

INTER-OFFICE MEMO

Regular Council - Land Use
B.4 7920-0304-00 / -01 / -02
Monday September 23, 2024

TO: City Clerk, Legislative Services Division

FROM: Director of Development Planning, Planning & Development Department

DATE: September 23, 2024 **FILE: 7920-0304-00**

**RE: Agenda Item B.4, September 23, 2024 Regular Council – Land Use
Development Application No. 7920-0304-00
Replacement Pages for the Appendix VII of the Planning Report**

Development Application No. 7920-0304-00 is on the agenda for consideration by Council at the September 23, 2024 Regular Council – Land Use Meeting under Item B.4

After finalizing the Planning Report for the September 23, 2024 Regular Council – Land Use Agenda, the applicant provided a minor update to the Tenant Relocation Plan document that is attached as Appendix VII to the planning report.

Pages 1 and 5 of Appendix VII of the Planning Report have been updated to reflect this change.

The replacement pages for Appendix VII of the Planning Report detailing the changes are attached to this memorandum.



Shawn Low
Director of Development Planning
Planning & Development Department

Attachment - 7920-0304-00- Replacement Pages 1 and 5 of Appendix VII

c.c. - City Manager

September 12, 2024

City of Surrey

Planning and Development Department
Surrey City Hall, 2nd Floor
13540-104th Avenue
Surrey BC, V3T 1V8

To: Mr. Keith Broersma, Planning and Development

**Re: 13301 104th Avenue, Surrey B.C.; ‘Bristol Estates’ – (the “Property”)
REVISED Tenant Relocation Plan prepared by Bristol Estates 13301 GP Ltd.**

Bosa Properties Inc., on behalf of its subsidiaries, Bristol Estates 13301 GP Ltd. and the registered owner of the Property, Bristol Estates 13301 Holdings Ltd. (collectively, the “**Applicant**”), has submitted a General Development Permit Application including a Tenant Relocation Plan (the “**TRP**”) to the City of Surrey which was granted Third Reading by City of Surrey Council on August 8th, 2022.

The Applicant wishes to submit the following revised Tenant Relocation Plan (the “**Revised TRP**”) to the City in order to account for the following: (i) a phasing update, reflecting the condition of the existing buildings on the Property; (ii) additional practical considerations for construction phasing as described herein; and (iii) a proposal that the replacement rental units required to be constructed on the same development site as the original units under Policy O-61, be moved from the Property to an affiliated development project situated in close proximity to the Property, at 13587 104th Avenue, Surrey (the “**PARKWAY Tower 2 Development**”), which site is owned and currently under development by Bosa Properties Inc. through its subsidiary, Bluesky Properties (Brightside) 2020 Inc.

This Revised TRP also provides updated program details and information on phasing, with tenant relocation occurring in a single phase and tied to the **Rezoning Enactment (4th Reading) of the General Development Permit issuance of necessary permits**, which will trigger a Fourt Month Notice to End Tenancy period for tenant relocations under the *Residential Tenancy Act* (RTA) and in accordance with Policy O-61.

The Applicant will be responsible for administering the Revised TRP. In furtherance thereof, we have retained a dedicated Tenant Relocation Coordinator to engage with all tenants who meet the requirements of being an “Eligible Tenant” under policy O-61 (as defined and described in section 3 below). The Tenant Relocation Coordinator will administer the tenant relocation program and provide assistance as needed for all Eligible Tenants.

Details on the Revised TRP are provided in the sections that follow:

1. Existing Rental Housing at 13301 104th Avenue, Surrey B.C
2. Secured Rental Replacement Homes in the development at 13587 104th Ave, Surrey (the PARKWAY Tower 2 Development)
3. Developer’s Commitment to Tenants
4. Relocation Plan
5. Relocation Coordinator Details
6. Communication Plan
7. Reporting

required to sign waivers confirming they are only eligible for the standard compensation and notice requirements under the RTA *(Per O-61)*

Compensation

Eligible Tenants may start looking for new accommodations and may wish to move out anytime prior to the issuance of permits and being served with a formal Four Month Notice to End Tenancy. In this case, a Mutual Agreement to End Tenancy may be entered into between the tenant and landlord to end the tenancy early, as agreed upon between the parties therein. Eligible Tenants who wish to enter into a Mutual Agreement to End Tenancy with the Applicant landlord will be provided with **Three Months' Rent or equivalent, pursuant to Policy O-61, at the Tenant's discretion**, in addition to tenant relocation assistance, if desired, to assist them in finding another rental unit in which to relocate as described in this Revised TRP.

We confirm that some Eligible Tenants may wish to exercise their legal right to stay in their rental unit on the Property, until they are served with a formal Notice to End Tenancy by the Applicant which provides for not less than four months' notice of the deadline to vacate their rental unit on the Property. Such tenants will be provided with relocation assistance and **Three Months Rent or equivalent at the Tenant's discretion** at that time. This compensation could be provided as a lump sum payment, or free rent or a combination of both, at the discretion of the tenant. *(Per O-61)*

Four-Month Notice to End Tenancy

Once the requisite City permits are in place to either permit demolition ~~or at the time of Rezoning Enactment being approved for the General Development Permit Application~~ or at the time of Rezoning Enactment being approved for the General Development Permit Application, the Applicant will ensure all remaining tenants receive at least four months' notice before they must vacate their current rental units on the Property. This notice period will allow them sufficient time to find alternate accommodation and move their belongings. *(Per O-61)*

Relocation Assistance

Tenant relocation requires cooperation between the Tenant Relocation Coordinator and Eligible Tenants.

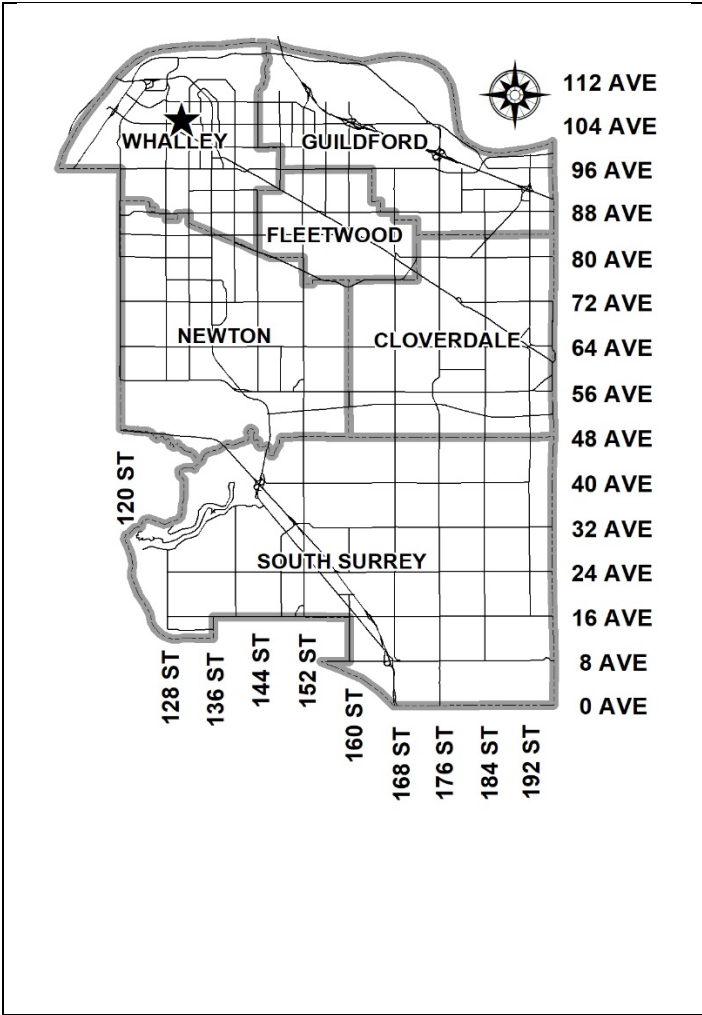
Eligible Tenants have the choice to decide if they wish to have relocation assistance or not. Those who wish to receive such assistance will be provided with the following:

- Assistance in finding a minimum of 3 options of comparable rental units in the City of Surrey, with at least one option in the same neighbourhood where possible, unless otherwise agreed to by the tenant. *(Per O-61)*
- The Tenant Relocation Coordinator will endeavour to find 3 options at no more than 10% above the Canadian Mortgage and Housing Corporation (CMHC) average rent for the applicable rental unit size in the City of Surrey, unless agreed to by the tenant. *(Per O-61)*
- In cases where the tenant's current rent is more than 10% above the CMHC average rent, the Tenant Relocation Coordinator will make efforts to help find accommodation at the maximum of the tenant's current rent. *(Per O-61)*

City of Surrey
ADDITIONAL PLANNING COMMENTS

Application No.: 7920-0304-00
 7920-0304-01
 7920-0304-02

Planning Report Date: September 23, 2024



PROPOSAL:

- **OCP Amendment** of Figure 16: Downtown Densities from "3.5 FAR" to "5.5 FAR"
- **CCP Amendment** from "Mid to High Rise Residential" to "High Rise Mixed Use Type I" and to shift the alignment of the new north-south road
- **Rezoning** from RM-45 to CD
- **General Development Permit**
- **Detailed Development Permits for Towers 1 and 3**

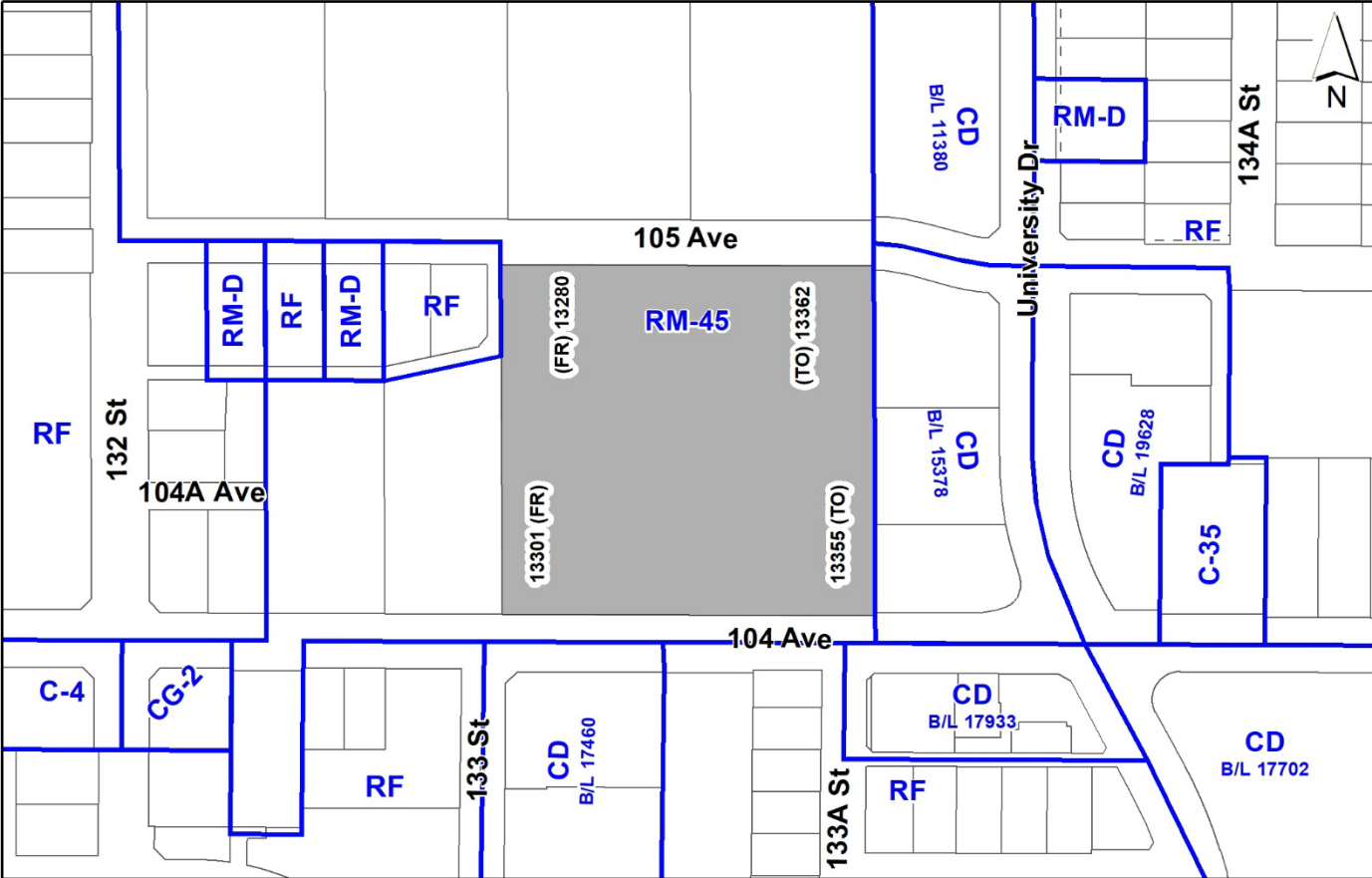
to permit the development of five high-rise residential buildings (three buildings are mixed use) as part of a multi-phased development with approximately 2,686 dwelling units (including 491 rental units) and 1,440 sq.m. of commercial space (including a childcare centre) in City Centre.

LOCATION: 13301 to 13355 – 104 Avenue
 13280 to 13362 – 105 Avenue

ZONING: RM-45

OCP DESIGNATION: Downtown

CCP DESIGNATION: Mid to High Rise Residential



RECOMMENDATION SUMMARY

- Council file Rezoning Bylaw No. 20720 and Official Community Plan Amendment Bylaw No. 20719.
- Rezoning By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft General Development Permit No. 7920-0304-00 for Form and Character.
- Approval to draft Detailed Development Permit No. 7920-0304-01 for Form and Character for Tower 1.
- Approval to draft Detailed Development Permit No. 7920-0304-02 for Form and Character for Tower 3.
- By-law Introduction, First, Second and Third Reading for a Housing Agreement.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing an Official Community Plan (OCP) amendment to amend Figure 16: Downtown Densities from "3.5 FAR" to "5.5 FAR".
- The applicant is proposing an amendment to the City Centre Plan from "Mid to High Rise Residential" to "High Rise Mixed Use Type I" and to shift the alignment of the new north-south road.
- The proposal partially complies with Policy O-61 Rental Housing Redevelopment: Rental Replacement and Tenant Relocation Assistance. Existing rental housing units are proposed to be replaced at a higher than 1:1 replacement ratio, however, of the 221 proposed rental replacements units (to be located nearby at 13587 – 104 Avenue on a site owned by the applicant, and increased from the 185 replacement rental units initially proposed), only those offered to existing eligible tenants with the right of first refusal are proposed to be provided at rents in line with the affordable rental rates for low to moderate income households (defined as 10% below current Canadian Market and Housing Corporations (CMHC) average rents) as specified in the Policy.

RATIONALE OF RECOMMENDATION

- At the July 25, 2022, Regular Council – Land Use meeting, Council granted First and Second Readings to OCP Amendment Bylaw No. 20719 and Rezoning Bylaw No. 20720, and authorized staff to draft a General Development Permit for Form and Character. At the August 8, 2022 Regular Council – Public Hearing meeting, Council granted Third Reading to the corresponding OCP Amendment and Rezoning Bylaws.

- The original proposal was for six buildings (five high-rise residential buildings and one, mid-rise rental apartment building) as part of a five-phased development consisting of approximately 2,200 dwelling units.
- The subject property was sold and the new owners have proposed some changes to the original project that Council had supported in 2022. The new owner is proposing some adjustments to the land use, floor area ratio (FAR), lot coverage, building height, and setbacks within each of the three proposed lots (blocks). It is recommended that Council file the existing Rezoning By-law No. 20720 and consider the new Rezoning By-law being brought forward that reflects the updated proposal.
- It is recommended that Council also file the existing OCP Amendment Bylaw No. 20719 currently at Third Reading and bring forward a new OCP amendment bylaw concurrently with the proposed new rezoning bylaw for Public Hearing, so that the OCP amendment bylaw is linked to a rezoning bylaw. The OCP amendment proposed is the generally the same as before, except that the name of the OCP designation for the City Centre area has changed from "Central Business District" to "Downtown", and therefore the proposed amendment reflects the updated wording.
- The applicant has provided a Tenant Assistance and Relocation Plan (see Appendix VII), as required under City Policy No. O-61, outlining the relocation strategy for the existing rental tenants on the subject site. The applicant's assistance and proposed relocation efforts for the existing residents meets the requirements of Surrey's City Policy No. O-61.
- In accordance with the rental replacement requirements of Surrey's City Policy No. O-61, the applicant is proposing to replace all 156 existing rental units with 221 new rental units with a total of 307 bedrooms in the nearby 'Parkway Tower 2' Development (13587 - 104 Ave), which is owned by the applicant, and which was done under Development Application No. 7923-0218-00. Moving the replacement requirement to the 'Parkway Tower 2' Development (13587 - 104 Ave) allows for delivery of replacement rental units nearly a year earlier than at the subject site.
- All existing eligible tenants with the right of first refusal are proposed to be offered rents in line with the affordable rental rates for low to moderate income households (defined as 10% below current Canadian Market and Housing Corporations (CMHC) average rents) as specified in the Policy. However, the remainder of the rental units would be offered at market rents.
- The applicant is also proposing to provide 491 rental units in Tower 3 on the subject site (an increase from the 185 rental units previously proposed in 2022). The proposed Housing Agreement will restrict the dwelling units to rental for a period of 60 years.
- The proposed buildings achieve an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interfaces have been designed to a high quality to achieve a positive urban experience between the proposed buildings and the public realm.

- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.
- The provincial legislation introduced in December 2023 designates the site within a SkyTrain Station Transit Oriented Area (TOA), Tier 2, which requires a minimum FAR of 4.0 as well as a minimum building height of 12-storeys.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council file Rezoning Bylaw No. 20720 and also Official Community Plan Amendment Bylaw No. 20719.
2. An OCP amendment Bylaw be introduced to amend Figure 16: Downtown Densities from "3.5 FAR" to "5.5 FAR" and a date be set for Public Hearing.
3. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
4. A By-law be introduced to rezone the subject site from "Multiple Residential 45 Zone (RM-45)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
5. A By-law be introduced to enter into a Housing Agreement and be granted First, Second and Third Reading.
6. Council authorize staff to draft General Development Permit No. 7920-0304-00 generally in accordance with the attached drawings (Appendix I).
7. Council authorize staff to draft Detailed Development Permit No. 7920-0304-01 for Tower 1 generally in accordance with the attached drawings (Appendix II).
8. Council authorize staff to draft Detailed Development Permit No. 7920-0304-02 for Tower 3 generally in accordance with the attached drawings (Appendix III).
9. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant enter into a Housing Agreement with the City to secure 491 dwelling units in the proposed 43-storey building (Tower 3), as rental housing for a minimum period of 60 years;

- (g) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
- (h) registration of a Section 219 Restrictive Covenant to reflect the 491 rental units and ensure the proposal will adequately address the City's needs with respect to Public Art, Affordable Housing and Capital Project CACs (Tier 1 and Tier 2) if the market rental tenure of the proposed development changes, at any point in the future;
- (i) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the proposed Comprehensive Development Zone (based on the RM-135 Zone), at the rate in effect at the time of Final Adoption;
- (j) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
- (k) registration of a volumetric statutory right-of-way for public rights-of-passage for the area between the building face and the street edges and for the east-west walkway between Towers 1 and 2 and for the public plaza area west of Towers 1 and 2;
- (l) submission of an acoustical report for the units adjacent to 104 Avenue and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
- (m) registration of a Section 219 Restrictive Covenant for "no build" for Towers 2, 4 and 5 until Detailed Development Permit approvals have been granted by the City and the related works and services are installed and roads are constructed;
- (n) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services;
- (o) completion of Highway Licensing Agreements (HLAs) to allow some existing buildings and structures to temporarily encroach into the road dedication of the new north/south road and the proposed 133 Street on the west portion of the site;
- (p) registration of a Section 219 Restrictive Covenant guaranteeing that the buildings will be removed by a certain date and giving the City the authority to remove them if the Owner does not;
- (q) submission of the necessary legal documents to facilitate the proposed relocation plan of the existing tenants, including the interim retention of the existing buildings and possible collection of securities;
- (r) final submission and approval of the Transportation Impact Assessment.

- 10. Council pass a resolution to amend the City Centre Plan to redesignate the land from "Mid to High Rise" to "High Rise Mixed Use Type I" and to shift the alignment of the new north-south road, as shown in Appendix VIII, when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	City Centre Plan Designation	Existing Zone
Subject Site	3-storey rental apartment buildings.	Mid to High Rise Residential	RM-45 (CD Bylaw No. 20720, currently at Third Reading)
North (Across 105 Avenue):	3-storey rental apartment buildings, which are under Development Application No. 7924-0084-00 for a high-rise development (pre-Council).	Mid to High Rise Residential	RM-45
East:	Two 4-storey apartment buildings and a 24-storey residential high-rise.	Mid to High Rise Residential	CD Bylaw No. 15378
South (Across 104 Avenue):	One high-rise residential building and some vacant single family lots (one occupied by a sales centre) that are under Development Application No. 7919-0234-00 for a high-rise building as part of Phase 6 of the West Village Master Plan. The Rezoning was granted Third Reading by Council on December 20, 2021.	High Rise Residential – Type I	CD Bylaw No. 17460 and RF
West (Across future 133 Street):	A 6-storey apartment building under construction, and 3-storey rental apartment buildings, under Development Application No. 7923-0232-00 for two proposed high-rise buildings (at Third Reading).	Low to Mid Rise Residential	CD Bylaw No. 20472 and RM-45

Context & Background

- The subject site involves one large property, approximately 2.6 hectares in size, and is located along 104 Avenue just northwest of City Hall. The site contains a number of 3-storey rental apartment buildings with surface parking and landscaped areas.
- The property is zoned "Multiple Residential 45 Zone" (RM-45) and is designated "Downtown" in the Official Community Plan (OCP) and "Mid to High Rise Residential" in the City Centre Plan.

- At the July 25, 2022 Regular Council – Land Use meeting, Council granted First and Second Readings to the OCP Amendment Bylaw No. 20719 and Rezoning Bylaw No. 20720, and authorized staff to draft the General Development Permit for Form and Character. Council granted Third Reading to the respective OCP Amendment and Rezoning Bylaws at the August 8, 2022 Regular Council – Public Hearing meeting.
- At that time, the applicant proposed five high-rise residential buildings and one, mid-rise rental apartment building as part of a five-phased development consisting of approximately 2,200 dwelling units (including 181 rental units). A 216-square metre childcare centre and an additional 398 square metres of commercial space was also proposed.
- The subject property was sold, and the new owners met with City staff to discuss some proposed changes to the original project. The following table outlines the changes that are proposed:

Criteria	Original Proposal	New Proposal
Land Use	Block A: Residential Block B: Residential Block C: Residential with accessory commercial/retail uses Block D: Residential with a childcare centre Block E: Residential	Blocks A, B and C: Residential with accessory commercial/retail uses
Number of Buildings	6 (5 high-rises and 1 mid-rise)	5 (5 high-rises)
Site Density	8.40 net FAR for the overall site (as noted in the CD Bylaw that was granted Third Reading on August 8, 2022)	8.4 net FAR. The density has been redistributed throughout the site over the 3 proposed lots, but the overall density remains at 8.4.
Lot Coverage	Block A: 46% Block B: 44% Block C: 38% Block D: 34% Block E: 47%	Block A: 56% Block B: 44% Block C: 53% Due to the removal of the mid-rise building, the density was redistributed to the tower podiums, which resulted in some increases
Setbacks	<u>Block A:</u> North Yard: 0 m; South Yard: 6.9 m; East Yard: 4.5 m; West Yard: 4.5 m <u>Block B:</u> North Yard: 4.5 m; South Yard: 4.5 m; East Yard: 6.1 m; West Yard: 4.5 m <u>Block C:</u> North Yard: 5.9 m; South Yard: 10.3 m; East Yard: 7.5 m; West Yard: 6.6 m <u>Block D:</u>	<u>Block A:</u> North Yard: 4.5 m; South Yard: 4.5 m; East Yard: 4.5 m; West Yard: 4.5 m <u>Block B:</u> North Yard: 4.5 m; South Yard: 3.5 m; East Yard: 8.5 m; West Yard: 4.5 m <u>Block C:</u> North Yard: 6.5 m; South Yard: 4.3 m; East Yard: 8.5 m; West Yard: 4.5 m

	North Yard: 0 m; South Yard: 10.8 m; East Yard: 31.2 m; West Yard: 4.5 m <u>Block E:</u> North Yard: 4.5 m; South Yard: 0 m; East Yard: 10 m; West Yard: 4.5 m	The towers are in similar locations due to separation requirements, but some setback are less due to the expansion of the lower podiums of each tower. The site has gone from 5 blocks to 3 blocks, with Blocks A and B each having 2 buildings within the Block.
Building Heights	Block A: 136 m (44 storeys) Block B: 112 m (36) Block C: 148 m (48) Block D: 160 m (52) Block E: 121 m (39)	Block A: 144 m (46 storeys) Block B: 170 m (53) Block C: 138 m (43)

- The applicant has also adjusted the proposal to reflect a 3-lot subdivision instead of the previous 5-lot subdivision. The 3 lots also correspond with 3 zoning blocks, reduced from 5 blocks in the previous proposal.
- In order to reflect current market conditions, the current owner proposes adjustments to the land use, floor area ratio (FAR), lot coverage, building height, and setbacks within each of the three blocks/lots. However, the intended land use and the density of the overall site remains substantially the same as the original project.
- The main changes include going from 6 buildings to 5 buildings (with wider podiums) and going from 185 proposed rental units to 491 proposed rental units.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing:
 - an Official Community Plan Amendment (OCP) to amend Figure 16: Downtown Densities from "3.5 FAR" to "5.5 FAR".
 - a City Centre Plan Amendment (CCP) from "Mid to High Rise Residential" to "High Rise Mixed Use Type I" and to shift the alignment of the new north-south road;
 - Proposed Housing Agreement for 491 units in the Tower 3 rental building;
 - Proposed Rezoning from RM-45 to CD (based on RMC-135 Zone);
 - Proposed Subdivision from one (1) to three (3) lots;
 - Proposed General Development Permit for the entire site and Detailed Development Permits for Tower 1 (southwest corner) and Tower 3 (southeast corner).
- The proposal consists of five high-rise buildings with up to 2,686 apartment units including 491 rental units, a 431 square metre child care centre, and approximately 1,011 square metres of ground floor commercial space. The development is proposed in five phases.

Proposed	
Lot Area	
Gross Site Area:	25,794 sq.m.
Road Dedication:	4,976 sq.m.
Net Site Area:	20,818 sq.m.
Number of Lots Proposed:	3
Building Height:	53 storeys (168 metres)
Floor Area Ratio (FAR):	Gross FAR = 6.8; Net FAR = 8.4
Floor Area	
Residential:	174,342 sq.m.
Commercial:	1,443 sq.m.
Total:	175,785 sq.m.
Residential Units:	
Studio:	423
1-Bedroom:	1,363
2-Bedroom:	895
3-Bedroom:	5
Total:	2,686

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix IV.

School District: The School District has advised that there will be approximately 226 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

- 134 Elementary students at KB Woodward Elementary School
- 54 Secondary students at Kwantlen Park Secondary School

(Appendix V)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy on a phased basis starting in 2029 onward.

- Parks, Recreation & Culture: No concerns. Whalley Athletic Park is the closest active park and includes amenities such as baseball diamonds and a playground. The park is 250 metres from the development. Royal Kwantlen Park is the closest park with natural area, and is 620 metres walking distance from the development.
- Surrey Fire Department: No concerns, but future Detailed Development Permits must be submitted for review.
- Advisory Design Panel: The General Development Permit and Tower 1 Detailed Development Permit were considered at the ADP meeting on April 18, 2014 and were conditionally supported. The Tower 3 Detailed Development Permit was considered at the ADP meeting on September 12, 2024 and was conditionally supported. The applicant has resolved many of the outstanding items from the ADP reviews as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council’s consideration of Final Adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department.
- BC Hydro: The site contains a BC Hydro right-of-way. Some details regarding the right-of-way will be resolved prior to final adoption.
- Fortis BC: The site contains a Fortis right-of-way. Some details regarding the right-of-way will be resolved prior to final adoption.

Transportation Considerations

Road Network & Infrastructure

- 104 Avenue borders the southern property line and is an east-west Arterial Road, where the applicant will dedicate 2.808 metres of land to achieve the ultimate 30.0 metre road allowance and construct the north side with a cycle track, boulevard with street trees/streetlighting and new sidewalk at the property line.
- 105 Avenue borders the northern property line and is an east-west Collector Road, where the applicant will dedicate 1.942 metres to achieve the ultimate 24.0 metre road allowance and construct the south side with a cycle track, boulevard with street trees/streetlighting and new sidewalk at the property line.
- 133 Street borders the western property line and is a north-south Local Road, where the applicant will provide varying dedication (meeting the road alignment established under Development Application No. 7923-0393-00) to achieve the ultimate 20.0 metre road allowance and construct the east side with a parking pocket, boulevard with street trees/streetlighting and new sidewalk at the property line.
- A new north-south Local Road (to be named) will bisect the subject site, where the applicant will dedicate the full 20.0 metre road allowance and construct both sides of the road with parking pockets, boulevards with street trees/streetlighting and sidewalks at the property lines.

Traffic Impacts

- Given the scale and uses of the proposed development, a Transportation Impact Analysis (TIA) was required to evaluate traffic impacts to the surrounding network and identify any required improvements to mitigate impacts. A finalized TIA will be required prior to final adoption.
- According to industry standard rates, the proposal is anticipated to generate approximately 9 vehicle trips every minute in the peak hour.
- Due to the traffic volume generated by the subject site and to promote walkability with closer spaced controlled intersections, the applicant will be contributing towards the design and construction of a new traffic signal at the intersection of 104 Avenue & 133 Street, along with multiple other developments in vicinity of the intersection.

Transit

- The proposed development is located adjacent to existing transit service on 104 Avenue, serviced by Routes #323/#324/#393 (Newton Exchange / Surrey Central Station) and #373 (Guildford / Surrey Central Station), as well as being less than 200 m from University Drive stops serviced by Routes #321 (White Rock / Newton / Surrey Central Station), #335 (Newton / Surrey Central Station), and #371 (Surrey Central / Scott Road Station).
- Surrey Central SkyTrain Station and surrounding transit hub are approximately 500 metres southeast from the subject site (approximately 8-minute walk), which is serviced by rapid transit and standard bus routes that connect to every adjacent municipality and community within Surrey.

Access and Parking

- Access to Towers 1 and 2 is from the proposed 133 Street. Access to Towers 3 and 4 is from the proposed new north-south road. Access to Tower 5 is proposed from 105 Avenue.
- As the subject site is located within a Transit Oriented Area (TOA), there is no minimum residential parking requirement. The applicant will provide the minimum required on-site parking for the ground-level commercial uses and accessible parking per the Zoning Bylaw.
- The applicant is proposing to provide 2,030 residential parking spaces and 245 residential visitor parking spaces. Thirty-two (32) commercial parking spaces and 34 daycare parking spaces are proposed. One hundred thirty-five (135) parking spaces are proposed.
- The applicant is providing the required 3,222 residential bike parking spaces, plus at least 6 visitor bike parking spaces for each building.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist. This project will be required to meet a minimum of Step 3 of the BC Energy Step Code.
- The building will be connected to the City's District Energy system Area A.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposed development is compliant with the Urban Centres (Surrey Metro Centre) Land Use Designation of Metro Vancouver's Regional Growth Strategy (RGS).

Official Community Plan

Land Use Designation

- The subject site is designated Downtown in the OCP, with maximum permitted density of 3.5 FAR as noted in Figure 16 of the OCP.
- The proposed development does not comply with the OCP. Therefore, the applicant has proposed an OCP Amendment to amend Figure 16 for the site from 3.5 FAR to 5.5 FAR.

Amendment Rationale

- The proposed density and building form are appropriate for this part of Surrey City Centre, and forms part of an emerging high-density mixed-use hub that will be complementary to the City of Surrey Civic Centre to the south.
- The increased density includes a child-care facility as well as 491 market rental housing units, both of which are in demand in City Centre.
- The site is located near multiple public transit options, including bus service along 104 Avenue, 132 Street and University Drive, and SkyTrain to the southeast. The Surrey Central SkyTrain Station is located about a 5-7 minute walk from the subject site.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report.

Public Consultation for Proposed OCP Amendment

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations, or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Growth Management
 - Accommodating Higher Density: Direct residential development into Surrey's City Centre at densities sufficient to encourage commercial development and transit services expansion.
 - Centres, Corridors and Neighbourhoods:
 - Dynamic City Centre: Concentrate the highest density of residential and mixed-use development within Surrey's City Centre in areas near existing and planned rapid transit stations.
 - Dynamic City Centre: Create an interconnected, short-block, finer-grained network of public streets and green lanes in Surrey's City Centre to support direct, pleasing, and safe pedestrian and cycle movements and to distribute traffic efficiently.
 - Healthy Neighbourhood: Plan and design urban neighbourhoods with sufficient densities to support a higher-quality transit system that is accessible to most residents.
 - Urban Design: Ensure a new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.
 - Housing types: Support a balanced demographic community in City Centre by maintaining a diversity of housing types and unit sizes.
 - Ecosystems
 - Energy, Emissions and Climate Resiliency: Design a community that is energy-efficient, reduces carbon emissions and adapts to a changing environment through a design that meets typical sustainable development criteria.

Secondary Plans

Land Use Designation

- The subject site is designated "Mid to High Rise Residential" in the City Centre Plan (CCP).
- The proposed development does not comply with the CCP. Therefore, the applicant has proposed a City Centre Plan Amendment to redesignate the entire site to "High Rise Mixed Use Type I".

Amendment Rationale

- Although the proposed density on the subject site is higher than that prescribed in the City Centre Plan, the proposed, phased high-rise development will support and complement the Central Downtown District of the City Centre.
- The amendment to allow for mixed use reflects the proposed ground floor commercial space in Towers 1 and 3 and a daycare space in Tower 5. Including mixed use in the CCP Amendment also provides for future flexibility, should there be a desire at the Detailed Development Permit stage to add mixed use to either Towers 2 or 4.
- The site is within walking distance of Surrey Central SkyTrain station. The proposed development conforms to the goal of achieving higher density development near public transit, particularly SkyTrain Stations.
- The applicant is proposing to provide a child-care facility and rental units, which are in demand in City Centre.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.

Themes/Objectives

- The proposed development is consistent with the following guiding principles of the City Centre Plan:
 - Build Density and Mixed-Use, by providing a mix of commercial, office and residential space;
 - Encourage Housing Diversity, with a variety of unit types and sizes;
 - Create Vibrant Urban Space, with high quality architectural aesthetics and amenities such as plazas and street furniture to encourage people to interact with the public realm; and Promote Identity and Sense of Place, with a blend of open landscaped spaces and enclosed residential spaces.

CD By-law

- The applicant proposes to rezone the subject site from "Multiple Residential 45 Residential Zone (RM-45)" to "Comprehensive Development Zone (CD)". The current CD Zone (Bylaw No. 20720) is being filed and a new CD Zone is being brought forward for consideration.
- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed mixed-use, phased development consisting of five high-rise buildings and one mid-rise rental apartment building on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 135 Zone (RM-135)" and the "Community Commercial Zone (C-8)".

- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-135 Zone and C-8 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-135 Zone (Part 25) and C-8 Zone (Part 36)	Proposed CD Zone
Floor Area Ratio (Net):	2.5	Block A: 8.0 Block B: 9.6 Block C: 7.4
Lot Coverage:	33%	Block A: 56% Block B: 44% Block C: 53%
Yards and Setbacks	50% of the height of the building	Block A: North: 4.5 metres South: 4.5 metres East: 4.5 metres West: 4.5 metres Block B: North: 4.5 metres South: 3.5 metres East: 8.5 metres West: 4.5 metres Block C: North: 6.5 metres South: 4.5 metres East: 8.5 metres West: 4.5 metres

Principal Building Height:	N/A	Block A: 144 metres Block B: 170 metres Block C: 138 metres
Permitted Uses:	<p>The RM-135 Zone permits multiple unit residential buildings and ground-oriented multiple unit residential buildings.</p> <p>The C-8 Zone permits commercial uses including:</p> <ul style="list-style-type: none"> • Retail stores • Personal service uses • General service uses • Beverage container return centres • Eating establishments • Neighbourhood pubs • Liquor store • Office uses • Parking facilities • Automotive service uses • Indoor recreational facilities • Entertainment uses • Assembly halls • Community services • Child care centres • Cultural uses • Accessory Uses: <ul style="list-style-type: none"> ○ Caretaker unit 	<p>All blocks will comply with the residential component of the RM-135 Zone.</p> <p>Commercial uses will include the following, permitted in all three Blocks:</p> <ul style="list-style-type: none"> • Retail stores • Personal service uses • General service uses • Eating establishments • Neighbourhood pubs • Liquor store • Office uses • Indoor recreational facilities • Community services • Child care centres • Cultural uses
Amenity Space		
Indoor Amenity:	4,840 square metres required	The proposed 4,723 square metres plus cash-in-lieu meets the Zoning By-law requirement.
Outdoor Amenity:	8,159 square metres required	The proposed 8,187 square metres exceeds the Zoning By-law requirement.
Parking (Part 5)		Required
Number of Stalls		Proposed
Commercial:	32	32
Child Care Centre:	32	32
Residential:	135 accessible spaces	135 accessible spaces, which is included in the proposed 2,030 residential spaces
Residential Visitor:	0	245
Total:	198	2,309

Bicycle Spaces		
Residential Secure Parking:	3,222	3,223
Residential Visitor:	30	30

- The proposed CD Bylaw will incorporate similar uses as the RM-135 Zone and C-8 Zones, which will provide flexibility should commercial space be desired in Towers 2 or 4 in the future, when these Towers come in for a Detailed Development Permit. However, the C-8 Zone uses of beverage container return centres, parking facilities, automotive service uses, entertainment uses, assembly halls are not included in the proposed CD Zone, as these uses are less conducive in a higher density residential setting.
- The applicant is proposing reductions for all setbacks in the CD By-law. The reduction in building setbacks is supportable as they allow for more active engagement of the streets, which is desirable for the City Centre area and consistent with the City Centre Plan design guidelines.
- The proposed density and building height are supportable at this location in the West Village District of City Centre. The proposed overall net density is 8.4 Floor Area Ratio (FAR). The proposed building heights, that range from 42-storeys to 52-storeys, and overall massing of the project are generally consistent with City Centre Plan goals.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City’s Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City’s Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No. R037;2023.
- The proposed development includes 491 market rental units in Tower 3 that will be secured through a Housing Agreement. As such, these units within the development proposal will not be subject to the Tier 1 or Tier 2 Capital Plan Project CACs.
- The applicant will be required to register a Section 219 Restrictive Covenant on title specifying that, if there is a future change in residential tenure, the applicable Tier 1 and Tier 2 CACs will be paid to the City at the rate in effect at the time of final approval.
- The proposed residential strata units will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit issuance. The current rate is \$2,227.85 per new unit.
- The proposed development will also be subject to the Tier 2 Capital Plan Project CACs for all residential floor space, with the exception of the residential rental units secured with the Housing Agreement. The contribution will be payable at the rate applicable prior to Final Adoption. The current rate is \$44.56 per square foot for apartments.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,113.92 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.
- The proposed 491 rental units are exempt from the provision of this policy. The applicant will be required to register a Section 219 Restrictive Covenant, making the fees payable if there is a future change in tenure from the market rental, to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

City Policy O-61 (Rental Housing Redevelopment: Rental Replacement and Tenant Relocation Assistance)

- On April 9, 2018, Council approved Corporate Report No. Ro66; 2018 which outlined City Policy O-61 - Rental Housing Redevelopment: Rental Replacement and Tenant Relocation Assistance Policy as part of Surrey's Affordable Housing Strategy: A Focus on Rental Housing.
- The Surrey Affordable Housing Strategy includes specific strategies to prevent the loss of purpose-built rental housing and strengthen protection for tenants. The Rental Housing Redevelopment Policy (City Policy O-61) sets out requirements for redevelopment of purpose-built rental housing and provision of assistance to tenants when redevelopment occurs.
- The following illustrates the rental replacement requirements and the applicant's response (Staff's comments in italics):
 - Redevelopment of a purpose-built rental site requires replacement of the existing rental units within the new development.
 - There are 156 rental units in the existing 3-storey apartment buildings on the subject site. The applicant proposes to replace these existing 156 rental units with 221 purpose-built rental units in the nearby 'Parkway Tower 2' Development (13587 - 104 Ave), which is owned by the applicant, and which was done under Development Application No. 7923-0218-00. The Housing Agreement for Development Application No. 7923-0218-00 was approved by Council on February 26, 2024.

(The applicant is proposing 221 market rental units, exceeding the 156 rental units required to replace the number of existing rental units.)

- Replacement of purpose-built rental units shall include, at a minimum, the same number of total bedrooms as in the original development.
 - A total of 307 bedrooms will be provided in the 221 purpose-built rental units in the nearby 'Parkway Tower 2' Development (13587 - 104 Ave) under Development Application No. 7923-0218-00.

(The applicant is proposing 307 bedrooms meeting the requirement to replace the existing 307 bedrooms.)

- Replacement units are required to be 'affordable rental' for low to moderate income households, rented at a maximum of 10% below current Canadian Market and Housing Corporation (CMHC) average rents for the applicable unit size in the City of Surrey. Current average rental rates for Surrey are provided in CMHC's Rental Market Report: Vancouver CMA, which is released annually in the fall.
 - The applicant is proposing to replace the existing 156 rental units with 221 rental units in the nearby 'Parkway Tower 2' Development (13587 - 104 Ave), however, only those units offered to existing eligible tenants with the right of first refusal are proposed to be provided at rents in line with the affordable rental rates for low to moderate income households (defined as 10% below current Canadian Market and Housing Corporations (CMHC) average rents) as specified in the Policy. The remainder of the rental units would be offered at market rents. In addition, the units occupied under the right of first refusal would subsequently be offered at market rents at such as time as the existing eligible tenants vacate.

(The applicant acknowledges that the proposed affordable housing rental rates do not comply with Policy O-61 but has indicated that due to the cost of concrete construction, the rental building is anticipated to be operating at a deficit in the near term. In the longer term, with the turnover of the units occupied by tenants who exercised their right of first refusal, it is anticipated the rental building would gradually transition to more positive economic returns.)

- Affordable rental replacement rental units have been secured as rental with a Housing Agreement at the nearby 'Parkway Tower 2' Development (13587 - 104 Ave). In addition to tenure, the Housing Agreement addresses requirements for rental rates, administration and management of the units, and the requirement of annual reporting to the City on the operations of the affordable rental replacement units.

- As per above discussion, under Development Application No. 7923-0218-00 the applicant has completed a Housing Agreement for the 'Parkway Tower 2' (13587 - 104 Ave) to allocate 221 dwelling units as the replacement rental units for Bristol Estates. The Housing Agreement restricts the dwelling units to rental for a period of 60 years.
- The affordable rental replacement units must be managed by a non-profit organization, or a nonprofit / social enterprise property management firm as approved by the City.
 - The applicant proposes to own and manage the rental building and to verify that the rental tenancy agreements comply with the below market requirements for eligible tenants exercising their right of first refusal.
- Replacement rental units shall be located on the same development site as the original units. In special cases, replacement units off-site may be considered, at a location in the same neighbourhood.
 - All proposed replacement units are to be located on the nearby 'Parkway Tower 2' Development (13587 - 104 Ave), which is also owned by the applicant.

(Moving the replacement requirement to the nearby 'Parkway Tower 2' Development (13587 - 104 Ave) allows for delivery of the replacement rental units nearly a year earlier than at the subject site.)
- A proposal acceptable to the City shall be provided by the Proponent with the development application. The proposal shall outline how the Proponent's application meets the rental replacement requirements of the Policy.
 - The applicant submitted an updated proposal on September 12, 2024. (See Appendix VII - Tenant Assistance and Relocation Plan).
- In accordance with Policy O-61, the applicant has been proactive and has taken the following actions:
 - Existing eligible tenants will be given the opportunity to rent a unit (Right of First Refusal) in the nearby 'Parkway Tower 2' Development (13587 - 104 Ave), when completed;
 - Appointed a Tenant Relocation Coordinator to facilitate communications with the tenants throughout the development proposal process;
 - Drafted a Tenant Assistance and Relocation Plan (Appendix VII) that outlines potential financial compensation, relocation assistance, and right of first refusal; and
 - Drafted and initiated a Communications Plan illustrating the development approval process and when and how residents are notified of the process and opportunities for input.
- The proposal is deemed to generally comply with the rental replacement requirements of City Policy O-61, and therefore staff are supportive of the proposal proceeding to a Public Hearing.

Housing Agreement

- Section 483 of the Local Government Act authorizes local governments to enter into Housing Agreements, for terms and conditions agreed to by the owner and the local government that pertain to the occupancy of the housing units.
- The proposed Housing Agreement will regulate the 491 dwelling units, restricting them to rental tenure for a period of 60 years. The City may from time to time require that the owner of the building provide written proof of compliance with the Housing Agreement. The attached Housing Agreement (Appendix X) will be adopted by Bylaw and registered on title of the property.
- The Housing Agreement Bylaw will be brought forward for final adoption concurrently with final adoption of the associated OCP Amendment and Rezoning Bylaws and the issuance of the Development Permit, once all of the outstanding conditions associated with the application are fulfilled.

PUBLIC ENGAGEMENT

- Pre-notification letters with the updated proposal were sent on June 11, 2024, and the Development Proposal Signs were installed on July 22, 2024. Since the project initially received Third Reading on August 8, 2022, staff received three responses from area residents. One resident was looking for the applicant’s contact person for tenant relocation. Another respondent had some general questions about the project but did not indicate any specific concerns. Another respondent had some questions about the interface and the trees along the eastern property line (*staff comments in italics*):

(Staff provided the contact information for the applicant’s tenant relocation contact person. The off-site trees along the eastern property line are proposed to be retained, and the eastern interface is to be sensitively designed.)

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a General Development Permit for Form and Character and is also subject to the urban design guidelines in the City Centre Plan.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the City Centre Plan.
- The applicant has worked with staff to:
 - Develop an appealing mixed-use project that integrates engaging, publicly accessible open spaces and an attractive public realm;
 - Improve the pedestrian experience with a focus on key placemaking nodes; and
 - Design the podium and tower with a simple yet attractive architectural expression.

- The applicant proposes five towers with primarily residential podiums, including a purpose-built rental building (Tower 3), proposed child care in Tower 5, and a convenience retail node on 104 Avenue in Towers 1 and 3. The project height is oriented so that the tallest tower is in the centre of the site.
- The proposal consists of 2,686 dwelling units, 1,011 square metres of commercial floor space, 431 square metres of child care floor space and an overall net Floor Area Ratio (FAR) of 8.4.
- The development creates new connectivity for pedestrians, cyclists, and vehicles through the dedication of two new public streets that runs north-south; 133 Street is being delivered with the properties to the west and the other street is solely being delivered by the subject application. Bisected by the new road, the site's scale will be reduced by pedestrian pathways and a variety of open spaces, creating a comfortable and accessible public realm.
- The street interfaces include apartments at grade with a 2-storey expression and lobby structures that create active edges. Commercial units along 104 Avenue and the new interior north-south road will activate the street. The applicant is also proposing a public plaza space along the new north-south road that will activate the interior of the site.
- Changes in grade, texture and materials are used to gently delineate private, semi-private and public spaces inside the development.
- The applicant has worked with staff to develop a design that incorporates City Centre urban design guidelines and principles through tower height and massing refinement, public realm, and street interface. However, subsequent Detailed Development Permit applications are required for Towers 2, 4 and 5.
- The proposed development received 'support' from the Advisory Design Panel (ADP) at the April 18, 2024 ADP meeting (for General Development Permit and Tower 1 Detailed Development Permit) and the September 13, 2024 ADP meeting (for Tower 3 Detailed Development Permit). The applicant is required to address both the April 18, 2024 ADP comments and the September 13, 2024 ADP comments prior to final adoption (Appendix IX).

Towers 1 and 3 Detailed Development Permits

- The applicant is proposing a Detailed Development Permit for each of Tower 1 and Tower 3, as part of the subject application. Towers 2, 4 and 5 will be subject to subsequent Detailed Development Permit applications.
- Tower 1 is located at the southwest corner of the site, along 104 Avenue. It is proposed to be 44 storeys, with 521 residential units and 510 square metres of commercial retail space on the ground floor along 104 Avenue.
- Tower 3 is located at the southeast corner of the site, along 104 Avenue. It is proposed to be 43 storeys, with 491 market rental residential units and 501 square metres of commercial retail space on the ground floor along 104 Avenue.

- The Tower 1 and 3 podiums fronting 104 Avenue feature a cohesive yet distinct style, creating a notable commercial node at the intersection with the new north-south road. Tower 3's podium ranges from 1 to 5 storeys, offering engaging frontage conditions, while Tower 1 has a higher podium reaching up to 9 floors, sharing similar design elements.
- The terraced podium design also creates a pleasant, valley-like space, enhancing pedestrian access to the neighbourhood green space at the core of the Master Plan site.
- Both towers are sculpted to optimize sunlight, reduce shadows, and minimize overlooking.
- The warm, earthy colors of the fiber cement and metal panels on the stepped podiums and tower portion grounds the buildings, seamlessly integrating the buildings with the landscape's hard and softscaping palette.

Signage for Towers 1 and 3

- Signage for the commercial units is proposed to be self-illuminated, canopy-mounted, channel letter fascia signage.
- The applicant is proposing to have a fascia sign identifying the building address number near the main residential lobby entrance of each building.

Outstanding Items

- The applicant is required to resolve all outstanding urban design and landscaping issues and Advisory Design Panel comments prior to final adoption, as follows:
 - Clarification of phasing, interim interface conditions, and associated requirements;
 - Refinement of the public realm, and project interfaces including detailed urban plaza concepts, grading, retaining walls, surface parking, at-grade utility locations, and all landscape features; and
 - Refinement of building massing and elevations, focusing on materiality, balconies, and tower top.

Indoor Amenity

- As per the Indoor Amenity Space requirements of the Zoning Bylaw No. 12000, high-rise towers must provide 3 square metres of indoor amenity space per unit up to 557 square metres per tower, which equates to 186 units, plus 1 square metre per unit above 557 square metres.
- Based upon the City's Zoning Bylaw requirement, the proposed high-rise towers must provide a total of 4,840 square metres of indoor amenity space for the proposed 2,686 residential units. The applicant is proposing 4,723 square metres of indoor amenity space located throughout the building, which is a shortfall of 118 square metres as required under the Zone, as per the below table:

	Required Indoor Amenity Space	Proposed Indoor Amenity Space
Tower 1	1,037 sq.m.	1,014 sq.m.
Tower 2	954 sq.m.	954 sq.m.
Tower 3	1,014 sq.m.	896 sq.m.
Tower 4	969 sq.m.	982 sq.m.
Tower 5	867 sq.m.	877 sq.m.
Total	4,840 sq.m.	4,723 sq.m.

- Each tower meets the minimum Zoning Bylaw requirements for physical indoor amenity space (372 square metres) and the applicant will provide cash-in-lieu of indoor amenity space for the small deficit at the rate in effect at the time of Final Adoption of the Rezoning By-law.
- Each tower is proposing ground floor indoor amenity space and also upper level amenity space. The exact size and details of the amenity spaces for Towers 2, 4 and 5 will be confirmed as part of the future Detailed Development Permits.
- Tower 1’s indoor amenity space is located on the ground floor and the ninth floor seventh floor, adjacent to the ninth floor outdoor amenity area on top of the podium. The ground floor indoor amenity space contains a large lounge and kitchen area, with two smaller separate eating areas also with kitchen facilities, and also a meeting room area. A mezzanine area has a co-working space. The ninth floor indoor amenity area contains lounge areas with a bar and washrooms.
- Tower 3’s indoor amenity space is located on the ground floor and the sixth floor seventh floor, adjacent to the sixth floor outdoor amenity area on top of the podium. The ground floor indoor amenity area consists of a large meeting room and a gym space with washroom/shower facilities. The sixth floor indoor amenity area contains lounge areas with a bar and washrooms.

Outdoor Amenity

- As per the Outdoor Amenity Space requirements of the Zoning Bylaw No. 12000, high-rise towers must provide 3 square metres of outdoor amenity space per unit and 4 square metres per unit for micro units. Based on this requirement, a total of 8,159 square metres of outdoor amenity space for the proposed 2,686 residential units. The applicant is proposing 8,187 square metres of outdoor amenity space, which exceeds the requirements of the Zoning Bylaw, as per the below table:

	Required Outdoor Amenity Space	Proposed Outdoor Amenity Space
Tower 1	1,611 sq.m.	1,611 sq.m.
Tower 2	1,746 sq.m.	1,746 sq.m.
Tower 3	1,526 sq.m.	650 sq.m.
Tower 4	1,791 sq.m.	2,695 sq.m.
Tower 5	1,485 sq.m.	1,485 sq.m.
Total	8,159 sq.m.	8,187 sq.m.

