN
17	NOV 21/17	REVISION OF SITE PLAN
18	NOV 21/17	REVISION OF SITE PLAN
19	NOV 21/17	REVISION OF SITE PLAN
20	NOV 21/17	REVISION OF SITE PLAN

Project No: **LaVista Commercial/ Residential Development**
 Drawing No: **STATISTICS PHOTOS & LOCATION PLANS**

Drawn by: **J. W.**
 Checked by: **J. W.**
 Date: **2017-11-28**
 Scale: **AS SHOWN**

AO.1



LOCATION PLAN



AERIAL PHOTO

DRAWING LIST:

- AG-0 - COVER SHEET
- AG-1 - STATISTICS PHOTOS, LOCATION PLAN
- AG-2 - SITE PLAN
- AG-3 - SURFACE DRAINAGE
- AG-4 - PRECEDENT PHOTOS
- AG-5 - LEGAL PLANS
- AG-6 - VISUAL ANALYSIS
- AG-7 - SHADOW DIAGRAMS
- AG-8 - VISUAL ANALYSIS OF AUTO ROUTE...
- AG-9 - SUNSET
- AG-10 - LEVEL 1, SECTION DETAILS OF PARKADE
- AG-11 - LEVEL 1 (FUTURE LANE)
- AG-12 - LEVEL 1
- AG-13 - LEVEL 2
- AG-14 - LEVEL 3
- AG-15 - LEVEL 4
- AG-16 - LEVEL 5
- AG-17 - ROOF LEVEL
- AG-18 - N.E.S ELEVATIONS
- AG-19 - S.E.S ELEVATIONS
- AG-20 - N.E.S COLORED ELEVATIONS
- AG-21 - S.E.S COLORED ELEVATIONS
- AG-22 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-23 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-24 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-25 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-26 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-27 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-28 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-29 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-30 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-31 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-32 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-33 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-34 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-35 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-36 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-37 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-38 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-39 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-40 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-41 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-42 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-43 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-44 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-45 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-46 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-47 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-48 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-49 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-50 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-51 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-52 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-53 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-54 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-55 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-56 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-57 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-58 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-59 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-60 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-61 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-62 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-63 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-64 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-65 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-66 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-67 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-68 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-69 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-70 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-71 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-72 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-73 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-74 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-75 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-76 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-77 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-78 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-79 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-80 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-81 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-82 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-83 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-84 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-85 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-86 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-87 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-88 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-89 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-90 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-91 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-92 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-93 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-94 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-95 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-96 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-97 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-98 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-99 - SECTION A.B.C. DETAIL OF FLOOR EDGE
- AG-100 - SECTION A.B.C. DETAIL OF FLOOR EDGE

FLOOR AREA RATIO:

7,697 / 8,239 # = 0.934 = 0.93

SUITES:

51,000 # 3
 21,800 # 2
 21,800 # 2
 TOTAL 95 #

BIKE SPACES:

REQUIRED: 1,107 (0.93 #)
 PROVIDED: 1,107 (1.27 #)
 RESIDENTIAL 1,107 # (1.27 #)
 VISITOR 0 #

PARKING:

REQUIRED: 21,000 (2.47 #)
 PROVIDED: 21,000 (2.47 #)
 RESIDENTIAL 21,000 # (2.47 #)
 VISITOR 0 #

LOT COVERAGE:

75,294 SF / 82,239 # = 0.915

PROVIDED:

COMMER. 0.3186 (1.57 / 285.02 / 107,000) (0.3186 * 151.26 = 48.57)
 RESIDENTIAL 0.3186 (1.57 / 285.02 / 107,000) (0.3186 * 151.26 = 48.57)
 TOTAL 0.6372

REQUIRED:

COMMER. 0.3186 (1.57 / 285.02 / 107,000) (0.3186 * 151.26 = 48.57)
 RESIDENTIAL 0.3186 (1.57 / 285.02 / 107,000) (0.3186 * 151.26 = 48.57)
 TOTAL 0.6372

RES. UPG:

COMMER. 0.3186 (1.57 / 285.02 / 107,000) (0.3186 * 151.26 = 48.57)
 RESIDENTIAL 0.3186 (1.57 / 285.02 / 107,000) (0.3186 * 151.26 = 48.57)
 TOTAL 0.6372



EXISTING LAVASHA RESTAURANT FRONT EAST



EXISTING ENTRY TO LAVASHA RESTAURANT OFF 64TH AVENUE



LOOKING WEST ALONG 64TH AVENUE



BUS SECTION OF SITE



LOOKING SOUTH WEST FROM 64TH AVENUE



SITE LOOKING WEST



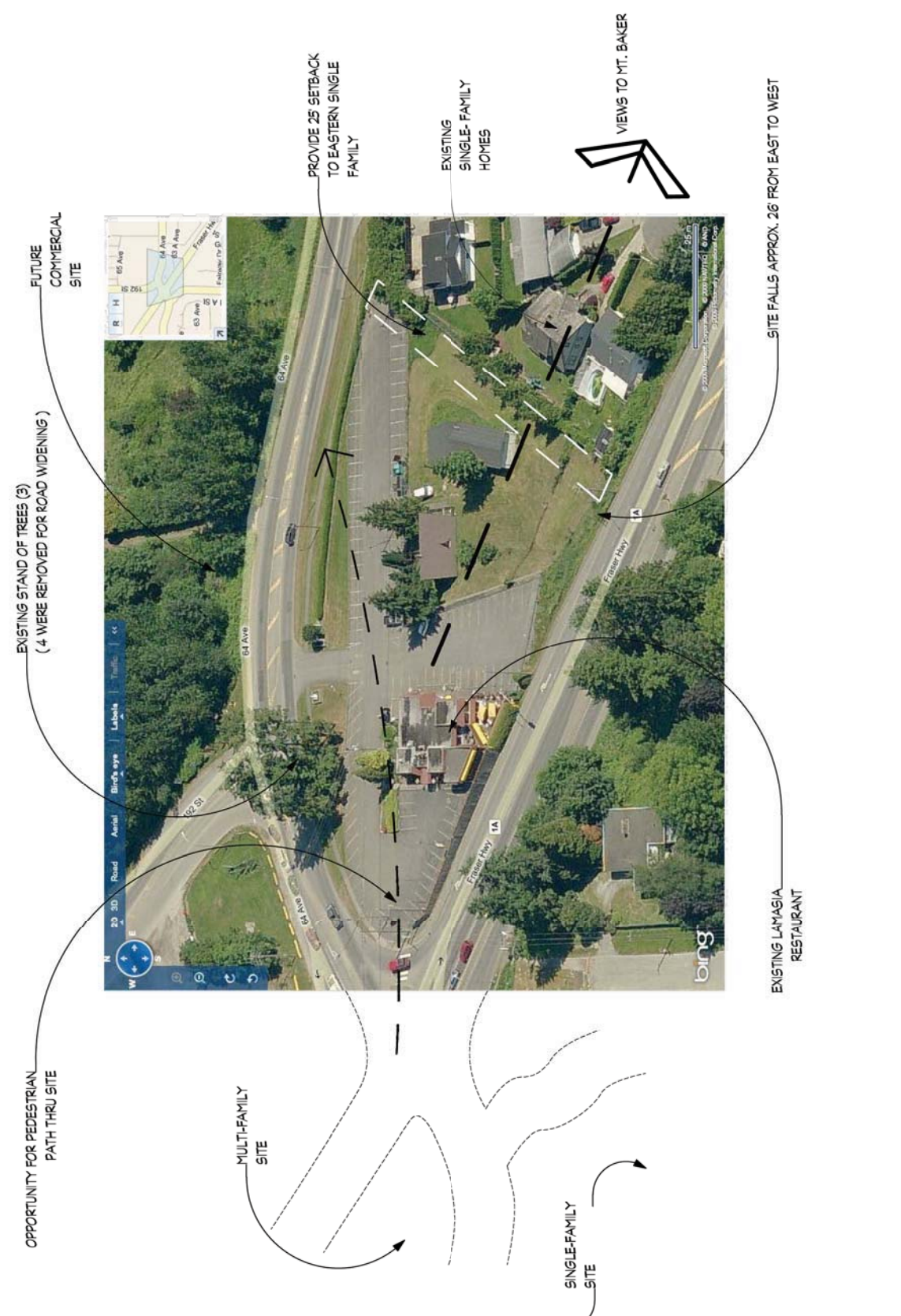
LOOKING SOUTH FROM 64TH AVENUE



LOOKING SOUTH ON SITE FROM EXISTING ENTRY ON 64TH AVENUE

7	DEC 14/17	REVISION 10: 10% OF OWNERS
8	NOV 27/17	REVISION 11: CONTRACT REVIEW
9	OCT 26/17	REVISION 12: CONTRACT REVIEW
10	OCT 26/17	REVISION 13: CONTRACT REVIEW
11	OCT 26/17	REVISION 14: CONTRACT REVIEW
12	OCT 26/17	REVISION 15: CONTRACT REVIEW
13	OCT 26/17	REVISION 16: CONTRACT REVIEW
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62	OCT 26/17	REVISION 65: CONTRACT REVIEW
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93	OCT 26/17	REVISION 96: CONTRACT REVIEW
94	OCT 26/17	REVISION 97: CONTRACT REVIEW
95	OCT 26/17	REVISION 98: CONTRACT REVIEW
96	OCT 26/17	REVISION 99: CONTRACT REVIEW
97	OCT 26/17	REVISION 100: CONTRACT REVIEW

PROJECT: Lufasia Commercial/ Residential Development
 DRAWING NO: SITE ANALYSIS DIAGRAM
 SHEET NO: J. W.
 DATE: 10/26/17
 SCALE: 1:500
 DRAWN BY: J.W.
 CHECKED BY: J.W.
 APPROVED BY: J.W.



EXISTING STAND OF TREES (3)
 (4 WERE REMOVED FOR ROAD WIDENING)

OPPORTUNITY FOR PEDESTRIAN
 PATH THRU SITE

MULTI-FAMILY
 SITE

SINGLE-FAMILY
 SITE

PROVIDE 25 SETBACK
 TO EASTERN SINGLE
 FAMILY

EXISTING
 SINGLE-FAMILY
 HOMES

VIEWS TO MT. BAKER

SITE FALLS APPROX. 26 FROM EAST TO WEST

EXISTING LAMASIA
 RESTAURANT

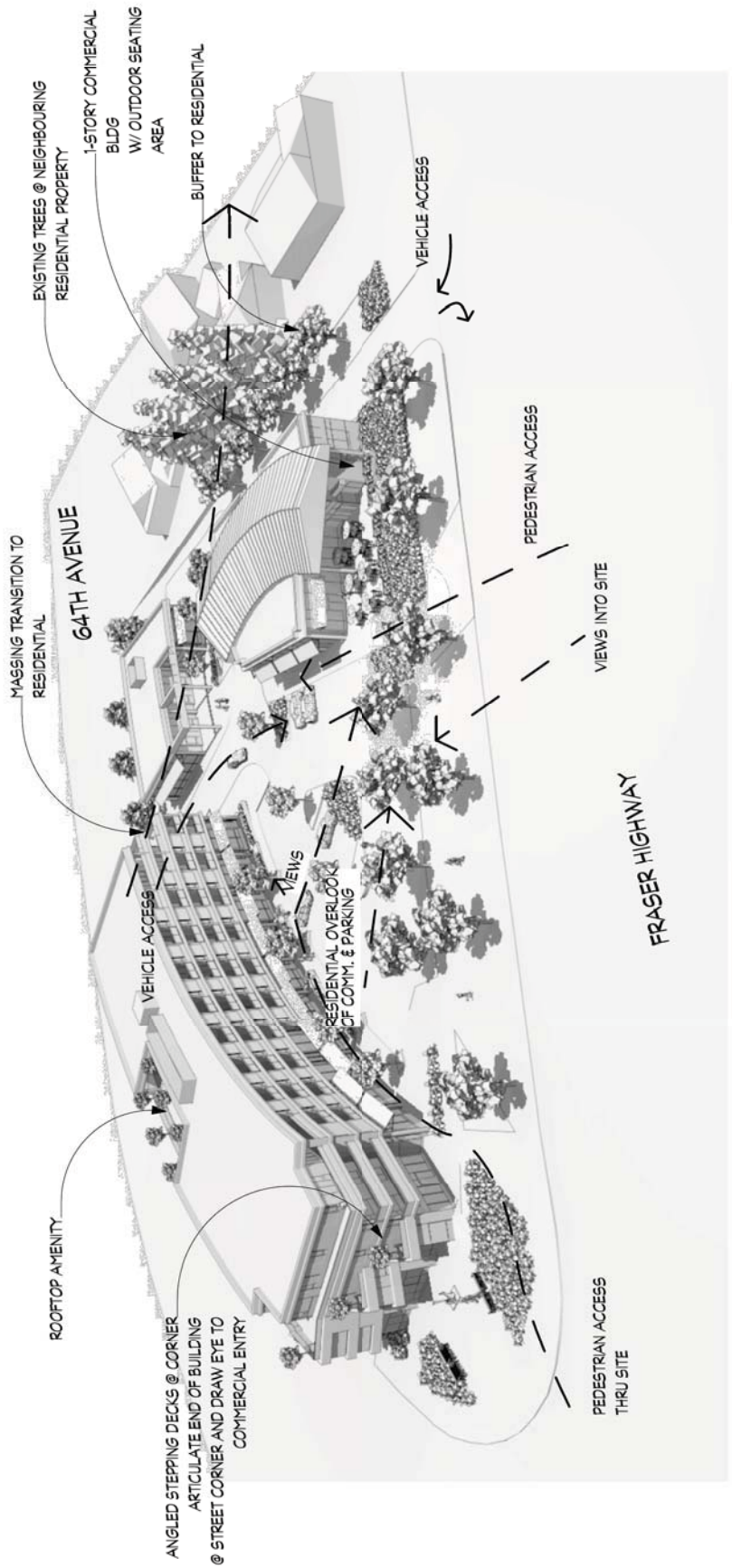
FUTURE
 COMMERCIAL
 SITE

7	DEC 16/17	REVISION 04 (REV 04) COMMENTS
8	NOV 21/17	REVISION 03 (REV 03) COMMENTS
9	OCT 26/17	REVISION 02 (REV 02) COMMENTS
10	OCT 26/17	REVISION 01 (REV 01) COMMENTS
11	OCT 26/17	REVISION 00 (REV 00) COMMENTS
12	OCT 26/17	REVISION 00 (REV 00) COMMENTS
13	OCT 26/17	REVISION 00 (REV 00) COMMENTS
14	OCT 26/17	REVISION 00 (REV 00) COMMENTS

PROJECT NO: 17-010
 Lufasia Commercial/
 Residential Development
 DRAWING NO: S01-01
 SHEET NO: 056
 DATE: 10/26/17

DESIGNED BY: J. W.
 CHECKED BY: J. W.
 DRAWN BY: J. W.
 SCALE: AS SHOWN

AO.2.1



7	DEC 15 11	ISSUE FOR PERMIT
8	NOV 27 11	REVISION TO EXTERIOR MATERIALS
9	OCT 10 11	REVISION TO EXTERIOR MATERIALS
10	NOV 22 11	REVISION TO EXTERIOR MATERIALS
11	NOV 22 11	REVISION TO EXTERIOR MATERIALS
12	NOV 22 11	REVISION TO EXTERIOR MATERIALS
13	NOV 22 11	REVISION TO EXTERIOR MATERIALS
14	NOV 22 11	REVISION TO EXTERIOR MATERIALS
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35	NOV 22 11	REVISION TO EXTERIOR MATERIALS
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37	NOV 22 11	REVISION TO EXTERIOR MATERIALS
38	NOV 22 11	REVISION TO EXTERIOR MATERIALS
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98	NOV 22 11	REVISION TO EXTERIOR MATERIALS
99	NOV 22 11	REVISION TO EXTERIOR MATERIALS
100	NOV 22 11	REVISION TO EXTERIOR MATERIALS

PROJECT NO:
 1000 West Wilson
 Residential Development
 DRAWING NO:
PRECEDENT PHOTOS

DATE:
 11/22/11
 SCALE:
 1:1

AC.2.2



CURVED FACADE ON GLAZED BASE



HORIZONTAL PANEL ON EXTERIOR FACADE



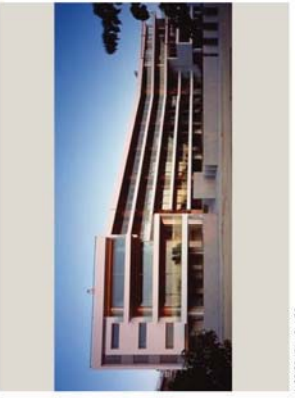
GLASS SUNROOM TREATMENT



CURVED FACADE WITH RECESSED BALCONIES



STEPPED ANGLED TERRACES



HORIZONTAL SLABS



PROJECTING SLAB EDGE



CURVED BUILDINGS ON PLOTS WITH PANELLED FACADE



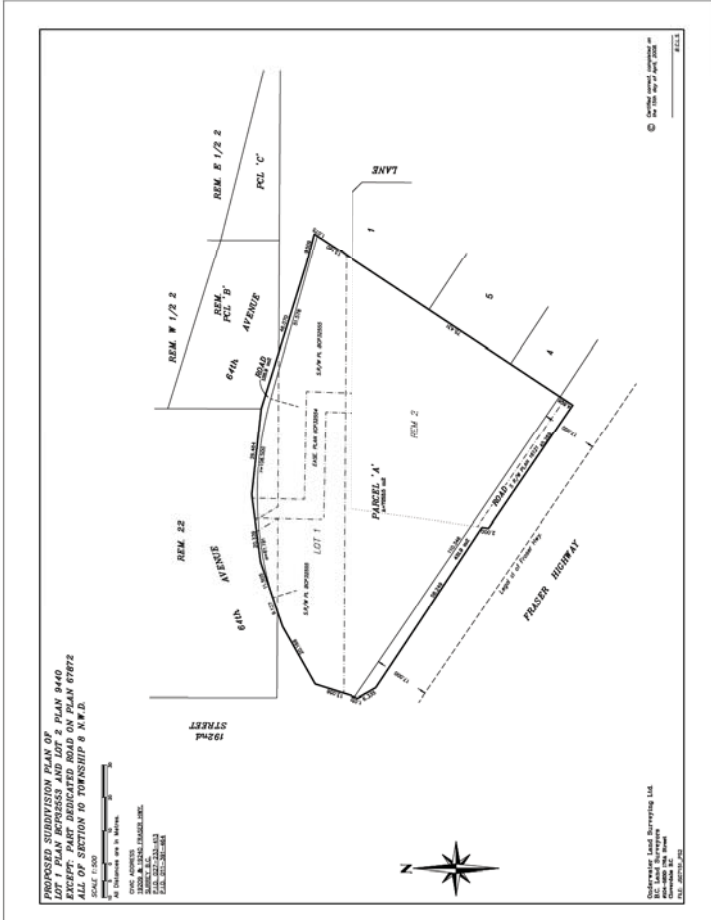
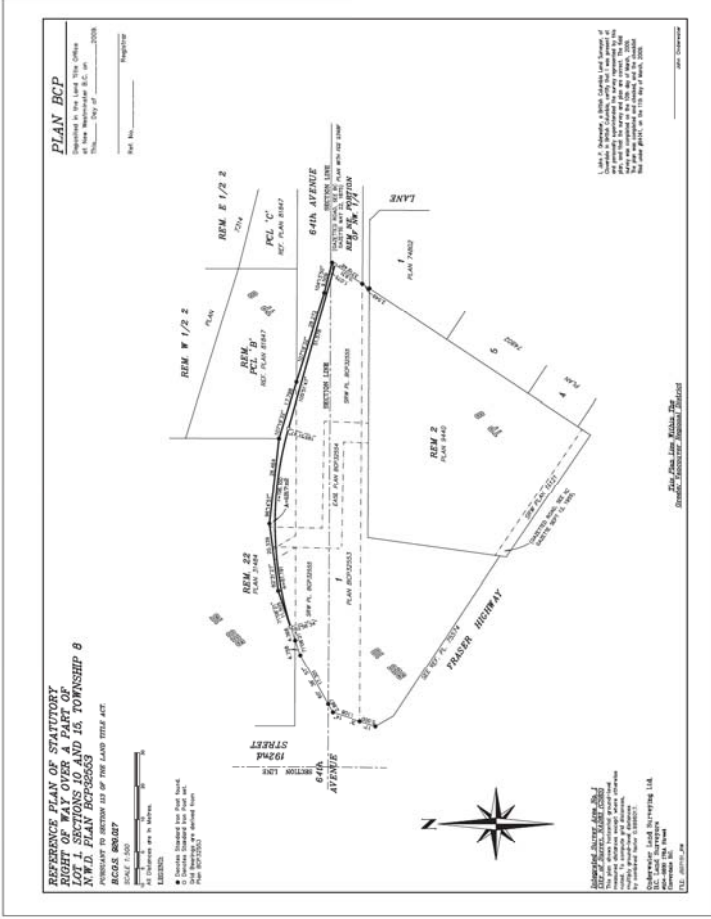
CURVED STREETSCAPE WITH COMMERCIAL AT BASE

1	DEC 1/27	REVISION 1/27/2008
2	DEC 22/08	REVISION 1/27/2008
3	DEC 22/08	REVISION 1/27/2008
4	DEC 22/08	REVISION 1/27/2008
5	DEC 22/08	REVISION 1/27/2008
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8	DEC 22/08	REVISION 1/27/2008
9	DEC 22/08	REVISION 1/27/2008
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11	DEC 22/08	REVISION 1/27/2008
12	DEC 22/08	REVISION 1/27/2008

PROJECT: **LaVida Commercial/ Residential Development**
 DRAWING: **LEGAL PLANS**

DATE: **1/27/2008**
 DRAWN BY: **J. W.**
 CHECKED BY: **J. W.**
 SCALE: **AS SHOWN**
 SHEET NO: **585**

AO.3



7	DEC 16/17	REVISION 10 (PLOT 2) CHANGES
8	NOV 2/17	REVISION 9 (CONTRACT REVIEW)
9	OCT 10/17	REVISION 8 (CONTRACT REVIEW)
10	OCT 26/17	REVISION 7 (CONTRACT REVIEW)
11	OCT 26/17	REVISION 6 (CONTRACT REVIEW)
12	OCT 26/17	REVISION 5 (CONTRACT REVIEW)
13	OCT 26/17	REVISION 4 (CONTRACT REVIEW)
14	OCT 26/17	REVISION 3 (CONTRACT REVIEW)
15	OCT 26/17	REVISION 2 (CONTRACT REVIEW)
16	OCT 26/17	REVISION 1 (CONTRACT REVIEW)

PROJECT NO:
**Lafida Commercial/
 Residential Development**

REVISION NO:
CONTEXT PLAN

DRAWN BY:
 J. W.

