

NO: R172

COUNCIL DATE: September 23, 2024

REGULAR COUNCIL

TO: **Mayor & Council** DATE: **September 17, 2024**

FROM: **Acting General Manager, Planning & Development** FILE: **6745-20 (SSMUH)**

SUBJECT: **Transition from Single-Family Residential Zones to Small-Scale Multi-Unit Housing Zones for In-stream Development Applications – Third Batch**

RECOMMENDATION

The Planning & Development Department recommends that Council:

1. Receive this report for information;
2. Authorize staff to close and file in-stream bylaw amendments to *Surrey Zoning Bylaw, 1993, No. 12000*, as amended, and associated development variance permits, to align with provincial housing legislation and new Small-Scale Multi-Unit Housing zones, which reference the original single-family or duplex zones, as provided in Appendix “I”;
3. Authorize staff to close and file in-stream development variance permits without any associated rezoning, to align with provincial housing legislation and new Small-Scale Multi-Unit Housing zones, which reference the original single-family or duplex zones, as provided in Appendix “II”; and
4. Authorize the City Clerk to provide notification for replacement of the new amendment bylaws, and any associated development variance permits, and schedule for Council consideration of first, second, and third readings of new bylaw amendments for October 7, 2024, and approval as to form for associated development variance permits after final adoption.

INTENT

The intent of this report is to facilitate alignment of in-stream rezoning and development variance permit applications with the new Small-Scale Multi-Unit Housing zoning bylaw requirements mandated by provincial legislation and as adopted by the City on July 8, 2024 to allow in-stream application processes to proceed under the zoning currently in effect.

BACKGROUND

In November 2023, the Provincial Government introduced legislation under Bill 44, which included Small-Scale Multi-Unit Housing (“SSMUH”) requirements intended to facilitate additional housing supply and affordability in British Columbia communities.

On June 10, 2024, Council endorsed Corporate Report No. R0109; 2024, titled “Small-Scale Multi-Unit Housing: Zoning By-law Amendments Related to Provincial Housing Legislation”. These amendments to *Surrey Zoning By-law, 1993, No. 12000* (the “Zoning By-law”) align with provincial housing legislation by replacing 14 single-family zones, one semi-detached zone, four gross density zones, and one duplex zone with nine new SSMUH zones.

DISCUSSION

The new SSMUH Zoning By-law amendments adopted on July 8, 2024 impact about 150 single-family and duplex development applications at third reading. Applications that received final adoption prior to July 8, 2024, or that are proposed to be rezoned from an old single-family or duplex zone to a non-SSMUH zone, are not impacted. The impacted in-stream bylaws, however, will need to be filed and closed and new bylaw replacements and associated development variance permits introduced to align to with the new SSMUH zones.

In order to streamline this administrative requirement, it is proposed that these bylaws be brought forward for Council’s consideration in batches over the next few months. The first and second batches were forwarded to Council on July 22 and September 9 respectively, and this report is for the third batch.

Appendix “I” lists the current batch of in-stream Zoning By-law amendment applications, including any associated development variance permits. Appendix “II” lists the current batch of in-stream development variance permits without rezoning.

Notification

Section 464 of the *Local Government Act* prohibits public hearings solely for zoning bylaw amendments related to Section 481.3 (zoning bylaws and small-scale multi-family housing) and, therefore, no public hearing is required. Notification will be provided in accordance with applicable bylaws and legislative requirements.

Legal Services Review

Legal Services has reviewed this report.

CONCLUSION

This report provides for a third batch of in-stream Zoning By-law amendment applications to ensure conformity with the new SSMUH framework and alignment with the updated zones and regulations.

Ron Gill, MA, MCIP, RPP
Acting General Manager, Planning & Development

Appendix "I" Table of Original and Replacement Bylaws in compliance with SSMUH Zoning By-law Amendments with any associated DVPs
Appendix "II" Table of Original and Replacement DVPs without Rezoning in compliance with SSMUH Zoning Bylaw Amendments

[https://surreybc.sharepoint.com/sites/pdgmadministration/document library/corporate reports/future/sf to ssmuh third batch/cr sf to ssmuh third batch.docx](https://surreybc.sharepoint.com/sites/pdgmadministration/document%20library/corporate%20reports/future/sf%20to%20ssmuh%20third%20batch/cr%20sf%20to%20ssmuh%20third%20batch.docx)

APPENDIX “I”

Table of Original and Replacement Bylaws in compliance with SSMUH Zoning By-law Amendments with any associated DVPs

DEVELOPMENT APPLICATION AND PLANNING REPORT	ORIGINAL BYLAW (CLOSED & FILED)								
	Original Amendment Bylaw	From Zone(s)	To Zone(s)	Associated DVP	Replacement Amendment Bylaw	From Zone(s)	To Zone(s)	Close DVP	Associated DVP
18-0345	21062	RF	RF-O	Yes	21397	R3	R2-O	7918-0345-00	7918-0345-01 (Attachment A)
21-0333	20900	RA	RH	Yes	21398	RA	R1	7921-0333-00	7921-0333-01 (Attachment B)
23-0314	21284	RA	RF	Yes	21399	RA	R3	7923-0314-00	7923-0314-01 (Attachment C)
17-0328	19395	RA	RF-10	No	21400	RA	R5	No	No
23-0070	21164	RA	RQ	No	21401	RA	R2	No	No
23-0235	21299	RA	RF	No	21402	RA	R3	No	No
23-0252	21265	RA	RF-10	No	21403	RA	R5	No	No
24-0032	21202	RA RF-12	RF-10	No	21404	RA R4	R5	No	No

APPENDIX “II”

Table of Original and Replacement DVPs (without Rezoning) in compliance with SSMUH Zoning By-law Amendments

DEVELOPMENT APPLICATION AND PLANNING REPORT	ORIGINAL DVP ZONE	ORIGINAL DVP	CURRENT DVP ZONE	Close DVP	REPLACEMENT DVP (NEW SSMUH ZONE)
20-0061	RF	7920-0061-00	R3	7920-0061-00	7920-0061-01 (Attachment D)

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7918-0345-01

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 002-480-468
 Lot 2 Block 21 Section 7 Township 1 New Westminster District Plan 2834
 12585 – 15 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Section F. Yards and Setbacks of Part 14A "Oceanfront Residential Zone (R2-O)", the minimum rear yard setback is reduced from 10.0 metres to 5.3 metres to the building face of the existing dwelling on proposed Lot 4;
 - (b) In Section F. Yards and Setbacks of Part 14A "Oceanfront Residential Zone (R2-O)", the minimum side yard on a flanking street setback is reduced from 7.5 metres to 3.8 metres to the building face of the existing dwelling on proposed Lot 4; and
 - (c) In Section D.3 (a) Density of Part 14A "Oceanfront Residential Zone (RF-O)", the minimum required second storey offset of an existing single detached dwelling is reduced from 20% to 16%.
- 5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
 - 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 - 7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
 - 8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
 - 9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

BENCHMARK & CONTROL
 ALL ELEV. ARE GEODETIC AND REFER TO MON. NO. 5489
 LOCATED AT THE INTERSECTION OF 128 ST. AND 18 AVE.
 ELEV. 72.161m (CVD28 CVD-2005)
 LEGAL DESCRIPTION OF PROPERTY
 LOT 2 BLOCK 21 SECTION 7 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 2834

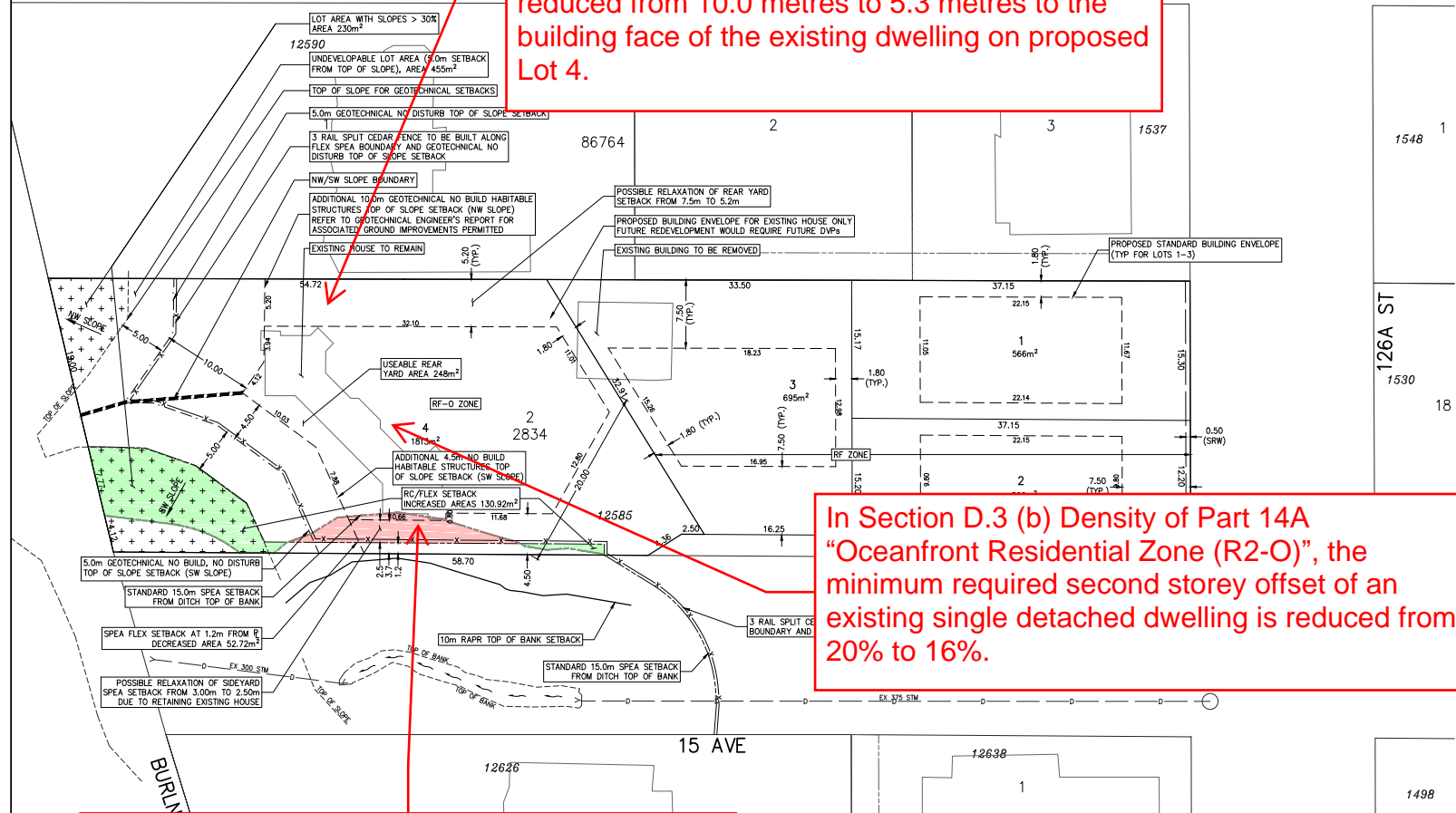


SCHEDULE A

In Section F. Yards and Setbacks of Part 14A "Oceanfront Residential Zone (R2-O)", the minimum rear yard setback is reduced from 10.0 metres to 5.3 metres to the building face of the existing dwelling on proposed Lot 4.

In Section D.3 (b) Density of Part 14A "Oceanfront Residential Zone (R2-O)", the minimum required second storey offset of an existing single detached dwelling is reduced from 20% to 16%.

In Section F. Yards and Setbacks of Part 14A "Oceanfront Residential Zone (R2-O)", the minimum side yard on a flanking street setback is reduced from 7.5 metres to 3.8 metres to the building face of the existing dwelling on proposed Lot 4.



LOT4:
 GROSS AREA: 1813m²
 UNDEVELOPABLE AREA: 455m²
 NET AREA: 1358m²
 USEABLE REAR YARD AREA: 248m²
 SLOPES > 30%: 230m²


FOR APPROVAL

NOTE:
 PRIOR TO ANY CONSTRUCTION THE CONTRACTOR IS TO VERIFY INVERTS & LOCATIONS OF EXISTING SERVICES AND NOTIFY THE ENGINEER OF ANY CONFLICTS

- NOTES**
1. ALL DIMENSIONS ARE APPROXIMATE ONLY BASED ON MASTER PLANS
 2. LOTS 1, 2 & 3 TO REMAIN R3 ZONE LOT 4 TO BE REZONED TO R2-O ZONE.
 3. EXISTING HOUSE AND DRIVEWAY ON LOT 4 TO REMAIN. ALL OTHER EXISTING BUILDINGS TO BE REMOVED.
 4. 0.50m SRW REQUIRED FOR LOTS 1 & 2 FOR MUNICIPAL SERVICES AND MAINTENANCE.
 5. HAZARD SLOPES DP AND NO-BUILD RC FOR PORTION OF LOT 4 REQUIRED. (TOP OF SLOPE)
 6. SENSITIVE ECOSYSTEM DP REQUIRED FOR PORTION OF LOT 4.
 7. DVP REQUIRED FOR LOT 4 SETBACKS TO RETAIN THE EXISTING HOUSE. REDUCE FLANKING STREET SIDE YARD (15 AVENUE) SETBACK FROM 7.50m TO 3.70m. REDUCE REAR YARD SETBACK FROM 10.00m TO 5.20m. INCREASE THE ALLOWABLE SECOND FLOOR AREA FROM 80% TO 90% OF THE FIRST FLOOR AREA.

4	15/08/23			
3	24/03/23	LOT 4 TO RF-O ZONE	MM	PM
2	03/01/23	EXISTING HOUSE RETAINED	MM	PM
1	14/07/22	INITIAL REVIEW	MM	PM
No	Date	Revision	Dr	Ch

CITWEST CONSULTING LTD.
 TELEPHONE 604-591-2213
 E-MAIL: office@citwest.com
 EGBC Permit to Practice #1001824


PRELIMINARY LOT LAYOUT
 SUBDIVISION AT 12585 - 15 AVENUE, SURREY, BC

Scale: 1:500	Mun. Proj. No: 7818-0345-00	Dwg. No.
Drawn: WM/ET	Mun. Dwg. No.	C
Designed: PM	Job No. 19-3907	Of
P.W. P.U.	Date JUL/2022	Revision 4
Approved:	Date	Revision

destroy all prints bearing previous number

This drawing and design is the property of CITWEST CONSULTING LTD. and cannot be used, reused or reprinted without the written consent of said company.

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0333-01

Issued To:

(the "Owner")

Address of Owner:

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 009-137-891
Lot 24 Section 21 Township 1 New Westminster District Plan 29865
2451 141 St

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - o In Part 13 Section C.2, to reduce the minimum lot width of the R1 Zone from 30 metres to 25.1 metres for Proposed Lots 1 and 2.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF _____, 20__ .

ISSUED THIS _____ DAY OF _____, 20__ .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

PLAN SHOWING PROPOSED SUBDIVISION OF LOT 24 SECTION 21 TOWNSHIP 1 NWD PLAN 29865

PARCEL IDENTIFIER (PID): 009-137-891

CIVIC ADDRESS

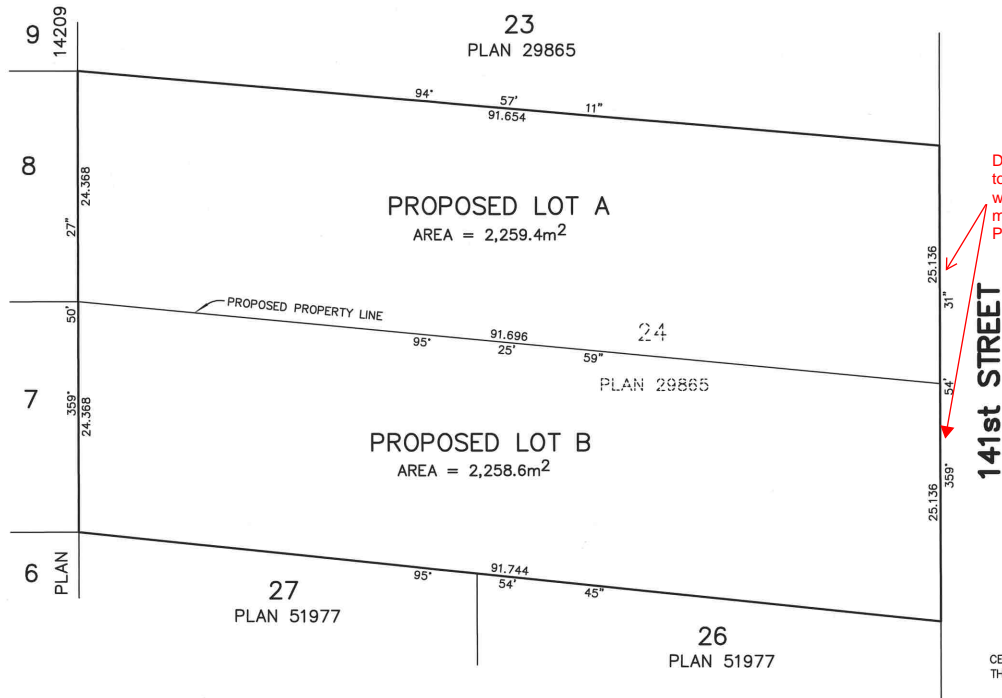
#2451 - 141st STREET
SURREY, B.C.

LEGEND

SCALE 1:400



ALL DISTANCES ARE IN METRES



Development Variance Permit to reduce the minimum lot width of the R1 Zone from 30 metres to 25.1 metres for Proposed Lots 1 and 2.

© COPYRIGHT

MATSON PECK & TOPLISS

SURVEYORS & ENGINEERS

#320 - 11120 HORSESHOE WAY

RICHMOND, B.C., V7A 5H7

PH: 604-270-9331

FAX: 604-270-4137

CADFILE: 19472-002-PRO-SUB-000.DWG

NOTE:

ALL DIMENSIONS AND AREAS ON THIS PLAN ARE PRELIMINARY ONLY
AND SUBJECT TO REVISION FOLLOW LEGAL BOUNDARY SURVEY.

CERTIFIED CORRECT
THIS 24TH DAY OF AUGUST, 2021

J. Stephen Campbell

J. STEPHEN CAMPBELL
B.C. LAND SURVEYOR (#712)

S-21-19472-PRO-SUB

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7923-0314-01

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-381-884

Lot 1 Except: The East 51.1 Feet; District Lot 121 Group 2 New Westminster District Plan 9194

9936 - 179 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

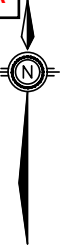
- (a) In Section C.2. of Part 15 "Urban Residential Zone (R3)" the minimum required lot width is reduced from 15.0 metres to 14.0 metres for proposed Lots 1 - 6.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

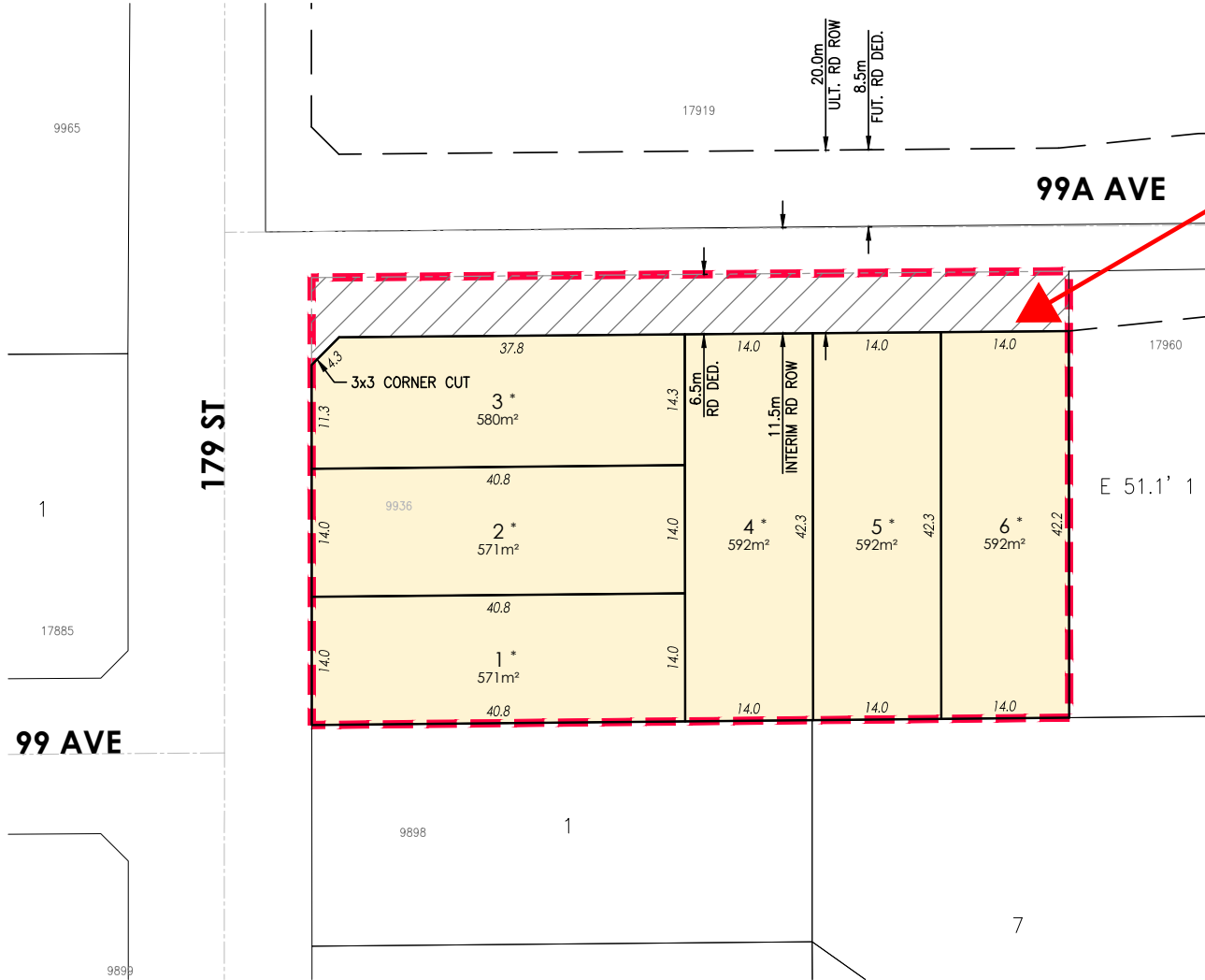
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and Director of Legislative
Services – Jennifer Ficocelli



Development
Variance Permit
7923-0314-01: to
reduce the minimum
required lot width of
the R3 Zone from
15.0 metres to 14.0
metres for proposed
Lots 1 – 6.



STATISTICS

Gross Site Area: 4,044 sq.m (1.0 Acres)
Proposed Zoning: R3
 Min. Lot Area: 560 sq.m (6,000 sq.ft)
 Min. Lot Width: 15 m (50 ft)
 Min. Lot Depth: 28 m (90 ft)
Proposed # of Lots: 6
 * Lot Width Variance

PRELIMINARY
FOR DISCUSSION PURPOSES



CROYDON BUSINESS CENTRE
#218-2630 CROYDON DRIVE,
SURREY, BC V3S 6T3
PHONE: 604-283-2240
EMAIL: info@centras.ca

PROJECT TITLE	RESIDENTIAL SUBDIVISION (OP-2)			PROJECT ADDRESS	9936 179 STREET, SURREY BC		
CLIENT	-			LEGAL	-		
PROJECT No.	2023-037	MUNICIPAL PROJECT No.	-	DATE	APR 2023	SCALE	1:500

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7920-0061-01

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 012-427-594
Lot 19 Section 27 Township 2 New Westminster District Plan 79629

14853 - 84 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Part 15, "Urban Residential Zone (R3)", the minimum Lot Depth is reduced from 28.0 metres to 26.3 metres for proposed Lot 1.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

B.C.G.S. 92G.016



All distances are in metres

The intended plot size of this plan is 560mm in width by 854mm in height (D Size) when plotted at a scale of 1:400

Integrated Survey Area No. 1
City of Surrey, NAD83 (CGRS) 4.0.0.BC.1.MVRO

This plan shows horizontal ground level distances, unless otherwise specified. To compute grid distances, multiply ground level distances by the average combined factor of 0.9995975. The average combined factor has been determined based on geodetic control monument 5455 and 5456.

Grid Bearings are derived from geodetic control monuments 5455 and 5456 and are referred to the central meridian of UTM zone 10.

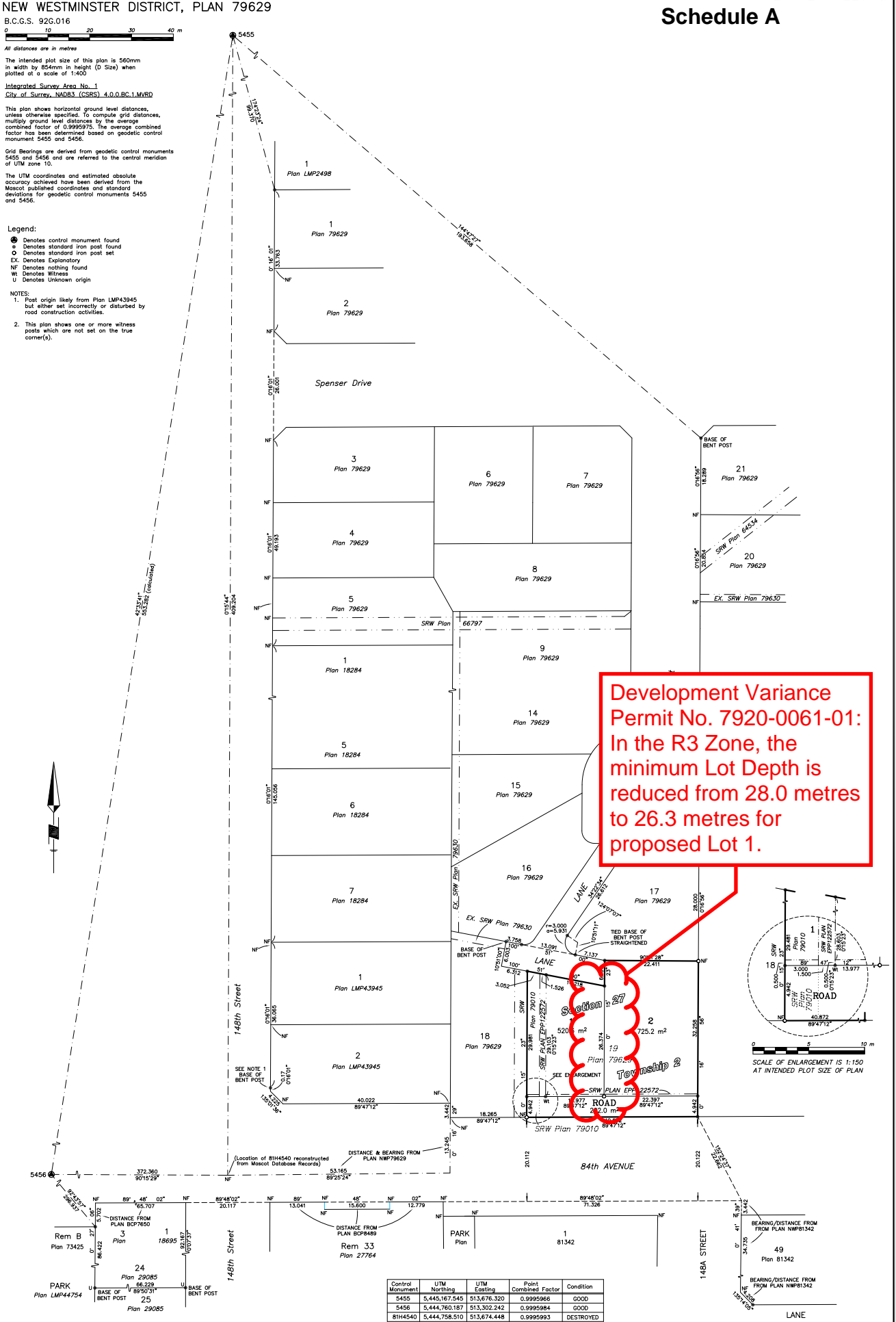
The UTM coordinates and estimated absolute accuracy achieved have been derived from the Mascot published coordinates and standard deviations for geodetic control monuments 5455 and 5456.

Legend:

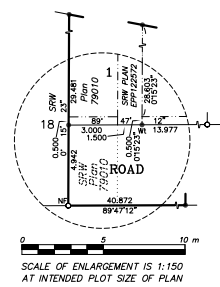
- Denotes control monument found
- Denotes standard iron post found
- Denotes standard iron post set
- EX Denotes Explanatory
- NF Denotes nothing found
- WT Denotes Witness
- U Denotes Unknown origin

NOTES:

1. Post origin likely from Plan LMP43945 but either set incorrectly or disturbed by road construction activities.
2. This plan shows one or more witness posts which are not set on the true corner(s).



Development Variance Permit No. 7920-0061-01:
In the R3 Zone, the minimum Lot Depth is reduced from 28.0 metres to 26.3 metres for proposed Lot 1.



Control Monument	UTM Northing	UTM Easting	Point Combined Factor	Condition
5455	5,445,167.845	513,676.320	0.9995966	GOOD
5456	5,444,760.187	513,302.242	0.9995984	GOOD
81H4540	5,444,758.510	513,674.448	0.9995993	DESTROYED

ESTIMATED ABSOLUTE ACCURACY IS 0.02 METRES.

CITY OF SURREY

BYLAW NO. 21397

A bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015, c.1, as amended, by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule A under Part 3 of Surrey Zoning By-law, 1993, No. 12000, as amended, as follows:

FROM: URBAN RESIDENTIAL ZONE (R3)
TO: OCEANFRONT RESIDENTIAL ZONE (R2-O)

Portion of PID: 002-480-468
Lot 2 Block 21 Section 7 Township 1 NWD Plan 2834
containing 1812.9 square metres, labeled Block A

(Portion of 12585 – 15 Avenue)

Shown on a Survey Plan attached as Schedule A to this Bylaw,
certified correct by M. Adam Fulkerson B.C.L.S. on the
18th day of September, 2023.

2. This Bylaw shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21397".

PASSED FIRST READING on the th day of, 20 .

PASSED SECOND READING on the th day of , 20 .

PASSED THIRD READING on the th day of, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of, 20 .

_____MAYOR

_____CLERK

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW No: 21397
OF PART OF LOT 2 BLOCK 21 SECTION 7 TOWNSHIP 1 NWD PLAN 2834**

CIVIC ADDRESS:

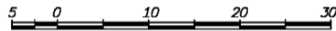
12585 15th Avenue, Surrey, BC
P.L.D. 002-480-468

FOR RE-ZONING PURPOSES

LEGEND

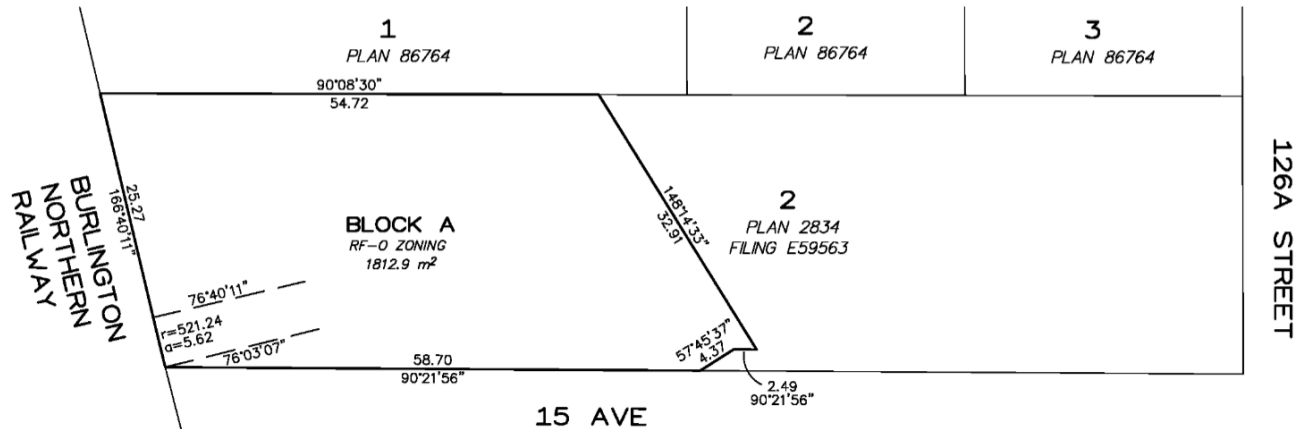
m² DENOTES SQUARE METRES

SCALE 1 : 500



ALL DISTANCES ARE IN METRES

The intended plot size of this plan is 280mm in width and 432mm in height (B size) when plotted at a scale of 1:500.



Notes:

PERIMETER Property boundary dimensions shown hereon, are derived from FIELD SURVEY.

Proposed lot lines derived from CitWest Consulting draft plan dated March 3rd 2023

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The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made, or actions taken based on this document.