- Outdoor amenity space is provided for each tower. Overall the site is providing the required outdoor amenity area. The larger outdoor amenity area for Tower 4 and the smaller outdoor amenity for Tower 3 reflect the site geometry and programming, in which Tower 3 has less ground floor outdoor amenity space around it while Tower 4 has more ground floor amenity space. The exact size and details of the outdoor amenity spaces for Towers 2, 4 and 5 will be confirmed as part of the future Detailed Development Permits.
- Tower 1's outdoor amenity space is located on ground floor and the ninth floor podium area. Both outdoor amenity areas are adjacent to indoor amenity spaces. The ground floor outdoor amenity area contains outdoor seating areas, and also a plaza space that also functions as a public gathering space. The ninth floor outdoor amenity space contains landscaping, outdoor seating, BBQ areas and a children's play area.
- Tower 1's outdoor amenity space is located on ground floor and the sixth floor podium area. Both outdoor amenity areas are adjacent to indoor amenity spaces. The ground floor outdoor amenity area contains an outdoor gathering area. The sixth floor outdoor amenity space contains landscaping, outdoor seating, fire pits, and a kitchen space.

Landscaping

- The landscape concept has been designed to respond to the urban core of City Centre as an active, pedestrian-friendly space, oriented to people living, working, and recreating in the City Centre. The overall design considers site circulation and incorporates an inclusive interface between the public and private realm.
- The landscape principles have been focused on a collection of destinations, creating an urban oasis, the function of inside and outside interaction, a unified ground-plane and creating intimacy amongst a tower development.
- Ground level public plaza space is proposed along 104 Avenue, at the intersection with the proposed north-south road. A central plaza space is proposed on the western side of the proposed north-south road. A naturalized play area is proposed along 105 Avenue. A large outdoor landscaped area is proposed between Towers 4 and 5 and also to the east of Tower 4. These outdoor spaces will provide opportunities for gathering and socializing.
- Landscaping is also provided in the upper level outdoor amenity areas on Towers 1 and 3.

TREES

- Max Rathburn, ISA Certified Arborist of Diamond Head Consulting prepared an Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal. A detailed list of the proposed tree retention and removal by tree species can be found in (Appendix VI):
- All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Table 1: Summary of Proposed Onsite Tree Preservation by Tree Species:

	Existing	Remove	Retain
Deciduous Trees	46	46	0
Coniferous Trees	44	44	0
Onsite Tree Totals	90	90	0
Onsite Replacement Trees Proposed	180		
Total Onsite Retained and Replacement Trees	180		

- The Arborist Assessment states that there are a total of 90 bylaw protected trees on the site. Additionally, there are 30 bylaw protected offsite trees and 5 bylaw protected City trees within proximity of the proposed development. The applicant proposes to retain no onsite trees as part of this development proposal. Additionally, 21 offsite trees are proposed for removal on the west side of the site, to allow for the construction of the new 133 Street. The neighbouring site to the west is at Third Reading for a proposed tower development (Development Application No. 7923-0232-00) and as such the applicant and the neighbouring site are cooperating on tree removal and construction of the new 133 Street.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a proposed total of 180 replacement trees on the site. The applicant is proposing 180 replacement trees, meeting City requirements.
- The new trees on the site will consist of a variety of trees including maple, dogwood, beech, oak and sweetgum.
- In summary, a total of 180 trees are proposed to be retained or replaced on the site.

CITY ENERGY

- The subject site is located within Service Area A, as defined in the "City Centre District Energy System By-law" (see Appendix XI for location). The District Energy System consists of three primary components:
 - community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;
 - distribution piping that links the community energy centres with buildings connected to the system; and
 - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building’s mechanical system and is used to meter the amount of energy used.

- All new developments within Service Area A with a build-out density equal to or greater than a floor area ratio (FAR) of 1.0 will be required to provide hydronic thermal energy systems in support of the City's District Energy (DE) system including domestic hot water, make-up air units and in-suite hydronic space heating. The City is committed to having the DE system operational within the timeframe of this project. Therefore, the subject application will be required to connect to the City's DE system prior to occupancy.
- In order to avoid conflicts between the District Energy System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
 - City access to, and maintenance and operation of, the ETS within the building and any infrastructure between the building and the property line; and
 - to prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Zoning Block Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective for General Development Permit
- Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective for Detailed Development Permit for Tower 1
- Appendix III. Site Plan, Building Elevations, Landscape Plans and Perspective for Detailed Development Permit for Tower 3
- Appendix IV. Engineering Summary
- Appendix V. School District Comments
- Appendix VI. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix VII. Tenant Assistance and Relocation Program
- Appendix VIII. City Centre Plan Amendment
- Appendix IX. April 18, 2024 ADP Comments and Response
- Appendix X. Proposed Housing Agreement By-law and Housing Agreement
- Appendix XI. District Energy Map
- Appendix XII. OCP Redesignation Map
- Appendix XIII. Initial Planning Report No. 7920-0304-00 dated July 25, 2022 (without appendices, which are available upon request)

approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development

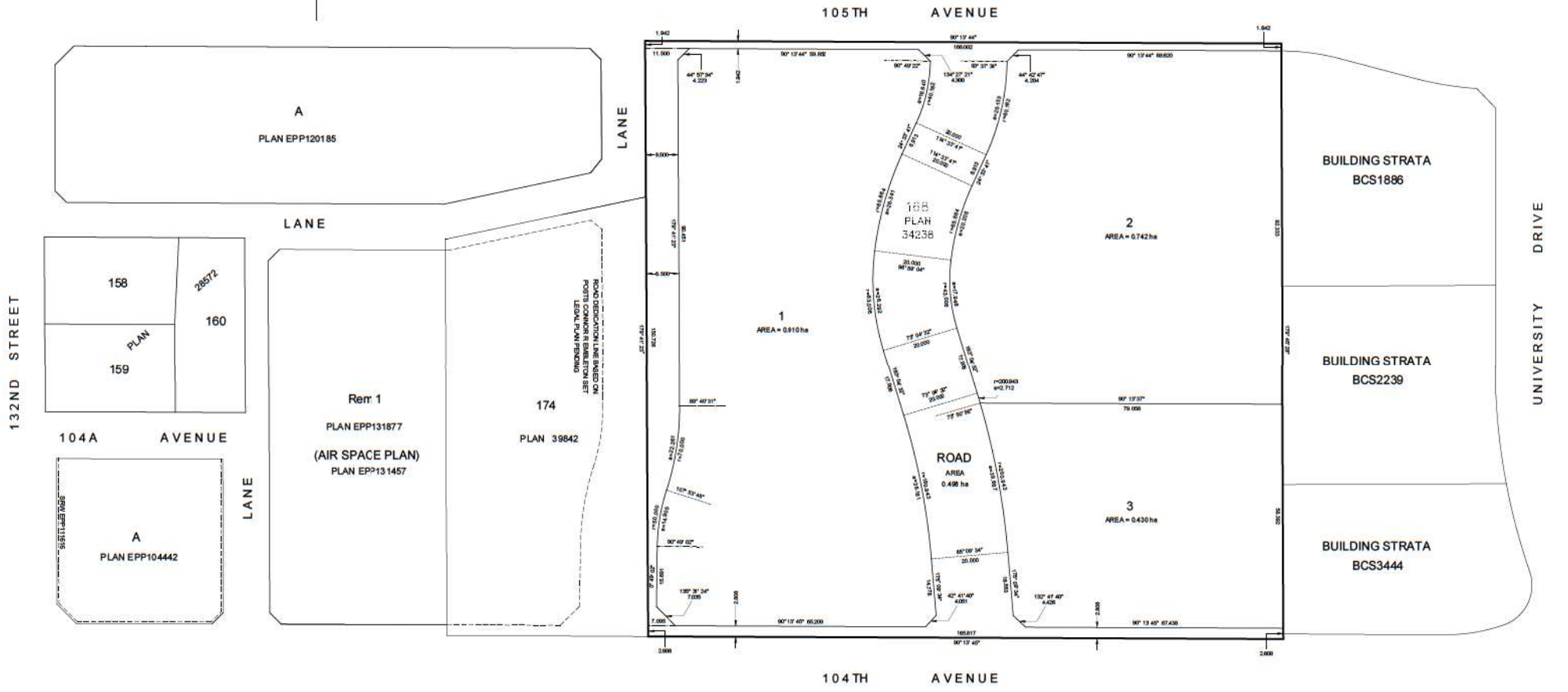
KB/cm

PROPOSED SUBDIVISION PLAN OF LOT 168, SECTION 22, BLOCK 5 NORTH, RANGE 2 WEST, NEW WESTMINSTER DISTRICT, PLAN 34238

PURSUANT TO SECTION 67 OF THE LAND TITLE ACT.

CITY OF SURREY
BCS 5 925 026

ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF.
THE EXTENDED PLOT SIZE OF THIS PLAN IS GIVEN BY
WIDTH BY 500mm IN HEIGHT (0.50m) WHEN PLOTTED AT
A SCALE OF 1:500



132ND STREET

105TH AVENUE

104TH AVENUE

UNIVERSITY DRIVE

LEGEND

- DENOTES STANDARD IRON PILE FOUND
- DENOTES STANDARD IRON POST PLACED
- DENOTES LEAD PILE FOUND
- DENOTES LEAD PILE PLACED
- ▲ DENOTES GEODETIC CONTROL MONUMENT

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN
GEODETIC CONTROL MONUMENTS (SPERMATOPHYTES) AND ARE
REFERRED TO CENTRAL MERIDIAN OF UTM ZONE 10.

THIS PLAN SHOWS HORIZONTAL GROUND LEVEL DISTANCE
UNLESS OTHERWISE SPECIFIED. TO COMPUTE ARC OR RANGE,
MULTIPLY GROUND LEVEL DISTANCES BY THE AVERAGE COSINE
FACTOR OF CURVES. THE AVERAGE COSINE FACTOR HAS BEEN
DETERMINED BASED ON GEODETIC CONTROL MONUMENT S 104881
AND S 104889.

THIS PLAN LIES WITHIN THE JURISDICTION OF
APPROVING OFFICER FOR THE CITY OF SURREY.

THIS PLAN LIES WITHIN THE METRO VANCOUVER
REGIONAL DISTRICT.

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS
COMPLETED ON THE ____ DAY OF _____ 2004
BY: [NAME] BCLS 1063

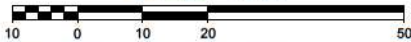
bennett
LAND SURVEYING LTD.
20 LAND SURVEY TOWER
4035 - 1810 105A AVENUE
SURREY, BC
V3R 7A2
TEL: 604-597-7111
www.bennettsurveys.com

DRAWING # 31009-5 Revision #7
DATE: JUNE 28TH, 2004

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW No. _____
OVER LOT 168, SECTION 22,
BLOCK 5 NORTH, RANGE 2 WEST,
NWD, PLAN 34238**

CITY OF SURREY
BCGS 92G.016
FOR THE PURPOSE OF REZONING

SCALE 1:750



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF.

BOOK OF REFERENCE		
ZONE	LEGAL DESCRIPTION	AREA
BLOCK A	PART OF LOT 168, SECTION 22, BLOCK 5 NORTH, RANGE 2 WEST, NWD, PLAN 34238	9099.9 m ²
BLOCK B	PART OF LOT 168, SECTION 22, BLOCK 5 NORTH, RANGE 2 WEST, NWD, PLAN 34238	7422.1 m ²
BLOCK C	PART OF LOT 168, SECTION 22, BLOCK 5 NORTH, RANGE 2 WEST, NWD, PLAN 34238	4295.9 m ²
ROAD	PART OF LOT 168, SECTION 22, BLOCK 5 NORTH, RANGE 2 WEST, NWD, PLAN 34238	4975.9 m ²

CERTIFIED CORRECT

THIS 09TH DAY OF SEPTEMBER, 2024



THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED OR DIGITALLY CERTIFIED.

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LAND SURVEYING LTD.
BC LAND SURVEYORS
#203 - 15310 103A AVENUE
SURREY, BC
V3R 7A2
TEL 604-582-0717

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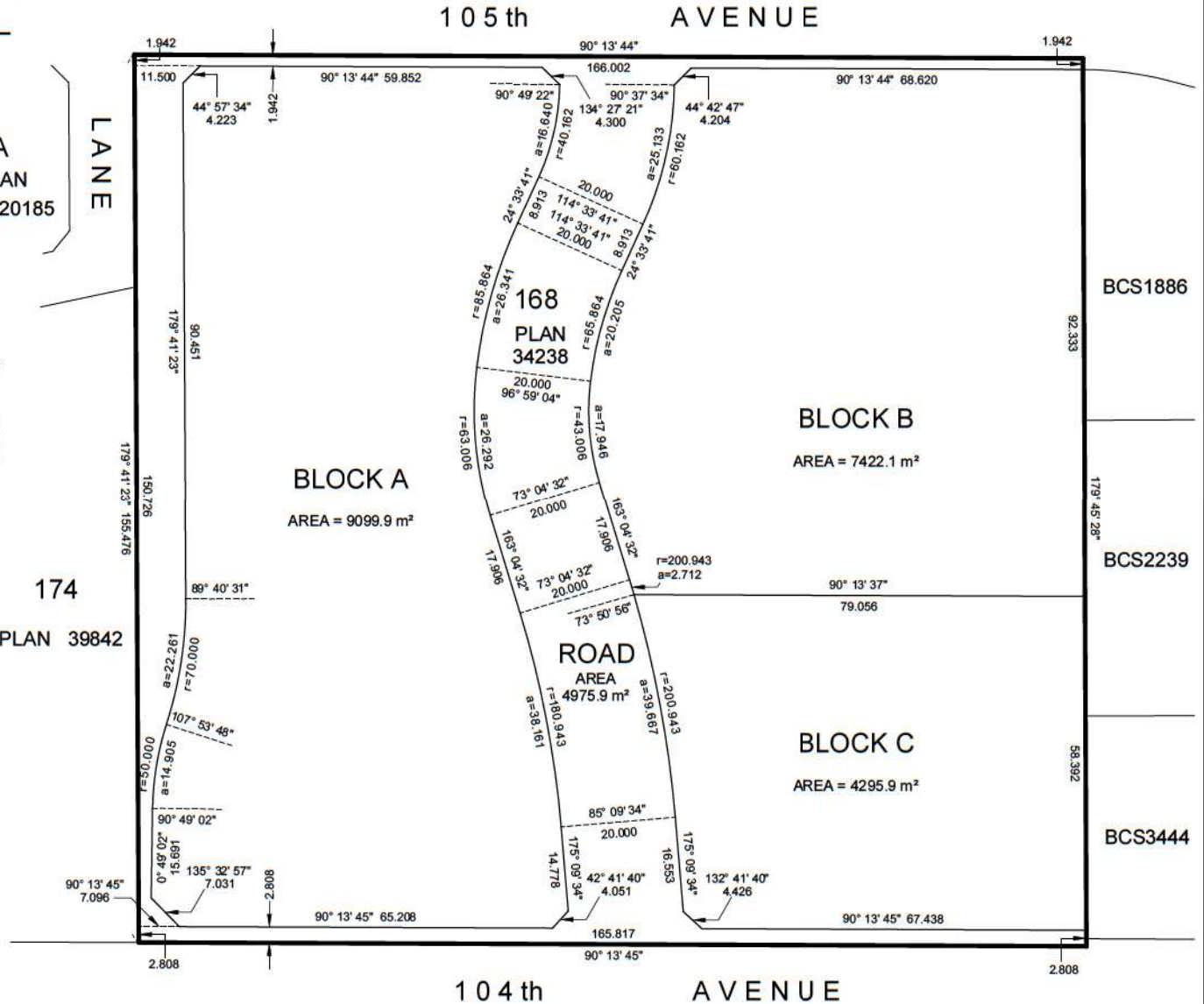
DRAWING #: 31059-3_R12

A
PLAN
EPP120185

LANE

174

PLAN 39842





Bristol

General Development Permit and
Rezoning Application Amendment

September 18th, 2024

bosa properties + SvN

1.0 Introduction

1.1 Project Overview

Bosa Properties Inc. is resubmitting a renewed vision for a mixed-use development (“the proposal”) located at 13301-104th Avenue, capitalizing on the site’s proximity to the Surrey Central Skytrain Station and growing neighbourhood.

This revised Master Plan proposal builds off of the previous GDP submission dated July 25, 2022, which achieved 3rd Reading on August 8, 2022. The renewed vision addresses outstanding ADP and new City comments to closer align with the City’s City Centre vision.

The proposal introduces 5 towers with residential podiums, a daycare and generous retail frontage along 104th Avenue. The proposal realizes the development potential of the site by replacing surface parking and an underutilized patchwork of green space with new buildings, while undertaking a comprehensive public realm and site circulation improvements, benefitting

current and future West Village residents. The proposal delivers a total of 2,687 new residential units along with much needed upgrades to the site.

The buildings are strategically placed, and sited to best respond to nearby adjacent development and optimal sun exposure.

The highest density tower is located at the centre of the site, Tower 4. The tower heights and densities decrease from the centre of the site, to the perimeter, with the lowest tower on the north-west corner and the highest perimeter tower at the south-east closest to the City Centre. The townhouse units surround the perimeter of the site, appropriately responding to the neighbouring low density uses across the street and providing an activated frontage.

At the ground level, the proposal reflects a pedestrian-oriented community with consistent, active street frontages and an animated public realm. The proposal transforms the existing unprogrammed, disconnected green space into a series of

connected, dynamic spaces for a diversity of residents. Features include a new lush tree-lined street, multiple playgrounds, a central recreation field, an amphitheater, a meandering master plan path and wildflower gardens.

The proposal introduces much-needed circulation through the site by eliminating fences around the perimeter of the site, while maintaining gated distinctions between public and private space within the site. The proposal establishes intentional pedestrian and bicycle connections to the surrounding neighbourhood, green network and Skytrain Station. The green spaces introduce hundreds of newly planted trees, creating a vibrant green space for residents and the public.

The proposal will deliver 180,627.3 m² of residential Gross Floor Area (GFA) and 1,011.4 m² of retail, 431.3 m² of daycare space along with indoor and outdoor amenity spaces that enhance the site.

1.2 How to Read This Document

Blocks A to C will be labeled on each plan diagram where possible. Where tower and block labels are not present in the diagram itself, a key plan will be placed on the page (see Figure 1).

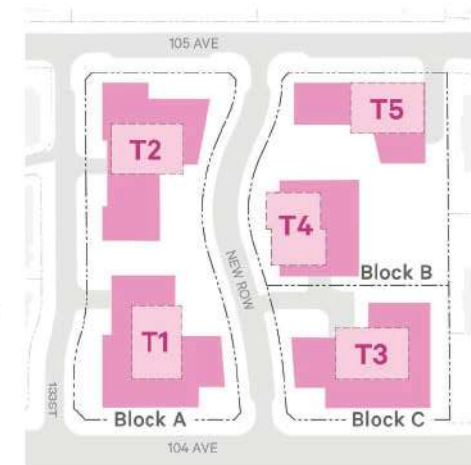


Figure 1: Key Plan

1.3 Project Statistics

Key Numbers	
Submission Type	Site-wide rezoning
Street Address	13301 to 13355 - 104th Avenue, Surrey, BC 13280 to 13362 - 105th Avenue, Surrey, BC
Legal Address	Lot 168, Section 22, Block 5 North, Range 2 West, New Westminster District, Plan 34238
Current Zoning	RM-45
Proposed Zoning	CD
Gross Site Area	25,793.8 m ²
Net Site Area	20,817.9 m ²
Dedicated Areas	4,975.9 m ²
Proposed Net Floor Gross Floor Area (GFA)*	182,070.0 m ²
Proposed GFA for FAR**	175,784.8m ²
Proposed Net Floor Area Ratio (FAR)***	8.4
Total Residential GFA*	180,627.3m ²
Total Child Care GFA*	431.3 m ²
Total CRU GFA*	1,011.4 m ²
Proposed Indoor Amenity	4,723.0 m ²
Proposed Outdoor Amenity	8,187.0 m ²
Proposed Use	Mixed Use, Market & Rental Residential, Retail, Child Care

* Includes all the area of the floor enclosed by the outside edge of the exterior walls of a building (City of Surrey, Zoning By-law 12000)

** Includes all the area of the floor enclosed by the outside edge of the exterior walls of a building with the exception of areas used as an accessory use for parking within the building envelope (loading, parking ramp), required amenity areas, required bike room at grade up to a max. of 170 m² and mechanical penthouse.

*** Based on net site area

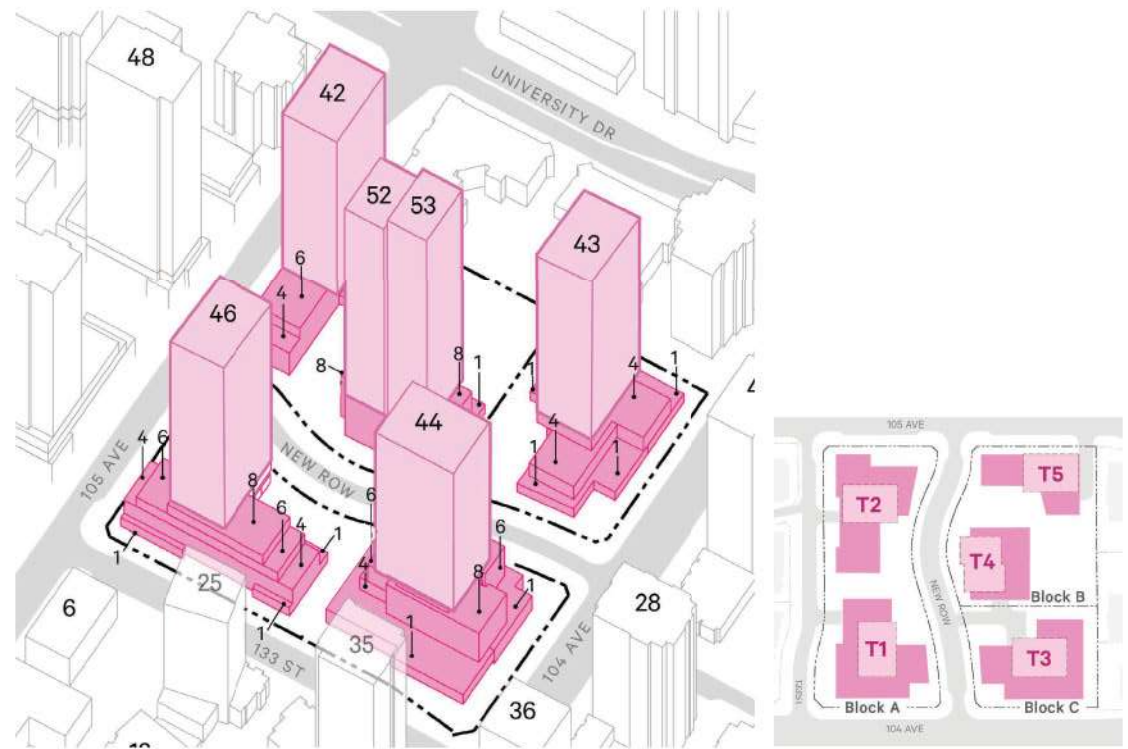


Figure 2: Built Form Site Overview

1.4.4 Phased Development Permit Applications

Detailed development permit applications will be made with each subsequent phase of development.

The phasing of the master plan, starting at the south-east corner, has been selected to remain consistent with the currently communicated Tenant Relocation and existing building demolition strategy; while

working to build the site from south to north delivering an active site frontage on 104 Avenue in the early phases.

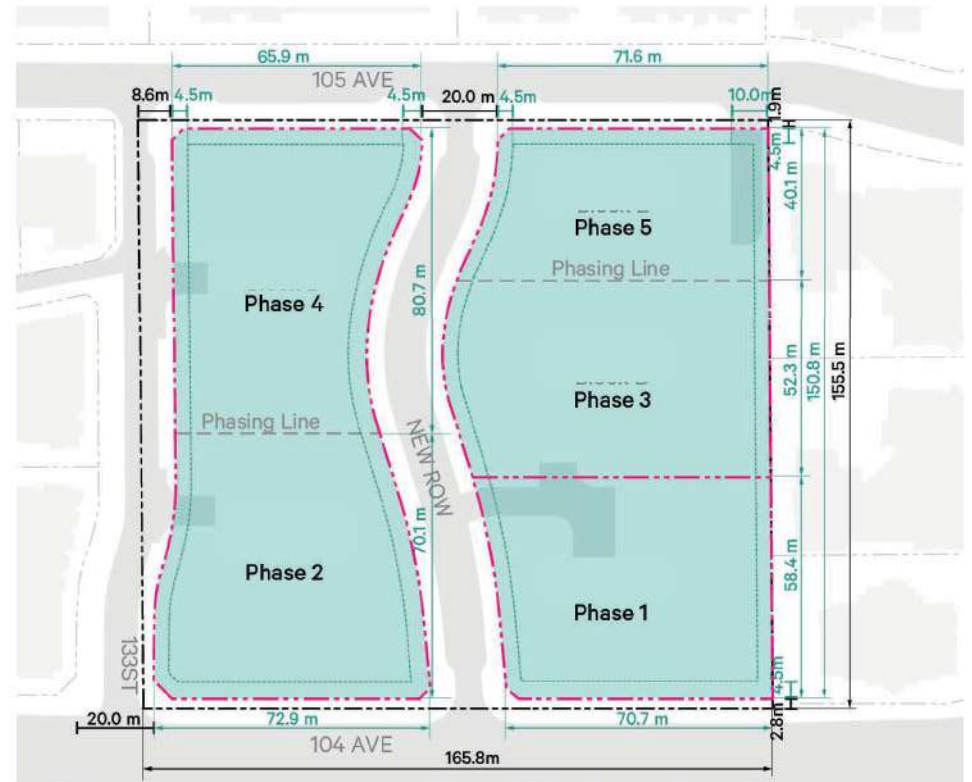
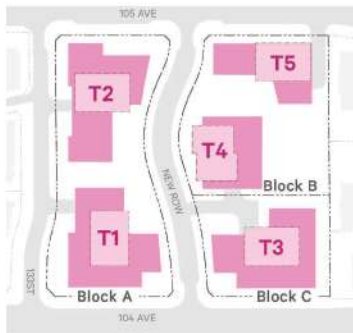


Figure 3: Phasing Diagram - Phase 1 to Phase 5

1.5 Project Scope

Bosa Properties Inc. proposes to amend the City of Surrey's ODP and rezone 13301-104th Avenue to establish a new transit-oriented neighbourhood under a Master Plan with 5 phases of development.

The proposal will include the following:

- **Condominium Housing** - 2,195 new homes are to be provided in studio, 1 bedroom, 1 bedroom + den, 2 bedroom, 2 bedroom + Den in towers 1,2,4 & 5 with residential podiums.
- **Rental Housing** - 491 new homes are to be provided in studio, 1 junior bedroom, 1 bedroom, 1 bedroom + den, 2 bedroom, 2 bedroom + Den, 3 bedroom in tower 3 with its residential podium.
- **Townhomes** - 35 at-grade townhome units are to be provided along the site perimeter.
- **Daycare** - A new 431.3 m² childcare facility is to be located along 105 Ave, servicing the newly established neighbourhood.
- **Indoor Amenity** - 4,723.0 m² of indoor amenity space is to be provided throughout the master plan including: gym and fitness centre, co-working/ lounge, entertainment/media room, sports court, and pool and wellness centre.
- **Outdoor Amenity** - 8,187.0 m² of outdoor amenity space is to be provided, encompassing various private and public programming and levels of activity, including: a central recreational open space, playgrounds, public art features, social nodes with seating areas, exploratory gardens with meandering pathways and urban plazas.
- **Public Open Space** - 104 Avenue will be activated with a highly animated street frontage, including 1011.1 m² of retail space and a large retail plaza. A new public right-of-way will extend from 104 Avenue to 105 Avenue, establishing a significant north-south connection for vehicles and pedestrians alike. The new right-of-way will be activated with residential frontage, retail spill-out, opportunities for public art and carefully curated landscaped moments.
- **Water Sustainability** - The proposal will introduce an integrated stormwater management system with rain gardens and planted water detention system.
- **Energy Sustainability** - The proposal will provide efficient insulated envelopes, to ensure low glazing-to-wall areas and will plan to integrate into the City's local District Energy System.

Overall Stats			
Block	Net Site Area (m ²)	FAR RATIO	Coverage (%)
Block A	9,099.9	8.0	53.1
Block B	7,422.1	9.6	41.6
Block C	4,295.9	7.4	50.3
TOTAL	20,817.9	8.4	49.0

TOWER 5

FAR GFA (m ²)	31,605.8
HEIGHT (m)***	132
STOREYS	42
TOWER FLOOR PLATE (m ²)	700

TOWER 4

FAR GFA** (m ²)	39,762.1
HEIGHT (m)***	164/168
STOREYS	52/53*
TOWER FLOOR PLATE (m ²)	750

TOWER 2

FAR GFA (m ²)	37,607.0
HEIGHT (m)***	142
STOREYS	46
TOWER FLOOR PLATE (m ²)	700

TOWER 3

FAR GFA** (m ²)	31,635.9
HEIGHT (m)***	136
STOREYS	43
TOWER FLOOR PLATE (m ²)	700

TOWER 1

FAR GFA (m ²)	35,174.0
HEIGHT (m)***	140
STOREYS	44
TOWER FLOOR PLATE (m ²)	700

OVERALL STATISTICS

GROSS SITE AREA (m ²)	25,793.8
NET SITE AREA (m ²)	20,817.9*
TOTAL FAR GFA**	175,784.8
TOTAL NET FAR	8.4

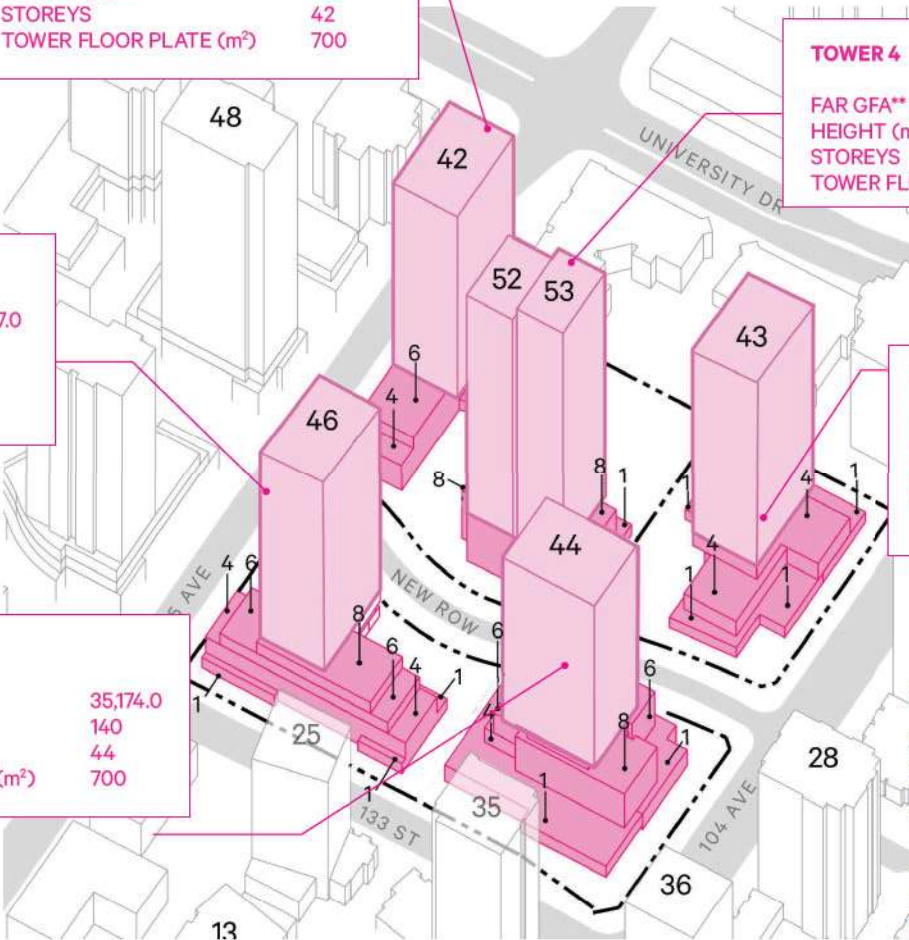
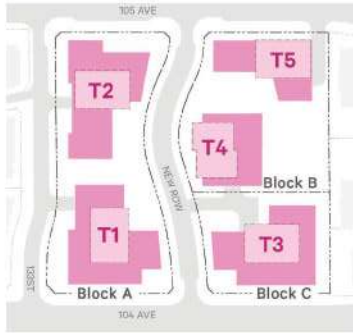


Figure 5: Site Statistic Summary

* Double height penthouse units
 ** FAR GFA deducts Amenity + Bike area at GF (max 175 m²). Loading, Parking ramp areas and mechanical penthouse
 *** Height is measured to the top of slab of the top residential floor. The mechanical penthouse is not included.

Guiding Vision

The guiding vision is as follows:

- Provide a residential sanctuary in an urban core for a growing multi-generational community.
- Capitalize on the site's size, scale and location to create a unique offering in a rapidly evolving neighborhood.
- Focus on creating an inclusive and inviting ground plane to facilitate communal experiences among the residential and greater neighbourhood, especially in public green spaces.
- Complement the expansive site area by creating unique towers, tied together by uniform elements forming a cohesive Master Plan.
- Create a positive experience for future residents through thoughtful design in building interiors and ground plane exteriors while promoting desirable shared amenity nodes and inviting outdoor spaces for wellness, sustainability and livability.

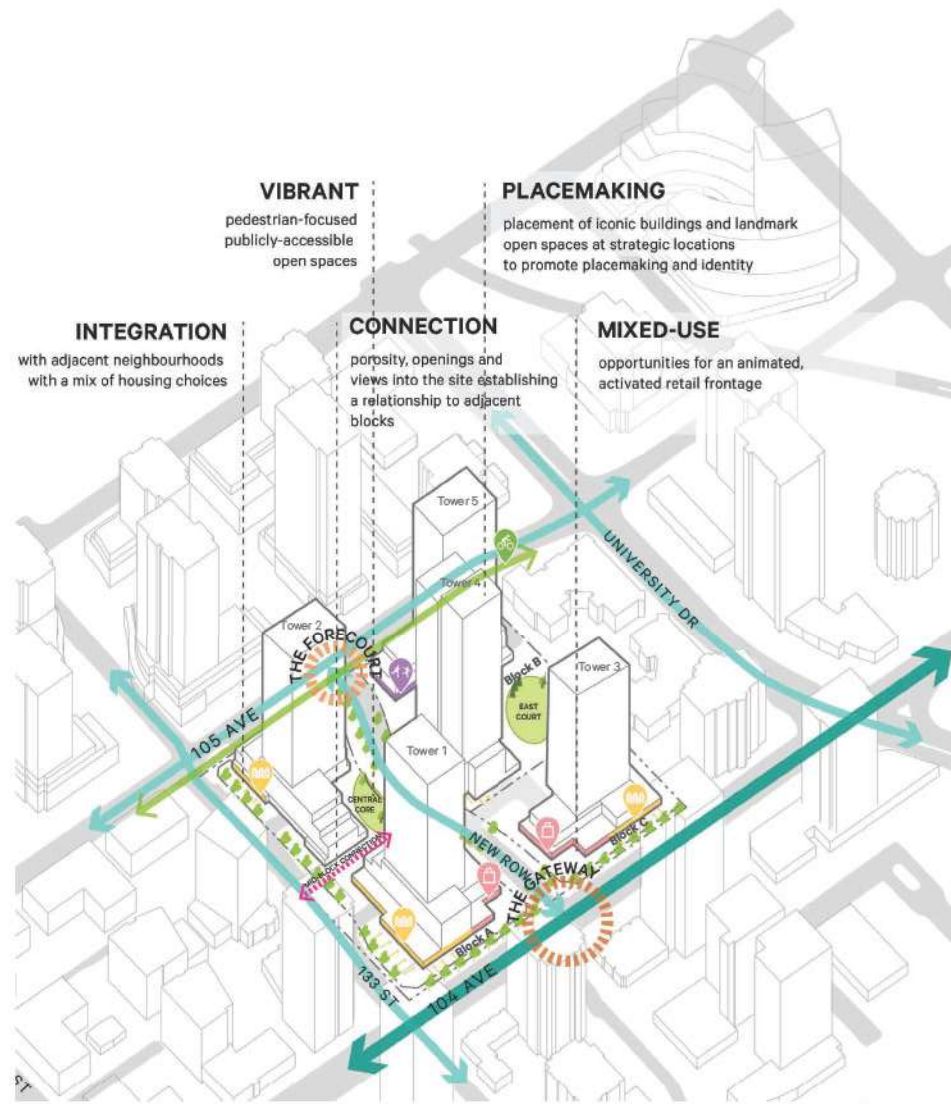


Figure 21: Design Vision Overview

CORE VISION

Create a celebrated destination that defines the living experience in the newly formed West Village Neighborhood, providing elevated design and serving as a hub for the community.

- ↔ Streetscape
- ↔ Dedicated Bike Lane
- ↔ Mid-Block Pedestrian Connection
- Landscaped Open Space
- Residential Frontage
- Retail Frontage
- Daycare Frontage
- Townhome Entrance
- ☀ Site Secondary Entry
- ☀ Site Gateway/Entry



4.1.1 Building Location, Height, Massing

The proposed redevelopment contains 5 discrete tower/podium buildings that extend along each of the site's 4 boundaries.

The site plan allocates the greatest heights further from the low-rise residential neighbourhood, centralizing the tallest tower to the centre of the site.

The height climbs from the lowest point on the northwest of the site to the southeast, towards the City Centre.

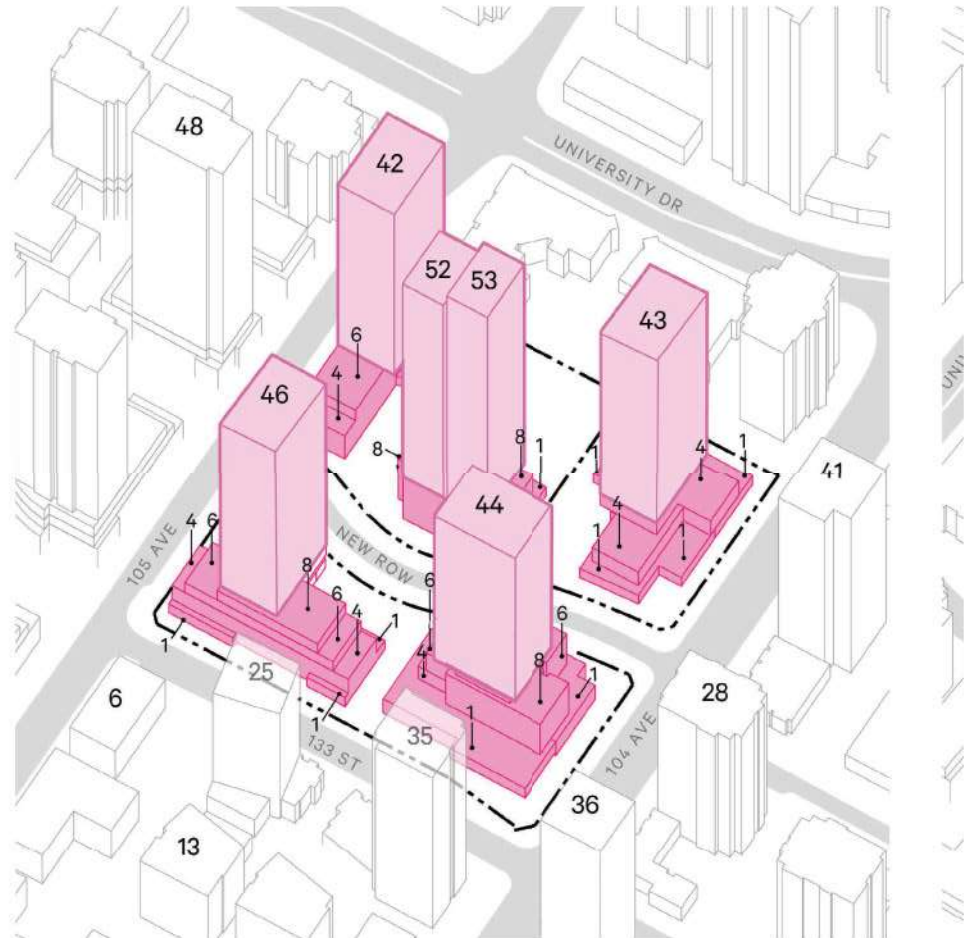
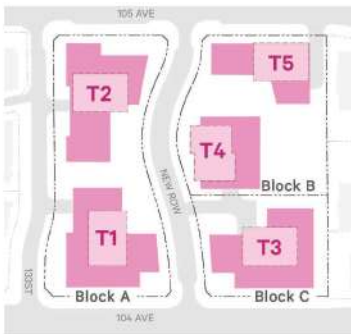


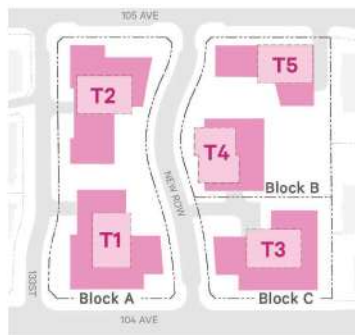
Figure 30: Built Form Site Overview

4.1.2 Tower Separation Distances

The location of the Bristol towers adhere to the Surrey City Centre Plan and OCP tower spacing guidelines. As per the *Development Permit Guidelines (DPT): Form and Character Section 135*, tower separation is a minimum of 30m from corner-to-corner and a minimum of 50m from face-to-face. From face-to-face, each tower maintains the required 50 metre separation distance within our site and between adjacent developments.

The proposed tower separation strategy has minor exceptions for the requirements. These minor exceptions were presented and agreed upon in consultation with City staff. The first exception pertains to the corner-to-corner distance between towers for Towers 3, 4 and 5. The second exception pertains to the face-to-face distance between Tower 3 and the adjacent property. In both expectations, the impact was considered minimal.

The proposed buildings provide a strong streetwall and ground animation. The step-backs of the podiums and towers at various levels allow for a gradual scale transition towards the street and public realm.



- Existing Adjacent Tower Development
- Future Adjacent Tower Development
- Potential Tower Location
- 30m Radius
- 50m Radius

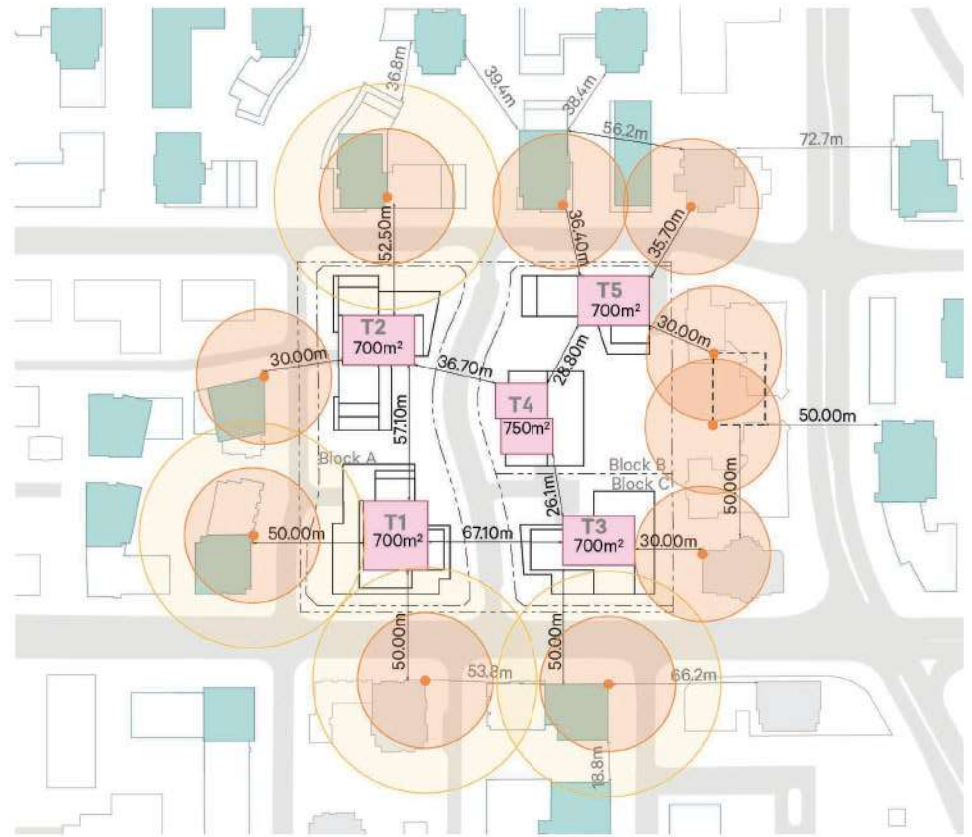


Figure 31: Tower Separation Strategy



4.1.3 Tower Floor Plate

As per the *Development Permit Guidelines (DP1): Form and Character Section 134*, the floor plates are a maximum of 700 square meters for buildings 41-50 storeys. Finally, the floor plates are a maximum of 750 square meters for buildings 51 storeys and higher. The proposal adheres to these guidelines.

The floor plates are oriented east/west to reduce shadow impacts on the public realm and surrounding neighbourhood, aside from Tower 1 which has been rotated to create more variation with Tower 3, which has a similar setback from 104 Avenue.

As mentioned in Section 4.1.2 Tower Separation Distances, the proposal adheres to the Development Permit Guidelines in that their orientation and separation distances are optimized to limit shadow and address privacy concerns.

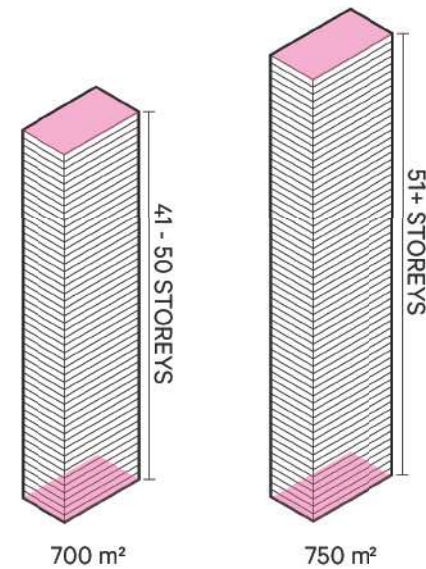


Figure 32: Tower Floor Plate Diagram

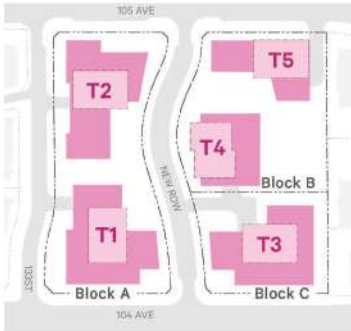
4.1.4 Podium Height Strategy

The podiums act as a transitional mass between the lower built form to the north, west and east of the site.

The podium levels are terraced and step-back in unique ways, providing an appropriate response to the surrounding neighbourhood, while providing generous outdoor amenity terraces for residents.

The podiums range between 1 and 8 storeys and range in step-back. The change in height allows the podiums to seamlessly transition into the towers above.

The proposed 1 storey podium are double height spaces which accommodate retail, lobby, and townhouse uses.



- 8 Storeys
- 6 Storeys
- 4 Storeys
- 1 Storey
- Tower Footprints
- Tower Outlines

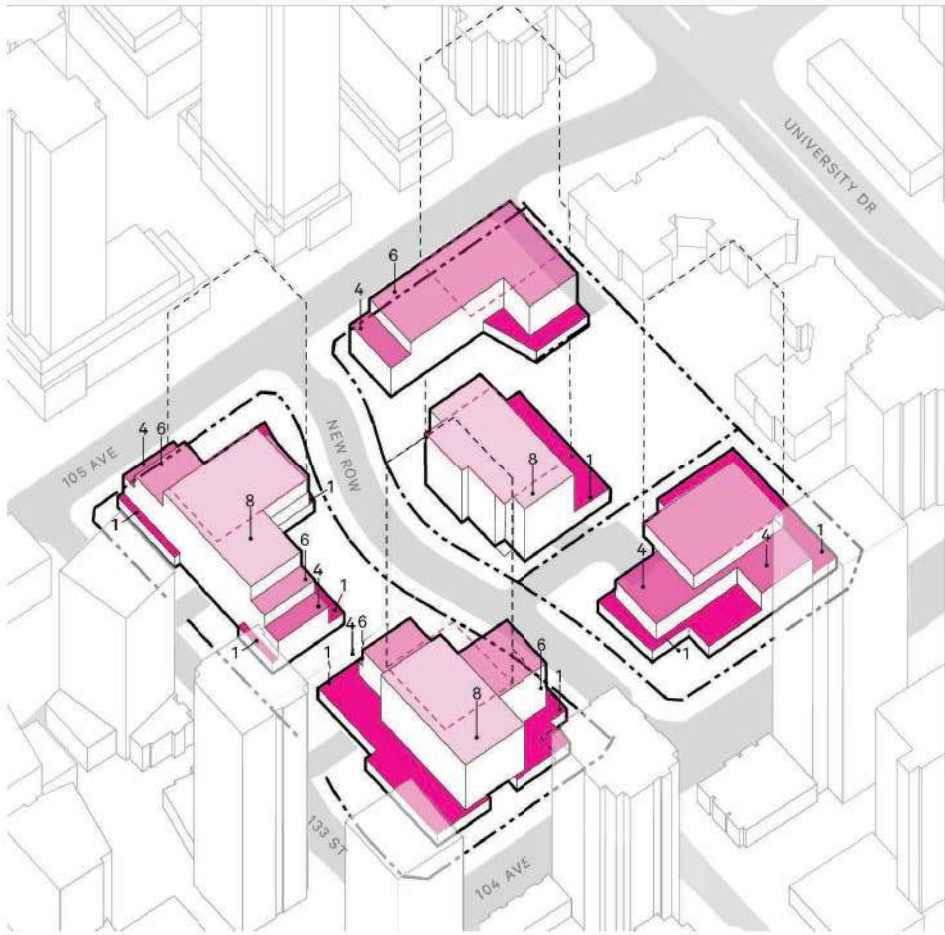


Figure 33: Podium Height Strategy

4.1.5 Tower Height Strategy

There are 5 residential towers proposed on the site. All of the towers are strategically placed to provide a minimum separation distance of 50m face-to-face.

The height of the towers and their related storeys vary throughout the site in response to the existing and future development.

At the centre of the site lies the Signature Tower 4 at 52 storeys. A portion of Tower 4 increases to 53 storeys to allow for

double height penthouse apartments and a distinct tower top. The height then decreases to Tower 3 (southeast corner) at 43 storeys and Tower 1 (southwest corner) at 44 storeys. Tower 5 (northeast corner) is 42 storeys, while the she shortest Tower 2 (northwest corner) is 46 storeys.

Towers are located above podiums and appropriately setback from the public realm.

