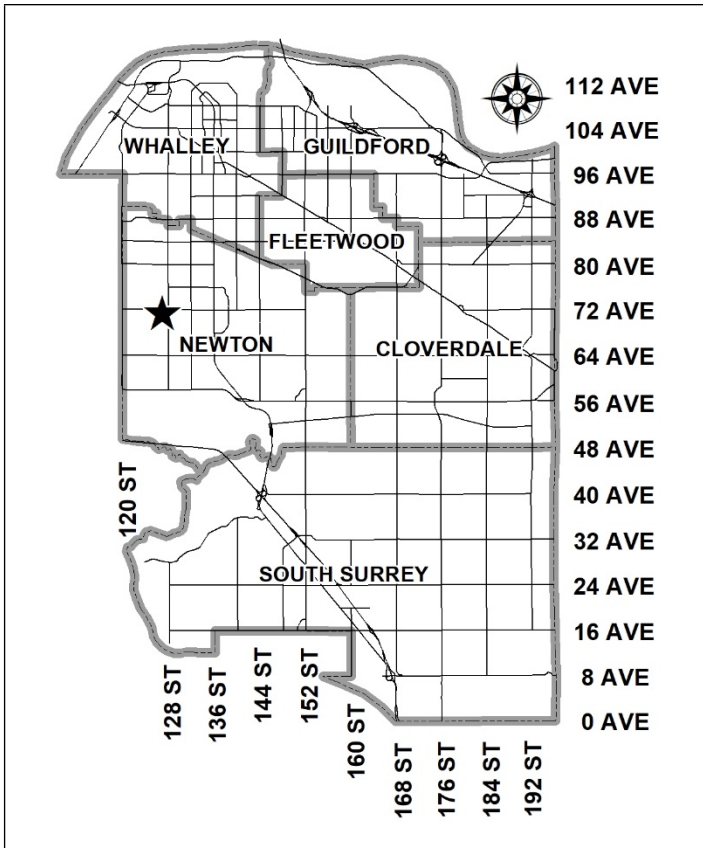


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application No.: 7924-0022-00

Planning Report Date: June 24, 2024



**PROPOSAL:**

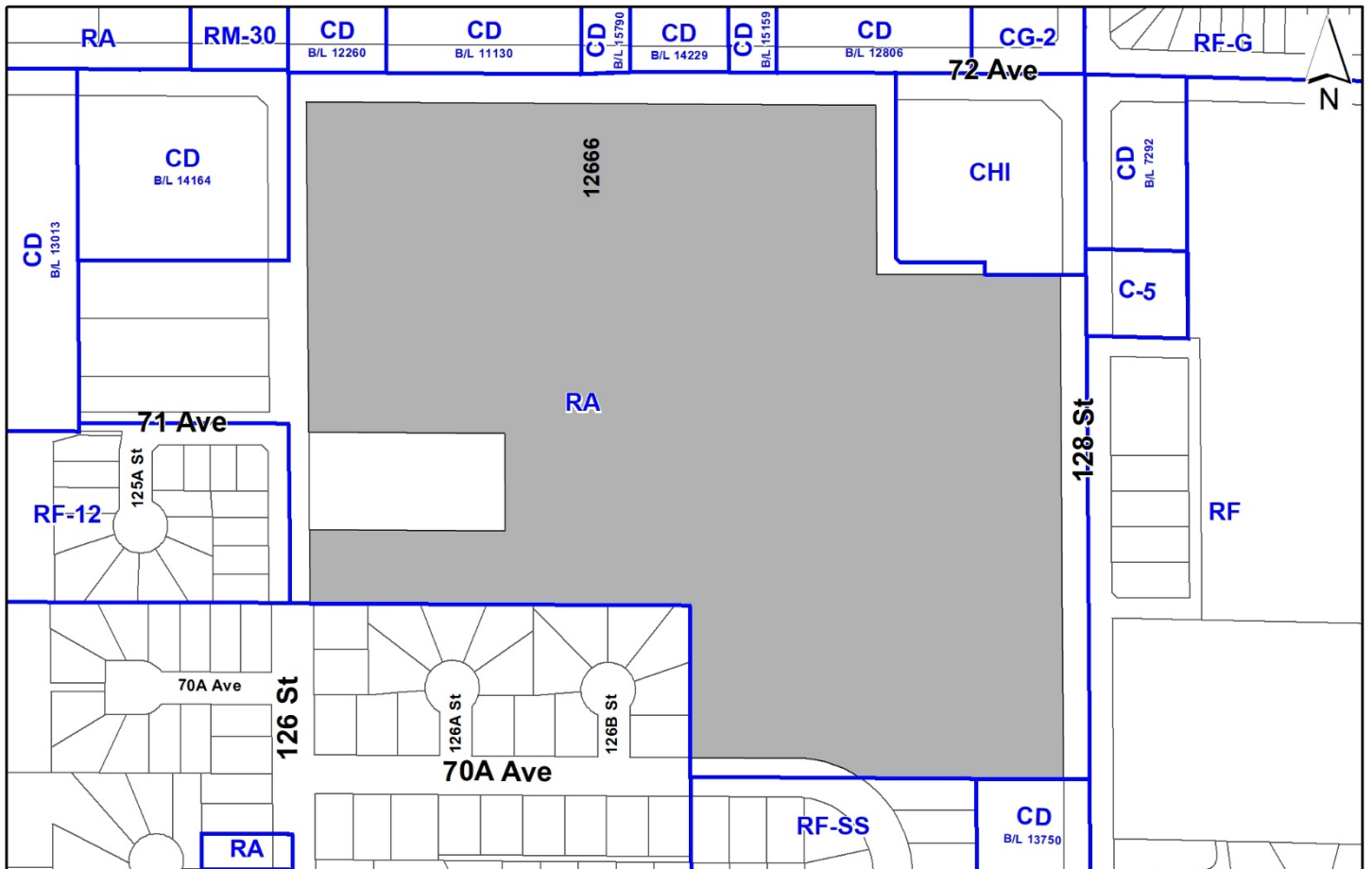
- **Rezoning** from RA to CD based on PI
- **Development Variance Permit**

to permit the development of a childcare facility inside the KPU Surrey Campus, to defer the works and services requirement associated with the rezoning, and to reduce the parking requirements for the site.

**LOCATION:** 12666 - 72 Avenue

**ZONING:** RA

**OCP DESIGNATION:** Urban



## RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval for Development Variance Permit to proceed to Public Notification.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to reduce the parking requirements of the PI Zone by 10% for the entire site, and to reduce the building setbacks to 3 metres, for the purposes of parking.
- The applicant is seeking a variance to defer the works and services requirements of the Surrey Subdivision and Development By-law, 1986, No. 8830, for the proposed rezoning.

## RATIONALE OF RECOMMENDATION

- The proposal complies with the Urban designation in the Official Community Plan (OCP).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Newton.
- The proposed building setbacks achieve a more urban, pedestrian streetscape in compliance with the Choose an item. and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The proposed courtyard style childcare building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- Works and services will be required from the larger site when future rezoning and development applications are proposed. The purpose of this proposal is to bring the uses into compliance to facilitate the addition of a childcare facility.
- The proposed 10% reduction in parking requirement is supported by a report provided by the applicant regarding current parking usage for the entire campus site.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" based on "Institutional Zone (PI)" and a date be set for Public Hearing.
2. Council approve Development Variance Permit No. 7924-0022-00 (Appendix IV) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum number of off-street parking spaces for the entire site by 10%;
  - (b) for the purposes of off-street parking, all setbacks are reduced to 3 metres; and
  - (c) Surrey Subdivision and Development By-law, 1986, No. 8830, by deferring works and services for a proposed rezoning until future development.
3. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect; and
  - (d) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	KPU Surrey Campus	Urban	RA
North (Across 72 Avenue):	Telus (adjacent), Shell gas station , four-storey apartment buildings, townhouses	Multiple Residential	CHI, CG-2, CD By-law Nos. 12260, 11130, 15790, 14229, 15159, 12806)

Direction	Existing Use	OCP Designation	Existing Zone
East (Across 128 Street):	Telus (adjacent), Single family dwellings, Princess Margaret Park, Development Applications No. 7921-0162-00 (5-storey mixed-use rental apartment building) and 7918-0311-00 (four-storey mixed-use rental apartment building), commercial plazas	Urban	CHI, CD (By-law No. 7292), C-5, RF
South (partially across 70A Street):	Single family dwellings	Urban	RA, RF-SS, CD (By-law No. 13750)
West (Across 126 Street):	Single family dwellings and a small commercial plaza	Urban	CD (By-law No. 14164), RA, RF-12

### Context & Background

- The subject 1.71-hectare site (42 acres) houses the Kwantlen Polytechnic University – Surrey Campus. The University offers a variety of business, art and science classes. There are several buildings on site, including classrooms, labs, offices, library, eating areas, and gathering spaces.
- The site is currently zoned “One-Acre Residential (RA) Zone”, which permits one single family dwelling and no institutional or educational uses. The site is designated Urban in the Official Community plan (OCP). The site had not been rezoned when originally built, but it has been determined that no additions should be made on a non-conforming site, without bringing the site into compliance with the Zoning By-law.

### DEVELOPMENT PROPOSAL

#### Planning Considerations

- The applicant is proposing a new childcare building with a central courtyard along the western portion of the site to be constructed on an existing surface parking lot, with a total floor area of 1,393 square metres.
- This is an accessory use to the post-secondary education. The childcare facility also includes classrooms and will provide training opportunities for the Early Childhood Education program from Kwantlen Polytechnic University.
- The site had been historically developed under the existing One-Acre Residential (RA) Zone. Only public schools and other public uses are not required to rezone, but a post-secondary institution, university or college should be on a zone that allows for institutional uses such as universities and colleges, with childcare facilities as accessory uses. This childcare proposal provides the opportunity to bring the other institutional and campus uses on-site into compliance, and not create additional non-conforming uses.

- As the proposed use is institutional, a Form & Character Development Permit application is not required.
- A Development Variance Permit is proposed to reduce the required parking for all uses on-site by 10%. The applicant has provided a Traffic Impact Study with a parking assessment to support this request.
- The proposal includes rezoning to CD based on PA-2. The CD Zone is needed to decrease the maximum Floor Area Ratio (FAR). There are future development plans for this campus that will require road dedications and servicing upgrades, as student housing is being considered. When KPU is ready to proceed with those plans, a new rezoning will be required, and servicing upgrades and road dedications will be looked at then. At this time, for this childcare proposal, no road or servicing upgrades are required.

<b>Proposed</b>	
<b>Lot Area</b>	
Gross/Net Site Area:	170,736 square metres
<b>Number of Lots:</b>	1
<b>Building Height:</b>	9 m (existing buildings) and 5.5 m for childcare
<b>Unit Density:</b>	n/a
<b>Floor Area Ratio (FAR):</b>	0.30
<b>Floor Area</b>	
Existing:	38,518 square metres
Proposed (childcare):	1,217 square metres
Total:	39,735 square metres

**Referrals**

Engineering: The Engineering Department has no objection to the project as outlined in Appendix II.

Parks, Recreation & Culture: Evershine Park is the closest active park with amenities that include, a playground, open space, games court, and is 585 meters walking distance from the development. 60E Utility ROW is the closest parkland with natural areas and is 150 meters walking distance from the development.

Surrey Fire Department: No concerns.

**Transportation Considerations**

- No road dedications are proposed at this time, and these will be reviewed with any future buildings, additions, rezoning, or changes in land use.
- Vehicular access to the proposed daycare facility is proposed on 126 Street on the west side of the property. No additional driveways are proposed, and the campus site will continue to be accessed through a driveway to the north and one to the south of the building. The parking spaces for the daycare are north of the building.

- The site is well served by Routes 319, 322, R6, and 301 on 72 Avenue, and Routes 322 and 393 on 128 Street. There are bike lanes on 128 Street, 124 Street and 68 Avenue.

### **Sustainability Considerations**

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

## **POLICY & BY-LAW CONSIDERATIONS**

### **Regional Growth Strategy**

- The proposal complies with the General Urban designation in the Regional Growth Strategy.

### **Official Community Plan**

#### Land Use Designation

- The proposal complies with the Urban designation in the Official Community Plan.

#### Themes/Policies

- This proposal supports the following OCP themes and policies:
  - A3.7 Encourage local neighbourhood commercial centres and associated local gathering places to appropriately locate within existing neighbourhoods in order to increase walking and cycling options and contribute to neighbourhood character.
  - A4.2 Encourage the full and efficient build-out of existing planned urban areas in order to: achieve planned capacities, balance residential and business development, support high-quality public transit investments, use infrastructure efficiently, provide housing options, create local commerce and workplaces, and provide amenities for residents.
  - B4.14 Ensure neighbourhoods are well served by civic and community facilities such as indoor and outdoor recreation centres, childcare centres, neighbourhood parks, and amenities specifically geared to youth.
  - F2.2 Support the delivery of adequate, licensed, affordable and high-quality childcare spaces in locations conveniently accessible to families.
  - F2.5 Support quality, accessible post-secondary education as a direct measure of a healthy community. Support the expansion of post-secondary educational programs in Surrey.
  - F2.6 Continue to partner with and support secondary educational institutions, such as Simon Fraser University and Kwantlen Polytechnic University, to: Expand and support relevant programs that continue to meet the evolving needs of students and the community, Lobby for additional funding to expand programming and student spaces, Provide opportunities to physically expand school facilities, and Expand research programs.

- F6.17 Encourage large employers and the developers of commercial and multi-family developments to provide an on-site amenity space for child care.

### CD By-law

- The applicant proposes to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)".
- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed childcare facility and formalize the other institutional uses on the subject site, where Kwantlen Polytechnic University has several buildings. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Institutional Zone (PI)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the PI Zone and the proposed CD By-law is illustrated in the following table:

Zoning	PI Zone (Part 33)	Proposed CD Zone
<b>Floor Area Ratio:</b>	0.50	0.30
<b>Lot Coverage:</b>	40%	15%
<b>Yards and Setbacks</b>	7.5 m from all lot lines	West: 4.5 m East: 7.5 m North: 7.5 m South: 7.5 m
<b>Principal Building Height:</b>	9 m	9 m
<b>Accessory Building Height:</b>	4 m	6 m
<b>Permitted Uses:</b>	Principal Uses: <ul style="list-style-type: none"> <li>• Hospitals</li> <li>• Universities</li> <li>• Colleges and Institutes</li> </ul> Accessory Uses: Child care centre	Principal Uses: <ul style="list-style-type: none"> <li>• Universities</li> <li>• Colleges and Institutes</li> </ul> Accessory Uses: Child care centre
<b>Parking (Part 5)</b>	<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls</b>		
Educational:	1080	984
Childcare:	23	23
Total:	1103	1007

- There are only five items that differ between the PI Zone and the CD Zone, as follows:
  - Permitted uses: hospital uses were removed.
  - FAR: this has been reduced from 0.50 to 0.30, to ensure services are upgraded with additional density in the future;
  - Lot Coverage: decreased from 40% to 15% to accommodate existing and proposed buildings;
  - Accessory building height: increased from 4 metres to 6 metres, to accommodate the proposed new building; and

- Building setbacks: most were kept at 7.5 metres, with the exception of the western setback, to provide a more urban interface along 126 Street for the proposed childcare facility.

### Parking and Works & Services Variances

- The applicant is requesting the following variances:
  - (a) to reduce the minimum number of on-site parking spaces by 10%;
  - (b) for the purposes of off-street parking, all setbacks are reduced to 3 metres; and
  - (c) Surrey Subdivision and Development By-law, 1986, No. 8830, by deferring works and services for a proposed rezoning until future development.
- The required works and services for the site will be achieved once the properties are rezoned and developed for additional uses.
- The subject rezoning will help bring the campus site into compliance regarding permitted uses, and will facilitate the addition of a childcare facility.
- The parking reduction reflects both existing parking demand based on a study provided by the applicant, and also increased transit ridership at this location with increased transit service provide by the R6 bus route.
- Staff support the requested variances to proceed for consideration.

### **Surrey Child Care Guidelines**

- In June, 2023, the City established the Surrey Child Care Guidelines which are intended to provide direction for City staff and operators looking to set up a licenced child care facility in Surrey. The following analysis illustrates how the proposed application adheres to the general policies and regulations pertaining to location, outdoor spaces, and parking related to Child Care Centres:
  - Location in Community
    - The subject site is close to other community facilities, such as Kwantlen Polytechnic University and Princess Margaret Secondary School;
    - The property is not close to major traffic routes or high-impact industrial uses (access is proposed on 126 Street, which is a local road).
  - Adjacent Uses & Safety Considerations
    - The proposal will not result in significant changes to privacy, lighting or visual impacts; and
    - Landscaping, including hedges and fencing will contribute to screening the use from neighbouring properties.
  - Arterial Roads – not applicable
  - Access & Parking
    - Vehicular access is proposed on 126 Street, and there is a sidewalk connecting the parking lot to the proposed facility;



- Emergency access can also be provided on 126 Street, south of the proposed building, where there is a generous maneuvering aisle for ease of movement and to accommodate service, delivery and emergency vehicles.
- Trees & Landscaping
  - 90% of on-site trees are proposed for retention, and the planting plan includes significantly more trees than the minimum replacement trees.
- Purpose-Built Child Care Facilities – the proposed facility is compatible with the existing campus and complements the site.
- Fencing & Screening
  - The outdoor play area is in a central courtyard surrounded by the building.
- Relationship to Grade
  - The site is relatively flat and the one-storey building is at grade, with no steps or ramps required.
- Natural Light & Views
  - The facility is located at grade with plenty of windows to provide natural light.
- Outdoor Play Areas
  - The applicant has confirmed that the proposal complies with the Fraser Health licencing requirements; and
  - The outdoor play area has direct access to the indoor care area, provides weather protection and soft surfaces (grass, sand, wood chips). It is one large space to allow for efficient supervision, and is located between the two programs and the Early Childhood education program, to also allow for learning opportunities for the program.

## **PUBLIC ENGAGEMENT**

- Pre-notification letters were sent on February 27, 2024, and the Development Proposal Signs were installed on March 14, 2024. Staff received only one response in opposition to the childcare facility.

## **DEVELOPMENT PERMITS**

As the childcare facility is an accessory use to the institutional post-secondary facility, a Development Permit for Form & Character is not required. Courtesy urban design comments have been provided by staff and the applicant has incorporated most of them.

The building is a one-storey building with the daycare along the north and south portions, and classrooms along the eastern portion. The western portion has a permeable view of the courtyard. In the courtyard surrounding the four wings, is the outdoor play area.