CERTIFIED CORRECT
DATED THIS 18TH DAY OF SEPTEMBER, 2023.



[Signature]

B.C.L.S.

M. Adam Fulkerson

TARGET
LAND SURVEYING
C120-20178 96TH AVE
LANGLEY B.C.
604-583-6161

FILE: 8886-BLOCK-PLAN

CITY OF SURREY

BYLAW NO. 21398

A bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015, c.1, as amended, by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule A under Part 3 of Surrey Zoning By-law, 1993, No. 12000, as amended, as follows:

FROM: ACREAGE RESIDENTIAL ZONE (RA)
TO: SUBURBAN RESIDENTIAL ZONE (R1)

PID: 009-137-891
Lot 24 Section 21 Township 1 NWD Plan 29865

(2451 – 141 Street)

2. This Bylaw shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21398".

PASSED FIRST READING on the th day of , 20 .

PASSED SECOND READING on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

CITY OF SURREY

BYLAW NO. 21399

A bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015, c.1, as amended, by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule A under Part 3 of Surrey Zoning By-law, 1993, No. 12000, as amended, as follows:

FROM: ACREAGE RESIDENTIAL ZONE (RA)
TO: URBAN RESIDENTIAL ZONE (R3)

PID: 011-381-884
Lot 1 Except: The East 51.1 Feet; District Lot 121 Group 2 NWD Plan 9194
(9936 – 179 Street)

2. This Bylaw shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21399".

PASSED FIRST READING on the th day of , 20 .

PASSED SECOND READING on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECEIVED APPROVAL FROM THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE
on the day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the
Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

CITY OF SURREY

BYLAW NO. 21400

A bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015, c.1, as amended, by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule A under Part 3 of Surrey Zoning By-law, 1993, No. 12000, as amended, as follows:

FROM: ACREAGE RESIDENTIAL ZONE (RA)
TO: COMPACT RESIDENTIAL ZONE (R5)

Parcel Identifier: 000-750-182
Lot 6 Section 10 Township 2 New Westminster District Plan 17132
(14650 – 60 Avenue)

2. This Bylaw shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21400".

PASSED FIRST READING on the th day of , 20 .

PASSED SECOND READING on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECEIVED APPROVAL FROM THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE
on the day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the
Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

CITY OF SURREY

BYLAW NO. 21401

A bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015, c.1, as amended, by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule A under Part 3 of Surrey Zoning By-law, 1993, No. 12000, as amended, as follows:

FROM: ACREAGE RESIDENTIAL ZONE (RA)
TO: QUARTER ACRE RESIDENTIAL ZONE (R2)

Parcel Identifier: 000-699-322
Lot 6o Section 7 Township 9 New Westminster District Plan 46835

(10610 Salisbury Drive)

2. This Bylaw shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21401".

PASSED FIRST READING on the th day of , 20 .

PASSED SECOND READING on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

CITY OF SURREY

BYLAW NO. 21402

A bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015, c.1, as amended, by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule A under Part 3 of Surrey Zoning By-law, 1993, No. 12000, as amended, as follows:

FROM: ACREAGE RESIDENTIAL ZONE (RA)
TO: URBAN RESIDENTIAL ZONE (R3)

PID: 000-513-610
Lot 4 Section 7 Township 2 New Westminster District Plan 15760
(5866 – 124A Street)

2. This Bylaw shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21402".

PASSED FIRST READING on the th day of , 20 .

PASSED SECOND READING on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECEIVED APPROVAL FROM THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE
on the day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the
Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

CITY OF SURREY

BYLAW NO. 21403

A bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015, c.1, as amended, by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule A under Part 3 of Surrey Zoning By-law, 1993, No. 12000, as amended, as follows:

FROM: ACREAGE RESIDENTIAL ZONE (RA)
TO: COMPACT RESIDENTIAL ZONE (R5)

PID: 010-102-272
Lot 8 Section 9 Township 2 New Westminster District Plan 19603
(6358 - 138 Street)

2. This Bylaw shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21403".

PASSED FIRST READING on the th day of , 20 .

PASSED SECOND READING on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

CITY OF SURREY

BYLAW NO. 21404

A bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended.
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015, c.1, as amended, by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule A under Part 3 of Surrey Zoning By-law, 1993, No. 12000, as amended, as follows:

FROM: ACREAGE RESIDENTIAL ZONE (RA) AND
SMALL LOT RESIDENTIAL ZONE (R4)
TO: MULTIPLE RESIDENTIAL ZONE (RM-30)

PID: 000-447-951
Lot 18 North East Quarter Section 13 Township 1 NWD Plan 25366

(16611 – 20 Avenue)

PID: 008-790-418
Lot 19 Section 13 Township 1 NWD Plan 25366

(16651 – 20 Avenue)

Portion of PID: 031-084-818
Lot A Section 13 Township 1 NWD Plan EPP99681

(Portion of 16681 – 20 Avenue)

Shown on the Survey Plan labeled Block A, containing 3.802 ha,
attached as Schedule A

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)
TO: COMPACT RESIDENTIAL ZONE (R5)

Portion of PID: 031-084-818
Lot A Section 13 Township 1 NWD Plan EPP99681

(Portion of 16681 – 20 Avenue)

Shown on the Survey Plan labeled Block B, containing 0.179 ha, attached as Schedule A, certified correct by Xunchen Bao, B.C.L.S. on the 6th day of March, 2024.

2. This Bylaw shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2024, No. 21404".

PASSED FIRST READING on the th day of , 20 .

PASSED SECOND READING on the th day of , 20 .

PASSED THIRD READING on the th day of , 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

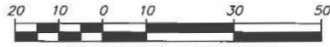
_____MAYOR

_____CLERK

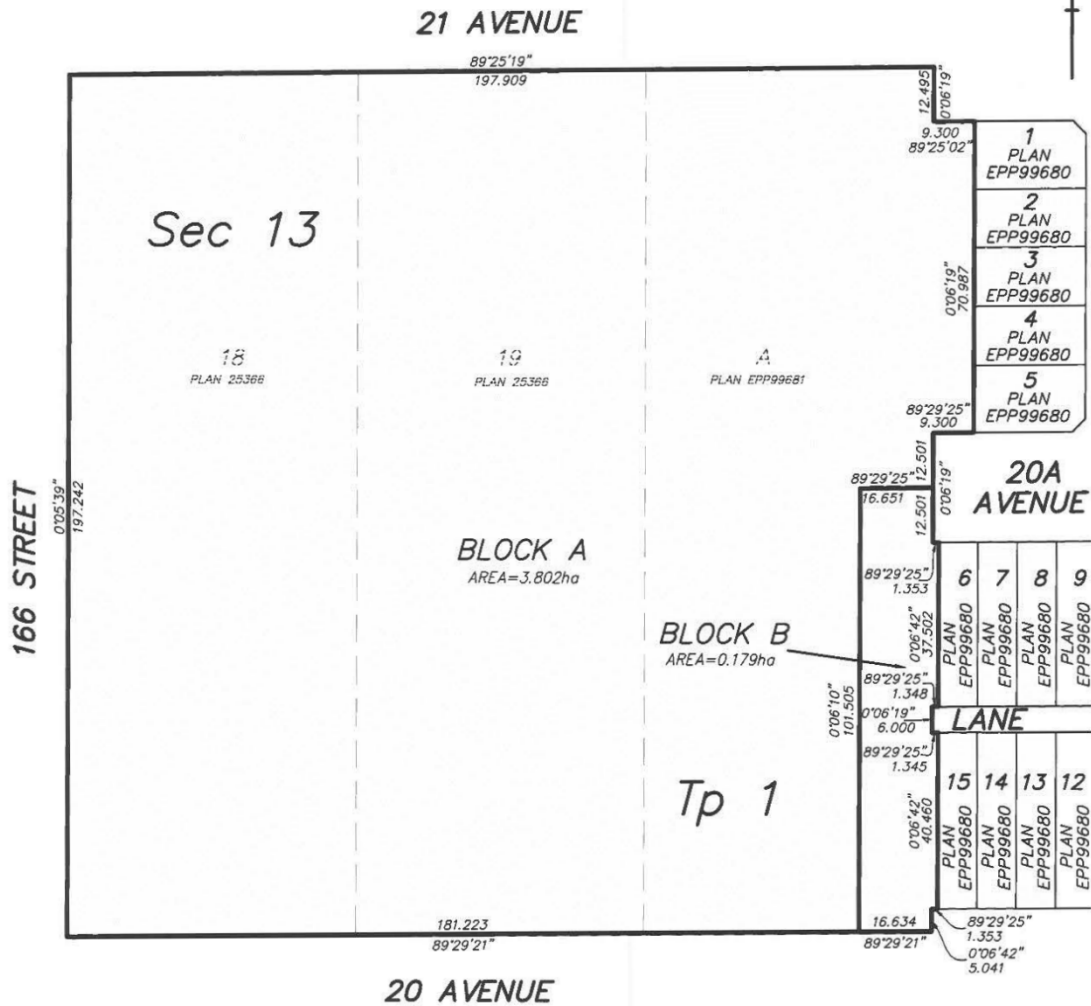
SCHEDULE A

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY ZONING BYLAW 21404
OVER PART OF LOTS 18 NORTH EAST QUARTER AND 19 BOTH OF PLAN 25366,
LOT A PLAN EPP99681,
ALL OF SECTION 13 TOWNSHIP 1 NEW WESTMINSTER DISTRICT.**

BCGS 92G.016



THE INTENDED PLOT SIZE OF THIS PLAN IS 280mm IN WIDTH BY 432mm IN HEIGHT
(B SIZE) WHEN PLOTTED AT A SCALE OF 1:1000



NOTE:

LEGAL BOUNDARIES ARE BASED ON LAND TITLE OFFICE RECORDS
AND FIELD SURVEY, AND SUBJECT TO CHANGE.

APLIN & MARTIN
GEOMATICS LAND SURVEYING LTD.
201, 12448 82nd AVENUE
SURREY, BC V3W3E9 604-597-9189



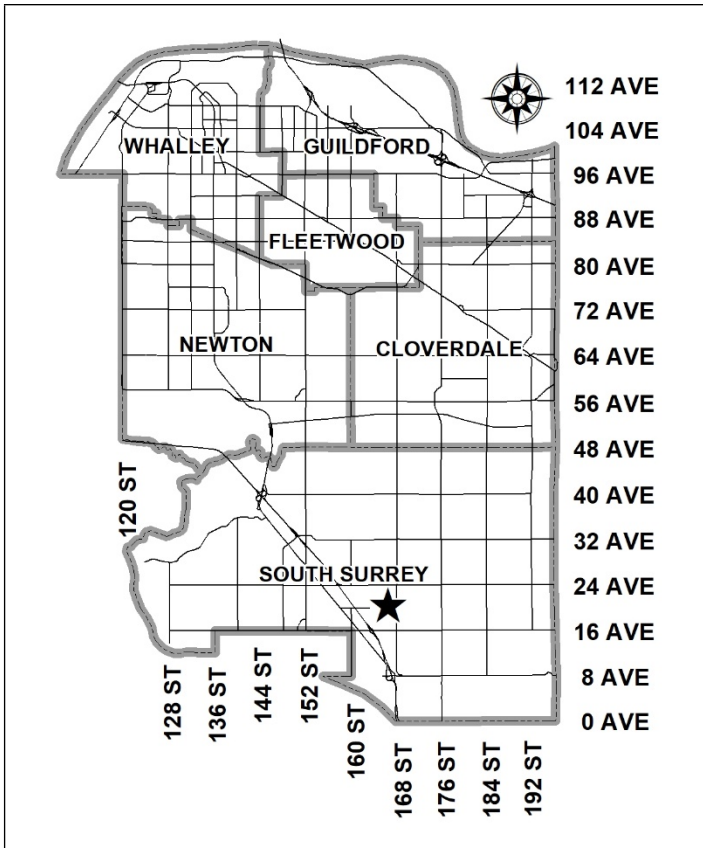
CERTIFIED CORRECT ACCORDING TO SURVEY
DATED 6TH DAY OF MARCH, 2024

XUNCHEN BAO, BCLS 1037
FILE 19-1084 Zoning-1

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7924-0032-00

Planning Report Date: April 22, 2024



PROPOSAL:

- **NCP Amendment** from "Cluster Residential 6-10 upa" and "Low Density Residential 6-10 upa" to "Multiple Residential 15-25 upa"
- **NCP Amendment** to eliminate flex road and drainage corridor.
- **Rezoning** from RA and RF-12 to RM-30 and RF-10
- **Development Permit**
- **Development Variance Permit**

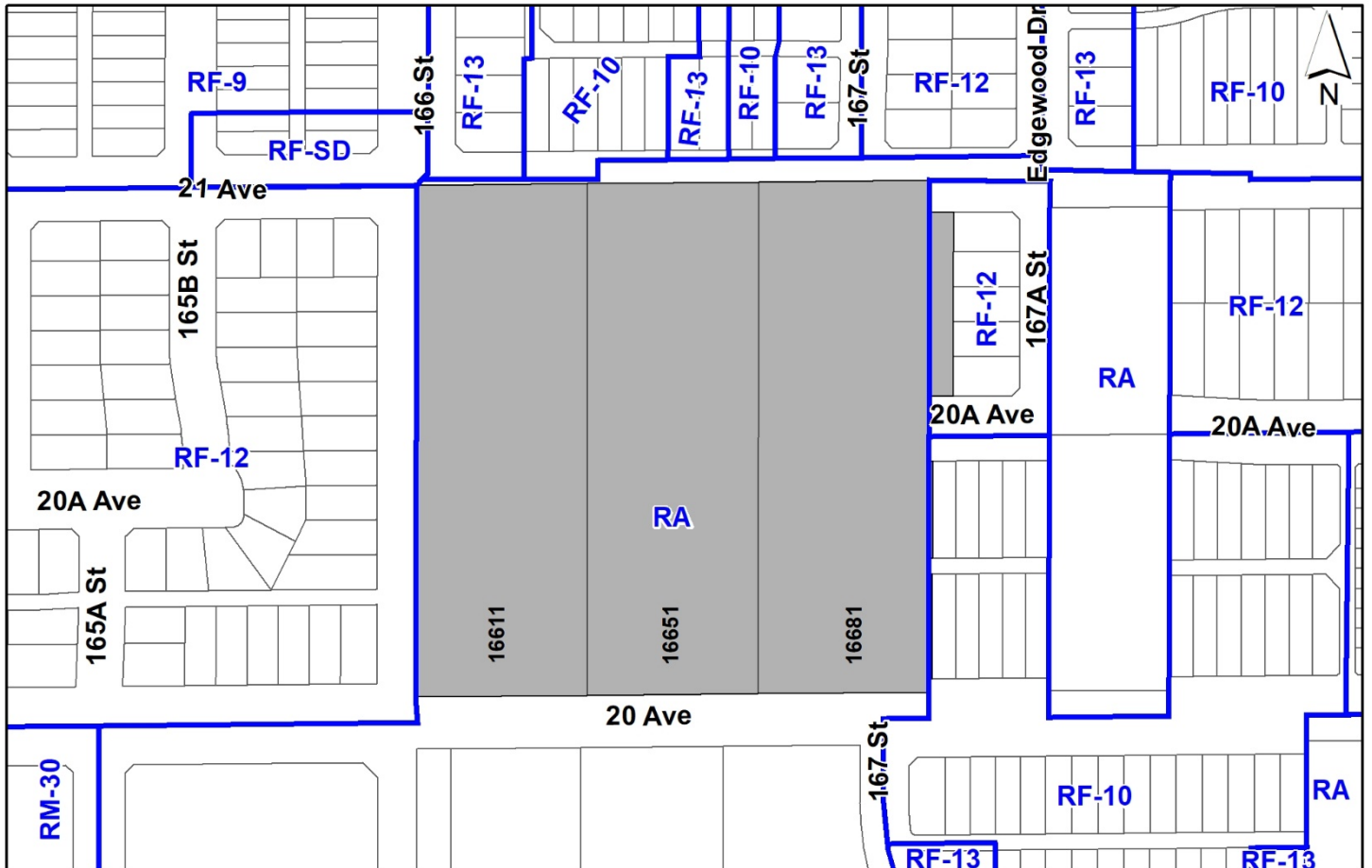
to permit the development of 194 townhouse units and two single family lots.

LOCATION: 16611/16651/16681 - 20 Avenue

ZONING: RA and RF-12

OCP DESIGNATION: Urban

NCP DESIGNATION: Low Density Residential 6-10 upa, Flex Road, and Drainage Corridor



RECOMMENDATION SUMMARY

- Rezoning By-law to proceed to Public Notification. If supported the By-law will be brought forward for First, Second and Third Reading.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant proposes to amend the land use and density for the site in the Sunnyside Heights NCP from "Cluster Residential 6-10 upa" and "Single Family Residential 6-10 upa" to "Multiple Residential 15-25 upa."
- The applicant proposes to further amend the Sunnyside Heights NCP to eliminate a public flex road and drainage corridor that were intended to run east-west through the site.
- The proposal includes reductions to the setback requirements of the RM-30 Zone on all road frontages.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Urban designation in the Official Community Plan (OCP) and the General Urban designation of the Metro Vancouver Regional Growth Strategy (RGS).
- Although the proposal does not comply with the "Cluster Residential 6-10 upa" and "Low Density Residential 6-10 upa" designations in the Sunnyside Heights Neighbourhood Concept Plan (NCP), the proposed designation of "Multiple Residential 15-25 upa" was previously endorsed by Council under previous on-site application 7922-0149-00.
- In accordance with changes to the Local Government Act, Section 464, under Bill 44 (2023) a Public Hearing is not required for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed Rezoning By-law. The Rezoning By-law will be presented to Council for consideration of First, Second, and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.
- The urban design guidelines in the Sunnyside Heights NCP encourage a 4.0 metre front setback on public roads, which is a reduction from the 4.5 metres required by the RM-30 zone.
- The proposal partially complies with the Development Permit requirements in the OCP for Form and Character.

- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density above the NCP designation.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to rezone the portion of the site shown as Block A on the Survey Plan attached as Appendix V from "One-Acre Residential Zone (RA)" and "Single Family Residential (12) Zone (RF-12)" to "Multiple Residential 30 Zone (RM-30)," and to rezone the portion of the site shown as Block B on the Survey Plan attached from "One-Acre Residential Zone (RA)" to "Single Family Residential (10) Zone (RF-10)"
2. Council authorize staff to draft Development Permit No. 7924-0032-00 generally in accordance with the attached drawings (Appendix I).
3. Should Council grant First and Second Reading to the subject application, Council file By-law No. 20769 and close Land Development Project No. 7922-0149-00 and all applications associated with this project.
4. Council approve Development Variance Permit No. 7924-0032-00 (Appendix VI) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum north front yard setback of the RM-30 Zone from 4.5 metres to 4.0 metres to the principal building face for Buildings 19, 20, 21, and 22;
 - (b) to reduce the minimum north side yard setback of the RM-30 Zone from 6.0 metres to 4.0 metres to the principal building face for Building 18;
 - (c) to reduce the minimum west front yard setback of the RM-30 Zone from 4.5 metres to 4.0 metres to the principal building face for Buildings 17 and 18, 30 and 31;
 - (d) to reduce the minimum west side yard setback of the RM-30 Zone from 6.0 metres to 4.0 metres to the principal building face for Building 15;
 - (e) to reduce the minimum south setback of the RM-30 Zone from 6.0 metres to 4.5 metres to the principal building face for Building 3,4 and 5 and from 6.0 metres to 5.1 metres for side yard of Building 2;
 - (f) to reduce the minimum east side yard setback of the RM-30 Zone from 6.0 metres to 4.0 metres to the principal building face for Building 22;
 - (g) to reduce the minimum southeast side yard setback of the RM-30 Zone from 6.0 metres to 3.7 metres to the principal building face for Building 22; and
 - (h) to reduce the minimum east front yard setback of the RM-30 Zone from 4.5 metres to 4.0 metres to the principal building face for Buildings 1 and 2.

5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (h) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-30 Zone, at the rate in effect at the time of Final Adoption;
 - (i) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (j) registration of a right-of-way for public rights-of-passage for the multi-use pathway;
 - (k) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space; and
 - (l) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department.
6. Council pass a resolution to amend the Sunnyside Heights Neighbourhood Concept Plan (NCP) to redesignate a portion of the land from "Cluster Residential 6-10 upa" and "Low-Density Residential 6-10 upa" to "Multiple Residential 15-25 upa," and to eliminate the flex road and drainage corridor alignments, when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Existing large residential lots (vacant)	Cluster Residential 6-10 upa, Low Density Residential 6-10 upa, flex road, drainage corridor	RA and RF-12
North and West (Across 21 Avenue and 166 Street):	Small-lot single family residential	Medium Density Residential 10-15 upa	RF-10, RF-12 and RF-13
East:	Small-lot single family residential	Low Density Residential 6-10 upa	RF-10 and RF-12
South (Across 20 Avenue):	Existing large residential lots, currently under application for NCP amendment to permit townhouse development. (Application No. 7920-0159-00)	Cluster Residential 6-10 upa, Low Density Residential 6-10 upa, flex road	RA

Context & Background

- The properties comprising the subject application are approximately 4 hectares (10 acres) in total. They span between 20 Avenue and 21 Avenue, east of 166 Street.
- The site consists of three properties that have historically been used for large single-family homes with significant tree coverage on the lots.
- The properties are zoned "One-Acre Residential Zone" (RA), with the exception of a small portion of the east side of the site that was rezoned to Single Family Residential (12) Zone (RF-12) as part of the abutting Development Application No. 7915-0218-00 and subsequently consolidated with the subject site.
- All properties are designated "Urban" in the Official Community Plan (OCP).
- The two western-most lots are designated "Cluster Residential 6-10 upa" in the Sunnyside Heights NCP. The eastern lot is designated "Low-Density Residential 6-10 upa" in the Sunnyside Heights NCP. All three lots together are identified as a consolidation area.

- The cluster designation is intended to facilitate tree retention through sensitive clustered development. In this case, the NCP requires that 30-40% of the cluster-designated area be preserved for open space and tree preservation purposes. Outside of this open space, the rest of the site may support higher-density development, with a maximum permitted density of 6-10 upa averaged over the entire area.
- On October 17, 2022, Council approved Third Reading to previous on-site Development Application No. 7922-0149-00 for amendment to change the land use from the existing "Cluster Residential 6-10 upa" and "Low Density Residential 6-10 upa" to "Multiple Residential 15-25 upa," which is the same land use proposed under the current application. At that time, there were more trees proposed for retention within a 0.31 hectare proposed park which was voluntarily to be conveyed to the City by the applicant. This park was to offset the public benefit provided by the proposed removal of the east-west public road and drainage corridor identified in the NCP.
- The park is not a requirement of the Sunnyside Heights Neighborhood Concept Plan, and was being provided voluntarily in order to retain trees on the site as part of the Cluster Designation. A detailed assessment of the trees by both the applicant's arborist and City arborists revealed that a number of the existing trees on this site were diseased and therefore not good candidates for retention. The public park has now been removed from the current proposal, as the trees on the site are no longer viable, and for market conditions, in order to provide more housing on the site.

DEVELOPMENT PROPOSAL

Planning Considerations

- The application includes proposed amendments to the Sunnyside Heights Neighbourhood Concept Plan (NCP), as follows:
 - Land-use amendment from "Cluster Residential 6-10 upa" and "Low Density Residential 6-10 upa" to "Multiple Residential 15-25 upa;" and
 - Elimination of the flex road and drainage corridor that bisect the site in the NCP.
- A rezoning is proposed, from "One-Acre Residential Zone (RA)" and "Single Family (12) Residential Zone (RF-12)" to "Multiple Residential (30) Zone (RM-30)" and "Single Family (10) Residential Zone (RF-10)" to allow for approximately 194 townhouse units and 2 single family lots.
- The applicant proposes to retain 2% of the "cluster" designated properties for tree retention and open space and to convey this land to the City, which consists of 0.06 hectares of land in the middle of the site within the Outdoor Amenity Area.
- On the remaining developable portion of the site, 194 townhouse units are proposed. The proposed density is 68.8 units per hectare (25.8 units per acre [upa]).

- A shortfall of indoor amenity space is proposed. 513 square metres of indoor amenity space is required based on 3 square metres/unit, and the applicant proposes to provide 312 square metres, which is over the minimum 75 square metres required. Cash-in-lieu will be provided for the space shortfall, in accordance with the Zoning Bylaw.
- Two single family residential lots are proposed east of 167 Street to complete the original subdivision under Application No. 7915-0218-00.

	Proposed
Lot Area	
Gross Site Area:	3.99 ha
Road Dedication:	0.87 ha
RF-10 lots:	0.08 ha
Net Site Area:	3.04 ha
Number of Lots:	One townhouse lot and two RF-10 lots
Building Height:	10.7 metres maximum
Unit Density:	63.8 uph (25.8 upa)
Floor Area Ratio (FAR):	
Floor Area	
Townhouse:	0.97 FAR

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: The School District has advised that there will be approximately 143 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

93 Elementary students at Edgewood Elementary School
 50 Secondary students at Grandview Heights Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that some of the dwelling units in this phased project are expected to be constructed and ready for occupancy by Summer 2025.

Parks, Recreation & Culture:	Edgewood Park is the closest active park with amenities including a playground, games court, soccer field and open space and is 236 metres walking distance from the development. This park also contains natural area.
Surrey Fire Department:	The Fire Department has no objection to the proposal, subject to the correct placement of fire hydrants, which must be addressed as part of the Development Permit.

Transportation Considerations

- The Sunnyside Heights Neighbourhood Concept Plan (NCP) identifies an east/west road through the property to enhance connectivity in the area. In the plan, the road is considered a “flex road,” meaning that the precise alignment of the road is flexible, depending on the development pattern that is established. The NCP shows a drainage corridor on the north side of the flex road.
- The applicant proposes to eliminate the flex road from the plan, due to the proposed consolidation assembly pattern, adequate access being achieved, acceptable existing block sizes, and the surrounding adequate road network.
- Two driveways are proposed to access the site: one on 166 Street from the west and one at the intersection of 167 Street and 20A Avenue to the south east.
- A multi-use pathway, the Sunnyside Greenway, runs along the south boundary of the site, on the north side of 20 Avenue. This pathway will be partially within the public road allowance and partially within a right-of-way on the subject property.
- The site is in a largely residential area in the Sunnyside Heights NCP. There are few commercial amenities within walking distance. The closest bus route is on 24 Avenue, which is nearly one kilometre to the north. This bus route connects the Semiahmoo Town Centre and White Rock to the Willowbrook area in the City of Langley.

School Capacity Considerations

- School capacity has been a longstanding concern in the Sunnyside Heights neighbourhood. In 2017, through Corporate Report No. R129, Council put in place a six month moratorium on any development applications proposing NCP amendments until a new school site could be established. This application was subject to the moratorium in 2017, until a second elementary school site was acquired on the south side of 20 Avenue. The combined capacity of the two elementary schools in Sunnyside Heights, when they are completed, is expected to accommodate the projected student population of this NCP area under the land-use designations currently prescribed by the plan.

- The density proposed in this application is significantly higher than what is permitted in the NCP, and the total number of units is higher than what was endorsed in the Stage 1 report. To consider the actual impact, as part of the Stage 1 review, City staff worked with School District staff on appropriate forecasting of the student population. The School District determined at that time that the number of students generated from single family development is roughly equivalent to the number of students generated from townhouses, due to the fact that many single family homes contain secondary suites.
- As of September 2021, Edgewood Elementary School reached 100% capacity. The new Ta'talu Elementary School, which will be south of 20 Avenue, is targeted to open in the fall of 2024. The applicant estimates that the proposed development could be ready for occupancy as early as 2025, which would coincide with the new school capacity becoming available.
- Under Application No. 7922-0149-00, the projected school numbers were 72. In February 2024, taking market conditions and population projections into consideration, the yield rates have increased for townhouse projects. The projected number of students for this proposed development is now 143 students, which is an increase of 71 students. An additional 23 units have been added under the new application.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The properties are designated "General Urban" in the Metro Vancouver Regional Growth Strategy (RGS) and the proposal complies with this designation.

Official Community Plan

Land Use Designation

- The properties are designated "Urban" in the Official Community Plan (OCP) and the proposal complies with this designation.

Themes/Policies

- A1 Growth Priorities (General): support development in compliance with Metro Vancouver's RGS and within comprehensively-planned new neighbourhoods within approved Secondary Plan areas.
 - *The proposed development is within the Sunnyside Heights Neighbourhood Concept Plan (NCP) area, which is an approved Secondary Plan.*
- A4 Efficient New Neighbourhoods (General): Plan and develop new neighbourhoods with an emphasis on compact forms of development that effectively utilize land, public infrastructure, and City resources; enhance neighbourhood quality; and reduce development pressures on agricultural and environmentally sensitive lands. Encourage the full and efficient build-out of existing planned urban areas in order to achieve planned capacities, use infrastructure efficiently, provide housing options, and provide amenities to residents.

- *The proposed townhouse development will provide for a variety of housing types within this part of the Sunnyside Heights plan area.*
- B4 Healthy Neighbourhoods, policy B4.7: Design housing units to front directly onto public streets and/or public spaces, in order to facilitate a safe, welcoming, public streetscape and public realm.
 - *Site design includes townhouse units fronting onto all major roads surrounding the development site.*

Secondary Plans

Land Use Designation

- The site is designated "Cluster Residential 6-10 upa," "Low-Density Residential 6-10 upa," "flex road," and "drainage corridor" in the Sunnyside Heights Neighbourhood Concept Plan (NCP).

Amendment Rationale

- The applicant proposes to amend the Sunnyside Heights NCP as follows:
 - Redesignate the site from "Cluster Residential 6-10 upa" and "Low-Density Residential 6-10 upa" to "Multiple Residential 15-25 upa;" and
 - Eliminate the flex road and the drainage corridor.
- Rationale for the land-use redesignation was considered as part of the Stage 1 report and was endorsed by Council in July 2019. The proposed elimination of the flex road and drainage corridor occurred subsequent to the Stage 1 report.

Rationale for Land-Use Redesignation

- The "cluster" designations in the Sunnyside Heights NCP were used in areas where significant tree coverage was observed with the intention that larger tree retention areas (30-40% of the "cluster development" sites) could be incorporated into the new neighbourhood.
- Application No. 7922-0149-00 proposed a park which retained majority of the trees on site. A detailed assessment of the trees by both the applicant's arborist and City arborists revealed that majority of the existing trees on this site were diseased and therefore not good candidates for retention. The park is not a requirement of the Sunnyside Heights Neighborhood Concept Plan, and was being provided voluntarily, therefore, the public park has now been removed.
- The applicant's proposal for a greater number of smaller and higher-density units will create a more affordable housing product than the single-family homes and larger townhomes that would be built under the existing designation. It will allow for a mix of housing types within this neighbourhood.
- The developer states that the prices for larger homes would make it uneconomical to develop this site under a 6-10 upa scenario. The applicant's proposal is consistent with current market trends, which have seen larger and more expensive homes decline in attainability in this area since the NCP was finalized in 2010.

- Staff requested that the applicant's engineering consultant conduct a trip generation analysis between a single-family development with 50% secondary suites, which would be compatible with the existing land-use designation, and the proposed development. Based on a single family concept with 71 units and 50% secondary suites, the expected trip generation would be 85 trips per hour during the afternoon peak. If the application were to be accepted by Council, the proposed townhouse development would be expected to generate 87 trips per hour during the afternoon peak. As a result, based on this analysis, the rezoning would generate approximately two additional trips per hour during the afternoon.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.
- The applicant will be required to provide the per unit rate for the number of units above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.

Rationale for Elimination of the Flex Road and Associated Drainage Corridor

- The applicant states that due to the block size and type of development, an east/west road is not needed in this location.
- Transportation Engineering has reviewed the applicant's submission and accepted the rationale for elimination of the road.
- The applicant will provide additional on-site storm water retention in lieu of the drainage corridor.

Zoning By-law

- The applicant proposes to rezone the subject site from "One Acre Residential Zone (RA)" and "Single Family Residential (12) Zone (RF-12)" to "Multiple Residential 30 Zone (RM-30)" and "Single Family Residential (10) Zone (RF-10)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Multiple Residential 30 Zone (RM-30)", streamside setbacks and parking requirements.

