

NO: L003

COUNCIL DATE: April 4, 2011

REGULAR COUNCIL - LAND USE

TO: Mayor & Council **DATE: April 4, 2011**

FROM: General Manager, Planning and Development **FILE: 7906-0351-00**

SUBJECT: Proposed Amendments to the Development Permit for the Townhouse Development at 18431 Fraser Highway and 18470 - 70 Avenue (Application No. 7906-0351-00)

RECOMMENDATION

The Planning and Development Department recommends that Council:

1. Receive this report as information;
2. Authorize staff to draft the Development Permit based on the revised site layout and building design, attached as Appendix I to this report, for the townhouse development proposed at 18431 Fraser Highway and 18470 - 70 Avenue; and
3. Instruct the City Clerk to forward a copy of this report and the related Council resolution to the applicant.

INTENT

The purpose of this report is to advise Council of changes to the design of a proposed townhouse development on a site in West Clayton (Appendix II). The related Official Community Plan ("OCP") amendment by-law and rezoning by-law received third reading on September 14, 2009. The applicant has finalized the majority of the outstanding conditions and will soon be able to proceed to Council for consideration of final adoption of the by-laws and final approval of the Development Permit. It is expected that this will occur at the April 18, 2011 meeting of Council.

BACKGROUND

At the Regular Council - Land Use meeting on July 27, 2009, Council considered a Planning Report for a site at 18431 Fraser Highway and 18470 - 70 Avenue (Application No. 7906-0351-00) that involved:

- an amendment to the OCP from Suburban to Multiple Residential;
- a rezoning of the site from One-Acre Residential Zone (RA) to Comprehensive Development (CD) Zone (based on the Multiple Residential 30 Zone(RM-30));

- a Development Permit to permit the development of 73 townhouse units; and
- a Heritage Revitalization Agreement for the restoration and maintenance of the historic George E. Lawrence House.

On September 14, 2009, a public hearing was held in relation to the OCP amendment and the rezoning by-law, subsequent to which the by-laws were given third reading.

DISCUSSION

Since the public hearing, the applicant has determined that the proposed building form (4-storey stacked townhomes) is not saleable in the current market. As a result the applicant has proposed a new layout, based on conventional 3-storey townhomes and reduced the number of units from 73 to 71.

The applicant has indicated that it is their intention to move forward with the development as soon as possible, upon final adoption of the related by-laws and issuance of the Development Permit.

The revised plan for the site does not affect use and has a lower density, and, therefore, is within the scope of the proposed CD Zone (By-law No. 16992) for the site that has received third reading.

Revised Design Proposal

Generally, the revised site plan is quite similar to the original proposal. The changes primarily relate to the building form along the edges of the site adjacent to Fraser Highway, 184 Street and 185 Street. The original layout proposed 4-storey stacked townhouses along these edges of the site, where the current layout proposes conventional 3-storey townhouses at these locations.

The units that are proposed opposite the existing houses along the site's northern boundary (Buildings 8 and 9) provide similar setbacks, heights, and unit composition (5 and 4 units respectively) as were originally approved.

Similarly, site access is the same as originally proposed. Minor changes are proposed for the layout of the internal driveway to accommodate the reconfigured building layouts.

The total number of units on the site has been reduced from 73 to 71 and the building floor area has been reduced from 13,284 square metres (142,993 square feet) to 10,274 square metres (110,588 square feet). As a result of these changes, both the floor area ratio (FAR) and unit density have decreased (see the following chart). Lot coverage has also decreased marginally.

The building setbacks have increased or remained the same for all buildings. Two resident parking spaces are provided per unit for a total of 142 spaces, in addition to 14 visitor spaces, which satisfy the parking requirements of Surrey Zoning By-law, 1993, No. 12000.

The following table documents the changes to the development:

	CD Zone (By-law No. 16992) at Third Reading	Original Proposal	Revised Proposal
Setbacks	Front Yard (West): 4.9 m	5 m	5 m
	Rear Yard (East): 2.4 m	5.0 m (to what are now Buildings 6 & 7) and 2.5 m (Lawrence House)	5.0 m (to Buildings 6 & 7) and 2.5 m (Lawrence House)
	Side Yard (North): 4.5m	4.6 m (Building 1) and 7.0 m (to what are now Buildings 8 & 9)	4.6 m (Building 1) and 7.0 m (to Buildings 8 & 9)
	Side Yard on a Flanking Street (South): 7.5 m	10.7 m	10.9 m
Floor Area Ratio	1.10	1.096	0.84
Unit Density (Upha/ upa)	60 upha / 24 upa	60 upha / 24 upa	58 upha / 24 upa
Lot Coverage	45 %	36 %	34 %
Building Height	13.0 m	13.0 m	12.5 m

Proposed Architectural Revisions

The architectural design of the buildings has changed. Building massing along Fraser Highway, 184 Street and 185 Street is significantly reduced in the amended layout with 3-storey townhomes now proposed in place of 4-storey buildings. The original layout proposed only two breaks along Fraser Highway while the new layout provides two additional breaks for a total of four breaks on Fraser Highway. In total the original proposal called for 32 4-storey stacked townhomes along 184 Street and Fraser Highway while the new proposal will result in 34 3-storey townhouses with tandem garages along these roads.

Similarly, a break is also provided between Buildings 6 and 7 on 185 Street along the east property line, which did not previously exist. In the revised proposal 12 3-storey townhouses are located along 185 Street in place of 18 4-storey stacked townhomes that occupied this area in the original proposal. The breaks between the buildings allow for increased pedestrian connectivity along walkways to the multi-use pathway along Fraser Highway and to 185 Street.

The number of units within the individual buildings range from four to six, with the exception of Buildings 4 and 5 which have eight units and Building 7 which has seven units.

The building materials as proposed are similar to those that were originally proposed and include a combination of four-inch and six-inch wide vinyl siding (red brick, grey and taupe colours) with ivory coloured fascia boards and trim.

The roof of each building will be clad in asphalt shingles (brown weatherwood colour). Those that are along Fraser Highway and 184 Street include a simple gable roof with flat faced dormers to increase the roof line articulation and help to reduce the building massing. The gable roof is similar to the roof on the George E. Lawrence Heritage House that will be retained. Those units that are along 185 Street provide a series of individual roofs with gables.

Site grading has been refined to better respond to the public realm. For example, the berm along Fraser Highway has been significantly scaled down and the berm along 184 Street has been eliminated. The units fronting onto 184 Street have their patios and street access at the building's first floor instead of the second floor. The resulting streetscape along both Fraser Highway and 184 Street will be greatly enhanced.

Landscaping Proposal

Units that front onto City streets are street-oriented and will have direct pedestrian access to the street and sidewalk. Fencing materials along these streets incorporate a combination of wood, brick and metal gates at various locations. Fencing will be a maximum of 1.0 metre (3 feet) in height.

Planting adjacent to the multi-use pathway along Fraser Highway will be coordinated with the City street trees (conifers) through the planting of groups of deciduous trees (Mountain Ash and Hawthornes).

Three additional trees, which are shared with the neighbouring properties to the east (18493 Fraser Highway and 18490 - 70 Avenue) are to be removed to facilitate the development of the new north-south road. The applicant has provided documentation from the neighbouring property owners who have indicated their agreement with these trees being removed.

The landscaping on the site has been revised to address the changes to the site plan. When the original project was introduced to Council on July 27, 2009, there were a number of landscaping issues that still needed to be resolved. The revised landscaping plans have addressed these issues.

George E. Lawrence Heritage House

The George E. Lawrence Heritage House that is being rehabilitated on the site will be relocated to the southwest corner of the site as was previously proposed. The House was the site of a fire since the application was last before Council; however the applicant's Heritage Consultant has determined that the building is still suitable to be relocated and rehabilitated for use as an amenity building.

CONCLUSION

The amendments to the proposed layout are within the scope of the site's proposed CD Zone (By-law No. 16992) that is at third reading. The proposed changes to the design provide a better interface with the surrounding streets and enhance the architecture of the project. Based on the above discussion, it is recommended that Council:

- Authorize staff to draft the Development Permit based on the revised site layout and building design, attached as Appendix I to this report, for the townhouse development proposed at 18431 Fraser Highway and 18470 - 70 Avenue; and

- Instruct the City Clerk to forward a copy of this report and the related Council resolution to the applicant.

Original signed by
Jean Lamontagne
General Manager
Planning and Development

SML:saw

Attachments:

Appendix I Revised Architectural and Landscape Drawings

Appendix II Map of Subject Site

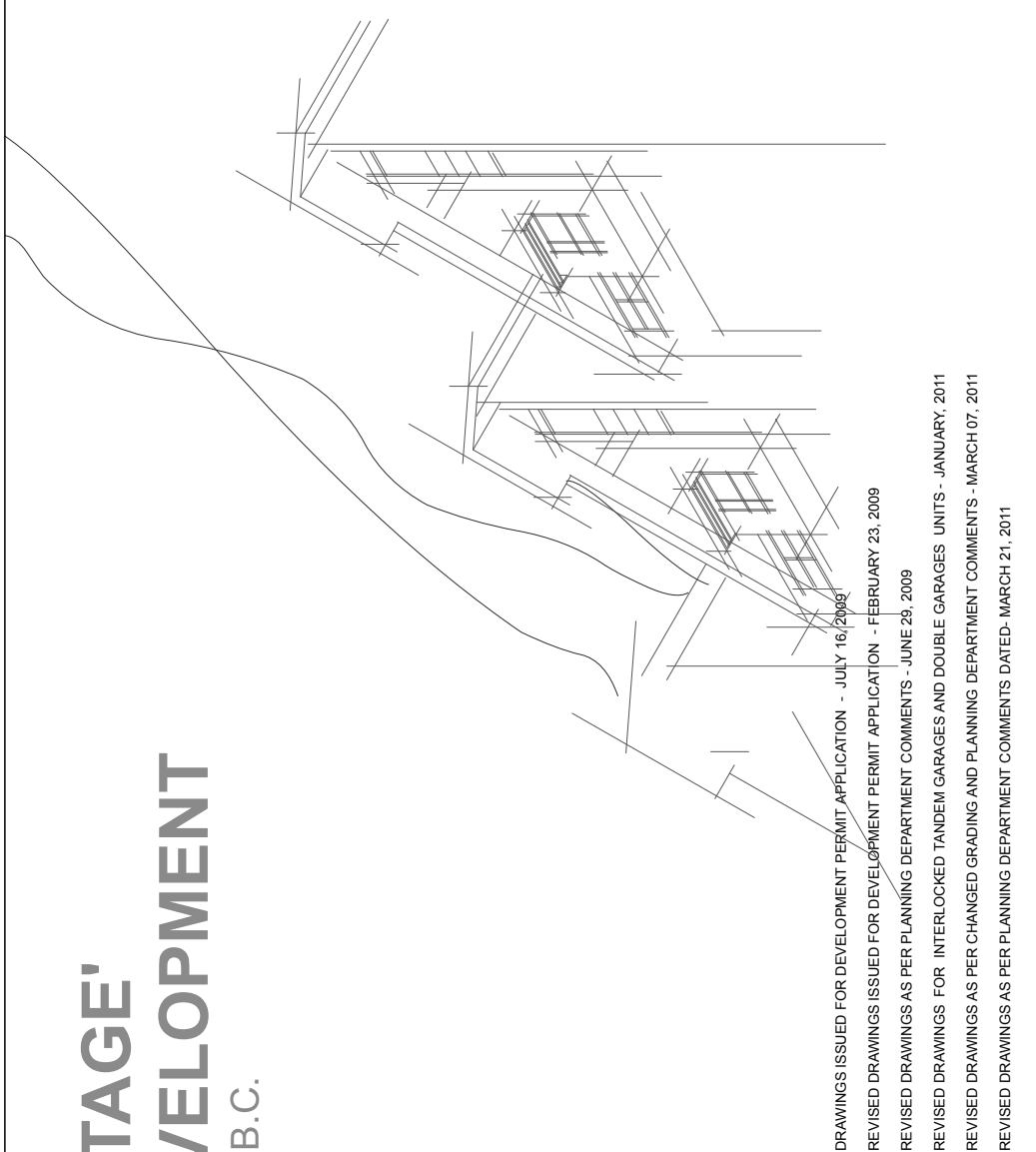
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'LAWRENCE COTTAGE' TOWNHOUSE DEVELOPMENT


18470 - 70th AVENUE, SURREY, B.C.

LIST OF DRAWINGS :

- A000 - TITLE SHEET
- A100 - CONTEXT PLAN
- A101 - SITE PLAN
- A102 - SITE SECTIONS
- A103 - SITE SECTIONS
- A104 - STREETSCAPES
- A105 - PHASE PLAN
- A106 - SITE DETAILS
- A201 - BUILDING 1 FLOOR PLANS
- A202 - BUILDING 2 FLOOR PLANS
- A203 - BUILDING 3 FLOOR PLANS
- A204 - BUILDING 4 FLOOR PLANS LEVEL 1 + 2
- A205 - BUILDING 4 FLOOR PLANS LEVEL 3
- A206 - BUILDING 5 FLOOR PLANS LEVEL 1 + 2
- A207 - BUILDING 5 FLOOR PLANS LEVEL 3
- A208 - BUILDING 6 FLOOR PLANS
- A209 - BUILDING 7 FLOOR PLANS
- A210 - BUILDING 8 FLOOR PLANS
- A211 - BUILDING 9 FLOOR PLANS
- A212 - BUILDING 10 FLOOR PLANS
- A213 - BUILDING 11 FLOOR PLANS
- A214 - BUILDING 12 FLOOR PLANS
- A215 - BUILDING 13 FLOOR PLANS
- A216 - HERITAGE HOUSE FLOOR PLANS & ELEVATIONS
- A401 - BUILDING 1 ELEVATIONS
- A402 - BUILDING 2 ELEVATIONS
- A403 - BUILDING 3 ELEVATIONS
- A404 - BUILDING 4 ELEVATIONS
- A405 - BUILDING 5 ELEVATIONS
- A406 - BUILDING 6 ELEVATIONS
- A407 - BUILDING 7 ELEVATIONS
- A408 - BUILDING 8 ELEVATIONS
- A409 - BUILDING 9 ELEVATIONS
- A410 - BUILDING 10 ELEVATIONS
- A411 - BUILDING 11 ELEVATIONS
- A412 - BUILDING 12 ELEVATIONS
- A413 - BUILDING 13 ELEVATIONS



DRAWINGS ISSUED FOR DEVELOPMENT PERMIT APPLICATION - JULY 16, 2009
 REVISED DRAWINGS ISSUED FOR DEVELOPMENT PERMIT APPLICATION - FEBRUARY 23, 2009
 REVISED DRAWINGS AS PER PLANNING DEPARTMENT COMMENTS - JUNE 29, 2009
 REVISED DRAWINGS FOR INTERLOCKED TANDEM GARAGES AND DOUBLE GARAGES UNITS - JANUARY, 2011
 REVISED DRAWINGS AS PER CHANGED GRADING AND PLANNING DEPARTMENT COMMENTS - MARCH 07, 2011
 REVISED DRAWINGS AS PER PLANNING DEPARTMENT COMMENTS DATED- MARCH 21, 2011

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						Scale: NTS		District: V/A, B/L, NC		Municipality: VWS		Drawing No: A000	

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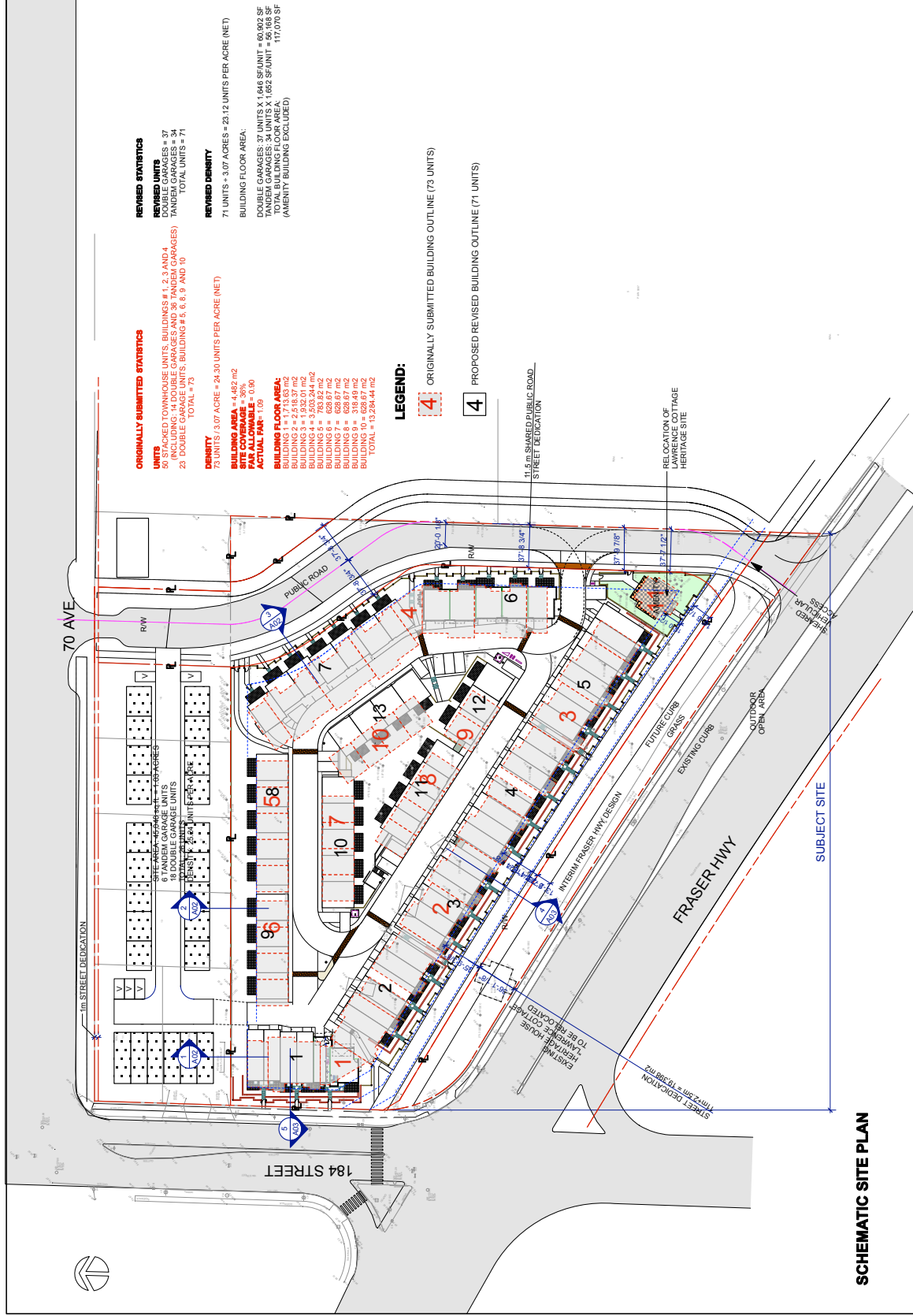


WG ARCHITECTURE INC
 103 - 470 GRANVILLE STREET
 VANCOUVER, BC V6C 1V6
 TEL: (604) 331 3270
 FAX: (604) 683 7484

Project Title:
LAWRENCE COTTAGE RESIDENTIAL DEVELOPMENT
 18470 - 70th AVENUE SURREY

Drawing Title:
COMPARISON BETWEEN ORIGINAL AND REVISED SITE PLAN & STATISTICS

Date:	January 2010	Project Number:	0906
Scale:	1" = 40'	City:	NC
Author:	WG	Project Name:	A107
Checker:	WG		



ORIGINALLY SUBMITTED STATISTICS
 UNITS: 58 STACKED TOWNHOUSE UNITS, BUILDINGS # 1, 3 AND 4 (INCLUDING 14 DOUBLE GARAGES AND 36 TANDEM GARAGES) 23 DOUBLE GARAGE UNITS, BUILDINGS # 5, 6, 8, 9 AND 10 TOTAL UNITS = 71
 DENSITY: 75 UNITS / 3.07 ACRES = 24.50 UNITS PER ACRE (NET)
 BUILDING AREA = 4,462 m²
 BUILDING FLOOR AREA = 13,234.44 m²
 ACTUAL FAR = 1.09
 BUILDING FLOOR AREA: BUILDING # 1 = 1,718.63 m² BUILDING # 2 = 1,932.01 m² BUILDING # 3 = 3,503.244 m² BUILDING # 4 = 1,932.01 m² BUILDING # 5 = 628.67 m² BUILDING # 6 = 628.67 m² BUILDING # 7 = 628.67 m² BUILDING # 8 = 628.67 m² BUILDING # 9 = 628.67 m² BUILDING # 10 = 628.67 m² TOTAL = 13,234.44 m²

REVISED STATISTICS
 REVISED UNITS: 71 (INCLUDING 14 DOUBLE GARAGES AND 36 TANDEM GARAGES) 23 DOUBLE GARAGE UNITS, BUILDINGS # 5, 6, 8, 9 AND 10 TOTAL UNITS = 71
 DENSITY: 71 UNITS / 3.07 ACRES = 23.12 UNITS PER ACRE (NET)
 BUILDING FLOOR AREA: DOUBLE GARAGES: 37 UNITS X 1,646 SF/UNIT = 60,902 SF TANDEM GARAGES: 36 UNITS X 1,662 SF/UNIT = 59,832 SF TOTAL BUILDING FLOOR AREA: 120,734 SF (AMENITY BUILDING EXCLUDED)

LEGEND:

- 4 ORIGINALLY SUBMITTED BUILDING OUTLINE (73 UNITS)
- 4 PROPOSED REVISED BUILDING OUTLINE (71 UNITS)

SCHEMATIC SITE PLAN

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Project Title:
**'LAWRENCE COTTAGE'
RESIDENTIAL
DEVELOPMENT
18470 - 70th AVENUE
SURREY**

Drawings Title:
CONTEXT PLAN

Date:	January 2010	Project Number:	1039
Drawn By:	AS SHOWN		
Checked By:			
Project No:			A100



CONTEXT PLAN
SCALE: 1" = 100'

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No.	Date	Revision Details

PROJECT STATISTICS:

CIVIC ADDRESS: 184 STREET, SUAREX B.C.
PROPOSED ZONING: CD BASED ON R6-30
LOT AREA: 51,803 m²
ROAD FRONTAGE: 1,807 m²
NET TOTAL: 12,196 m²
DENSITY: 71 UNITS = 3.013 ACRES = 23.56 UNITS PER ACRE (NET)
SETBACKS:
 WEST - 5.0 m
 EAST - 5.0 m + 2.5m (HERITAGE) + 7.0m
 SOUTH - 10.9m
NUMBER OF UNITS:
 DOUBLE GARAGES = 34
 TANDEM GARAGES = 37
 TOTAL UNITS = 71
BUILDING FLOOR AREA:
 BUILDING 1: 824.18 m²
 BUILDING 2: 806.40 m²
 BUILDING 3: 1,077.42 m²
 BUILDING 4: 1,077.42 m²
 BUILDING 5: 1,077.42 m²
 BUILDING 6: 1,077.42 m²
 BUILDING 7: 1,077.42 m²
 BUILDING 8: 731.96 m²
 BUILDING 9: 586.56 m²
 BUILDING 10: 1,077.42 m²
 BUILDING 11: 614.78 m²
 BUILDING 12: 489.28 m²
 TOTAL: 10,273.76 m²
BUILDING SITE AREA:
 TOTAL: 4,190.02 m²
SITE COVERAGE: 65%
FAR: 0.84
OUTDOOR AMENITY SPACE:
 - PROVIDED 27 m²
 - PROVIDED 133 m²
 - REQUIRED 237 m²
 - PROVIDED 24 m²
OFF-STREET PARKING:
 PROVIDED: 142 PARKING SPACES IN GARAGES
 PROVIDED: 71, 92 + 14.2
 PROVIDED: 14 (INCLUDING 1 HW)

