

# CORPORATE REPORT

**As per memo dated July 26, 2024  
Appendix I has been updated**

NO: R147

COUNCIL DATE: July 22, 2024

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## REGULAR COUNCIL

TO: **Mayor & Council** DATE: **July 18, 2024**

FROM: **General Manager, Planning & Development** FILE: **6745-20 (SSMUH)**

SUBJECT: **Transition from Single-Family Residential Zones to Small-Scale Multi-Unit Housing Zones for In-stream Development Applications**

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## RECOMMENDATION

The Planning & Development Department recommends that Council:

1. Receive this report for information;
2. Authorize staff to close and file in-stream zoning by-law amendments to *Surrey Zoning Bylaw, 1993, No. 12000*, as amended, and associated development variance permits, to align with provincial housing legislation and new Small-Scale Multi-Unit Housing zones, which reference original single-family or duplex zones, as provided in Appendix "I"; and
3. Authorize staff to close and file in-stream development variance permits without any associated rezoning, to align with provincial housing legislation and new Small-Scale Multi-Unit Housing zones, which reference original single-family or duplex zones, as provided in Appendix "II"; and
4. Authorize the City Clerk to provide notification for replacement of new amendment bylaws, and any associated development variance permits, and schedule for Council consideration of first, second, and third readings of new bylaw amendments for September 9, 2024, and approval as to form for associated development variance permits after final adoption.

## INTENT

The intent of this report is to facilitate alignment of in-stream rezoning and development variance permit applications with the new Small-Scale Multi-Unit Housing zoning bylaw requirements mandated by provincial legislation and as adopted by the City on July 8, 2024 to allow in-stream application processes to proceed under the zoning currently in effect.

## BACKGROUND

In November 2023, the Provincial Government introduced legislation under Bill 44, which included Small-Scale Multi-Unit Housing ("SSMUH") requirements intended to facilitate additional housing supply and affordability in British Columbia communities.

On June 10, 2024, Council endorsed Corporate Report No. R0109; 2024, titled “Small-Scale Multi-Unit Housing: Zoning By-law Amendments Related to Provincial Housing Legislation”. These amendments to *Surrey Zoning By-law, 1993, No. 12000* (the “Zoning By-law”) align with provincial housing legislation by replacing 14 single-family zones, one semi-detached zone, four gross density zones, and one duplex zone with nine new SSMUH zones.

## **DISCUSSION**

The new SSMUH Zoning By-law amendments adopted on July 8, 2024 impact about 150 single-family and duplex development applications at third reading. Applications that received final adoption prior to July 8, 2024, or that are proposed to be rezoned from an old single-family or duplex zone to a non-SSMUH zone are not impacted. The impacted in-stream bylaws will need to be filed and closed and new bylaw replacements and associated development variance permits introduced to align to with new SSMUH zones.

In order to streamline this administrative requirement, it is proposed that these bylaws be brought forward for Council’s consideration in batches over the next few months. Appendix “I” lists the first batch in-stream zoning bylaw amendment applications, including any associated development variance permits. Appendix “II” lists the first batch in-stream development variance permits without rezoning.

## **Notification**

Section 464 of the *Local Government Act* prohibits public hearings solely for zoning bylaw amendments related to Section 481.3 (zoning bylaws and small-scale multi-family housing), and therefore no public hearing is required. Notification will be provided in accordance with applicable bylaws and legislative requirements.

## **Legal Services Review**

Legal Services has reviewed this report.

## **CONCLUSION**

This report provides for a first batch of in-stream Zoning By-law amendment applications to ensure conformity with the new SSMUH framework and alignment with updated zones and regulations.

*Original signed by*

Don Luymes

General Manager, Planning & Development

Appendix “I” Table of Original and Replacement Bylaws in compliance with SSMUH Zoning By-law Amendments with any associated DVPs

Appendix “II” Table of Original and Replacement DVPs in compliance with SSMUH Zoning By-law Amendments without Rezoning

**APPENDIX “I”**

**Table of Original and Replacement Bylaws in compliance with SSMUH Zoning By-law Amendments with any associated DVPs**

DEVELOPMENT APPLICATION AND PLANNING REPORT	ORIGINAL BYLAW (CLOSED & FILED)				REPLACEMENT BYLAW (NEW)			
	Original Amendment Bylaw	From Zone(s)	To Zone(s)	Associated DVP	Replacement Amendment Bylaw	From Zone(s)	To Zone(s)	Associated DVP
<a href="#">21-0261</a>	20646	RA	RF-13 RF-10	Yes	21328	RA	R4 R5	Yes 7921-0261-01 (See Attachment A)
<a href="#">21-0232</a>	20712	RF	RF-13	Yes	21329	R3	R4	Yes 7921-0232-01 (See Attachment B)
<a href="#">21-0342</a>	20713	RA RF-13	RF-13	Yes	21330	RA R4	R4	Yes 7921-0342-01 (See Attachment C)
<a href="#">23-0185</a>	21158	RF	RF-10	Yes	21331	R3	R5	Yes 7923-0185-01 (See Attachment D)
<a href="#">21-0264</a>	20993	RA	RF-13	Yes	21332	RA	R4	Yes 7921-0264-01 (See Attachment E)
<a href="#">21-0349</a>	20817	RA	RF	Yes	21333	RA	R3	Yes 7921-0349-01 (See Attachment F)
<a href="#">22-0233</a>	20819	RA	RQ	Yes	21334	RA	R2	Yes 7922-0233-01 (See Attachment G)
<a href="#">22-0231</a>	21013	RA	RF-13	Yes	21335	RA	R4	Yes 7922-0231-01 (See Attachment H)

<a href="#">18-0305</a>	19750	RA	RF-13	No	21336	RA	R4	No
<a href="#">15-0101</a>	18639	RF	RF-10	No	21337	R3	R5	No
<a href="#">17-0381</a>	19584	RF	RF-10	No	21338	R3	R5	No
<a href="#">18-0025</a>	19874	RF	RF-10	No	21339	R3	R5	No
<a href="#">23-0097</a>	21031	RA	RF	No	21340	RA	R3	No

CITY OF SURREY

(the "City")

**DEVELOPMENT VARIANCE PERMIT**

NO.: 7921-0261-01

Issued To:

("the Owner")

Address of Owner:

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
  
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-240-638  
Lot 28 Section 15 Township 8 New Westminster District Plan 54452  
  
19309 - 71 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

---

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
- 

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
- (a) In sub-Section C.2 of Part 17 “Compact Lot Residential Zone (R5)” the minimum lot depth of the R5 (Corner Type III) is reduced from 36.0 metres to 29.1 metres for proposed Lot 1;
  - (b) In sub-Section C.2 of Part 17 “Compact Lot Residential Zone (R5)” the minimum lot width of the R5 (Interior Type I) is reduced from 9.7 metres to 9.1 metres for proposed Lots 2 and 3;
  - (c) In sub-Section C.2 of Part 16 “Small Lot Residential Zone (R4)” the minimum lot width of the R4 (Corner Type II) is reduced from 15.4 metres to 14.5 metres for proposed Lot 5; and
  - (d) In sub-Section C.2 of Part 16 “Small Lot Residential Zone (R4)” the minimum lot depth of the R4 (Interior Type I) is reduced from 28.0 metres to 27.9 metres for proposed Lot 6.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

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Mayor – Brenda Locke

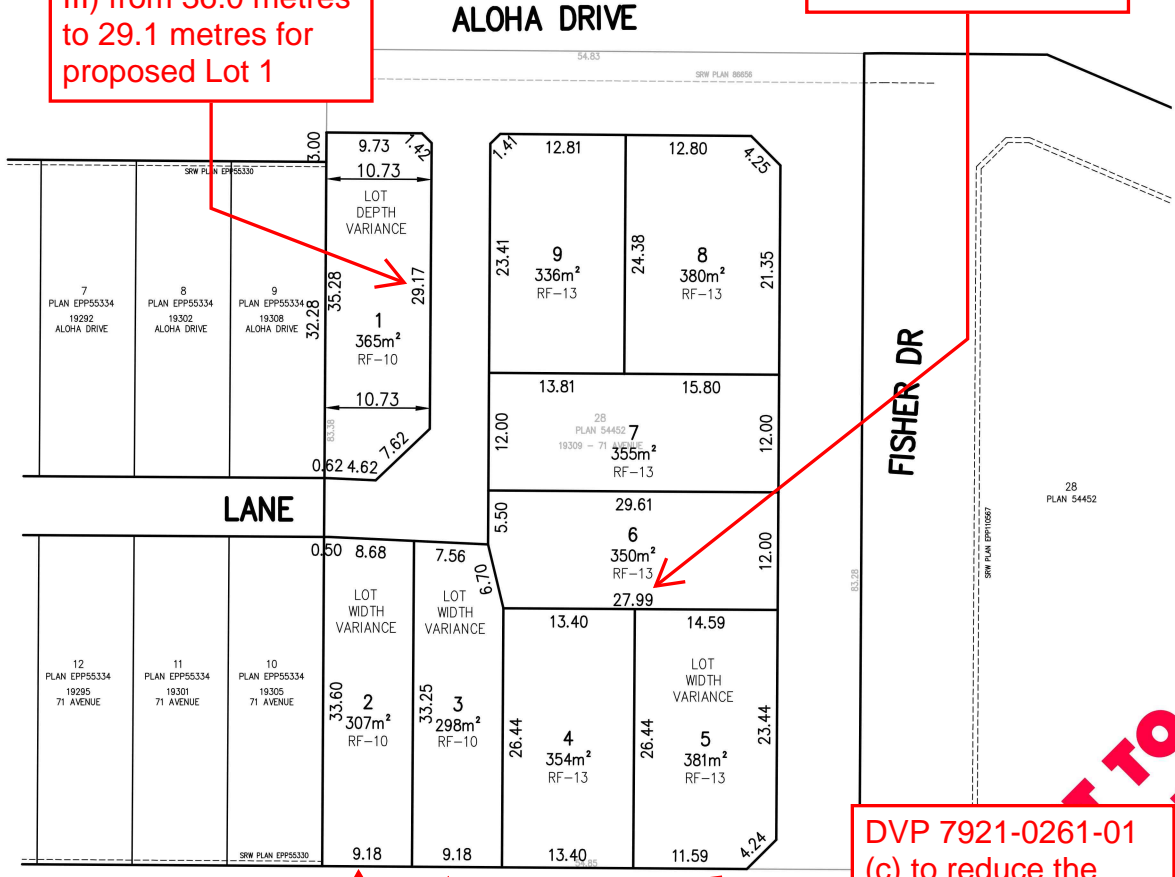
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City Clerk and  
Director Legislative Services  
Jennifer Ficocelli



DVP 7921-0261-01 (a) to reduce the minimum lot depth of the R5 (Corner Type III) from 36.0 metres to 29.1 metres for proposed Lot 1

DVP 7921-0261-01 (d) to reduce the minimum lot depth of the R4 (Interior Type I) from 28.0 metres to 27.9 metres for proposed Lot 6



DVP 7921-0261-01 (b) to reduce the minimum lot width of the R5 (Interior Type I) from 9.7 metres to 9.1 metres for proposed Lots 2 and 3

DVP 7921-0261-01 (c) to reduce the minimum lot width of the R4 (Corner Type II) from 15.4 metres to 14.5 metres for proposed Lot 5

PRELIMINARY  
REVIEW AND  
APPROVAL

**Hub Engineering Inc.** Member PACIFIC LAND GROUP  
 Engineering and Development Consultants  
 Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6  
 tel: 604-572-4328 | fax: 604-501-1625 | mail@hub-inc.com | www.hub-inc.com

G:\Projects\21041\AO Drawings\Layouts\ACAD-Lot\_Layout - op 9 - Apr 29, 2022.dwg [Lot\_Portrait 11x17] 5/03/2022 9:50AM

CLIENT:		PROJECT: 19309 71 AVENUE, SURREY	
DRAWING TITLE: RESIDENTIAL SUBDIVISION			
PROJECT No. 21041	DATE: JAN 2022	LEGAL:	SCALE: 1:500
MUNICIPAL PROJECT No:			



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0232-01

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 008-167-044  
 LOT 1 SECTION 16 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 210008  
 14224 68 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

\_\_\_\_\_

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

\_\_\_\_\_

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) to reduce the minimum lot depth of the R4 Zone (Type II Interior) from 24 metres to 12.3 metres for proposed Lot 1;
  - (a) to reduce the minimum lot depth of the R4 Zone (Type II Interior) from 24 metres to 15.71 metres for proposed Lot 2;
  - (b) to reduce the minimum lot depth of the R3 Zone from 28 metres to 19.07 metres for proposed Lot 3;
  - (c) to reduce the minimum front yard setback of the R4 Zone from 5.5 metres to 2.0 metres to the principal building face for proposed Lots 1 and 2;
  - (d) to reduce the minimum front yard setback of the R3 Zone from 6.5 metres to 2.0 metres to the principal building face for proposed Lot 3;
  - (e) to reduce the minimum rear yard setback of the R4 Zone from 7.5 metres to 3.0 metres for proposed Lot 1;
  - (f) to reduce the minimum rear yard setback of the R4 Zone from 7.5 metres to 4.5 metres for proposed Lot 2;
  - (g) to reduce the minimum rear yard setback of the R3 Zone from 7.5 metres to 6.0 metres for proposed Lot 3; and
  - (h) to increase the maximum driveway width of the R4 Zone from 6.0 metres to 8.93 metres for proposed Lot 1.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

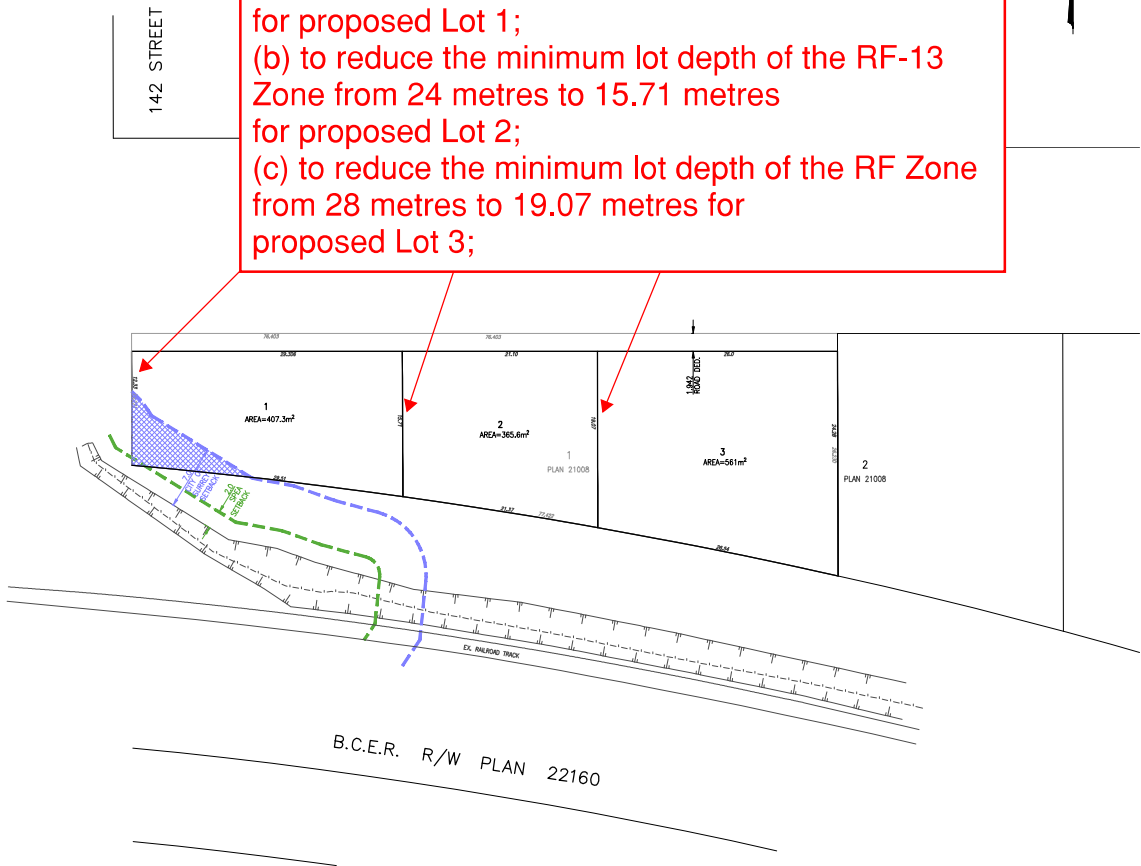
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Mayor – Brenda Locke

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City Clerk and  
Director Legislative Services  
Jennifer Ficocelli

DVP 7921-0232-01:  
 (a) To reduce the minimum lot depth of the RF-13 Zone from 24 metres to 12.3 metres for proposed Lot 1;  
 (b) to reduce the minimum lot depth of the RF-13 Zone from 24 metres to 15.71 metres for proposed Lot 2;  
 (c) to reduce the minimum lot depth of the RF Zone from 28 metres to 19.07 metres for proposed Lot 3;



**NOT FOR CONSTRUCTION**

LEGAL DESCRIPTION			
LOT 1, SEC 16, TP 2, WND PLAN 21008			
SURVEY BENCHMARK		SCALE FACTOR	
MON-8747 LOCATED AT 64 AVE & 142 ST		ELEV. 37.806m	
REV.	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			

CONSULTANT

**GurSimer**  
Design and Management Inc.  
Tel: 778-895-0358 | Email: nival@gs-dm.com



CLIENT

**1018797 BC LTD**  
6688-1288 STREET  
SURREY  
TEL: 604-780-4312

TITLE

**LOT LAYOUT**  
14224 - 68 AVE

SCALE:	HOR. 1:250	DATE (YYYYMMDD)	2021.06.30
VERT. -		CONSULTANT PROJ. NO.	21-030
DESIGNED	NS	DWC NO.	
DRAWN	NS	REV.	A
REVIEWED	NS		

SURREY PROJECT NUMBER

**7921-0232-00**

DRAWING TYPE

**LOT LAYOUT**

142 ST

68 AVENUE

(d) to reduce the minimum front yard setback of the R4 Zone from 5.5 metres to 2.0 metres to the principal building face for proposed Lots 1 and 2

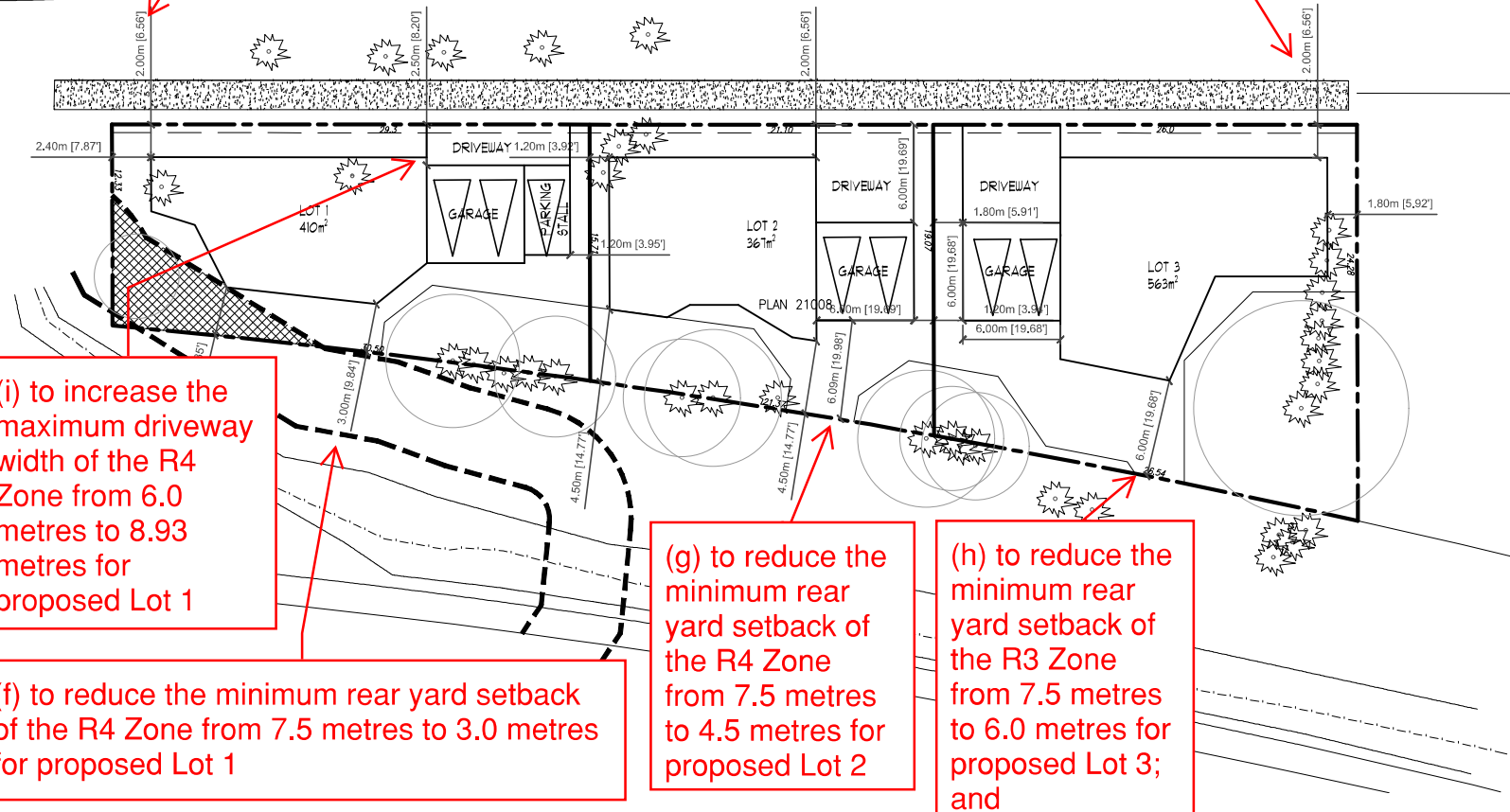
(e) to reduce the minimum front yard setback of the R3 Zone from 6.5 metres to 2.0 metres to the principal building face for proposed Lot 3

(i) to increase the maximum driveway width of the R4 Zone from 6.0 metres to 8.93 metres for proposed Lot 1

(f) to reduce the minimum rear yard setback of the R4 Zone from 7.5 metres to 3.0 metres for proposed Lot 1

(g) to reduce the minimum rear yard setback of the R4 Zone from 7.5 metres to 4.5 metres for proposed Lot 2

(h) to reduce the minimum rear yard setback of the R3 Zone from 7.5 metres to 6.0 metres for proposed Lot 3; and



LOT 1 (RF-13)	
MAX LOT COVERAGE PERMITTED (50%)	= 2211.00 SF
LOT COVERAGE PROPOSED	= 1720.00 SF
MAX FSR PERMITTED	= 2860.00 SF
FSR PROPOSED	= 2860.00 SF
PROPOSED GARAGE	= 420.00 SF

LOT 2 (RF-13)	
MAX LOT COVERAGE PERMITTED (50%)	= 1978.00 SF
LOT COVERAGE PROPOSED	= 1721.00 SF
MAX FSR PERMITTED	= 2769.00 SF
FSR PROPOSED	= 2769.00 SF
PROPOSED GARAGE	= 420.00 SF

LOT 3 (RF)	
MAX LOT COVERAGE PERMITTED (38%)	= 2290.00 SF
LOT COVERAGE PROPOSED	= 2179.00 SF
MAX FSR PERMITTED	= 3628.00 SF
FSR PROPOSED	= 3628.00 SF
PROPOSED GARAGE	= 420.00 SF

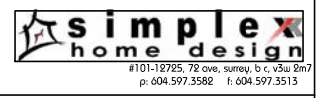
**PROPOSED BUILDING ENVELOPE  
ANALYSIS for SUKHI RANDHAWA on  
14224 68 AVE, SURREY, BC**

PLAN: 13B-7921-0232-00

DRAWN: JL

SCALE:

DATE: JULY 11, 2022



this drawing/design is the exclusive property belongs to SIMPLEX HOME DESIGN. no body is authorized to use or reproduce without the written approval from SIMPLEX HOME DESIGN.