## TREES

- Andrew MacLellan, ISA Certified Arborist of BC Plant Health Care Inc. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

**Table 1: Summary of Proposed Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Deciduous Trees</b> (excluding Alder and Cottonwood Trees)			
Chinese Wingnut	7	0	7
Katsura Tree	3	0	3
London Plan	6	6	0
Red Maple	12	0	12
Tulip Tree	2	0	2
<b>Coniferous Trees</b>			
Douglas Fir	25	0	25
Western Red Cedar	1	0	1
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>56</b>	<b>6</b>	<b>50</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>36</b>	
<b>Total Retained and Replacement Trees Proposed</b>		<b>86</b>	
<b>Estimated Contribution to the Green City Program</b>		<b>n/a</b>	

- The Arborist Assessment states that there are a total of 56 mature trees on the site, with no Alder and Cottonwood trees. The applicant proposes to retain 50 trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio for all trees. This will require a proposed total of 12 replacement trees on the site. The applicant is proposing 36 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety including Vine Maple, Full Moon Maple, Fastigate Red Maple, Eddies White Wonder Dogwood, Chinese Witchazel, Vulcan Magnolia, Yellowbird Magnolia, Apple, Fastigate Trembling Aspen, Japanese Stewartia, Chinese Cedar, and a variety of shrubs, vines and groundcovers.
- In summary, a total of 86 trees are proposed to be retained or replaced on the site with no contribution required to the Green City Program.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

- Appendix I. Survey Plan, Site Plan, Building Elevations and Landscape Plans
- Appendix II. Engineering Summary
- Appendix III. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix IV. Development Variance Permit No. 7924-0022-00

*approved by Shawn Low*

Don Luymes  
General Manager  
Planning and Development

LM/kd

Appendix I shall verify all dimensions, details and notes to identify any errors and omissions, omissions and discrepancies between the drawings and the Contract Documents, and bring these items to the attention of the Architect for clarification.

NO.	DATE	DESCRIPTION
1	Jul 9, 2023	Issued for SD
4	Apr 9, 2024	Issued for 20% DD
5	June 03, 2024	Issued for Rezoning / DVP R1



## 2217 KPU Daycare

June 03, 2024 Issued for Rezoning / DVP R1

**public**

1035 FRANCES STREET  
VANCOUVER BC V6L 1S1  
TEL: 604.734.1023  
WWW.PUBLICDESIGNBC.COM

2217 KPU Daycare

12666 72 Avenue, Surrey, BC

PROJECT CODE  
2217  
SCALE

Cover sheet

SHEET  
G0.00

**Proposed building (Daycare + ECE)**

Floor areas	Use	Current	Proposed
Level	Revised/Inst	Revised/Inst	Revised/Inst
Level 1	m <sup>2</sup>	1,217	0
Total area (m <sup>2</sup> )		1,217	0
Total area (sq ft)		13,095	0

Floor area exclusions	Use	Current	Proposed
Gross site area* (all campus)	m <sup>2</sup>	170,756	1,837,787
* Gross site area is equal to net site area			

FAIR calculations	Current	Proposed
FAIR Existing buildings gross floor area / net site area	0.72%	0.22%
FAIR Proposed building gross floor area / net site area	N/A	0.007
FAIR Allowance for short term growth / net site area	N/A	0.364
Total FAIR	N/A	0.299

Building areas (for site coverage calculations)	Current	Proposed
Existing buildings	m <sup>2</sup>	m <sup>2</sup>
Artibus	3,072	33,064
Birch	1,364	16,487
Cedar	4,838	52,071
Ceramics Outdoor area	12	129
Fire Spruce	5,534	59,562
Main	3,122	33,656
X1	87	920
Yew	76.7	806
Total	18,103	176,859

Floor areas	Use	Current	Proposed
Level	Revised/Inst	Revised/Inst	Revised/Inst
Level 1	m <sup>2</sup>	8,715	93,807
Total area (m <sup>2</sup> )		8,715	93,807
Total area (sq ft)		93,807	1,011,100

Site Area	Current	Proposed
Gross site area* (all campus)	m <sup>2</sup>	m <sup>2</sup>
* Gross site area is equal to net site area	170,756	1,837,787

FAIR calculations	Current	Proposed
FAIR Existing buildings gross floor area / net site area	0.72%	0.22%
FAIR Proposed building gross floor area / net site area	N/A	0.007
FAIR Allowance for short term growth / net site area	N/A	0.364
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Building Gross Floor Areas	Current	Proposed
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Ceramics Outdoor area	12	129
Fire Spruce	5,534	59,562
Main	3,122	33,656
X1	87	920
Yew	76.7	806
Total net floor areas (all campus)	N/A	N/A

Site coverage	Allowed	Required	Proposed
Existing buildings	N/A	10.6%	10.6%
Proposed building (Daycare + ECE)	N/A	0.6%	0.6%
Allowance for short term growth	N/A	3.6%	3.6%
Total site coverage (including outdoor area)	40%	14.8%	14.8%

Building height	Allowed	Required	Proposed
Storages	N/A	N/A	1
Highest point the roof	m	m	m
	9	29.53	5.50

Setbacks	Allowed	Required	Proposed
Front yard (North) - 126 Street	m	m	m
Side yard (North) - Cedar Building	3.6	N/A	N/A
Side yard (South) - Green field	3.6	3.6	3.6
Rear yard (East) - Birch Building	7.5	N/A	N/A

**Notes:**  
1 - For Childcare outdoor areas, please refer to sheet AD.04

Parking Calculations	Allowed	Required	Proposed
Refer to Traffic Demand Management (TDM) Report prepared by Burt & Associates for details and reductions			
<b>Child Care Centre</b>			
0.15 parking spaces per employee	9	9	9
0.15 parking spaces per child for drop-off	9	9	9
Total parking stalls	18	18	18
<b>University and College</b>			
3 parking spaces per 100 sq. m of floor area used as classroom	5	5	5
Total parking stalls	5	5	5
Leading space	N/A	N/A	N/A
<b>Recycle stalls</b>			
Child Care Centre	N/A	N/A	N/A
University and College	16	16	16
Total	16	16	16

Parking summary	Current	Required	Proposed	(Short-Fall)
Stalls provided for existing buildings (1)	1095	1090	996	9%
Stalls provided for Daycare + ECE (2)	N/A	23	23	0%
Total parking stalls	1095	1113	1019	9%

**Note:**  
1) All existing stalls will be removed from parking lot (See Traffic report) by the addition of the new building (Daycare + ECE)  
2) 23 parking stalls are required for Daycare + ECE

**Proposed variance**  
Parking variance of 16 parking stalls

Legal description
FD: D24-144-224
PLAN: LMP9798
PLAN DESCRIPTION: LOT 4 SECTION 18 TOWNSHIP 2
PLAN: LMP9298 NND

**Building code summary**

- Project description  
The project is a new one-story building purpose-built to be used as child day care and classrooms at Kwantlen Polytechnic University.
- Applicable building code  
The applicable Building Code for this project will be the BC Building Code 2024. All references indicated refer to Division B of the BC Building Code unless otherwise indicated.
- Building characteristics
 

1. Building height	1 storey
2. Building area	approximately 2070m <sup>2</sup>
3. Sprinklered	yes
4. Basement	no
5. Major occupancy	RPFA-A-2
- Construction requirements  
Based on the building characteristics, construction requirements will be based on Article 3.2.2.27 "Group A, Division 2 up to 2 Storeys, Increased Area, Sprinklered". The building is permitted to be of combustible or noncombustible construction, used singly or in combination.
- Fire separation requirements  
Fire separations will be provided based on the following:
 

Fire Separation	Fire Separation
Junior's rooms per 3.1.1 (202)	none
Service rooms with raised fire appliance per 3.6.2.1 (1)	1h
Service rooms with life safety equipment per 3.6.2.1 (7)	none
Service rooms with limited equipment and not part of fire safety system per 3.6.2.1 (8)	none
- Fire blocking in roof assembly  
In accordance with Sentence 3.11.1.5, fire blocking will not be provided to separate the canopy from the building.
- Spatial separations  
The spatial calculation analysis and exposure protection requirements are included on AD.07 and AD.08 Spatial separation and exposure calculations.
- Fire protection systems  
Fire protection systems to be provided for this building include:
  - Fire alarm system per Clause 3.2.4.1 (1).
  - Emergency lighting and power - including exterior areas that lead to the public thoroughfare.
 A standpipe system will not be required in accordance with Sentence 3.2.5.8 (1).
- Location of access routes  
The principal entrance will be located at the south entry of the east wing of the building. The principal entrance will be the designated fire department response point.

It is noted that the building has three distinct wings. In accordance with Sentence 3.2.5.5 (4), each wing of the building shall have an access route located so that the unobstructed path of travel from the fire department pumper vehicle to one entrance of each wing of the building is not more than 45 m.

- Emergency power and lighting  
In accordance with Sentence 3.2.3.3, emergency lighting shall be provided in the following areas:
  - exits,
  - principal routes providing access to exits in open floor areas and in service rooms,
  - corridors used by the public,
  - corridors serving classrooms,
  - public corridors,
  - floor areas or parts thereof where the public may congregate
  - four areas or parts thereof where persons are cared for that are within daycare facilities, including daycare facilities for children,
  - public washrooms that are equipped to serve more than one person at a time.
 The minimum value of the illumination under emergency lighting shall be not less than 10 lx. Emergency lighting will operate for 30 minutes in accordance with Sentence 3.2.7.4 (1) (b) (ii).
- Exit/egress systems  
Exit capacity will be designed based on the occupant load of the building in compliance with the Building Code. Minimum two exits are required from the floor area.  
Generally, 2 means of egress will be provided unless:
  - the floor space / room is not more than 150m<sup>2</sup> in the room / confined area,
  - the travel distance from anywhere within the space / room to the exit is not more than 15m, and,
  - the occupant load in the floor space / room is not more than 10 persons.
 In accordance with Article 3.4.2.3, the least distance between 2 exits is one half of the maximum diagonal in the 1<sup>st</sup> storey floor area but not less than 7m. The separation is measured by the shortest distance smoke would travel between exits.
- Occupant load / water closet  
The building will be a purpose-built as a daycare and classroom building. Per BC Child Care Licensing Regulation Division 3.14.15, a classroom must have one toilet and wash basin for every 10 children or fewer. Based on daycare provincial regulations and projected classroom and office usage the total occupant load will be:
 

Childcare	Children	Staff	Total	WC
ITA	12	3	15	2
ITA	12	3	15	2
ITA	12	3	15	2
Office	25	4	29	3
Total	41	13	54	9

Per BCBC 2024, 3.8.2.8 (1) at least one universal washroom complying with Subsection 3.8.3.3 shall be provided.

Room Area Schedule for Occupant Load					
Name	Proposed area (m <sup>2</sup> )	Duplicate use	Occupancy Factor	Room Occupant Load	Building Occupant Load
Classroom	81	0%	1.85	88	88
Corridor	9	100%	3.70	4	0
EEE storage	18	100%	46.00	1	0
Mailing room	10	100%	9.30	2	0
Multifunction room	88	100%	1.85	48	0
Office	17	100%	9.30	2	0
Total				147	88

In accordance with Table 3.7.2.2-A washroom fixture calculations shall be:

Early Childhood Education	Occupant Load	Male WC Req'd	Female WC Req'd	Unisex Toilet Room Provided
Total	150	2	3	1

**Notes:**  
1 - Because courtyard has restricted access, it shall be included in building area calculation.  
2 - Washroom fixture calculations for childcare use is based on BC Child Care Licensing Regulation (1 toilet for fewer children).

**Project team**

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ISSUE #	DATE	DESCRIPTION
1	Jul 5, 2023	Issued for SD
2	Aug 5, 2023	Issued for Pre-agg. Meeting
3	Dec 21, 2023	Issued for Reopening DWP
4	Apr 3, 2024	Issued for 20% DD
5	June 03, 2024	Issued for Reopening DWP R1

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**2217 KPU Daycare**

12466 72 Avenue, Surrey, BC

**PROJECT CODE**  
2217  
SCALE

**Project information and drawing list**  
**SHEET**  
G0.01

Net Assignable Square Metres Schedule

Name	Required NASM	Proposed NASM	Difference
<b>1 - Activity</b>			
IT art	9.0 m <sup>2</sup>	10.2 m <sup>2</sup>	1.2 m <sup>2</sup>
IT art	9.0 m <sup>2</sup>	10.2 m <sup>2</sup>	1.2 m <sup>2</sup>
IT art	9.0 m <sup>2</sup>	10.2 m <sup>2</sup>	1.2 m <sup>2</sup>
IT nap	32.5 m <sup>2</sup>	16.9 m <sup>2</sup>	-15.6 m <sup>2</sup>
IT nap	32.5 m <sup>2</sup>	8.2 m <sup>2</sup>	-24.3 m <sup>2</sup>
IT nap	0.0 m <sup>2</sup>	17.0 m <sup>2</sup>	17.0 m <sup>2</sup>
IT nap	0.0 m <sup>2</sup>	8.2 m <sup>2</sup>	8.2 m <sup>2</sup>
IT nap	32.8 m <sup>2</sup>	16.6 m <sup>2</sup>	-16.2 m <sup>2</sup>
IT nap	0.0 m <sup>2</sup>	8.3 m <sup>2</sup>	8.3 m <sup>2</sup>
IT open play	0.0 m <sup>2</sup>	27.2 m <sup>2</sup>	27.2 m <sup>2</sup>
IT open play	20.5 m <sup>2</sup>	27.4 m <sup>2</sup>	6.9 m <sup>2</sup>
IT open play	20.5 m <sup>2</sup>	36.6 m <sup>2</sup>	15.1 m <sup>2</sup>
IT open play	0.0 m <sup>2</sup>	8.5 m <sup>2</sup>	8.5 m <sup>2</sup>
IT open play	20.5 m <sup>2</sup>	8.5 m <sup>2</sup>	-12.0 m <sup>2</sup>
IT open play	0.0 m <sup>2</sup>	8.5 m <sup>2</sup>	8.5 m <sup>2</sup>
IT open play	0.0 m <sup>2</sup>	8.7 m <sup>2</sup>	8.7 m <sup>2</sup>
IT quiet	9.0 m <sup>2</sup>	8.3 m <sup>2</sup>	-0.7 m <sup>2</sup>
IT quiet	9.0 m <sup>2</sup>	8.4 m <sup>2</sup>	-0.6 m <sup>2</sup>
IT quiet	9.0 m <sup>2</sup>	8.4 m <sup>2</sup>	-0.6 m <sup>2</sup>
IT table	0.0 m <sup>2</sup>	8.5 m <sup>2</sup>	8.5 m <sup>2</sup>
IT table	11.0 m <sup>2</sup>	8.4 m <sup>2</sup>	-2.6 m <sup>2</sup>
IT table	11.0 m <sup>2</sup>	8.4 m <sup>2</sup>	-2.6 m <sup>2</sup>
TF art	10.0 m <sup>2</sup>	10.2 m <sup>2</sup>	0.2 m <sup>2</sup>
TF gross motor	34.5 m <sup>2</sup>	53.6 m <sup>2</sup>	18.9 m <sup>2</sup>
TF open play	0.0 m <sup>2</sup>	24.9 m <sup>2</sup>	24.9 m <sup>2</sup>
TF open play	40.5 m <sup>2</sup>	8.7 m <sup>2</sup>	-31.8 m <sup>2</sup>
TF open play	0.0 m <sup>2</sup>	8.5 m <sup>2</sup>	8.5 m <sup>2</sup>
TF quiet	14.0 m <sup>2</sup>	8.2 m <sup>2</sup>	-5.8 m <sup>2</sup>
TF table	14.0 m <sup>2</sup>	8.2 m <sup>2</sup>	-5.8 m <sup>2</sup>
	363.3 m <sup>2</sup>	405.4 m <sup>2</sup>	42.1 m <sup>2</sup>
<b>2 - Support</b>			
IT cubbies	12.0 m <sup>2</sup>	8.0 m <sup>2</sup>	-4.0 m <sup>2</sup>
IT cubbies	12.0 m <sup>2</sup>	8.4 m <sup>2</sup>	-3.6 m <sup>2</sup>
IT cubbies	12.0 m <sup>2</sup>	8.3 m <sup>2</sup>	-3.7 m <sup>2</sup>
IT kitchen	9.5 m <sup>2</sup>	9.9 m <sup>2</sup>	0.4 m <sup>2</sup>
IT kitchen	9.5 m <sup>2</sup>	9.6 m <sup>2</sup>	0.1 m <sup>2</sup>
IT kitchen	9.5 m <sup>2</sup>	9.6 m <sup>2</sup>	0.1 m <sup>2</sup>
IT storage	8.0 m <sup>2</sup>	8.3 m <sup>2</sup>	0.3 m <sup>2</sup>
IT storage	7.0 m <sup>2</sup>	6.5 m <sup>2</sup>	-0.5 m <sup>2</sup>
IT storage	7.0 m <sup>2</sup>	6.8 m <sup>2</sup>	-0.2 m <sup>2</sup>
IT storage	7.0 m <sup>2</sup>	6.6 m <sup>2</sup>	-0.4 m <sup>2</sup>
IT WC	8.0 m <sup>2</sup>	8.2 m <sup>2</sup>	0.2 m <sup>2</sup>
IT WC	8.0 m <sup>2</sup>	8.1 m <sup>2</sup>	0.1 m <sup>2</sup>
IT WC	8.0 m <sup>2</sup>	8.2 m <sup>2</sup>	0.2 m <sup>2</sup>
IT WC	11.0 m <sup>2</sup>	8.2 m <sup>2</sup>	-2.8 m <sup>2</sup>
Staff office	10.0 m <sup>2</sup>	8.2 m <sup>2</sup>	-1.8 m <sup>2</sup>
TF cubbies	14.0 m <sup>2</sup>	10.8 m <sup>2</sup>	-3.2 m <sup>2</sup>
TF kitchen	9.5 m <sup>2</sup>	9.9 m <sup>2</sup>	0.4 m <sup>2</sup>
TF od storage	8.0 m <sup>2</sup>	5.6 m <sup>2</sup>	-2.4 m <sup>2</sup>
TF storage	8.0 m <sup>2</sup>	6.5 m <sup>2</sup>	-1.5 m <sup>2</sup>
TF WC	8.0 m <sup>2</sup>	8.2 m <sup>2</sup>	0.2 m <sup>2</sup>
TF WC	8.0 m <sup>2</sup>	8.2 m <sup>2</sup>	0.2 m <sup>2</sup>
	187.0 m <sup>2</sup>	146.0 m <sup>2</sup>	-41.0 m <sup>2</sup>
<b>4 - ECE</b>			
Classroom	80.0 m <sup>2</sup>	80.5 m <sup>2</sup>	0.5 m <sup>2</sup>
Classroom	80.0 m <sup>2</sup>	80.5 m <sup>2</sup>	0.5 m <sup>2</sup>
ECE storage	36.0 m <sup>2</sup>	17.4 m <sup>2</sup>	-18.6 m <sup>2</sup>
Meeting room	10.0 m <sup>2</sup>	9.5 m <sup>2</sup>	-0.5 m <sup>2</sup>
Multipurpose room	87.0 m <sup>2</sup>	87.1 m <sup>2</sup>	0.1 m <sup>2</sup>
Office	15.0 m <sup>2</sup>	17.0 m <sup>2</sup>	2.0 m <sup>2</sup>
	308.0 m <sup>2</sup>	292.0 m <sup>2</sup>	-16.0 m <sup>2</sup>
Total NASM	658.3 m <sup>2</sup>	651.4 m <sup>2</sup>	-6.9 m <sup>2</sup>