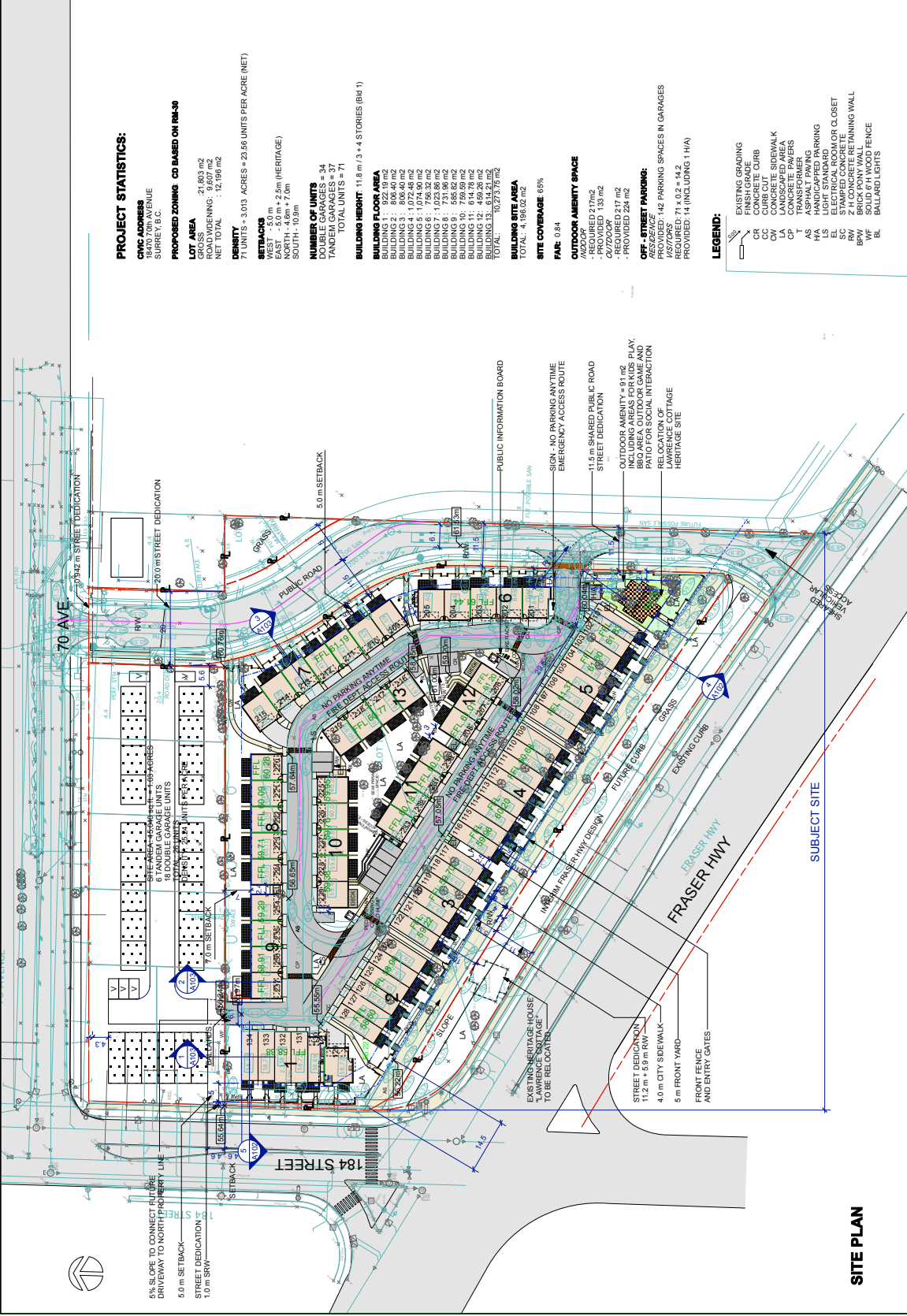


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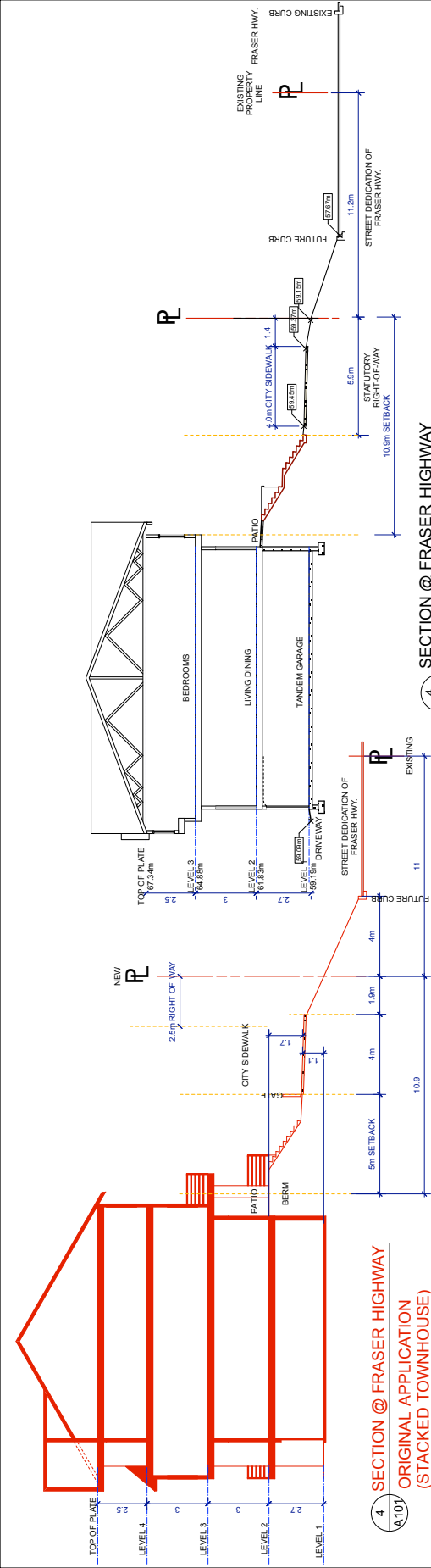
Project Title:
 "LAWRENCE COTTAGE"
 RESIDENTIAL DEVELOPMENT
 18470 - 70th AVENUE
 SURREY

Project Number: 0905
 Date: September 2010
 Scale: 1" = 40'
 Drawing Title: SITE PLAN
 Designer: WG

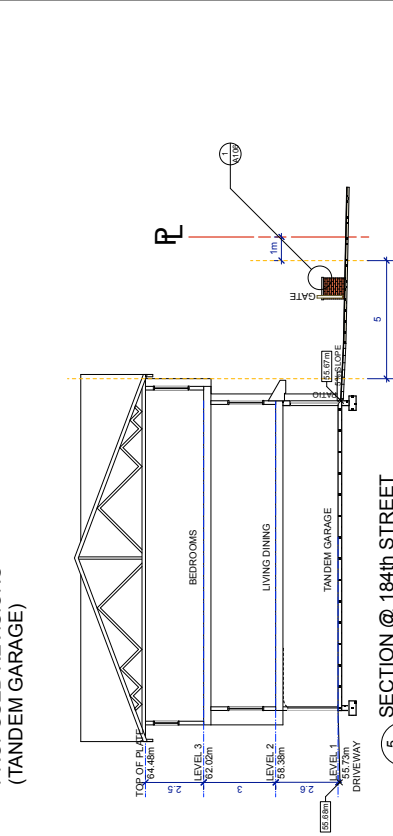
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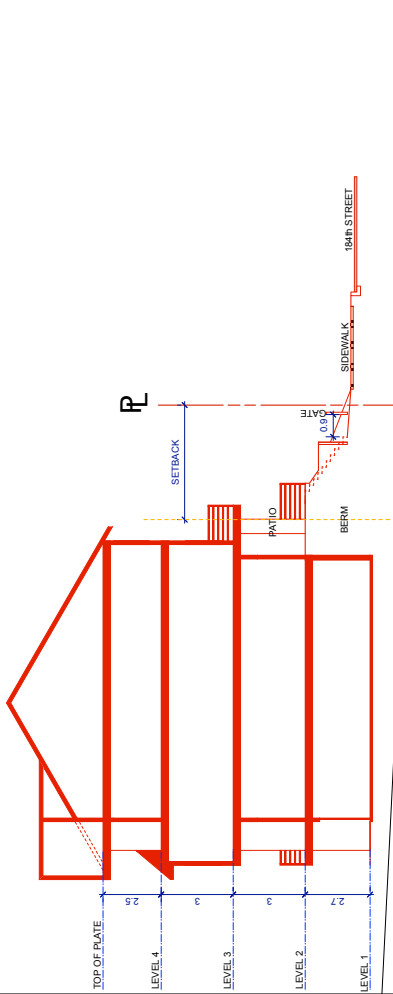
SITE PLAN



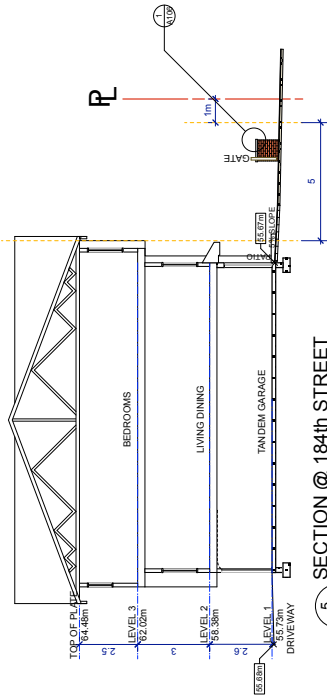
4 SECTION @ FRASER HIGHWAY
ORIGINAL APPLICATION
(STACKED TOWNHOUSE)



4 SECTION @ FRASER HIGHWAY
PROPOSED REVISIONS
(TANDEM GARAGE)

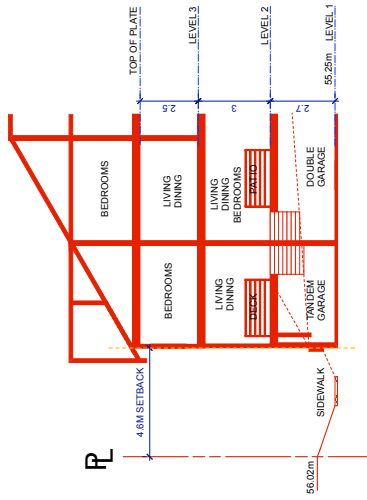


5 SECTION @ 184th STREET
ORIGINAL APPLICATION
(STACKED TOWNHOUSE)

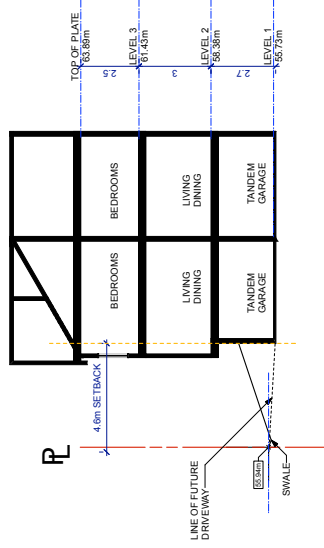


5 SECTION @ 184th STREET
PROPOSED REVISIONS
(TANDEM GARAGE)

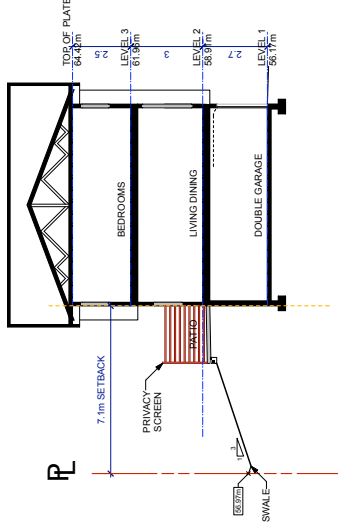
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No.	Date	Revision Details		Date January 2010 Scale 1/8" = 1' - 0" Drawn by NC Approved by WG		A102	
W.G. ARCHITECTURE INC. 1030-470 GRANVILLE STREET VANCOUVER, BC V6C 1Y6 TEL: (604) 331-2279 FAX: (604) 683-7404							



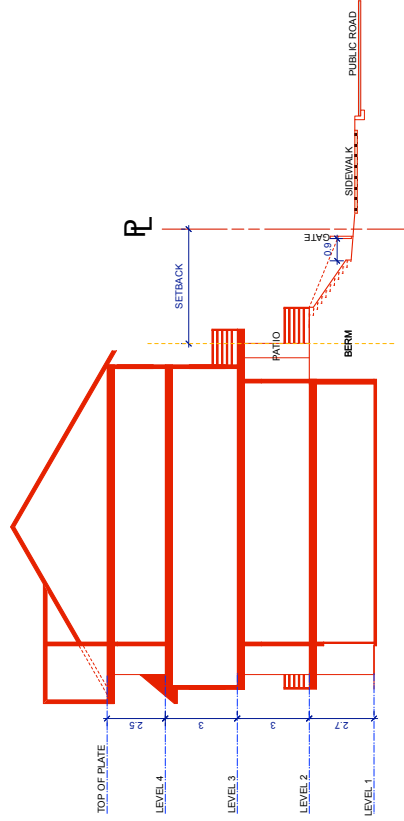
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(STACKED TOWNHOUSE)



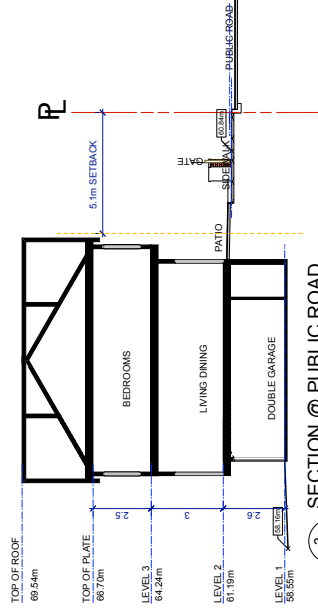
1 SECTION @ NORTH PROPERTY LINE
PROPOSED REVISIONS
(TANDEM GARAGE)



2 SECTION @ NORTH PROPERTY LINE
A101 NEW DESIGN IS EQUIVALENT TO ORIGINAL SUBMISSION



3 SECTION @ PUBLIC ROAD
ORIGINAL APPLICATION
(STACKED TOWNHOUSE)



3 SECTION @ PUBLIC ROAD
PROPOSED REVISIONS
(TANDEM GARAGE)

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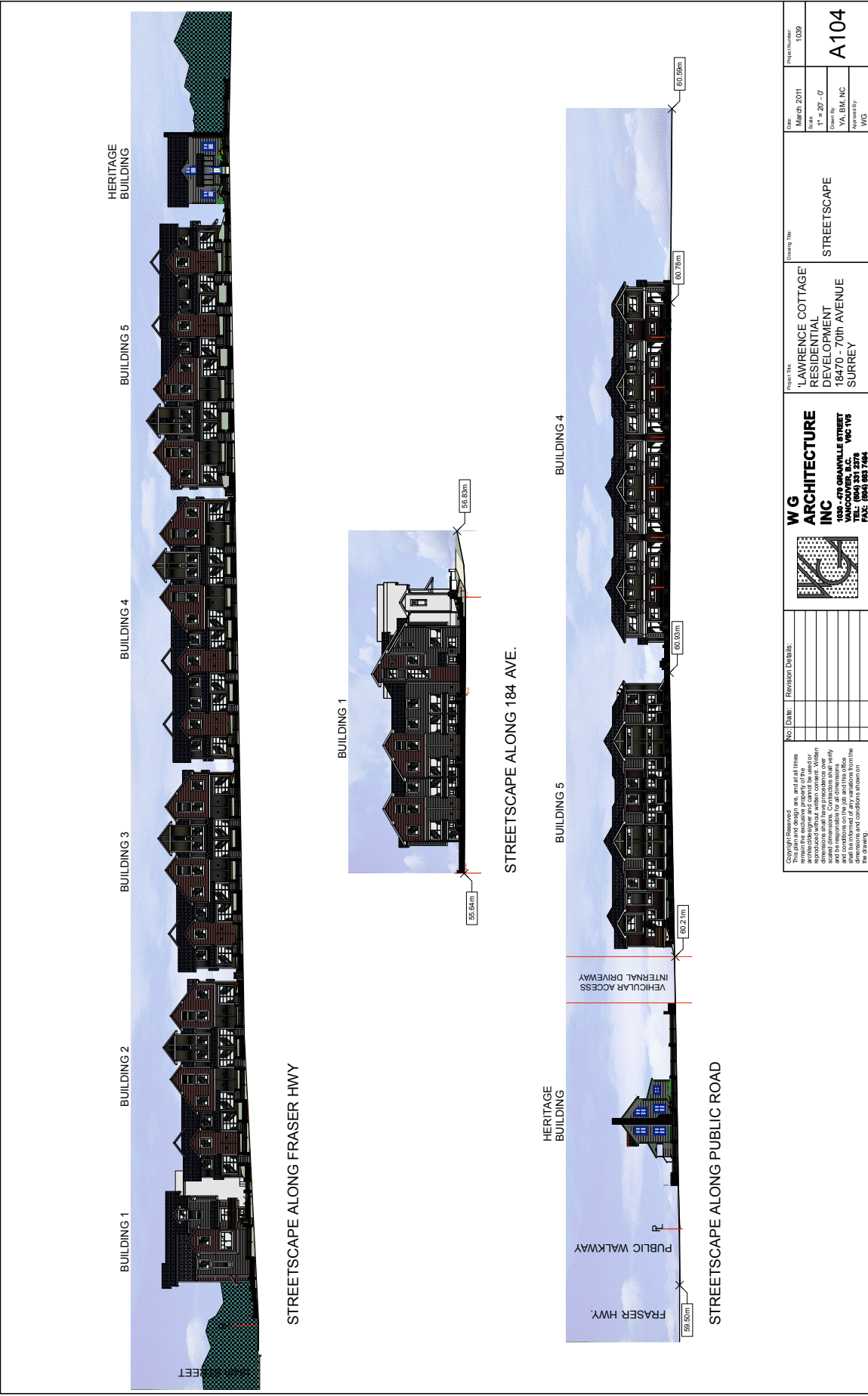
Project Site
**LAWRENCE COTTAGE
RESIDENTIAL
DEVELOPMENT
18470 - 70th AVENUE
SURREY**

Drawing Title
**COMPARISON
BETWEEN ORIGINAL
AND REVISED
SITE SECTIONS**

Date: January 2010
Scale: 1/8" = 1' - 0"
Drawing No: NC
Project No: A103
Project Number: 1039
Architect: WG



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Project Title: 'LAWRENCE COTTAGE' RESIDENTIAL DEVELOPMENT 18470 - 70th AVENUE SURREY		Drawing Title: STREETSCAPE	
Date: March 2011		Project Number: 1108P	
Scale: 1" = 20' - 0"		Client No: VA, BM, NC	
Approved by: WG		A104	

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Project File:
**LAWRENCE COTTAGE
 RESIDENTIAL
 DEVELOPMENT**
 18470 - 70th AVENUE
 SURREY

Created by: WG
 PHASE PLAN

Date:	March 2011
Project Number:	1039
Scale:	1" = 40'
Drawn by:	VA, NC
Approved by:	WG

A105



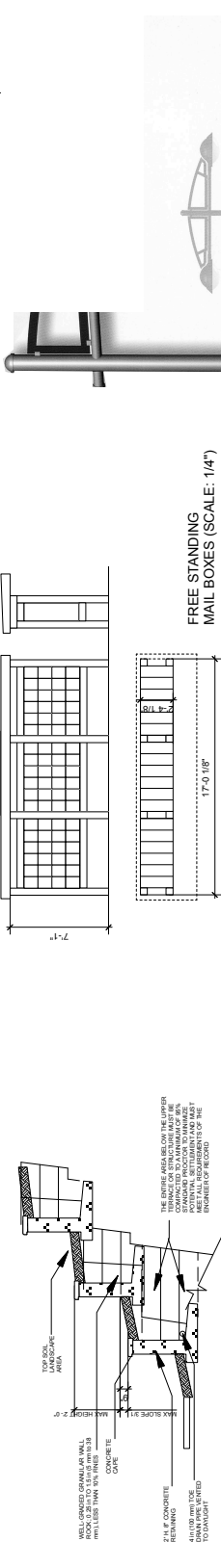
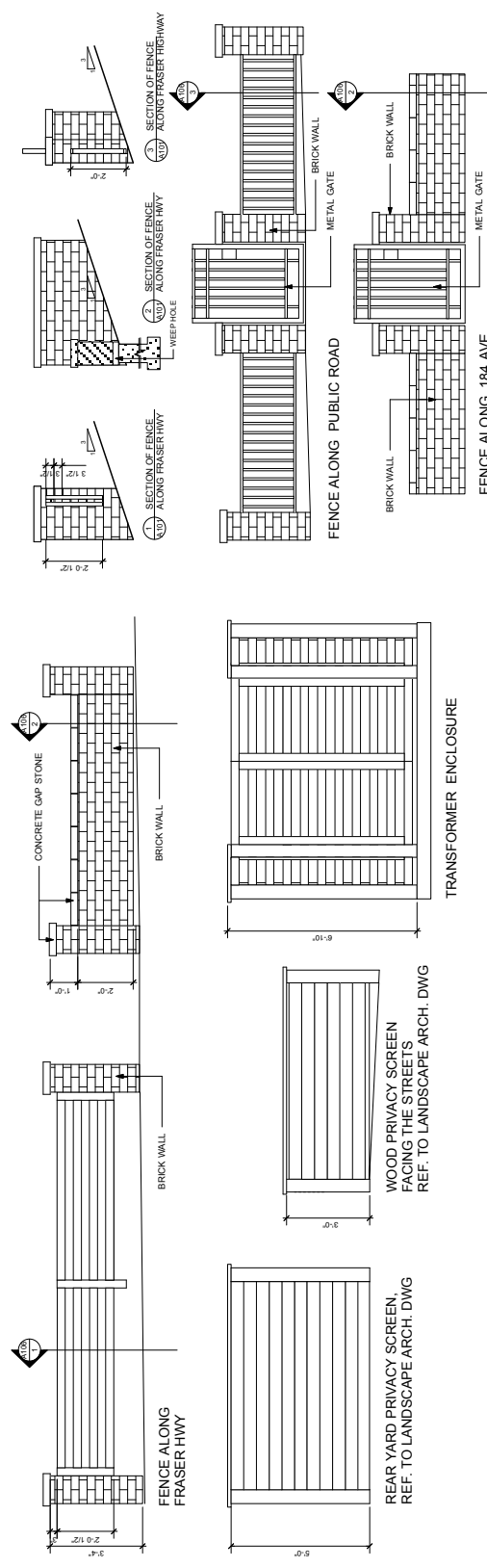
PHASE PLAN

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No. Date: Revision Details:

1	2011.03.10	ISSUED FOR BALDWIN PERMIT
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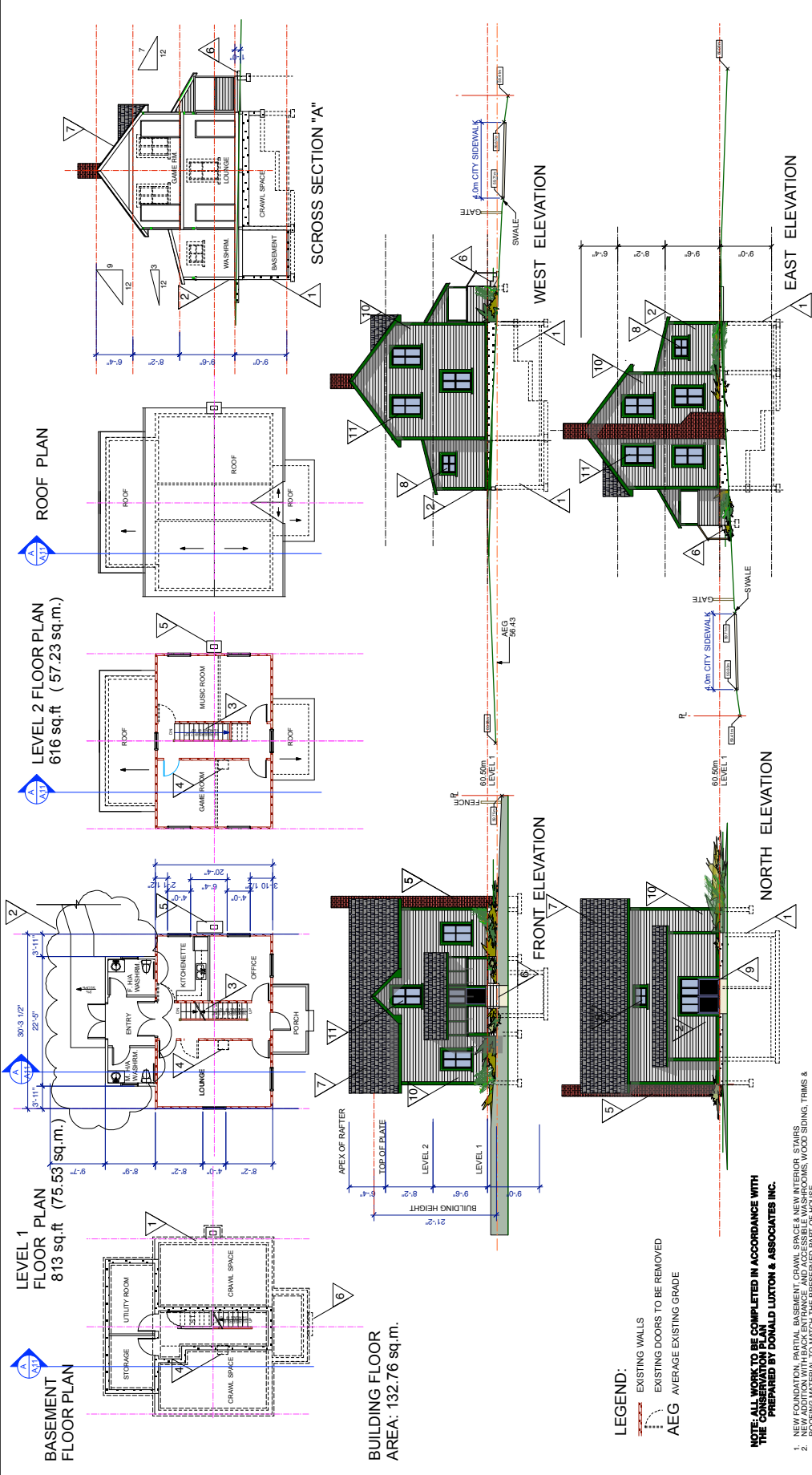


WG ARCHITECTURE INC
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 FAX: (604) 683 7904

Project Site:
 'LAWRENCE COTTAGE'
 RESIDENTIAL DEVELOPMENT
 18470 - 70th AVENUE
 SURREY

Drawings Title:
 SITE DETAILS
 SECTION

Date:	March 2011	Project Number:	1039
Scale:	AS SHOWN	Client:	WG
Drawn by:	WG	Project Name:	A106
Approved by:	WG	Project Location:	WG



BASMENT FLOOR PLAN
813 sq.ft (75.53 sq.m.)