RM-30 Zone (Part 22)	Permitted and/or Required	Proposed
Unit Density:	75 units per hectare	63.8 units per hectare
Floor Area Ratio:	1.0	0.97
Lot Coverage:	45%	45%
Yards and Setbacks		
All sides	4.5 metres for front yards 6.0 metres for rear yards 6.0 metres for side yards	4.0 metres for front yards 6.0 metres for rear yards *DVP: Several variances.
Height of Buildings		
Principal buildings:	13 metres	10.7 metres maximum

RM-30 Zone (Part 22)	Permitted and/or Required	Proposed
Amenity Space		
Indoor Amenity:	513 square metres required	The proposed 312 square metres plus \$172,500 cash-in-lieu meets the Zoning By-law requirement, based on current rates, which are subject to change.
Outdoor Amenity:	513 square metres required	641 square metres
Parking (Part 5)		
Number of Stalls		
Residential:	342	388
Residential Visitor:	34	41
Total:	376	429
Tandem (%):	50% maximum	14%

- The applicant is requesting the following variances:
 - (a) to reduce the minimum north front yard setback of the RM-30 Zone from 4.5 metres to 4.0 metres to the principal building face for Buildings 19, 20, 21, and 22;
 - (b) to reduce the minimum north side yard setback of the RM-30 Zone from 6.0 metres to 4.0 metres to the principal building face for Building 18;
 - (c) to reduce the minimum west front yard setback of the RM-30 Zone from 4.5 metres to 4.0 metres to the principal building face for Buildings 17 and 18, 30 and 31;
 - (d) to reduce the minimum west side yard setback of the RM-30 Zone from 6.0 metres to 4.0 metres to the principal building face for Building 15;
 - (e) to reduce the minimum south setback of the RM-30 Zone from 6.0 metres to 4.5 metres to the principal building face for Building 3,4 and 5 and from 6.0 metres to 5.1 metres for side yard of Building 2;
 - (f) to reduce the minimum east side yard setback of the RM-30 Zone from 6.0 metres to 4.0 metres to the principal building face for Building 22;
 - (g) to reduce the minimum southeast side yard setback of the RM-30 Zone from 6.0 metres to 3.7 metres to the principal building face for Building 22; and
 - (h) to reduce the minimum east front yard setback of the RM-30 Zone from 4.5 metres to 4.0 metres to the principal building face for Buildings 1 and 2.

- The front yard setback variances are in keeping with the urban design guidelines of the Sunnyside Heights NCP, which specify a 4.0 metre setback to unit frontages.
- The site plan proposes front yard setbacks of 4.0 metres. The building is brought closer to the streets (20 Ave, 21 Avenue, 166 Street and 167 Street) with 4.0 metre setbacks to animate the streets and provide visual surveillance of the public realm. The ground floor units have an door to the sidewalk, providing direct access and promotes interaction with the public realm.
- The side yard setbacks of the units are proposed at 4.0 metres, with the exception of Building 22 which is proposed at 3.7 metres. The side of units will be enhanced to be integrated into the architectural design.
- Staff support the requested variances to proceed for consideration.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,136 per unit for townhouses.
- The applicant will be required to provide the per unit flat rate for the number of units above the approved Secondary Plan designation in order to satisfy the proposed Secondary Plan Amendment (Tier 2 CAC). The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption. The current rate is \$21,360 per unit for townhouses.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,068 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on March 25th and the Development Proposal Signs were installed on March 21, 2024. Staff have received eight (8) responses from neighbouring residents. Two (2) comments were in favour of the proposed development and six (6) with the following concerns:

- Proposal has changed to the original 194 townhouse concept and the applicants have removed the park which resulted from public input from the community.

The park is not a requirement of the Sunnyside Heights Neighborhood Concept Plan, and was being provided voluntarily in order to retain trees on the site as part of the Cluster Designation. A detailed assessment of the trees by both the applicant's arborist and City arborists revealed that a number of the existing trees on this site were diseased and therefore not good candidates for retention. The public park has now been removed from the current proposal, as the trees on the site are no longer viable, and for market conditions, in order to provide more housing on the site

- The Elementary School in the catchment is Edgewood Elementary, which is overpopulated and currently operating with a large number of portables.

The new Ta'talu Elementary School, which will be south of 20 Avenue, is targeted to open in the Fall of 2024 which should relieve some pressures from Edgewood Elementary School.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Sunnyside Heights Neighbourhood Concept Plan (NCP).
- The proposal consists of 180 townhouse units with double garages and 14 with a tandem arrangement. All of the double units will have four bedrooms. The tandem units, some of which will have tandem garages and some of which will have a single garage with a parking pad, will have three bedrooms.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Sunnyside Heights Neighbourhood Concept Plan (NCP).
- The site is designed with units fronting all public roads.

Landscaping

- On-site landscaping includes a primary north/south pedestrian walkway connecting to 20 Avenue at the south end and the main indoor and outdoor amenity areas on the site.
- Small plaza areas that are designed for public use will be located at the northwest and southeast corners of the site. The plazas will be designed with benches and landscape planting.
- The southeast plaza will be located directly adjacent to the east/west multi-use pathway that will run along the north side of 20 Avenue.
- A 1.5 metre wide private pathway will also be provided east-west through the site.

Indoor Amenity

- The proposed indoor amenity building is located towards the centre of the site, adjacent to the outdoor amenity area.
- The RM-30 Zone requires 513 square metres of indoor amenity space. The applicant proposes to provide 312 square metres of physical space plus \$172,500 of cash-in-lieu to address the shortfall in amenity space, in accordance with the General Provisions of the Zoning Bylaw. This fee has been calculated according to current Bylaw rates and is subject to change.
- The proposed indoor amenity building will be two-storeys, with an office, yoga studio, gym, kitchen, and two lounge areas.

Outdoor Amenity

- The RM-30 Zone requires 513 square metres of outdoor amenity space and the applicant proposes to provide 641 square metres, which exceeds the minimum requirement.
- The main outdoor amenity area is located adjacent to the indoor amenity building near the centre of the site. This area contains a children's play structure and a patio for outdoor seating.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include clarification for labelling, refinement of the interface between units on 20 Avenue and the multi-use pathway, and the provision of additional landscaping within the internal drive aisles.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Nick McMahon, ISA Certified Arborist of ACL Group prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	43	43	0
Cottonwood	0	0	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Vine Maple	2	2	0
Bigleaf Maple	33	33	0
Japanese Maple	2	2	0
Paper Birch	19	19	0
Katsuratree	1	1	0
Pacific Dogwood	3	3	0
European Beech	3	3	0
Tuliptree	1	1	0
Apple	1	1	0
London Planetree	1	1	0
Portuguese Laurel	1	1	0
Flowering Cherry	2	2	0
English Oak	2	2	0
Red Oak	1	1	0
Littleleaf Linden	1	1	0
Coniferous Trees			
Grand Fir	26	26	0
Blue Atlas Cedar	2	2	0
Lawson Cypress	2	2	0
China Fir	3	3	0
Western Larch	1	1	0
Dawn Redwood	1	1	0
Sitka Spruce	1	1	0
Shore Pine	1	1	0
Western White Pine	2	2	0
Douglas Fir	145	145	0
Japanese Umbrella Pine	1	1	0
Coast Redwood	2	2	0
Giant Sequoia	11	1	0
Pacific Yew	1	1	0
Western Red Cedar	98	98	0
Western Hemlock	7	7	0
Total (excluding Alder and Cottonwood Trees)	367	367	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		254	

Total Retained and Replacement Trees Proposed	254
Estimated Contribution to the Green City Program	\$287,650

- The Arborist Assessment states that there are a total of 367 mature trees on the site, excluding Alder and Cottonwood trees. 43 existing trees, approximately 10.5% of the total trees on the site, are Alder and Cottonwood trees. The applicant proposes to retain no trees as part of this development proposal.
- The Sunnyside Heights NCP requires under the Cluster Residential designation that 30-40% of the site area be set aside for open space and tree preservation.
- The applicant submitted an arborist report that documented evidence of tree disease, which suggests that the NCP’s expectation of significant tree retention on this site may need to be adjusted. However, staff encouraged the applicant to retain more greenspace on-site to plant new trees and meet the intent of the Cluster designation, which the applicant declined. The original proposal under Application No. 7922-0149-00 included additional greenspace in the form of a public park which has now been removed.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of 777 replacement trees on the site. Since the proposed 254 replacement trees can be accommodated on the site, the proposed deficit of 523 replacement trees will require an estimated cash-in-lieu payment of \$287,650, representing \$550 per tree for applications, to the Green City Program, in accordance with the City’s Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including Paperback Maple, Red Rocket Maple, Katsura Tree, Forest Pansy Redbud, Pink Flowering Dogwood, Worplesdon Sweet Gum, Bruns Serbian Spruce, Crimson Spire Oak, Japanese Snowbell, and Western Red Cedar.
- In summary, a total of 254 trees are proposed to be replaced on the site with an estimated contribution of \$287,650 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Proposed Subdivision Layout, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix V. Block Plan
- Appendix VI. Development Variance Permit No. 7924-0032-00

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

HS/ar

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ISSUE FOR	BY	DATE	DATE
ISSUED FOR IP	L.F.A.	1 MAR 13 2022	15 FEB 20 2024
ISSUED FOR IP	H.C.B.		
ISSUE			
1			
2			
REV#	DATE	BY#	DD#

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023-C - (CURRENT) .dwg

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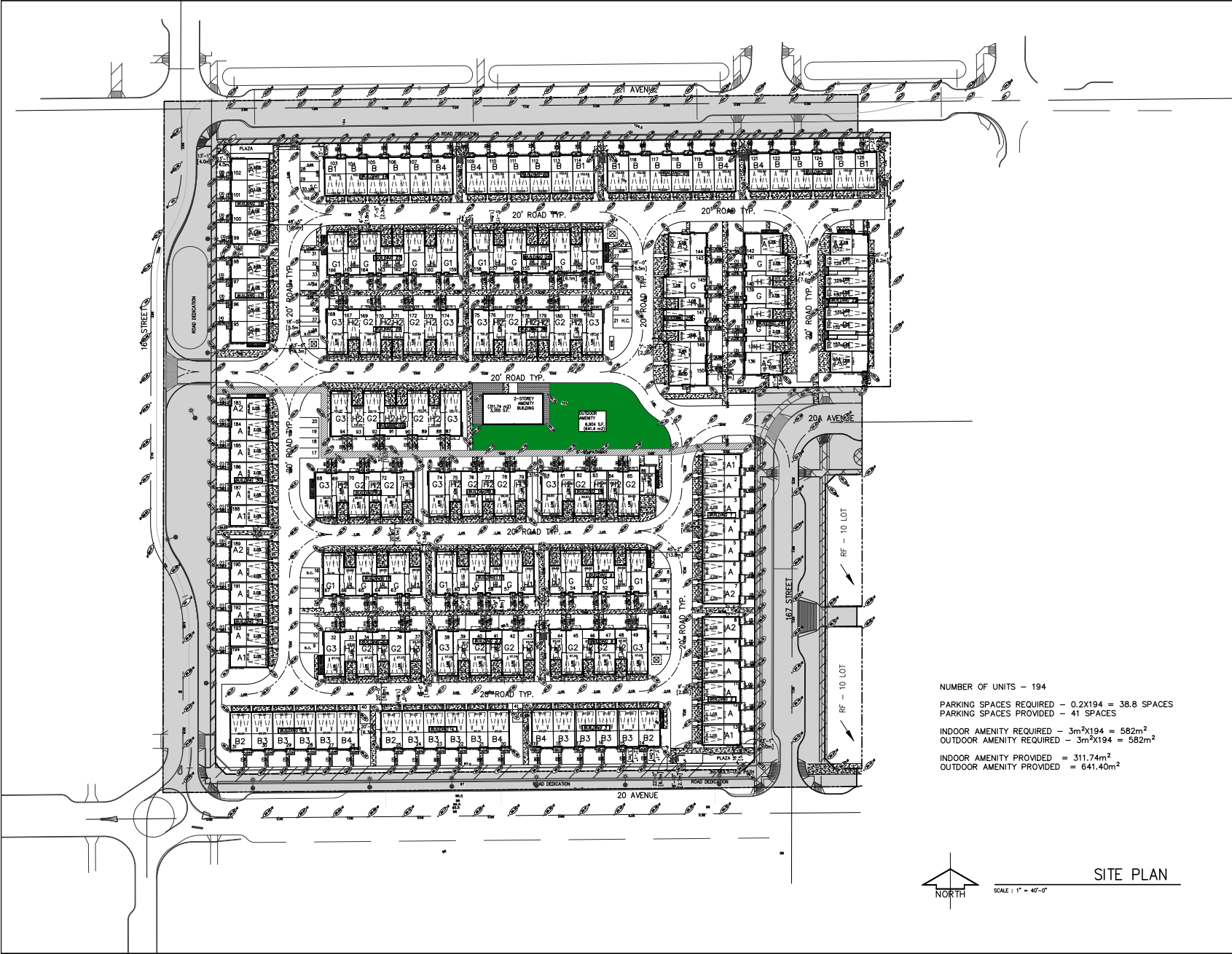
CLIENT : MARATHON HOMES SUNNYSIDE LTD.
 PROJECT : 16611, 16651 & 16681 - 20TH AVENUE
 SHEET NO. : CONCEPTUAL SITE PLAN



UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mol@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15062	AC-1.0



NUMBER OF UNITS - 194
 PARKING SPACES REQUIRED - 0.2X194 = 38.8 SPACES
 PARKING SPACES PROVIDED - 41 SPACES
 INDOOR AMENITY REQUIRED - 3m²X194 = 582m²
 OUTDOOR AMENITY REQUIRED - 3m²X194 = 582m²
 INDOOR AMENITY PROVIDED = 311.74m²
 OUTDOOR AMENITY PROVIDED = 641.40m²



SCALE : 1" = 40'-0"

SITE PLAN

DEVELOPMENT DATA

Civic Address 2051 167 Street Surrey, BC

Zoning RM30, RF-10

Site Area (Gross) 429,294 s.f. 39,882.7 m² 3.99 ha 9.86 Ac
 Road dedications 93,795 s.f. 8,713.8 m² 0.87 ha 2.15 Ac
 RF-10 Lots 8,713 s.f. 809.5 m² 0.08 ha 0.20 Ac
Site Area (Net) 326,786 s.f. 30,359.4 m² 3.04 ha 7.50 Ac

Lot Coverage 45.00% 147,044 s.f.

Density 194 units 63.9 UPHa 25.9 UPA

FAR 317,617 s.f. 29,507.6 m² **0.97 FAR** (Excluding Garages)
 (Including Ground Floor Rooms & Electrical Rooms)

Amenity Required - Outdoor 3m²/unit 582 m² 6,265 s.f.
 Required - Indoor 3m²/unit 582 m² 6,265 s.f.
 Provided - Outdoor = 641 m² 6,904 s.f.
 Provided - Indoor = 312 m² 3,356 s.f.

Parking Required 2 spaces / unit 388
 0.2 / unit 38.8
 Total 427 Spaces
 Provided 2 spaces / unit 388
 Visitor 41
 Total 429 Spaces

Setbacks North 13.16 ft. 4.0 m To Building Face
 West 13.08 ft. 4.0 m To Building Face
 16.5 ft. 5.0 m To Building Face
 South 21.30 ft. 6.5 m To Building Face
 East 12.16 ft. 3.7 m To Building Face
 20.25 ft. 6.2 m To Building Face
 13.25 ft. 4.0 m To Building Face

UNIT BREAKDOWN

Unit Type	# of Bedrooms	Type of Garage	Ground Floor (excl. garage)	Main Floor	Upper Floor	Garage	S.F./ Unit (excl. garage)	M ² /unit	# of Units	Total S.F. (excl. garage)	Total M ²
A	3	Double	303	702	741	410	1,746	162	23	40,158	3,731
A1	3	Double	305	722	761	413	1,788	166	7	12,516	1,163
A2	3	Double	305	708	747	413	1,760	164	6	10,560	981
A3	3	Double	305	740	734	413	1,779	165	1	1,779	165
A4	3	Double	305	726	734	413	1,765	164	1	1,765	164
A5	3	Double	321	754	785	427	1,860	173	3	5,580	518
B	3	Double	302	732	740	410	1,774	165	16	28,384	2,637
B1	3	Double	305	739	747	413	1,791	166	4	7,164	666
B2	3	Double	305	750	758	413	1,813	168	3	5,439	505
B3	3	Double	302	732	740	410	1,774	165	12	21,288	1,978
B4	3	Double	305	413	738	746	1,456	135	7	10,192	947
C	3	Double	121	626	636	483	1,383	128	3	4,149	385
D	3	Double	121	626	636	483	1,383	128	3	4,149	385
G	3	Double	306	612	676	405	1,594	148	15	23,910	2,221
G1	3	Double	309	632	713	408	1,654	154	7	11,578	1,076
G2	3	Double	329	612	676	405	1,617	150	18	29,106	2,704
G3	3	Double	331	632	713	408	1,676	156	12	20,112	1,868
H	3	Single	155	612	676	230	1,443	134	19	27,417	2,547
H1	3	Single	156	634	699	236	1,489	138	3	4,467	415
H2	3	Single	155	612	676	230	1,443	134	25	36,075	3,351
H3	3	Single	178	634	699	236	1,511	140	5	7,555	702
H5	2	Single	200	619	670	240	1,489	138	1	1,489	138
Amenity Elec. Rm's							1,652	153	1	1,652	153
							103	10	11	1,133	105
TOTAL							35,988	3,343	194	317,617	29,508

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NO.	DATE	BY	REV.	DESCRIPTION
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10				



03-0 - CURRENT.dwg

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CLIENT : MARATHON HOMES SUNNYSIDE LTD.			
PROJECT : 16611, 16651 & 16681 - 20TH AVENUE SURREY, B.C.			
SHEET CONTENTS : DEVELOPMENT DATA & INFORMATION			



UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@dnrktex.com

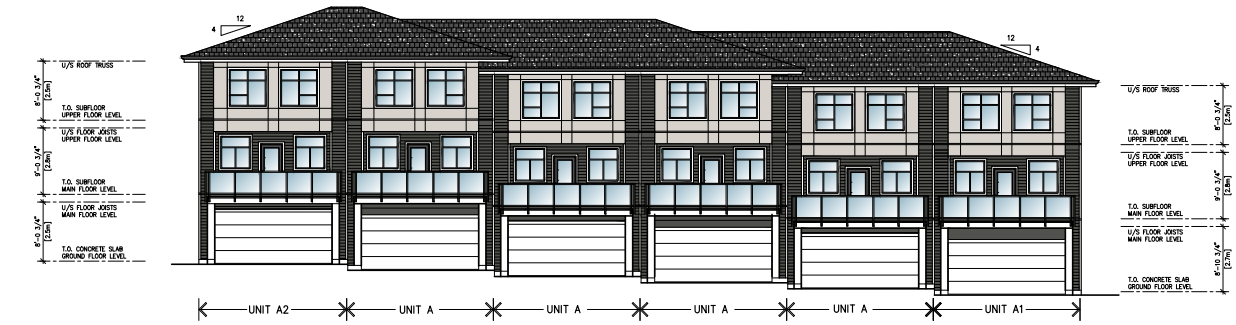
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PROJECT NO. 15062	REV. NO.

SCHEDULE OF FINISHES

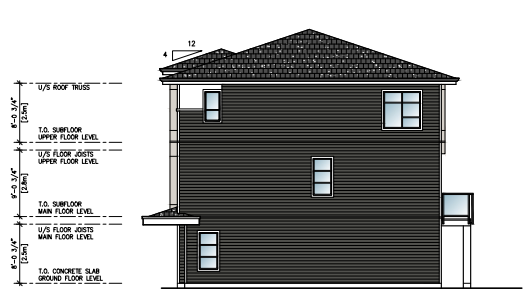
NUMBER	SYMBOL	FINISHES
①		ASPHALT SHINGLE ROOFING K10 CAMBRIDGE DUAL BLACK
②		PREFINISHED ALUMINUM GUTTERS (BLACK KAYCAN) ON 2x10 WOOD FASCIA COLOUR: EXTRA WHITE (SW 7006)
③		1x4 WOOD TRIM ON 2x10 WOOD FASCIA COLOUR: EXTRA WHITE (SW 7006)
④		FIBRE-CEMENT PLANK LAP SIDING COLOUR: VARIES PER BUILDING REFER TO BOTTOM OF FINISHES SCHEDULE
⑤		FIBRE-CEMENT PANEL SIDING COLOUR: CRUSHED ICE (SW 7647)
⑥		2x6 WOOD TRIM COLOUR: EXTRA WHITE (SW 7006)
⑦		BLACK VINYL FRAMED WINDOWS WITH 2x4 TRIM COLOUR: EXTRA WHITE (SW 7006)
⑧		METAL FLASHING COLOUR: TO MATCH SIDING
⑨		42 1/8" HIGH POWDER COATED ALUMINUM RAILING 1/4" TEMPERED GLASS PANELS COLOUR: BLACK
⑩		12x12 BUILT-UP COLUMN (CLAD IN FIBRE-CEMENT PANEL) COLOUR: CRUSHED ICE (SW 7647)
⑪		CORNER TRIM COLOUR: TO MATCH SIDING
⑫		GARAGE DOOR COLOUR: EXTRA WHITE (SW 7006) TRIM COLOUR: EXTRA WHITE (SW 7006)
⑬		EXTERIOR METAL DOOR COLOUR: BLACK MAGIC (SW 6991) DOOR TRIM COLOUR: EXTRA WHITE (SW 7006)
BUILDING #2		FIBRE-CEMENT PLANK LAP SIDING COLOUR: IRON ORE (SW 7069)

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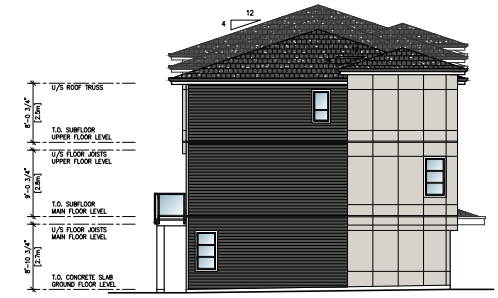
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1	JAN 13 2022	L.F.B.	M.E.B.		ISSUED FOR PERMITS
2	FEB 20 2024				ISSUED FOR PERMITS



WEST ELEVATION
SCALE : 1/8" = 1'-0"



NORTH ELEVATION
SCALE : 1/8" = 1'-0"



SOUTH ELEVATION
SCALE : 1/8" = 1'-0"



EAST ELEVATION
SCALE : 1/8" = 1'-0"

BUILDING #2

092-048.dwg

DESIGN : L.F.B.	DRAWN : L.F.B.
CLIENT : MARATHON HOMES SUNNYSIDE LTD	PROJECT : 16651 & 16681 - 20TH AVENUE, SURREY
	DATE : OCT 11 21
	SHEET CONTENTS : BUILDING ELEVATIONS

barnett dembck

UNIT #35,
7636 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mol@darkitex.com

CLIENT NO. AC-4.2	SHEET NO. REV. NO.
PROJECT NO. 15062	

SCHEDULE OF FINISHES

NUMBER	SYMBOL	FINISHES
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②		PREFINISHED ALUMINUM GUTTERS (BLACK KAYCAN) ON 2x10 WOOD FASCIA COLOUR: EXTRA WHITE (SW 7006)
③		1x4 WOOD TRIM ON 2x10 WOOD FASCIA COLOUR: EXTRA WHITE (SW 7006)
④		FIBRE-CEMENT PLANK LAP SIDING COLOUR: VARIES PER BUILDING REFER TO BOTTOM OF FINISHES SCHEDULE
⑤		FIBRE-CEMENT PANEL SIDING COLOUR: CRUSHED ICE (SW 7647)
⑥		2x6 WOOD TRIM COLOUR: EXTRA WHITE (SW 7006)
⑦		BLACK VINYL FRAMED WINDOWS WITH 2x4 TRIM COLOUR: EXTRA WHITE (SW 7006)
⑧		METAL FLASHING COLOUR: TO MATCH SIDING
⑨		42" HIGH POWDER COATED ALUMINUM RAILING 1/4" TEMPERED GLASS PANELS COLOUR: BLACK
⑩		12x12 BUILT-UP COLUMN (CLAD IN FIBRE-CEMENT PANEL) COLOUR: CRUSHED ICE (SW 7647)
⑪		CORNER TRIM COLOUR: TO MATCH SIDING
⑫		GARAGE DOOR COLOUR: EXTRA WHITE (SW 7006) TRIM COLOUR: EXTRA WHITE (SW 7006)
⑬		EXTERIOR METAL DOOR COLOUR: BLACK MAGIC (SW 6991) DOOR TRIM COLOUR: EXTRA WHITE (SW 7006)
BUILDING		FIBRE-CEMENT PLANK LAP SIDING COLOUR: CYBERSPACE (SW 7076)

REV	DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE



03-248.dwg

DESIGN :	CLIENT :	DESIGN :	CLIENT :
L.F.B.	MARATHON HOMES SUNNYSIDE LTD	L.F.B.	MARATHON HOMES SUNNYSIDE LTD
DATE :	PROJECT :	DATE :	PROJECT :
FCA 11 21	16651 & 16681 - 20TH AVENUE, SURREY	FCA 11 21	16651 & 16681 - 20TH AVENUE, SURREY
SCALE :	SHEET CONTENTS :	SCALE :	SHEET CONTENTS :
1/8" = 1'-0"	BUILDING ELEVATIONS	1/8" = 1'-0"	BUILDING ELEVATIONS



UNIT 135
7636 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mol@darkitex.com

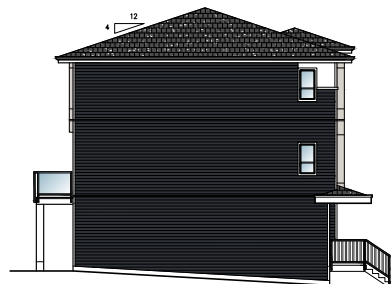
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15062	AC-4.3

BUILDING #3



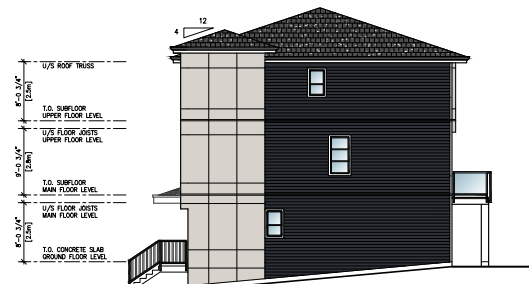
← UNIT B2 * UNIT B3 * UNIT B3 * UNIT B3 * UNIT B3 * UNIT B4 →

NORTH ELEVATION
SCALE : 1/8" = 1'-0"



← UNIT B4 →

WEST ELEVATION
SCALE : 1/8" = 1'-0"



← UNIT B2 →

EAST ELEVATION
SCALE : 1/8" = 1'-0"



← UNIT B4 * UNIT B3 * UNIT B3 * UNIT B3 * UNIT B3 * UNIT B2 →

SOUTH ELEVATION
SCALE : 1/8" = 1'-0"

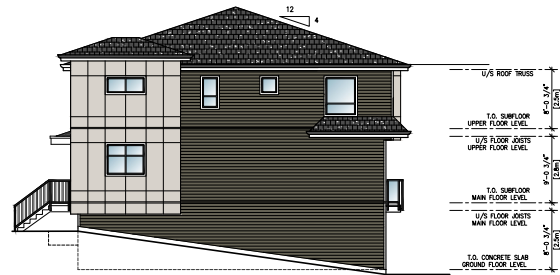
SCHEDULE OF FINISHES

NUMBER	SYMBOL	FINISHES
①		ASPHALT SHINGLE ROOFING R10 CAMBRIDGE DUAL BLACK
②		PREFINISHED ALUMINUM GUTTERS (BLACK KAYCAN) ON 2x10 WOOD FASCIA COLOUR: EXTRA WHITE (SW 7006)
③		1x4 WOOD TRIM ON 2x10 WOOD FASCIA COLOUR: EXTRA WHITE (SW 7006)
④		FIBRE-CEMENT PLANK LAP SIDING COLOUR: VARIES PER BUILDING REFER TO BOTTOM OF FINISHES SCHEDULE
⑤		FIBRE-CEMENT PANEL SIDING COLOUR: CRUSHED ICE (SW 7647)
⑥		2X6 WOOD TRIM COLOUR: EXTRA WHITE (SW 7006)
⑦		BLACK VINYL FRAMED WINDOWS WITH 2X4 TRIM COLOUR: EXTRA WHITE (SW 7006)
⑧		METAL FLASHING COLOUR: TO MATCH SIDING
⑨		42 1/8" HIGH POWDER COATED ALUMINUM RAILING 1/2" TEMPERED GLASS PANELS COLOUR: BLACK
⑩		12x12 BUILT-UP COLUMN (CLAD IN FIBRE-CEMENT PANEL) COLOUR: CRUSHED ICE (SW 7647)
⑪		CORNER TRIM COLOUR: TO MATCH SIDING
⑫		GARAGE DOOR COLOUR: EXTRA WHITE (SW 7006) TRIM COLOUR: EXTRA WHITE (SW 7006)
⑬		EXTERIOR METAL DOOR COLOUR: BLACK MAGIC (SW 6991) DOOR TRIM COLOUR: EXTRA WHITE (SW 7006)
BUILDING		FIBRE-CEMENT PLANK LAP SIDING COLOUR: THUNDER GRAY (SW 7645)

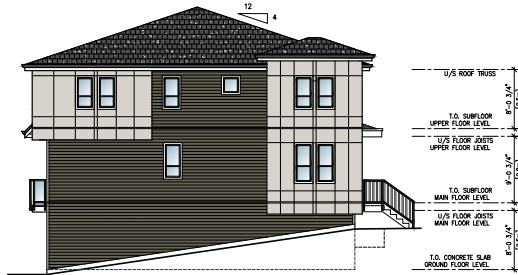
REV#	DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE
	1. JUNE 13 2024	L.F.A.							
	2. FEB 20 2024	H.S.B.							



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

031-046.dwg

DESIGN :	MARATHON HOMES SUNNYSIDE LTD
L.F.A. :	
DRAWN :	
CHECKED :	
DATE :	FEB 11 21
SCALE :	1/8" = 1'-0"
SHEET CONTENTS :	BUILDING ELEVATIONS

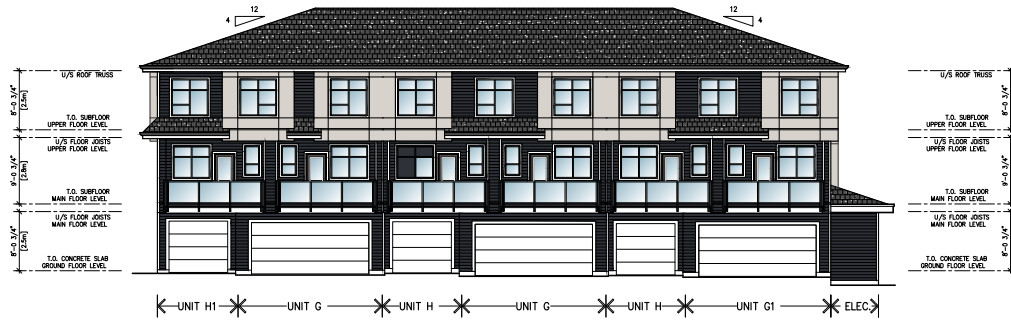
barnett dembek

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

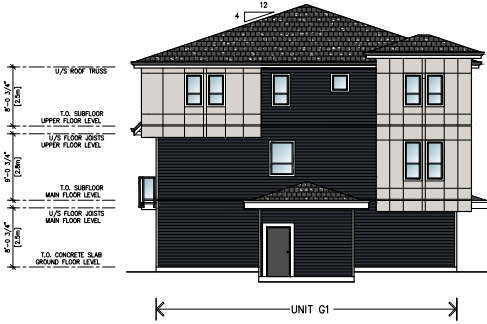
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mat@dorkitex.com

BUILDING #7

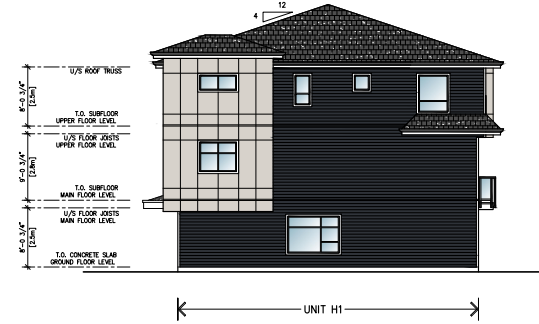
CLIENT NO.	SHEET NO.
PROJECT NO.	AC-4,7
15062	REV. NO.