CITY OF SURREY

(the "City")

**DEVELOPMENT VARIANCE PERMIT**

NO.: 7921-0342-01

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
  
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 004-749-561  
 Lot 1 Section 10 Township 2 New Westminster District Plan 20412  
 5930 147 Street

Parcel Identifier: 030-451-451  
 Lot 2 Section 10 Township 2 New Westminster District Plan EPP73704  
 14725 59 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

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- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

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4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) to reduce the minimum lot depth of the R4 (Type II Interior and Type II Corner) Zone from 24.0 metres to 21.5 metres for Proposed lot 1 and 21.7 metres for Proposed lot 6; and
  - (b) to reduce the minimum lot width of the R4 (Type II Interior) Zone from 13.4 metres to 13.0 metres for proposed Lot 5.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF       , 20 .

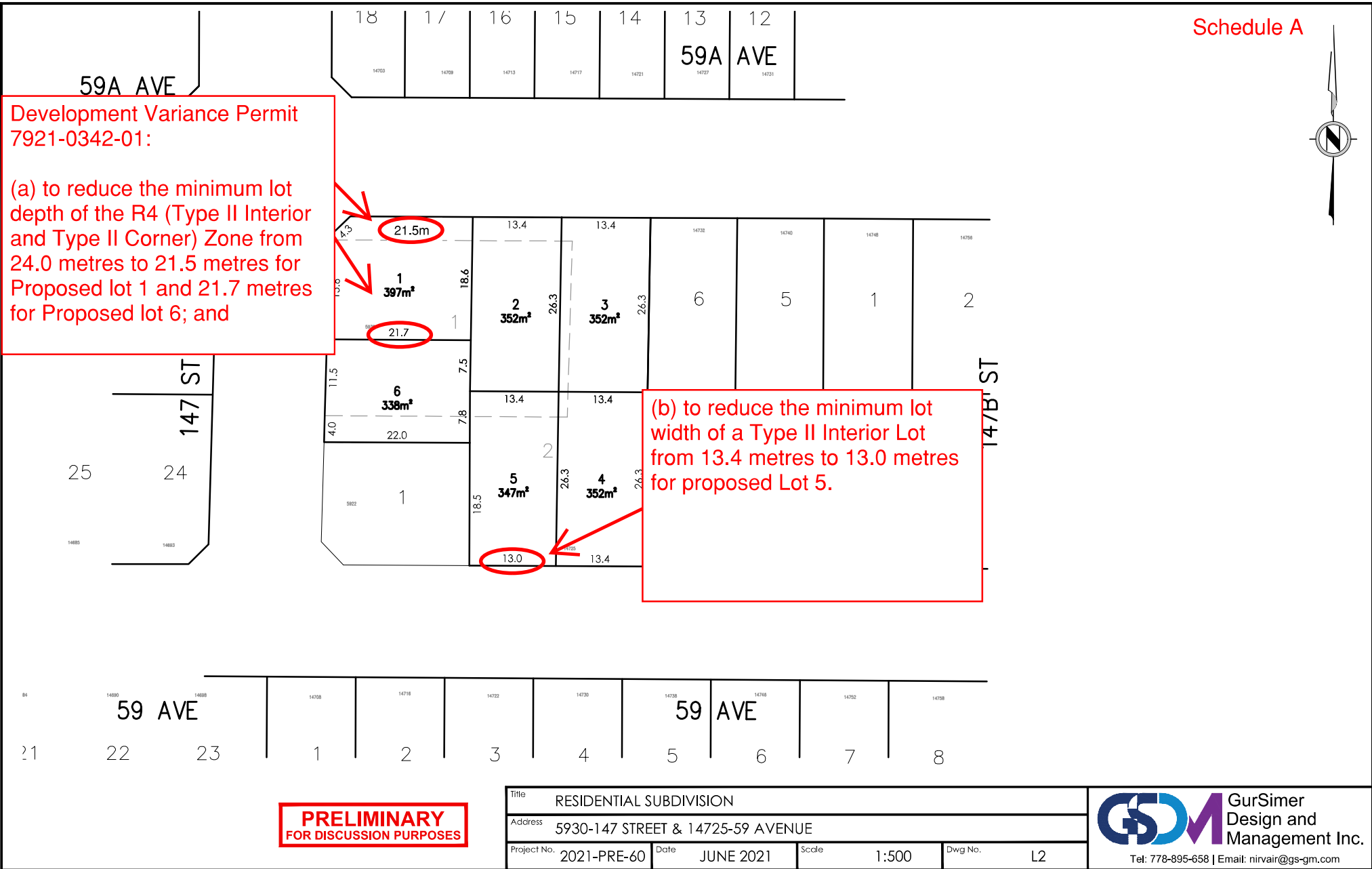
ISSUED THIS     DAY OF       , 20 .

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Mayor – Brenda Locke

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City Clerk and  
Director Legislative Services  
Jennifer Ficocelli



**Development Variance Permit 7921-0342-01:**

(a) to reduce the minimum lot depth of the R4 (Type II Interior and Type II Corner) Zone from 24.0 metres to 21.5 metres for Proposed lot 1 and 21.7 metres for Proposed lot 6; and

(b) to reduce the minimum lot width of a Type II Interior Lot from 13.4 metres to 13.0 metres for proposed Lot 5.

**PRELIMINARY  
FOR DISCUSSION PURPOSES**

Title				RESIDENTIAL SUBDIVISION			
Address				5930-147 STREET & 14725-59 AVENUE			
Project No.	2021-PRE-60	Date	JUNE 2021	Scale	1:500	Dwg No.	L2

**GSDM** GurSimer Design and Management Inc.  
Tel: 778-895-658 | Email: nirvair@gs-gm.com



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7923-0185-01

**Issued To:**

(**"the Owner"**)

**Address of Owner:**

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
  
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 003-405-907  
 Lot 25 Section 27 Block 5 North Range 2 West NWD Plan 20923  
 10068 - 133 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

\_\_\_\_\_

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

\_\_\_\_\_

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Sub-Section C.2. of Part 15 “Compact Residential Zone (R5)”, the minimum lot width for a “Type I – Interior” lot is reduced from 9.7 metres to 9.5 metres for proposed Lot 2.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
9. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
10. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF       , 20 .

ISSUED THIS    DAY OF       , 20 .

---

Mayor – Brenda Locke

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City Clerk and Director, Legislative Services  
Jennifer Ficocelli

**SUBDIVISION PLAN OF:**

- LOTS 25, 26 AND 27 PLAN 20923
- LOT 160 PLAN 45323
- PARCEL 'A' PLAN EPP136382

**PLAN EPP136386**

**ALL OF SECTION 27 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT**

City of Surrey B.C.G.S. 92G.016

Pursuant To Section 67 of the Land Title Act



SCALE - 1 : 500

All distances are in metres

The intended plot size of this plan is 432mm in width by 560mm in height (C Size) when plotted at a scale of 1:500.

Integrated Survey Area No. 1  
City of Surrey NAD83 (CSRS) 4.0.0.BC.1.MVRD

Datum: NAD83 (CSRS) UTM Zone 10 4.0.0.BC.1.MVRD  
UTM Northing: 5,448,510.256  
UTM Easting: 510,458.586  
Estimated horizontal positional accuracy: 0.02 m

Grid Bearings are derived from observations between Control Monuments 5791 and 80H2057 and are referenced to the central meridian of UTM zone 10.

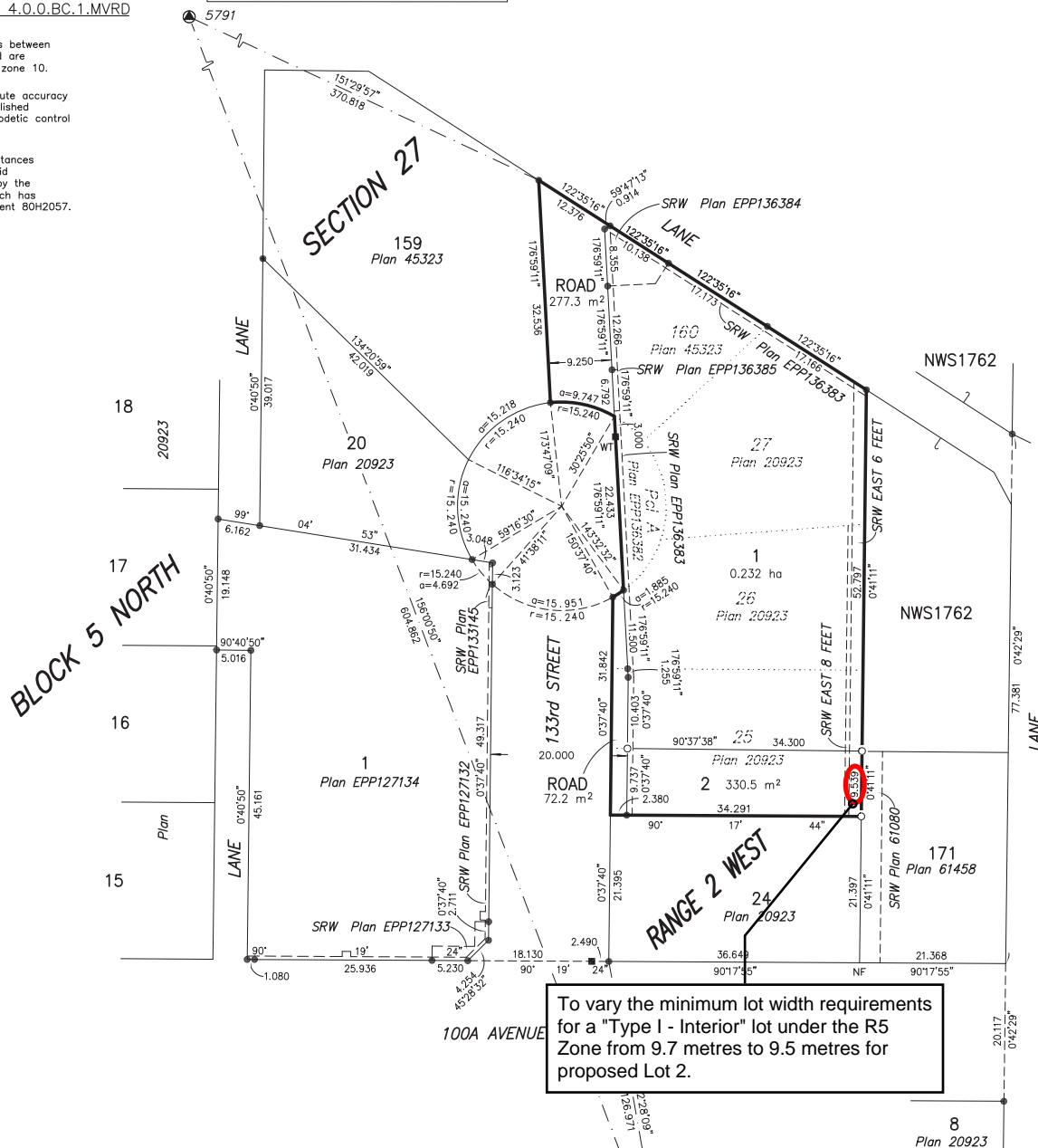
The UTM co-ordinates and estimated absolute accuracy achieved are derived from the MASCOT published coordinates and standard deviations for geodetic control monuments 5791 and 80H2057.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9995902 which has been derived from geodetic control monument 80H2057.

**Legend:**

- ⊙ Denotes control monument found
- Denotes standard iron post found
- Denotes standard lead plug found
- Denotes standard iron post set
- NF Denotes nothing found
- Ex Denotes explanatory
- Pcl Denotes parcel
- WT Denotes witness

Note: This plan shows one or more witness posts which are not set on the true corner(s).  
Witness posts are set along the production of a boundary unless otherwise noted.  
Some symbols and lines have been exaggerated for clarity.



To vary the minimum lot width requirements for a "Type I - Interior" lot under the R5 Zone from 9.7 metres to 9.5 metres for proposed Lot 2.

Datum: NAD83 (CSRS) UTM Zone 10 4.0.0.BC.1.MVRD  
UTM Northing: 5,447,957.854  
UTM Easting: 510,704.371  
Estimated horizontal positional accuracy: 0.02 m

Cameron Land Surveying Ltd.  
B.C. Land Surveyors  
Unit 234 - 18525-53rd Avenue  
Surrey, B.C. V3S 7A4  
Phone: 604-597-3777  
File: 8507-SUB

This plan lies within the jurisdiction of the Approving Officer for the City of Surrey  
This plan lies within the Metro Vancouver Regional District

The field survey represented by this plan was completed on the 10th day of June, 2024.  
Sean Costello, B.C.L.S. (900)

CITY OF SURREY

(the "City")

**DEVELOPMENT VARIANCE PERMIT**

NO.: 7921-0264-01

Issued To:

("the Owners")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 003-036-189

Lot 37 Section 17 Township 8 New Westminster District Plan 62186  
6617 - 181 Street

Parcel Identifier: 003-036-197

Lot 38 Section 17 Township 8 New Westminster District Plan 62186  
6618 - 180 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

\_\_\_\_\_

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

\_\_\_\_\_

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Section B.1 of Part 7A "Streamside Protection", the minimum distance (streamside setback area) from top of bank for a "Natural Class A Stream" is reduced from 30 metres to 20 metres;
  - (b) In Section B.1 of Part 7A "Streamside Protection", the minimum distance (streamside setback area) from top of bank for a "Natural Class B Stream" is reduced from 15 metres to 10 metres;
  - (c) In In sub-Section C.2 of Part 16 "Small Lot Residential Zone (R4)" the minimum lot depth of the R4 (Interior Type I) is reduced from 28 metres to 26.9 metres for proposed Lots 3 and 4;
  - (d) In sub-Section C.2 of Part 16 "Small Lot Residential Zone (R4)" the minimum lot depth of the R4 (Interior Type II) is reduced from 24 metres to 18.4 metres for proposed Lot 6;
  - (e) In sub-Section C.2 of Part 16 "Small Lot Residential Zone (R4)" the minimum lot depth of the R4 (Interior Type II) is reduced from 24 metres to 21 metres for proposed Lot 7;
  - (f) In sub-Section C.2 of Part 16 "Small Lot Residential Zone (R4)" the minimum lot depth of the R4 (Interior Type I) is reduced from 28 metres to 25.6 metres for proposed Lot 8;
  - (g) In sub-Section C.2 of Part 16 "Small Lot Residential Zone (R4)" the minimum lot width of the R4 (Corner Lot Type I) is reduced from 14 metres to 12 metres for proposed Lot 13; and
  - (h) In sub-section H.4(a) Off-Street Parking of Part 16 "Small Lot Residential Zone (R4)" a front access, side-by-side double garage shall be permitted on a lot less than 13.4 metres in width for proposed Lots 1, 3-5 and 8-12, and on a Type I corner lot for proposed Lot 13.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

---

Mayor – Brenda Locke

---

City Clerk – Jennifer Ficocelli

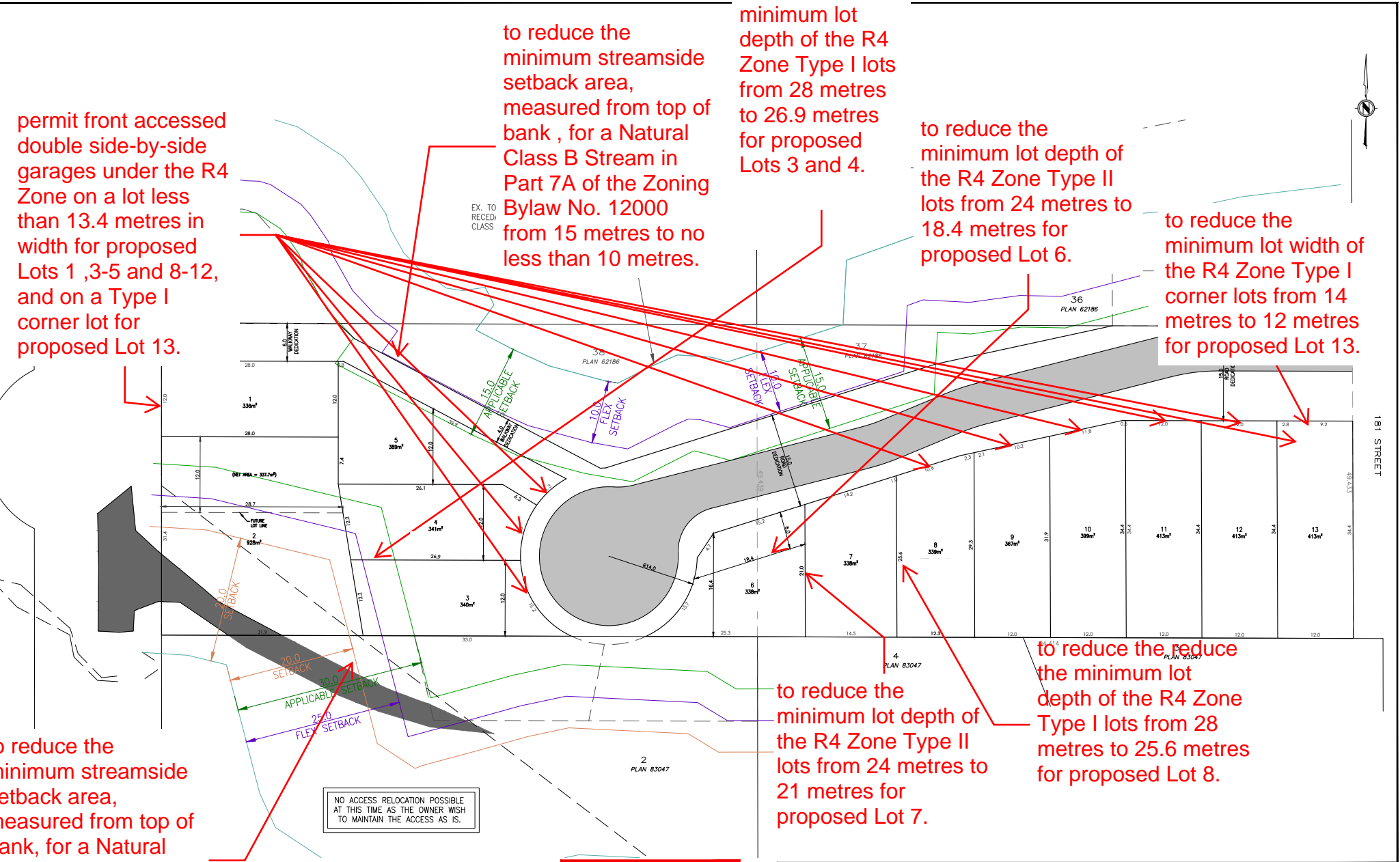
permit front accessed double side-by-side garages under the R4 Zone on a lot less than 13.4 metres in width for proposed Lots 1, 3-5 and 8-12, and on a Type I corner lot for proposed Lot 13.

to reduce the minimum streamside setback area, measured from top of bank, for a Natural Class B Stream in Part 7A of the Zoning Bylaw No. 12000 from 15 metres to no less than 10 metres.

to reduce the minimum lot depth of the R4 Zone Type I lots from 28 metres to 26.9 metres for proposed Lots 3 and 4.

to reduce the minimum lot depth of the R4 Zone Type II lots from 24 metres to 18.4 metres for proposed Lot 6.

to reduce the minimum lot width of the R4 Zone Type I corner lots from 14 metres to 12 metres for proposed Lot 13.



to reduce the minimum streamside setback area, measured from top of bank, for a Natural Class A Stream in Part 7A of the Zoning Bylaw No. 12000 from 30 metres to no less than 20 metres.

to reduce the minimum lot depth of the R4 Zone Type II lots from 24 metres to 21 metres for proposed Lot 7.

to reduce the minimum lot depth of the R4 Zone Type I lots from 28 metres to 25.6 metres for proposed Lot 8.

NO ACCESS RELOCATION POSSIBLE AT THIS TIME AS THE OWNER WISH TO MAINTAIN THE ACCESS AS IS.