LEVEL 1 FLOOR PLAN
813 sq.ft (75.53 sq.m.)

LEVEL 2 FLOOR PLAN
616 sq.ft (57.23 sq.m.)

ROOF PLAN

BUILDING FLOOR AREA: 132.76 sq.m.

CROSS SECTION "A"

- LEGEND:**
- NEW FOUNDATION, PARTIAL BASEMENT CRAWL SPACE & NEW INTERIOR STAIRS
 - NEW ADDITION WITH BACK ENTRANCE, AND ACCESSIBLE WASHROOMS, WOOD SIDING, TRIMS & EXISTING STAIRS W/ HANDRAILS TO BE REPLACED
 - EXISTING CONCRETE BLOCK CHIMNEY TO BE REPLACED BY RED BRICK CHIMNEY
 - NEW CONCRETE STEPS
 - DUROID ROOFING MATERIAL TO MATCH ORIGINAL APPEARANCE
 - NEW WOOD DOUBLE EXTERIOR DOORS TO MATCH THE EXISTING HERITAGE FRONT DOORS
 - WOOD SIDING AND TRIMS TO BE REFINISHED OR REPLACED WHERE NECESSARY WITH PLAN BY DONALD LUTTON & ASSOCIATES
 - EXISTING WINDOWS AND TRIMS TO BE RESTORED WHERE POSSIBLE OR REPLACED IN KIND

NOTE: ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CONSERVATION PLAN PREPARED BY DONALD LUTTON & ASSOCIATES INC.

1. NEW FOUNDATION, PARTIAL BASEMENT CRAWL SPACE & NEW INTERIOR STAIRS
2. NEW ADDITION WITH BACK ENTRANCE, AND ACCESSIBLE WASHROOMS, WOOD SIDING, TRIMS & EXISTING STAIRS W/ HANDRAILS TO BE REPLACED
3. EXISTING CONCRETE BLOCK CHIMNEY TO BE REPLACED BY RED BRICK CHIMNEY
4. NEW CONCRETE STEPS
5. DUROID ROOFING MATERIAL TO MATCH ORIGINAL APPEARANCE
6. NEW WOOD DOUBLE EXTERIOR DOORS TO MATCH THE EXISTING HERITAGE FRONT DOORS
7. WOOD SIDING AND TRIMS TO BE REFINISHED OR REPLACED WHERE NECESSARY WITH PLAN BY DONALD LUTTON & ASSOCIATES
8. EXISTING WINDOWS AND TRIMS TO BE RESTORED WHERE POSSIBLE OR REPLACED IN KIND

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Project Name:		Project No.:	
'LAWRENCE COTTAGE RESIDENTIAL DEVELOPMENT 18470 - 70th AVENUE SURREY		1039	
Company Name:		Date:	
W.G. ARCHITECTURE INC. 10 GRANVILLE STREET VANCOUVER, B.C. V6C 1W3 TEL: (604) 931 2778 FAX: (604) 931 7444		December 2010	
Scale:		Drawn By:	
1/8" = 1' - 0"		NC	
Approved By:		WG	
		A216	
		HERITAGE HOUSE FLOOR PLANS & ELEVATIONS	

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No. Date: Revision Details:



W G ARCHITECTURE INC
 1030 - 470 GRANVILLE STREET
 TEL: (804) 331 2378
 FAX: (804) 883 7484

Project No:

"LAWRENCE COTTAGE"
 RESIDENTIAL DEVELOPMENT
 18470 - 70th AVENUE
 SURREY

Drawing Title:

BUILDING 1
 ELEVATION

Date: March 2011

Project Number: 1039

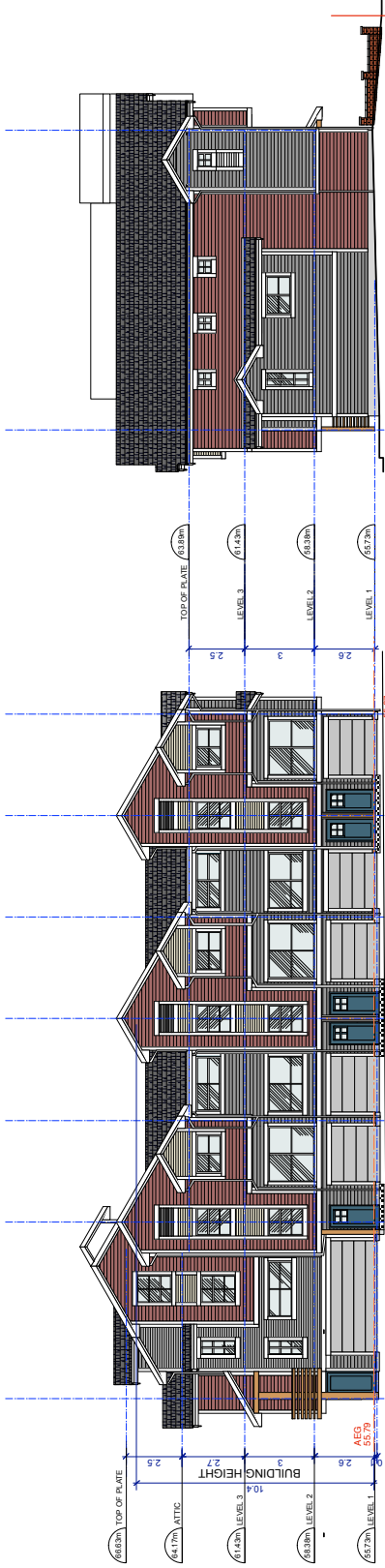
Scale: 1/8" = 1' - 0"

Client: W.G. ARCHITECTURE INC

Location: VA, NC

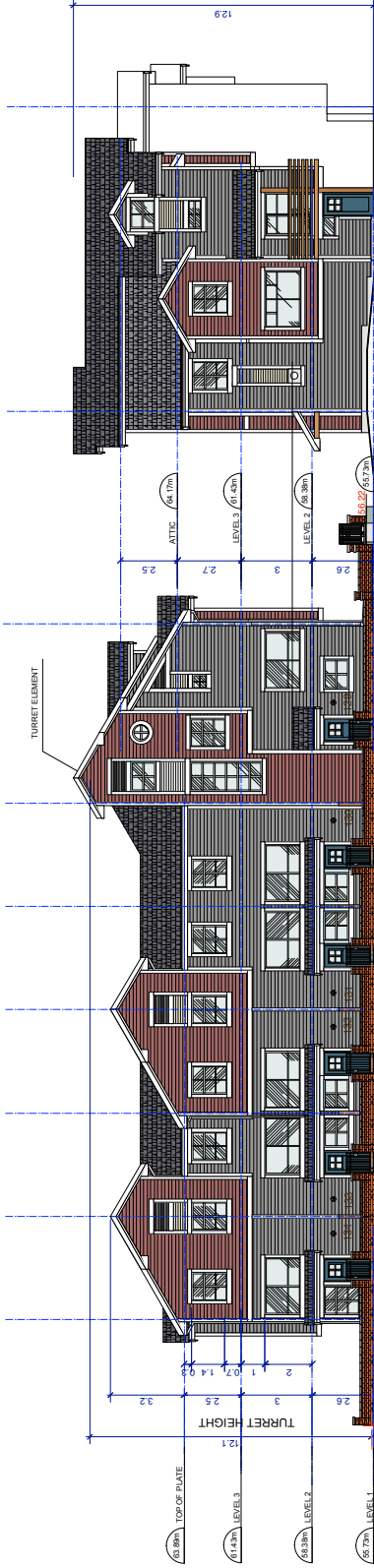
Approved By: W.G.

A401



NORTH ELEVATION

EAST ELEVATION



SOUTH ELEVATION

WEST ELEVATION

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No.	DATE	REVISION DETAILS

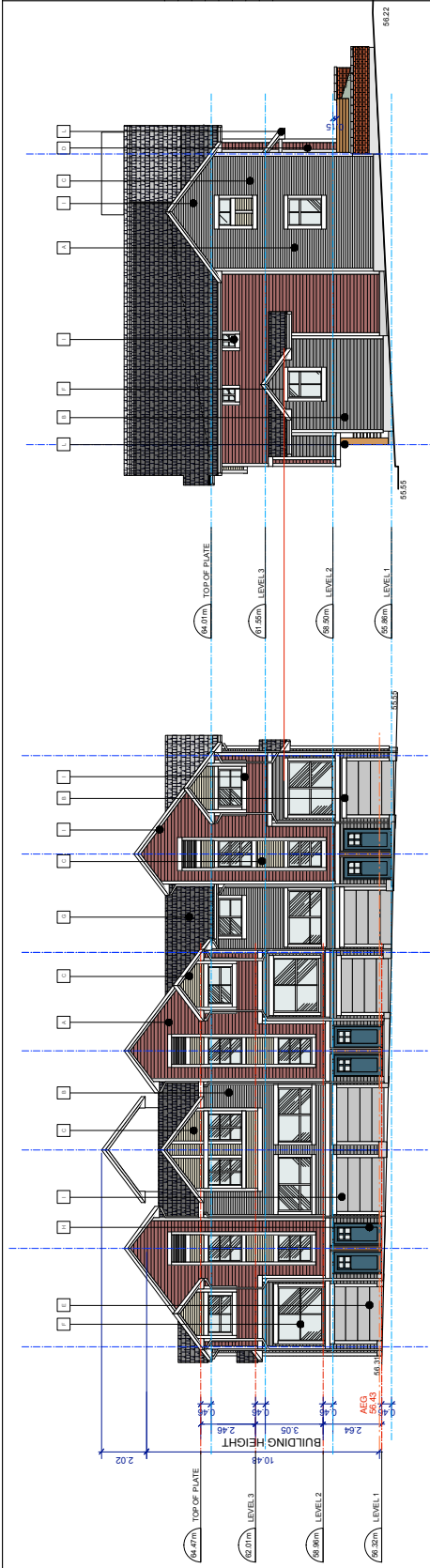


WG ARCHITECTURE INC
 1688 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 531 2378
 FAX: (604) 583 7484

Project Title:
"LAWRENCE COTTAGE"
 RESIDENTIAL DEVELOPMENT
 18470 - 70th AVENUE
 SURREY

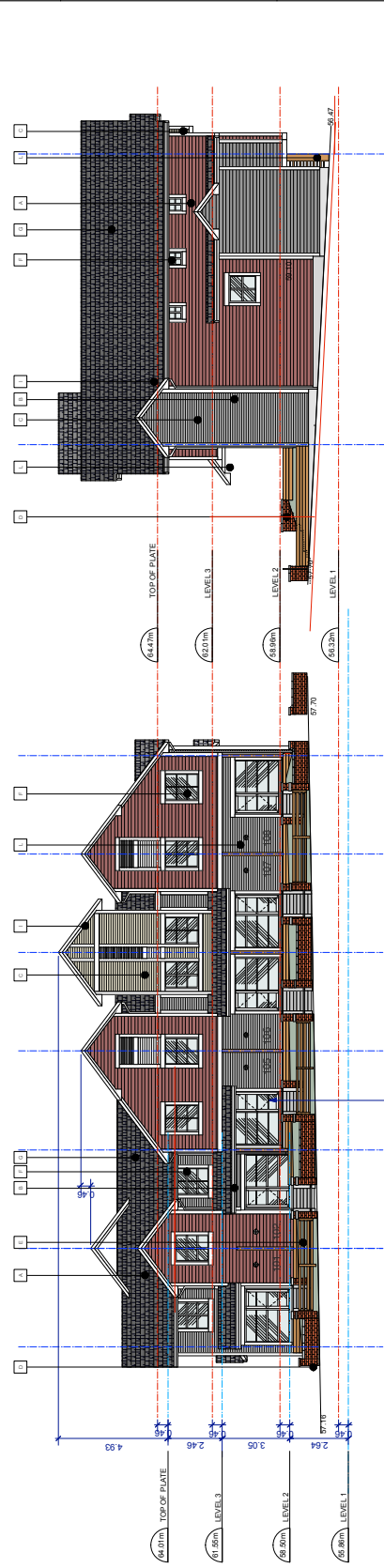
Drawing Title:
BUILDING 2 ELEVATION

Date:	January 2011
Project Number:	1039
Scale:	1/8" = 1'-0"
Drawn By:	VA
Approved By:	WG



WEST ELEVATION

NORTH ELEVATION



EAST ELEVATION

SOUTH ELEVATION

COLOUR SCHEME

- A. "TRICO" RICHMOND/TIMBERLAKE by Kaycan**
- 1" vinyl siding (red)
- B. "TRISAGE" TIMBERLAKE by Kaycan**
- 8" vinyl siding (grey)
- C. "TRISOCIAL" TIMBERLAKE by Kaycan**
- 8" vinyl siding (black)
- D. "TOPPER" MISSION by Mutual Materials Co.**
- 100%
- E. GR-5740 "BLACKHORN"**
- GH Garage Door & Balcony Guards - painted
- F. "WOOD"**
- Double Glazed Vinyl Windows
- G. "WETHELMWOOD" CAMBRIDGE by Ibo**
- Asphalt Shingles
- H. GR-5781A "TREE TALL"**
- Entry Doors
- I. VCI "OXFORD NOBY"**
- Fascia Boards, Window & Door Trims
- Wood Siding painted - Heritage House
- J. VCI "COMOX GREEN"**
- Trims painted wood - Heritage House
- K. VCI "GLOBE BLACK"**
- Window and Door Frames - painted wood - Heritage House
- L. CL "NATURALONE CEDAR" Semi-Transparent Stain**
- Wood Brackets & Posts

FULLY GLAZED SWING ENTRY DOOR

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No.	Date:	Revision Details:

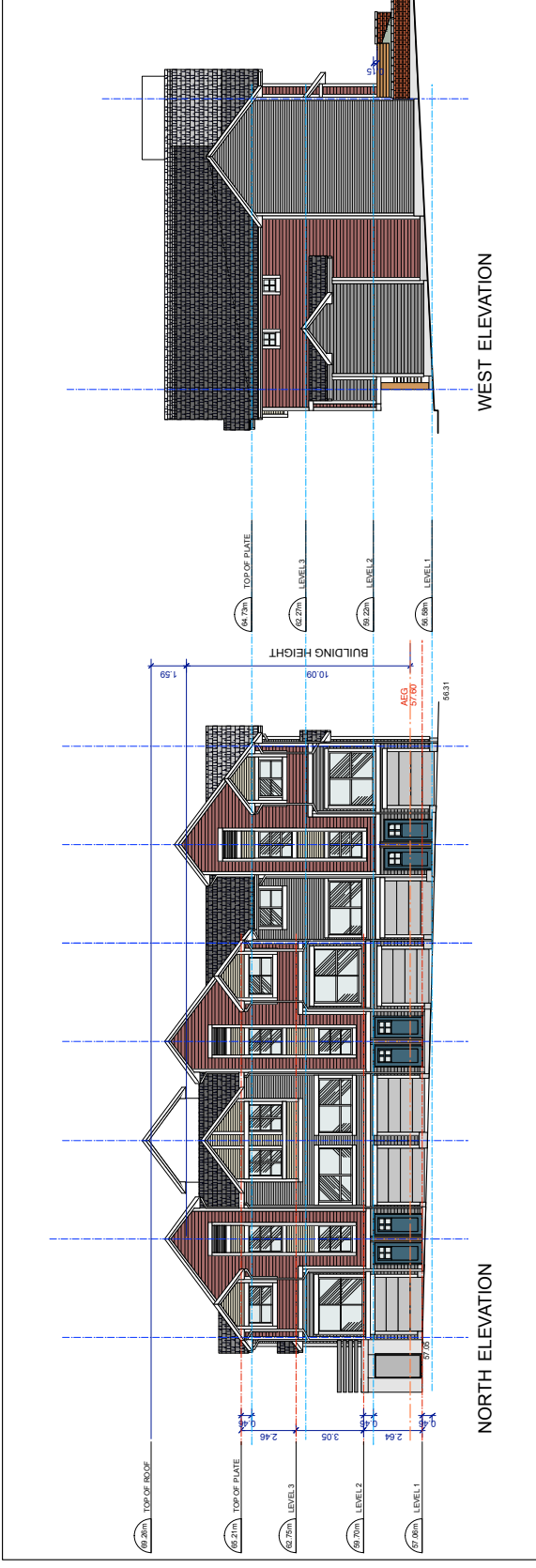


WG ARCHITECTURE INC
 1665 47th GRANVILLE STREET
 VANCOUVER, B.C. V6Z 1V5
 TEL: (604) 531 2378
 FAX: (604) 583 7484

Project Title:
**"LAWRENCE COTTAGE"
 RESIDENTIAL
 DEVELOPMENT
 18470 - 70th AVENUE
 SURREY**

Drawing Title:
**BUILDING 3
 ELEVATION**

Date:	February 2011
Project Number:	1030
Scale:	1/8" = 1'-0"
Drawn By:	VA, EB
Approved By:	WG



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No.	Date:	Revision Details:



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 1688 478 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 251 2378
 FAX: (604) 253 7484

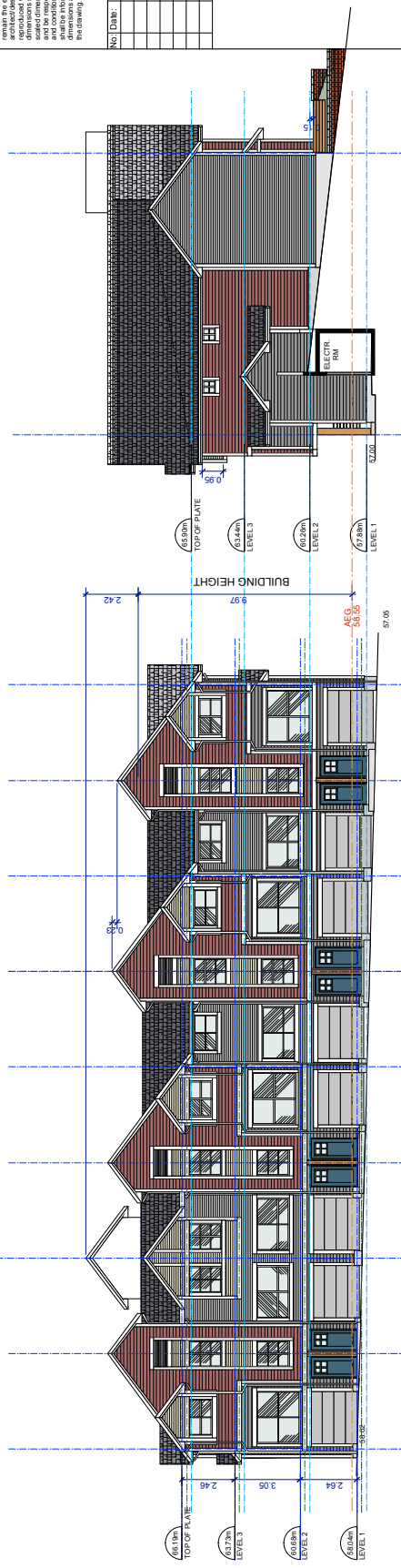
Project Title:
**LAWRENCE COTTAGE™
 RESIDENTIAL
 DEVELOPMENT
 18470 - 70th AVENUE
 SURREY**

Drawing Title:

**BUILDING 4
 ELEVATION**

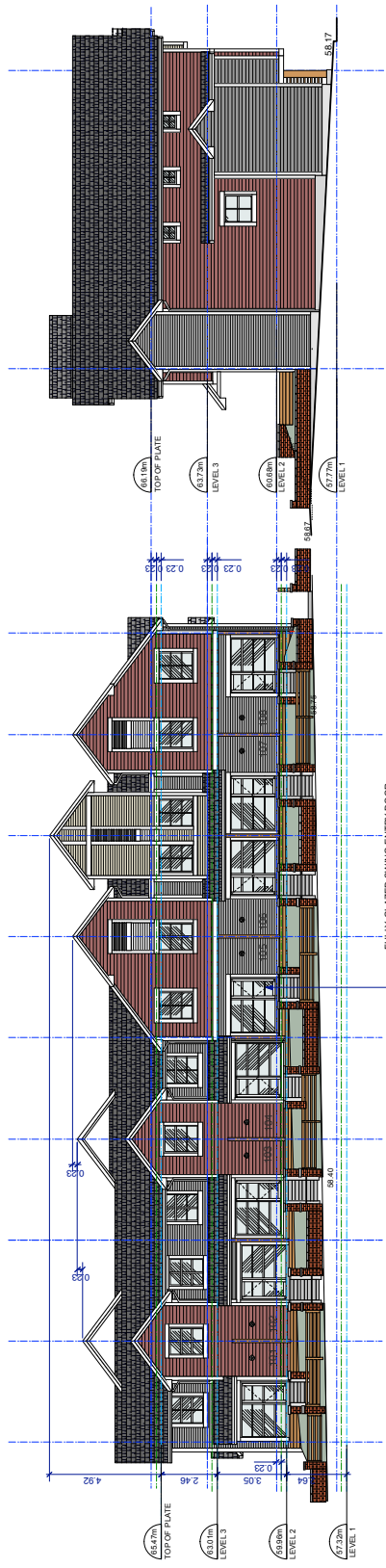
Date:	January 2011
Project Number:	1039
Scale:	1/8" = 1'-0"
Drawn By:	VA, EB
Approved By:	WG

A404



WEST ELEVATION

NORTH ELEVATION



EAST ELEVATION

SOUTH ELEVATION

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No. DATE: Revision Details:



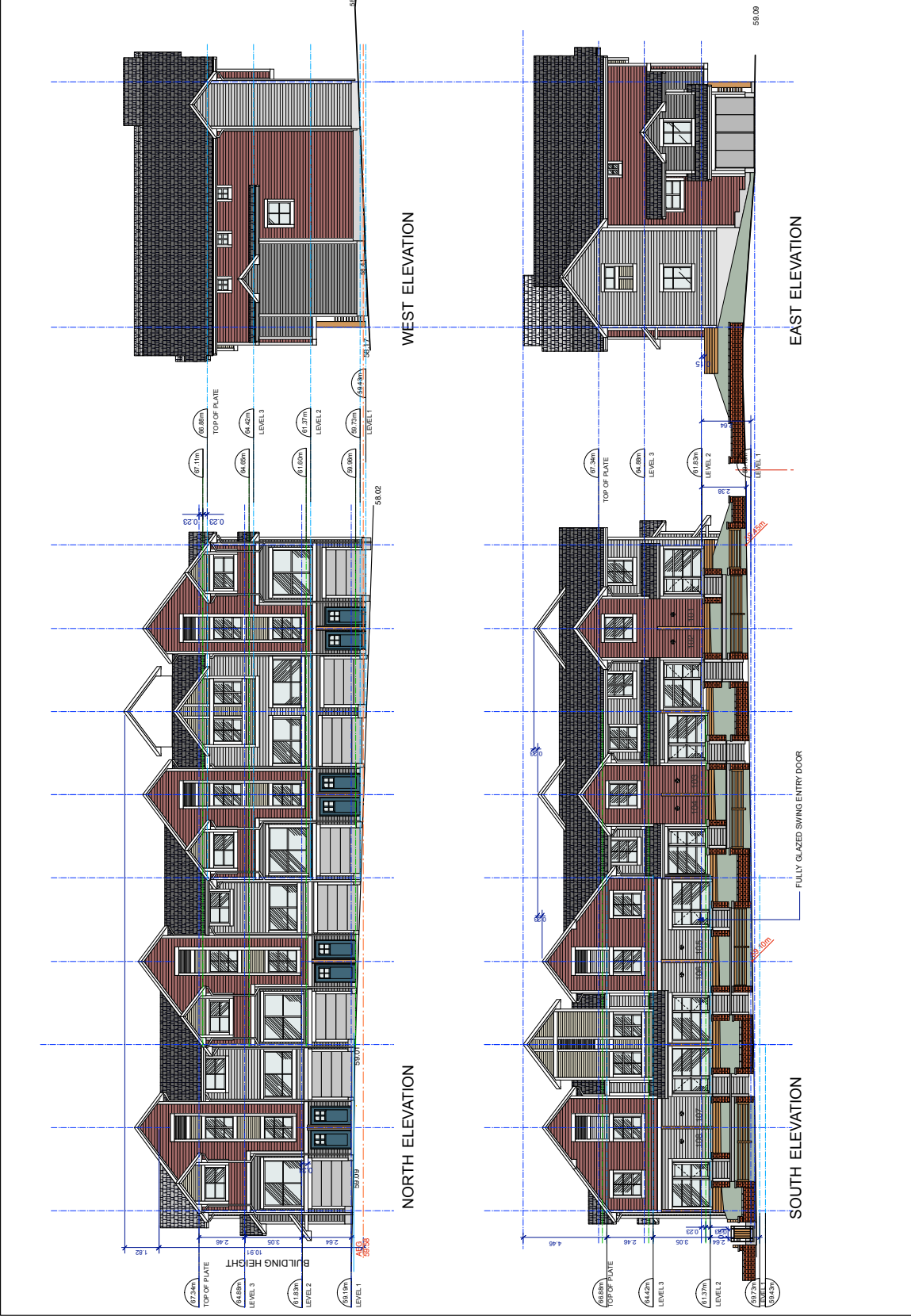
WG ARCHITECTURE INC
1600 470 GRANVILLE STREET
VANCOUVER, B.C. V6C 1V8
TEL: (604) 531 2378
FAC: (604) 583 7484

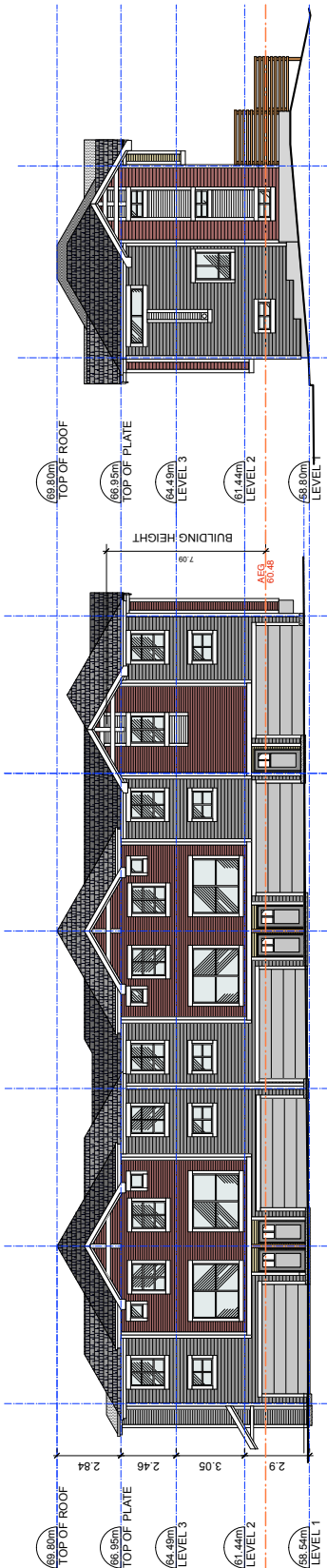
Project Title:
**"LAWRENCE COTTAGE"
RESIDENTIAL
DEVELOPMENT
18470 - 70th AVENUE
SURREY**

Drawing Title:
**BUILDING 5
ELEVATION**

Date: January 2, 2011
Project Number: 10309

Scale: 1/8" = 1'-0"
Drawn By: VA, EB
Approved By: WG





WEST ELEVATION

SOUTH ELEVATION

NORTH ELEVATION

EAST ELEVATION

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No.	Date	Revision Details

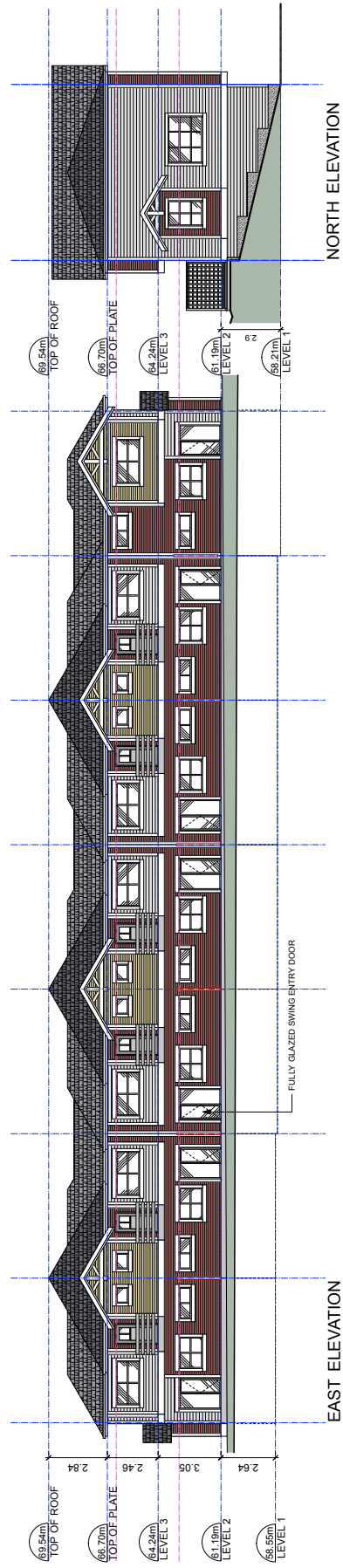
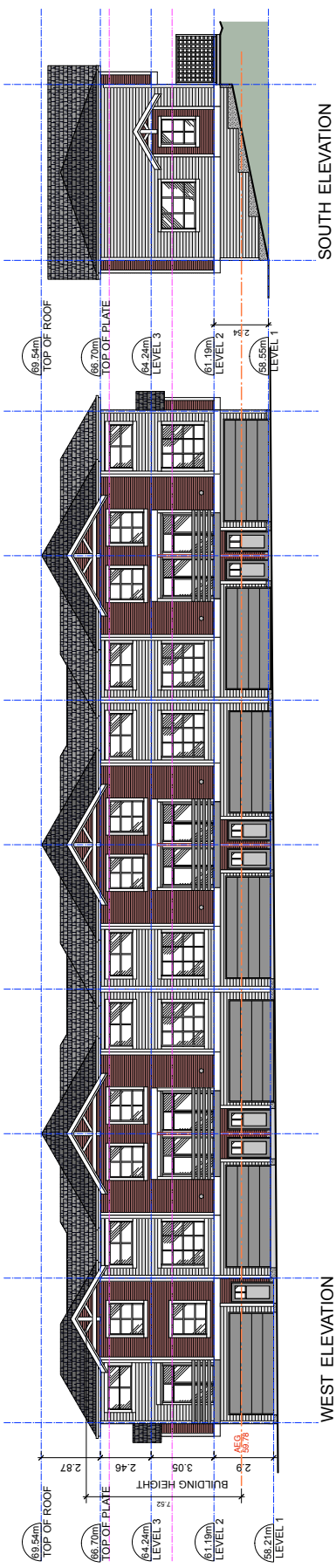


WG ARCHITECTURE INC
 100 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1W5
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 FAX: (604) 682 7484

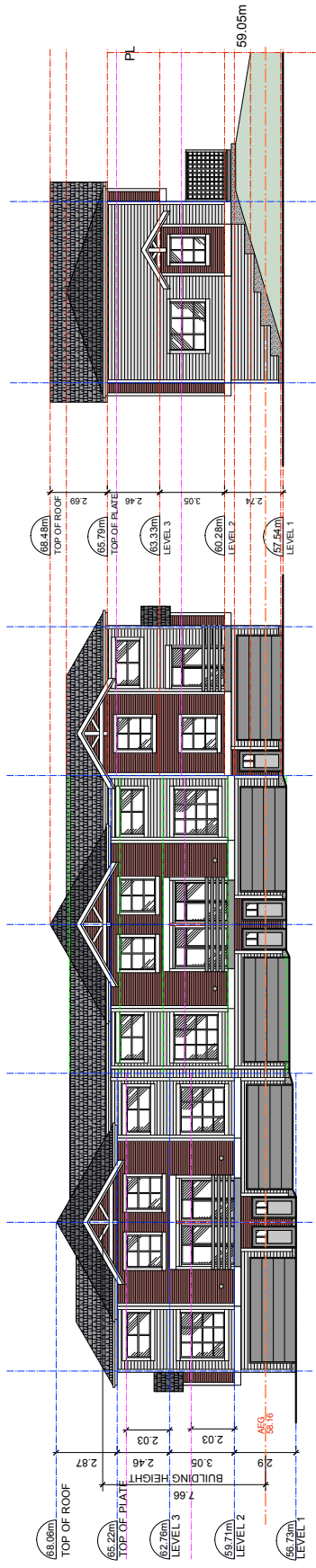
Project No: 'LAWRENCE COTTAGE
 RESIDENTIAL DEVELOPMENT
 18470 - 70th AVENUE
 SURREY

Drawing No: BUILDING 6
 ELEVATIONS

Date: January 2011
 Scale: 1/8" = 1'-0"
 Drawn By: Y.A.
 Checked By: Y.A.
 Project Number: 1039
A406
 Approved By: WG

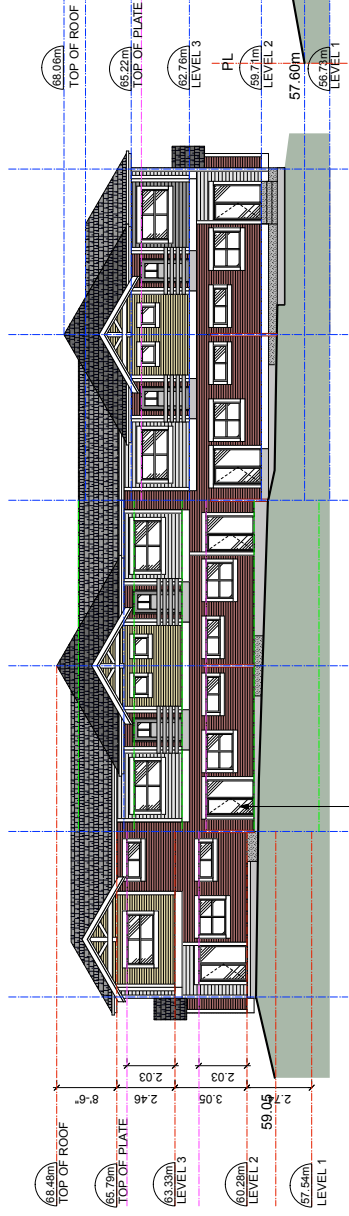


		W G ARCHITECTURE INC 63 GRANVILLE STREET VANCOUVER, B.C. V6C 1V5 TEL: (604) 681 2778 FAX: (604) 681 7484	Project Name: LAWRENCE COTTAGE RESIDENTIAL DEVELOPMENT 1470 70TH AVENUE SURREY	Drawing Title: BUILDING 7 ELEVATIONS	Date: January 2011 Scale: 1/8" = 1' - 0" Drawn By: NC Checked By: WG	Project Number: 1039 A407
No.	Date	Revision Details				
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SOUTH ELEVATION

EAST ELEVATION



NORTH ELEVATION

WEST ELEVATION

BUILDING 8

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No.	Date	Revision Detail

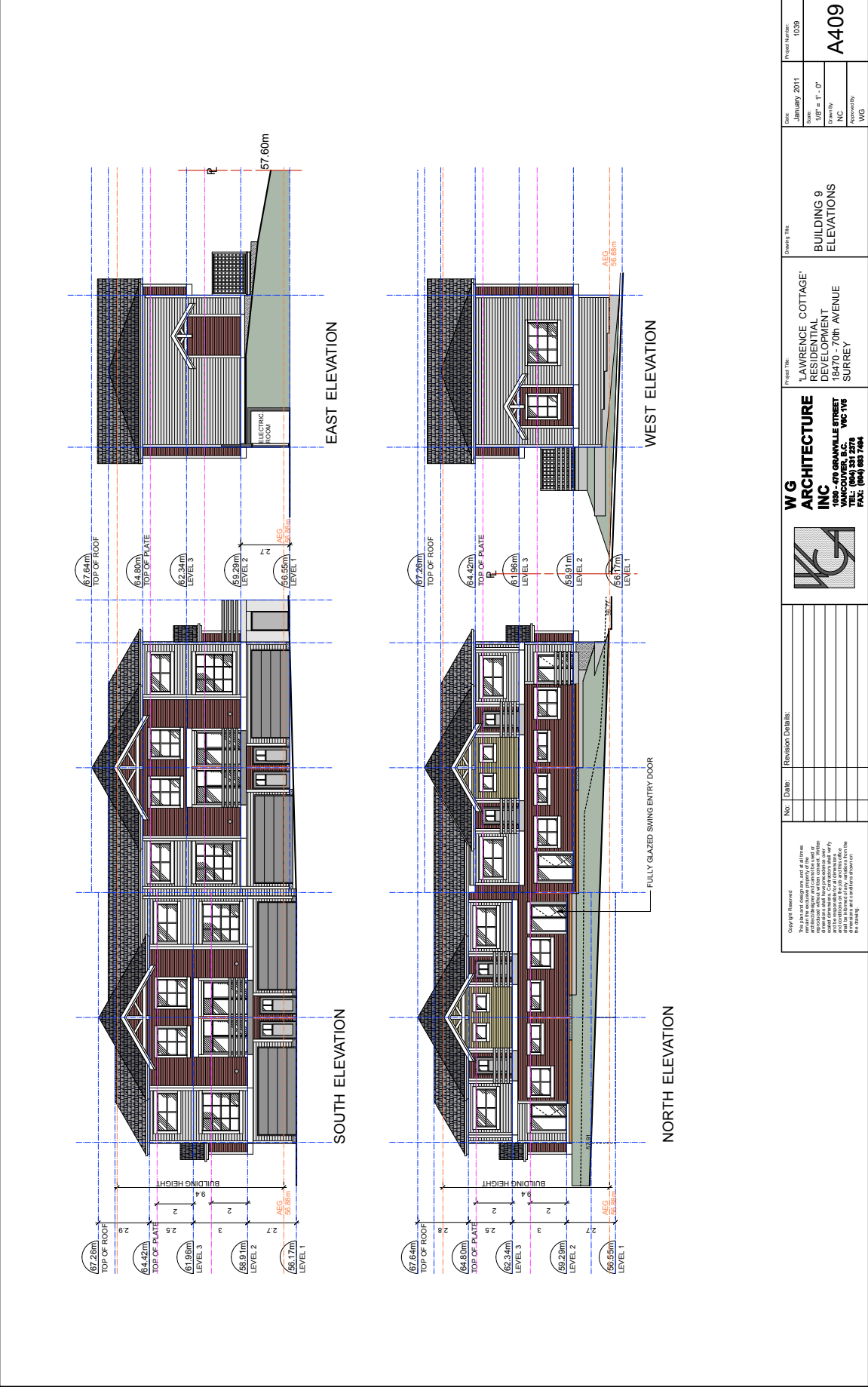


W.G. ARCHITECTURE INC.
 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V6
 TEL: (604) 341-2376
 FAC: (604) 383-7446

Project Site: LAWRENCE COTTAGE' RESIDENTIAL DEVELOPMENT 10701 AVENUE SURREY

Drawing Title: BUILDING 8 ELEVATIONS

Project Number:	1039
Date:	JANUARY 2011
Scale:	1/8" = 1' - 0"
Drawn By:	NC
Approved By:	WG
Project Name:	A408



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			<p>Scale: 1/8" = 1' - 0"</p>		<p>Drawn By: NC</p>	<p>Project Name: A409</p>
			<p>W.G. ARCHITECTURE INC. 20 GRANVILLE STREET VANCOUVER, B.C. V6C 1W5 TEL: (604) 681 2778 FAX: (604) 681 7484</p>		<p>Company Name: W.G.</p>	



WEST ELEVATION

EAST ELEVATION

NORTH ELEVATION

SOUTH ELEVATION

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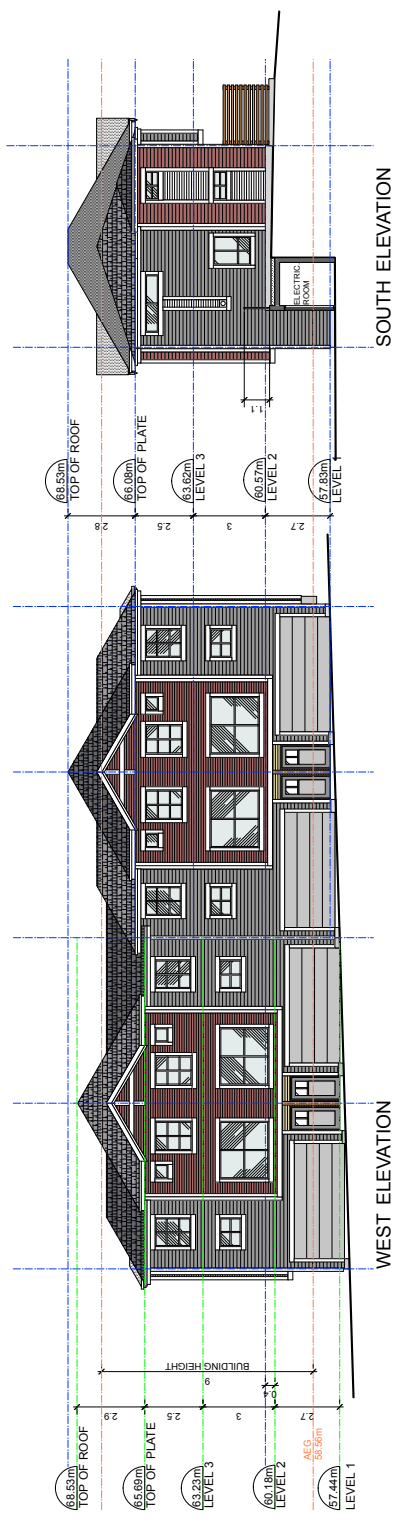
No.	Date	Revision Details



WG ARCHITECTURE INC
 100 GRANVILLE STREET
 WASHINGTON, D.C. 20005
 TEL: (800) 331-2378
 FAX: (800) 667-7464

Project No: LAWRENCE COTTAGE RESIDENTIAL DEVELOPMENT
 100 GRANVILLE STREET WASHINGTON, D.C. 20005
 Drawing No: BUILDING 10 ELEVATIONS

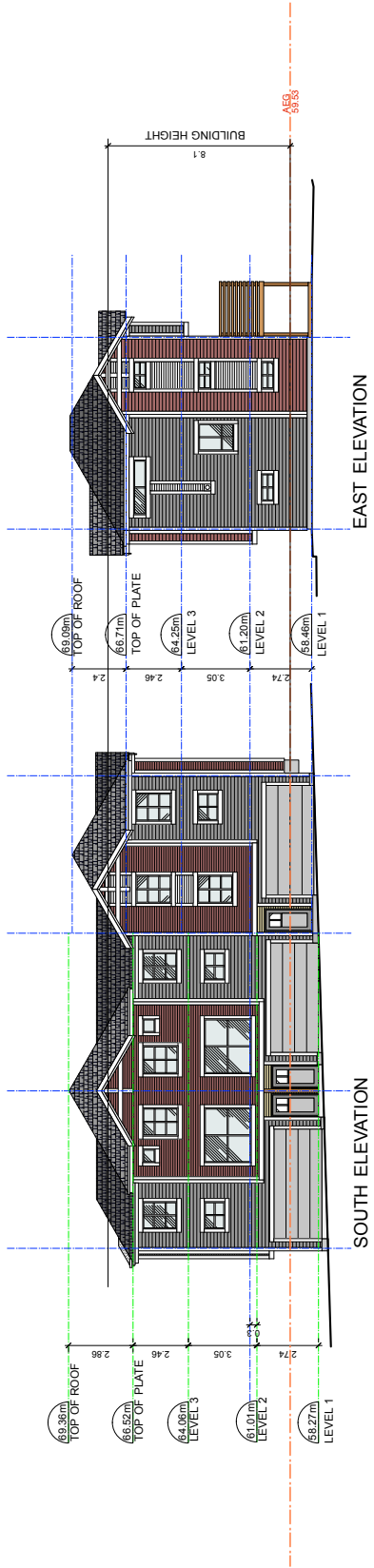
Project No: 1009
 Date: January 2011
 Scale: 1/8" = 1'-0"
 Drawing: VA, NC
 Approved By: WG
A410



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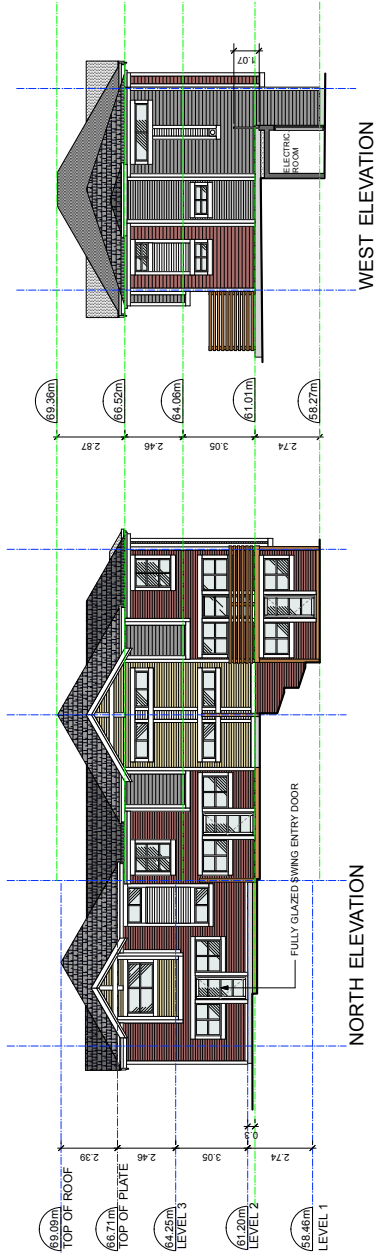


WGA ARCHITECTURE INC.
 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1Y6
 TEL: (604) 331-2774
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SOUTH ELEVATION