NORTH ELEVATION
SCALE : 1/8" = 1'-0"



WEST ELEVATION
SCALE : 1/8" = 1'-0"



EAST ELEVATION
SCALE : 1/8" = 1'-0"



SOUTH ELEVATION
SCALE : 1/8" = 1'-0"

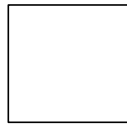
SCHEDULE OF FINISHES

NUMBER	SYMBOL	FINISHES
①		ASPHALT SHINGLE ROOFING K10 CAMBRIDGE DUAL BLACK
②		PREFINISHED ALUMINUM GUTTERS (BLACK KAYCAN) ON 2x10 WOOD FASCIA COLOUR: EXTRA WHITE (SW 7006)
③		1x4 WOOD TRIM ON 2x10 WOOD FASCIA COLOUR: EXTRA WHITE (SW 7006)
④		FIBRE-CEMENT PLANK LAP SIDING COLOUR: VARIES PER BUILDING REFER TO BOTTOM OF FINISHES SCHEDULE
⑤		FIBRE-CEMENT PANEL SIDING COLOUR: CRUSHED ICE (SW 7647)
⑥		2x6 WOOD TRIM COLOUR: EXTRA WHITE (SW 7006)
⑦		BLACK VINYL FRAMED WINDOWS WITH 2x4 TRIM COLOUR: EXTRA WHITE (SW 7006)
⑧		METAL FLASHING COLOUR: TO MATCH SIDING
⑨		42 1/8" HIGH POWDER COATED ALUMINUM RAILING 1/4" TEMPERED GLASS PANELS COLOUR: BLACK
⑩		12x12 BUILT-UP COLUMN (CLAD IN FIBRE-CEMENT PANEL) COLOUR: CRUSHED ICE (SW 7647)
⑪		CORNER TRIM COLOUR: TO MATCH SIDING
⑫		GARAGE DOOR COLOUR: EXTRA WHITE (SW 7006) TRIM COLOUR: EXTRA WHITE (SW 7006)
⑬		EXTERIOR METAL DOOR COLOUR: BLACK MAGIC (SW 6991) DOOR TRIM COLOUR: EXTRA WHITE (SW 7006)
BUILDING 9		FIBRE-CEMENT PLANK LAP SIDING COLOUR: CYBERSPACE (SW 7076)

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		1. JUNE 13 2022		
		2. FEB 20 2024		

REV	DATE	BY	APP



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DESIGN :	L.F.A.
CLIENT : MARATHON HOMES SUNNYSIDE LTD	
DRAWN :	DATE :
PROJECT : 16651 & 16681 - 20TH AVENUE, SURREY	FEB 11 21
SHEET CONTENTS :	SCALE :
BUILDING ELEVATIONS	1/8" = 1'-0"



UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2009
EMAIL: mail@darkitex.com

BUILDING #9

CLIENT NO.	SHEET NO.
	AC-4.9
PROJECT NO.	REV. NO.
15062	

SCHEDULE OF FINISHES

NUMBER	SYMBOL	FINISHES
①		ASPHALT SHINGLE ROOFING KO CAMBRIDGE DUAL BLACK
②		PREFINISHED ALUMINUM GUTTERS (BLACK KAYCAN) ON 2x10 WOOD FASCIA COLOUR: EXTRA WHITE (SW 7006)
③		1x4 WOOD TRIM ON 2x10 WOOD FASCIA COLOUR: EXTRA WHITE (SW 7006)
④		FIBRE-CEMENT PLANK LAP SIDING COLOUR: VARIES PER BUILDING REFER TO BOTTOM OF FINISHES SCHEDULE
⑤		FIBRE-CEMENT PANEL SIDING COLOUR: CRUSHED ICE (SW 7647)
⑥		2x6 WOOD TRIM COLOUR: EXTRA WHITE (SW 7006)
⑦		BLACK VINYL FRAMED WINDOWS WITH 2x4 TRIM COLOUR: EXTRA WHITE (SW 7006)
⑧		METAL FLASHING COLOUR: TO MATCH SIDING
⑨		42 1/8" HIGH POWDER COATED ALUMINUM RAILING 1/4" TEMPERED GLASS PANELS COLOUR: BLACK
⑩		12x12 BUILT-UP COLUMN (CLAD IN FIBRE-CEMENT PANEL) COLOUR: CRUSHED ICE (SW 7647)
⑪		CORNER TRIM COLOUR: TO MATCH SIDING
⑫		GARAGE DOOR COLOUR: EXTRA WHITE (SW 7006) TRIM COLOUR: EXTRA WHITE (SW 7006)
⑬		EXTERIOR METAL DOOR COLOUR: BLACK MAGIC (SW 6991) DOOR TRIM COLOUR: EXTRA WHITE (SW 7006)
BUILDING 15		FIBRE-CEMENT PLANK LAP SIDING COLOUR: CYBERSPACE (SW 7076)

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		1 JUNE 13 2022	

REV	DATE	BY	QTD



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DRAWN :	
DATE :	MAY 11 21
SCALE :	1/8" = 1'-0"
SHEET CONTENTS :	BUILDING ELEVATIONS

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UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2009
EMAIL: mail@barnett.com

CLIENT NO.	SHEET NO.
15062	AG-4.15
PROJECT NO.	REV. NO.

BUILDING #15



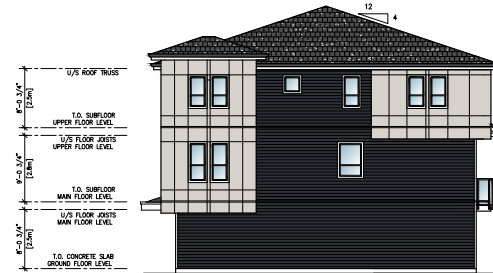
NORTH ELEVATION

SCALE : 1/8" = 1'-0"



WEST ELEVATION

SCALE : 1/8" = 1'-0"



EAST ELEVATION

SCALE : 1/8" = 1'-0"

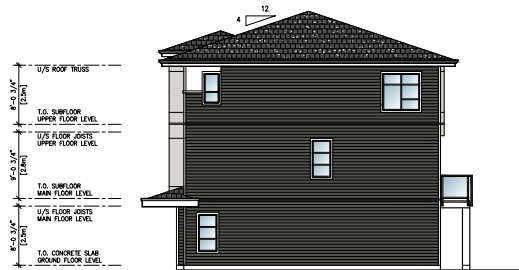


SOUTH ELEVATION

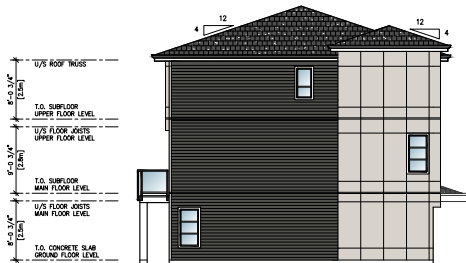
SCALE : 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

NUMBER	SYMBOL	FINISHES
①		ASPHALT SHINGLE ROOFING K10 CAMBRIDGE DUAL BLACK
②		PREFINISHED ALUMINUM GUTTERS (BLACK KAYCAN) ON 2x10 WOOD FASCIA COLOUR: EXTRA WHITE (SW 7006)
③		1x4 WOOD TRIM ON 2x10 WOOD FASCIA COLOUR: EXTRA WHITE (SW 7006)
④		FIBRE-CEMENT PLANK LAP SIDING COLOUR: VARIES PER BUILDING REFER TO BOTTOM OF FINISHES SCHEDULE
⑤		FIBRE-CEMENT PANEL SIDING COLOUR: CRUSHED ICE (SW 7647)
⑥		2X6 WOOD TRIM COLOUR: EXTRA WHITE (SW 7006)
⑦		BLACK VINYL FRAMED WINDOWS WITH 2X4 TRIM COLOUR: EXTRA WHITE (SW 7006)
⑧		METAL FLASHING COLOUR: TO MATCH SIDING
⑨		42, 1/8" HIGH POWDER COATED ALUMINUM RAILING 1/4" TEMPERED GLASS PANELS COLOUR: BLACK
⑩		12x12 BUILT-UP COLUMN (CLAD IN FIBRE-CEMENT PANEL) COLOUR: CRUSHED ICE (SW 7647)
⑪		CORNER TRIM COLOUR: TO MATCH SIDING
⑫		GARAGE DOOR COLOUR: EXTRA WHITE (SW 7006) TRIM COLOUR: EXTRA WHITE (SW 7006)
⑬		EXTERIOR METAL DOOR COLOUR: BLACK MAGIC (SW 6991) DOOR TRIM COLOUR: EXTRA WHITE (SW 7006)
BUILDING 17		FIBRE-CEMENT PLANK LAP SIDING COLOUR: IRON ORE (SW 7069)

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ISSUED FOR	BY	DATE	NO.
1. JUNE 13, 2022	L.F.B.	15.3.	
2. FEB. 20, 2024	M.S.B.	15.3.	



03-148.dwg

DESIGN :	L.F.B.
CLIENT :	MARATHON HOMES SUNNYSIDE LTD
DRAWN :	
PROJECT :	16651 & 16681 - 20TH AVENUE, SURREY
DATE :	FEB. 11, 21
SHEET :	1
SCALE :	1/8" = 1'-0"
SHEET CONTENTS :	
BUILDING ELEVATIONS	



UNIT 135,
7636 130 STREET,
SURREY, B.C.
V3W 1H8
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
AG-4.17	
PROJECT NO.	REV. NO.
15062	

BUILDING #18

SCHEDULE OF FINISHES

NUMBER	SYMBOL	FINISHES
①		ASPHALT SHINGLE ROOFING K10 CAMBRIDGE DUAL BLACK
②		PREFINISHED ALUMINUM GUTTERS (BLACK KAYCAN) ON 2x10 WOOD FASCIA COLOUR: EXTRA WHITE (SW 7006)
③		1x4 WOOD TRIM ON 2x10 WOOD FASCIA COLOUR: EXTRA WHITE (SW 7006)
④		FIBRE-CEMENT PLANK LAP SIDING COLOUR: VARIES PER BUILDING REFER TO BOTTOM OF FINISHES SCHEDULE
⑤		FIBRE-CEMENT PANEL SIDING COLOUR: CRUSHED ICE (SW 7647)
⑥		2x6 WOOD TRIM COLOUR: EXTRA WHITE (SW 7006)
⑦		BLACK VINYL FRAMED WINDOWS WITH 2x4 TRIM COLOUR: EXTRA WHITE (SW 7006)
⑧		METAL FLASHING COLOUR: TO MATCH SIDING
⑨		42 1/8" HIGH POWDER COATED ALUMINUM RAILING 1/2" TEMPERED GLASS PANELS COLOUR: BLACK
⑩		12x12 BUILT-UP COLUMN (CLAD IN FIBRE-CEMENT PANEL) COLOUR: CRUSHED ICE (SW 7647)
⑪		CORNER TRIM COLOUR: TO MATCH SIDING
⑫		GARAGE DOOR COLOUR: EXTRA WHITE (SW 7006) TRIM COLOUR: EXTRA WHITE (SW 7006)
⑬		EXTERIOR METAL DOOR COLOUR: BLACK MAGIC (SW 6991) DOOR TRIM COLOUR: EXTRA WHITE (SW 7006)
BUILDING 19		FIBRE-CEMENT PLANK LAP SIDING COLOUR: DOVER GRAY (SW DLX 1001-5)

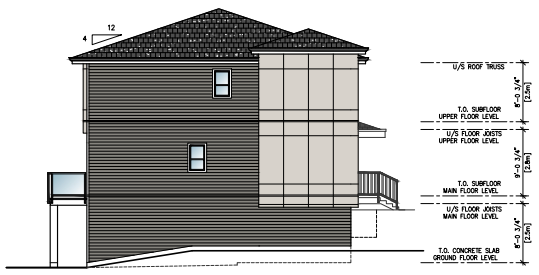
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		1. JUNE 13 2022		
		2. FEB. 20 2024		

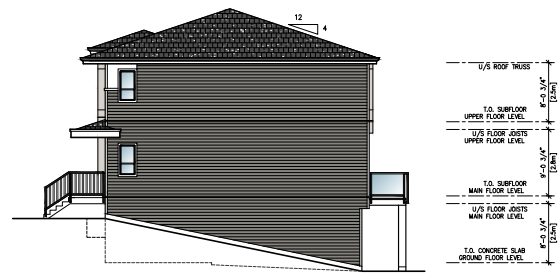
REV	DATE	BY	APP



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

03-248.dwg

DESIGN :	DRAWN :
MARATHON HOMES SUNNYSIDE LTD	

PROJECT :	DATE :
16651 & 16681 - 20TH AVENUE, SURREY	FEB 11 21

SHEET CONTENTS :	SCALE :
BUILDING ELEVATIONS	1/8" = 1'-0"



UNIT 135,
7636 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mol@bdorkitex.com

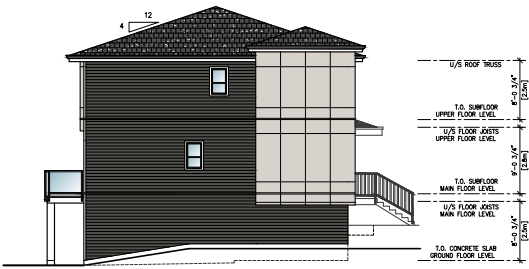
BUILDING #19

CLIENT NO.	SHEET NO.
15062	AC-4.19



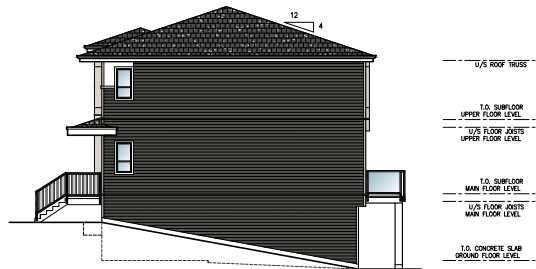
SOUTH ELEVATION

SCALE : 1/8" = 1'-0"



EAST ELEVATION

SCALE : 1/8" = 1'-0"



WEST ELEVATION

SCALE : 1/8" = 1'-0"



NORTH ELEVATION

SCALE : 1/8" = 1'-0"

SCHEDULE OF FINISHES

NUMBER	SYMBOL	FINISHES
①		ASPHALT SHINGLE ROOFING K10 CAMBRIDGE DUAL BLACK
②		PREFINISHED ALUMINUM GUTTERS (BLACK KAYCAN) ON 2x10 WOOD FASCIA COLOUR: EXTRA WHITE (SW 7006)
③		1x4 WOOD TRIM ON 2x10 WOOD FASCIA COLOUR: EXTRA WHITE (SW 7006)
④		FIBRE-CEMENT PLANK LAP SIDING COLOUR: VARIES PER BUILDING REFER TO BOTTOM OF FINISHES SCHEDULE
⑤		FIBRE-CEMENT PANEL SIDING COLOUR: CRUSHED ICE (SW 7647)
⑥		2X6 WOOD TRIM COLOUR: EXTRA WHITE (SW 7006)
⑦		BLACK VINYL FRAMED WINDOWS WITH 2X4 TRIM COLOUR: EXTRA WHITE (SW 7006)
⑧		METAL FLASHING COLOUR: TO MATCH SIDING
⑨		42, 1/8" HIGH POWDER COATED ALUMINUM RAILING 1/4" TEMPERED GLASS PANELS COLOUR: BLACK
⑩		12x12 BUILT-UP COLUMN (CLAD IN FIBRE-CEMENT PANEL) COLOUR: CRUSHED ICE (SW 7647)
⑪		CORNER TRIM COLOUR: TO MATCH SIDING
⑫		GARAGE DOOR COLOUR: EXTRA WHITE (SW 7006) TRIM COLOUR: EXTRA WHITE (SW 7006)
⑬		EXTERIOR METAL DOOR COLOUR: BLACK MAGIC (SW 6991) DOOR TRIM COLOUR: EXTRA WHITE (SW 7006)
BUILDING 21		FIBRE-CEMENT PLANK LAP SIDING COLOUR: IRON ORE (SW 7069)

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		2. JAN 20 2024	2.



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CLIENT : MARATHON HOMES SUNNYSIDE LTD			PROJECT : 16651 & 16681 — 20TH AVENUE, SURREY	SCALE : 1/8" = 1'-0"
SHEET CONTENTS : BUILDING ELEVATIONS				

barnett dembek

UNIT 135,
7636 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
15062	AC-4.21

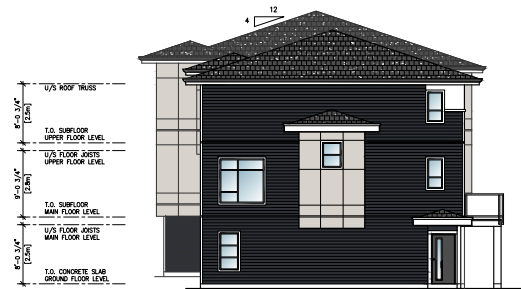
BUILDING #21



ELEC. UNIT A4 UNIT D UNIT C UNIT D UNIT C UNIT D UNIT C UNIT A3

WEST ELEVATION

SCALE : 1/8" = 1'-0"



UNIT A3

SOUTH ELEVATION

SCALE : 1/8" = 1'-0"



UNIT A4

NORTH ELEVATION

SCALE : 1/8" = 1'-0"



ELEC. UNIT A3 UNIT C UNIT D UNIT C UNIT D UNIT C UNIT D UNIT A4

EAST ELEVATION

SCALE : 1/8" = 1'-0"

SCHEDULE OF FINISHES

NUMBER	SYMBOL	FINISHES
1		ASPHALT SHINGLE ROOFING K10 CAMBRIDGE DUAL BLACK
2		PREFINISHED ALUMINUM GUTTERS (BLACK KAYCAN) ON 2x10 WOOD FASCIA COLOUR: EXTRA WHITE (SW 7006)
3		1x4 WOOD TRIM ON 2x10 WOOD FASCIA COLOUR: EXTRA WHITE (SW 7006)
4		FIBRE-CEMENT PLANK LAP SIDING COLOUR: VARIES PER BUILDING REFER TO BOTTOM OF FINISHES SCHEDULE
5		FIBRE-CEMENT PANEL SIDING COLOUR: CRUSHED ICE (SW 7647)
6		2x6 WOOD TRIM COLOUR: EXTRA WHITE (SW 7006)
7		BLACK VINYL FRAMED WINDOWS WITH 2x4 TRIM COLOUR: EXTRA WHITE (SW 7006)
8		METAL FLASHING COLOUR: TO MATCH SIDING
9		42\"/>
10		12x12 BUILT-UP COLUMN (CLAD IN FIBRE-CEMENT PANEL) COLOUR: CRUSHED ICE (SW 7647)
11		CORNER TRIM COLOUR: TO MATCH SIDING
12		GARAGE DOOR COLOUR: EXTRA WHITE (SW 7006) TRIM COLOUR: EXTRA WHITE (SW 7006)
13		EXTERIOR METAL DOOR COLOUR: BLACK MAGIC (SW 6991) DOOR TRIM COLOUR: EXTRA WHITE (SW 7006)
BUILDING 22		FIBRE-CEMENT PLANK LAP SIDING COLOUR: CYBERSPACE (SW 7078)

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REV	DATE	BY	DATE	BY
1	JUNE 13 2022	L.F.B.	14.5.24	
2	FEB 20 2024			



03-248.dwg

DESIGN :	MARATHON HOMES SUNNYSIDE LTD
DRAWN :	L.F.B.
DATE :	FEB 21 2024
SCALE :	1/8" = 1'-0"
SHEET CONTENTS :	
BUILDING ELEVATIONS	
CLIENT :	MARATHON HOMES SUNNYSIDE LTD
PROJECT :	16651 & 16681 - 20TH AVENUE, SURREY



UNIT 135,
 7636 130 STREET,
 SURREY, B.C.
 V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2059
 EMAIL: mail@darkitex.com

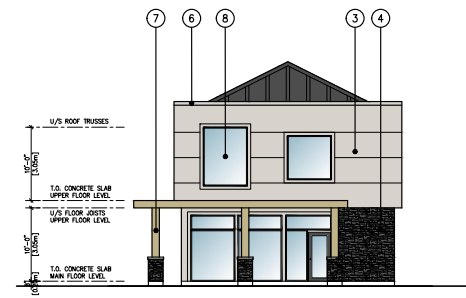
CLIENT NO.	AC-4.22
SHEET NO.	REV. NO.
15062	

BUILDING #23

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SOUTH ELEVATION
SCALE : 1/8" = 1'-0"

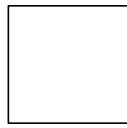


EAST ELEVATION
SCALE : 1/8" = 1'-0"

SCHEDULE OF FINISHES

NUMBER	SYMBOL	FINISHES
①		STANDING SEAM METAL ROOF WESTFORM METALS DURAGLAD IN BLACK
②		METAL CAP FLASHING COLOUR: CRUSHED ICE (SW 7647)
③		PREFINISHED ALUMINUM GUTTERS (BLACK KAYCAN) ON 2x10 WOOD FASCIA COLOUR: CRUSHED ICE (SW 7647)
④		FIBRE-CEMENT PLANK LAP SIDING COLOUR: CYBERSPACE (SW 7076)
⑤		FIBRE-CEMENT PANEL SIDING COLOUR: CRUSHED ICE (SW 7647)
⑥		BLACK ALUM. FRAMED WINDOWS WITH 2X6 TRIM COLOUR: CRUSHED ICE (SW 7647)
⑦		METAL FLASHING COLOUR: TO MATCH SIDING
⑧		12x12 WOOD COLUMN COLOUR: STAINED WOOD FINISH
⑨		EXTERIOR METAL DOOR COLOUR: BLACK MAGIC (SW 6991) DOOR TRIM COLOUR: CRUSHED ICE (SW 7647)
⑩		CULTURED LEDGESTONE AVANAM BLACKSMITH LEDGESTONE

REV#	DATE	BY	ISSUED FOR



02-248.dwg

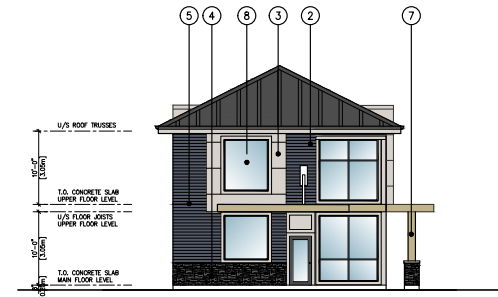
DESIGN :	L.F.A.	DRAWN :	DATE :	SCALE :
CLIENT :	MARATHON HOMES SUNNYSIDE LTD	PROJECT :	16051 & 16681 - 20TH AVENUE, SURREY	1/8" = 1'-0"
SHEET CONTENTS :		AMENITY - BUILDING ELEVATIONS		

barnett dembck

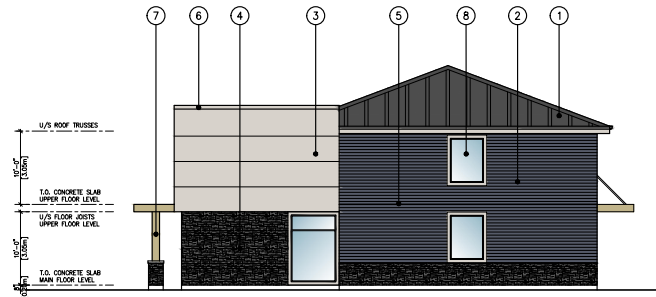
UNIT 155,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
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EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-2.7
15062	REV. NO.



WEST ELEVATION
SCALE : 1/8" = 1'-0"



NORTH ELEVATION
SCALE : 1/8" = 1'-0"

AMENITY



STREETSCAPE – 20TH AVENUE



STREETSCAPE – 20TH AVENUE (CONTINUED)

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1	JUNE 13 2022	L.F.B.	ISSUED FOR IP
2	FEB. 20 2024	H.S.B.	ISSUED FOR IP



DESIGN :	MARATHON HOMES SUNNYSIDE LTD
L.F.B. :	
DATE :	JULY 14 2022
SCALE :	N.T.S.
PROJECT :	16651 & 16681 – 20TH AVENUE, SURREY
SHEET CONTENTS :	STREETSCAPES



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CLIENT NO.	SHEET NO.
15062	AC-1.2

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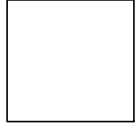


STREETSCAPE – 166 STREET



STREETSCAPE – 166 STREET (CONTINUED)

REV#	DATE	BY	ISSUED FOR
1	JUNE 13 2022	L.F.B.	ISSUED FOR IP
2	FEB. 20 2024	H.S.B.	ISSUED FOR IP



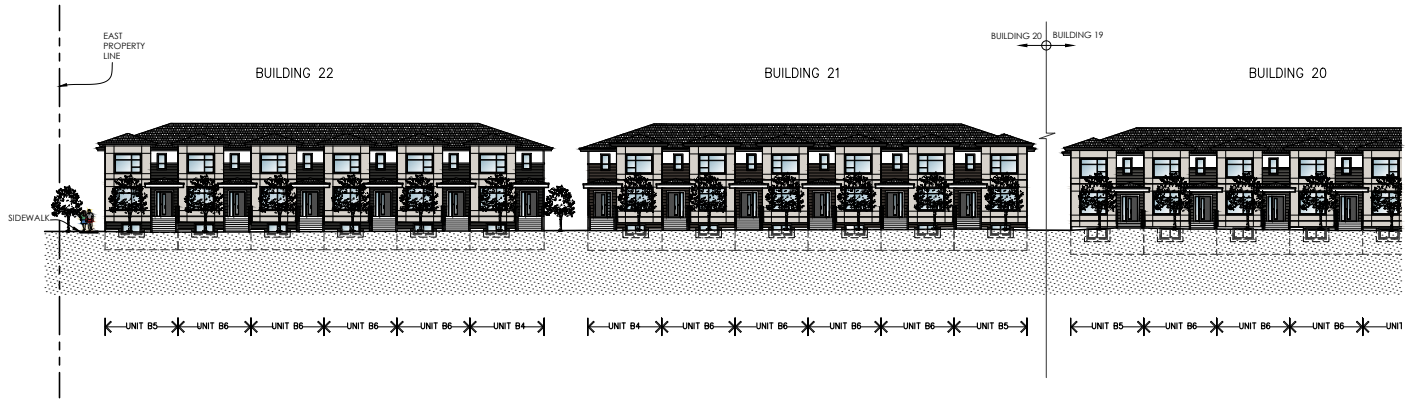
DESIGN :	MARATHON HOMES SUNNYSIDE LTD
L.F.B. :	
DATE :	July 14, 2022
SCALE :	1/8" = 1'-0"
PROJECT :	16651 & 16681 – 20TH AVENUE, SURREY
SHEET CONTENTS :	STREETSCAPES

barnett danker

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 V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
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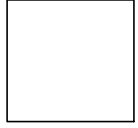
CLIENT NO.	SHEET NO.
15062	AC-1.3



STREETSCAPE – 21 AVENUE

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REV	DATE	BY	ISSUED FOR
1	JUNE 13 2022	L.F.B.	ISSUED FOR IP
2	FEB. 20 2024	H.S.B.	ISSUED FOR IP



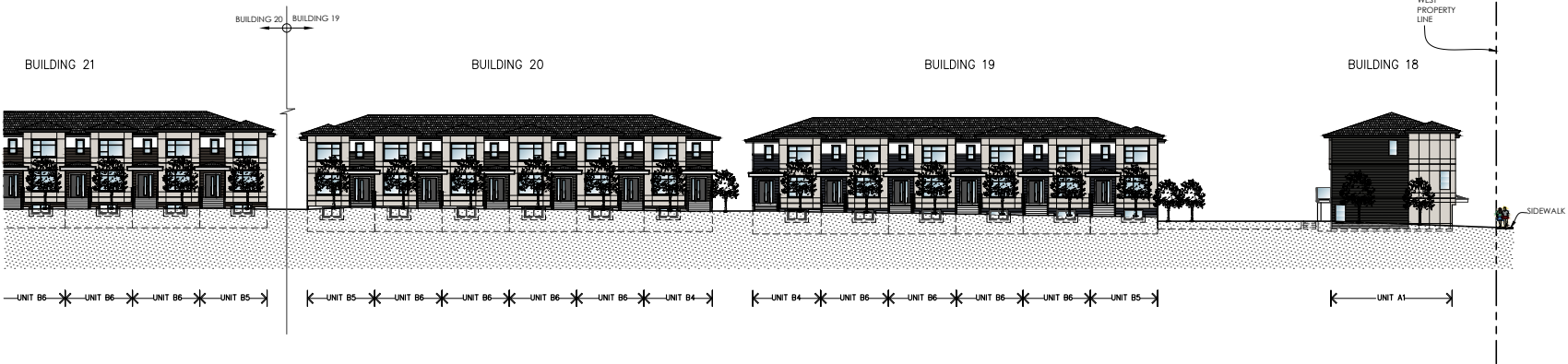
DESIGN :
 L.F.B.
 DRAWN :
 DATE :
 SCALE :
 NTS

CLIENT : MARATHON HOMES SUNNYSIDE LTD
 PROJECT : 16651 & 16681 – 20TH AVENUE, SURREY
 SHEET CONTENTS :
 STREETSCAPES



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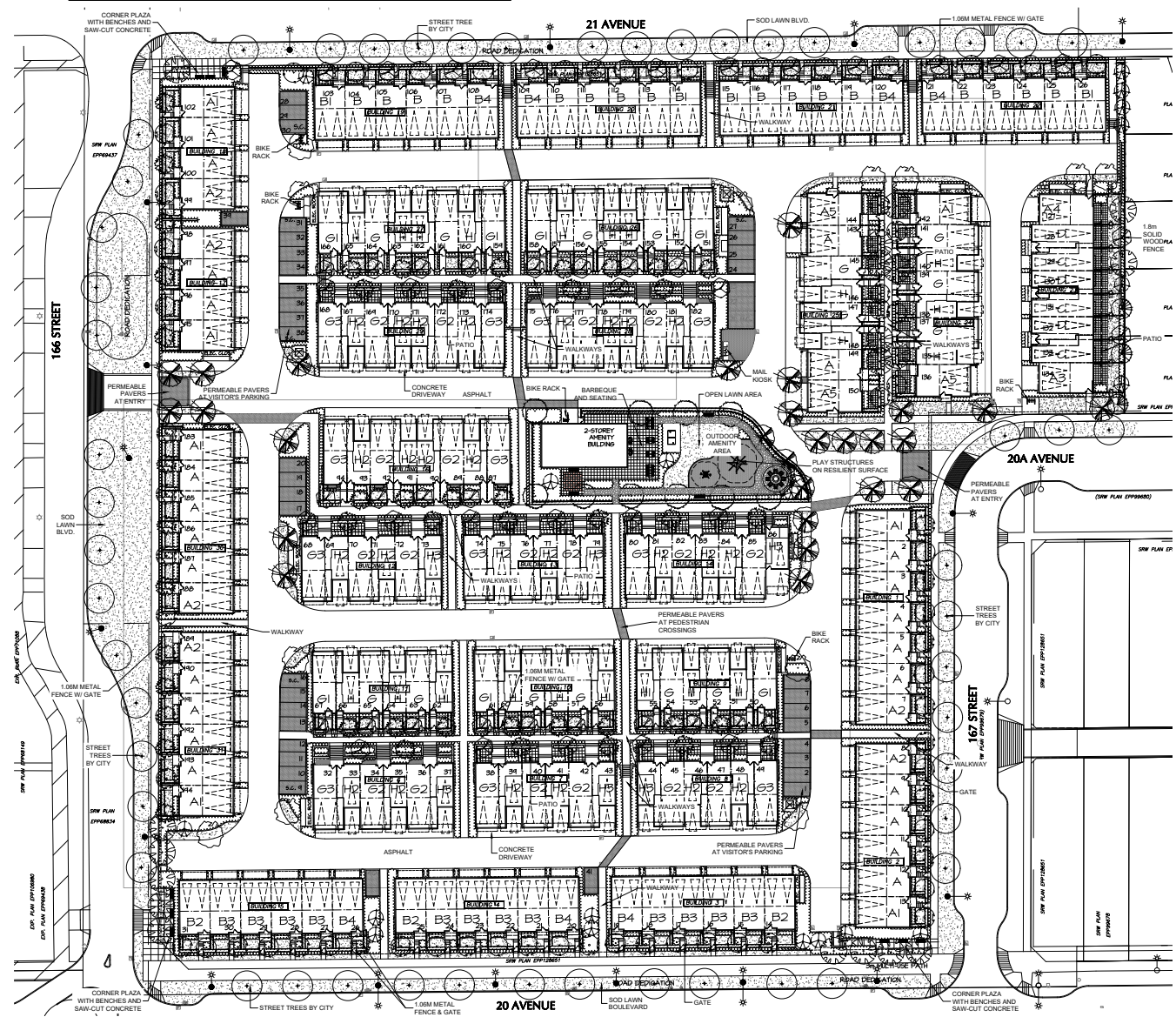
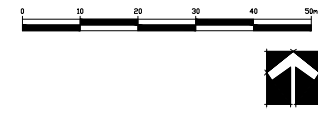
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15062	AC-1.4



STREETSCAPE – 21 AVENUE (CONTINUED)

PLANT SCHEDULE		PMG PROJECT NUMBER: 21-008	
KEY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
46	ACER GRISBAUM	PAPERBARK MAPLE	6CM CAL. 1.8M STD. B&B
12	ACER RUBRUM RED ROCKET	RED ROCKET MAPLE	6CM CAL. 2M STD. B&B
19	CERCOCARYLLUM JAPONICUM	KATSURBA TREE	6CM CAL. 1.8M STD. B&B
52	CERCIS CANADENSIS FOREST PANSY	FOREST PANSY REDBUD	6CM CAL. 1.8M STD. B&B
28	CORNUS FLORIDA RUBRY	PINK FLOWERING DOGWOOD	6CM CAL. 1.8M STD. B&B
19	LIQUIDAMBAR STRYACIFLUA WORPLESSON	WORPLESSON SWEET OLM	6CM CAL. 2M STD. B&B
25	PICEA CANADENSIS SPINUS	SPINUS SCISSON SPINE	3M HT. B&B
27	QUERCUS ROBUR CRIMSON SPIRE	CRIMSON SPIRE OAK	6CM CAL. 1.8M STD. B&B
37	STYRAX JAPONICUS	JAPANESE SNOWBELL	6CM CAL. 1.8M STD. B&B
3	TRINIA PLICATA EUREKA	WESTERN RED CEDAR	3M HT. B&B

NOTES: * PLANT TYPES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIALS. * WORKMANSHIP MUST MEET OR EXCEED ALL CITY AND COUNTY CODES PRIOR TO BEING ACCEPTED FOR INSTALLATION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT. 777 REPLACEMENT TREES REQUIRED



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Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604.294-0111 | f: 604.294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	24.MAR.18	REVISE PER CITY COMMENTS	DD
2	24.FEB.19	NEW SITE - REVISE ALL	DD
3	25.OCT.18	PHASE 2 SUPPLEMENT	DD
4	23.OCT.19	NEW SITE PLAN - PHASE 1	DD
5	22.SEP.27	NEW SITE PLAN / CITY COMMENTS	DD
6	22.SEP.13	UPDATE PLANS PER NEW SITE PLAN	MEVEU
7	22.OCT.05	ADD PARK LANDSCAPE PLAN	CL
8	22.AMY.31	NEW SITE PLAN	MM
9	21.AUG.08	NEW SITE PLAN	MM

NO. DATE REVISION DESCRIPTION DR.