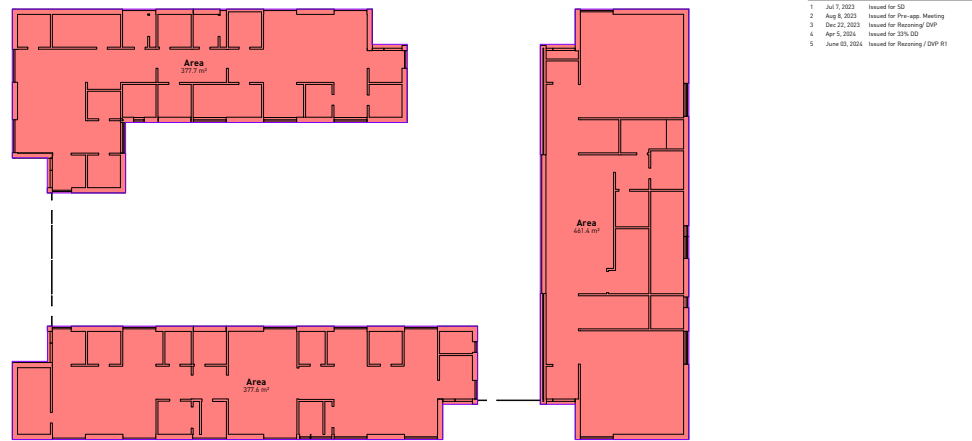
Net Non-Assignable Square Metres Schedule

Name	Required NNASM	Proposed NNASM	Difference
<b>2 - Service</b>			
Acc WC	20.0 m <sup>2</sup>	8.2 m <sup>2</sup>	-11.8 m <sup>2</sup>
Communication	0.0 m <sup>2</sup>	8.3 m <sup>2</sup>	8.3 m <sup>2</sup>
Electrical	20.0 m <sup>2</sup>	8.2 m <sup>2</sup>	-11.8 m <sup>2</sup>
Mechanical	45.8 m <sup>2</sup>	25.4 m <sup>2</sup>	-20.4 m <sup>2</sup>
Water entry	8.0 m <sup>2</sup>	5.9 m <sup>2</sup>	-2.1 m <sup>2</sup>
	113.8 m <sup>2</sup>	56.1 m <sup>2</sup>	-57.7 m <sup>2</sup>
<b>4 - Gross up</b>			
Acc WC	5.5 m <sup>2</sup>	4.2 m <sup>2</sup>	-1.3 m <sup>2</sup>
Corridor	72.2 m <sup>2</sup>	8.5 m <sup>2</sup>	-63.7 m <sup>2</sup>
Corridor	19.9 m <sup>2</sup>	17.2 m <sup>2</sup>	-2.7 m <sup>2</sup>
Corridor	11.4 m <sup>2</sup>	8.2 m <sup>2</sup>	-3.2 m <sup>2</sup>
Corridor	72.2 m <sup>2</sup>	8.3 m <sup>2</sup>	-63.9 m <sup>2</sup>
Corridor	72.2 m <sup>2</sup>	8.7 m <sup>2</sup>	-63.5 m <sup>2</sup>
Custodial	5.5 m <sup>2</sup>	8.2 m <sup>2</sup>	2.7 m <sup>2</sup>
Men's Washroom	36.0 m <sup>2</sup>	8.8 m <sup>2</sup>	-27.2 m <sup>2</sup>
Universal washroom	36.0 m <sup>2</sup>	9.5 m <sup>2</sup>	-26.5 m <sup>2</sup>
Vestibule	17.4 m <sup>2</sup>	5.3 m <sup>2</sup>	-12.1 m <sup>2</sup>
Vestibule	17.4 m <sup>2</sup>	7.9 m <sup>2</sup>	-9.7 m <sup>2</sup>
Women's washroom	36.0 m <sup>2</sup>	14.6 m <sup>2</sup>	-21.4 m <sup>2</sup>
	401.9 m <sup>2</sup>	111.5 m <sup>2</sup>	-290.4 m <sup>2</sup>
<b>5 - Outdoor</b>			
ITA covered outdoor play	22.0 m <sup>2</sup>	16.1 m <sup>2</sup>	-5.9 m <sup>2</sup>
ITA outdoor play	63.0 m <sup>2</sup>	123.3 m <sup>2</sup>	59.3 m <sup>2</sup>
ITB covered outdoor play	33.0 m <sup>2</sup>	26.8 m <sup>2</sup>	-6.2 m <sup>2</sup>
ITB outdoor play	37.0 m <sup>2</sup>	150.9 m <sup>2</sup>	113.9 m <sup>2</sup>
ITC covered outdoor play	33.0 m <sup>2</sup>	34.8 m <sup>2</sup>	1.8 m <sup>2</sup>
ITC outdoor play	118.0 m <sup>2</sup>	118.0 m <sup>2</sup>	0.0 m <sup>2</sup>
TF covered outdoor play	45.0 m <sup>2</sup>	33.5 m <sup>2</sup>	-11.5 m <sup>2</sup>
TF outdoor play	305.0 m <sup>2</sup>	314.3 m <sup>2</sup>	9.3 m <sup>2</sup>
	779.0 m <sup>2</sup>	825.9 m <sup>2</sup>	46.9 m <sup>2</sup>
Total NNASM 25	1290.7 m <sup>2</sup>	993.1 m <sup>2</sup>	-297.6 m <sup>2</sup>

Gross Area Schedule

Level	Area
Level 1	377.7 m <sup>2</sup>
Level 1	377.8 m <sup>2</sup>
Level 1	461.4 m <sup>2</sup>
Total Gross Area	1216.7 m <sup>2</sup>

Total Gross Area / Net-assignable Square Metres: 1.40



2 Area plan L1 - Gross Area

1/A2/01 1: 200



1 Floor plan - L1 NASM

1/A2/01 1: 200

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ISSUE REVISION

NO.	DATE	DESCRIPTION
1	Jul 9, 2023	Issued for SD
2	Aug 8, 2023	Issued for Pre-ops Meeting
3	Dec 22, 2023	Issued for Reconciling DWP
4	Apr 5, 2024	Issued for 20% D0
5	June 03, 2024	Issued for Reconciling / DWP R1

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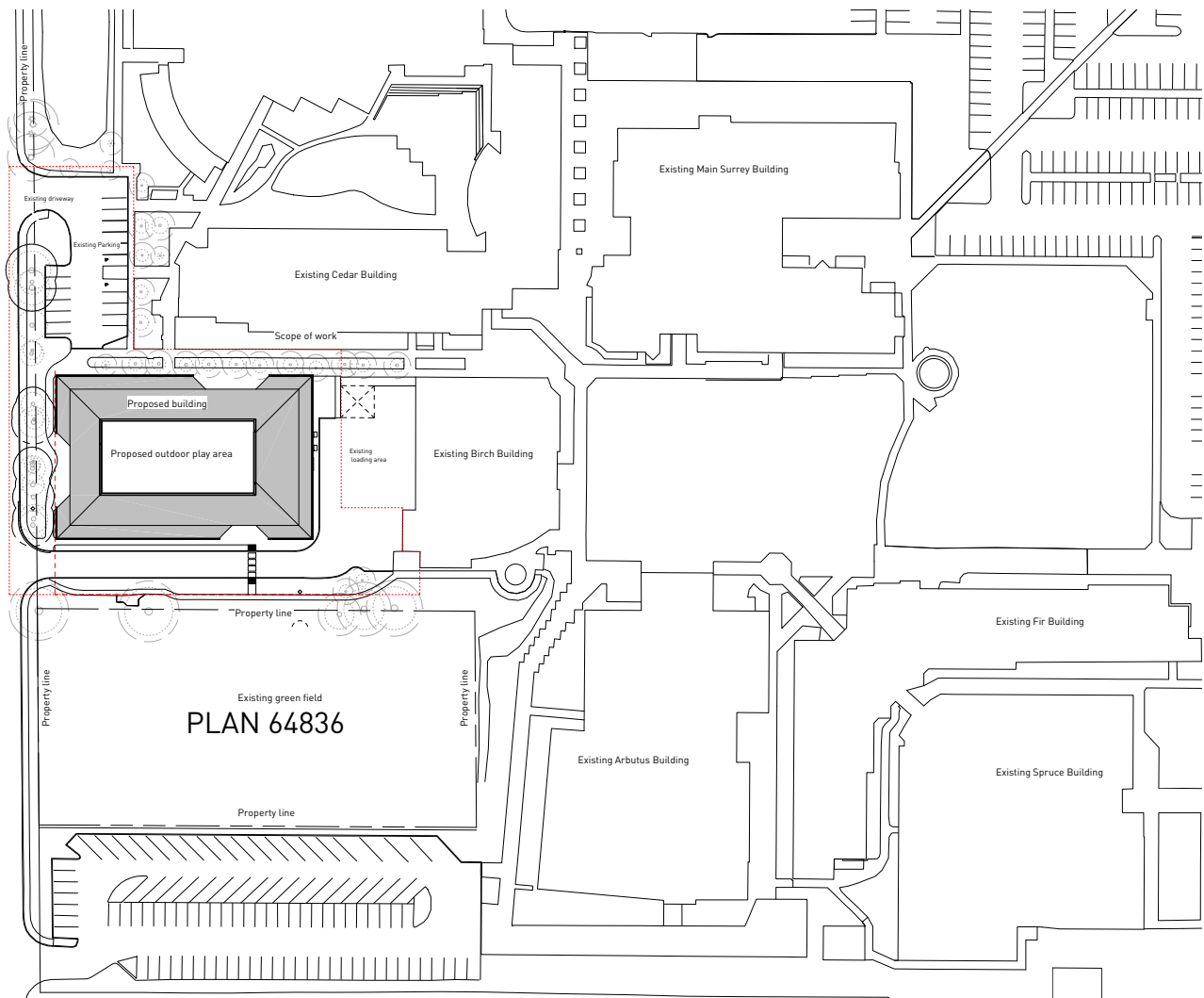
12666 72 Avenue, Surrey, BC

PROJECT CODE  
 2517  
 SCALE  
 1: 200

Area plan  
 SHEET  
 A0.04

12666 72 Avenue, Surrey, BC

126 Street



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DATE	REVISION	DESCRIPTION
1 Jul 9, 2023	Issued for SD	
2 Aug 8, 2023	Issued for Pre-ops Meeting	
3 Dec 21, 2023	Issued for Rezonning/ DMP	
4 Apr 5, 2024	Issued for 20% IOT	
5 June 03, 2024	Issued for Rezonning / DMP-R1	

**Legend**

.....	Critical root zone (CRZ)
---	Tree management zone (CRZ + 1.5m)
-----	Scope of work
---	Allowed / required setback
---	Property line

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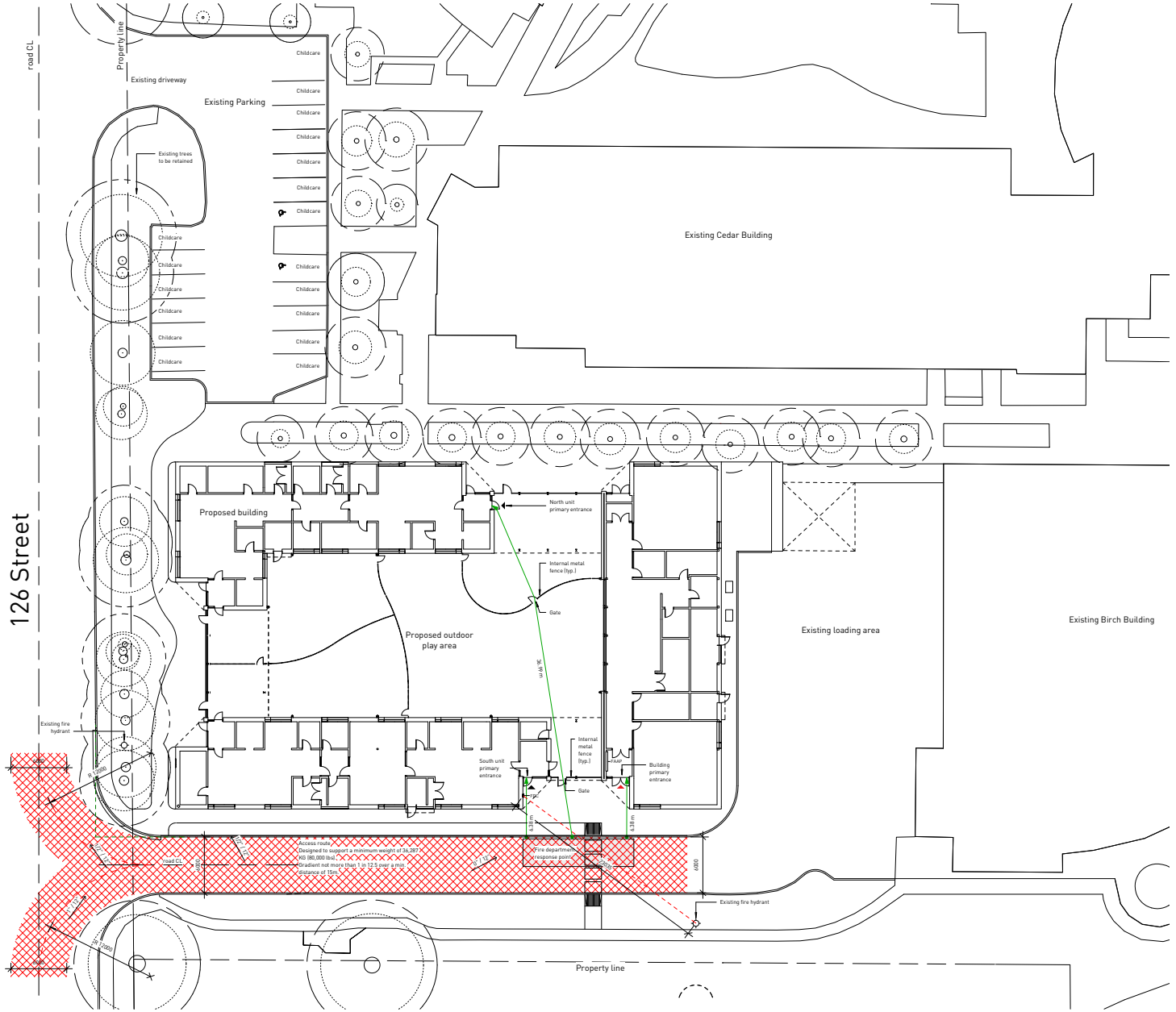
**2217 KPU Daycare**  
 12466 72 Avenue, Surrey, BC

PROJECT CODE  
 2217  
 SCALE  
 As indicated

Context plan  
 SHEET  
 A0.05







- Legend**
- Access route
  - Fire department response point
  - Existing fire hydrant
  - Firefighter unobstructed path of travel
  - Building primary entrance
  - Unit primary entrance
  - Fire alarm annunciator panel
  - Fire department connection

126 Street

road CL

Property line

Property line

Access Route  
 Designed to support a maximum weight of 33,297  
 (75,000 lbs) and a maximum axle load of 16,648  
 (36,750 lbs) with a maximum axle spacing of 10'0"

Fire department response point

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2217 KPU Daycare

12666 72 Avenue, Surrey, BC

PROJECT CODE: 2217  
 SCALE: 1:200

Fire department access plan

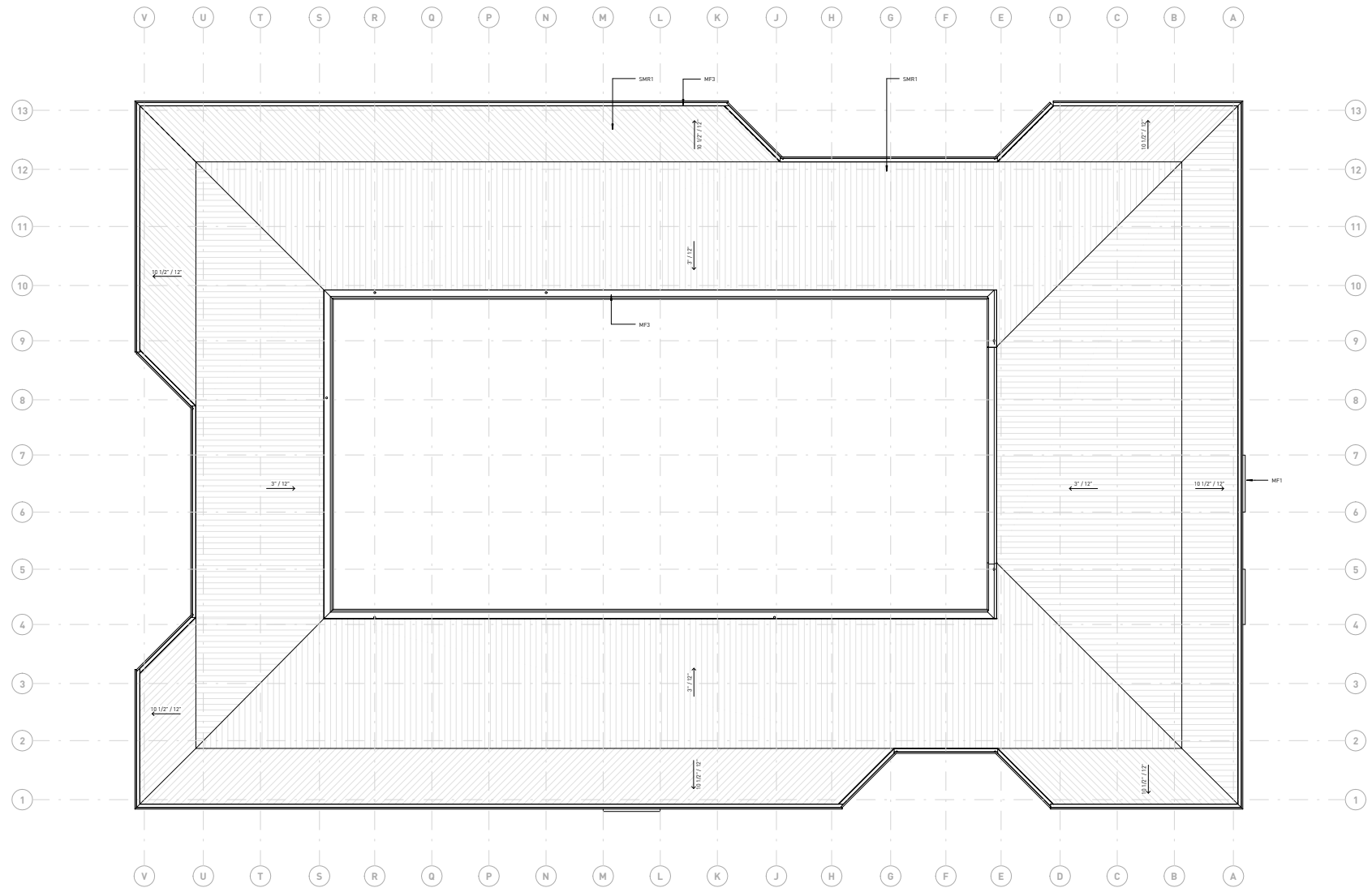
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**REVISIONS**

NO.	DATE	DESCRIPTION
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3	Dec 21, 2023	Issued for Reopening / DWP
4	Apr 3, 2024	Issued for 20% I/O
5	June 03, 2024	Issued for Reopening / DWP-R1



