

CITY OF SURREY

BYLAW NO. 20465

A bylaw to enter into a heritage revitalization agreement
.....

WHEREAS:

- A. The Council may by bylaw pursuant to Part 15 of the *Local Government Act*, R.S.B.C. 2015, c.1, as may be amended from time to time, enter into a heritage revitalization agreement with the owner of heritage property;

- B. The Council considers that certain lands, premises and improvements have *heritage value* and *heritage character* and ought to be conserved, which are situate within the City and described as:

Parcel Identifier: 008-601-607
Lot 19 Block 14 Section 8 Township 8 New Westminster District Plan 2107
(17707 – 56A Avenue)

Parcel Identifier: 008-037-906
Lot 18 Block 14 Section 8 Township 8 New Westminster District Plan 2107
(17719 – 56A Avenue)

(the "Lands");

- C. The owner of the Lands and the City of Surrey have agreed on the nature, character and extent of the *heritage value* and *heritage character* of the Lands and on the nature, extent and form of conservation necessary to protect the *heritage value* and *heritage character* of the Lands;

NOW THEREFORE, the City Council of the City of Surrey, enacts as follows:

- 1. The City is authorized hereby to enter into that certain Heritage Revitalization Agreement appended to this Bylaw as Schedule "I" (the "Heritage Revitalization Agreement") in respect of the Lands.

2. The Mayor and the City Clerk are authorized on behalf of the Council to sign the Heritage Revitalization Agreement and to register a notice on the title of the Lands.
3. Schedule "I" forms a part of this Bylaw.
4. This Bylaw may be cited for all purposes as "Surrey Heritage Revitalization Agreement Bylaw, 2021, No. 20465".

PASSED FIRST READING on the 18th day of October, 2021.

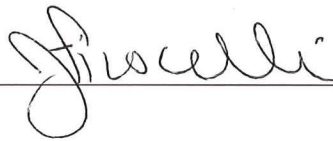
PASSED SECOND READING on the 18th day of October, 2021.

PASSED THIRD READING on the 18th day of October, 2021.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the 4th day of December, 2023.



MAYOR



CLERK



SCHEDULE "I"

[To City of Surrey Heritage Revitalization Agreement By-law, 2023 No. 20465]

HERITAGE REVITALIZATION AGREEMENT

This Agreement made the 6th day of October, 2021

BETWEEN:

EKAM HOLDINGS LTD., INC. NO. BC1117386

Unit 201 13065 84 Avenue
Surrey, British Columbia V3W 1B3

(the "Owner" of 17707 56A Avenue)

AND

EKAM HOLDINGS LTD., INC. NO. BC1117386

Unit 201 13065 84 Avenue
Surrey, British Columbia V3W 1B3

(the "Owner" of 17719 56A Avenue)

OF THE FIRST PART

AND:

CITY OF SURREY, a municipal corporation,
and having offices at 13450 - 104 Avenue
Surrey, British Columbia V3T 1V8

(the "City")

OF THE SECOND PART

WHEREAS:

- A. The Owner is the registered owner in fee simple of the following lands and premises situate in the City of Surrey, British Columbia and described as:

Parcel Identifier: 008-601-607

Lot 19 Block 14 Section 8 Township 8 New Westminster District Plan 2107

17707 56A Avenue

AND

Parcel Identifier: 008-037-906

Lot 18 Block 14 Section 8 Township 8 New Westminster District Plan 2107

17719 56A Avenue

And as the legal description is to change, the City Clerk is directed to insert the following new legal description once title(s) has/have been issued, as follows:

Parcel Identifier: _____

(the "Lands");

- B. The Owner and the City consider that the Lands, including the improvements and features on the Lands, have *heritage value* and *heritage character*;
- C. The Owner and the City desire to conserve the *heritage value* and *heritage character* of the Lands;
- D. For the purpose of conservation of the *heritage value* and *heritage character* of the Lands, the Owner and the City have agreed to enter into this Agreement setting out the terms and conditions of continuing protection for the *heritage value* and *heritage character* of the Lands;
- E. The Owner has agreed to the terms for compensating the City for the loss in *heritage value* in accordance with Section 2(f) of this Agreement in the event the heritage improvements or features on the Lands are moved or destroyed other than through natural causes;
- F. The improvements or features on the Lands which have *heritage value* and *heritage character* which both the Owner and City desire to conserve have been described by text, photographs, plans and drawings attached to this Agreement as Appendix "A" (the "Conservation Plan") and Appendix "B" (the "Dewhirst Lessard Consulting Plan"); and
- G. The improvements or features on the Lands identified in the Conservation Plan as the Mooring House (the "House") and the Mooring Cottage (the "Cottage") are listed on the Surrey Heritage Register and the Owner and the City consider that the House and Cottage have *heritage value* and *heritage character* such that all provisions of this Agreement applicable to the Lands also apply to the House and Cottage.

NOW THEREFORE THIS AGREEMENT WITNESSES that in consideration of the mutual premises of the parties hereto and for other good and valuable consideration (the receipt and sufficiency of whereof is hereby by the parties acknowledged) the Owner and the City covenant

and agree with one another pursuant to Section 610 of the Local Government Act, R.S.B.C. 2015, Chapter 1, as amended, re-enacted or consolidated from time to time and any successor statute (the "Local Government Act"), as follows:

Conservation Plan

1. (a) The Conservation Plan and the Dewhirst Lessard Consulting Plan form part of this Agreement. To the extent that the text, photographs, plans and drawings constituting the Conservation Plan or Dewhirst Lessard Consulting Plan require interpretation, the City shall be, in the first instance, the interpreter of the Conservation Plan and Dewhirst Lessard Consulting Plan and shall determine the matter. If the Owner is dissatisfied with the City's interpretation, then Section 15 of this Agreement shall apply.
- (b) Part I of the Conservation Plan and the Dewhirst Lessard Consulting Plan identify, detail and describe the character, extent and nature of the improvements and features on the Lands that have *heritage value* and *heritage character* including, but not limited to structure and foundations; masonry; roofing and rainwater works; cladding and trimwork; front porch; windows and doors; and finishes. Part II of the Conservation Plan and the Dewhirst Lessard Consulting Plan set out the maintenance strategy, general standards and exemptions for the *conservation* and maintenance of all improvements and features on the Lands that have *heritage value* and *heritage character*. Part III of the Conservation Plan and Dewhirst Lessard Consulting Plan set out the standards and specifications for relocation, restoration, rehabilitation, replication, repair, replacement or maintenance to be undertaken and completed pursuant to this Agreement.

Owner's Obligations to Protect, Conserve, Maintain and Rebuild

2. The Owner covenants and agrees that:
 - (a) No improvements on the Lands identified in the Conservation Plan as having *heritage value* or *heritage character* shall be *altered*, including alterations required or authorized by this Agreement, except as agreed to in writing by the City.
 - (b) Each action of relocation, restoration, rehabilitation, replication, repair, replacement or maintenance required by Parts I, II, and III of the Conservation Plan and the Dewhirst Lessard Consulting Plan shall be commenced and completed in accordance with the timing, phasing, standards and specifications set out the Conservation Plan and the Dewhirst Lessard Consulting Plan.
 - (c) All improvements identified in the Conservation Plan as having *heritage value* and *heritage character* shall be maintained to the minimum standards as set out in the Heritage Property Standards of Maintenance Bylaw, 2017, No. 18931, and in accordance with the guidelines and requirements set out in the Conservation Plan and Dewhirst Lessard Consulting Plan.

- (d) In the event the House or Cottage are damaged during its relocation or otherwise, the Owner of the Lands accepts the obligation to undertake all necessary construction to restore the damaged portion or portions of the House or Cottage to its original condition. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to restore the damaged portion or portions of the House or Cottage. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The restoration of the House or Cottage shall reflect the character-defining elements and design components including, but not limited to:
- i. for the House: Location on 56A Avenue north of the Municipal Hall, across the street from the Surrey Museum and Archives; Side gabled massing, main floor close to the ground with crawl space below; Cedar shingle cladding and corner pointed end knee-brackets; Enclosed front gabled porch with large overhang, closed tongue-and-groove ceiling, wood floor, wooden square posts mounted with knee-brackets, balustrade entablature, headboard, and wooden multi-pane windows; The back porch (originally open) with a shed roof and corner posts mounted with knee-brackets; Dining nook projection with shed roof and wooden multi-pane windows; Symmetrical front fenestration, double-hung windows, multi-pane sashes, interior and exterior casings, and the arched attic windows; and, Internal brick chimney; and
 - ii. for the Cottage: Location on 56A Avenue north of the Municipal Hall, across the street from the Surrey Museum and Archives; Set-back from the street, side gabled massing, main floor close to the ground set on block piers; Wood lap siding with mitered corners; Open roof overhang, exposed rafters, barge boards with decorative tails, and pointed-end knee-brackets; Open front gabled porch, closed tongue-and-groove ceiling, wooden square posts, balustrade; Dining nook projection with shed roof, and adjacent roof skirt; Symmetrical front fenestration, wood windows frames with interior and exterior casings, double-hung window style, and attic vents; all as subject to approval by the City Architect or designate.
- (e) In the event the House, Cottage or both, is destroyed during its relocation or otherwise, the Owner of the Lands accepts the obligation to undertake all necessary construction to create a replica of the House, Cottage or both so destroyed. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to create a replica of the House or Cottage. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The construction of the replica of the House, Cottage, or both, shall reflect the character-defining elements and design components as described in Section 2(d), all as subject to approval by the City Architect or designate.

- (f) In the event that the House, Cottage, or both, is destroyed during its relocation or otherwise, in addition to the construction of a replica described in 2(e), the Owner covenants and agrees to compensate the City for the loss in *heritage value* to the community in the amount of \$124,446.80 for the House and \$124,446.80 for the Cottage indexed to the Vancouver Consumer Price Index (CPI) with 2020 being the base year, except that if the House, Cottage, or both, is destroyed through natural causes, including but not limited to, flood, earthquake and accidental fire as determined by the City in its sole discretion, and a replica is constructed by the Owner that is acceptable to the Heritage Advisory Commission or any successor decision making body in its sole discretion, then payment of compensation by the Owner to the City is not required.
- (g) Should the House, Cottage, or both, become vacant and unoccupied, the Owner of the Lands agrees to maintain the integrity and security of the House, Cottage and Lands including, but not limited to, on-site security, monitored security alarm system, perimeter fencing and lighting, and boarding of windows and doors. The Owner of the Lands must provide to the City in writing a 24-hour emergency contact number and confirm the security measures are in place. If the Owner fails to secure the House, Cottage, or both, the City may and is authorized to enter onto the Lands to undertake the necessary works to secure the House, Cottage, or both, and the cost shall be at the expense of the Owner and the City shall be at liberty to recover the costs in a like manner as City property taxes on the Lands and to conduct inspections to determine that the security measures continue to be in place.
- (h) Should the House, Cottage, or both, become vacant and unoccupied during construction or other redevelopment of the Lands, the Owner agrees to post a sign that reads as follows:

PROTECTED HERITAGE SITE

No Vandalism or Removal of Materials

(Maximum individual penalty: \$50,000 and 2 years Imprisonment)

If the Owner fails to post the required sign, the City may and is authorized to post the sign, and the cost shall be at the expense of the Owner and the City shall be at liberty to recover the costs in a like manner as City property taxes on the Lands.

- (i) Once the House and Cottage are occupied, there must be appropriate security measures in place to maintain the integrity and security of the House, Cottage and Lands. Should the House, Cottage, or both, become vacant and unoccupied for a period of 30 days or more, the requirements in 2(g) apply, including the right of the City to enter onto the Lands to carry out the necessary works at the expense of the Owner and confirm that security measures are in place, unless otherwise agreed to in writing by the City. The Owner of the Lands must also provide to the City in writing a 24-hour emergency contact number.
- (j) The Owner shall do or cause to be done all such things, and shall take or cause to be taken all such actions, as are necessary to ensure that the

restrictions and requirements set out in Parts II and III of the Conservation Plan and in the Dewhirst Lessard Consulting Plan are fully observed, and the Owner shall not do, cause or allow to be done anything that would be in breach of the restrictions and requirements of this Agreement.

- (k) Where required by the City in a heritage alteration permit, the Owner shall provide security to the City to guarantee the performance of the terms, requirements and conditions contained in the Conservation Plan and the Dewhirst Lessard Consulting Plan.
- (l) The Owner may apply to the City for funding including, but not limited to, monies for exemption from taxes, or any provision for assistance as specified in Section 25 of the Community Charter, S.B.C. 2003, c.26 (the "Community Charter").

Construction and Maintenance

- 4. Wherever under this Agreement the Owner relocates, restores, rehabilitates, replicates, repairs, replaces, maintains or in any way alters improvements on, or features of the Lands identified in the Conservation Plan and the Dewhirst Lessard Consulting Plan as having *heritage value* and *heritage character* or constructs or maintains other works to protect or conserve such improvements or features, all such work shall be done at the Owner's sole expense strictly in accordance with the Conservation Plan and the Dewhirst Lessard Consulting Plan and as agreed by the City in writing and all improvements or features shall be diligently and continuously maintained in good repair and efficient operating condition by the Owner at the Owner's sole expense in accordance with good engineering, design, heritage and conservation practice.

No Liability to City

- 5. In no case shall the City be liable or responsible in any way for:
 - (a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that may be suffered or sustained by the Owner or by any other person who may be on the Lands; or
 - (b) any loss or damage of any nature whatsoever, howsoever caused to the Lands or any improvements or personal property thereon belonging to the Owner or to any other person,

arising directly or indirectly from compliance with the restrictions and requirements of this Agreement, wrongful or negligent failure or omission to comply with its restrictions and requirements, or refusal, omission or failure of the City to enforce or require compliance by the Owner with the restrictions or requirements or with any other term, condition or provision of this Agreement.

Reasonable Care and Risk

6. The Owner shall at all times, in complying with the restrictions or requirements of this Agreement, take reasonable care not to injure any person or cause or allow damage to any property, and shall take reasonable care not to cause, suffer, permit or allow any condition to exist that might reasonably lead to, cause or result in injury to any person or property including persons and property on adjacent lands. It shall be the sole responsibility of the Owner to comply and maintain compliance with the restrictions and requirements in a safe manner, and without reasonably foreseeable risk to person or property. Compliance with the restrictions and requirements in this Agreement shall be at the sole and exclusive risk and cost of the Owner.

Modification

7. If, in fulfilling its responsibilities and obligations pursuant to this Agreement, the Owner perceives or becomes aware of any unreasonable risk of injury to persons or damage to property or other potential loss that cannot be reasonably avoided, alleviated, reduced or eliminated except by measures that would be a breach of the restrictions, requirements of this Agreement, the Owner shall notify the City in writing of the nature and extent of the risk and of the measures proposed by the Owner to be undertaken at its sole cost to reduce, alleviate, avoid or eliminate the risk. Risk shall remain with the Owner.

Indemnity

8. The Owner shall at all times indemnify and save harmless the City and its elected and appointed officials, employees, contractors and agents of and from all loss and damage, and all actions, claims, costs, demands, expenses, fines, liabilities and suits of any nature whatsoever by whomsoever brought for which the City shall or may become liable, incur or suffer by reason of existence and effect whether direct or indirect of the restrictions or requirements of this Agreement, or breach or non-performance by the Owner of any covenant, term or provision hereof, or by reason of any work or action of the Owner in performance of this Agreement, or by reason of any work or action of the Owner in performance of its obligations, or by reason of any wrongful act or omission, default or negligence of the Owner.

Alternative Remedies

9. Any performance by the City pursuant to a statutory right to perform the obligations of an Owner arising out of this Agreement may be exercised fully in accordance with the Local Government Act and the Community Charter, and shall be without prejudice to any and all other remedies at law and equity available to the City, and no reference in this Agreement to, or exercise of any specific right or remedy by the City, shall preclude the City from exercising any other right or remedy.

Damages

10. The Owner covenants and agrees that the measure of damages for any breach of the restrictions or requirements of this Agreement shall include, but shall not be limited to, the actual cost and expense of all administration, labour, materials, equipment, services and work required for all remedial acts necessary to fully relocate, restore, rehabilitate, replace, repair or maintain the building, structure, improvements on or features of the Lands having *heritage value* and *heritage character* to be protected, conserved, preserved or kept in its natural state. The nature and extent of any breach of the said restrictions and requirements, and the nature and extent of any relocation, restoration, rehabilitation, replacement, maintenance or remedial work or action of any nature required to remedy such breach shall be determined by the City by reference to the Conservation Plan and the Dewhirst Lessard Consulting Plan, and Sections 2 and 4 of this Agreement.

No Waiver

11. No restrictions, requirements or other provisions in this Agreement shall be deemed to have been waived by the City unless a written waiver authorized by resolution of the Council and signed by an officer of the City has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the City on previous occasions of any default nor any previous written waiver shall be taken to operate as a waiver by the City of any subsequent default or in any way to defeat or affect the rights of remedies to the City.

Statutory Authority and Proprietary Rights

12. Nothing in this Agreement shall limit, impair, fetter, or derogate from the statutory powers of the City all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled and no permissive by-law enacted by the City, or permit, license or *approval*, granted, made or issued hereunder, or pursuant to statute, by the City shall stop, limit or impair the City from relying upon and enforcing this Agreement.

Compliance with Laws

13. Despite any provision of this Agreement, the Owner shall comply with all laws, including by-laws of the City and all regulations and orders of any authority having jurisdiction, and to the extent only that such laws, regulations and orders are mandatory and necessarily require the breach of any restriction or positive obligation of this Agreement to be observed or performed by the Owner, or less than strict compliance with the terms hereof, then the Owner upon sixty (60) days' written notice to the City shall be excused from complying with such restrictions or performing such obligation and such restriction or obligation shall be suspended but only to the extent and for the time that such mandatory law, regulation or order is inconsistent with compliance with the said restrictions or obligations.

Notice

14. Any notice to be given under this Agreement shall be in writing and may be either delivered personally or sent by prepaid registered mail and if so mailed shall be deemed to have been given five (5) days following the date upon which it was mailed. The address of the parties for the purpose of notice shall be as follows:

If to the City:

Attention: City Clerk
CITY OF SURREY
13450 - 104 Avenue
Surrey, British Columbia V3T 1V8

If to the Owner:

EKAM HOLDINGS LTD., INC. NO. BC1117386
Unit 201 13065 84 Avenue
Surrey, British Columbia V3W 1B3

Any party may at any time give notice in writing to the other of any change of address and after the third day of giving of the notice, the address specified in the notice shall be the address of the party for the giving of notices.

If title to the Lands is transferred to a new Owner, the new Owner shall provide notice in writing to the City within 15 days of such a transfer providing the name of the new Owner, the contact for notice if it is different than the Owner and the new Address to which notices are to be sent.

Arbitration

15. The Owner, if dissatisfied with the City's interpretation of the Conservation Plan and the Dewhirst Lessard Consulting Plan and any determination pursuant to Section 1(a) of this Agreement, may require that the matter be decided and determined by binding arbitration as follows:
- (a) The Owner must, within thirty (30) days of any exercise of discretion by the City, give notice to the City of its intention to dispute and in such notice shall name a member in good standing of the Architectural Institute of British Columbia who has agreed to act as an arbitrator;
 - (b) The City shall within thirty (30) days of receipt of the aforesaid notice either accept the Owner's arbitrator, or name another with the same qualifications willing to act, and shall give notice of the same to the Owner;
 - (c) Where each of the Owner and the City have named an arbitrator, the two arbitrators shall within thirty (30) days of the City's notice pursuant to Section 15(b) appoint a third arbitrator having the same qualifications and the three arbitrators shall decide the dispute;
 - (d) Where the City accepts the arbitrator first selected by the Owner, that arbitrator shall act as a single arbitrator and forthwith decide the dispute;

- (e) Any arbitrator's decision in respect of the exercise of discretion by the City shall be final, conclusive and binding on all parties;
 - (f) The arbitrator shall award the prevailing party full compensation for all costs and expenses of the arbitrator, costs and fees of the proceedings and solicitor-client costs and expenses; and
 - (g) The arbitrator shall issue a final decision regarding the dispute within twenty-five (25) business days after the arbitrator's appointment, subject to extension of that time by agreement of the parties.
16. Without limiting the City's power of inspection conferred by statute and in addition to that power, the City shall be entitled at all reasonable times and with reasonable notice to enter onto the Lands from time to time for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner, and wherever possible, when an inspection of the Lands is undertaken, the City shall provide reasonable notice to the Owner.

