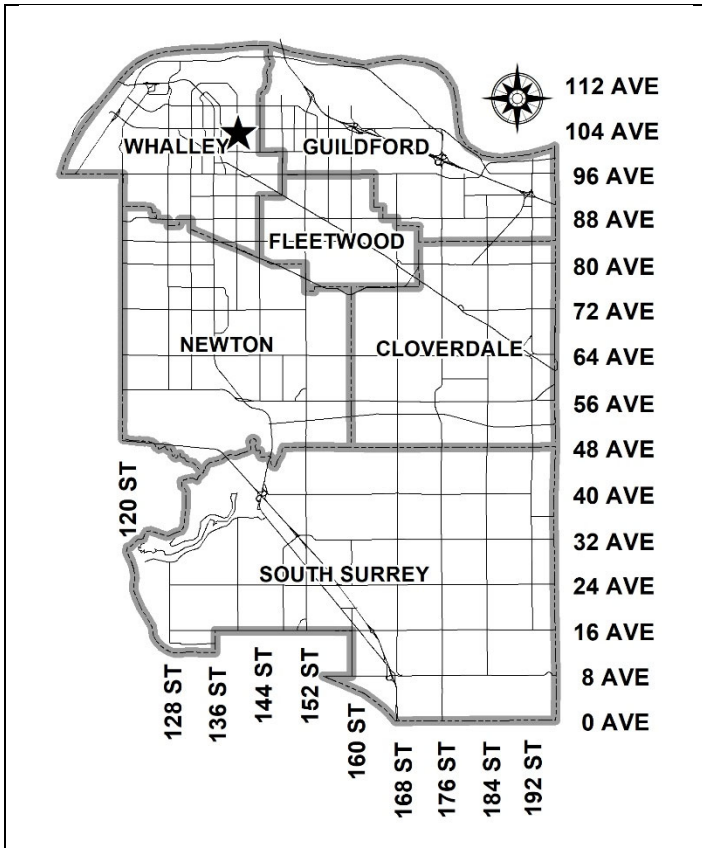


**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7921-0370-00

Planning Report Date: November 4, 2024



PROPOSAL:

- **Rezoning** from R3 to CD (based on RM-70)
- **Development Permit**

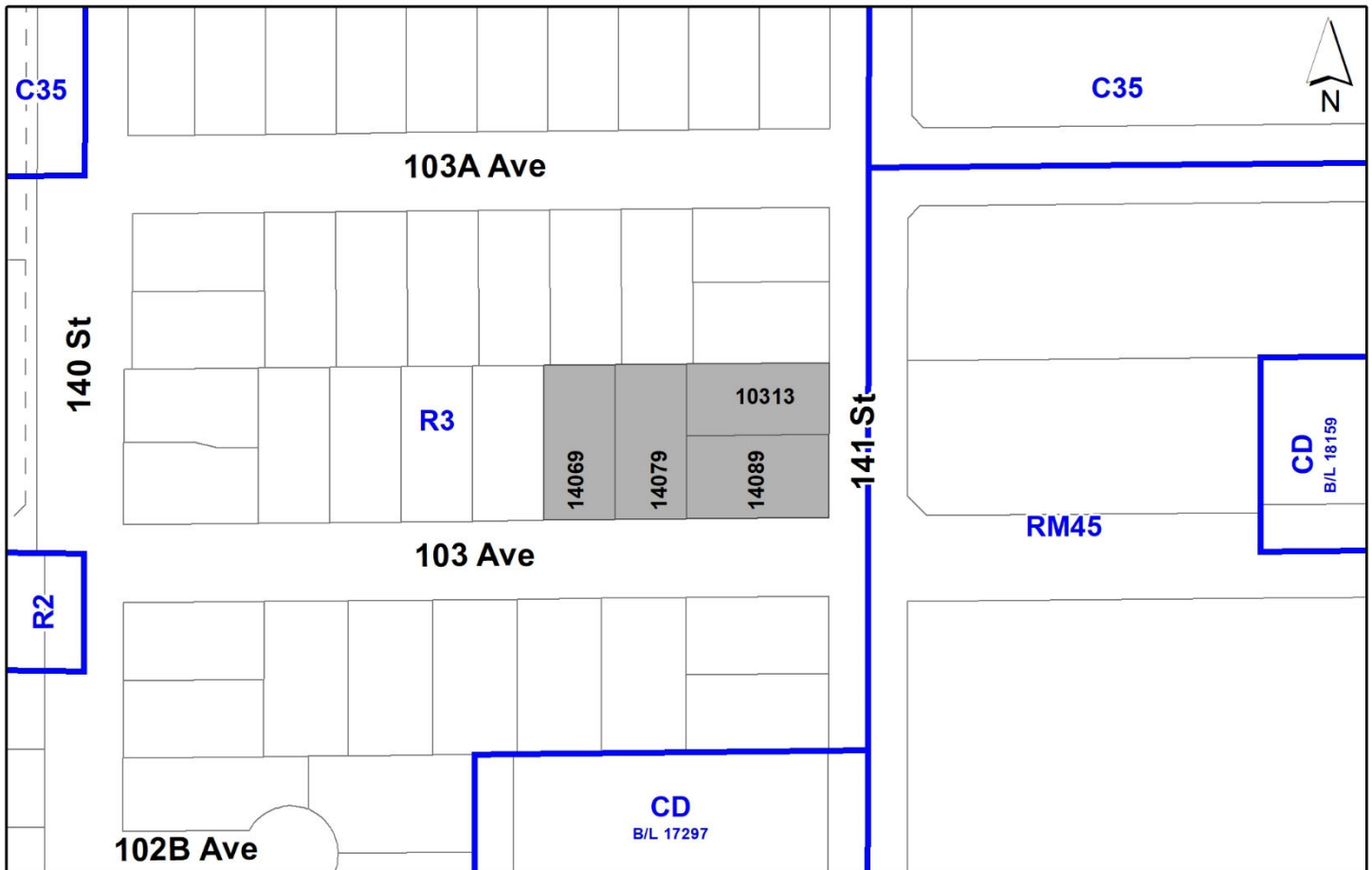
to permit the development of a 6-storey residential building, containing approximately 108 dwelling units over two (2) levels of underground parking, on a consolidated site in the Guildford Plan area.

LOCATION: 14069, 14079, 14089 - 103 Avenue
10313 - 141 Street

ZONING: R3

OCP DESIGNATION: Multiple Residential

NCP DESIGNATION: Low to Mid Rise Residential



RECOMMENDATION SUMMARY

- Rezoning By-law to proceed to Public Notification. If supported the By-law will be brought forward for consideration of First, Second and Third Reading.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the "Multiple Residential" designation in the Official Community Plan (OCP), which supports densities of up to 2.5 FAR (Gross) on the subject site.
- In accordance with changes to the Local Government Act, Section 464, under Bill 44 (2023) a Public Hearing is not permitted for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed Rezoning By-law. The Rezoning By-law will be presented to Council for consideration of First, Second, and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.
- The proposal generally complies with the "Low to Mid Rise Residential" designation of the subject site in the Guildford Plan, which supports densities of up to 2.25 FAR (Gross) and building heights up to 6-storeys.
- However, the applicant will provide a density bonus amenity contribution, consistent with the Tier 2 Community-Specific Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density from 2.25 FAR (Gross) to 2.45 FAR (Gross).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed setbacks, density, and building form are appropriate for this part of the Guildford Plan and are generally consistent with other 6-storey residential projects in the immediate area. The proposed setbacks achieve a more urban, pedestrian streetscape.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character as well as the design guidelines under the Guildford Plan.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to rezone the subject site from "Urban Residential Zone (R3)" to "Comprehensive Development Zone (CD)" (based on RM-70).
2. Council authorize staff to draft Development Permit No. 7921-0370-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to Final Adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Community-Specific Community Amenity Contributions (CACs) in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department; and
 - (j) registration of a volumetric statutory right-of-way for public rights of passage over the proposed publicly accessible open space (plaza) at the south-east corner of the subject site.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Four (4) existing residential lots.	Low to Mid Rise Residential	R3
North:	Existing residential lots and lots under Surrey File No. 7922-0285-00 (Third Reading) for a 6-storey apartment building.	Low to Mid Rise Residential	R3
East (Across 141 Street):	Three-storey townhouses	Townhouse	RM-45
South (Across 103 Avenue):	Existing residential lots.	Townhouse	R3
West:	Existing lots under Surrey File No. 7922-140-00 (Pre-Council) for a 6-storey apartment building.	Low to Mid Rise Residential	R3

Context & Background

- The 0.2909-hectare subject site is comprised of four (4) existing residential lots of record, on the west side of 141 Street between 103 Avenue and 103A Avenue in Guildford. All existing buildings and structures located on the lots comprising the subject site are proposed for demolition as part of the subject development application.
- The subject site is designated "Multiple Residential" in the Official Community Plan (OCP), "Low to Mid Rise Residential" in the Guildford Plan and currently zoned "Urban Residential (R3) Zone".
- The property to the immediate west of the subject site, 14059 – 103 Avenue, is to be incorporated as part of Development Application No. 7922-0140-00, given its limited potential to re-develop in line with the Guildford Plan under a stand-alone development application.

DEVELOPMENT PROPOSAL

Planning Considerations

- To permit the development of a 6-storey apartment building, containing 108 dwelling units over two (2) levels of underground parking on a consolidated site in Guildford, the applicant has requested the following:
 - **Rezoning** from R3 to CD (based on RM-70);
 - **Development Permit** for Form and Character; and
 - **Subdivision (Consolidation)** from four (4) to one (1) lot.

Proposed	
Lot Area	
Gross Site Area:	2,909.39 sq.m.
Road Dedication:	150.81 sq.m.
Undevelopable Area:	N/A
Net Site Area:	2,758.58 sq.m.
Number of Lots:	1
Building Height:	22.31 m.
Floor Area Ratio (FAR):	2.45 FAR (Gross); 2.60 FAR (Net)
Floor Area	
Residential:	7071 sq.m.
Residential Units:	
Studio:	16 dwelling units (14.8%)
1-Bedroom:	49 dwelling units (45.3%)
1-Bedroom + Den:	1 dwelling unit (0.01%)
2-Bedroom:	21 dwelling units (19.4%)
3-Bedroom:	<u>10 dwelling units (9.2%)</u>
Total:	108 dwelling units

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 17 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

10 Elementary students at Lean Shaw Elementary School
 4 Secondary students at Guildford Park Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

Parks, Recreation & Culture: The closest active park and natural area is Cedar Grove Park and is approximately 145 metres away.