**PRELIMINARY**  
FOR DISCUSSION PURPOSES  
SUBJECT TO APPROVAL FROM GOVERNMENT AGENCIES AND OTHER CONSULTANTS

Title: PROPOSED SUBDIVISION			
Address: 6618-180 STREET & 6617-181 STREET, SURREY			
Project No. 21-013	Date: OCTOBER 2022	Scale: 1:250	Dwg No. -

GurSimer Design and Management Inc.  
Tel: 778-895-6358 | Email: nirvair@gs-dm.com

CITY OF SURREY

(the "City")

**DEVELOPMENT VARIANCE PERMIT**

NO.: 7921-0349-01

Issued To:

("the Owners")

Address of Owners:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
  
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-870-640

Lot 41 Section 15 Block 5 North Range 1 West New Westminster District Plan 40925

15694 - 112 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

---

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

---

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:



- (a) In Section F. Yards and Setbacks of Part 15 “Urban Residential Zone (R3)”, the minimum (east) side yard setback for a principal building is reduced from 1.8 metres to 0.6 metres.
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
  6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
  7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
  8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF , 20 .

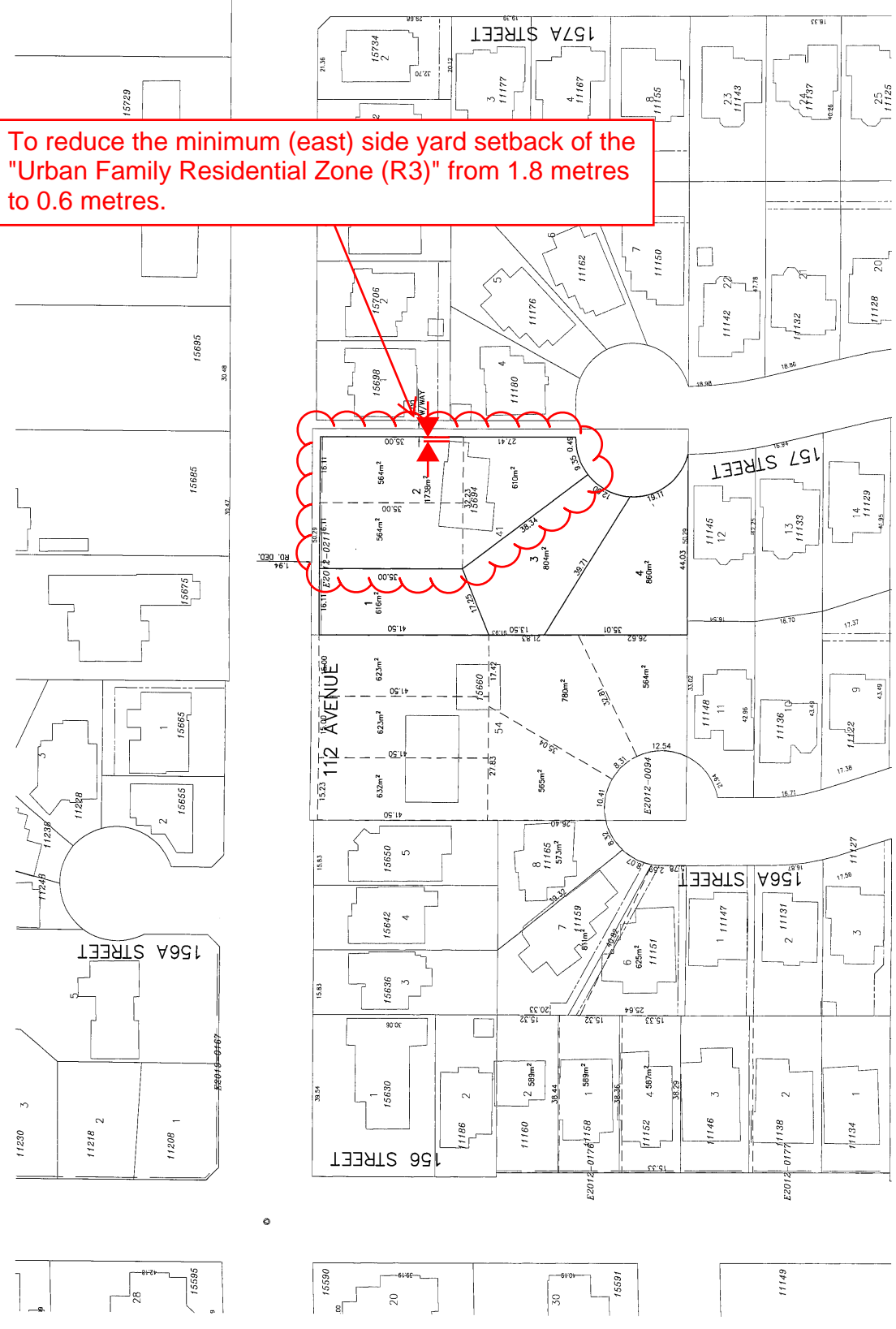
ISSUED THIS DAY OF , 20 .

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Mayor – Brenda Locke

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City Clerk and  
Director Legislative Services  
Jennifer Ficocelli



To reduce the minimum (east) side yard setback of the "Urban Family Residential Zone (R3)" from 1.8 metres to 0.6 metres.

**Schedule A**

NOTES:  
1. ALL DIMENSIONS ARE APPROXIMATE ONLY BASED ON MASTER PLANS.  
2. LAYOUT IS PRELIMINARY AND SUBJECT TO APPROVALS AND SURVEY.  
3. EXISTING HOUSE TO BE REMOVED (LOCATION TO BE CONFIRMED).  
4. POOL TO BE REMOVED.  
5. DVP REQUIRED ON HOUSE ALONG THE EAST SIDE FRONT TO 0.60m.

Scale:	1:1000	Mun. Proj. No.	Dwg. #
Drawn:	LC	Mun. Dwg. No.	
Designed:	JK	Job No.	21-4336
P.U.		Date	NOV/2021
Approved:		Revised:	

1316782 BC LTD./1316784 BC LTD.  
15694 - 112 AVENUE, SURREY, BC, V4N 1A6, PH: 604-807-8388, Email: csp@onlinow.co

**PRELIMINARY LOT LAYOUT**  
SUBDIVISION AT 15694 - 112 AVENUE, SURREY, BC



**CitiWest Consulting Ltd.**  
NO.101-9030 KING GEORGE BLVD., SURREY, BC, V3V 7Y3  
TELEPHONE 604-591-2213 FAX 604-591-5518  
E-MAIL: office@citiwest.com  
EIBC Permit to Practice #1001824

No.	Date	Revision	Dr.	Ch.

This drawing and design is the property of CITIWEST CONSULTING LTD. and cannot be used, re-used or reprinted without the written consent of said company.

(the "City")

**DEVELOPMENT VARIANCE PERMIT**

NO.: 7922-0233-01

Issued To:

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 000-547-654  
Lot 67 Section 24 Township 1 New Westminster District Plan 67389  
16487 - 28 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once titles have been issued, as follows:

Parcel Identifier:

---

(b) If the civic addresses change, the City Clerk is directed to insert the new civic addresses for the Land, as follows:

---

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

(a) In Section C. Subdivision of Part 14 "Quarter Acre Residential Zone (R2)", the minimum lot width is reduced from 24 metres to 17.7 metres for proposed Lots 3 and 4.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A, which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

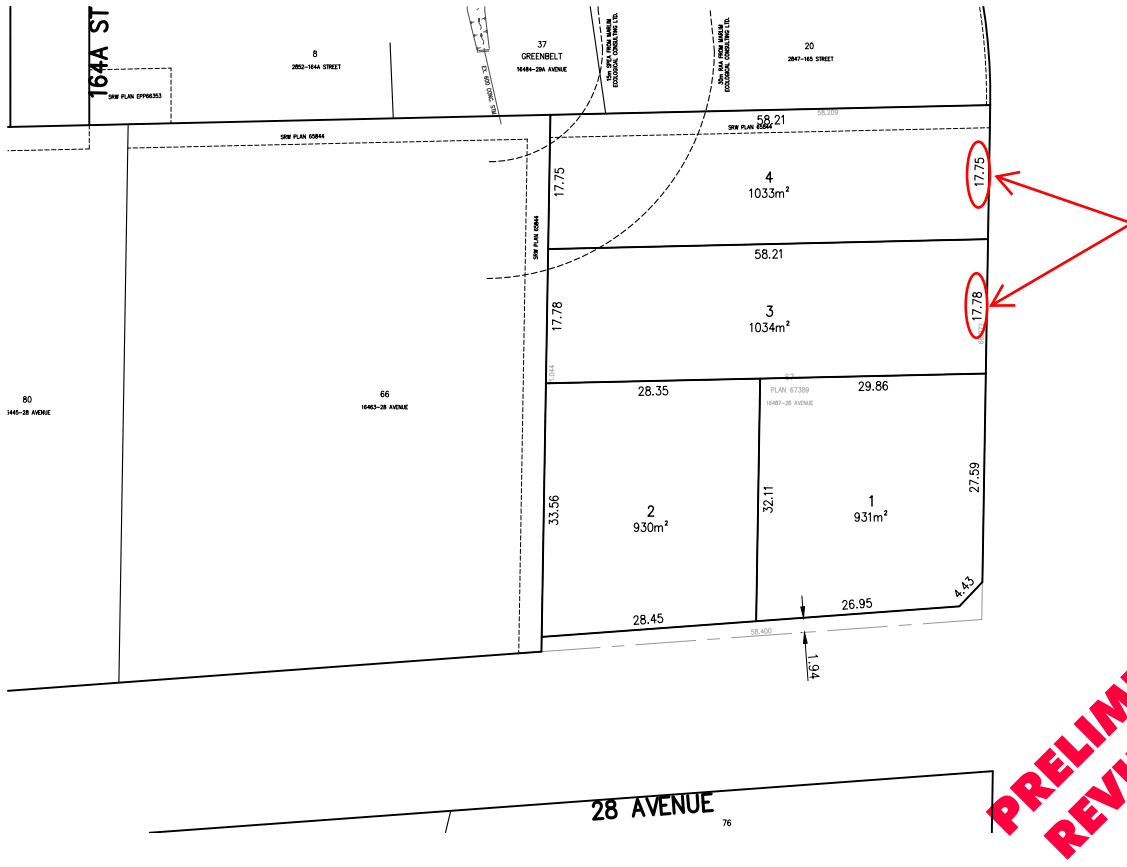
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

---

Mayor – Brenda Locke

---

City Clerk – Jennifer Ficocelli



28A AVENUE  
PLAN 67300

68  
1037-28 AVENUE

165 STREET

73

In Section C. Subdivision of Part 14 "Quarter Acre Residential Zone (R2)", the minimum lot width is reduced from 24 metres to 17.7 metres for proposed Lots 3 and 4.

**PRELIMINARY SUBJECT TO REVIEW AND APPROVAL**

G:\Projects\21098\plan\MO Drawings\Layouts\Lot Layout\_11x17\_8/20/2022\_3:10PM

CLIENT:	PROJECT:	16487 28 AVENUE, SURREY		
DRAWING TITLE:	RESIDENTIAL SUBDIVISION			
PROJECT No:	DATE:	LEGAL:	SCALE:	MUNICIPAL PROJECT No:
21098	DEC 2021		1:500	
PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES				

**Hub Engineering Inc.**  
Engineering and Development Consultants

Member  
**PACIFIC LAND GROUP**

Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6  
tel: 604-572-4328 | fax: 604-501-1625 | mail@hub-inc.com | www.hub-inc.com

CITY OF SURREY

(the "City")

**DEVELOPMENT VARIANCE PERMIT**

NO.: 7922-0231-01

Issued To:

(“the Owner”)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 018-991-769

Lot 1 Section 31 Township 8 New Westminster District Plan LMP19397

17077 - 92 Avenue

Parcel Identifier: 018-991-777

Lot 2 Section 31 Township 8 New Westminster District Plan LMP19397

17121 - 92 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

\_\_\_\_\_

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

\_\_\_\_\_

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Section C.2 of Part 16 “Small Lot Residential Zone (R4)” the minimum lot width for a Type II Interior Lot created through subdivision is reduced from 13.4 metres to 13.1 metres for proposed Lots 1, 13, and 16;
  - (b) In Section C.2 of Part 16 “Small Lot Residential Zone (R4)” the minimum lot width for a Type II Corner Lot created through subdivision is reduced from 15.4 metres to 15.2 metres for proposed Lots 2, 14, and 15; and
  - (c) In Section H.4 of Part 16 “Small Lot Residential Zone (R4)” a front access, side-by-side double garage shall be permitted on a lot less than 13.4 metres wide for proposed Lots 1, 3-13, and 16-27.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF           , 20 .

ISSUED THIS     DAY OF           , 20 .

---

Mayor – Brenda Locke

---

City Clerk and  
Director Legislative Services  
Jennifer Ficocelli

To reduce the minimum lot width for a Type II Interior Lot from 13.4-metres to 13.1-metres (Lots 1, 13, and 16).

**PRELIMINARY  
SUBJECT TO REVIEW  
AND APPROVAL**

Schedule A

**Hub Engineering Inc.**

Engineering and Development Consultants

EGBC Permit to Practice Number: 1030404

Suite 212, 12992, 76 Avenue, Surrey, B.C. V3V 2V6

tel. 604-572-4328 | fax. 604-501-1625 | mail@hub-inc.com | www.hub-inc.com



To permit a front access, side-by-side double garage on a lot less than 13.4-metres wide (Lots 1, 3-13, and 16-27).

To reduce the minimum lot width for a Type II Corner Lot from 15.4-metres to 15.2-metres (Lots 2, 14, and 15).

BOTHELL DR

92 AVE

PROJECT:	17077 & 17121 92 AVE
DRAWING FILE:	RESIDENTIAL SUBDIVISION
PROJECT NO.:	22037
DATE:	APR 2023
LEGAL:	
SCALE:	1:750
MUNICIPAL PROJECT NO.:	
PRELIMINARY PLAN - SUBJECT TO APPROVAL FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES	



**Table of Original and Replacement DVPs in compliance with SSMUH Zoning By-law Amendments without Rezoning**

<b>DEVELOPMENT APPLICATION AND PLANNING REPORT</b>	<b>ORIGINAL DVP ZONE</b>	<b>ORIGINAL DVP</b>	<b>CURRENT DVP ZONE</b>	<b>REPLACEMENT DVP (NEW SSMUH ZONE)</b>
<a href="#"><u>18-0373</u></a>	RF	7918-0373-00	R3	7918-0373-02 (See Attachment I)
<a href="#"><u>19-0154</u></a>	RH	7919-0154-00	R1	7919-0154-02 (See Attachment J)
<a href="#"><u>24-0139</u></a>	RF	7924-0139-00	R3	7924-0139-01 (See Attachment K)
<a href="#"><u>24-0149</u></a>	RF	7924-0149-00	R3	7924-0149-01 (See Attachment L)

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7918-0373-02

Issued To:

(the "Owner")

Address of Owner:

This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 031-696-244  
Lot 1 Section 8 Township 1 New Westminster District Plan EPP116328  
13048 - 13 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Section G.1 Height of Buildings and Structures of Part 15 "Urban Residential Zone (R3)", the maximum building height for of any portion of a single family dwelling with a roof slope of less than 1:4 is increased from 7.3 metres to 11.5 metres;
  - (b) In the table in Section B.2 of Part 7A "Streamside Protection", the minimum distance from top of bank for a "Natural Class B Stream" (yellow-coded) is reduced from 15.0 metres, as measured from top-of-bank, to a minimum of 31 metres from the high water mark (equivalent to a maximum of approximately 26 metres below top-of-bank).
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A and Schedule B which are attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A or Schedule B which is attached hereto and forms part of this development variance permit.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

---

Mayor – Brenda Locke

---

City Clerk and  
Director Legislative Services  
Jennifer Ficocelli

# SCHEDULE A



CHRISTOPHE VAISSEAU  
BUILDING DESIGNER  
7 604.844.6677  
E. chrism@christophe.ca  
WWW.CVDESIGNS.CA

13048 13TH AVE

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REV	DATE	REMARKS
1	NOV 21, 2022	DRAWING FOR PERMIT
2	MAY 12, 2023	PERMIT REVISED
3	MAY 12, 2023	PERMIT REVISED
4	OCT 10, 2023	PERMIT REVISED

CLIENT :	DATE :
PROJECT :	SCALE :
CONTENT :	PROJECT No. :

SHEET No. :	REVISION :
A 1.1	

## GENERAL NOTES

- THESE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE B.C. BUILDING CODE 2018.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND WILL BE RESPONSIBLE FOR SAME.
- ALL WORK SHALL CONFORM TO THE B.C. BUILDING CODE (2018) AND ALL LOCAL MUNICIPAL CODES AND BY-LAWS.
- CONTRACTOR OR BUILDER TO VERIFY ROUGH OPENINGS OF ALL DOORS, WINDOWS, FITTINGS, AFFIXANCES, AND BUILT-IN EQUIPMENT PRIOR TO CONSTRUCTION.
- SLOPE FINISHED GRADE AWAY FROM THE BUILDING MINIMUM 1/4" 1'-0" TO PROVIDE ADEQUATE DRAINAGE.
- CONCRETE STRENGTH SHALL CONFORM TO 9.3.1.1.1 B.C. BUILDING CODE 2018.
- ARCHITECTURAL CONCRETE TO BE WELL VENTILATED, CLEAR OF ANY FIREHOLE/COMB AND TO HAVE A SMOOTH THEN TEXTURED FINISH.
- CONCRETE SLABS TO BE SEALED IN ACCORDANCE WITH SUBSECTION 9.13.4.7 OF THE B.C. BUILDING CODE (2018 EDITION).
- ROOF TRUSS MANUFACTURERS TO PROVIDE SHOP DRAWINGS SEALED BY A REGISTERED PROFESSIONAL ENGINEER PRIOR TO INSTALLATION.
- ROOF VENTING SHALL BE 1/300 OF INSULATED CEILING SPACE. VENTS SHALL BE UNIFORMLY DISTRIBUTED.
- WALL PLATES SHALL BE #2 OR BETTER KD SPRUCE. ALL BUI BEAMS SHALL BE #2 OR BETTER KD SPRUCE. STUDS SHALL CONFORM TO RESIDENTIAL STANDARDS OF THE CURRENT B.C.D.C. CONFIRM WITH STRUCTURAL ENGINEER.
- FRAMING TO BE ANCHORED WITH 1/2" DIA. ANCHOR BOLTS @ 4'-0" O.C. MAXIMUM OR ANCHOR STRAPS @ 4'-0" O.C. POSTS TO BE ANCHORED WITH METAL POST ANCHORS. CONFIRM WITH STRUCTURAL ENGINEER.
- DIMENSIONS SHOWN TO THE OUTSIDE OF BUILDING FACE ARE TO THE OUTSIDE FACE OF WALL SHEATHING.
- DOUBLE FLOOR JOISTS UNDER ALL PARALLEL PARTITIONS. PLACE JOISTS TO SUIT PLUMBING, HEATING, ETC.
- UNTELS TO BE 2 - 2" X 1'-0" WITH DOUBLE PLATE ON TOP UNLESS NOTED OTHERWISE.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE DAMP PROOFED WITH 50# BUILDING FELT.
- PASTEN ALL GYPSUM WALL BOARD (G.W.B.) IN CONFORMANCE WITH SUB SECTION 9.29.5.5 OF THE B.C. BUILDING CODE (2018 EDITION).
- 9.29.5.5 (1) - B.C.D.C. 2018 - FOR SINGLE-LAYER GYPSUM BOARD APPLICATION, NAILS SHALL BE SPACED NOT MORE THAN 120 mm O.C. ON CEILING SUPPORTS AND NOT MORE THAN 200 mm APART ALONG VERTICAL WALL SUPPORTS. EXCEPT THAT NAILS MAY BE SPACED IN PAIRS ABOUT 50 mm APART EVERY 300 mm ALONG SUCH WALL OR CEILING SUPPORTS.
- 9.29.5.5 (2) - B.C.D.C. 2018 - WHERE SINGLE-LAYER GYPSUM BOARD IS APPLIED WITH DRYWALL SCREWS, THE SCREWS SHALL BE SPACED NOT MORE THAN 300 mm O.C. ALONG SUPPORTS, EXCEPT ON VERTICAL SURFACES THE SCREWS MAY BE SPACED NOT MORE THAN 400 mm O.C. WHERE THE SUPPORTS ARE NOT MORE THAN 400 mm O.C.
- PRE-FAB. GAS FIREPLACE INSTALLED TO MANUFACTURER'S SPECIFICATIONS AND TO THE REQUIREMENTS OF THE CANADIAN GAS ASSOCIATION. INSTALL NON-COMBUSTIBLE HEARTH TO MEET THE REQUIREMENTS OF SUBSECTION 9.22.5 OF THE B.C. BUILDING CODE (2018 EDITION). FINISH MATERIALS AS PER OWNER'S SPECIFICATIONS.
- PROVIDE ATTIC ACCESS PATCHES AS PER ARTICLE 9.13.2 OF THE B.C. BUILDING CODE (2018 EDITION). ALL PATCHES TO BE MINIMUM 21.5' X 23.25' (545 mm X 590 mm)
- ELECTRICAL, PLUMBING AND VENTILATION MUST COMPLY WITH ALL RELEVANT CODES AND REGULATIONS IN ALL RESPECTS.
- EVERY EFFORT HAS BEEN MADE TO CAREFULLY PREPARE THESE DRAWINGS AND AVOID MISTAKES, HOWEVER, THE POSSIBILITY OF HUMAN ERROR DOES EXIST AND THEREFORE THE BUILDING CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, MATERIALS AND CONDITIONS SHOWN ON THE STRUCTURAL NOTES AND FLOOR PLANS AND ASSUME RESPONSIBILITY FOR ALL. BY USING THE PLANS HE ACCEPTS THAT RESPONSIBILITY.
- THE SCOPE OF THIS HOME DESIGN DOES NOT ALLOW FOR SITE CONDITIONS WHICH MAY AFFECT THE STRUCTURE. THE CONTRACTOR AND/OR OWNER ENGAGE THE SERVICES OF A PROFESSIONAL STRUCTURAL ENGINEER TO FULLY ASSES THE ABILITY OF THE STRUCTURE TO HANDLE ALL THE LOADS TO WHICH IT MAY COME IN CONTACT WITH. THE DESIGNER HAS NEITHER THE LEGAL ABILITY OR THE RESPONSIBILITY TO COUNSEL THE OWNER IN THIS REGARD.