CHECKED BY:
 S.S.

DATE:
 11/26/2017 (1000)

SCALE:
 AS SHOWN

A0.4



7	DEC 16 11	REVISED FOR CITY APPROVAL
8	NOV 25 11	REVISIONS FOR CITY APPROVAL
9	OCT 28 11	REVISIONS FOR CITY APPROVAL
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100	OCT 28 11	REVISIONS FOR CITY APPROVAL

PROJECT: LaFrisia Commercial/ Residential Development
 DRAWING: VIEW STUDY
 SHEET: 2 OF 2
 DATE: 10/28/11
 SCALE: AS SHOWN
 DRAWN BY: J.W.
 CHECKED BY: J.W.
 APPROVED BY: J.W.

AO.4.1



VIEW 2



VIEW 1



VIEW 3

7	DEC 21	REVISION 27 COMMENTS
8	NOV 25	REVISION 26 COMMENTS
9	OCT 25	REVISION 25 COMMENTS
10	NOV 15	REVISION 24 COMMENTS
11	NOV 15	REVISION 23 COMMENTS
12	NOV 15	REVISION 22 COMMENTS
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31	NOV 15	REVISION 3 COMMENTS
32	NOV 15	REVISION 2 COMMENTS
33	NOV 15	REVISION 1 COMMENTS
34	NOV 15	REVISION 0 COMMENTS

PROJECT NO:
**Lafida Commercial/
 Residential Development**
 DRAWING NO:
SHADOW DIAGRAMS

DRAWN BY:
 J. W.
 CHECKED BY:
 DATE:
 2015

SCALE:
A 0.4.2



JUNE 21 - 3:00 PM



DEC 21 - 3:00 PM



MAR 21 - 3:00 PM

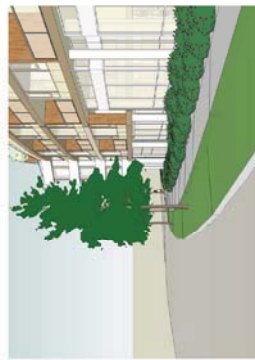


SEPT 21 - 3:00 PM

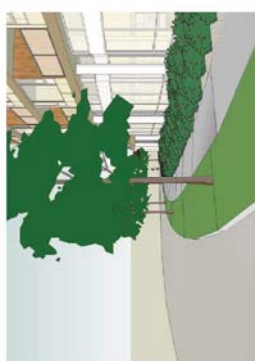
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9	MAY 21	REVISION TO EXISTING PLAN
10	JUL 21	REVISION TO EXISTING PLAN
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14	AUG 22	REVISION TO EXISTING PLAN
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97	MAY 44	REVISION TO EXISTING PLAN
98	AUG 44	REVISION TO EXISTING PLAN
99	NOV 44	REVISION TO EXISTING PLAN
100	FEB 45	REVISION TO EXISTING PLAN

PROJECT: **LaVida Commercial/ Residential Development**
 PREPARED BY: **RDG**
 REVIEWED BY: **J. W.**
 DATE: **2023-08-28**
 SCALE: **AS SHOWN**
 SHEET: **056**
 TOTAL SHEETS: **056**

A 0.4.3



4



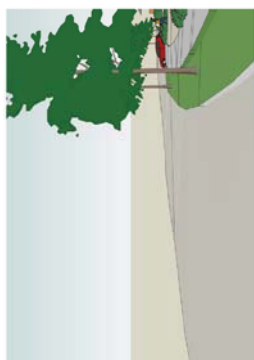
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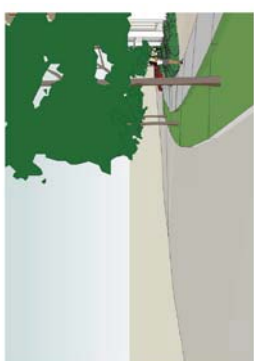
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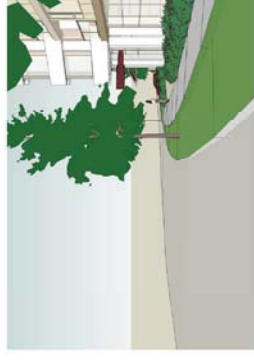
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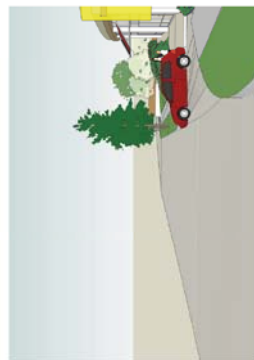
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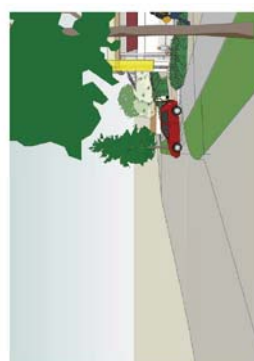
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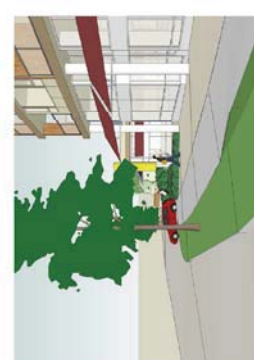
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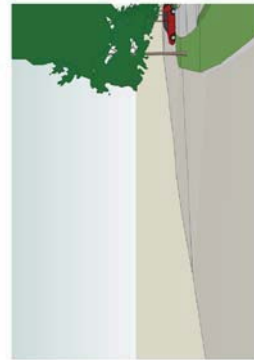
12



11



10



9



13

**TOPOGRAPHIC AND TREE SURVEY PLAN OF
LOT 1 PLAN BCP32553 AND LOT 2 PLAN 9440
EXCEPT: PART DEDICATED ROAD ON PLAN 67872
ALL OF SECTION 10 TOWNSHIP 8 N.W.D.
SCALE 1:360**



SURVEY LEGEND

⊕	Hydrant
⊗	Catch Basin - Top Entry
⊗	Catch Basin - Side Entry
⊙	Lawn Basin
⊙	Utility Pole
⊙	Utility Pole With Light
⊙	Street Light - Dwarf
⊙	Street Light - Post Top
⊙	Water Valve
—	Swale
—	Ditch
—	Water Meter
—	Utility Vault
—	Driveway Letdown
—	Gay Wire
—	Ditch
—	Junction Box

CIVIC ADDRESS
19209 & 19240 FRASER HWY.
SURREY B.C.
P.L.D. 027-233-413
P.L.D. 011-391-464



- NOTES:**
- 1) Elevations are in metres and are geodetic. (CVD28)
 - 2) Elevations are derived from ODM #5015, d.L. = 67.754
 - 3) This file is at 64th AVE. for a 200 m x 200 m grid of the job site.
 - 4) The survey was conducted in accordance with the BC Survey Act and the BC Land Surveyors Act and is for the exclusive use of our client. The signatory accepts no responsibility for any errors or omissions that may occur in the field or in the office as a result of reproduction, transmission or alteration to the document without consent of the signatory.
 - 5) Prior to any construction, underground services shall be located by the appropriate authority (e.g. Dept. of Water, Gas, Electric, etc.) and the signatory shall be provided the hard copy of this Plan and the digital data provided. The hard copy shall be taken to be correct and shall be confirmed by information shown on the hard copy of this plan.
 - 6) Tree diameters are taken at 1.4m above grade and are measured to the nearest millimetre. The species and any trees required by Surrey's Tree Protection Policy are shown.

Onderwater Land Surveying Ltd.
B.C. Land Surveyors
#104-5830 176A Street
Cowichan B.C.
FILE:J507151_1P2

GATEWAY ARCHITECTURE
MICHAEL COX, MAIBC
1100 WEST 10TH AVENUE
VANCOUVER, B.C. V6B 1M1
(604) 683-1888 ext. 1
(604) 683-3888 ext. 2

RDG MANAGEMENT LTD
10719789 92A Ave., Langley, BC
V1M 3B3

7	DISCUSS	REVISIONS AND/OR COMMENTS
8	REVISED	REVISIONS AND/OR COMMENTS
9	REVISED	REVISIONS AND/OR COMMENTS
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46	REVISED	REVISIONS AND/OR COMMENTS
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97	REVISED	REVISIONS AND/OR COMMENTS
98	REVISED	REVISIONS AND/OR COMMENTS
99	REVISED	REVISIONS AND/OR COMMENTS
100	REVISED	REVISIONS AND/OR COMMENTS

PROJECT: LaFidra Commercial/ Residential Development
DATE: 2009-07-15

A0.5

Checked: J.W.
Reviewed: S.B.
Date: 2009-07-15

© Certified correct, completed on the 4th day of January, 2009.
updated July 15, 2009.

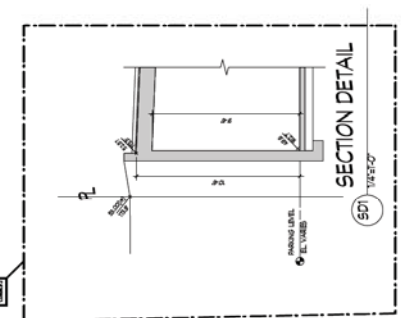
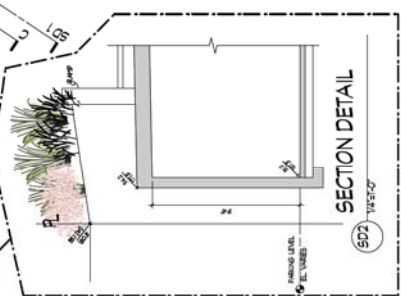
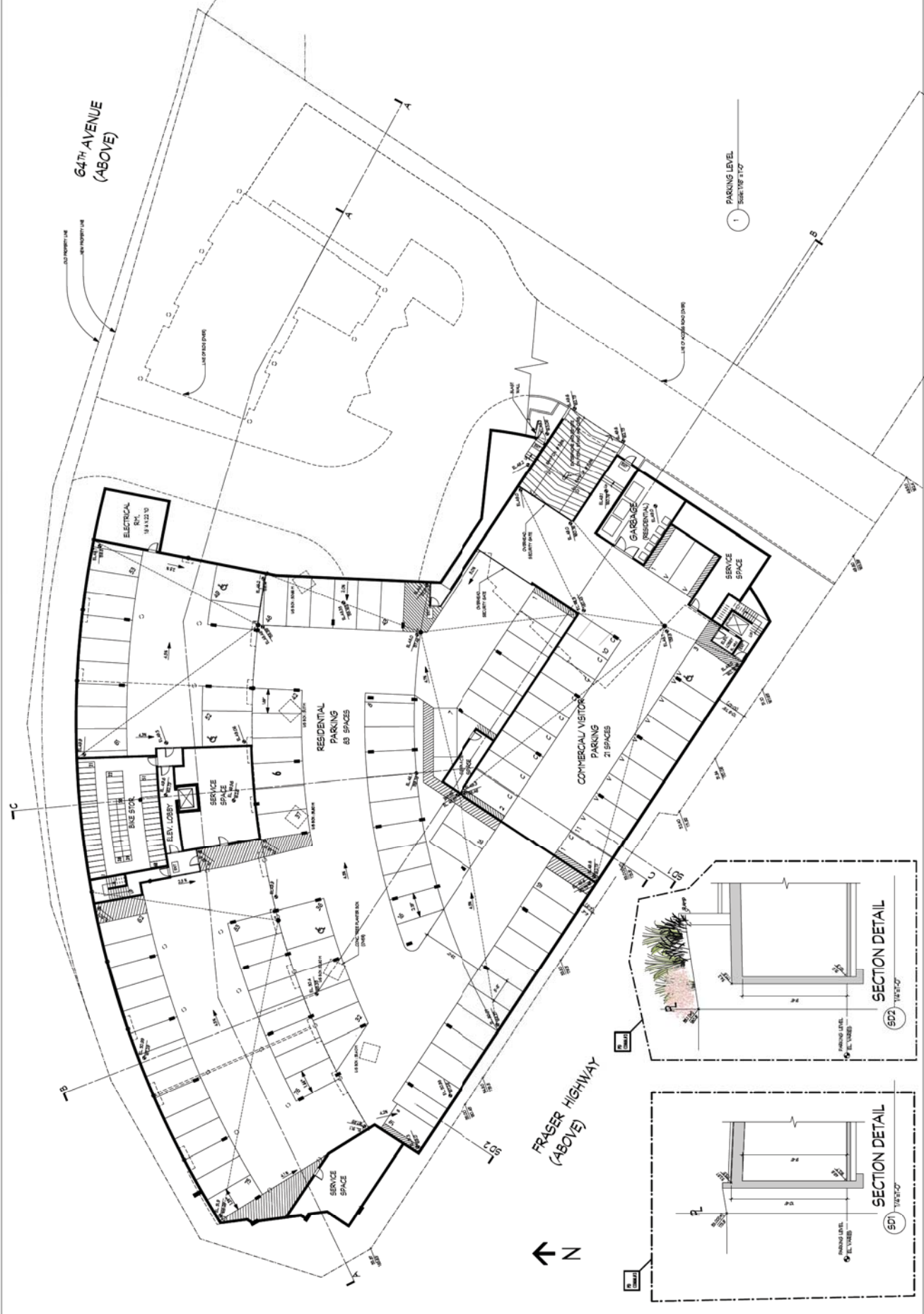
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11	NO. 4	REVISIONS
12	NO. 5	REVISIONS
13	NO. 6	REVISIONS
14	NO. 7	REVISIONS
15	NO. 8	REVISIONS
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103	NO. 96	REVISIONS
104	NO. 97	REVISIONS
105	NO. 98	REVISIONS
106	NO. 99	REVISIONS
107	NO. 100	REVISIONS

PROJECT: **LaFidra Commercial / Residential Development**
 SHEET: **PARKING LEVEL**
 ELEVATION: **EL. 49.5' ±**

DATE: **JULY 2011**
 DRAWN BY: **SS**
 CHECKED BY: **SS**
 PROJECT NO.: **100-0-07**

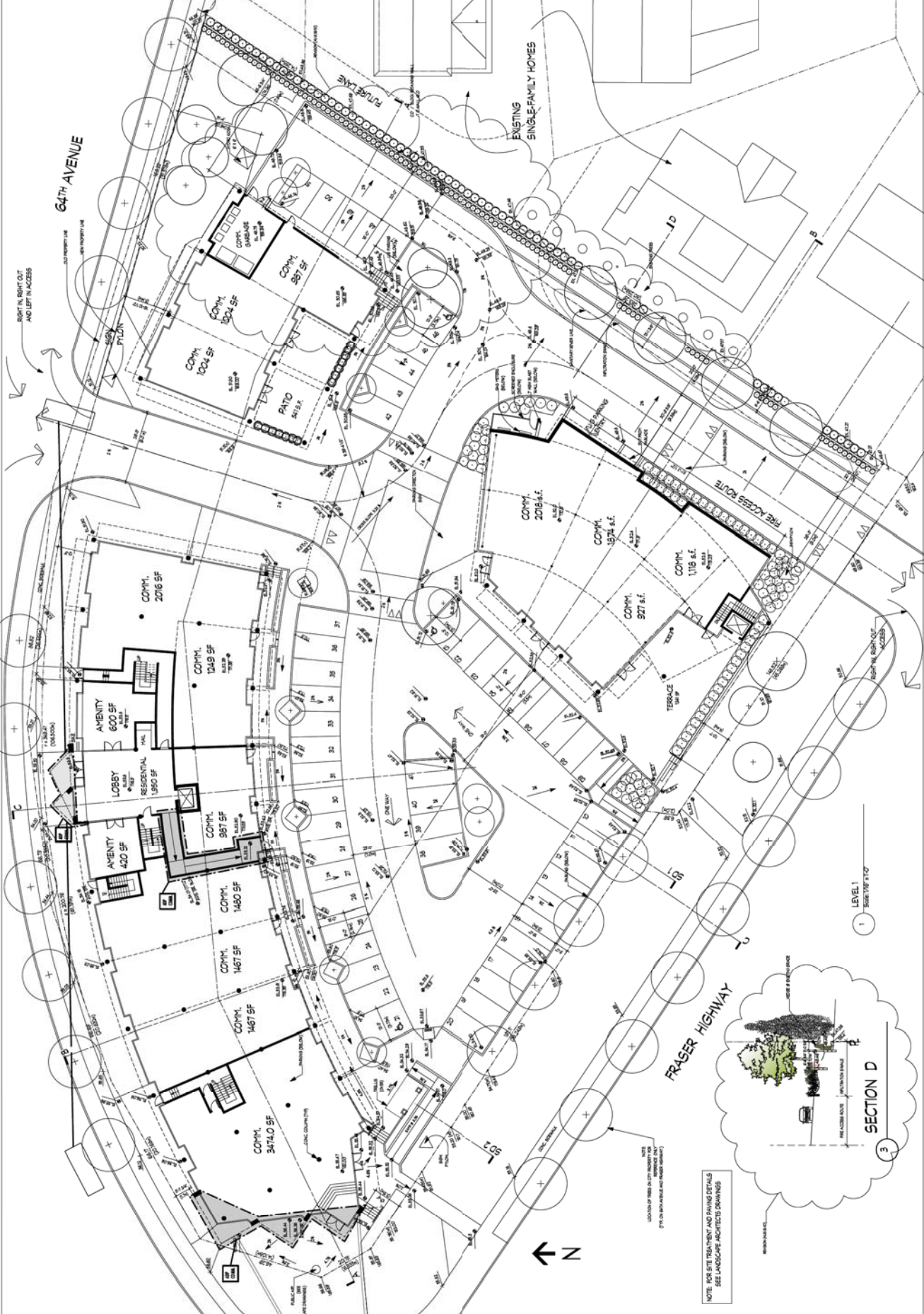
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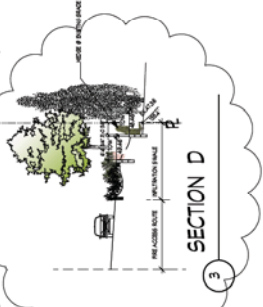
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5	REVISION	REVISION TO THE PLAN
4	REVISION	REVISION TO THE PLAN
3	REVISION	REVISION TO THE PLAN
2	REVISION	REVISION TO THE PLAN
1	REVISION	REVISION TO THE PLAN

PROJECT: Latford Commercial/
 Residential Development
 SHEET: LEVEL 1
 (EL. 93.6')

DATE: 10/24/07
 DRAWN: J. N.
 CHECKED: J. N.
 SCALE: 1/8" = 1'-0"
 TITLED: A2.0



NOTE: FOR SITE TREATMENT AND PAVING DETAILS
 SEE LANDSCAPE ARCHITECTS DRAWINGS



LEVEL 1
 SCALE: 1/8" = 1'-0"