Keynote	Description
MF1	Metal fabrications - Exterior door canopy
MF3	Metal fabrications - Chiller
SMR1	Standing seam sheet metal roofing

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**2217 KPU Daycare**

12444 72 Avenue, Surrey, BC

PROJECT CODE  
 2217  
 SCALE  
 1 : 100

Floor plan - roof  
 SHEET  
 A1.13

100-44110-04  
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## Surface Materials

- Cast in Place Concrete Paving  
Saw Cut Finish  
100mm thick
- Coloured Saw Cut Cast in Place Concrete Paving  
100mm thick  
Doris Colour
- Poured in Place Rubber Surfacing - 75mm depth  
custom colour mixes TBD  
by Landflex, supplied by Marathon Surfaces
- Poured in Place Rubber Surfacing - 75mm depth  
custom colour mixes TBD  
by Landflex, supplied by Marathon Surfaces
- Fiber Wood Chip Resilient Surfacing  
300mm thick  
supplied by Parkworks
- Sharp Play Sand  
330 - 450mm depth
- Cedar Decking  
2 x 4" (254 x 100mm)  
on Pressure Treated Joists
- Pennsylvania Bluestone  
50mm thick  
supplied by Northwest Landscape Supply
- Topped Gravel Drain Strip  
150mm wide  
c/w Edger
- Shrub and Groundcover Planting  
on min. 500mm growing medium depth  
- see plant list this sheet
- Mesh Free Sand Based Sodded Lawn  
on 300mm growing medium
- Structural Soil

## Grading + Drainage

- BS 10.00m bottom of stair
- TS 10.00m top of stair
- BW 10.00m bottom of wall
- TW 10.00m top of wall
- TC 10.00m top of curb
- BC 10.00m bottom of curb
- BB 10.00m top of bank
- TB 10.00m bottom of bank
- BG 10.00m building grade
- FG 10.00m finished grade
- FFE 10.00m finished floor elevation
- direction/percent slope
- break in slope
- direction/number of risers down
- existing elevation (see par survey)
- Drain Type 1 - Sump Drain  
supplied by JE Smith
- Drain Type 2 - Lawn Drain  
supplied by Langley Concrete
- Subsurface 150mm CP Perforated Drain Pipe c/w cleanout  
- connect to 50mm (see Civil Drawings)

## Landscape Lighting

- Wall Mounted Sconce Light
- Bollard Light
- Linear Soft Light
- Pole Mounted Spot Flood Light
- Christmas Lights
- Duplex Receptacle - refer to Electrical Drawings
- Existing Pedestrian Light  
to be retained
- Existing 10m Ht. Davit Light (at existing parking)  
to be retained
- Existing 10m Ht. Davit Light (at existing parking)  
to be removed

## Irrigation + Hose Bibs

- Frost Free Hose Bib - refer to Mechanical Drawings
- Stubout/Point of Connection - refer to Mechanical Drawings
- Rain Sensor - located on rooftop above Water Main Entry Room
- Typical Sleeving: Schedule 40 PVC Sleeves sized to receive the required irrigation pipe.  
Not shown on this drawing. Install through walls and under paving where required to suit on site pipe layout.
- Free Standing Frost Free Hose Bib - refer to Mechanical Drawings

## Furniture

- Stainless Steel Bike Rack  
model: Circle Rack, Embedded Mount CR2-G2-EM-F  
finish: Stainless Steel  
supplier: Shespaces  
<https://www.shespacesonline.com/circle-rack/bike-rack/drawings.asp>
- Radial Cedar Bench  
- mounted on top of concrete wall  
- bench height 450mm
- Cedar Benches
- Stacked Cedar Benches
- Cedar Ottoman - large
- Cedar Ottoman - small
- Cedar Seating Platform
- Cedar Bollard
- Rounded River Boulders  
burned top, gaps grouted to prevent foot entrapment
- Cedar Bridge  
- set on pressure treated timbers (under - not exposed to children)
- Radial Cedar Benches  
- mounted to top of concrete wall  
- bench height - 300mm infant/toddler, 350mm 3-5 age

## Considered Plant

key	qty.	Botanical Name	Common Name	Size	Spacing
<b>Trees</b>					
AC	1	Acer orinatum	Vine Maple	888, 6cm calliper, 4hub form	
AJ	15	Acer japonicum 'Aconitifolm'	Full Moon Maple	888, 6cm calliper, 4hub form	
AR	1	Acer rubrum 'Columbian'	Red Maple	888, 7cm calliper, 1.8m ht. Std.	Uniform Crown/Structure
CK	7	Cornus 'Edulis White Wonder'	Edulis White Wonder Dogwood	888, 6cm calliper, tree form	
MX	3	Hamelia 'Arnold's Promise'	Chinese Whitebait	8X pot	
MD	3	Magnolia x 'Vulcan'	Valise Magnolia	888, 7cm calliper, 1.8m ht. Std.	
MD	3	Magnolia denudata 'Yellowbird'	Yellowbird Magnolia	888, 7cm calliper, 1.8m ht. Std.	
MD	1	Milvium domestica	Apple - variety 'TID'	5cm calliper	
PT	1	Populus tremula 'Erecta'	Fastigate Trembling Aspen	5cm calliper	
SP	2	Stewartia pseudocornella	Japanese Stewartia	7cm calliper, 1.2m ht. Std.	
TS	1	Tsounanensis 'Flamingo'	Chinese Cedar	888, 7cm calliper, 1.8m ht. Std.	
<b>Courtyard Planting - Shrubs</b>					
		Choiysa ternata 'Atco. Pearl'	Mexican Orange	#7 pot	0.9m o.c.
		Cistus corbariensis	Rock Rose	#5 pot	0.9m o.c.
		Cornus x 'Nalaezi'	Dwarf Redwing Dogwood	#2 pot	0.6m o.c.
		Erica carnea 'White'	Heather	#1 pot	0.35m o.c.
		Escallonia 'Newport Dwarf'	Escallonia	#1 pot	0.8m o.c.
		Gaillardia 'shallon'	Salal	#1 pot	0.6m o.c.
		Hebe 'Faggi'	Hebe	#1 pot	0.5m o.c.
		Hebe 'Fatty 'n' Pippa'	Hebe	#1 pot	0.5m o.c.
		Nandina 'Gulfstream'	Dwarf Heavenly Bamboo	#3 pot	0.8m o.c.
		Philadelphus 'Mimosa Snowflake'	Dwarf Mock Orange	#2 pot	0.9m o.c.
		Potentilla fruticosa 'Landy'	Yellow Cinquefoil	#3 pot	0.6m o.c.
		Potentilla fruticosa 'Abbottwood'	White Cinquefoil	#3 pot	0.6m o.c.
		Spiraea 'J. White Gold'	Gold Leaf Spiraea	#5 pot	0.6m o.c.
		Spiraea media 'SMSMBK'	Double Play Blue Kazoo Spiraea	#5 pot	0.6m o.c.
		Vaccinium 'North Country'	Dwarf Blueberry*	#3 pot	0.5m o.c.
<b>Courtyard Planting - Vines</b>					
		Actinidia kolomikita	Variiegated Kivi Vine	#2 pot, staked	
		Akebia quinata	Chocolla Vine	#2 pot, staked	
		Parthenocissus tricuspidata	Boston Ivy	#2 pot, staked	
<b>Courtyard Planting - Groundcovers, Ferns, Perennials + Grasses</b>					
		Agastache 'Black Adair'	Anise-hyssop*	10cm pot	0.35m o.c.
		Asarum 'Quick Silver'	Wild Ginger	10cm pot	0.30m o.c.
		Astragalus 'Princess Sturditz'	White Madrosera*	10cm pot	0.35m o.c.
		Carex 'Everest'	Everest Sedge#	10cm pot	0.35m o.c.
		Echinacea purpurea*	Purple Coneflower*	10cm pot	0.35m o.c.
		Fragaria chionosepa*	Coastal Strawberry*	10cm pot	0.3m o.c.
		Fragaria x everbearing	Strawberry	#1 pot	0.35m o.c.
		Geranium 'Johnson's Blue'	Cranesbill Geranium	10cm pot	0.35m o.c.
		Hemerocallis 'Yellow'	Yellow Daylily	10cm pot	0.35m o.c.
		Beris sempervirens	Evergreen Candytuft	#1 pot	0.35m o.c.
		Liatris spicata 'Princess White'	Blazing Star*	10cm pot	0.35m o.c.
		Muhlenbergia rigens#	Deer Grass#	10cm pot	0.35m o.c.
		Nepeta 'Walkers' Low'	Catmint*	10cm pot	0.35m o.c.
		Panicum 'Heavy Metal'	Satin Grass	10cm pot	0.4m o.c.
		Penstemon x 'Hamelin'®	Perennial Fountain Grass®	10cm pot	0.35m o.c.
		Polystichum muratum	Western Sword Fern	#3 pot	0.6m o.c.
		Salvia x superba 'Merleau Rose'	Perennial Sage*	10cm pot	0.35m o.c.
		Semprevivum spp.	Hens and Chicks	10cm pot	0.35m o.c.
		Statice 'Wig Bari' *	Lamb's Ear*	10cm pot	0.35m o.c.
		Thymus x ct. 'Aureus'	Lemon Thyme	#1 pot	0.3m o.c.
		Thymus serpyllinum*	Mother of Thyme*	10cm pot	0.35m o.c.
<b>South Driveway Boulevard Planting</b>					
		Panicum 'Heavy Metal'	Satin Grass	10cm pot	0.4m o.c.
		Spiraea media 'SMSMBK'	Double Play Blue Kazoo Spiraea	#5 pot	0.6m o.c.
<b>East Service Court Planting</b>					
		Lonicera pileata	Boulevard Honeysuckle	#3 pot	0.9m o.c.
<b>North + West Shade Planting</b>					
		Asarum caudatum	Wild Ginger	10cm pot	0.3m o.c.
		Blechnum spicant	Deer Fern	#1 pot	0.35m o.c.
		Carex 'Everest'	Everest Sedge#	10cm pot	0.35m o.c.
		Cornus canadensis	Bunchberry	10cm pot	0.3m o.c.
		Cornus x 'Nalaezi'	Dwarf Redwing Dogwood	#2 pot	0.6m o.c.
		Erica carnea 'White'	Heather	#1 pot	0.35m o.c.
		Gaillardia 'shallon'	Salal	#1 pot	0.6m o.c.
		Mahonia repens	Creeching Oregon Grape	#1 pot	0.5m o.c.
		Polystichum muratum	Western Sword Fern	#3 pot	0.6m o.c.
		Trillium ovatum	Western Trillium	bulb	plant in clusters of 5
		Vaccinium 'Northland'	Dwarf Blueberry	#3 pot	0.5m o.c.
		Viola sempervirens	Trailing Yellow Violet	10cm pot	0.3m o.c.

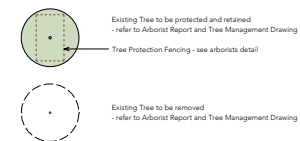
### General Planting Notes:

- All work shall meet or exceed the requirements as outlined in the Current Edition of the B.C. Landscape Standard.
- Plant sizes and related container classes are specified according to the B.C. Landscape Standard Current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers these shall be as defined in the BCNTA (ANSI) Standard.
- All soft landscape area are to be irrigated using a high efficiency drip system, complete with rain sensor. All work to IABC standards. Refer to specification section 02.84.00.
- Any plant substitutions adjacent to the children's play area are required to be non toxic.
- Mulch and growing medium in childcare area not to contain mushroom manure.

## Root Barrier

- Linear Root Barrier  
UB 18-2 as supplied by DeepRoot  
2.4m long located between sidewalk and boulevard

## Existing Trees



## Landscape Drawing List

Landscape Legends  
L0.1

Landscape Plans  
L1.1 Materials  
L2.1 Grading + Drainage  
L3.1 Planting  
L4.1 Schematic Lighting

Landscape Sections  
L5.1 Sections  
L5.2 Sections

Landscape Details  
L6.1 Details  
L6.2 Details  
L6.3 Details  
L6.4 Details  
L6.5 Details  
L6.6 Details



Seal

2	2024.06.03	Issued for Reasoning - R1
1	2023.07.07	Issued for SD
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Revisions

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Project

KPU Childcare  
12666 72nd Avenue  
Surrey BC

Project No. 23.05 Drawn js

Scale - Reviewed js

Drawing Title

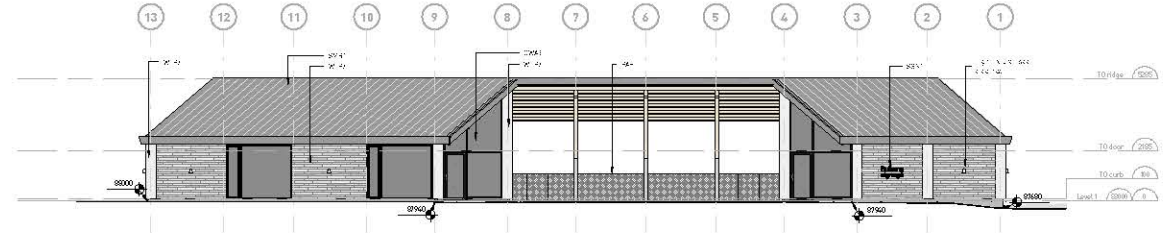
Landscape Legends

Sheet No.

L0.1

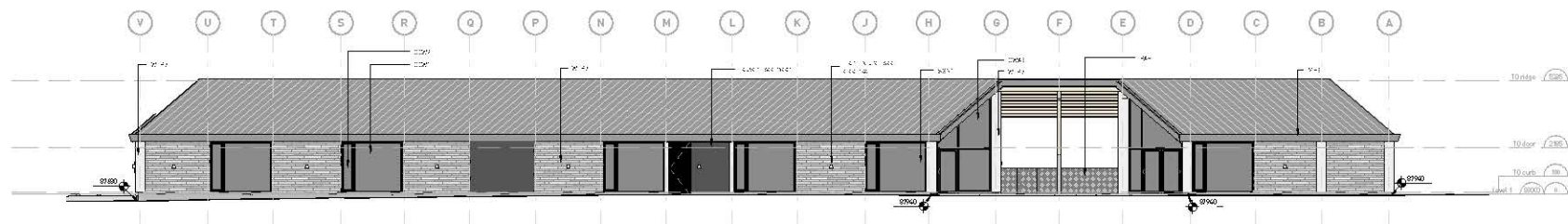
**REVISIONS**

NO.	DATE	DESCRIPTION
1	July 2011	Issue for RFP
2	Aug 2011	Issue for Pre-Design Meeting
3	Dec 2011	Issue for Pre-Design Meeting
4	April 2012	Issue for RFP/DO
5	June 2012	Issue for Pre-Design Meeting



2 Elevation west - 125 Street  
 1/4/11 1:30

Keynote	Block info's
0001	00 00000000 0000 0000
0002	00 00000000 0000 0000
0003	00 00000000 0000 0000
0004	00 00000000 0000 0000
0005	00 00000000 0000 0000
0006	00 00000000 0000 0000
0007	00 00000000 0000 0000
0008	00 00000000 0000 0000
0009	00 00000000 0000 0000
0010	00 00000000 0000 0000



1 Elevation south - access road  
 1/4/11 1:30

**public**  
 2217 KPU Daycare

125572 Avenue Spring, BC

PROJECT NO:  
 2217  
 SCALE:  
 1:120

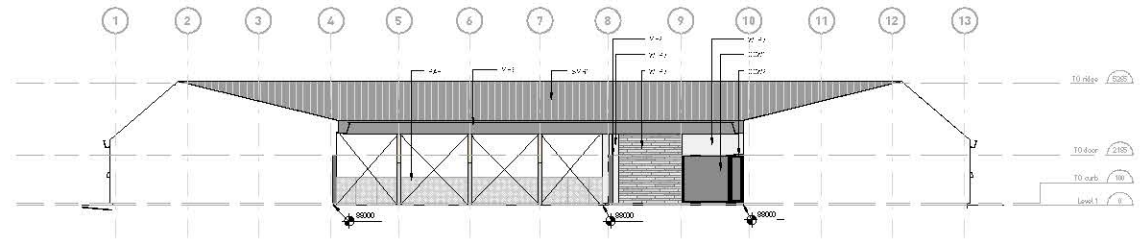
Elevations - south and west  
 sheet  
 A2.01



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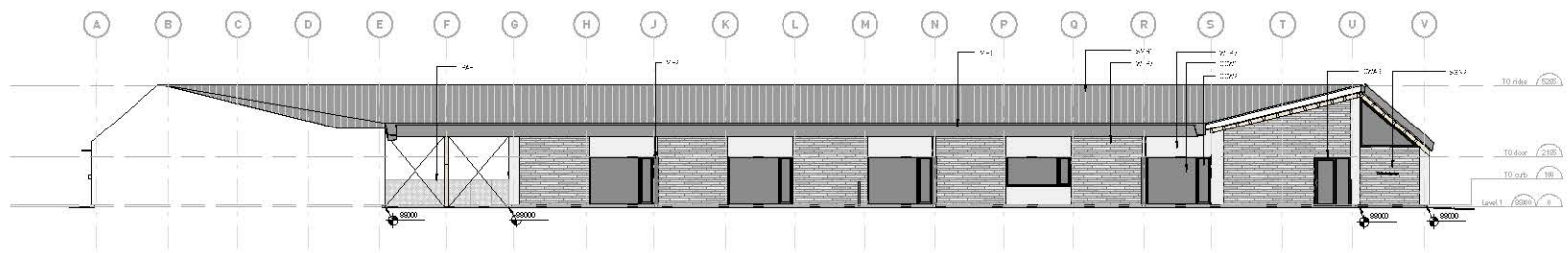
**REVISIONS**

NO.	DATE	BY	DESCRIPTION
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2	August 2014	WSP/RSB	Issue for Pre-App Meeting
3	Dec 10, 2014	WSP/RSB	Issue for Planning DMP
4	April 2015	WSP/RSB	Issue for OIR/DO
5	June 16, 2015	WSP/RSB	Issue for Planning DMP R1



1 Elevation - courtyard west  
1/8.11.11 1:50

Keynote	Block info's
TO-R	TO RIVER
TO-D	TO DOOR
TO-C	TO CURB
TO-L	TO LEVEL 1
TO-R	TO RIVER
TO-D	TO DOOR
TO-C	TO CURB
TO-L	TO LEVEL 1
TO-R	TO RIVER
TO-D	TO DOOR
TO-C	TO CURB
TO-L	TO LEVEL 1
TO-R	TO RIVER
TO-D	TO DOOR
TO-C	TO CURB
TO-L	TO LEVEL 1