Headings

17. The headings in this Agreement are inserted for convenience only and shall not affect the construction of this Agreement or any of its provisions.

Schedules

18. All schedules to this Agreement are incorporated into and form part of this Agreement.

Number and Gender

19. Whenever the singular or masculine or neuter is used in this Agreement, the same shall be construed to mean the plural or feminine or body corporate where the context so requires.

Interpretation

20. Terms used in this Agreement that are italicized are defined in the Local Government Act, and the Heritage Conservation Act, R.S.B.C. 1996, Chapter 187, as amended, re-enacted or consolidated from time to time and any successor statute, and shall take their meaning from those Acts.

Successors Bound

21. All restrictions, rights and liabilities imposed upon or given to the respective parties under this Agreement shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns. When the Owner is more than one party they shall be bound jointly and severally by the terms, covenants and agreements on the part of the Owner.

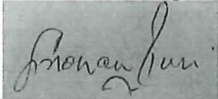
Notice to be Filed

22. Notice of this Agreement and amendments to it will be filed in the Land Title Office and once filed, this Agreement and amendments will be binding on all persons who acquire an interest in the Lands.

IN WITNESS WHEREOF the Owner and the City have executed this Agreement as of the date first above written.

Ekam Holdings Ltd. INC.NO. BC1117386

by its authorized signatories



Chander Mohan Puri

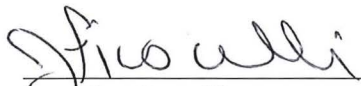


Wan Yun Zhao

CITY OF SURREY



Brenda Locke
Mayor



Jennifer Ficocelli
City Clerk

Appendix "A"

CONSERVATION PLAN

PART I – HISTORICAL AND ARCHITECTURAL BACKGROUND

1. Mooring House

a. Description of Historic Place

The Mooring House is a modest one-storey wood frame house located mid block on 56A Avenue in the historic neighbourhood of Cloverdale in Surrey, British Columbia. The house was built in 1933 as a single-family house with a free-standing garage on the side of the property, accessible by a driveway. In 1934, the owner of the house had a cottage moved on his property next door at 17719 56A Avenue.

b. Heritage Value of Historic Place

The Mooring House is valued for its contribution to the endurance of Cloverdale's development, its association with the Mooring family and the modest nature of its architectural style.

Cloverdale was the City of Surrey's first Town Centre, established in 1879 near Five Corners, at the intersection of 60 Avenue and Old McClellan Road. The advent of the railways played a significant role in the development of Cloverdale. When the New Westminster-Southern Railway was established in 1891, a station was built near the present town centre and given the name "Cloverdale" referring to the Clover Valley. Cloverdale experienced a boom in 1910-1911. A new Municipal Hall was built in 1912 establishing Cloverdale as the regional centre of the District. The Lower Mainland would subsequently suffer from the repercussions of the Great Depression. It was during this period that the Mooring family constructed their home on 56A Avenue in 1933, just north of the Municipal Hall, thus demonstrating Cloverdale's resilience to adversity.

The original owners Alexander Ross Mooring, and his wife Jean Sarah Matheson settled together in Cloverdale in the early 1930s. They married in 1932 and constructed their house the following year. Mooring, a logger originally from Cumberland, Nova Scotia was born in 1902, the sixth child of a family of ten. Jean Sarah was a member of a well-known Cloverdale family. Her great uncle, Alexander Matheson was the Chief of Police at Cloverdale. The couple remained in this house until 1945 when they sold it to Fanny Blair and relocated to Lone Butte, in the interior of British Columbia. In 1956, the Brookes family purchased the house and lived in it until 1992. Mooring died in 1958 in Vancouver.

The one storey Craftsman house is characterized by its side-gabled roof with projecting front-gabled entryway vestibule. The building features cedar shingle siding, decorative knee-brackets, and wooden multi-pane windows typical of its style.

c. Character Defining Elements

Key elements that define the heritage character of the Mooring House include its:

- location on 56A Avenue north of the Municipal Hall, across the street from the Surrey Museum and Archives;
- Side gabled massing, main floor close to the ground with crawl space below;
- Cedar shingle cladding and corner pointed end knee-brackets;

- Enclosed front gabled porch with large overhang, closed tongue-and-groove ceiling, wood floor, wooden square posts mounted with knee-brackets, balustrade entablature, headboard, and wooden multi-pane windows;
- The back porch (originally open) with a shed roof and corner posts mounted with knee-brackets;
- Dining nook projection with shed roof and wooden multi-pane windows;
- Symmetrical front fenestration, double-hung windows, multi-pane sashes, interior and exterior casings, and the arched attic windows; and
- Internal brick chimney.

2. Mooring Cottage

a. Description of Historic Place

The Mooring Cottage is a modest one-storey wood frame structure located mid block on 56A Avenue in the historic neighbourhood of Cloverdale in Surrey, British Columbia. In 1934, the cottage was moved to the site at the back of its property. The owners lived in a house, they had built the year earlier, on the adjacent property at 17707 56A Avenue.

b. Heritage Value of Historic Place

The Mooring Cottage is valued for its contribution to the endurance of Cloverdale's development, its association with the Mooring family and the modest nature of its architectural style.

Cloverdale was the City of Surrey's first Town Centre, established in 1879 near Five Corners, at the intersection of 60 Avenue and Old McClellan Road. The advent of the railways played a significant role in the development of Cloverdale. When the New Westminster-Southern Railway was established in 1891, a station was built near the present town centre and given the name "Cloverdale" referring to the Clover Valley. Cloverdale experienced a boom in 1910-1911. A new Municipal Hall was built in 1912, establishing Cloverdale as the regional centre of the District. The Lower Mainland would subsequently suffer from the repercussions of the Great Depression. It was during this period that the Mooring family constructed their home on 56A Avenue in 1933 a year before the cottage was moved next door just north of the Municipal Hall, thus demonstrating Cloverdale's resilience to adversity.

The original owners Alexander Ross Mooring, and his wife Jean Sarah Matheson settled together in Cloverdale in the early 1930s. They married in 1932, constructed their house and had the cottage moved in its current location the following year. Mooring, a logger originally from Cumberland Nova Scotia was born in 1902, the sixth child of a family of ten. Jean Sarah was a member of a well-known Cloverdale family. Her great uncle, Alexander Matheson was the Chief of Police at Cloverdale. The couple remained in Cloverdale until 1945. Mooring died in 1958 in Vancouver.

The one storey Craftsman Cottage is characterized by its side-gabled roof with projecting front-gabled porch. The building features wooden knee-brackets, bargeboards, and lap siding typical of its style.

c. Character Defining Elements

Key elements that define the heritage character of the Mooring Cottage include its:

- Location on 56A Avenue north of the Municipal Hall, across the street from the Surrey Museum and Archives;
- Set-back from the street, side gabled massing, main floor close to the ground set on block piers;
- Wood lap siding with mitered corners;
- Open roof overhang, exposed rafters, barge boards with decorative tails, and pointed-end knee-brackets;
- Open front gabled porch, closed tongue-and-groove ceiling, wooden square posts, balustrade;
- Dining nook projection with shed roof, and adjacent roof skirt; and
- Symmetrical front fenestration, wood window frames with interior and exterior casings, double-hung window style, and attic vents.

PART II – MAINTENANCE STANDARDS AND PERMIT APPROVALS

1. General

A. Requirement to Commence Renovations

The restoration of the House and Cottage, including works that are consistent with Part III – Restoration Standards and Specifications, must commence within 60 days following the relocation of the House and Cottage. If either the House or Cottage is moved before the other structure, the restoration of the first structure so moved must commence within 60 days following its relocation and the restoration of the second structure so moved must commence within 60 days following its relocation.

B. Maintenance Strategy

The strategy to ensure ongoing conservation of the House and Cottage shall consist of a Maintenance Plan and a Funding Strategy.

The Maintenance Plan shall be prepared with input from a conservation architect or qualified heritage consultant that is acceptable to the City. Issues to be addressed in the Maintenance Plan include water penetration and damage from sun, wind, weather, and animals. Maintenance includes, but is not limited to, painting or staining, sealing, weather-stripping and the like.

The Funding Strategy shall include, but is not limited to, whether or not the Owner intends to absorb all the costs, undertake fundraising or seek government financial incentives, including those available from the City.

The Owner shall submit a Maintenance Plan and Funding Strategy for review and approval by the General Manager, Planning and Development and the Heritage Advisory Commission within one (1) year of the adoption of a by-law authorizing the City to enter into this Agreement.

The Maintenance Plan and Funding Strategy for the House and Cottage shall include, but is not limited to, the following:

- (a) A description and a time schedule for the relocation, renovations, repair, and replacement of the exterior elements, *landscaping* or other identified

works on the Lands that constitute the character-defining elements and as identified in Part III – Renovation Standards and Specifications;

- (b) A description and time schedule for the ongoing maintenance of the elements, *landscaping* or other identified works on the Lands and other relevant details. Maintenance includes: painting, staining and sealing of the exterior cladding and trims, weather stripping, re-roofing, replacement of windows, doors and exterior cladding or trims to match the existing materials;
- (c) Ongoing maintenance of *landscaping*;
- (d) A colour scheme for the exterior of the House and Cottage;
- (e) A description of any matters noted in Part III – Renovation Standards and Specifications or in the plans attached to this Agreement as requiring further details; and
- (f) A financial plan detailing the funding for the renovation and maintenance outlined above, including corporate sponsorships, annual budgets by the Owner or tenant, applications for government grants, strata fees, and other relevant details.

C. Amending an Established Maintenance Strategy

An Owner may apply to the City to amend an existing Maintenance Plan and Funding Strategy. Any amendment is subject to approval by the General Manager, Planning and Development and, if deemed necessary by the General Manager, Planning and Development, the Heritage Advisory Commission.

2. Standards

The "Standards and Guidelines for the Conservation of Historic Places in Canada", established under the Historic Places Program or successor guidelines as may be approved by the City are to apply to all construction, maintenance, restoration or renovation works undertaken under Parts II or III on the House and Cottage.

3. Timing and Phasing

With respect to the phasing or timing of commencement or completion of action applying to the Lands, restoration of the House and Cottage shall be completed and a final occupancy permit or equivalent for the House and Cottage shall be issued within one year of the adoption of a by-law to enter into this Agreement.

4. Heritage Alteration Permit(s) Approval

- A. Changes to the building, structure, exterior appearance of the House or Cottage, features on the Lands identified in the Conservation Plan, the Dewhirst Lessard Consulting Plan or character-defining elements may require the Owner to apply for a heritage alteration permit or obtain approval from the City.

Proposed changes shall be referred to the Planning & Development Department of the City prior to the commencement of any work to determine if the changes require or do not require a heritage alteration permit.

- B. A heritage alteration permit may not be required for alterations including, but not limited to, the following:
- (a) changes to the Conservation Plan or the Dewhirst Lessard Consulting Plan that are considered by the City Architect to be minor in nature and not affecting the character-defining elements of the House or Cottage;
 - (b) restorations considered by the City Architect to be consistent with the original design, being made to replace stylistically foreign elements and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City; or
 - (c) simple repair and maintenance of existing elements not affecting the *building* structure, exterior or interior appearance of the House or Cottage.
- C. A heritage alteration permit shall be required for all but minor alterations including, but not limited to, the following:
- (a) changes to the House or Cottage structure;
 - (b) changes to the exterior appearance of the House or Cottage;
 - (c) replacement of existing elements and/or construction of additions to the House or Cottage;
 - (d) changes to the external appearance of the House or Cottage due to interior renovations;

If a heritage alteration permit is determined to be required, the Owner shall apply to the City for a heritage alteration permit before undertaking any of the works listed in this Section 4.C.

After the heritage alteration permit application is submitted, the heritage alteration permit will be considered for issuance by City Council upon the recommendation of the General Manager, Planning and Development and the Heritage Advisory Commission, or by a City official delegated by City Council.

5. **Building Permit Approval**

Construction, alterations, relocation or other actions to be authorized by a building permit shall be consistent with the provisions of the Conservation Plan, the Dewhirst Lessard Consulting Plan, and with heritage alteration permits sanctioning construction, alterations, relocation or other actions.

As the House and Cottage are recognized as historic sites, Building Code equivalencies may be used to lessen visual impacts on the historical appearance or authenticity of the *building*. To utilize Building Code equivalencies, the Owner shall retain a qualified architect that is acceptable to the City Architect.

6. **Conditions**

- A. The works specified in Part III and attachments to this Conservation Plan and the Dewhirst Lessard Consulting Plan shall be supervised by a conservation architect or qualified heritage consultant acceptable to the City.
- B. The works specified in Part III and attachments to this Conservation Plan and the Dewhirst Lessard Consulting Plan shall be approved by a conservation architect or qualified heritage consultant acceptable to the City prior to the City granting final building approval.

PART III – RESTORATION STANDARDS AND SPECIFICATIONS

A. Mooring House

1. Property:

See Section 1C(1.) "Property " of the Dewhirst Lessard Consulting Plan.

2. Massing:

See Section 1C(2.) "Massing" of the Dewhirst Lessard Consulting Plan.

3. Roof, Soffits, Bargeboards and Knee-brackets:

See Section 1C(3.) "Roof, Soffits, Bargeboards and Knee-brackets" of the Dewhirst Lessard Consulting Plan.

4. Foundation Wall:

See Section 1C(4.) "Foundation Wall" of the Dewhirst Lessard Consulting Plan.

5. Cedar Shingle Cladding:

See Section 1C(5.) "Cedar Shingle Cladding" of the Dewhirst Lessard Consulting Plan.

6. Front Porch:

See Section 1C(6.) "Roof" of the Dewhirst Lessard Consulting Plan.

7. Back Porch:

See Section 1C(7.) "Back Porch" of the Dewhirst Lessard Consulting Plan.

8. Windows

See Section 1C(8.) "Windows" of the Dewhirst Lessard Consulting Plan.

9. Internal Brick Chimney

See Section 1C(9.) "Internal Brick Chimney" of the Dewhirst Lessard Consulting Plan.

10. Residential Floor

See Section 2C(10.) "Residential Floor" of the Dewhirst Lessard Consulting Plan.

11. Painting:

See Section 1C(11.) "Painting" of the Dewhirst Lessard Consulting Plan.

The exterior paint colour shall be subject to the prior written approval of the City. If the colour of the House is to be changed, the change shall be done in consultation with the City and reflect as best as can be determined the original appearance of the House or heritage colours appropriate for the period of the House.

Changes to the exterior colour scheme shall not be undertaken without being reviewed and approved by the City Architect. The City Architect may consult with the Heritage Advisory Commission about the colour scheme.

Prior to final paint application, samples of the colours should be placed on the *building* to be viewed in natural light. Final colour selection can then be verified. Matching to any other paint company products should be verified by the heritage consultant.

12. Accessory Buildings and Structures:

No placement of accessory buildings or structures shall be permitted within 3 metres of the House without first obtaining a heritage alteration permit.

13. Trees and Landscaping:

All trees on the lot are subject to the provisions of the Surrey Tree Protection Bylaw, 2006, No. 16100 (the "Tree Bylaw") and considered to be "Protected Trees" under the Tree Bylaw.

14. Plans and Elevations:

The plans and elevations attached as Appendix "A-1" and the Dewhirst Lessard Consulting Plan attached as Appendix "B" form part of this Heritage Conservation Plan.

These attachments depict the above described and additional details regarding the standards and specifications for restoration, rehabilitation, replication, repair, replacement, maintenance, and relocation to be undertaken and completed pursuant to this Conservation Plan.

15. Relocation:

The House must be relocated in accordance with the plans attached as Appendix "A-1" and the Dewhirst Lessard Consulting Plan attached as Appendix "B". The relocation of the House must conform with any applicable permits.

16. Other:

The general intent is to promote restoration and retention of existing materials and elements wherever possible. If restoration is not feasible, replacements shall be constructed to match existing in terms of form, detailing and materials. Where original features have already been removed, altered or replaced by stylistically foreign elements,

new replacements shall be consistent with the original design and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City.

Minor changes to the provisions of Part III that do not affect the character defining elements or that improve the authenticity of the restorations, may be approved by the City Architect, in consultation with the Heritage Advisory Commission.

B. Mooring Cottage

1. Property:

See Section 2C(1.) "Property " of the Dewhirst Lessard Consulting Plan.

2. Massing:

See Section 2C(2.) "Massing" of the Dewhirst Lessard Consulting Plan.

3. Roof, Soffits, Bargeboards and Knee-brackets:

See Section 2C(3.) "Roof, Soffits, Bargeboards and Knee-brackets" of the Dewhirst Lessard Consulting Plan.

4. Foundation Wall:

See Section 2C(4.) "Foundation Wall" of the Dewhirst Lessard Consulting Plan.

5. Lap Siding:

See Section 2c(5.) "Lap Siding" of the Dewhirst Lessard Consulting Plan.

6. Front Porch:

See Section 2C(6.) "Roof " of the Dewhirst Lessard Consulting Plan.

7. Plywood Addition

See Section 2C(7.) "Plywood Addition" of the Dewhirst Lessard Consulting Plan.

8. Windows

See Section 2C(8.) "Plywood Addition" of the Dewhirst Lessard Consulting Plan.

9. External Brick Chimney

See Section 2C(9.) "External Brick Chimney" of the Dewhirst Lessard Consulting Plan.

10. Residential Floor

See Section 2C(10.) "Residential Floor" of the Dewhirst Lessard Consulting Plan.

11. Painting:

See Section 2C(11.) "Painting" of the Dewhirst Lessard Consulting Plan.

The exterior paint colour shall be subject to the prior written approval of the City. If the colour of the Cottage is to be changed, the change shall be done in consultation with the City and reflect as best as can be determined the original appearance of the Cottage or heritage colours appropriate for the period of the Cottage.

Changes to the exterior colour scheme shall not be undertaken without being reviewed and approved by the City Architect. The City Architect may consult with the Heritage Advisory Commission about the colour scheme.

Prior to final paint application, samples of the colours should be placed on the *building* to be viewed in natural light. Final colour selection can then be verified. Matching to any other paint company products should be verified by the heritage consultant.

12. Accessory Buildings and Structures:

No placement of accessory buildings or structures shall be permitted within 3 metres of the Cottage without first obtaining a heritage alteration permit.

13. Trees and Landscaping:

All trees on the lot are subject to the provisions of the Surrey Tree Protection Bylaw, 2006, No. 16100 (the "Tree Bylaw") and considered to be "Protected Trees" under the Tree Bylaw.

14. Plans and Elevations:

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These attachments depict the above described and additional details regarding the standards and specifications for restoration, rehabilitation, replication, repair, replacement, maintenance, and relocation to be undertaken and completed pursuant to this Conservation Plan.

15. Relocation:

The Cottage must be relocated in accordance with the plans attached as Appendix "A-1" and the Dewhirst Lessard Consulting Plan attached as Appendix "B". The relocation of the Cottage must conform with any applicable permits.

16. Other:

The general intent is to promote restoration and retention of existing materials and elements wherever possible. If restoration is not feasible, replacements shall be constructed to match existing in terms of form, detailing and materials. Where original features have already been removed, altered or replaced by stylistically foreign elements, new replacements shall be consistent with the original design and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City.

Minor changes to the provisions of Part III that do not affect the character defining elements or that improve the authenticity of the restorations, may be approved by the City Architect, in consultation with the Heritage Advisory Commission.

(Note: Terms used in Appendix "A" of this Agreement that are italicized are defined in Surrey Zoning By-law, 1993, No. 12000, as amended, and shall take their meaning from the By-law.)

Appendix "A-1"

PLANS AND ELEVATIONS

(Attachment beginning on the next page)

**TOPOGRAPHIC PLAN OF LOTS 16,17,18,19 & 20 ALL OF BLK 14 SECTION 8 TOWNSHIP 8
NEW WESTMINSTER DISTRICT PLAN 2107**

Current Civic Address:
17739,17725,17719,17707,17697 56A Avenue
Surrey, B.C.