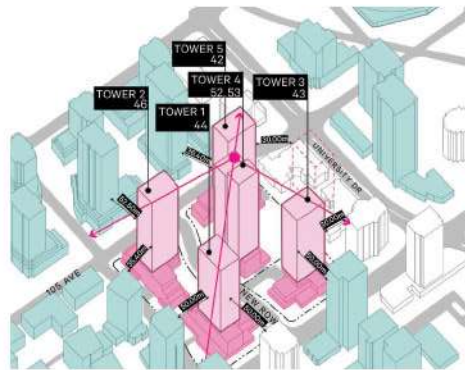
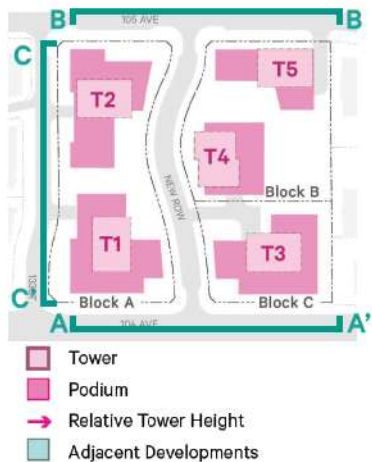
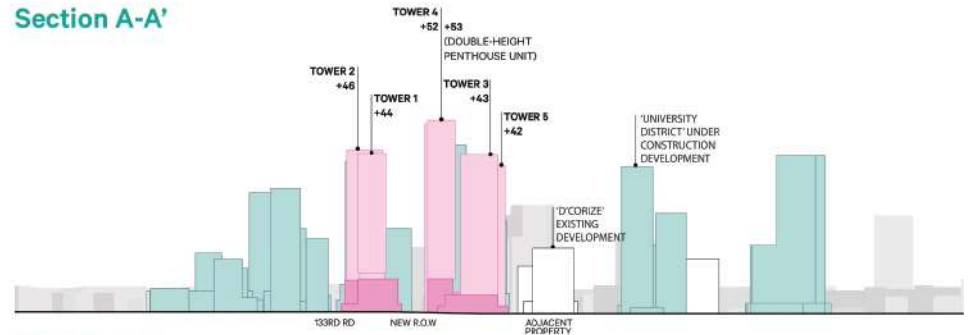


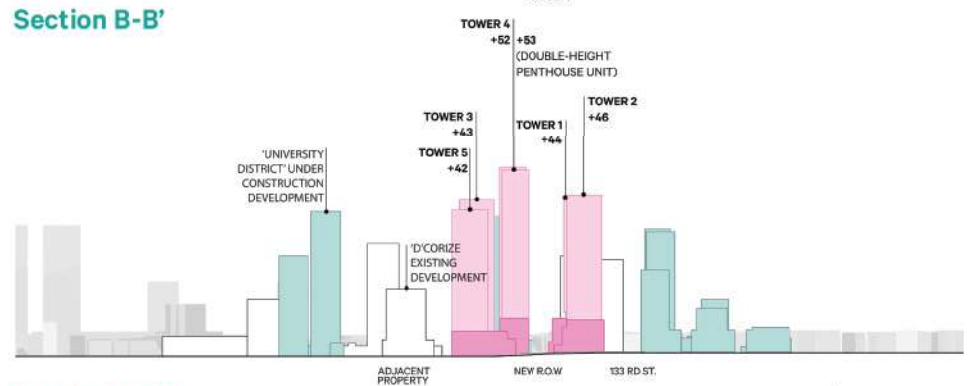
Figure 34: Tower Height Strategy



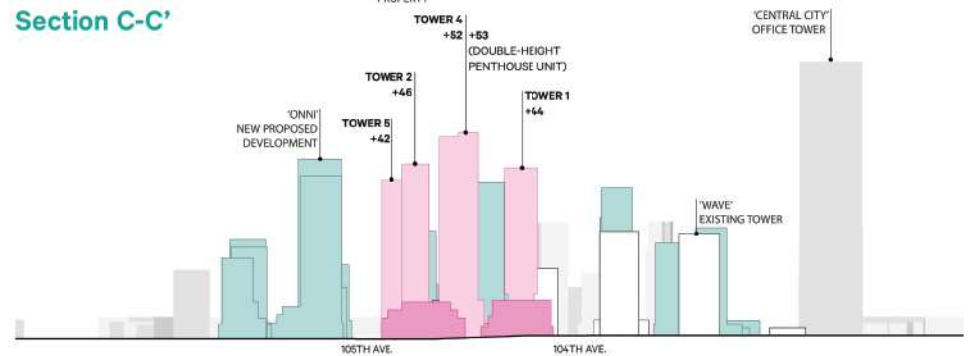
Section A-A'



Section B-B'



Section C-C'



4.1.6 Unit Diversity

A complete community is one that is home to a wide range of people, including different ages, life stages, and household types. Bristol is a development that offers multi-generational, multi-stage living. The proposal is designed to meet the needs of families, students sharing housing, working professionals, young couples and downsizers. The proposed master plan development introduces 2,687 units to the site in an area of Surrey that is seeing an increased demand for housing supply.

The proposed development will feature a range of housing options in terms of building, unit type and size. Across the master plan, the units include a mix of studio, junior one bedroom, one bedroom, one bedroom plus den, two bedroom, two bedroom plus den, three bedroom, and finally, townhome units.

Policies have been established to encourage a range of housing typologies

within high-density multi-family developments. According to the City of Surrey Guidelines, developments should provide 2 or 3 storey townhouses along the base of a podium of a high rise building. The proposal meets this guideline in that a significant portion of the podium frontage contains at-grade townhome units along the perimeter of the site. This helps to provide a suitable transition across from single-family housing and lower-rise residential units in adjacent blocks.

The proposed unit mix across all 5 towers throughout the site is shown in the graphic to the left. As demonstrated, there is a wide range of unit types and sizes provided for residents in the community.



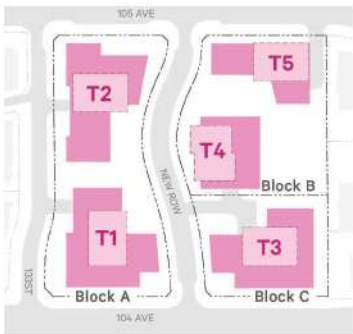
Figure 36: Site Bird's Eye View



4.1.7 Ground-Level Indoor and Outdoor Amenity

Figure 37 illustrates how the indoor and outdoor amenity is distributed throughout the master plan at the ground level.

The ground-level outdoor amenity spaces are all accessible via the indoor amenity spaces and shared among all of the buildings, to encourage a sense of community.



The active links and character of the ground level outdoor amenities will be further described in the landscape section 4.5.

The direct indoor/outdoor entries are indicated by black arrows.

- ▬ Indoor/Outdoor Amenity Interface/Relationship
- ▶ Direct Indoor/Outdoor Entry
- At-Grade Indoor Residential
- At-Grade Outdoor Residential
- At-Grade Indoor Daycare
- At-Grade Outdoor Daycare
- Public Landscape Node

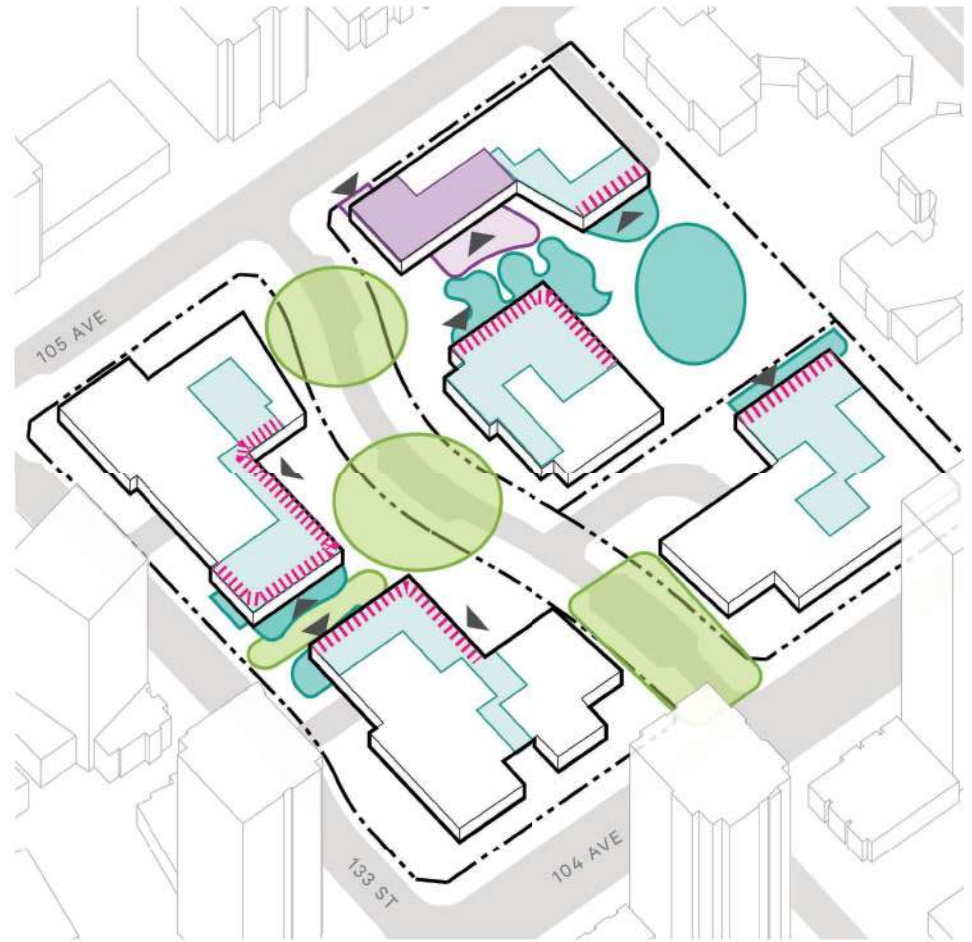


Figure 37: Ground-Level Indoor and Outdoor Amenity Relationships

4.1.10 Shadows and Sunlight Incidence

Shadow Study

A shadow study demonstrates that the proposed redevelopment provides minimal shadow impact on the adjacent public realm. The height and massing of the proposed development has been carefully considered to minimize shadow impacts on the open spaces throughout the site and on the adjacent blocks.

Areas cast with the greatest shadow are primarily on the townhouse front porch areas, or residential lobby entries. The daycare is specifically located on site to maximize the amount of sunlight possible for the outdoor play areas.

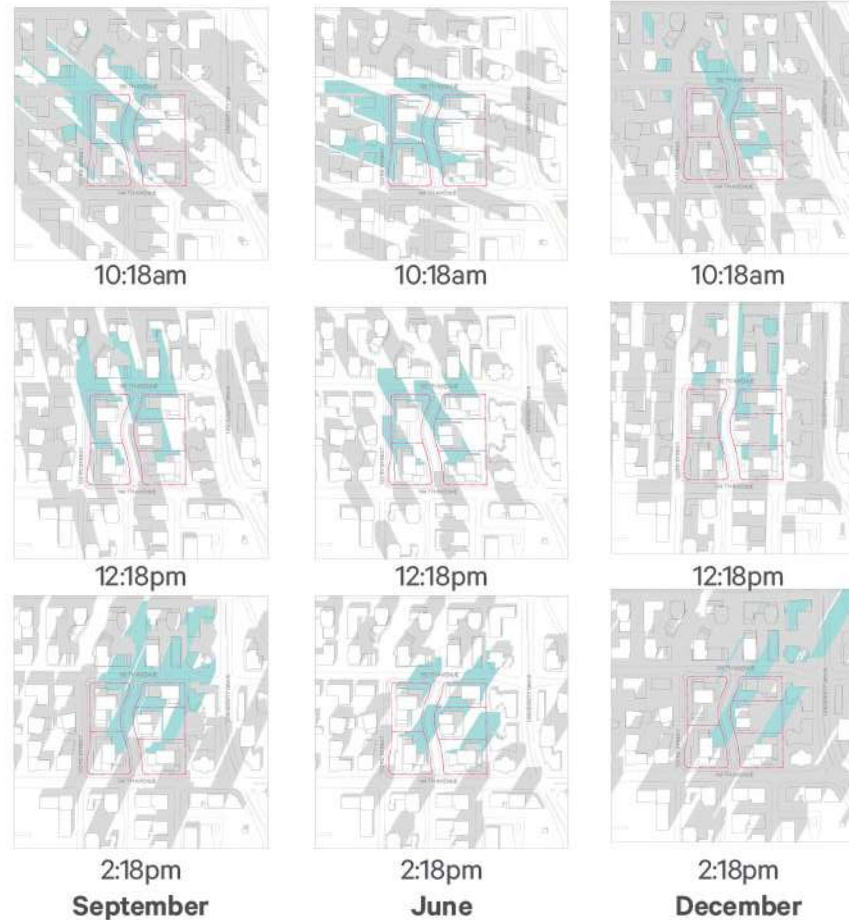
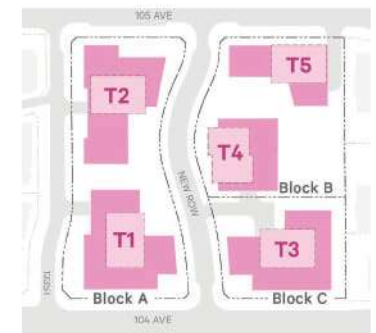


Figure 41: Shadow Study



Previous ADP Comment 13. Maximize sun access to the podium roof and at grade courtyards.

4.2.1 Pedestrian Circulation

One of the central concepts to the overall master plan is the master plan walking path. The path provides a range of programming along its trajectory - a multitude of experiences, programs and nodes appropriate to all.

In addition, the new public right-of-way running north-south establishes several nodes along its central spine for a highly activated public realm.

Additional pedestrian circulation improvements include a mid-block connection running perpendicular to the newly extended 133rd Street, creating a relationship with the adjacent block.

There are 2 mid-block unmarked pedestrian crossings along the curved road as indicated in Figure 51.

Building entrances are provided as follows in Figure 51.

Previous ADP Comment 8. Pedestrian connectivity through the site is an important part of the plan and relies heavily on two mid block crossing of the curving road.

- ↔ Public Pedestrian Circulation
- ↔ Private Pedestrian Circulation
- ⋯ Unmarked Pedestrian Crossing
- ▲ Main Building Entrances
- ▲ Secondary Building Entrances

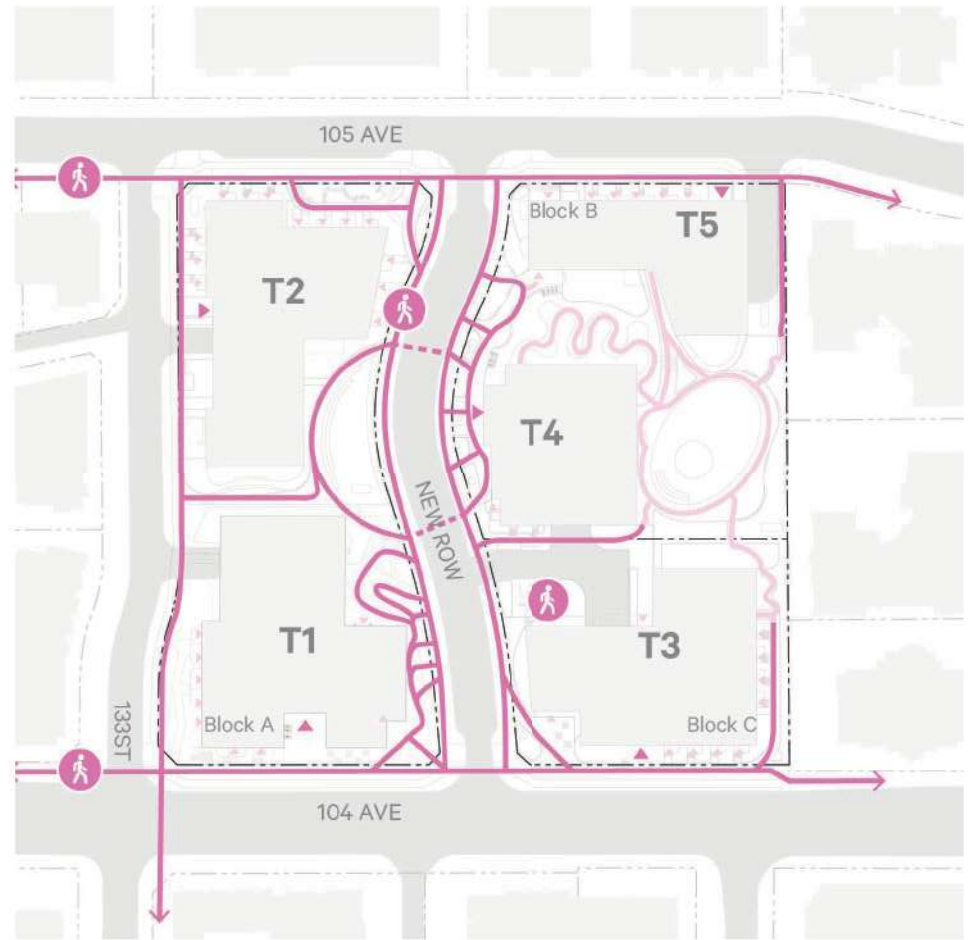


Figure 51: Pedestrian Circulation and Building Access



4.2.3 Vehicular Circulation

The primary vehicular entrance into the site is anticipated to be from the new ROW at its intersection with 104 Avenue. The new right-of-way provides access to casual pick-up and drop off areas along the street.

Lay-bys integrated into the new right-of-way offer convenient pick-up and drop-off to each of the towers

To accommodate the retail space, 3 surface parking spaces are provided at the back of Tower 3.

-  Vehicular Circulation
-  Surface Parking
-  Layby
-  Parking Access

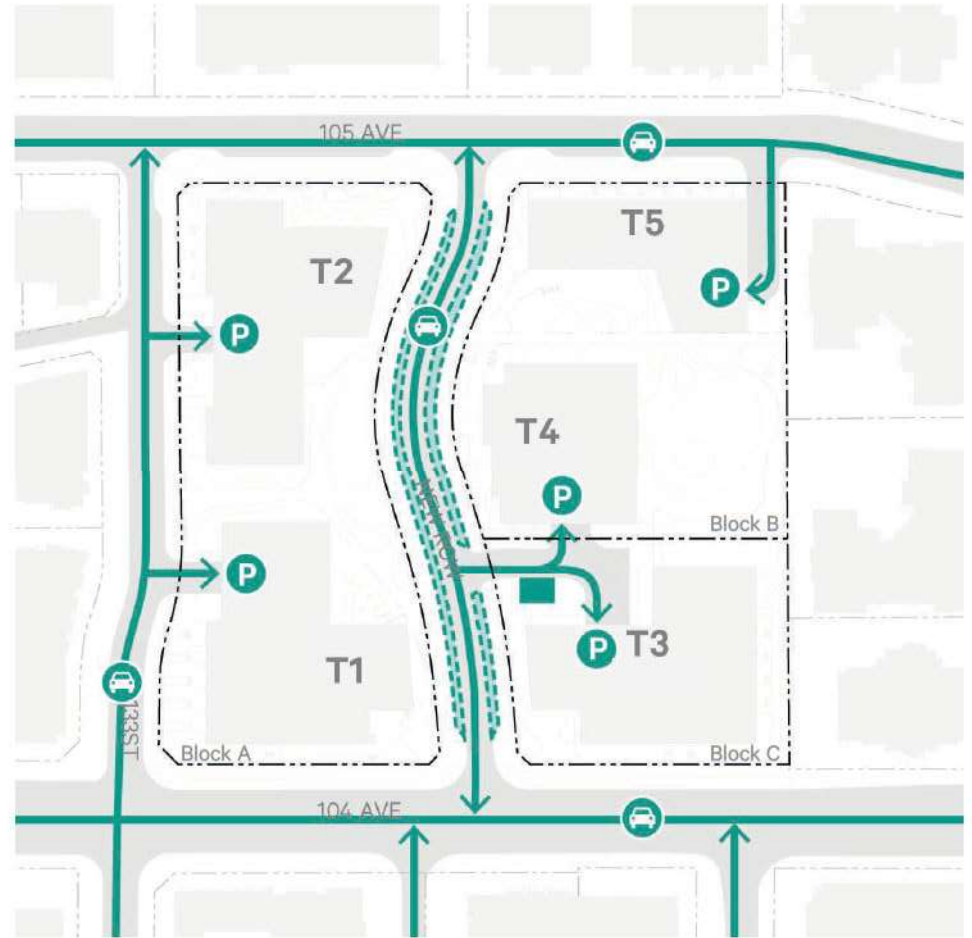


Figure 53: Vehicular Circulation and Parking



4.2.4 Loading and Ramp Locations

Type G loading spaces have been provided for each block, within the L1 of each building.

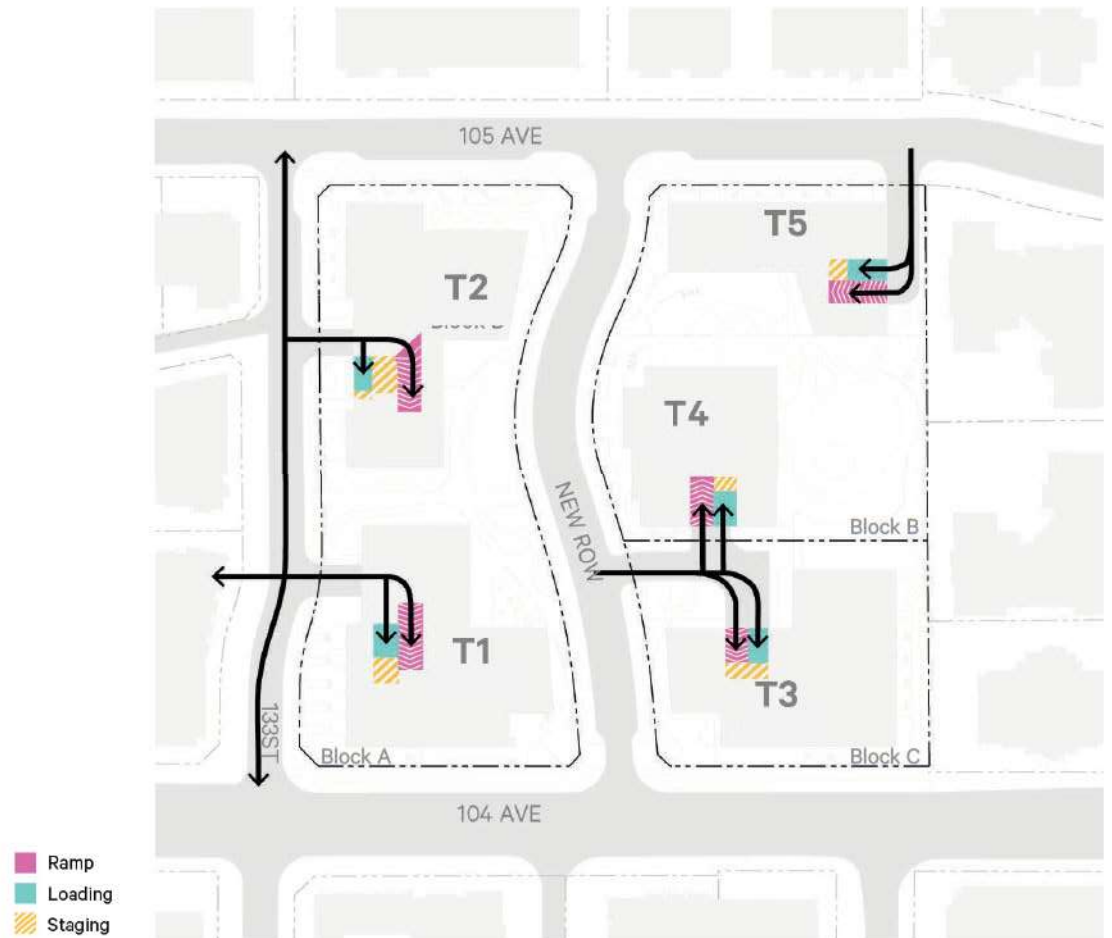


Figure 54: Loading and Ramp Locations

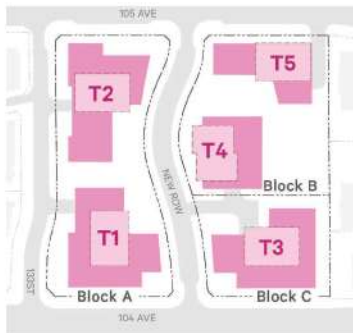


4.2.5 Underground Parking

Most parking on site is located underground, aside from 3 surface parking spaces for the retail as shown on the previous Vehicular Circulation diagram, Figure 55. Each block contains between 3 and 6 levels of underground parking. This provides a total of 2,275 multi-residential parking spaces and 34 commercial spaces on the site overall. The underground

parking is accessed through each building, and parking ramps and loading are dispersed throughout the site to minimize visual impact and impact to the public realm.

Tower 1 and 2 underground parking is accessed off the newly extended 133rd Street. Tower 3 and 4 underground parking is accessed via the new ROW. Finally, Tower 5's underground parking is accessed off 105 Avenue.



- Extents of Underground Parking
- ↔ Vehicular Circulation
- Parking Spaces
- Bike Room
- Utility
- Garbage
- ▨ Vehicular Access Ramp
- ▧ Slope
- ⊠ Elevator
- ⊞ Staircase



Figure 55: Parking



4.2.7 Fire Site Plan

Figure 57 illustrates the building entries and exits in relation to the property line/ right-of-way.

The distance to the curbs are supportable by City of Surrey Fire and BCBC. Exits are always less than 15m, which is the maximum allowed.

Figure 57 also locates the fire hydrant locations throughout and near to the site.

- ▲ Primary Building Entrances
- ▲ Secondary Building Entrances
- Fire Hydrant

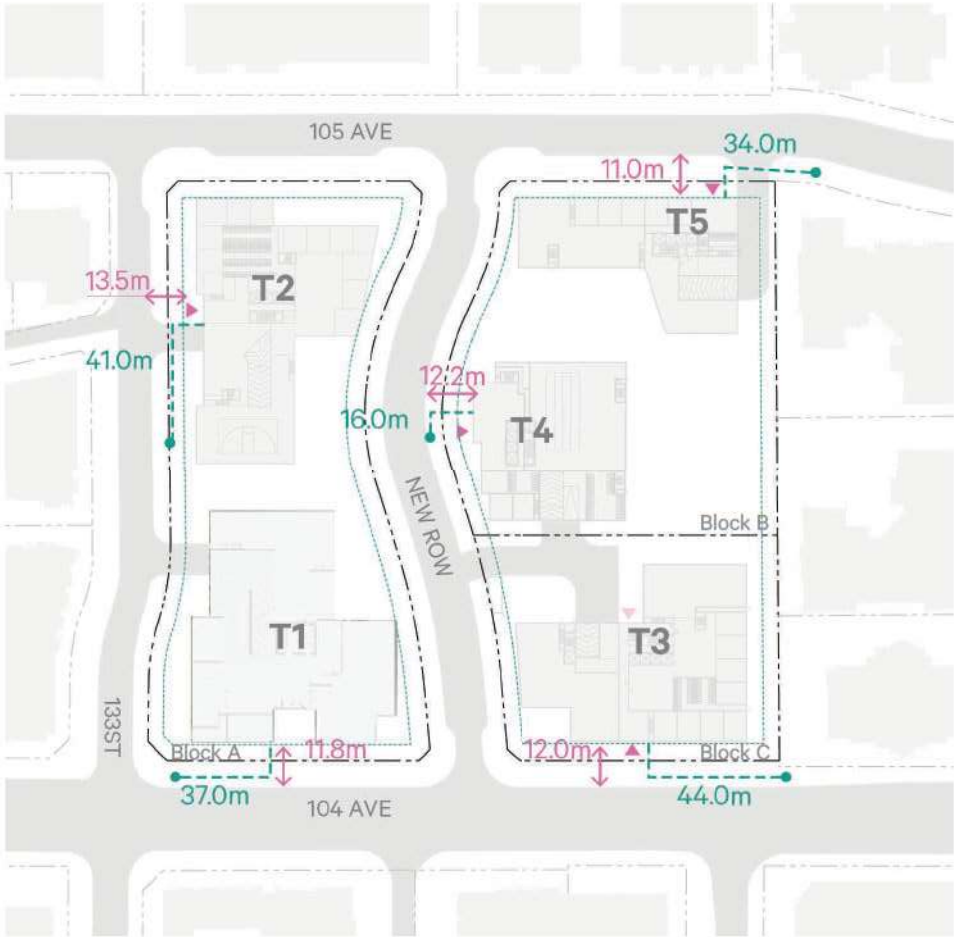


Figure 57: Fire Site Plan



4.4.8 Open Space Character Areas

The site contains several areas.

- 1 Central Court
- 2 The Gateway (Retail Plaza)
- 3 133rd Street (Mid-Block)
- 4 Daycare
- 5 East Court
- 6 Neighbourhood Gateway

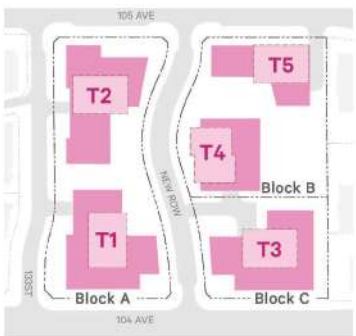


Figure 73: Landscape Site Plan Illustrating Open Space Character Areas



4.5 Landscape

4.5.1 Intro

The master plan's landscape design uses a series of interconnected curvilinear pathways to create a park like network of spaces of multiple scales that provide a range of programmatic possibilities, creating nodes and destinations at the edge of the different buildings.

Each landscape is intended to be highly responsive to the specific microclimate of the site, express a unique texture and palette and to be designed to celebrate seasonality. This is explored in more detail on the subsequent page.



Figure 99: Site Plan

4.6 Public Art and Site Identity

Context

The concept for public art stems from the notion of creating a unique identity for the site.

Design Response

The proposal will highlight potential public art opportunities for the project, identifying their ideal location and type.

Art will be placed in highly visible locations throughout the site in order to draw in passersby and to establish an identity for the site visible from the surrounding neighbourhood.

Previous ADP Comment 9. Integrate public art components to add vibrancy to the public realm.

- Public Pedestrian Circulation
- Private Pedestrian Circulation
- Viewpoint
- Gateway Public Art
- Outdoor Gallery
- Site Gateways

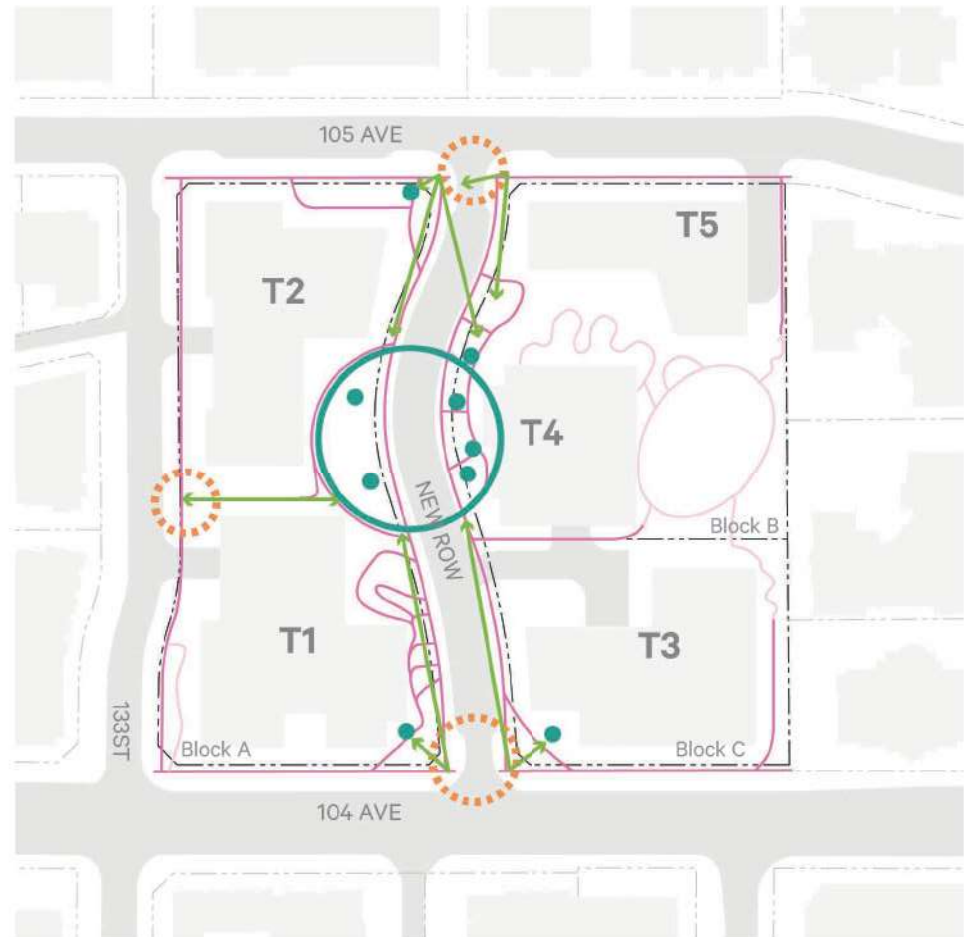


Figure 110: Public Art Opportunities and Locations





Figure 11f: View from 104 Avenue Looking North Illustrating Public Art Gateways

5.1.6 Massing

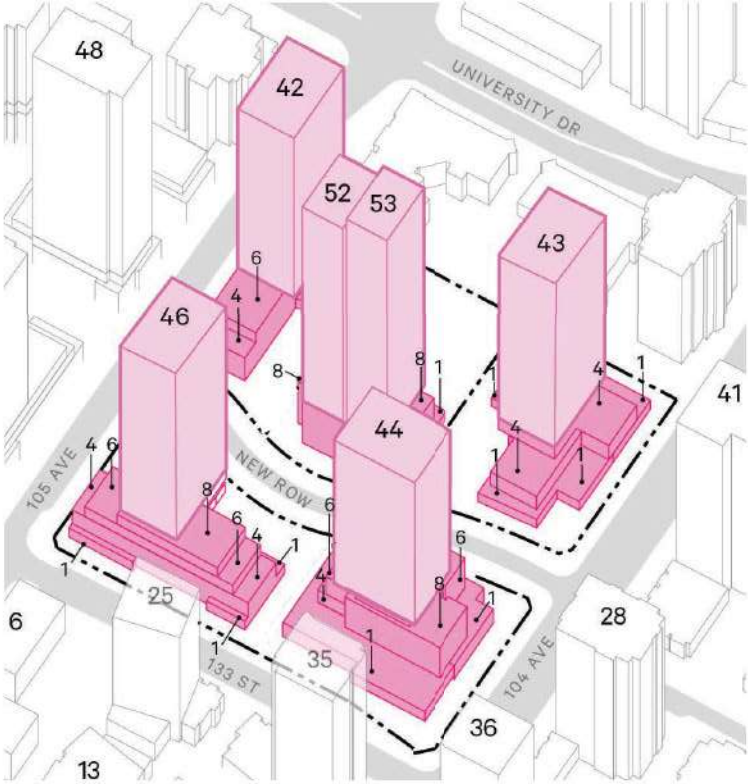


Figure 114: Overall Site Axo View from Southwest

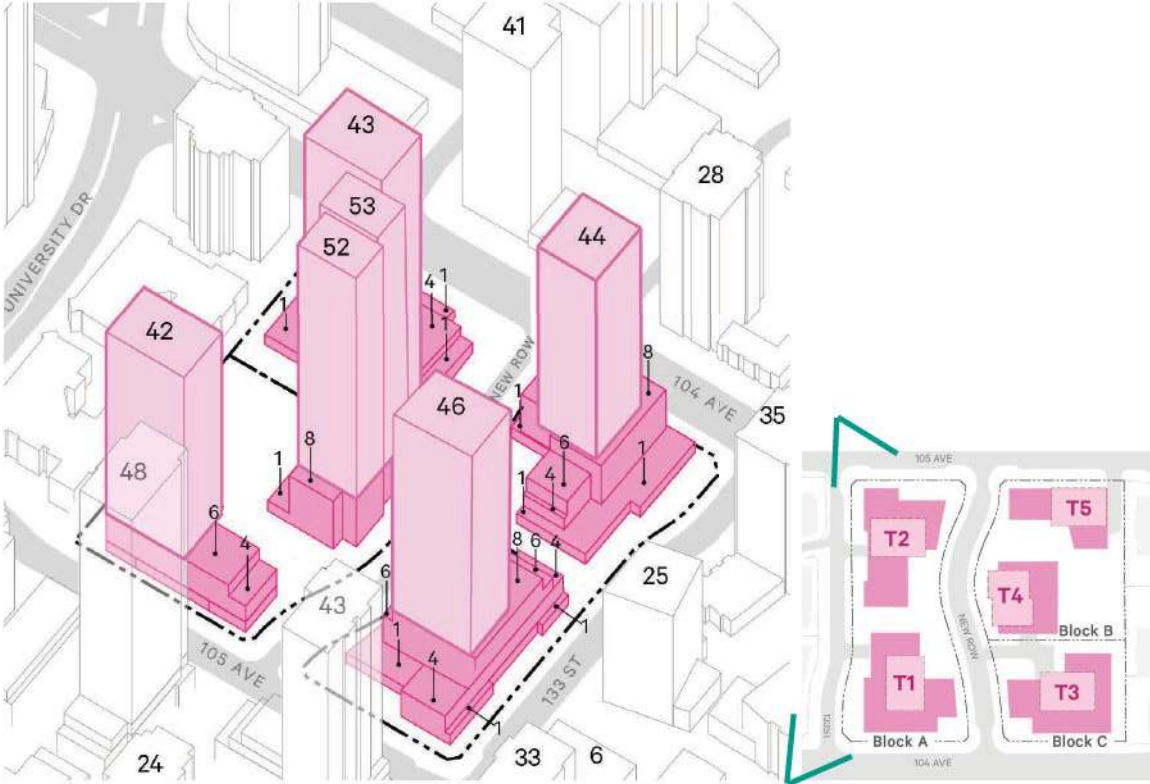


Figure 115: Overall Site Axo View from Northwest

Overall Site View

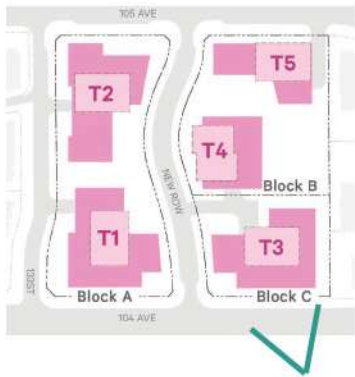
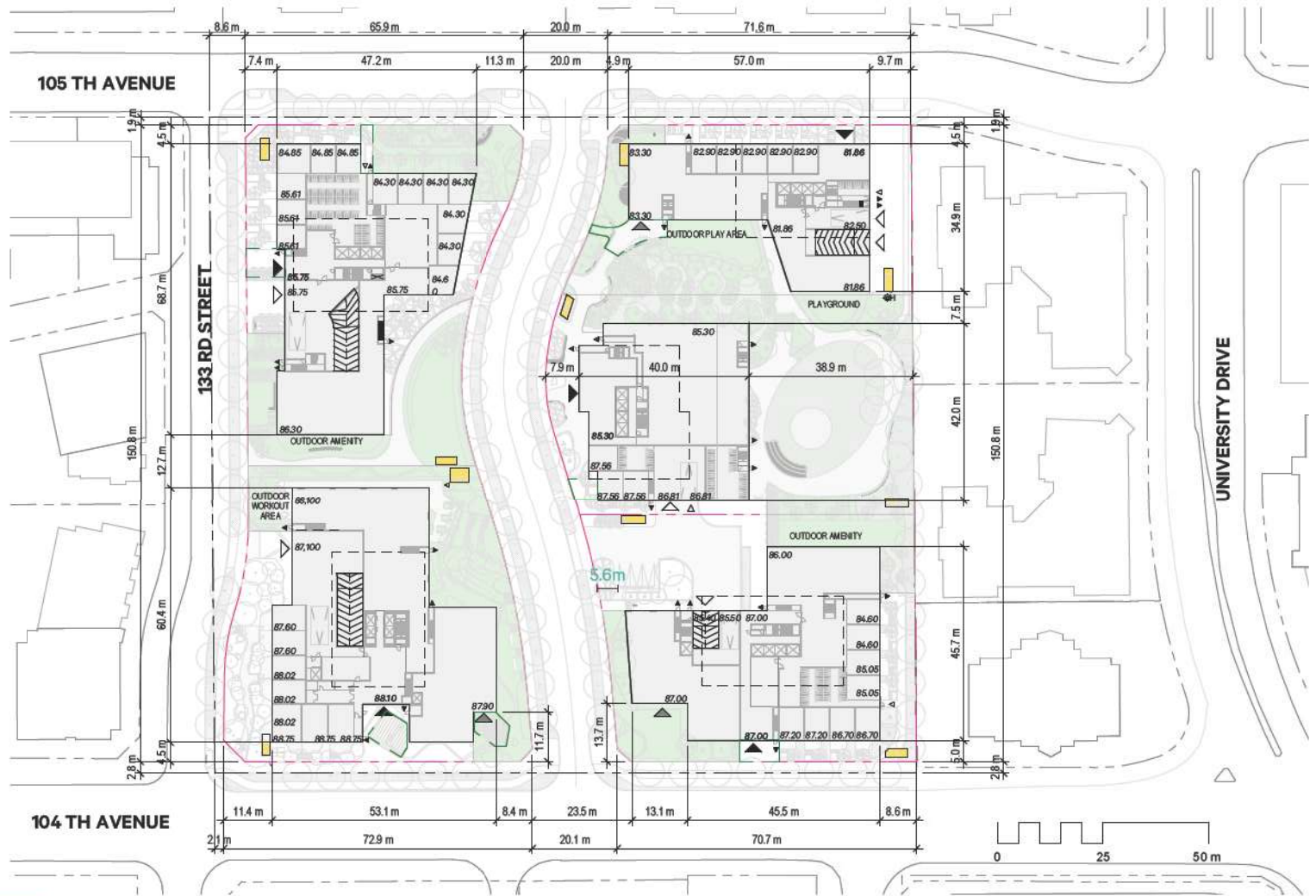
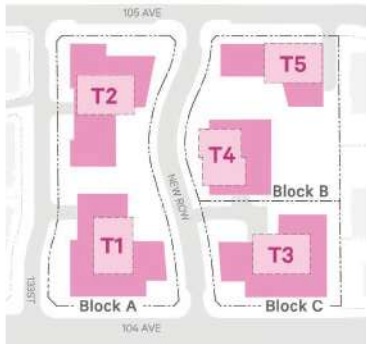


Figure 116: Site Overview from 104 Avenue Looking North Through the Site

5.1.7 Site Plan

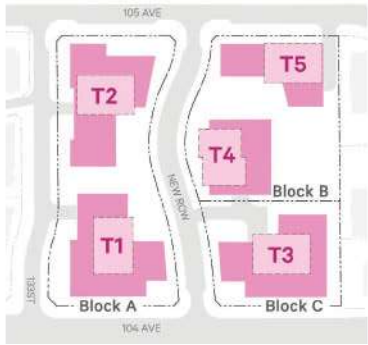


- At-Grade Outdoor Amenity
- Exhaust and Intake Grate
- Covered Outdoor Area
- Existing Property Line
- New Property Line

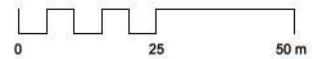
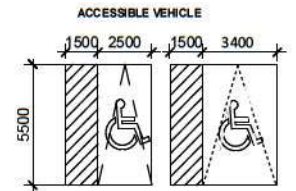
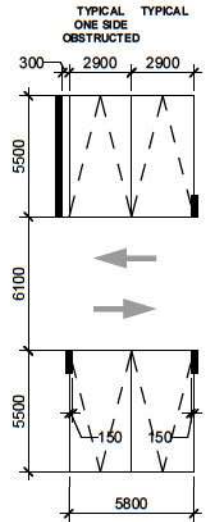
Previous ADP Comment 7. Consider adding some covered outdoor space (very useful in our climate).



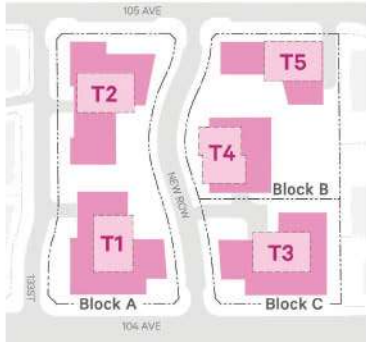
5.1.8 Below Grade - P2



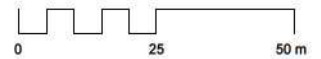
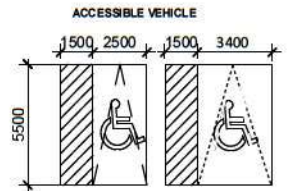
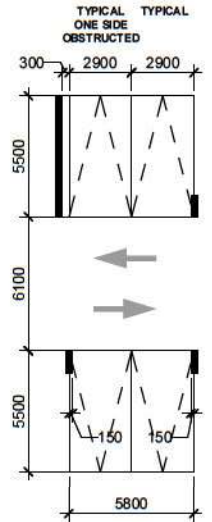
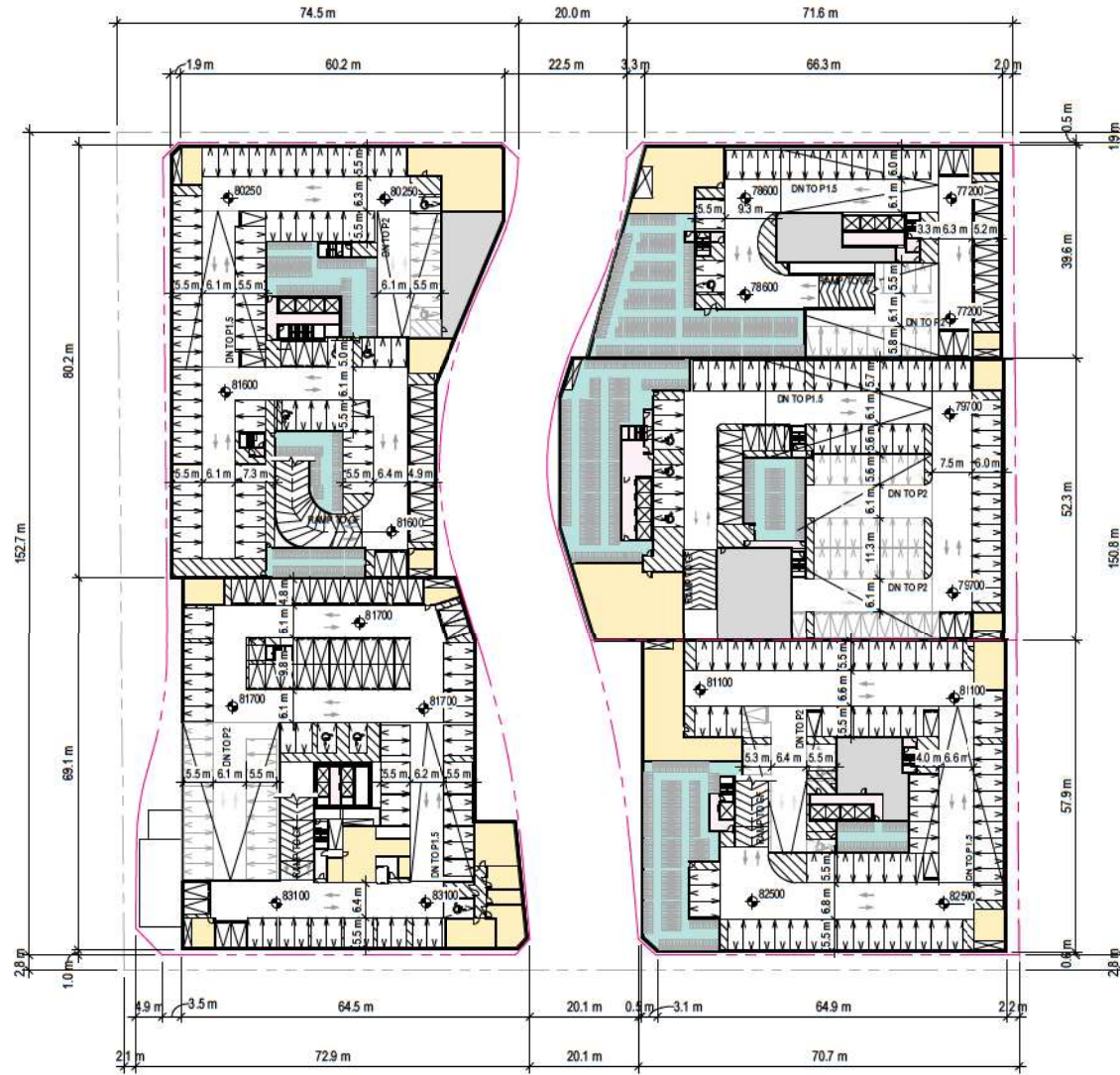
- Storage
- Utility
- Vestibule
- Existing Property Line
- New Property Line



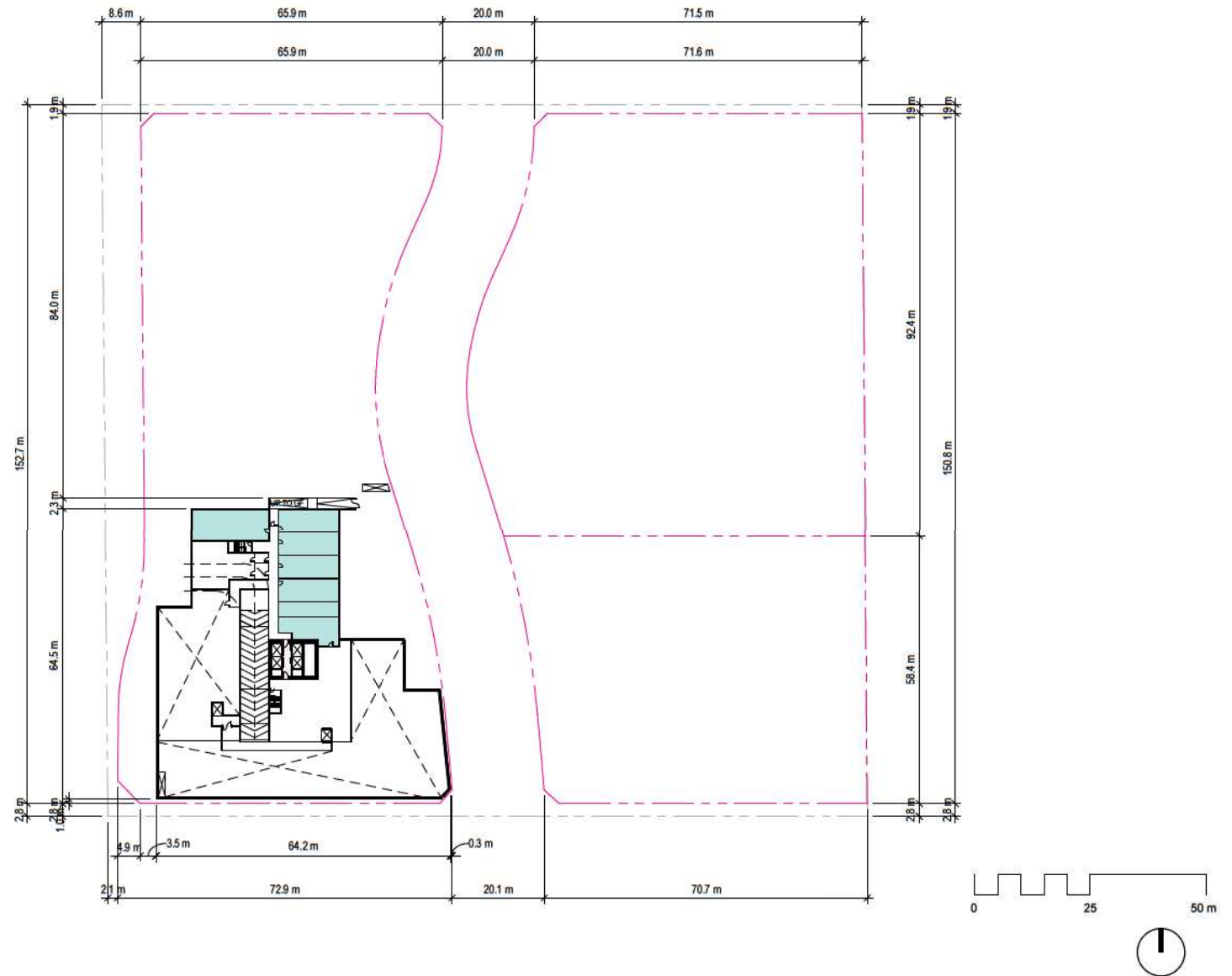
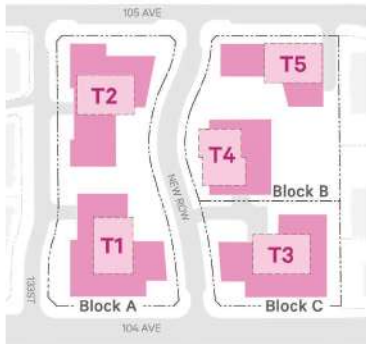
5.1.9 Below Grade - P1



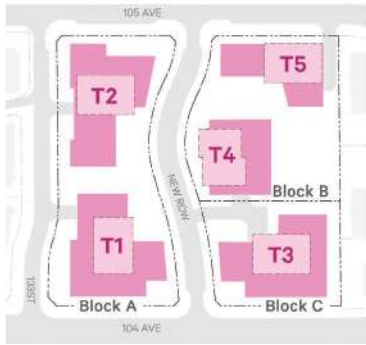
- Bike Room
- Storage
- Utility
- Garbage
- Vestibule
- Existing Property Line
- New Property Line