Surrey Fire Department: Surrey Fire Department has no concerns with the proposed development, subject to completion of several items in association with the subsequent Building Permit application.

Advisory Design Panel: At the Regular Council – Land Use meeting on December 18, 2023, Council endorsed Corporate Report No. R214 (2023) which amended the Terms of Reference of the City’s Advisory Design Panel (ADP) which permits multi-family proposals that are 6-storeys or less, and supported by City staff, to proceed to Council for By-law introduction, without review and/or comment from the ADP.

The subject development proposal is generally supported by City staff and the applicant has agreed to resolve any outstanding items, to the satisfaction of the Planning and Development Department, prior to consideration of Final Adoption of the Rezoning By-law as well as issuance of the Development Permit.

Transportation Considerations

Road Network and Infrastructure:

- The applicant will be required to provide the following road dedication and improvements as part of the subject development proposal:
 - Dedicate and construct the north side of 103 Avenue;
 - Construction of the west side of 141 Street; and
 - Register a 0.5-metre-wide statutory right-of-way (SRW) along all frontages.

Access and Parking:

- The proposed development is to be accessed from 141 Street via an underground parkade entrance at the north-east corner of the subject site.
- The applicant is proposing 119 residential and 11 visitor parking spaces (130 total off-street parking spaces) on the subject site, equivalent to 1.1 residential parking spaces per dwelling unit and 0.1 visitor parking spaces per dwelling unit, which complies with the off-street parking rates for non-ground-oriented multiple residential projects in the Guildford Rapid Transit Area endorsed by Council through Corporate Report No. R115 (2021).

Traffic Impacts:

- The proposed development is anticipated to generate one (1) vehicle trip per minute during the peak hour, according to industry standard rates. A site-specific Transportation Impact Analysis (TIA) is not required as the proposal is below the City’s threshold for a site-specific TIA and is generally consistent with current Guildford Plan designation, with the anticipated land-use and density on the subject site having been taken into account as part of the Stage 2 Transportation Impact Analysis (TIA) for the entire Guildford Plan area.

Transit and/or Active Transportation Routes:

- The subject site is located in close proximity to the 104 Avenue Frequent Transit Network (FTN) and associated Frequent Transit Development Area (FTDA) and approximately 350 metres from an existing stop serviced by TransLink Rapid Bus Route No. R1 (Guildford Exchange / Newton Exchange – B-Line).

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposed development complies with the current "General Urban" designation of the subject site under the Metro Vancouver *Regional Growth Strategy* (RGS).

Official Community Plan

Land Use Designation

- The proposed development complies with the current "Multiple Residential" designation of the subject site under the Official Community Plan (OCP), which supports densities of up to 2.5 FAR (Gross) on the subject site.

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Growth Management
 - Accommodating Higher Density: Direct residential development into approved Secondary Plan areas at densities sufficient to encourage commercial development and transit services expansion.
 - Efficient New Neighbourhoods: Plan and develop new neighbourhoods with an emphasis on compact forms of development.
 - Centres, Corridors and Neighbourhoods:
 - Healthy Neighbourhood: Plan and design urban neighbourhoods with sufficient densities to support a higher-quality transit system that is accessible to most residents.
 - Urban Design: Ensure a new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.
 - Ecosystems
 - Energy, Emissions and Climate Resiliency: Design a community that is energy-efficient, reduces carbon emissions and adapts to a changing environment through a design that meets typical sustainable development criteria.

Secondary Plans

Land Use Designation

- The subject site is designated "Low to Mid Rise Residential" in the Guildford Plan.
- The "Low to Mid Rise Residential" designation which supports densities of up to 2.25 FAR (Gross) and building heights up to 6-storeys.
- The applicant is proposing a density of 2.45 FAR (Gross), which exceeds the maximum permitted under the designation.
- The additional floor area has merit considering the proposed building is consistent with the intent of the "Low to Mid Rise Residential" designation and the 6-storey form envisioned within the designation.
- A re-designation under the Guildford Plan will not be required, however, the proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.

CD By-law

- The applicant proposes to rezone the subject site from "Urban Residential (R3) Zone" to "Comprehensive Development (CD) Zone" based on the "Multiple Residential 70 Zone (RM-70)".
- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed 6-storey apartment building on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 70 Zone (RM-70)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
Floor Area Ratio:	1.5 FAR (Net)	2.6 FAR (Net)
Lot Coverage:	33%	43%
Yards and Setbacks	7.5 metres along all lot lines	North: 4.5 metres East: 5.5 metres South: 5.5 metres West: 4.5 metres
Principal Building Height:	50.0 metres	22.5 metres
Permitted Uses:	<ul style="list-style-type: none"> • Multiple unit residential buildings. • Ground-oriented multiple unit residential buildings. • Child Care Centres. 	<ul style="list-style-type: none"> • Multiple unit residential building.

Amenity Space		
Indoor Amenity:	3.0 sq.m. per dwelling unit (324 sq.m.)	The proposed 146 m² + CIL meets the Zoning By-law requirement.
Outdoor Amenity:	3.0 sq.m. per dwelling unit (324 sq.m.)	The proposed 474 m² exceeds the Zoning By-law requirement.
Parking (Part 5)	Required	Proposed
Number of Stalls		
Residential:	147 parking stalls	119 parking stalls
<u>Residential Visitor:</u>	22 parking stalls	11 parking stalls
Total:	169 parking stalls	130 parking stalls
Small-Car (max. 35% stalls):	59 parking stalls (max. 35%)	6 parking stalls (max. 4.45%)
Accessible (min. 2% stalls):	4 parking stalls (min. 2.4%)	3 parking stalls (min. 2.3%)
Bicycle Spaces		
Long-Term Resident:	130 spaces	161 spaces
Short-Term Visitor:	6 spaces	6 spaces

- The proposed CD Bylaw is based upon the RM-70 Zone with modifications made to the maximum permitted density, lot coverages, minimum building setbacks, building height off-street parking requirements and the location of the underground parkade in relation to the lot lines.
- When calculated on the gross site area, the proposed 6-storey residential building on the subject site will have a gross floor area ratio (FAR) of approximately 2.45 (2.60 FAR net), which is slightly higher than the 2.25 FAR (Gross) permitted under the "Low to Mid Rise Residential" designation in the Guildford Plan.
- Given the proximity of the subject site to the 104 Avenue Frequent Transit Network (FTN) and its associated Frequent Transit Development Area (FTDA), the proposal to increase the maximum permitted density from 1.5 under the RM-70 Zone to 2.6 FAR (Net) under the proposed CD Bylaw is supportable.
- The maximum lot coverage has been increased from 33% under the RM-70 Zone to a maximum of 43% under the proposed CD Bylaw to accommodate the proposed built form. The proposed lot coverage is typical of 6-storey building on a consolidated site of this size in the Guildford Plan.
- The proposed setbacks will allow for improved connectivity with the adjacent streets, providing for a more pedestrian-friendly and urban streetscape in line with both the OCP and Guildford Plan design guidelines.
- The proposed development includes a total of 130 parking stalls, consisting of 119 residential parking stalls and 11 visitor parking stalls of which two (2) are considered accessible and one (1) is van accessible.

- The applicant is proposing to provide a rate of 1.1 parking stalls per dwelling unit for residents and 0.1 parking stalls per dwelling unit for visitors (1.2 parking stalls per dwelling unit in total). The proposed parking reduction is supportable given that the subject site is located within a Rapid Transit Area (RTA) and complies with the reduced parking rates endorsed by Council as part of Corporate Report No. R115 (2021).
- The Zoning By-law requires that no parking facilities be constructed within 2.0 metres of the front lot line or a lot line along a flanking street. As the proposed underground parkade will be within 0.5 metres of the east (front) lot line and south (flanking street) lot line the proposed CD Bylaw will permit parking facilities within 0.5 metres of the east and south lot lines on the subject site.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2024, under Corporate Report No. R046;2024.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,136.00 per new dwelling unit.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs as the proposal exceeds the densities indicated in the Secondary Plan designation.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,113.92 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on September 10, 2024, and the Development Proposal Signs were installed on September 13, 2024. To date, staff have received no responses from neighbouring residents regarding the subject development proposal.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to, and generally complies with the Form and Character Development Permit guidelines in the Official Community Plan (OCP) as well as the urban design guidelines in the Guildford Plan.
- The applicant has worked with staff to accommodate the proposed building density and massing while generally maintaining or improving the grading interface with future 6-storey residential developments to the north (Surrey File No. 7922-0285-00, Third Reading) and west (Surrey File No. 7922-0140-00, Pre-Council).

Building Design

- The applicant is proposing a rectangular, 6-storey, wood-framed residential apartment containing approximately 108 market strata dwelling units over two (2) levels of underground parking. The proposed units consist of 16 studio units, 49 1-bedroom units, 1 1-bedroom plus den unit, 21 2-bedroom units and 10 3-bedroom units ranging in size from 39 to 92 square metres in size.
- The applicant is proposing a total of 11 adaptable units equivalent to 10.2% of all proposed dwelling units.
- The building steps backs the two uppermost storeys along both streetscapes and its north wing's interface with its neighbour to blend the building scale into the neighbourhood.
- The base emphasizes a human scale by resembling a series of individual ground-oriented townhouse units with front-porch entryways connected to the street through landscaped raised patios.
- The exterior mixes timeless traditional finishes using grey brick and wood-toned horizontal siding at the lower storeys for a rich streetwall expression with modern finishes on the two-uppermost storeys that step-back using white-coloured smooth fibre cement panels to feather the massing on the top.
- The main lobby features a double-height volume to enhance the building's identity while its adjacent parking ramp is enclosed into the building envelope for a tidy low profile integrated composition. The glass balcony guardrails add a refining touch to the overall architecture without adding additional visual weight, while the street patios feature black metal picket style railings ground the building.

Landscaping

- The landscape plans contain a mixture of both deciduous and coniferous trees, low-lying shrubs and groundcover planted throughout the subject site, as well as hardscaping, site lighting, fencing and site furnishings.
- All ground-floor units have front door access as well as semi-private patio space that is screened from the adjacent off-site public or on-site semi-public realm through a combination of tiered retaining walls, privacy fencing and layered planting which consists of a bylaw sized tree, low-lying shrubs, perennials and grasses.
- Access to the semi-private patio spaces will be provided through either a separated gated entryway from the adjacent public off-site or semi-private on-site sidewalk or through the individual dwelling units.
- Exterior lighting will be designed to reduce light pollution while still providing adequate lighting to ensure community safety as per Crime Prevention Through Environmental Design (CPTED) principles.