## SITE INFO

LEGAL DESCRIPTION  
PLAN OF LOT 1,  
SECTION 8, TOWNSHIP 11, N.W.D. PLAN BCF 42201  
ZONE R2

CIVIC ADDRESS  
13048 13 AVENUE

SURVEY: B.C.

SITE AREA  
16,022 S.F.

SITE COVERAGE  
ALLOWABLE: 23% (3,687 S.F.)  
PROPOSED: 21% (3,372 S.F.)

FLOOR AREA RATIO  
ALLOWABLE: 5,000 S.F.  
PROPOSED: 4,956 S.F.

FLOOR AREA

4TH LEVEL: 660 S.F.  
ATTACHED GARAGE: 467 S.F.  
3RD LEVEL: 1,582 S.F.  
2ND LEVEL: 1,749 S.F.

BASEMENT LEVEL AREA OVER: 299 S.F.  
COVERED AREA OVER: 179 S.F.

TOTAL AREA: 4,956 S.F.

TOTAL BASEMENT FLOOR AREA: 2,046 S.F.

COVERED PATIO/BALCONY

ALLOWABLE: (5,000 S.F. \* 10%) = 500.0 S.F.  
PROPOSED: 679.0 S.F.

FRONT PORCH RESERVED: 160.0 S.F.  
COVERED PATIO: 519.0 S.F.

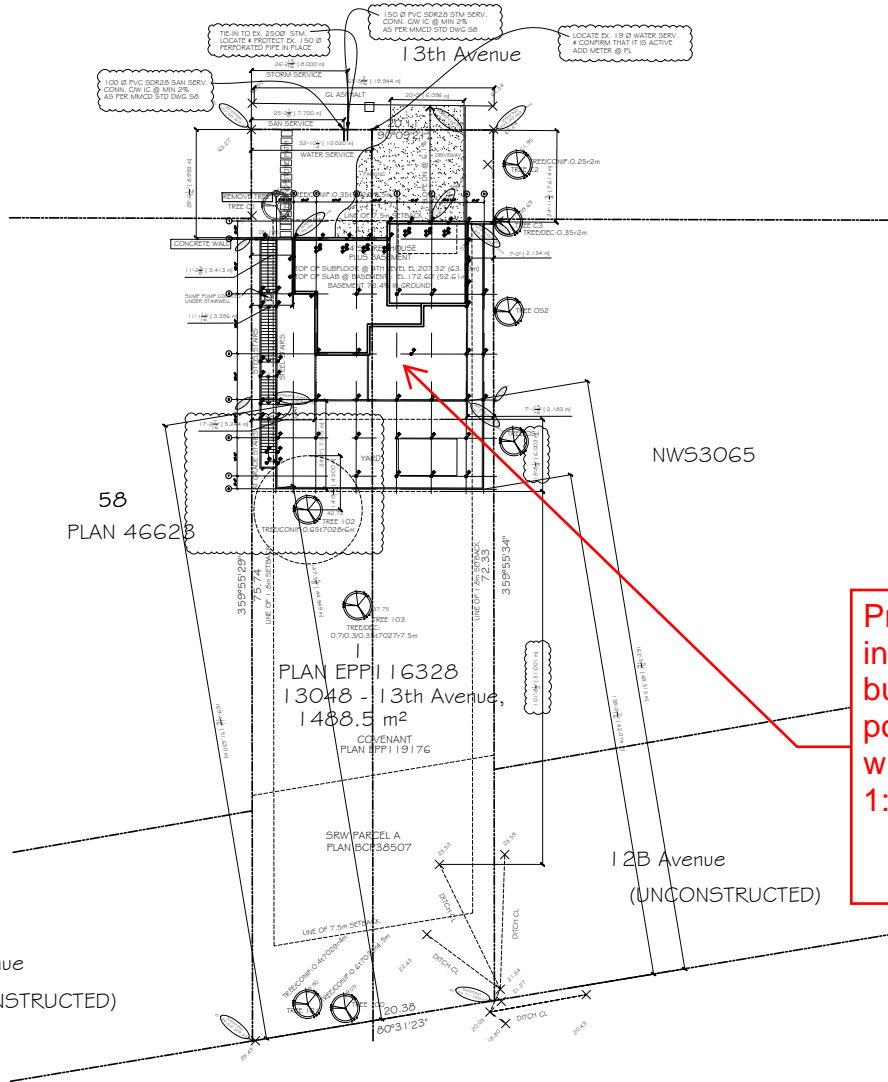
TOTAL AREA: 679.0 S.F.

BUILDING HEIGHT

ALLOWABLE: 23.95' (7.3 m)  
PROPOSED: 37.84' (11.53 m)

AVERAGE GRADE CALCULATION @ HOUSE  
193.92 + 190.68 + 175.89 + 147.92 = EL. 182.12 (55.51 m)

Proposed variance to increase the maximum building height for any portion of a principal building with a roof slope less than 1:4 from 7.3 m to 11.5 m



BURLINGTON NORTHERN RAILWAY  
PART (6.19 ACRES)  
SRW PLAN 10769

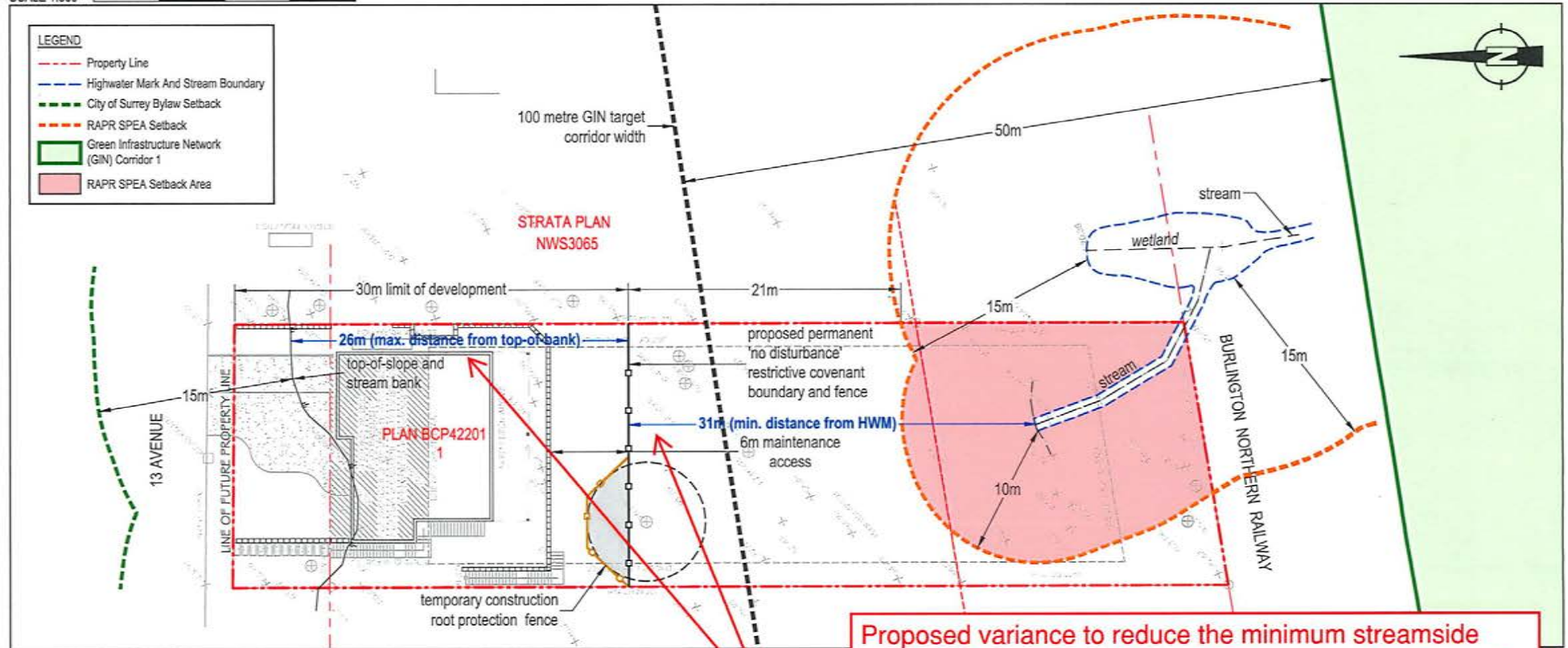


SITE PLAN - 13048 13 AVE

**Schedule B**

PLAN  
SCALE 1:300

- LEGEND**
- - - Property Line
  - - - Highwater Mark And Stream Boundary
  - - - City of Surrey Bylaw Setback
  - - - RAPR SPEA Setback
  - Green Infrastructure Network (GIN) Corridor 1
  - RAPR SPEA Setback Area



Proposed variance to reduce the minimum streamside setback from a Natural Class B Stream on a lot of record from 15 metres, as measured from top-of-bank, to a minimum of 31 metres from the high water mark (equivalent to 26 metres below the top-of-bank).

LOCATION  
SCALE 1:5000



- REFERENCE DRAWINGS**
1. Email: A11-13048-13th Ave May 5-20.dwg, Received May 11, 2020; Lorne Ebenal.
  2. File No. 201606. "B.C. Land Surveyors Plan Showing Location of Trees and Spot Elevations on Lot 1, Section 8, Township 1, NWD Plan BCP42201". February 08, 2016. John Bresnick and Associates.
  3. 2019 Legal Base from City of Surrey.

MR. HUNDAL  
13048 13 AVENUE  
Surrey, BC

**enviowest**  
www.enviowest.ca

**e** enviowest consultants inc.  
Suite 101 - 1515 Broadway Street  
Port Coquitlam, British Columbia  
Canada V3C 6M2

office: 604-944-0502  
facsimile: 604-944-0507  
saper-velone@enviowest.ca

SETBACKS				
DESIGN RWS	DRAWN CEV	CHECKED RWS	REVISION 08	REVISION DATE June 22, 2020
SCALE As Shown			DRAWING NUMBER 2195-01-02	
DATE January 18, 2018				

DATE: 2020-06-22 - 1:40pm  
LAYOUT: 2195-01-02  
FILE: \\enviowest\Projects\2020\Surrey\White Rock\2195-01\enviowest\2195-01-02\08-Setbacks.dwg

CITY OF SURREY

(the "City")

**DEVELOPMENT VARIANCE PERMIT**

NO.: 7919-0154-02

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-136-863  
Lot 3 Section 19 Township 1 New Westminster District Plan 5456  
  
12711 Beckett Road

(the "Land")
3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Section F.1 of Part 13, Suburban Residential Zone (R1) – to reduce the minimum front yard setback of an Accessory Building from 18.0 metres to 15.9 metres; and
  - (b) In Section G.1 of Part 13, Suburban Residential Zone (R1) – to increase the maximum Accessory Building height from 4.0 metres to 4.6 metres.
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE    DAY OF    , 20   .  
ISSUED THIS    DAY OF    , 20   .

---

Mayor – Brenda Locke

---

City Clerk and  
Director Legislative Services  
Jennifer Ficocelli

# Schedule A

NO SMOKING IN BUILDING OR ON PROPERTY AT ANY TIME.

General Notes

BENCHMARK: MONUMENT #5492  
CRESCENT ROAD & BECKETT ROAD  
GEODETIC ELEV. 26.711m(CVD28GVRD)

ALL GROUND ELEVATIONS ARE IN METRIC, ALL OTHER DIMENSIONS ARE IMPERIAL

ALL WORKS SHALL COMPLY WITH LATEST VERSION OF BRITISH COLUMBIA BUILDING CODE.

ANY DETAILS OR SPECIFICATIONS NOT NOTED ON DRAWINGS OR NOT PROVIDED BY B.C. BUILDING CODE SHALL COMPLY WITH CMHC CANADIAN WOOD FRAME HOUSE CONSTRUCTION MANUAL.

ALL DIMENSIONS TO BE TAKEN FROM EAST AND SOUTH PROPERTY LINES ONLY.

NO SUBSTITUTION WITHOUT WRITTEN APPROVAL FROM OWNER

PRIOR TO START OF ANY CONSTRUCTION, CONTRACTOR SHALL MEET WITH OWNER TO REVIEW ALL DRAWINGS, DETAILS AND SCOPE OF WORK.

ALL MATERIALS DELIVERED TO SITE SHALL BE PLACED ON DRY LEVEL SURFACE AND PROTECTED FROM THE WEATHER (SUN, RAIN, SNOW, ETC.).

THE SITE AND BUILDING SHALL BE SECURED AT ALL TIMES.

THE SITE AND BUILDING SHALL BE MAINTAINED CLEAN AND FREE OF DEBRIS, GARBAGE, ETC. AT ALL TIMES.

ALL WORKS SHALL BE INSTALLED WITH STRING/CHALK LINE OR LASER AND CONFIRMED BY SURVEY TO CONFIRM ALL WORKS ARE ALL INSTALLED STRAIGHT AND LEVEL.

NO SMOKING IN BUILDING OR ON PROPERTY AT ANY TIME.

REFER TO DRAWING G-1 FOR ADDITIONAL GENERAL NOTES & SPECIFICATIONS.

No.	Revision/Issue	Date

Drawing Title

**OVERALL SITE PLAN**

Project Name and Address

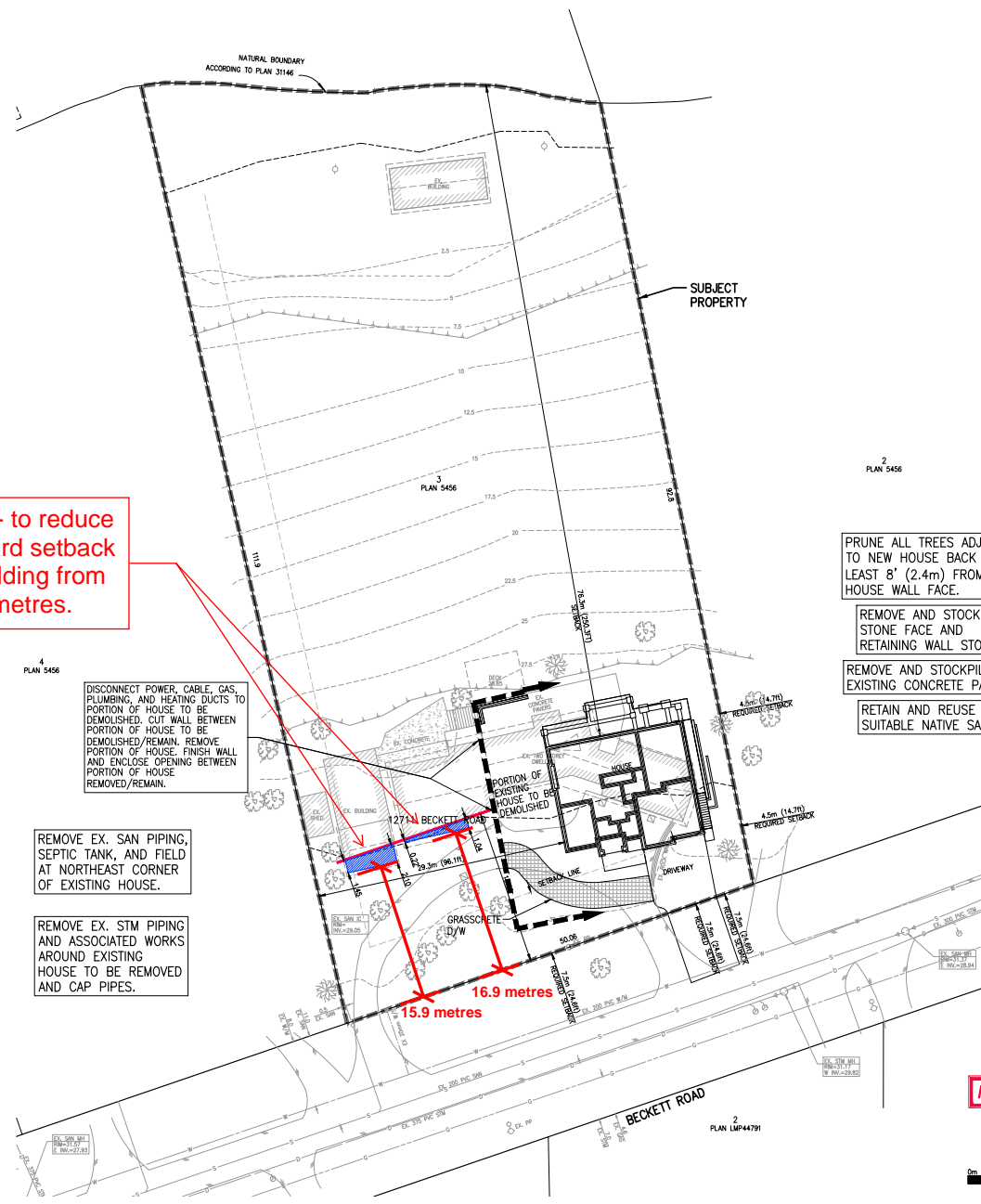
**FAMILY RESIDENCE**  
12711 BECKETT ROAD  
SURREY, B.C.

P.I.D.: 011-136-863  
LOT 3, SEC 19, Tp1,  
PL NWP 5456, NWD

Project 2017-150 Sheet

Date MAR 2018 A-1

Scale 1:250



Section F.1, Part 13 - to reduce the minimum front yard setback for an Accessory Building from 18.0 metres to 15.9 metres.

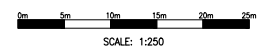
PRUNE ALL TREES ADJACENT TO NEW HOUSE BACK TO AT LEAST 8' (2.4m) FROM NEW HOUSE WALL FACE.

REMOVE AND STOCKPILE STONE FACE AND RETAINING WALL STONE.

REMOVE AND STOCKPILE EXISTING CONCRETE PAVERS.

RETAIN AND REUSE ALL SUITABLE NATIVE SAND.

**NOT FOR CONSTRUCTION**





NO SMOKING IN BUILDING OR ON PROPERTY AT ANY TIME.

General Notes

BENCHMARK: MONUMENT #5492  
CRESCENT ROAD & BECKETT ROAD  
GEODETIC ELEV. 26.711m(CVD286VRD)

ALL GROUND ELEVATIONS ARE IN METRIC. ALL OTHER DIMENSIONS ARE IMPERIAL.

ALL WORKS SHALL COMPLY WITH LATEST VERSION OF BRITISH COLUMBIA BUILDING CODE.

ANY DETAILS OR SPECIFICATIONS NOT NOTED ON DRAWINGS OR NOT PROVIDED BY B.C. BUILDING CODE SHALL COMPLY WITH CMHC CANADIAN WOOD FRAME HOUSE CONSTRUCTION MANUAL.

ALL DIMENSIONS TO BE TAKEN FROM EAST AND SOUTH PROPERTY LINES ONLY.

NO SUBSTITUTION WITHOUT WRITTEN APPROVAL FROM OWNER

PRIOR TO START OF ANY CONSTRUCTION, CONTRACTOR SHALL MEET WITH OWNER TO REVIEW ALL DRAWINGS, DETAILS AND SCOPE OF WORK.

ALL MATERIALS DELIVERED TO SITE SHALL BE PLACED ON DRY LEVEL SURFACE AND PROTECTED FROM THE WEATHER (SUN, RAIN, SNOW, ETC.).

THE SITE AND BUILDING SHALL BE SECURED AT ALL TIMES.

THE SITE AND BUILDING SHALL BE MAINTAINED CLEAN AND FREE OF DEBRIS, GARBAGE, ETC. AT ALL TIMES.

ALL WORKS SHALL BE INSTALLED WITH STRING/CHALK LINE OR LASER AND CONFIRMED BY SURVEY TO CONFIRM ALL WORKS ARE ALL INSTALLED STRAIGHT AND LEVEL.

NO SMOKING IN BUILDING OR ON PROPERTY AT ANY TIME.

REFER TO DRAWING G-1 FOR ADDITIONAL GENERAL NOTES & SPECIFICATIONS.