2 Elevation - courtyard - south  
1/8.11.11 1:50

**public**  
WSP/RSB  
2217 KPU Daycare  
12555 72 Avenue Surrey BC

12555 72 Avenue Surrey BC

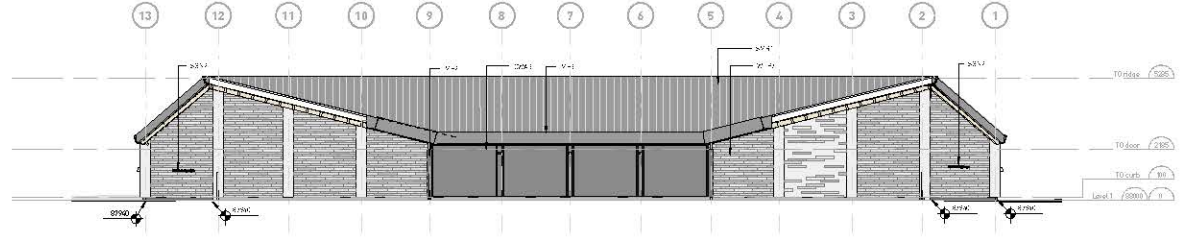
PROJECT NO:  
2217  
SCALE:  
1:120

Elevations - courtyard  
south and west

sheet  
A2.03

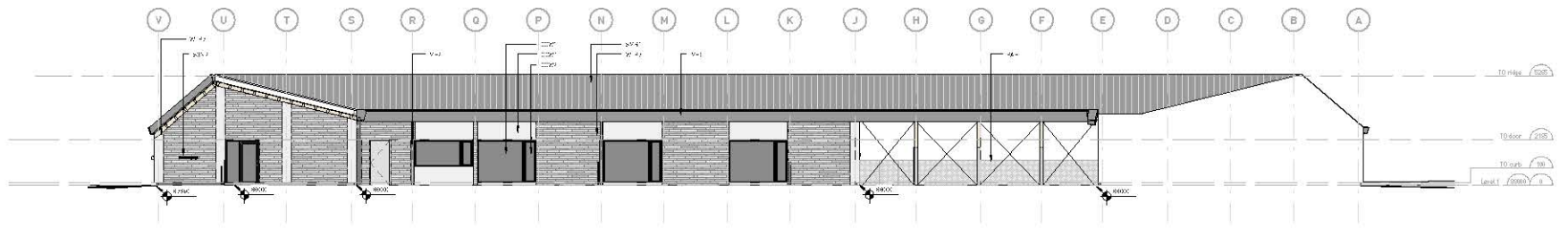
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- REVISIONS**
- | NO. | DATE          | DESCRIPTION                     |
|-----|---------------|---------------------------------|
| 1   | July, 2012    | Issue for RFP                   |
| 2   | April, 2013   | Issue for Pre-App Meeting       |
| 3   | Dec 10, 2013  | Issue for Pre-App Meeting       |
| 4   | April, 2014   | Issue for RFP/DO                |
| 5   | June 16, 2014 | Issue for Pre-App Meeting / RFP |



2 Elevation courtyard east  
1/4"=1" 1:10

Keynote	Block info
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1003	1003 1003 1003 1003 1003
1004	1004 1004 1004 1004 1004
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1007	1007 1007 1007 1007 1007
1008	1008 1008 1008 1008 1008
1009	1009 1009 1009 1009 1009
1010	1010 1010 1010 1010 1010



1 Elevation - courtyard north  
1/4"=1" 1:10

**public**  
 2217 KPU Daycare

12565 72 Avenue Surrey, BC

PROJECT NO:  
 2217  
 SCALE:  
 1:10

Elevations - courtyard  
 north and east  
 A2.04

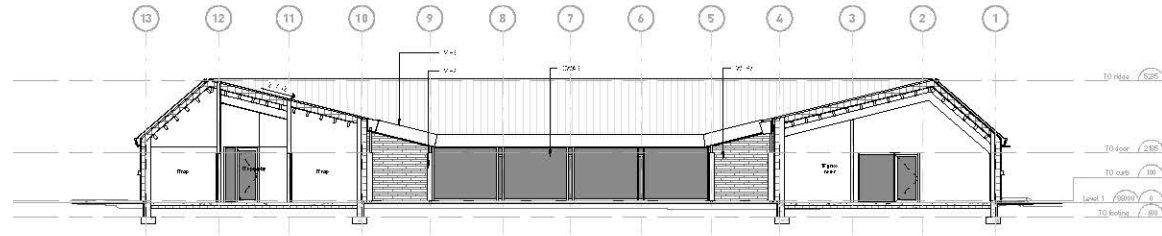
2217 KPU Daycare - Elevation - courtyard north and east



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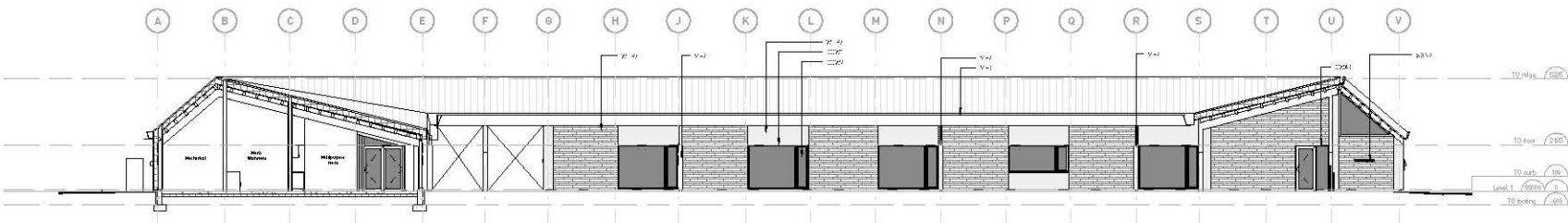
**REVISIONS**

NO.	DATE	DESCRIPTION
1	NOV 2023	ISSUE FOR RFP
2	APR 2024	ISSUE FOR PERMITS AND DDP
3	DEC 2023	ISSUE FOR PERMITS AND DDP
4	APR 2024	ISSUE FOR PERMITS AND DDP
5	JAN 2024	ISSUE FOR PERMITS AND DDP



1 Section 3  
1:100

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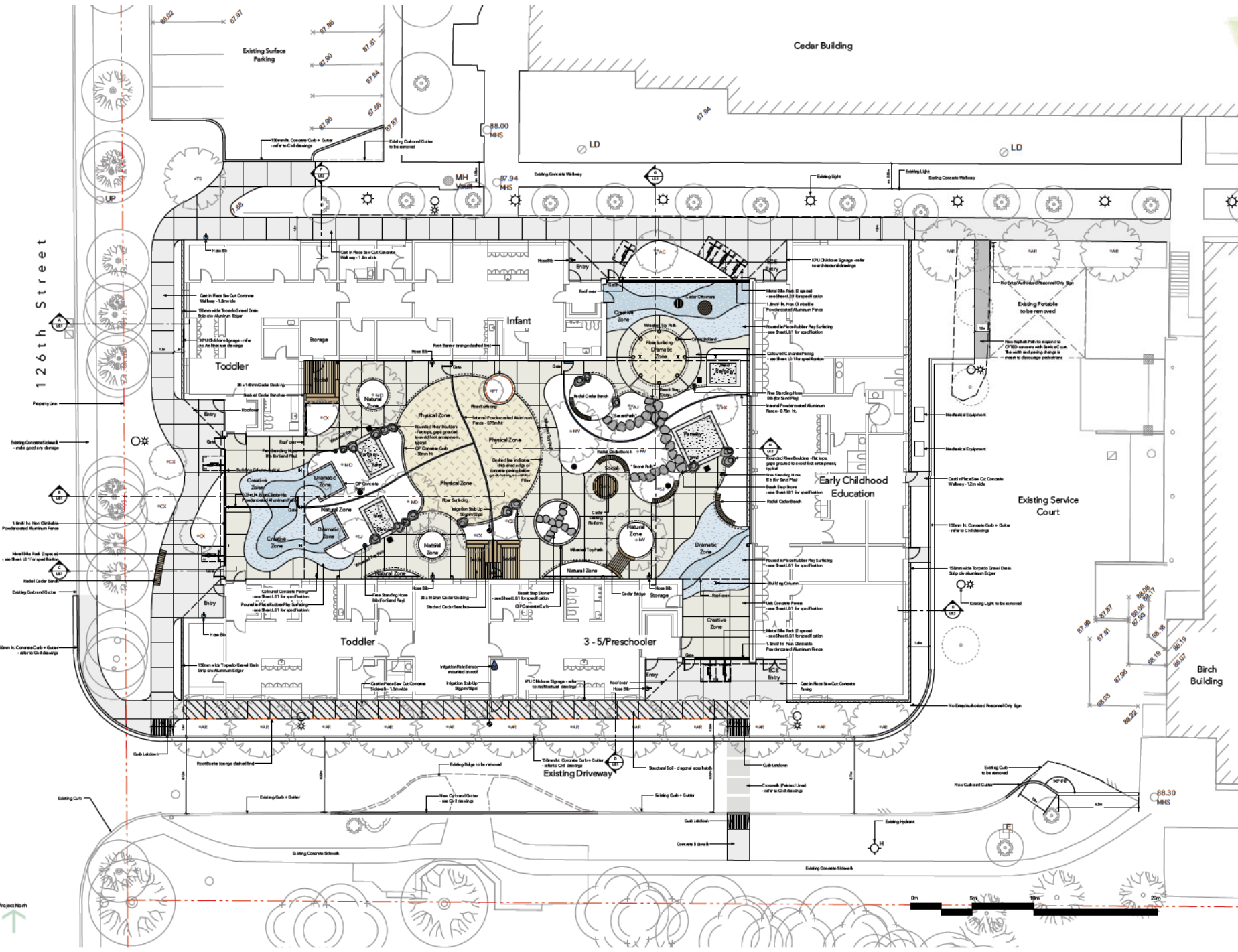


2 Section 2  
1:100

**public**  
 2217 KPU Daycare  
 12555 72 Avenue, Surrey, BC

PROJECT NO: 2217  
 SCALE: 1:100

Building sections  
 A3.01



2	2024.06.03	Issued for Reasoning - R1
1	2023.07.07	Issued for SD
no.	date	Item
Revisions		

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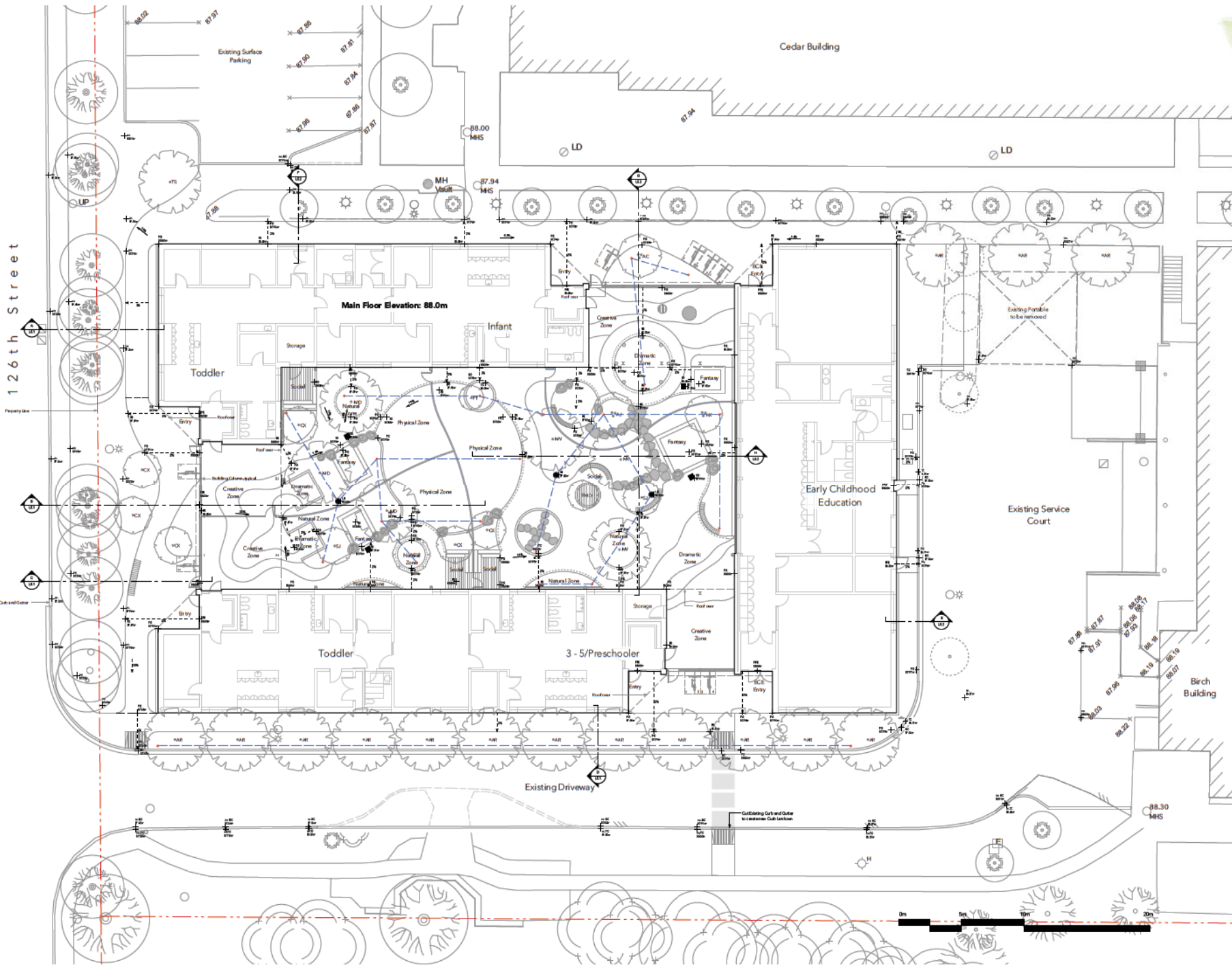
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**KPU Childcare**  
12666 72nd Avenue  
Surrey BC

Project No. 23-05    Drawn by  
Scale 1:125    Reviewed by

Drawing Title  
**Landscape Plan**  
Materials

Sheet No.

**L1.1**



no.	date	item
2	2024.06.03	Issued for Reasoning - R1
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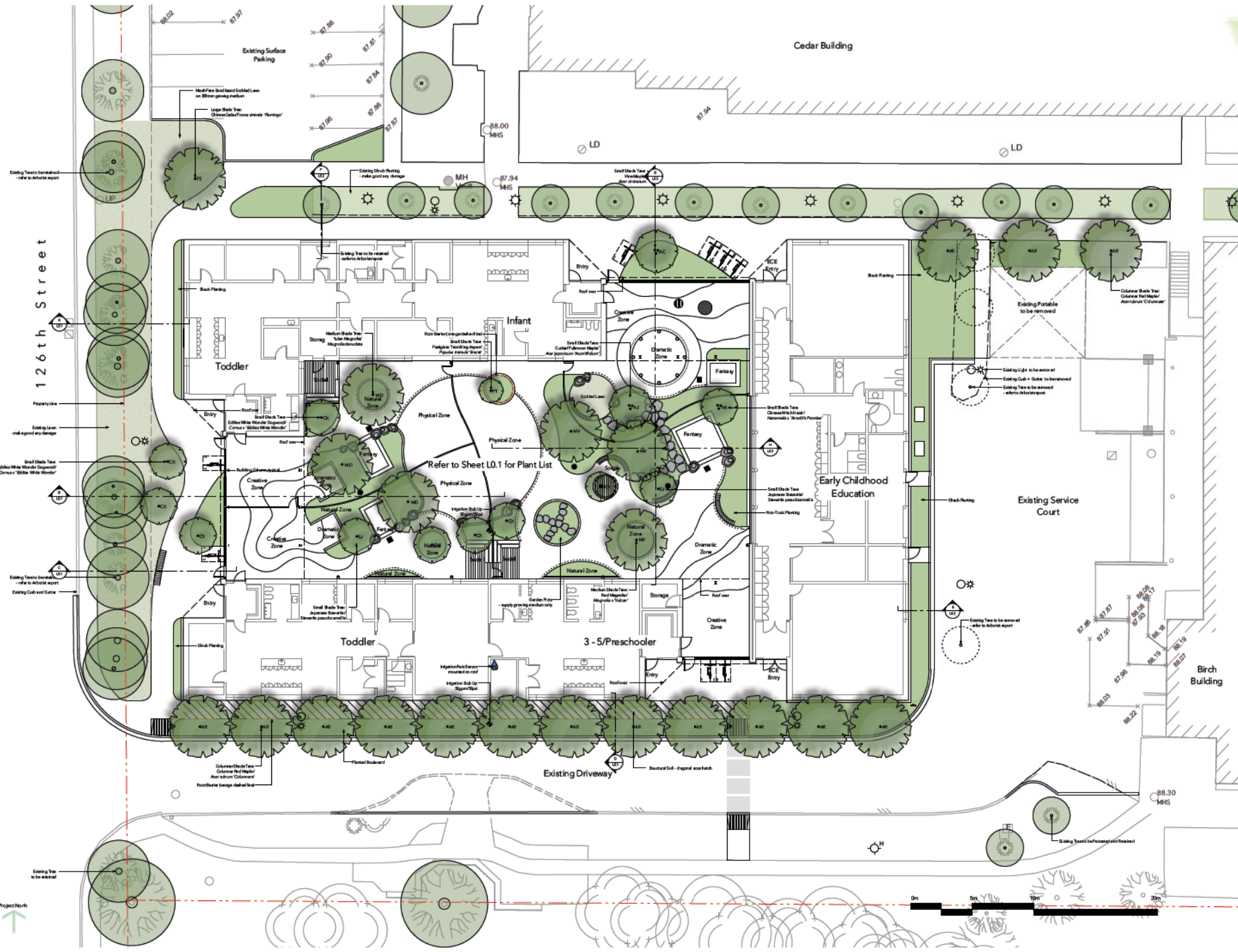
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Drawing Title  
**Landscape Plan**  
Grading + Drainage

Sheet No.

**L2.1**





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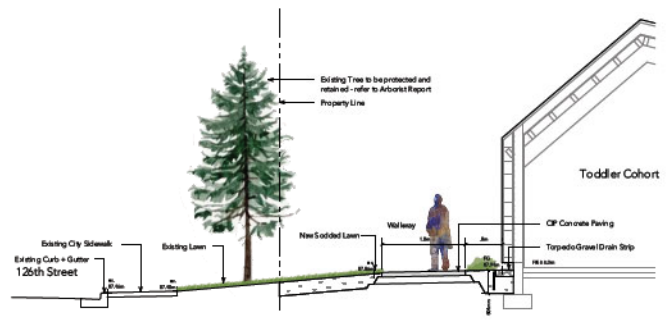
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Planting

Sheet No.