Indoor Amenity

- The RM-70 Zone requires the applicant to provide 3.0 square metres per dwelling unit. The Zoning By-law also prescribes the minimum indoor amenity space requirement that must be provided on-site with a cash-in-lieu option to address the remaining requirement.
- Based upon the City's Zoning By-law requirement, the proposed development is to provide 324 square metres of on-site indoor amenity space to serve the residents of the proposed 108 dwelling units. Of this 324-square metre requirement, a minimum of 74 square metres of indoor amenity space must be provided on-site with the remaining indoor amenity space requirement addressed through a cash-in-lieu contributions.
- The applicant is proposing 145 square metres of on-site indoor amenity space, which is less than the 324-square metre indoor amenity space requirement under the RM-70 Zone but which exceeds the minimum on-site requirement of 74 square metres.
- The applicant has agreed to provide a cash-in-lieu contribution of approximately \$180,000 (based on \$3,000 per unit, however, the cash-in-lieu contribution must be paid at the rate in effect at the time of Final Adoption of the subject Rezoning By-law) to address the remaining shortfall in the required indoor amenity space, in accordance with Council Policy O-48, as amended.
- The proposed indoor amenity, located on the ground floor adjacent to the entrance lobby, consists of a 104-square metre gym and yoga studio as well as a 42-square metre multi-purpose meeting room.

Outdoor Amenity

- The RM-70 Zone requires the applicant to provide a minimum of 3.0 square metres of outdoor amenity space per dwelling unit. Based on the City's Zoning By-law requirement, the proposed development must provide a total of 324 square metres of outdoor amenity space to serve the residents of the proposed 108 dwelling units.
- The applicant is proposing approximately 474 square metres of outdoor amenity space separated over two areas, an at-grade courtyard to the north of the proposed building and a large rooftop amenity space, thereby exceeding the minimum requirements.
- The 82-square metre at-grade outdoor amenity space, directly adjacent to the proposed indoor amenity space, consists of a several seating areas, an exercise area and enclosed dog run.
- The 392-square metre rooftop amenity space consists of several lounge seating areas, a communal BBQ/dining area, children's playground with play equipment and raised community garden beds in addition to a toolshed and potting table.

Signage

- One (1) identification sign is proposed on the eastern (141 Street) building façade, directly integrated into the proposed black-clad metal and clear glass entrance lobby canopy. The signage is comprised of individual backlit metal channel letters and complies with the Surrey Sign By-law.
- No additional on-site signage is proposed. If required, the proposed signage will be considered through a separate application and will be required to comply with the Surrey Sign By-law, as amended.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - Further refinement of the public realm interface along 103 Avenue as well as the proposed corner plaza at the intersection of 103 Avenue and 141 Street.

TREES

- Adrian Szabunio, ISA Certified Arborist of Woodridge Tree Consulting Arborists Ltd., prepared an Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal. A detailed list of the proposed tree retention and removal by tree species can be found in the attached tree summary table (Appendix IV):
- All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Table 1: Summary of Proposed Onsite Tree Preservation by Tree Species:

	Existing	Remove	Retain
Deciduous Trees	3	3	0
Coniferous Trees	5	5	0
Onsite Tree Totals	8	8	0
Onsite Replacement Trees Proposed	28		
Total Onsite Retained and Replacement Trees	28		

- The Arborist Assessment states that there are a total of eight (8) bylaw protected trees on the site, consisting of five (5) on-site trees, one (1) shared tree, and two (2) City trees within the 103 Avenue road allowance. The applicant proposes to retain none of the above-noted trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- The applicant has obtained permission from the Owners of 10333 – 141 Street for the removal of Shared Tree No. 8-1038 as well as Off-Site Tree Nos. OS₃ and OS₄.
- Parks, Recreation and Culture staff accept the removal of City Tree Nos. Ci₁ and Ci₂ as recommended by the project Arborist.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a proposed total of 16 replacement trees on the site. The applicant is proposing 28 replacement trees, thereby exceeding City requirements.
- The new trees on the site will consist of a variety of trees including Fireglow Japanese Maple, Rising Sun Eastern Rosebud, Eddie's White Wonder Dogwood, Little Gem Dwarf Southern Magnolia, Tupelo Tower Sour Gum, White Spruce and Arnold Sentinel Austrian Pine.
- In summary, a total of 28 trees are proposed to be retained or replaced on the site with no contribution to the Green City Program required.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey, Tree Preservation and Tree Plans

approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development

CRL/cm

NOTES:

PROPOSED RESIDENTIAL DEVELOPMENT

14069, 14079, 14089 - 103 AVENUE & 10313 - 141 STREET SURREY BC

ISSUED FOR DEVELOPMENT PERMIT

CIVIC ADDRESS:
14069, 14079, 14089 - 103 AVENUE & 10313 - 141 STREET SURREY BC

LEGAL DISCRPTION:
Lot 43, 44, 45 and 46 Section 25 Block 5 North Range 2 West New Westminster District Plan 40745

PROPOSED ZONE:
CD (BASED ON RM-70)

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ARCHITECTURAL DRAWING LIST	
Sheet Number	Sheet Name
A-000	COVER PAGE
A-001	DEVELOPMENT DATA
A-002	CONTEXT PLAN
A-003	SITE LOCATION
A-004	SITE ANALYSIS
A-005	BASE PLAN
A-006	CONTEXT PLAN W/FUTURE DEVELOPMENTS
A-007	CONTEXT PLAN W/FUTURE DEVELOPMENTS
A-100	SITE PLAN
A-101	SITE PLAN - FIRE TRUCK ACCESS PLAN
A-200	PARKADE P2
A-201	PARKADE P1
A-203	LEVEL 2
A-204	LEVEL 3
A-205	LEVEL 4
A-206	LEVEL 5
A-207	LEVEL 6
A-208	ROOF PLAN
A-210	UNIT PLANS
A-211	UNIT PLANS
A-212	UNIT PLANS
A-213	UNIT PLANS

ARCHITECTURAL DRAWING LIST	
Sheet Number	Sheet Name
A-214	LEVEL 1 AREA
A-215	LEVEL 2 AREA
A-216	LEVEL 3 AREA
A-217	LEVEL 4 AREA
A-218	LEVEL 5 AREA
A-219	LEVEL 6 AREA
A-220	ROOF AREA
A-300	ELEVATIONS
A-301	ELEVATIONS
A-305	MATERIAL BOARD
A-306	PERSPECTIVE
A-307	PERSPECTIVE
A-310	SHADOW STUDY - MARCH/JUNE
A-311	SHADOW STUDY - SEPT/OCT
A-400	BUILDING SECTION 1
A-402	BUILDING SECTION 3
A-410	WALL SECTIONS
A-411	WALL SECTIONS
A-400	DETAILS
A-401	DETAILS

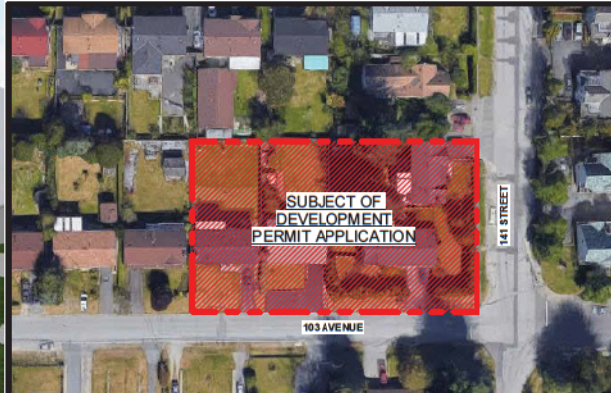
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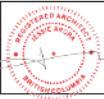
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14069, 14079, 14089 - 103 AVENUE & 10313 - 141 STREET SURREY BC

CLIENT:
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SCALE: 1/32" = 1'-0"
JOB NO.: 25106
DATE: MAY 2024
ISSUE TITLE: 2024-10-16



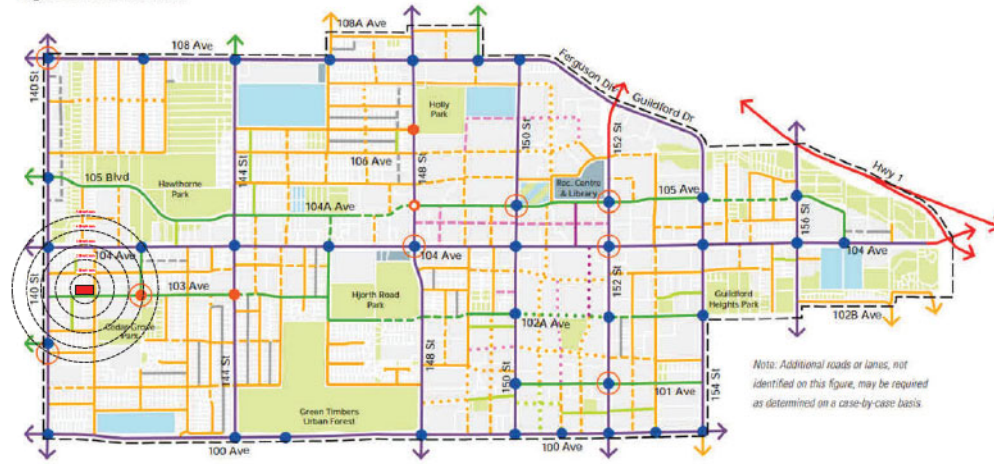
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Figure 6.1: Road Network



LEGEND

- Provincial Highway
- Arterial Road
- Collector Road
- Local Road
- High Street
- Pedestrian Connection
- Green Lane
- Lane
- New Road
- Long Term Road
- Existing Traffic Sig
- New Traffic Signal
- New Roundabout

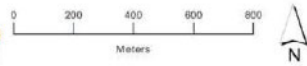
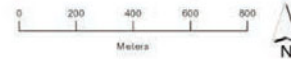


Figure 6.11: Cycling Network



LEGEND

- Protected Cycling Facility
- Multi Use Path
- Neighbourhood Bike Route



NOTES:

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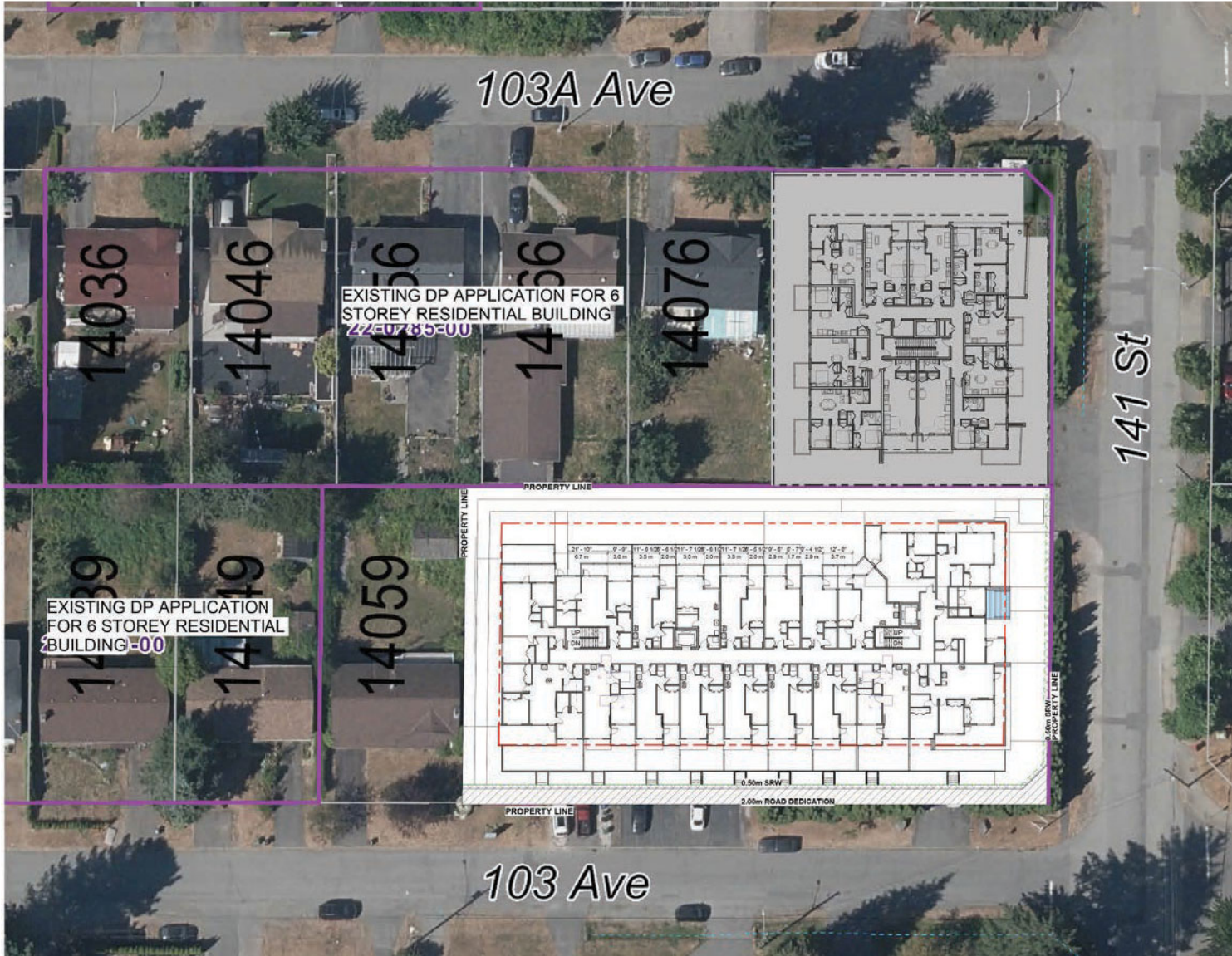
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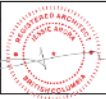
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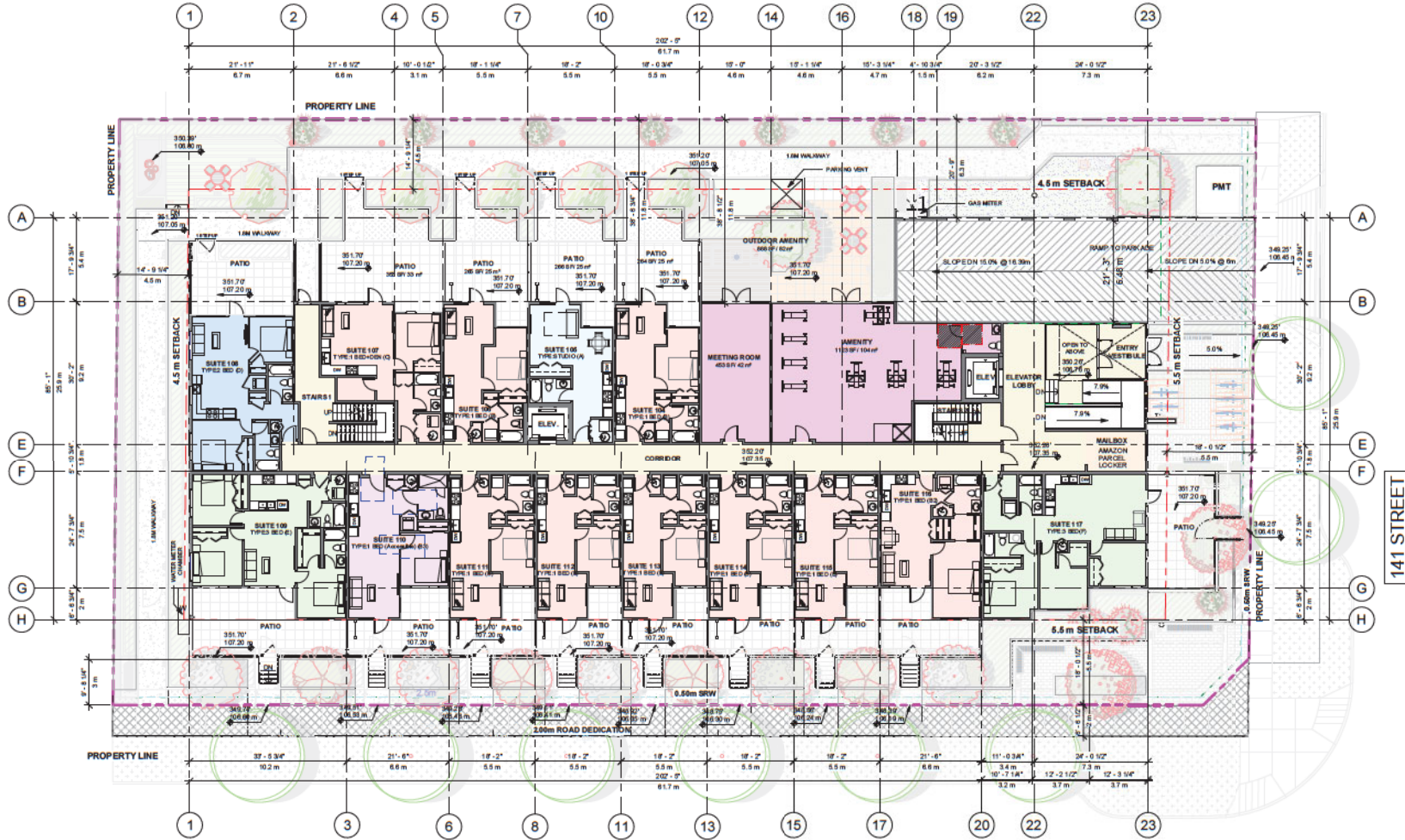


CONTEXT PLAN W/FUTURE DEVELOPMENTS

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PHASE	C

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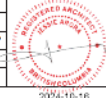
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SITE PLAN

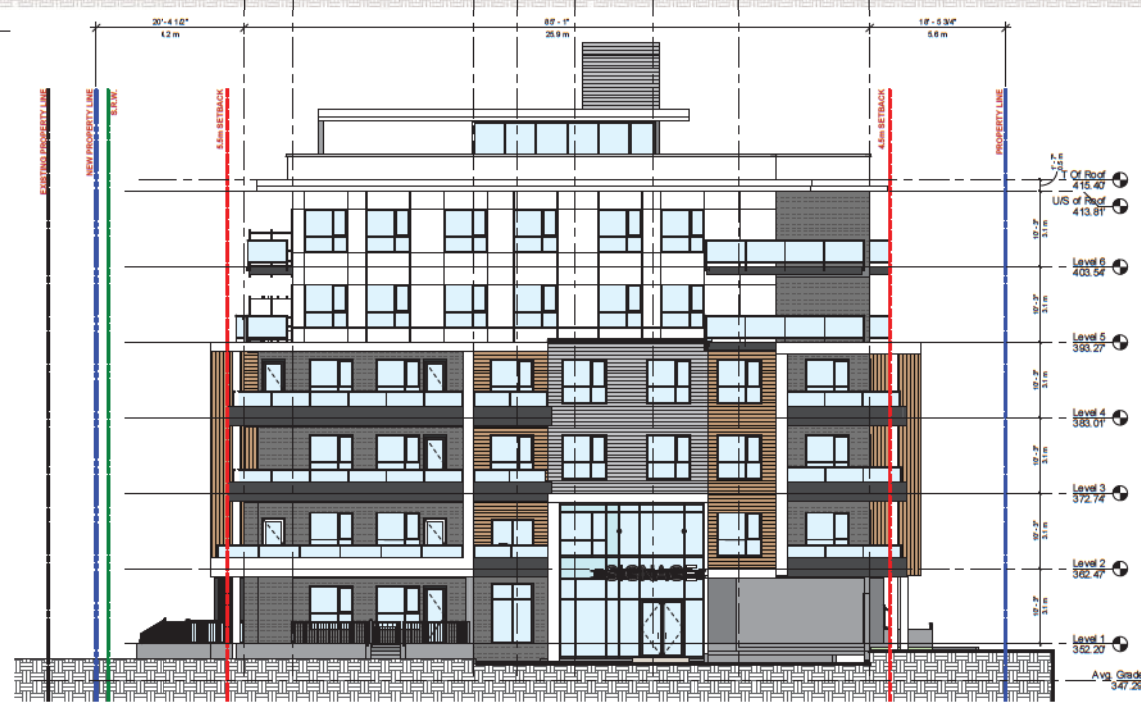
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1 SOUTH ELEVATION (103 AVENUE)



2 EAST ELEVATION (140 STREET)

- MATERIAL LEGEND:**
- 1 PAINTED CONCRETE/CLAD PANEL
RENDER WORK: UNPAINTED WHITE
 - 2 BODY COLOURED BRICK VENEER
 - 3 MEDIUM GREY HAZEL FLANK
 - 4 WOOD TONE CONCRETE/OUR SIDING
 - 5 BODY COLOURED BRICK CORNER
RENDER WORK: UNPAINTED WHITE
 - 6 GLASS
 - 7 BLACK FRAMED WOOD DOOR
 - 8 PREPAINTED GRAY METAL
FRAME AND SLATED GLAZING

NOTES:

T of Roof	415.40
US of Roof	413.81
Level 6	403.54
Level 5	393.27
Level 4	383.01
Level 3	372.74
Level 2	362.47
Level 1	352.20
Avg. Grade	347.29