SCALE : 1:250

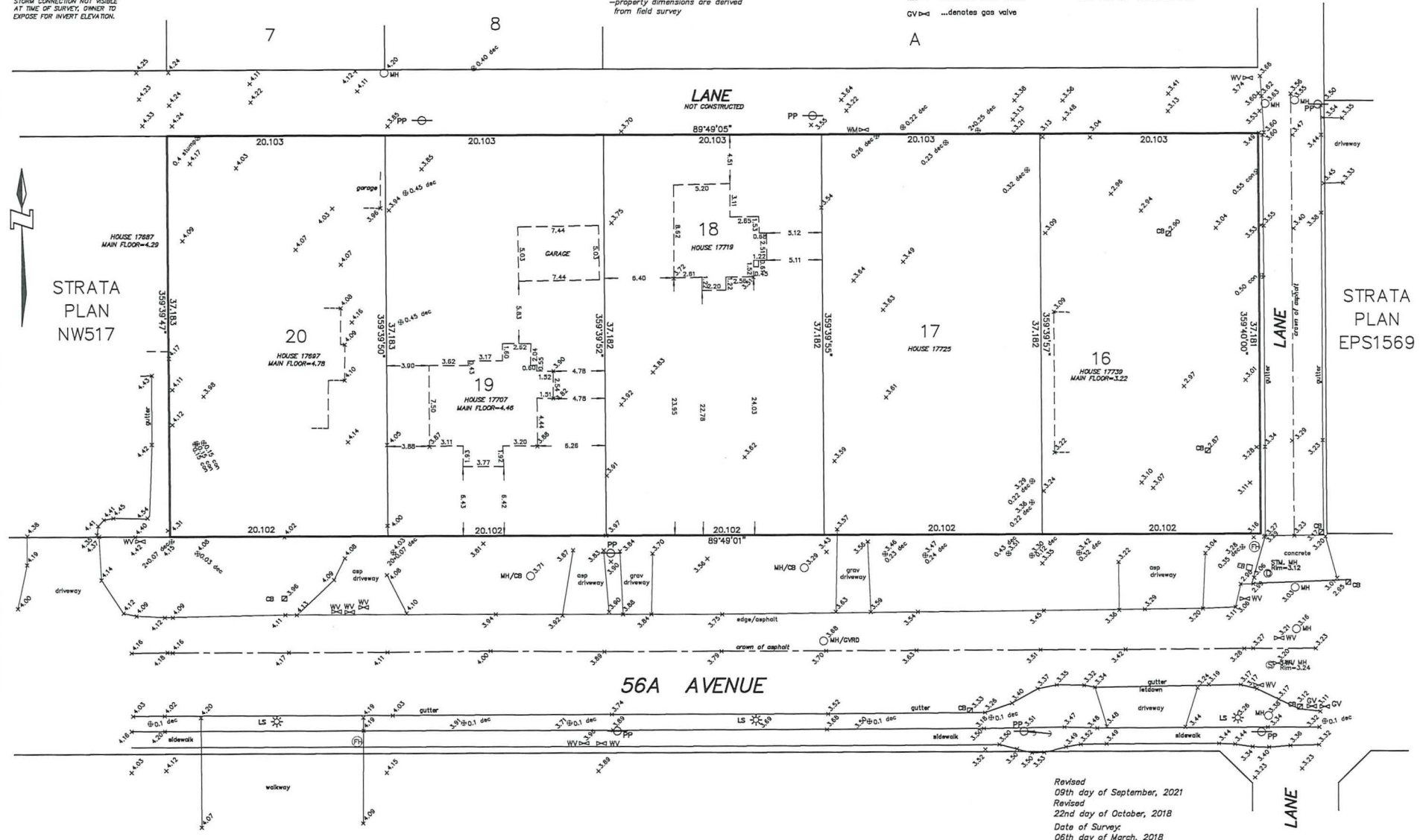
STORM CONNECTION NOT VISIBLE
AT TIME OF SURVEY, OWNER TO
EXPLORE FOR INVERT ELEVATION.

Note:
- All dimensions are in metres.
- This plan is NOT to be used for
location of property lines.
- Elevations are based on City of
Surrey Geodetic datum, monument 5827
elev = 5.861m (CVD286VAD 2005).
- Only trees with a diameter of at least
0.25m are shown.
- This plan does not show non-plant
charges, liens or interests.
- property dimensions are derived
from field survey

LEGEND

- | | |
|------------------------------|--------------------------------|
| CB ☒ ...denotes catch basin | Ⓢ ...denotes sanitary manhole |
| MH ○ ...denotes manhole | Ⓣ ...denotes storm manhole |
| PP ⊖ ...denotes power pole | EB □ ...denotes electrical box |
| WV <- ...denotes water valve | Ⓜ ...denotes hydrant |
| WM <- ...denotes water meter | CON 0.0 ⊗ ...denotes tree |
| GV <- ...denotes gas valve | |

13



STRATA
PLAN
NW517

STRATA
PLAN
EPS1569

56A AVENUE

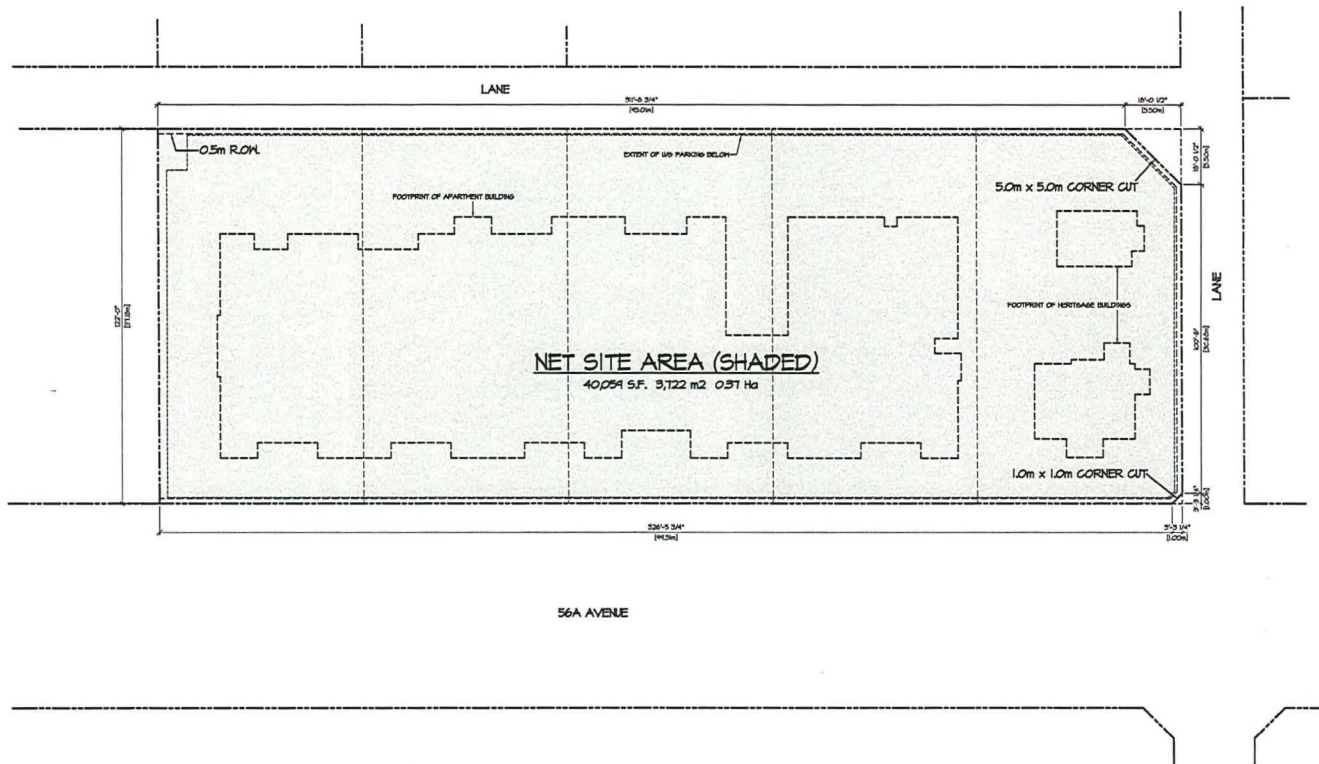
Revised
09th day of September, 2021
Revised
22nd day of October, 2018
Date of Survey:
06th day of March, 2018

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DHALLJWAL AND ASSOCIATES
LAND SURVEYING INC.
216-12889 78th Avenue
Surrey, B.C. V3W 1E6
Phone: 604 501-6188
email: info@dhalljwalurvey.com
File: 1801003-703

-This plan was prepared for design purposes
and is for the exclusive use of our client,
DHALLJWAL AND ASSOCIATES LAND SURVEYING INC.
and the signatory accept no responsibility for and
herby disclaim all obligations and liabilities for
damages caused by the direct or indirect use or
reliance upon the Plan beyond its intended use.

THIS DOCUMENT IS NOT VALID UNLESS
ORIGINALLY SIGNED AND SEALED

MARK J. R. DAILEY B.C.L.S. 867



BASE PLAN
SCALE: 1" = 20'-0"

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ISSUE	DATE	BY	DRAWN FOR



020-C-0456 AUG 17 2021

DESIGN :	J.F.A.
DATE :	AUG 18 21
PROJECT :	5-STOREY APARTMENT BUILDING
SHEET :	1 OF 4
SHEET NO. :	18039
PROJECT NO. :	AC-101a
CLIENT :	EKAM HOLDINGS
PROJECT :	5-STOREY APARTMENT BUILDING
LOCATION :	11671-11674 - 56A AVENUE, SURREY
SHEET CONTENTS :	BASE PLAN

barnett dembek
ARCHITECTS INC.

UNIT 135,
7538 130 STREET,
SURREY, B.C.
V3W 1Y5

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18039	AC-101a

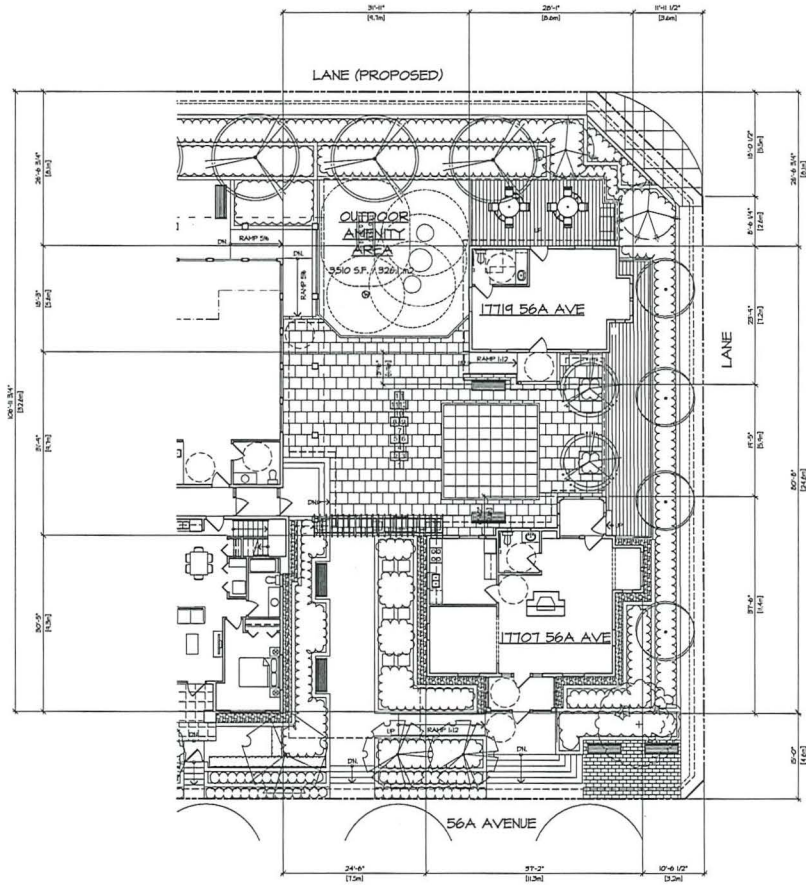
SUBMISSION TO ADP AUGUST 26 2021



MAIN FLOOR PLAN (AMENITY)

SCALE : 3/32" = 1'-0"

1511 S.F. / 1404 m2
 177H 56A: 521 S.F. / 484 m2
 17701 56A: 464 S.F. / 430 m2



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REV	DATE	BY	DATE	ISSUE	ISSUED FOR



C30-C-BLD-AMENITY.dwg

DESIGN: L.F.B.	DRAWN: L.F.B.	DATE: 01.11.21	SCALE: 3/32" = 1'-0"
CLIENT : EKAM HOLDINGS			
PROJECT : 5 STOREY APARTMENT BUILDING 17701-17704 - 56A AVENUE, SURREY			
SHEET CONTENTS: BUILDING PLANS			

barnett dembek

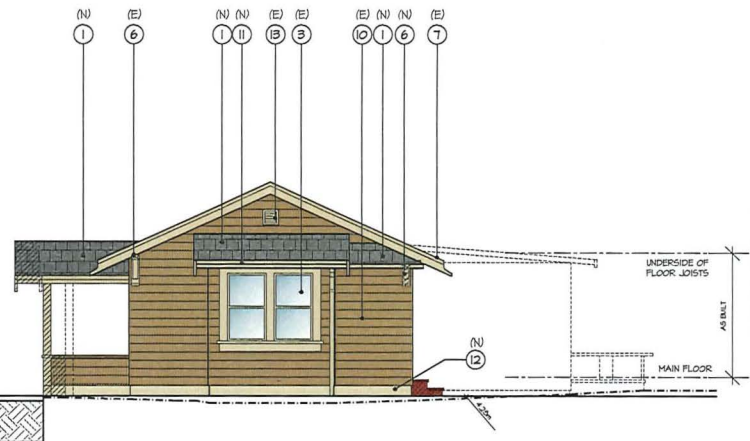
ARCHITECTS INC.
 UNIT 135,
 7538 130 STREET,
 SURREY, B.C.
 V3W 3H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

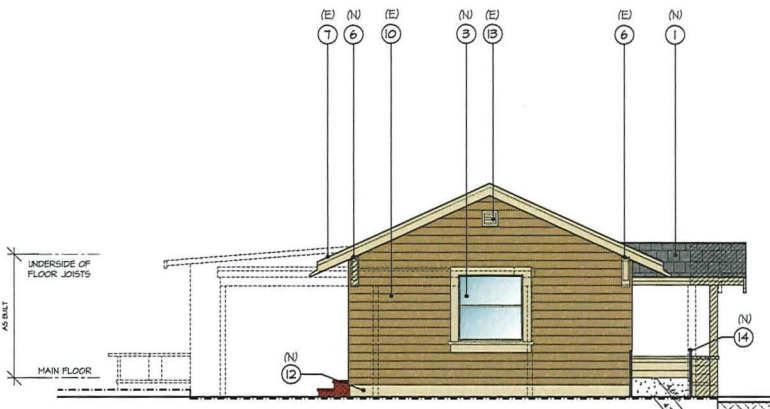
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18030	AC-3-020



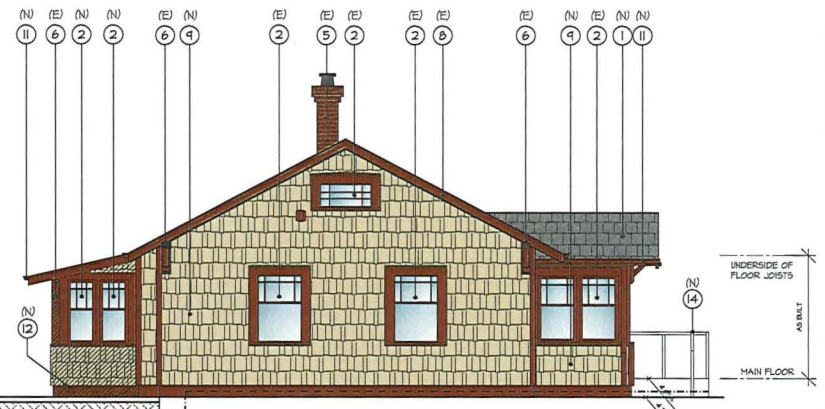
HERITAGE BLDG. 17707 56A
EAST ELEVATION
 SCALE: 1/4" = 1'-0"



HERITAGE BLDG. 17714 56A



HERITAGE BLDG. 17719 56A
WEST ELEVATION
 SCALE: 1/4" = 1'-0"



HERITAGE BLDG. 17707 56A

SCHEDULE OF FINISHES

ALL NOTED FINISHES TO MATCH ORIGINAL HERITAGE APPEARANCE AND CHARACTER WHERE POSSIBLE UNL.O.
 (EXISTING COMPONENTS TO BE RESTORED, REHABILITATED AND REINSTATED TO MATCH AS REQ'D.)

- | | | |
|--|---|--|
| <p>① SAVIN CEDAR SHINGLES</p> <p>② DOUBLE-HUNG WINDOWS C/M MULTI-PANE HOOD SASHES, SILLS & 2X6 TRIMS COLOUR - BENJAMIN MOORE "RUSTIQUE"</p> <p>③ WINDOWS C/M HOOD SASHES, SILLS, & 2X5 TRIMS COLOUR - BENJAMIN MOORE "RUSTIQUE"</p> <p>④ EXTERIOR DOOR C/M HOOD TRIMS AND TEMPERED LITE GLAZING COLOUR - BENJAMIN MOORE "CALIENTE"</p> <p>⑤ BRICK CHIMNEY COLOUR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI"</p> | <p>⑥ WOODEN KNEE-BRACKETS COLOUR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI"</p> <p>⑦ BARGEBOARD TAILS - CRAFTSMAN STYLE COLOUR - BENJAMIN MOORE "SAFARI"</p> <p>⑧ 1X2 HOOD TRIM ON 2X6 HOOD FASCIA COLOUR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI"</p> <p>⑨ CEDAR SHINGLE CLADDING - VINTAGE STYLE COLOUR - BENJAMIN MOORE "SAFARI"</p> <p>⑩ LAP SIDING C/M BELL-CAST BOTTOMS COLOUR - BENJAMIN MOORE "JACKSON TAN"</p> | <p>⑪ PREFINISHED ALUMINUM GUTTER COLOUR VARIES (TO MATCH ADJACENT TRIMS) - REFER TO LEGEND</p> <p>⑫ ARCHITECTURAL FINISHED CONCRETE FOUNDATION C/M FLASHING COLOUR VARIES - REFER TO LEGEND</p> <p>⑬ DECORATIVE HOOD ATTIC VENTS COLOUR - BENJAMIN MOORE "SAFARI"</p> <p>⑭ 3'-0" HIGH 5/8" DIA. MAX. PAINTED STEEL HANDRAILS (TYP.) (DESIGNED TO MEET ALL REQ'TS OF B.C.B.C. 2018) COLOUR - POWDER COATED, DARK GREY</p> |
|--|---|--|

NOTE: HERITAGE BUILDINGS TO BE SPRINKLER PROTECTED

LEGEND

HERITAGE PAINT COLOURS		----- DEMOLISHED
	BENJAMIN MOORE "RUSTIQUE" - AF-215	
	BENJAMIN MOORE "CALIENTE" - AF-240	
	BENJAMIN MOORE "JACKSON TAN" - H-46	----- ORIGINAL GRADE LINE
	BENJAMIN MOORE "SAFARI" - AF-395	----- NEW CONSTRUCTION / RECONSTRUCTION
		(N) NEW / PROPOSED
		(E) EXISTING

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 BARNETT DEMBEK ARCHITECTS INC. IS
 PROHIBITED.

REV#	DATE	BY	DATE	ISSUE

DESIGN :	ECAM HOLDINGS
L.P.A. :	PROJECT : 5 STOREY APARTMENT BUILDING
DATE :	176PT-17707 - 56A AVENUE, SURREY
SCALE :	SHEET COORDINATES : ELEVATIONS
	INDOOR AVENUE / HERITAGE BUILDINGS

DESIGN :	ECAM HOLDINGS
L.P.A. :	PROJECT : 5 STOREY APARTMENT BUILDING
DATE :	176PT-17707 - 56A AVENUE, SURREY
SCALE :	SHEET COORDINATES : ELEVATIONS
	INDOOR AVENUE / HERITAGE BUILDINGS

barnett dembek
 ARCHITECTS INC.

UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V0W 1T8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18030	AC-4.03

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HERITAGE BLDG. 17719 56A

NORTH ELEVATION

SCALE: 1/4" = 1'-0"



HERITAGE BLDG. 17707 56A

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: HERITAGE BUILDINGS TO BE SPRINKLER PROTECTED

SCHEDULE OF FINISHES

ALL NOTED FINISHES TO MATCH ORIGINAL HERITAGE APPEARANCE AND CHARACTER WHERE POSSIBLE UNO. (EXISTING COMPONENTS TO BE RESTORED, REHABILITATED AND REINSTATED TO MATCH AS REQ'D.)