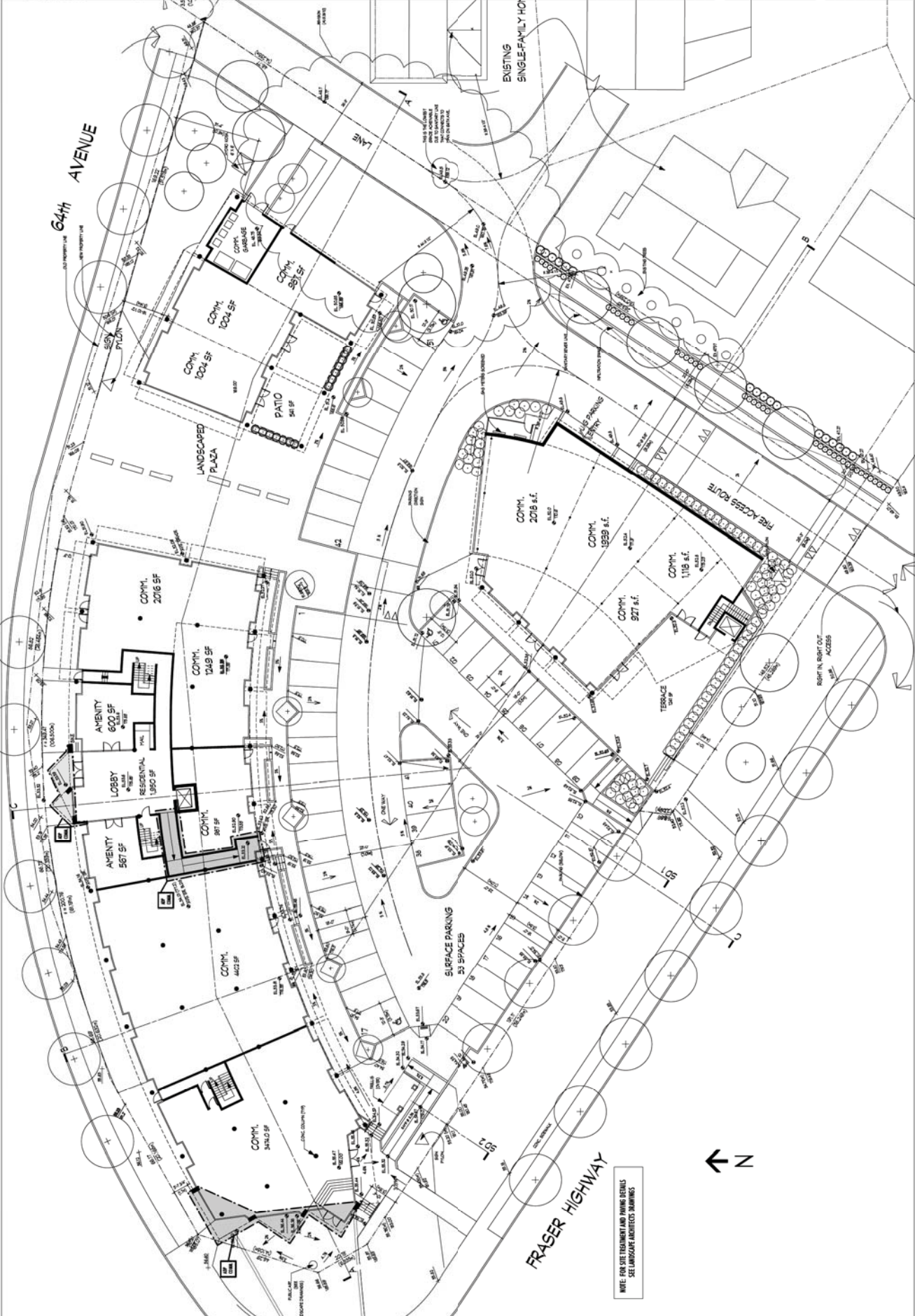
SECTION D

3

7	DECK	WOODEN DECK ON TOP OF CONCRETE
8	ROOF	CONCRETE ROOF WITH INSULATION
9	ROOF	CONCRETE ROOF WITH INSULATION
10	ROOF	CONCRETE ROOF WITH INSULATION
11	ROOF	CONCRETE ROOF WITH INSULATION
12	ROOF	CONCRETE ROOF WITH INSULATION
13	ROOF	CONCRETE ROOF WITH INSULATION
14	ROOF	CONCRETE ROOF WITH INSULATION
15	ROOF	CONCRETE ROOF WITH INSULATION
16	ROOF	CONCRETE ROOF WITH INSULATION
17	ROOF	CONCRETE ROOF WITH INSULATION
18	ROOF	CONCRETE ROOF WITH INSULATION
19	ROOF	CONCRETE ROOF WITH INSULATION
20	ROOF	CONCRETE ROOF WITH INSULATION

PROJECT: **LaFleur Commercial / Residential Development**
 LEVEL: **LEVEL 1 (FUTURE LANE)**
 (EL. 93.6m)

A2.1



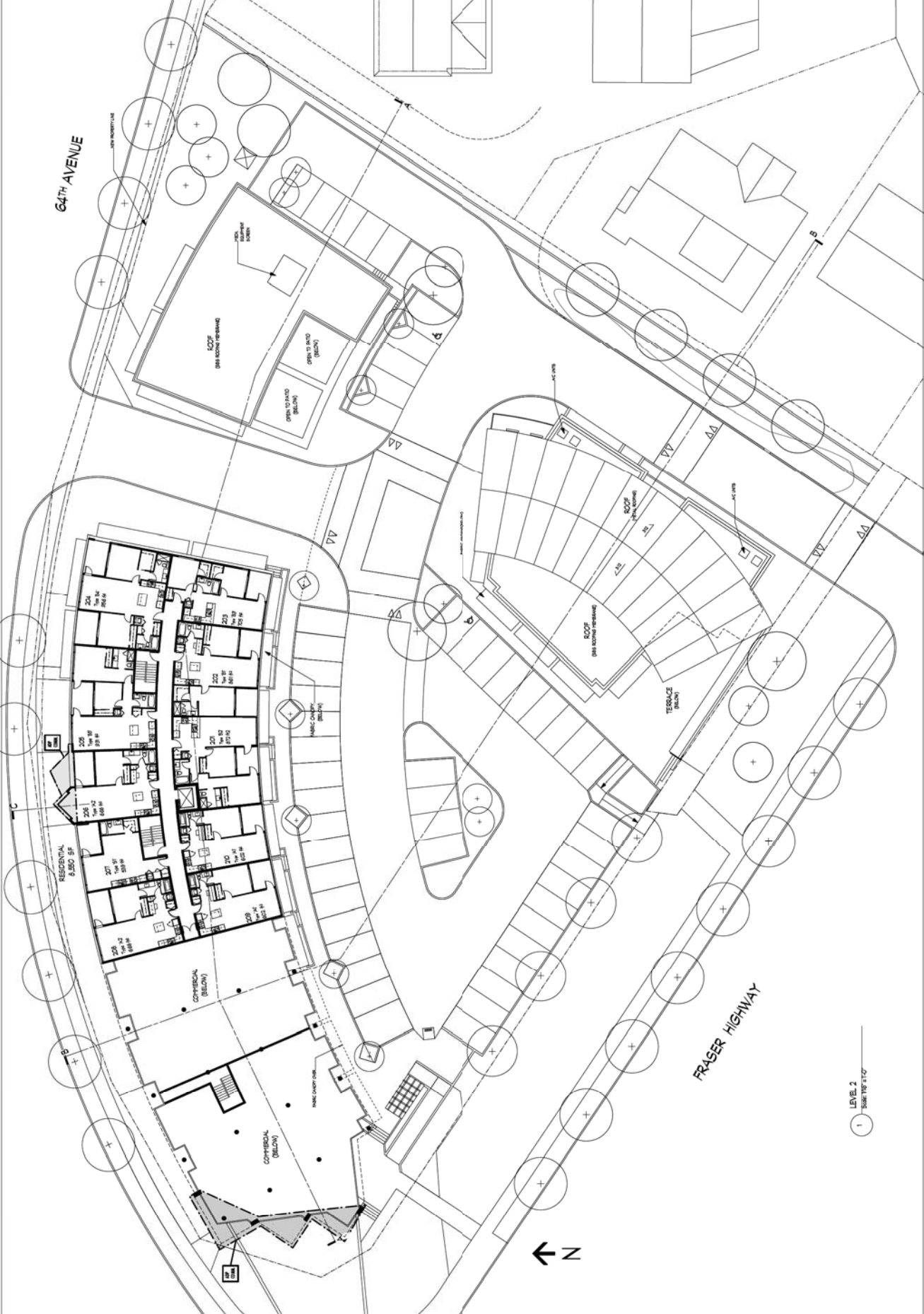
NOTE: FOR SITE TREATMENT AND PARKING DETAILS
 SEE LANDSCAPE ARCHITECTURE DRAWINGS

7	SECTION	SECTION 1000
8	SECTION	SECTION 1000
9	SECTION	SECTION 1000
10	SECTION	SECTION 1000
11	SECTION	SECTION 1000
12	SECTION	SECTION 1000
13	SECTION	SECTION 1000
14	SECTION	SECTION 1000
15	SECTION	SECTION 1000
16	SECTION	SECTION 1000
17	SECTION	SECTION 1000
18	SECTION	SECTION 1000
19	SECTION	SECTION 1000
20	SECTION	SECTION 1000

PROJECT: **Latidale Commercial/ Residential Development**
 DRAWING NO: **LEVEL 2 (EL. 95.2 ft)**

DATE: **1/15/07**
 DRAWN BY: **JSB**
 CHECKED BY: **TCG-CF**

A3.0



7	SECTION	ROOF TO TOP OF DECK
8	SECTION	ROOF TO BOTTOM OF DECK
9	SECTION	ROOF TO TOP OF DECK
10	SECTION	ROOF TO TOP OF DECK
11	SECTION	ROOF TO TOP OF DECK
12	SECTION	ROOF TO TOP OF DECK
13	SECTION	ROOF TO TOP OF DECK
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94	SECTION	ROOF TO TOP OF DECK
95	SECTION	ROOF TO TOP OF DECK
96	SECTION	ROOF TO TOP OF DECK
97	SECTION	ROOF TO TOP OF DECK
98	SECTION	ROOF TO TOP OF DECK
99	SECTION	ROOF TO TOP OF DECK
100	SECTION	ROOF TO TOP OF DECK

PROJECT: **Latidale Commercial / Residential Development**
 DRAWING NO: **LEVEL 3 (EL. 61.0 m)**
 DATE: **1/25/2017**

DESIGNED BY: **J. W.**
 CHECKED BY: **S.S.**
 DRAWN BY: **T.P.C.-C**
 SCALE: **1/8" = 1'-0"**

A4.0



LEVEL 3
 1/25/2017

7	REVISION	REVISIONS TO BE MADE
6	REVISION	REVISIONS TO BE MADE
5	REVISION	REVISIONS TO BE MADE
4	REVISION	REVISIONS TO BE MADE
3	REVISION	REVISIONS TO BE MADE
2	REVISION	REVISIONS TO BE MADE
1	REVISION	REVISIONS TO BE MADE
NO.	DATE	REVISION / SUBMISSION

PROJECT:
Latida Commercial / Residential Development

DATE: 1.11.11
 DRAWN BY: JSC
 CHECKED BY: JSC
 SCALE: 1/8" = 1'-0"

A5.0



LEVEL 4
 (EL. 63.6 m)



7	SECTION	REVISIONS
8	NO. 1	REVISIONS
9	NO. 2	REVISIONS
10	NO. 3	REVISIONS
11	NO. 4	REVISIONS
12	NO. 5	REVISIONS
13	NO. 6	REVISIONS
14	NO. 7	REVISIONS
15	NO. 8	REVISIONS
16	NO. 9	REVISIONS
17	NO. 10	REVISIONS
18	NO. 11	REVISIONS
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21	NO. 14	REVISIONS
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106	NO. 99	REVISIONS
107	NO. 100	REVISIONS

PROJECT: **Level 5**
 Lathia Commercial/
 Residential Development

DATE: **LEVEL 5**
 (EL. 66.6 m)

SCALE: **A6.0**



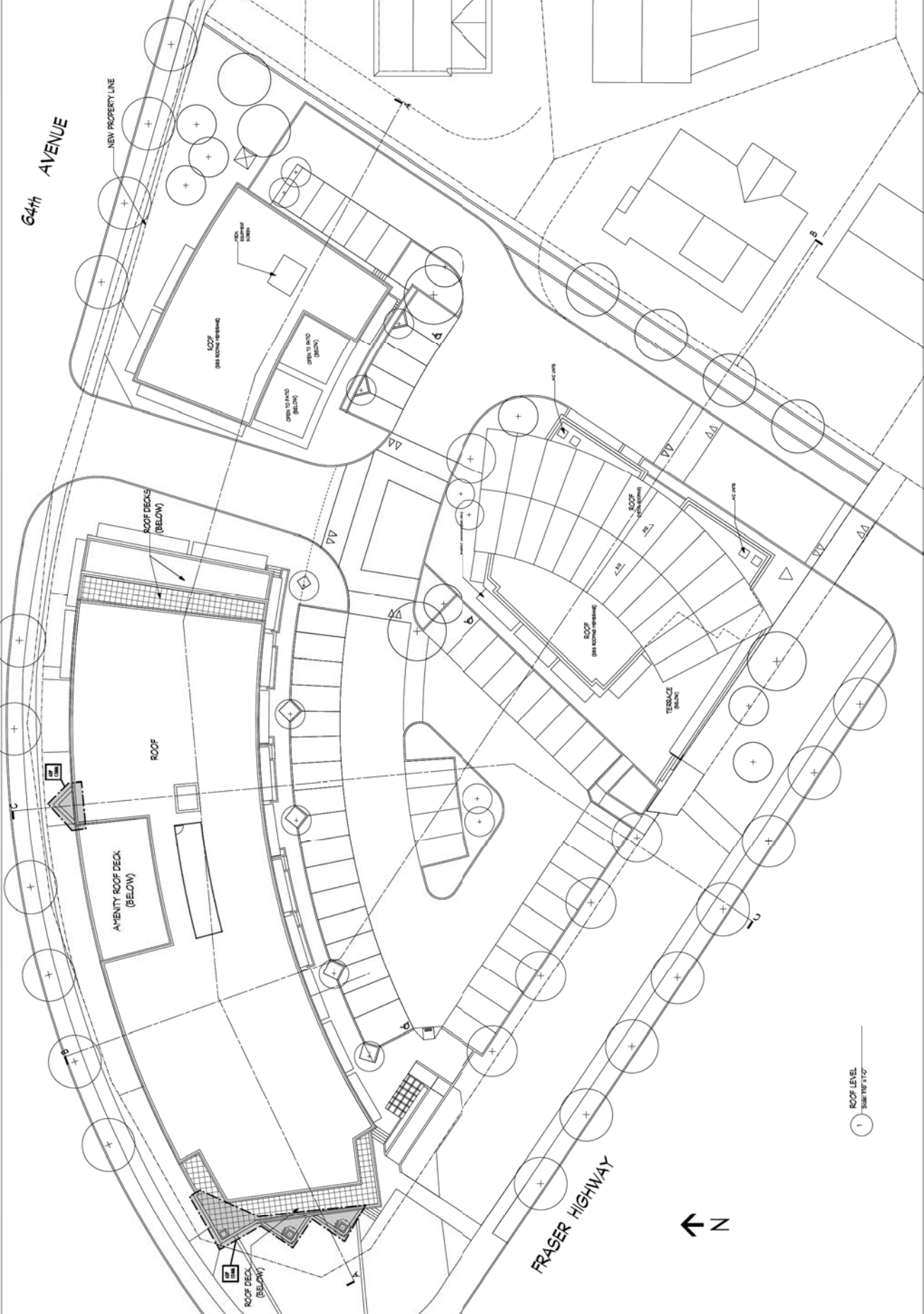
LEVEL 5
 SCALE: 1/8" = 1'-0"

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4	REVISION	REVISIONS TO THE PLAN
3	REVISION	REVISIONS TO THE PLAN
2	REVISION	REVISIONS TO THE PLAN
1	REVISION	REVISIONS TO THE PLAN
NO.	DATE	REVISION / SUBMISSION

PROJECT:
Latidale Commercial / Residential Development

DATE: J. N.
 DRAWN: S.B.
 CHECKED: S.B.
 SCALE: 1/8" = 1'-0"

A7.0



ROOF LEVEL
 1/8" = 1'-0"

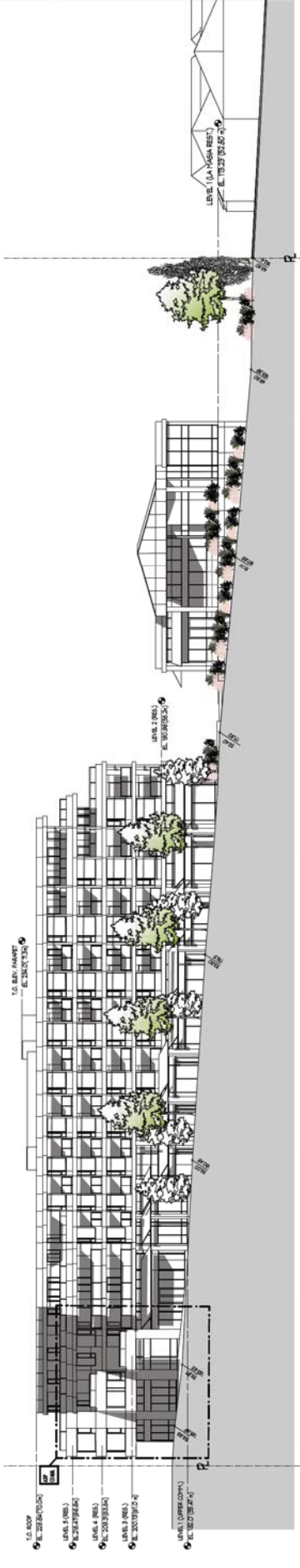


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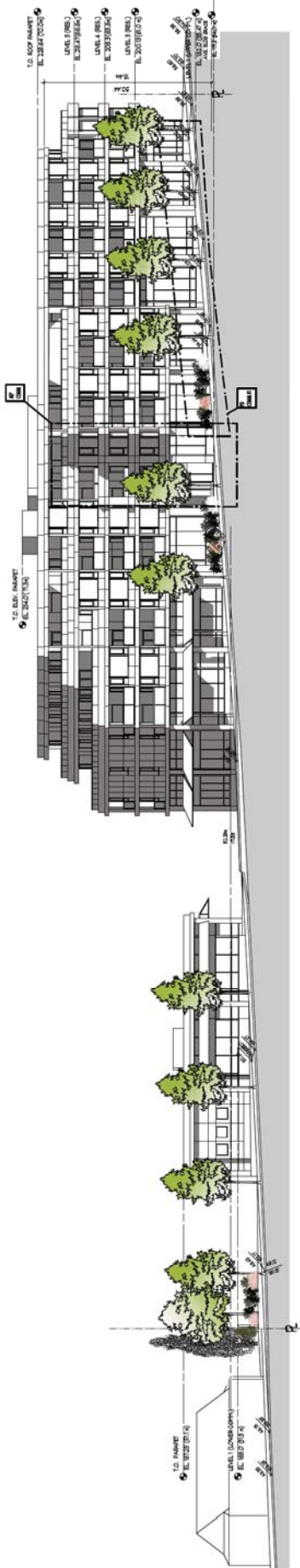
PROJECT: **Lafidra Commercial/ Residential Development**
 DRAWING: **N & S ELEVATIONS**

DATE: **JULY 2014**
 DRAWN BY: **SK**
 CHECKED BY: **SK**
 SCALE: **1/8"=1'-0"**

A8.0



2 SOUTH ELEVATION
 SCALE: 1/8"=1'-0"



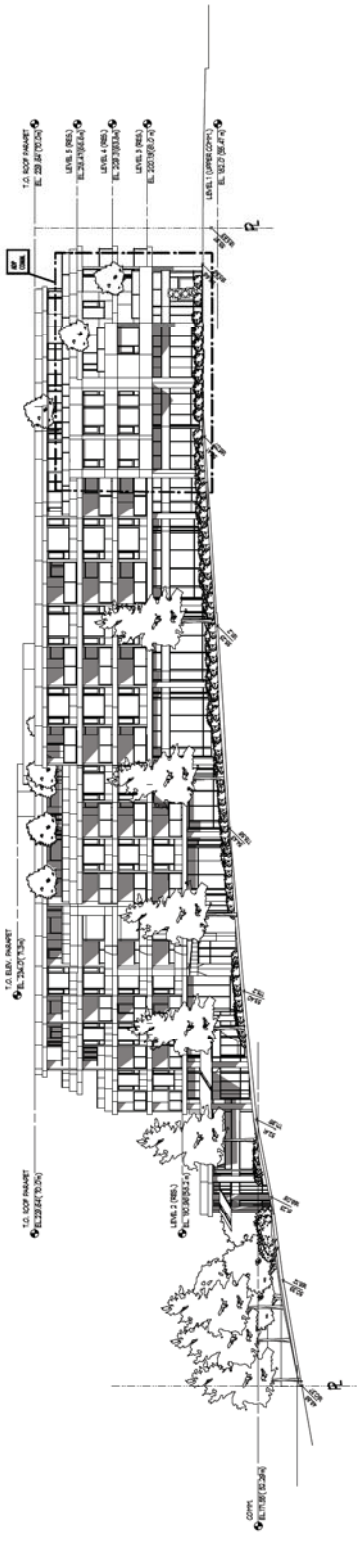
1 NORTH ELEVATION
 SCALE: 1/8"=1'-0"

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10	ROOF 4	ROOF TOP DECK
11	ROOF 5	ROOF TOP DECK
12	ROOF 6	ROOF TOP DECK
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37	ROOF 31	ROOF TOP DECK
38	ROOF 32	ROOF TOP DECK
39	ROOF 33	ROOF TOP DECK
40	ROOF 34	ROOF TOP DECK
41	ROOF 35	ROOF TOP DECK
42	ROOF 36	ROOF TOP DECK
43	ROOF 37	ROOF TOP DECK
44	ROOF 38	ROOF TOP DECK
45	ROOF 39	ROOF TOP DECK
46	ROOF 40	ROOF TOP DECK
47	ROOF 41	ROOF TOP DECK
48	ROOF 42	ROOF TOP DECK
49	ROOF 43	ROOF TOP DECK
50	ROOF 44	ROOF TOP DECK
51	ROOF 45	ROOF TOP DECK
52	ROOF 46	ROOF TOP DECK
53	ROOF 47	ROOF TOP DECK
54	ROOF 48	ROOF TOP DECK
55	ROOF 49	ROOF TOP DECK
56	ROOF 50	ROOF TOP DECK
57	ROOF 51	ROOF TOP DECK
58	ROOF 52	ROOF TOP DECK
59	ROOF 53	ROOF TOP DECK
60	ROOF 54	ROOF TOP DECK
61	ROOF 55	ROOF TOP DECK
62	ROOF 56	ROOF TOP DECK
63	ROOF 57	ROOF TOP DECK
64	ROOF 58	ROOF TOP DECK
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93	ROOF 87	ROOF TOP DECK
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95	ROOF 89	ROOF TOP DECK
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101	ROOF 95	ROOF TOP DECK
102	ROOF 96	ROOF TOP DECK
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105	ROOF 99	ROOF TOP DECK
106	ROOF 100	ROOF TOP DECK