EAST ELEVATION



FULLY GLAZED SWING ENTRY DOOR

NORTH ELEVATION

WEST ELEVATION

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No.	Date	Revision Details



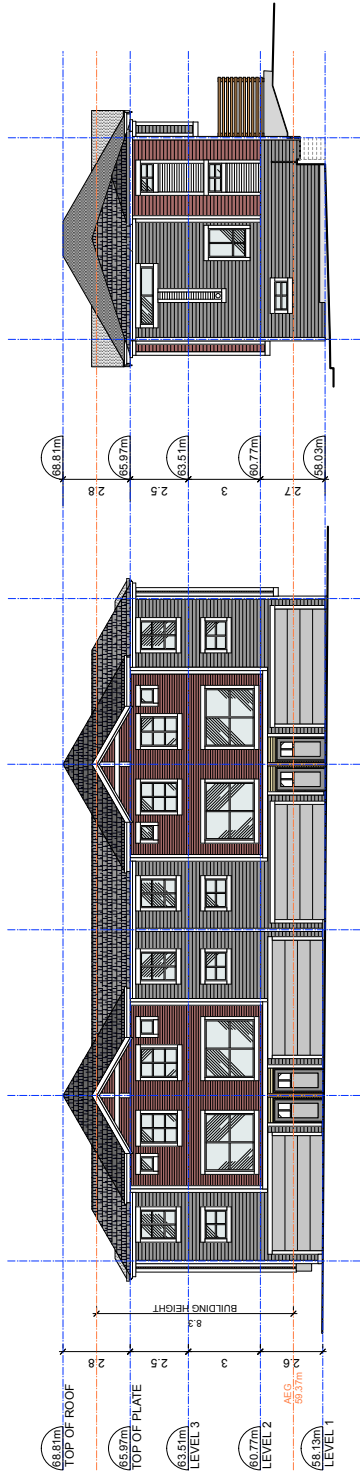
W G ARCHITECTURE INC.
 475 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 381-5378
 FAC: (604) 383-7445

Project Title:
LAWRENCE COTTAGE RESIDENTIAL DEVELOPMENT
 10000 100TH AVENUE
 SURREY

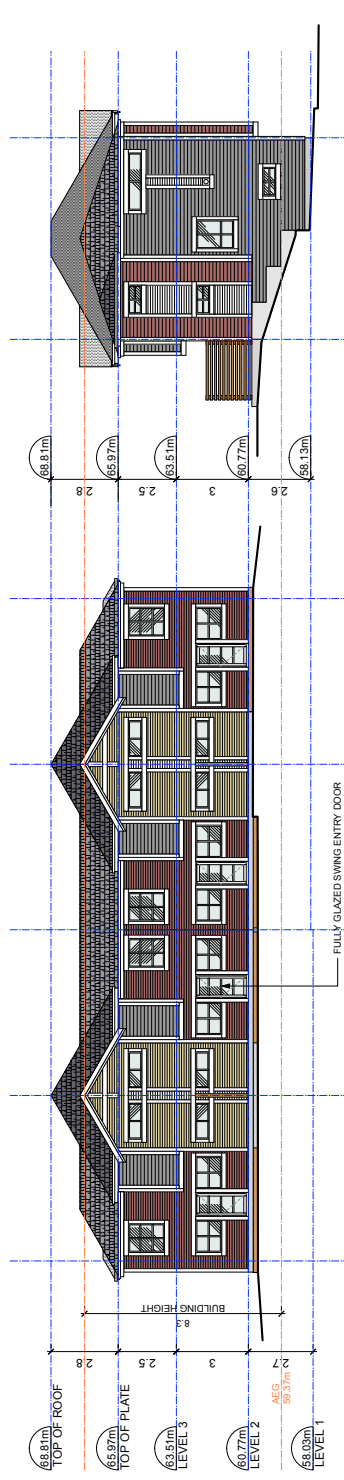
Drawing Title:
BUILDING 12 ELEVATIONS

Date: January 2011
 Scale: 1/8" = 1'-0"
 Drawn By: [Name]
 Approved By: W.G.

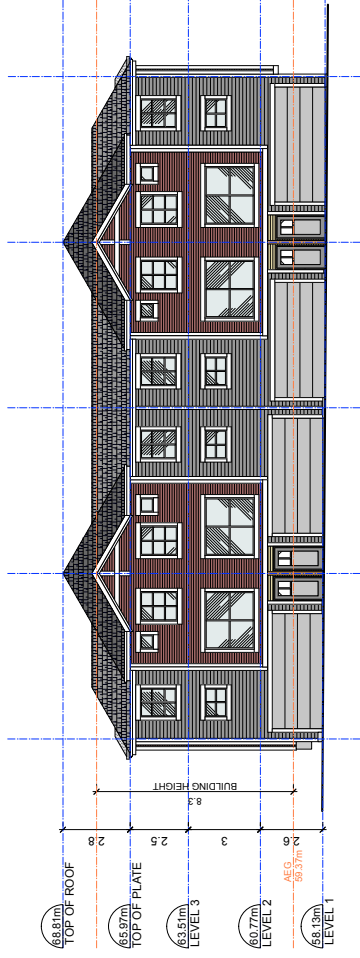
Project Number:
 1039
A412



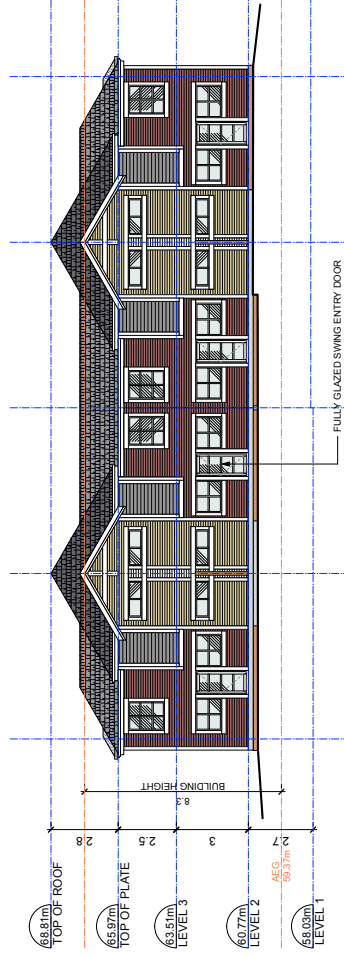
WEST ELEVATION



NORTH ELEVATION



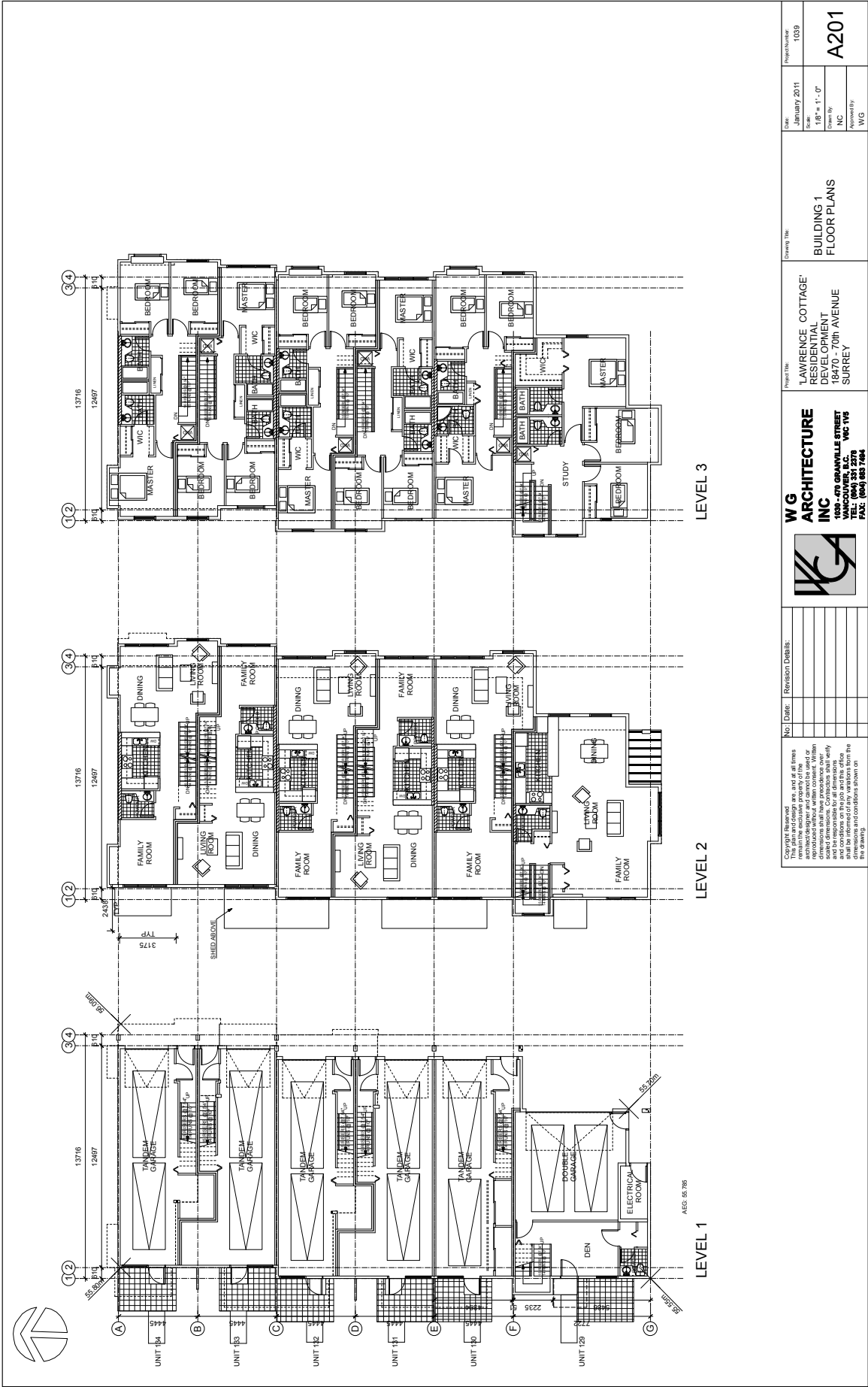
SOUTH ELEVATION



EAST ELEVATION

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					Scale: 1/8" = 1'-0"	Drawn By: VA, NC

A413



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<p>W G ARCHITECTURE INC 100-470 GRANVILLE STREET VANCOUVER, B.C. V6C 1W5 TEL: (604) 381-2378 FAX: (604) 381-7485</p>			
<p>Project Title: LAWRENCE COTTAGE RESIDENTIAL DEVELOPMENT 18470 - 70th AVENUE SURREY</p>		<p>Project Number: 1039</p>	
<p>Building Title: BUILDING 1 FLOOR PLANS</p>		<p>Date: January, 2011</p>	
<p>Scale: 1/8" = 1' - 0"</p>		<p>Drawn By: NC</p>	
<p>Checked By: W.G.</p>		<p>Project Number: 1039</p>	
<p>Project Number: A201</p>		<p>Scale: 1/8" = 1' - 0"</p>	

LEVEL 3

LEVEL 2

LEVEL 1

A/E/C 05.705

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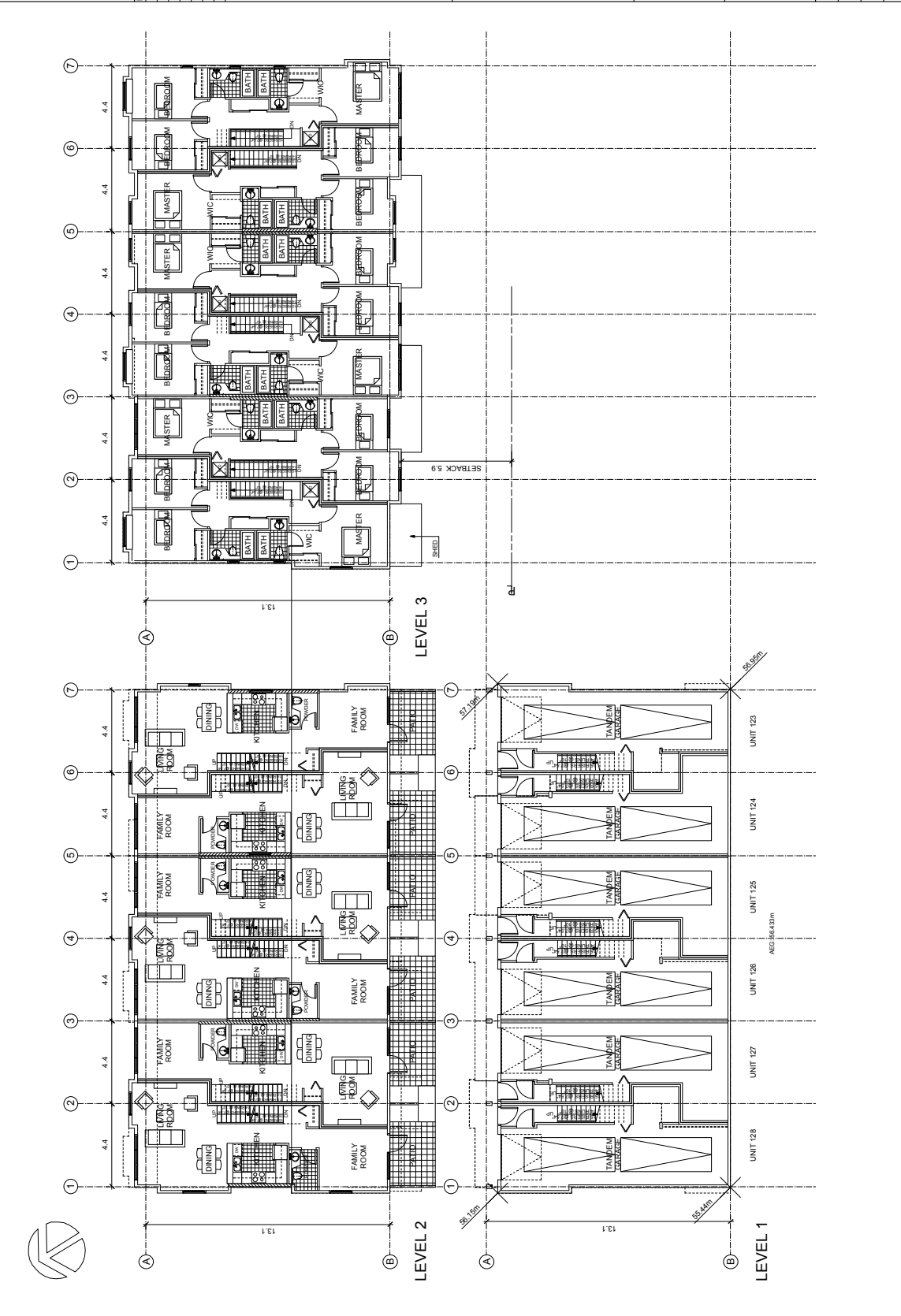
W G ARCHITECTURE INC
 1030 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V6
 TEL: (604) 683 7400
 FAX: (604) 683 7404

Project Title:
 'LAWRENCE COTTAGE'
 RESIDENTIAL DEVELOPMENT
 18470 - 7th AVENUE
 SURREY

Building 2
 FLOOR PLANS

Date:	January 2011
Project Number:	1039
Scale:	1/8" = 1' - 0"
Drawn By:	NC
Approved By:	WIG

A202



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No.	Date	Revision Details



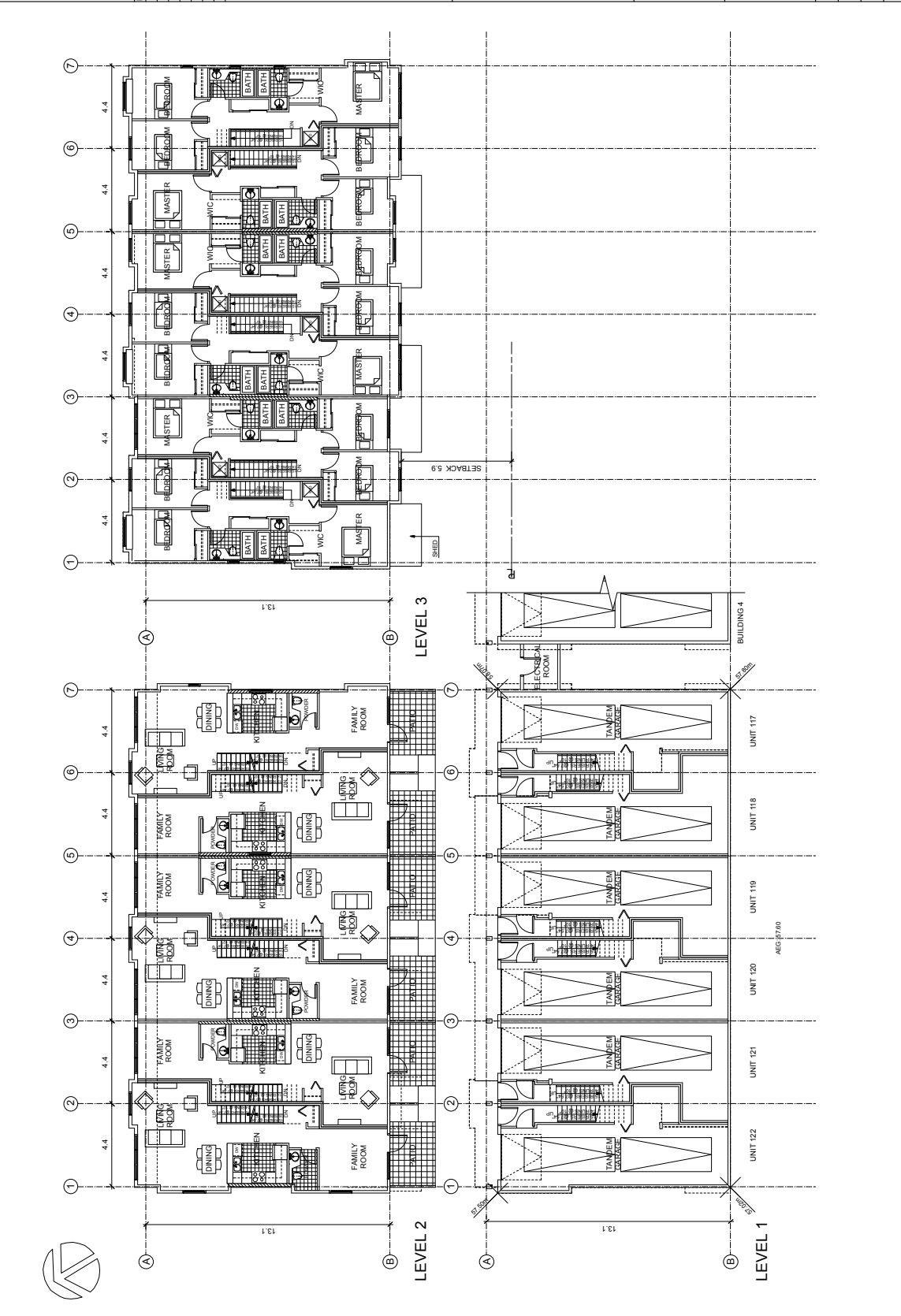
W G ARCHITECTURE INC
 1030 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 683 7400
 FAX: (604) 683 7404

Project Title:
 'LAWRENCE COTTAGE'
 RESIDENTIAL DEVELOPMENT
 18470 - 70th AVENUE
 SURREY

Building 3
 FLOOR PLANS

Date	January 2011
Project Number	1039
Scale	1/8" = 1' - 0"
Drawn By	NC
Approved By	WIG

A203



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No.	Date	Revision Details



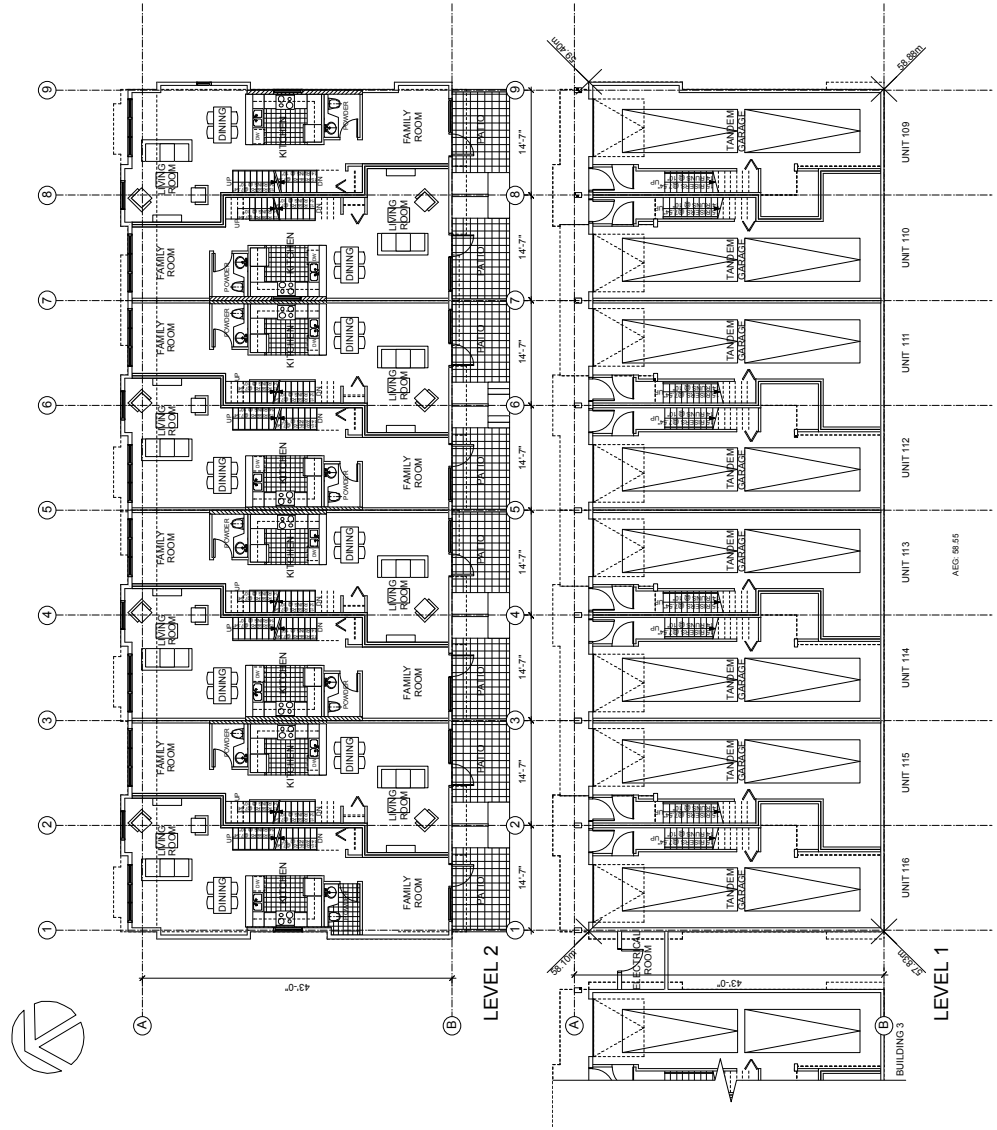
WG ARCHITECTURE INC
 1881-470 GRANVILLE STREET
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 FAX: (604) 683 7484

Project Title:
 'LAWRENCE COTTAGE'
 RESIDENTIAL DEVELOPMENT
 18470 - 70th AVENUE
 SURREY

Building 4
 FLOOR PLANS
 LEVEL 1 + 2

Date:	January 2011
Project Number:	1039
Scale:	1/8" = 1' - 0"
Drawn By:	NC
Checked By:	WG