PROJECT:
RESIDENTIAL DEV.
16651 & 16681 20TH AVENUE
SURREY, BC

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 21.JAN.26 DRAWING NUMBER:
SCALE: 1:400
DRAWN: DD
DESIGN: MM
CHKD: MCV

L1

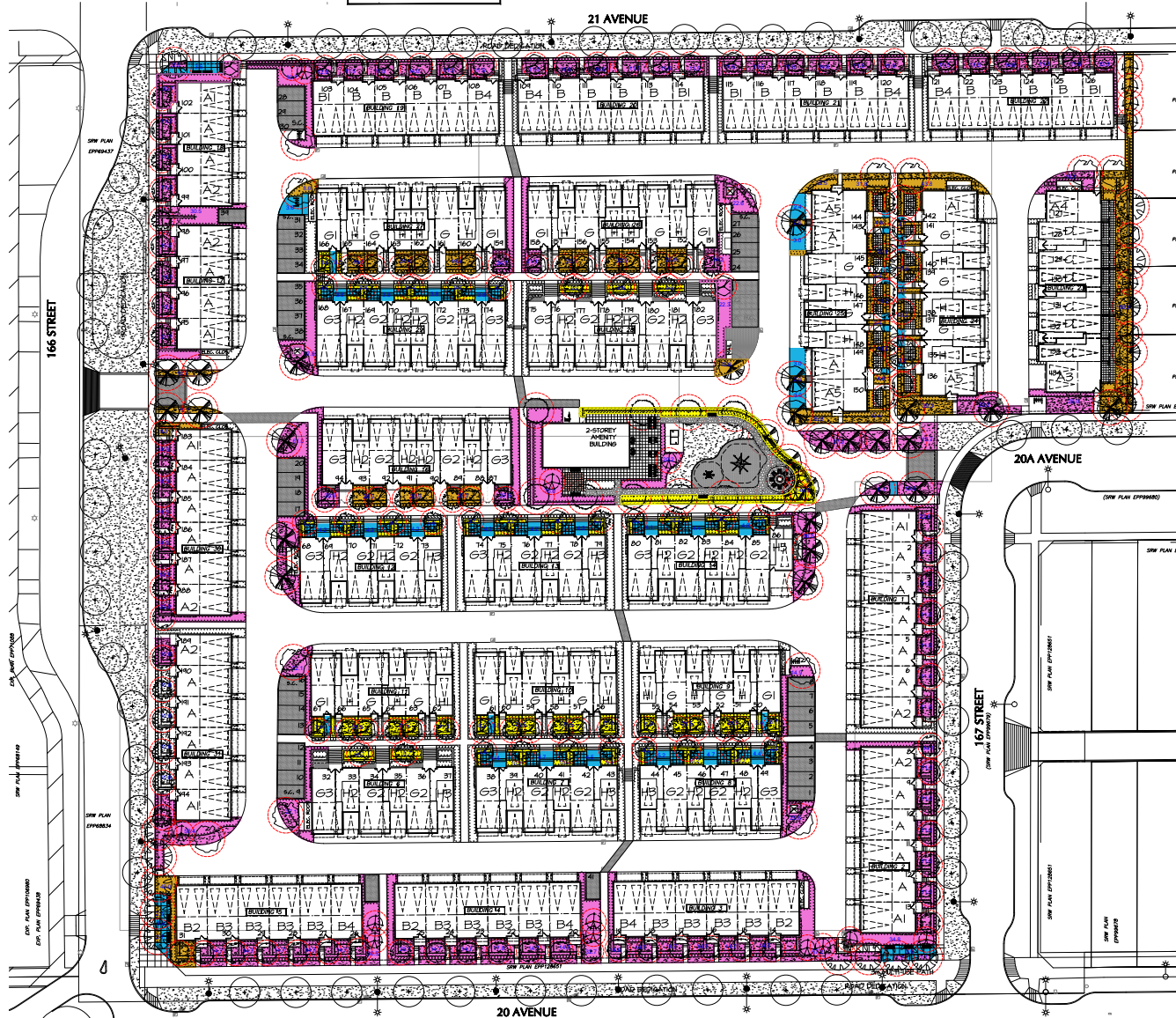
OF 19

PMG PROJECT NUMBER: 21-008

TREE OFFSETS FOR BLDGS.



- 0.60m SOIL DEPTH (SOIL VOLUME AS INDICATED IN m3)
 - 0.75m SOIL DEPTH (SOIL VOLUME AS INDICATED IN m3)
 - 1.0m SOIL DEPTH (SOIL VOLUME AS INDICATED IN m3)
 - STRUCTURAL SOIL (SOIL VOLUME AS INDICATED @ 4:1 RATIO)
- PROVIDE A MINIMUM 15 m3 OF GROWING MEDIUM PER TREE



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SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	21.AUG.08	NEW SITE PLAN	MM
2	22.AUG.08	NEW SITE PLAN	MM
3	22.AUG.08	ADD PARK LANDSCAPE PLAN	IC
4	22.AUG.08	UPDATE PLANS PER NEW SITE PLAN	MIC/VEJ
5	22.AUG.08	NEW SITE PLAN / CITY COMMENTS	DD
6	23.OCT.10	NEW SITE PLAN - PHASE 1	DD
7	24.FEB.13	NEW SITE - REVISE ALL	DD
8	24.MAR.18	REVISE PER CITY COMMENTS	DD

CLIENT:

PROJECT:

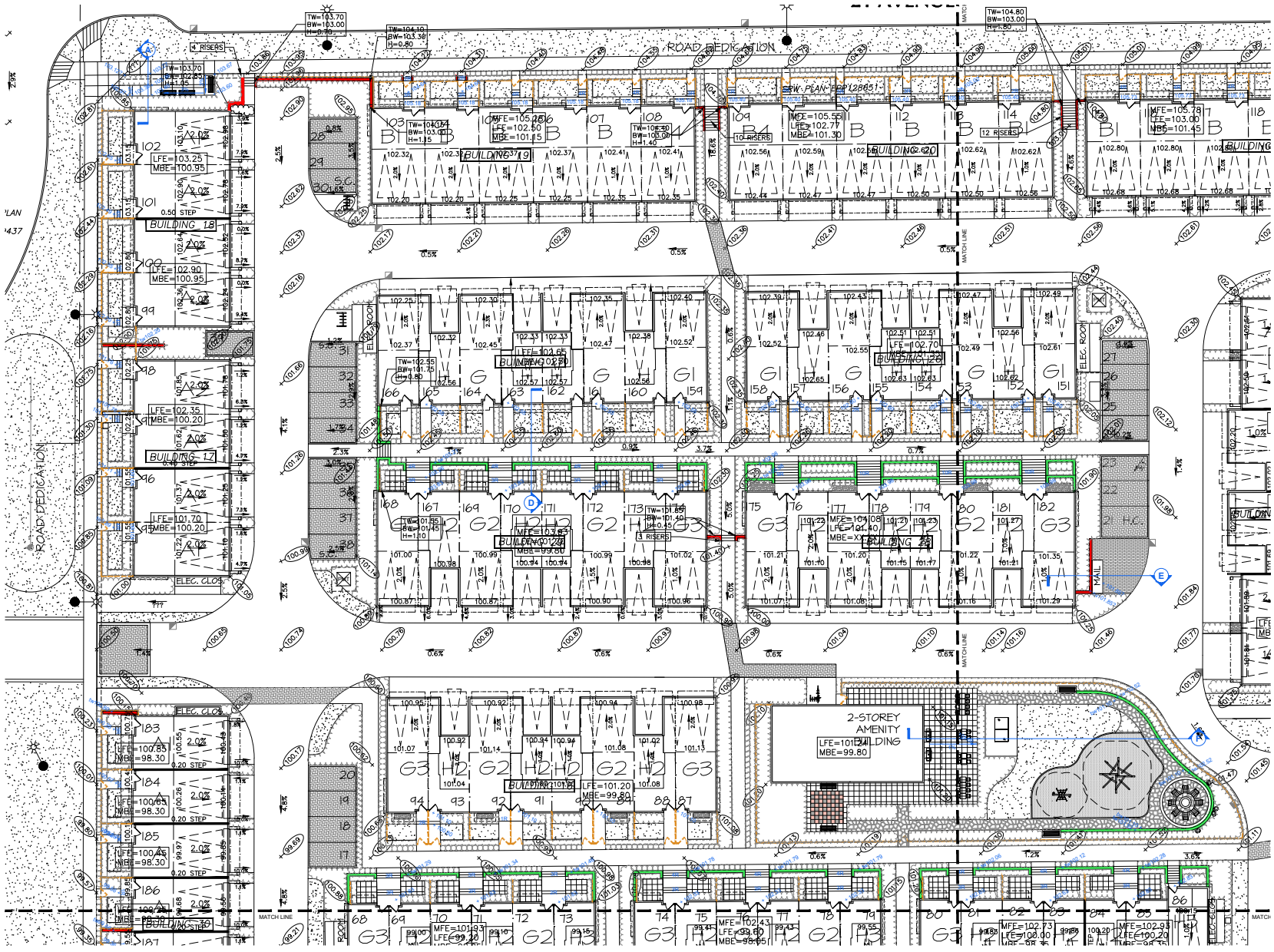
RESIDENTIAL DEV.
16651 & 16681 20TH AVENUE
SURREY, BC

DRAWING TITLE:
**SOIL VOLUME PLAN
& TREE OFFSETS**

DATE: 21.JAN.26 DRAWING NUMBER:
SCALE: 1:400
DRAWN: DD
DESIGN: MM
CHKD: MCV

L2

OF 19



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SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	21.06.08	NEW SITE PLAN	MM
2	22.04.11	NEW SITE PLAN	MM
3	22.06.13	UPDATE PLANS PER NEW SITE PLAN	MTC/VE
4	22.06.13	ADD PARK ANDSCAPE PLAN	CF
5	22.06.13	NEW SITE PLAN / CITY COMMENTS	DD
6	23.03.10	NEW SITE PLAN - PHASE 1	DD
7	24.08.10	PHASE 2 SUPPLEMENTATION	DD
8	24.08.10	NEW SITE - REVISE ALL	DD
9	24.08.10	REVISE PER CITY COMMENTS	DD

PROJECT:
RESIDENTIAL DEV.
16651 & 16681 20TH AVENUE
SURREY, BC

DRAWING TITLE:
GRADING PLAN

DATE: 21.JAN.26 DRAWING NUMBER:
SCALE: 1:200
DRAWN: MM
DESIGN: MM
CHKD: MCV

L3

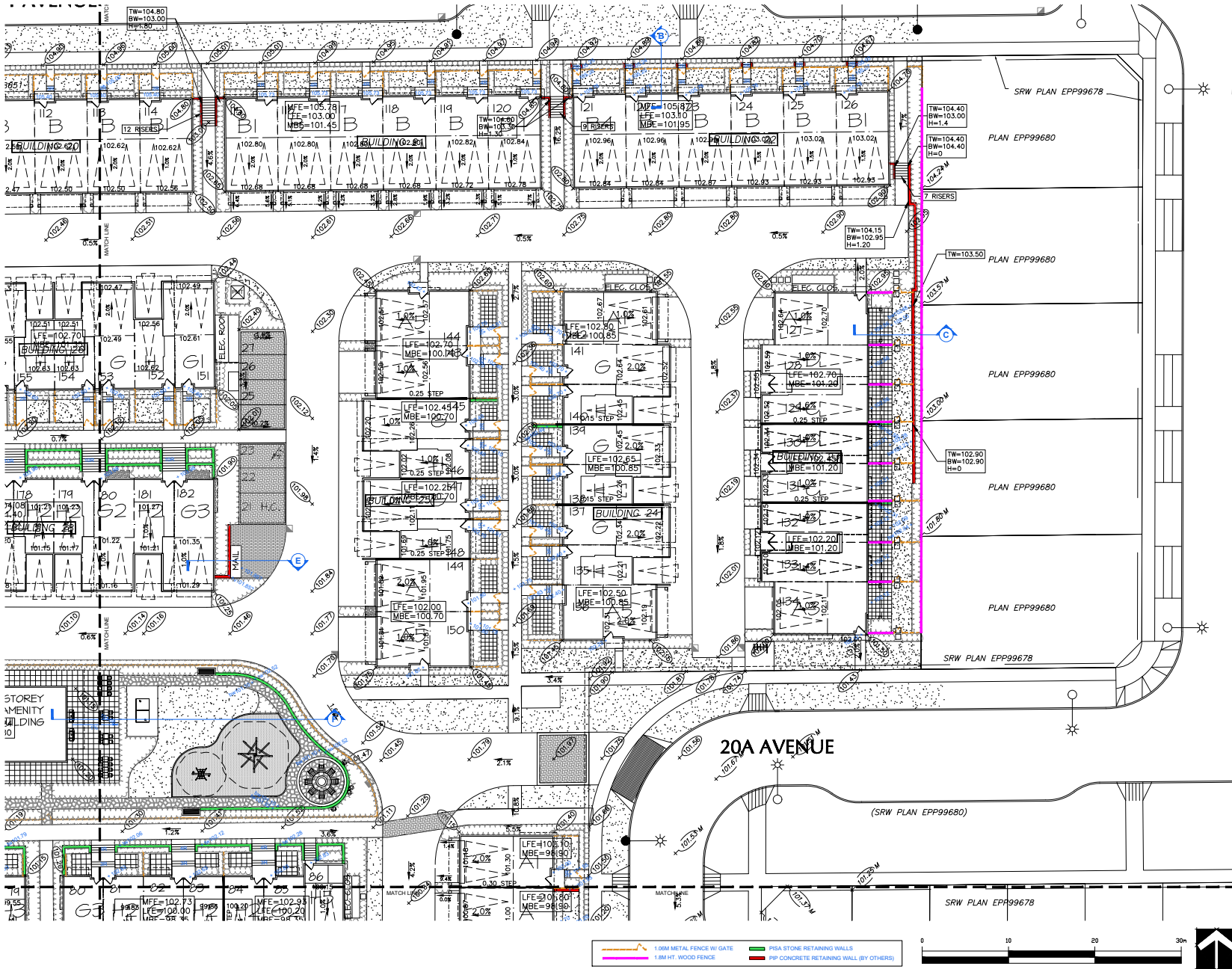
OF 19

PMG PROJECT NUMBER: 21-008

- 1.00M METAL FENCE W/ GATE
- PISA STONE RETAINING WALLS
- 1.8M HT. WOOD FENCE
- PIP CONCRETE RETAINING WALL (BY OTHERS)



21008-100P-21P



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SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	21.JAN.08	NEW SITE PLAN	MM
2	22.MAY.08	NEW SITE PLAN	MM
3	22.JUL.08	ADD PARK LANDSCAPE PLAN	CF
4	22.SEP.08	UPDATE PLANS PER NEW SITE PLAN	MOT/VEA
5	22.SEP.08	ADD PARK LANDSCAPE PLAN	CF
6	22.SEP.08	NEW SITE PLAN / CITY COMMENTS	DD
7	23.OCT.08	NEW SITE PLAN - PHASE 1	DD
8	24.FEB.09	NEW SITE - REVISE ALL	DD
9	24.FEB.09	REVISE PER CITY COMMENTS	DD
10	24.FEB.09	REVISE PER CITY COMMENTS	DD
11	24.FEB.09	REVISE PER CITY COMMENTS	DD
12	24.FEB.09	REVISE PER CITY COMMENTS	DD
13	24.FEB.09	REVISE PER CITY COMMENTS	DD
14	24.FEB.09	REVISE PER CITY COMMENTS	DD
15	24.FEB.09	REVISE PER CITY COMMENTS	DD
16	24.FEB.09	REVISE PER CITY COMMENTS	DD
17	24.FEB.09	REVISE PER CITY COMMENTS	DD
18	24.FEB.09	REVISE PER CITY COMMENTS	DD
19	24.FEB.09	REVISE PER CITY COMMENTS	DD
20	24.FEB.09	REVISE PER CITY COMMENTS	DD

PROJECT:
RESIDENTIAL DEV.
16651 & 16681 20TH AVENUE
SURREY, BC

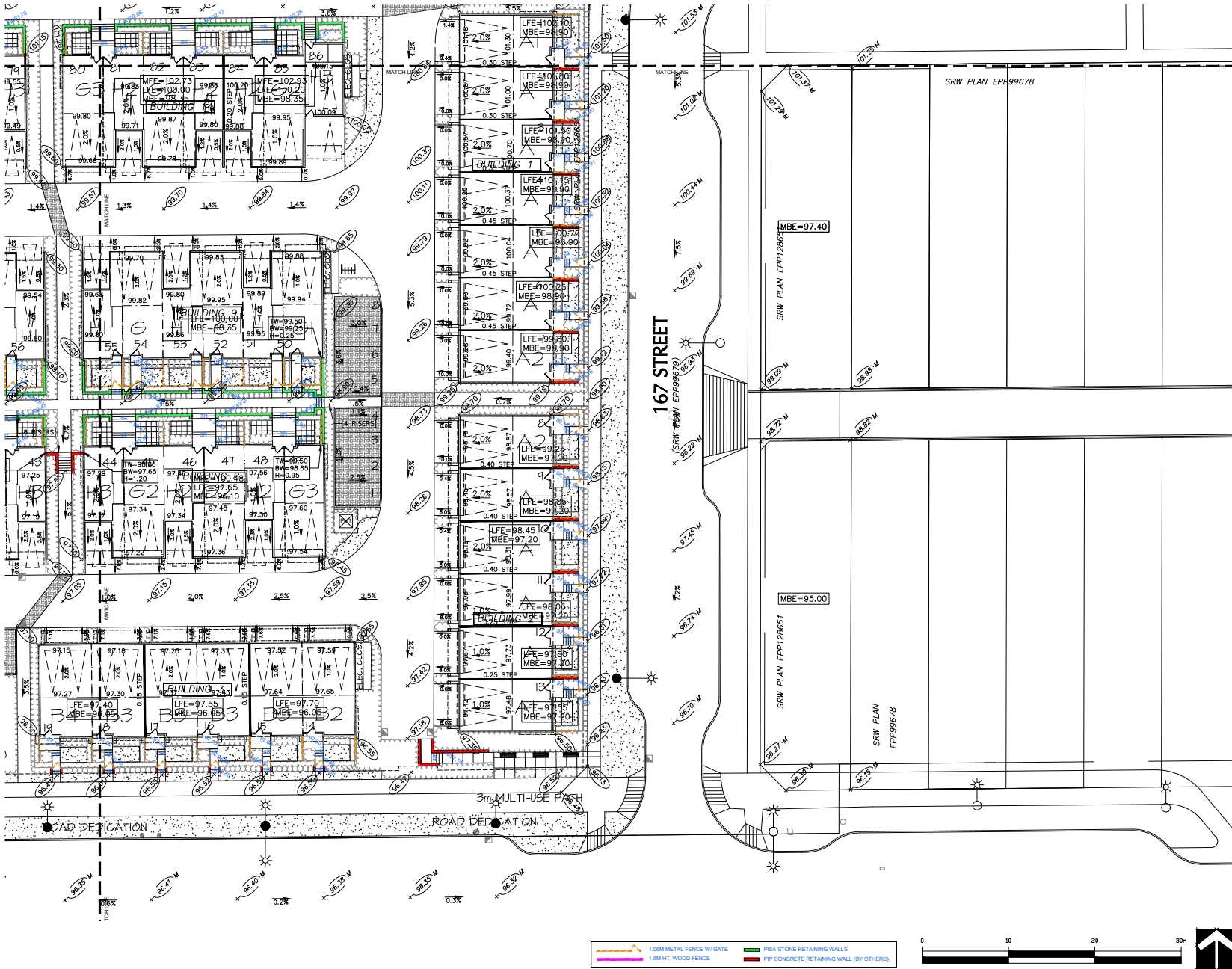
DRAWING TITLE:
GRADING PLAN

DATE: 21.JAN.26 DRAWING NUMBER:
 SCALE: 1:200
 DRAWN: MM
 DESIGN: MM
 CHKD: MCV
 OF 19

L4

PMG PROJECT NUMBER: 21-008





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SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	24 MAR 18	REVISE PER CITY COMMENTS	DD
2	24 FEB 19	NEW SITE - REVISE ALL	DD
3	25 JUL 18	PHASE 2 SRW SUBMISSION	DD
4	23 JUL 19	NEW SITE PLAN - PHASE 1	DD
5	22 SEP 27	NEW SITE PLAN / CITY COMMENTS	DD
6	22 SEP 13	UPDATE PLANS PER NEW SITE PLAN	MVE/CE
7	22 JUL 25	ADD PARK LANDSCAPE PLAN	CE
8	22 MAY 31	NEW SITE PLAN	MM
9	21 JUN 08	NEW SITE PLAN	MM

CLIENT:

PROJECT:
RESIDENTIAL DEV.
 16651 & 16681 20TH AVENUE
 SURREY, BC

DRAWING TITLE:
GRADING PLAN

DATE: 21 JAN 26 DRAWING NUMBER:
 SCALE: 1:200
 DRAWN: MM
 DESIGN: MM
 CHKD: MCV

L5

OF 19

PMG PROJECT NUMBER: 21-008



SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	24.MAR.18	REVISE PER CITY COMMENTS	DD
2	24.FEB.19	NEW SITE - REVISE ALL	DD
3	25.OCT.18	PHASE 2 SUB-COMMISSION	DD
4	23.OCT.19	NEW SITE PLAN - PHASE 1	DD
5	22.SEP.27	NEW SITE PLAN / CITY COMMENTS	DD
6	22.SEP.13	UPDATE PLANS FOR NEW SITE PLAN - METEOROLOGY	DD
7	22.OCT.05	ADD PARK LANDSCAPE PLAN	CI
8	22.MAY.31	NEW SITE PLAN	MM
9	21.OCT.08	NEW SITE PLAN	MM

CLIENT:

PROJECT:

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16651 & 16681 20TH AVENUE
SURREY, BC

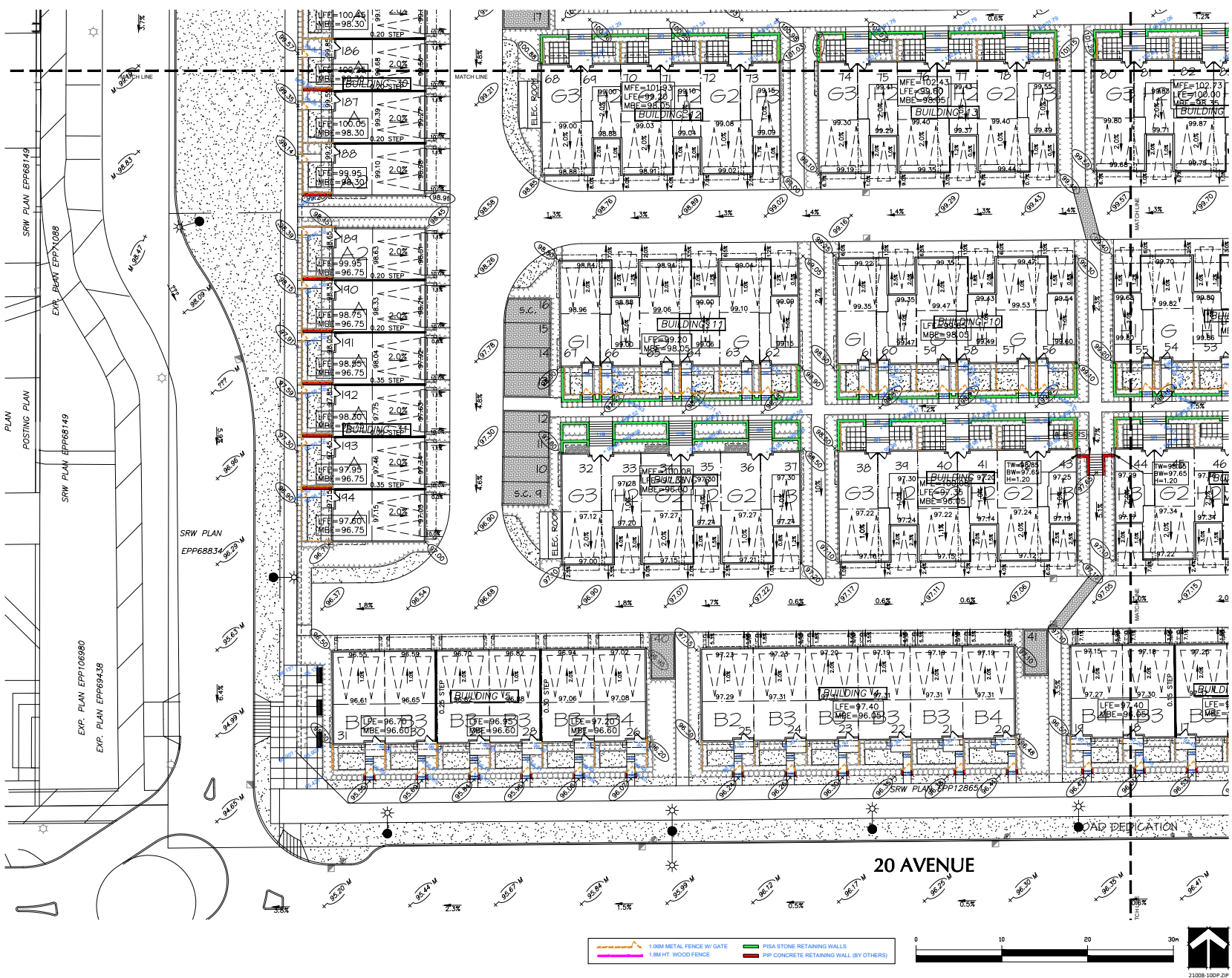
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CHKD: MCY

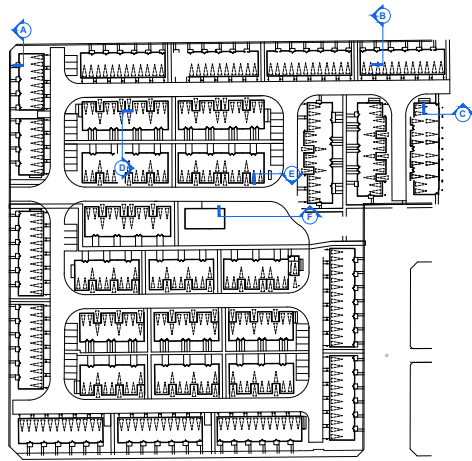
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OF 19

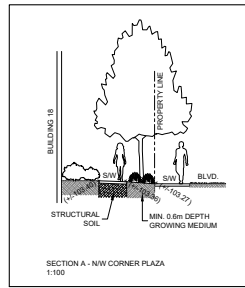
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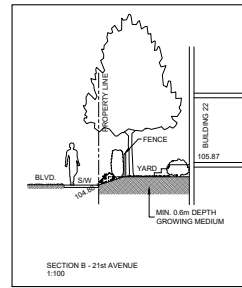
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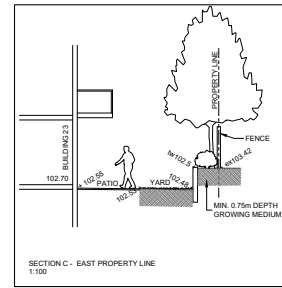
KEY PLAN



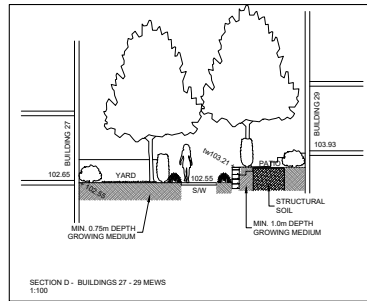
SECTION A - NW CORNER PLAZA
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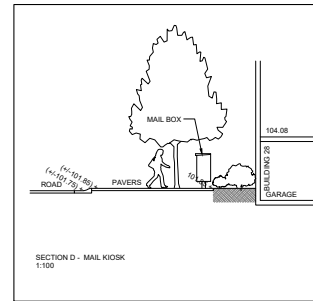
SECTION B - 21st AVENUE
1:100



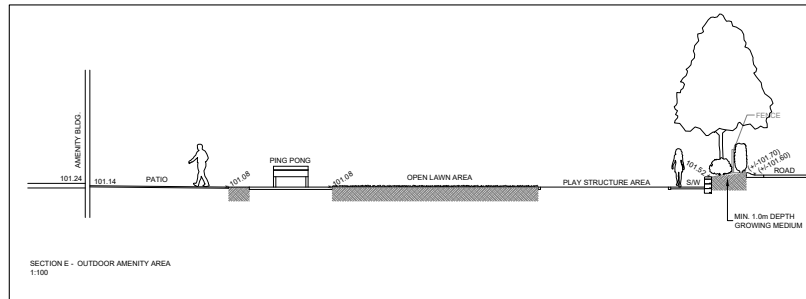
SECTION C - EAST PROPERTY LINE
1:100



SECTION D - BUILDINGS 27 - 29 MEWS
1:100



SECTION D - MAIL KIOSK
1:100



SECTION E - OUTDOOR AMENITY AREA
1:100

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6	24.MAR.18	REVISE PER CITY COMMENTS	DO
7	24.FEB.19	NEW SITE - REVISE ALL	DO
8	25.JUL.18	PHASE 2 SFP SUBMISSION	DO
9	23.JUL.10	NEW SITE PLAN - PHASE 1	DO
5	22.SEP.27	NEW SITE PLAN / CITY COMMENTS	DO
4	22.SEP.13	UPDATE PLANS PER NEW SITE PLAN	MEV/CJL
3	21.JUL.05	ADD PARK LANDSCAPE PLAN	CJ
2	22.MAY.31	NEW SITE PLAN	MM
1	21.JUN.08	NEW SITE PLAN	MM

CLIENT:

PROJECT:

RESIDENTIAL DEV.