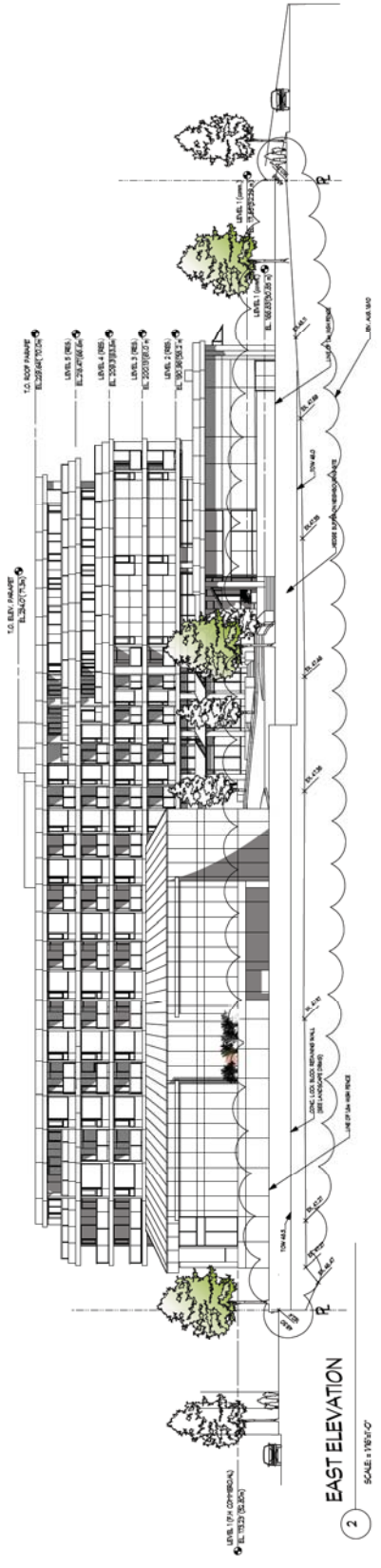
PROJECT: **Latidale Commercial / Residential Development**
 DRAWING: **E & W ELEVATIONS**

DATE: **1/15/2017**
 DRAWN BY: **J.W.**
 CHECKED BY: **S.S.**
 SCALE: **1/8"=1'-0"**

A9.0



1
WEST ELEVATION
 SCALE = 1/8"=1'-0"



2
EAST ELEVATION
 SCALE = 1/8"=1'-0"

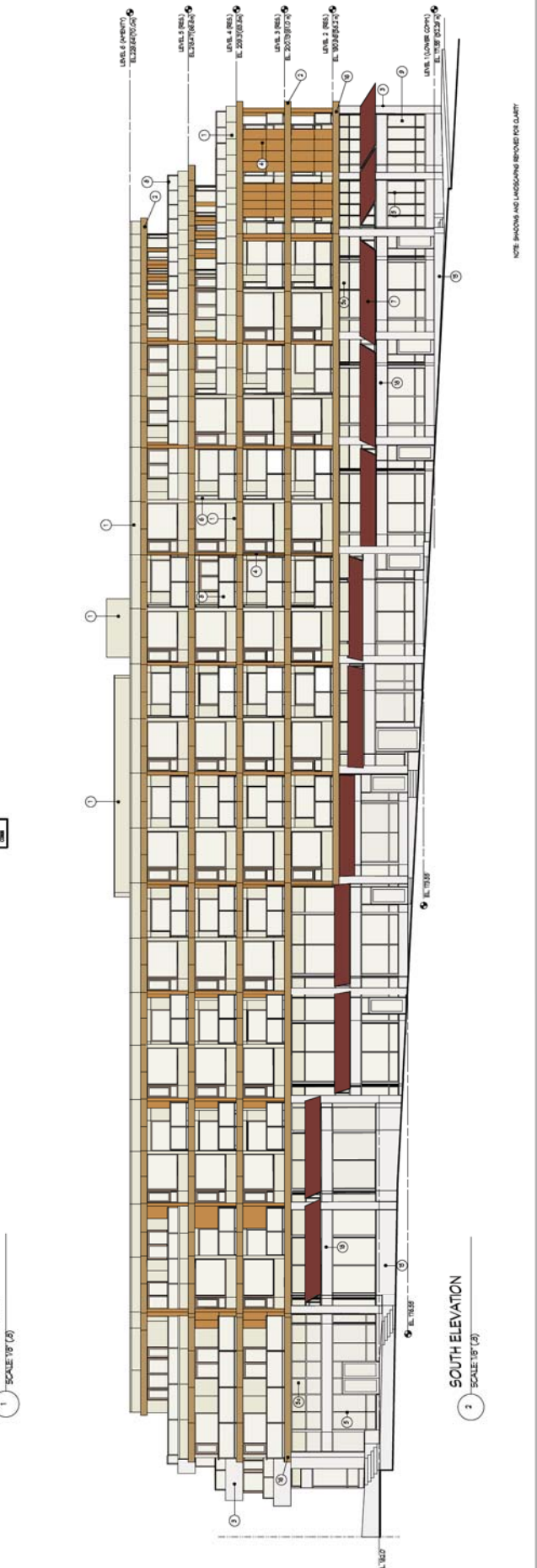
COLOR/MATERIAL LEGEND

1. HAZEL BARK PAINT (PR-204)
2. HAZEL BARK PAINT (PR-202)
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50. HAZEL BARK PAINT (PR-204)

1	100% HAZEL BARK PAINT (PR-204)
2	100% HAZEL BARK PAINT (PR-202)
3	100% HAZEL BARK PAINT (PR-204)
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49	100% HAZEL BARK PAINT (PR-204)
50	100% HAZEL BARK PAINT (PR-204)



1 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



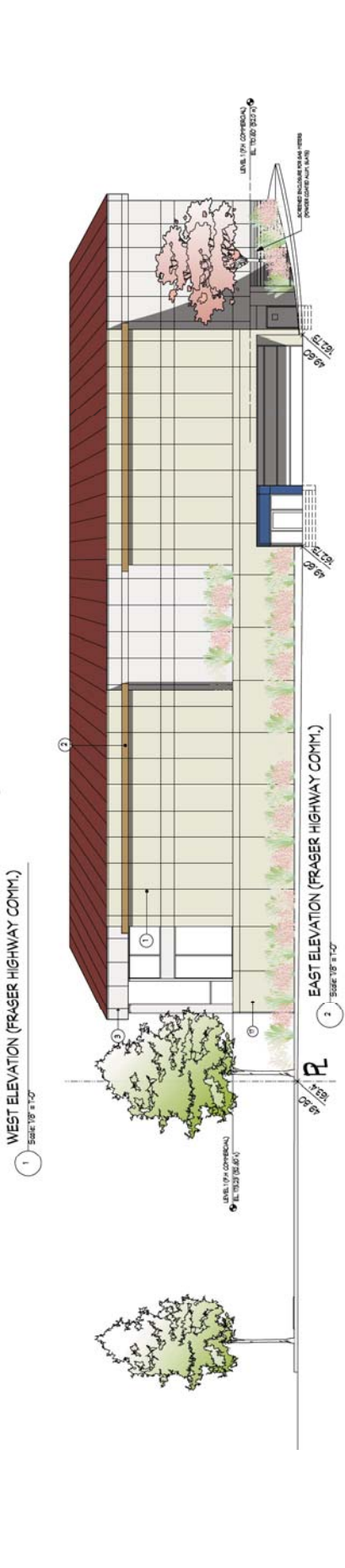
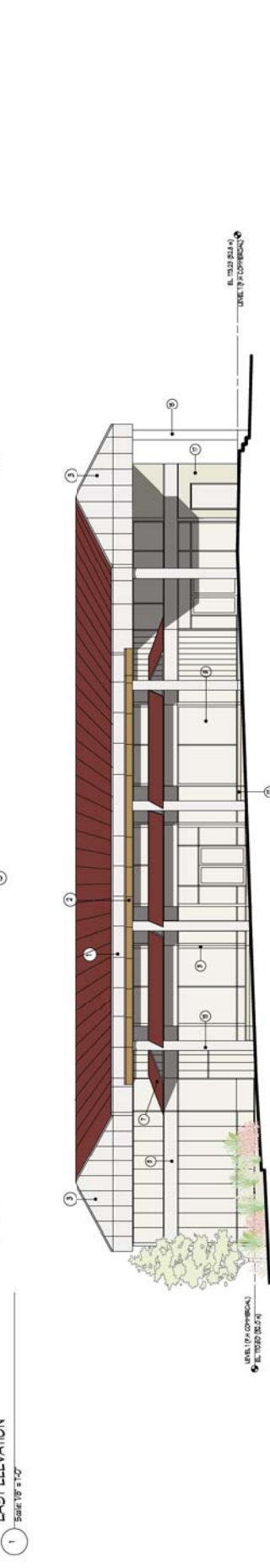
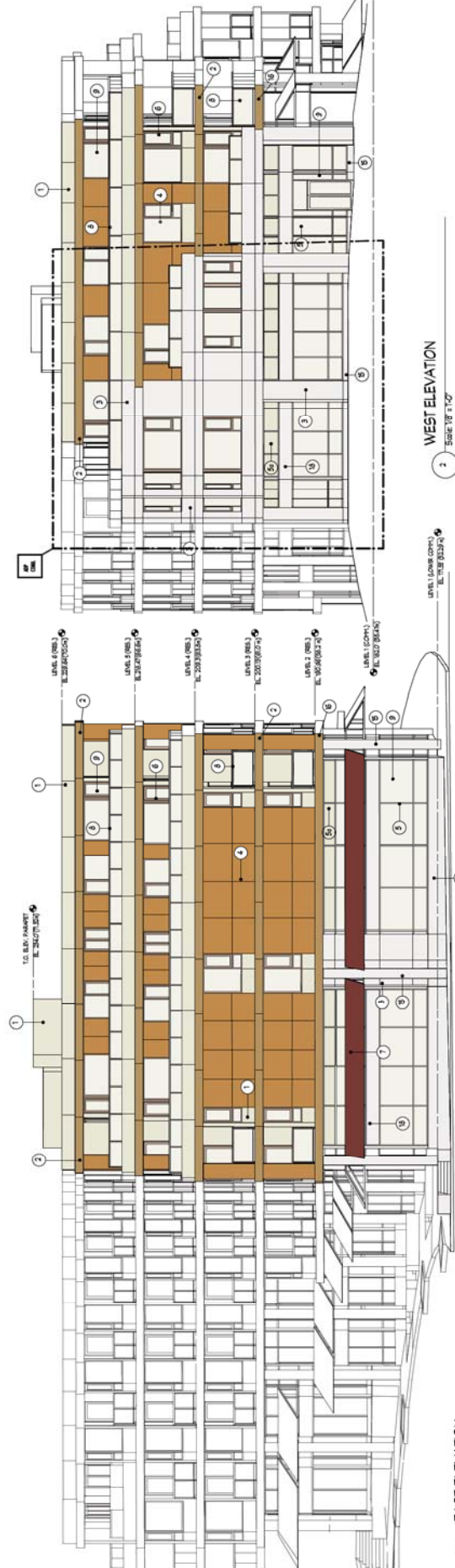
2 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

NOTE: SHOWING AND LABELING REPORTED FOR QUANTITY

COLOR/MATERIAL LEGEND

- 1 - HAZEL BARK PAINT (PROMAS)
- 2 - HAZEL BARK PAINT (PROMAS)
- 3 - WFL INKED (SHER)
- 4 - HAZEL BARK PAINT (PROMAS)
- 5 - HAZEL BARK PAINT (PROMAS)
- 6 - HAZEL BARK PAINT (PROMAS)
- 7 - HAZEL BARK PAINT (PROMAS)
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- 18 - HAZEL BARK PAINT (PROMAS)
- 19 - HAZEL BARK PAINT (PROMAS)
- 20 - HAZEL BARK PAINT (PROMAS)

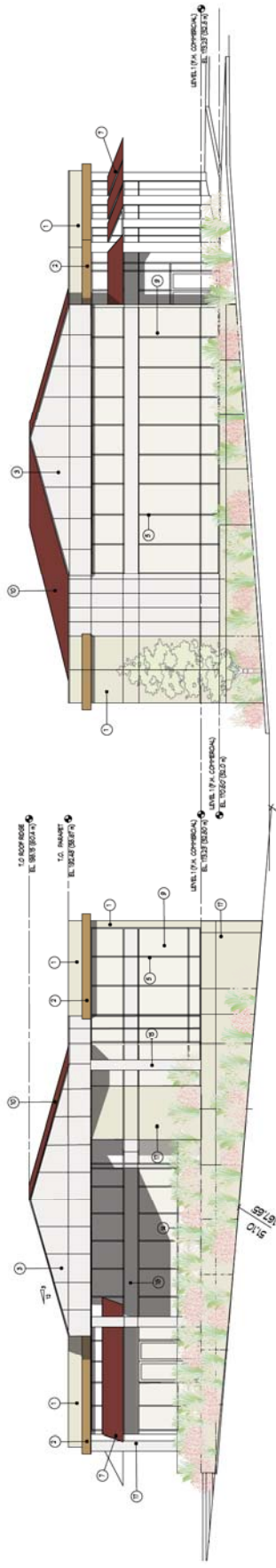
1	DEC SAT	WEST ELEVATION
2	NOV 25	WEST ELEVATION
3	NOV 25	WEST ELEVATION
4	NOV 25	WEST ELEVATION
5	NOV 25	WEST ELEVATION
6	NOV 25	WEST ELEVATION
7	NOV 25	WEST ELEVATION
8	NOV 25	WEST ELEVATION
9	NOV 25	WEST ELEVATION
10	NOV 25	WEST ELEVATION
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15	NOV 25	WEST ELEVATION
16	NOV 25	WEST ELEVATION
17	NOV 25	WEST ELEVATION
18	NOV 25	WEST ELEVATION
19	NOV 25	WEST ELEVATION
20	NOV 25	WEST ELEVATION



COLOUR/MATERIAL LEGEND

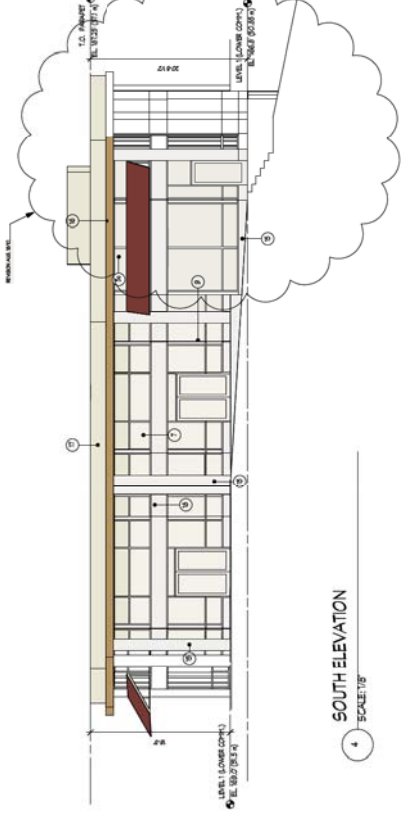
- 1 - WHITE SOLID PANELS (BRICKS)
- 2 - WHITE SOLID PANELS (WOOD)
- 3 - WHITE SOLID PANELS (CONCRETE)
- 4 - WHITE SOLID PANELS (GLASS)
- 5 - WHITE SOLID PANELS (METAL)
- 6 - WHITE SOLID PANELS (STONE)
- 7 - WHITE SOLID PANELS (BRICKS)
- 8 - WHITE SOLID PANELS (WOOD)
- 9 - WHITE SOLID PANELS (CONCRETE)
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- 57 - WHITE SOLID PANELS (CONCRETE)
- 58 - WHITE SOLID PANELS (GLASS)
- 59 - WHITE SOLID PANELS (METAL)
- 60 - WHITE SOLID PANELS (STONE)

7	DEC 5/17	REVISION 1: INITIAL DESIGN
8	NOV 2/17	REVISION 2: PRELIMINARY DESIGN
9	OCT 10/17	REVISION 3: PRELIMINARY DESIGN
10	SEP 15/17	REVISION 4: PRELIMINARY DESIGN
11	SEP 15/17	REVISION 5: PRELIMINARY DESIGN
12	SEP 15/17	REVISION 6: PRELIMINARY DESIGN
13	SEP 15/17	REVISION 7: PRELIMINARY DESIGN
14	SEP 15/17	REVISION 8: PRELIMINARY DESIGN
15	SEP 15/17	REVISION 9: PRELIMINARY DESIGN
16	SEP 15/17	REVISION 10: PRELIMINARY DESIGN
17	SEP 15/17	REVISION 11: PRELIMINARY DESIGN
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22	SEP 15/17	REVISION 16: PRELIMINARY DESIGN
23	SEP 15/17	REVISION 17: PRELIMINARY DESIGN
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73	SEP 15/17	REVISION 67: PRELIMINARY DESIGN
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76	SEP 15/17	REVISION 70: PRELIMINARY DESIGN
77	SEP 15/17	REVISION 71: PRELIMINARY DESIGN
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86	SEP 15/17	REVISION 80: PRELIMINARY DESIGN
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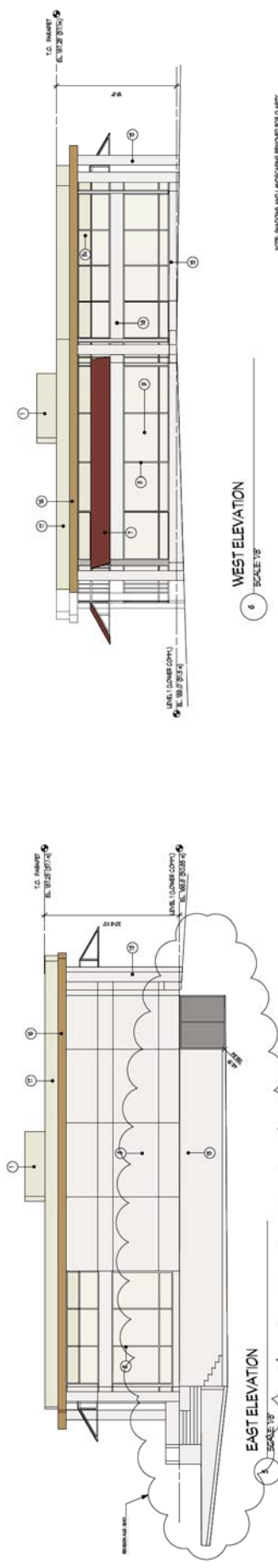
1 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