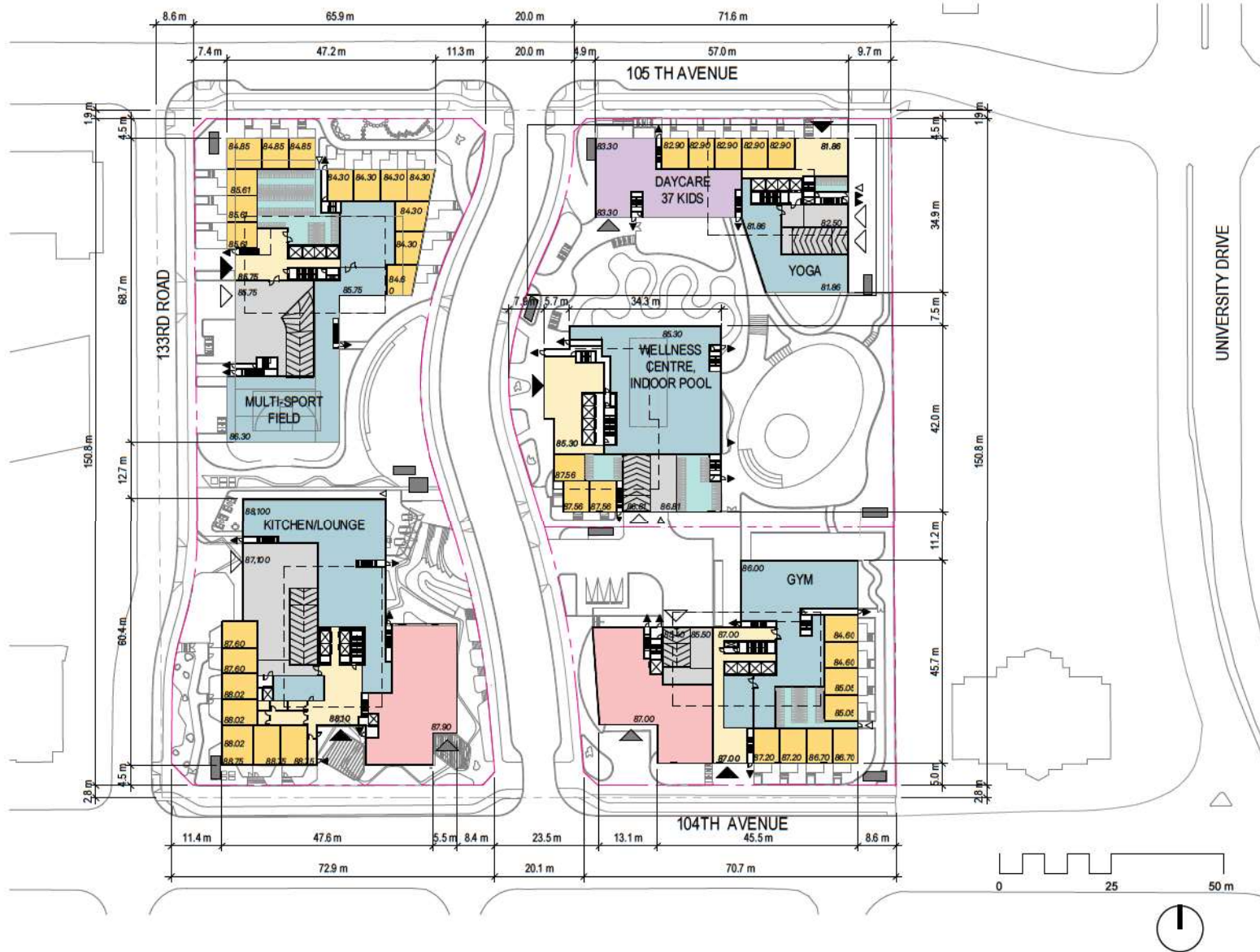
5.1.10 Below Grade - P1 Mezz



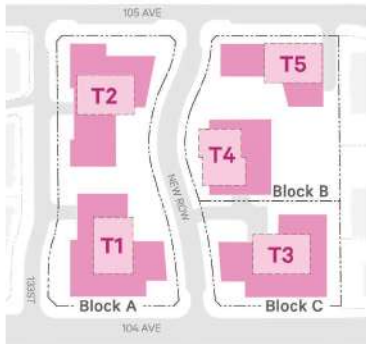
5.1.11 Floor Plan - Ground



- Existing Property Line
- - - New Property Line
- Townhome
- Studio
- 1 Bedroom
- 1 Bedroom + Den
- 2 Bedroom
- 2 Bedroom + Guest
- Indoor Amenity
- Daycare
- Retail



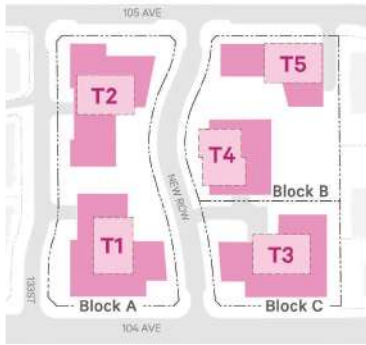
5.1.12 Floor Plan - Level 02



- Existing Property Line
- New Property Line
- Townhome
- Studio
- 1 Bedroom
- 1 Bedroom + Den
- 2 Bedroom
- 2 Bedroom + Guest
- Indoor Amenity
- Outdoor Amenity
- Daycare
- Retail



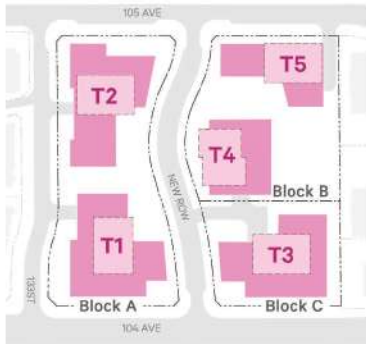
5.1.13 Floor Plan - Level 05



- Existing Property Line
- New Property Line
- Townhome
- Studio
- 1 Bedroom
- 1 Bedroom + Den
- 2 Bedroom
- 2 Bedroom + Guest
- Indoor Amenity
- Outdoor Amenity
- Daycare
- Retail



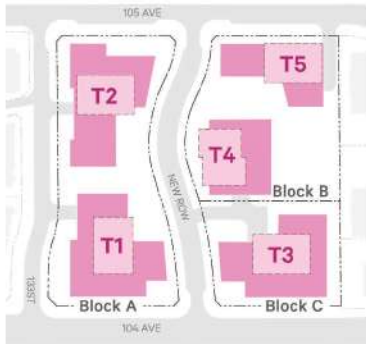
5.1.14 Floor Plan - Level 06



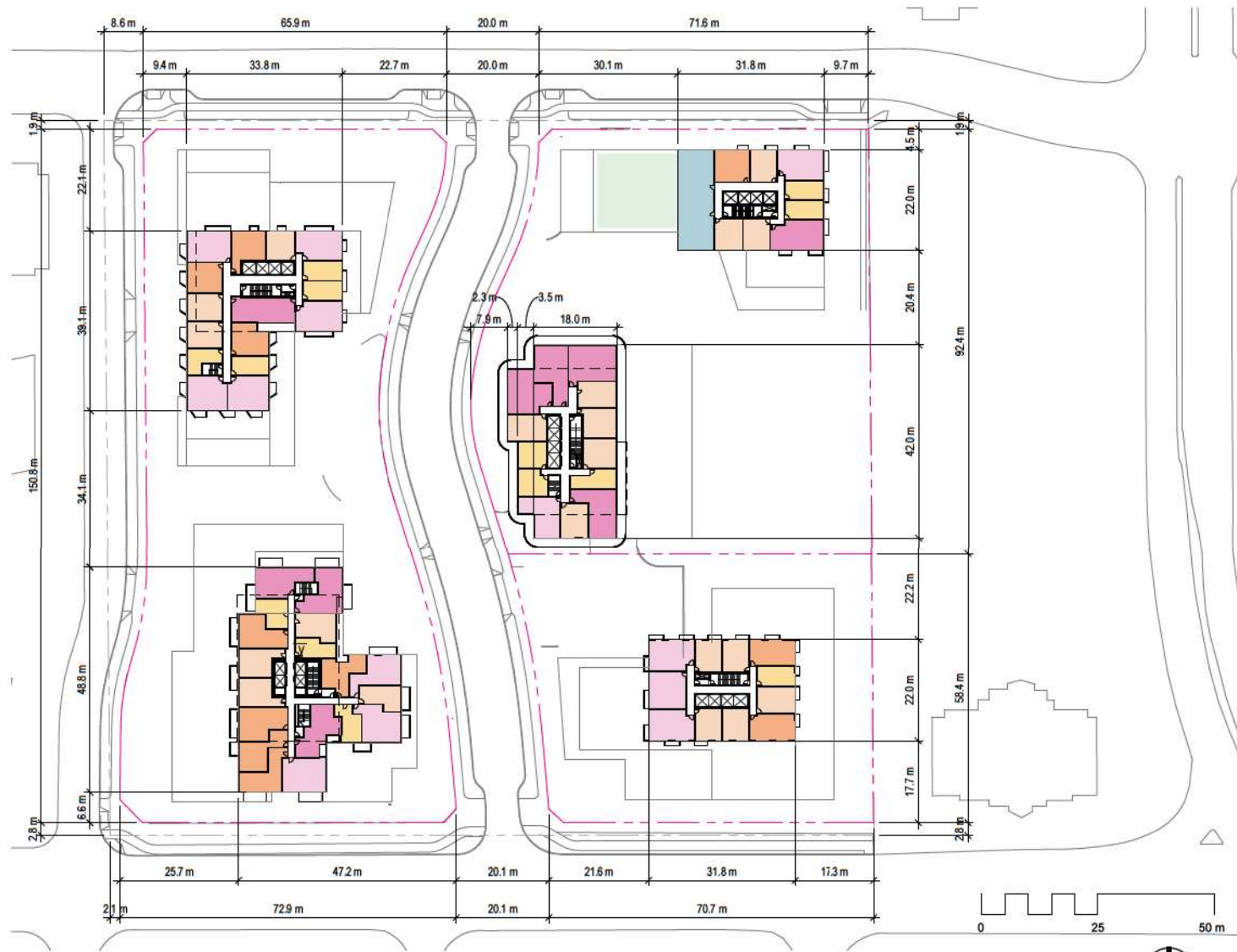
- Existing Property Line
- New Property Line
- Townhome
- Studio
- 1 Bedroom
- 1 Bedroom + Den
- 2 Bedroom
- 2 Bedroom + Guest
- Indoor Amenity
- Outdoor Amenity
- Daycare
- Retail



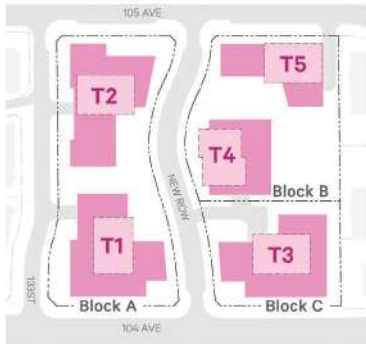
5.1.15 Floor Plan - Level 07



- Existing Property Line
- New Property Line
- Townhome
- Studio
- 1 Bedroom
- 1 Bedroom + Den
- 2 Bedroom
- 2 Bedroom + Guest
- Indoor Amenity
- Outdoor Amenity
- Daycare
- Retail



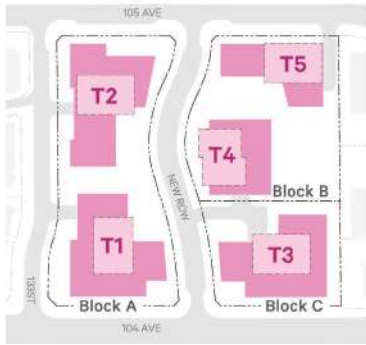
5.1.16 Floor Plan - Level 08



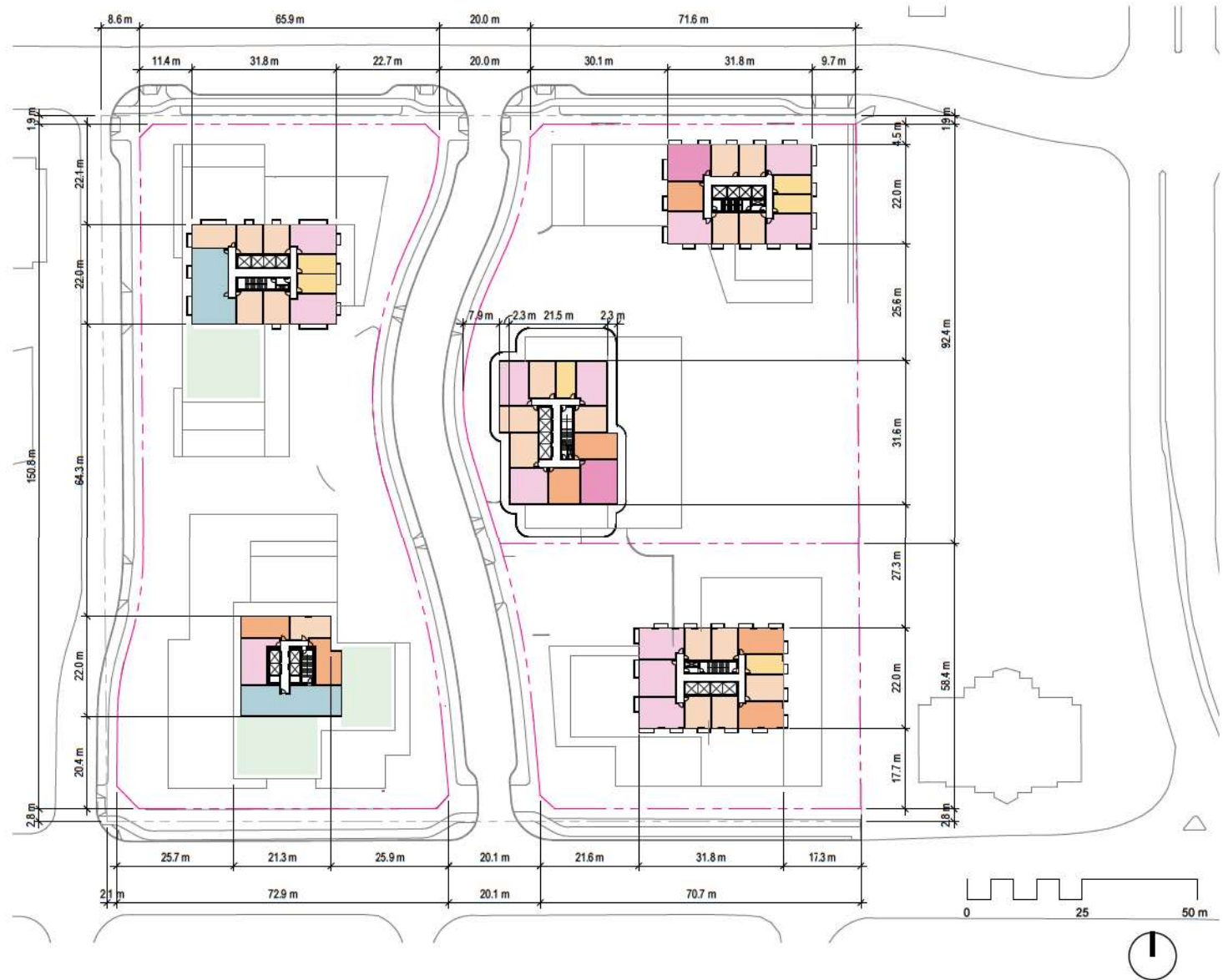
- Existing Property Line
- New Property Line
- Townhome
- Studio
- 1 Bedroom
- 1 Bedroom + Den
- 2 Bedroom
- 2 Bedroom + Guest
- Indoor Amenity
- Outdoor Amenity
- Daycare
- Retail



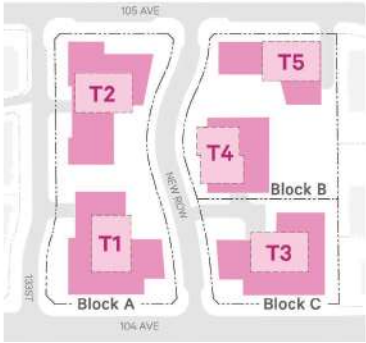
5.1.17 Floor Plan - Level 09



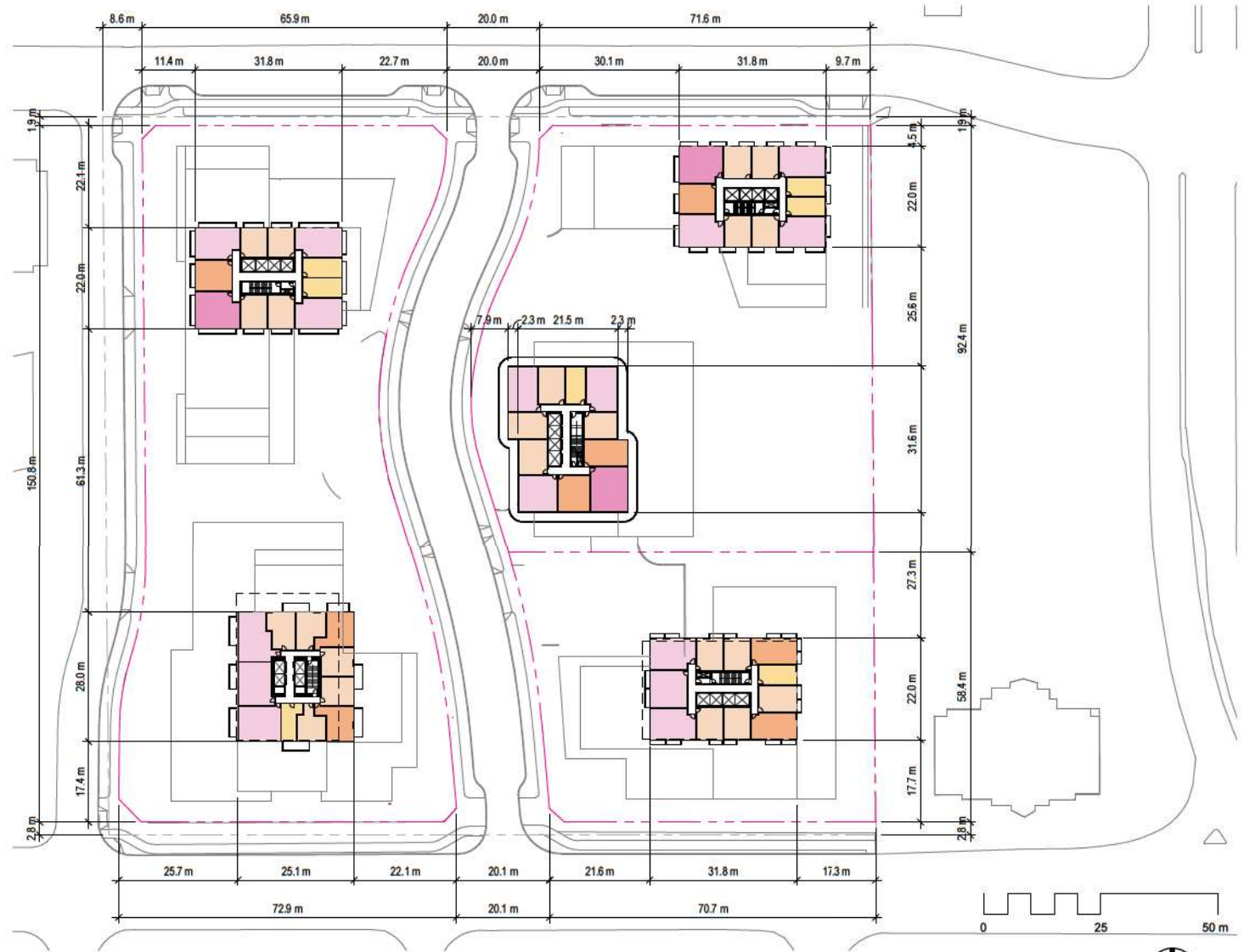
- Existing Property Line
- New Property Line
- Townhome
- Studio
- 1 Bedroom
- 1 Bedroom + Den
- 2 Bedroom
- 2 Bedroom + Guest
- Indoor Amenity
- Outdoor Amenity
- Daycare
- Retail



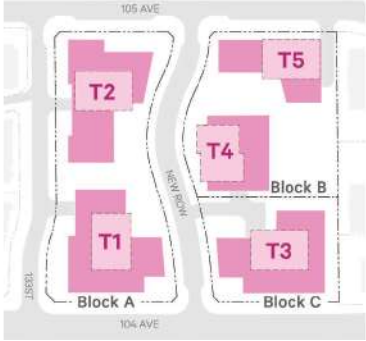
5.1.18 Floor Plan - Level 25



- Existing Property Line
- - - New Property Line
- Townhome
- Studio
- 1 Bedroom
- 1 Bedroom + Den
- 2 Bedroom
- 2 Bedroom + Guest
- Indoor Amenity
- Outdoor Amenity
- Daycare
- Retail



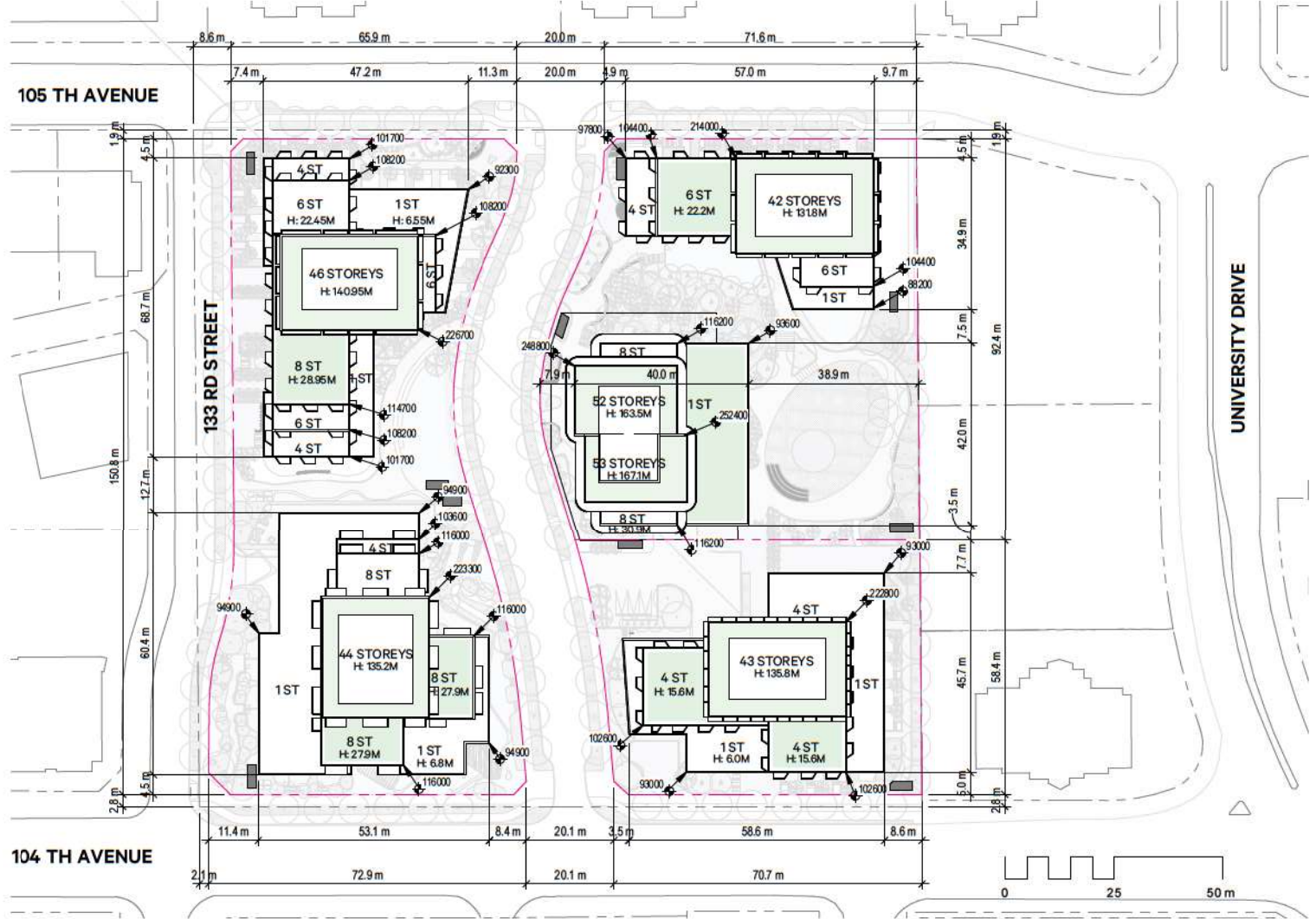
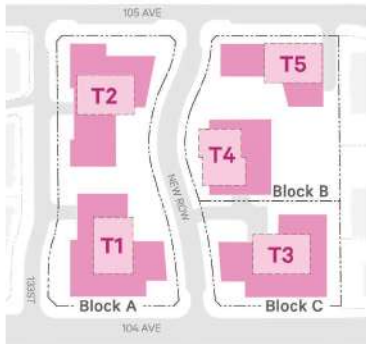
5.1.19 Floor Plan - Level 35



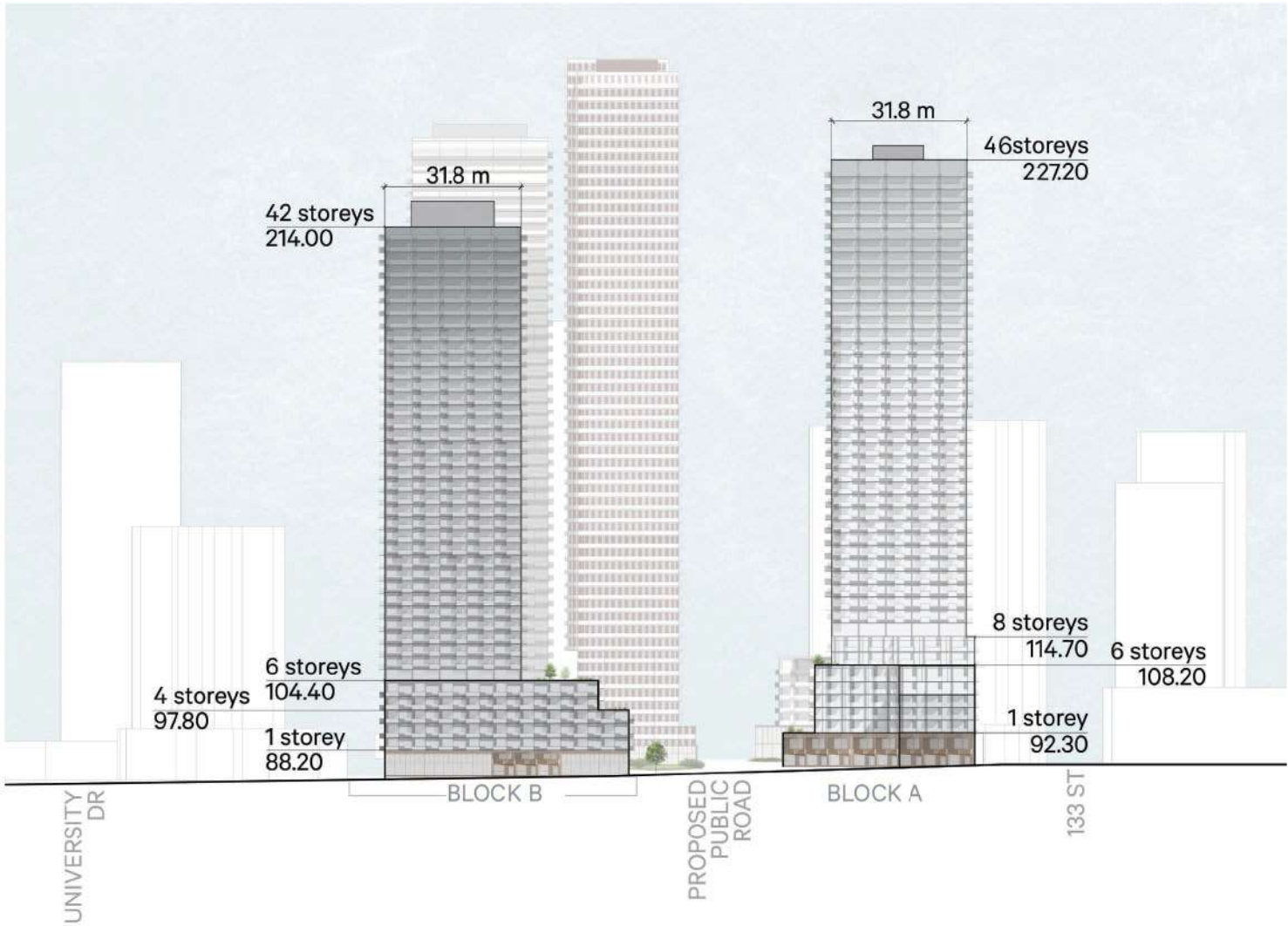
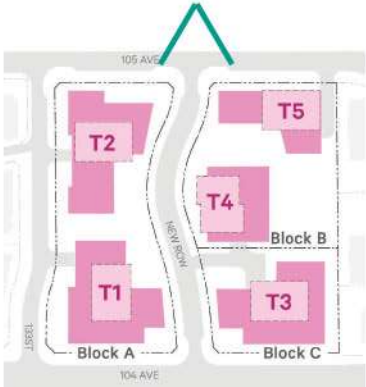
- Existing Property Line
- - - New Property Line
- Townhome
- Studio
- 1 Bedroom
- 1 Bedroom + Den
- 2 Bedroom
- 2 Bedroom + Guest
- Indoor Amenity
- Outdoor Amenity
- Daycare
- Retail



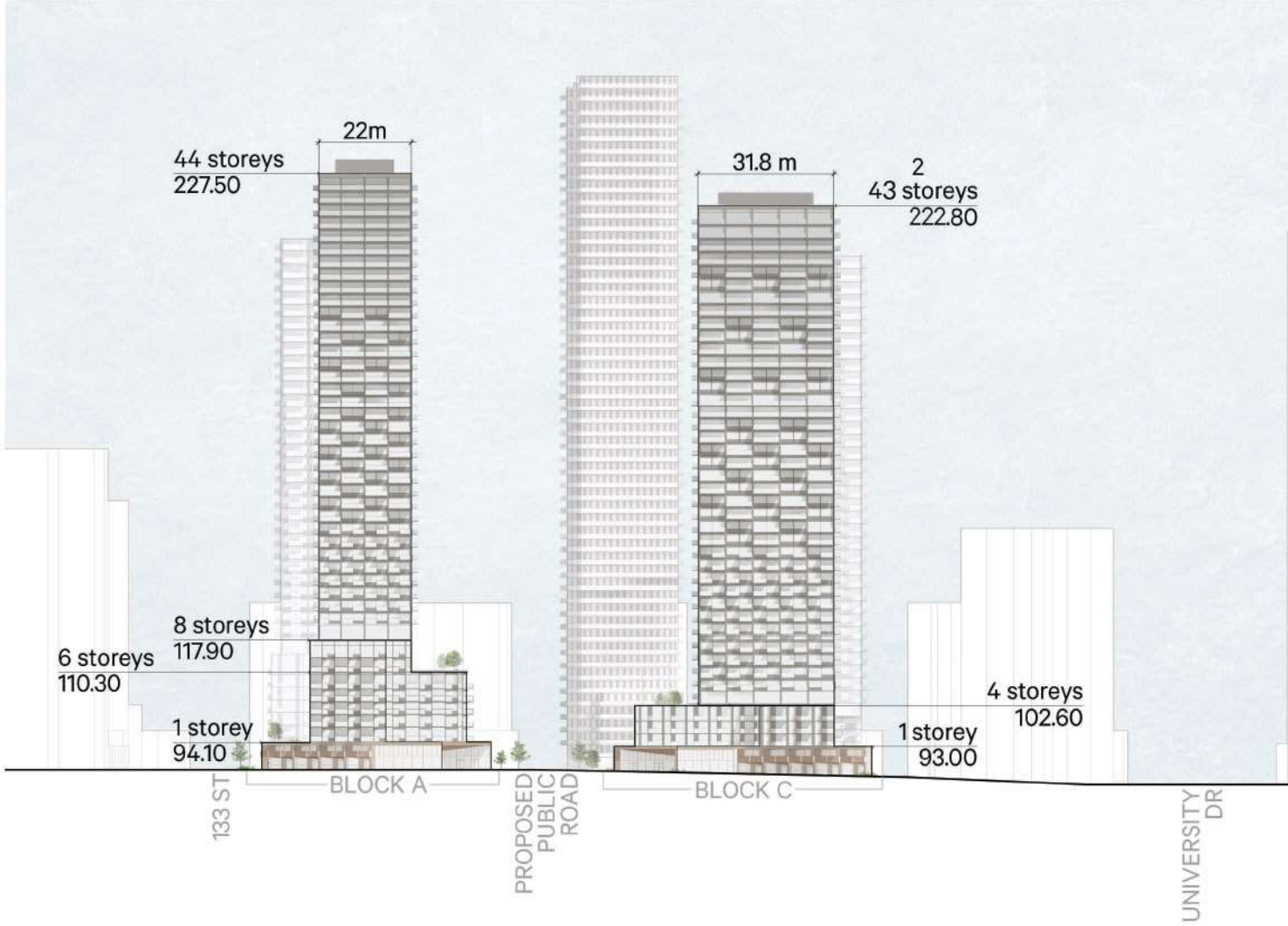
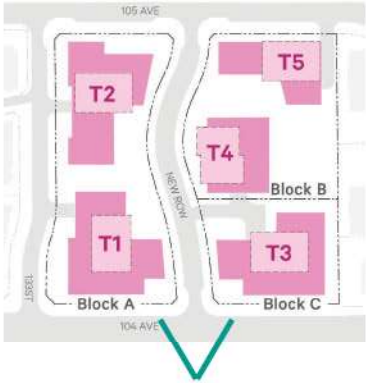
5.1.20 Roof Plan



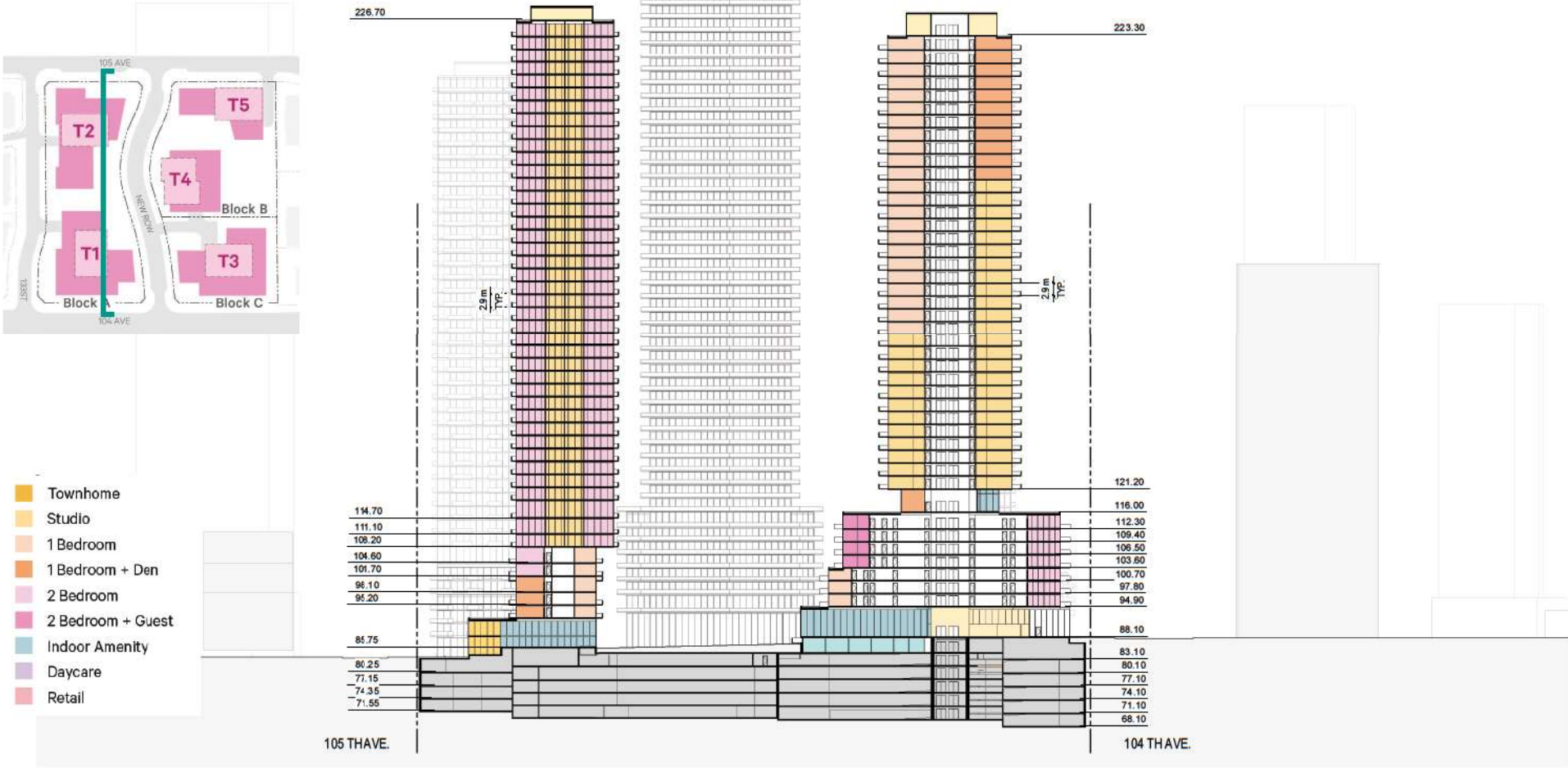
5.1.21 Elevation - North



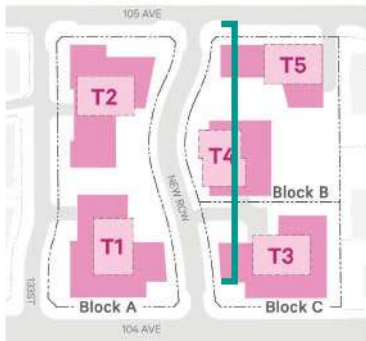
5.1.22 Elevation - South



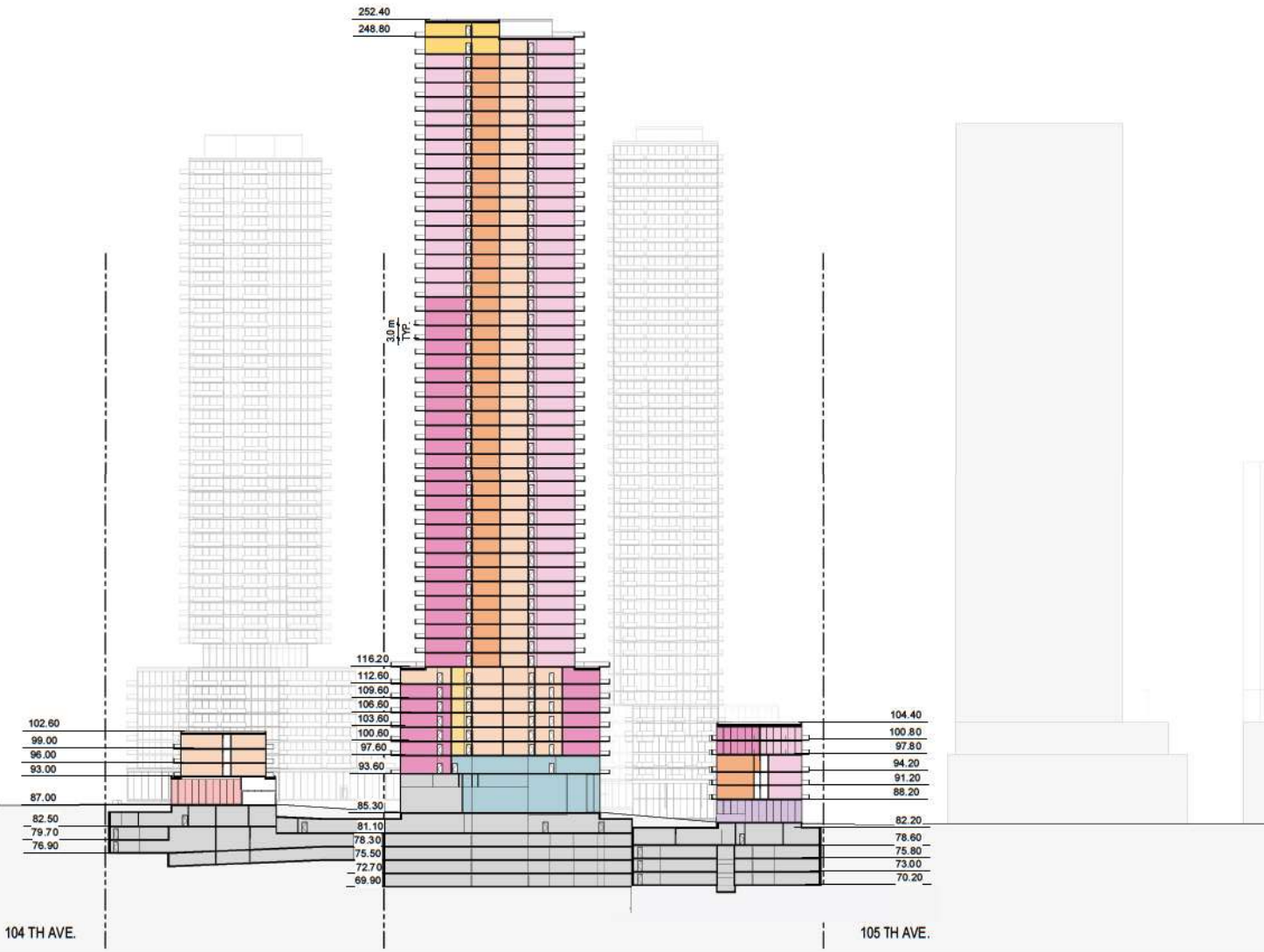
5.1.25 Building Section - A



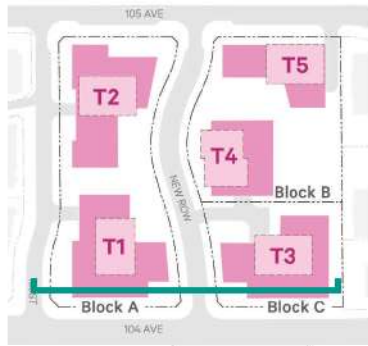
5.1.26 Building Section - C&B



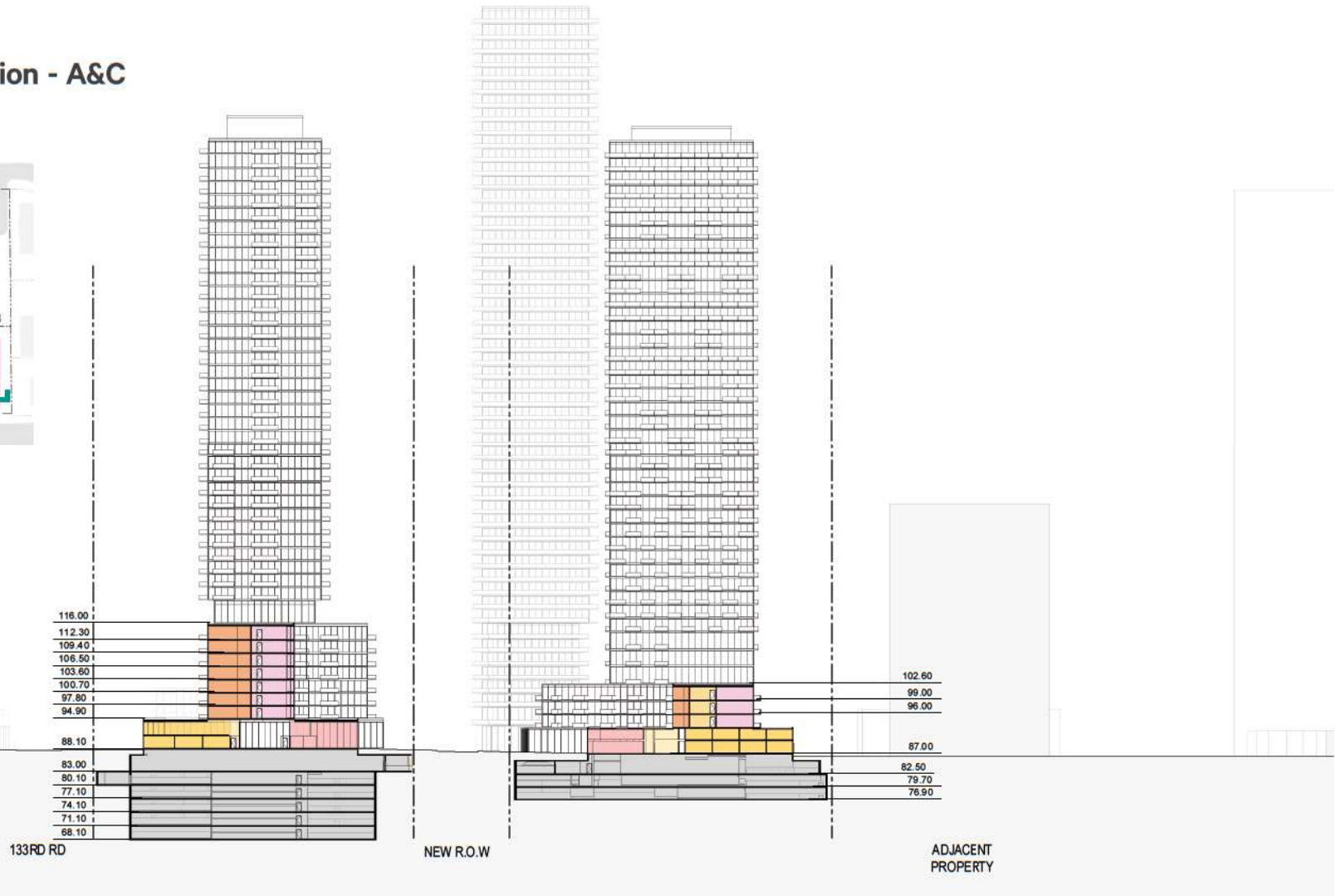
- Townhome
- Studio
- 1 Bedroom
- 1 Bedroom + Den
- 2 Bedroom
- 2 Bedroom + Guest
- Indoor Amenity
- Daycare
- Retail



5.1.27 Building Section - A&C



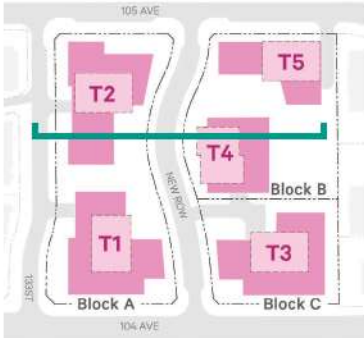
- Townhome
- Studio
- 1 Bedroom
- 1 Bedroom + Den
- 2 Bedroom
- 2 Bedroom + Guest
- Indoor Amenity
- Daycare
- Retail



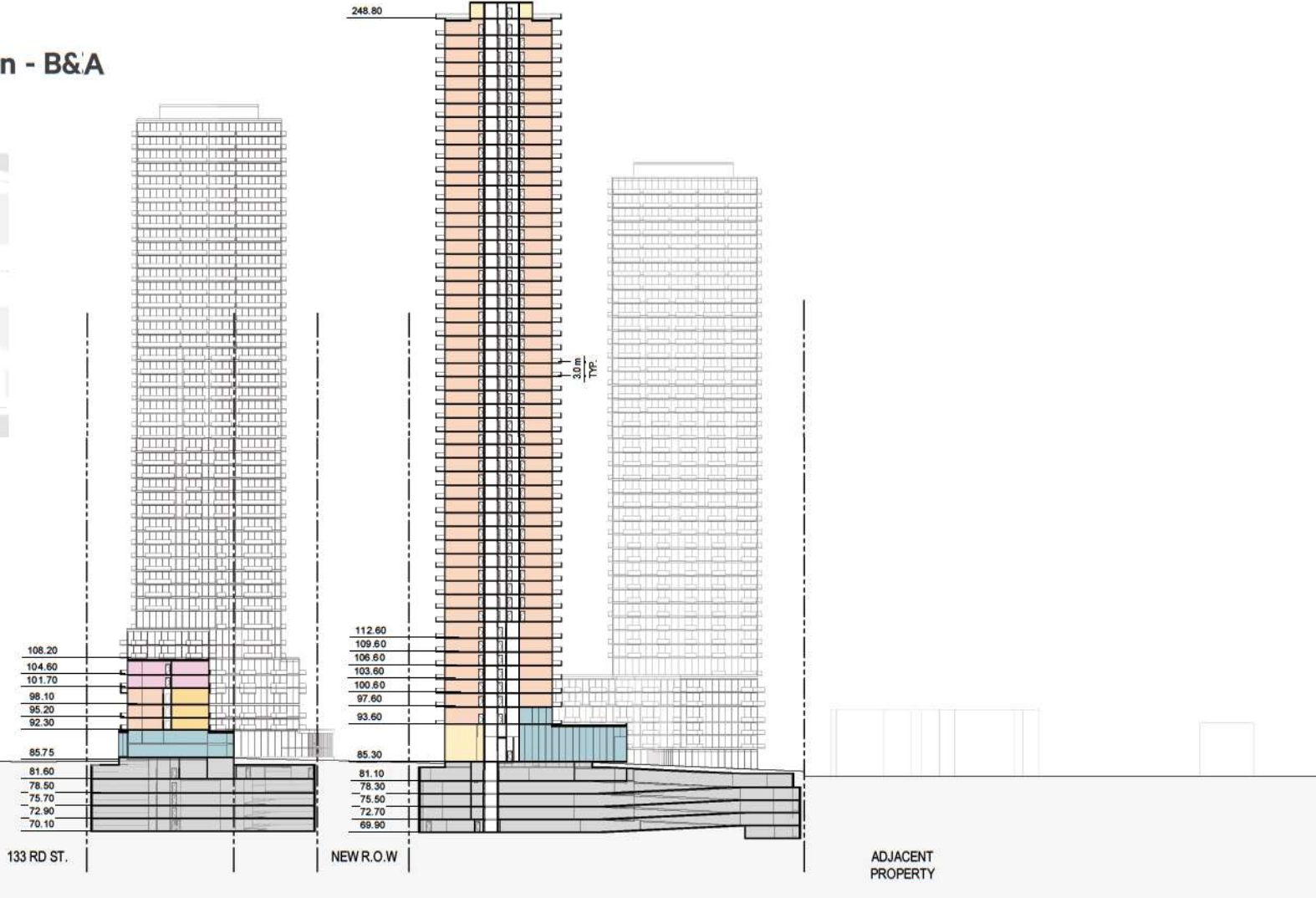
5.1.28 Building Section - B&A



5.1.29 Building Section - B&A



- Townhome
- Studio
- 1 Bedroom
- 1 Bedroom + Den
- 2 Bedroom
- 2 Bedroom + Guest
- Indoor Amenity
- Daycare
- Retail



5.2 Phasing

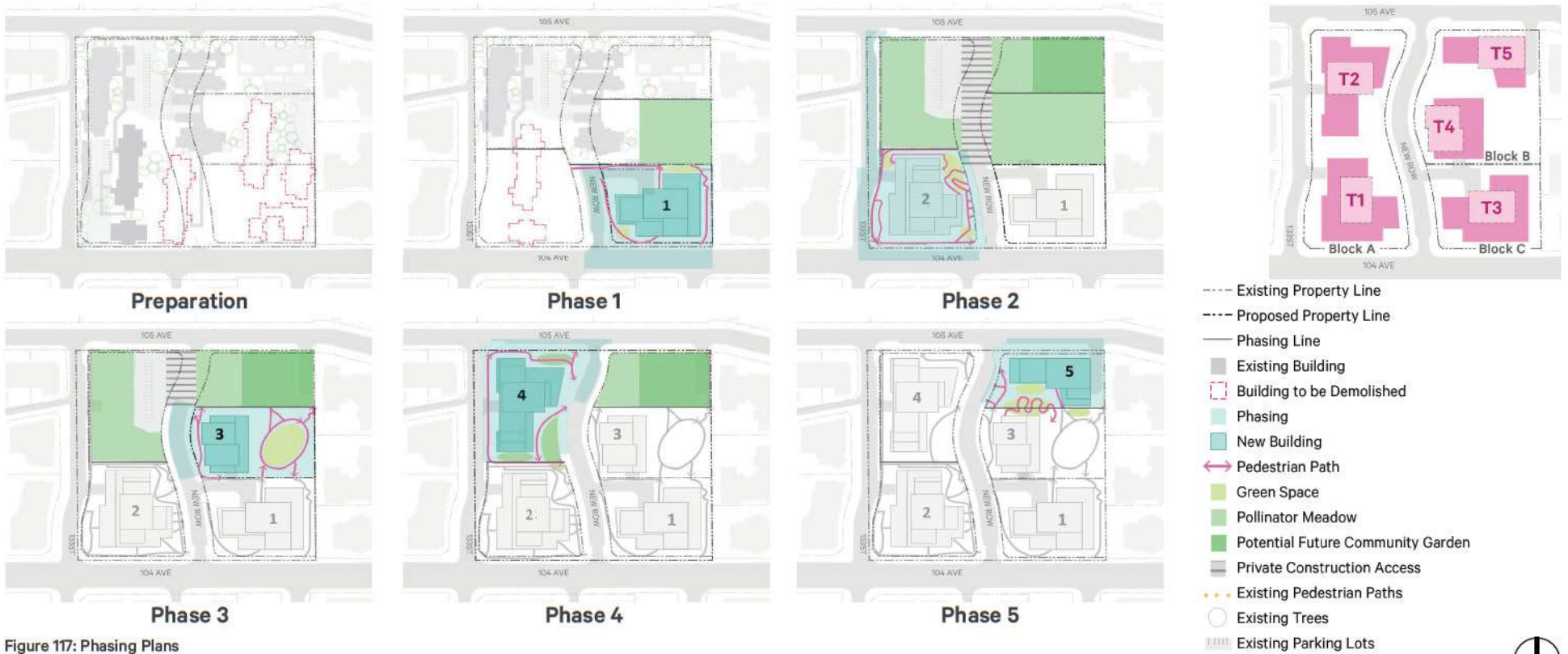


Figure 117: Phasing Plans

6.0 Project Data

6.1 Project Data

The following are the statistics for the proposal.