No.	Revision/Issue	Date

Drawing Title

**EXISTING SITE ELEVATIONS**

Project Name and Address

**FAMILY RESIDENCE**  
12711 BECKETT ROAD  
SURREY, B.C.

P.I.D.: 011-136-863  
LOT 3, SEC 19, Tp1,  
PL NWP 5456, NWD

Project 2017-150 Sheet

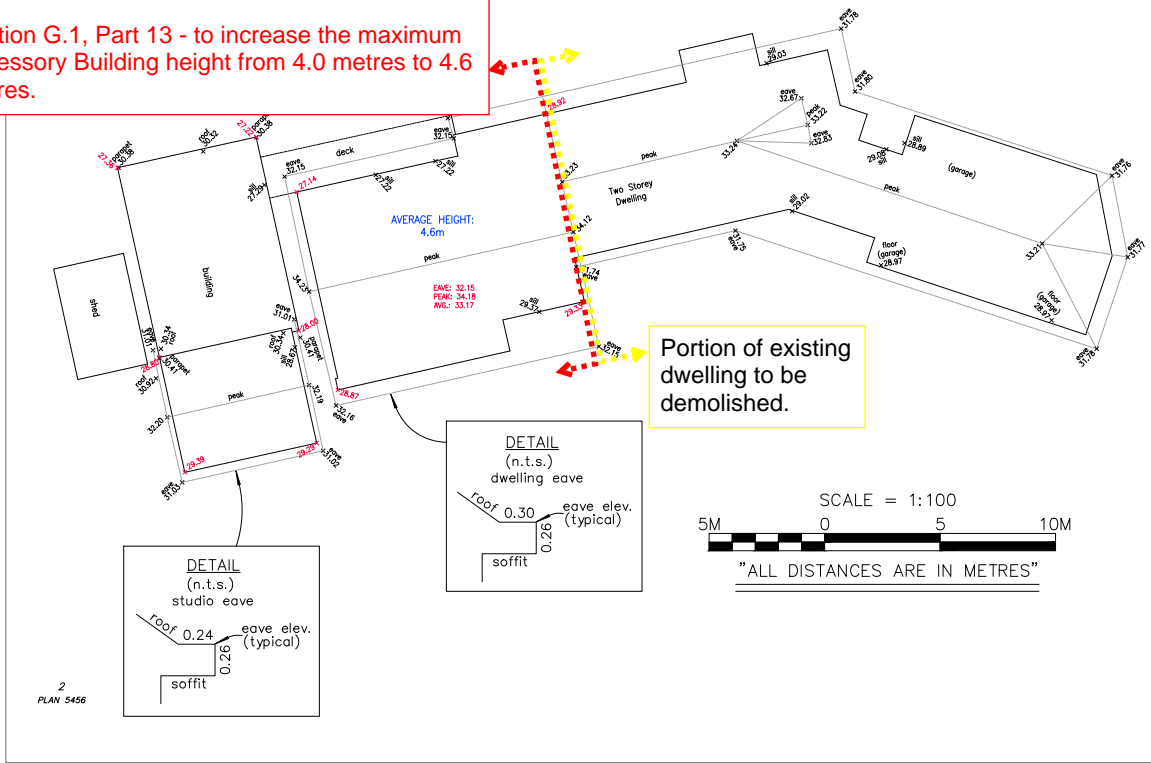
Date MAR 2018 DM-1

Scale 1:250

Portion of existing dwelling to be retained and varied as follows:

**Section G.1, Part 13 - to increase the maximum Accessory Building height from 4.0 metres to 4.6 metres.**

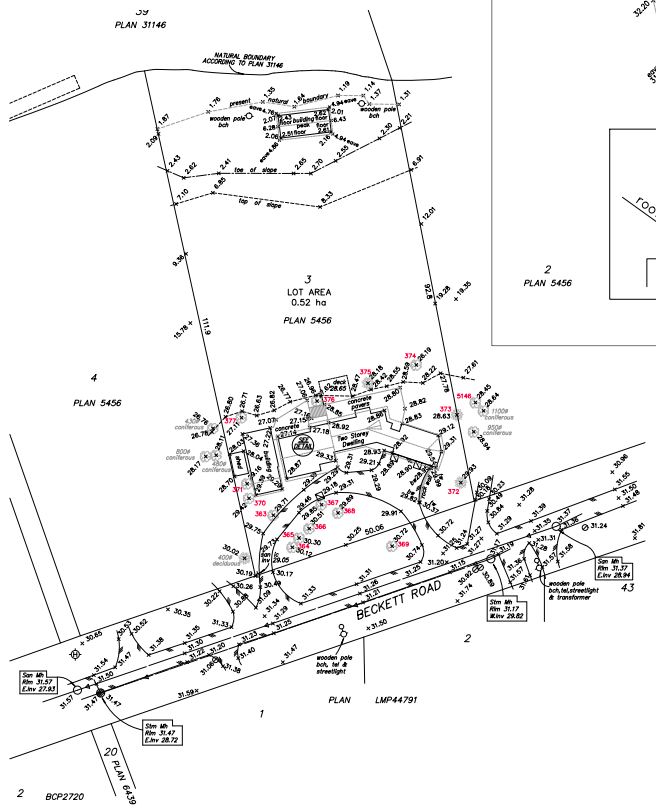
DETAIL



Portion of existing dwelling to be demolished.

SCALE = 1:200

ALL DISTANCES ARE IN METRES



**NOT FOR CONSTRUCTION**

CITY OF SURREY

(the "City")

**DEVELOPMENT VARIANCE PERMIT**

NO.: 7924-0139-01

Issued To:

(the Owner)

Address of Owner:

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
  
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 019-194-030  
LOT 4 SECTION 12 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN LMP22125  
838 164 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

---

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
- 

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - o to reduce the minimum lot depth of the "Urban Residential Zone (R3)" from 28 metres to 24.2 metres for Proposed lots 1 and 2.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

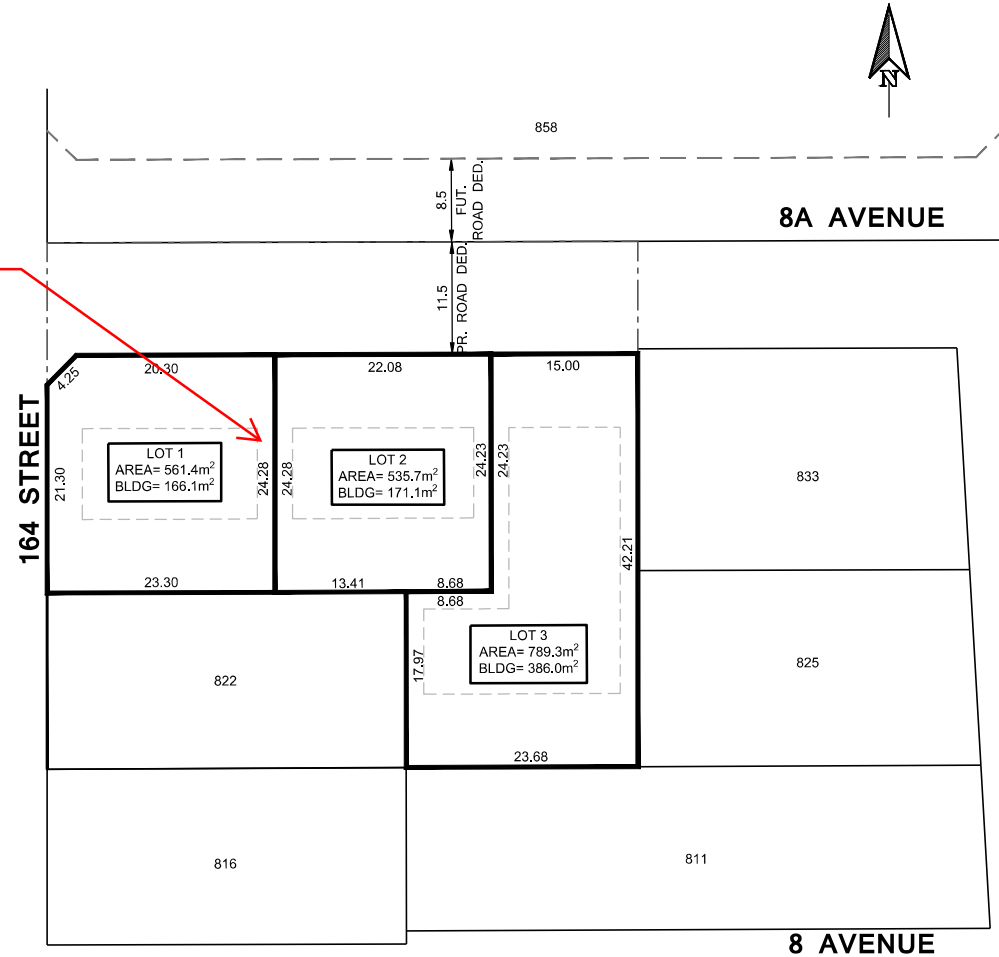
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Mayor – Brenda Locke

---

City Clerk and  
Director Legislative Services  
Jennifer Ficocelli

to reduce the minimum lot depth of the "Urban Residential Zone (R3)" from 28 metres to 24.2 metres for Proposed lots 1 and 2.



PLAN  
SCALE: 1:500

BENCHMARK	ELEVATIONS ARE DERIVED FROM CITY OF SURREY CONTROL MONUMENT No. 5760 ELEVATION = 36.213m DATUM CVD28GVRD2005. LOT DIMENSIONS AND CLEARANCES ACCORDING TO FIELD SURVEY			<p><b>TERRA NOBIS CONSULTING INC.</b> #203 - 15585 24 Avenue, Surrey, V4A 2J4 PHONE: 604.946.3007 EMAIL: INFO@TERRANOBIS.COM PERMIT TO PRACTICE #: 1000490</p>	CLIENT	PROJECT	SEAL	CITY OF SURREY		
	No.	DATE	REVISIONS / SUBMISSIONS						21063 7817-0523-00	NEW SUBDIVISION LAYOUT
LEGAL	LOT 4 SECTION 12 TOWNSHIP 1 PLAN LMP22125 NWD			<p>TEL: 604-716-8400 EMAIL: KANWALGHUMAN@HOTMAIL.COM</p>	SITE ADDRESS	838 164 STREET, SURREY		HOR. SCALE	DRAWING NUMBER	1 OF 1
	LOT 1 SECTION 12 TOWNSHIP 1 PLAN NWP88144 NWD							SURREY PROJECT NUMBER	SURREY DRAWING NUMBER	REV. 0
	26 APR 2024	ALTERNATIVE SUBDIVISION LAYOUT (822 164ST REMOVED)						DESTROY ALL PRINTS BEARING PREVIOUS REVISION NUMBER		

(the "City")

**DEVELOPMENT VARIANCE PERMIT**

NO.: 7924-0149-01

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 001-337-718  
LOT 267 SECTION 28 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 62527  
8081 138A Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - to vary the definition of finished grade in Part 1 Definitions of Zoning Bylaw 12000, as amended, to “the lowest ground elevation existing prior to construction, as established on a legal survey by a registered British Columbia Land Surveyor, such ground elevation to include fill materials place on the lot to raise the ground elevation up to, but not above, the average elevation of adjacent lots at the adjoining lot lines” based on the topographic survey dated February 15, 2022; and
  - to vary the rear yard setback of the “Urban Residential Zone (R3)” from 7.5 metres to 4.4 metres as measured to the rear yard deck and 6.2 metres as measured to the garage.
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
  
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
  
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

---

Mayor – Brenda Locke

---

City Clerk and  
Director Legislative Services  
Jennifer Ficocelli

**BRITISH COLUMBIA LAND SURVEYOR'S CERTIFICATE SHOWING EXISTING ELEVATIONS AND TREES ON LOT 267 SECTION 28 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 62527**

Schedule A

Current Civic Address:  
8081 138A Street  
Surrey, B.C.  
PID: 001-337-718  
SCALE : 1:250

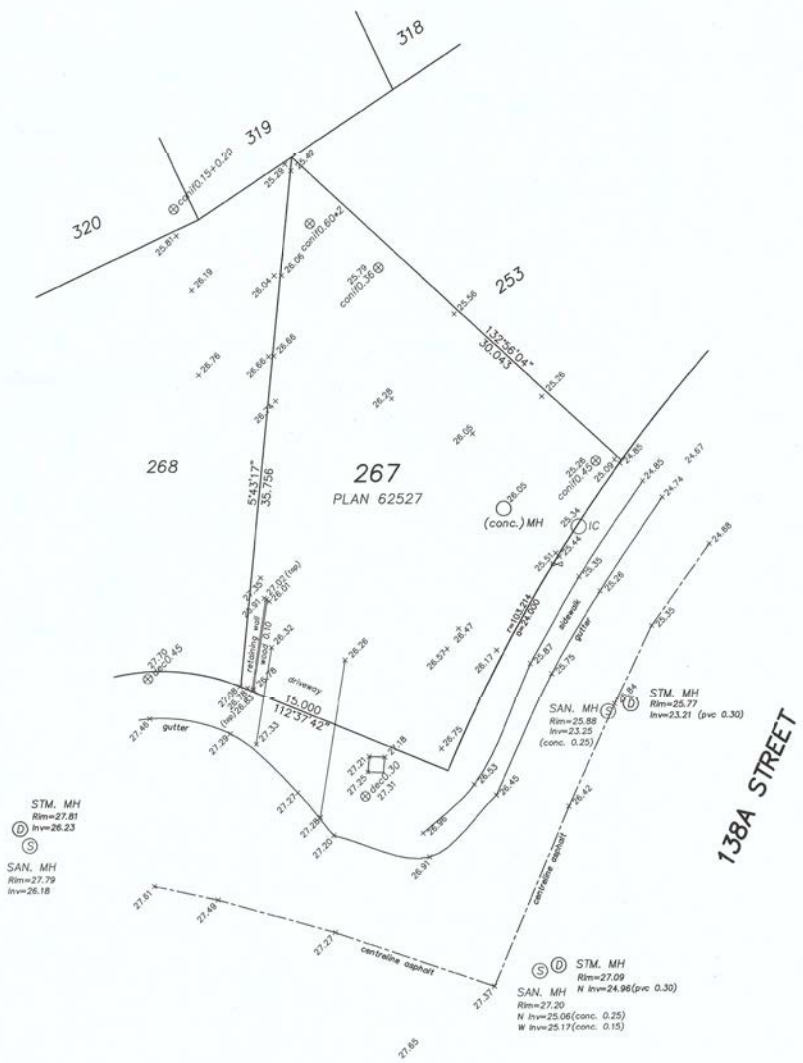
to vary the definition of finished grade in Part 1 Definitions of Zoning Bylaw 12000, as amended, to "the lowest ground elevation existing prior to construction, as established on a legal survey by a registered British Columbia Land Surveyor, such ground elevation to include fill materials place on the lot to raise the ground elevation up to, but not above, the average elevation of adjacent lots at the adjoining lot lines" based on the topographic survey dated February 15, 2022



**GENERAL NOTES:**

- All dimensions are in metres.
- This plan is NOT to be used for location of property lines.
- Elevations are based on City of Surrey Geodetic datum, monument 5219 elev.= 21.718m (CVD28GVRD 2018).
- On the subject lot, only trees with a diameter of at least 0.20m are shown
- This plan does not show non-plan charges, liens or interests.
- property dimensions are derived from Land Title Office records

© COPYRIGHT  
DHALIWAL AND ASSOCIATES  
LAND SURVEYING INC.  
#216 12899-76th Avenue  
Surrey, B.C. V3W 1E6  
phone: (604) 501-6188  
email: info@dhalawalssurvey.com  
File: 2201120-103  
Drawn by: GK



- LEGEND**
- ...denotes bc hydro
  - IC ○ ...denotes inspection chamber
  - MH ○ ...denotes manhole
  - SAN. MH ⊙ ...denotes sanitary manhole
  - STM. MH ⊕ ...denotes storm manhole
  - WM ⊖ ...denotes water meter
  - ⊗ ...denotes tree
  - ⊕ X ...denotes spot elevation

SAN. MH ⊙ STM. MH  
Rim=23.74 Rim=23.71

- This plan was prepared for design purposes and is for the exclusive use of our client. DHALIWAL AND ASSOCIATES LAND SURVEYING inc. and the signatory accept no responsibility for and hereby disclaim all obligations and liabilities for damages caused by the direct or indirect use or reliance upon the Plan beyond its intended use.

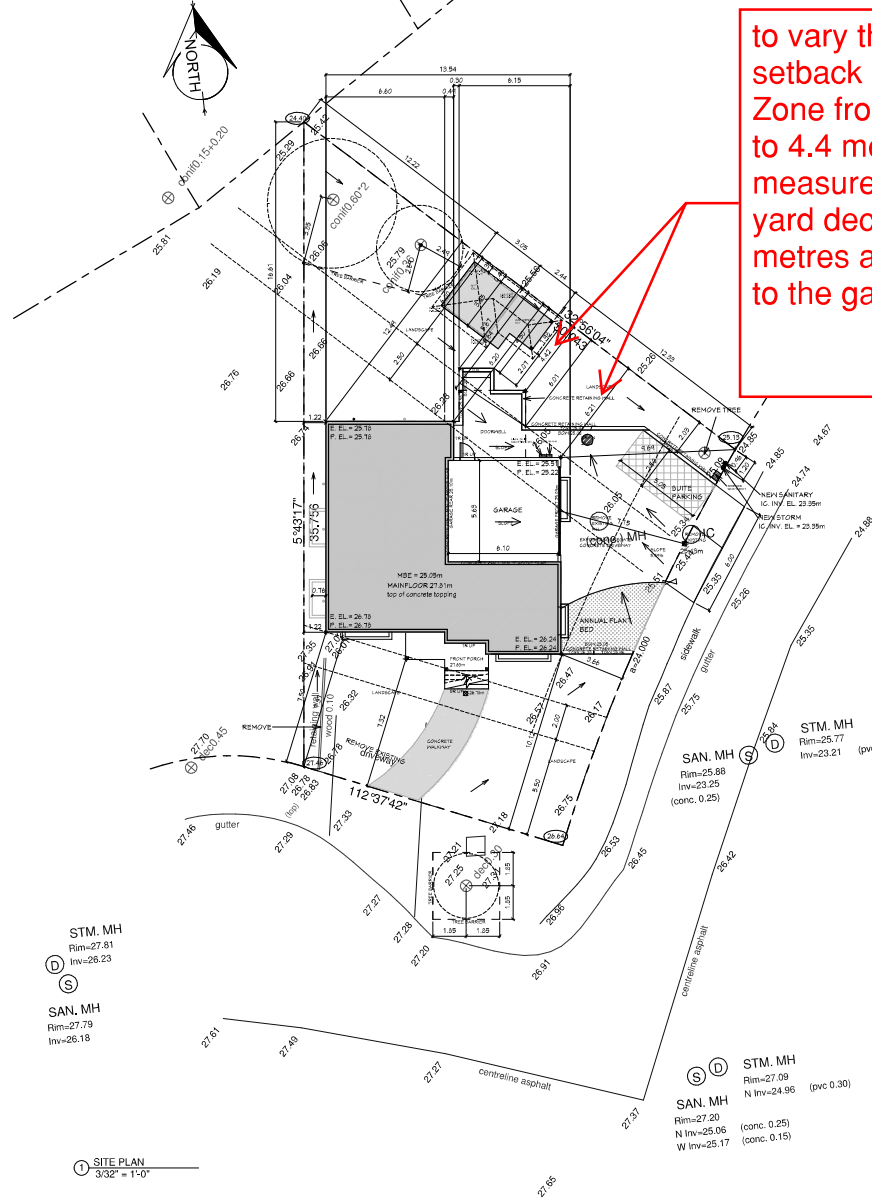
REVISED:  
15th DAY OF FEBRUARY 2022.  
DATE OF SURVEY:  
25th DAY OF JANUARY 2022.

BRITISH COLUMBIA LAND SURVEYOR  
Mark J. Dailey  
J. Dailey  
MARK J.R. DAILEY B.C.L.S. #67