A204



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No.	Date	Revision Details



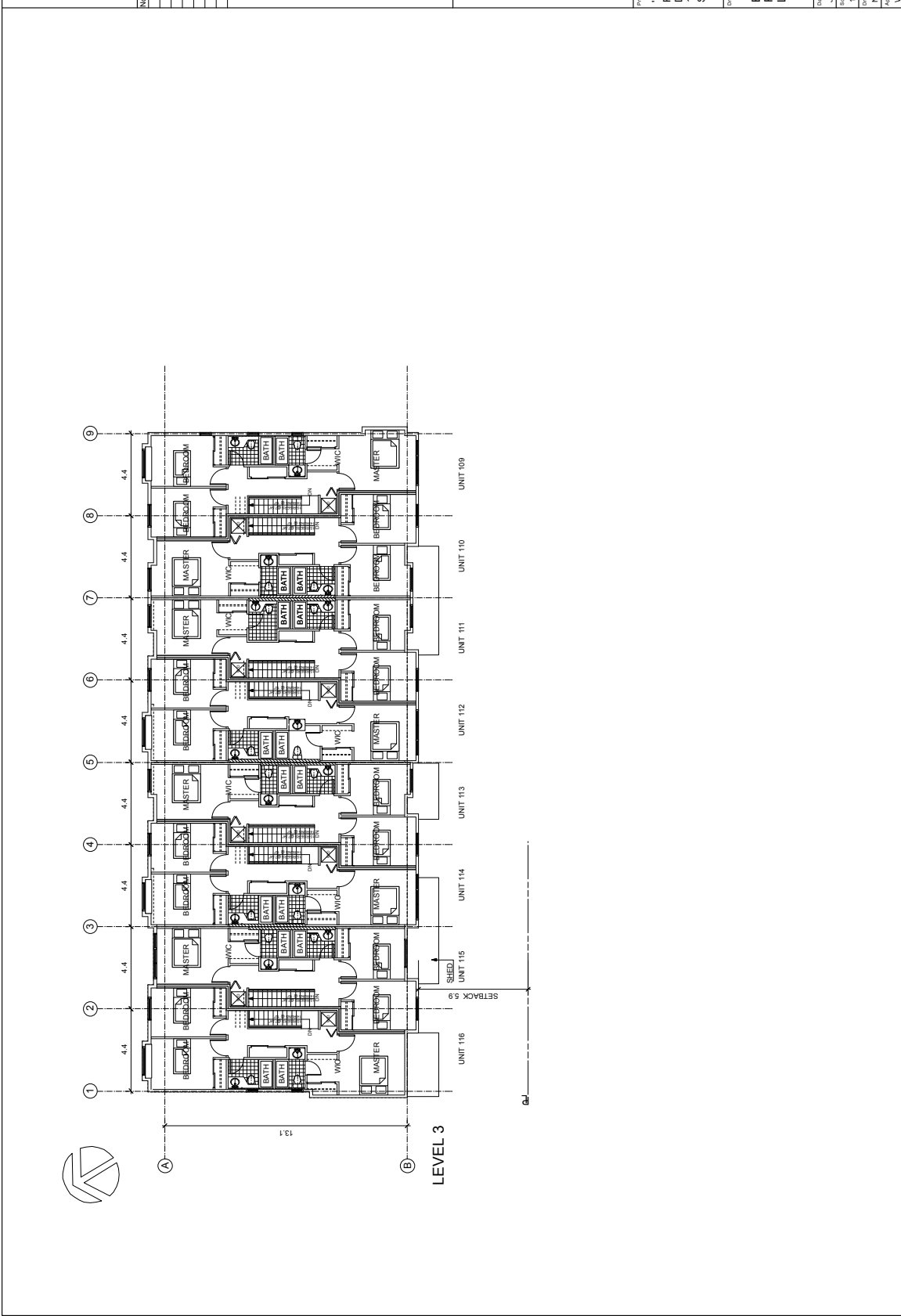
WG ARCHITECTURE INC
 1600, 475 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1Y6
 TEL: (604) 331 2378
 FAX: (604) 683 7468

Project Title:
 LAWRENCE COTTAGE
 RESIDENTIAL
 DEVELOPMENT
 18470 - 70th AVENUE
 SURREY

Client:
 LAWRENCE COTTAGE
 RESIDENTIAL
 DEVELOPMENT
 18470 - 70th AVENUE
 SURREY

Date:	February 2011	Project Number:	0319
Scale:	1/8" = 1'-0"	Drawn By:	NC
		Approved By:	WG

A205



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No.	Date	Revision Details

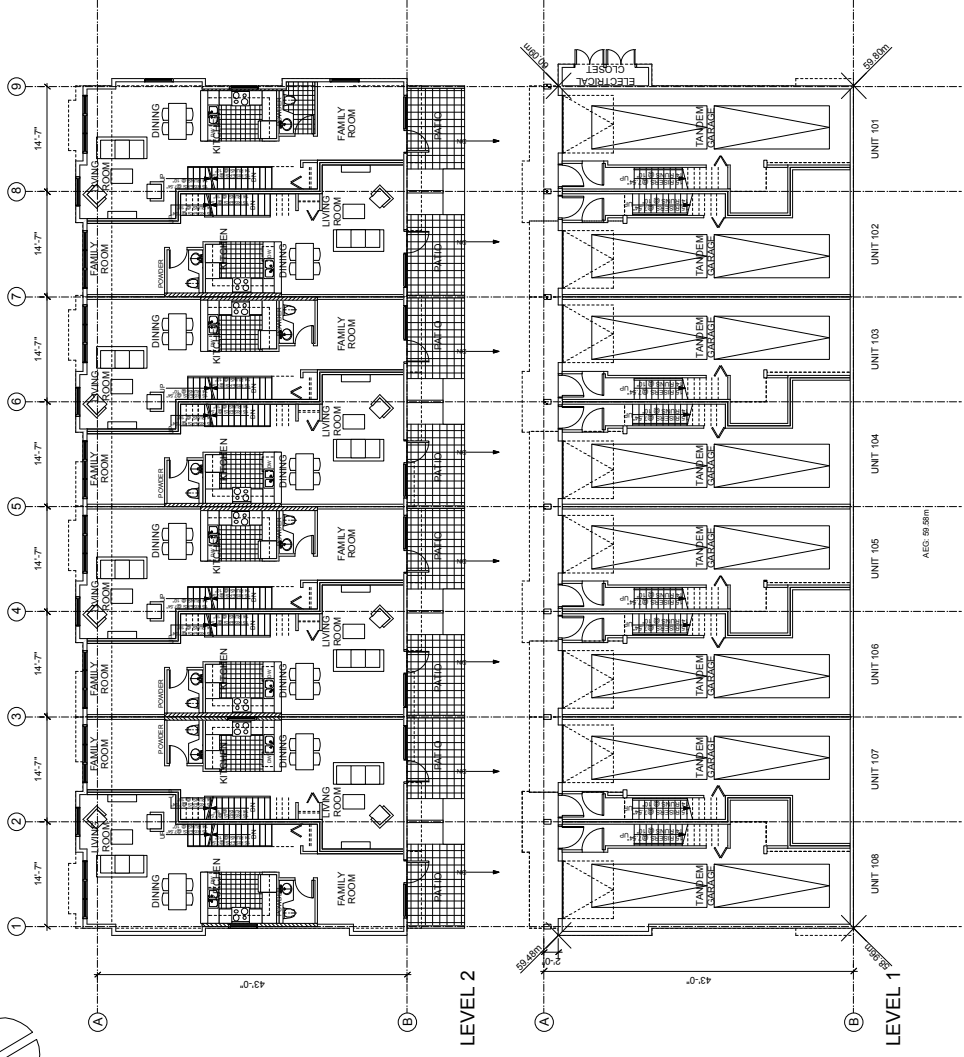


WGA ARCHITECTURE INC
 1001 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V6
 TEL: (604) 683 7400
 FAX: (604) 683 7404

Project Title:
 "LAWRENCE COTTAGE"
 RESIDENTIAL DEVELOPMENT
 18470 - 70th AVENUE
 SURREY

Drawing Title:
 BUILDING 5
 FLOOR PLANS
 LEVEL 1 + 2

Date:	January 2011
Project Number:	1039
Scale:	1/8" = 1' - 0"
Drawn By:	NC
Checked By:	WG
Project Name:	A206



LEVEL 2

LEVEL 1

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No.	Date:	Revision Details:



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VANCOUVER, BC
TEL: (604) 551-5220
FAX: (604) 583-7448

Project Title:
LAWRENCE COTTAGE
RESIDENTIAL
DEVELOPMENT
18470 - 70th AVENUE
SURREY

Drawing Title:

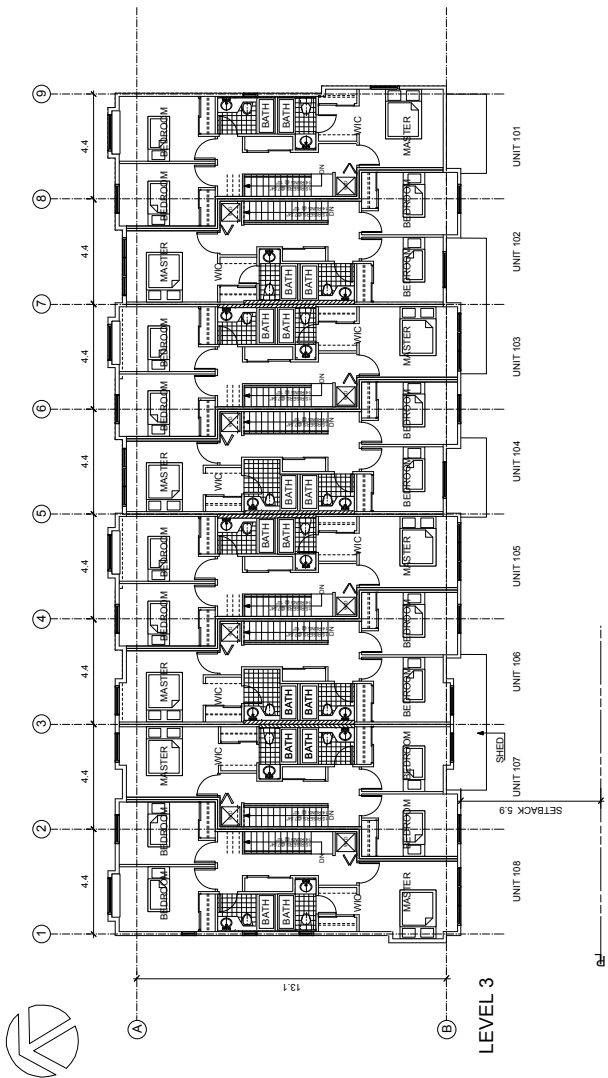
BUILDING 5
FLOOR PLANS
LEVEL 3

Date: January 2011
Project Number: 0330

Scale: 1/8" = 1'-0"

Drawn By: WGA
Checked By: WGA
Project No: WGA

A207



LEVEL 3

131

UNIT 101

UNIT 102

UNIT 103

UNIT 104

UNIT 105

UNIT 106

UNIT 107

UNIT 108

SETBACK 5.9

SHED

6

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No.	Date	Revision Details



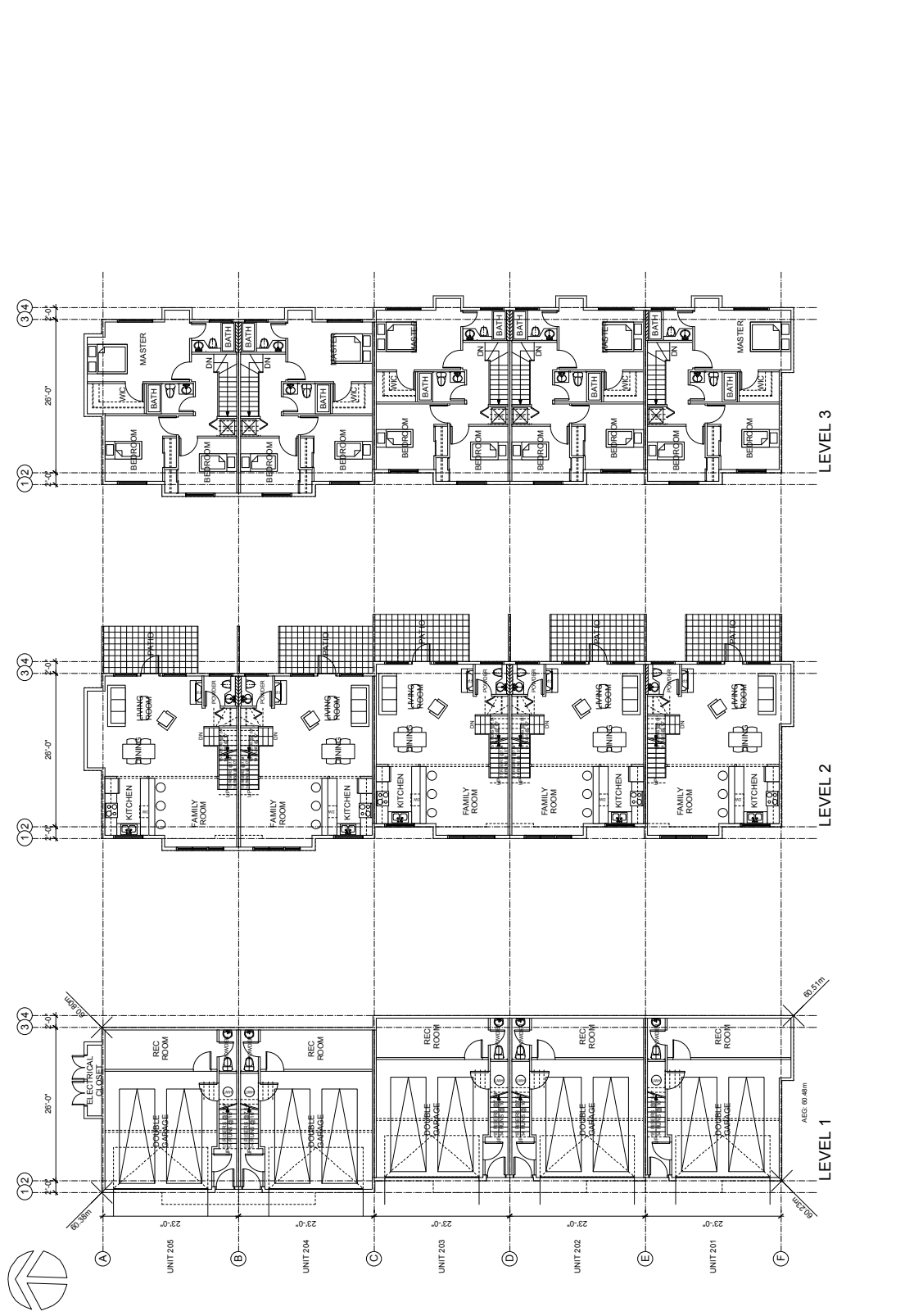
W G ARCHITECTURE INC
100 - 470 GRANVILLE STREET
SUITE 200
VANCOUVER BC V6C 1Y6
TEL: (604) 351 5270
FAX: (604) 353 7444

Project Title
**'LAWRENCE COTTAGE'
RESIDENTIAL
DEVELOPMENT
18470 - 70th AVENUE
SURREY**

Drawing Title
**BUILDING 6
FLOOR PLANS**

Date	January 7, 2011
Project Number	0339
Scale	1/8" = 1'-0"
Drawn by	W.G.
Checked by	W.G.
Approved by	W.G.

A208



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No.	Date	Revision Details



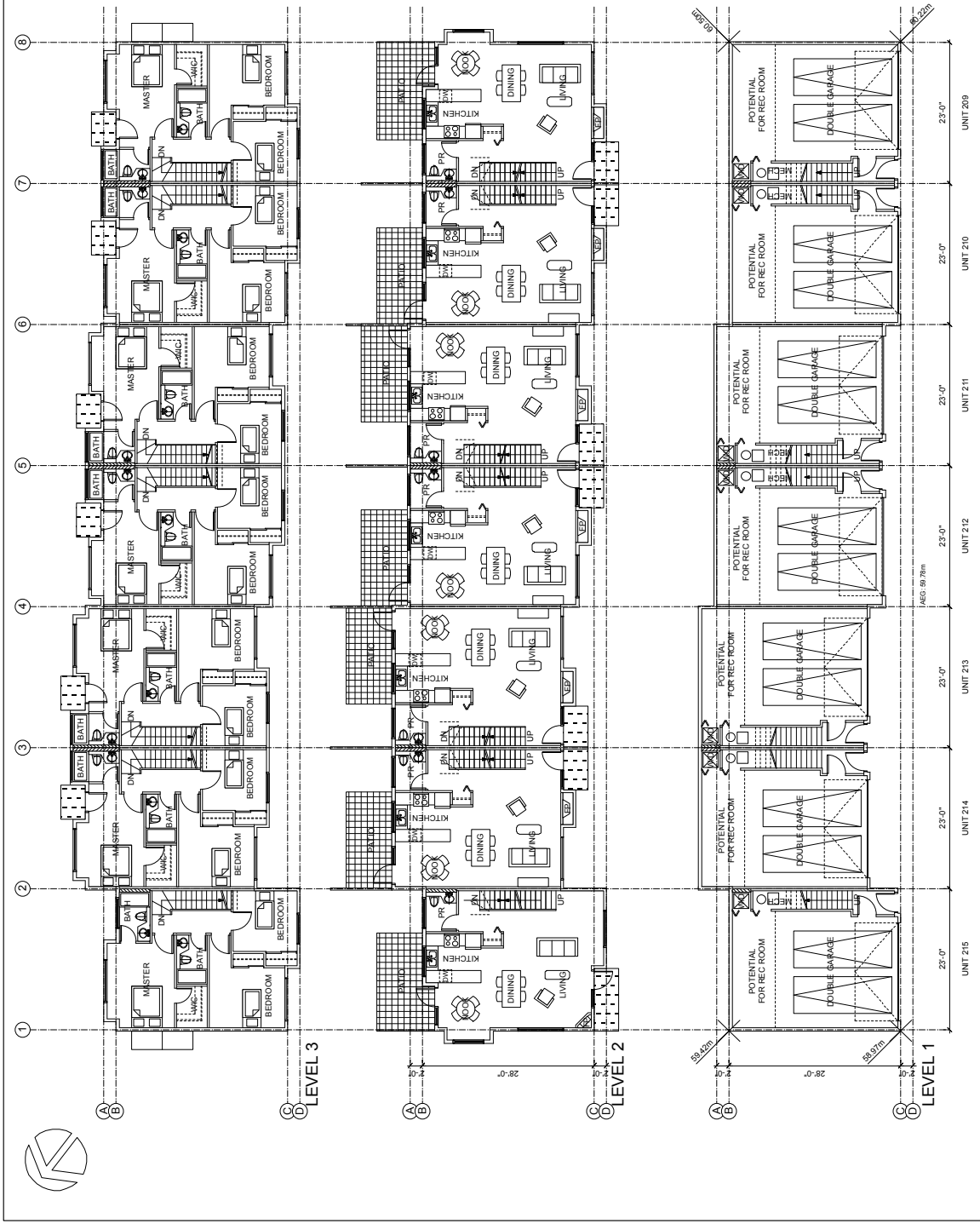
WG ARCHITECTURE INC
 1630 - 475 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V6
 TEL: (604) 681 7779
 FAX: (604) 681 7284

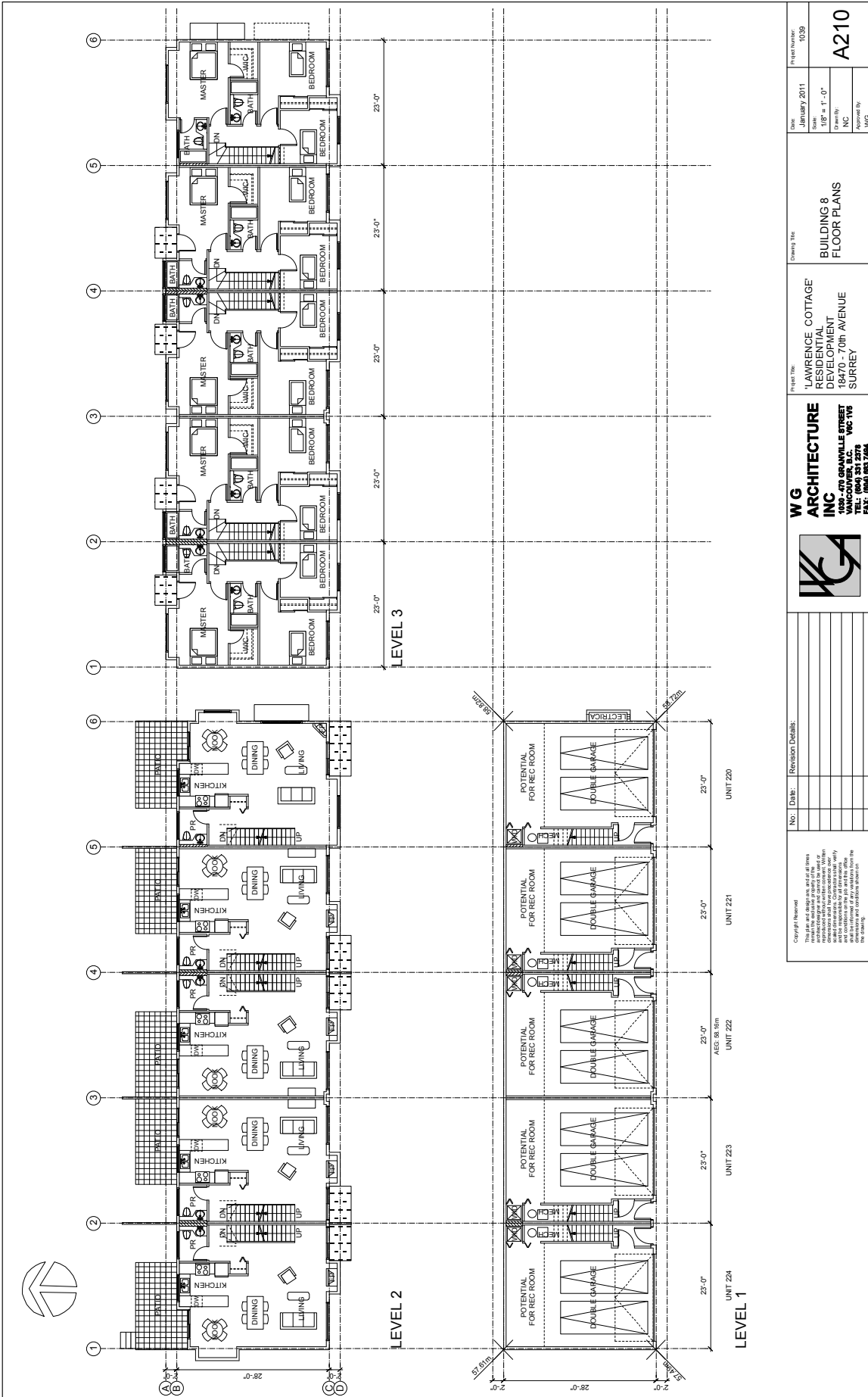
Project Title:
**'LAWRENCE COTTAGE'
 RESIDENTIAL
 DEVELOPMENT
 18470 - 70th AVENUE
 SURREY**