- | | | |
|---|--|--|
| ① SAWN CEDAR SHINGLES | ⑥ WOODEN KNEE-BRACKETS
COLOUR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI" | ⑪ PREFINISHED ALUMINUM GUTTER
COLOUR VARIES (TO MATCH ADJACENT TRIMS) - REFER TO LEGEND |
| ② DOUBLE-HUNG WINDOWS C/M MULTI-PANE WOOD SASHES, SILLS & 2X6 TRIMS
COLOUR - BENJAMIN MOORE "RUSTIQUE" | ⑦ BARGEBOARD TAILS - CRAFTSMAN STYLE
COLOUR - BENJAMIN MOORE "SAFARI" | ⑫ ARCHITECTURAL FINISHED CONCRETE FOUNDATION
C/M FLASHING COLOUR VARIES - REFER TO LEGEND |
| ③ WINDOWS C/M WOOD SASHES, SILLS, & 2X5 TRIMS
COLOUR - BENJAMIN MOORE "RUSTIQUE" | ⑧ 1X2 WOOD TRIM ON 2X6 WOOD FASCIA
COLOUR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI" | ⑬ DECORATIVE WOOD ATTIC VENTS
COLOUR - BENJAMIN MOORE "SAFARI" |
| ④ EXTERIOR DOOR C/M WOOD TRIMS AND TEMPERED LITE GLAZING
COLOUR - BENJAMIN MOORE "CALLENTE" | ⑨ CEDAR SHINGLE CLADDING - VINTAGE STYLE
COLOUR - BENJAMIN MOORE "SAFARI" | ⑭ 3'-0" HIGH 5/8" DIA. MAX. PAINTED STEEL HANDRAILS (MYP)
(DESIGNED TO MEET ALL REQ'TS OF B.C.B.C. 2018)
COLOUR - POWDER COATED, DARK GREY |
| ⑤ BRICK CHIMNEY
COLOUR - BENJAMIN MOORE "RUSTIQUE" OR "SAFARI" | ⑩ LAP SIDING C/M BELL-CAST BOTTOMS
COLOUR - BENJAMIN MOORE "JACKSON TAN" | |

LEGEND

HERITAGE PAINT COLOURS

	BENJAMIN MOORE "RUSTIQUE" - AF-215		DEMOLISHED
	BENJAMIN MOORE "CALLENTE" - AF-240		NEW CONSTRUCTION / RECONSTRUCTION
	BENJAMIN MOORE "JACKSON TAN" - H-46		ORIGINAL GRADE LINE
	BENJAMIN MOORE "SAFARI" - AF-395	(N)	NEW / PROPOSED
		(E)	EXISTING

ISSUE NO.	ISSUE DATE	BY	DATE

DESIGN: L.F.A.	DRAWN: L.F.A.	DATE: Sep. 29 21	SCALE: 1/4" = 1'-0"
CLIENT: EKAM HOLDINGS			
PROJECT: 5 STOREY APARTMENT BUILDING			
ADDRESS: 1767-17719 - 56A AVENUE, SURREY			
SHEET CONTENTS: ELEVATIONS / HERITAGE BUILDINGS			
INDOOR AMENITY / HERITAGE BUILDINGS			

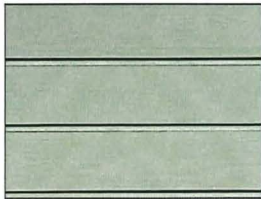
barnett dembek
ARCHITECTURE INC.

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

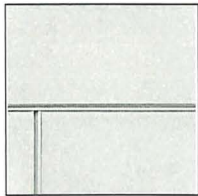
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@barnett.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
18030	AC-404

MATERIALS BOARD



HORIZONTAL HARDIE-BOARD LAP SIDING
 BENJAMIN MOORE "STEEL WOOL" - 2121-20
 ELEVATIONS FINISH SCHEDULE NO. 2



HARDIE-PANEL VERTICAL SIDING WITH HARDIE REVEAL SYSTEM
 COLOUR: NOT APPLICABLE - REFER TO PAINT COLOURS
 ELEVATIONS FINISH SCHEDULE NO. 3, 4

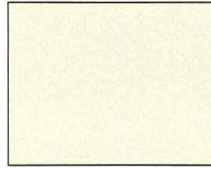


PONDER COATED METAL CANOPY
 COLOUR: NOT APPLICABLE - REFER TO PAINT COLOURS
 ELEVATIONS FINISH SCHEDULE NO. 5



PONDER COATED ALUMINUM GUARDRAILS WITH TEMPERED GLAZING PANELS
 BLACK ALUMINUM WITH CLEAR TEMPERED GLAZING
 ELEVATIONS FINISH SCHEDULE NO. 7

PAINT COLOURS



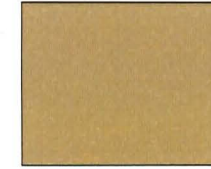
BENJAMIN MOORE "WHITE DOWN" - CC-50



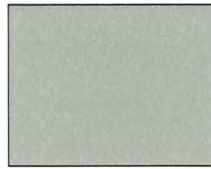
BENJAMIN MOORE "STEEL WOOL" - 2121-20



BENJAMIN MOORE "RUSTIQUE" - AF-215



BENJAMIN MOORE "JACKSON TAN" - H-46



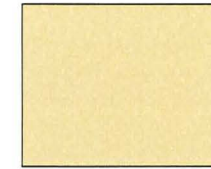
BENJAMIN MOORE "STORMY MONDAY" - 2112-50



BENJAMIN MOORE "EBONY SLATE" - 2118-30



BENJAMIN MOORE "GALIENTE" - AF-249



BENJAMIN MOORE "SAFARI" - AF-335



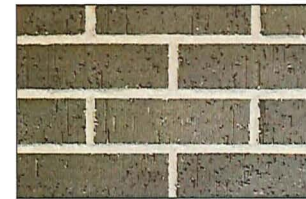
ALUMINUM FRAMED RESIDENTIAL WINDOWS & PATIO DOORS
 COLOUR: REFER TO PAINT COLOURS
 ELEVATIONS FINISH SCHEDULE NO. 6



STOREFRONT ALUMINUM FRAMED WINDOWS & DOORS
 COLOUR: NOT APPLICABLE - REFER TO PAINT COLOURS
 ELEVATIONS FINISH SCHEDULE NO. 6



PONDER COATED ALUMINUM PRIVACY SCREENS
 BLACK ALUMINUM WITH OBSCURED TEMPERED GLAZING
 ELEVATIONS FINISH SCHEDULE NO. 10



BRICK VENEER - HEBRON "SLATE GRAY"
 COLOUR: AS SHOWN IN PICTURE
 ELEVATIONS FINISH SCHEDULE NO. 1



WOOD TRELLIS
 COLOUR: REFER TO PAINT COLOURS
 ELEVATIONS FINISH SCHEDULE NO. 9

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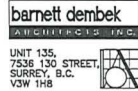
REV#	DATE	BY	CHKD	ISSUE	REASON FOR



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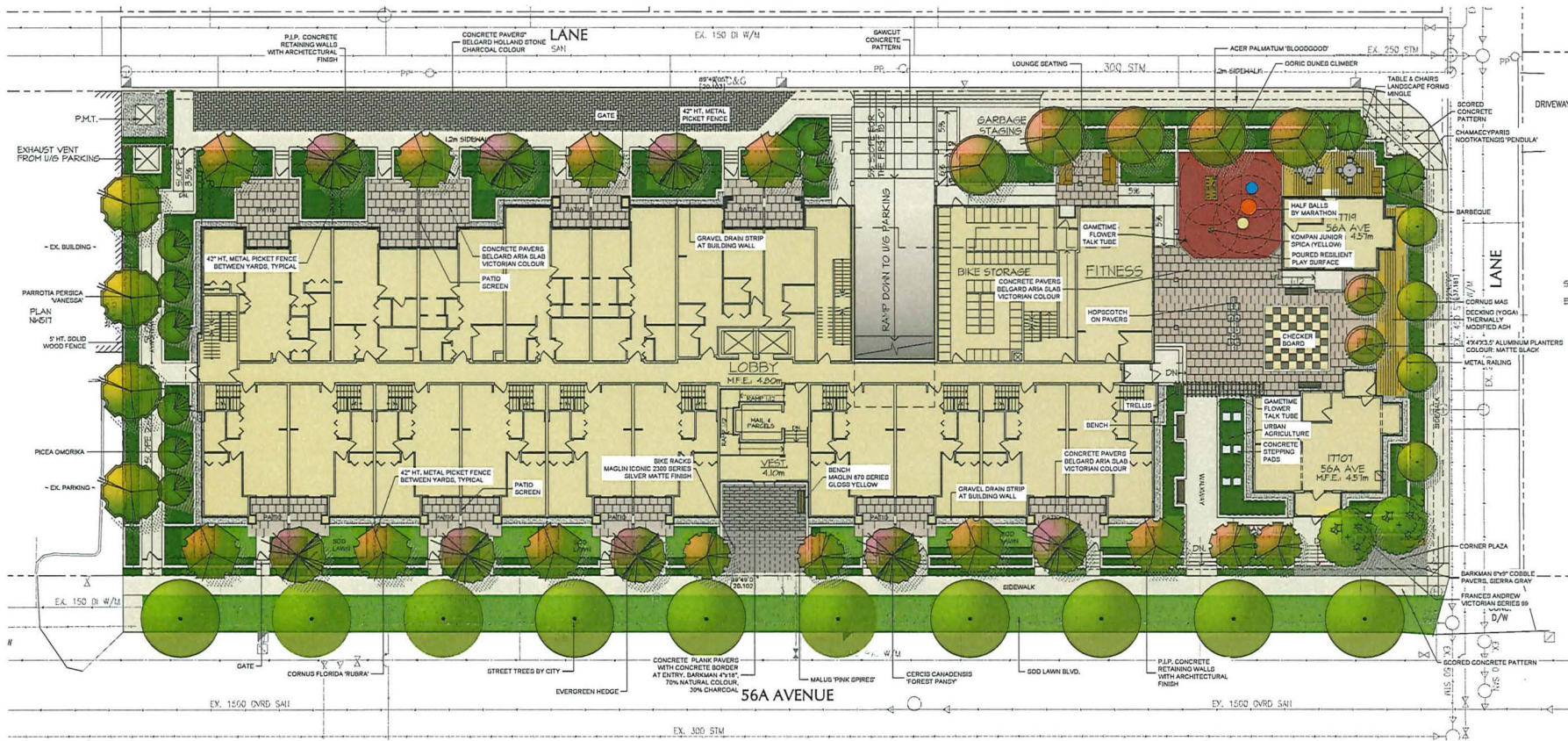
DESIGN : L.P.A.	DRAWN : L.P.A.	DATE : Sep. 20 21	SCALE : 3/32" = 1'-0"
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CLIENT : ECAH HOLDINGS
 PROJECT : 5 STOREY APARTMENT BUILDING
 11611-11124 - 56A AVENUE, SURREY
 SHEET CONTAINS : MATERIAL BOARD



PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@barnett-dembek.com

CLIENT NO.	SHEET NO.
18038	AC-405
PROJECT NO.	REV. NO.



PLANT SCHEDULE				PMG PROJECT NUMBER: 20-065
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
	5	ACER PALMATUM 'BLOODGOOD'	RED JAPANESE MAPLE	2.5M HT; BAB; UPRIGHT FORM
	2	ACER PALMATUM (1.5)	JAPANESE MAPLE	1.5M HT; BAB
	8	CERCIS CANADENSIS 'FOREST PANDA'	FOREST PANDA REDBUD	5CM CAL; 1.8M STD; BAB
	2	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	WEEPING NOOTKA CYPRRESS	2.5M HT; BAB
	2	CORNUS FLORIDA 'RUBRA'	PINK FLOWERING DOGWOOD	5CM CAL; 1.5M STD; BAB
	4	CORNUS MAS	CORNELIAN CHERRY	5CM CAL; 1.8M HT; BAB
	2	KOELINUTERA PANICULATA	GOLDEN RAIN TREE	6CM CAL; 2M STD; BAB
	4	MALUS 'PINK SPREE'	PINK SPREE FLOWERING CRABAPPLE	5CM CAL; 1.5M STD; BAB
8	PARRISIA PERISCA 'VANESSA'	VANESSA PERSIAN REDWOOD	5CM CAL; 2.5M HT; TREE FORM; BAB	
		PICCA OMBRICA	SERBIAN SPRUCE	3.5M HT; BAB

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CUL-1 STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. * AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRAZER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. * SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. * DEFINITION OF CONTINUOUSLY AVAILABLE. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 8th Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0311 | f: 604 294-0022

NO.	DATE	REVISION / DESCRIPTION	DR.
1	21.MAY.20	NEW SITE PLAN / EDP COMMENTS	DD
2	21.JAN.20	CONSTRUCTION PERMITS	DD
3	21.MAR.21	NEW SITE PLAN / CITY COMMENTS	DD
4	21.MAR.20	NEW SITE PLAN / EDP COMMENTS	DD
5	20.AUG.19	PLANNING REVISION / ASSOCIATES	DD

PROJECT:
5-STOREY CONDOMINIUM BUILDING
17697 - 17739 - 56A AVENUE
SURREY
SURREY FILE NUMBER: 7917-0347-00

CLIENT:
DRAWING TITLE:
LANDSCAPE PLAN

DATE: 20 AUG 07
SCALE: 1:1150
DRAWN: MC
DESIGN: MC
CHKD: MCV
DRAWING NUMBER:
L1
PMG PROJECT NUMBER: 20-065

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Appendix "B"

HERITAGE CONSERVATION PLAN

Mooring House and Cottage- 17707 and 17719 56A Avenue

Dewhirst Lessard Consulting Plan, March 2021, Revised May and September 2021

(The " Dewhirst Lessard Consulting Plan ")

(Attachment beginning on the next page)

THE MOORING HOUSE & COTTAGE

17707 and 17719 56 A Avenue, Surrey, B.C.

CONSERVATION PLAN
MARCH 2021, REVISED MAY & SEPTEMBER 2021



**dewhirst lessard
consulting**

2095 Thompson Road, Gabriola BC V0R 1X7
308-1251 Cardero St. Vancouver BC V6G 2H9
dewhirstlessard@shaw.ca

THE MOORING HOUSE & COTTAGE

Address: 17707 & 17719 56A Avenue, Surrey, British Columbia

Original owners: Alexander and Jean Mooring

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HERITAGE CONSULTANT: dewhirst lessard consulting

The firm dewhirst lessard is a consulting firm specializing in building conservation; we offer services in conservation documentation for the purpose of Development Permit Applications and Heritage Revitalization Agreements. Barbara Dewhirst and André Lessard have extensive past experience as practicing architects and have been involved in numerous heritage projects in BC, Alberta and Ontario. We have completed restorations, rehabilitations and adaptive reuse projects from design to construction.

André Lessard, the principal in charge, has experience in planning, design and construction. He is a building conservation specialist. André, a former member of the AIBC, is a member of the Canadian Association of Heritage Professionals, and former president of the BC Chapter and its National Board of Directors. He was a member of the Vancouver Heritage Commission in 2009-2010. André is also a LEED Accredited Professional, including field certification experience (BD+C). He has lectured for twelve years in "Building Science for Architectural Conservation" at University of Toronto and Ryerson University.

PREFACE

“Original owners Alexander Mooring, a logger originally from Nova Scotia, and his wife, Jean (Sarah) Matheson, member of a well-known Cloverdale family settled together in Cloverdale, in the early 1930s, and constructed this home and a cottage next door. The couple remained in this house until 1945 when they sold it to Fanny Blair and relocated their family to Lone Butte, in the British Columbia Interior. The Brookes family, who purchased the house in 1956, were the longest owners, remaining on title until 1992.” 2019 Heritage Assessment (DL&A)

The Mooring House and Cottage are side by side on 56A Street, in Cloverdale, Surrey. The house was built in 1933 and the cottage in 1934. There are speculations that the cottage was moved into its current location because of its lack of foundations. The houses were last purchased in January 2018. The current owner is proposing to move the two structures at the end of the block next to the lane and build a condominium complex on four adjacent lots. The conservation of the Mooring House and Cottage is part of a Heritage Revitalization Agreement (HRA). The present Conservation Plan comprises an introduction, a condition survey for each of the two structures, and comments pertaining to the proposed development.

LOCATION

Cloverdale is the municipal district for the Mooring House and Cottage. The development of the Cloverdale neighbourhood had a major impact on Surrey Centre and the Five Corners. Cloverdale developed as a north-south community along the tracks of the New Westminster Southern Railway. The three intersecting railways and designation of Clover Valley Road as the Pacific Highway stimulated the growth and development of Cloverdale. Two sawmills operated in Cloverdale while timber supplies lasted.

The opening of the New Westminster and Southern Railway in 1891 saw the rapid growth of Cloverdale. Surrey Centre remained the administrative center of Surrey until a new Municipal Hall was opened in Cloverdale in 1912. Cloverdale's growth eclipsed the development of Surrey Centre. Many of the functions that Surrey Centre had held were taken over by the blossoming Cloverdale.

The Mooring House and Cottage are located in historic Cloverdale, across the street from the recently built Surrey Museum and Archives, which sits north on the 1912 Municipal Hall 's grounds. They are located one block from 176th Street (Cloverdale Road) and one block north of Hwy 10 (Milton Road). Also close by the Mooring's, the Fraser Valley Heritage Railway is located on 176th A Street, south of Hwy 10; the station used to be positioned at the intersection of three major rail tracks. There is a back lane behind the house and cottage accessible from 56A Avenue. At the back of the two properties, is located the Aspire Fine Art School 17720 57 Avenue.