6.1.1 Site Statistics

Site Statistics		
Gross Site Area	25,793.8 m ²	6.374 acres
Net Site Area	20,817.9 m ²	5.144 acres
Gross FAR	6.8	-
Net FAR	8.4	-
Lot Coverage	-	49%
Total FAR GFA*	175,784.8 m ²	-
Total Dedication Area	4,975.9 m ²	19.3%

* Includes all the area of the floor enclosed by the outside edge of the exterior walls of a building with the exception of areas used as an accessory use for parking within the building envelope (loading, parking ramp), required amenity areas, required bike room at grade up to a maximum of 170 m² and mechanical penthouse.

6.1.2 Building Statistics

Building Statistics													
Block	Tower	Phase	Use	Net Site Area*** (m ²)	GFA* (m ²)	GFA for FAR** (m ²)	GFA for FAR** Residential (m ²)	GFA for FAR** CRU	Daycare**	Net FAR/Block***	Lot Coverage/Block (%)	Floors	Building Height (m)
Block A	T1	2	Condo/CRU	4,560.2	36,667.4	35,174.0	34,664.0	510.0		7.7	57	44	140****
Block A	T2	4	Condo	4,539.7	39,021.6	37,607.0	37,607.0	-		8.3	50	46	142****
Total Block A	-	-	-	9,099.9	75,689.0	72,781.0	72,271.0	510.0		8.0	54	46	142****
Total Block C	T3	1	Rental/CRU	4,295.9	32,788.9	31,635.9	31,134.5	501.4		7.4	51	43	136****
Block B	T4	3	Condo	4,408.2	40,923.3	39,762.1	39,762.1	-		9.0	37	52/53***	164/168****
Block B	T5	5	Condo/Daycare	3,013.9	32,668.8	31,605.8	31,605.8	-	431.3	10.5	48	42	132****
Total Block B	-	-	-	7,422.1	73,592.1	71,367.9	71,367.9	-	431.3	9.6	42	52/53***	164/168****
	Total	-	-	20,817.9	182,070.0	175,784.8	174,773.4	1,011.4	431.3	8.4	49	-	-

* Includes all the area of the above grade floor enclosed by the outside edge of the exterior walls of a building, excluding mechanical penthouse. (City of Surrey, Zoning By-Law 12000)

** GFA for FAR excludes parking ramp, loading, required amenity, required bike room at grade up to a maximum of 170 m² and mechanical penthouse, The daycare has been fully excluded as it is counted as an amenity space.

*** Because the lot phase boundary lines are drawn after the dedications, etc., are removed from the overall site, the Net and Gross FSR by phase are identical.

**** Height is measured to the top of slab of the top residential floor. The mechanical penthouse is not included.

6.1.3 Units and Bedrooms

Block Units and Bedrooms Mix																		
Block	Tower	Studio	Unit Mix %	Jr 1 Bed	Unit Mix %	1 Bed	Unit Mix %	1 Bed+Den	Unit Mix %	2 Bed	Unit Mix %	2 Bed+D.	Unit Mix %	3 Bed	Unit Mix %	Townhome	Unit Mix %	Total Units
Block A	T1	55	11.0%	0	0.0%	174	33.0%	112	21.0%	150	28.0%	22	4.0%	1	0.0%	7	1.0%	521
Block A	T2	105	18.0%	0	0.0%	209	35.9%	59	10.2%	149	25.4%	47	8.0%	0	0.0%	13	2.2%	582
Total Block A	-	160	14.5%	0	0.0%	383	34.5%	171	15.6%	299	26.7%	69	6.0%	1	0.0%	20	1.6%	1,103
Total Block C	T3	63	13.0%	57	12.0%	157	32.0%	87	17.0%	100	20.0%	16	3.0%	4	1.0%	7	1.0%	491
Block B	T4	108	18.1%	0	0.0%	206	34.5%	67	11.2%	159	26.6%	54	9.0%	0	0.0%	3	0.5%	597
Block B	T5	92	18.6%	0	0.0%	176	35.6%	59	11.9%	125	25.3%	38	7.7%	0	0.0%	5	1.0%	495
Total Block B	-	200	18.4%	0	0.0%	382	35.1%	126	11.6%	284	26.0%	92	8.4%	0	0.0%	8	0.8%	1,092
	Unit	423		57		922		384		683		177		5		35		2,686
	Unit	-	15.7%	-	2.2%	-	34.2%	-	14.3%	-	25.0%	-	6.5%	-	0.2%	-	1.2%	100.0%

6.1.4 Amenities

Amenity											
Block	Tower	Outdoor Amenity (m ²)					Indoor Amenity (m ²)				
		Required	Calculation	Provided @ GF	Provided @ Upper Levels ^a	Provided Total	Required		Provided @ GF	Provided @ Upper Levels ^{***}	Provided Total
Block A	T1	1,611.0	(473u ^a *x3sm)+(48mu ^a *x4sm)	1,290.0	321.0	1,611.0	1,037.0	(186u ^a *x3sm)+(48mu ^a *x4sm)+(287u ^a *x1sm)	745.0	269.0	1,014.0****
Block A	T2	1,746.0	(582u ^a *x3sm)	1,479.0	267.0	1,746.0	954.0	(186u ^a *x3sm)+(396u ^a *x1sm)	752.0	202.0	954.0
Total Block A	-	3,357.0		2,769.0	588.0	3,357.0	1,991.0		1,495.0	471.0	1968.0
Total Block C	T3	1,523.0	(441u ^a *x3sm)+(50mu ^a *x4sm)	201.0	449.0	650.0	1,013.0	(186u ^a *x3sm)+(50mu ^a *x4sm)+(255u ^a *x1sm)	644.0	252.0	896.0****
Block B	T4	1,791.0	(597u ^a *x3sm)	2,595.0	100.0	2,695.0	969.0	(186u ^a *x3sm)+(411u ^a *x1sm)	758.0	224.0	982.0
Block B	T5	1,485.0	(495u ^a *x3sm)	1,016.0	469.0	1,485.0	867.0	(186u ^a *x3sm)+(309u ^a *x1sm)	708.0	169.0	877.0
Total Block B	-	3,276.0		3,611.0	569.0	4,180.0	1,836.0		1,466.0	393.0	1,859.0
	Totals	8,159.0		6,581.0	1,606.0	8,187.0	4,840.0		3,607.0	1,116.0	4,723.0

u^a: Units

mu^a: Microunits

*** Refer to 4.1.8 Rooftop Indoor and Outdoor Amenity Space

Rezoning By-Law No. 20720, based on August 8th, Third Approval Reading:

**** Variance is required (cash-in-lieu payment to be made)

a) Outdoor amenity space in the amount of:

- 3.0 m² per dwelling unit; and
- 1.0 m² per lock-office suite; and
- 4.0 m² per micro unit;

b) Indoor amenity space in the amount of:

- 3.0 m² per dwelling unit up to 557 m² of amenity space (equivalent to 186 dwelling units);
- 1.0 m² per dwelling unit for that portion greater than 557 m² of amenity space;
- 1.0 m² per lock-off suite; and
- 4.0 m² per micro unit;

c) Indoor amenity space devoted to a child care centre shall be a maximum of 1.5 m² per dwelling unit.

6.1.5 Parking Statistics

Parking Statistics																	
Towers	Use	Parking Levels	Required Res. Parking Stalls	*Provided Res. Parking Stalls	Required Visitor Parking Stalls	Provided Visitor Parking Stalls	Commercial Required (Incl. Daycare)	Commercial Provided (Incl. Daycare)	Max. Small Cars Allowed	Small Cars Provided	Accessible Stalls Required (Including van-acc)	Accessible Stalls Provided (Including van-acc)*	Van-Accessible Stalls overall	Required Long-Term Bike Parking Stalls	Provided Long-Term Bike Parking Stalls	Required Short-Term Bike Parking Stalls	Provided Short-Term Bike Parking Stalls
T1	Condo/CRU	5	0	469	0	52	12	13	187	168	26	26	6	625	626	6	6
T2	Condo	4.5	0	466	0	58	-	-	204	130	29	29	6	698	698	6	6
T3	Rental/CRU	3	0	221	0	25	13	14	171	82	25	25	5	589	589	6	6
T4	Condo	4.5	0	478	0	60	-	-	209	176	30	30	6	716	716	6	6
T5	Condo/Daycare	6	0	396	0	50	7	7	174	78	25	25	5	594	594	6	6
Total	-	-	0	2,030	0	245	32	34	945	634	135	135	28	3,222	3,223	30	30

* Matches the required accessible stalls at time of submission and per the City Centre Rate of 2% accessible stalls.

Accessible Parking	0.05 per unit	ZbL 12000, Part 5, Parking, Section D - Required Parking spaces - 3.(C)
Accessible Parking	50% of which must be provided as van-accessible parking spaces	ZbL 12000, Part 5, Parking, table D.1
Small Cars	max 35% of required parking	ZbL 12000, Part 5, Parking, section B.1.C - Rate reduced by 20% as per section 5D.1.(c)
Retail Parking	2.40 parking spaces per 100 m ² of G.F.A	ZbL 12000, Part 5, Parking, table D.1 - Rate reduced by 20% as per section 5D.1.(c)
Daycare Parking	0.56 spaces per employee + 0.12 per child or 2 spaces, whichever is greater	ZbL 12000, Part 5, Parking, table D.1
Res Long Term Bike Stalls	1.2 spaces per unit	ZbL 12000, Part 5, Parking, table D.1
Res Short Term Bike Stalls	6 spaces per building	ZbL 12000, Part 5, Parking, table D.1

6.1.6 Childcare Facility Calculations

Childcare Facility Calculations					
Facility Requirements	B.C. Regulation 332/2007 'Child Care Licensing Regulation'		Fraser Health Authority	City of Surrey	Proposed
Group Sizes + Employee to Children Ratio	"Maximize Group Size (from Schedule E)"	Ratio of employees to children in each group (Schedule E)	-	-	-
Group Child Care (under 36 months)	"9-12 children with a separate area designated for each group."	"one infant/toddler educator + one other educator + one assistant"	no additional requirement	refer to BCBC	12 children between 0-3 years old. This requires 4 employees.
Group Child Care (30 months - school age)	"17-25 children with no more than two children younger than 36 months old in a single group"	"one educator + two assistants"	no additional requirement	refer to BCBC	25 children between 3-5 years old. This requires 3 employees.
Special Requirements					
Indoor Area Per Child	3.7 m ² of usable floor area (excl. hallways, bathrooms etc.)	-	no additional requirement	refer to BCBC	37 children = 3.7 m ² x 37 = 136.9 m ²
Outdoor Space (Enclosed) Per Child	6 m ² of outdoor play area per child or for the largest maximum group size permitted in Schedule E (see above)"	-	7 m ² or outdoor plan area	refer to Fraser Health	37 children = 7 m ² x 37 = 259 m ²
Off-Site Outdoor Play Areas	no allowance	-	allowed for entire required outdoor play area	refer to Fraser Health	-

BRISTOL ESTATES - TOWER 1 / PHASE 2

13301 104th Avenue, Surrey, BC

DDP - Detailed Development Permit



3D View North-East View, Indoor Amenity side entrance



3D View South-West View, main residential entrance and townhomes

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2	2024-06-03	RE-ISSUED FOR DDP

NOTES

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 Tamo Dembeck-Kerkes
 TDembeckKerkes@morrisonhershfield.com
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WASTE CONSULTANT

TARGET ZERO WASTE CONSULTING INC
 Jeff Levitt
 jeff@targetzerowaste.com
 604-488-7024

SHEET LIST DDP	
A000	COVER PAGE
A001	3D MASSING
A011	PROJECT STATISTICS
A040	CONTEXT - NEIGHBOURHOOD
A041	PHASING PLAN
A042	BLOCK PLAN - EXISTING
A043	BLOCK PLAN - COMPLETED DEVELOPMENT
A044	SITE PLAN
A046	FIRE DEPARTMENT SITE PLAN
A100	FLOOR PLAN P5
A101	FLOOR PLAN P3-P4
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A103	FLOOR PLAN P1
A104	FLOOR PLAN P1 MEZZ
A105	FLOOR PLAN 01 MEZZ
A107	FLOOR PLAN 02
A108	FLOOR PLANS 03-04

SHEET LIST DDP	
A109	FLOOR PLANS 05
A110	FLOOR PLANS 06-08
A111	FLOOR PLAN 09 AMENITY
A112	FLOOR PLANS TOWER
A113	FLOOR PLAN MECH
A114	ROOF PLAN
A300	NORTH & SOUTH ELEVATIONS
A301	EAST & WEST ELEVATIONS
A320	ENLARGED PODIUM ELEVATION - NORTH
A321	ENLARGED PODIUM ELEVATION - SOUTH
A322	ENLARGED PODIUM ELEVATION - EAST
A323	ENLARGED PODIUM ELEVATION - WEST
A350	BUILDING SIGNAGE
A351	TOWNHOUSE ELEVATIONS
A400	SECTIONS

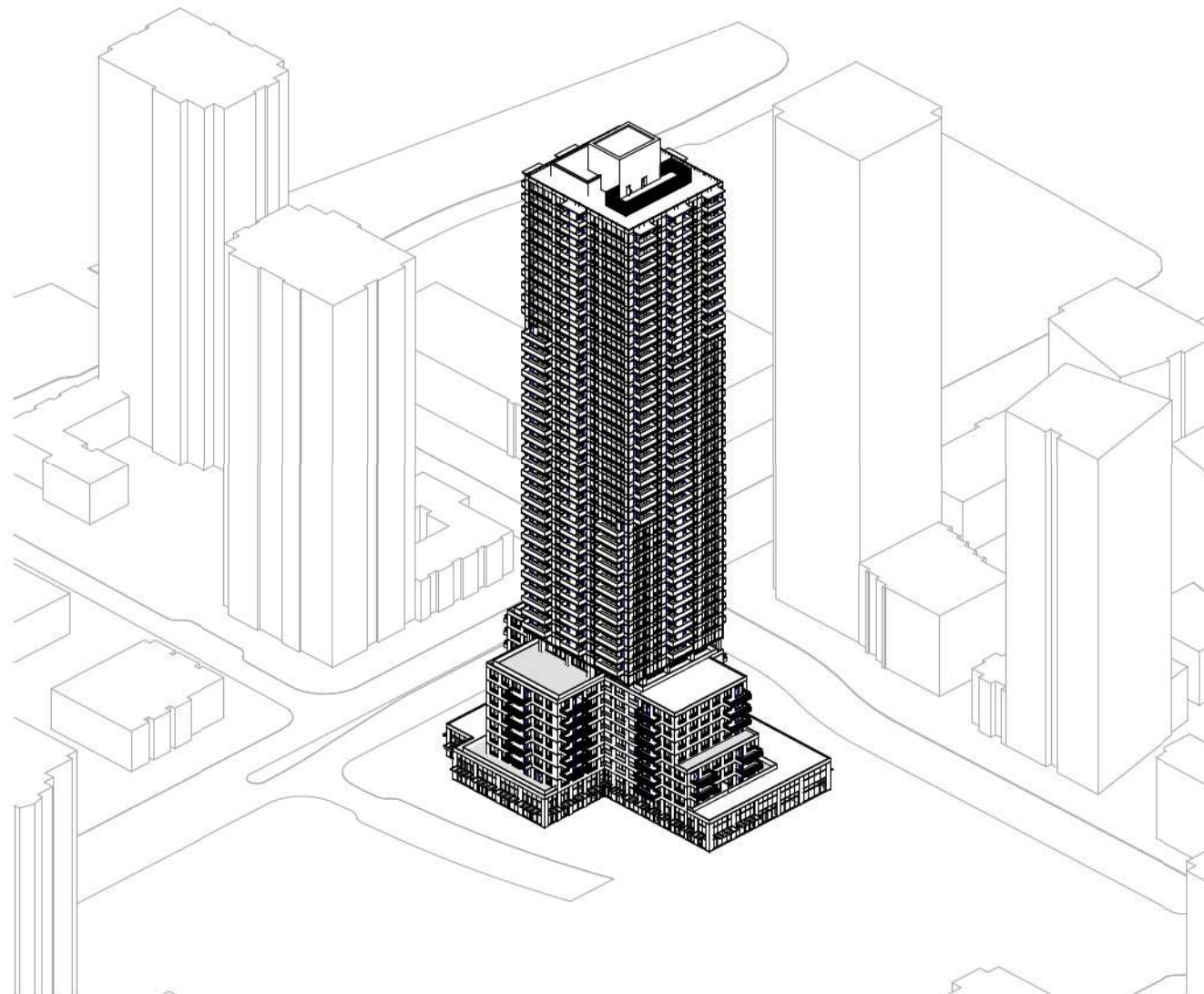


BRISTOL ESTATES TOWER 1
 13301 104th Avenue,
 Surrey, BC
 BOSAPROPERTIES

COVER PAGE

PROJECT 4892_1
 SCALE
 DATE 03/26/2024

A000



3D View - North-East side axonometric view

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 CONSULTANTS
 2500 SHEPPARD AVENUE EAST, SUITE 200
 SCARBOROUGH, ONTARIO M1S 4P7

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 13001 104th Avenue,
 Surrey, BC

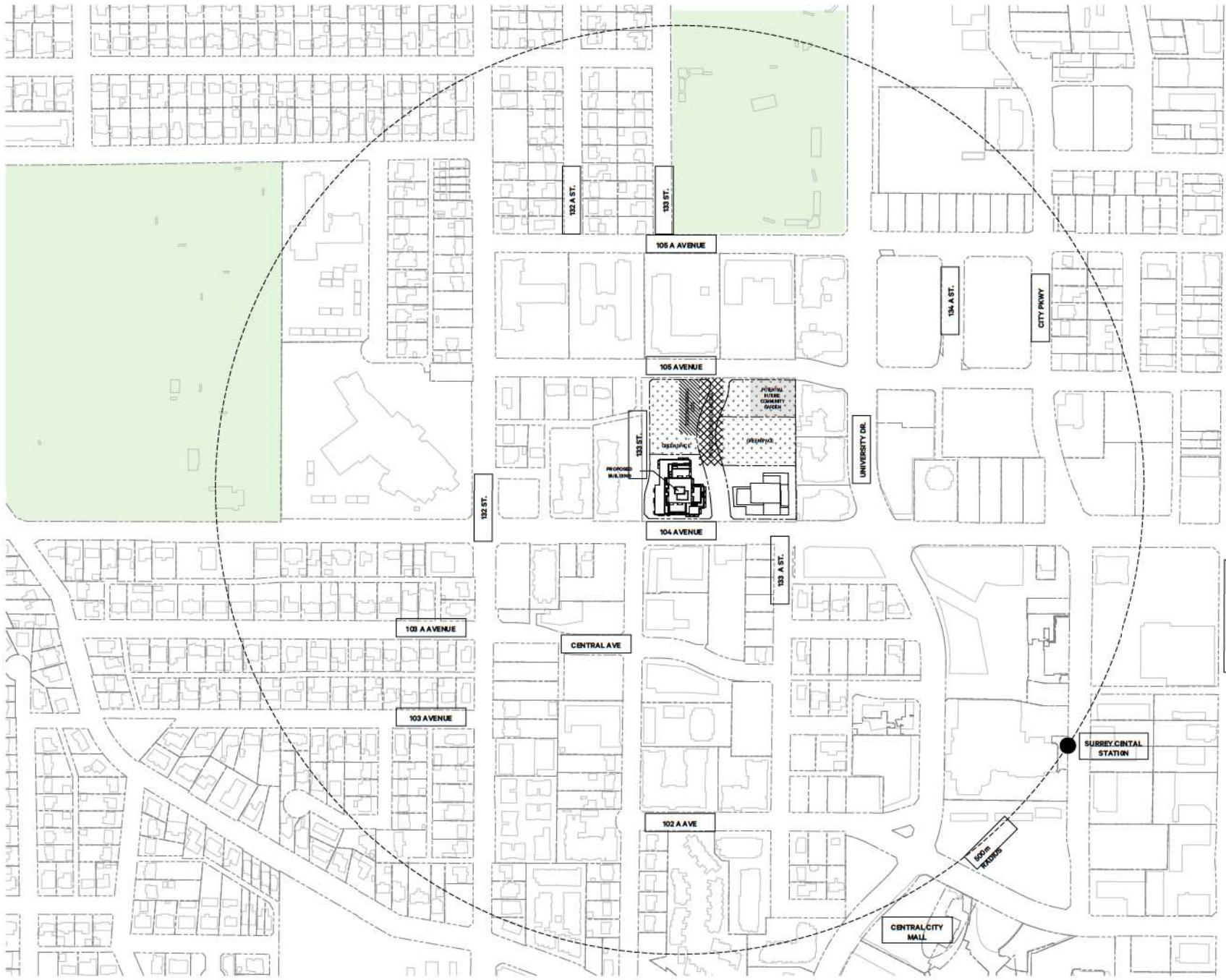
BOGA PROPERTIES

3D MASSING

PROJECT 4820_1
 SCALE
 DATE 03/26/2024

A001

1/20/24 4:48:00 PM



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BRISTOL ESTATES TOWER 1
1300 104th Avenue,
Surrey, BC
BOSA PROPERTIES

CONTEXT - NEIGHBOURHOOD

PROJECT: 4892_1
SCALE: 1" = 100' (1:3048)
DATE: 03/26/2024

A040
SCALE: 1/8" = 1'-0"



PHASING PLAN - PREPARATION
scale 1:500



PHASING PLAN - PHASE 1
scale 1:500



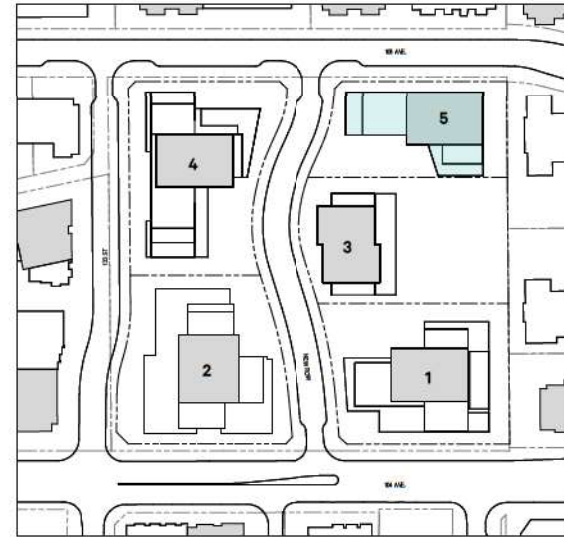
PHASING PLAN - PHASE 2
scale 1:500



PHASING PLAN - PHASE 3
scale 1:500



PHASING PLAN - PHASE 4
scale 1:500



PHASING PLAN - PHASE 5
scale 1:500

CONTRACTOR SHALL VERIFY AND CHANGES TO THE SITE LINE
PROPERTY OF THE DEVELOPER AND THE CONTRACTOR SHALL
VERIFY THE BOUNDARIES OF THE PROPERTY.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL
NECESSARY PERMITS AND APPROVALS FROM THE LOCAL
AUTHORITIES.
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NECESSARY PERMITS AND APPROVALS FROM THE LOCAL
AUTHORITIES.
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NECESSARY PERMITS AND APPROVALS FROM THE LOCAL
AUTHORITIES.

NO.	DATE	REVISION/COMMENT
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NOTES

- GREEN SPACE
- FOLLOWUP WORK
- TO BE DEMOLISHED (COMMON TO GREEN)
- EXISTING ROAD
- NEW BUILDING
- EXISTING PARKING LOT
- PRIVATE CONSTRUCTION ACCESS
- BUILDING TO BE DEMOLISHED



BRISTOL ESTATES TOWER 1
1300 10th Avenue,
Surrey, BC

BOSA PROPERTIES

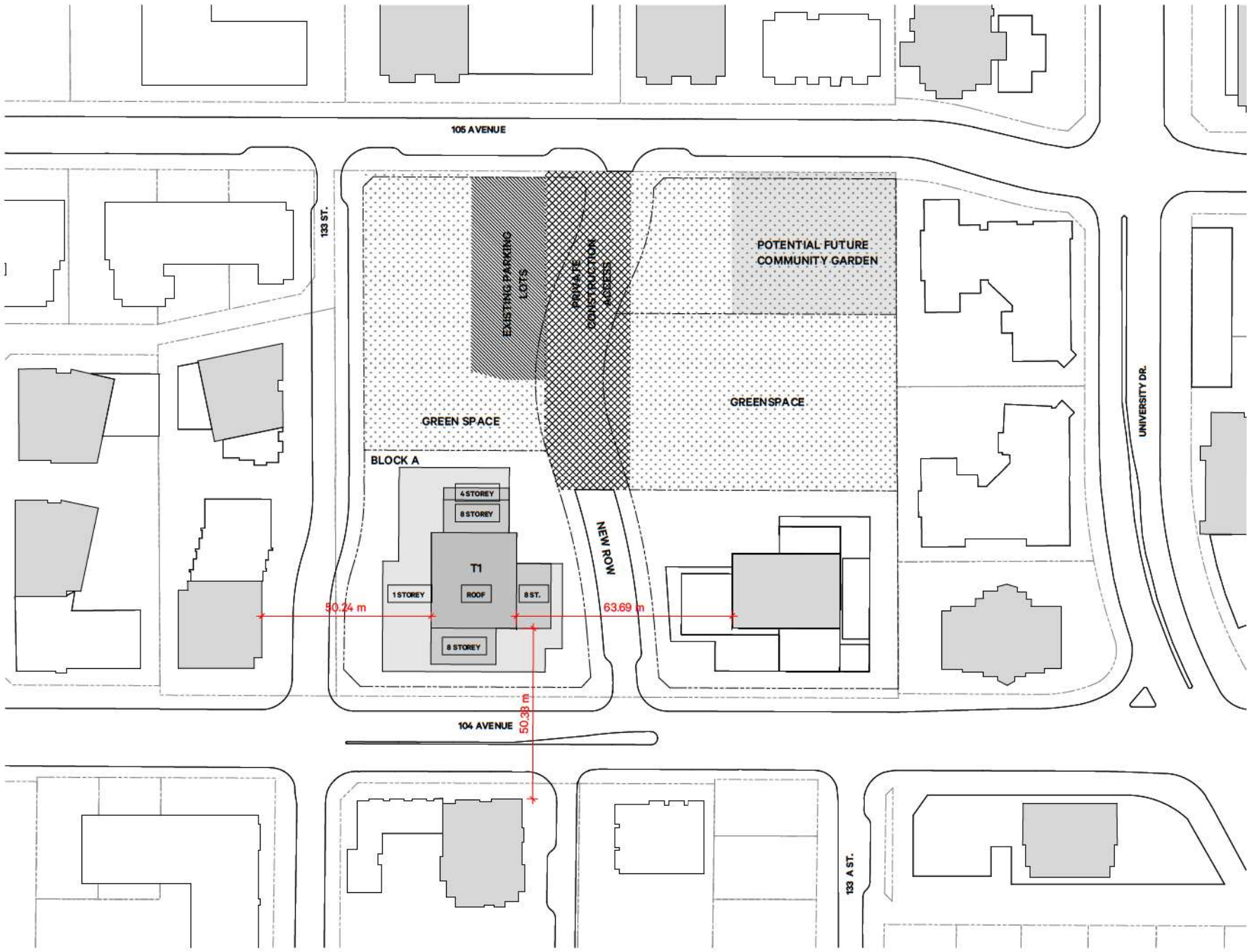
PHASING PLAN



PROJECT 4870_1
SCALE 1"=10'-0" (AS SHOWN)
DATE 03/26/2024

A041

EXTON 00001074



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 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE COST OF THE SAME.

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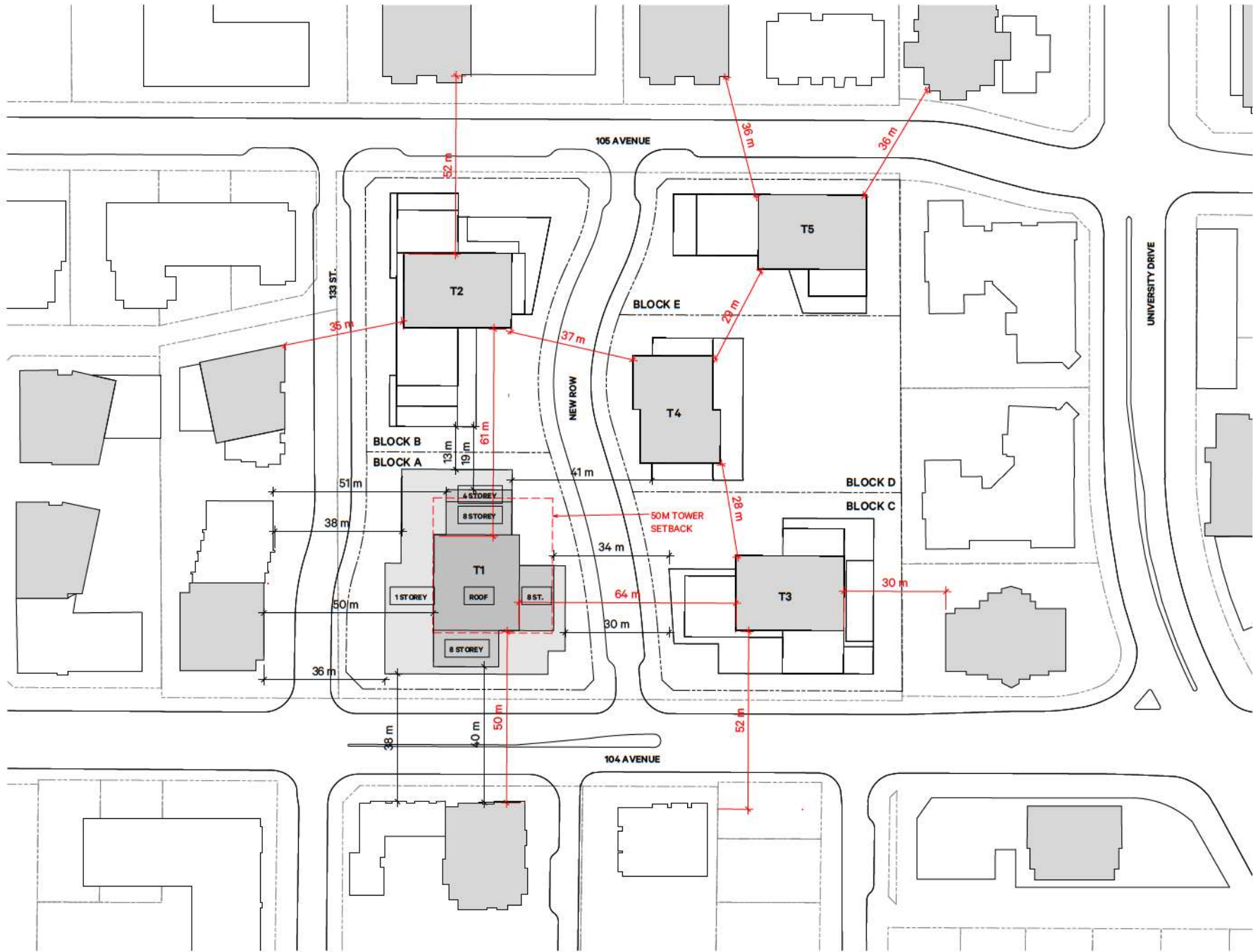


BRISTOL ESTATES TOWER 1
 1300 104th Avenue,
 Surrey, BC
 BOSQ PROPERTIES

BLOCK PLAN - EXISTING

PROJECT: 4892_1
 SCALE: F=1:501 (AS SHOWN)
 DATE: 03/28/2024

A042



CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BUILDING REGULATIONS OF THE PROVINCE OF BRITISH COLUMBIA AND THE BY-LAWS OF THE CITY OF VANCOUVER. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE INFORMATION IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.

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 Surrey, BC
 BOSA PROPERTIES
 BLOCK PLAN - COMPLETED
 DEVELOPMENT

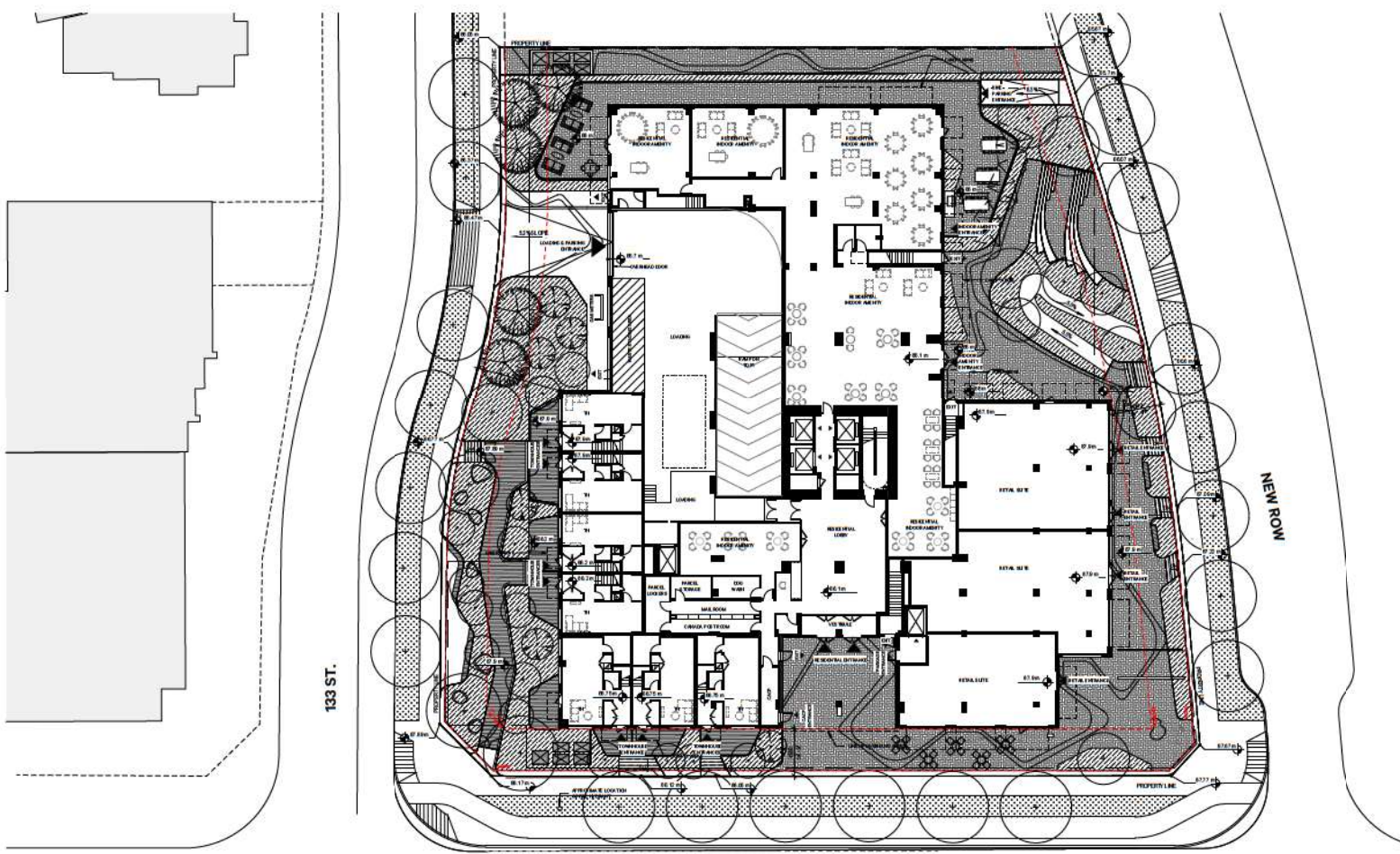
PROJECT: 4892.1
 SCALE: 1"=50' (AS SHOWN)
 DATE: 03/28/2024

A043
 WILSON L&B/PM

CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF VANCOUVER'S ZONING BY-LAW AND THE BRISTOL ESTATES TOWER 1 DEVELOPMENT PERMIT. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VANCOUVER AND THE BC LAND REGISTRY. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VANCOUVER AND THE BC LAND REGISTRY. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VANCOUVER AND THE BC LAND REGISTRY.

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NOTES



133 ST.

104 AVENUE

NEW ROW

SvN
 25-1100 WEST 4TH AVENUE
 VANCOUVER, BC V6Z 1Y4

BRISTOL ESTATES TOWER 1
 1300 104th Avenue,
 Surrey, BC
 BOSA PROPERTIES

SITE PLAN



PROJECT: ABR_1
 SCALE: 1:100
 DATE: 03/26/2024

A044

BY: [Signature]



CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BC FIRE DEPARTMENT'S APPROVED FIRE DEPARTMENT ACCESS AND CLEARANCE REQUIREMENTS FOR THE PROPOSED DEVELOPMENT. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE FIRE DEPARTMENT. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE FIRE DEPARTMENT. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE FIRE DEPARTMENT.

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 20-25 HASTINGS STREET, SUITE 201
 VANCOUVER, BC V6C 3S8
 TEL: 604.255.1234

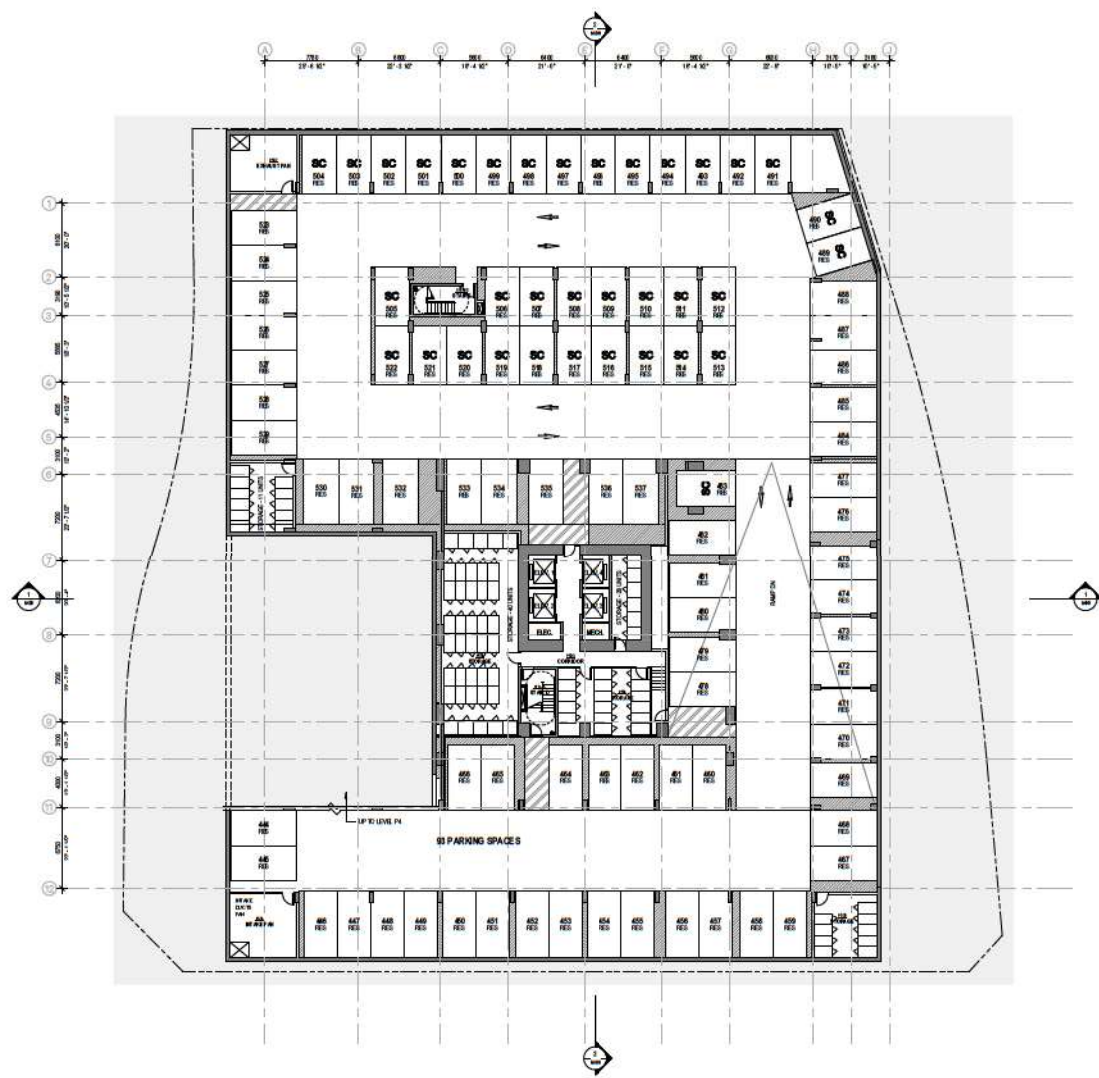
BRISTOL ESTATES TOWER 1
 1300 104th Avenue,
 Surrey, BC
 BOSIA PROPERTIES

FIRE DEPARTMENT SITE PLAN

PROJECT: 4890_1
 SCALE: 1:100
 DATE: 03/26/2024

A045

WATSON ARCHITECTS



CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF THE EXISTING SERVICES OF THE BUILDING AND RECORD THE SAME IN THE AS-BUILT DRAWINGS AT THE INTERSECTION OF THE SERVICES.

THESE DIMENSIONS SHALL BE USED FOR THE CONSTRUCTION OF THE BUILDING.

FOR THE CONSTRUCTION OF THE BUILDING, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF THE EXISTING SERVICES OF THE BUILDING AND RECORD THE SAME IN THE AS-BUILT DRAWINGS AT THE INTERSECTION OF THE SERVICES.

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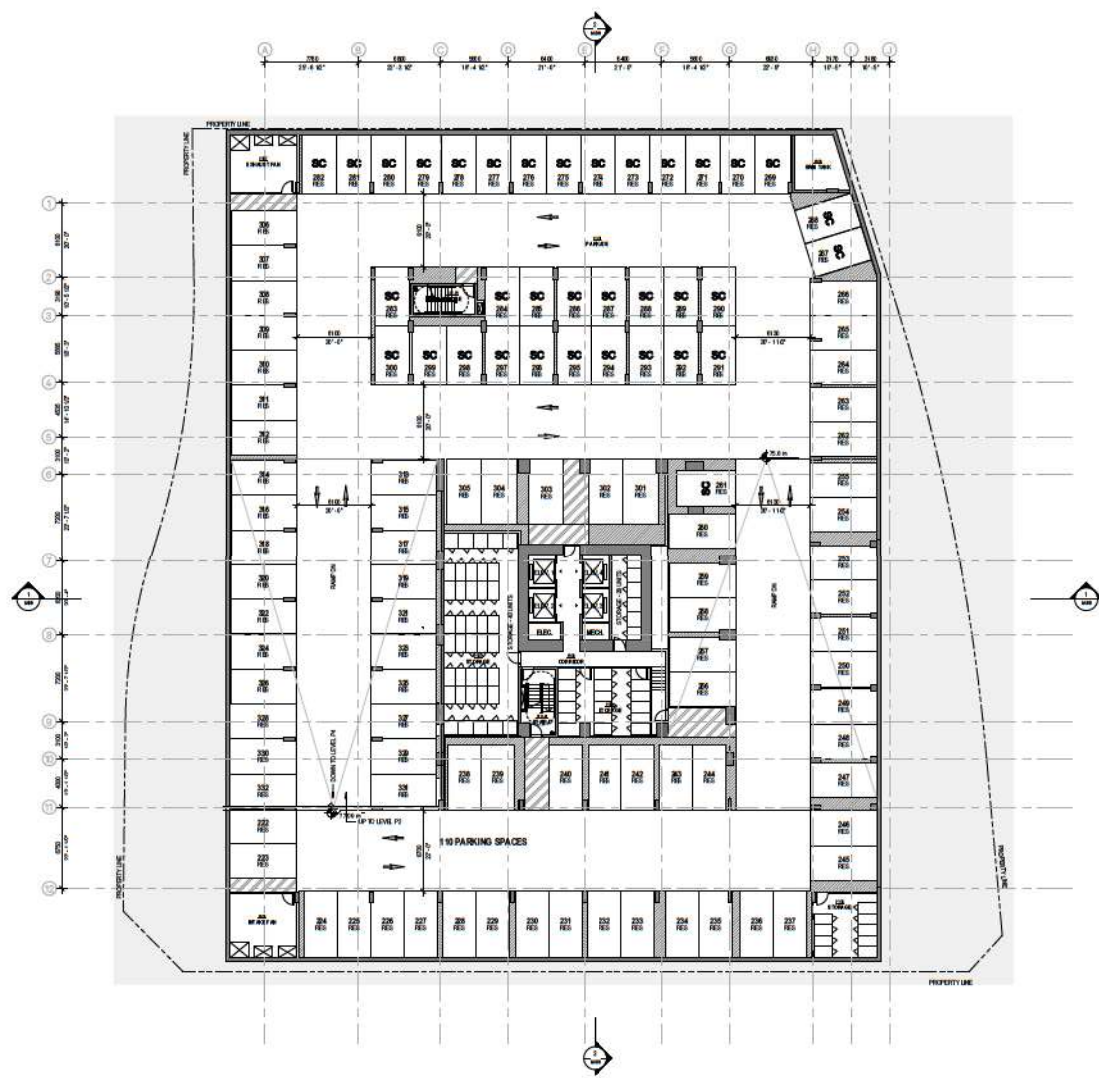
BOSA PROPERTIES

FLOOR PLAN PS

PROJECT: A100_1
SCALE: 1/8" = 1'-0" (1/8")
DATE: 03/26/2024

A100

BY: [Signature]



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BRISTOL ESTATES TOWER 1
 13001 104th Avenue,
 Surrey, BC
 BOSA PROPERTIES

FLOOR PLAN P3-P4

PROJECT: 4870_1
 SCALE: 1/8" = 1'-0" (1/8")
 DATE: 03/26/2024

A101

VISION CONSULTING

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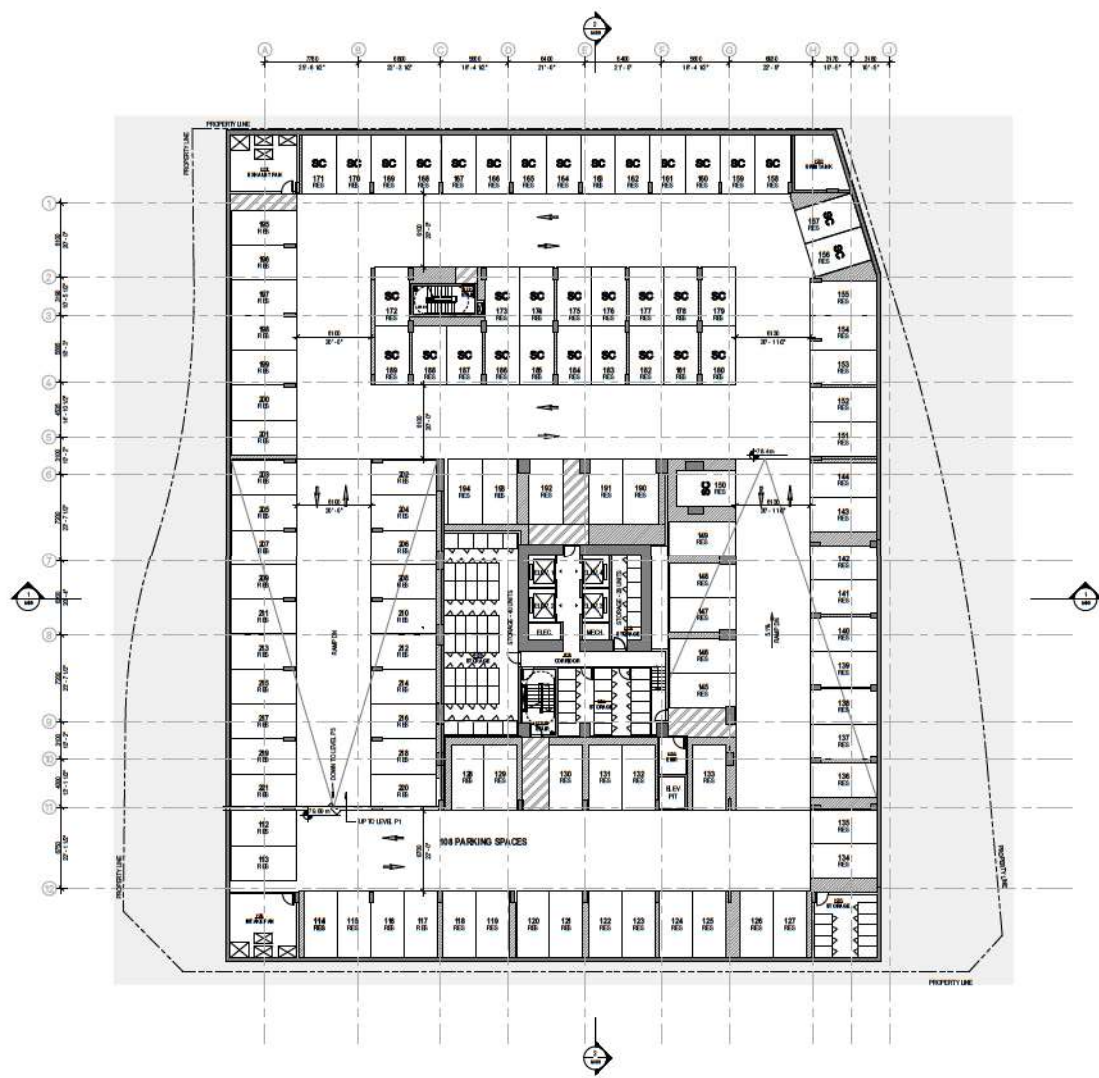
VEHICLE PARKING LEGEND

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 2.2m x 4.5m
 2.2m x 5.2m

2.2m x 5.2m
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SvN
 25-10 HAVENVIEW
 VANCOUVER, BC V6V 1A4

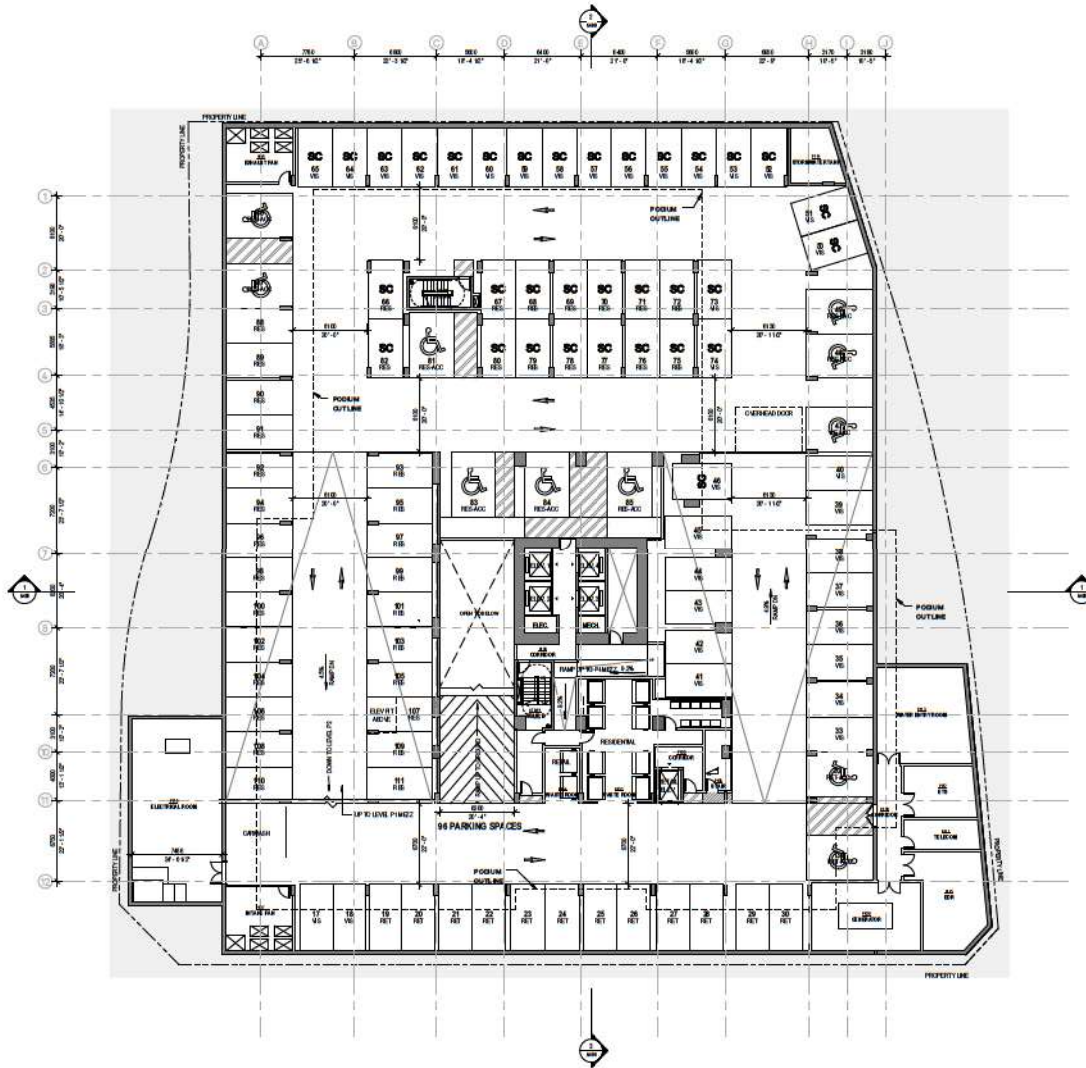
BRISTOL ESTATES TOWER 1
 13001 104th Avenue,
 Surrey, BC