2 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

4 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



5 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

6 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

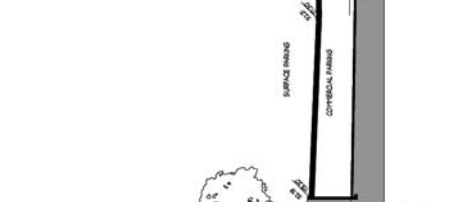
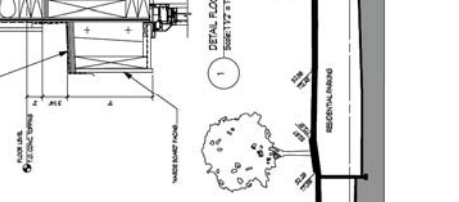
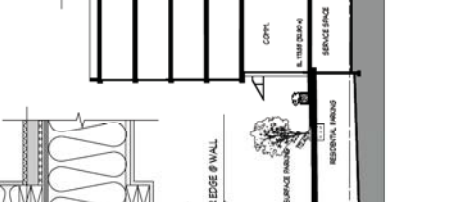
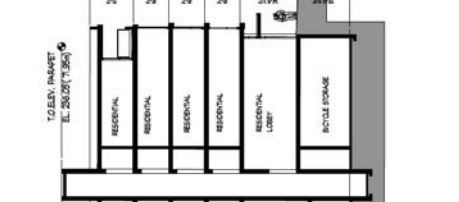
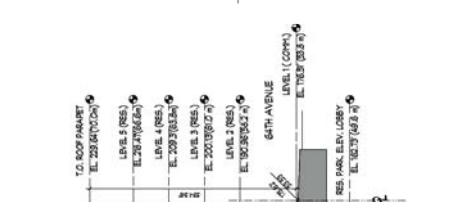
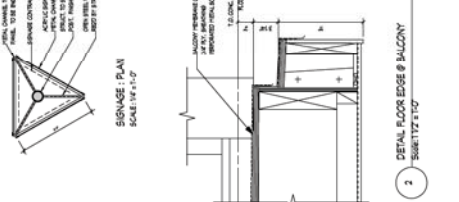
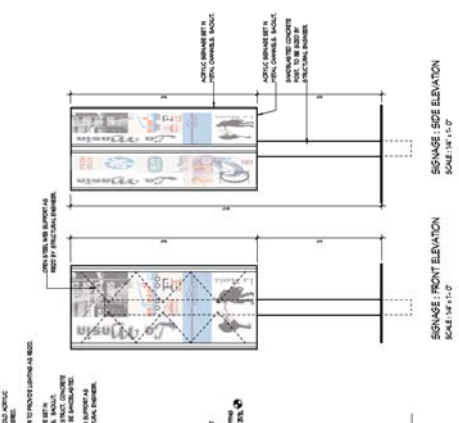
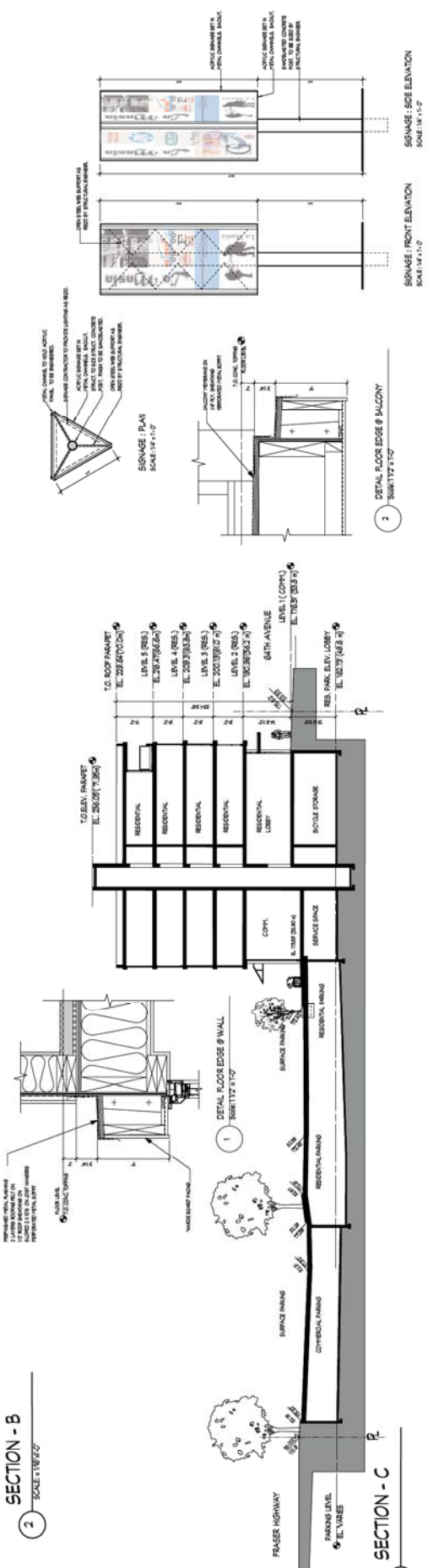
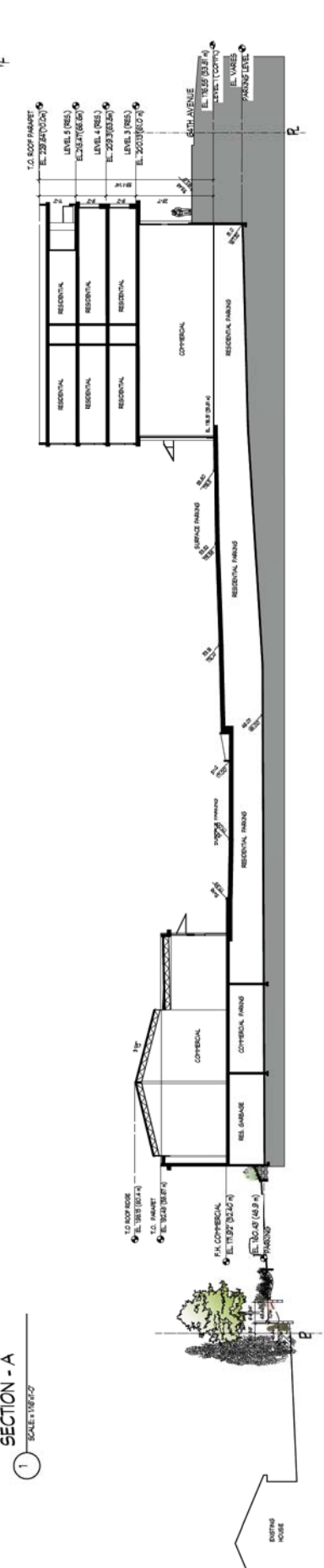
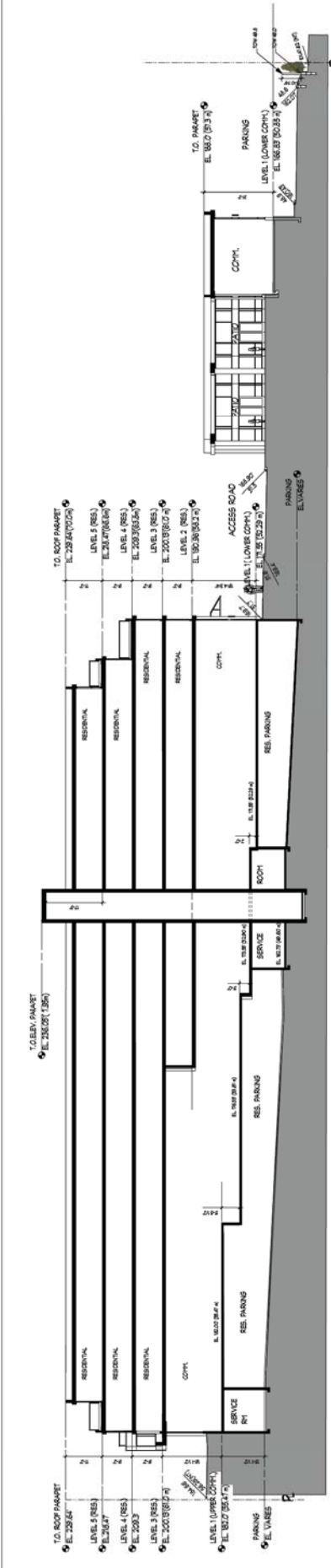
NOTE: SHOWING AND UNLOADING REPOSED FOR CLARITY

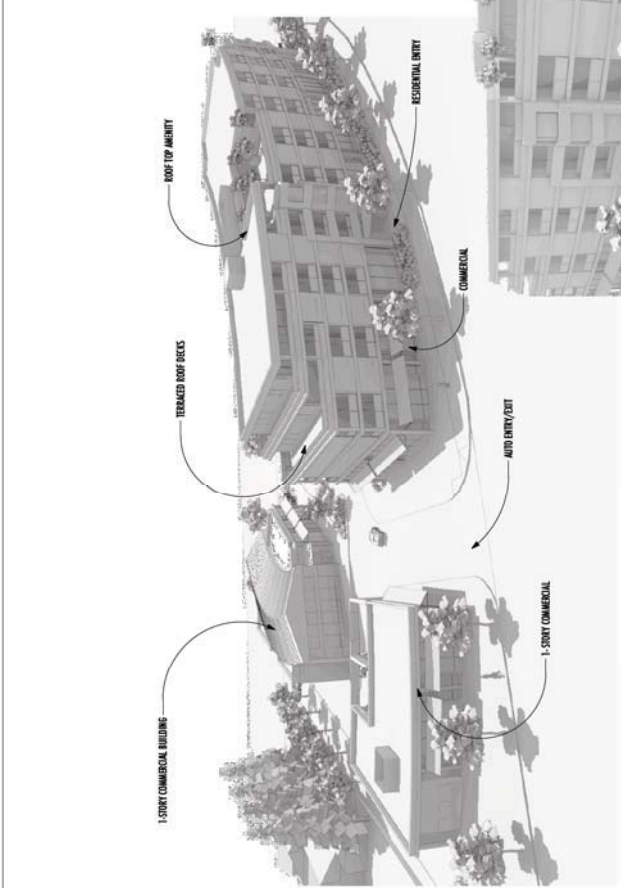
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11	SECTION	SECTION - E
12	SECTION	SECTION - F
13	SECTION	SECTION - G
14	SECTION	SECTION - H
15	SECTION	SECTION - I
16	SECTION	SECTION - J
17	SECTION	SECTION - K
18	SECTION	SECTION - L
19	SECTION	SECTION - M
20	SECTION	SECTION - N
21	SECTION	SECTION - O
22	SECTION	SECTION - P
23	SECTION	SECTION - Q
24	SECTION	SECTION - R
25	SECTION	SECTION - S
26	SECTION	SECTION - T
27	SECTION	SECTION - U
28	SECTION	SECTION - V
29	SECTION	SECTION - W
30	SECTION	SECTION - X
31	SECTION	SECTION - Y
32	SECTION	SECTION - Z

SECTIONS
 A-B, E-C

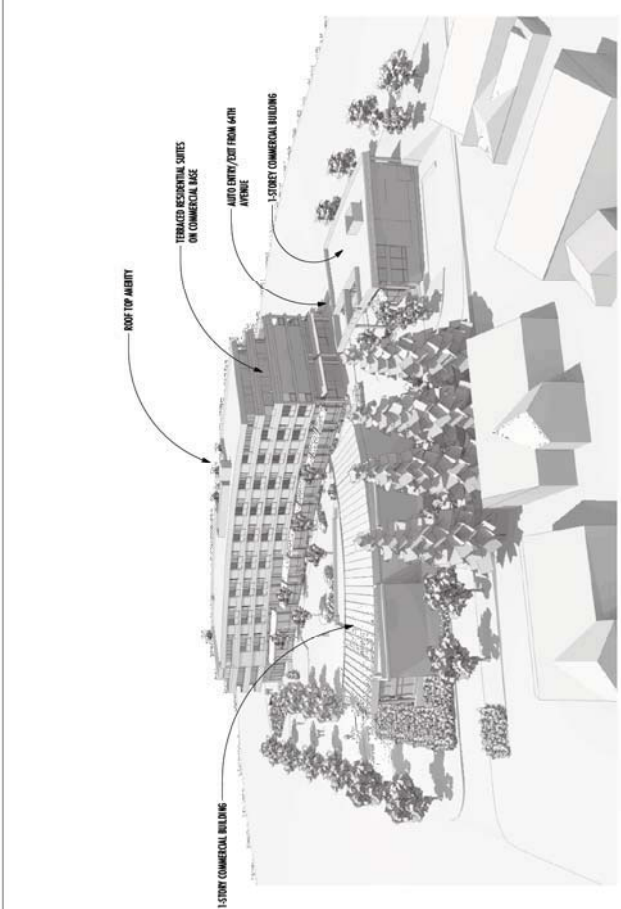
DATE: 11-11-07
 DRAWN BY: J.W.
 CHECKED BY: J.W.
 SCALE: 1/8" = 1'-0"

A10.0





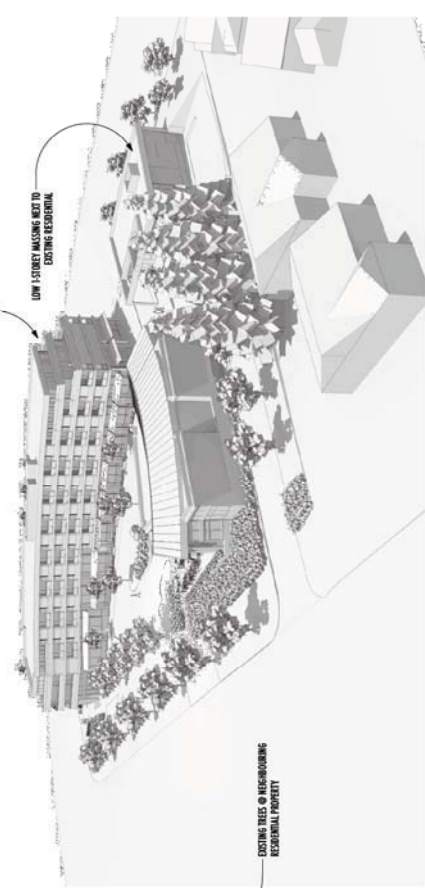
VIEW FROM NORTH-EAST



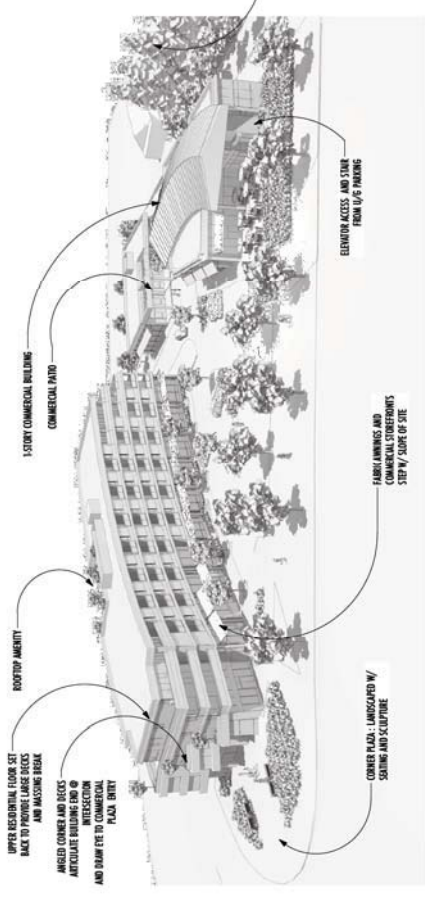
VIEW FROM EAST



VIEW OF RESIDENTIAL ENTRY



VIEW FROM SOUTH-EAST



VIEW FROM SOUTH-WEST

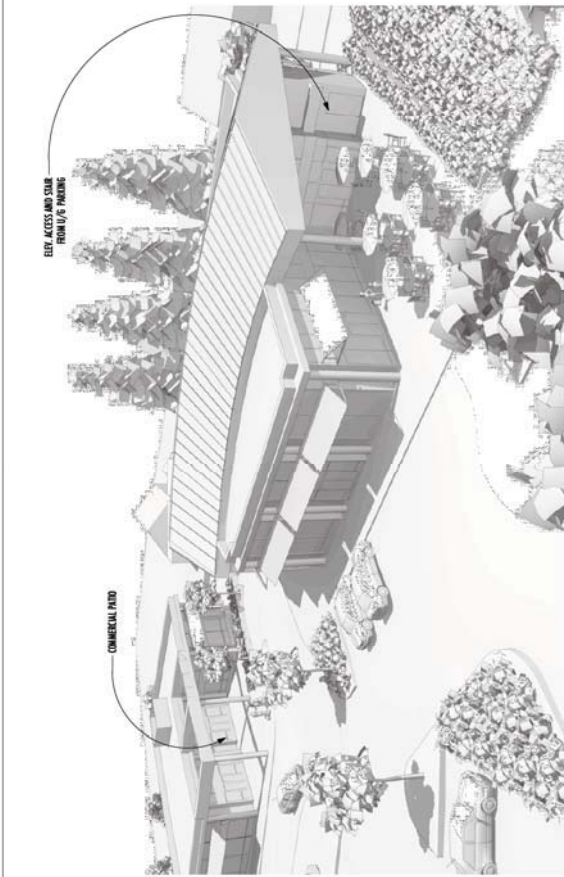
7	DEC 16/17	REVISION 04: IMP. OF OFFERS
8	NOV 27/18	REVISION 01: COMMERCIAL BRAND
9	NOV 27/18	REVISION 02: COMMERCIAL BRAND
10	NOV 28/18	REVISION 03: COMMERCIAL BRAND
11	NOV 28/18	REVISION 04: COMMERCIAL BRAND
12	DEC 10/18	REVISION 05: COMMERCIAL BRAND
13	DEC 10/18	REVISION 06: COMMERCIAL BRAND
14	DEC 10/18	REVISION 07: COMMERCIAL BRAND
15	DEC 10/18	REVISION 08: COMMERCIAL BRAND

PROJECT NO:
 Lufida Commercial/
 Residential Development
 DRAWING NO:
 MASSING
 PERSPECTIVES 1
 SHEET NO:
 J. W.
 DATE:
 2018
 SCALE:
 1:100
 DRAWN BY:
 256
 CHECKED BY:
 256
 APPROVED BY:
 256

7	DEC 16/17	REVISION OF 3RD SET OF DRAWINGS
8	NOV 21/17	REVISION TO COMMERCIAL BUILDING
9	OCT 26/17	REVISION TO COMMERCIAL BUILDING
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99	OCT 26/17	REVISED COMMERCIAL BUILDING
100	OCT 26/17	REVISED COMMERCIAL BUILDING

PROJECT NO: 1001000000
 PROJECT NAME: LaVida Commercial/ Residential Development
 DRAWING NO: PERSPECTIVES 2
 SHEET NO: 1 OF 1
 DATE: 05/08/2018
 SCALE: AS SHOWN
 DRAWN BY: J. W.

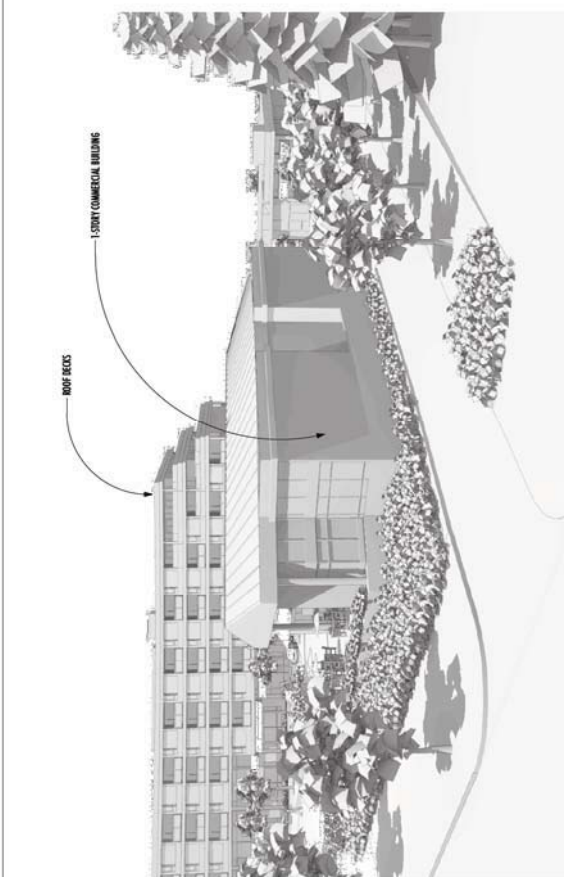
A 12.0



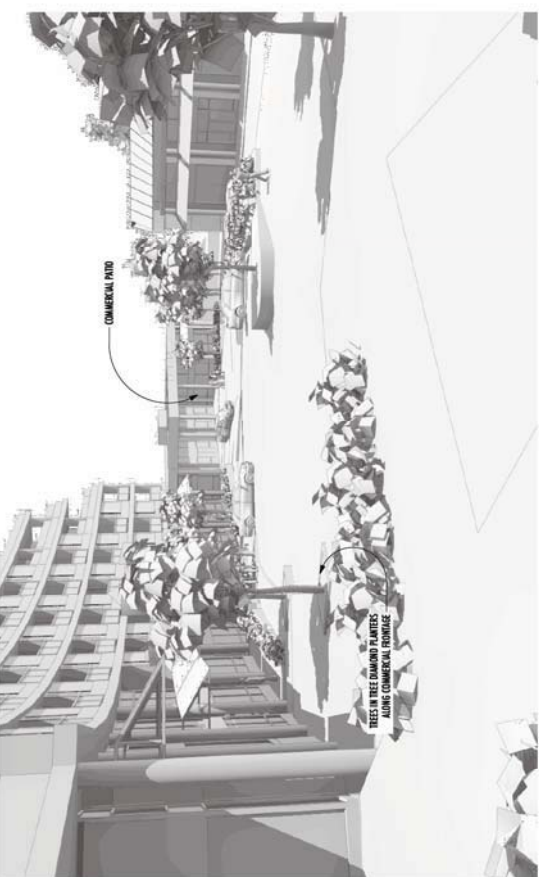
VIEW OF COMMERCIAL BUILDING



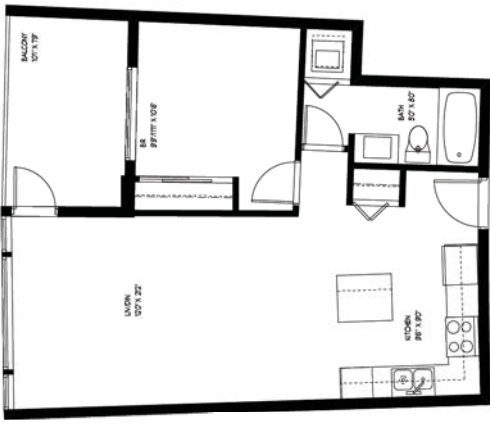
VIEW ALONG COMMERCIAL BASE



VIEW OF COMMERCIAL BUILDING WITH RESIDENTIAL BUILDING BEYOND



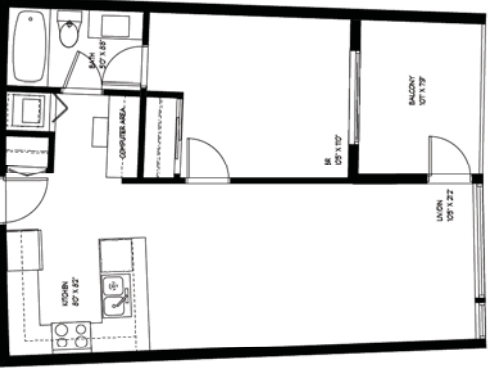
VIEW FROM SOUTH - WEST CORNER



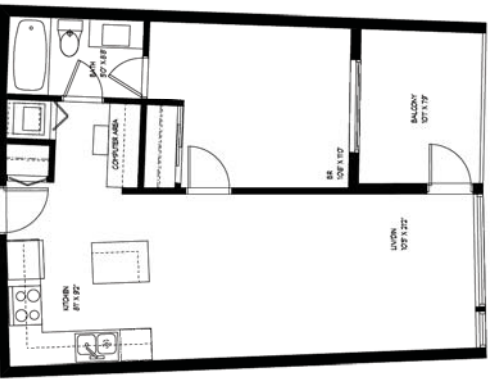
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Type 'A2' - 668 SF



Type 'A1d' - 602 SF



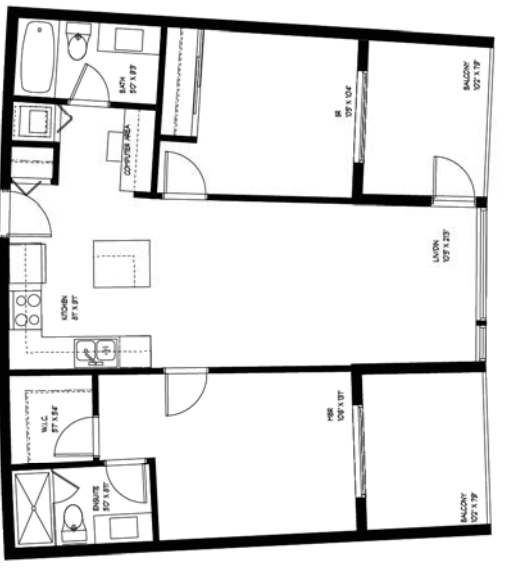
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Type 'B2' - 872 SF