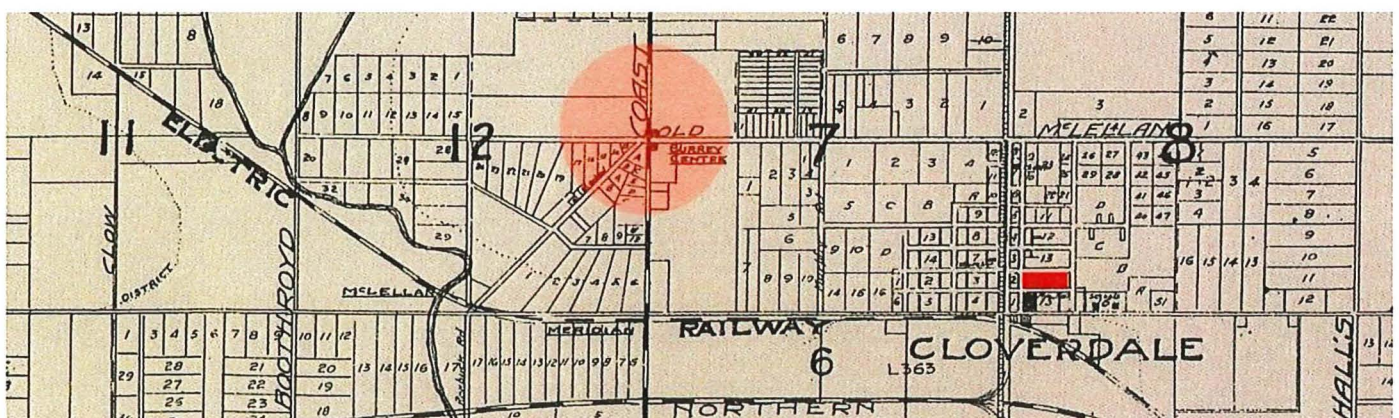


Figure 1: 1920 map showing block 14 in red and “Surrey Center” in shaded circle at 60th St and Old McLellan Rd (Surrey Museum and Archives Online Access)



Figure 2: 1912 Municipal Hall, one block south of the Mooring house & Cottage (Surrey Archives)

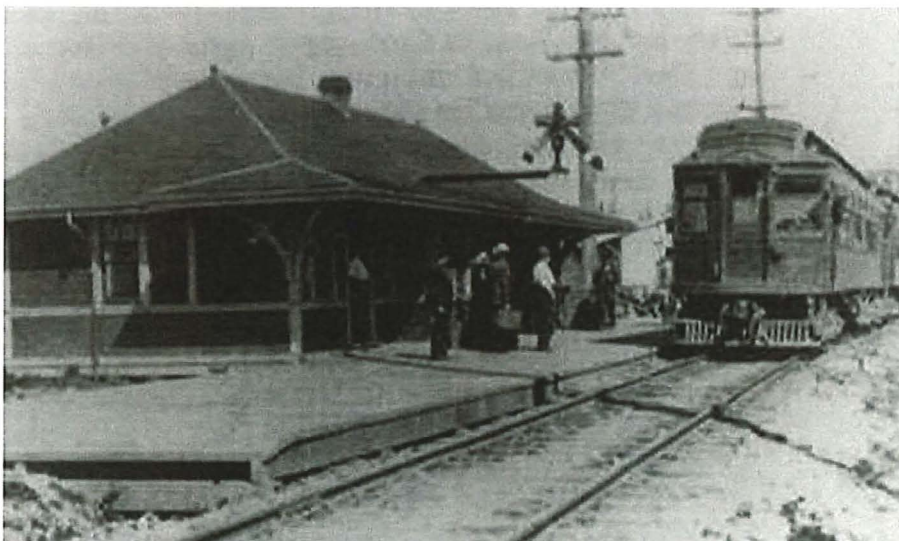


Figure 3: 1911_Cloverdale Station 176 & Highway 10 aka Pacific Hwy and Milton Rd (Surrey Archives)

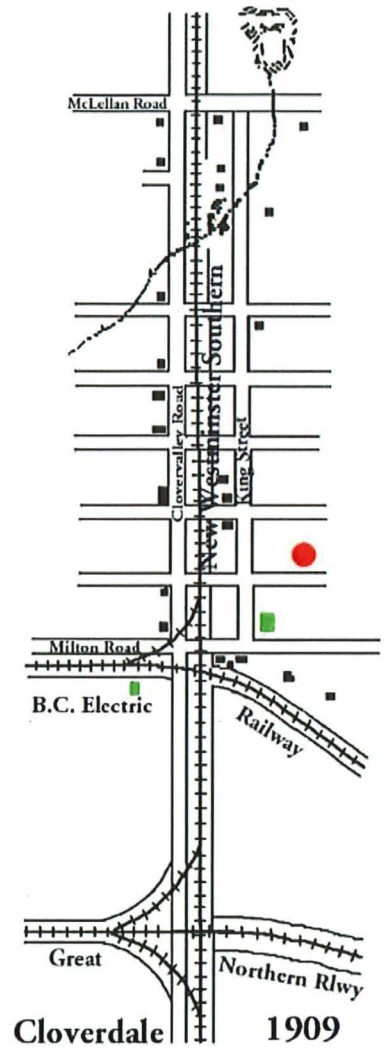


Figure 4: Mooring's in red and Municipal Hall and Train Station in green (clovamaplargeopt)

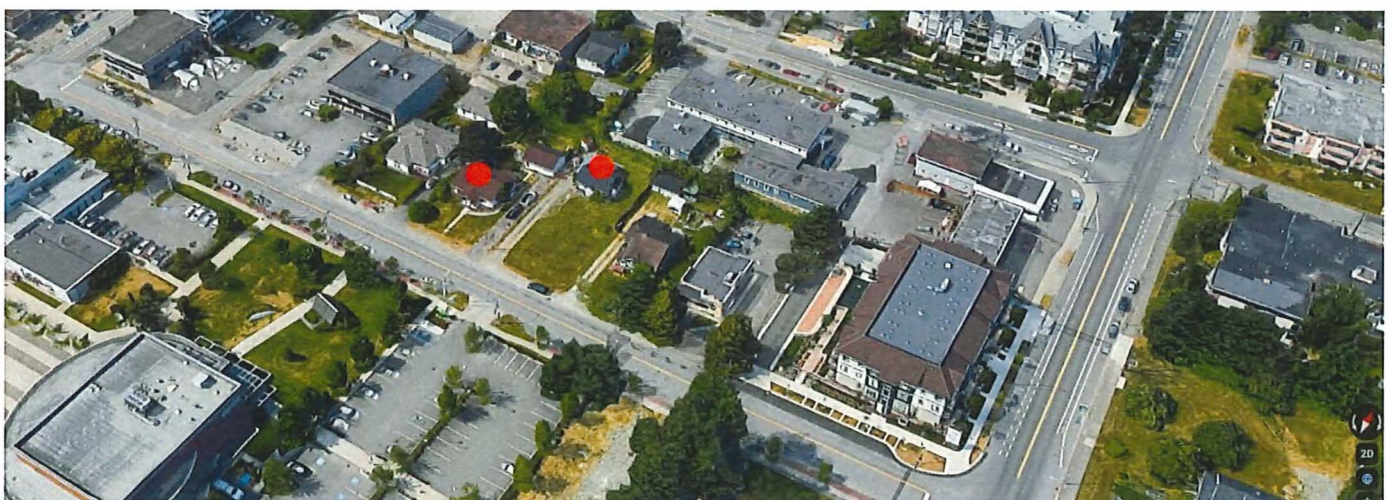


Figure 5: Current location of the Mooring House and Cottage in red dots before the construction of the Surrey Museum and Archives (Google Map)

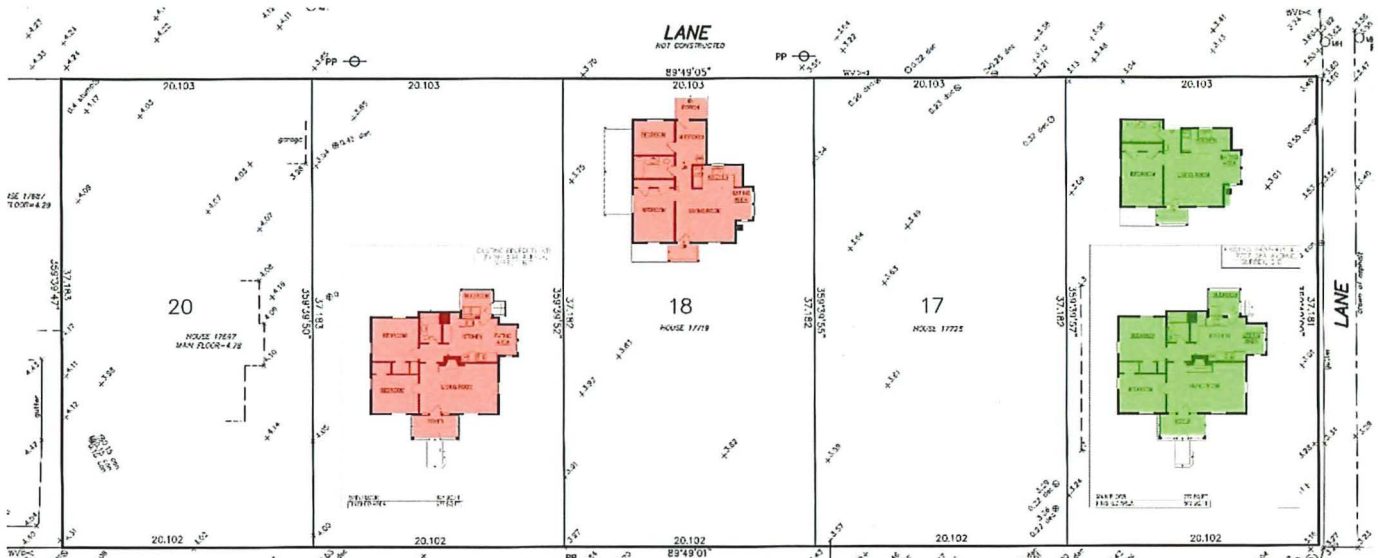


Figure 6: Existing location of Mooring House and Cottage in red with proposed relocation site at the end of the development block in green with the cottage plywood addition removed. This drawing is not intended to inform of the land topography. Scale of buildings and locations are approximate. Base drawing by Dhaliwal and Associates Land Surveying Inc. with house and cottage drawings by Barnett Dembek Architects Inc



Figure 7: Museum exhibit of heritage house and school across the street

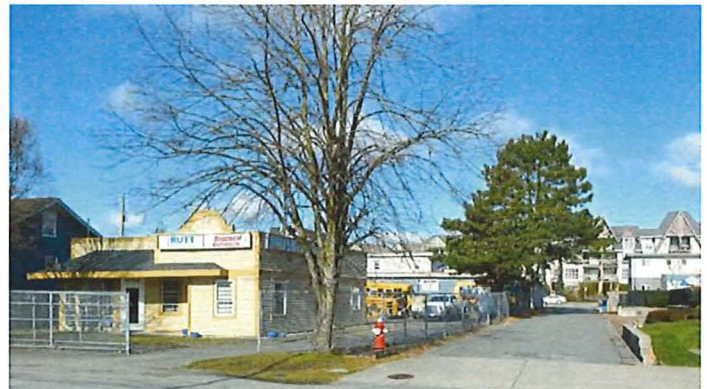


Figure 8: Permanent site of Mooring's House and Cottage east end of block

The proposed development comprises a new condominium complex spread over five residential lots. In order to create room for the new complex, the Mooring House and Cottage will be moved at the east end of the five lots, adjacent to an existing lane. There are two heritage structures exhibited by the Surrey Museum across the street on 56A Avenue, which constitutes an appropriate environment to the Mooring House and Cottage. The future site of the Mooring House and Cottage is currently occupied by a contractor's shop which will be demolished. The east end of the development site will be constructed first leaving the house and cottage in its existing location until the new site is ready to receive the relocated Mooring House and Cottage.

Photographs in this report have been taken by dewhirstlessard unless noted otherwise.

THE MOORING HOUSE: 17707 56A AVENUE

Statement of Significance

Partly based on excerpts from the 2019 Heritage Assessment by DL&A

1. Description of the Historic Place

The Mooring House is a modest one-storey wood frame house located mid block on 56A Avenue in the historic neighbourhood of Cloverdale in Surrey, British Columbia. The house was built in 1933 as a single-family house with a free-standing garage on the side of the property, accessible by a driveway. In 1934, the owner of the house had a cottage moved on his property next door at 17719 56A Avenue.

2. Heritage Value

The Mooring House is valued for its contribution to the endurance of Cloverdale's development, its association with the Mooring family and the modest nature of its architectural style.

Cloverdale was the City of Surrey's first Town Centre, established in 1879 near Five Corners, at the intersection of 60 Avenue and Old McClellan Road. The advent of the railways played a significant role in the development of Cloverdale. When the New Westminster-Southern Railway was established in 1891, a station was built near the present town centre and given the name "Cloverdale" referring to the Clover Valley. Cloverdale experienced a boom in 1910-1911. A new Municipal Hall was built in 1912 establishing Cloverdale as the regional centre of the District. The Lower Mainland would subsequently suffer from the repercussions of the Great Depression. It was during this period that the Mooring family constructed their home on 56A Avenue in 1933, just north of the Municipal Hall, thus demonstrating Cloverdale's resilience to adversity.

The original owners Alexander Ross Mooring, and his wife Jean Sarah Matheson settled together in Cloverdale in the early 1930s. They married in 1932 and constructed their house the following year. Mooring, a logger originally from Cumberland Nova Scotia was born in 1902, the sixth child of a family of ten. Jean Sarah was a member of a well-known Cloverdale family. Her great uncle, Alexander Matheson was the Chief of Police at Cloverdale. The couple remained in this house until 1945 when they sold it to Fanny Blair and relocated to Lone Butte, in the interior of British Columbia. In 1956, the Brookes family purchased the house and lived in it until 1992. Mooring died in 1958 in Vancouver.

The one storey Craftsman house is characterized by its side-gabled roof with projecting front-gabled entryway vestibule. The building features cedar shingle siding, decorative knee-brackets, and wooden multi-pane windows typical of its style.

3. Character-defining Elements

The elements that define the heritage value of the Mooring House include the following:

- Location on 56A Avenue north of the Municipal Hall, across the street from the Surrey Museum and Archives
- Side gabled massing, main floor close to the ground with crawl space below.
- Cedar shingle cladding and corner pointed end knee-brackets.
- Enclosed front gabled porch with large overhang, closed tongue-and-groove ceiling, wood floor, wooden square posts mounted with knee-brackets, balustrade entablature, headboard, and wooden multi-pane windows.
- The back porch (originally open) with a shed roof and corner posts mounted with knee-brackets.
- Dining nook projection with shed roof and wooden multi-pane windows.
- Symmetrical front fenestration, double-hung windows, multi-pane sashes, interior and exterior casings, and the arched attic windows.
- Internal brick chimney

BUILDING DESCRIPTION:

17707 56A Avenue is a residential property of 750 sm. (8,052 sf.) which includes a driveway and a garage. The house is currently a rental property. The Mooring House is a side gable wood frame one storey bungalow of 92 sm. (990sf.) supported on shallow strip concrete foundation. It contains a living room kitchen and dining area, two bedrooms and one bathroom. The house has a more recent asphalt shingle roof and is clad with more recent vinyl siding.



Figure 9: The Mooring House view of northeast corner with the garage at the back



Figure 10: The Mooring House view of southwest corner with enclosed back porch and kitchen/dining nook

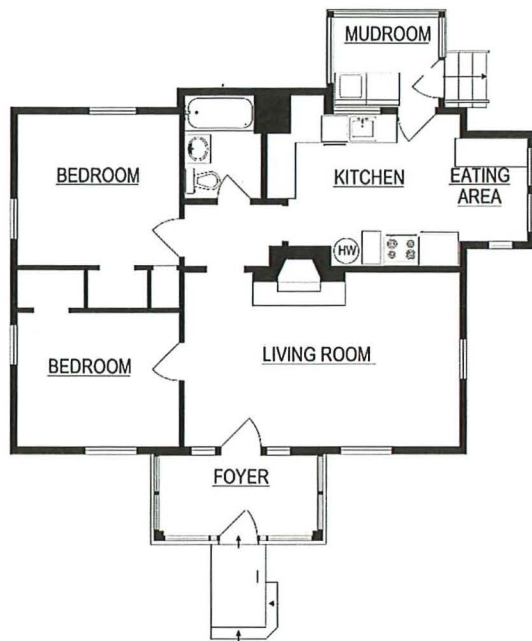


Figure 11: Main floor plan (drawing by Barnett Dembek Architects Inc.)



Figure 12: Partial west elevation

The Mooring House is a modest bungalow sitting close to grade. The house has a minimal attic, just high enough to include a window at the gable ends, due to its low pitch roof. The style of the house is typical of the post-depression era which we associate with modern suburban architecture. The Mooring House includes several features of the Craftsman Bungalow style, such as prominent roof, especially at the front porch, knee brackets, and cedar shingle cladding. The fancy multi-pane wood window sashes of the Mooring House are also elements expressive of the Craftsman Style.

Following is a description of the Side Gable 1½ storey Craftsman Style, including features of the Mooring House representative of the style, highlighted in bold.

Side-gabled one-storey Craftsman: “Swiss cottages” 1910-1930

According to the Vancouver Heritage Foundation

Side-gabled Craftsman houses are usually 1½ storeys with a very **prominent roof covering**, an integral porch and a sleeping porch set into the roof on the front elevation within a shed-roofed or gabled dormer or dormers. They have **wide eaves, knee brackets and robust square porch posts with brackets**.

Side-gabled Craftsman houses usually have **cedar shingles above the water table** or otherwise wood lap siding. **Their roofs are usually (asphalt) shingle with brick chimneys**. Like other Craftsman homes, they have **exposed knee brackets**. They may have stone or clinker brick detailing on foundation or porch posts, otherwise features are predominantly wood.

CONSERVATION PLAN: THE MOORING HOUSE; 17707 56A AVENUE

The Conservation Plan consists of a series of recommendations pertaining to the preservation, rehabilitation and/or restoration of the subject historic site. The Conservation Plan is divided into four sections: the first is a condition survey of the character-defining elements and the historic site in general, the second is an assessment of the integrity of the historic structure; the third is a series of recommendations for the conservation and maintenance of the character-defining elements, and the fourth is a review of the proposed development highlighting the impact of the design onto the historic site and building fabric.

I.A. Condition Survey

This condition survey comprises of visual observations during the site visit on February 17, 2021. We reviewed the exterior and interiors of the building and its property. Generally, the building is in good condition and well maintained for a building of this age. The purpose of the survey is to document the current condition of the historic place and more specifically the condition of the character-defining elements, those subject to conservation intervention where required. The choice of character-defining elements is instructed by the *Standards and Guidelines for the Conservation of Historic Places in Canada* as well as the history of the building. The current list of character-defining elements is based on our observations.

For the purpose of this document, the front façade is the south face, the back façade the north face.

I.1: PROPERTY

The property of the Mooring House is a large lot 20.1 m wide by 37.2 m deep. The lot is relatively flat sloping down 15 cm toward its north side. Except for the front and back lawn, there are no landscape features or substantial trees on the property. The garage is located on the northeast corner of the lot. The garage has been neglected over the years. There is considerable debris around the back of the house.



Figure 13: Front lawn of the Mooring House with the garage at the back and the Mooring Cottage next door on the right



Figure 14: Backyard of the Mooring House with same style garage on the left

1.2: MASSING AND FOUNDATION

Both the main roof and the front porch with low-pitch with deep overhangs are distinctive of the Mooring House massing. The projecting gable ends with the associated knee-brackets characterize the style of the house, while the close relation of the house to grade exemplify the modern residential trend of the 1930's.

The house is supported by a continuous wythe of two courses of concrete blocks sitting on a shallow strip footing. We estimated that the concrete footings were approximately 6" below grade. Generally, the foundation walls are in good condition but a few joints in the masonry have settled and opened. The foundation wall includes several vents which have been filled with plywood closures. One crawl space access half-door is located on the north side of the house.

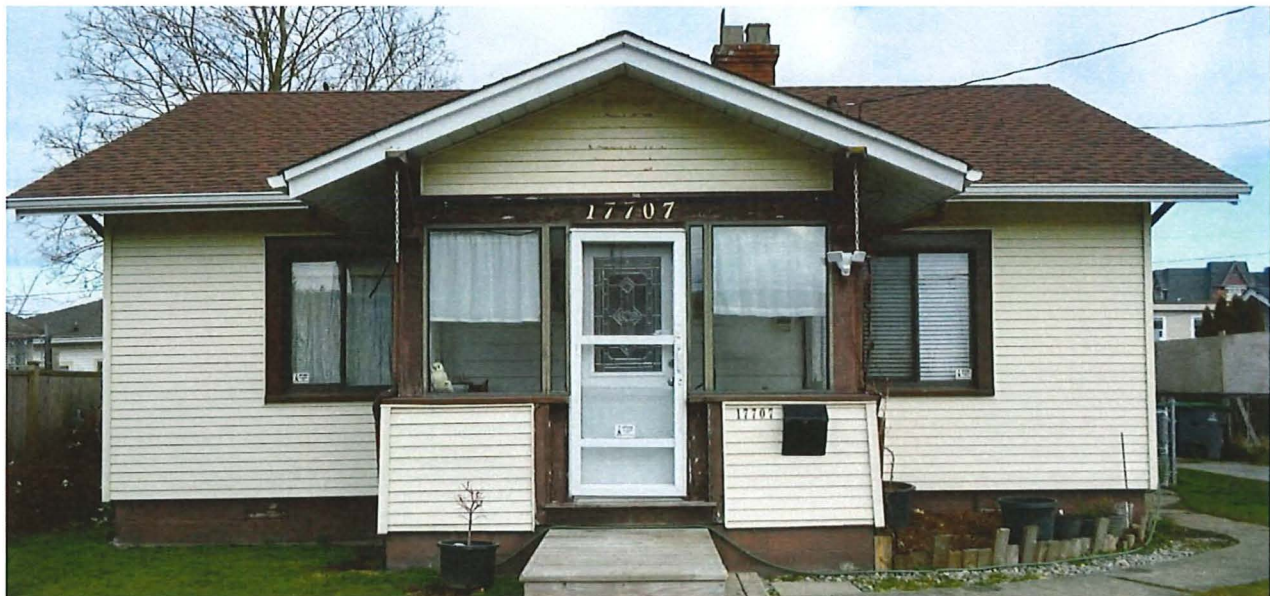


Figure 15: Front elevation showing low pitch roof, the generous overhang, symmetrical façade, and central front porch



Figure 16: Concrete block onto strip footing with closed vent



Figure 17: Crawl space access half door

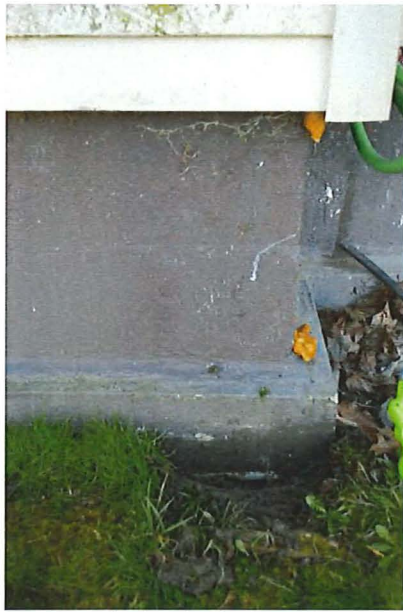


Figure 18: Depth of concrete footing



Figure 19: Disjointed concrete block

1.3: ROOFS, SOFFIT AND KNEE-BRACKETS

The asphalt shingle roof is in good condition. The roof overhang includes closed soffit and knee-brackets. Roof moulding and bargeboards are wrapped sheet metal. The soffits are made of perforated aluminum strips which are in good condition. The eaves-troughs are continuous along the roof edges, but some down pipe connections are missing. Knee-brackets are supporting the roof overhang on the sides of the gable ends. There are seven (7) knee-brackets around the three roofs, four at the main roof, two at the front porch, and one at the back porch. There is one missing at the west side of the back porch. The knee-brackets are wooden and painted without any metal wrapping. The brackets are generally in good condition.