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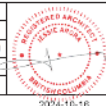
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SHEET TITLE:	ELEVATIONS



ELEVATIONS

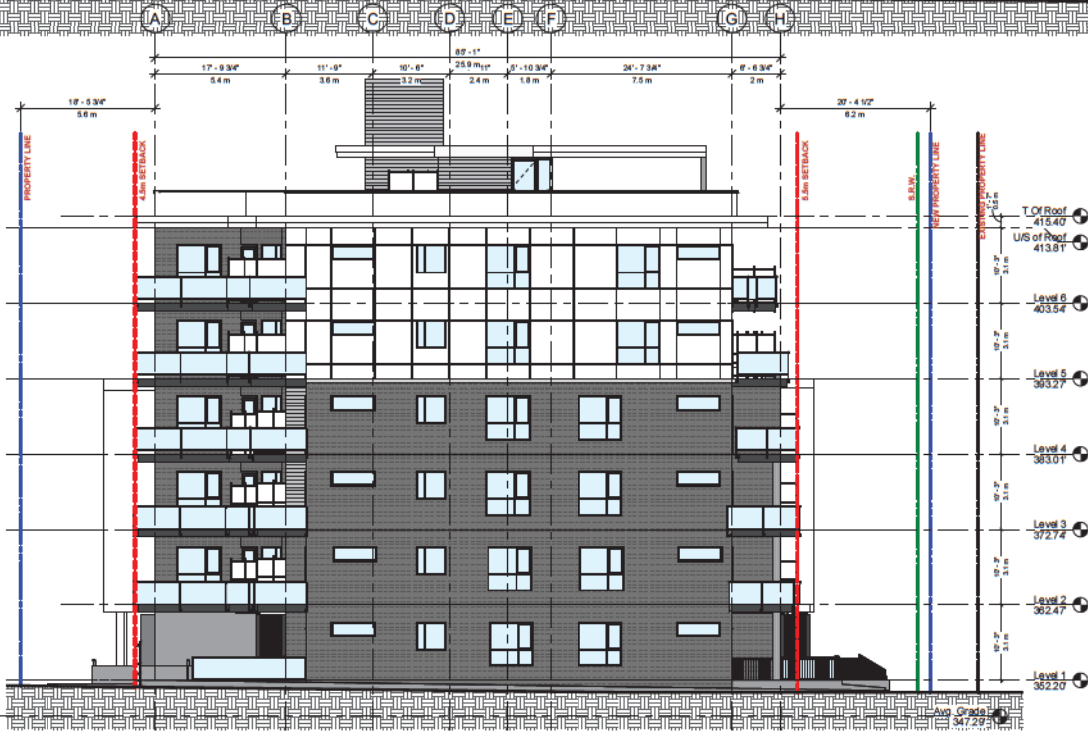
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1 NORTH ELEVATION



2 WEST ELEVATION

- MATERIAL LEGEND**
- 1. BRICK (CONCRETE) WITH FINE SANDWICH MIDDLE WHITE GROUT
 - 2. BROWN COLOURED BRICK SHEAR
 - 3. MEDIUM GREY WOOD PLANK
 - 4. WOOD COLOURED CERAMIC TILES
 - 5. WOOD COLOURED FIBRE CEMENT SHEET ROOFING - FRAMED BY MS
 - 6. GLASS
 - 7. BLACK FRAMED WINDOW/DOOR
 - 8. PRE-PANDED GREY METAL PANEL (HORIZONTAL)

NOTES:

NO.	DESCRIPTION	DATE

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ELEVATIONS

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NOTES:

MATERIAL LEGEND

- | | | |
|--|---|---|
| <p>1.  PAINTED CEMENTITIOUS PANEL BENJAMIN MOORE - WINTER WHITE</p> | <p>4.  LIGHT OAK HARDIE SIDING JAMES HARDIE</p> | <p>7.  BLACK FRAMED WINDOW/DOOR</p> |
| <p>2.  EBONY COLOURED BRICK VENEER</p> | <p>5.  HARDIE SIDING WOODTONE - ROSEWOOD #947.</p> | <p>8.  DARK GREY HARDIE FASCIA</p> |
| <p>3.  MEDIUM GREY HARDIE PLANKS JAMES HARDIE</p> | <p>6.  TRANSPARENT GLAZING</p> | |

ATELIER PACIFIC ARCHITECTURE

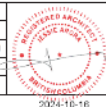
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DATE: MAY 2024	
SHEET TITLE: MATERIAL BOARD	2024-10-16

MATERIAL BOARD

A-305 C

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DATE: MAY 2024	

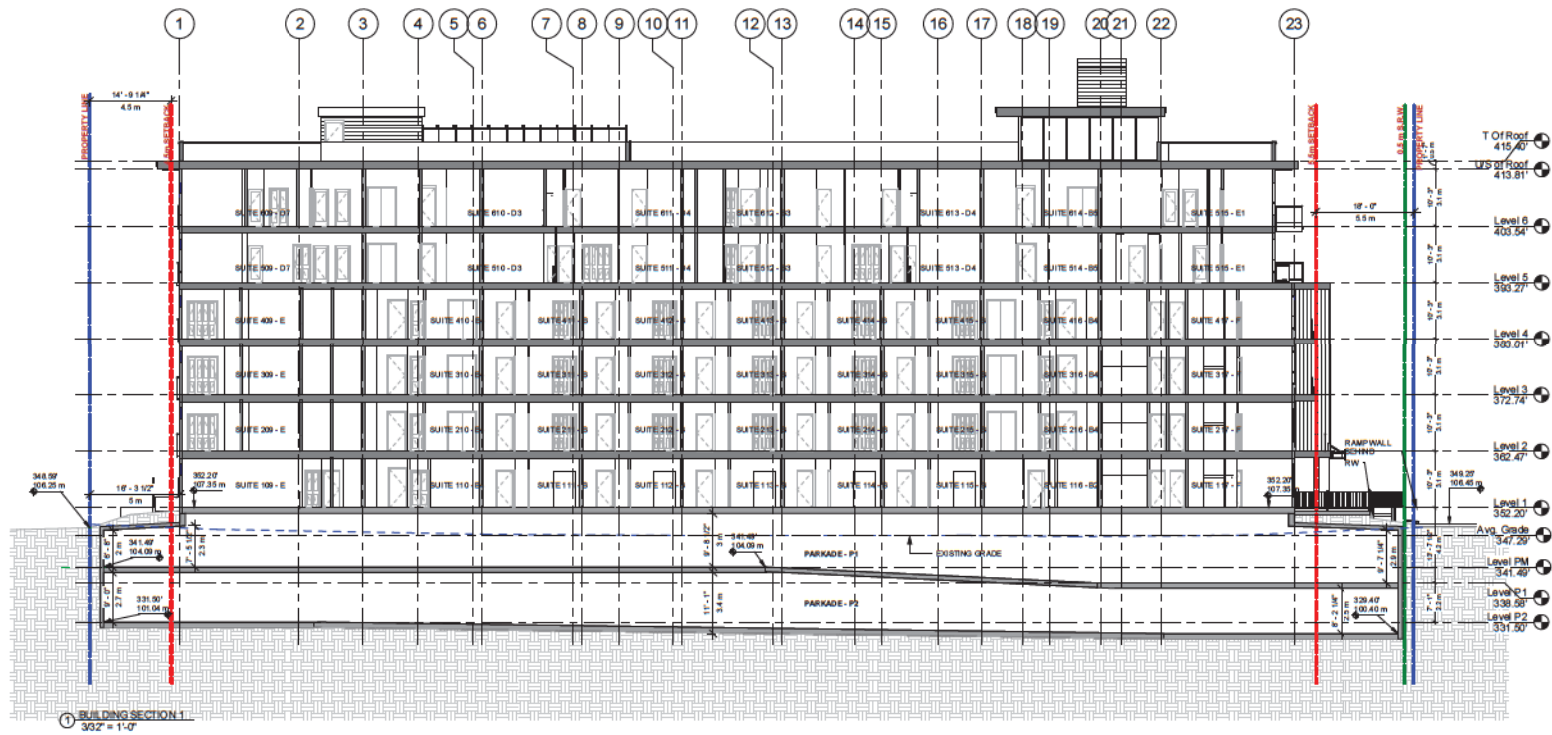
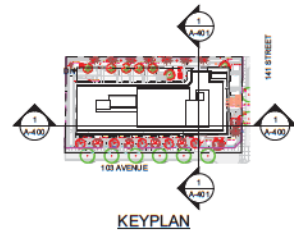
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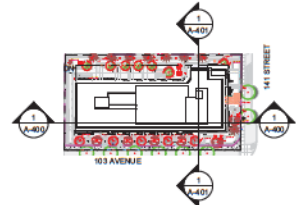
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A-400 C

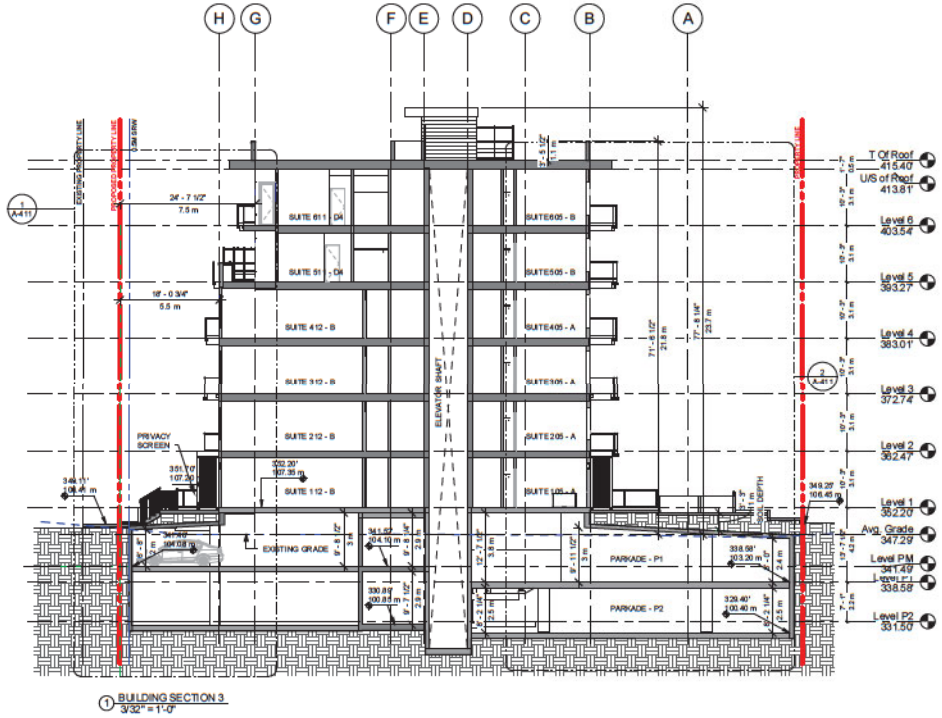
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KEYPLAN