16651 & 16681 20TH AVENUE
SURREY, BC

DRAWING TITLE:

LANDSCAPE
SECTIONS

DATE: 24-MAR-20 DRAWING NUMBER:

SCALE: 1:100

DRAWN: DO

DESIGN: DO

CHKD: MCY

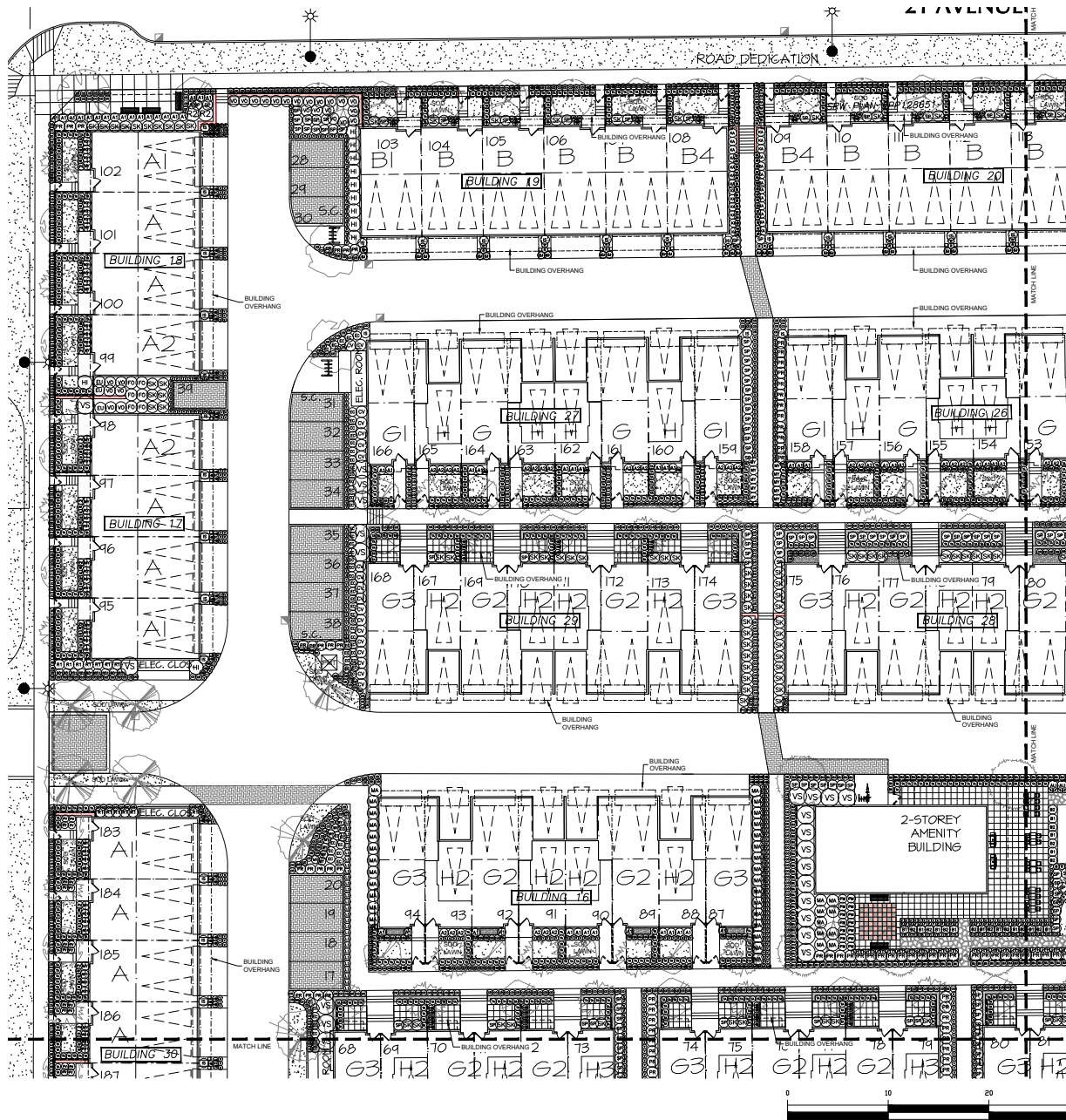
L7

OF 19

21008-100P.ZIP

PMG PROJECT NUMBER:

21-008



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SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	21.05.08	NEW SITE PLAN	MM
2	22.05.08	NEW SITE PLAN	MM
3	22.05.08	ADD PARK LANDSCAPE PLAN	CF
4	22.05.08	UPDATE PLANS FOR NEW SITE PLAN	MTC/VEJ
5	22.05.08	NEW SITE PLAN / CITY COMMENTS	DD
6	23.05.10	NEW SITE PLAN - PHASE 1	DD
7	24.05.11	PHASE 1 SUPPLEMENT	DD
8	24.05.11	NEW SITE - REVISE ALL	DD
9	24.05.11	REVISE PER CITY COMMENTS	DD

CLIENT:

PROJECT:

RESIDENTIAL DEV.
16651 & 16681 20TH AVENUE
SURREY, BC

DRAWING TITLE:

SHRUB PLAN

DATE: 21.JAN.26 DRAWING NUMBER:

SCALE: 1:200

DRAWN: MM

DESIGN: MM

CHK'D: MCV

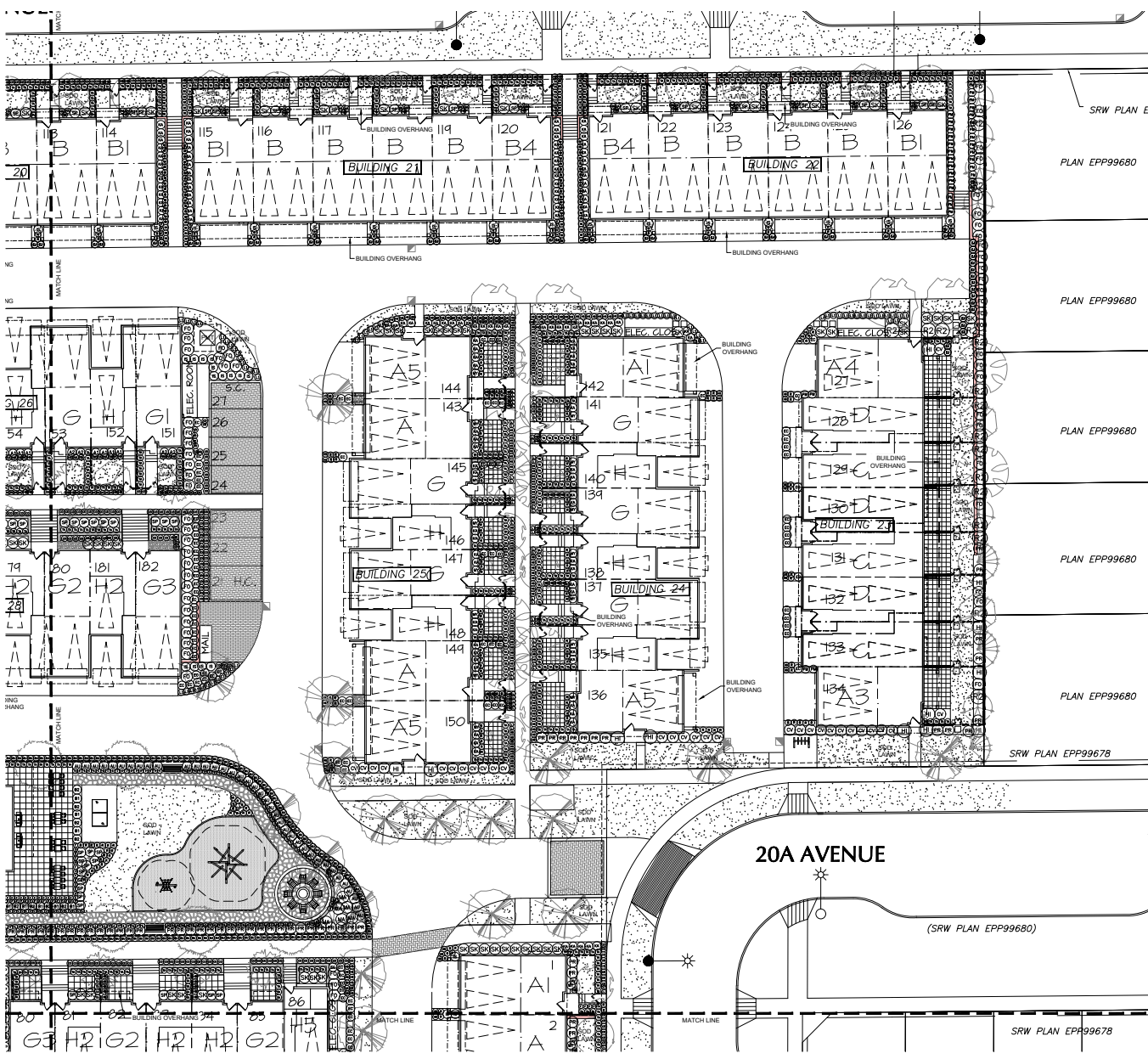
L8

OF 19



PMG PROJECT NUMBER:

21-008



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 ARCHITECTS
 Suite C100 - 4185 Still Creek Drive
 Burnaby, British Columbia, V5C 0G9
 P: 604.294-0911 F: 604.294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	21.JAN.08	NEW SITE PLAN	MM
2	22.MAY.08	NEW SITE PLAN	MM
3	21.JUN.08	NEW SITE PLAN	MM
4	22.APR.13	UPDATE PLANS PER NEW SITE PLAN	ME/VE/CE
5	22.JUL.05	ADD PARK LANDSCAPE PLAN	CE
6	22.AUG.10	NEW SITE PLAN / CITY COMMENTS	DO
7	24.FEB.10	NEW SITE - REVISE ALL	DO
8	24.MAR.18	REVISE PER CITY COMMENTS	DO

PROJECT:

RESIDENTIAL DEV.
 16651 & 16681 20TH AVENUE
 SURREY, BC

DRAWING TITLE:

**SHRUB
 PLAN**

DATE: 21.JAN.26 DRAWING NUMBER:
 SCALE: 1:200
 DRAWN: MM
 DESIGN: MM
 CHK'D: MCV

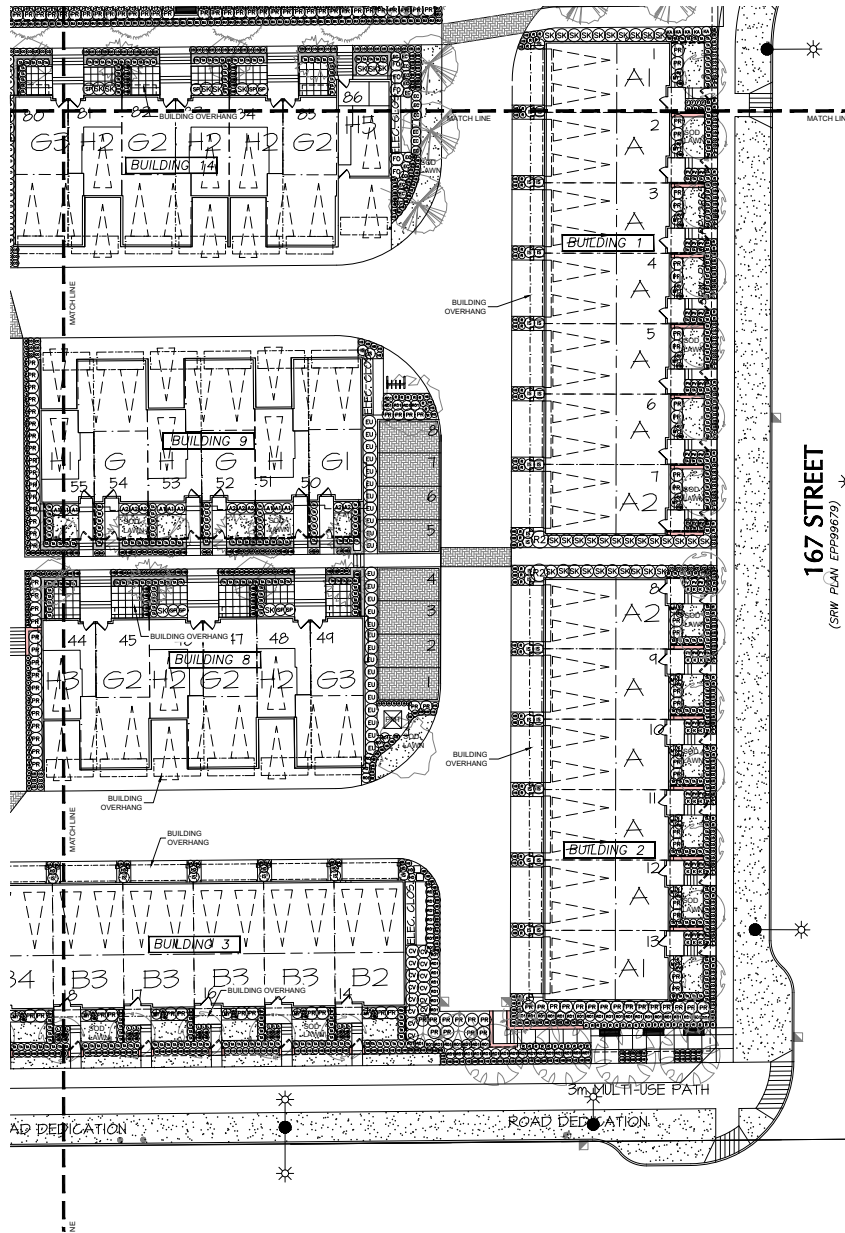
L9

OF 19



PMG PROJECT NUMBER: 21-008

SEAL:



167 STREET
(SRW PLAN EPP99679)

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
38		AUCUBA JAPONICA 'VAREGATA'	GOLD DUST JAPANESE AUCUBA	#3 POT, 50CM
50		AZALEA JAPONICA 'VINO CRIMSON'	AZALEA SINGLE DEEP CRIMSON	#2 POT, 25CM
86		AZALEA JAPONICA 'PURPLE SPLENDOR'	AZALEA RED-VIOLET	#2 POT, 25CM
229		BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE LEAF BOX	#3 POT, 40CM
85		CEANOTHUS THYRSIFLORUS 'VICTORIA'	CALIFORNIA LILAC	#3 POT, 50CM
163		ESCALLONIA 'COMPACTA'	DWARF ESCALLONIA: DEEP PINK	#2 POT, 30CM
29		EUNYMIUS ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH	#2 POT, 30CM
66		FOTHERGILLA MAJOR 'MOUNT ARMY'	MOUNT ARMY FOTHERGILLA	#2 POT, 40CM
23		HEBISCUS SYRACUS 'OISEAU BLEU'	BLUE ROSE OF SHARON	#3 POT, 50CM
120		LEE'S CRENATA 'SIV FENEL'	JAPANESE HOLLY	#3 POT, 50CM
224		KALMIA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	#2 POT, 30CM
56		MAHONIA AQUIFOLIUM	ORIGON GRAPE	#2 POT, 40CM
208		PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	#2 POT, 30CM
28		RHOODOENDRON 'CHRISTMAS CHEER'	RHOODOENDRON: BLUSH PINK	#3 POT, 50CM
21		RHOODOENDRON 'LEE'S DARK PURPLE'	RHOODOENDRON: PURPLE: L. MAY	#3 POT, 50CM
178		ROSA MEDLAND 'ALBA'	MEDLAND ROSE: WHITE	#2 POT, 40CM
253		SARCOCOCCA HOOKERIANA 'DIGNITY 'PURPLE STEM'	PURPLE STEM SWEETBOX	#2 POT, 30CM
189		SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#3 POT, 50CM
2218		TAIUS X MEDIA 'HICKSII'	HICKS' NEW	1.2M B&B
12		VACCINIUM 'CHIPPewa'	CHIPPewa BLUEBERRY	#2 POT, 50CM
12		VACCINIUM NORTHBLUE	NORTHBLUE BLUEBERRY	#2 POT, 50CM
25		VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#3 POT, 60CM
32		VIBURNUM P.T. 'SUMMER SNOWFLAKE'	SUMMER SNOWFLAKE VIBURNUM	#3 POT, 60CM
GRASS				
1237		CAREX OSHIMENSIS 'EVEREST'	EVEREST JAPANESE SEDGE	#1 POT
154		HAKONECHLOA MACRA 'AUREOLA'	GOLD VARIEGATED JAPANESE FOREST GRASS	#1 POT
577		HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT
288		IMPATIENS COLUMBICA 'RED HARBON'	BLOOD GRASS	#1 POT
88		MISCANTHUS SINENSIS 'YAKU JIMA'	YAKU JIMA JAP. SILVER GRASS	#1 POT
8		PENNISETUM ORIENTALE	ORIENTAL FOUNTAIN GRASS	#1 POT
PERENNIAL				
360		ACORUS GRAMINEUS 'ODD'DON'	GOLDEN SWEET FLAG	15CM POT
78		FRAGARIA 'EVERSWEEP'	EVERSWEEPING DAYNEUTRAL STRAWBERRY	15CM POT
522		HELLEBORUS X HYBRIDUS	LENTEN ROSE	15CM POT
27		HOSTA UNULATA	WAY' LEAF HOSTA	#1 POT, 1 EYE
145		ISESIS SEMPERVIRENS 'SNOWFLAKE'	SNOWFLAKE EVERGREEN CANDYLUFT	5CM POT
24		KNIPHOFIA UVARIA	RED HOT POKER	15CM POT
161		LAVENDULA ANGSTIFOLIA	ENGLISH LAVENDER	#1 POT
93		PENDYKIA ATRIPLEXIFOLIA	RUSSIAN SAGE	#1 POT
370		RUBEBEDIA FULGIDA VAR SILLVANTH 'GOLDSTURM'	RUBEBEDIA: YELLOW	15CM POT
GC				
75		EUNYMIUS JAPONICA 'EMERALD GAETY'	EUNYMIUS: SILVER VARIEGATED	#1 POT, 25CM
94		LONGERA PILEATA	PRIVET HONEYBUCKLE	#1 POT, 25CM
120		POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT, 20CM
180		VACCINIUM VITIS-IDAEA	LINGONBERRY	#1 POT, 20CM

PMG PROJECT NUMBER: 21-008

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CMLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW HANG PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NO.	DATE	REVISION DESCRIPTION	DR.
1	24.MAR.18	REVISE PER CITY COMMENTS	DD
2	24.FEB.19	NEW SITE - REVISE ALL	DD
3	25.JUL.11	PHASE 2 SUPPLEMENTATION	DD
4	23.JUL.10	NEW SITE PLAN - PHASE 1	DD
5	22.SEP.27	NEW SITE PLAN / CITY COMMENTS	DD
6	22.SEP.13	UPDATE PLANS PER NEW SITE PLAN	MTC/VEJ
7	22.JUL.05	ADD PLANT LANDSCAPE PLAN	CF
8	22.MAY.13	NEW SITE PLAN	MM
9	21.OCT.08	NEW SITE PLAN	MM

PROJECT:

RESIDENTIAL DEV.

16651 & 16681 20TH AVENUE
SURREY, BC

DRAWING TITLE:

SHRUB PLAN

DATE: 21.JAN.26 DRAWING NUMBER:

SCALE: 1:200

DRAWN: MM

DESIGN: MM

CHKD: MCY

L10

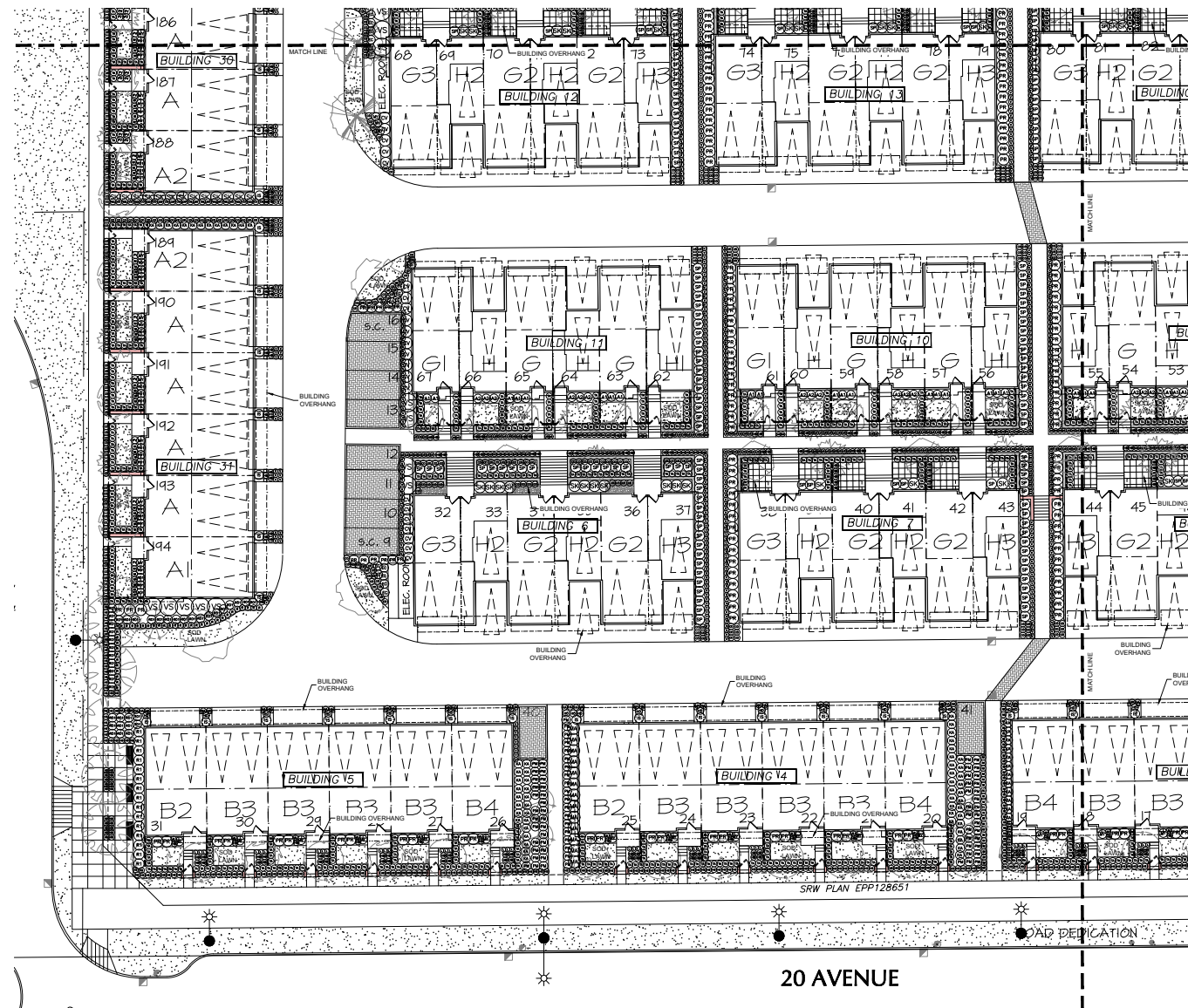
OF 19



21008-100P.ZIP

PMG PROJECT NUMBER: 21-008

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
1	24 MAR 18	REVISE PER CITY COMMENTS	DD
2	24 FEB 19	NEW SITE - REVISE ALL	DD
3	25 JUL 18	PHASE 2 SRP SUBMISSION	DD
4	23 JUL 19	NEW SITE PLAN - PHASE 1	DD
5	22 SEP 27	NEW SITE PLAN / CITY COMMENTS	DD
6	22 SEP 13	UPDATE PLANS PER NEW SITE PLAN	MVE/VEE
7	22 JUL 05	ADD PARK LANDSCAPE PLAN	CF
8	22 MAY 31	NEW SITE PLAN	MM
9	21 JUN 08	NEW SITE PLAN	MM

CLIENT:

PROJECT:

RESIDENTIAL DEV.

16651 & 16681 20TH AVENUE
SURREY, BC

DRAWING TITLE:

SHRUB PLAN

DATE: 21 JAN 26 DRAWING NUMBER:

SCALE: 1:200

DRAWN: MM

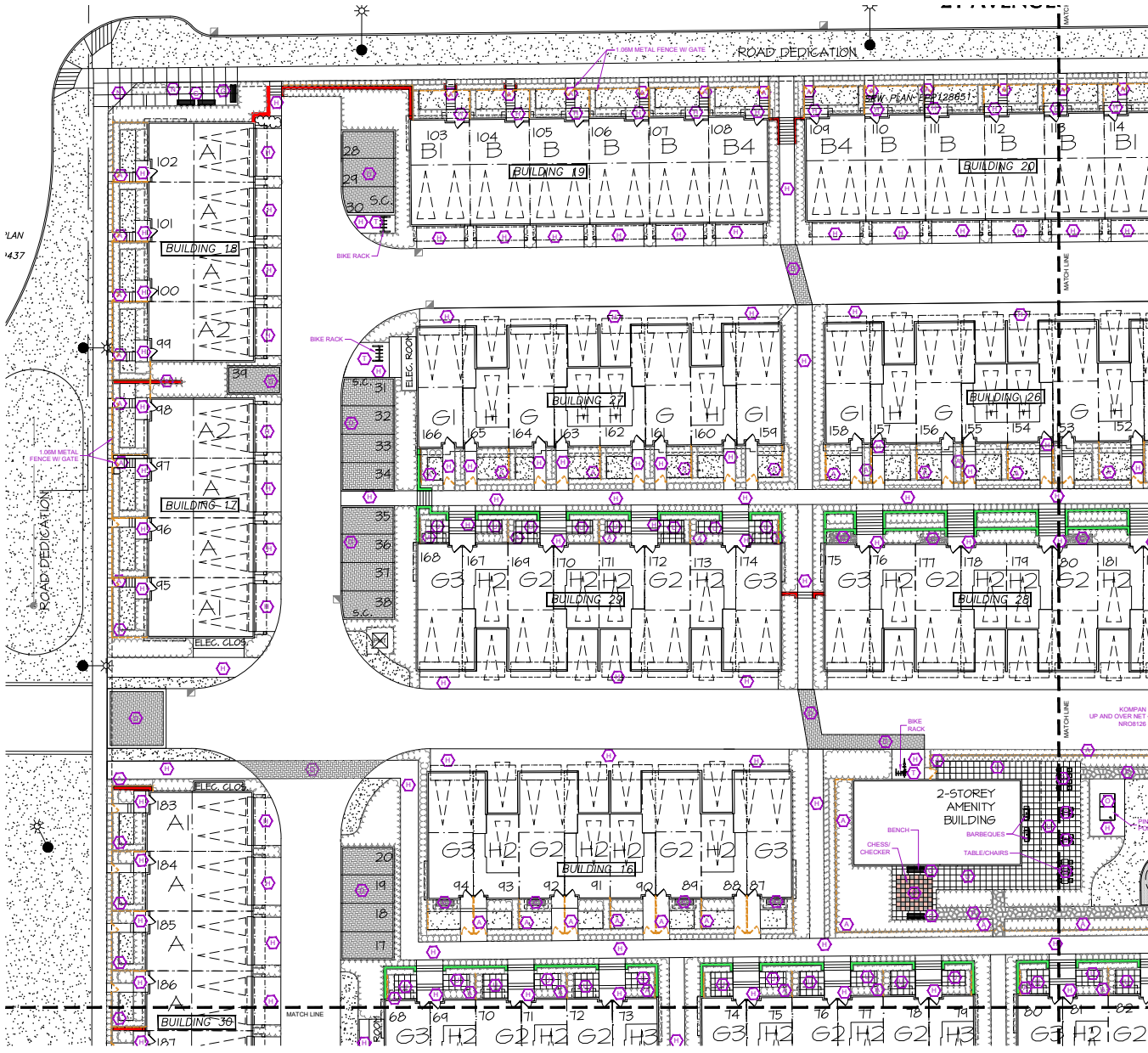
DESIGN: MM

CHKD: MCV

L11

OF 19





- MATERIALS KEY**
- 1.00M METAL FENCE W/ GATE: SEE DETAIL
 - 1.8M MT. WOOD FENCE: SEE DETAIL
 - RIVER ROCK OVER WEED FABRIC
 - PERMEABLE PAVERS IN VISITOR STALLS
 - BELGIARD AQUA LINE, HERRINGBONE PATTERN, 80MM THICK - COLOUR SHADOW: REFER TO CIVIL DWGS. FOR BASE DETAILS
 - FIBER SAFETY SURFACING
 - WISHBONE INDUSTRIES - MODENA BENCH 1/4" SAND SLATS, CARDINAL TEXTURED GREY FRAME SURFACE MOUNTED
 - CONCRETE PAVING (BY OTHERS)
 - CHESS PATTERN - BARKMAN BROOKSIDE SLAB CHARCOAL & SIERRA GREY - 400MM SQ.
 - VALLEY STONE RETAINING WALL
 - PIP CONCRETE RETAINING WALL (BY OTHERS)
 - 1.2m x 1.2m SAW-CUT CONCRETE PATTERN
 - GORIC PING PONG TABLE P30-R
 - BARKMAN FLAGSTONE PAVERS - SIERRA GREY
 - MAGLI FORD TABLE, MTB-1700-01038 (36x36x30), C/W FORD CHAIRS, MCH-1700-0001 (4) PER TABLE.
 - SOLUS DECOR - 3" HEM FIRE BOWL, PORTOBELLO
 - WISHBONE IND. - JEM LOUNGE CHAIR, GROOVY RED FRAME WITH GREY SLATS
 - CORA BIKE RACKS
 - BARKMAN BROADWAY PAVERS 600mm x 600mm x 65mm - NATURAL COLOUR

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SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	21 JUN 08	NEW SITE PLAN	MM
2	22 MAY 31	NEW SITE PLAN	MM
3	22 JUN 05	ADD PARK LANDSCAPE PLAN	CF
4	22 SEP 13	UPDATE PLANS PER NEW SITE PLAN	MVE/CE
5	22 SEP 27	NEW SITE PLAN / CITY COMMENTS	DD
6	23 JUL 10	NEW SITE PLAN - PHASE 1	DD
7	24 FEB 10	NEW SITE - REVISE ALL	DD
8	24 MAR 18	REVISE PER CITY COMMENTS	DD

CLIENT:

PROJECT:

RESIDENTIAL DEV.
16651 & 16681 20TH AVENUE
SURREY, BC

DRAWING TITLE:

MATERIALS PLAN

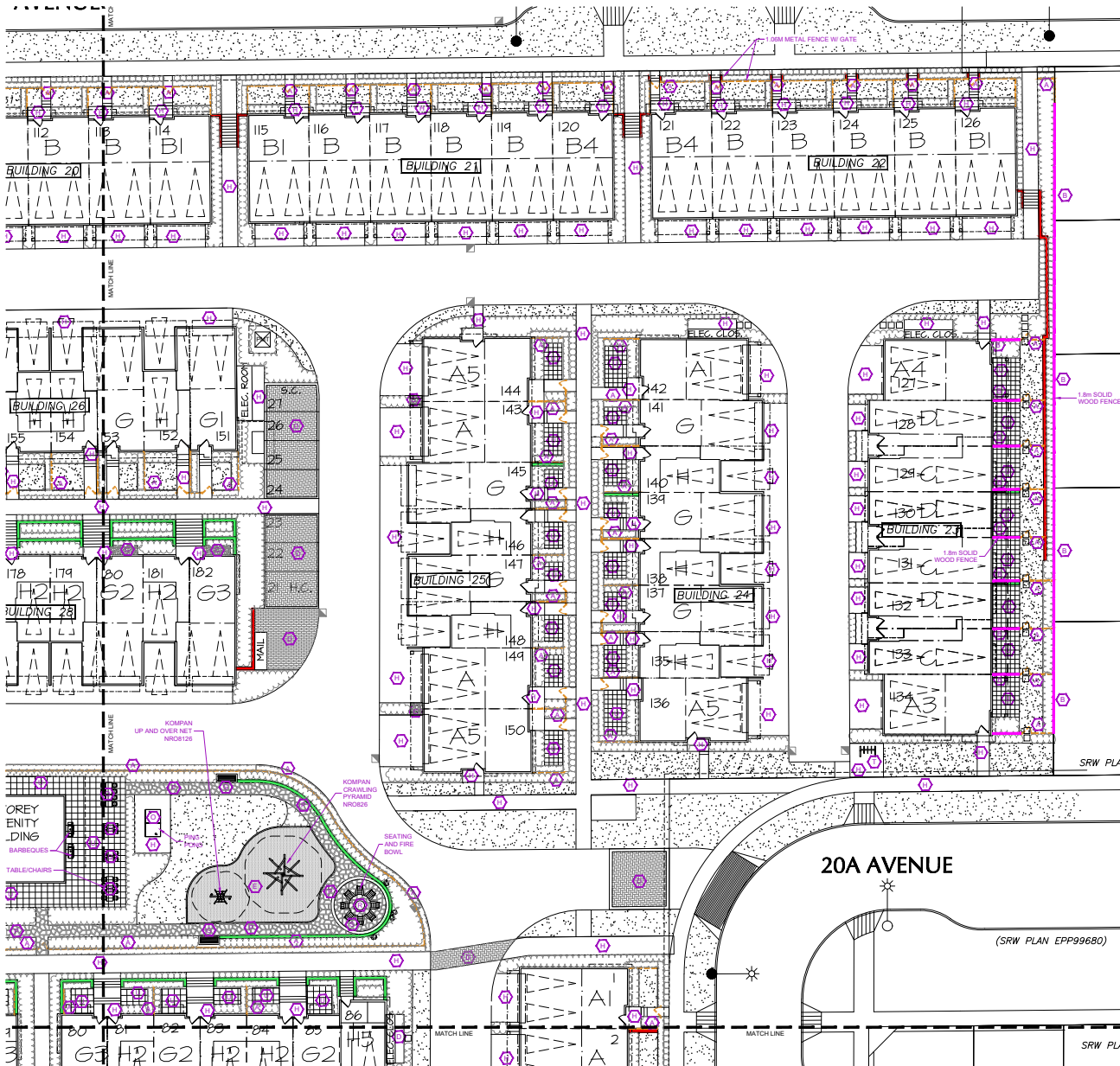
DATE: 21 JAN 26 DRAWING NUMBER:
SCALE: 1:200
DRAWN: MM
DESIGN: MM
CHKD: MCV

L12

PMG PROJECT NUMBER: 21-008



21008-100P-21P



MATERIALS KEY

- 1.00M METAL FENCE W/ GATE, SEE DETAIL.
- 1.8M HT. WOOD FENCE, SEE DETAIL.
- RIVER ROCK OVER WEED FABRIC.
- PERMEABLE PAVERS IN VISITOR STALLS.
- REGULAR AQUILINE, HERONSONE PATTERN.
- BIRMA THICK - COLOUR SHADOW; REFER TO CIVIL DWGS. FOR BASE DETAILS.
- FIBAR SAFETY SURFACING.
- WISHBONE INDUSTRIES: MODENA BENCH 1x6.
- SAND SLATS, CARDINAL TEXTURED GREY FRAME SURFACE MOUNTED.
- CONCRETE PAVING (BY OTHERS).
- CHESS PATTERN - BARKMAN BROOKSIDE SLAB.
- CHARCOAL & SIERRA GREY - 400MM SQ.
- VALLEY STONE RETAINING WALL.
- PIP CONCRETE RETAINING WALL (BY OTHERS).
- 1.2M x 1.2M SAW-CUT CONCRETE PATTERN.
- GORIC PING PONG TABLE P30-R.
- BARKMAN FLAGSTONE PAVERS - SIERRA GREY.
- MAGLIN FORD TABLE, MFB-1700-01038 (3636/30), CW.
- FORD CHAIRS, MCH-1700-0001 (4) PER TABLE.
- SOLLUS DECOR - 36" HEIM FIRE BOWL, PORTOBELLO.
- WISHBONE IND. - JEM LOUNGE CHAIR, GROOVY RED FRAME WITH GREY SLATS.
- CORRA BIKE RACKS.
- BARKMAN BROADWAY PAVERS.
- 600mm x 600mm x 60mm - NATURAL COLOUR.