Figure 20: Gable end with closed perforated aluminum soffit



Figure 21: Wooden knee bracket northeastern roof corner



Figure 22: Disconnected eaves trough at dining nook



Figure 23: Eaves trough at southwest corner of front porch



Figure 24: Knee-bracket with pointed end at southwest corner of front porch

1.6: CEDAR SHINGLE CLADDING

Currently the house is clad in cream coloured vinyl siding imitating narrow lap siding. The original siding was cedar shingle. There is some evidence that two layers of shingles exist one on top of the other, the later painted and the original left natural. Further investigation is required to establish the true assembly of the original exterior wall. The vinyl siding is in good condition, whereas the shingles beneath is expected to be in poor condition.



Figure 25: Painted cedar shingles behind vinyl siding and unpainted shingles behind



Figure 26: Detail of shingles

1.7: ENCLOSED FRONT AND BACK PORCHES

The front porch was designed to be open, with its own gable roof, balustrade, closed ceiling, and square corner posts mounted with knee-brackets. Exterior finishes inside the porch confirms this assumption. The window style which is the same as the rest of the house, indicates that the porch was enclosed early on, maybe upon completion of the construction. It was common in those days to purchase a house design yet adjust it to one's wishes during construction. Posts, balustrade entablature, and headboard are painted wood and in fair condition, while the paint is peeling from neglect. The eaves troughs are routed in the front of the porch thus distracting from the knee-brackets. The closed ceiling of the front porch is made of tongue-&-groove boards; the ceiling is in good condition. The wooden steps and landing at the front porch are incongruous with the house and expediently built, which confirms that the porch was designed to be open without the requirement for a landing. The back porch stairs have aluminum railings also incongruous to the style of the house.



Figure 27: Enclosed front porch



Figure 28: Original side windows of the front porch



Figure 29: Front porch front door and interior with newer cut-glass door on the right

The back porch was designed to be open, with a shed roof extending from the main roof at a different pitch, balustrade, closed ceiling, square corner posts mounted with knee-brackets, although one is missing. Exterior cedar shingles inside the porch confirms this assumption. The windows, however, are a different style, which indicates that the enclosure may have been done at a later date. The windows, posts, entablature, and the one knee-bracket are painted wood. The back porch is generally in good condition.



Figure 30: Enclosed back porch with shed roof

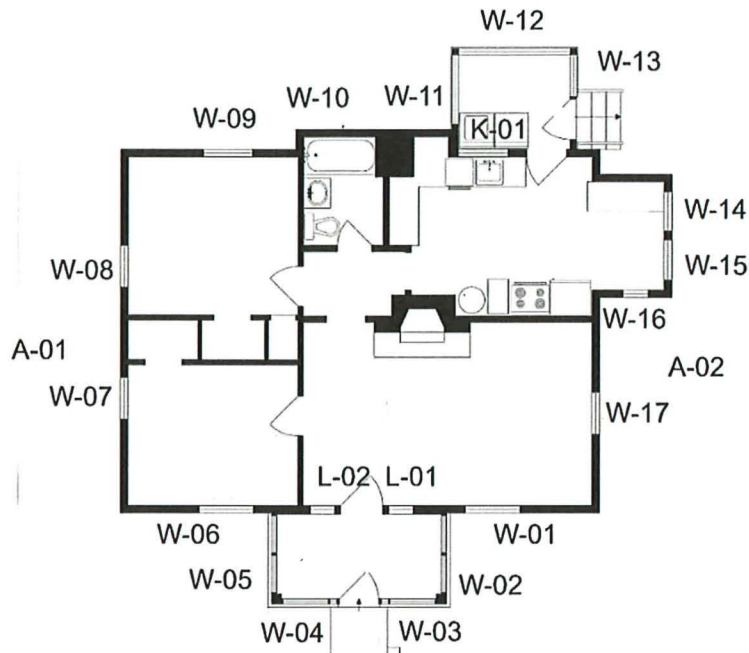


Figure 31: Back porch details of knee bracket, door, and windows



Figure 32: Interior of back porch with kitchen window on the left and cedar shingles on the wall

I.8: WINDOWS AND PREMINARY SCHEDULE



SOUTH ELEV	WINDOW TYPE	SASH	CASING	CONDITION
W-01	Slider	Replaced sashes	Wood	Good
W-02	Wooden Fixed	Multi-pane upper sash	Wood	Fair
W-03	Fixed	Single plain sash	Wood	Fair
W-04	Fixed	Single plain sash	Wood	Fair
W-05	Wooden Fixed	Multi-pane upper sash	Wood	Fair
W-06	Slider	Replaced sashes	Wood	Good
L-01 (living room)	Awning	Single multi-pane sash	Wood	Fair
L-02 (living room)	Awning	Single multi-pane sash	Wood	Fair
WEST ELEV				
W-07	Bottom awning	Replaced sashes	Sheet metal clad	Good
W-08	Bottom awning	Replaced sashes	Sheet metal clad	Good
A-01 (Attic)	Blind	Single sash	Sheet metal clad	-
NORTH ELEV				
W-09	Slider	Replaced	Sheet metal clad	Good
W-10	Slider Blind Window	Replaced	Sheet metal clad	-
W-11	Fixed	Top and bottom sashes	Wood	Fair
W-12	Bottom slider	Transom sash	Wood	Fair
W-13	Fixed	Top and bottom sashes	Wood	Fair
K-01 (Kitchen)	Slider	Wood sashes	Wood	Good
EAST ELEV				
W-14	Double-hung	Multi-pane upper sash	Sheet metal clad	Poor
W-15	Double-hung	Multi-pane upper sash	Sheet metal clad	Poor
W-16	Double-hung	Multi-pane upper sash	Sheet metal clad	Poor
W-17	Double-hung	Multi-pane upper sash	Sheet metal clad	Poor
A-02 (Attic)	Fixed	Single multi-pane sash	Sheet metal clad	Fair

The typical original window at the Mooring House is a wood frame double-hung window with multi-pane upper sash. The muntin pattern is not common and reflects the creative trades of the Craftsman Style. Also noteworthy are the arched attic window casings. The windows south of the front porch, windows of the back porch including the kitchen interior window, and W-01 are fixed or sliders. The exterior casing is plain but wide. Several of the exterior casings have been wrapped in sheet metal, but all painted wood sashes are intact. The same is true of the sills: several are painted wood. Putty remains consistently in single glazed sashes. There are two blind windows, A-01 and W-10. Several windows include more recent storm sashes and bug screens. Exposed painted wood has been neglected and needs to be refinished.



Figure 33: front door with W-03-02-01



Figure 34: Interior view of W-05



Figure 35: W-14-15 at dining nook

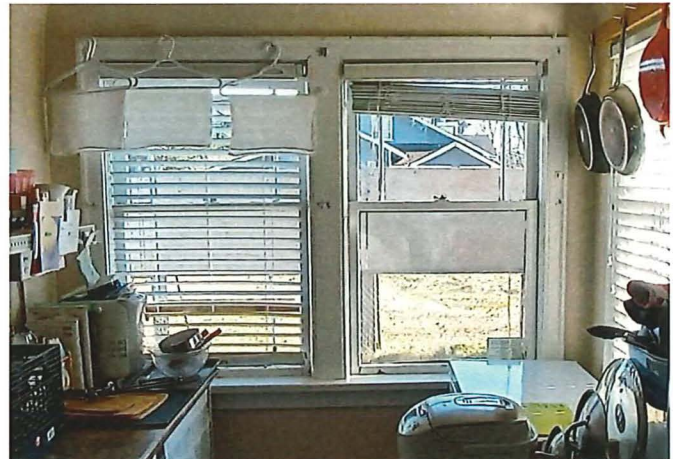


Figure 36: Interior view of W-14-15



Figure 37: : Attic window A-02



Figure 38: W-17



Figure 39: Living room window L-01



Figure 40: W-16



Figure 41: W-11 interior view



Figure 42: Interior sill detail



Figure 43: Interior head detail



Figure 44: wooden sill



Figure 45: W-02



Figure 46: Wooden sill & jamb

1.9: FRONT AND BACK DOORS

The four doors are panel wood doors. The exterior front and back porch doors are protected by aluminum screen doors, and are in good condition. The interior doors, full lite off the living room, and half lite off the kitchen, are also in good condition.



Figure 47: Interior front door and side windows



Figure 48: Exterior front door with cut-glass lite



Figure 49: Interior front door



Figure 50: Exterior back door



Figure 51: Exterior back door inside

1.10: INTERNAL BRICK CHIMNEY

The exposed brick chimney shaft features a corbelled top with a twin concrete flue cap. The masonry shaft is in fair condition while the corbel is in poor condition. There is evidence that the corbel has been patched with mortar. There is a roof flashing and counter flashing at the chimney, but they are in poor condition.



Figure 52: Exposed chimney shaft viewed from 56A Avenue



Figure 53: Exposed chimney shaft viewed from the backyard

1.11: RESIDENTIAL FLOORS

There are several distinctive features of the interior space. The brick fireplace, including its wooden decorative mantle, and the arched dining nook off the kitchen. In addition, the patterned fir floor of the living room and some of the vintage light fixtures.



Figure 54: Dining nook interior framing and interior back porch door



Figure 55: Living room fireplace



Figure 56: decorative wooden fireplace mantle

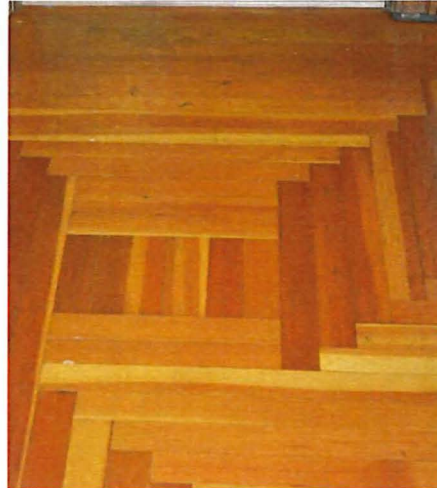


Figure 57: Pine floor pattern



Figure 58: Vintage sconce

IB. Integrity

This section is a review of the integrity of some aspects of the house, as to whether they are original or not. The review consists in exposing the design and material incorporated in the 1933 construction, as far as we can tell today. Some elements are visible; others are hidden, while some have completely disappeared. In this case most of the elements of the residence are original.

- Although the porches may have been enclosed after its original conception, the windows of the front porch are typical of the Mooring House would therefore have been enclosed shortly after. The front porch roof is original.
- The back porch was also enclosed at a later date, since the interior cladding of the porch is cedar shingles. The back porch roof may not be original since its shed roof is an awkward extension of the main one.
- The original roof was asphalt shingles but has since been replaced with new shingles. The original material may be similar to the garage asphalt shingles.
- The vinyl siding was applied over the original cedar shingles.
- Several window sashes have been replaced with metal sashes of different types.
- Exterior doors are not original.

IC. Recommendations

The following recommendations are based on accepted conservation principles found in “*The Standards and Guidelines for the Conservation of Historic Places in Canada*”. These recommendations prescribe strategies to preserve, rehabilitate and/or restore the character-defining elements, and any part of the property that would impact the historic place. The recommendations do not necessarily apply to immediate interventions but may apply to future work, some of which will be ongoing maintenance work.

- **Preservation** refers to Character-defining elements, original or recent, recommended to be maintained.
- **Rehabilitation** refers to repair and consolidation of existing Character-defining elements as well as the interventions to existing character elements added in a recent past.
- **Restoration** refers to replacement of elements including literal reconstruction or inspired by known past residential design of the same style and appropriate historic models found in Vancouver.

Generally, the recommendations are pertaining to the street facades, most visible and representative of the historic significance of the heritage building: yet these recommendations also apply to the visible back and side elevations.

1. **Property; Restoration:** The Mooring House will be moved to the end of the block adjacent to existing lane. The orientation of the structure should remain the same as the existing and its setback from the street in the same range. Sufficient space around the relocated structure should represent the original setting of the buildings on a traditional suburban lot.
2. **Massing; Preservation:** The one storey side gable Mooring House with its front and back porch should be maintained. The low pitch of the gabled roof must also be maintained along with the pronounced roof overhang. The level of the main floor with respect to the existing grade (concrete slab of the relocated structure) should be maintained.
3. **Roof, soffits, bargeboards and knee-brackets; Preservation/Restoration:** The roof structure and decking should be inspected by a qualified roof inspector. The roof structure in the attic should be reviewed by a qualified engineer with awareness of the proposed design of the interiors. Replacing the existing roof asphalt shingles with a more vintage type of asphalt shingles, like the ones at the garage roof, should be considered at the time of upgrading. Roof moldings and bargeboards should be restored to the original wooden material of matching kind and size. New bargeboard tails typical of the Craftsman style should be considered (see Mooring Cottage barge-board tails). The closed roof soffits should be replaced with tongue & groove boards or left open with exposed rafters, like the ones of the Mooring Cottage (removal of existing perforated aluminum may show evidence of the original soffit). The existing wood knee-brackets should be removed, refinished, and replaced in the existing location. A new bracket, matching the existing, should be provided for the missing one at the back porch.

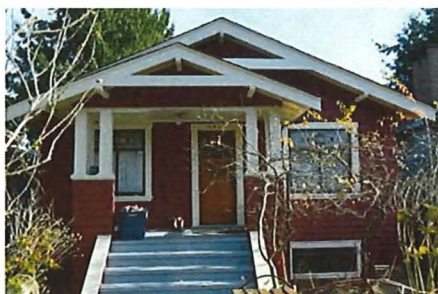
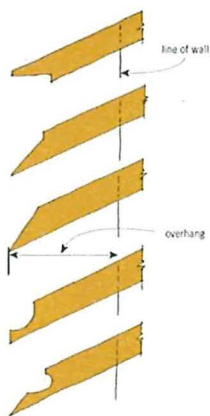


Figure 59: 1914 _ 3572 Welwyn Street Vancouver on the left, and 1929, Nels Johnson 10274 on River Road in Delta BC on the right

Figure 59: Bargeboard tail designs (renovate-org-nz-bungalow)

Above are bargeboard tail designs typical of the Craftsman bungalow style, and two examples of the house style, one from 1914 and the other from 1929. The mooring House was built in 1933.

4. **Foundation wall; Restoration:** The floor structure and support in the crawl space should be reviewed by a qualified structural engineer aware of the proposed use of the house. The foundation walls will be lost in the relocation of the house. While siting on a new concrete slab, the concrete block foundation walls matching the existing should be reinstated. A new water-table flashing should be provided to drain the wall and protect the foundation. The ground adjacent to the current foundation walls should be free of ponding. The new slab of the relocated house should be free of ponding next to the block foundation with sufficient evacuation or sloping surface. Venting openings should be restored as well, at least in appearance.

5. **Cedar shingle cladding; Restoration:** The existing vinyl cladding must be removed entirely. The cedar shingle cladding should be restored. Close investigation of the original exterior wall assembly must be completed before restoration, in order to inform the work. Type of shingles, length of shingles and spacing should match the original, unless it is found technically inadequate. The appearance of the cladding should match as much as possible the original. Traces of bell cast bottom, which is typical of the style, may be found in the discovery phase; in that case the bell-cast bottom of the siding should be reinstated.
6. **Front porch; Rehabilitation:** The front porch should be maintained as existing. Improvements of the style of the front door and side windows should be considered. A more generous landing and appropriate steps in front of the porch should be considered. Its roof, overhang and brackets must be preserved. The vinyl siding at the interior walls of the front porch must be removed and the restoration of the original wall surfaces should be considered.
7. **Back porch; Rehabilitation:** The enclosure of the back porch may or may not be maintained depending on the proposed use and ease of access. The existing interior siding should be exposed along with the existing kitchen window. The wooden stairs and railing should be upgraded to a more appropriate design. The shed roof, porch floor and, balustrade though, should be maintained.
8. **Windows; Rehabilitation/Restoration:** The windowsills and casings wrapped in metal sheeting should be removed and replaced with material matching the original, to the best of our knowledge, in kind and size. The windows should be reviewed by a window conservator, or a specialized trade in order to complete the condition survey and make recommendations. Sliders and awning windows should be replaced with double-hung windows matching the originals including the upper multi-pane sashes. Existing original and restored windows should be rehabilitated, stripped of paint and refinished. Sull or storm sashes should be added to existing and restored single glazed windows. New weather stripping should be added as well. Double-hung windows must be completely rehabilitated including cords, pulleys, and weight for smooth operation. The design of the wide exterior casings must be maintained, repaired if required or replaced with material matching existing in kind, size, and design. Actual wood frame of windows should be preserved where possible; these should be protected during relocation and sashes removed temporarily. Existing sashes and frames must be stripped and refinished; sashes should be removed and reinstalled whereas frames should be rehabilitated in situ. Owner should consider maintaining original window hardware.
9. **Internal brick chimney; Restoration:** Structural engineer and mason should review the brick chimney shaft, inside and above the roof, in order to restore the fireplace and chimney when relocated. Existing material should be reused if possible. Damaged material should be replaced with matching the existing. The fireplace should be dismantled carefully and restored in its new location including its wooden decorative mantle. The chimney corbel must be maintained.
10. **Residential floor; Preservation:** The interior layout should include the separation of porches and main floor. The arched separation between dining nook and kitchen must be maintained. Consideration should be given to keeping the internal layout where possible with the living room wood flooring, including baseboards, and ceiling moulding. Window interior casings should be maintained. Interior doors and trim should be maintained where practical.
11. **Painting; Rehabilitation/Restoration:** We recommend coating the cedar shingles a light colour stain or shingles left natural. Trim colour should be selected from a historical colour palette (see Benjamin Moore historical colour selection below) and should contrast with the siding colour. Mock-up of colours on site should be available for owner to approve; final selection by the consultant will be confirmed at the time of the mock-up.

The owner should be entitled to choose the colour of the house from the palette below. The owner may consider Safari (AF 335) as the main colour and Rustique (AF 275) as the trim and window casing colour.

1930-1945 The Paint Colors

This era ushered in the New Deal and World War II. Women began entering the workforce, as the men were at war. Out of necessity, things were more streamlined and practical. Depression glass had an impact on the hues of interiors, where "safe" colors were being chosen. In contrast to these more reserved interiors, Dorothy Draper's bold colors and designs provided a hope that good times would come again...

The Palette: 1930 to 1945



Figure 60: Benjamin Moore 1930-45 Colour Palette; <https://thedecorologist.com/the-history-of-paint-color-in-benjamin-moore-palettes/>

THE MOORING COTTAGE: 17719 56A AVENUE

Statement of Significance

Partly based on excerpts from the 2019 Heritage Assessment by DL&A

1. Description of the Historic Place

The Mooring Cottage is a modest one-storey wood frame structure located mid block on 56A Avenue in the historic neighbourhood of Cloverdale in Surrey, British Columbia. In 1934, the cottage was moved to the site at the back of its property. The owners lived in a house, they had built the year earlier, on the adjacent property at 17707 56A Avenue.

2. Heritage Value

The Mooring Cottage is valued for its contribution to the endurance of Cloverdale's development, its association with the Mooring family and the modest nature of its architectural style.