# Schedule A

## GENERAL NOTES:

- THE DESIGNER MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS AND/OR OMISSIONS WHICH MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION. SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS, IT IS INCUMBENT ON YOU TO ADVISE OUR OFFICE AS SOON AS POSSIBLE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS IF NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT DISPUTES FROM RECOGNIZING.
- ALL FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOILS AND BELOW THE FROST LINE. FOUNDATIONS WALL HEIGHTS AND THICKNESSES AS WELL AS FOOTING SEES MAY NEED TO BE ADJUSTED AND/OR REINFORCED DUE TO SITE CONDITIONS. ANY ENGINEERING SERVICES REQUIRED ARE THE RESPONSIBILITIES OF THE OWNER OR BUILDER.
- APPROVED SMOKE ALARMS AND PHOTO ELECTRIC TO BE INSTALLED AS PER BCBC CODE.
- BUILDER TO CHECK SLOPE LOAD REQUIREMENTS FOR THEIR LOCAL AREA AND MAKE ANY NECESSARY ADJUSTMENTS PRIOR TO PROCEEDINGS WITH CONSTRUCTION.
- CARBON MONOXIDE ALARMS SHALL CONFORM TO CSA 6.19, 'RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES'.
- DAMP-PROOFING OF 6 MIL POLYETHYLENE WITH SEAMS LAPPED AND TAPED, OVER A 4" OF GRANULAR FILL SHALL BE LAD UNDER CONCRETE SLABS. A FLEXIBLE SEALANT SHALL BE PLACED WHERE THE SLAB AND FOUNDATION WALL MEET.
- DIMENSIONS TAKE PRECEDENCE TO SCALE.
- DRAINAGE AROUND FOUNDATION TO CONSISTING OF 4" DIAMETER PIPED COVERED WITH A MINIMUM OF 6" CRUSHED STONE SHALL BE PLACED AROUND THE PERIMETER OF THE BUILDING.
- ENSURE THAT WINDOWS IN BEDROOMS HAVE A MINIMUM AREA OF .35m<sup>2</sup> (3.75FT<sup>2</sup>) WITH AN UNOBSTRUCTED HEIGHT AND WIDTH OF 300mm (15"). THE WINDOW OPENING SHALL BE A MAXIMUM OF 1.5m (5') ABOVE THE FLOOR.
- EXTERIOR DIMENSIONS ARE TO THE FACE OF SHEATHING.
- EXTERIOR WALLS ARE DRAWN AT 5" STUDS AND 1/2" PLYWOOD OR OSB SHEATHING OR AS STRUCTURAL ENGINEER SPECS.
- FOUNDATION WALLS TO HAVE 1 1/2" R-12 RIGID INSULATION TO MIN. 24" BELOW GRADE. ATTIC SPACES TO HAVE MIN. R-40 ROOF JOISTS AND CANTILEVERED FLOORS MIN. R-28. EXTERIOR 2X6 WALLS MIN. R-22. INTERIOR BASEMENT 2X4 WALLS MIN. R-14 IF REQUIRED.
- LIGHTING AND ELECTRICAL LOADS TO BE SPECIFIED BY THE OWNER OR BUILDER AND MUST MEET WITH 2018 BCBC REQUIREMENTS.
- PLANS ARE BASED ON THE USE OF 42 OR BETTER SPF, UNLESS OTHERWISE STATED. LAMINATED BEAMS WILL REQUIRE AN ENGINEERS CERTIFICATION. THIS IS THE RESPONSIBILITY OF THE OWNER OR BUILDER.
- REFER TO ENGINEERED FLOOR JOIST AND ROOF TRUSS LAYOUT TO CONFIRM BEAM, POSTS AND PAD FOOTING LOCATION AND SIZES. ENSURE PROPER BEARINGS IS PROVIDED FOR ALL BEAMS.
- ROOF SPACES SHALL BE VENTED WITH ROOF, EAVE AND/OR GABLE END TYPE VENTS OR 1:300 OF THE INSULATED AREA.
- SITING OF THE HOME IS THE RESPONSIBILITY OF THE BUILDER IN CONJUNCTION WITH THE HOMEOWNER.
- THE DRAWINGS HAVE BEEN PREPARED TO CONFORM TO THE 2018 EDITION OF THE BRITISH COLUMBIA BUILDING CODE. THE BUILDER IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION CONFORMS TO THE BCBC AND LOCAL BUILDING CODES AND BYLAWS. ALL CONSTRUCTION AND INSTALLATION OF MATERIALS SHALL BE DONE IN ACCORDANCE WITH GOOD BUILDING PRACTICES AND MANUFACTURING INSTRUCTIONS. LOCAL BUILDING DEPARTMENTS MAY REQUIRE CERTIFICATION FROM A STRUCTURAL ENGINEER FOR PART OR ALL OF THE STRUCTURE. ANY ENGINEERING FEES ARE THE RESPONSIBILITIES OF THE OWNER OR BUILDER.
- THE INSTALLATION OF ALL PLUMBING, HVAC AND ELECTRICAL EQUIPMENT AND MATERIALS SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND THE APPLICABLE SECTIONS OF THE 2018 BCBC.
- THE SITING OF THE HOME MUST BE IN COMPLIANCE WITH CITY BYLAWS. BEFORE COMMENCEMENT OF CONSTRUCTION, ENSURE THAT THE SITE PLAN HAS BEEN APPROVED BY THE CITY OFFICIALS.
- VANITY SIZES ARE FOR REFERENCE ONLY. REFER TO APPROVED HITCHEN LAYOUT FOR CABINET SEES.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OF USE OF EQUIPMENT, SHALL BE ALLOWED TO EXCEED THE DESIGN LOADINGS.
- CONFIRM ALL DIMENSIONS ON SITE PRIOR TO BEGINNING OF ANY CONSTRUCTION. ANY DEFICIENCY MUST BE REPORTED TO THE DESIGNER IN WRITTEN OR BY EMAIL, AND SHALL BE CORRECTED BEFORE COMMENCING ANY CONSTRUCTION.
- EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHERSTRIPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING.
- GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS AND HOUSE SITING MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
- ROOF VENTING SHALL BE IN ACCORDANCE WITH 2018 BCBC.
- PROVIDE BAFFLE FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
- THE FACE OF SHEATHED EXTERIOR WALLS SHALL BE FLUSH WITH FOUNDATION WALLS.
- WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH SILL GASKET OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE FOUNDATION WITH ANCHOR BOLTS AS SPECIFIED BY STRUCTURAL ENGINEER.
- THE BUILDER OR CONTRACTOR RESPONSIBLE FOR HIRING STRUCTURAL ENGINEER OR GEOTECHNICAL ENGINEER FOR STRUCTURAL DESIGNS.
- NOTE TO BUILDER OR CONTRACTOR DOORS AND WINDOW SIZES GIVEN ON ARCHITECTURAL PLANS READ, (EXAMPLE DOOR SIZE 2068 MEANS 26" x 69" TYPICAL AND WINDOWS 3018 MEANS 30" x 41" TYPICAL).
- SOLE RESPONSIBILITY OF OWNER/BUILDER/CONTRACTOR/DEVELOPER TO PROVIDE SINGH DRAFTING AND HOME PLANS LTD, WITH STORM SANITARY I/C INV. ELEVATION AND LOCATION.
- OWNER/BUILDER TO VERIFY STORM I/C SANITARY I/C ELEVATION AND LOCATION WITH CIVIL ENGINEER.
- THE CONTRACTOR SHALL CHECK ALL EXISTING GRADES AND LOCATIONS OF CITY SERVICES PRIOR TO CONSTRUCTION.
- FIRE PROTECTION SHALL CONFORM TO THE BCBC 2018 EDITION.
- ALL STAIRS, HANDRAILS AND GUARDRAILS SHALL COMPLY WITH THE BCBC 2018 EDITION.
- STRUCTURAL CONCRETE TO DEVELOP 20 MPa COMPRESSIVE STRENGTH WITH 28 DAYS EXCEPT CONCRETE USED FOR GARAGE AND EXTERIOR STAIRS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 38 MPa AT 28 DAYS.
- ALL EXTERIOR CONCRETE SLABS SHALL HAVE AIR-ENTRAINMENT.
- BEAMS SHALL HAVE EVEN AND LEVEL BEARINGS AND SHALL HAVE NOT LESS THAN 3" LENGTH OF BEARING AT END SUPPORTS.
- INDIVIDUAL MEMBERS OF A BUILT UP BEAM SHALL BE NAILED TOGETHER WITH A DOUBLE ROW OF NAILS, NOT LESS THAN 3" IN LENGTH. SPACED NOT MORE THAN 18" APART IN EACH ROW WITH THE END NAILS LOCATED 4" TO 6" FROM THE END OF EACH PIECE.
- FLOOR JOISTS SHALL HAVE BRIDGING ROWS @ 7' MAX O.C. OR U.N.O.
- ALL LOAD BEARING INTERIOR AND EXTERIOR LINTELS SHALL BE 2-x10 U.N.O.
- THE WIDTH OR DIAMETER OF A WOOD COLUMN SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTED MEMBER.
- FLOOR AREA FINISHED WITH CERAMIC TILES TO HAVE MIN. 1/4" PARTICLE BOARD APPLIED OVER SUBFLOOR.
- PROPOSED GAS LINE, HYDRO POWER POLE AND WATER METER LOCATIONS ARE AN ESTIMATE BY DESIGNER. BUILDER/OWNER TO VERIFY PRIOR TO CONSTRUCTION.



SAN. MH (S) (D) STM. MH  
Rim=23.74 Rim=23.71

**MANPRIT TOOR**  
8081 138a st, SURREY

ZONE: RF-G  
LOT 267 SECTION 28 TOWNSHIP  
2 PLAN N1N62527  
N1N4 PART 5/4 1/4  
PID: 001-337-116  
LOT AREA = 596.25m<sup>2</sup> (6410 sf)

**FAR:**  
ALLOWABLE F.A.R = 2800 sf  
PROPOSED F.A.R = 2149 sf

**SITE COVERAGE:**  
ALLOWABLE = 2800 sf  
PROPOSED = 2035 sf

**ELEVATIONS IN METERS:**  
ROOF RIDGE = 35.74  
MEAN HEIGHT = 34.42  
ROOFLINE = 34.05  
UPPER FLOOR = 27.81  
MAIN FLOOR = 27.81  
AVERAGE GRADE = 26.44  
GARAGE SLAB = 25.05  
BSMT = 25.05  
MBE = 25.05  
BSMT IN GROUND = 50%

STM. MH  
Rim=27.81  
Inv=28.23

SAN. MH  
Rim=27.79  
Inv=26.18

STM. MH  
Rim=25.77  
Inv=23.21 (gvc 0.30)

STM. MH  
Rim=27.09  
N Inv=24.96 (gvc 0.30)

SAN. MH  
Rim=27.20  
N Inv=25.06 (conc. 0.25)  
W Inv=25.17 (conc. 0.15)

① SITE PLAN  
3:32" = 1'-0"

THESE PLANS ARE IN COMPLIANCE WITH THE 2018 BCBC

**SINGH DRAFTING AND HOME PLANS LTD.**  
1-417-277-774 AVE. SURREY, BC V3W2X3 (604)379-6000 SINGHDRAFTING@HOTMAIL.COM

SCALE: 3/32" = 1'-0"  
DATE: May 24 / 2024  
DRAWN BY: DS

SHEET TITLE: SITE PLAN / PROJECT INFO  
PROJECT: [REDACTED]

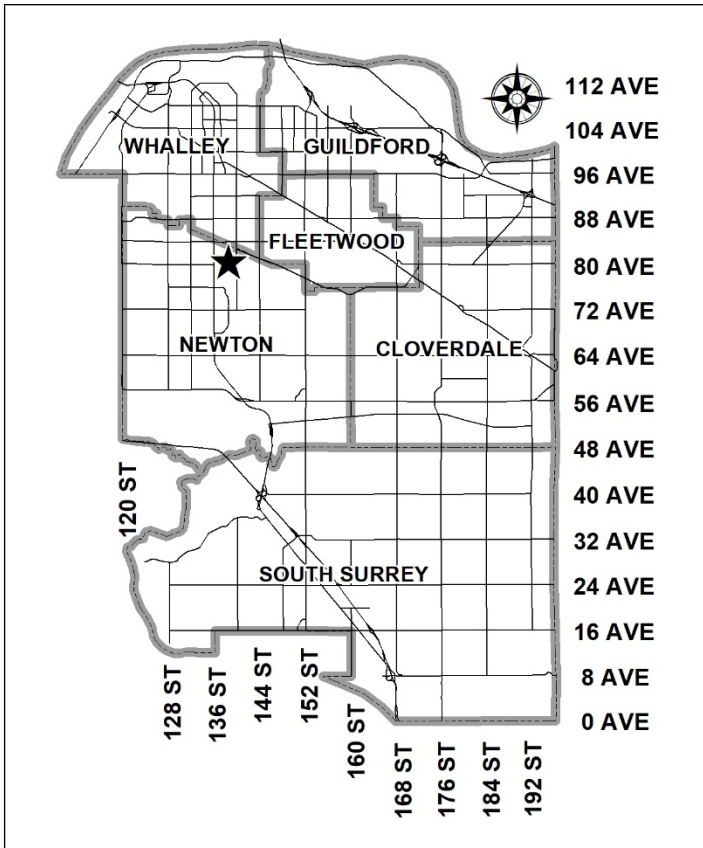
①



City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application No.: 7924-0149-00

Planning Report Date: July 8, 2024



**PROPOSAL:**

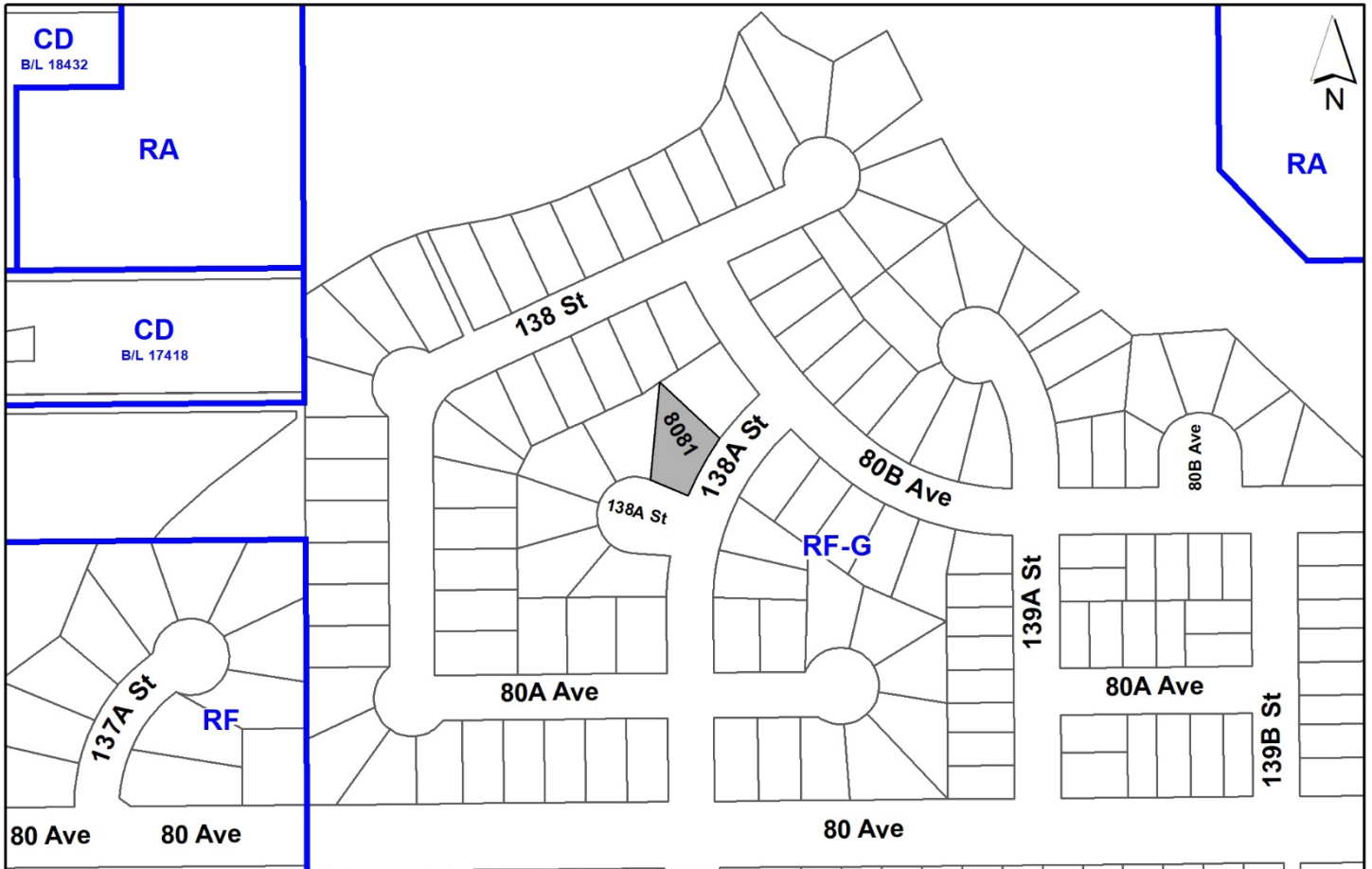
- **Development Variance Permit**

to vary the definition of finished grade in the Zoning Bylaw to accommodate construction of a new single family dwelling on the lot.

**LOCATION:** 8081 138A Street

**ZONING:** RF-G

**OCP DESIGNATION:** Urban



## RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary the definition of finished grade in the Zoning Bylaw to permit the use of a revised lot grading plan, rather than the historic lot grading plan approved by the City at the time of subdivision when the lot was created.
- Proposed to reduce the minimum rear yard setback from 7.5 metres to 5.6 metres to permit a rectangular deck.

## RATIONALE OF RECOMMENDATION

- The applicant has applied for a building permit in order to build a new single family dwelling with a basement on the lot.
- Upon review, staff noted that the historic lot grading plan (Appendix II) precludes the applicant from achieving an in-ground basement for the new dwelling.
- Under the Zoning Bylaw, a single family dwelling in-ground basement must be at or below 50% below finished grade in volume.
- In cases where a lot grading plan was registered through the original subdivision, the Zoning Bylaw determines that the finished grade is measured according to the original grading plan. This is intended to ensure that individual properties develop consistently with the overall grading plan for the subdivision.
- Based on a topographic survey, the grades on the site are slightly higher than those identified under the original lot grading plan. Other parcels under the original subdivision also appear to be at a higher elevation. Use of the original lot grading plan to determine finished grade would preclude the applicant from being able to achieve an in-ground basement.
- The subject variance is proposed to permit use of a topographic survey to identify the finished grade, such that a basement may be permitted for a new single family dwelling.
- The applicant also proposes a variance to reduce the rear yard setback from 7.5 metres to 4.4 metres as measured to the rear yard deck and 6.2 metres as measured to the garage. The proposed variance is intended to address the irregular trapezoidal shape of the lot, which has a deep west lot line (35.75 metres) and shallow east lot line (24 metres).

## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7924-0149-00 (Appendix IV) varying the following, to proceed to Public Notification:
  - (a) to vary the definition of finished grade in Part 1 Definitions of Zoning Bylaw 12000, as amended, to “the lowest ground elevation existing prior to construction, as established on a legal survey by a registered British Columbia Land Surveyor, such ground elevation to include fill materials place on the lot to raise the ground elevation up to, but not above, the average elevation of adjacent lots at the adjoining lot lines” based on the topographic survey dated February 15, 2022; and
  - (b) to vary the rear yard setback of the “Single Family Residential Zone (RF)” from 7.5 metres to 4.4 metres as measured to the rear yard deck and 6.2 metres as measured to the garage.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Single family dwelling	Urban	RF-G
North (Abutting):	Single family dwelling	Urban	RF-G
East (Across 138A Street):	Single family dwelling	Urban	RF-G
South (Across 138A Street):	Single family dwelling	Urban	RF-G
West (Abutting):	Single family dwelling	Urban	RF-G

### Context & Background

- The subject site, located at municipal address 8081 138A Street, is a parcel of 596 square metres in area. The property is zoned “Single Family Residential (Gross)designated Urban under the “Official Community Plan” (OCP) and was originally subdivided in 1981.
- The lot sits on the north-side of a cul-de-sac bulb abutting 138A Street. The lot is irregular in shape, having the orientation of an obtuse trapezoid, with a deeper west lot line of 35.75 metres and shallower east lot line of 24 metres.
- The parcel and surrounding properties were previously regulated by and developed under Land Use Contract 537.

- A lot grading plan prepared by R.W. Triffo Engineering Ltd. and dated May 1980 was accepted under the original subdivision. For the subject site, the plan identified spot grades of 24.4 on the northwest corner, 25.1 on the northeast corner, 27.4 on the southwest corner, and 26.5 on the southeast corner. Interpolating these grades would result in a finished grade of 25.8.
- The owners of the subject site recently applied for a building permit to build a new single family dwelling with a basement on the property. This application included a topographic survey prepared by Dhaliwal and Associates and with a dated signature of February 15, 2022.
- The topographic survey indicates spot grades of 25.42 on the northwest corner, 25.09 on the northeast corner, 27.08 on the southwest corner and 26.75 on the southeast corner. This indicates that there are discrepancies between the current state of the site and what is shown in the historic lot grading plan.
- The applicant has prepared building plans (Appendix I) indicating that a basement is achievable using existing grades on the site per the topographic survey.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant is seeking to vary the definition of finished grade in the Zoning Bylaw to permit the use of a proposed revised lot grading plan, rather than the lot grading plan that was approved by the City at the time of subdivision when the lot was created, for the purposes of establishing the finished grade on the subject lot.
- Under the Zoning Bylaw, a “Basement” is defined as “that portion of a *building* between two habitable floor levels which is partially or wholly underground with at-least one-half of the volume of the said portion below the *finished grade* [...]”.
- “Finished Grade” is defined as “the rough grading elevation as identified on a *lot* grading plan, where such a plan has been approved by the *City* at the time of subdivision when the *lot* was created.”
- Under these definitions, the grading figures registered at the time of subdivision may determine whether a basement is achievable on a lot. This is notwithstanding whether the proposed finished grade under a new building permit application conforms with drainage and interface requirements, or if the elevation of a site as found under survey is inconsistent with the original grading plan for historic reasons. Currently, there is no mechanism to supplant the original grading plan without a new subdivision application.
- The applicant also seeks to vary the “Single Family Residential Gross Density Zone (RF-G)” by reducing the rear yard setback from 7.5 metres to 4.4 metres.
- This variance would permit a rectangular rear yard deck, parallel to the house. The front and rear of the building are almost parallel with the cardinal north and south directions. The property’s north lot line is at an acute angle and pinches the rear yard southwards from west to east.

## Referrals

Engineering: The Engineering Department has no comments on the project as it does not impact infrastructure.