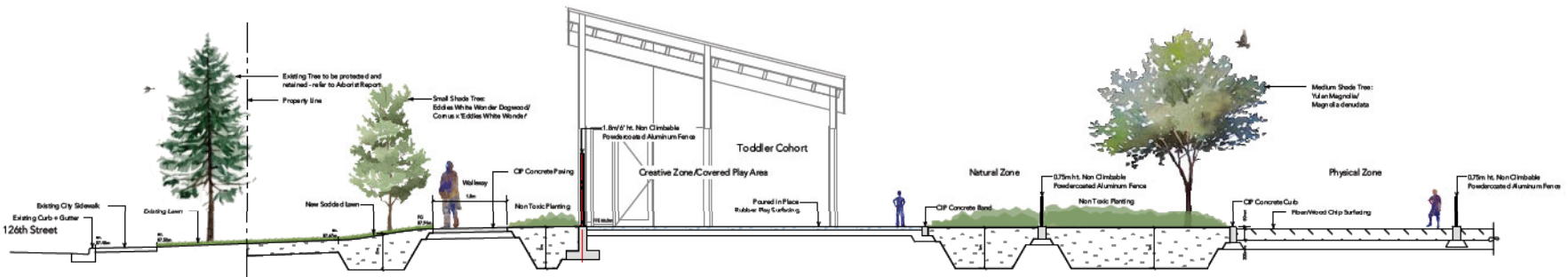
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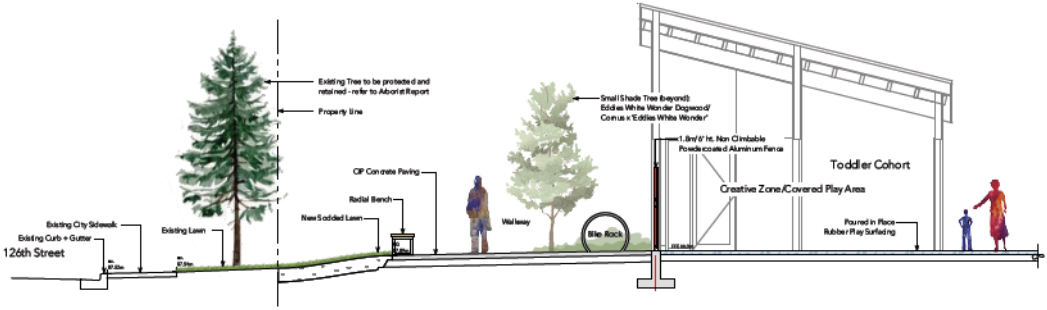
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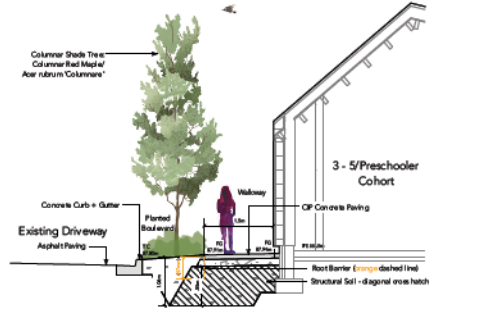
**A** Section A - Through Public Realm on 126th  
L-1.1 Scale 1:50



**B** Section B - Through Public Realm on 126th to Courtyard  
L-1.1 Scale 1:50



**C** Section C - Through Public Realm on 126th to Courtyard  
L-1.1 Scale 1:50



**D** Section D - Through South Side of Building  
L-1.1 Scale 1:50

2	2024.06.03	Issued for Rezoning - R5
1	2023.07.07	Issued for SD
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Project  
**KPU Childcare**  
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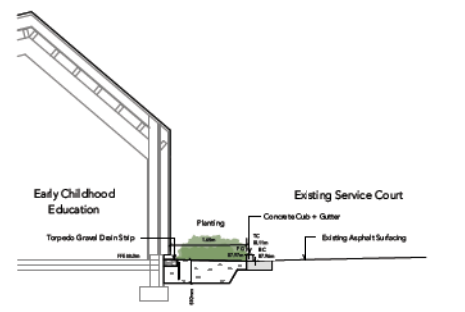
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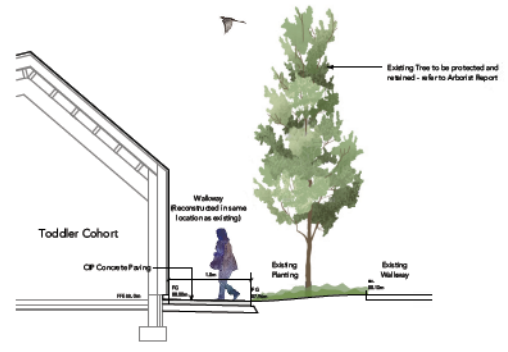
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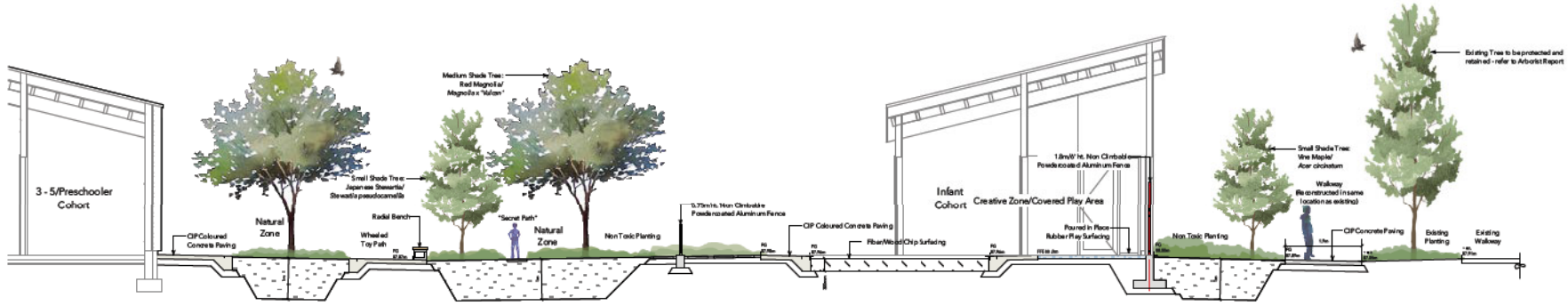
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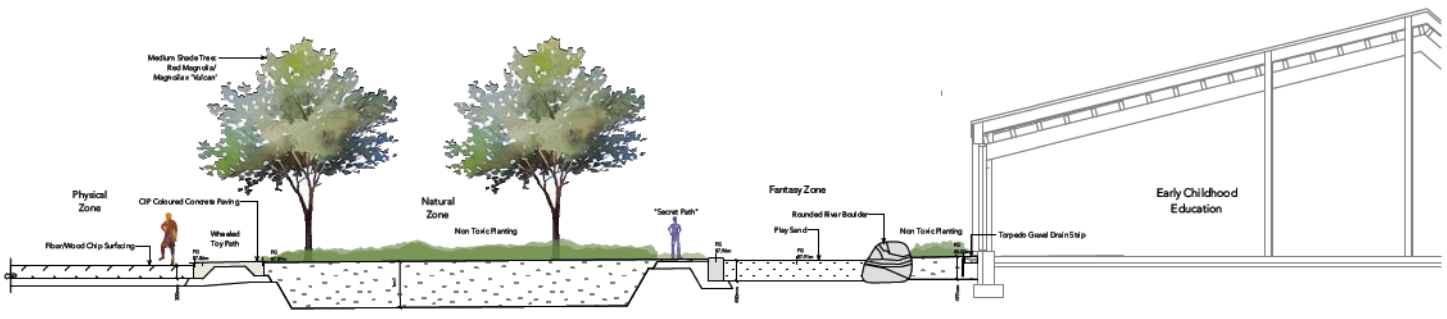
**E** Section E - Through East Side of Building to Existing Service Court  
L-1.1 Scale 1:50



**F** Section F - Through North Side of Building  
L-1.1 Scale 1:50



**G** Section G - Through North Side of Building to Courtyard (north/south)  
L-1.1 Scale 1:50



**H** Section H - Through Courtyard (east/west)  
L-1.1 Scale 1:50

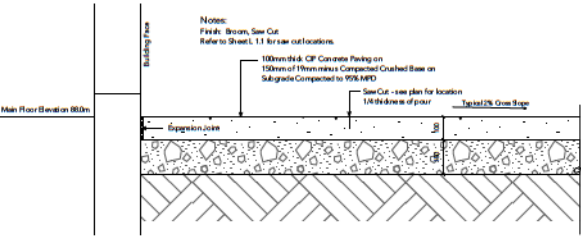
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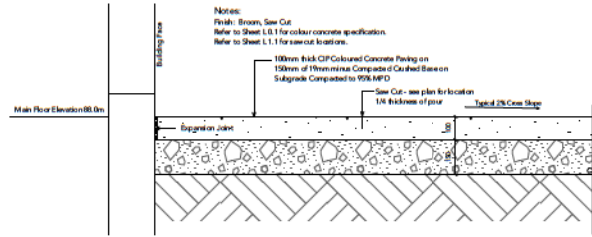
Project  
**KPU Childcare**  
12666 72nd Avenue  
Surrey BC  
Project No. 2305 Drawn by  
Scale 1:50 Reviewed by

Drawing Title  
**Landscape Sections**

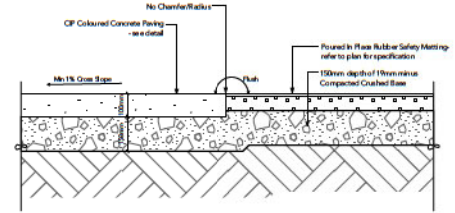
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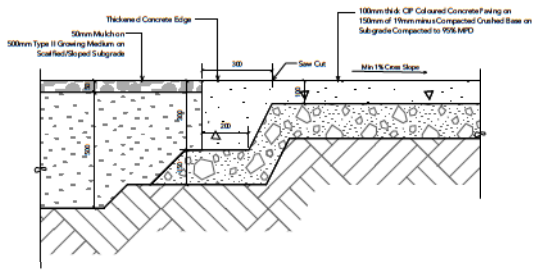
Ld-1  
L1.1  
1:10  
Typical CIP Saw Cut Concrete Paving



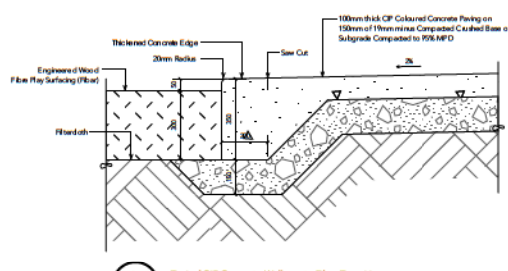
Ld-2  
L1.1  
1:10  
Typical CIP Coloured Saw Cut Concrete Paving



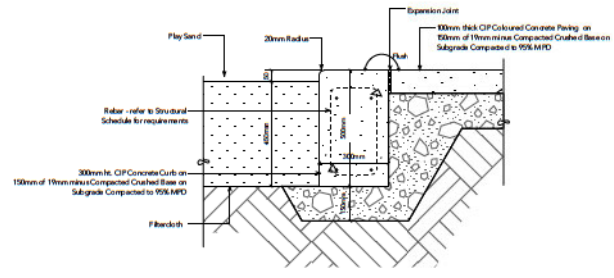
Ld-3  
L1.1  
1:10  
Poured in Place Rubber Surfacing



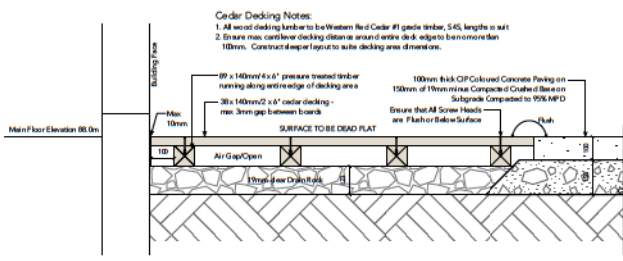
Ld-4  
L1.1  
1:10  
Typical CIP Concrete Walkway to Planting Interface



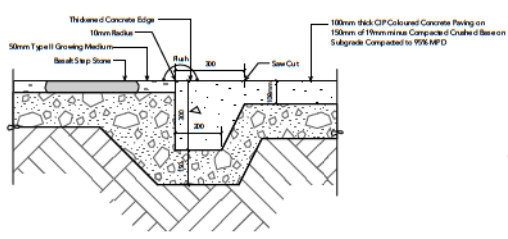
Ld-5  
L1.1  
1:10  
Typical CIP Concrete Walkway to Fiber Transition



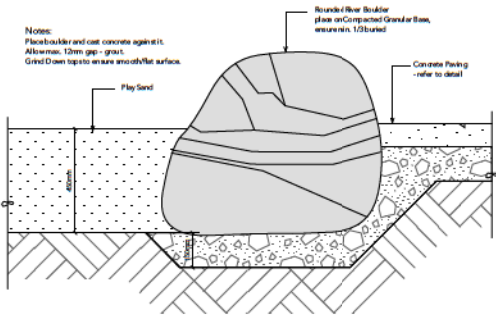
Ld-6  
L1.1  
1:10  
Play Sand/Concrete Band/Concrete Paving



Ld-7  
L1.1  
1:10  
Cedar Decking to Concrete Paving Transition



Ld-8  
L1.1  
1:10  
Typical CIP Concrete Walkway to Step Stone Transition



Ld-9  
L1.1  
1:10  
Play Sand/Boulder/Concrete Pathway

Seal

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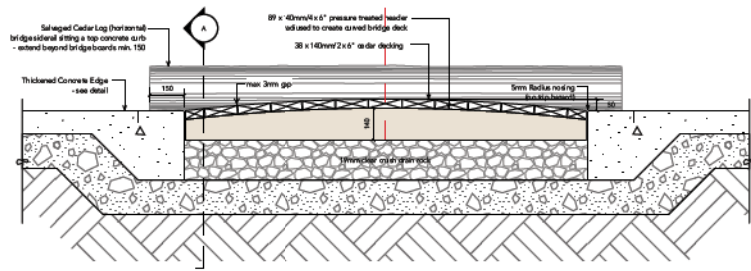
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Scale: - Reviewed: jp

Drawing Title  
Landscape Details

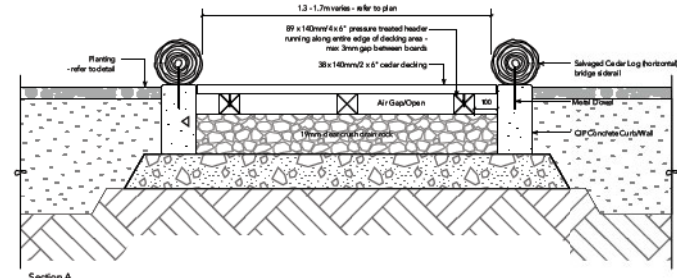
Sheet No.

L6.1

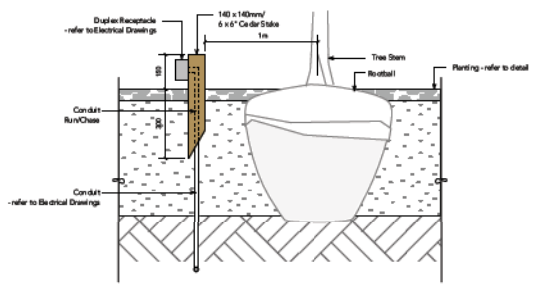




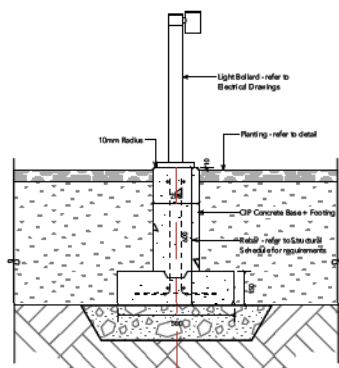
Ld - 10 Cedar Bridge  
L1.1 1:10



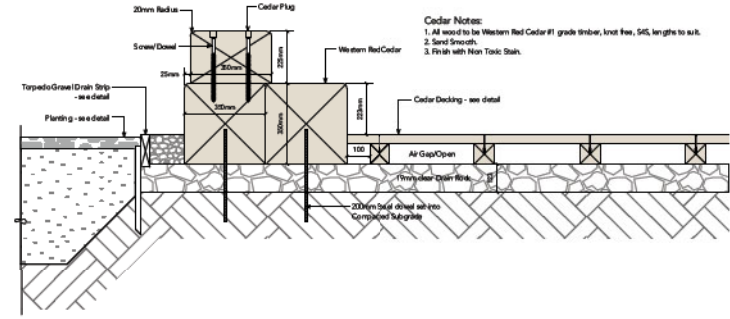
Section A



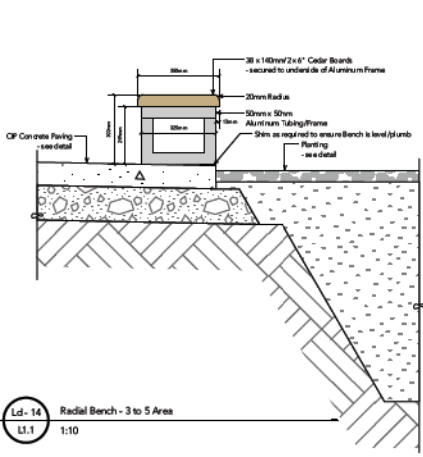
Ld - 11 Duplex Receptacle Cedar Stake  
L1.1 1:10



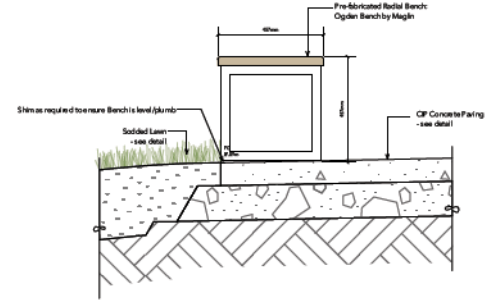
Ld - 12 Concrete Base for Light Bollard  
L1.1 1:10



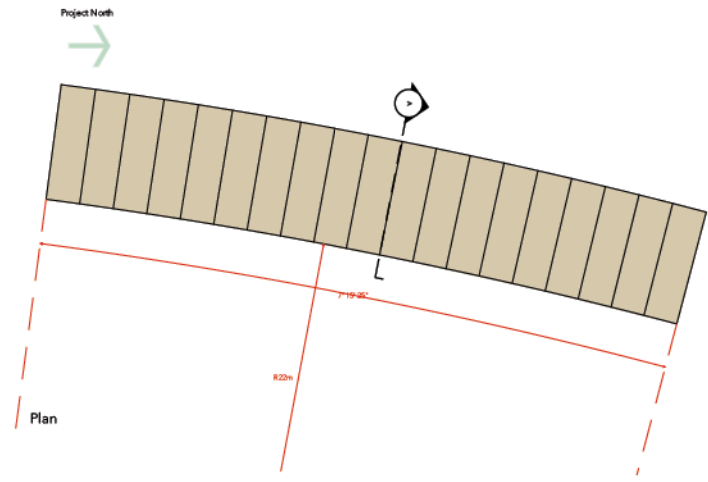
Ld - 13 Stacked Cedar Benches  
L1.1 1:10



Ld - 14 Radial Bench - 3 to 5 Areas  
L1.1 1:10



Section A  
Ld - 15 Radial Bench - 126th Entry  
L1.1 1:10



Plan

Seal

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**KPU Childcare**  
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Surrey BC