Cloverdale was the City of Surrey's first Town Centre, established in 1879 near Five Corners, at the intersection of 60 Avenue and Old McClellan Road. The advent of the railways played a significant role in the development of Cloverdale. When the New Westminster-Southern Railway was established in 1891, a station was built near the present town centre and given the name "Cloverdale" referring to the Clover Valley. Cloverdale experienced a boom in 1910-1911. A new Municipal Hall was built in 1912, establishing Cloverdale as the regional centre of the District. The Lower Mainland would subsequently suffer from the repercussions of the Great Depression. It was during this period that the Mooring family constructed their home on 56A Avenue in 1933 a year before the cottage was moved next door just north of the Municipal Hall, thus demonstrating Cloverdale's resilience to adversity.

The original owners Alexander Ross Mooring, and his wife Jean Sarah Matheson settled together in Cloverdale in the early 1930s. They married in 1932, constructed their house and had the cottage moved in its current location the following year. Mooring, a logger originally from Cumberland Nova Scotia was born in 1902, the sixth child of a family of ten. Jean Sarah was a member of a well-known Cloverdale family. Her great uncle, Alexander Matheson was the Chief of Police at Cloverdale. The couple remained in Cloverdale until 1945. Mooring died in 1958 in Vancouver.

The one storey Craftsman Cottage is characterized by its side-gabled roof with projecting front-gabled porch. The building features wooden knee-brackets, bargeboards, and lap siding typical of its style.

3. Character-defining Elements

The elements that define the heritage value of the Mooring Cottage include the following:

- Location on 56A Avenue north of the Municipal Hall, across the street from the Surrey Museum and Archives.
- Set-back from the street, side gabled massing, main floor close to the ground set on block piers.
- Wood lap siding with mitered corners.
- Open roof overhang, exposed rafters, barge boards with decorative tails, and pointed-end knee-brackets.
- Open front gabled porch, closed tongue-and-groove ceiling, wooden square posts, balustrade.
- Dining nook projection with shed roof, and adjacent roof skirt.
- Symmetrical front fenestration, wood window frames with interior and exterior casings, double-hung window style, and attic vents.

BUILDING DESCRIPTION:

17719 56A Avenue is a residential property of 750 sm. (8,052 sf.) which includes a large setback from the street. Currently the cottage is vacant and boarded-up. The Mooring Cottage is a side gable wood frame one storey bungalow of 61 sm. (657sf.) supported on concrete blocks. It comprises two bedrooms and one bathroom. The house has an asphalt shingle roof and is clad with wide wooden lap siding.



Figure 61: Southwest corner of the Mooring Cottage with porch on the right and trellis on the left



Figure 62: Northeast corner of the Mooring Cottage



Figure 63: East side dining nook



Figure 64: Plywood addition on the back of the cottage

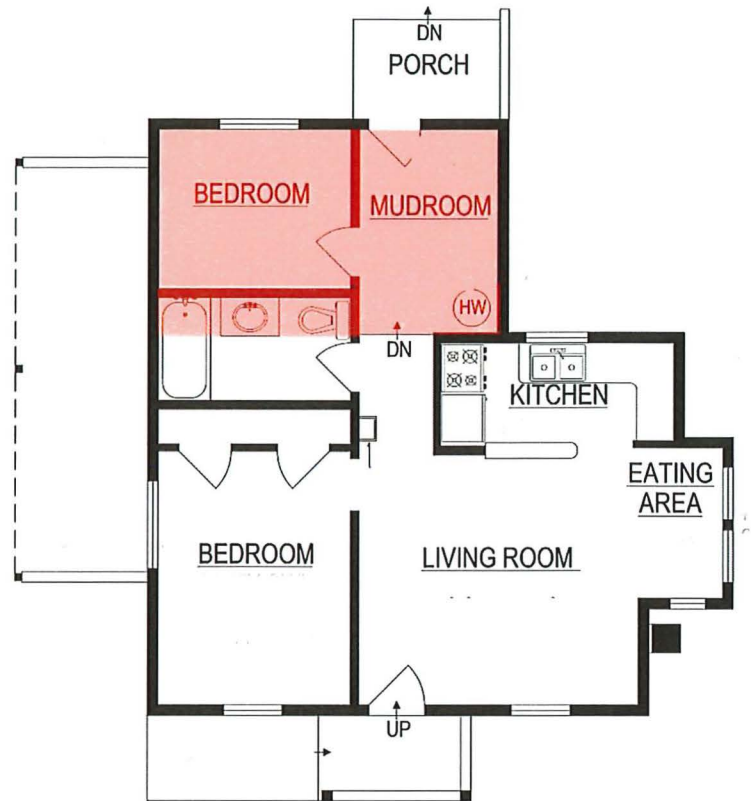


Figure 65: Cottage plan with addition in red (drawing by Barnett Dembek Architects Inc.)

The Mooring Cottage is a modest bungalow sitting close to grade. The house has a low-pitched roof, just high enough to include a vent at the gable ends. The style of the house is typical of the post-depression era associated with modern suburban architecture. The Mooring Cottage includes several features of the Craftsman Bungalow style, such as prominent roof, especially at the front porch, knee-brackets and decorative bargeboard tails.

Following is a description of the Side Gable 1 ½ storey Craftsman Style, including features of the Mooring House representative of the style, highlighted in bold.

Side-gabled one-storey Craftsman: “swiss cottages” 1910-1930

According to the Vancouver Heritage Foundation

Side-gabled Craftsman houses are usually 1 ½ storeys with a very **prominent roof covering** an integral porch and a sleeping porch set into the roof on the front elevation within a shed-roofed or gabled dormer or dormers. They have **wide eaves, knee brackets and robust square porch posts with brackets.**

Side-gabled Craftsman houses usually have cedar shingles above the water table or otherwise **wood lap siding**. **Their roofs are usually (asphalt) shingle with brick chimneys.** Like other Craftsman homes, they have **exposed knee brackets.** They may have stone or clinker brick detailing on foundation or porch posts, otherwise features are predominantly wood.

CONSERVATION PLAN: THE MOORING COTTAGE: 17707 56A AVENUE

2A. Condition Survey

This condition survey comprises of visual observations during the site visit on February 17, 2021. We reviewed the exterior and interiors of the building and its property. Generally, the building is in fair condition and not maintained for a building of that age. The purpose of the survey is to document the current condition of the historic place and more specifically the condition of the character-defining elements, those subject to conservation intervention where required. The choice of character elements is instructed by the *Standards and Guidelines for the Conservation of Historic Places in Canada* as well as the history of the building. The current list of character-defining elements is based on our observations.

For the purpose of this document, the front façade is the south face, the back façade the north face.

2.1: PROPERTY

The Mooring Cottage sits at the back of its lot at equal distance from the side property lines. The property is free of trees and grass is wild all around the cottage. The low wet land contributes to the deterioration of the wood structure.



Figure 66: Setback of the Mooring Cottage with the house on the left and neighbour on the right



Figure 67: Ponding on the grounds of the cottage

2.2: MASSING AND FOOTINGS

The Cottage is dominated by its wide roof and the large overhang of the front porch. The cottage practically sits on the ground with only concrete block footings to support its wood frame. A continuous base board covers the floor structure. We found evidence of floor structure rotting through, inside the house. The chimney has its own free-standing footing. The cottage partial foundation blocks are precarious and unsustainable.



Figure 68: The Mooring Cottage



Figure 69: Concrete block footing next to chimney foundation



Figure 70: plywood base board and block footing

2.3: ROOFS, SOFFIT, BARGEBOARDS, AND KNEE-BRACKETS

The cottage roof is covered with tar paper on top of older asphalt shingles. Roof mouldings are visible in most locations. The bargeboards are extending beyond the eaves of the roof. The tails of the bargeboards are still existing but in poor condition. The roof deck underside is open and the rafters are exposed along the roof eaves. Knee-brackets are located at the bottom corners of the gable ends. Only two knee-brackets have survived at the Mooring cottage. Front porch and dining nook do not have brackets. A partial roof skirt is visible at the northeast corner of the cottage. Exposed rafters, and knee-brackets are in good condition. The attic space is vented with one small pressed metal grille at each gable end.



Figure 71: Tar paper on top of asphalt shingles



Figure 72: Exposed underside of roof decking

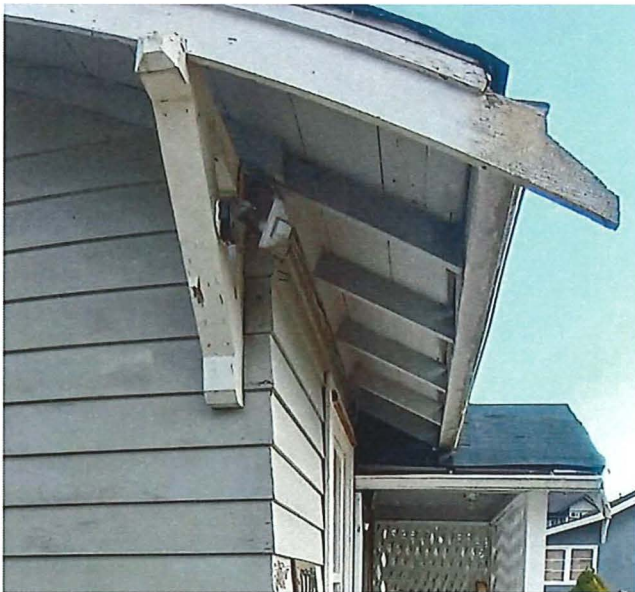


Figure 73: Exposed rafters, bargeboard tail, and knee-bracket



Figure 74: Tar paper roofing, bargeboard, and knee-bracket



Figure 75: partial skirt adjacent to dining nook projection



Figure 76: Tar paper roofing and chimney flashing

2.6: LAP SIDING

The cottage cladding is comprised of wide wooden lap siding boards. With tapered corners. There is slight flare of the bottom siding, but it is hardly noticeable. The siding is in good condition. The siding is interrupted at the plywood addition on the west side and northeast corner; there is no evidence of the original siding existing within the addition enclosure.



Figure 77: Typical lap siding with plywood addition behind



Figure 78: Tapered siding corner

2.7: FRONT PORCH

The front porch has a closed ceiling made of tongue & groove boards. It has a plywood floor six inches above grade. Wooden planking has been loosely placed in front of the porch entrance. Its tympanum and balustrade are clad with lap siding. Its roof is supported by plain square columns. The south and east face have been infilled with wood lattice. The front porch is in good condition.

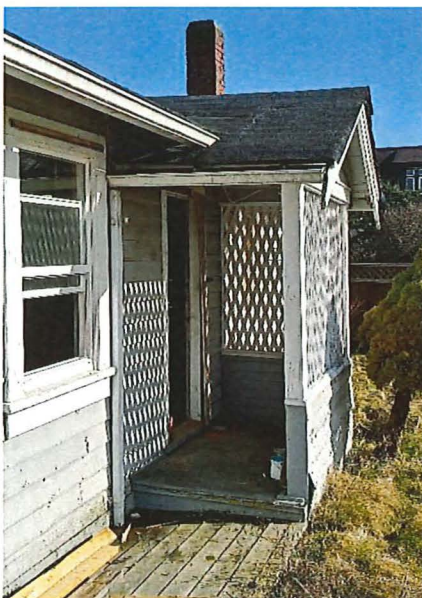


Figure 79: Front porch entrance



Figure 80: Front porch lattice screen

2.8: WINDOWS PRELIMINARY SCHEDULE



SOUTH ELEVATION	WINDOW TYPE	SASHES	CONDITION
W-01	Double-hung	Replaced with PVC	Good
W-02	Double-hung	Replaced with PVC	Good
WEST ELEVATION			
W-03	Fixed	Replaced with PVC	Good
W-04	Blind	Replaced with PVC	Good
NORTH ELEVATION			
W-05	Slider	Replaced with PVC	Good
W-06	Slider	Replaced with PVC	Good
EAST ELEVATION			
W-07	Duo of Double-hung	Replaced with PVC	Good
W-08	Fixed	Replaced with PVC	Good

Typical windows at the Mooring Cottage are wood frame double-hung windows with wide exterior casing. Most of the interior casings are still existing, but all sashes have been replaced with PVC sashes, including sills vented to the outside. The exterior sill and bottom plates are generally in good condition except for the W-07 which has a cracked sill. Exposed wood casing painted finish is peeling. There are eight windows including a blind one on the west side. The window was blocked in order to construct the back plywood addition.



Figure 81: W-02 Front of cottage double-hung window



Figure 82: W-02 Interior face of double-hung window



Figure 83: Pair of double-hung windows at dining nook W-07



Figure 84: Sill and window post



Figure 85: Bottom plate and sill end

2.9: FRONT DOOR

The front door is a wooden panel door with a half lite and mail slot and vintage hardware. The door is in poor condition.



Figure 86: Exterior face of front door with mail slot

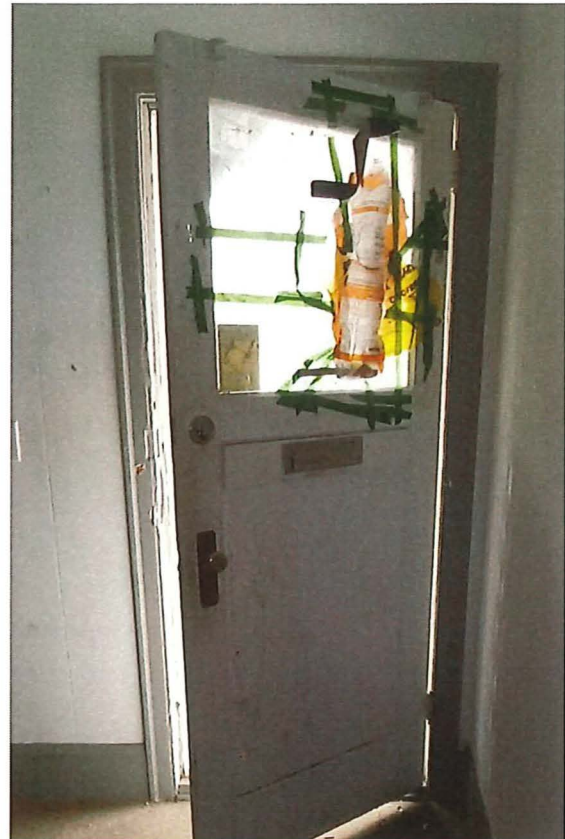


Figure 87: Interior face of front door

2.10: EXTERNAL BRICK CHIMNEY

The chimney is a free-standing brick chimney likely servicing a pot belly stove. It has been integrated poorly through the cladding right in front of an existing window. The masonry shaft below the roof is in good condition but the brick joints above the roof are in poor condition.



Figure 88: Brick chimney adjacent to ding nook



Figure 89: Chimney in front of window

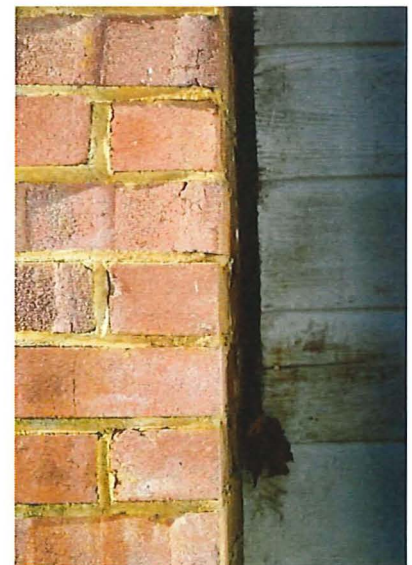


Figure 90: inserted chimney into siding

2.11: PLYWOOD ADDITION

A poorly constructed addition occupies the back of the cottage. Its cladding consists of plywood and odd boarding. The edge of its shed roof sits on top of the eaves of the main roof. The addition has been neglected inside and out.



Figure 91: Plywood addition with PVC slider window



Figure 92: Change of siding on west wall

2.12: RESIDENTIAL FLOORS

The interiors of the cottage are rudimentary, and in very poor condition, like an abandoned cottage.



Figure 93: Rotten floor under kitchen sink

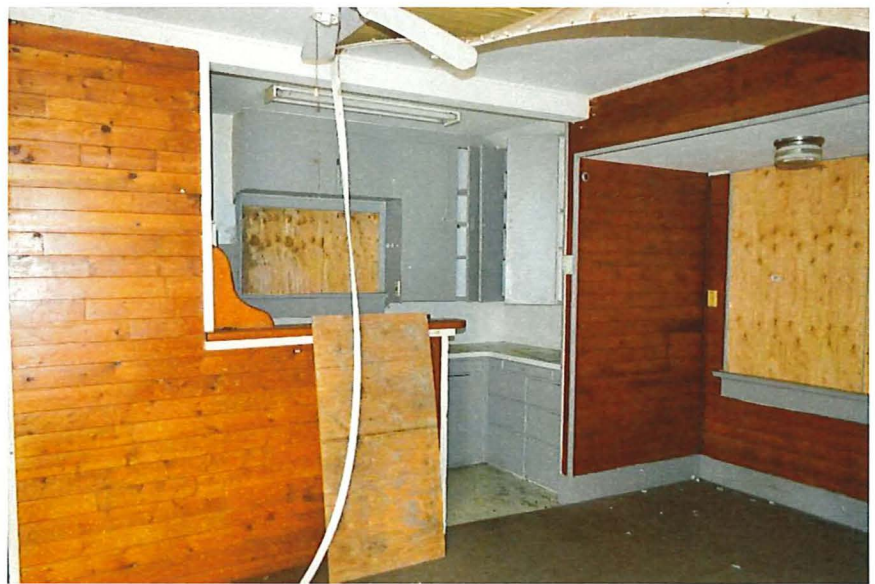


Figure 94: Kitchen and dining nook

2B. Integrity

This section is a review of the integrity of some aspects of the cottage, as to whether they are original or not. The review consists in exposing the design and material incorporated in the 1934 construction, as far as we can tell today. Some elements are visible; others are hidden, while some have completely disappeared. In this case most of the elements of the residence are original.

- Window sashes: All sashes have been replaced with PVC double-hung or slider
- Front porch trellis: The trellis has been added on top of balustrade in two faces of the porch.
- Chimney: The brick chimney is free standing next to the east façade. It is badly integrated with the siding and sits in front of a window. It was added for a woodstove; there are no fireplaces in the cottage.
- Plywood addition: The addition at the back accommodates a new bathroom and bedroom. It is poorly built and expedient.

2C. Recommendations

The following recommendations are based on accepted conservation principles found in "*The Standards and Guidelines for the Conservation of Historic Places in Canada*". These recommendations prescribe strategies to preserve, rehabilitate and/or restore the character-defining elements, listed with the *Statement of Significance*, and any part of the property that would impact the historic place. The recommendations do not necessarily apply to immediate interventions but may apply to future work, some of which will be ongoing maintenance work.

- **Preservation** refers to Character-defining elements, original or recent, recommended to be maintained.
 - **Rehabilitation** refers to repair and consolidation of existing Character-defining elements as well as the interventions to existing character elements added in a recent past.
 - **Restoration** refers to replacement of elements including literal reconstruction or inspired by known past residential design of the same style and appropriate historic models found in Vancouver.
1. **Property; Restoration:** The Mooring Cottage will be moved to the end of the block adjacent to existing lane. The current orientation of the structure should remain, and its setback from the street in the same range as the current siting. Sufficient space around the relocated structure should represent the original setting of the buildings on a traditional suburban lot.
 2. **Massing; Preservation:** The one storey side gable Mooring Cottage with its front porch should be maintained; the low pitch of the gables roof must also be maintained along with the pronounced roof overhang where it occurs. The level of the main floor with respect to the existing grade (concrete slab of the relocated structure) should be maintained.
 3. **Roof, soffits, bargeboards and knee-brackets; Preservation/Restoration:** The roof structure should be reviewed by a qualified engineer, aware of the proposed use of the restored cottage. The existing roof deck should be reviewed by a qualified roof inspector. The existing asphalt shingles and tar paper roofing should be replaced with a vintage asphalt shingles (See the Mooring House garage asphalt shingles). Original wooden roof moldings and bargeboards should be rehabilitated where possible or replaced with material of matching kind and size. New bargeboards including matching tail design typical of the Craftsman style should replace the damaged ones; entire length of boards must be used for replacement; patching is not acceptable. The open roof soffits should be maintained including exposed rafters and roof deck boards. The existing wood knee-brackets should be removed, refinished, and replaced at existing location, unless damaged, in which case it should be replaced with material following the same design with matching material of the same kind and size as existing. New brackets (2) matching the existing should be provided at the missing locations at the northeast and northwest corners.