## POLICY & BY-LAW CONSIDERATIONS

### Zoning By-law

#### Lot Grading Variance

- The applicant is requesting the following variances:
  - to vary the definition of finished grade in Part 1 Definitions of Zoning Bylaw 12000, as amended, to “the lowest ground elevation existing prior to construction, as established on a legal survey by a registered British Columbia Land Surveyor, such ground elevation to include fill materials place on the lot to raise the ground elevation up to, but not above, the average elevation of adjacent lots at the adjoining lot lines” based on the topographic survey dated February 15, 2022; and
  - to vary the rear yard setback of the “Single Family Residential Zone (RF)” from 7.5 metres to 4.4 metres as measured to the rear yard deck and 6.2 metres as measured to the garage.
- When a lot grading plan was registered through a subdivision, there is no mechanism to permit use of a new grading plan that is otherwise acceptable in-terms of servicing and neighbourhood interface impacts.
- The proponent’s building permit plans indicate that a basement can be achieved through use of the existing finished grades on the site without import of new fill.
- The lot is irregular in-shape, with a rear lot line that pinches southwards from west to east. The proposed setback reduction is for a portion of the dwelling most impacted by this irregularity.
- Staff support the requested variances to proceed for consideration.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

- Appendix I. Site Plan
- Appendix II. Original Lot Grading Plans (1980)
- Appendix III. Topographic Survey (2022)
- Appendix IV. Development Variance Permit 7924-0149-00

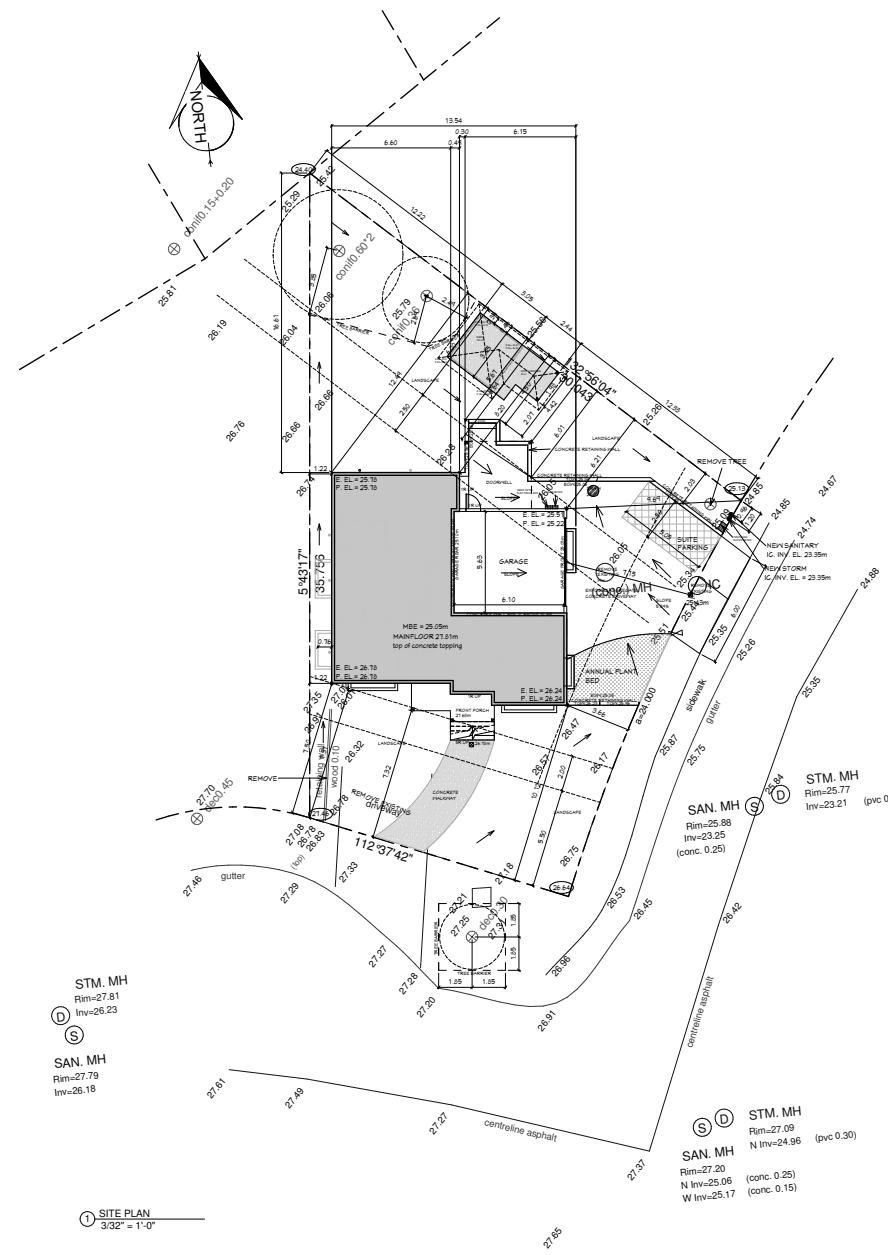
*approved by Shawn Low*

Don Luymes  
General Manager  
Planning and Development

JK/ar

GENERAL NOTES:

- THE DESIGNER MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS AND/OR OMISSIONS WHICH MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION. SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS, IT IS INCUMBENT ON YOU TO ADVISE OUR OFFICE AS SOON AS POSSIBLE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS IF NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT ERRORS FROM REOCCURRING.
- ALL FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOILS AND BELOW THE FROST LINE. FOUNDATIONS WALL HEIGHTS AND THICKNESSES AS WELL AS FOOTING SIZES MAY NEED TO BE ADJUSTED AND/OR REINFORCED DUE TO SITE CONDITIONS. ANY ENGINEERING SERVICES REQUIRED ARE THE RESPONSIBILITIES OF THE OWNER OR BUILDER.
- APPROVED SMOKE ALARMS AND PHOTO ELECTRIC TO BE INSTALLED AS PER CBC CODE.
- BUILDER TO CHECK SNOW LOADS REQUIREMENTS FOR THEIR LOCAL AREA AND MAKE ANY NECESSARY ADJUSTMENTS PRIOR TO PROCEEDINGS WITH CONSTRUCTION.
- CARBON MONOXIDE ALARMS SHALL CONFORM TO CSA 6.19, "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES".
- DAMP-PROOFING OF 6 MIL POLYETHYLENE, WITH SEAMS LAPPED AND TAPED, OVER 4" OF GRANULAR FILL SHALL BE LAID UNDER CONCRETE SLABS. A FLEXIBLE SEALANT SHALL BE PLACED WHERE THE SLAB AND FOUNDATION WALL MEET.
- DIMENSIONS TAKE PRECEDENCE TO SCALE.
- DRAINAGE AROUND FOUNDATION TO CONSISTING OF 4" DIAMETER PIPED COVERED WITH A MINIMUM OF 6" CRUSHED STONE SHALL BE PLACED AROUND THE PERIMETER OF THE BUILDING.
- ENSURE THAT WINDOWS IN BEDROOMS HAVE A MINIMUM AREA OF .35m<sup>2</sup> (3.75FT<sup>2</sup>) WITH AN UNOBSTRUCTED HEIGHT AND WIDTH OF 380mm(15"). THE WINDOW OPENING SHALL BE A MAXIMUM OF 1.5m(5') ABOVE THE FLOOR.
- EXTERIOR DIMENSIONS ARE TO THE FACE OF SHEATHING.
- EXTERIOR WALLS ARE DRAWN AT 5" STUDS AND 1/2" PLYWOOD OR OSB SHEATHING OR AS STRUCTURAL ENGINEER SPECS.
- FOUNDATION WALLS TO HAVE 1 1/2" R-12 RIGID INSULATION TO MIN. 24" BELOW GRADE. ATTIC SPACES TO HAVE MIN. R-44. ROOF JOISTS AND CANTILEVERED FLOORS MIN. R-28. EXTERIOR 2X4 WALLS MIN. R-22. INTERIOR BASEMENT 2X4 WALLS MIN. R-14 IF REQUIRED.
- LIGHTING AND ELECTRICAL LAYOUTS TO BE SPECIFIED BY THE OWNER OR BUILDER AND MUST MEET WITH 2018 CBC REQUIREMENTS.
- PLANS ARE BASED ON THE USE OF #2 OR BETTER SPF, UNLESS OTHERWISE STATED. LAMINATED BEAMS WILL REQUIRE AN ENGINEERS CERTIFICATION. THIS IS THE RESPONSIBILITY OF THE OWNER OR BUILDER.
- REFER TO ENGINEERED FLOOR JOIST AND ROOF TRUSS LAYOUT TO CONFIRM BEAM, POSTS AND PAD FOOTING LOCATION AND SIZES. ENSURE PROPER BEARING IS PROVIDED FOR ALL BEAMS.
- ROOF SPACES SHALL BE VENTED WITH ROOF, EAVER AND/OR GABLE END TYPE VENTS OR 1:300 OF THE INSULATED AREA.
- SITING OF THE HOME IS THE RESPONSIBILITY OF THE BUILDER IN CONJUNCTION WITH THE HOMEOWNER.
- THE DRAWINGS HAVE BEEN PREPARED TO CONFORM TO THE 2018 EDITION OF THE BRITISH COLUMBIA BUILDING CODE. THE BUILDER IS RESPONSIBLE FOR VERIFYING THAT ALL CONSTRUCTION CONFORMS TO THE CBCS AND LOCAL BUILDING CODES AND BYLAWS. ALL CONSTRUCTION AND INSTALLATION OF MATERIALS SHALL BE DONE IN ACCORDANCE WITH GOOD BUILDING PRACTICES AND MANUFACTURING INSTRUCTIONS. LOCAL BUILDING DEPARTMENTS MAY REQUIRE CERTIFICATION FROM A STRUCTURAL ENGINEER FOR PART OR ALL OF THE STRUCTURE. ANY ENGINEERING FEES ARE THE RESPONSIBILITIES OF THE OWNER OR BUILDER.
- THE INSTALLATION OF ALL PLUMBING, HVAC AND ELECTRICAL EQUIPMENT AND MATERIALS SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND THE APPLICABLE SECTIONS OF THE 2018 CBC.
- THE SITING OF THE HOME MUST BE IN COMPLIANCE WITH CITY BYLAWS. BEFORE COMMENCEMENT OF CONSTRUCTION, ENSURE THAT THE SITE PLAN HAS BEEN APPROVED BY THE CITY OFFICIALS.
- VANITY SIZES ARE FOR REFERENCE ONLY. REFER TO APPROVED KITCHEN LAYOUT FOR CABINET SIZES.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OF USE OF EQUIPMENT, SHALL BE ALLOWED TO EXCEED THE DESIGN LOADINGS.
- CONFIRM ALL DIMENSIONS ON SITE PRIOR TO BEGINNING OF ANY CONSTRUCTION. ANY DEFICIENCY MUST BE REPORTED TO THE DESIGNER IN WRITTEN OR BY EMAIL AND SHALL BE CORRECTED BEFORE COMMENCING ANY CONSTRUCTION.
- EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHERSTRIPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING.
- GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS AND HOUSE SITTING MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
- ROOF VENTING SHALL BE IN ACCORDANCE WITH 2018 CBC.
- PROVIDE BAFFLE FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
- THE FACE OF SHEATHED EXTERIOR WALLS SHALL BE FLUSH WITH FOUNDATION WALLS.
- WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH SILL GASKET OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE FOUNDATION WITH ANCHOR BOLTS AS SPECIFIED BY STRUCTURAL ENGINEER.
- THE BUILDER OR CONTRACTOR RESPONSIBLE FOR HIRING STRUCTURAL ENGINEER OR GEOTECHNICAL ENGINEER FOR STRUCTURAL DESIGNS.
- NOTE TO BUILDER OR CONTRACTOR DOORS AND WINDOW SIZES GIVEN ON ARCHITECTURAL PLANS READ (EXAMPLE DOOR SIZE 2068 MEANS 20" x 68" TYPICAL AND WINDOWS 3016 MEANS 30" x 16" TYPICAL).
- SOLE RESPONSIBILITY OF OWNER/BUILDER/CONTRACTOR/DEVELOPER TO PROVIDE SINGH DRAFTING AND HOME PLANS LTD. WITH STORM/ SANITARY IC INV. ELEVATION AND LOCATION.
- OWNER/BUILDER TO VERIFY STORM IC/SANITARY IC ELEVATION AND LOCATION WITH CIVIL ENGINEER.
- THE CONTRACTOR SHALL CHECK ALL EXISTING GRADES AND LOCATIONS OF CITY SERVICES PRIOR TO CONSTRUCTION.
- FIRE PROTECTION SHALL CONFORM TO THE CBC 2018 EDITION.
- ALL STAIRS, HANDRAILS AND GUARDRAILS SHALL COMPLY WITH THE CBC 2018 EDITION.
- STRUCTURAL CONCRETE TO DEVELOP 20 MPa COMPRESSIVE STRENGTH WITH 28 DAYS EXCEPT CONCRETE USED FOR GARAGE AND EXTERIOR STAIRS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 30 MPa AT 28 DAYS.
- ALL EXTERIOR CONCRETE SLABS SHALL HAVE AN ENTRAINMENT.
- BEAMS SHALL HAVE EVEN AND LEVEL BEARING AND SHALL HAVE NOT LESS THAN 3/8" LENGTH OF BEARING AT END SUPPORTS.
- INDIVIDUAL MEMBERS OF A BUILT UP BEAM SHALL BE NAILED TOGETHER WITH A DOUBLE ROW OF NAILS NOT LESS THAN 3" IN LENGTH. SPACING NOT MORE MORE THAN 18" APART IN EACH ROW WITH THE END NAILS LOCATED 4" TO 6" FROM THE END OF EACH PIECE.
- FLOOR JOISTS SHALL HAVE BRIDGING ROWS @ 70" MAX. O.C. OR U.N.O.
- ALL LOAD BEARING INTERIOR AND EXTERIOR LINTELS SHALL BE 2 x 10 U.N.O.
- THE WIDTH OR DIAMETER OF A WOOD COLLUMN SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTED MEMBER.
- FLOOR AREA FINISHED WITH CERAMIC TILES TO HAVE MIN. 1/4" PARTICLE BOARD APPLIED OVER SUBFLOOR.
- PROPOSED GAS LINE, HYDRO POWER POLE AND WATER METER LOCATIONS ARE AN ESTIMATE BY DESIGNER. BUILDER/OWNER TO VERIFY PRIOR TO CONSTRUCTION.



138A STREET

SAN. MH (S) (D) STM. MH  
Rim=23.74 Rim=23.71

MANPRIT TOOR  
8081 138a st, SURREY

ZONE: RF-6

LOT 261 SECTION 28 TOWNSHIP  
2 PLAN NWP62521  
NWD PART 5/4 1/4

PID: 001-337-118

LOT AREA = 596.25m<sup>2</sup> (6410 sq)

FAR:  
ALLOWABLE F.A.R. = 2800 sf  
PROPOSED F.A.R. = 2194 sf

SITE COVERAGE:  
ALLOWABLE = 2800 sf  
PROPOSED = 2035 sf

ELEVATIONS IN METERS:  
ROOF RIDGE = 35.71  
MEAN HEIGHT = 34.92  
ROOFLINE = 34.05  
UPPER FLOOR = 31.29  
MAIN FLOOR = 27.81  
AVERAGE GRADE = 26.44  
GARAGE SLAB = 25.05  
BSMT = 25.05  
MBE = 25.05  
BSMT IN GROUND = 50%

UPPER FLOOR GROSS = 1241.24 sf  
FLOOR NET = 1218.82 sf  
OPEN TO BELOW = 12.42 sf  
FRONT OFF SET = 363.22 sf  
REAR OPEN DECK = 184.80 sf

MAIN FLOOR = 1500.04 sf  
FRONT PORCH = 74.42 sf  
REAR COVD DECK = 154.80 sf

GARAGE = 368.15 sf  
SEC SUITE = 649.81 sf  
BASEMENT NET = 522.28 sf  
DOORWELL = 216.50 sf

STM. MH  
Rim=27.81  
Inv=26.23

SAN. MH  
Rim=27.79  
Inv=26.18

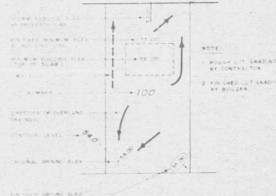
SAN. MH (S) (D) STM. MH  
Rim=25.88  
Inv=23.25 (conc. 0.25)

STM. MH  
Rim=27.09  
N Inv=24.96 (gvc 0.30)

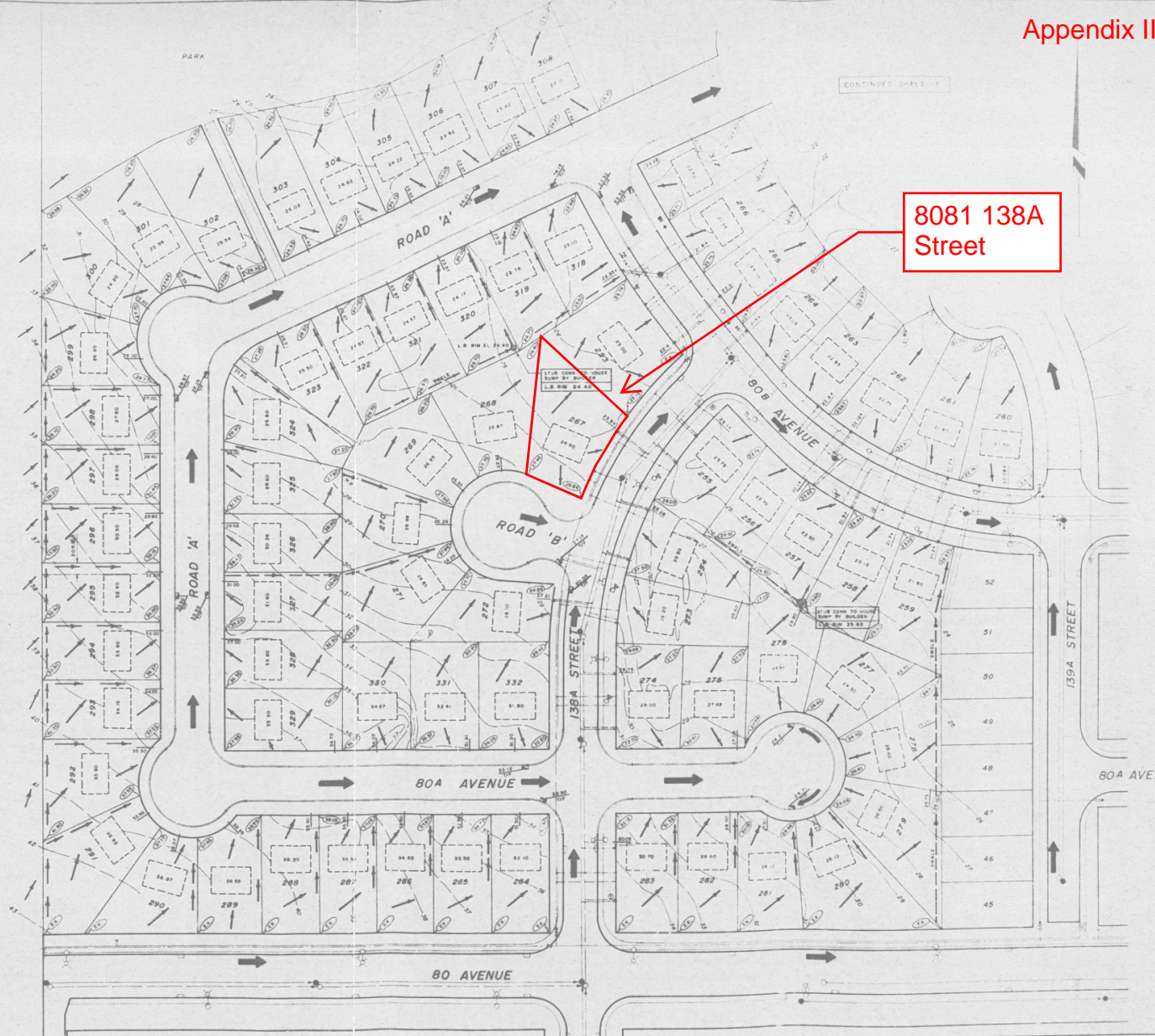
SAN. MH (S) (D) STM. MH  
Rim=27.30  
N Inv=25.06  
W Inv=25.17 (conc. 0.25) (conc. 0.15)

1 SITE PLAN  
3/32" = 1'-0"

DATE: 3/32" = 1'-0"  
REV: May 24/2024  
SCALE: 1/8" = 1'-0"  
PROJECT: SITE PLAN/ PROJECT INFO  
SHEET TITLE: A1  
DESIGNER: SINGH DRAFTING AND HOME PLANS LTD.  
DRAWN BY: SINGH DRAFTING AND HOME PLANS LTD.  
CHECKED BY: SINGH DRAFTING AND HOME PLANS LTD.  
DATE: 3/32" = 1'-0"



TYPICAL LOT GRADING DETAIL



8081 138A Street

ALL ELEVATIONS AND SPOT ELEVATIONS REFER TO SURVEY MON. NO. 5519. 74 INTERSECTION OF RD. AVE. B 140 ST. ELEVATION: 21.754 M.	AS REQUIRED BY BRUYNEEL MGT. MOVING REV. TO MIN. RES. MTS.	SCALE: 1:500 DATE: MAY 1980 PROJECT NO.: 047		<b>R.W. TRIFFO ENGINEERING LTD.</b> PROFESSIONAL ENGINEERING AND PLANNING CONSULTANTS 2200 - 6245 - 136 STREET, SUITE 1, R.C. V3B 5E3 591-617	<b>DAON DEVELOPMENT CORPORATION</b>	<b>LOT GRADING PLAN</b> (S.W. PORTION)	<b>A-297</b> PHASE 4-9
							LEGAL DESCRIPTION: SUBDIVISION OF LOTS 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



**BRITISH COLUMBIA LAND SURVEYOR'S CERTIFICATE SHOWING EXISTING ELEVATIONS AND TREES ON LOT 267 SECTION 28 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 62527**

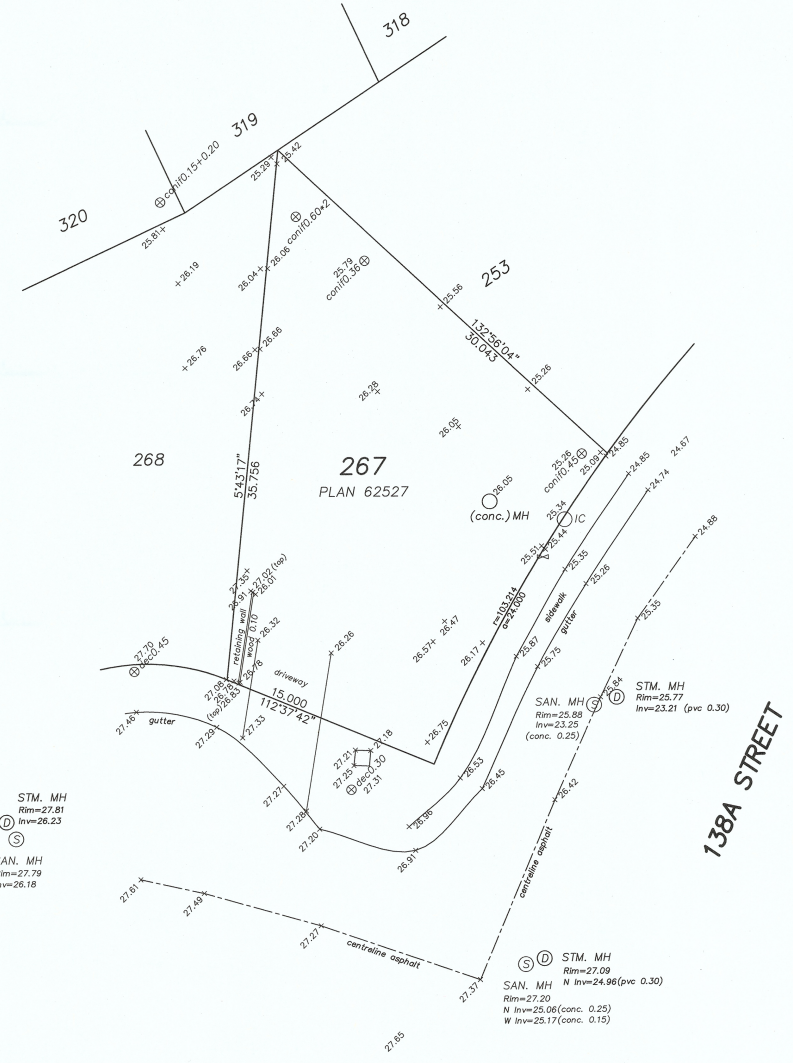
Current Civic Address:

8081 138A Street  
Surrey, B.C.  
PID: 001-337-718

SCALE : 1:250

LEGEND

- ...denotes bc hydro
- IC ○ ...denotes inspection chamber
- MH ○ ...denotes manhole
- SAN. MH ⊙ ...denotes sanitary manhole
- STM. MH ⊕ ...denotes storm manhole
- WM ⊕ ...denotes water meter
- ⊗ ...denotes tree
- ⊗ X ...denotes spot elevation



SAN. MH ⊙ STM. MH ⊕  
Rim=23.74 Rim=23.71

STM. MH ⊕  
Rim=27.81  
Inv=26.23

SAN. MH ⊙  
Rim=27.79  
Inv=26.18

STM. MH ⊕  
Rim=27.09  
Inv=24.96 (pvc 0.30)

SAN. MH ⊙  
Rim=27.20  
N Inv=25.96 (conc. 0.25)  
W Inv=25.17 (conc. 0.15)

GENERAL NOTES:

- All dimensions are in metres.
- This plan is NOT to be used for location of property lines.
- Elevations are based on City of Surrey Geodetic datum, monument 5219 elev.= 21.718m (CVD28GVRD 2018).
- On the subject lot, only trees with a diameter of at least 0.20m are shown
- This plan does not show non-plan charges, liens or interests.
- property dimensions are derived from Land Title Office records

- This plan was prepared for design purposes and is for the exclusive use of our client. DHALIWAL AND ASSOCIATES LAND SURVEYING Inc. and the signatory accept no responsibility for and hereby disclaim all obligations and liabilities for damages caused by the direct or indirect use or reliance upon the Plan beyond its intended use.