Type 'B1(a)' - 876 SF



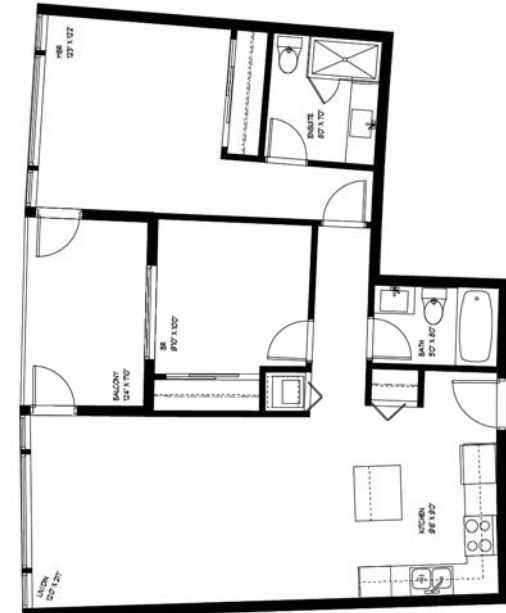
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8	NOTES	REVISIONS AND/OR CHANGES
9	REVISIONS	REVISIONS AND/OR CHANGES
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11	REVISIONS	REVISIONS AND/OR CHANGES
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20	REVISIONS	REVISIONS AND/OR CHANGES

PROJECT: **LaFida Commercial/ Residential Development**
 SHEET NO: **SUITE LAYOUTS 1**
 DRAWN BY: **J.W.**
 CHECKED BY: **DSB**
 SCALE: **AS SHOWN**
 DATE: **2010**
A 13.0

7	DEC 14/17	REVISION 4100 2D/17
8	NOV 27/17	REVISION 4100 2D/17
9	OCT 26/17	REVISION 4100 2D/17
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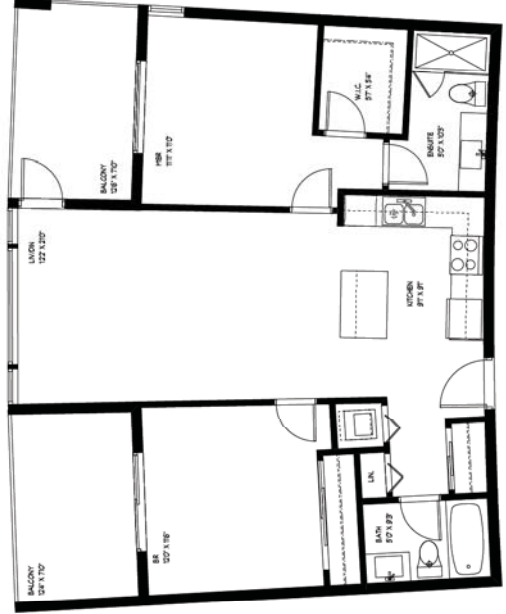
Project: **LaFidèle Commercial/ Residential Development**
 Drawing No: **SUITE LAYOUTS 2**
 Designer: **J. N.**
 Date: **2017**
 Scale: **AS SHOWN**



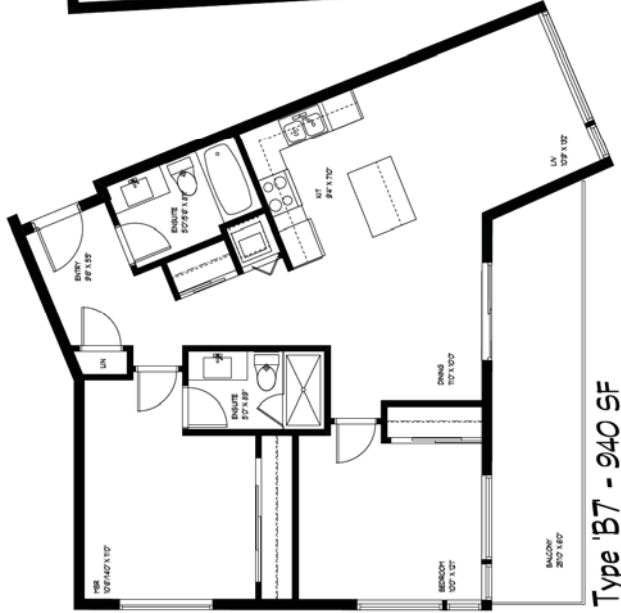
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Type 'B8' - 862 SF



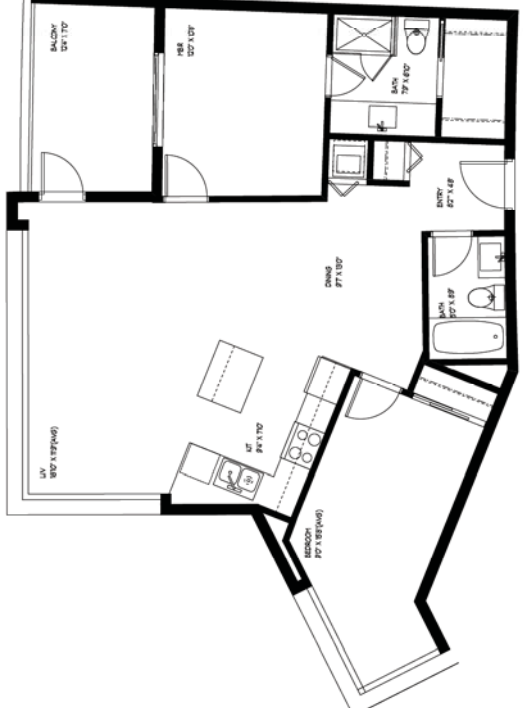
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Type 'B7' - 940 SF



Type 'B3' - 705 SF



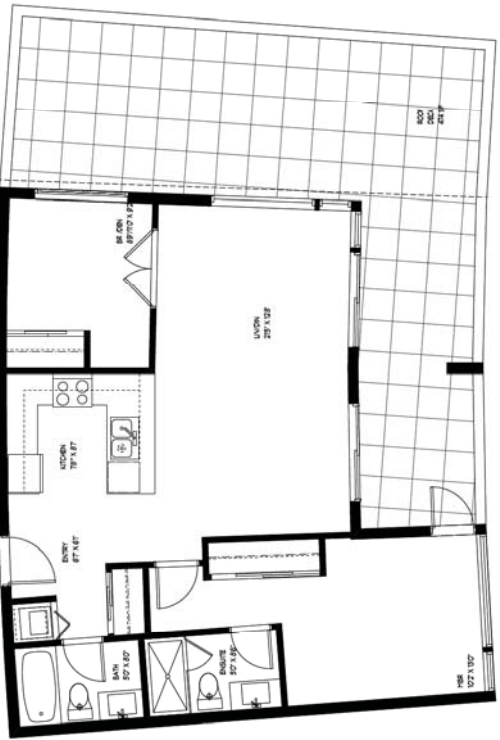
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PROJECT: LaFidra Commercial/
 Residential Development
 DRAWING NO: SUITE LAYOUTS 3

DATE: J. 11.
 SCALE: 1/8" = 1'-0"
 SHEET NO: 250

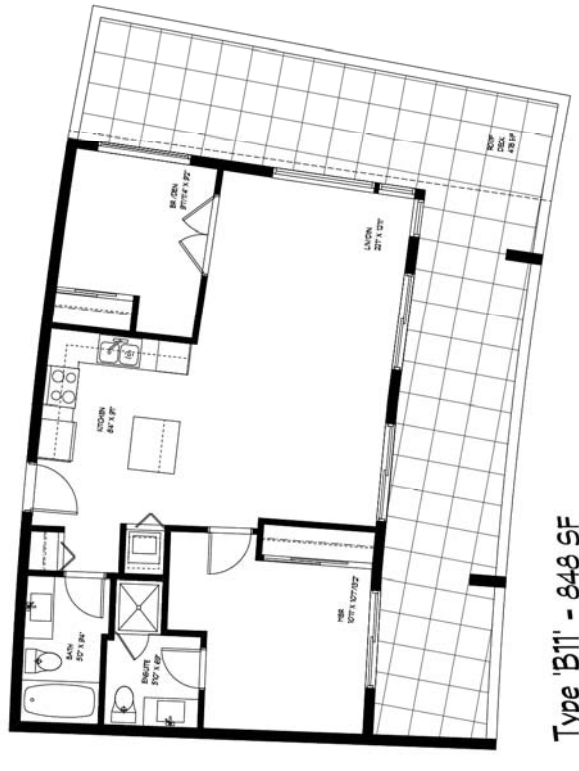
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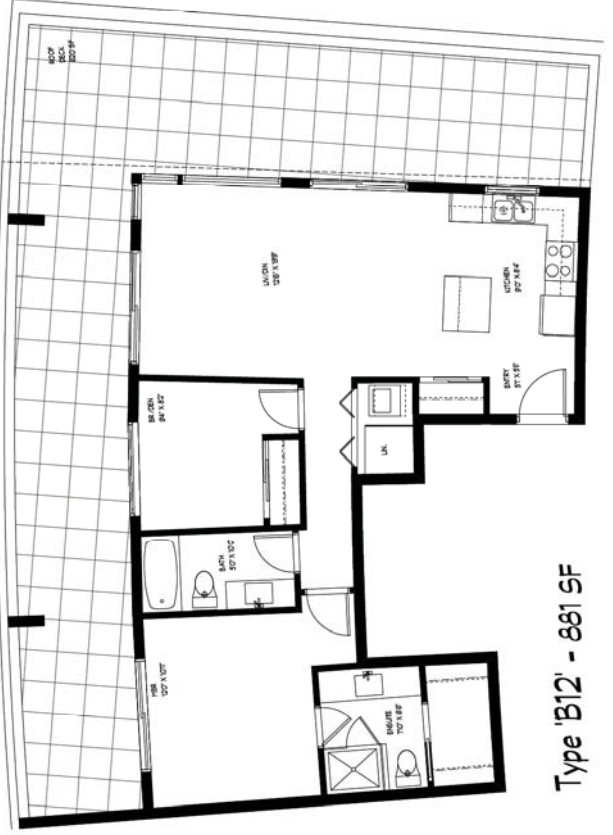
Type 'B9' - 867 SF



Type 'B10' - 919 SF



Type 'B11' - 848 SF



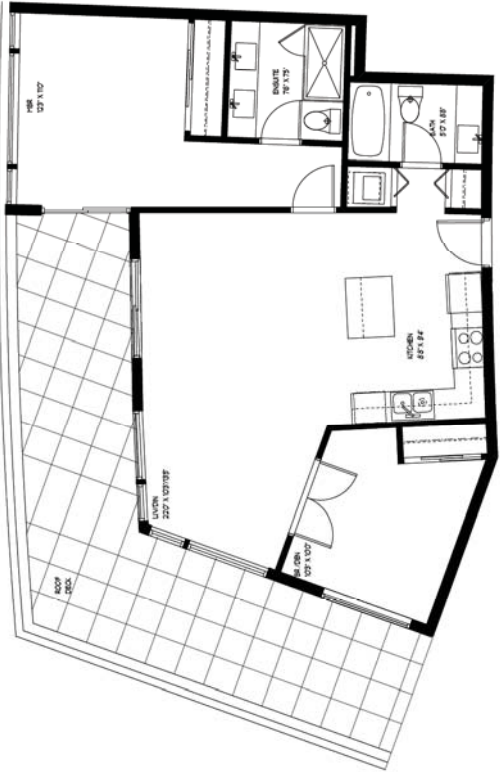
Type 'B12' - 881 SF

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5	DISC 3	REVISIONS
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2	DISC 6	REVISIONS
1	DISC 7	REVISIONS
NO.	DATE	REVISION / SUBMISSION

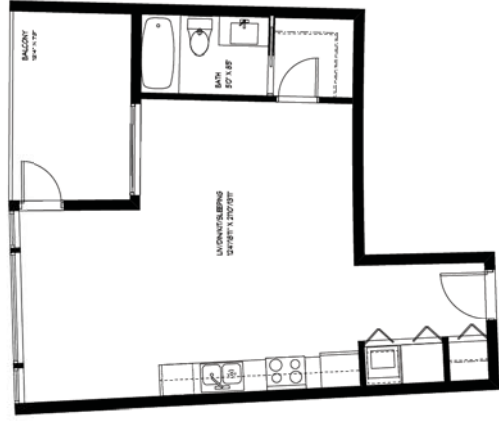
PROJECT: **LaFida Commercial / Residential Development**
 DRAWING NO: **SUITE LAYOUTS 4**

DATE: **JUN 11**
 DRAWN BY: **RDG**
 CHECKED BY: **RDG**
 PROJECT NO: **RDG**

A 13.3



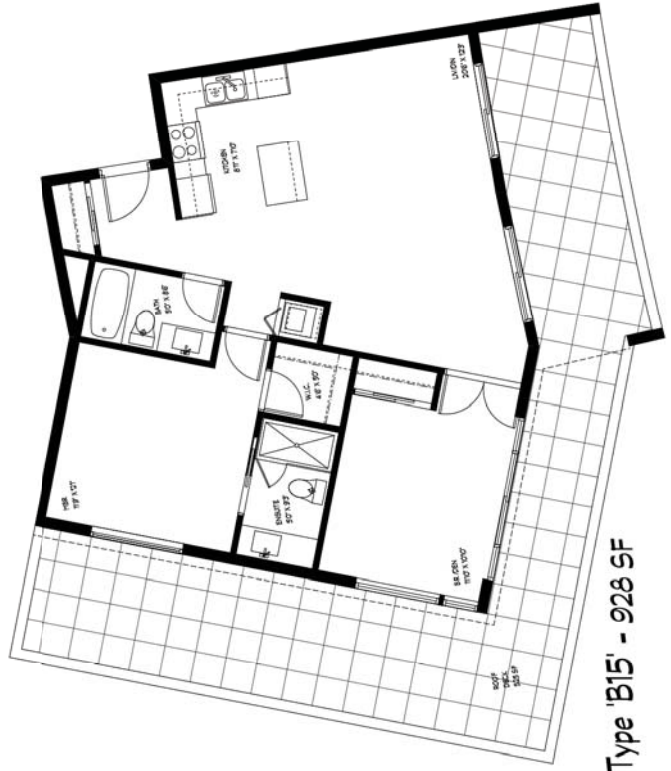
Type 'B14' - 905 SF



Type 'S1' - 539 SF



Type 'B13' - 852 SF



Type 'B15' - 928 SF

ALL NOTES REFERENCED TO PROPERTY OF SHARP & DIAMOND ARCHITECTURE & PLANNING INC. THE GENERAL CONTRACTOR SHALL REVIEW THIS PLAN FOR CONFORMANCE WITH THE CITY OF SURREY AND THE SURREY DEVELOPMENT BY-LAW AND THE SURREY ZONING BY-LAW. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SURREY AND THE SURREY DEVELOPMENT BY-LAW AND THE SURREY ZONING BY-LAW. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SURREY AND THE SURREY DEVELOPMENT BY-LAW AND THE SURREY ZONING BY-LAW.

NO.	DATE	REVISION/ISSUE
1	08/15/20	ADP SUBMISSION
2	08/15/20	ADP SUBMISSION
3	08/15/20	ADP SUBMISSION
4	10/04/20	ADDRESS CITY COMMENTS
5	10/04/20	ADDRESS CITY COMMENTS
6	10/04/20	REVISION TO ADDRESS CITY COMMENTS
7	10/04/20	ADDRESS CITY COMMENTS
8	11/12/20	ADDRESS CITY COMMENTS

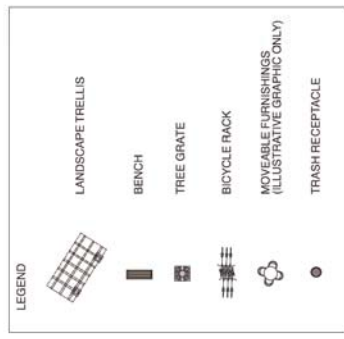
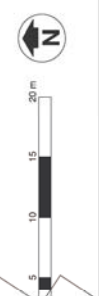
PROJECT: CITY OF SURREY (S.D. 2200-011000) REFERENCE DATE: 08/15/20
 PROJECT: La Masia Residential/ Commercial Development
 Surrey, BC

FOR: [Blank]



DRAWING: Landscape Plan

DRAWING NUMBER	L1.0
PROJECT NUMBER	06-128
DATE	11/18-11/20
SCALE	1/1"=1'-0"



NOTE LOCATION OF TREES ON CITY PROPERTY FOR REFERENCE ONLY

CONCRETE SIDEWALKS WITH UNIT PAVEMENT ACCENT BANDING

UNIT PAVEMENT SPALLS

COLOURED SAND/CONCRETE PAVING

ELECTRICAL ROOM

CONCRETE SIDEWALKS WITH UNIT PAVEMENT ACCENT BANDING

UNIT PAVEMENT SPALLS

COLOURED SAND/CONCRETE PAVING

ELECTRICAL ROOM

CONCRETE SIDEWALKS WITH UNIT PAVEMENT ACCENT BANDING

UNIT PAVEMENT SPALLS

COLOURED SAND/CONCRETE PAVING

ELECTRICAL ROOM

CONCRETE SIDEWALKS WITH UNIT PAVEMENT ACCENT BANDING

UNIT PAVEMENT SPALLS

COLOURED SAND/CONCRETE PAVING

ELECTRICAL ROOM

CONCRETE SIDEWALKS WITH UNIT PAVEMENT ACCENT BANDING

UNIT PAVEMENT SPALLS

COLOURED SAND/CONCRETE PAVING

ELECTRICAL ROOM

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THE DESIGN, DEVELOPMENT, INSTALLATION AND MAINTENANCE OF THIS PLAN IS THE RESPONSIBILITY OF THE CLIENT. THE CLIENT IS ADVISED THAT THE CITY OF SURREY DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED IN THIS PLAN. THE CITY OF SURREY IS NOT RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN. THE CITY OF SURREY IS NOT RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN.

NO.	DATE	REVISION/ISSUE
1	08/06/09	ISSUED FOR REZONING
2	08/15/09	ADP SUBMISSION
3	08/11/10	ADP SUBMISSION REVISION
4	10/04/12	ADDRESS CITY COMMENTS
5	10/06/13	ADDRESS CITY COMMENTS
6	10/08/13	REVISION OF FACILITY
7	10/09/14	ADDRESS CITY COMMENTS
8	11/23/15	ADDRESS CITY COMMENTS

CITY OF SURREY
La Macie Residential/ Commercial Development
 Surrey, BC

SHARP & DIAMOND
 ARCHITECTS ARCHITECTURE INTERIORS
 10000 136th Street, Suite 100
 Surrey, BC V3V 2S9
 Tel: 604.592.8888

DRAWING
Pedestrian Circulation Plan
 DRAWING NUMBER

L1.1

DRAWN	MFI	PROJECT NUMBER
CHECKED	DS	06-129
SCALE	1/16"=1'-0"	



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THE ORIGINAL CONTRACTOR SHALL REVIEW THIS PLAN AND SHALL ADVISE THE ARCHITECT OF ANY CONFLICTS WITH THE EXISTING CONDITIONS OF THE SITE. THE ARCHITECT MAKES NO WARRANTY, EXPRESS OR IMPLIED, AS TO THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

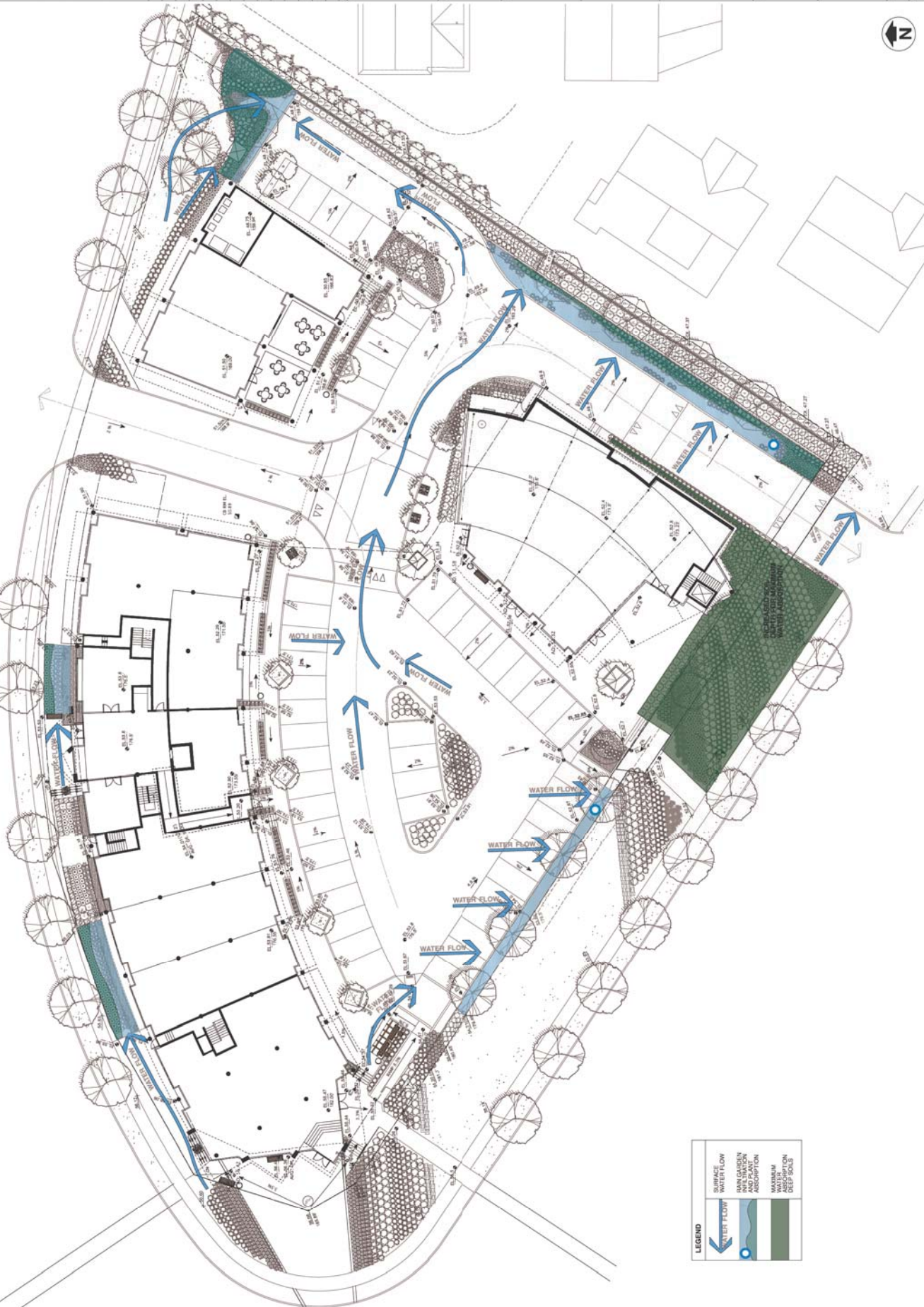
NO.	DATE	REVISION/ISSUE
1	08/06/09	ISSUED FOR PERICIZING
2	08/11/09	RFP SUBMISSION
3	08/11/09	RFP SUBMISSION REVISIONS
4	10/04/12	ADDRESS CITY COMMENTS
5	10/08/13	ADDRESS CITY COMMENTS
6	10/08/13	ADDRESS CITY COMMENTS
7	10/08/14	ADDRESS CITY COMMENTS
8	11/12/15	ADDRESS CITY COMMENTS

PROJECT: CITY OF SURREY, 15000 150 ST. SURREY, BC
 La Mesa Residential/
 Commercial Development
 Surrey, BC

SHARP & DIAMOND
 ARCHITECTS
 1500 150 ST. SURREY, BC
 V3R 4G8
 TEL: 604.593.1111
 WWW.SHARPANDDIAMOND.COM

DRAWING: Stormwater Management
 DRAWING NUMBER: L1.2

DRAWN: MR
 PROJECT NUMBER: 06-128
 CHECKED: DS
 SCALE: 1/16"=1'-0"



LEGEND

	SURFACE WATER FLOW
	RAIN GARDEN AND PLANT BED
	MAXIMUM ABSORPTION DEEP SOILS

ALL SPACES BEING PROPOSED FOR PUBLIC USE SHALL BE DESIGNED TO PROVIDE VISIBILITY TO THE STREET AND TO BE OPEN TO ALL LEVELS. THE DESIGNER SHALL PROVIDE A PLAN FOR THE PROPOSED VISIBILITY TO THE STREET AND TO BE OPEN TO ALL LEVELS. THE DESIGNER SHALL PROVIDE A PLAN FOR THE PROPOSED VISIBILITY TO THE STREET AND TO BE OPEN TO ALL LEVELS.