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SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	21.05.08	NEW SITE PLAN	MM
2	22.05.08	NEW SITE PLAN	MM
3	22.05.08	ADD PARK LANDSCAPE PLAN	CL
4	22.05.08	UPDATE PLANS FOR NEW SITE PLAN	MVE/CL
5	22.05.08	NEW SITE PLAN / CITY COMMENTS	DD
6	23.05.10	NEW SITE PLAN - PHASE 1	DD
7	24.05.11	PHASE 1 50% SUBMISSION	DD
8	24.05.11	REVISE PER CITY COMMENTS	DD

PROJECT:

RESIDENTIAL DEV.

16651 & 16681 20TH AVENUE
SURREY, BC

DRAWING TITLE:

MATERIALS PLAN

DATE: 21.JAN.26 DRAWING NUMBER:

SCALE: 1:200

DRAWN: MM

DESIGN: MM

CHKD: MCV

L13

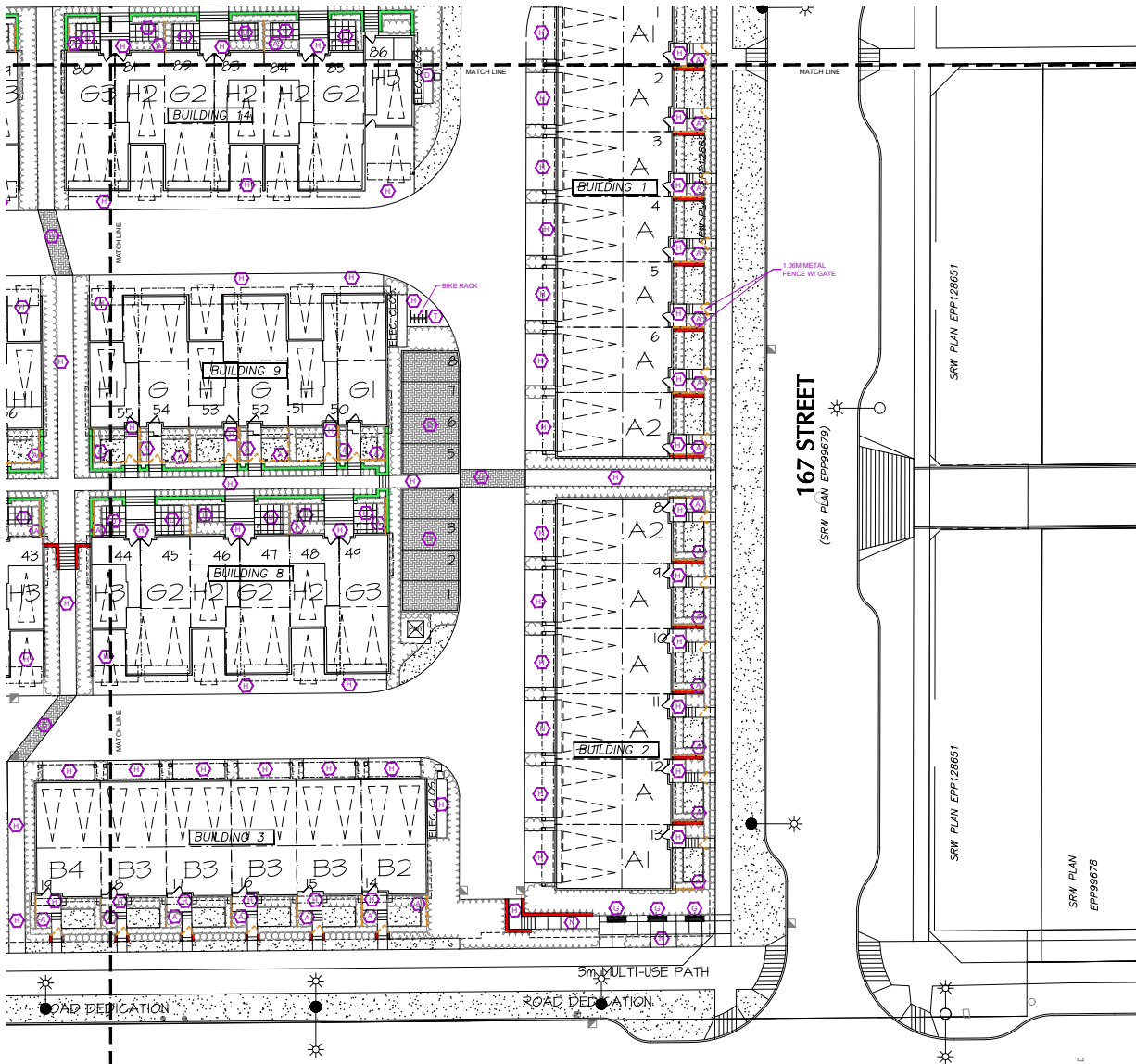
OF 19



21008-100P-21P

PMG PROJECT NUMBER:

21-008



MATERIALS KEY

	1.00M METAL FENCE W/ GATE; SEE DETAIL
	1.8M HT. WOOD FENCE; SEE DETAIL
	RIVER ROCK OVER WEED FABRIC
	PERMEABLE PAVERS IN VISITOR STALLS
	BELGUARD AQUALINE HERRINGBONE PATTERN
	BIMM THICK - COLOUR SHADOW REFERS TO CIVIL DWGS. FOR BASE DETAILS
	FIBAR SAFETY SURFACING
	WISHBONE INDUSTRIES MODENA BENCH M4 S/4
	SAND SLATS CARONNA TEXTURED GREY FRAME SURFACE MOUNTED
	CONCRETE PAVING (BY OTHERS)
	CHESS PATTERN - BARKMAN BROOKSIDE SLAB CHARCOAL & SIERRA GREY - 400MM SQ.
	VALLEY STONE RETAINING WALL
	PPP CONCRETE RETAINING WALL (BY OTHERS)
	1.2m x 1.2m SAW-CUT CONCRETE PATTERN
	GORIC PING PONG TABLE P30-R
	BARKMAN FLAGSTONE PAVERS - SIERRA GREY
	MAGLIN FORO TABLE MFB-1700-01038 (38x26x30) CW
	FORO CHAIRS MCH-1700-0001 (4) PER TABLE
	SOLLUS DECOR - 36" HEMIFIRE BOWL PORTOBELLO
	WISHBONE IND. JEM LOUNGE CHAIR GROOVY RED FRAME WITH GREY SLATS
	CORR BIKE RACKS
	BARKMAN BROADWAY PAVERS 600mm x 600mm x 65mm - NATURAL COLOUR

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SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
8	24 MAR 18	REVISE PER CITY COMMENTS	DD
7	24 FEB 19	NEW SITE - REVISE ALL	DD
6	21 JUL 18	PHASE 2 SRW SUBMISSION	DD
5	23 JUL 18	NEW SITE PLAN - PHASE 1	DD
4	22 SEP 17	NEW SITE PLAN / CITY COMMENTS	DD
3	22 SEP 17	UPDATE PLANS PER NEW SITE PLAN - METVECH	DD
2	23 JUL 15	ADD PARK LANDSCAPE PLAN	CF
1	22 MAY 15	NEW SITE PLAN	MM
0	21 JUN 08	NEW SITE PLAN	MM

CLIENT:

PROJECT:

RESIDENTIAL DEV.
16651 & 16681 20TH AVENUE
SURREY, BC

DRAWING TITLE:
MATERIALS PLAN

DATE: 21 JAN 26 DRAWING NUMBER:
SCALE: 1:200
DRAWN: MM
DESIGN: MM
CHKD: MCV

L14






















OF 19

PMG PROJECT NUMBER:

21-008



MATERIALS KEY

-  1.0M METAL FENCE W/ GATE - SEE DETAIL
-  1.8M HT. WOOD FENCE; SEE DETAIL
-  RIVER ROCK OVER WEED FABRIC
-  PERMEABLE PAVERS IN VISITOR STALLS
-  BELGIUM AQUILINE, HERRINGBONE PATTERN
-  8MM THICK - COLOUR SHADOW REFER TO CIVIL DWGS. FOR BASE DETAILS
-  FIBER SAFETY SURFACING
-  WISHBONE INDUSTRIES MODENA BENCH M46
-  SAND SLATS, CARDINAL, TEXTURED GREY FRAME SURFACE MOUNTED
-  CONCRETE PAVING (BY OTHERS)
-  CHESS PATTERN - BARKMAN BROOKSIDE SLAB CHARCOAL & SIERRA GREY - 400MM SQ.
-  VALLEY STONE RETAINING WALL
-  PIP CONCRETE RETAINING WALL (BY OTHERS)
-  1.2m x 1.2m. SAW-CUT CONCRETE PATTERN
-  GORIC PING PONG TABLE P30-R
-  BARKMAN FLAGSTONE PAVERS - SIERRA GREY
-  MAGLIN FORD TABLE, MFB-1700-01038 (30x36x30), C/W FORD CHAIRS, MCH-1700-0011 (4) PER TABLE.
-  SOLLIS DECOR - 30"HEMI FIRE BOWL, PORTOBELLO
-  WISHBONE IND. - 888 LOUNGE CHAIR, GROOVY RED FRAME WITH GREY SLATS
-  CORA BIKE RACKS
-  BARKMAN BROADWAY PAVERS 600mm x 600mm x 65mm - NATURAL COLOUR



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SCALE:

NO.	DATE	REVISION DESCRIPTION	DR.
1	21.JAN.26	NEW SITE PLAN	MM
2	22.APR.25	ADD PARK LANDSCAPE PLAN	MM
3	22.APR.25	ADD PARK LANDSCAPE PLAN	MM
4	22.APR.25	UPDATE PLANS FOR NEW SITE PLAN	MM
5	22.APR.27	NEW SITE PLAN / CITY COMMENTS	MM
6	23.JUL.10	NEW SITE PLAN - PHASE 1	MM
7	24.FEB.19	NEW SITE - REVISE ALL	MM
8	24.MAR.18	REVISE PER CITY COMMENTS	MM

CLIENT:

PROJECT:
RESIDENTIAL DEV.
16651 & 16681 20TH AVENUE
SURREY, BC

DRAWING TITLE:
MATERIALS PLAN

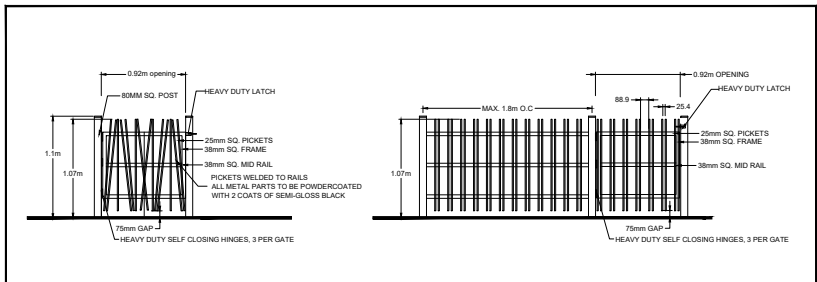
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SCALE: 1:200
DRAWN: MM
DESIGN: MM
CHKD: MCV

L15

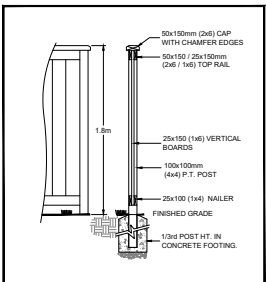
OF 19

PMG PROJECT NUMBER: 21-008

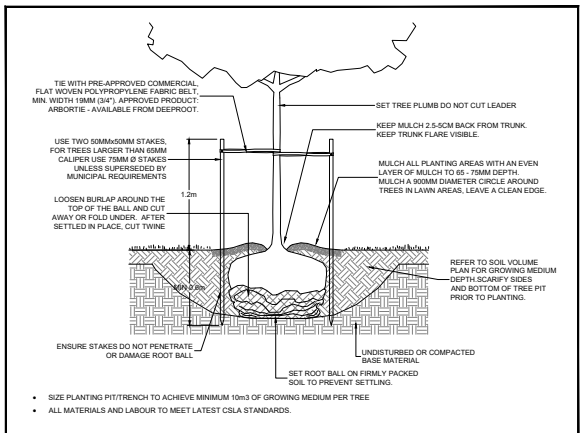




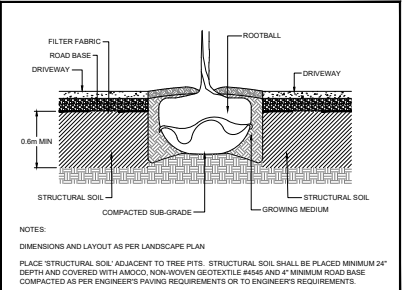
1 **1.07m HT. METAL GATE/FENCE**
1:25



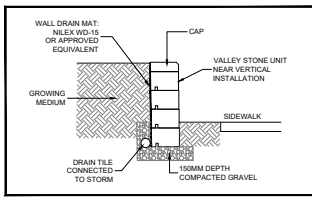
2 **1.8m HT. WOOD FENCE**
1:25



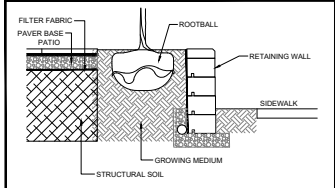
3 **TREE PLANTING DETAIL**
1/2"=1'-0"



4 **STRUCTURAL SOIL AT DRIVEWAYS**
1:25



5 **VALLEY STONE RETAINAIN WALL**
1:25



6 **STRUCTURAL SOIL AT PATIOS**
1:25

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SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
6	24.MAR.18	REVISE PER CITY COMMENTS	DD
7	24.FEB.19	NEW SITE - REVISE ALL	DD
8	25.OCT.11	PHASE 2 SUB-COMMISSION	DD
9	23.OCT.10	NEW SITE PLAN - PHASE 1	DD
5	22.SEP.27	NEW SITE PLAN / CITY COMMENTS	DD
4	22.SEP.19	UPDATE PLANS PER NEW SITE PLAN	MCY/CD
3	22.OCT.05	ADD PARK LANDSCAPE PLAN	CD
2	22.MAY.13	NEW SITE PLAN	MM
1	21.JUN.08	NEW SITE PLAN	MM

CLIENT:

PROJECT:

RESIDENTIAL DEV.

16651 & 16681 20TH AVENUE
SURREY, BC

DRAWING TITLE:

LANDSCAPE
DETAILS

DATE: 21.FEB.22 DRAWING NUMBER:
SCALE: AS NOTED
DRAWN: MM
DESIGN: MM
CHKD: MCY

L16

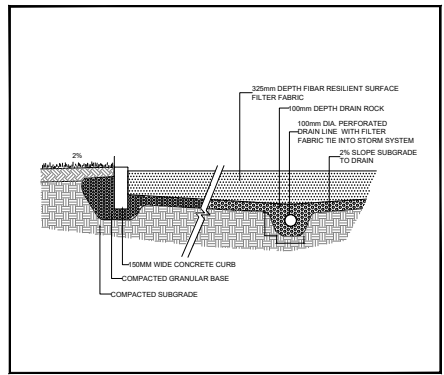
OF 19

21008-100P.21P

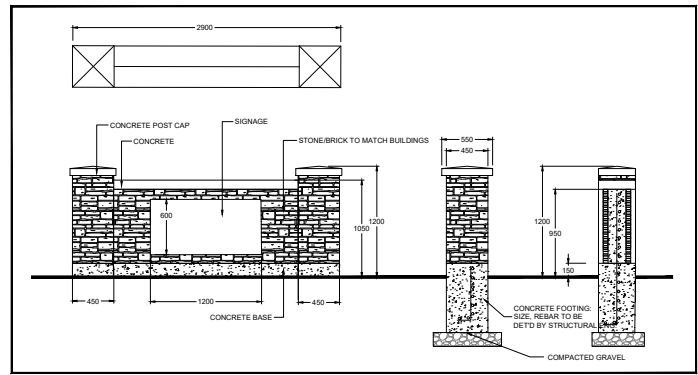
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21-008

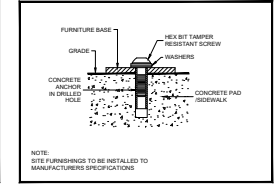
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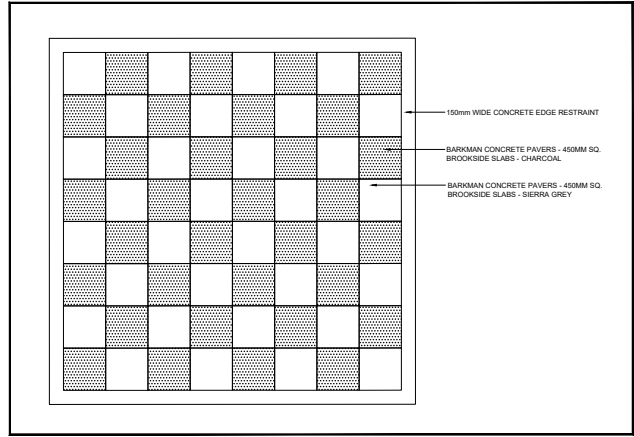
7 PLAY AREA DETAIL
1:25



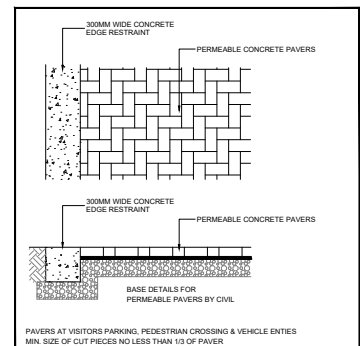
8 SITE SIGNAGE
1:25



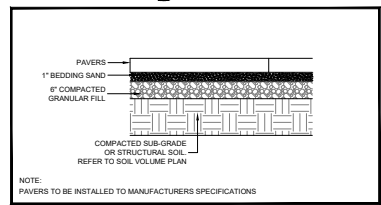
13 SITE FURNITURE MOUNTING
N.T.S.



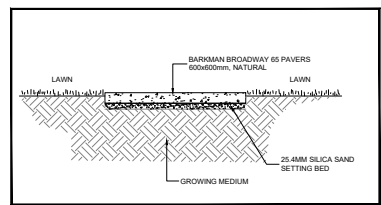
9 CHESS/CHECKER BOARD
1:25



10 PAVERS ON GRADE
1:20



11 PAVERS AT PATIOS
1:10



12 CONCRETE STEPPING PAD
1:10

NO.	DATE	REVISION DESCRIPTION	DR.
4	24.MAR.18	REVISE PER CITY COMMENTS	DD
7	24.FEB.19	NEW SITE - REVISE ALL	DD
7	25.JUL.11	PHASE 1P SUBMISSION	DD
6	23.JUL.10	NEW SITE PLAN - PHASE 1	DD
5	22.SEP.07	NEW SITE PLAN / CITY COMMENTS	DD
4	22.SEP.13	UPDATE PLANS PER NEW SITE PLAN	ME/VE/CL
3	23.JUL.05	ADD PARK LANDSCAPE PLAN	CL
2	22.MAY.01	NEW SITE PLAN	MM
1	21.AUG.08	NEW SITE PLAN	MM

CLIENT:

PROJECT:

RESIDENTIAL DEV.
16651 & 16681 20TH AVENUE
SURREY, BC

DRAWING TITLE:

LANDSCAPE DETAILS

DATE: 21.FEB.22 DRAWING NUMBER:
SCALE: AS NOTED


DRAWN: MM
DESIGN: MM
CHKD: MCY

L17

OF 19

MCH-1700-00001

Legacy #FRC1700-MaF-MI



MATERIALS: The chair frame is constructed from steel tube. The seat is laser formed steel. The back is made of a solid aluminum coating. Circles Pattern.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The chairs come pre-assembled, and can be stacked and stored 4 chairs high.

TO SPECIFY: Select MCH-1700-00001
Choose - Powdercoat Color

HEIGHT: 30.63" (77.8cm) **WIDTH:** 19.56" (49.7cm) **DEPTH:** 21.3" (54.2cm) **WEIGHT:** 16.79lbs (7.6kg)



18 5/16" (465mm)
19 9/16" (497mm)
17 1/16" (428mm)
30 1/8" (770mm)
21 5/16" (542mm)

MAGLIN
Powdercoat System


T 800 W 500
F 877 200 1500
www.maglin.com
info@maglin.com

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FORO SERIES

MTB-1700-01038

FORO



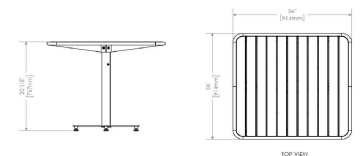
DESCRIPTION: 1700 Series - Foro Square Table, 30.16in H x 30in W, Steel Pipe Base, Steel Tube Post and Outer Ring, Thermally Modified Ash Wood Table Top, Freestanding.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: This freestanding table comes pre-assembled with 4 leveling feet.

TO SPECIFY: Select MTB-1700-01038
Choose - Powdercoat Color

HEIGHT: 30 1/8" (76.7cm) **WIDTH:** 30" (76.2cm) **WEIGHT:** 81lbs (36.7kg)



30 1/8" (767mm)
30" (762mm)
TOP VIEW

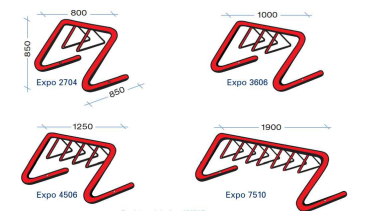
MAGLIN
Powdercoat System

T 800 W 500
F 877 200 1500
www.maglin.com
info@maglin.com

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Cora Expo Series - Multiple Bicycle Parking System

The Cora Expo Series is the proven solution where multiple bicycle parking spaces are required. As the world's leading proprietary design, the Expo Series offers the most secure, attractive and versatile bicycle parking system available. The Expo Series is designed for ease of use and installation, and can be installed for single or double side access.



800 1000
Expo 2704 Expo 3806

1250 1900
Expo 4506 Expo 7510

Registered design 122715

Capacity	Expo 2704	Expo 3806	Expo 4506	Expo 7510
Double Side Access	5	6	7	10
Single Side Access	3	4	5	7


Fixing Details
2 x 12mm x 125mm Stainless Steel Dynabolts with tamper resistant fasteners supplied by Cora Bike Rack.

Construction
Heavy duty high-quality steels. Mainframe 50 NB x 3.2 MAD. Hangers 180mm Round Bar.

Finishes
Galvanized: Hot dipped galvanized post-production and hand polished to ensure smooth finish.
Colour: Colour powder coating on zinc electroplated frame for better colour adhesion. Specify any Duco powder coat colour. Not recommended for use within 20m of all water.
Stainless Steel: High quality Grade 316 stainless steel frame with electro-polish finish. Ideal for any seaside or architecturally sensitive locations.

JEM LOUNGE CHAIR

Model Number - JC-34, JACS, JACO (10 chairs), JST-16 (16 chairs)



Wishbone site furnishings

PRODUCT SPECIFICATIONS
100% Recycled Plastic Slats
The product will not rot, splinter or warp under maintenance coats over the life of the product.
Colours Available: Black, Grey, Redwood, Sand, Walnut

10 YEAR LIMITED WARRANTY
Durable Powder Coated Aluminum Frame
Standard Colours: Brown Slats, Vicor Ridge, K Wood, Lichen, Timbers Blue, Grey Oak, Redwood Slats, Precious Sand, Green Red, Black Textured, Earth Clay, Noble Bronze, Modern Oak, Flame Red, Pearl Orange, Sugar Vioce, Traffic Yellow, Ultramarine Blue, Water Blue, Yellow Green

Long Lasting Stainless Steel Hardware

CUSTOMIZED SOLUTIONS
Custom Powder Coating (Setup Charges May Apply)
Custom Wording, Graphics or Logos on Front and Side Panels.
INST-1 Stainless Steel Bolt-Down Kit

DESIGNER NOTES
A modern take on the Adakoka chair, this stylish seat really stands out. We were looking for ways to create a meaningful grade chair that was simple but funky, contemporary yet comfortable and we think we did it! The heavy-duty aluminum frame is strong enough to handle more robust use in a municipal environment and the recycled plastic lumber brings a warmth to the modern frame. Colour combinations are endless with the variety of lumber choice and paint colours available. An additional feature is that the chair folds flat assembled so it's simple and easy. The name of the chair incorporates the first letters of the three grand children of one of the owners, Isaac, Emma and Mia. The JEM lounge chair is the perfect seat for a 50/50 "City, Outdoors and Site Tables are sold separately."

AVAILABLE RECYCLED PLASTIC LUMBER COLOURS
Black, Grey, Redwood, Sand, Walnut

Wishbone Ltd. provides an extended 10 year limited warranty from the date of invoice. Visit us online at www.Wishboneltd.com

Wishbone Site Furnishings | #210-27090 Gloucester Way | Langley, BC CANADA V4W 3Y5 | 1.866.626.0476 sales@wishboneltd.com

MODENA PARK BENCH

Model Number - M-5 (5 ft) 10-6 (6 ft)



Wishbone site furnishings

PRODUCT SPECIFICATIONS
100% Recycled Plastic Slats
The product will not rot, splinter or warp under maintenance coats over the life of the product.
Colours Available: Black, Grey, Redwood, Sand, Walnut

10 YEAR LIMITED WARRANTY
Durable Powder Coated Cast Aluminum Frame
Standard Colours: Brown Slats, Vicor Ridge, K Wood, Lichen, Timbers Blue, Grey Oak, Redwood Slats, Precious Sand, Green Red, Black Textured, Earth Clay, Noble Bronze, Modern Oak, Flame Red, Pearl Orange, Sugar Vioce, Traffic Yellow, Ultramarine Blue, Water Blue, Yellow Green

Long Lasting Stainless Steel Hardware

CUSTOMIZED SOLUTIONS
Custom Powder Coating (Setup Charges May Apply)
Gifting Program
(Custom Inset Bronze Plaques)
LED Lighting built into the seat.
Custom lengths from 2 ft-6 ft
Stainless steel bolt down kit

DESIGNER NOTES
This contemporary model came about as a challenge for two staff members who wanted to create their own design. The parameters were straightforward: it needed to be unique, contemporary, comfortable and made with highly recycled content. The result was a bench that welcomes the individual with its striking curvilinear one-piece arm and leg design. The tight board pattern and atypical angles of the seat and back. Dipped the modern look with warmth and softness. Great in an application where a non-traditional look and feel is desired. We manufacture our own castings used on the leg ends from 100% recycled aluminum car and truck rims, using the full weld system to keep the bench robust and strong.

AVAILABLE RECYCLED PLASTIC LUMBER COLOURS
Black, Grey, Redwood, Sand, Walnut

Wishbone Ltd. provides an extended 10 year limited warranty from the date of invoice. Visit us online at www.Wishboneltd.com

Wishbone Site Furnishings | #210-27090 Gloucester Way | Langley, BC CANADA V4W 3Y5 | 1.866.626.0476 sales@wishboneltd.com

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Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6C9
Tel: 604.294.0311 Fax: 604.294.0022

SEAL:

PROJECT:

NO.	DATE	REVISION DESCRIPTION	DR.
1	21.05.08	NEW SITE PLAN	MM
2	22.06.05	ADD PARK LANDSCAPE PLAN	CF
3	22.06.05	UPDATE PLANS PER NEW SITE PLAN	MTCVLS
4	22.06.05	ADD PARK LANDSCAPE PLAN	CF
5	22.06.05	NEW SITE PLAN - CITY COMMENTS	DD
6	23.06.10	REVISE PER CITY COMMENTS	DD
7	24.06.10	NEW SITE - REVISE ALL	DD
8	24.06.10	REVISE PER CITY COMMENTS	DD
9	25.06.10	NEW SITE PLAN - PHASE 1	DD
10	25.06.10	NEW SITE PLAN - CITY COMMENTS	DD

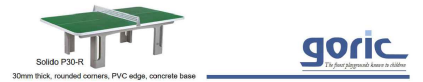
CLIENT:

RESIDENTIAL DEV.
16651 & 16681 20TH AVENUE
SURREY, BC

DRAWING TITLE:
FURNISHING CUT-SHEETS

DRAWING NUMBER:
L18

DATE: 21.FEB.22 DRAWING NUMBER:
SCALE: N.T.S.
DRAWN: DD
DESIGN: DD
CHKD: MCY **OF 19**



Solido P30-R
30mm thick, rounded corners, PVC edge, concrete base

Table Tennis Table - Solido / Fero

Item # See second page

Play Activity Outdoor Table Tennis Table

Material & Color
Table Body: Polymer Concrete, made from mineral aggregate bonded with polyester resin, environmentally friendly, and can be recycled at the end of its life cycle. Strong and durable, withstands water, freezing temperatures and UV light over many years, with very low maintenance. Thickness is either 1 3/16" (30mm) or 1 3/4" (40mm).

Surface: Polyester Resin Coating, glare-free, scratch-resistant surface

Base/Legs: Polymer Concrete or Galvanized Steel

Edging: PVC (rounded or square corners) or Aluminum (square corners only)

Net: Cast Aluminum (4mm or 8mm thick), or custom printed 4mm aluminum dibond solid net.

Play Surface Colors: Blue (RAL 5002), Green (RAL 6002), Grey (RAL 7016), Granite Green.



Unit Dimensions 8' 11 7/8" long x 5' 1 1/16" wide x 2' 4 3/8" high

Suggested Use Area Recommended clearance for recreational play is 28' x 13' (8.5m x 4m)



Geric Marketing Group USA, Inc.

877-467-4287

www.geric.com

info@geric.com

Crawling Pyramid

NR0326



Item no. NR0326-0501	
General Product Information	
Dimensions LxWxH	399x405x149 cm
Age group	5-12
Play capacity (users)	6
Colour options	0



The Crawling Pyramid is a hit with children. The hap-hazardly placed beams is a magnet for their eagerness to climb and explore the unit. The inclined and horizontal beams invite a number of classic playground games, all centered around balancing such as The Ground is Lava or tag. With its inclined layout, the Crawling Pyramid constantly challenges the

sense of balance in children. The sense of balance is fundamental for all other senses. It makes it possible to run, to sit still, concentrate and learn, but it also gives children the confidence that they can manage the world and adjust, when they are at the edge of losing balance. The many horizontal beams of the Crawling Pyramid invites a break and

socializing. This is important for children's social-emotional skills and forming friendships.

1 / 03/21/2024

Date is subject to change without prior notice

solus

Fire Features

HAZ 3H NG & LP
ELECTRIC START
ADJUSTABLE FLAME

Fire is beautiful and also dangerous if not handled properly. Please have a qualified gas fitter setup and install this product according to local codes.

This product has been tested and certified by UL and is certified for being safe as long as three minimum clearances to adjacent materials are maintained.

FOR OUTDOOR USE ONLY

NORTH AMERICA SPECIFICATIONS

Gas type	Natural Gas	Propane
Inlet press:	7.5" w.c.	11" w.c.
Manifold press:	2.5" w.c.	4.5" w.c.
Heat Output:	73,500 BTU	73,500 BTU
Electrical:	120 Volts, 15A, 60Hz, or 240 Volts, 20A	

AUG 21 / 07 2014
CAN 2 / 7 / 2017

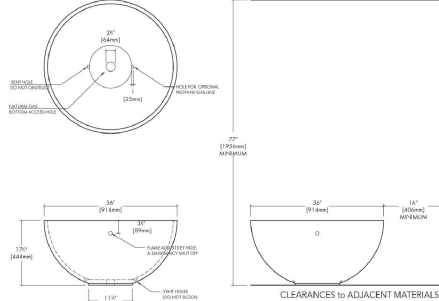
UK & EUROPEAN SPECIFICATIONS

Gas type	Natural Gas	Propane
Inlet press:	6.5" w.c.	37 mbar
Manifold press:	16.3 mbar	35 mbar
Heat Output:	19.6 kW	19.5 kW
Electrical:	240 Volts, 20A	

BS EN 509:2001+ A1:2003 + A2:2004
BS EN 489:2012

CONCRETE SPECS

Strength:	10,000 psi (supermarket)
Weight:	154 lbs / 71 kg



NOTE:
The site Electrician must provide a switched electrical line to the firepit location.
SEE Electronic Ignition Set up Schematic.