Project No. 23-05 Drawn by  
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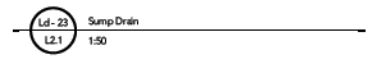
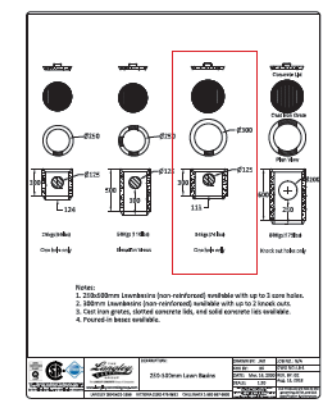
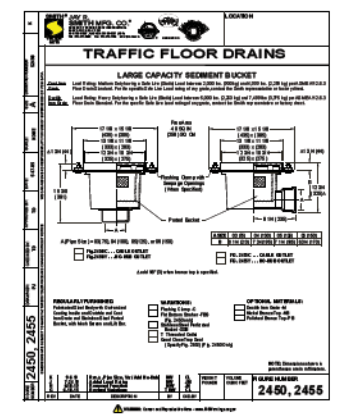
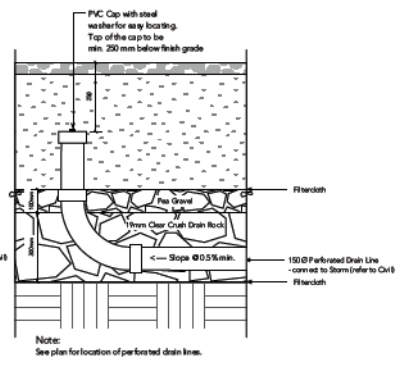
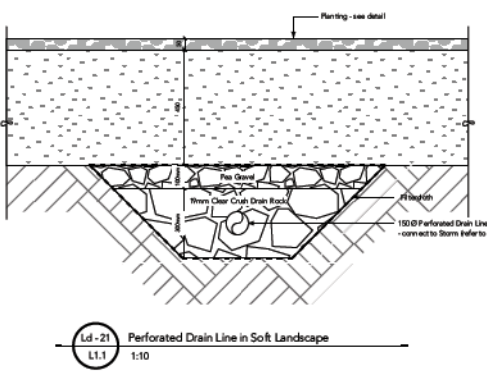
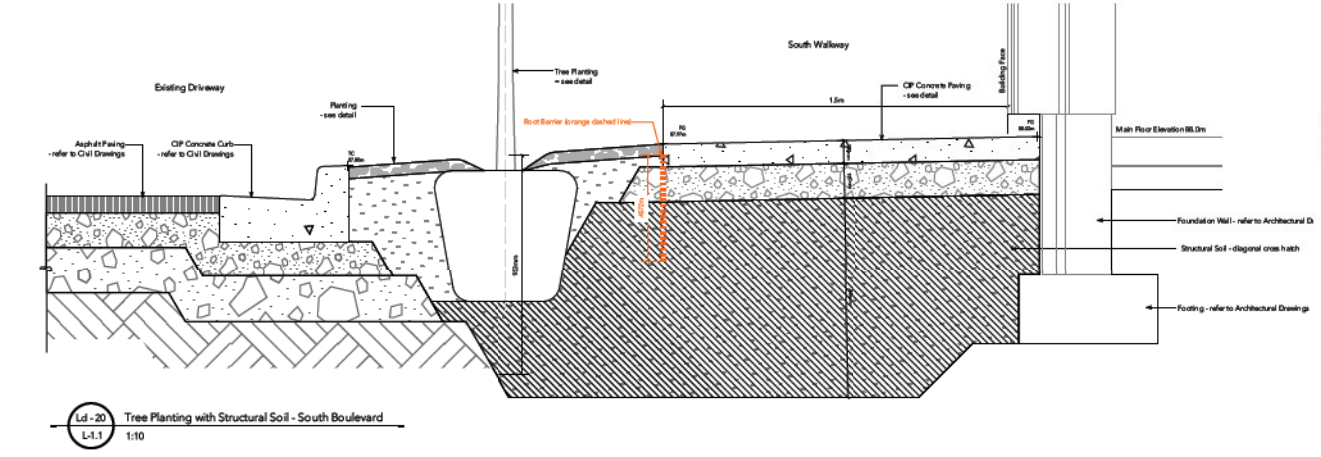
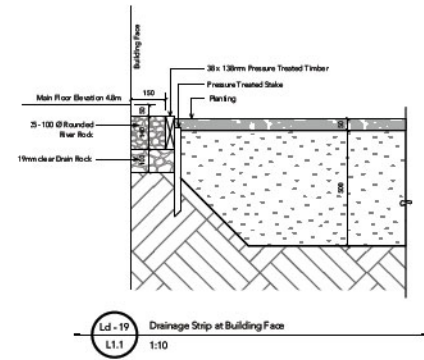
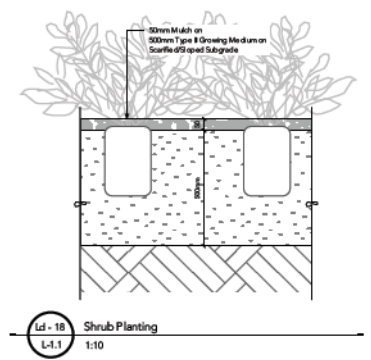
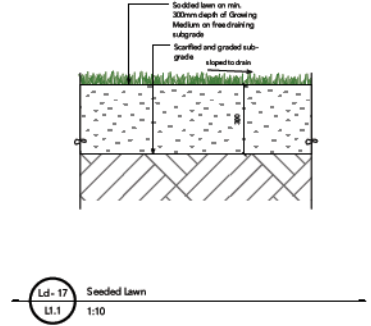
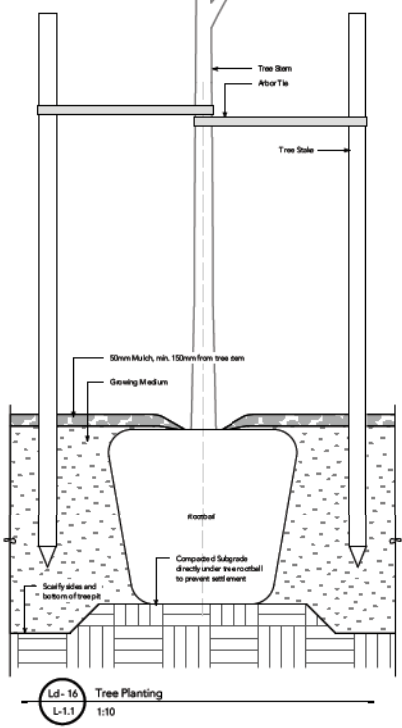
Drawing Title  
**Landscape Details**

Sheet No.

**L6.2**

- NOTES:**
1. Do not outline leader.
  2. Protect tree from damage during planting. Ensure rootball protected from sun, frost or desiccation.
  3. Ensure tree location does not conflict with underground services. "Call before digging". All trees to be staked with 2 - 100mmØ x 2.5m long cedar stakes. Minimum depth of stake embedment is 1m. Ensure stake does not penetrate or damage rootball. Ensure all stakes are aligned parallel to stake/hole on tree pit central line.
  4. Provide min. 150mm minimum growing medium per tree.
  5. Ensure top of rootball is at or slightly above finished grade. Remove top 1/3 of topsoil from rootball and tree from base of trunk, and remove wire basket "lifting loops" and top of of basket. Remove any soil on top of "original" rootball.
  6. Attach arbor to stake at a height not greater than that which will support the tree.

- NOTES:**
1. See specifications for all seeded requirements.
  2. Refer to landscape plan for lawn area grading and elevation information.
  3. Ensure entire lawn area is free of existing debris such as organic material (stumps/rotted wood) and rocks etc. Ensure level and consistent corffed sub-grade throughout entire lawn area.
  4. Soil to be mesh free and sand based.



See I

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Project

KPU Childcare  
12666 72nd Avenue  
Surrey BC

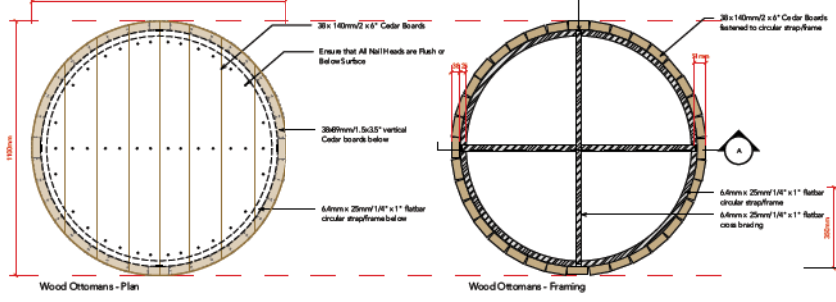
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Scale: Reviewed by:

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Landscape Details

Sheet No.

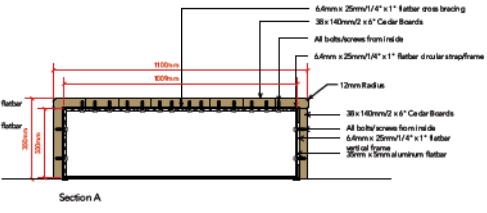
L6.3

**Wood Ottomans: 1100mm Dia.**

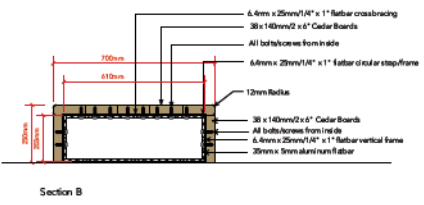
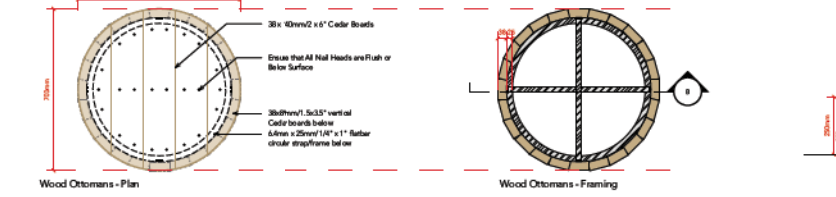


- General Metalwork Notes:**
1. Submit Steel/Engineered shop drawings for review and approval for all metalwork prior to fabrication and in accordance with specification section 05 50 00.
  2. Confirm all dimensions on site. Modify shop drawings as required to maintain design intent.
  3. Consultant to approve all materials, fabrication prior to hot dip galvanizing or powdercoating.
  4. All metal components to be cut or drilled, all led of loose ground smooth prior to powdercoating.
  5. Metal work Assembly to be all-weld construction.
  6. All metal to be aluminum.
  7. All fastening hardware to be stainless steel unless otherwise noted.
  8. Ensure exposed fasteners comply with CSA guidelines for Children's Play Spaces.
  9. Smooth out all edges. Any sharp edges will not be accepted.

- General Wood Notes:**
1. All Western Red Cedar to be #1 grade, S4S.
  2. Ensure all exposed edges are rounded 10mm.
  3. Sand all exposed surfaces smooth.
  4. Treat wood with Bona Protector Clear stain.



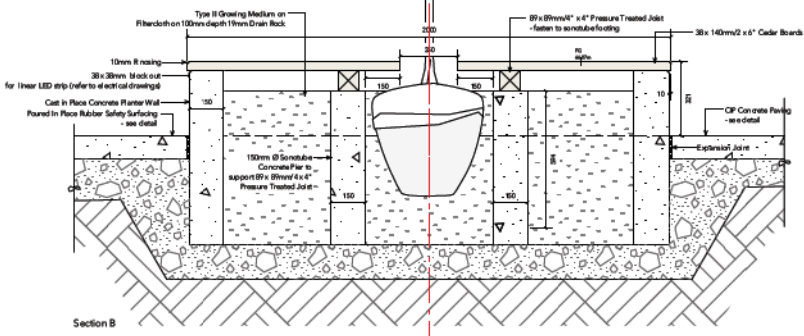
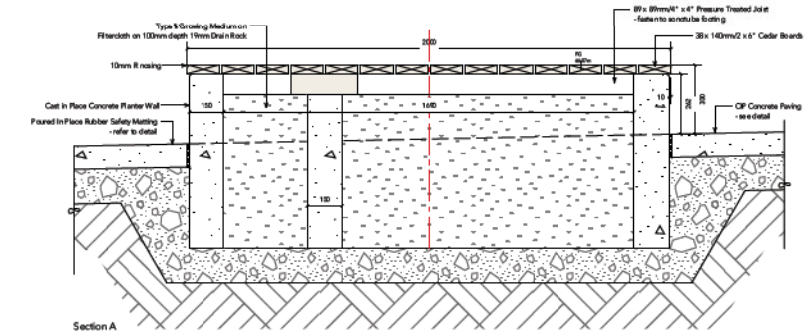
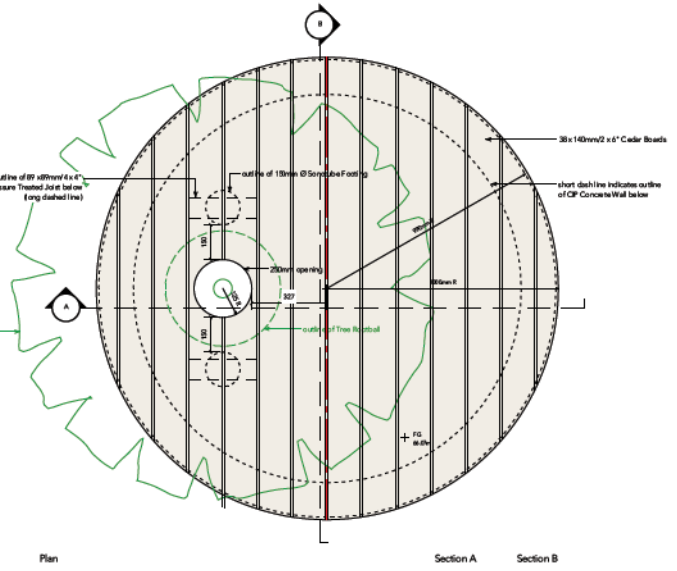
**Wood Ottomans: 700mm Dia.**



**Ld - 25**  
**1.1.1** Cedar Ottomans  
1:10

Seal

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**Ld - 26**  
**1.1.1** Cedar Seating Platform - Infant Area  
1:10

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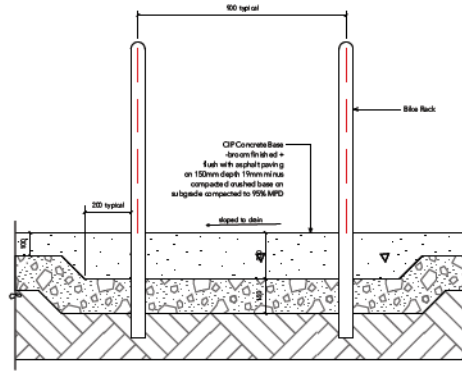
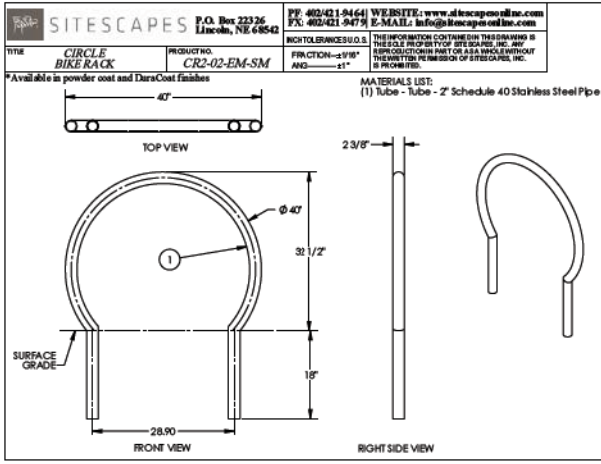
Project  
**KPU Childcare**  
**12666 72nd Avenue**  
**Surrey BC**

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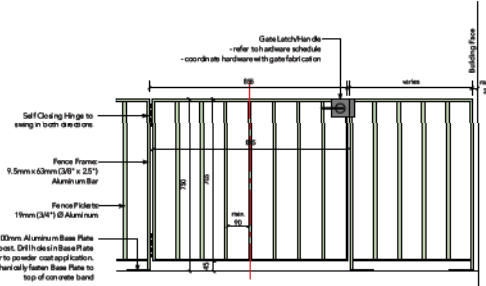
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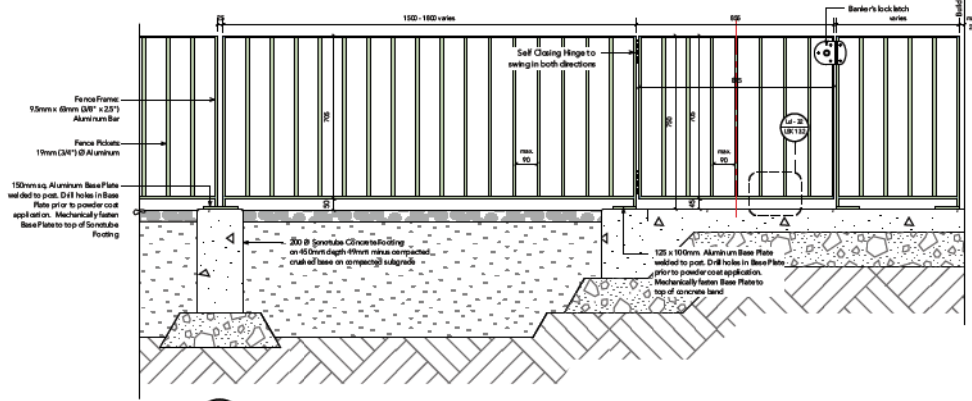
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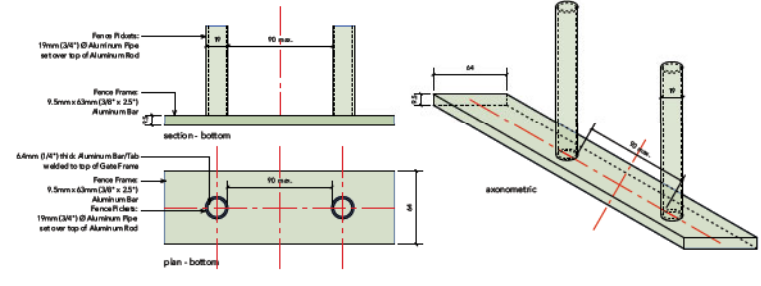
Ld-27 Embedded Stainless Steel Bike Racks + CIP Concrete Footing  
L1.1 1:10



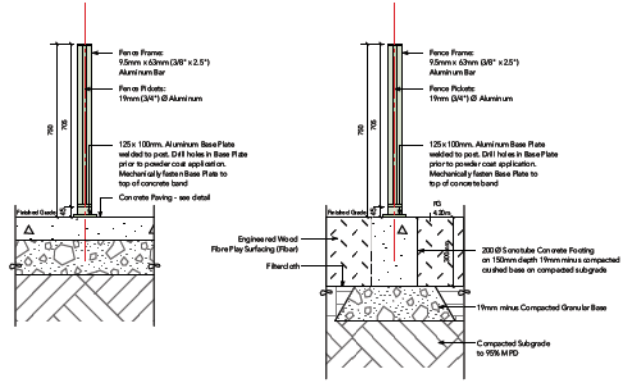
Ld-28a Internal Aluminum Fence + Fire Access Path Gate - 750mm ht.  
L1.1 1:10