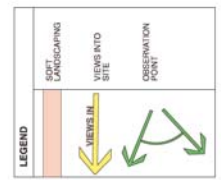
8	11.12.15	ADDRESS CITY COMMENTS
7	10.29.14	ADDRESS CITY COMMENTS
6	10.30.14	ADDRESS CITY COMMENTS
5	10.30.14	ADDRESS CITY COMMENTS
4	10.30.14	ADDRESS CITY COMMENTS
3	10.11.13	ADP SUBMISSION REVISION
2	09.15.09	ADP SUBMISSION
1	09.06.09	DESIGNED FOR REZONING
102		REVISIONS/ISSUE
SEAL		

PROJECT: CITY OF SURREY LANDSCAPE ARCHITECTURE
 La Macie Residential/ Commercial Development
 Surrey, BC

SHARP & DIAMOND
 LANDSCAPE ARCHITECTURE INC.
 2000 WEST 4TH AVENUE, SUITE 100
 VANCOUVER, BC V6L 2Y1
 TEL: 604.273.1111
 WWW.SHARPANDDIAMOND.COM

DRAWING: **CPTED Diagram**
 DRAWN BY: [Name]
 CHECKED BY: [Name]

DATE: 06-12-18
 SCALE: 1/16"=1'-0"
 PROJECT NUMBER: 06-128
 DRAWING NUMBER: DS



LANDSCAPE CPTED DESIGN CONCEPTS

- 1. Visibility:** All open space areas are designed with maximum visibility in mind, with clear view lines from streets and other public areas. Walls, landscape elements, features, and planting are all designed to prevent the creation of hiding places. Most open space areas will be visible from unobstructed building areas as well, encourage pedestrian flow and visibility. Spaces are seamlessly integrate with the sidewalks and streets to provide clear sightlines for monitoring.
- 2. Lighting:** The residential component has windows and balconies facing the courtyard and the street, providing clear monitoring. Landscape areas are fully lit. Trees and other landscape elements will be coordinated with street and pedestrian lighting to prevent dark areas. Pizzas and other areas away from street lighting will be lit from perimeter lighting, lights on the buildings, or pylon lights as needed.
- 3. Planting:** Planting has been designed with visibility in mind. Low plant materials are used in urban areas and close to buildings. Screening is designed to ensure hiding places are not created. All trees will be planted on a 7 foot standard, and maintained to allow view underneath the tree canopies. Seating provided at key places to encourage informal and engaged watching. Seating is through formal benches, and other furnishing are arranged in places that can be observed from walkways, buildings, and vehicles. Public spaces provide additional seating to further encourage use of the spaces.
- 5-Design Elements:** Furnishings, signage, walls, and other landscape elements will be designed to be vandal resistant, but not appear armored. Materials used for walls, benches, and other furniture will be durable, but have a high-quality appearance that does not appear armored. These basic principals, in coordination with the architecture, is helping to design a commercial and residential environment that will feel safe and inviting. The landscape areas are being designed to encourage as much public use as possible, and to create a strong sense of community.

ALL NOTES REFERENCED HEREAFTER BY NUMBER OR REFERENCE TO A SPECIFIC SHEET OF THIS DRAWING ARE TO BE READ IN CONJUNCTION WITH THE GENERAL CONTRACTOR SHALL REVIEW THIS DRAWING FOR CONFLICTS WITH ANY OTHER DRAWINGS AND SHALL BE RESPONSIBLE FOR RESOLVING ANY CONFLICTS. THE GENERAL CONTRACTOR SHALL REVIEW THIS DRAWING FOR CONFLICTS WITH ANY OTHER DRAWINGS AND SHALL BE RESPONSIBLE FOR RESOLVING ANY CONFLICTS. THE GENERAL CONTRACTOR SHALL REVIEW THIS DRAWING FOR CONFLICTS WITH ANY OTHER DRAWINGS AND SHALL BE RESPONSIBLE FOR RESOLVING ANY CONFLICTS.

NO.	DATE	REVISION/ISSUE
1	09/08/09	ISSUED FOR PERMITTING
2	09/10/09	ADP SUBMISSION
3	09/10/09	ADP SUBMISSION REVISIONS
4	10/04/10	ADP SUBMISSION
5	10/08/10	ADDRESS CITY COMMENTS
6	10/08/10	REVISION TO FACILITY
7	10/08/10	ADDRESS CITY COMMENTS
8	11/12/10	ADDRESS CITY COMMENTS

PROJECT: CITY OF SURREY, 4520-15160 151ST STREET, SURREY, BC
 Le Masie Residential/
 Commercial Development
 Surrey, BC

SHARP & DIAMOND
 LANDSCAPE ARCHITECTURE INC.
 10000 151ST STREET, SURREY, BC
 TEL: 604-591-1111
 WWW.SHARPDANDIAMOND.COM

DRAWING: Detail Plans
 PROJECT NUMBER: 06-128
 DRAWN: MFL
 CHECKED: DBS
 SCALE: 1/16" = 1'-0"

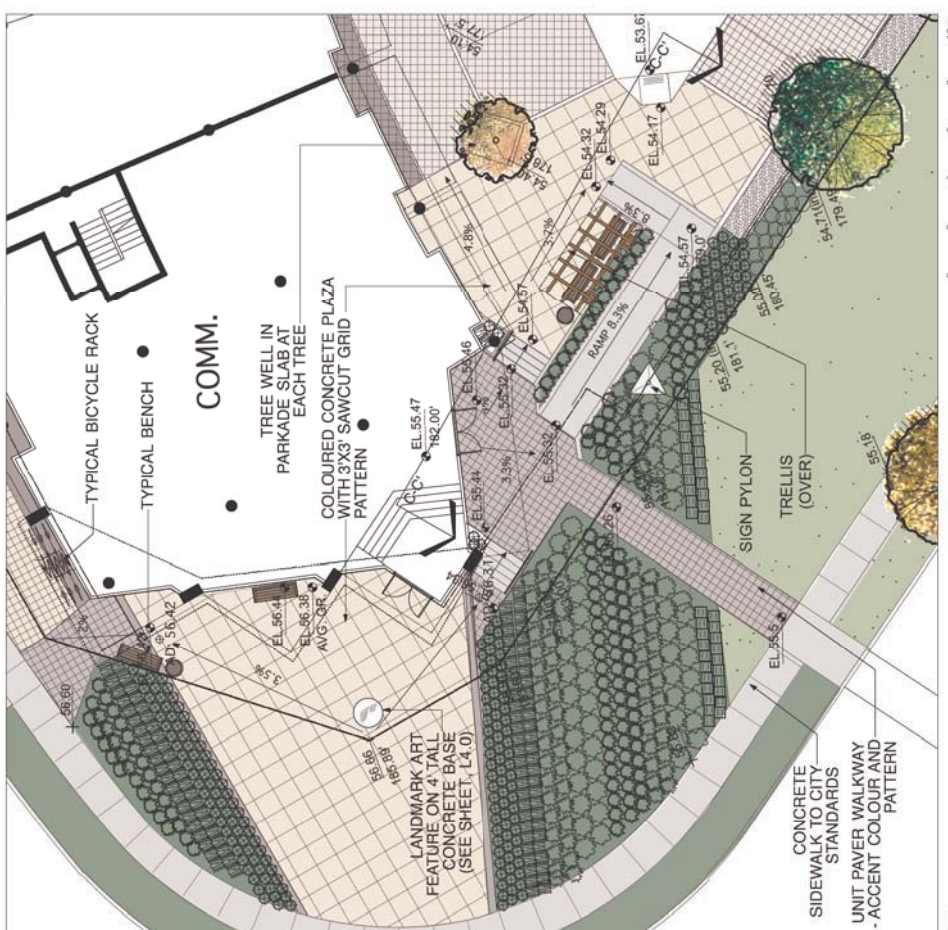
10' m
 0 2 4 6 8 10
 1" = 16'-0"

1 STARS AND RAMP AT S.W. CORNER



2 RAMP AND STAIRS AT SITE ENTRANCE

1 STARS AND RAMP AT S.W. CORNER



1 STARS AND RAMP AT S.W. CORNER

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NO.	DATE	REVISION/ISSUE
1	08/08/09	ISSUED FOR PERMITTING
2	08/10/09	ADP SUBMISSION
3	10/01/09	ADP SUBMISSION REVISIONS
4	10/01/09	ADP SUBMISSION REVISIONS
5	10/08/09	ADP SUBMISSION REVISIONS
6	10/08/09	ADP SUBMISSION REVISIONS
7	10/08/09	ADP SUBMISSION REVISIONS
8	11/12/09	ADP SUBMISSION REVISIONS

SEAL

PROJECT: CITY OF SURREY, 4150-1500
 Le Masie Residential/
 Commercial Development
 Surrey, BC

FOR

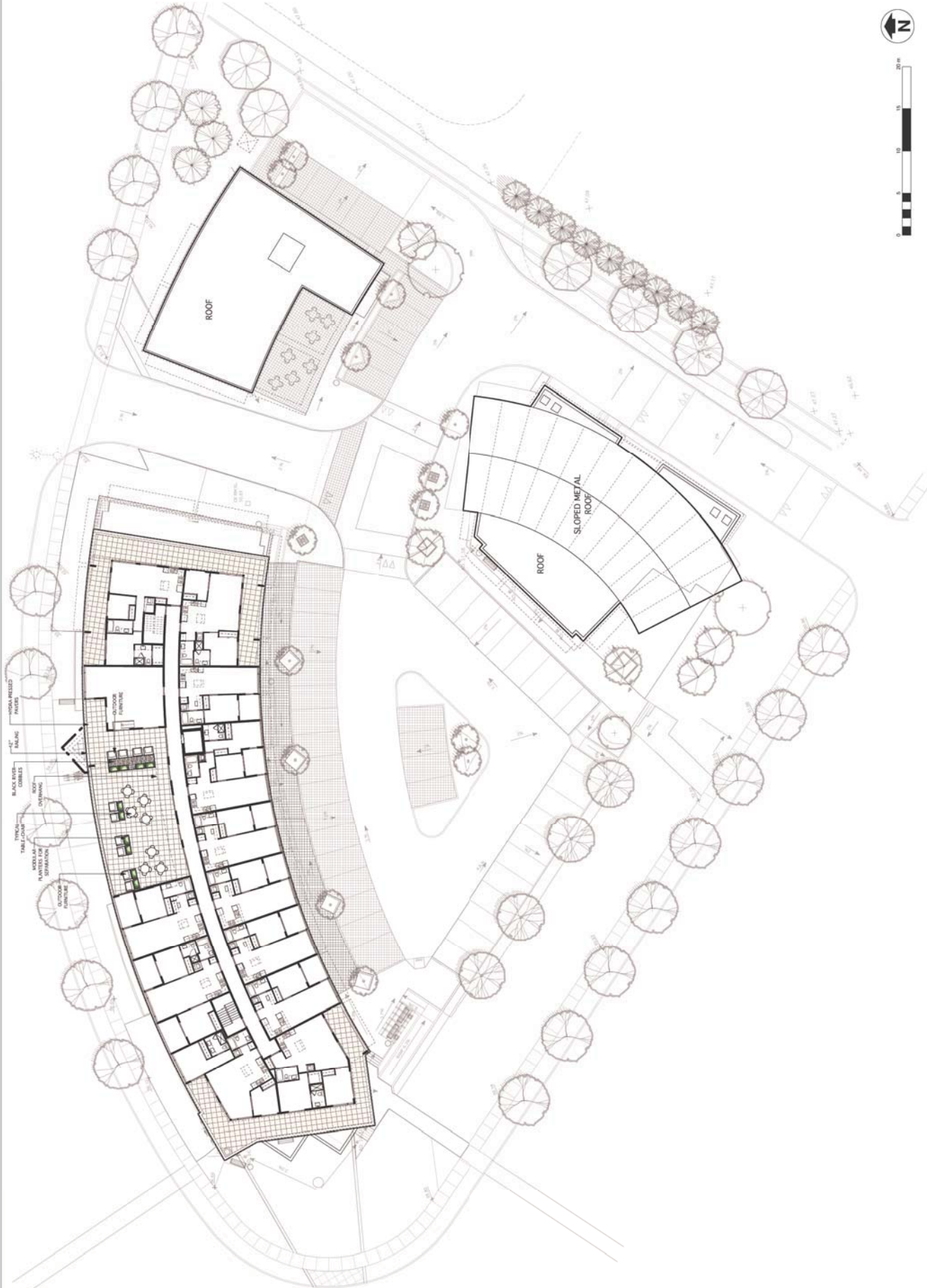


SHARP & DIAMOND
 LANDSCAPE ARCHITECTURE & PLANNING
 4150-1500
 SURREY, BC V3R 2G8
 TEL: 604.593.8888
 WWW.SHARPDANDIAMOND.COM

DRAWING NUMBER

L1.5

DRAWING NUMBER	PROJECT NUMBER
MTL	06-128
DATE	SCALE
DS	1/16"=1'-0"



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NO.	DATE	REVISION/ISSUE
1	08/11/20	ISSUED FOR PERROWING
2	08/11/20	ADP SUBMISSION
3	08/11/20	ADP SUBMISSION REVISIONS
4	08/11/20	ADP SUBMISSION
5	08/11/20	ADDRESS CITY COMMENTS
6	08/11/20	ADDRESS CITY COMMENTS
7	08/24/20	REVISION OF ASSISTION
8	11/12/20	ADDRESS CITY COMMENTS

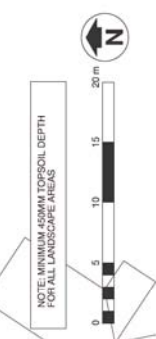
PROJECT: CITY OF SURREY #A16-0010-00-00-00
La Masia Residential/ Commercial Development
 Surrey, BC



SHARP & DIAMOND
 LANDSCAPE ARCHITECTURE & PLANNING INC.
 2200 WESTERN AVENUE
 SUITE 200
 VANCOUVER, BC V6V 1W5
 TEL: 604.273.8888
 WWW.SHARPANDDIAMOND.COM

Planting Plan

L1.6
 PROJECT NUMBER: 06-128
 DRAWN: MR
 CHECKED: DS
 SCALE: 1/16"=1'-0"



NOTE: MINIMUM GRASSY TOSPOIL DEPTH FOR ALL LANDSCAPE AREAS

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NO.	DATE	REVISION/ISSUE
1	09/01/09	ISSUED FOR PREVIEWING
2	09/15/09	ADP SUBMISSION
3	09/15/09	ADP SUBMISSION REVISIONS
4	10/04/12	ADDRESS CITY COMMENTS
5	10/08/12	ADDRESS CITY COMMENTS
6	10/08/12	REVISION TO EXISTING
7	11/12/15	ADDRESS CITY COMMENTS

PROJECT: CITY OF SURREY, FILE # 2002-011000
 REVISION DATE: 08/15/15
 La Masia Residential/
 Commercial Development
 Surrey, BC

FOR: **RDG**
 MANAGEMENT LTD
 107-3299 92A Ave., Langley, BC
 V1V 2S2

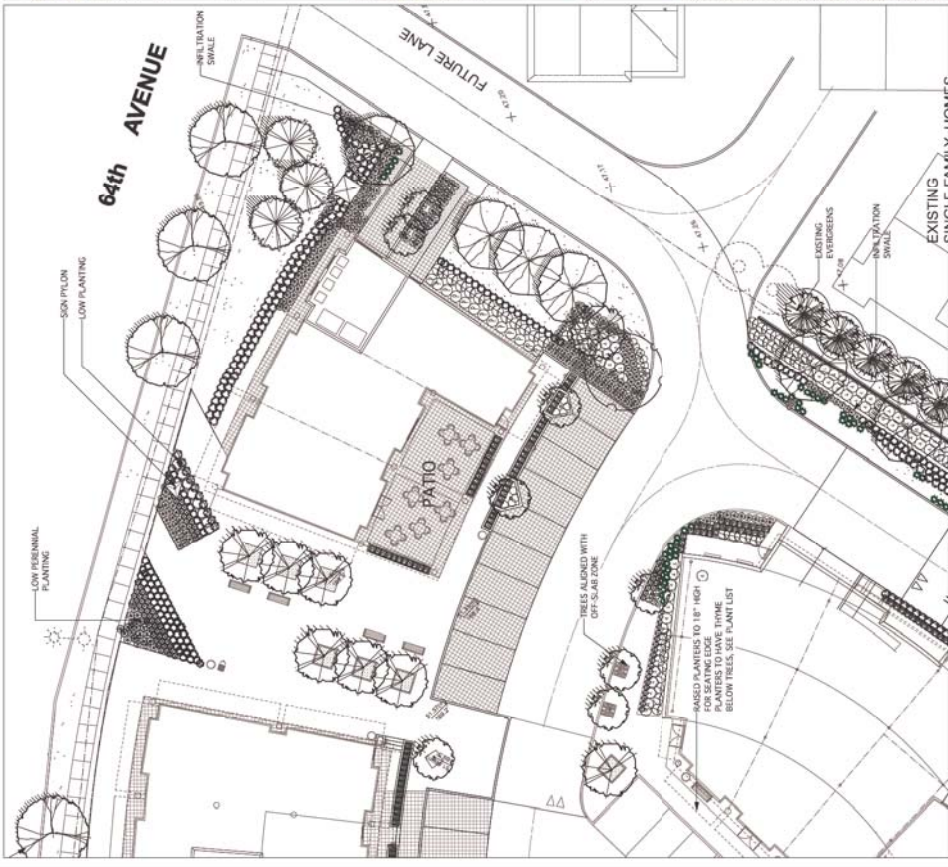
SHARP & DIAMOND
 LANDSCAPE ARCHITECTURE & PLANNING
 107-3299 92A Ave., Langley, BC
 V1V 2S2
 TEL: 604-881-1111
 WWW.SHARPANDDIAMOND.COM

DRAWING NUMBER:
**Future Condition
 Landscape Plan**

PROJECT NUMBER:
 06-128
 SCALE:
 1/16"=1'-0"



FUTURE CONDITION LANDSCAPE PLAN



FUTURE CONDITION PLANTING PLAN

LEGEND

- LANDSCAPE TRELLIS
- BENCH
- TREE GRATE
- BICYCLE RACK
- MOVEABLE FURNISHINGS (ILLUSTRATIVE GRAPHIC ONLY)
- TRASH RECEPTACLE



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CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL MATERIALS AND FINISHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL MATERIALS AND FINISHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL MATERIALS AND FINISHES.