Drawing Title:
**BUILDING 7
 FLOOR PLANS**

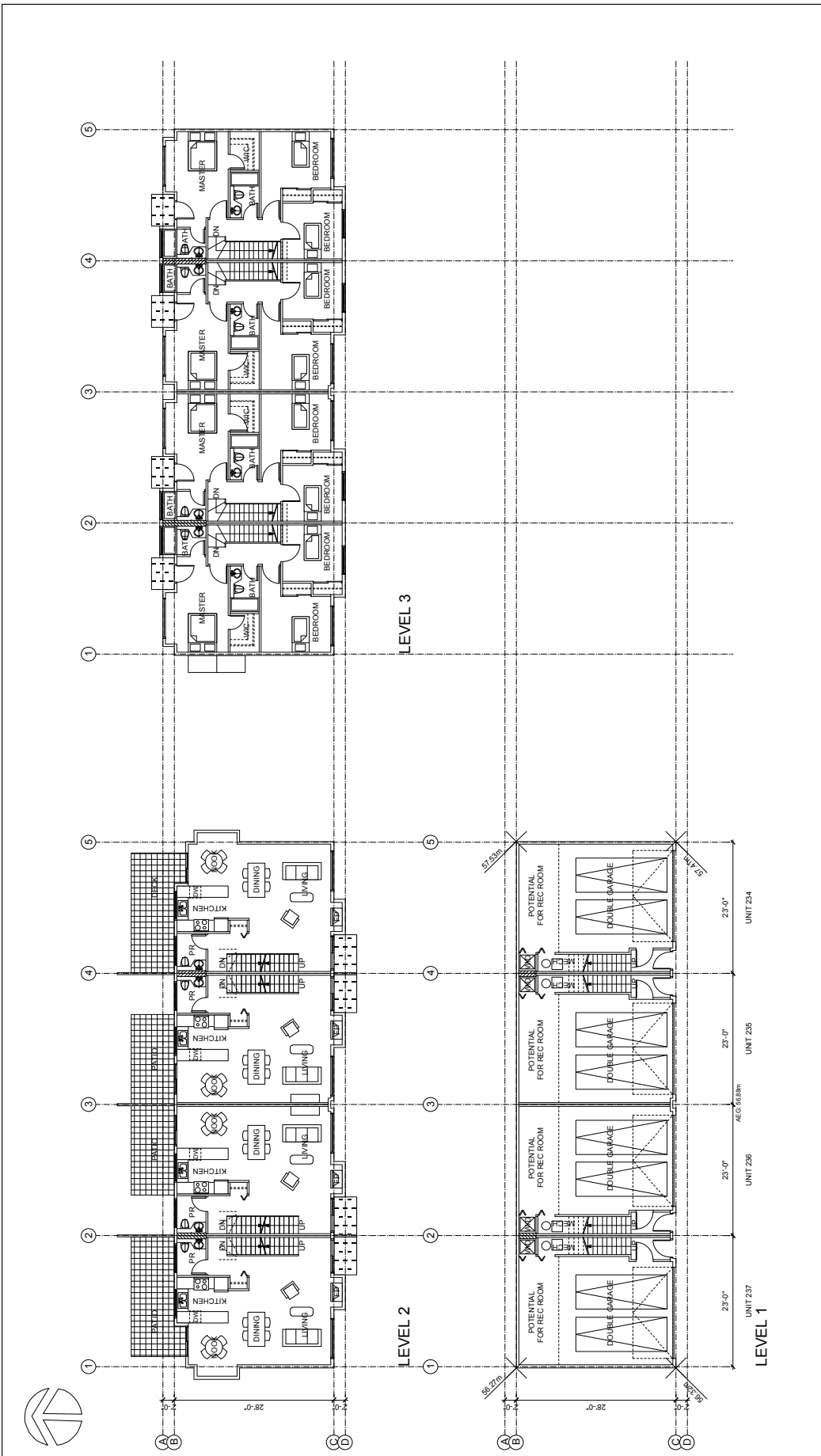
Date: January 2011
 Project Number: 1039
 Scale: 1/8" = 1'-0"
 Drawn By: NC
 Approved By: WS

A209






<p>W G ARCHITECTURE INC. 10 GRANVILLE STREET VANCOUVER, B.C. V6C 1W5 TEL: (604) 531 2378 FAX: (604) 583 7484</p> 	<p>Project Title: LAWRENCE COTTAGE RESIDENTIAL DEVELOPMENT 1870 70th AVENUE SURREY</p>	<p>Planning Title: BUILDING 8 FLOOR PLANS</p>	<p>Date: January 2011</p>	<p>Project Number: 1039</p>
	<p>Scale: 1/8" = 1' - 0"</p>	<p>Drawn By: NC</p>	<p>Approved By: WG</p>	<p>Sheet Number: A210</p>
<p>No. Date: Revision Details:</p>	<p>Copyright Reserved This drawing and the information contained herein are the exclusive property of W.G. Architecture Inc. and shall remain the property of W.G. Architecture Inc. until such time as the information herein is published in a printed form. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of W.G. Architecture Inc. The user of this drawing shall be responsible for obtaining all necessary permits and approvals for the project and for the accuracy of the information and conditions of use.</p>			



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WG ARCHITECTURE INC 1000 MC GRAVELLE STREET WILLOWDALE, ONTARIO M2H 3L4 TEL: (416) 331-2378 FAX: (416) 683-7484			
WG			
Project Title: LAWRENCE COTTAGE RESIDENTIAL DEVELOPMENT 18470 - 70th AVENUE SURREY			
Drawing Title: BUILDING 9 FLOOR PLANS			
Date:	January 2011	Project Number:	1039
Scale:	1/8" = 1'-0"	Drawn by:	NC
Approved by:	WG	Project Name:	A211

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NO.	DATE	REVISION	DETAILS



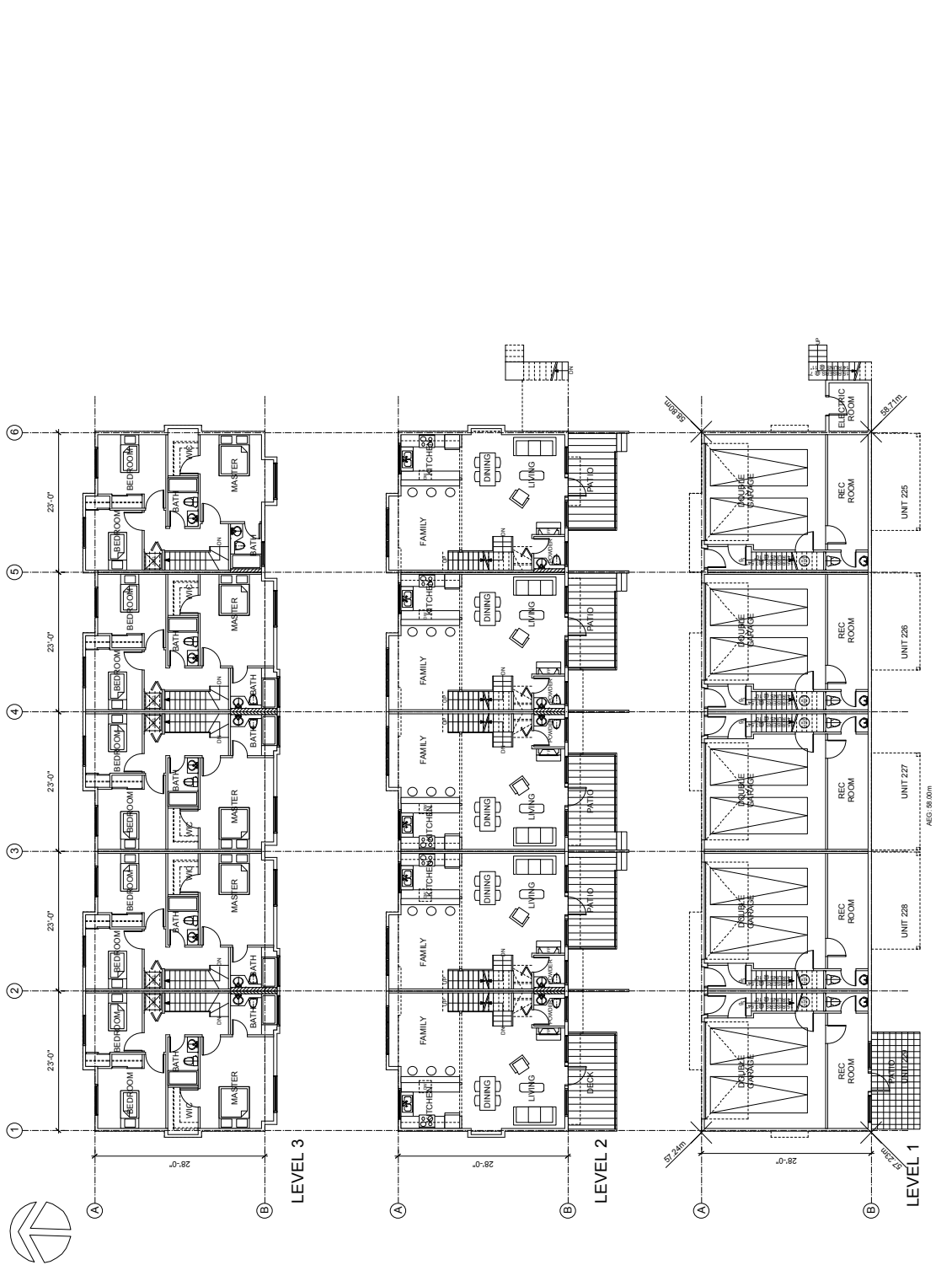
W G ARCHITECTURE INC
 1030 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V6
 TEL: (604) 331 2278
 FAX: (604) 683 7464

Project Title:
 'LAWRENCE COTTAGE'
 RESIDENTIAL DEVELOPMENT
 18470 - 70th AVENUE
 SURREY

Drawing Title:
**BUILDING 10
 FLOOR PLANS**

Sheet No.:	10239
Project No.:	10239
Date:	February 2011
Scale:	1/8" = 1' - 0"
Drawn by:	NC
Approved by:	WG

A212



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No.	Date	Revision	Details

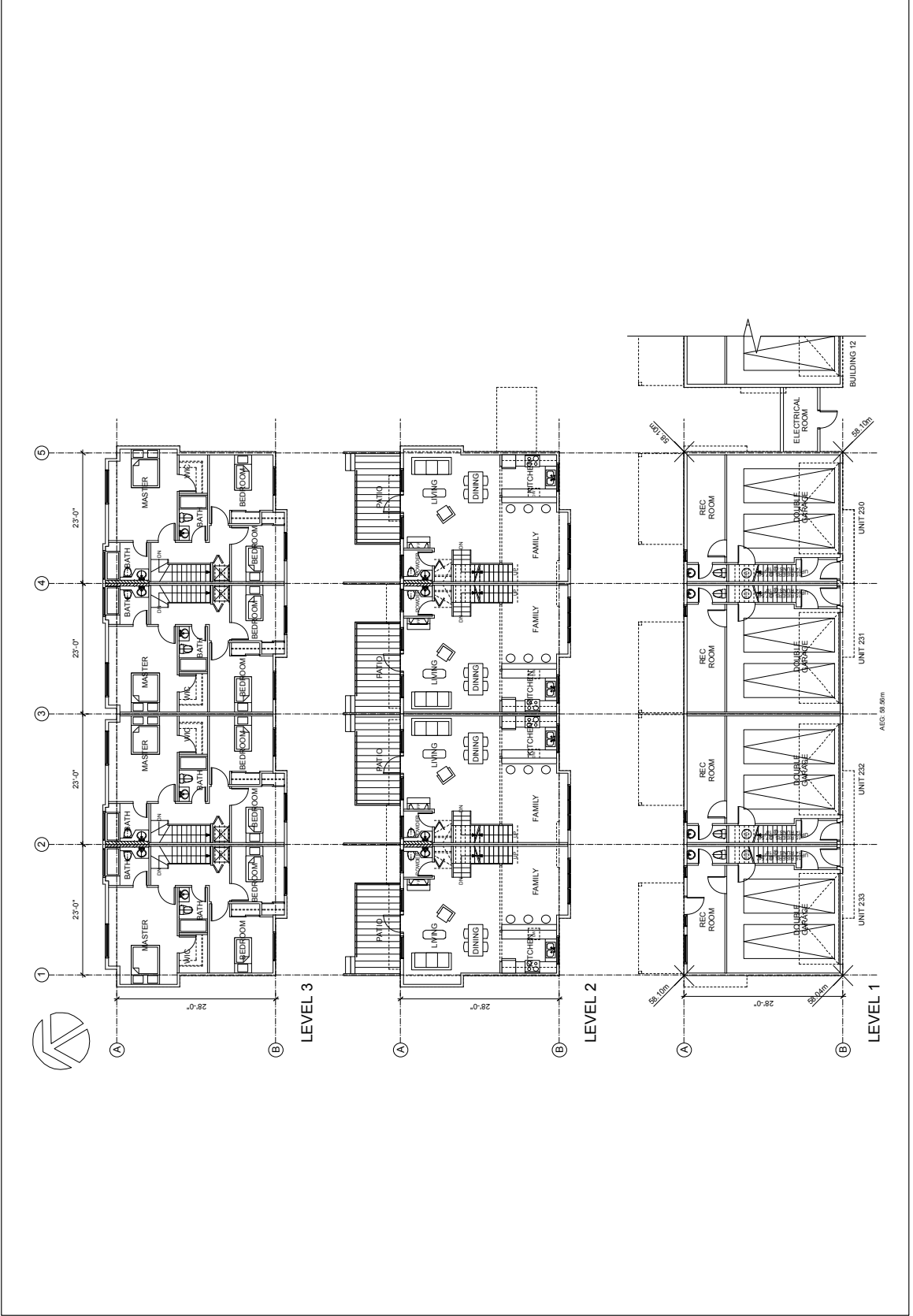


WG ARCHITECTURE INC
 1000 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V6
 TEL: (604) 331-2278
 FAX: (604) 683-7464

Project Title:
 LAWRENCE COTTAGE
 RESIDENTIAL DEVELOPMENT
 18470 - 70th AVENUE
 SURREY

Drawing Title:
**BUILDING 11
 FLOOR PLANS**

Issue	
Date	February 2011
Project Number	1029
Scale	1/8" = 1' - 0"
Drawn by	NC
Approved by	WG



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WG ARCHITECTURE INC

1833-470 GRANVILLE STREET
VANCOUVER, BC
TEL: (604) 331-3270
FAX: (604) 683-7464

Project Title:

LAWRENCE COTTAGE
RESIDENTIAL
DEVELOPMENT
18470 - 70th AVENUE
SURREY

Drawing Title:

BUILDING 12
FLOOR PLANS

Date: January 2011

Project Number: 1039

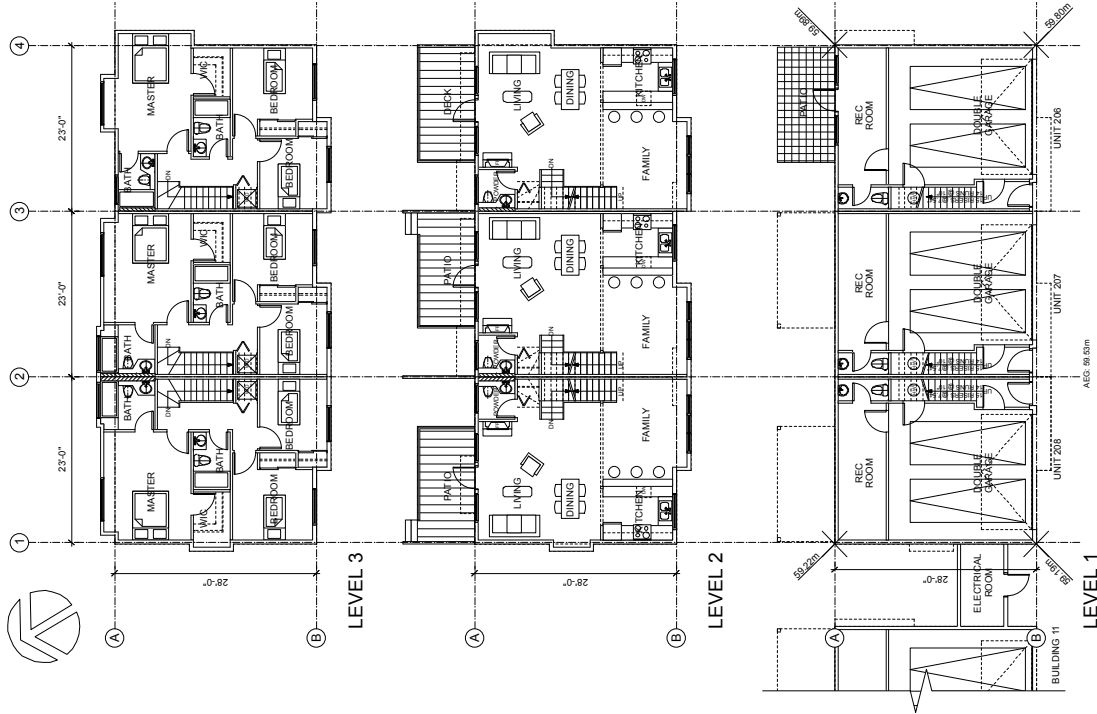
Scale: 1/8" = 1' - 0"

Drawn by: AC

Checked by: WG

Approved by: WG

A214



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 1030 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V6
 TEL: (604) 278-7878
 FAX: (604) 281-7884

Project Title:

LAWRENCE COTTAGE
 RESIDENTIAL DEVELOPMENT
 18470 - 70th AVENUE
 SURREY

Drawing Title:

BUILDING 13
 FLOOR PLANS

Date: January 2011

Project Number: 1039

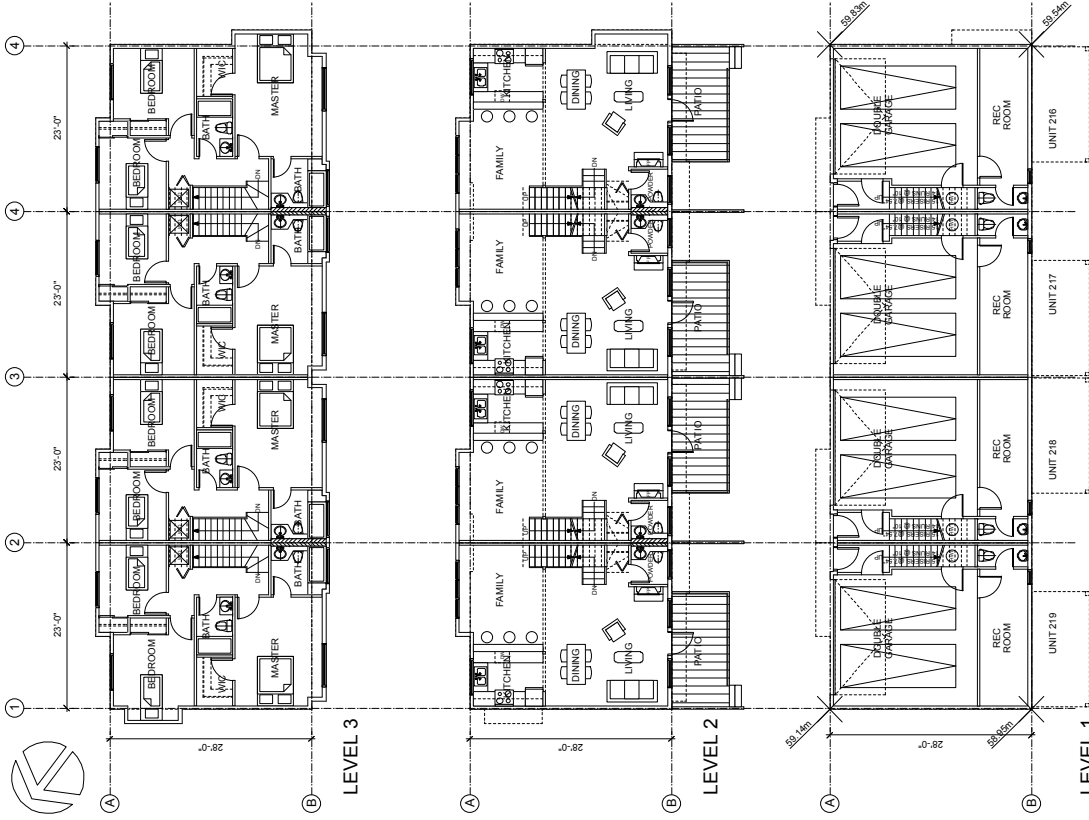
Scale: 1/8" = 1' - 0"

Drawn By: NC

Approved By:

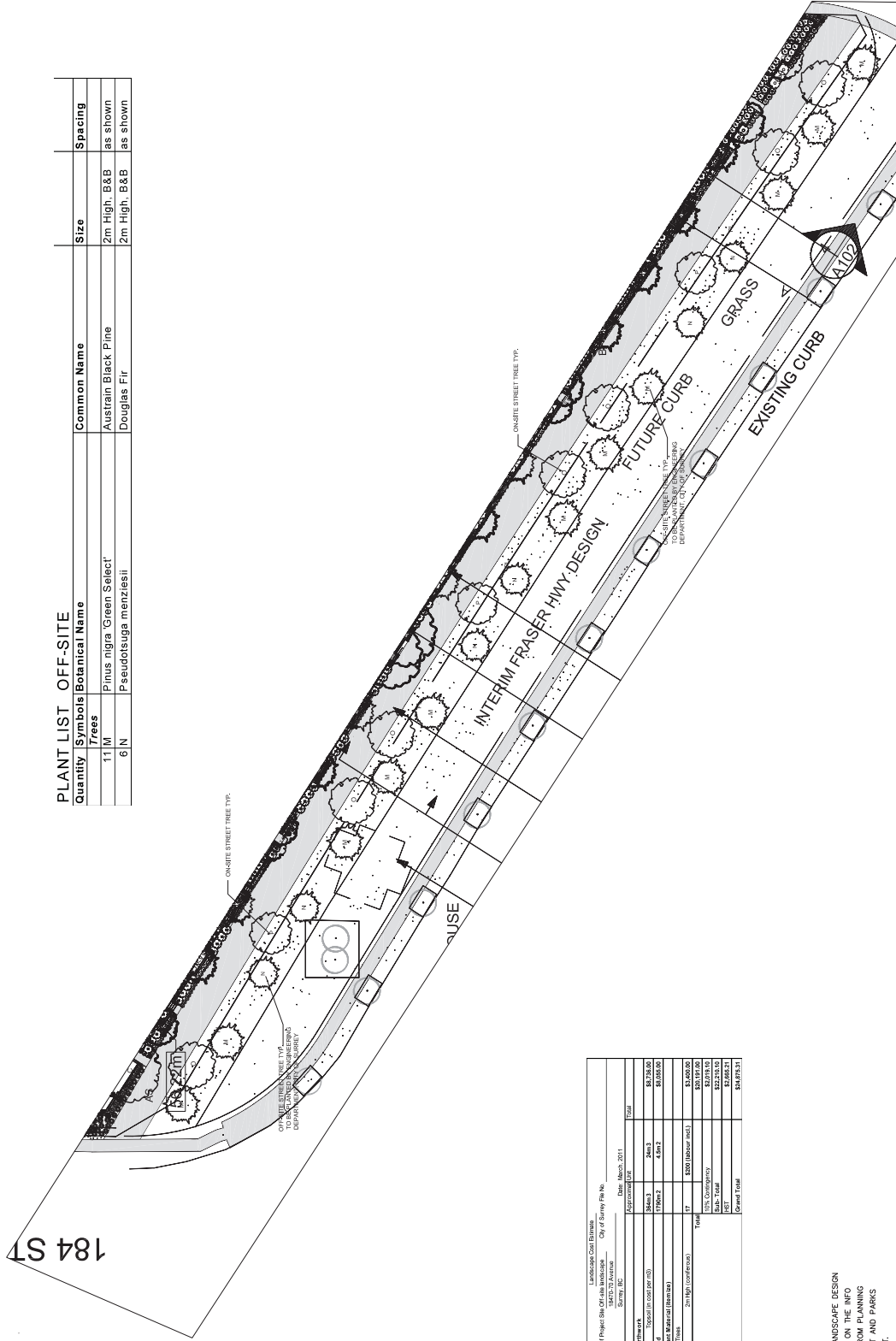
A215

WS



PLANT LIST - OFF-SITE

Quantity	Symbol	Botanical Name	Common Name	Size	Spacing
11	M	Pinus nigra 'Green Select'	Austrain Black Pine	2m High, B&B	as shown
6	N	Pseudotsuga menziesii	Douglas Fir	2m High, B&B	as shown



Address of Project: 184 St, City of Surrey Parks, Safety & Streets
1845 184 Avenue, Surrey, BC

Date: March, 2011

Item	Description	Quantity	Unit	Price
1	1. Benchmark			
2	2. Soil	11700m ²	4 cm ²	\$2,724.00
3	3. All Trees	17	\$200 (average cost)	\$3,400.00
Sub-Total				\$6,124.00
GST (5%)				\$306.20
Grand Total				\$6,430.20

NOTE:
OFF-SITE LANDSCAPE DESIGN
WAS BASED ON THE INFO
PROVIDED BY THE CITY OF SURREY
PARKS AND RECREATION
DEPARTMENT AND PARKS
DEPARTMENT.