BUILDING SECTION 3
3/32" = 1'-0"

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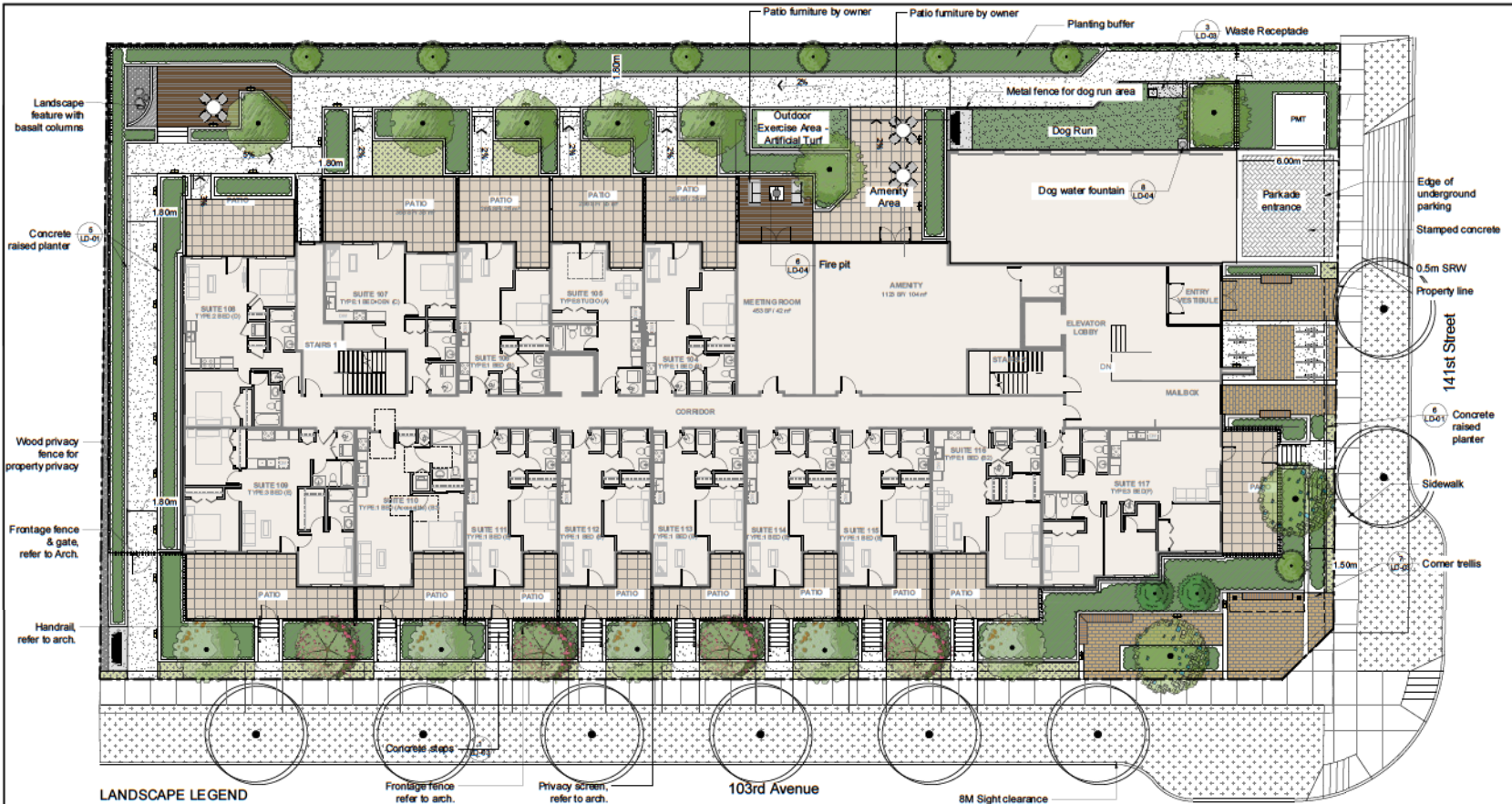
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Edge of underground parking
 Stamped concrete
 0.5m SRW
 Property line
 141st Street
 Concrete raised planter
 Sidewalk
 Corner trellis
 1.50m

Landscape feature with basalt columns
 Concrete raised planter
 Wood privacy fence for property privacy
 Frontage fence & gate, refer to Arch.
 Handrail, refer to arch.

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	3.4 LD-01	CONCRETE PAVING
	2 LD-02	WOOD PATTERN PAVERS
	3 LD-02	CONCRETE TILE UNIT PAVING PEDESTRIAN
	4 LD-02	HYDRO-PRESSED SLABS
		STAMPED CONCRETE
	3 LD-01	ARTIFICIAL TURF
		SEAT WALL
		SOIL See landscape notes for specifications
		SHRUB PLANTING

FENCING LEGEND

KEY	REF.	DESCRIPTION
	5 LD-02	1.8m PRIVACY FENCE
	6 LD-02	DOGRUN AREA METAL FENCE
		PRIVACY SCREEN Refer to Architecture
		FRONTAGE FENCE Refer to Architecture 1.0m tall unless SIBC guardrail height requirements
		HANDRAIL Refer to Architecture

FURNITURE LEGEND

KEY	REF.	DESCRIPTION
	5 LD-03	BIKE RACK
	4 LD-03	BENCH
	3 LD-03	WASTE RECEPTACLE
	8 LD-04	DOG WATER FOUNTAIN

LIGHTING LEGEND

KEY	REF.	DESCRIPTION
	2 LD-05	BOLLARD LIGHT
	1 LD-05	WALL LIGHT

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE	QTY.
	Acer palmatum 'Fragola' / Fragola Japanese Maple	888	60m		4
	Cercis canadensis 'Rising sun' / Rising sun Eastern Redbud	888	60m		6
	Cornus nuttallii x florida 'Eddie's White Wonder' / Eddie's White Wonder Dogwood	888	60m		2
	Magnolia grandiflora 'Little Gem' / Little Gem Dwarf Southern Magnolia	888	60m		2
	Nyssa sylvatica 'Tupelo Tower' / Tupelo Tower Sour Gum	888	60m		5
	Picea glauca / White Spruce	888	10m	ft	2
	Pinus nigra 'Arnold Sentinel' / Arnold Sentinel Austrian Pine	888	10m	ft	8
	Street Tree	888	60m	cal	8

Frontage fence refer to arch.
 Privacy screen, refer to arch.
 103rd Avenue
 8M Sight clearance

No.	By	Description	Date
6	PC	Revised for DP	Sept 28, 2024
5	PC	Revised for DP	June 07, 2024
4	PC	Issued for DP Reviewing	July 21, 2023
3	DY	Issued for DP Reviewing	Feb 17, 2023
2	AD	Issued for DP Reviewing	Dec 14, 2021
1	AD	Issued for ADP	Nov 28, 2021

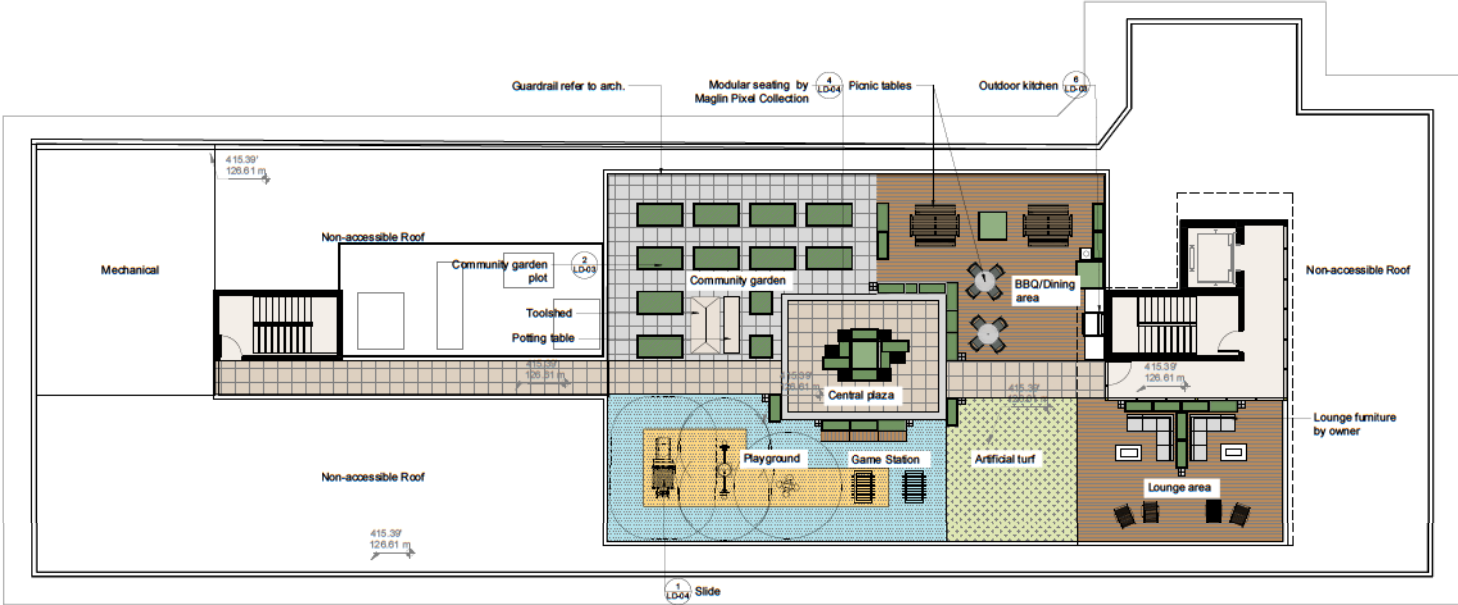
REVISIONS TABLE FOR DRAWING B
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Project:
 103rd AVENUE MIDRISE
 Location:
 14099 - 103 Avenue
 Surrey, B.C.