Ld-28b Internal Aluminum Fence + Gate - 750mm ht.  
L1.1 1:10



Ld-28c Fence detail  
1:2



Seal

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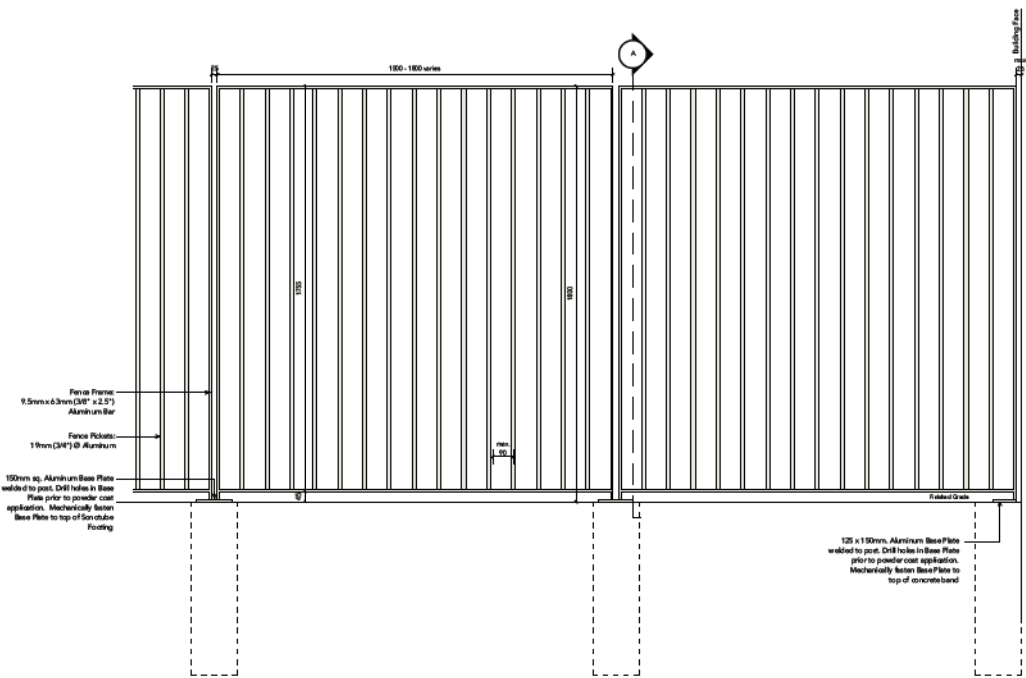
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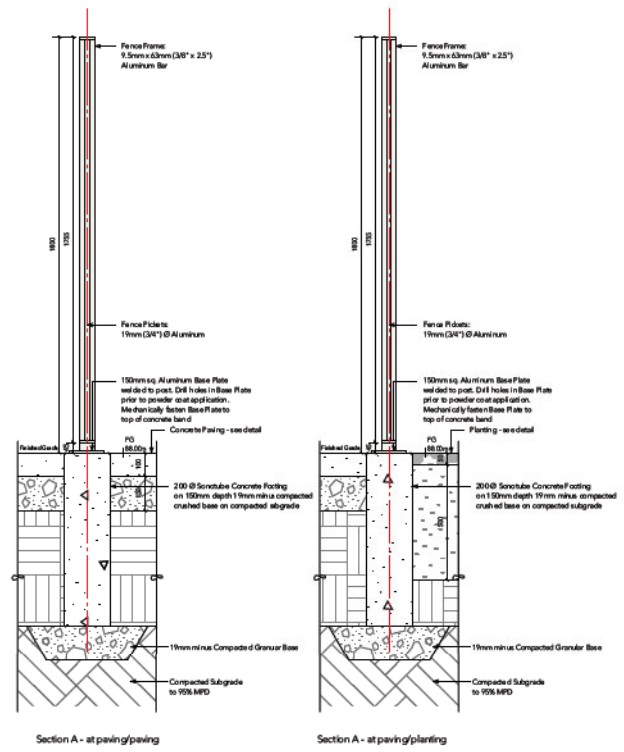


See 1

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**Ld -29** Perimeter Aluminum Fence - 1800mm ht.  
L1.2 1:10



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Project

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Scale: - Reviewed by:

Drawing Title

Landscape Details

Sheet No.

L6.6

## INTER-OFFICE MEMO

---

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Development Process Manager, Engineering Department**

DATE: **June 13, 2024**

PROJECT FILE: **7824-0022-00**

---

RE: **Engineering Requirements**

**Location: 12666 72 Ave**

**REZONE**

The following requirements are to be addressed as condition of issuance of the subsequent Building Permit for the proposed daycare facility:

- Submit a civil site servicing plan for the entire lot for further review and comments, showing the existing and proposed services.
- No additional water service connections are permitted. Provide water meter and backflow prevention device at property line.

A Servicing Agreement is not required. Additional road dedication and works and services will be required upon future development or rezone applications on the subject site.

**DEVELOPMENT VARIANCE PERMIT**

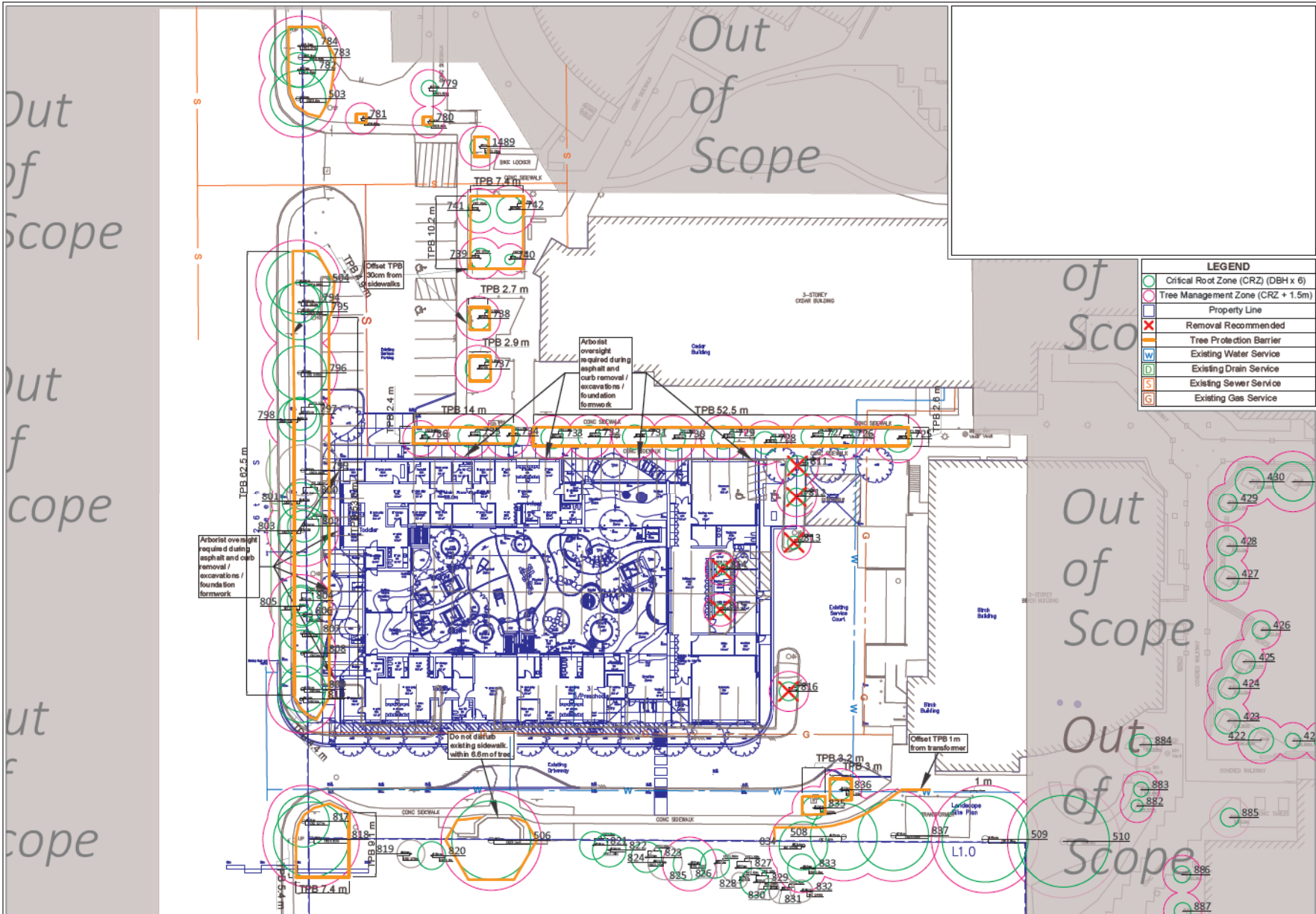
There are no engineering requirements relative to issuance of the Development Variance Permit.



Daniel Sohn, P.Eng.  
Development Process Manager

## Tree Preservation Summary

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	<b>56</b>
<b>Protected Trees to be Removed</b>	<b>6</b>
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	<b>50</b>
<b>Total Replacement Trees Required:</b>	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio. <u>0</u> X one (1) = 0	<b>12</b>
- All other Trees Requiring 2 to 1 Replacement Ratio <u>6</u> X two (2) = 12	
<b>Replacement Trees Proposed</b>	<b>36</b>
<b>Replacement Trees in Deficit</b>	<b>0</b>



**LEGEND**

- Critical Root Zone (CRZ) (DBH x 8)
- Tree Management Zone (CRZ + 1.5m)
- Property Line
- ✗ Removal Recommended
- Tree Protection Barrier
- W Existing Water Service
- D Existing Drain Service
- S Existing Sewer Service
- G Existing Gas Service

Tree #	Common Name	CRZ Radius from Trunk(m)	Recommendation
503	Western red cedar	3.60	Retain
504	Douglas-fir	4.08	Retain
506	Douglas-fir	5.10	Retain
508	Douglas-fir	4.32	Retain
725	Red maple	1.92	Retain
726	Red maple	1.59	Retain
727	Red maple	1.62	Retain
728	Red maple	1.44	Retain
729	Red maple	1.50	Retain
730	Red maple	1.56	Retain
731	Red maple	1.56	Retain
732	Red maple	1.62	Retain
733	Red maple	1.92	Retain
734	Red maple	1.89	Retain
735	Red maple	1.68	Retain
736	Red maple	1.38	Retain
737	Chinese wingnut	1.62	Retain
738	Chinese wingnut	1.44	Retain
739	Chinese wingnut	1.32	Retain
740	Chinese wingnut	1.35	Retain
741	Chinese wingnut	1.50	Retain
742	Chinese wingnut	1.74	Retain
779	Katsura tree	1.02	Retain
780	Katsura tree	0.66	Retain
781	Katsura tree	0.66	Retain
782	Douglas-fir	2.22	Retain
783	Douglas-fir	3.93	Retain
784	Douglas-fir	2.37	Retain
794	Douglas-fir	2.61	Retain
795	Douglas-fir	3.69	Retain
796	Douglas-fir	3.48	Retain
797	Douglas-fir	2.13	Retain
798	Douglas-fir	2.76	Retain
799	Douglas-fir		Removed
800	Douglas-fir		Removed
801	Douglas-fir	2.46	Retain
802	Douglas-fir	2.04	Retain
803	Douglas-fir	3.24	Retain
804	Douglas-fir	1.68	Retain
805	Douglas-fir	2.70	Retain
806	Douglas-fir	1.32	Retain
807	Douglas-fir	2.34	Retain
808	Douglas-fir	3.00	Retain
809	Douglas-fir	3.00	Retain
810	Douglas-fir	3.00	Retain
811	London plane	1.44	Remove
812	London plane	1.20	Remove
813	London plane	0.90	Remove
814	London plane	0.84	Remove
815	London plane	0.84	Remove
816	London plane	1.26	Remove
817	Douglas-fir	3.42	Retain
818	Douglas-fir	5.34	Retain
819	American hazelnut		Removed
820	American hazelnut	1.80	Retain
821	American hazelnut	1.80	Retain
822	American hazelnut	2.16	Retain
823	American hazelnut	1.98	Retain
824	American hazelnut		Removed
825	American hazelnut	2.10	Retain
826	American hazelnut	1.86	Retain
827	American hazelnut		Removed
828	American hazelnut		Removed
829	American hazelnut	1.80	Retain
830	American hazelnut		Retain
831	American hazelnut		Removed
832	American hazelnut		Removed
833	American hazelnut	1.80	Retain
834	Douglas-fir	3.12	Retain
835	Tulip tree	1.44	Retain
836	Tulip tree	1.32	Retain
837	Douglas-fir	4.56	Retain
1489	Chinese wingnut	1.26	Retain

Drawing No. <b>5 of 5</b>	Sheet Title Arborist Site Plan	Project Title KPUC Daycare	Project Address KPUC Newton Campus - Lot 6 12666 72 Avenue, Surrey	Scale 0 5 10 All Units in Meters SCALE 1:513 Production Date: July 25, 2023	Prepared By Andrew C. MacLellan I.S.A. Certified Arborist #ON-1978A I.S.A. Tree Risk Assessment Qualification Forestry Technician FTdpl.	Client KPUC - Chani Joseph	BC Plant Health Care Inc. 18465 53rd Avenue, Surrey, BC. P: 604-575-8727 F: 604-676-2972 E: info@bcphcare.com 24 Hour Emergency Pager: 604-607-1616	
Page No. 37 of 48	Revision No. 3	Revision Date May 24, 2024						



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7924-0022-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 024-146-226

Lot A Section 18 Township 2 New Westminster District Plan LMP37958

12666 - 72 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Part V - Off-Street Parking and Loading/Unloading, the parking requirement from Table D.1 is reduced by 10%.
- (b) Part 33 Institutional Zone (PI), Section H.2, for the purposes of off-street parking, all setbacks are reduced to 3 metres.

4. Surrey Subdivision and Development By-law, 1986, No. 8830, as amended is varied as follows:

- (a) In Part V - Highway Dedication, Servicing and Construction Standards, Section 24(a), the requirement to provide vehicular and pedestrian highway systems, water distribution, sanitary sewer, drainage works, underground wiring, and street lighting systems in conjunction with the proposed subdivision of the Land shown on Schedule A, is deferred until future development of the Land.

5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF       , 20 .

ISSUED THIS     DAY OF       , 20 .

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Mayor – Brenda Locke

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City Clerk and Director Legislative Services  
– Jennifer Ficocelli

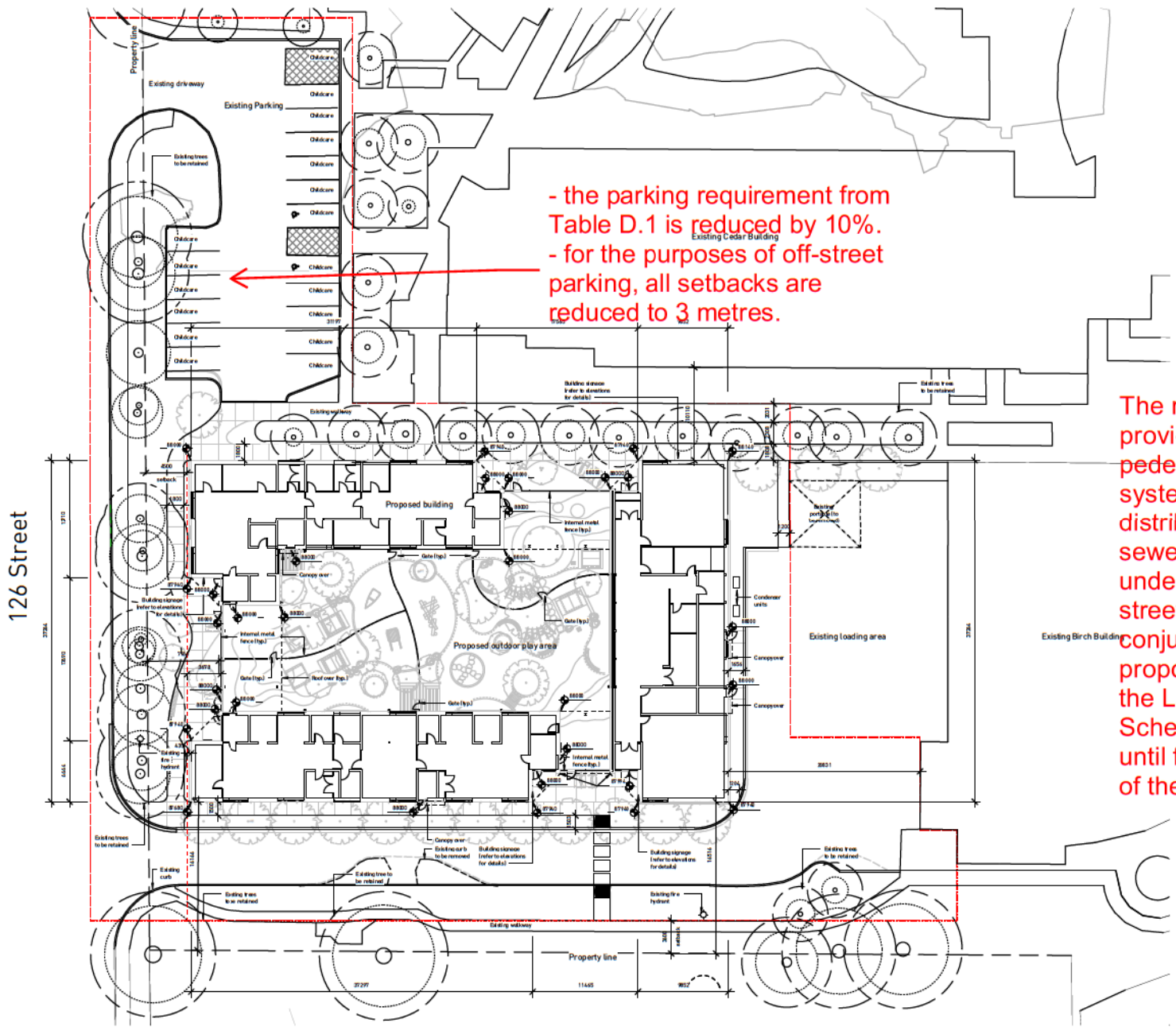
**SCHEDULE A.**

Approved Schedule A. The owner and applicant are responsible for compliance with all applicable laws, codes, and regulations. The drawings are to be used for construction of the proposed project. The drawings are not to be used for any other purpose. The drawings are not to be used for any other purpose. The drawings are not to be used for any other purpose.

DATE	DESCRIPTION
1 Jul 2023	Issued for SO
2 Aug 10 2023	Issued for Pre-construction Meeting
3 Oct 15 2023	Issued for Pre-construction Meeting
4 Apr 12 2024	Issued for SO
5 April 2024	Issued for SO

**Legend**

-----	Critical root zone (CRZ)
- - - - -	Tree management zone (TMZ - 1.5m)
-----	Scope of work
-----	Allowed / required setback
-----	Property line



- the parking requirement from Table D.1 is reduced by 10%.  
 - for the purposes of off-street parking, all setbacks are reduced to 3 metres.

The requirement to provide vehicular and pedestrian highway systems, water distribution, sanitary sewer, drainage works, underground wiring, and street lighting systems in conjunction with the proposed subdivision of the Land shown on Schedule A, is deferred until future development of the Land.

126 Street

**public**

126 FRANCES STREET  
 VANCOUVER, BC V6L 1T6  
 TEL: 604.708.4000  
 WWW.PUBLIC.COM.BC

2217 KPU Daycare

12466 72 Avenue, Surrey, BC

PROJECT CODE  
 2217  
 SCALE  
 1:200

Site plan  
 SHEET  
 A0.06