NO.	DATE	REVISION/ISSUE
1	09/20/20	ISSUED FOR PERMITTING
2	09/20/20	REVISION/ISSUE
3	09/20/20	REVISION/ISSUE
4	09/20/20	REVISION/ISSUE
5	09/20/20	REVISION/ISSUE
6	09/20/20	REVISION/ISSUE
7	09/20/20	REVISION/ISSUE
8	09/20/20	REVISION/ISSUE

PROJECT: CITY OF SURREY, 14100 166 STREET, SURREY, BC
 Le Masia Residential/Commercial Development
 Surrey, BC

FOR

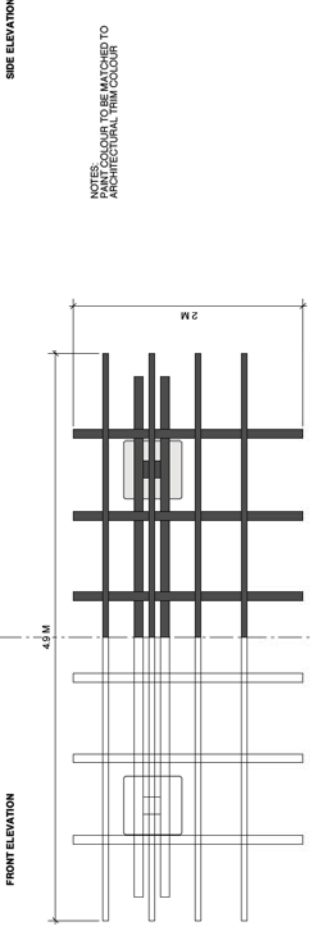
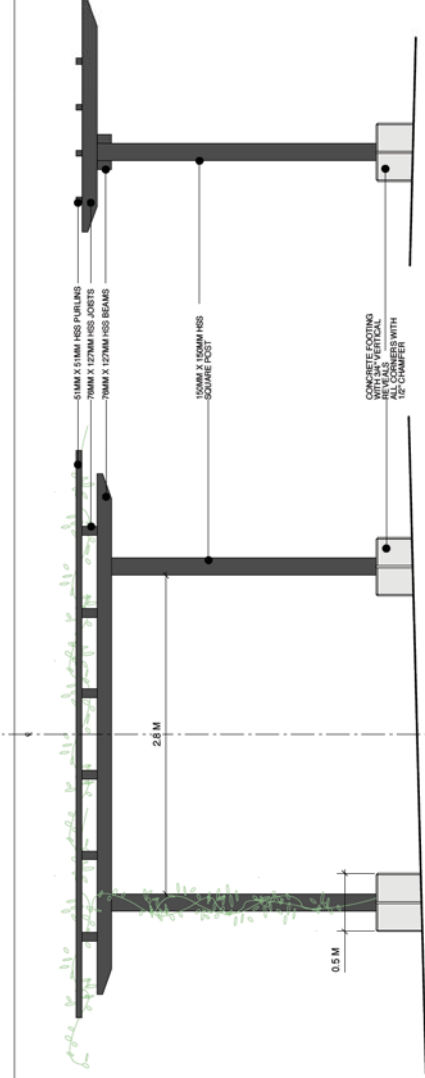


SHARP & DIAMOND
 LANDSCAPE ARCHITECTURE & PLANNING
 14100 166 STREET, SURREY, BC
 TEL: 604-273-1111
 WWW.SHARPANDDIAMOND.COM

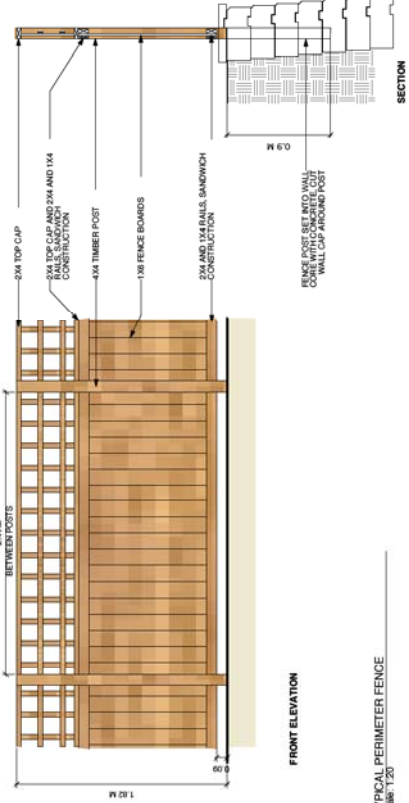
Preliminary Details

DRAWING NUMBER: L2.3

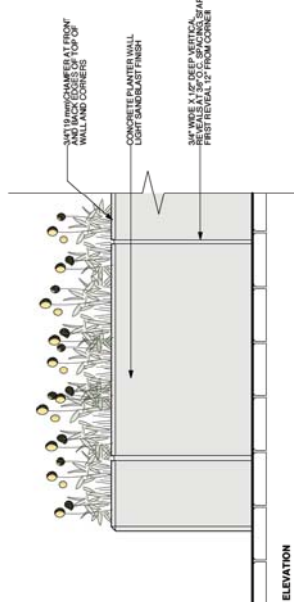
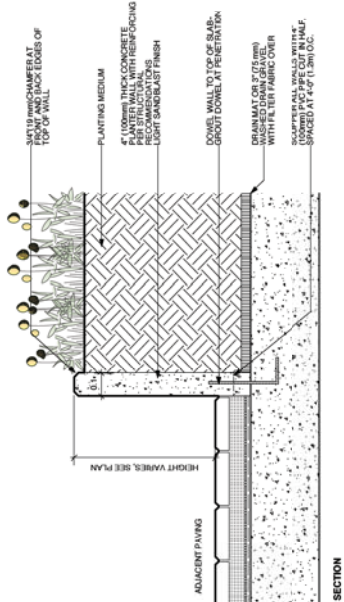
DRAWN: DS	PROJECT NUMBER: 06-128
CHECKED: DS	SCALE: AS SHOWN



1 LANDSCAPE TRELLIS
 Scale: 1:20



2 TYPICAL PERIMETER FENCE
 Scale: 1:20



3 TYPICAL PLANTER WALL
 Scale: 1:10

ALL NEW PLANTING SHALL BE SUBJECT TO THE CITY OF SURREY'S LANDSCAPE ARCHITECTURE PLANING, WITHOUT FURTHER DELAY TO THE PERMITTEE.

THE GENERAL CONTRACTOR SHALL VERIFY THE EXISTING AND PROPOSED PLANTING AND TO LAID AND SHALL VERIFY THE PLANTING IS AS SHOWN ON THE DRAWINGS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTING AND TO REPLACE ANY PLANTING THAT IS DAMAGED OR DESTROYED DURING THE CONSTRUCTION OF THE PROJECT.

CONTRACTOR SHALL VERIFY THE EXISTING LANDSCAPE ARCHITECTURE PLAN, INCLUDING ALL PLANTING AND TO LAID AND SHALL VERIFY THE PLANTING IS AS SHOWN ON THE DRAWINGS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTING AND TO REPLACE ANY PLANTING THAT IS DAMAGED OR DESTROYED DURING THE CONSTRUCTION OF THE PROJECT.

NO.	DATE	REVISION/ISSUE
1	08/13/20	ADP SUBMISSION REVISIONS
2	08/13/20	ADP SUBMISSION
3	08/13/20	ADDRESS CITY COMMENTS
4	10/04/21	ADDRESS CITY COMMENTS
5	10/08/21	ADDRESS CITY COMMENTS
6	10/08/21	REVISION TO JUSTIFICATION
7	10/08/24	ADDRESS CITY COMMENTS
8	11/12/25	ADDRESS CITY COMMENTS

PROJECT: CITY OF SURREY, LAKE LUTHER & 65TH AVENUE
 REFINED DATE: 06/15/25

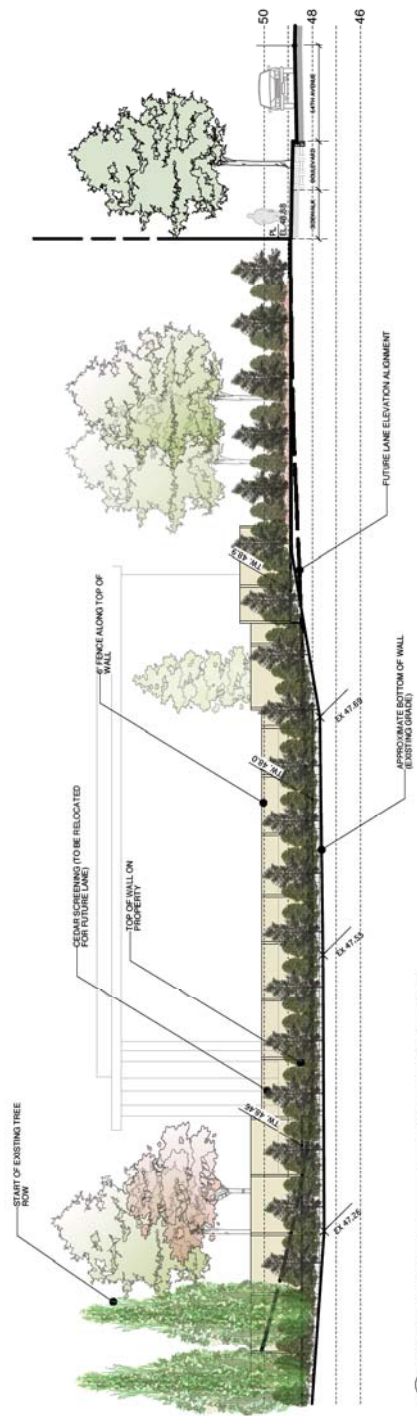
La Massia Residential/
 Commercial Development
 Surrey, BC

FOR: _____

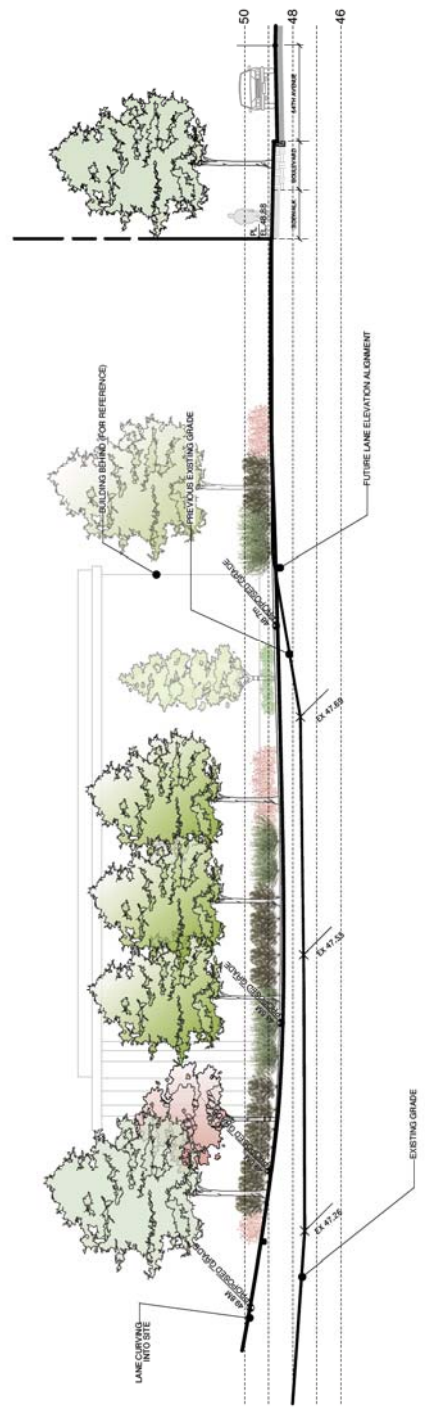


DRAWING: Sections

DRAWING NUMBER		L2.4	
DRAWN	PROJECT NUMBER	DATE	SCALE
MR	06-126		1/8"=1'-0"
CHECKED	DS		



(H) SECTION ALONG CL OF FUTURE LANE BEFORE LANE CONSTRUCTION
 SCALE 1/8" = 1'-0"



(H) SECTION ALONG CL OF FUTURE LANE AFTER LANE CONSTRUCTION
 SCALE 1/8" = 1'-0"



Acer rubrum
Red Maple



Cercidiphyllum japonicum
Katsura Tree



Magnolia soulangeana
Saucer Magnolia



Ficus sylvatica 'Dawson Gold'
Dawyck Golden Beech



Pinus sylvestris
Scots Pine



Cornus kousa
Chinese Dogwood

TREES



Buxus microphylla 'Winter Beauty'
Korean Boxwood



Berberis thunbergii 'Koboldgrün'
Barberry



Pinus mugo 'Mops'
Mugo Pine



Pieris japonica 'Forest Flame'
Lily-Of-The-Valley Shrub



Vaccinium ovatum 'Thunderbolt'
Evergreen Huckleberry



Cornus stolonifera
Red Osier Dogwood



Sarcococca hookeriana 'Humilis'
Himalayan Sweet Box



Taxus x media 'Hicks'
Hick's Yew



Prunus laurifolia
Portuguese Laurel



Polystichum munitum
Western Sword Fern



Gaultheria shallon
Salal

SHRUBS



Stipa tenuissima
Mexican Feather Grass



Pennisetum alopecuroides 'Hameln'
Hameln Fountain Grass



Helictotrichon sempervirens
Blue Oat Grass



Miscanthus sinensis 'Yaku Jima'
Yaku Jima Maiden Grass



Carex morrowii
Morrow's Sedge



Solan 'Autumn Joy'
Stonecrop



Echinacea purpurea
Purple Coneflower



Hemerocallis 'Little Grapette'
Little Grapette Daylily



Hosta Blue Angel
Blue Angel Hosta



Rubus caryocarpoides
Emerald Carpet



Iris Kaempferi
Japanese Iris



Echiochloa palustris
Common Spike Rush



Lavandula angustifolia 'Hidcote'
English Lavender



Heuchera micrantha
Coral Bells



Campanula trachelium 'Mdm Galen'
Trumpet Vine

GRASSES, GROUND COVERS, AND PERENNIALS

PLANT MATERIAL

VINES

Parthenocissus quinquefolia
Virginia Creeper

Thymus pseudolanuginosus
Woody Thyme

PLANT LIST

Table with columns: TREES QTY., BOTANICAL NAME, COMMON NAME, SIZE, SPACING. Includes rows for Acer rubrum, Cornus kousa, Magnolia soulangeana, Ficus sylvatica, Pinus sylvestris, Cornus stolonifera, Pieris japonica, Vaccinium ovatum, Cornus stolonifera, etc.

PLANT LIST

Table with columns: PERENNIALS & VINES QTY., BOTANICAL NAME, COMMON NAME, SIZE, SPACING. Includes rows for Miscanthus sinensis, Helictotrichon sempervirens, Stipa tenuissima, Carex morrowii, etc.

NARROW FORM TO ALLOW VISIBILITY INTO SITE

STREET TREE OPTIONS



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Table with columns: NO., DATE, REVISION/ISSUE. Includes rows for 11.12.15, 10.28.15, 10.28.15, 10.28.15, 10.14.15, 09.11.15, 09.10.15, 09.08.15.

PROJECT: CITY OF SURREY, 1100 WEST 10TH AVENUE, SUITE 100, VANCOUVER, BC V6H 2E6. DRAWING NO.: 1100-10-01-01. DRAWING TITLE: LANDSCAPE ARCHITECTURE. DRAWING DATE: 11.12.15. DRAWING SCALE: 1/8"=1'-0".

La Masin Residential/ Commercial Development Surrey, BC FOR



SHARP & DIAMOND ARCHITECTS INC. 1100 WEST 10TH AVENUE, SUITE 100, VANCOUVER, BC V6H 2E6. TEL: 604-271-1111. WWW.SHARPANDDIAMOND.COM

DRAWING NUMBER: L3

Table with columns: DRAWN, MR, PROJECT NUMBER, 05-128. CHECKED, DS, SCALE, 1/8"=1'-0".



Seating Area

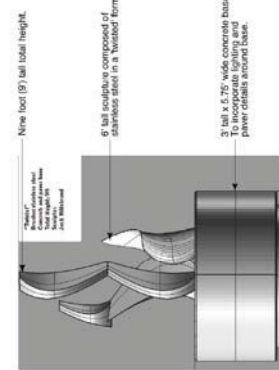
Roof Top Seating Area



Seating Area and Planting

Drought-Tolerant Planting

Pedestrian Connection

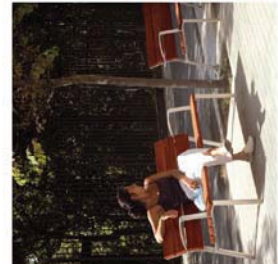


Stormwater Treatment

Permeable Paving Parking Lot

Trellis Feature

Landmark Feature - Public Art



Landscapiforms-Neoliviano Bench

Landscapiforms Petoskey Trash Receptacle

Bike Rack

Lumec Lighting Leonis Series

Abbotsford Concrete Unit Pavers

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NO.	DATE	REVISION/ISSUE
1	09/06/20	ISSUED FOR PERFORMING
2	09/10/20	APP SUBMISSION
3	09/11/20	APP SUBMISSION REVISIONS
4	10/06/19	ADDRESS CITY COMMENTS
5	10/06/19	REVISION TO EASTERN PORTION OF PROPERTY
6	10/06/19	REVISION TO EASTERN PORTION OF PROPERTY
7	10/29/20	ADDRESS CITY COMMENTS
8	11/02/21	ADDRESS CITY COMMENTS

PROJECT: CITY OF SURREY FILE # 2019-21403
 MEETING DATE: 06/10/19
La Masia Residential/ Commercial Development
 Surrey, BC
 FOR:

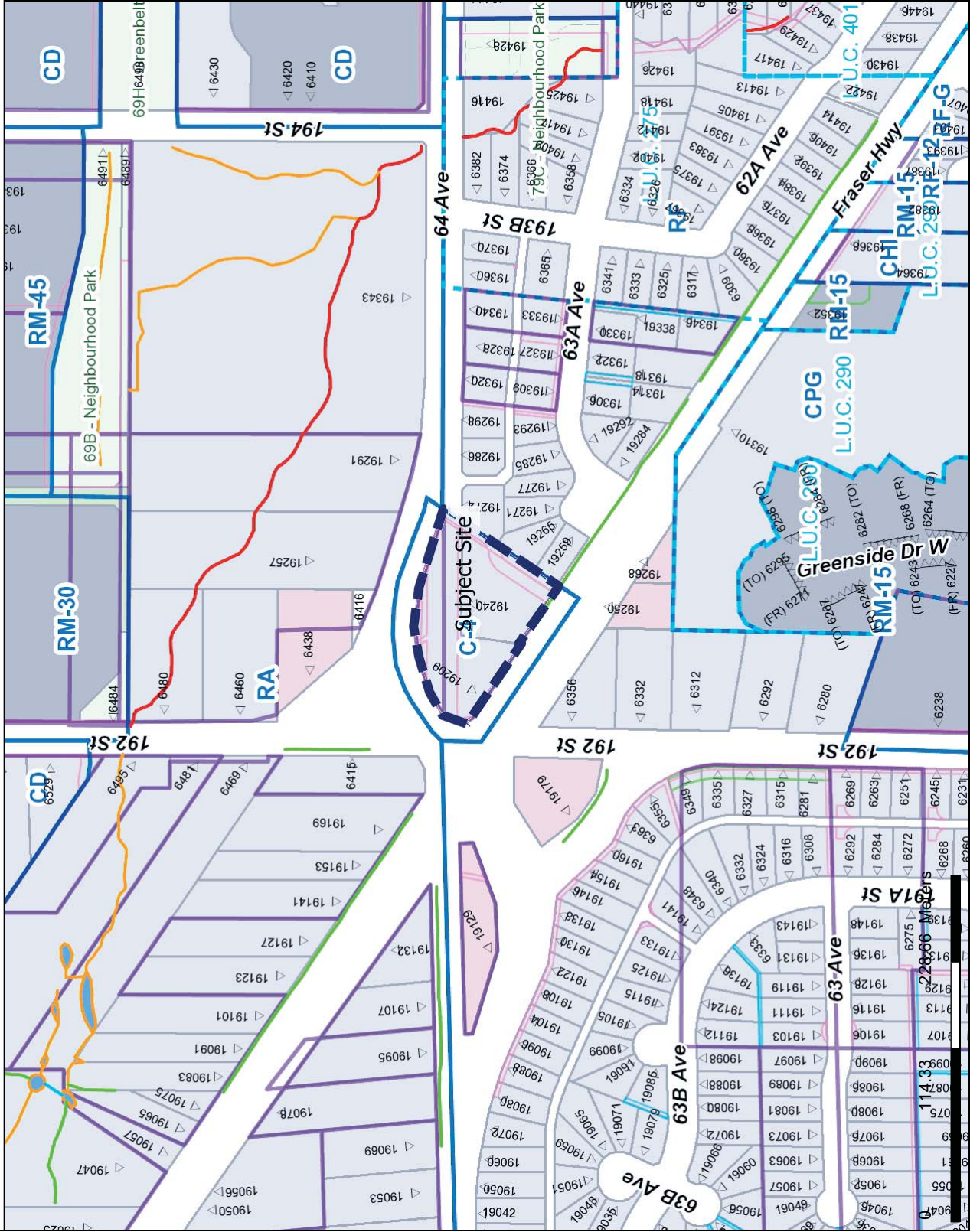


Precedents + Materials
 DRAWING NUMBER:

L4
 DRAWING NUMBER:

DRAWN	PROJECT NUMBER
MR	96-128
CHECKED	SCALE
DS	1/16"=1'-0"

COSMOS Map of Subject Site



- Legend**
- Road Names 1000_4000
 - Park Name Labels
 - Address Points
 - Fish Class (Open Channels)
 - Fish Class (Water Bodies)
 - Development Applications
 - LUC Boundaries
 - Zoning Boundaries
 - Rights of Way
 - Easements
 - Early Copy Lots
 - Lots (Outline)
 - Lots (Symbolized)
- Fish Class (Open Channels)**
- A
 - AO
 - B
 - C
 - Unknown
- Fish Class (Water Bodies)**
- A
 - AO
 - B
 - C
 - Unknown
- Development Applications**
- Unknown
- LUC Boundaries**
- Unknown
- Zoning Boundaries**
- Unknown
- Rights of Way**
- Municipal
 - Utility
- Easements**
- 3rd Party Agreement
 - Restrictive Covenant
- Early Copy Lots**
- Unknown
- Lots (Outline)**
- Unknown
- Lots (Symbolized)**
- BC Gas
 - BC Hydro
 - BC Rail Standard Lot
 - BN Rail Standard Lot
 - CN Rail
 - City Land Standard Lot
 - City Land Strata
 - FRPA Foreshore Tenure
 - Federal Standard Lot
 - GVRD Standard Lot
 - Harbour Board Standard Lot

Enter Map Description

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Scale: 1 : 3,811

Map created on: Tuesday, 03 January 2012