Drawn: AH
 Stamp: [Stamp]
 Checked: PC
 Approved: MVDZ
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 Scale: 1:125
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Z:\PROJECTS\DEVELOPMENT\PROJECTS\DP2021-71\103RD AVE MIDRISE - DRWG\LANDSCAPE SITE PLAN.DWG



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	2 LD-02	WOOD PATTERN PAVERS
	4 LD-02	HYDRAPRESSED SLAB
	1 LD-02	RUBBER SURFACE
	3 LD-01	ARTIFICIAL TURF
		SHRUB PLANTING

No.	By	Description	Date
6	PC	Released for DP	Sept 28, 2024
5	PC	Released for DP	June 07, 2024
4	PC	Issued for DP/Procuring	July 21, 2023
3	DY	Issued for DP/Procuring	Feb 17, 2023
2	AD	Issued for DP/Procuring	Dec 14, 2021
1	AD	Issued for ADP	Nov 28, 2021

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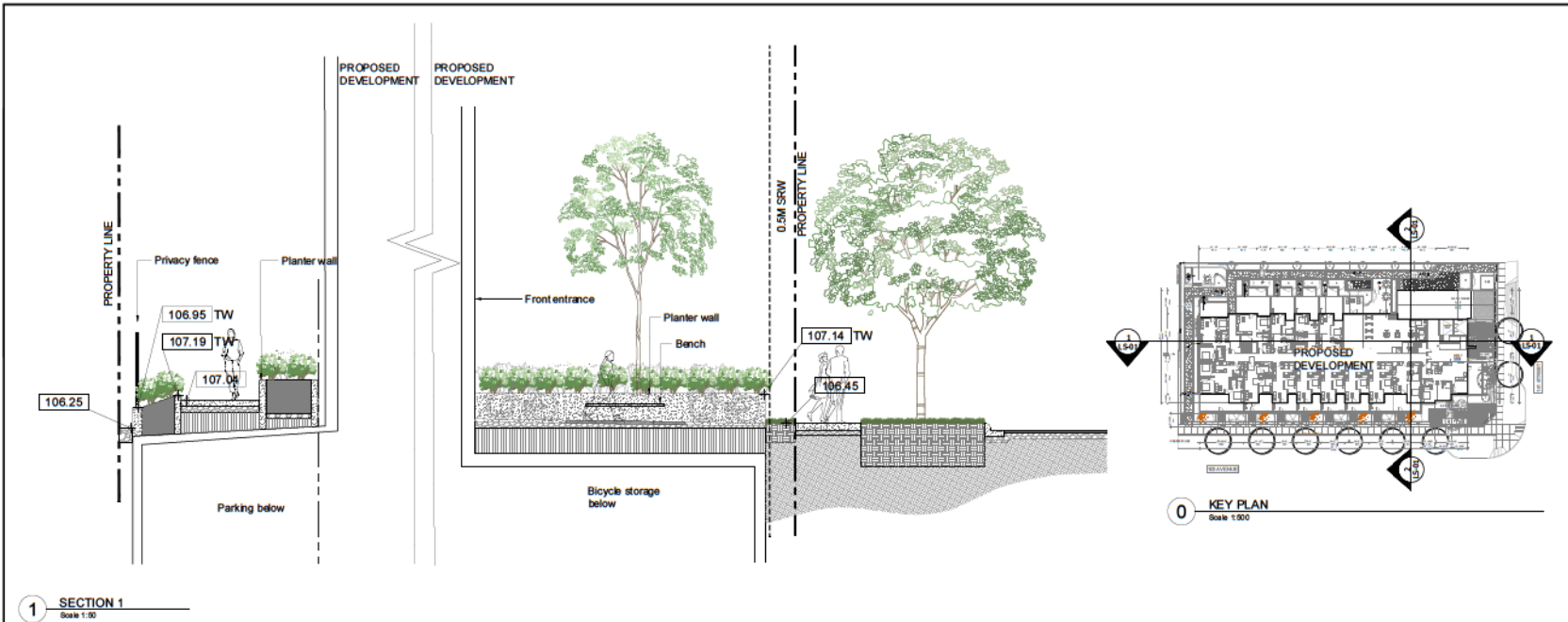
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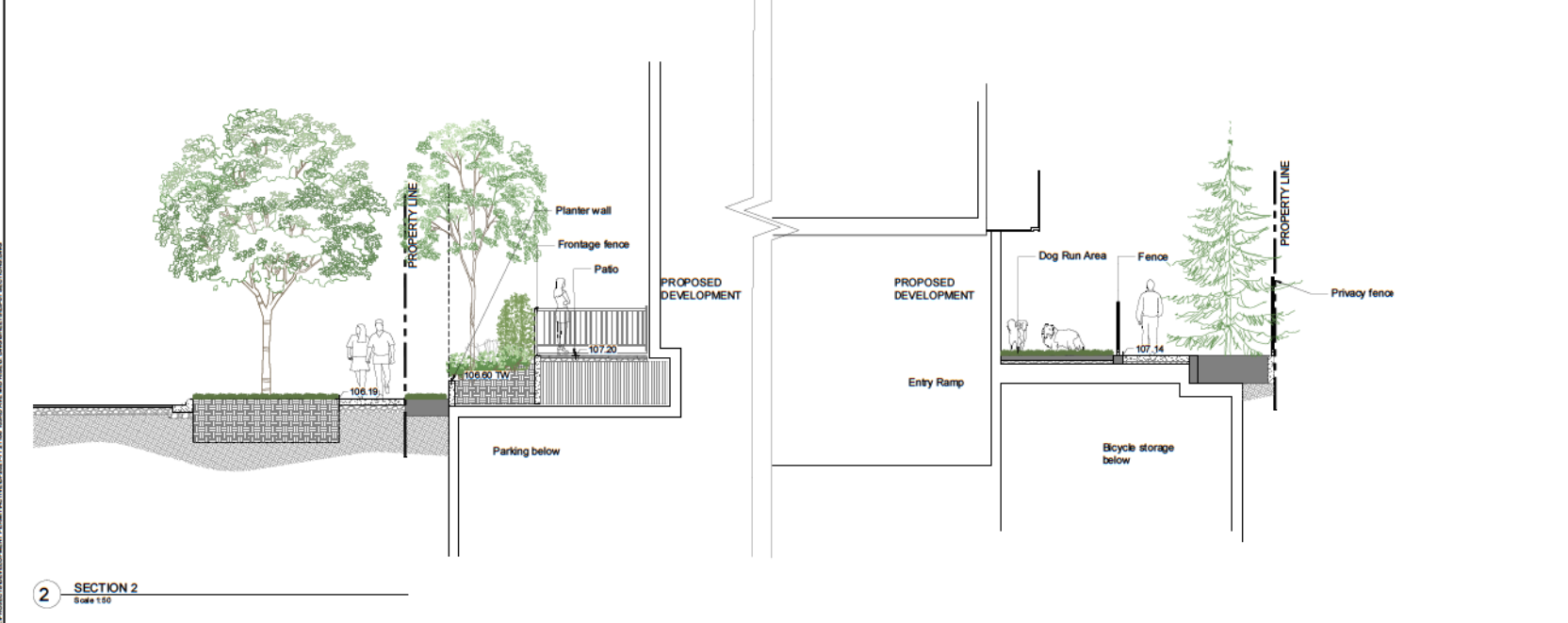
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1 SECTION 1
Scale 1:30

2 SECTION 2
Scale 1:30



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1	AD	Issued for ADP	Nov 28, 2021

REVISIONS TABLE FOR DRAWING B
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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project: 103rd AVENUE MIDRISE
 Location: 1409 - 103 Avenue Surrey, B.C.

Drawn: AH	Stamp
Checked: PC	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL MEASUREMENTS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR THE DESIGN. ALL CONSTRUCTION AND INSTALLATIONS ARE THE EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AT THE CONTRACTOR'S RISK. ALL FIELD MEASUREMENTS SHALL BE TAKEN AT THE COMPLETION OF THE WORK. ALL FIELD MEASUREMENTS SHALL BE TAKEN AT THE COMPLETION OF THE CONSTRUCTION AND SHALL BE USED FOR THE CONSTRUCTION.

Z:\PROJECTS\103RD AVENUE MIDRISE\103RD AVENUE MIDRISE_DRAWINGS\SECTION1.DWG



INTER-OFFICE MEMO

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **October 25, 2024** PROJECT FILE: **7821-0370-00**

RE: **Engineering Requirements**
Location: 14069 103 Ave

REZONE/SUBDIVISION***Property and Right-of-Way Requirements***

- Dedicate 1.942 m along 103 Avenue;
- Dedicate 3.0-metre x 3.0-metre corner cut at 103 Avenue and 141 Street;
- Register 0.50 m statutory right-of-way.

Works and Services

- Construct the west side of 141 Street;
- Construct the north side of 103 Avenue;
- Construct adequately-sized service connections (water, sanitary and storm), complete with inspection chambers and water meter, to the lot; and
- Upgrade downstream mains to resolve any utility capacity constraints as determined through detailed design.

A Servicing Agreement is required prior to Rezone/Subdivision.

OCP AMENDMENT/DEVELOPMENT PERMIT

There are no engineering requirements relative to the proposed OCP Amendment and the issuance of the Development Permit.

Jeff Pang, P.Eng.
 Manager, Development Services

M51



Department: **Planning and Demographics**
 Date: **September 10, 2024**
 Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **21-0370**

The proposed development of **108** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	17
---	----

Projected Number of Students From This Development In:	
Elementary School =	10
Secondary School =	4
Total Students =	14

Current Enrolment and Capacities:	
Lena Shaw Elementary	
Enrolment	664
Operating Capacity	569
# of Portables	5
Guildford Park Secondary	
Enrolment	1390
Operating Capacity	1050
# of Portables	11

Summary of Impact and Commentary

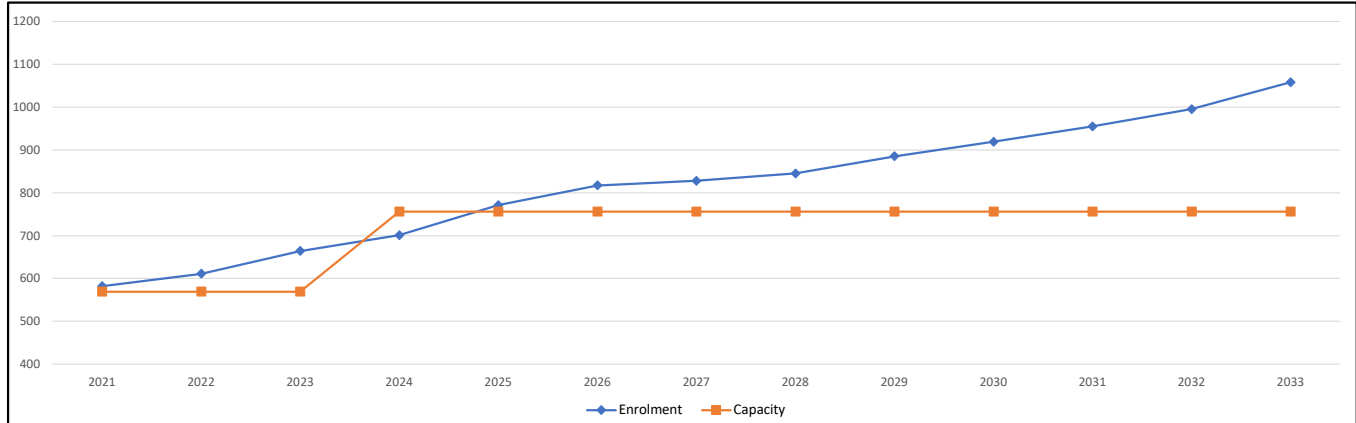
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

As of September 2023, Lean Shaw is at 117% capacity. Significant redevelopment in this neighbourhood is expected with the Guildford Plan and recent Provincial legislative changes.