BOSA PROPERTIES

FLOOR PLAN P2

PROJECT: 4892_1
 SCALE: 1/8" = 1'-0" (1/8")
 DATE: 05/26/2024

A102
 VECTOR MANA PIV



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NOTES



BRISTOL ESTATES TOWER 1
13001 104th Avenue,
Surrey, BC

BOSA PROPERTIES



FLOOR PLAN P1

PROJECT: 4892_1
SCALE: 1/8" = 1'-0" (1:24)
DATE: 02/26/2024

A103

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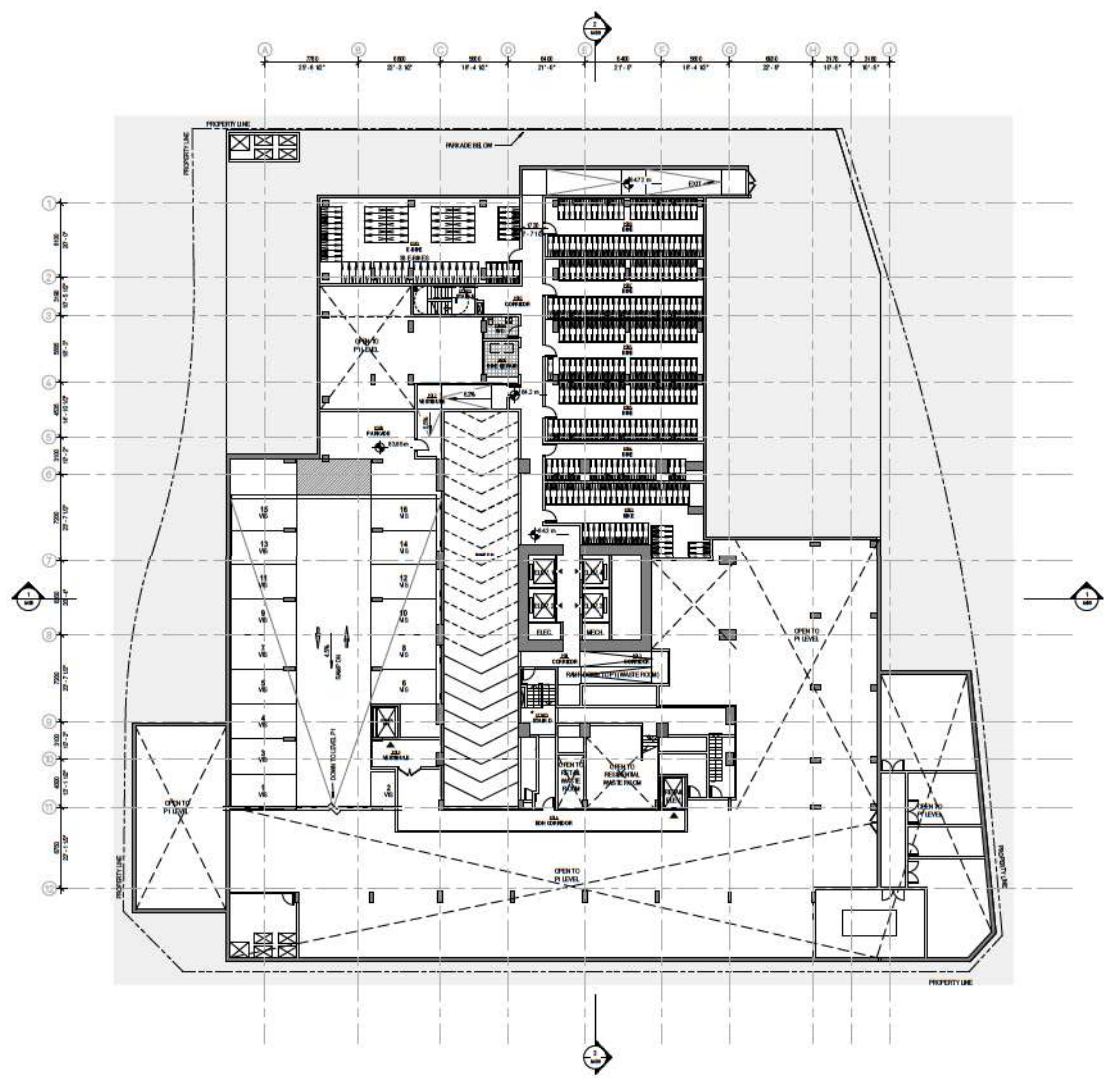
NO.	DATE	REVISION/COMMENT
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NOTES

BOYLE PARKING LEGEND



S/T SHORT TERM
L/T LONG TERM
RES RESIDENTIAL
RET RETAIL
MS VISITOR



SvN

20-25 WEST 10TH AVENUE
VANCOUVER, BC V6Y 2Y8

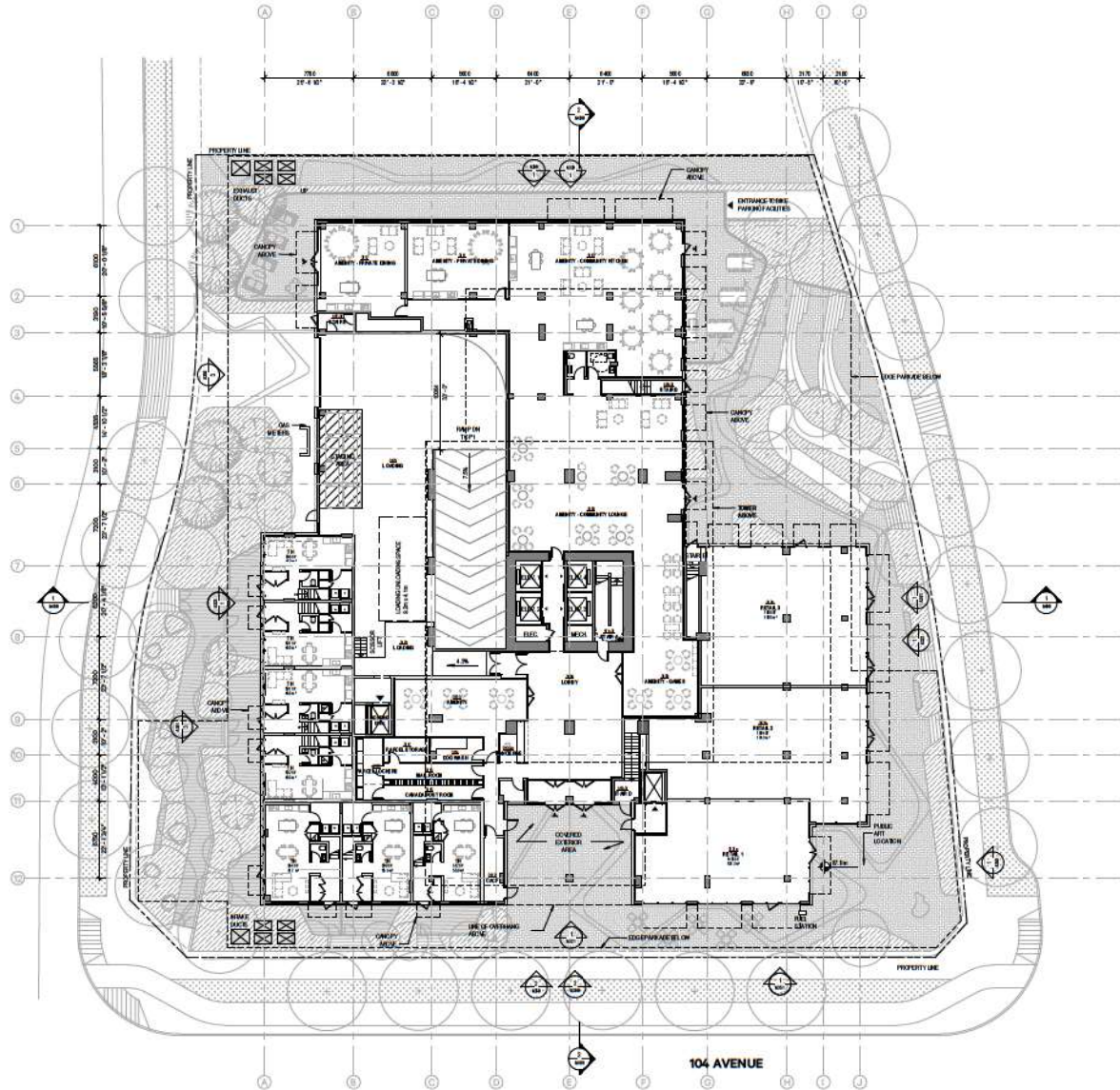
BRISTOL ESTATES TOWER 1
13001 104th Avenue,
Surrey, BC

FLOOR PLAN P1 MEZZ

PROJECT 4876_1
SCALE 1/8" = 1'-0" (1/8")
DATE 06/26/2024

A104

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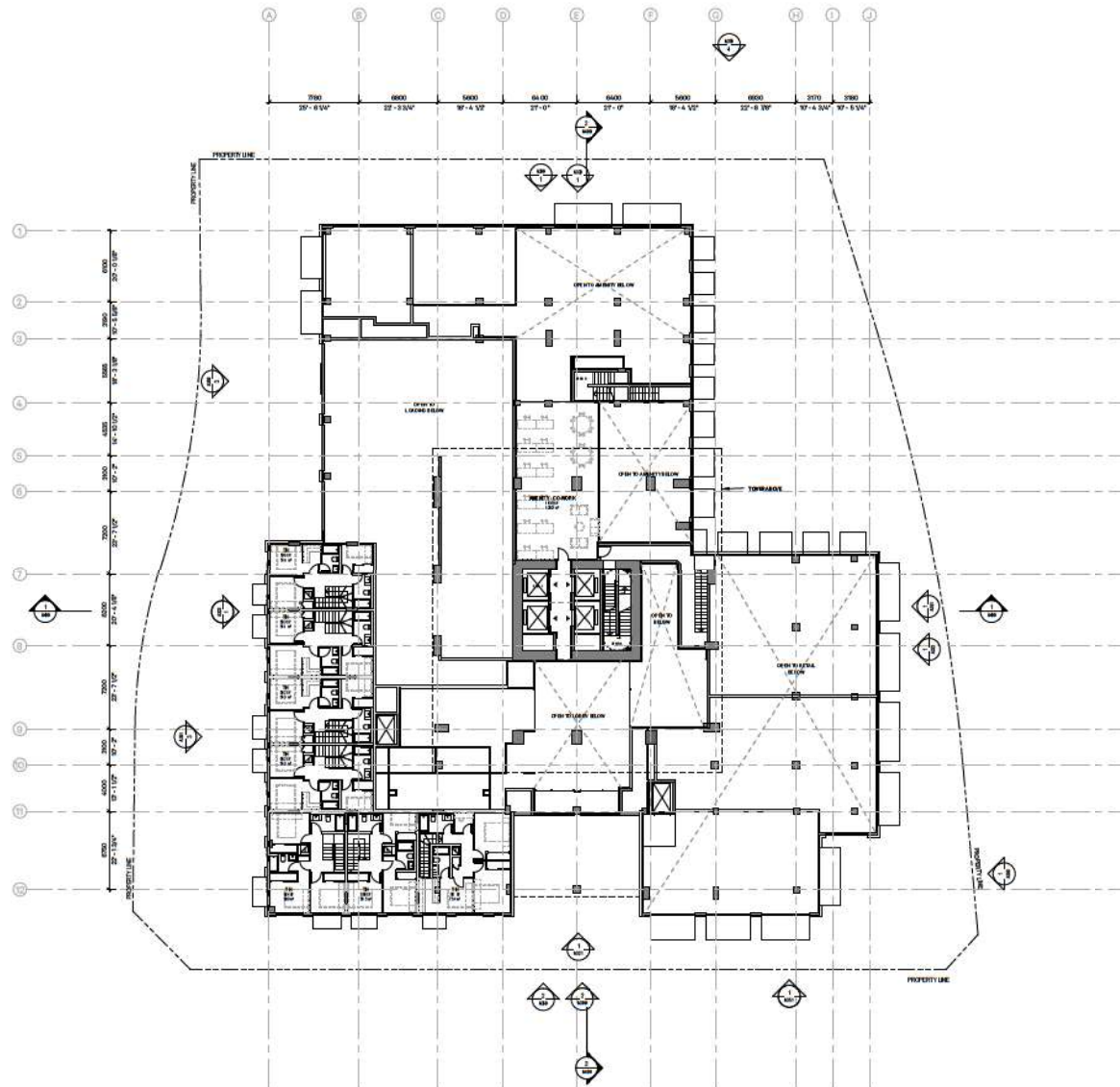
BRISTOL ESTATES TOWER 1
 13007 104th Avenue,
 Surrey, BC

FLOOR PLAN 01

PROJECT: BRIS_1
 SCALE: 1/8" = 1'-0" @ S2
 DATE: 05/28/2024

A105

V2024-06-03-09M



CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SCHEDULED PROVISIONS OF THE BRITISH COLUMBIA REGULATIONS AND THE SCHEDULED PROVISIONS OF THE BRITISH COLUMBIA REGULATIONS. THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION OR AS A BASIS FOR CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION OR AS A BASIS FOR CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

NO.	DATE	REVISION/COMMENT
1	2024-01-24	ISSUED FOR DDP
2	2024-06-03	RE-ISSUED FOR DDP

NOTES

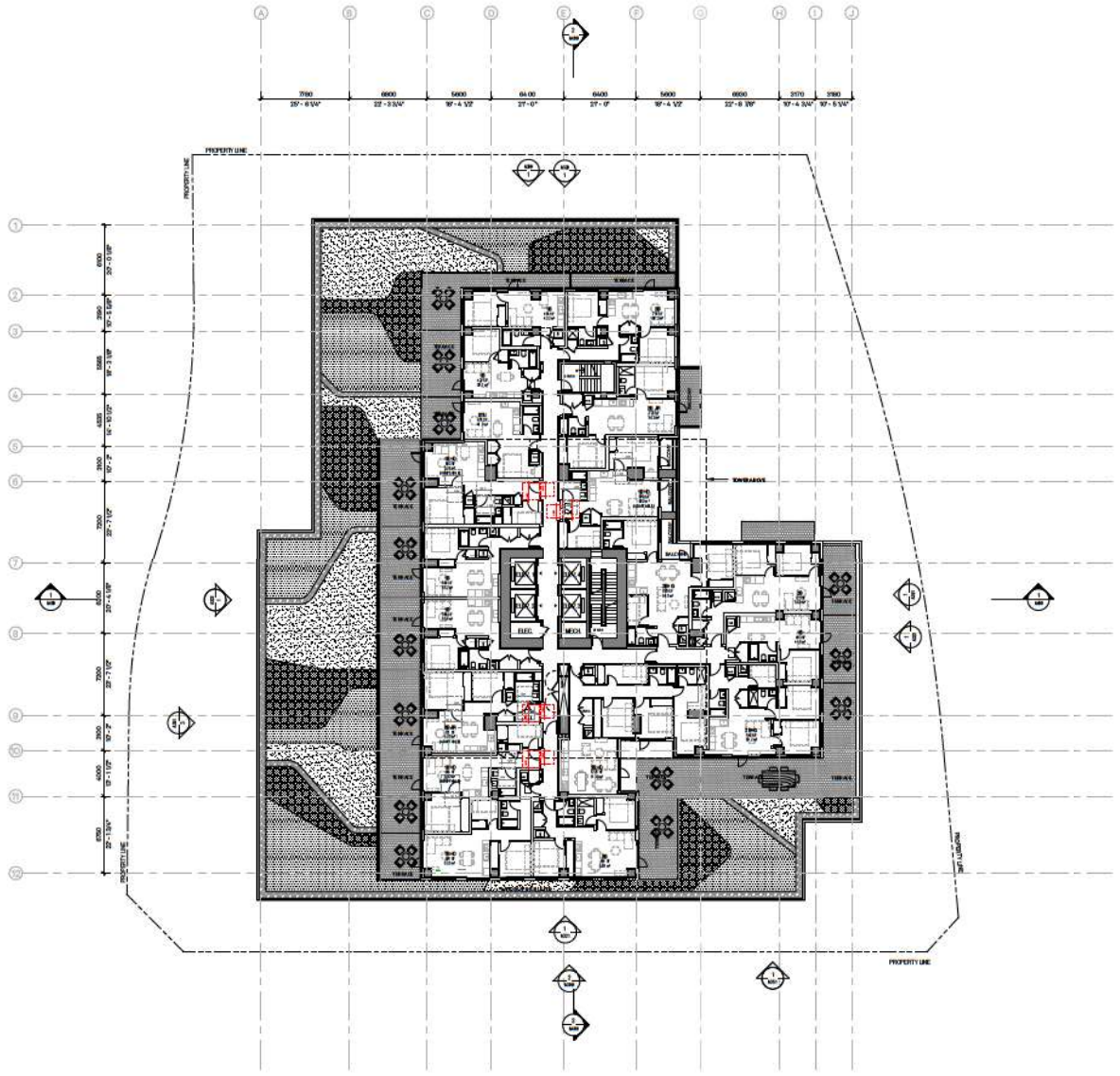


BRISTOL ESTATES TOWER 1
 13001 104th Avenue,
 Surrey, BC
 BOSA PROPERTIES

FLOOR PLAN 01 MEZZ

PROJECT 4350_1
 SCALE 1/8" = 1'-0" (1:24)
 DATE 03/24/2024

A106



CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF VANCOUVER'S BUILDING BY-LAW AND THE BC BUILDING ACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VANCOUVER AND THE BC BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VANCOUVER AND THE BC BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VANCOUVER AND THE BC BUILDING DEPARTMENT.

NO.	DATE	REVISION/COMMENT
1	2024-01-24	ISSUED FOR DDP
2	2024-06-03	RE-ISSUED FOR DDP

NOTES

ALL WORK SHALL BE IN ACCORDANCE WITH THE BC BUILDING ACT AND THE BC BUILDING DEPARTMENT'S REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VANCOUVER AND THE BC BUILDING DEPARTMENT.



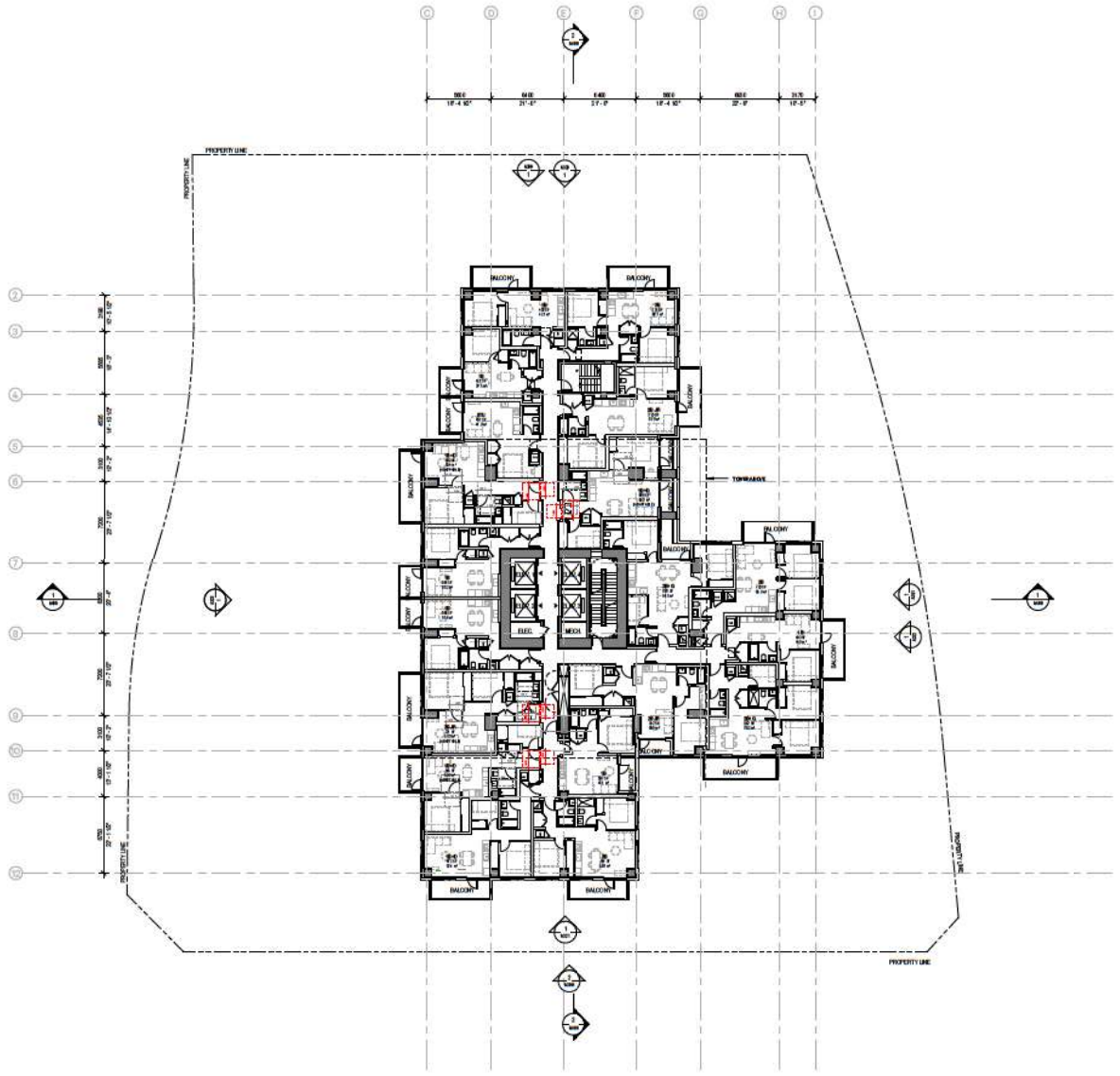
BRISTOL ESTATES TOWER 1
 1300 104th Avenue,
 Surrey, BC
 BOSA PROPERTIES

FLOOR PLAN 02

PROJECT: 4392_1
 SCALE: 1/8" = 1'-0" (1/8")
 DATE: 03/26/2024

A107
 VECTOR MGMT/PM





CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BUILDING CODES AND REGULATIONS OF THE PROVINCE OF BRITISH COLUMBIA AND THE CITY OF VANCOUVER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES CONNECTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TRAFFIC CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY NEIGHBORHOOD NOTICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ENVIRONMENTAL ASSESSMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HISTORIC PRESERVATION APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CULTURAL HERITAGE APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ARCHAEOPALAEONTOLOGICAL APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE IDENTIFICATION APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE EVALUATION APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE RECONSTRUCTION APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE MONITORING APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE RECORDING APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE REPORTING APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE TREATMENT APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE MANAGEMENT APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE PROTECTION APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE PRESERVATION APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE RESTORATION APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE REPAIR APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE RECONSTRUCTION APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE MONITORING APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE RECORDING APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE REPORTING APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE TREATMENT APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE MANAGEMENT APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE PROTECTION APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE PRESERVATION APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE RESTORATION APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HERITAGE REPAIR APPROVALS.

NO.	DATE	REVISION/COMMENT
1	2024-01-24	ISSUED FOR DDP
2	2024-06-03	RE-ISSUED FOR DDP

NOTES

ALL WORK SHALL COMPLY WITH THE BRITISH COLUMBIA BUILDING CODE AND THE CITY OF VANCOUVER BUILDING CODE. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE AND THE CANADIAN NATIONAL FIRE CODE. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL ELECTRICAL CODE AND THE CANADIAN NATIONAL MECHANICAL CODE. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL PLUMBING AND MECHANICAL CODE. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL GAS CODE. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL SOIL REMEDIATION ACT. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL ENVIRONMENTAL ASSESSMENT ACT. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL HISTORIC PRESERVATION ACT. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL CULTURAL HERITAGE ACT. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL ARCHAEOPALAEONTOLOGY ACT. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL HERITAGE IDENTIFICATION ACT. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL HERITAGE EVALUATION ACT. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL HERITAGE RECONSTRUCTION ACT. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL HERITAGE MONITORING ACT. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL HERITAGE RECORDING ACT. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL HERITAGE REPORTING ACT. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL HERITAGE TREATMENT ACT. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL HERITAGE MANAGEMENT ACT. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL HERITAGE PROTECTION ACT. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL HERITAGE PRESERVATION ACT. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL HERITAGE RESTORATION ACT. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL HERITAGE REPAIR ACT.



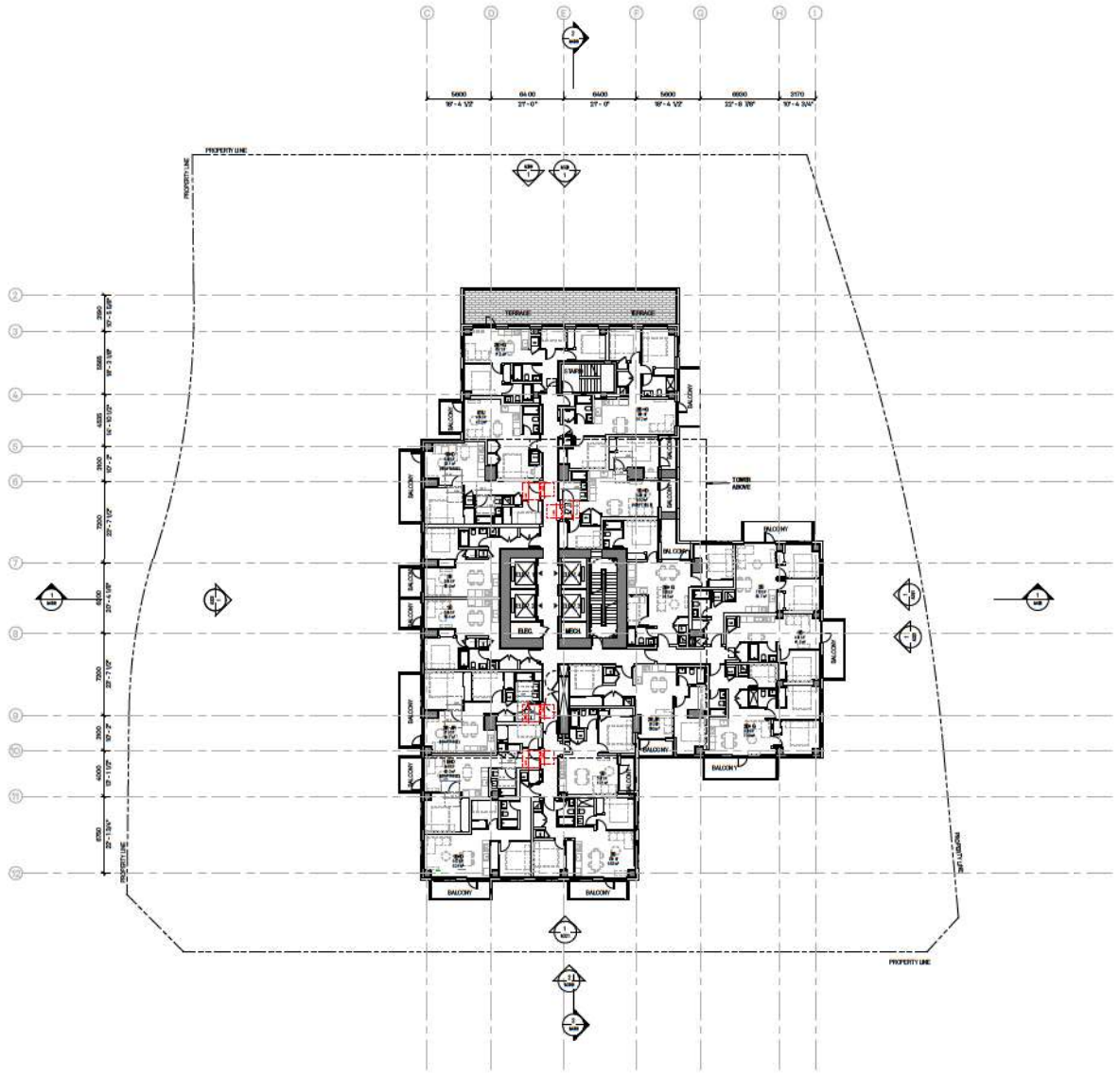
BRISTOL ESTATES TOWER 1
 13001 104th Avenue,
 Surrey, BC
 BOSA PROPERTIES

FLOOR PLANS 03-04

PROJECT: 4890_1
 SCALE: 1/8" = 1'-0" (1/8")
 DATE: 03/26/2024

A108

EVTON M-457574



CONSTRUCTION OF THIS DOCUMENT IS BASED ON THE BEST AVAILABLE INFORMATION AND IS NOT A GUARANTEE OF ACCURACY. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE INFORMATION AND DATA PROVIDED HEREIN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION AND DATA FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION AND DATA FROM THE APPROPRIATE AGENCIES.

NO.	DATE	REVISION/COMMENT
1	2024-01-24	ISSUED FOR DDP
2	2024-06-03	RE-ISSUED FOR DDP

NOTES

ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN STANDARDS FOR CONSTRUCTION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



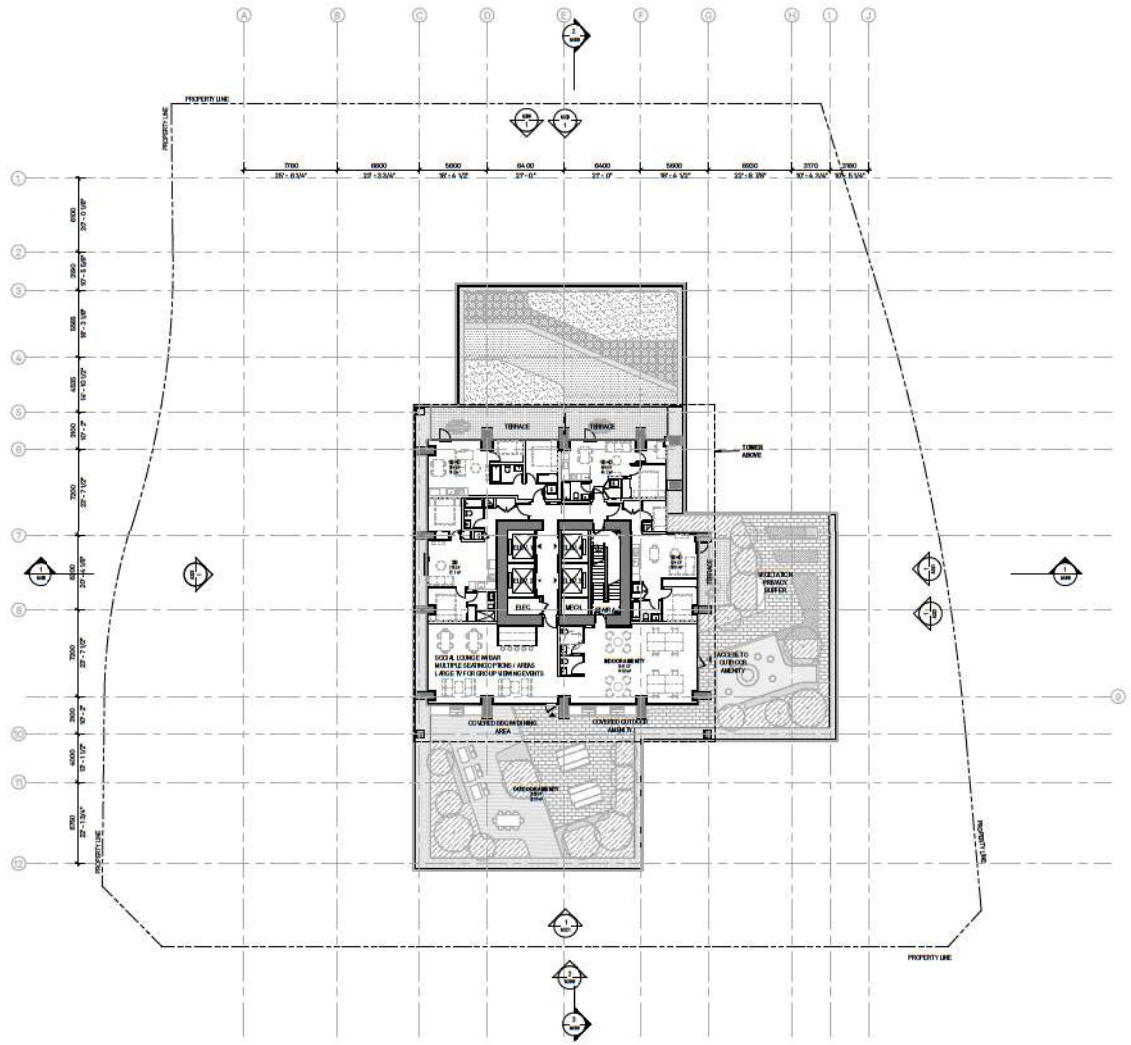
BRISTOL ESTATES TOWER 1
 13001 104th Avenue,
 Surrey, BC
 BOSA PROPERTIES

FLOOR PLANS 05

PROJECT: 4892_1
 SCALE: 1/8" = 1'-0" (1/8")
 DATE: 05/24/2024

A109

6/20/24 10:44 AM



CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE AND ALL APPLICABLE REGULATIONS. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.

NO.	DATE	REVISION/COMMENT
1	2024-01-24	ISSUED FOR DDP
2	2024-06-03	RE-ISSUED FOR DDP

NOTES

ALL WORK SHALL BE IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE AND ALL APPLICABLE REGULATIONS. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.

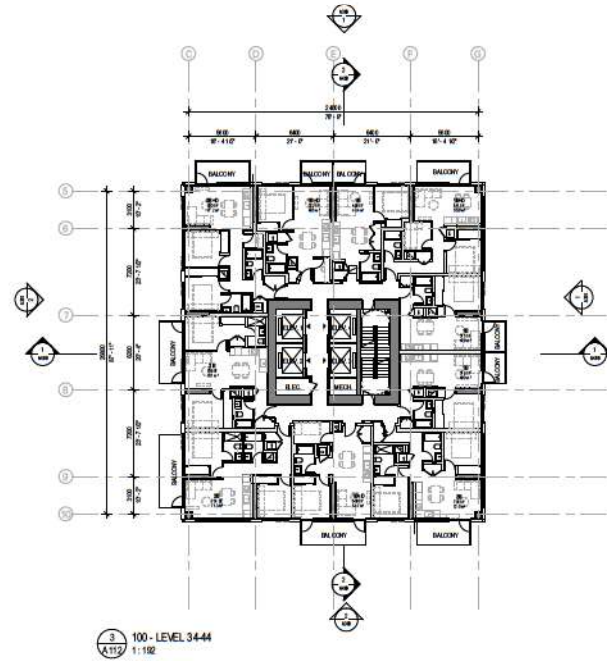
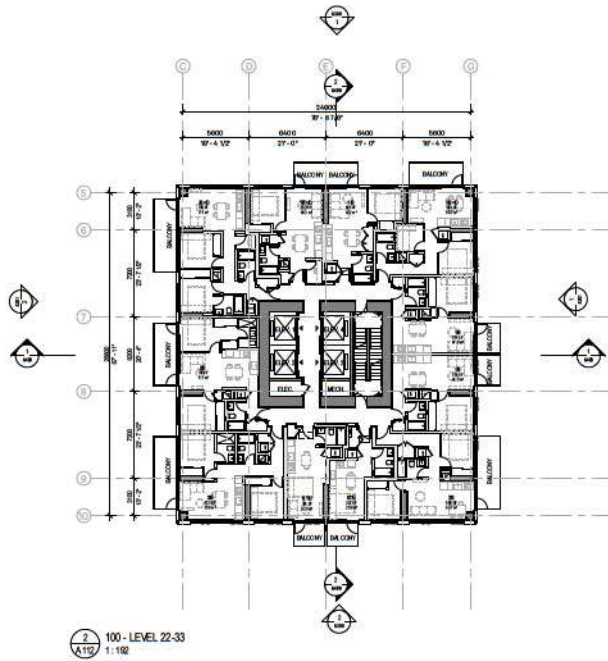
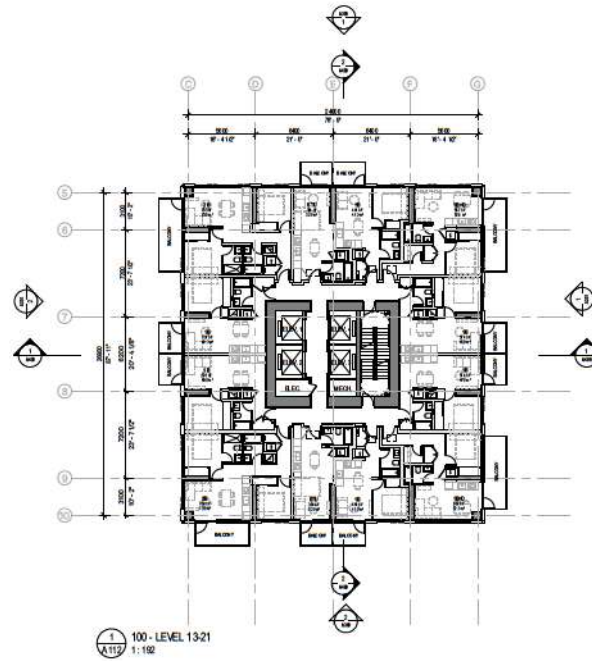
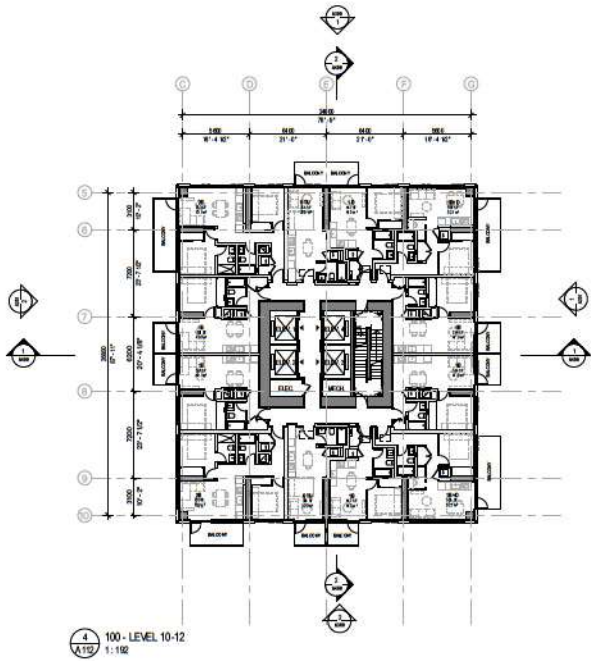


BRISTOL ESTATES TOWER 1
13001 104th Avenue,
Surrey, BC
BOSA PROPERTIES

FLOOR PLAN 09 AMENITY

PROJECT: 4890_1
SCALE: 1/8" = 1'-0" (1/8")
DATE: 03/26/2024

A111



CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BC BUILDING ACT AND THE BC BUILDING REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.

NO.	DATE	REVISION/COMMENT
1	2024-01-24	ISSUED FOR RFP
2	2024-06-03	RE-ISSUED FOR RFP

NOTES

ALL WORK SHALL BE IN ACCORDANCE WITH THE BC BUILDING ACT AND THE BC BUILDING REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.



BRISTOL ESTATES TOWER 1
1300 104th Avenue,
Surrey, BC

BOSA PROPERTIES

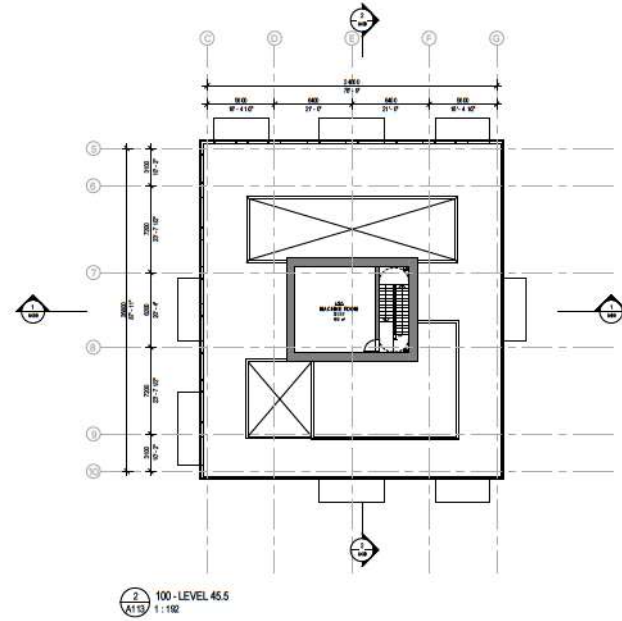
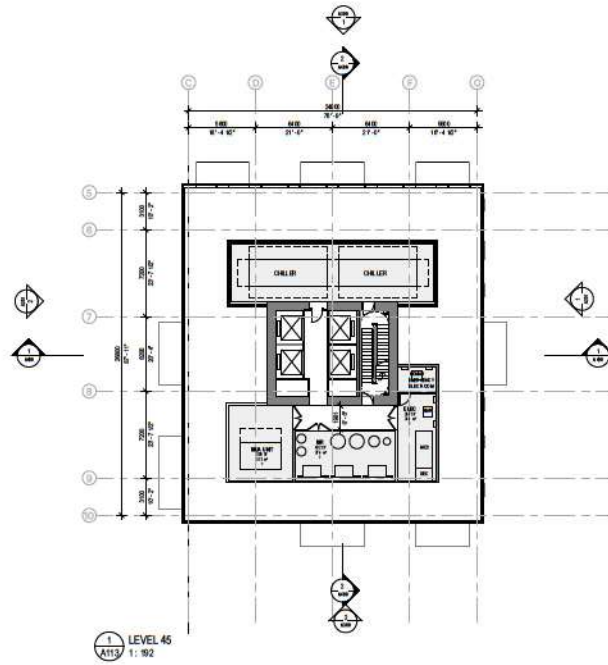


FLOOR PLANS TOWER

PROJECT: 4890_1
SCALE: 1/8" = 1'-0" (1:96)
DATE: 05/26/2024

A112

9/1/2024 9:58:16 PM



CONSTRUCTION SHALL BE DONE AS SHOWN ON THIS DRAWING UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS TO ORIGINAL OR BETTER CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.

NO.	DATE	REVISION/COMMENT
1	2024-01-24	ISSUED FOR RFP
2	2024-06-03	RE-ISSUED FOR RFP

NOTES

SvN
25-25 BAYVIEW AVENUE
SUITE 200
SCARBOROUGH, ONTARIO M1V 4Y7
CANADA

BRISTOL ESTATES TOWER 1
13001 104th Avenue,
Surrey, BC

BOSA PROPERTIES

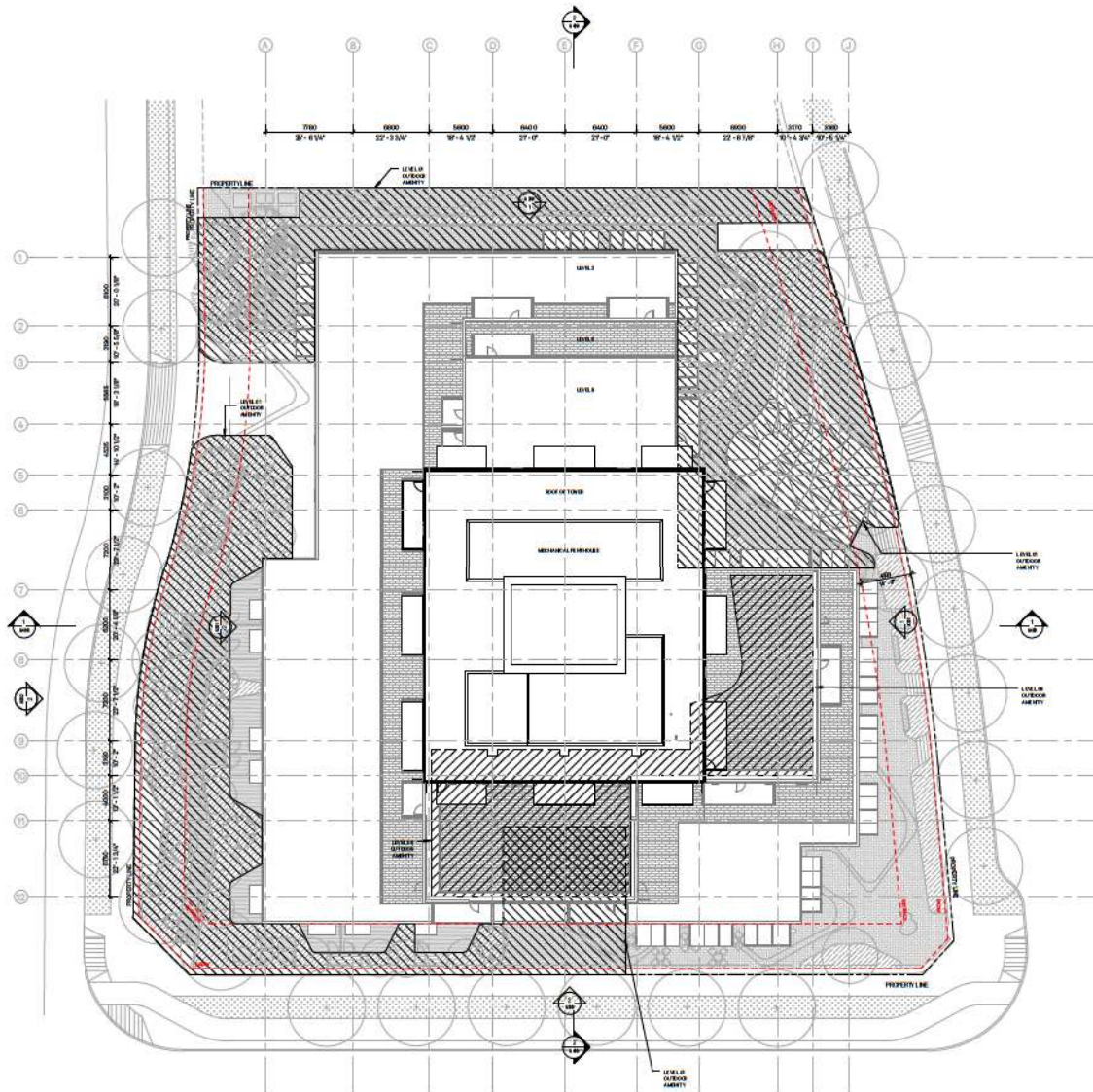
FLOOR PLAN MECH



PROJECT: 4502_1
SCALE: 1/8" = 1'-0" (1/32")
DATE: 05/26/2024

A113

5/26/24 10:00 AM



CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF THE BUILDING ELEMENTS OF THE DESIGN AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON THE NOTIFICATION OF THE DISCREPANCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT.

NO.	DATE	REVISION/COMMENT
1	2024-01-24	ISSUED FOR DDP
2	2024-06-03	RE-ISSUED FOR DDP

NOTES



BRISTOL ESTATES TOWER 1
 13001 104th Avenue,
 Surrey, BC
 BOSA PROPERTIES

ROOF PLAN

PROJECT: 4876_1
 SCALE: 1/8" = 1'-0" (1:63)
 DATE: 03/28/2024

A114

BY: [Signature]

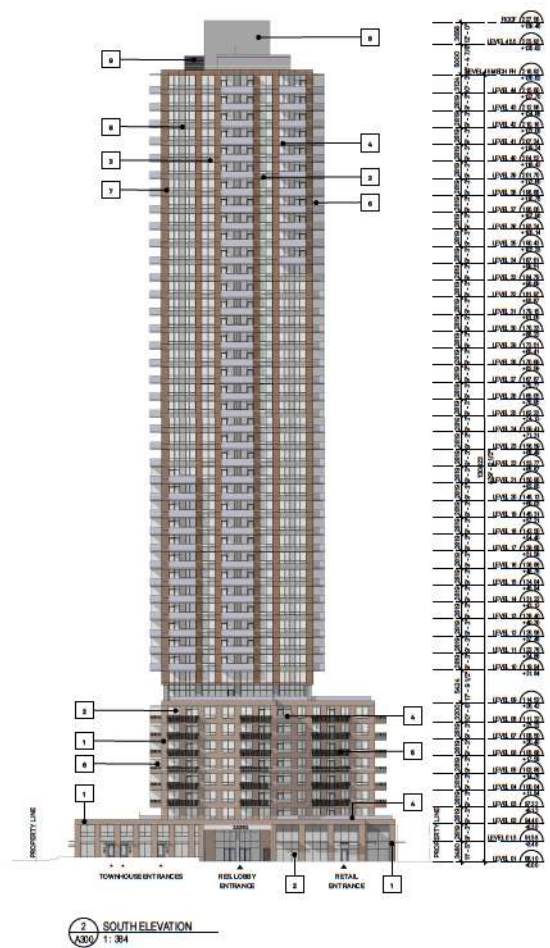
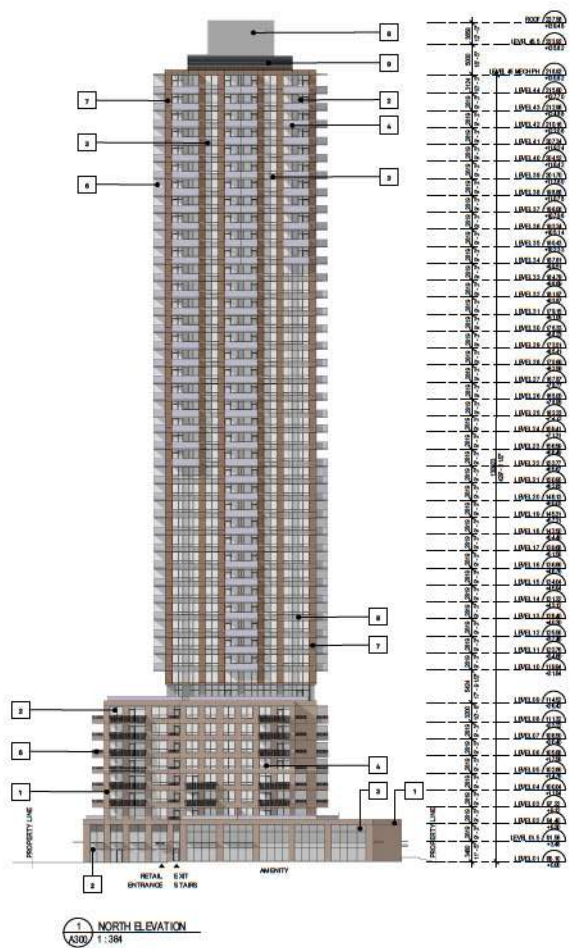
CONTRACTOR SHALL VERIFY THE DIMENSIONS AND FINISHES IN THE DECLINE
 POINTS OF THE CONCRETE CURBS TO BE USED IN ANY FUTURE
 REWORK AT THE WRITER'S RISK FOR THE DESIGN.
 THE DRAWING MUST BE USED FOR CONSTRUCTION, UNLESS FOR
 THE PURPOSES OF THE DESIGN.
 THE CONTRACTOR SHALL VERIFY THE DIMENSIONS AND FINISHES IN THE
 DECLINE POINTS OF THE CONCRETE CURBS TO BE USED IN ANY FUTURE
 REWORK AT THE WRITER'S RISK FOR THE DESIGN.
 THE DRAWING MUST BE USED FOR CONSTRUCTION, UNLESS FOR
 THE PURPOSES OF THE DESIGN.