ACCESSORIES

- 1) Ad Weather Fabric Cover (extends warranty)
- 2) Handwood Table Top / Sustainable harvest unfinished red Batu wood.
- 3) Clear Anodized Aluminium top / 1/4" plate with 3/8" supports / extends warranty
- 4) Glass wind guard.

JOB / ORDER Name or Number:

Signature & Date:

Up and Over Net

NR0812



Item no. NR0812-1001	
General Product Information	
Dimensions LxWxH	210x140x140 cm
Age group	5-12
Play capacity (users)	2
Colour options	0



The Up and Over Net is a quite a challenge, that trains basic motor skills. Children use their cross-coordination, proprioception and their muscles when they embark on the net and climb over the sturdy top beam to the other side. The wide spacing between the rungs is great for leg, arm and core muscles. The fine meshes allow for more children to climb

together. The fact that there are then only two meshes when they reach the top means that children get to use and expand social-emotional skills such as fun-taking and negotiation. The top beam is the perfect destination for a break with friends. Navigating up and down is good for training the sense of space which helps children estimate distances

and risks in street traffic.

1 / 03/21/2024

Date is subject to change without prior notice

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Burnaby, British Columbia, V5C 6G9
p: 604 284-0111 f: 604 294-0022

SEAL:

1	24.FEB.18	REVISE PER CITY COMMENTS	DD
2	24.FEB.18	NEW SITE - REVISE ALL	DD
3	23.JUL.18	PHASE 1 SUB-COMMISSION	DD
4	23.JUL.18	NEW SITE PLAN - PHASE 1	DD
5	22.SEP.17	NEW SITE PLAN / CITY COMMENTS	DD
6	22.SEP.17	UPDATE PLAN PER NEW SITE PLAN	MEV/ELC
7	22.OCT.17	ADD PARK LANDSCAPE PLAN	CF
8	22.MAY.17	NEW SITE PLAN	MM
9	21.OCT.08	NEW SITE PLAN	MM

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

RESIDENTIAL DEV.

**16651 & 16681 20TH AVENUE
SURREY, BC**

DRAWING TITLE:

**FURNISHING
CUT-SHEETS**

DATE: 21.FEB.22 DRAWING NUMBER:

SCALE: N.T.S.

DRAWN: DD

DESIGN: DD

CHKD: MCV

L19

OF 19

21008-100P-21P

PMG PROJECT NUMBER:

21-008

INTER-OFFICE MEMO

TO: **Director, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **February 27, 2024** PROJECT FILE: **7824-0032-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 16611, 16651, & 16681 - 20 Avenue**

NCP AMENDMENT

The following issues are to be addressed as a condition of the NCP Amendment:

- Provide sanitary sewer capacity analysis downstream of the subject application, and resolve any capacity constraints.
- Provide additional on-site storm water retention in lieu of drainage corridor as required.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 12.5 metres along 21 Avenue;
- Dedicate 25.0 metres for 20A Avenue;
- Dedicate 20.0 metres for 167 Street;
- Dedicate 5.1 metres along 20 Avenue;
- Dedicate 15.0 metres along 166 Street;
- Register necessary SRWs for all frontages.

Works and Services

- Construct all road frontages;
- Construct adequately-sized drainage, water, and sanitary service connections. Abandonment of surplus connection(s), if any, is also required; and
- Construct frontage mains required to service the site.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Jeff Pang, P.Eng.
Manager, Development Services
RH

Department: **Planning and Demographics**
Date: **February 27, 2024**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **24 0032 00**

The proposed development of **194** Townhouse units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	143
---------------------------------------------------	-----

Projected Number of Students From This Development In:	
Elementary School =	93
Secondary School =	50
Total Students =	143

Current Enrolment and Capacities:	
Jessie Lee Elementary	
Enrolment	401
Operating Capacity	411
# of Portables	1
Earl Marriott Secondary	
Enrolment	1398
Operating Capacity	1500
# of Portables	4

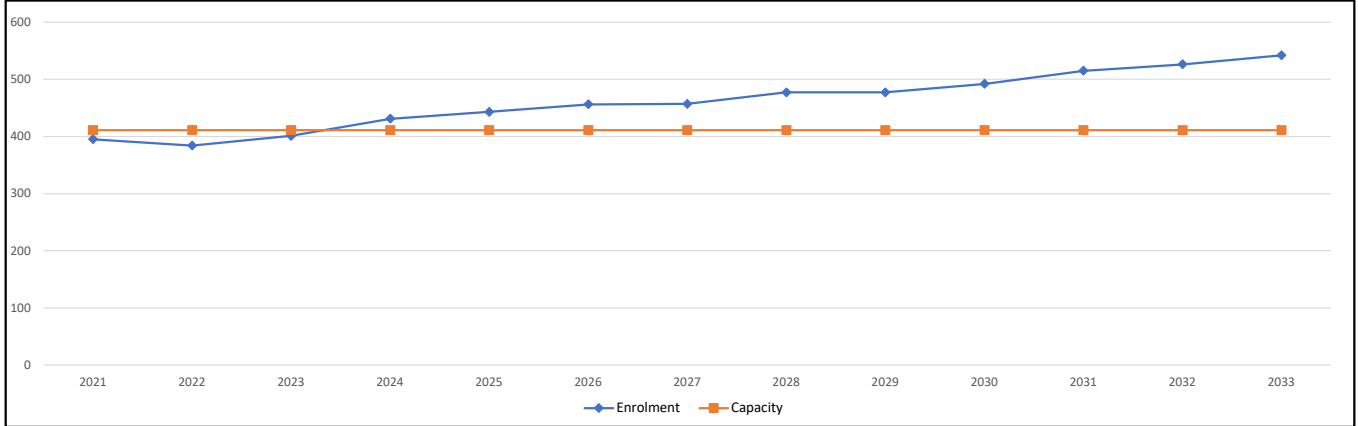
Summary of Impact and Commentary

The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

Actual enrollment at Jessie Lee Elementary has grown modestly the past five years which also has one portable. The 10-year projections support continuing growth at a similar modest pace. Currently there are no capital expansion requests for Jessie Lee Elementary.

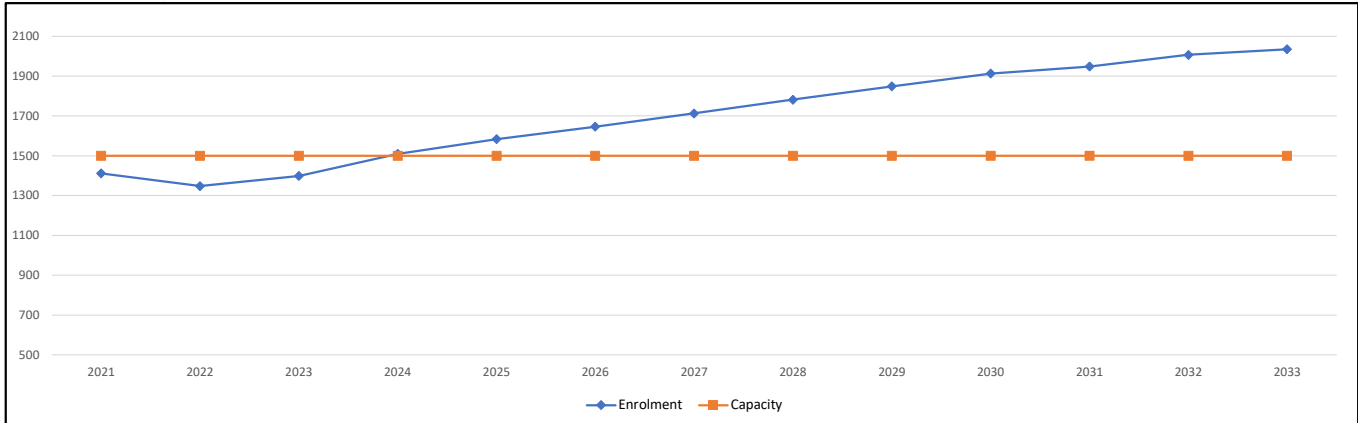
Earl Marriott Secondary experience some relief with the opening of Grandview Secondary. However, enrolment growth at Earl Marriott Secondary is expected to continue. As part of the District's 2024/2025 Five Year Capital Plan, the district has requested a 500 capacity addition at Earl Marriott. The Ministry of Education and Child Care has not approved funding for this project.

Jessie Lee Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Earl Marriott Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population: The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.



APPENDIX F: CITY OF SURREY SUMMARY FORM

Surrey Project No.: 7924-0032-00
 Project Address: 16611, 16651, 16681 20 Avenue, Surrey, BC
 Consulting Arborist: Nick M^cMahon

ON-SITE TREES:	QUANTITY OF TREES
Total Bylaw Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, excluding Park and ESA dedications)	410
Bylaw Protected Trees to be Removed	410
Bylaw Protected Trees to be Retained (excludes trees in Park dedication areas and ESA's)	0
Replacement Trees Required: Alder and Cottonwood at 1:1 ratio: 43 times 1 = 43 All Other Bylaw Protected Trees at 2:1 ratio: 367times 2 = 734 TOTAL:	777
Replacement Trees Proposed	254
Replacement Trees in Deficit	523
Protected Trees Retained in Proposed Open Space/ Riparian Areas	0

OFF-SITE TREES:	QUANTITY OF TREES
Bylaw Protected Off-Site Trees to be Removed	0
Replacement Trees Required: Alder and Cottonwood at 1:1 ratio: 0 times 1 = 0 All Other Bylaw Protected Trees at 2:1 ratio: 0 times 2 = 0 TOTAL:	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

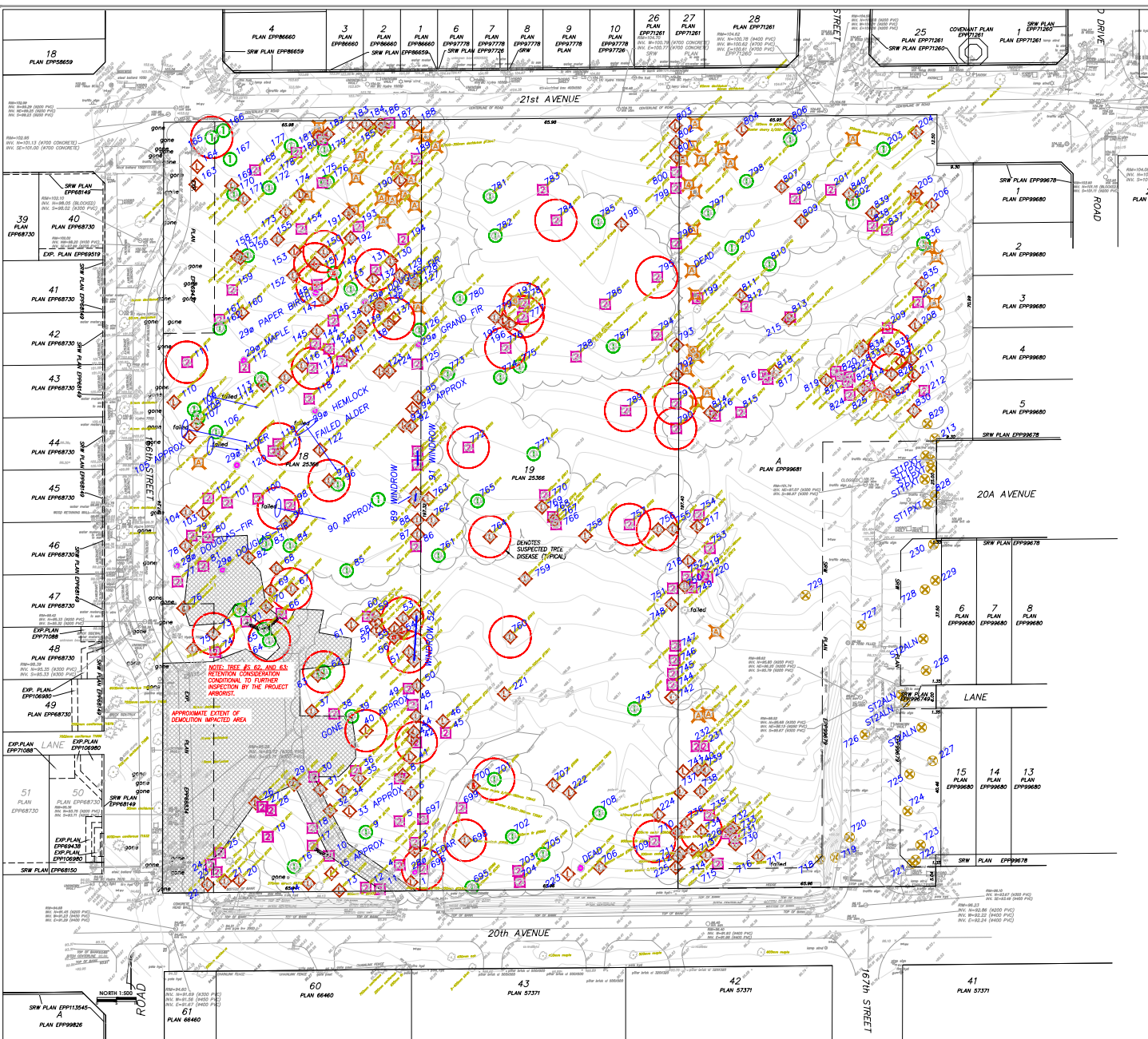
N/A denotes information "Not Available" at this time.

This summary and the referenced documents are prepared and submitted by:


 Nick M^cMahon, Consulting Arborist

Dated: February 16, 2024

Direct: 604 812 2986
 Email: nick@aclgroup.ca



TREE ASSESSMENT DETAIL

- 18 PLAN EPP5859
- 19 PLAN EPP6860
- 20 PLAN EPP6861
- 21 PLAN EPP6862
- 22 PLAN EPP6863
- 23 PLAN EPP6864
- 24 PLAN EPP6865
- 25 PLAN EPP6866
- 26 PLAN EPP6867
- 27 PLAN EPP6868
- 28 PLAN EPP6869

- 1 PLAN EPP9680
- 2 PLAN EPP9680
- 3 PLAN EPP9680
- 4 PLAN EPP9680
- 5 PLAN EPP9680

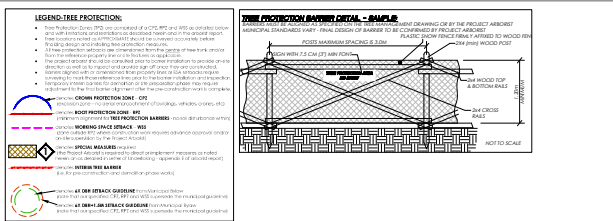
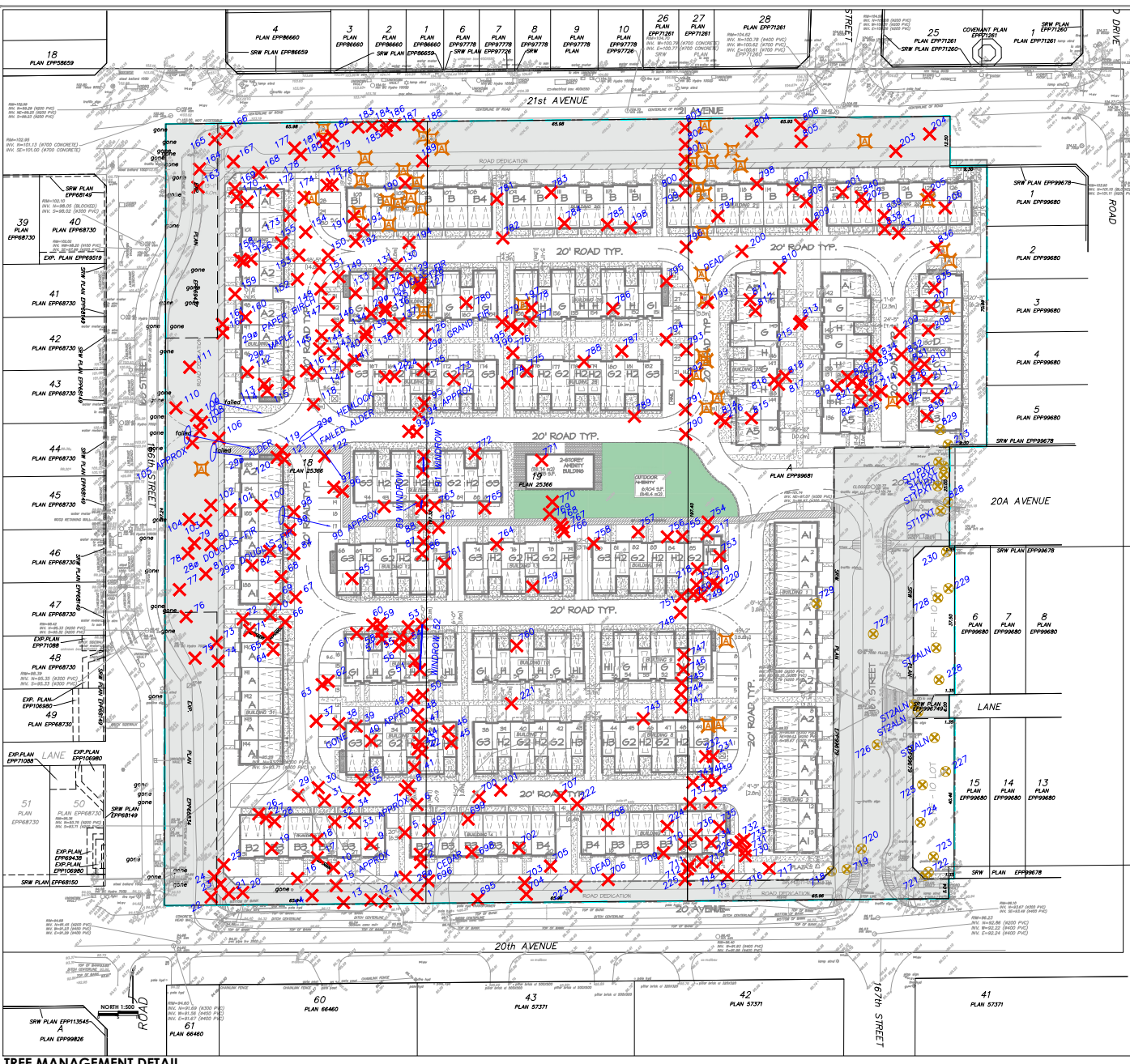
- 6 PLAN EPP9680
- 7 PLAN EPP9680
- 8 PLAN EPP9680
- 13 PLAN EPP9680
- 14 PLAN EPP9680
- 15 PLAN EPP9680

LEGEND - TREE ASSESSMENT

- XXX: TREE STATUS - O: OBLIVIOUS, R: RESEARCH, S: SUPERVISOR'S REVIEW
- XXX: TREE STATUS - O: OBLIVIOUS, R: RESEARCH, S: SUPERVISOR'S REVIEW
- XXX: TREE STATUS - O: OBLIVIOUS, R: RESEARCH, S: SUPERVISOR'S REVIEW
- XXX: TREE STATUS - O: OBLIVIOUS, R: RESEARCH, S: SUPERVISOR'S REVIEW
- XXX: TREE STATUS - O: OBLIVIOUS, R: RESEARCH, S: SUPERVISOR'S REVIEW
- XXX: TREE STATUS - O: OBLIVIOUS, R: RESEARCH, S: SUPERVISOR'S REVIEW
- XXX: TREE STATUS - O: OBLIVIOUS, R: RESEARCH, S: SUPERVISOR'S REVIEW
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APPENDIX C: TREE MANAGEMENT DRAWING - SHEET 1

PROJECT: PROPOSED DEVELOPMENT
 ADDRESS: 14611, 14651 AND 14681 20 AVE SURREY BC
 CLIENT: APJN AND MARTIN - MARATHON
 CITY REF: [BLANK]
 CITY FILE: [BLANK]
 ELOI SIZE: 22"x34" REV: #14 DATE: FEB 18, 2024



TREE MANAGEMENT DETAIL

DRAWING USE AND COORDINATIONS:

- This drawing is to be used for the design and construction of the project. It is not to be used for any other purpose without the written consent of the engineer.
- The engineer is not responsible for any errors or omissions in this drawing or for any consequences arising from its use.
- This drawing is the property of the engineer and shall remain his property. It is not to be reproduced, copied, or distributed in any form without the written consent of the engineer.
- The engineer is not responsible for any changes or modifications to this drawing made by anyone other than the engineer.
- This drawing is to be used in conjunction with the other drawings in this project. It is not to be used in isolation.
- The engineer is not responsible for any delays or interruptions in the progress of the project.
- This drawing is to be used for the design and construction of the project. It is not to be used for any other purpose without the written consent of the engineer.
- The engineer is not responsible for any errors or omissions in this drawing or for any consequences arising from its use.
- This drawing is the property of the engineer and shall remain his property. It is not to be reproduced, copied, or distributed in any form without the written consent of the engineer.
- The engineer is not responsible for any changes or modifications to this drawing made by anyone other than the engineer.
- This drawing is to be used in conjunction with the other drawings in this project. It is not to be used in isolation.
- The engineer is not responsible for any delays or interruptions in the progress of the project.

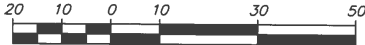
APPENDIX C: TREE MANAGEMENT DRAWING - SHEET 2

ARBORTECH CONSULTING | **ACL GROUP**

PROJECT: PROPOSED DEVELOPMENT
 ADDRESS: 14611, 14651 AND 14681 20 AVE SURREY BC
 CLIENT: APJN AND MARTIN - MARATHON
 CITY REF: | AGL FILE: | ACLE FILE: 14639
 ELOI SIZE: 22"x34" | REV: #14 | DATE: FEB 18, 2024

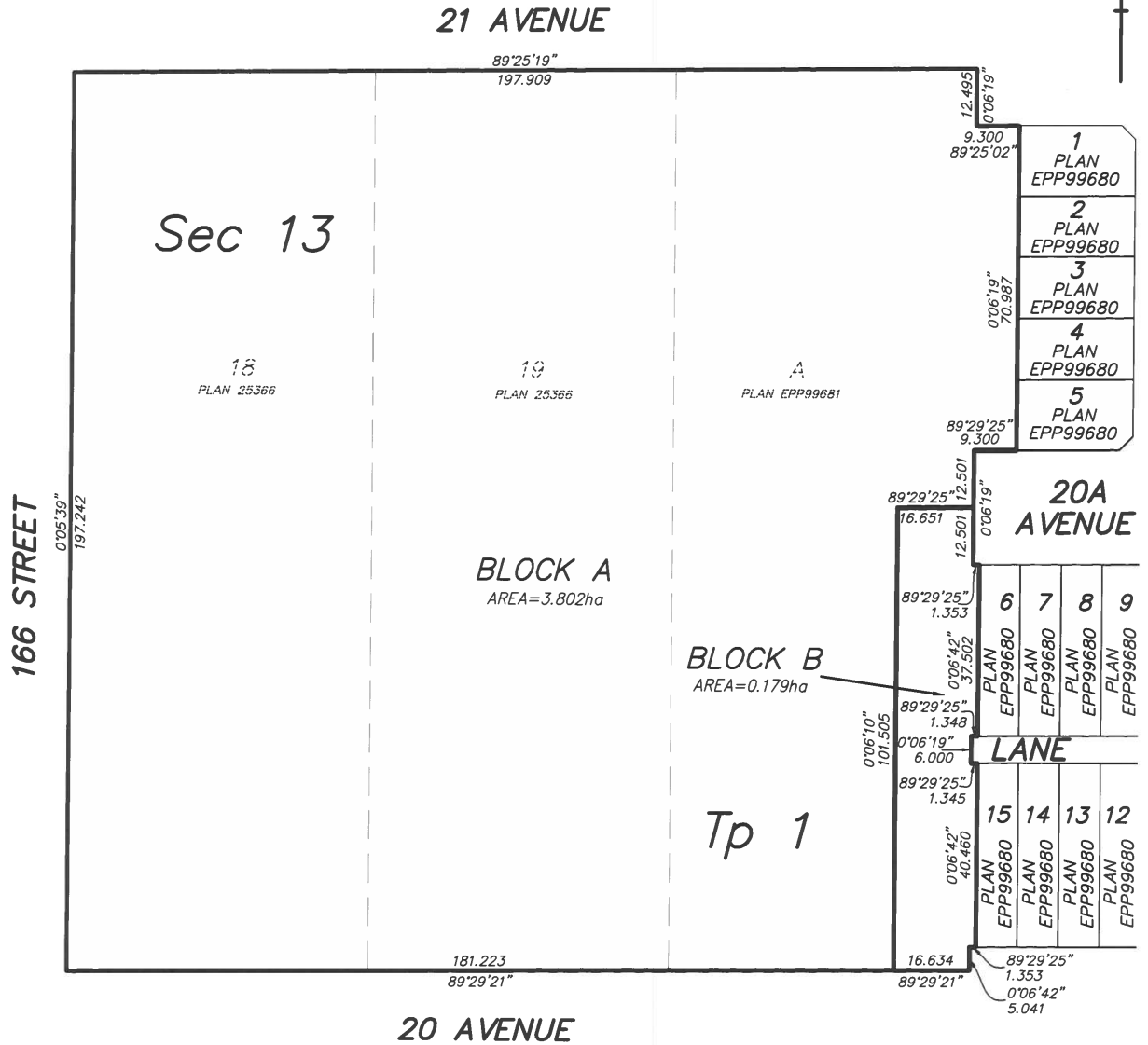
**SURVEY PLAN TO ACCOMPANY CITY OF SURREY ZONING BYLAW
OVER PART OF LOTS 18 NORTH EAST QUARTER AND 19 BOTH OF PLAN 25366,
LOT A PLAN EPP99681,
ALL OF SECTION 13 TOWNSHIP 1 NEW WESTMINSTER DISTRICT.**

BCGS 92G.016



ALL DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 280mm IN WIDTH BY 432mm IN HEIGHT
(B SIZE) WHEN PLOTTED AT A SCALE OF 1:1000



NOTE:

LEGAL BOUNDARIES ARE BASED ON LAND TITLE OFFICE RECORDS AND FIELD SURVEY, AND SUBJECT TO CHANGE.



CERTIFIED CORRECT ACCORDING TO SURVEY
DATED 6TH DAY OF MARCH, 2024

XUNCHEN BAO, BCLS 1037
FILE 19-1084 Zoning-1

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7924-0032-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 000-447-951

Lot 18 North East Quarter Section 13 Township 1 New Westminster District Plan 25366

16611 - 20 Avenue

Parcel Identifier: 008-790-418

Lot 19 Section 13 Township 1 New Westminster District Plan 25366

16651 - 20 Avenue

Parcel Identifier: 031-084-818

Lot A Section 13 Township 1 New Westminster District Plan Epp99681

16681 - 20 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

In Section F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone, the minimum setbacks are varied as follows:

- (a) to reduce the minimum north front yard setback of the RM-30 Zone from 4.5 metres to 4.0 metres to the principal building face for Buildings 19, 20, 21, and 22;
 - (b) to reduce the minimum north side yard setback of the RM-30 Zone from 6.0 metres to 4.0 metres to the principal building face for Building 18;
 - (c) to reduce the minimum west front yard setback of the RM-30 Zone from 4.5 metres to 4.0 metres to the principal building face for Buildings 17 and 18, 30 and 31;
 - (d) to reduce the minimum west side yard setback of the RM-30 Zone from 6.0 metres to 4.0 metres to the principal building face for Building 15;
 - (e) to reduce the minimum south setback of the RM-30 Zone from 6.0 metres to 4.5 metres to the principal building face for Building 3,4 and 5 and from 6.0 metres to 5.1 metres for side yard of Building 2;
 - (f) to reduce the minimum east side yard setback of the RM-30 Zone from 6.0 metres to 4.0 metres to the principal building face for Building 22;
 - (g) to reduce the minimum southeast side yard setback of the RM-30 Zone from 6.0 metres to 3.7 metres to the principal building face for Building 22; and
 - (h) to reduce the minimum east front yard setback of the RM-30 Zone from 4.5 metres to 4.0 metres to the principal building face for Buildings 1 and 2.
5. The siting of buildings and structures shall be in accordance with the drawing numbered Schedule A (the "Drawing") which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

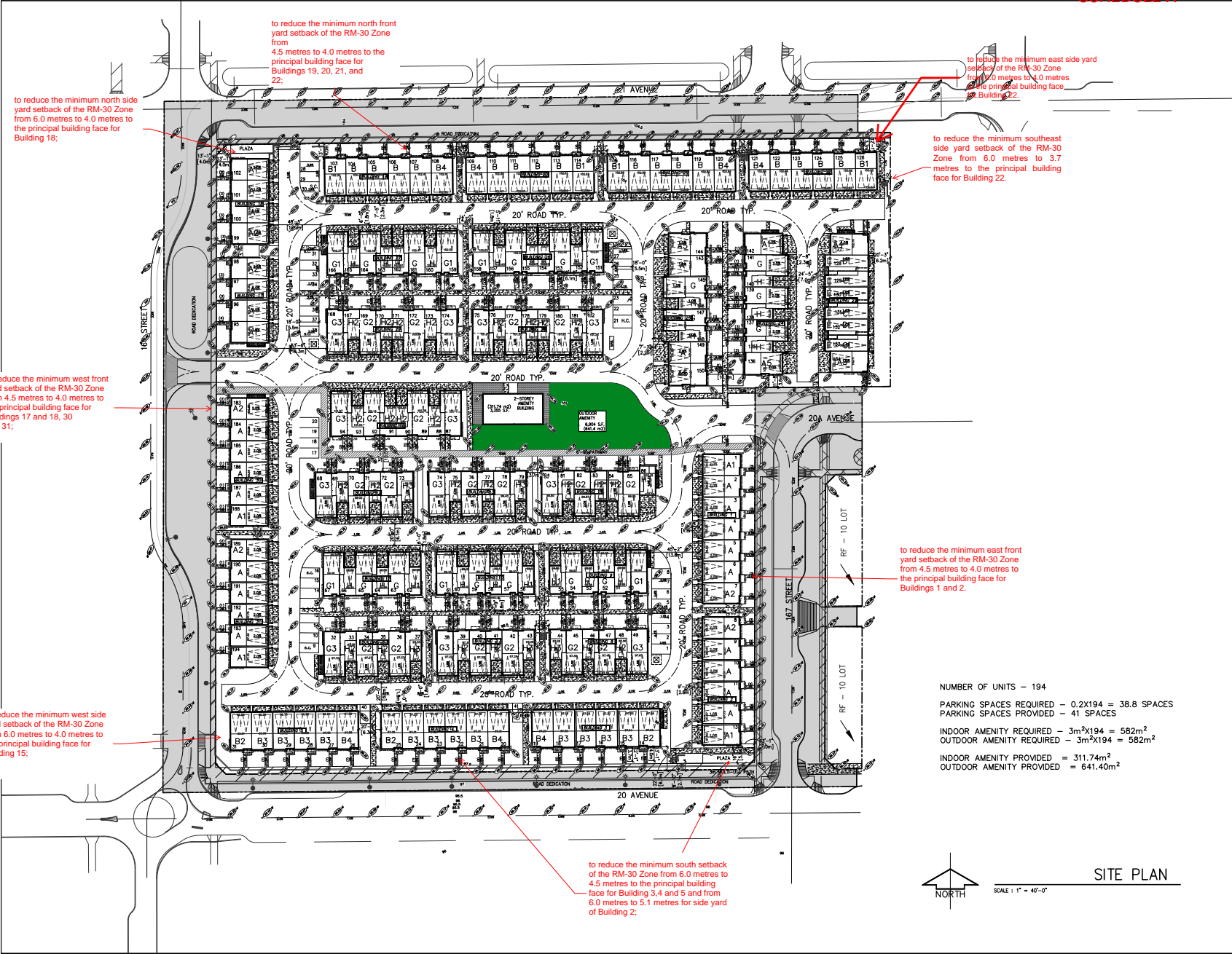
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

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ISSUED FOR	ISSUED FOR
DATE	DATE
1. MARK 13 2022	1. L.F.L. 14.03.2024
2. FEB. 20 2024	14.03.2024



NUMBER OF UNITS - 194
 PARKING SPACES REQUIRED - 0.2X194 = 38.8 SPACES
 PARKING SPACES PROVIDED - 41 SPACES
 INDOOR AMENITY REQUIRED - 3m²X194 = 582m²
 OUTDOOR AMENITY REQUIRED - 3m²X194 = 582m²
 INDOOR AMENITY PROVIDED = 311.74m²
 OUTDOOR AMENITY PROVIDED = 641.40m²

DESIGN : MARATHON HOMES SUNNYSIDE LTD.
 DRAWN :
 DATE : 5th 16 2022
 SCALE : 1" = 40'-0"

PROJECT : 16611, 16651 & 16681 - 20TH AVENUE
 SHEET NO. CONCEPTUAL SITE PLAN

barnett denbek
 UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mol@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15062	AC-1.0



SCALE : 1" = 40'-0"

SITE PLAN