In anticipation of continued growth, the Ministry approved in November 2023 the installation of an 8 modular classroom addition planned to open in Fall 2024. Additional projects to relieve capacity have been requested, but are as of yet unapproved.

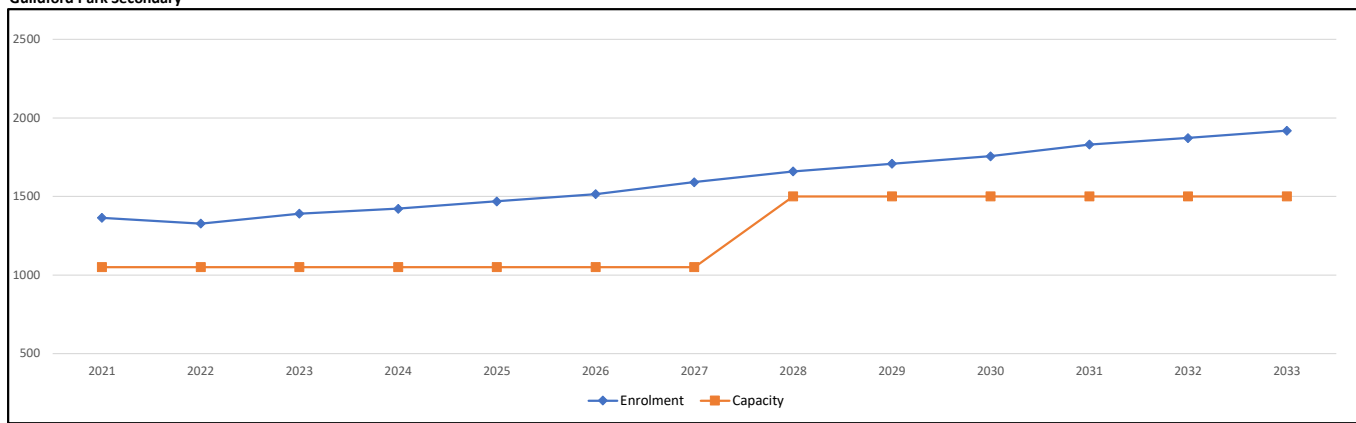
As of September 2023, Guildford Park is operating at 133% and is projected to rapidly grow. The adoption of the Guildford Plan in the area will significantly increase density moving forward. In May 2023, the District received capital funding approval from the Ministry to build a 450-capacity addition, targeted to open in the spring of 2028.

Lena Shaw Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Guildford Park Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population: The projected population of children aged 0-17 impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.

Tree Preservation Summary

Surrey Project No:

Address: 14069, 14079, 14089 103 Avenue & 10313 141 Street, Surrey

Registered Arborist: Woodridge Tree Consulting Arborists Ltd., Adrian Szabunio PR 5079A

On-Site Trees	Number of Trees	Off-Site Trees	Number of Trees
Protected Trees Identified *	8	Protected Trees Identified	6
Protected Trees to be Removed	8	Protected Trees to be Removed	6
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0	Protected Trees to be Retained	0
Total Replacement Trees Required:		Total Replacement Trees Required:	
<ul style="list-style-type: none"> - Alder & Conifers to be removed (1:1) 0 X one (1) = 0 - All other species to be removed (2:1) 8 X two (2) = 16 	16	<ul style="list-style-type: none"> - Alder & Conifers to be removed (1:1) 0 X one (1) = 0 - All other species to be removed (2:1) 6 X two (2) = 12 	12
Replacement Trees Proposed	0	Replacement Trees Proposed	0
Replacement Trees in Deficit	16	Replacement Trees in Deficit	12
Protected Trees to be Retained in Proposed Open Space or Riparian Areas			
*on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas			

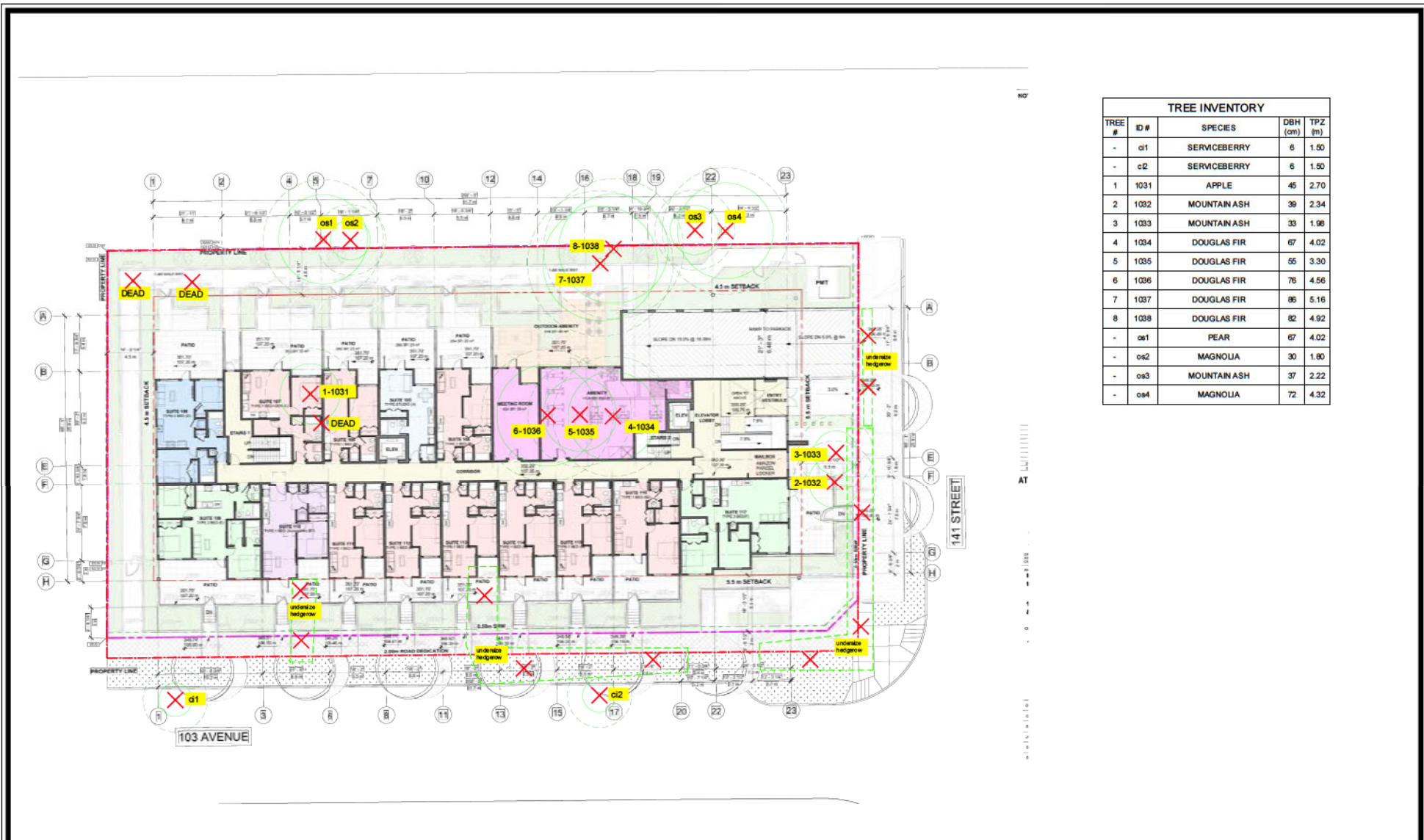
Summary, report and plan prepared and submitted by:



(Signature of Arborist)

August 1, 2024

Date



TREE INVENTORY				
TREE #	ID #	SPECIES	DBH (cm)	TPZ (m)
-	cd1	SERVICEBERRY	6	1.50
-	cd2	SERVICEBERRY	6	1.50
1	1031	APPLE	45	2.70
2	1032	MOUNTAIN ASH	39	2.34
3	1033	MOUNTAIN ASH	33	1.98
4	1034	DOUGLAS FIR	67	4.02
5	1035	DOUGLAS FIR	55	3.30
6	1036	DOUGLAS FIR	76	4.56
7	1037	DOUGLAS FIR	86	5.16
8	1038	DOUGLAS FIR	82	4.92
-	os1	PEAR	67	4.02
-	os2	MAGNOLIA	30	1.80
-	os3	MOUNTAIN ASH	37	2.22
-	os4	MAGNOLIA	72	4.32

LEGEND

- Tree Location
- Non Surveyed Tree
- Undersize Tree
- ✗ Remove Tree
- Tree Buffer
- - - No Build Zone / 1.5m TPZ Offset
- - - Assumed Excavation

NOTES:

- NON SURVEYED TREE LOCATIONS ARE APPROXIMATE. LOCATIONS CAN ONLY BE CONFIRMED BY A REGISTERED BC LAND SURVEYOR
- RED TPZ INDICATES POOR RETENTION SUITABILITY, ALL OTHERS ARE GOOD OR MODERATE, REFER TO ARBORIST REPORT
- SURVEYED HEDGEROWS ARE UNDERSIZED AND OR SMARAGD CEDARS

NOTES:

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- RED TPZ INDICATES POOR RETENTION SUITABILITY, ALL OTHERS ARE GOOD OR MODERATE, REFER TO ARBORIST REPORT
- SURVEYED HEDGEROWS ARE UNDERSIZED AND OR SMARAGD CEDARS

TREE PLAN FOR CONSTRUCTION AT
14069, 14079, 14089 103 AVE &
10313 141 ST,
SURREY
SITE PLAN
 SCALE:
 DATE: AUGUST 1, 2024
 TREE PLAN BY: AS

WOODRIDGE TREE
CONSULTING ARBORISTS LTD.