NO.	DATE	REVISION/COMMENT
1	2024-01-24	ISSUED FOR DDP
2	2024-06-03	RE-ISSUED FOR DDP

NOTES

MATERIAL LEGEND

- FIBER CEMENT PANEL, SAND COLOR
- MINOR GLASS
- GLASS BRANCHED PANEL
- RAILING - 68mm GLASS
- RAILING - POCKET METAL POSTS (SAND/GREY)
- PERVAZ SCREEN
- METAL PANEL (BRONZE)
- METAL PANEL (DARK GREY)
- METAL LOUVER (DARK GREY)



SvN
 10000 10000
 10000 10000

BRISTOL ESTATES TOWER 1
 1501 TOWN AVENUE,
 SURREY, BC

BCSA PROPERTIES

NORTH & SOUTH ELEVATIONS

PROJECT: 2024-01-24
 SCALE: 1/2" = 1'-0" (1:24)
 DATE: 06/03/2024

A300
 07/2024 (REV. 01)

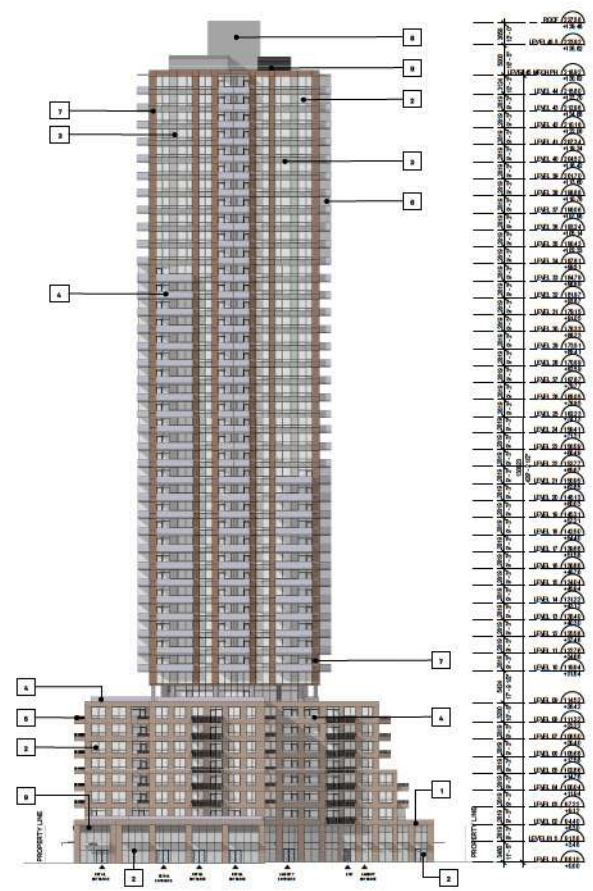
CONTRACTOR SHALL VERIFY THE DIMENSIONS AND FINISHES OF THE EXISTING STRUCTURE PRIOR TO THE COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES AND FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE APPROPRIATE AUTHORITIES.

NO.	DATE	REVISION/COMMENT
1	2024-01-24	ISSUED FOR DDP
2	2024-06-03	RE-ISSUED FOR DDP

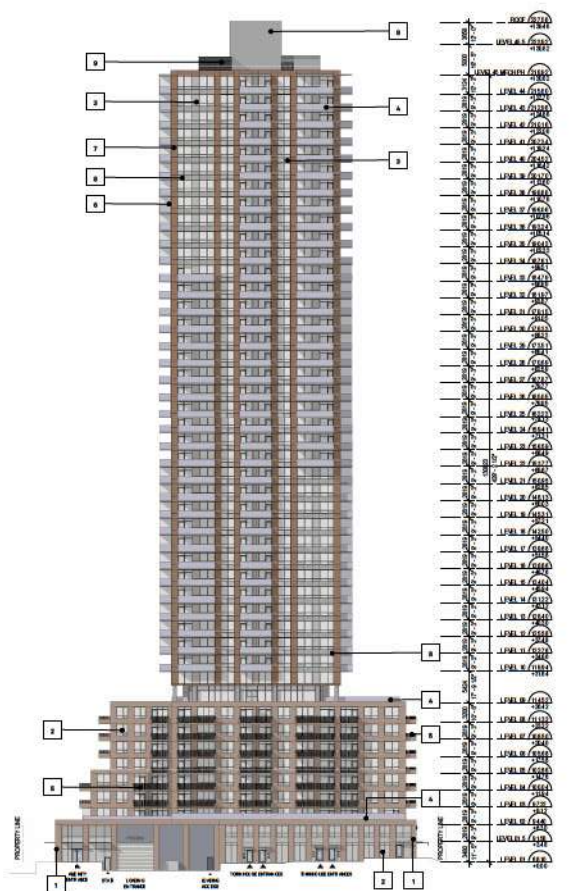
NOTES

MATERIAL LEGEND

- 1 FIBER CEMENT PANEL, SAND COLOR
- 2 MIRROR GLASS
- 3 GLASS BRANCHED PANEL
- 4 RAIN-PRO - MIRROR GLASS
- 5 RAIN-PRO - POINT METAL POSTS (SUNWASH)
- 6 PRIVACY SCREEN
- 7 METAL PANEL (BRONZE)
- 8 METAL PANEL (DARK GREY)
- 9 METAL LOUVER (DARK GREY)



1 EAST ELEVATION
A301
1:304



2 WEST ELEVATION
A301
1:304



BRISTOL ESTATES TOWER 1
1501 DAVIS Avenue,
Surrey, BC

BCSA PROPERTIES

EAST & WEST ELEVATIONS

PROJECT: 2024-01-24
SCALE: 1/2" = 1'-0" (1:304)
DATE: 06/03/2024

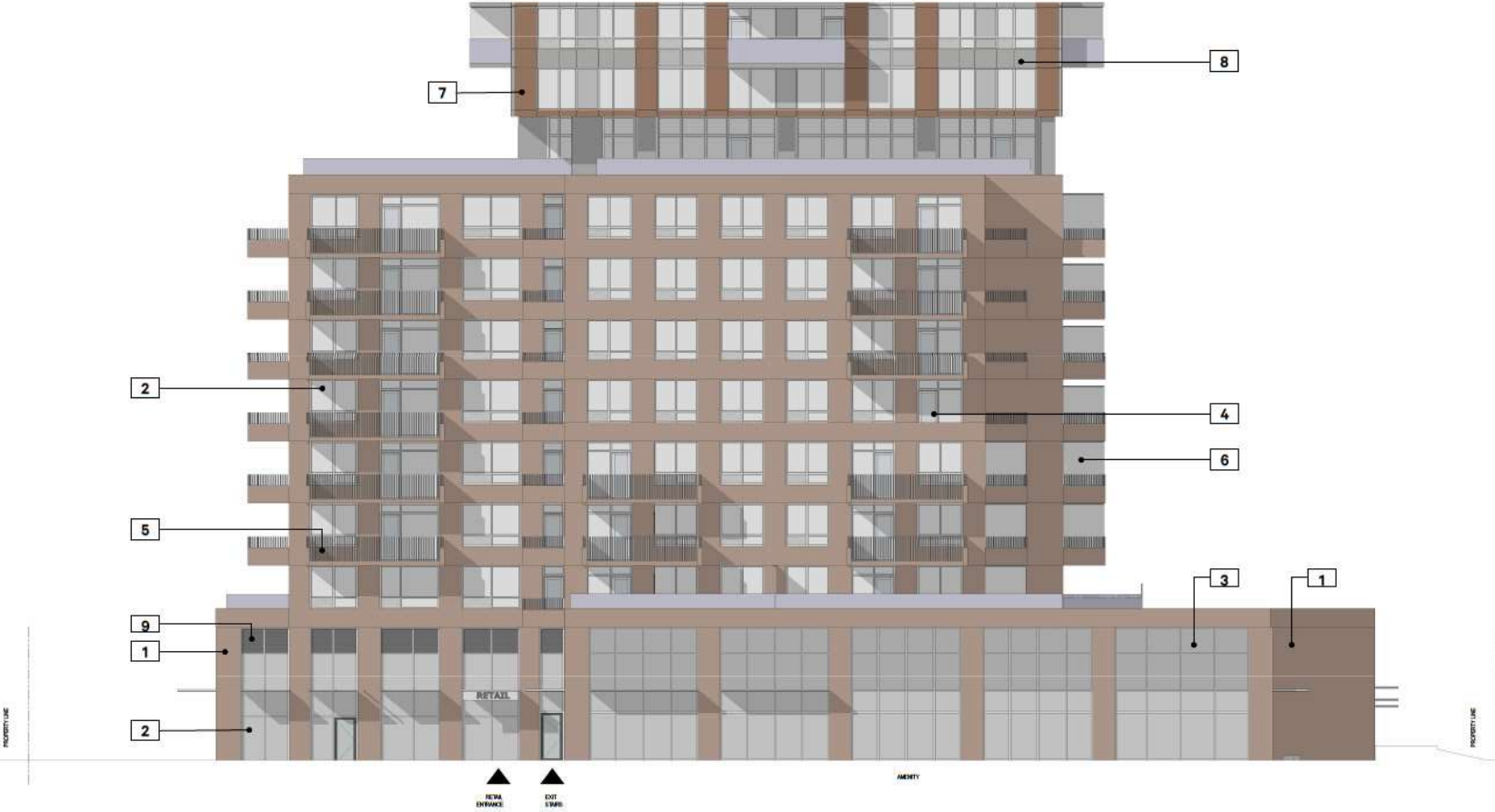
A301
SECTION & SHOP PLAN

COMPANY FORMS, TITLES, LOGOS AND DRAWINGS ARE THE EXCLUSIVE PROPERTY OF THE COMPANY AND MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF THE COMPANY.
 THE COMPANY ASSUMES NO LIABILITY FOR CONSTRUCTION, OMISSIONS, MESSAGES OR INFORMATION IN THESE DRAWINGS.
 THE CLIENT ACCEPTS THE RISK OF OMISSIONS, MESSAGES OR INFORMATION IN THESE DRAWINGS.
 FROM COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS, DIMENSIONS AND CONDITIONS OF THE WORK AND EQUIPMENT AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FOR THE PROJECT.
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE REGULATORY REQUIREMENTS.

NO.	DATE	REVISION/COMMENT
1	2024-06-03	RE-ISSUED FOR DDP

NOTES

- MATERIAL LEGEND**
- 1 FIBRE CEMENT PANEL (SAND COLOR)
 - 2 MIRROR GLASS
 - 3 GLASS BRANCHED PANEL
 - 4 RAILING - MIRROR GLASS
 - 5 RAILING - POCKET METAL POSTS (DUNK GRAY)
 - 6 PBRVAC SCREEN
 - 7 METAL PANEL (BRONZE)
 - 8 METAL PANEL (DARK GREY)
 - 9 METAL LOUVER (DARK GREY)



SvN
 TECHNICAL ARCHITECTURE
 15001 TOWN AVENUE
 SURREY, BC
 V3R 5W8

BRISTOL ESTATES TOWER 1
 15001 TOWN AVENUE,
 SURREY, BC

BCSA PROPERTIES

ENLARGED PODIUM ELEVATION - NORTH

PROJECT: BRISTOL ESTATES
 SCALE: 1/8" = 1'-0" (1:60)
 DATE: 04/15/2024

A320
04/15/2024 04:09 PM

CONTRACTOR SHALL VERIFY THE CORRECTNESS AND COMPLETION OF THE DECLARATION OF THE CONTRACTOR AS TO THE USE OF ANY PRODUCT BY THE MANUFACTURER OF THE DESIGN.

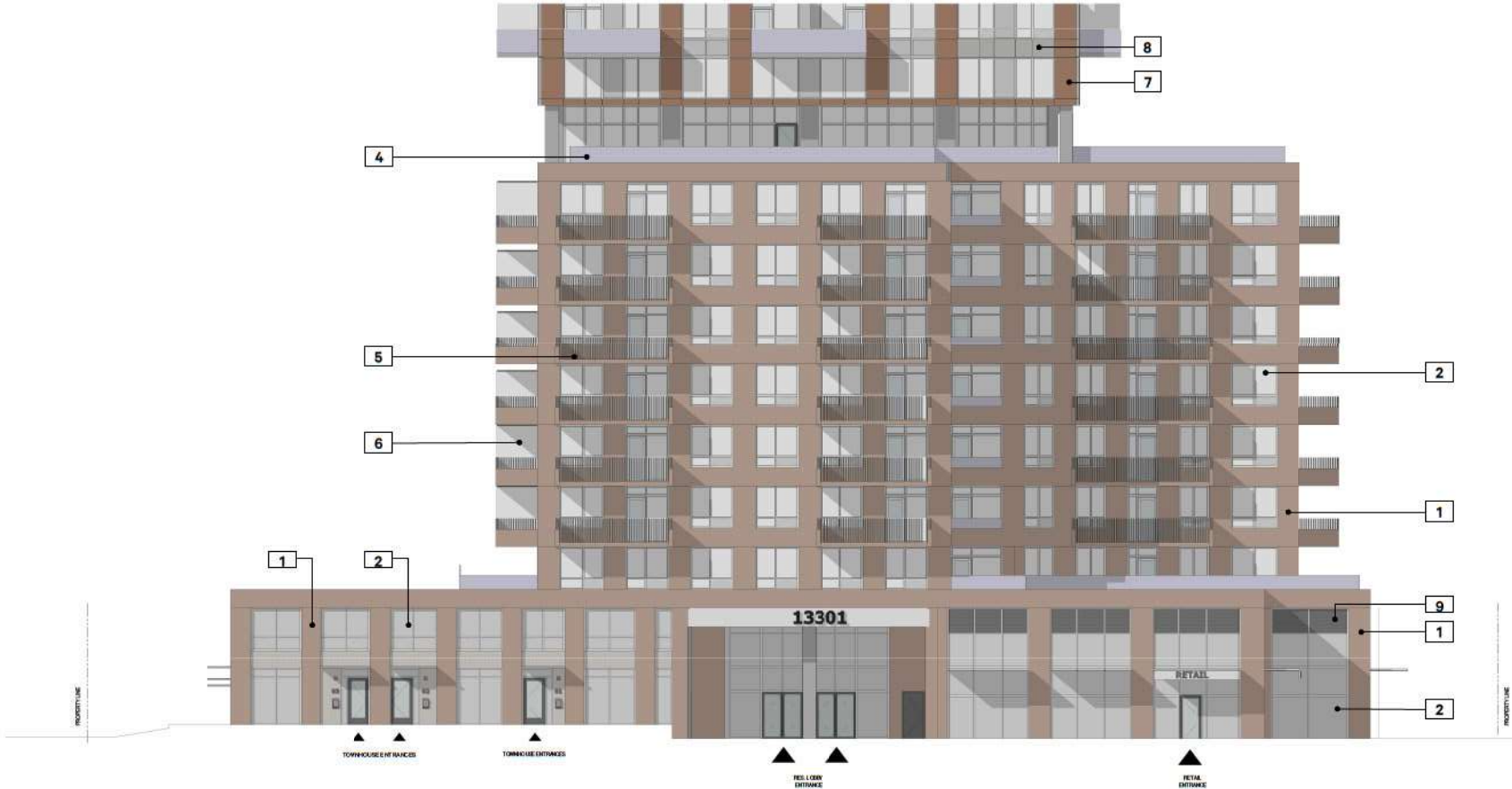
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE CONSTRUCTION OF THE PROJECT.

NO.	DATE	REVISION/COMMENT
2	2024-09-03	RE-ISSUED FOR ODP

NOTES

MATERIAL LEGEND

- 1 FIBER CEMENT PANEL, SAND COLOR
- 2 MIRROR GLASS
- 3 GLASS BRANCHED PANEL
- 4 RAILING - BRONZE GLASS
- 5 RAILING - POCKET METAL POSTS (DARK GREY)
- 6 PRIVACY SCREEN
- 7 METAL PANEL (BRONZE)
- 8 METAL PANEL (DARK GREY)
- 9 METAL LOUVER (DARK GREY)



BRISTOL ESTATES TOWER 1
 13301 TAUNTON AVENUE,
 SURREY, BC
 BOSA PROPERTIES
ENLARGED PODIUM ELEVATION - SOUTH

PROJECT: 2502.1
 SCALE: 1/4" = 1'-0" (1:30)
 DATE: 08/20/2024

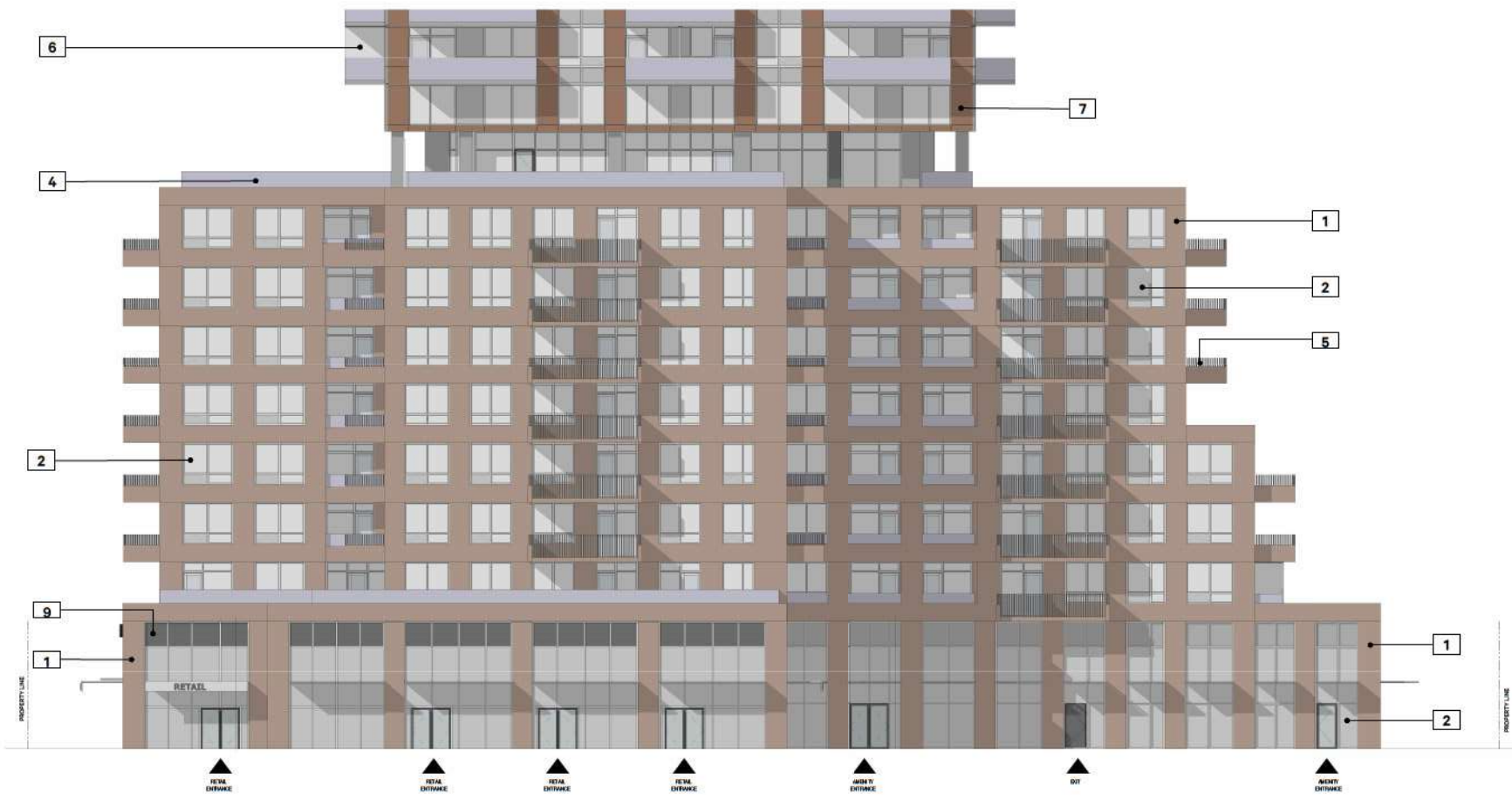
A321
 ARCHITECTURAL BOARD

CONTRACTOR SHALL VERIFY THE DIMENSIONS AND FINISHES OF THE EXISTING
 STRUCTURE TO THE DIMENSIONS SHOWN ON THIS DRAWING. ANY DISCREPANCY
 BETWEEN THE DIMENSIONS SHOWN ON THIS DRAWING AND THE DIMENSIONS OF THE
 EXISTING STRUCTURE SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY
 PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY
 PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY
 PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

NO.	DATE	REVISION/COMMENT
1	2024-09-03	RE-ISSUED FOR ODP

NOTES

- MATERIAL LEGEND**
- 1 FIBER CEMENT PANEL (TAN/COLOR)
 - 2 WINDOW GLASS
 - 3 GLASS BRANCHED PANEL
 - 4 RAILING - WOOD GLASS
 - 5 RAILING - POCKET METAL POSTS (DARK GREY)
 - 6 FINISH SCREEN
 - 7 METAL PANEL (BRONZE)
 - 8 METAL PANEL (DARK GREY)
 - 9 METAL LOUVER (DARK GREY)

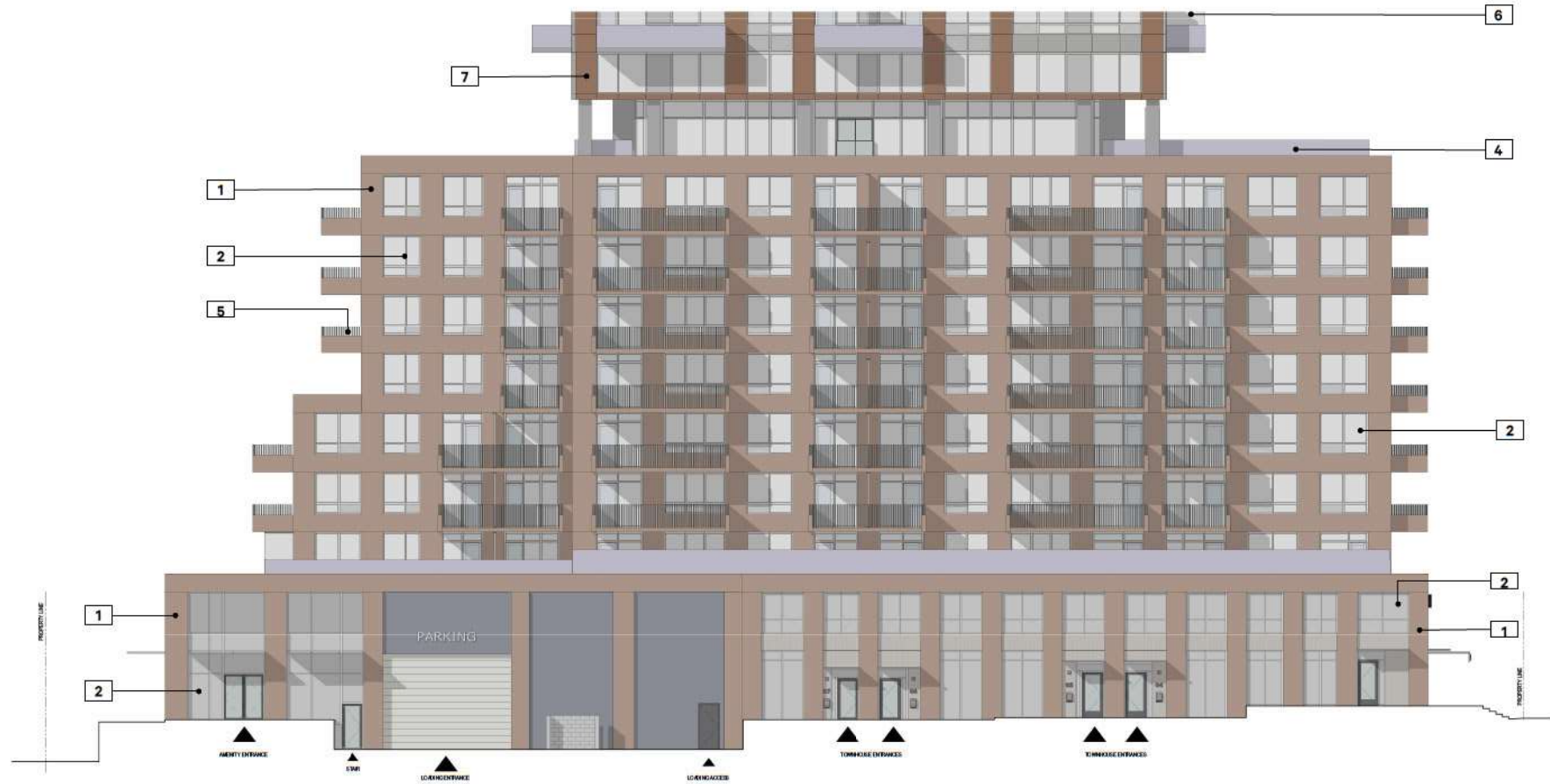


BRISTOL ESTATES TOWER 1
 1501 SOUTH AVENUE,
 BRISTOL, ONTARIO
 B9A PROPERTIES

ENLARGED POCUM ELEVATION - EAST

PROJECT: 2401
 SCALE: 1/8" = 1'-0" (1:24)
 DATE: 09/03/24

A322
 09/03/24 10:00 AM



CONTRACTOR SHALL VERIFY THE DIMENSIONS AND CONDITIONS OF THE EXISTING FACILITY PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND THE LOCAL GOVERNMENT PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND THE LOCAL GOVERNMENT PRIOR TO THE START OF WORK.

NO.	DATE	REVISION/COMMENT
1	2024-09-03	RE-ISSUED FOR DDP

NOTES

- MATERIAL LEGEND**
- 1 FIBRE CEMENT PANEL (DARK COLOUR)
 - 2 GLASS
 - 3 GLASS SPANDREL PANEL
 - 4 RAILING - VISION GLASS
 - 5 RAILING - POST (METAL POSTS (DARK GREY))
 - 6 PRIVACY SCREEN
 - 7 METAL PANEL (BRONZE)
 - 8 METAL PANEL (DARK GREY)
 - 9 METAL LOUVER (DARK GREY)

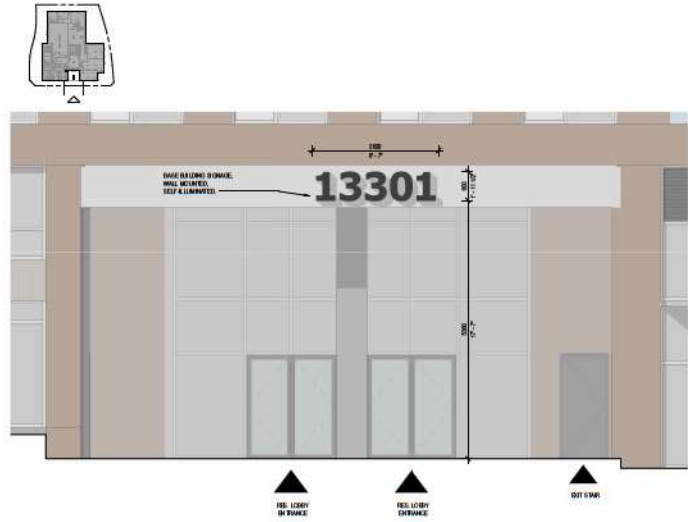
SvN
 Svan Group Inc.
 1500 Town Avenue, Suite 100
 Surrey, BC
 V4A 2E4
 TEL: 604.581.8888
 WWW.SVAN.COM

BRISTOL ESTATES TOWER 1
 1500 TOWN AVENUE,
 SURREY, BC
 V4A 2E4

ENLARGED POCUM ELEVATION - WEST

PROJECT: 24011
 SCALE: 1/8" = 1'-0" (1:24)
 DATE: 09/20/24

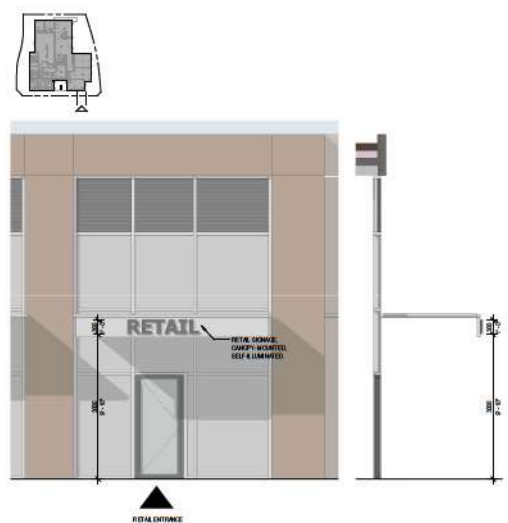
A323
 09/20/24 10:24 AM



ELEVATION - SIGNAGE - SOUTH RESIDENTIAL ENTRY
scale: 1:40



ELEVATION - SIGNAGE - WEST PARKING ENTRY
scale: 1:40



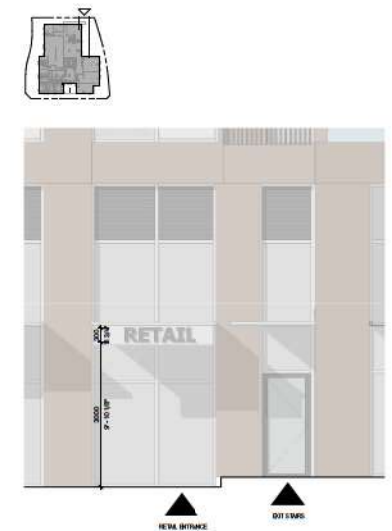
SIGNAGE ELEVATION - SOUTH RETAIL
scale: 1:40

SECTION - SIGNAGE - SOUTH RETAIL ENTRANCE
scale: 1:40



ELEVATION - SIGNAGE - EAST RETAIL ENTRANCE
scale: 1:40

SECTION - SIGNAGE - EAST RETAIL ENTRANCE
scale: 1:40



ELEVATION - SIGNAGE - NORTH RETAIL ENTRANCE
scale: 1:40

CONSTRUCTION AND FINISHES SHALL BE AS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

NO.	DATE	REVISION/COMMENT
1	2024-01-24	ISSUED FOR DDP
2	2024-06-03	RE-ISSUED FOR DDP

NOTES

INTERNAL LEGEND	
01	INSULATED ALUMINUM - HEAVY GLASS - WINDOW WALL
02	INSULATED ALUMINUM - HEAVY GLASS - FRAMED WINDOW
03	INSULATED ALUMINUM - HEAVY GLASS - CURTAIN WALL
04	SPANSEL PANEL - WINDOW WALL
05	SPANSEL - HEAVY GLASS PANEL
06	SPANSEL PANEL - WINDOW WALL
07	SPANSEL PANEL - WINDOW WALL
08	SPANSEL PANEL - WINDOW WALL
09	SPANSEL PANEL - WINDOW WALL
10	SPANSEL PANEL - WINDOW WALL
11	SPANSEL PANEL - WINDOW WALL
12	SPANSEL PANEL - WINDOW WALL
13	SPANSEL PANEL - WINDOW WALL
14	SPANSEL PANEL - WINDOW WALL
15	SPANSEL PANEL - WINDOW WALL
16	SPANSEL PANEL - WINDOW WALL
17	SPANSEL PANEL - WINDOW WALL
18	SPANSEL PANEL - WINDOW WALL
19	SPANSEL PANEL - WINDOW WALL
20	SPANSEL PANEL - WINDOW WALL



BRISTOL ESTATES TOWER 1
13001 104th Avenue,
Surrey, BC
BOSA PROPERTIES

BUILDING SIGNAGE

PROJECT: 4892_1
SCALE: 1/4" = 1'-0" (1:48)
DATE: 02/26/2024

A350

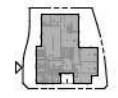
13/02/24 14:00:00

CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BC BUILDING ACT AND THE BC BUILDING REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.

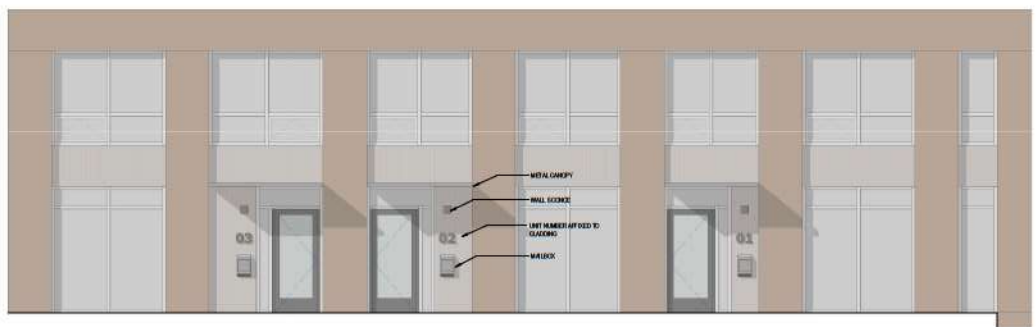
NO.	DATE	REVISION/COMMENT
2	2024-06-03	RE-ISSUED FOR DDP

NOTES

MATERIALS/COLOR	
01	RESIDENTIAL GLAZEMENT - IRON GLASS - WINDOW WALL
02	RESIDENTIAL GLAZEMENT - IRON GLASS - POWERED WINDOW
03	RESIDENTIAL GLAZEMENT - IRON GLASS - CUSTOM WALL
04	SPRINKLER PANEL - WINDOW WALL
05	FINISH - VENEER CLAD PANEL
06	RESIDENTIAL PANEL - BRONZE
07	RESIDENTIAL PANEL - DARK GREY
08	RESIDENTIAL ALUMINUM BATTERY - DARK GREY
09	RESIDENTIAL BRONZE SCREEN
10	RESIDENTIAL PANEL - IRON GLASS
11	RESIDENTIAL SLATED GLAZEMENT



ELEVATION - WEST TOWNHOUSES
sheet 1 of 4



ELEVATION - SOUTH TOWNHOUSES
sheet 1 of 4

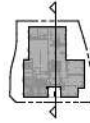
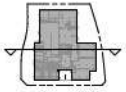


BRISTOL ESTATES TOWER 1
13007 104th Avenue,
Surrey, BC
BOSA PROPERTIES

TOWNHOUSE ELEVATIONS

PROJECT 4302_1
SCALE 1/4" = 1'-0" (1:48)
DATE 02/26/2024

A351
SECTION 4.00 00 PM

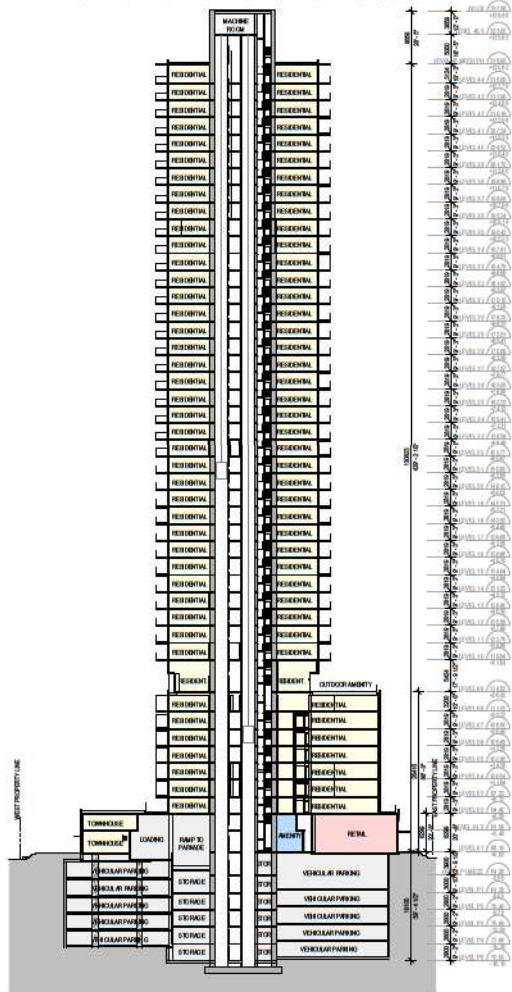


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NO.	DATE	REVISION/COMMENT
1	2024-01-24	ISSUED FOR DDP
2	2024-06-03	RE-ISSUED FOR DDP

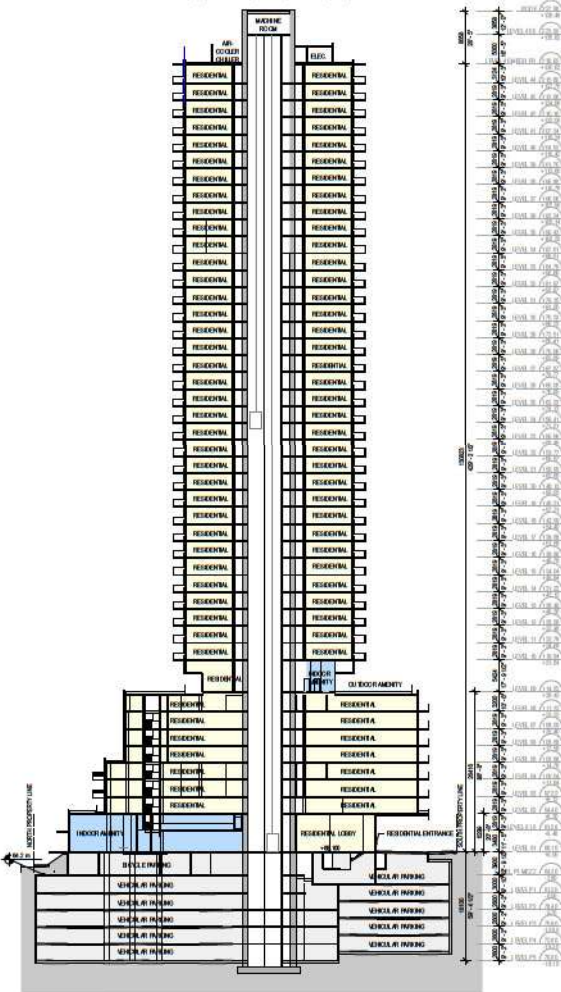
NOTES

A B C D E F G H I J



1 E-W BUILDING SECTION
A400 1:304

5 6 7 8 9 10



2 N-S BUILDING SECTION
A400 1:304

SvN
20-25 HAMILTON ST. SUITE 200
VANCOUVER, BC V6B 1N1

BRISTOL ESTATES TOWER 1
1300 104th Avenue,
Surrey, BC

BOSA PROPERTIES

SECTIONS

PROJECT: A400_1
SCALE: 1/8"=1'-0" (1:24)
DATE: 02/26/2024

A400
6/10/24 10:00 AM

BRISTOL ESTATES - TOWER 3

13301 104TH AVENUE, SURREY, BC

DDP - DETAILED DEVELOPMENT PERMIT



3D VIEW - MAIN SOUTH-WEST RETAIL ENTRANCE



3D VIEW - EAST TOWNHOUSES AND PODIUM

PROJECT TEAM

CLIENT

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1201-838 West Hastings Street
Vancouver, BC V6C 0A6

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asad@bosa.com
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PFS Studio

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604-684-5995 x135

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604-961-6321

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GUNN CONSULTANTS

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BUNT & ASSOCIATES

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MORRISON HERSHFIELD

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604-454-0402 x 1052208

GEOTECHNICAL

GEOWEST ENGINEERING

John Carter
jcarter@geowestengineering.com
604-852-9088

CODE

LMDG BUILDING CODE CONSULTANTS LTD.

Ryan Martin
RMartin@lmdg.com

DDP - SHEET LIST

Sheet Number Sheet Name

- A000 - BUILDING INFO
 - A001 3D MASSING
 - A002 PROJECT STATISTICS
 - A003 CONTEXT NEIGHBOURHOOD
 - A004 BLOCK PLAN - PHASE 1 & 3
 - A005 BLOCK PLAN - SETBACKS
 - A006 PHASING PLAN
 - A007 SITE PLAN
 - A008 FIRE DEPARTMENT PLAN

- A100 - BELOW GRADE
 - A101 BELOW-GRADE PLAN P3
 - A102 BELOW-GRADE PLAN P2
 - A103 BELOW-GRADE PLAN P1

- A200 - FLOOR PLANS
 - A200 FLOOR PLAN - GROUND
 - A201 FLOOR PLAN - 15 MEZZ
 - A202 FLOOR PLAN LEVEL 02
 - A203 FLOOR PLAN LEVELS 03-05
 - A204 FLOOR PLAN LEVEL 06 AMENITY
 - A205 FLOOR PLANS - TOWER
 - A206 ROOF PLAN

- A300 - ELEVATIONS
 - A300 BUILDING ELEVATIONS
 - A301 BUILDING ELEVATIONS
 - A302 BUILDING SIGNAGE

- A400 - SECTIONS
 - A400 BUILDING SECTIONS

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NO.	DATE	REVISION/COMMENT	ISSUED FOR DDP
1	2024-06-05		

NOTES



BRISTOL ESTATE
13301 104th Avenue
Surrey, BC
BOSA PROPERTIES

COVER

PROJECT	4240.1	DRAWN	Author
SCALE	AS SHOWN	CHECKED	AM
DATE	2024-06-05		

A000

CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND SERVICES AS SHOWN ON THE PLANS AND ANY UNIDENTIFIED UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

THE INFORMATION IS TO BE USED FOR CONSTRUCTION AND NOT FOR CONSTRUCTION PURPOSES.

FOR INFORMATION OF THE ARCHITECT CONTRACTOR SHALL VISIT ALL SITES AND LOCATIONS AND VERIFY THE INFORMATION AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND SERVICES AS SHOWN ON THE PLANS AND ANY UNIDENTIFIED UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

NO.	DATE	REVISION/COMMENT
1	2024-08-26	ISSUED FOR BIDDING

NOTES

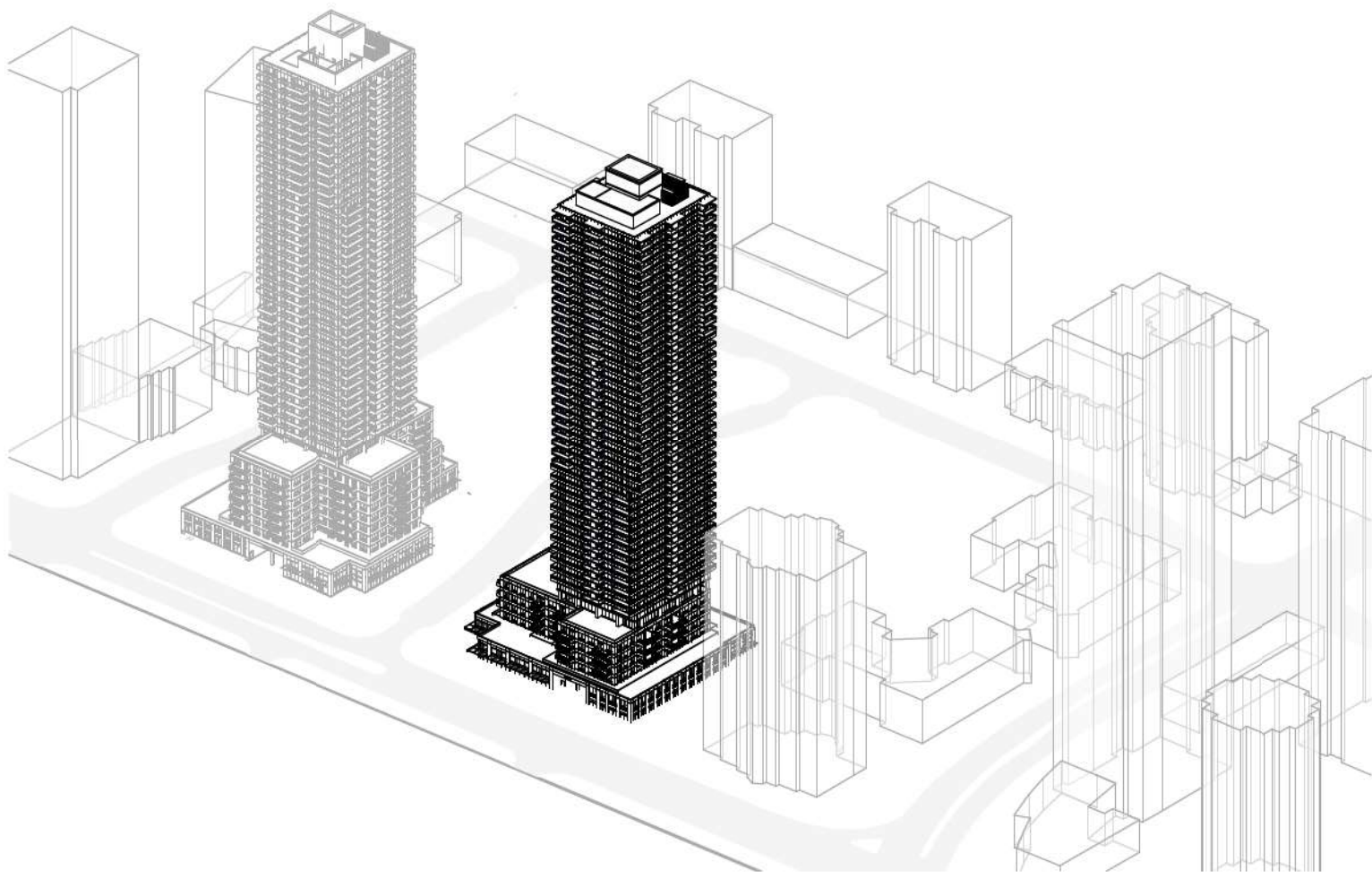


BRISTOL ESTATE
 1320 104th Avenue
 Surrey, BC
 BOSA PROPERTIES

3D MASSING

PROJECT	ADW/J	DRWNR	Author
SCALE		CHECKED	Set
DATE	20240826		

A001
REVISED 8/26/24 11:58 PM



S-E AXONOMETRIC VIEW

PROJECT STATISTICS

PROJECT NAME: 5626 Stables - Tower 3
 MUNICIPAL ADDRESS: 1328 150th Avenue, Suite 100
 14188 Street, NW, Edmonton, Alberta T6A 5A5
 5626 Stables Tower 3, Suite 100
 5626 Stables Tower 3, Suite 100
 CITY: Edmonton, Alberta

SITE AREA: 41,208 m²
 BLOCK: 4,096 m² (43.84%)
 BUILDING FOOTPRINT: 3,706 m² (22.12%)
 SITE COVERAGE: 48.78%

BUILDING DIMENSIONS
 HEIGHT ABOVE GRADE (ECC TOWER): 288.0 m
 HEIGHT ABOVE GRADE (ECC ARCHIVE): 278.0 m
 HEIGHT ABOVE GRADE (ECC ARCHIVE) (GROUND TO TOP OF ROOF): 292.0 m
 STORES ABOVE GRADE: 43
 STORES BELOW GRADE: 2

DENSITY
 RESIDENTIAL: 63 UNITS / 41,208 m² = 1.53 UNITS/m²
 RETAIL: 4 UNITS / 3,706 m² = 0.11 UNITS/m²
 TOTAL: 67 UNITS / 44,914 m² = 1.50 UNITS/m²

RESIDENTIAL UNIT MIX
 TOTAL: 67 UNITS (4050 sq ft)

UNIT TYPE	AREA (sq ft)	UNIT COUNT	PERCENTAGE (%)
STL	33	36	53.7
1-BE	37	40	59.7
1B	47	50	74.6
1B-D	56	58	86.6
2B	108	112	166.7
2B-D	10	10	15.0
3B	53	55	82.1
T-1	10	10	15.0
TOTAL	310	326	100.0

AMENITY SUMMARY
 BY LAW: 481 UNITS (10130 sq ft) REQUIRED, 10303.8 PROVIDED
 PROPOSED: 500 UNITS (9547 sq ft)

BY LAW: 1.52 UNITS/m² REQUIRED, 1.63 PROVIDED
 PROPOSED: 2.28 UNITS/m²

VEHICULAR PARKING SUMMARY
 BY LAW: 481 SPACES (2855 sq ft) REQUIRED, 306 PROVIDED
 PROPOSED: 200 SPACES (1200 sq ft)

GRASSY AREAS: 10,000 sq ft
 ASPHALT DRIVEWAYS: 5,000 sq ft

BI-CYCLE PARKING SUMMARY
 BY LAW: 1 BI-CYCLE SPACE (200 sq ft) REQUIRED, 0 PROVIDED
 PROPOSED: 5 BI-CYCLE SPACES (1000 sq ft)

LOADING SUMMARY
 BY LAW: 1 LOADING SPACE REQUIRED, 1 PROVIDED

AREA BREAKDOWN BY LEVEL

LEVEL	AREA TOTAL	RESIDENTIAL				NON-RESIDENTIAL				UNITS									
		RESIDENTIAL GFA	EXCLUSIVE	RESIDENTIAL TALEX AREA	RETAIL GFA	RETAIL TALEX AREA	STU	10	12	16-D	23	26-D	36	T1	T-1				
TOTAL	38902	367438			541	6804	67	3624	63	107	27	87	125	16	4	7	491		
MISC-4	46	285	846																
MISC-4	46	1918	1918																
LEVEL 43	685.0	7458	696.0	7451					096.C	7461								10	
LEVEL 42	685.0	7458	696.0	7451					096.C	7461								10	
LEVEL 41	685.0	7458	696.0	7451					096.C	7461								10	
LEVEL 40	685.0	7458	696.0	7451					096.C	7461								10	
LEVEL 39	685.0	7458	696.0	7451					096.C	7461								10	
LEVEL 38	685.0	7458	696.0	7451					096.C	7461								10	
LEVEL 37	685.0	7458	696.0	7451					096.C	7461								10	
LEVEL 36	685.0	7458	696.0	7451					096.C	7461								10	
LEVEL 35	685.0	7458	696.0	7451					096.C	7461								10	
LEVEL 34	685.0	7458	696.0	7451					096.C	7461								10	
LEVEL 33	685.0	7458	696.0	7451					096.C	7461								10	
LEVEL 32	685.0	7458	696.0	7451					096.C	7461								10	
LEVEL 31	685.0	7458	696.0	7451					096.C	7461								10	
LEVEL 30	685.0	7458	696.0	7451					096.C	7461								12	
LEVEL 29	685.0	7458	696.0	7451					096.C	7461								12	
LEVEL 28	685.0	7458	696.0	7451					096.C	7461								12	
LEVEL 27	685.0	7458	696.0	7451					096.C	7461								12	
LEVEL 26	685.0	7458	696.0	7451					096.C	7461								12	
LEVEL 25	685.0	7458	696.0	7451					096.C	7461								12	
LEVEL 24	685.0	7458	696.0	7451					096.C	7461								12	
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LEVEL 22	685.0	7458	696.0	7451					096.C	7461								12	
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LEVEL 14	685.0	7458	696.0	7451					096.C	7461								12	
LEVEL 13	685.0	7458	696.0	7451					096.C	7461								12	
LEVEL 12	685.0	7458	696.0	7451					096.C	7461								12	
LEVEL 11	685.0	7458	696.0	7451					096.C	7461								12	
LEVEL 10	685.0	7458	696.0	7451					096.C	7461								12	
LEVEL 9	685.0	7458	696.0	7451					096.C	7461								12	
LEVEL 8	685.0	7458	696.0	7451					096.C	7461								12	
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LEVEL 4	685.0	7458	696.0	7451					096.C	7461								12	
LEVEL 3	685.0	7458	696.0	7451					096.C	7461								12	
LEVEL 2	685.0	7458	696.0	7451					096.C	7461								12	
LEVEL 1	685.0	7458	696.0	7451					096.C	7461								12	
LEVEL 0	685.0	7458	696.0	7451					096.C	7461								12	

*See 712 circulation includes parking ramp, loading area, bike storage, bike valet facility

REVISIONS
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS APPROVED BY THE ARCHITECT.