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DATE	REVISIONS



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Landscape Architecture • Urban Design

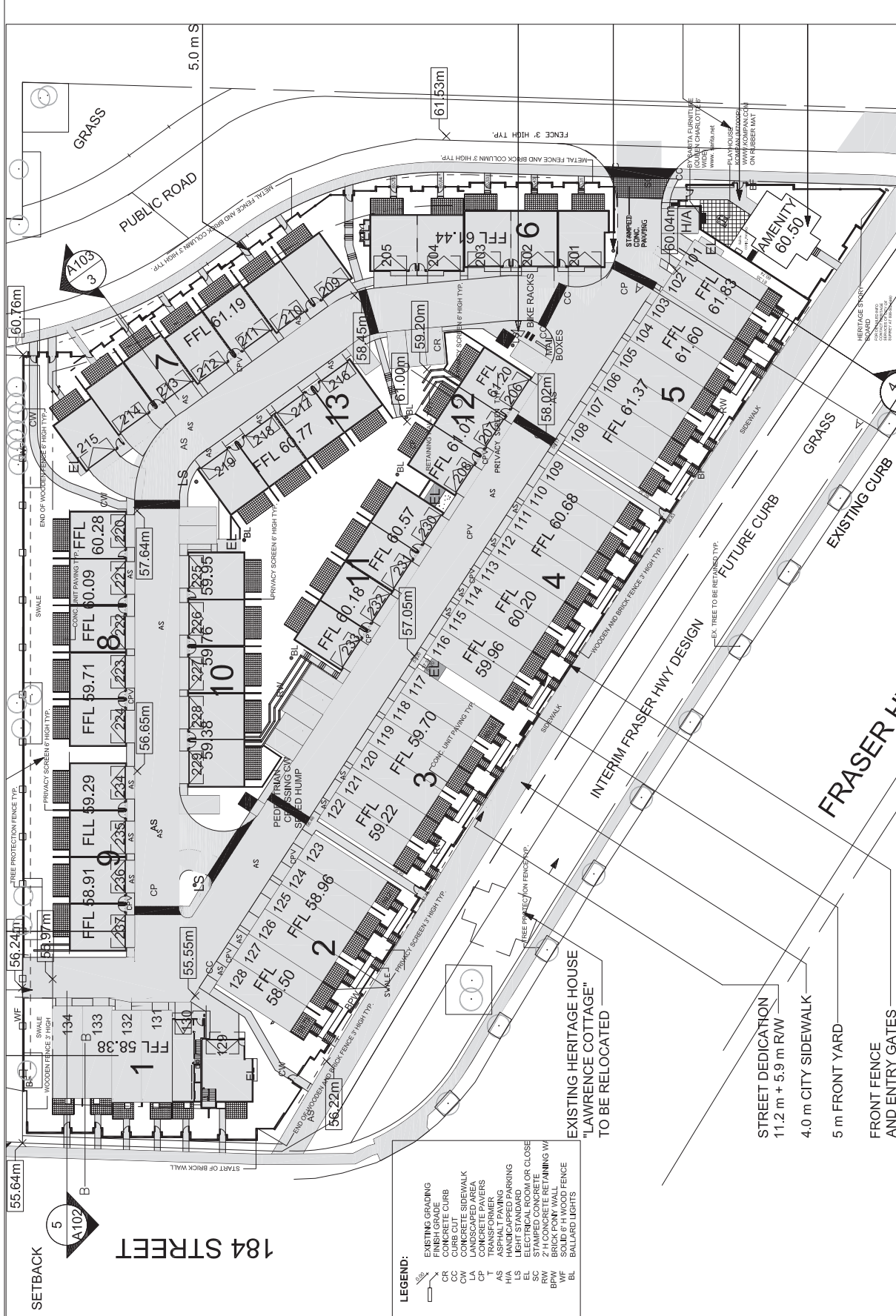
4375, Maple Street, Burnaby, BC
V5C 2S1
Tel: 1-866-277-5654
Fax: 604-291-1111
Email: jhl@jhl.ca

DATE	DATE	DATE
11	11	11
11	11	11
11	11	11

PROJECT TITLE
"LAWRENCE COTTAGE" RESIDENTIAL DEVELOPMENT
1845/184 AVENUE
SURREY, BC

DRAWING TITLE
OFF-SITE LANDSCAPE PLAN
OFF-SITE PLANT LIST
OFF-SITE COST ESTIMATE

DATE
L-2



SETBACK 55.64m

184 STREET

FRASER HWY

PUBLIC ROAD

GRASS

EXISTING HERITAGE HOUSE "LAWRENCE COTTAGE" TO BE RELOCATED

STREET DEDICATION 11.2 m + 5.9 m RW

4.0 m CITY SIDEWALK

5 m FRONT YARD

FRONT FENCE AND ENTRY GATES

LEGEND:

CR	EXISTING GRADING
CC	CONCRETE CURB
CW	CURB CUT
CS	CONCRETE SIDEWALK
CP	CONCRETE PAVERS
CT	CONCRETE TRANSFORMER
AS	ASPHALT PAVING
LS	LANDSCAPE LIGHT STANDARD
EL	ELECTRICAL ROOM OR CLOSE
SC	STAMPED CONCRETE
BPW	BRICK PONY WALL
WF	SOLID 6" H WOOD FENCE
BL	BALLARD LIGHTS

REVISIONS

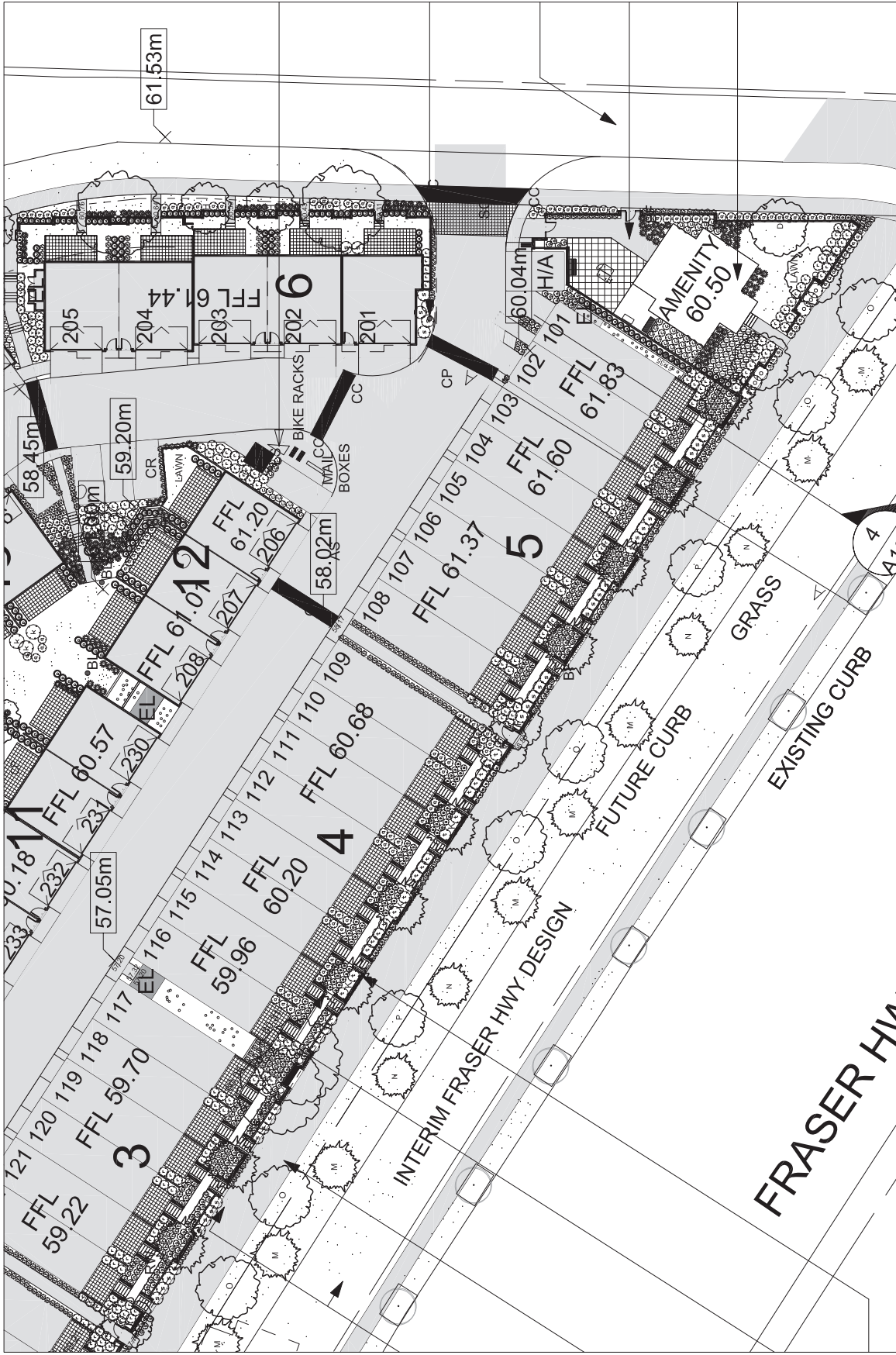
DATE	DESCRIPTION

PROJECT TITLE: LAWRENCE COTTAGE RESIDENTIAL DEVELOPMENT
DATE: March, 11
SCALE: 1/4" = 1'-0"
DRAWN BY: [Name]
CHECKED BY: [Name]

JHL Design Group Inc.
 Landscape Architecture + Urban Design
 4375, West Street, Vancouver, BC
 Tel: 604-277-2544
 Fax: 604-277-2544
 Email: jhl@jhl.ca

DRAWING TITLE: LAYOUT AND MATERIAL
NO. IN SET: L-3

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REV. NO. **L-4**

DRAWING TITLE
LANDSCAPE PLAN PLANTING DESIGN

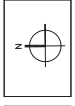
PROJECT TITLE
LAWRENCE COTTAGE RESIDENTIAL DEVELOPMENT
10000 100th Avenue
Surrey, BC

SCALE: 1/8" = 1'-0"
DATE: March, 11
DRAWN: [Name]
APP. NO. [Number]

6074 West 100th Avenue, BC
V6W 2G7
Tel: 1-800-277-9094
Email: jhl@jhl.com

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Landscape Architecture + Urban Design

DATE	REVISIONS



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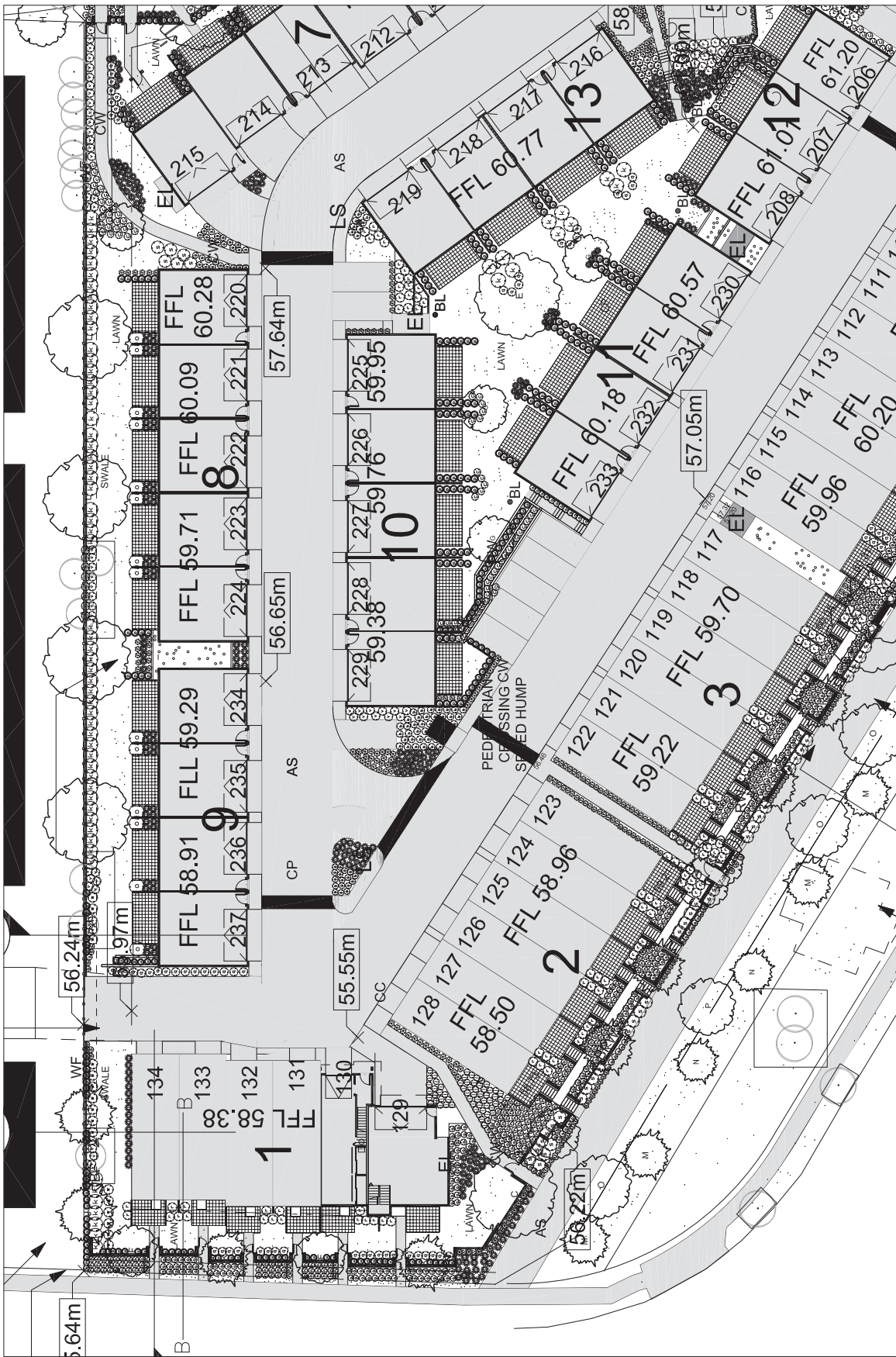


FIG. NO.
L-5

DRAWING TITLE
LANDSCAPE PLAN PLANTING DESIGN

PROJECT TITLE
"LAWRENCE COTTAGE" RESIDENTIAL DEVELOPMENT
1000 W. MAIN STREET
SHELBYVILLE, KY
40389

SCALE
1" = 10'
DATE
March, 11
DRAWN
JHG

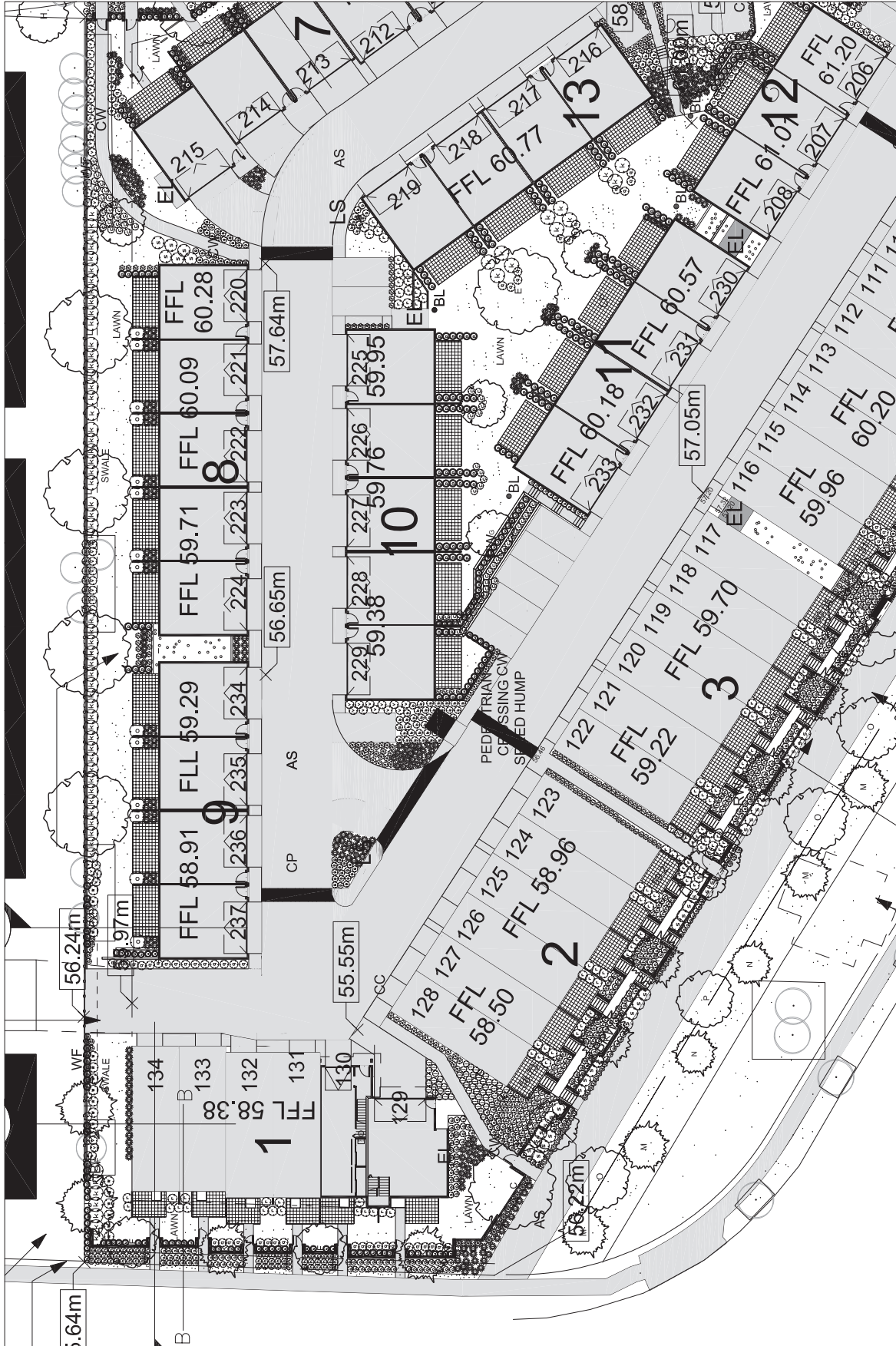
4370 West Street, Suite 200, Knoxville, TN 37919
Tel: 615-582-7777
Fax: 615-582-7777
Email: jhg@jhd.com

JHL Design Group Inc.
Landscape Architecture + Urban Design

DATE	REVISIONS



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Landscape Architecture + Urban Design

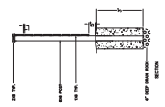
4370, Maple Street, Vancouver, BC
Tel: 1-604-277-8844
Email: jhl@jhlinc.com

SCALE: 1/8" = 1'-0"
DATE: March, 11
DRAWN: JHL
JOB NO.

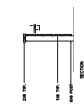
PROJECT TITLE: "LAWRENCE COTTAGE" RESIDENTIAL DEVELOPMENT
1840-1874 AVENUE
SURREY, BC

DRAWING TITLE: LANDSCAPE PLAN PLANTING DESIGN

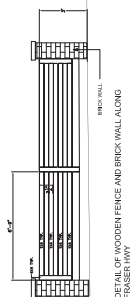
NO. IN SET: **L-6**



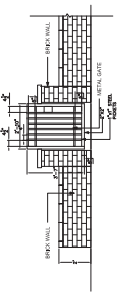
DETAIL OF 4' HIGH PRIVACY SCREEN
WITH BRICK BASE AND WOODEN TOP SECTION



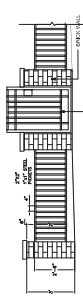
DETAIL OF 4' HIGH PRIVACY SCREEN
WITH BRICK BASE AND WOODEN TOP SECTION



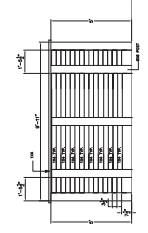
DETAIL OF WOODEN FENCE AND BRICK WALL ALONG
FENCE LINE



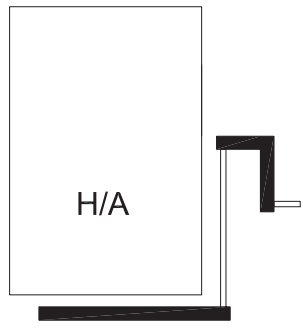
DETAIL OF BRICK WALL AND METAL GATE ALONG 154 AVE



DETAIL OF METAL FENCE, BRICK COLUMN AND METAL GATE ALONG PUBLIC ROAD



TRANSFORMER ENCLOSURE



H/A

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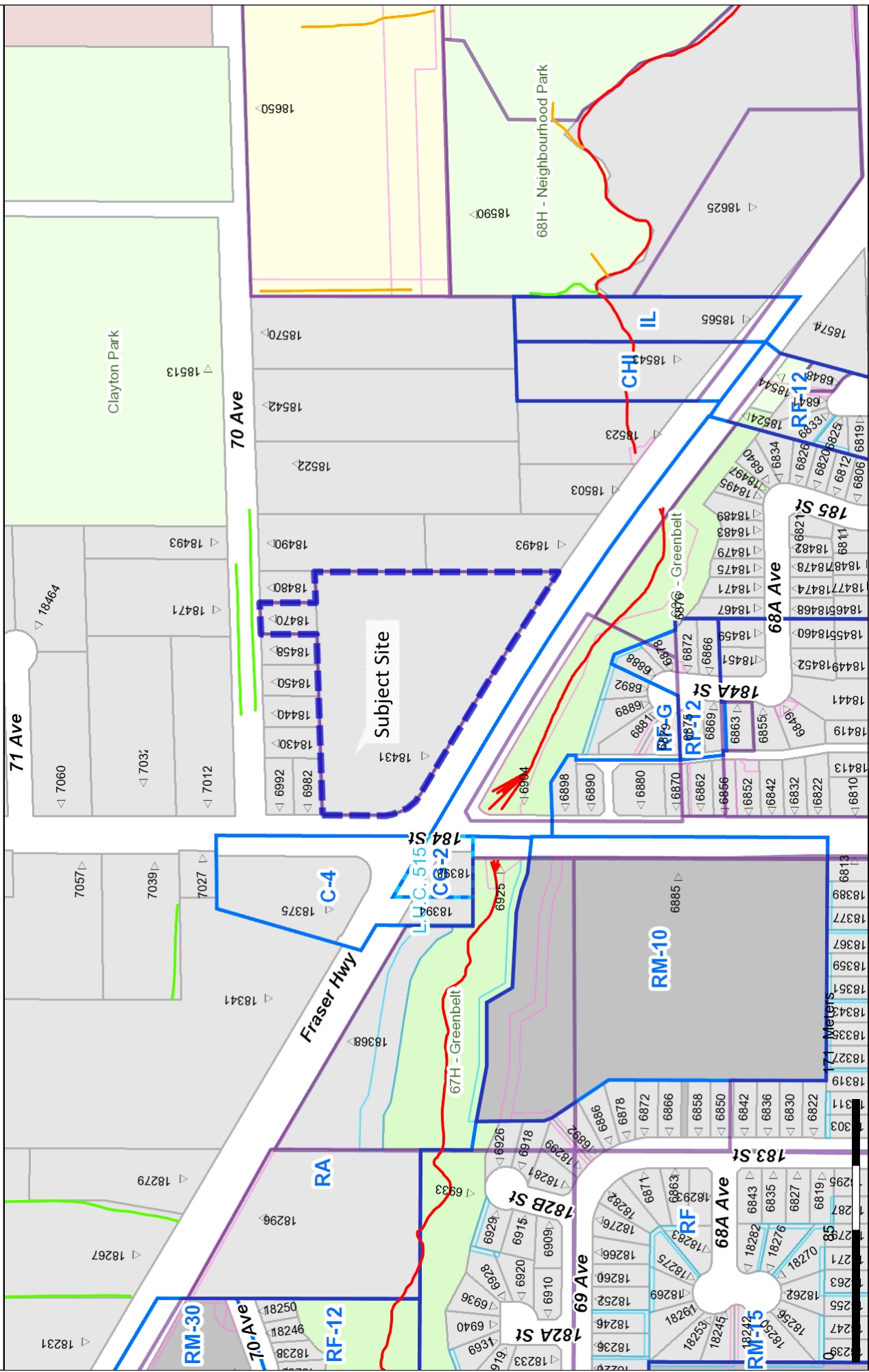
450 Main Street, Westport, ME
Tel: 604-263-8803
Fax: 604-263-8803
Email: info@jhl.ca

SCALE: 3/8" = 1'-0"
DATE: March, 11
DRAWN BY: [Name]
CHECKED BY: [Name]

PROJECT TITLE
MANAGE COTTAGE RESIDENTIAL DEVELOPMENT
MANAGEMENT
SHIRREY, BC

DRAWING TITLE
DETAILS

NO. 17



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Enter Map Description



Scale: 1 : 3,365

Map created on: Friday, 25 March 2011