4. **Foundation wall; Restoration:** The floor structure should be reviewed by a qualified engineer, aware of the proposed use of restored cottage. New continuous foundation walls should be provided. The exposed part of the foundation walls should correspond to the current level of the house from grade. This should be completed in the new permanent location of the cottage. Representation of its original footing could be considered.
5. **Lap siding; Rehabilitation/Restoration:** The existing lap siding should be maintained. Damaged boards should be replaced with material matching in kind and size with the existing. Where replaced, entire length of siding boards must be provided; patching is not acceptable. Traces of bell cast bottom, which is typical of the style, may be found in the discovery phase; in that case the bell-cast bottom of the siding should be reinstated. Matching siding material and installation should be provided at the back of the cottage where it was removed due to the plywood addition. If original material is found during demolition of the addition, the consultant should be notified; the material should be salvaged if possible or replaced with material matching the rest of the Mooring Cottage siding.
6. **Front porch; Rehabilitation:** The front porch should be maintained as existing except for the wooden lattice screens which should be removed. Its roof, overhang and columns should be preserved. The balustrade should be maintained and where damaged, restored with siding material matching the existing. Patching of existing material is not acceptable.
7. **Plywood addition; Rehabilitation:** The plywood addition as shown on floor plan should be removed entirely. It was poorly constructed and not compatible with the historic structure. See *figure 66*. The original cottage enclosure should be reinstated, including original siding (See recommendation #5).
8. **Windows; Rehabilitation/Restoration:** The wooden window frames, sills and exterior casings should be maintained where possible. Wooden sashes should replace all current PVC sashes. New weatherstripping and sash cords should also be provided. Since we are not aware of multi-pane sashes at the Mooring Cottage, single pane glazing is acceptable. Existing frames and casings, including the interior casings should be rehabilitated. Double-hung cord, pulley and ballast should also be rehabilitated. Frames and casing should be stripped and refinished. A window conservator or a specialized trade should complete the window condition survey and make the appropriate recommendations.
9. **External brick chimney; Restoration:** The chimney should be removed, and damaged siding and roof repaired. Damaged boards should be replaced in their entire length; patching is not acceptable.
10. **Residential floor; Preservation:** The interiors of the cottage have no heritage significance and should be removed or renovated to meet current expectations. The front door should be replaced with a similar wooden panel door with a half lite and vintage hardware. Removal of the ceiling and exposing the roof structure should be considered, after the review of a structural engineer. If overall cross bracing is necessary, the consultant should review the structural design before completion. Plumbing, electrical, heating and ventilation should be reinstated according to the proposed use.
11. **Painting; Rehabilitation/Restoration:** We recommend that the siding be stripped of existing paint, which may contain hazardous materials such as lead. The siding and trim colours should be refinished in colours typical of the 1930's and should be selected from a historical colour palette (see Benjamin Moore historical colour selection below). Mock-up of colours on site should be available for owner to approve; final selection by the consultant will be confirmed at the time of the mock-up.

The owner should be entitled to choose the colour of the cottage from the palette below. The owner may consider Jackson Tan (H-46) as the main colour and Safari (AF 335) as the trim and window casing colour.

1930-1945 The Paint Colors

This era ushered in the New Deal and World War II. Women began entering the workforce, as the men were at war. Out of necessity, things were more streamlined and practical. Depression glass had an impact on the hues of interiors, where "safe" colors were being chosen. In contrast to these more reserved interiors, Dorothy Draper's bold colors and designs provided a hope that good times would come again...

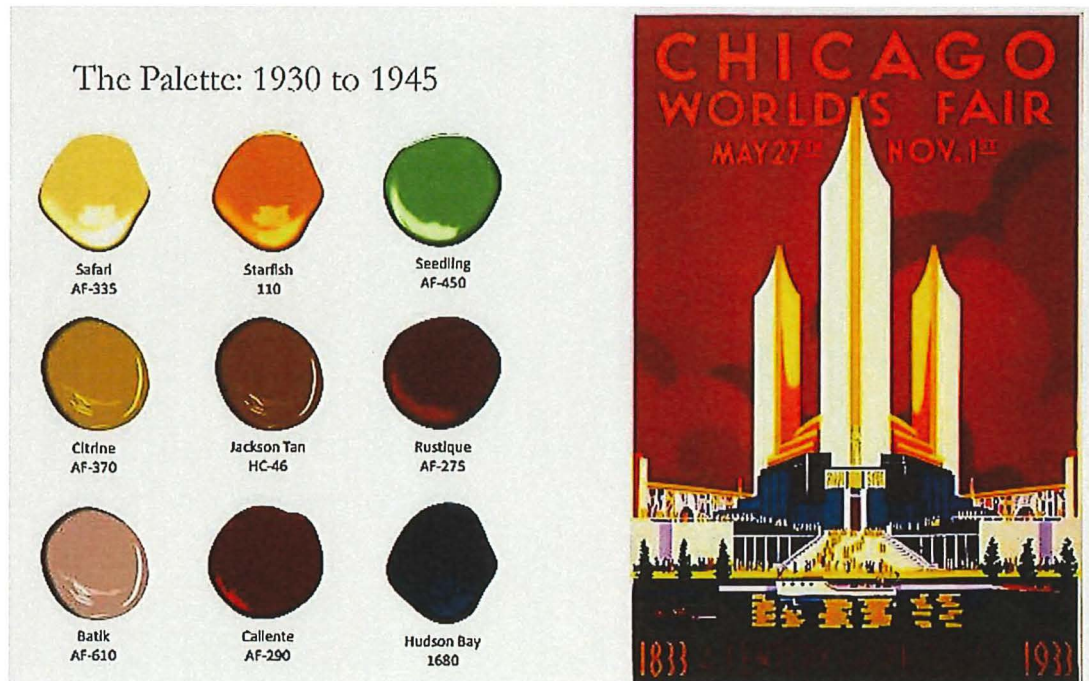
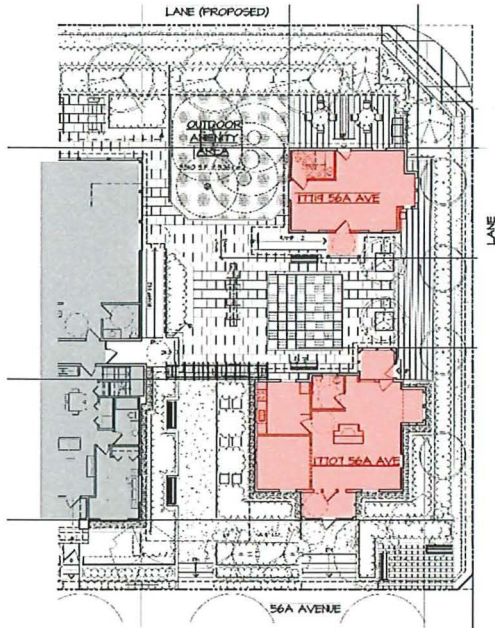


Figure 95: Benjamin Moore 1930-45 Colour Palette; <https://thedecorologist.com/the-history-of-paint-color-in-benjamin-moore-palettes/>

3. Review of the Proposed Development

The proposed development comprises a five-storey multi family condominium complex over a single level underground parkade and includes the relocation of the Mooring House and Cottage at the east end of five lots adjacent to an existing lane. The house and cottage will be one behind the other. The relocated buildings along with the associated open space will be used as common facilities for the residents of the condominium complex. We support this project with the following notes:

- Having reviewed the proposed relocation site, we support the new location.
- It is our understanding that the construction project will be phased with the construction of the partial parkade at the east end of the property that will become the base foundation for the relocated house and cottage; the house and cottage will be relocated to their permanent new location prior to the construction of the rest of the parkade and new condominium project on the rest of the site.
- The structure of the Mooring House and Cottage must be secured before moving. Porches and windows must be secured by temporary removal or integration to the body of the structure. Cross bracing of the entire frame will be required and should be reviewed by a qualified structural engineer.
- The floor of the new infill building should correspond to the current level of the ground adjacent to the Mooring House and Cottage, in order to represent the relationship of the buildings to the existing grade.
- We recommend that a Heritage specialist be retained to perform periodic site review when alterations are in progress to ensure the integrity of the historic fabric. The consultant should also be advised of discoveries on site in order to adjust the conservation strategy, if deemed necessary.



“Conserve the heritage value and character-defining elements when creating any new additions to a historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.” *Standards and Guidelines for the Conservation of Historic Places in Canada*

The proposed relocation of the house and cottage eastward will maintain their existing orientation. With respect to the specific layout of the two historic houses, the main house will be set back from the property line consistent to the original siting with sufficient space between the two structures to allow for appropriate landscaping.

In conclusion, we consider the Mooring House and Cottage a significant cultural asset to the neighbourhood and the City. The preservation and adaptive reuse of the Mooring House and Cottage will contribute greatly in the cultural environment of Cloverdale.

Figure 96: Proposed relocation of the Mooring House & Cottage with new development on the left (drawing by Barnett Dembek Architects Inc.)

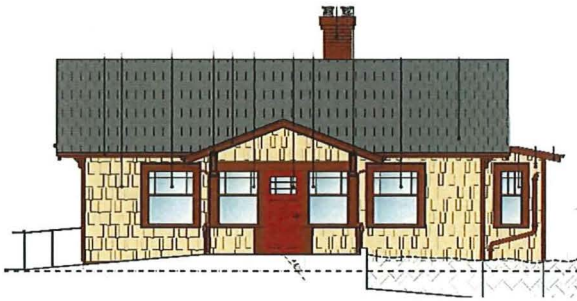


Figure 97: proposed Mooring House front elevation viewed from street (drawing by Barnett Dembek Architects Inc.)



Figure 98: Proposed Cottage back elevation without porch viewed from lane (drawing by Barnett Dembek Architects Inc.)



Figure 99: Proposed East Elevation of Mooring House and Cottage viewed from side lane (drawing by Barnett Dembek Architects Inc.)



Figure 100: Proposed East Elevation of new development

We find the proposed restoration of the Mooring House and Cottage in keeping with the recommendations of the conservation plan, including the proposed colours for the historic houses.

The proposed landscaping around the house and cottage will enhance the character of the heritage structures. We also find the massing of the proposed new development compatible with the historic structures including the choice of colours. The meeting room at the east end ground floor of the new building will also ensure a resident's presence next to the historic structures. We support the preservation of the Mooring House and Cottage, as well as the implementation of the project.

END OF CONSERVATION PLAN

APPENDIX:

AI: Standards and Guidelines for the Conservation of Historic Places in Canada *excerpt*

The Standards for the Conservation of Historic Places in Canada are intended to promote responsible conservation practices that help protect Canada's irreplaceable historic places. They provide a philosophical consistency for project work; and while neither technical nor case-specific, they provide the framework for making essential decisions about which features of a historic place should be maintained, and which can be altered.

Applying the Standards

Conservation in the context of these Standards refers to retaining the heritage value of historic places and extending their physical life. Retaining the heritage value of historic places is primarily ensured through *interventions* that have a physical effect on the tangible elements of a historic place that do not obscure damage or destroy character-defining elements. The latter consist of the materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of the historic place. It is useful to consider conservation under three distinct headings: *Preservation*, *Rehabilitation* and *Restoration*, while recognizing that a given conservation project will often include a combination of these activities.

Preservation involves protecting, maintaining and stabilizing the existing form, material and integrity of a historic place, or of an individual component, while protecting its heritage value. There are nine Standards relating to *Preservation*, and they must all be applied to a *Preservation* project. Since protection, maintenance and stabilization are at the core of *all* conservation projects, all nine *Preservation* Standards must be applied to *any* conservation project.

Preservation should be considered as the primary treatment when (a) the historic place's materials, features and spaces are essentially intact and thus convey the historic significance without extensive repair or replacement; (b) depiction during a particular period in its history is not appropriate; and (c) a continuing or new use does not require extensive alterations or additions. *Preservation* tends to be the most cautious of the conservation treatments and retains the most materials. It is therefore most appropriate when heritage values related to physical materials dominate. A plan for *Preservation* should be developed before work is undertaken.

Rehabilitation involves the sensitive adaptation of a historic place or of an individual component for a continuing or compatible contemporary use, while protecting its heritage value. This is achieved through repairs, alterations and/or additions. Three Standards relate to *Rehabilitation* and all three must be applied to a *Rehabilitation* project, in addition to the nine *Preservation* Standards.

Rehabilitation should be considered as the primary treatment when (a) repair or replacement of deteriorated features is necessary; (b) alterations or additions to the historic place are planned for a new or continued use; and (c) its depiction during a particular period in its history is not appropriate. *Rehabilitation* can revitalize historical relationships and settings and is therefore most appropriate when heritage values related to the context of the historic place dominate. A plan for *Rehabilitation* should be developed before work begins.

Restoration involves revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, as accurately as possible, while protecting its heritage value. Two Standards relate to *Restoration*, both of which must be applied to a *Restoration* project, in addition to the nine *Preservation* Standards.

Restoration may be considered as the primary treatment when (a) the significance of a historic place during a particular period in its history *significantly* outweighs the potential loss of existing materials, features and spaces from other periods; (b) there is substantial physical and documentary or oral evidence to accurately carry out the work; and (c) contemporary alterations and additions are not planned. *Restoration* is most appropriate when strong associative or symbolic heritage values have been obscured and can be revealed through removals, repairs and replacements based on detailed historical evidence. Before the work begins, a particular period (i.e., the restoration period) must be selected and justified, and a plan for *Restoration* should be developed.

General Standards (all projects)

1. Conserve the *heritage value* of a historic place. Do not remove, replace, or substantially alter its intact or repairable *character-defining elements*. Do not move a part of a *historic place* if its current location is a *character-defining element*.
2. Conserve changes to a *historic place* which, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other *historic places* or other properties or by combining features of the same property that never coexisted.
5. Find a use for a *historic place* that requires minimal or no change to its *character-defining elements*.
6. Protect and, if necessary, stabilize a *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an *intervention*.
8. Maintain *character-defining elements* on an ongoing basis. Repair *character-defining elements* by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of *character-defining elements*, where there are surviving prototypes.
9. Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible with the *historic place*, and identifiable upon close inspection. Document any intervention for future reference.

Additional Standards Relating to Rehabilitation

10. Repair rather than replace *character-defining elements*. Where *character-defining elements* are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
11. Conserve the heritage value and *character-defining elements* when creating any new additions to a historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of a *historic place* will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration

13. Repair rather than replace *character-defining elements* from the restoration period. Where *character-defining elements* are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

A2- Building Code Equivalencies

Excerpts from the BC Heritage Branch Web site:

The B.C. Building Code is a regulation made under the Municipal Act. It is based, in large measure, on the National Building Code of Canada. The code is essentially a set of minimum provisions respecting the safety of buildings with reference to public health, fire protection and structural sufficiency. It is not intended to be a textbook on building design, advice on which should be sought from qualified sources. Its primary purpose is the promotion of public safety through the application of appropriate uniform building standards.

The Building Code Recognizes Heritage Buildings. The B.C. Building Code defines heritage buildings as the following: Heritage buildings are buildings that are legally recognized by the Province or local government as having historic, architectural or cultural value for the Province or their communities. To qualify as a heritage building under the Building Code, a building must be designated or recognized by the Province or the municipality where the site is located.

There are relaxations in the Building Code for Heritage Buildings. The B.C. Building Code supplies a table of "Alternate Compliance Methods" for heritage buildings. The Building Code states:

It is generally recognized that the Building Code was primarily written for new construction and provides for a performance level that is significantly higher than what exists for many older buildings. To apply present Building Code requirements to existing buildings, in many cases, is impractical and with Heritage Building may compromise historic appearances or authenticity. Therefore, the Table of Alternate Compliance Methods was developed to provide alternate methods for complying with the performance level intended by the Building Code.

For Alternate Compliance Methods Table: Contact your local major bookstore or visit the reference section at your local library for a copy of the "B.C. Building Code".

A3- BC Energy Efficiency Act

Heritage BC post

New regulations for the manufacture of windows, doors and skylights in B.C. took effect in 2009. Brought in under the BC Energy Efficiency Act, the regulations are part of a broad provincial strategy to reduce energy consumption in buildings. While designated buildings, thus buildings included in the heritage register by the Council under the Vancouver Charter, are exempt from the regulations, other heritage buildings are not. Existing windows and doors in heritage buildings may be refurbished without reference to the regulations, but replacement windows and doors will have to conform to the new rules. This includes storm windows.

A4- MAINTENANCE

In keeping with the *Standards and Guidelines for the Conservation of Historic Places in Canada (2010)*, a maintenance program should be implemented ensuring the good condition and the longevity of the historic site. Vigilance and constancy are essential dispositions in maintaining an historic site.

Light cleaning and minor repairs can be achieved on a regular basis. Major repairs, alterations and changes to the appearance of the historic site require a Heritage Alteration Permit issued by the City. <http://vancouver.ca/home-property-development/heritage-alteration-permit.aspx>

All interventions to the character-defining elements of a historic site must comply with the *Standards and Guidelines for the Conservation of Historic Places in Canada (2010)*. The following is an inspection checklist to help the owner and/or caretaker of the historic site to identify potential problems with his/her property; this is not an exhaustive list and is meant as a general guide of some of the type of issues met as a normal life-cycle of a residential property:

Site: CURRENT CONDITION

Drainage: rain run-off away from the building foundations, sidewalks and neighbours
Dampness: excessive accumulation of dampness harboured in crawl spaces
Roots: assailing of roots onto structures and waterproof membranes
Trees: organic droppings on roofs and eavestroughs from adjacent trees
Branches: friction and intrusion of branches onto buildings elements
Plants: crowding of exterior walls and surfaces by plants and vines
Paving: cracks and organic growth in paving stones and pavements
Steps: level and railing safe and secure
Services: safe and minimum number of exposed conduits and wires
Vermin: hoarding of material harbouring insects and vermin
Critters: enclosed spaces secured from easy access
Birds: roosting ledges subject to guano accumulation

Foundation: CURRENT CONDITION

Walls: exposed foundation walls may cause water penetration
Spalling: cracks and dislodged parging material
Movement: foundation walls shrinking and/or settling
Slanting: crooked and slipping footings due to unstable ground
Level: uneven foundation due to irregular settlement
Deflection: sagging transom and lintels due to unstable structure
Salt: presence of efflorescence in foundation walls
Moisture: rising dampness around foundations indicates poor drainage
Ponding; puddles adjacent to building will find its way into walls
Spray: splashing of water onto building causes deterioration

Exterior woodwork:

Grade: soiling of siding may be caused by water absorption at grade
Condensation: surface temperature difference creates condensation
Fungi: evidence of surface mold and/or moss is caused by dampness
Climate: bleached and/or soiled due to environmental conditions
Shape: dimensional deformation and warping of planks and lumber
Split: cracked wood and fallen knots indicates movement and dryness
Surface: soiling by rust, mildew or bleeding may require refinishing

Fasteners: rust and displaced nails and screws indicates movement
Joints: opened joints between wood members indicates movement and/or shrinkage
Paint: blistering, alligatoring and peeling caused by age, application or layering

Doors and Windows:

Glass: missing or broken
Putty: missing or aged putty may indicate loose glass
Vents: ease of sash operation and condition of hardware
Condensation: surface deterioration may be due to condensation
Frame: dimensional deformation and warping of frame prevent smooth operation
Head: rain-water wash may be due to missing or ineffective top flashing
Sills: weathering sills may be due to soiling and sitting rain water
Drip: rain-water wash below window may be due to missing or defective drip
Sealant: missing or aged sealant between siding and frames may cause leaks
Weather-stripping: continuous weather-stripping is effective in keeping weather out
Hardware: locks, latches and closers functioning properly

Flashing and eavestroughs:

Flashing: missing or defective at top of ledges, walls adjacent to roofs, chimneys, roof valleys and ridges
Eavestroughs: secure, continuous and allowing easy flow; watertight and connected to downspout
Rain-water leader: continuous and watertight evacuating into drainage system away from building

Roof:

Surface: moss and soiling is visible when the roofing membrane or shingles holds humidity
Eaves: the leading edge is wet when water accumulates and ponds at eaves
Shingles: displacement of shingles indicates poor fastening
Popping: nails and/or screws protruding indicates movement
Flashing: continuity of flashing at area of discharge
Woodwork: damage from leaks at closed soffits, barge board and roof trim

Attic:

Insulation: wet insulation indicates roof leaks or missing vapour barrier
Ceiling: soiled gypsum boards at upper ceiling indicates leak or condensation
Ventilation: excessive humidity in attic indicates lack of ventilation
Birds: guano in the attic indicates presence of rodents or birds
Structure: structural movement causes roof leaks

Cleaning:

Method: use non-abrasive cloth and soap to clean exterior elements of historic site