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DHALIWAL AND ASSOCIATES  
LAND SURVEYING INC.  
#216 12899-76th Avenue  
Surrey, B.C. V3W 1E6  
phone: (604) 501-6188  
email: info@dhaliwalssurvey.com  
File: 2201120-103  
Drawn by: GK

REVISED:  
15th DAY OF FEBRUARY 2022.  
DATE OF SURVEY:  
25th DAY OF JANUARY 2022.

Mark J.R. Dailey  
B.C.L.S. #667

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7924-0149-00

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 001-337-718  
LOT 267 SECTION 28 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 62527  
8081 138A Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - to vary the definition of finished grade in Part 1 Definitions of Zoning Bylaw 12000, as amended, to "the lowest ground elevation existing prior to construction, as established on a legal survey by a registered British Columbia Land Surveyor, such ground elevation to include fill materials place on the lot to raise the ground elevation up to, but not above, the average elevation of adjacent lots at the adjoining lot lines" based on the topographic survey dated February 15, 2022; and
  - to vary the rear yard setback of the RF Zone from 7.5 metres to 4.4 metres as measured to the rear yard deck and 6.2 metres as measured to the garage.
4. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any

of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF       , 20   .

ISSUED THIS    DAY OF       , 20   .

---

Mayor – Brenda Locke

---

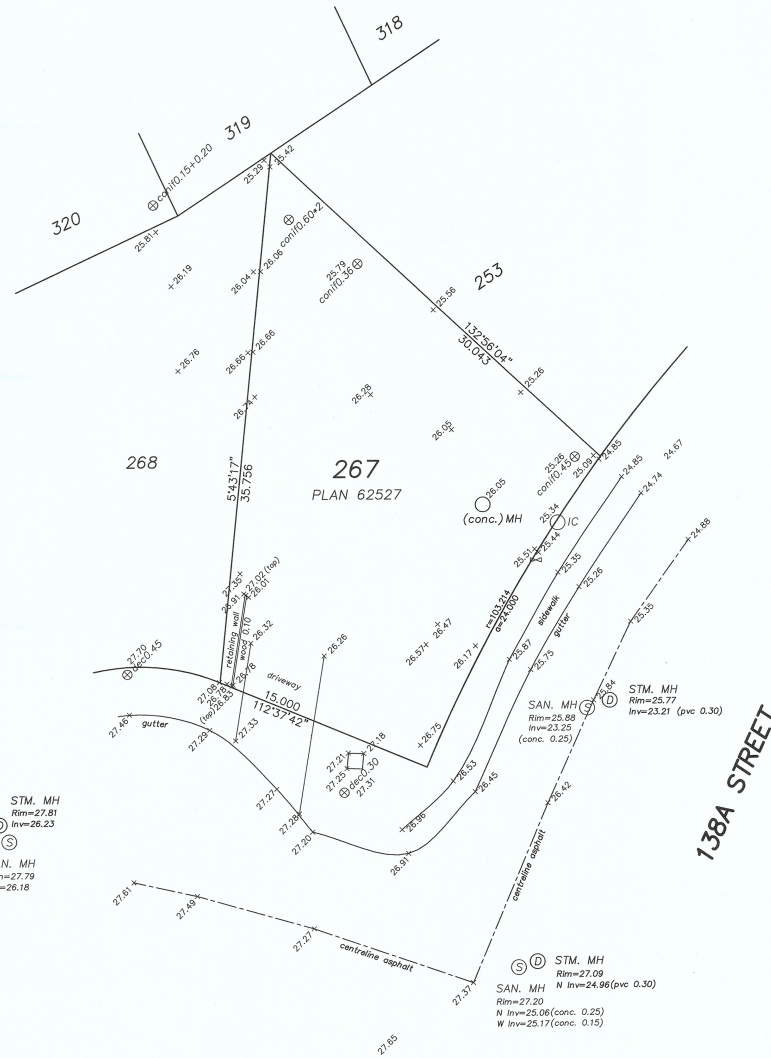
City Clerk and  
Director Legislative Services  
Jennifer Ficocelli

**BRITISH COLUMBIA LAND SURVEYOR'S CERTIFICATE SHOWING EXISTING ELEVATIONS AND TREES ON LOT 267 SECTION 28 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 62527**

**Schedule A**

Current Civic Address:  
8081 138A Street  
Surrey, B.C.  
PID: 001-337-718  
SCALE : 1:250

to vary the definition of finished grade in Part 1 Definitions of Zoning Bylaw 12000, as amended, to "the lowest ground elevation existing prior to construction, as established on a legal survey by a registered British Columbia Land Surveyor, such ground elevation to include fill materials place on the lot to raise the ground elevation up to, but not above, the average elevation of adjacent lots at the adjoining lot lines" based on the topographic survey dated February 15, 2022



LEGEND

□	...denotes bc hydro
IC	...denotes inspection chamber
MH	○ ...denotes manhole
SAN. MH	⊙ ...denotes sanitary manhole
STM. MH	⊕ ...denotes storm manhole
WM	⊗ ...denotes water meter
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SAN. MH ⊙ STM. MH  
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STM. MH  
Rim=27.81  
Inv=26.23

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STM. MH  
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SAN. MH  
Rim=27.20  
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  - On the subject lot, only trees with a diameter of at least 0.20m are shown
  - This plan does not show non-plan charges, liens or interests.
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-This plan was prepared for design purposes and is for the exclusive use of our client. DHALIWAL AND ASSOCIATES LAND SURVEYING Inc. and the signatory accept no responsibility for and hereby disclaim all obligations and liabilities for damages caused by the direct or indirect use or reliance upon the Plan beyond its intended use.

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#216 12899-76th Avenue  
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phone: (604) 501-6188  
email: info@dhaliwalssurvey.com  
File: 2201120-103  
Drawn by: GK

REVISED:  
15th DAY OF FEBRUARY 2022.  
DATE OF SURVEY:  
25th DAY OF JANUARY 2022.

MARK J. R. DAILEY B.C.L.S. #667

# Schedule A

**SINGH DRAFTING AND HOME PLANS LTD.**  
 1-1172, 77A AVE. SURREY, BC V3W2X3 (604)379-6000 SINGHDRAFTING@HOTMAIL.COM

SAN. MH (S) (D) STM. MH  
 Rim=23.74 Rim=23.71

**MANPRIT TOOR**  
 8081 138a st, SURREY

ZONE: RF-6

LOT 261 SECTION 26 TOWNSHIP  
 2 PLAN NWP62521  
 NND PART 5/N 1/4

PID: 001-337-118

LOT AREA = 596.25m<sup>2</sup> (6410 sf)

**FAR:**  
 ALLOWABLE F.A.R = 2800 sf  
 PROPOSED F.A.R = 2194 sf

**SITE COVERAGE:**  
 ALLOWABLE = 2800 sf  
 PROPOSED = 2035 sf

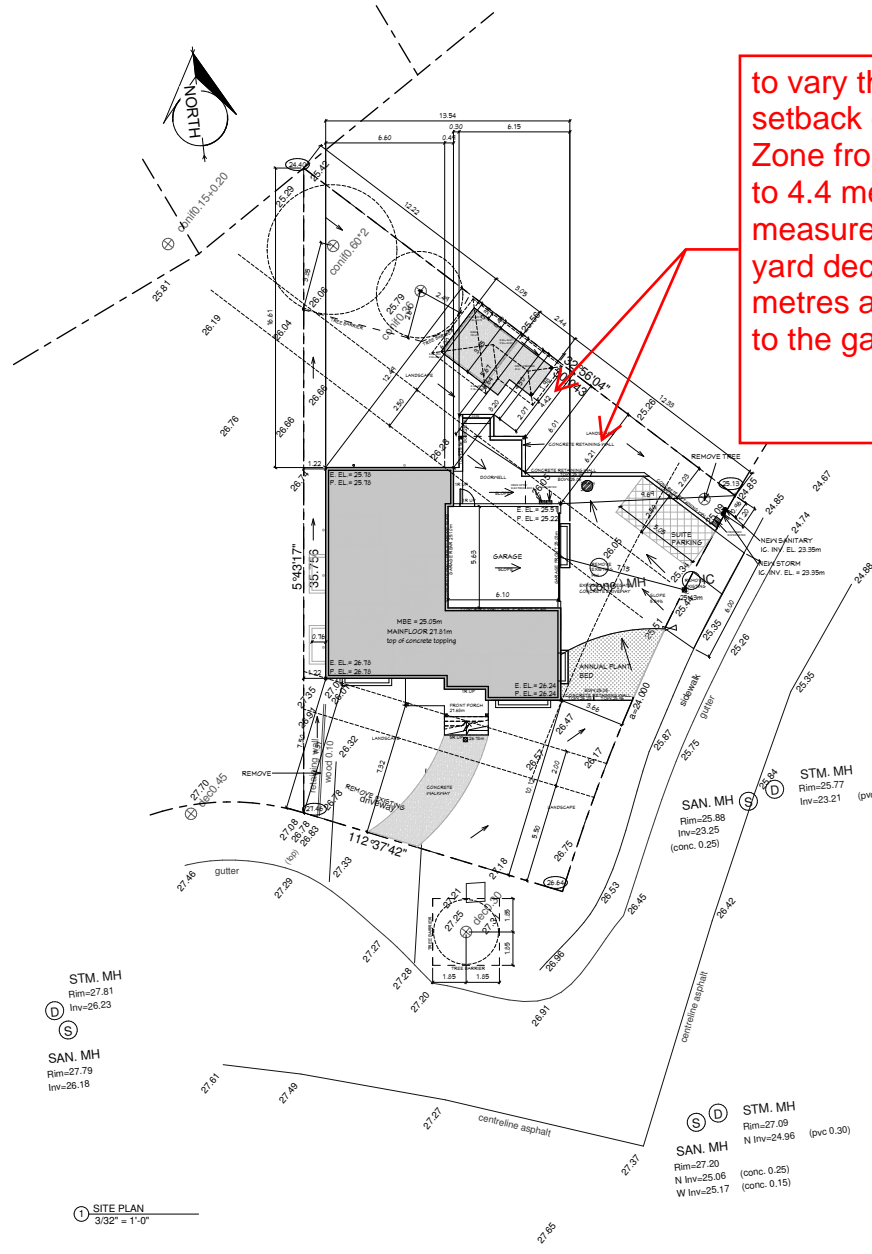
**ELEVATIONS IN METERS:**  
 ROOF RIDGE = 35.71  
 MEAN HEIGHT = 34.92  
 ROOFLINE = 34.05  
 UPPER FLOOR = 31.29  
 MAINFLOOR = 27.81  
 AVERAGE GRADE = 26.44  
 GARAGE SLAB = 25.05  
 BSMT = 25.05  
 MBE = 25.05  
 BSMT IN GROUND = 50%

**to vary the rear yard setback of the RF Zone from 7.5 metres to 4.4 metres as measured to the rear yard deck and 6.2 metres as measured to the garage.**

### GENERAL NOTES:

1. THE DESIGNER MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS AND OR OMISSIONS WHICH MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION. SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS, IT IS incumbent on YOU TO ADVISE OUR OFFICE AS SOON AS POSSIBLE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS IF NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT ERRORS FROM REOCCURRING.
2. ALL FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOILS AND BELOW THE FROST LINE. FOUNDATIONS WALL HEIGHTS AND THICKNESSES AS WELL AS FOOTING SIZES MAY NEED TO BE ADJUSTED AND/OR REINFORCED DUE TO SITE CONDITIONS. ANY ENGINEERING SERVICES REQUIRED ARE THE RESPONSIBILITY OF THE OWNER OR BUILDER.
3. APPROVED SMOKE ALARMS AND PHOTO ELECTRIC TO BE INSTALLED AS PER CBC CODE.
4. BUILDER TO CHECK SNOW LOADS REQUIREMENTS FOR THEIR LOCAL AREA AND MAKE ANY NECESSARY ADJUSTMENTS PRIOR TO PROCEEDINGS WITH CONSTRUCTION.
5. CARBON MONOXIDE ALARMS SHALL CONFORM TO CSA 6.19, "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES".
6. DAMPROOFING OF 6 MIL POLYETHYLENE, WITH SEAMS LAPPED AND TAPED, OVER 4" OF GRANULAR FILL SHALL BE LAID UNDER CONCRETE SLABS. A FLEXIBLE SEALANT SHALL BE PLACED WHERE THE SLAB AND FOUNDATION WALL MEET.
7. DIMENSIONS TAKE PRECEDENCE TO SCALE.
8. DRAINAGE AROUND FOUNDATION TO CONSISTING OF 4" DIAMETER PIPED COVERED WITH A MINIMUM OF 6" CRUSHED STONE SHALL BE PLACED AROUND THE PERIMETER OF THE BUILDING.
9. ENSURE THAT WINDOWS IN BEDROOMS HAVE A MINIMUM AREA OF .35m<sup>2</sup> (3.75FT<sup>2</sup>) WITH AN UNOBSTRUCTED HEIGHT AND WIDTH OF 380mm(15"). THE WINDOW OPENING SHALL BE A MAXIMUM OF 1.5m(5') ABOVE THE FLOOR.
10. EXTERIOR DIMENSIONS ARE TO THE FACE OF SHEATHING.
11. EXTERIOR WALLS ARE DRAWN AT 5" STUDS AND 1/2" PLYWOOD OR OSB SHEATHING OR AS STRUCTURAL ENGINEER SPECS.
12. FOUNDATION WALLS TO HAVE 1 1/2" R-12 RIGID INSULATION TO MIN. 24" BELOW GRADE. ATTIC SPACES TO HAVE MIN. R-44. ROOF JOISTS AND CANTILEVERED FLOORS MIN. R-28. EXTERIOR 2X8 WALLS MIN. R-22. INTERIOR BASEMENT 2X4 WALLS MIN. R-14 IF REQUIRED.
13. LIGHTING AND ELECTRICAL LAYOUTS TO BE SPECIFIED BY THE OWNER OR BUILDER AND MUST MEET WITH 2018 CBC REQUIREMENTS.
14. PLANS ARE BASED ON THE USE OF #2 OR BETTER SPF, UNLESS OTHERWISE STATED. LAMINATED BEAMS WILL REQUIRE AN ENGINEERS CERTIFICATION. THIS IS THE RESPONSIBILITY OF THE OWNER OR BUILDER.
15. REFER TO ENGINEERED FLOOR JOIST AND ROOF TRUSS LAYOUT TO CONFIRM BEAM, POSTS AND PAD FOOTING LOCATION AND SIZES. ENSURE PROPER BEARING IS PROVIDED FOR ALL BEAMS.
16. ROOF SPACES SHALL BE VENTED WITH ROOF, EAVER AND/OR GABLE END TYPE VENTS OR 1:300 OF THE INSULATED AREA.
17. SITING OF THE HOME IS THE RESPONSIBILITY OF THE BUILDER IN CONJUNCTION WITH THE HOMEOWNER.
18. THE DRAWINGS HAVE BEEN PREPARED TO CONFORM TO THE 2018 EDITION OF THE BRITISH COLUMBIA BUILDING CODE. THE BUILDER IS RESPONSIBLE FOR VERIFYING THAT ALL CONSTRUCTION CONFORMS TO THE CBC AND LOCAL BUILDING CODES AND BYLAWS. ALL CONSTRUCTION AND INSTALLATION OF MATERIALS SHALL BE DONE IN ACCORDANCE WITH GOOD BUILDING PRACTICES AND MANUFACTURING INSTRUCTIONS. LOCAL BUILDING DEPARTMENTS MAY REQUIRE CERTIFICATION FROM A STRUCTURAL ENGINEER FOR PART OR ALL OF THE STRUCTURE. ANY ENGINEERING FEES ARE THE RESPONSIBILITIES OF THE OWNER OR BUILDER.
19. THE INSTALLATION OF ALL PLUMBING, HVAC AND ELECTRICAL EQUIPMENT AND MATERIALS SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND THE APPLICABLE SECTIONS OF THE 2018 CBC.
20. THE SITING OF THE HOME MUST BE IN COMPLIANCE WITH CITY BYLAWS. BEFORE COMMENCEMENT OF CONSTRUCTION, ENSURE THAT THE SITE PLAN HAS BEEN APPROVED BY THE CITY OFFICIALS.
21. VANITY SIZES ARE FOR REFERENCE ONLY. REFER TO APPROVED KITCHEN LAYOUT FOR CABINET SIZES.
22. CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OF USE OF EQUIPMENT, SHALL BE ALLOWED TO EXCEED THE DESIGN LOADINGS.
23. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO BEGINNING OF ANY CONSTRUCTION, ANY DEFICIENCY MUST BE REPORTED TO THE DESIGNER IN WRITTEN OR BY EMAIL AND SHALL BE CORRECTED BEFORE COMMENCING ANY CONSTRUCTION.
24. EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHERSTRIPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING.
25. GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS AND HOUSE SITING MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
26. ROOF VENTING SHALL BE IN ACCORDANCE WITH 2018 CBC.
27. PROVIDE Baffle FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
28. THE FACE OF SHEATHED EXTERIOR WALLS SHALL BE FLUSH WITH FOUNDATION WALLS.
29. WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH SILL GASKET OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE FOUNDATION WITH ANCHOR BOLTS AS SPECIFIED BY STRUCTURAL ENGINEER.
30. THE BUILDER OR CONTRACTOR RESPONSIBLE FOR HIRING STRUCTURAL ENGINEER OR GEOTECHNICAL ENGINEER FOR STRUCTURAL DESIGNS.
31. NOTE TO BUILDER OR CONTRACTOR DOORS AND WINDOW SIZES GIVEN ON ARCHITECTURAL PLANS READ (EXAMPLE DOOR SIZE 2868 MEANS 2'6" x 6'8" TYPICAL AND WINDOWS 3016 MEANS 3'0" x 1'6" TYPICAL).
32. SOLE RESPONSIBILITY OF OWNER/BUILDER/CONTRACTOR/DEVELOPER TO PROVIDE SINGH DRAFTING AND HOME PLANS LTD. WITH STORM/ SANITARY IC INV. ELEVATION AND LOCATION.
33. OWNER/BUILDER TO VERIFY STORM IC/SANITARY IC ELEVATION AND LOCATION WITH CIVIL ENGINEER.
34. THE CONTRACTOR SHALL CHECK ALL EXISTING GRADES AND LOCATIONS OF CITY SERVICES PRIOR TO CONSTRUCTION.
35. FIRE PROTECTION SHALL CONFORM TO THE CBC 2018 EDITION.
36. ALL STAIRS, HANDRAILS AND GUARDRAILS SHALL COMPLY WITH THE CBC 2018 EDITION.
37. STRUCTURAL CONCRETE TO DEVELOP 20 MPa COMPRESSIVE STRENGTH WITH 28 DAYS EXCEPT CONCRETE USED FOR GARAGE AND EXTERIOR STAIRS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OR 30 MPa AT 28 DAYS.
38. ALL EXTERIOR CONCRETE SLABS SHALL HAVE AN ENTRAINMENT.
39. BEAMS SHALL HAVE EVEN AND LEVEL BEARING AND SHALL HAVE NOT LESS THAN 3/8" LENGTH OF BEARING AT END SUPPORTS.
40. INDIVIDUAL MEMBERS OF A BUILT UP BEAM SHALL BE NAILED TOGETHER WITH A DOUBLE ROW OF NAILS NOT LESS THAN 3/8" IN LENGTH. SPACING NOT MORE THAN 18" APART IN EACH ROW WITH THE END NAILS LOCATED 4" TO 6" FROM THE END OF EACH PIECE.
41. FLOOR JOISTS SHALL HAVE BRIDGING ROWS @ 70" MAX. O.C. OR U.N.O.
42. ALL LOAD BEARING INTERIOR AND EXTERIOR LINTELS SHALL BE 2x10 U.N.O.
43. THE WIDTH OR DIAMETER OF A WOOD COLLAMN SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTED MEMBER.
44. FLOOR AREA FINISHED WITH CERAMIC TILES TO HAVE MIN. 1/4" PARTICLE BOARD APPLIED OVER SUBFLOOR.
45. PROPOSED GAS LINE, HYDRO POWER POLE AND WATER METER LOCATIONS ARE AN ESTIMATE BY DESIGNER, BUILDER/OWNER TO VERIFY PRIOR TO CONSTRUCTION.

① SITE PLAN  
 1/32" = 1'-0"



**138A STREET**

A1

SITE PLAN/ PROJECT INFO

PROJECT:

SCALE: 3/32" = 1'-0"

DATE:

May 24/ 2024

BY:

Signature and stamp area for the designer, including the name 'SINGH DRAFTING AND HOME PLANS LTD.' and a reference to the project name 'MANPRIT TOOR'.