NO.	DATE	REVISION/COMMENTS

NOTES

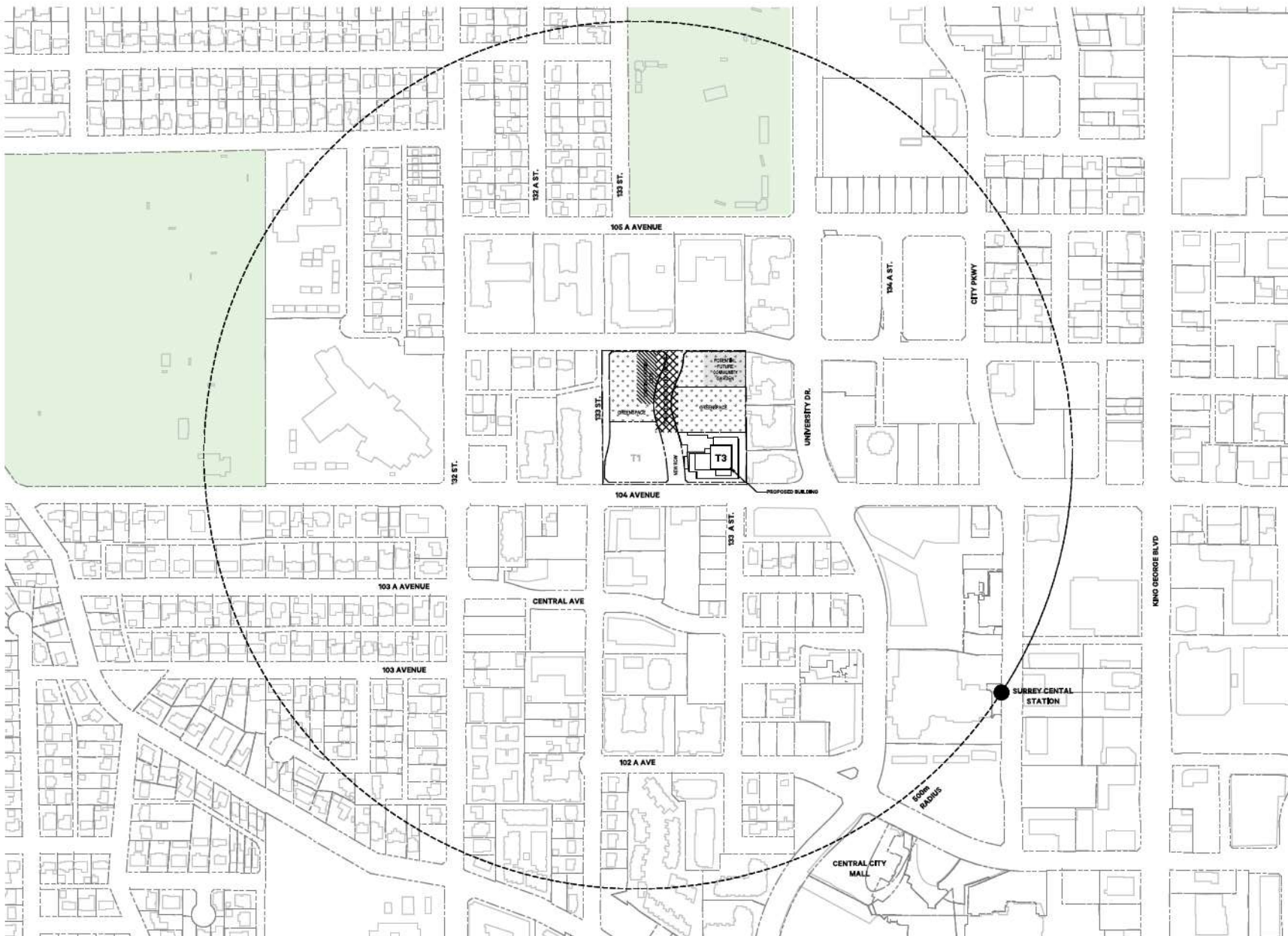


BRISTOL ESTATE
13301 164th Avenue, Sunny, BC

PROJECT STATISTICS

PROJECT: BRISTOL ESTATE
 SCALE: 1:1000
 DATE: 2024-10-10
 DRAWN: [NAME]
 CHECKED: [NAME]





NEIGHBOURHOOD CONTEXT
scale 1:2000

CONTRACTOR BEARING THE RESPONSIBILITY FOR THE PRECISE LOCATION OF THE STRUCTURE AND LAYOUT OF THE STRUCTURE AND PAVING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE STRUCTURE.

NO.	DATE	REVISION/COMMENT
1	2024-08-26	ISSUED FOR RFP

NOTES



BRISTOL ESTATE
1201 104th Avenue
Surrey, BC
BOSA PROPERTIES

CONTEXT NEIGHBOURHOOD

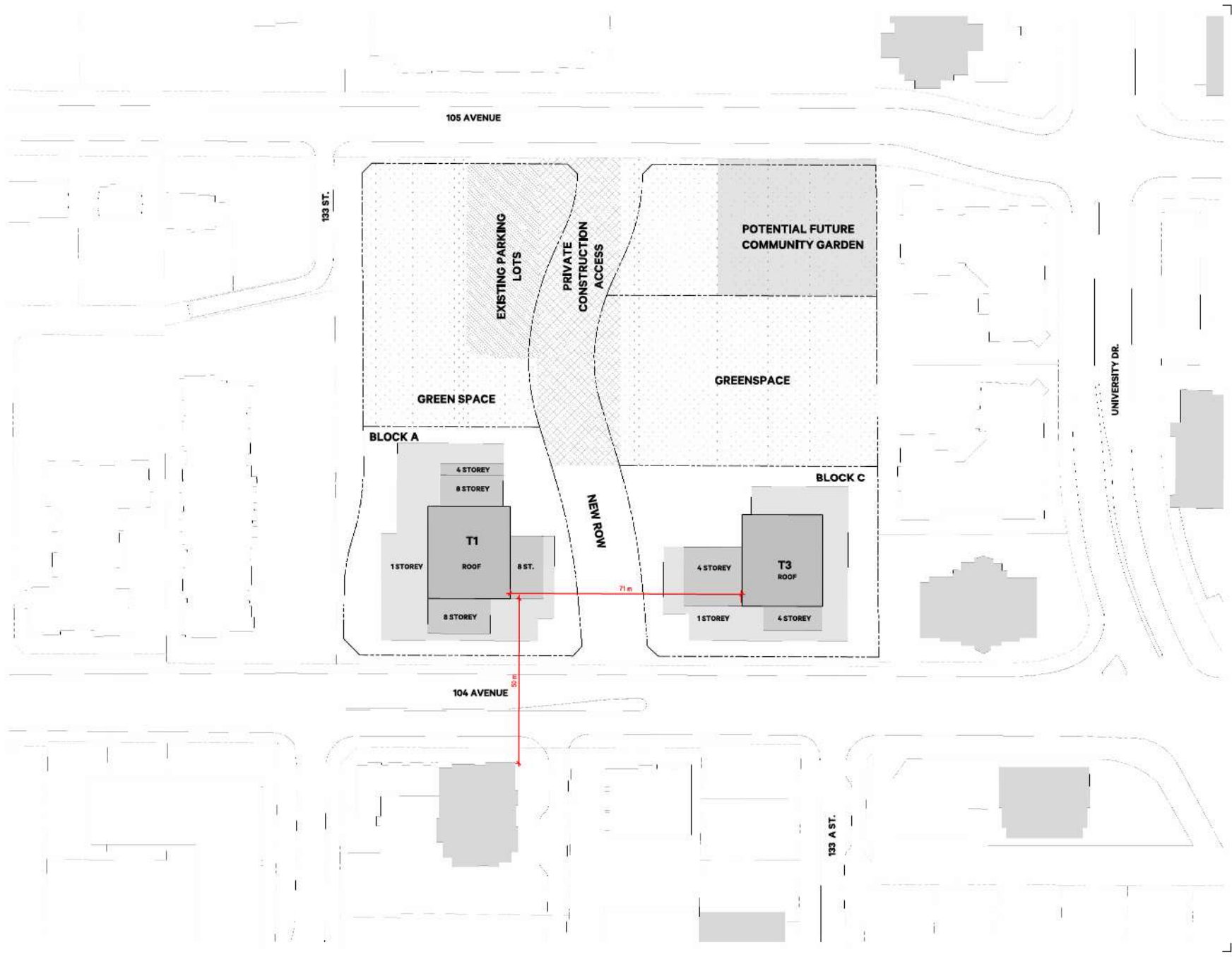
PROJECT NO.	4893	DRAWN	
SCALE	1:2000	CHECKED	
DATE	2024/08/26		

A003
REVISED 8/26/24 PM

CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXISTING
 CONDITION OF THE SITE AND SHALL BE RESPONSIBLE FOR
 ANY EXISTING UTILITIES OR SERVICES THAT MAY BE
 ENCOUNTERED DURING CONSTRUCTION.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR
 OBTAINING ALL NECESSARY PERMITS AND APPROVALS
 FROM THE RELEVANT AUTHORITIES.
 THIS DOCUMENT IS THE PROPERTY OF BOSA PROPERTIES
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NO.	DATE	REVISION/COMMENT
1	2024-08-26	ISSUED FOR RFP

NOTES

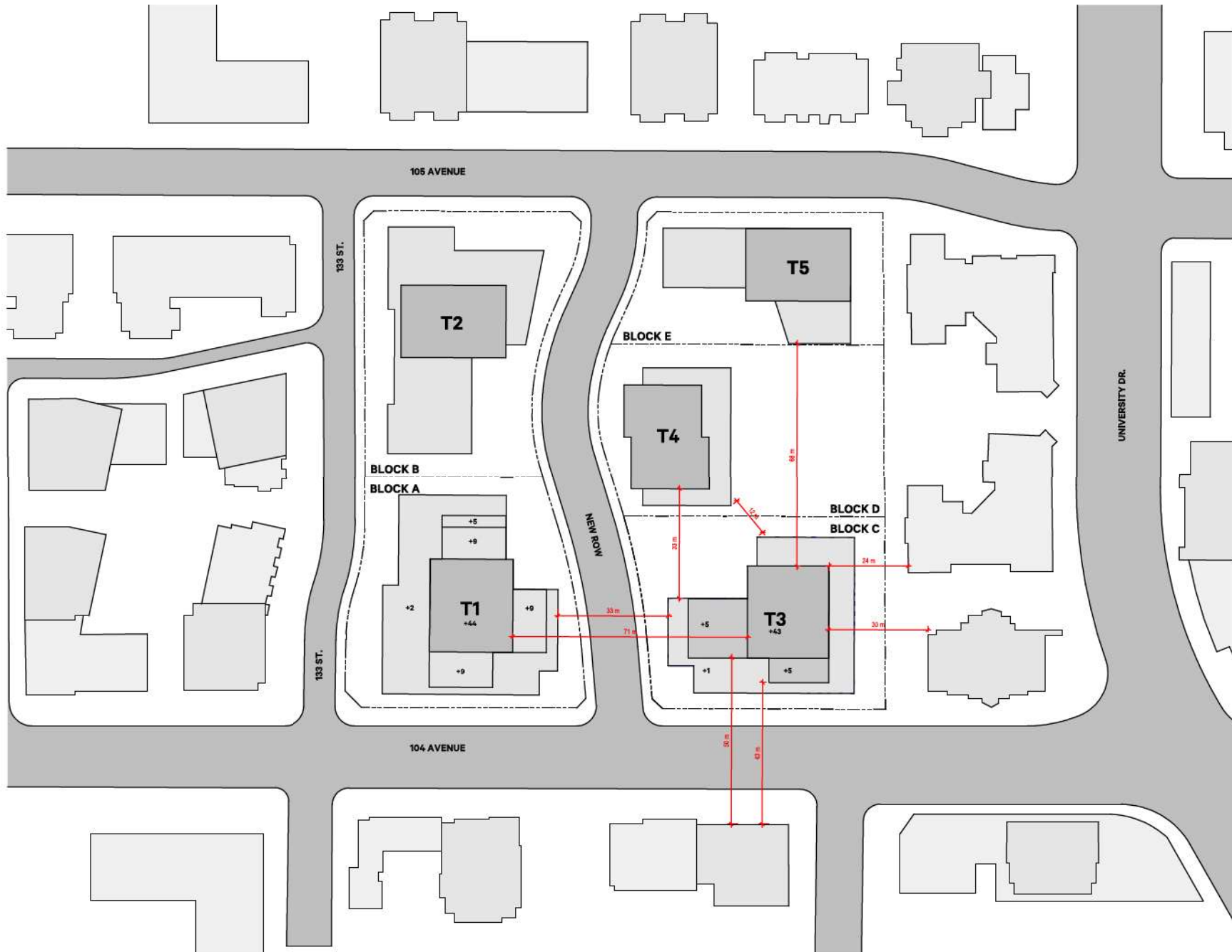


BRISTOL ESTATE
 1307 104th Avenue
 Surrey, BC
 BOSA PROPERTIES

BLOCK PLAN - PHASE 1 & 3

PROJECT	DATE	SCALE	DESIGNER	CHECKED	DATE

A004



CONTRACTOR REVIEW: THE SUBMITTAL DRAWING AND THE EXISTING PROPERTY OF THE PROPERTY AND OWNER AS SHOWN ARE NOT TO BE TAKEN AS ANY PART OF THE DOCUMENT OR THE BASIS OF THE DOCUMENT.
THE INFORMATION IS TO BE USED FOR CONTRACTOR'S REVIEW FOR CONSTRUCTION PURPOSES ONLY.
FOR THE CONTRACTOR'S REVIEW OF THE DRAWING FOR CONTRACTOR'S REVIEW VISIT: www.svn.ca AND VISIT: www.svn.ca FOR THE CONTRACTOR'S REVIEW AND THE CONTRACTOR'S REVIEW OF THE DRAWING FOR CONSTRUCTION PURPOSES ONLY.
FOR THE CONTRACTOR'S REVIEW OF THE DRAWING FOR CONSTRUCTION PURPOSES ONLY.

NO.	DATE	REVISION/COMMENT
1	2024-08-26	ISSUED FOR RFP

NOTES



BRISTOL ESTATE
13201 104th Avenue
Surrey, BC
BOSA PROPERTIES

BLOCK PLAN - SETBACKS

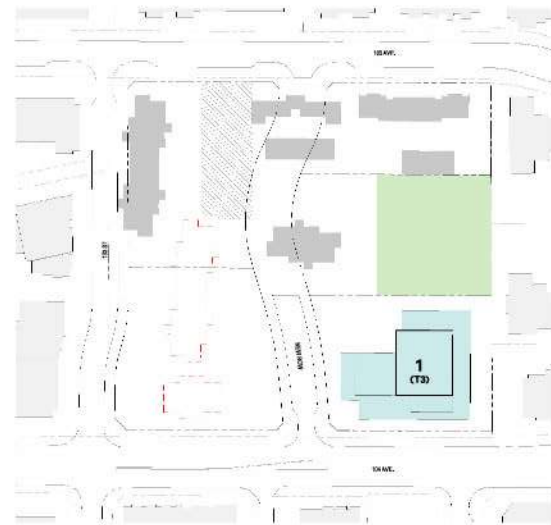


PROJECT NO.	DATE	DRAWN	CHECKED	DATE
13201-104th	2024-08-26	J. JONES	M. SMITH	2024-08-26

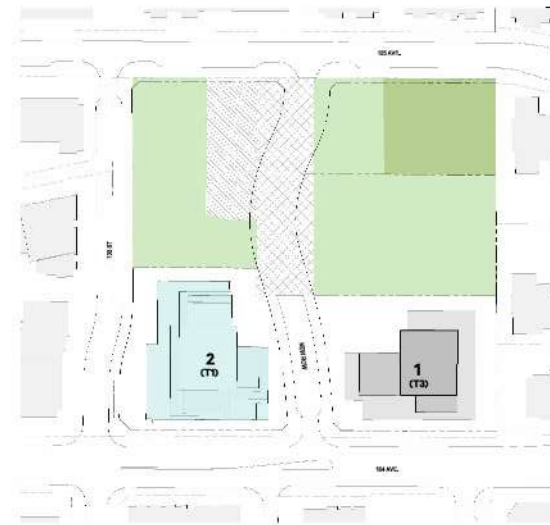
A005



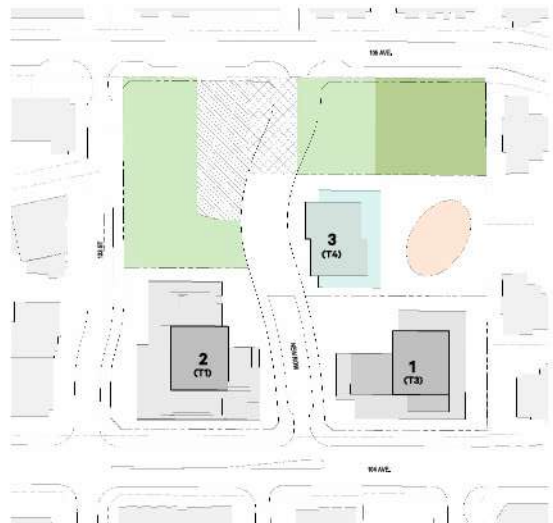
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scale: 1:1000



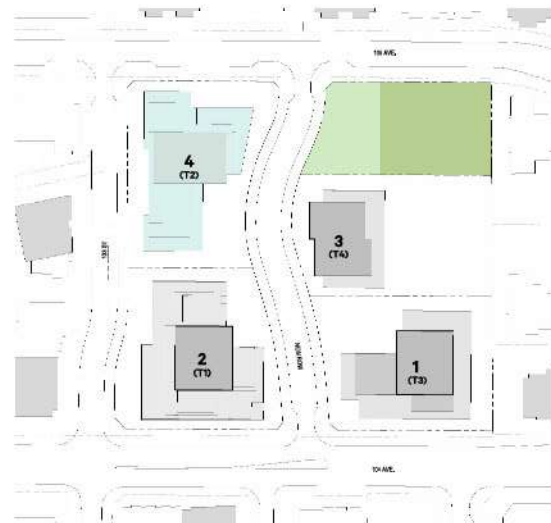
PHASING PLAN - PHASE 1
scale: 1:1000



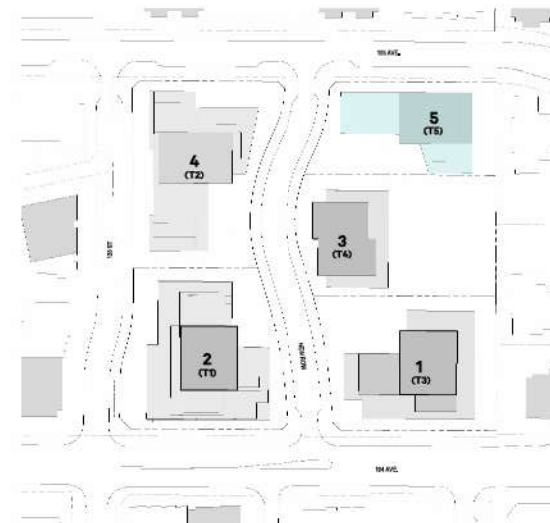
BLOCK PLAN - PHASE 2
scale: 1:1000



PHASING PLAN - PHASE 3
scale: 1:1000



PHASING PLAN - PHASE 4
scale: 1:1000



PHASING PLAN - PHASE 5
scale: 1:1000

CONTRACTOR REVIEW: THE SUBMITTER SHALL NOTIFY THE PROJECT MANAGER OF ANY CHANGES TO THE PLAN. THE SUBMITTER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE SUBMITTER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE SUBMITTER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

NO.	DATE	REVISION/COMMENT
1	2024-08-26	REVISED FOR DDP

- NOTES**
- GREEN SPACE
 - POLLINATOR MEADOW
 - POTENTIAL FUTURE COMMUNITY GARDEN
 - EXISTING BUILDING
 - NEW BUILDING
 - EXISTING PARKING LOTS
 - PRIVATE CONSTRUCTION ACCESS
 - BUILDINGS TO BE DEMOLISHED

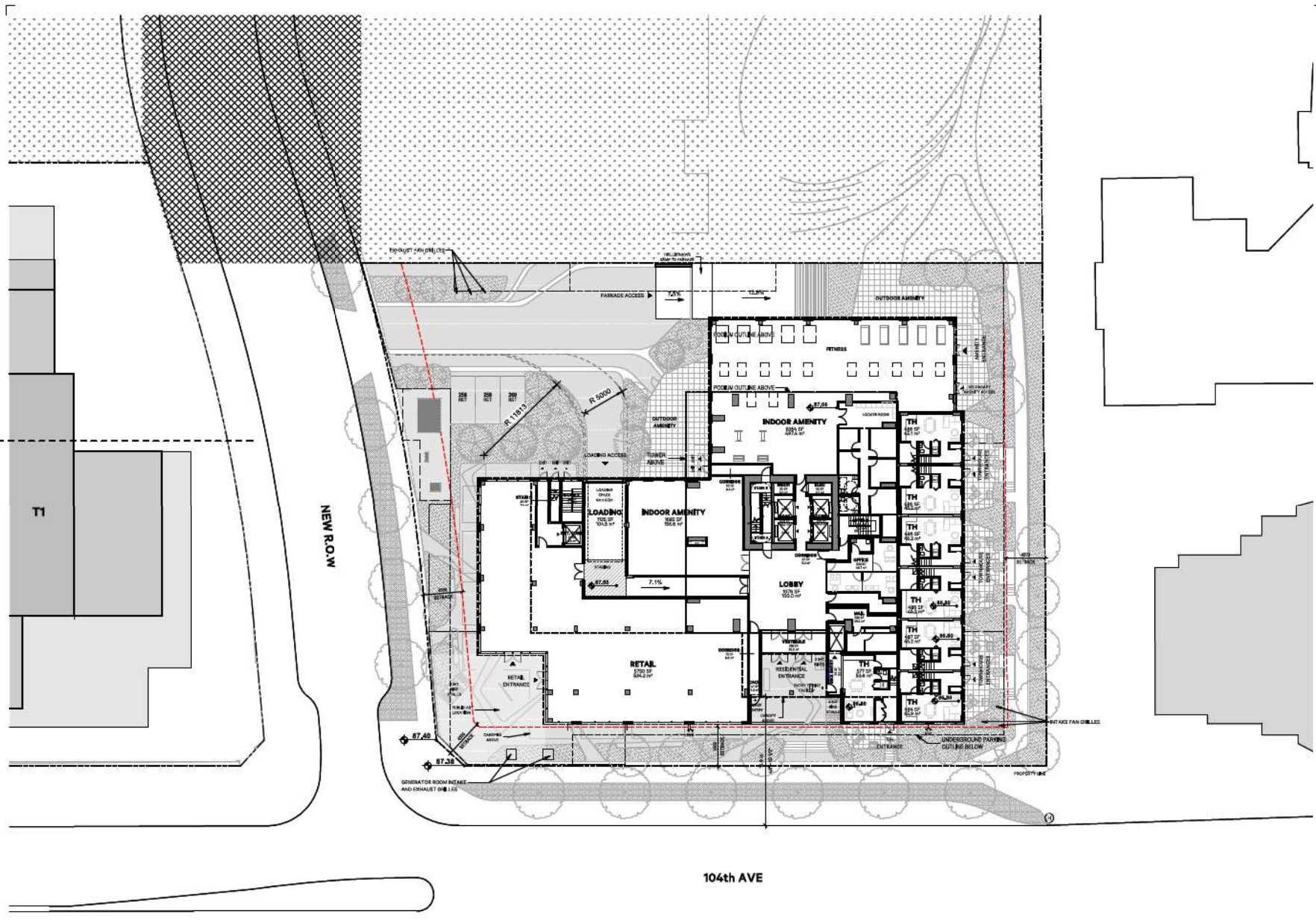


BRISTOL ESTATE
1201 104th Avenue
Surrey, BC
BOSA PROPERTIES

PHASING PLAN

PROJECT	DATE	SCALE	BY	CHECKED	DATE
BRISTOL ESTATE	2024-08-26	1:1000	AS	AS	2024-08-26

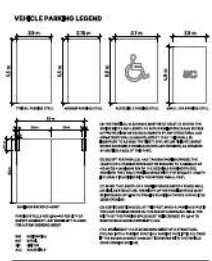
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SUNSHINE 4:34:47 PM



CONTRACTOR SHALL VERIFY THE SHOWN INFORMATION FOR THE EXISTING CONDITIONS OF THE SITE AND NUMBER AS SHOWN AND MAKE THE APPROPRIATE REVISIONS TO THE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION.

NO.	DATE	REVISION/COMMENT
1	2024-09-25	ISSUED FOR BIDDING

NOTES



SvN
 SUTTON
 ARCHITECTS
 15000 104th Avenue
 Surrey, BC
 B2M 1A9
 TEL: (604) 591-2222
 FAX: (604) 591-2223
 WWW.SVNARCHITECTS.COM

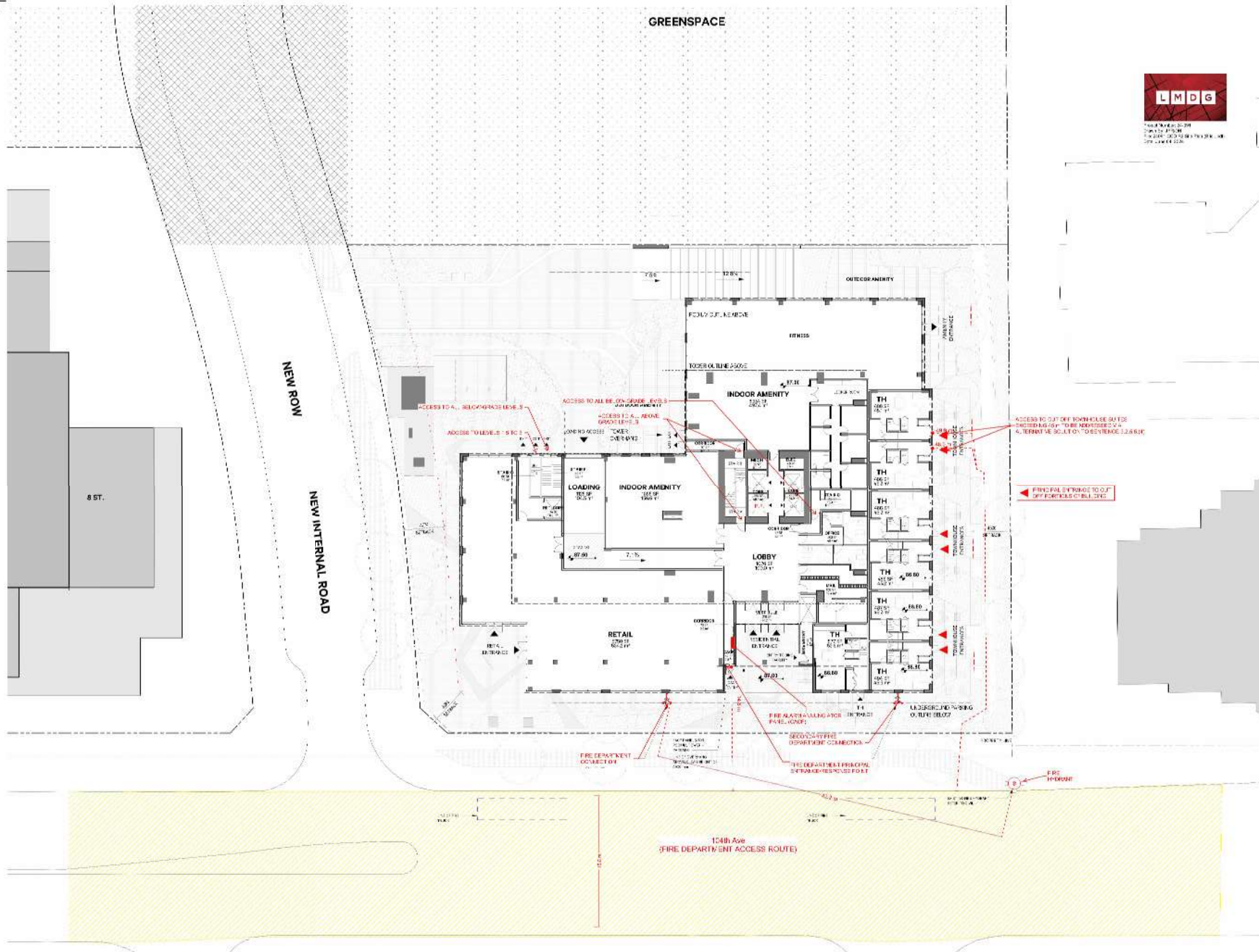
BRISTOL ESTATE
 15000 104th Avenue
 Surrey, BC
 B2M 1A9
 BOSA PROPERTIES

SITE PLAN

PROJECT: 2024-09-25
 SCALE: 1/8"=1'-0"
 DATE: 2024-09-25

DRAWN: [Signature]
 CHECKED: [Signature]

A007
 2024-09-25 PM



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 IMMEDIATELY TO THE ARCHITECT IN WRITING. THE CONTRACTOR SHALL
 BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND THE
 CITY ENGINEERING DEPARTMENT FOR THE CITY OF VANCOUVER
 THROUGH THE ARCHITECT.



NO.	DATE	REVISION/COMMENT
1	2024-08-08	REVISED FOR GIP

NOTES

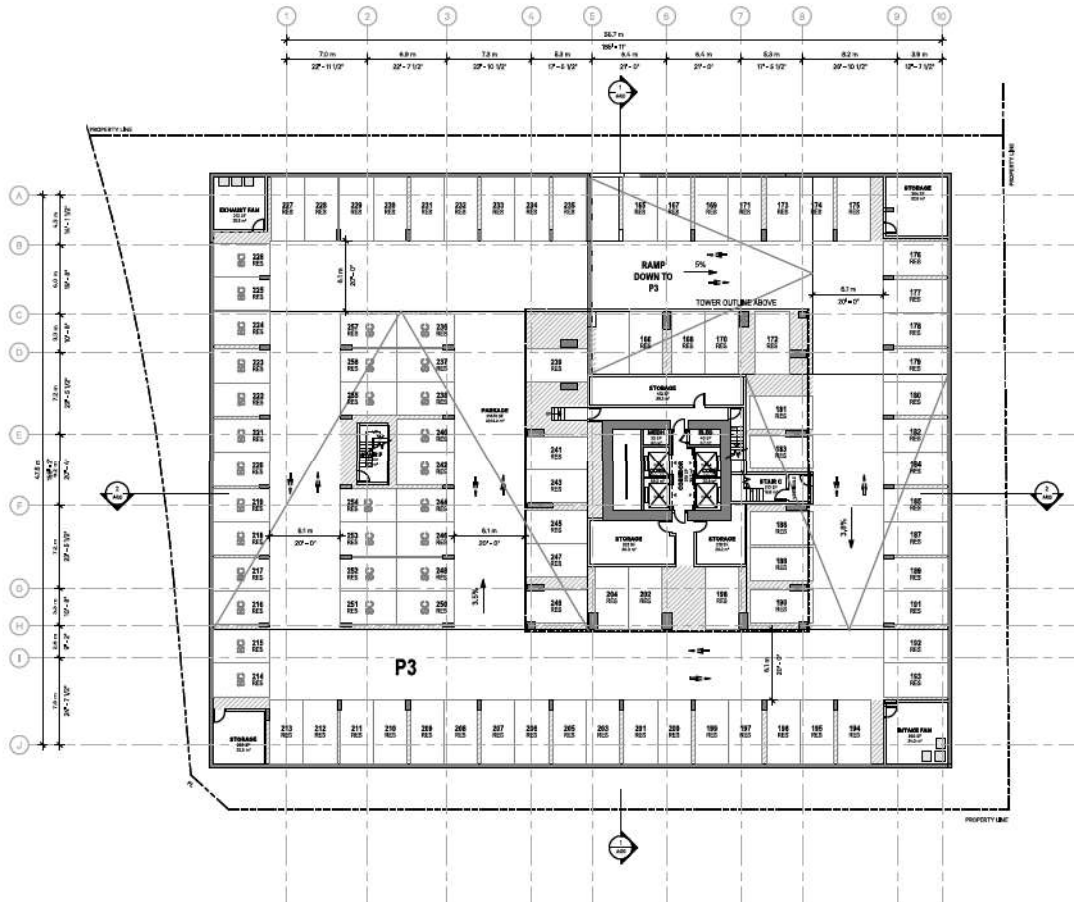
SvN
 ARCHITECTS
 1200-10th Avenue
 Surrey, BC

BRISTOL ESTATE
 1200-10th Avenue
 Surrey, BC

FIRE DEPARTMENT PLAN

PROJECT SCALE	DATE	DRAWN CHECKED	DATE
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A008
 REVISION 6/2024 PM



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NO.	DATE	REVISION/COMMENT
1	2024-08-26	ISSUED FOR RFP

NOTES

VEHICLE PARKING LEGEND

1. ALL PARKING SPACES SHALL BE 3.0M X 5.5M UNLESS OTHERWISE NOTED.

2. ALL PARKING SPACES SHALL BE SURFED WITH ASPHALT OR CONCRETE.

3. ALL PARKING SPACES SHALL BE MARKED WITH REFLECTIVE WHITE PAINT.

4. ALL PARKING SPACES SHALL BE MARKED WITH REFLECTIVE WHITE PAINT.

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19. ALL PARKING SPACES SHALL BE MARKED WITH REFLECTIVE WHITE PAINT.

20. ALL PARKING SPACES SHALL BE MARKED WITH REFLECTIVE WHITE PAINT.

SvN
 CONSULTANTS
 1300 104th Avenue
 Surrey, BC
 BOSA PROPERTIES

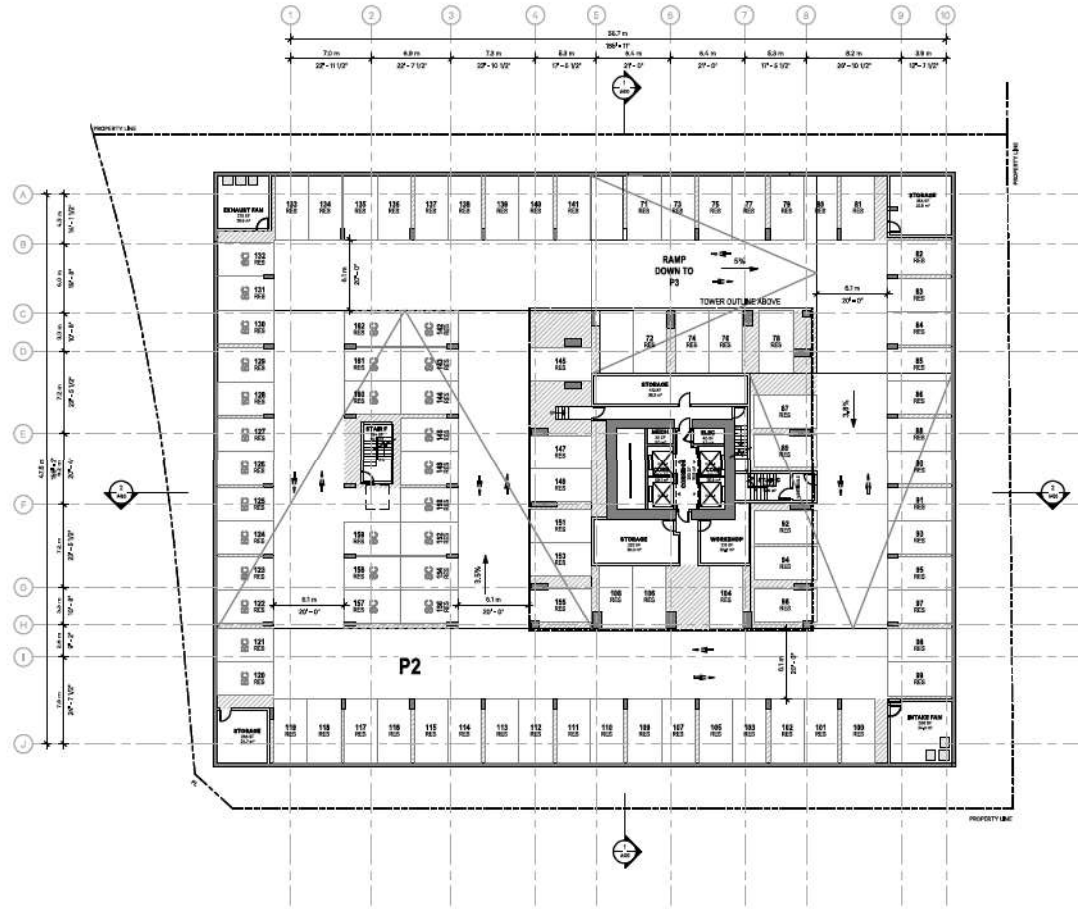
BRISTOL ESTATE
 1300 104th Avenue
 Surrey, BC
 BOSA PROPERTIES

BELOW-GRADE PLAN P3

PROJECT: 240101
 SCALE: 1:500
 DATE: 2024-08-26

DRAWN: [Name]
 CHECKED: [Name]
 APPROVED: [Name]

A101
 AUGUST 2024 PM



CONTRACTOR SHALL VERIFY THE DIMENSIONS SHOWN AND THE LOCATION OF ALL FEATURES AND ELEMENTS AS SHOWN AND SHOWN AS NOTED AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF SUCH DISCREPANCIES.
THE ARCHITECT WILL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR ALL WORK SHOWN.
PRIOR TO COMMENCEMENT OF THE WORK THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS AND CONDITIONS OF ALL EXISTING AND PROPOSED FEATURES AND ELEMENTS AS SHOWN AND SHOWN AS NOTED AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF SUCH DISCREPANCIES.

NO.	DATE	REVISION/COMMENT
1	2024-08-28	ISSUED FOR BIDDING

NOTES

VEHICLE PARKING LEGEND

1. All vehicle parking spaces shall conform to the minimum dimensions and clearances shown in this legend.
2. All wheelchair accessible parking spaces shall conform to the minimum dimensions and clearances shown in this legend.
3. All bicycle parking spaces shall conform to the minimum dimensions and clearances shown in this legend.
4. All vehicle parking spaces shall be paved with a durable, non-skid material.
5. All wheelchair accessible parking spaces shall be paved with a durable, non-skid material and shall be accessible to all persons with disabilities.
6. All bicycle parking spaces shall be paved with a durable, non-skid material and shall be accessible to all persons with bicycles.
7. All vehicle parking spaces shall be clearly marked with the appropriate symbol and dimensions.
8. All wheelchair accessible parking spaces shall be clearly marked with the appropriate symbol and dimensions.
9. All bicycle parking spaces shall be clearly marked with the appropriate symbol and dimensions.
10. All vehicle parking spaces shall be clearly marked with the appropriate symbol and dimensions.

SvN
ARCHITECTS

BRISTOL ESTATE
1201 18th Avenue
Surrey, BC
BOSA PROPERTIES

BELOW-GRADE PLAN P2

PROJECT: 2500400000
SCALE: 1:800
DATE: 20240828

DESIGNER: JMM/JLB
CHECKED: BJS
DATE: 20240828

A102
2500400000.PW

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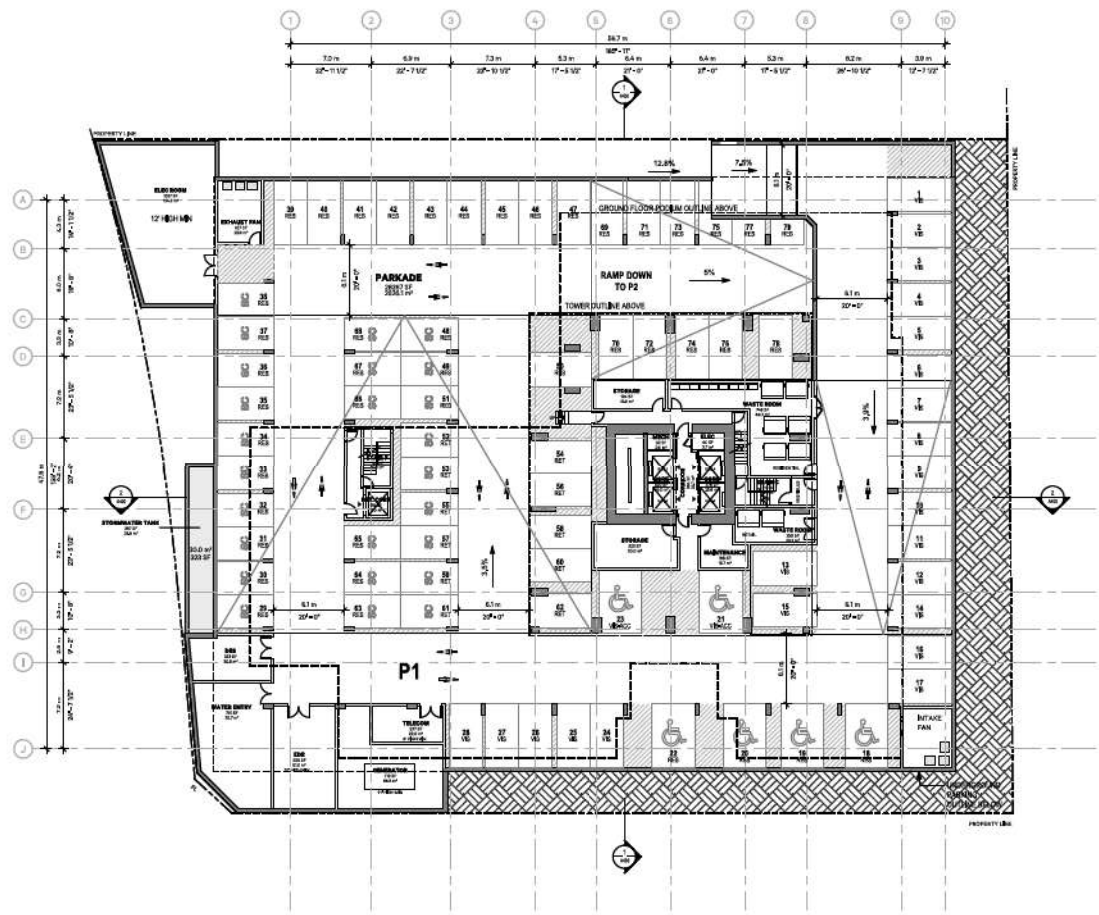
NO.	DATE	REVISION/COMMENT
1	2024-08-05	ISSUED FOR RFP

NOTES

VEHICLE PARKING LEGEND

STANDARD: 2.4m x 5.0m
 COMPACT: 2.0m x 4.5m
 DISABLED: 2.4m x 3.0m

1. ALL PARKING SPACES SHALL BE GRASS PAVED UNLESS OTHERWISE NOTED.
 2. ALL PARKING SPACES SHALL BE MARKED WITH WHITE PAINT.
 3. ALL PARKING SPACES SHALL BE MARKED WITH WHITE PAINT.
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BRISTOL ESTATE
 1320 104th Avenue
 Surrey, BC

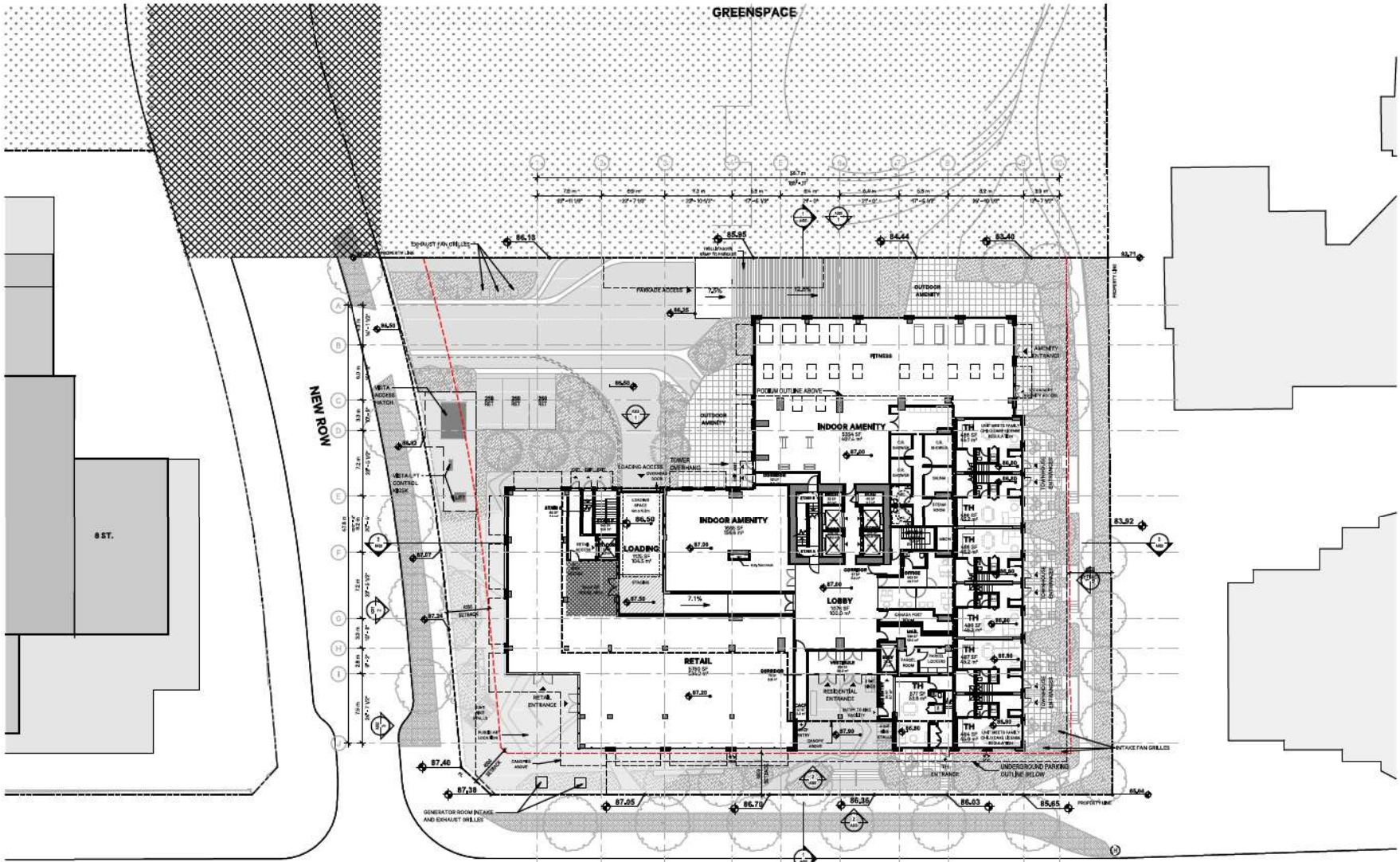
BOSA PROPERTIES

BELOW-GRADE PLAN P1

PROJECT: 1320/104
 SCALE: 1:100
 DATE: 2024-08-05

DESIGN: JMM/J
 CHECKED: [Signature]
 DATE: [Signature]

A103
8/5/24 4:28:28 PM



GREENSPACE

NEW ROW

104th AVE

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NO.	DATE	REVISION/COMMENT
1	2024-08-26	ISSUED FOR BID

NOTES



BRISTOL ESTATE
1201 104th Avenue
Surrey, BC

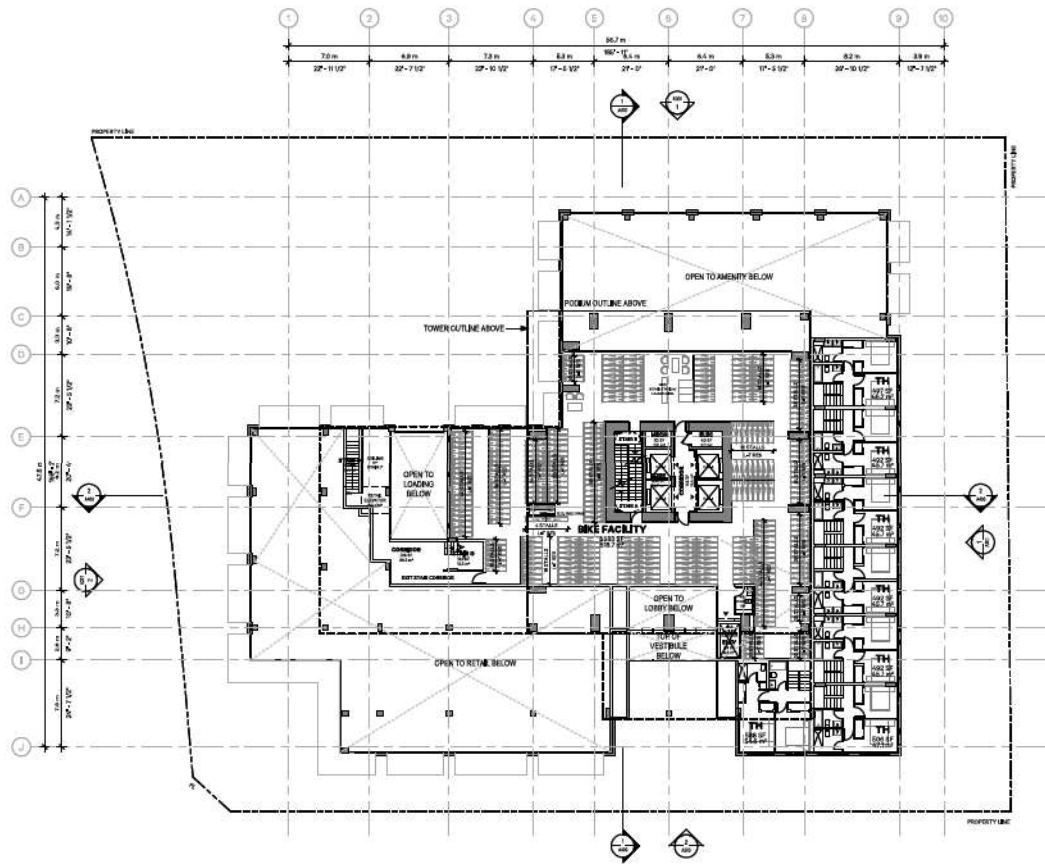
BOSA PROPERTIES

FLOOR PLAN - GROUND

PROJECT	1201 104th Avenue	DRAWN	AMW	DATE	2024-08-26
SCALE	1:100	CHECKED	AMW		

A200

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CONTRACTOR SHALL VERIFY THE DIMENSIONS SHOWN ON THE FLOOR PLAN
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 AS NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.
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 WHEN TO COMMENCEMENT OF THE WORK THE CONTRACTOR SHALL VERIFY
 ALL DIMENSIONS. IN THE EVENT OF ANY DISCREPANCY BETWEEN THE DIMENSIONS
 SHOWN ON THE FLOOR PLAN AND THE DIMENSIONS OF THE EXISTING BUILDING THE
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NO.	DATE	REVISION/COMMENT
1	2024-08-26	ISSUED FOR RFP

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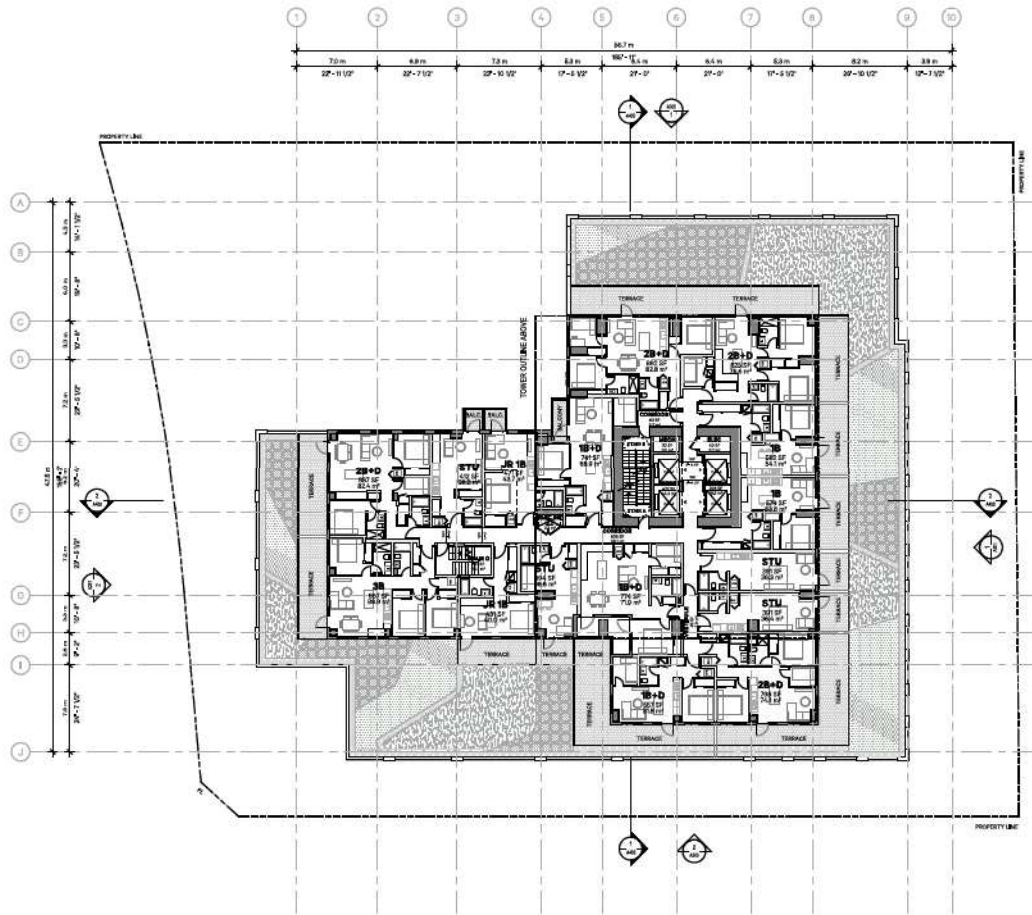
BRISTOL ESTATE
 1320 104th Avenue
 Surrey, BC
 BOSA PROPERTIES

FLOOR PLAN - 1.5 MEZZ

PROJECT	DATE	SCALE	APP'D	DRWNR	CHECKED	DATE

A201

04/20/2024 4:07 PM



CONTRACTOR SHALL VERIFY THE DIMENSIONS SHOWN ON THIS FLOOR PLAN WITH THE DIMENSIONS OF THE EXISTING AND CONSTRUCTED WORK AND SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES. THE DIMENSIONS OF THE EXISTING WORK SHALL BE TAKEN AS SHOWN ON THIS FLOOR PLAN UNLESS OTHERWISE INDICATED. THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT AND SHALL BE KEPT IN CONFIDENCE BY THE CONTRACTOR AND SHALL NOT BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

NO.	DATE	REVISION/COMMENT
1	2024-09-26	ISSUED FOR RFP

NOTES



BRISTOL ESTATE
 1320 104th Avenue
 Surrey, BC

BOSA PROPERTIES

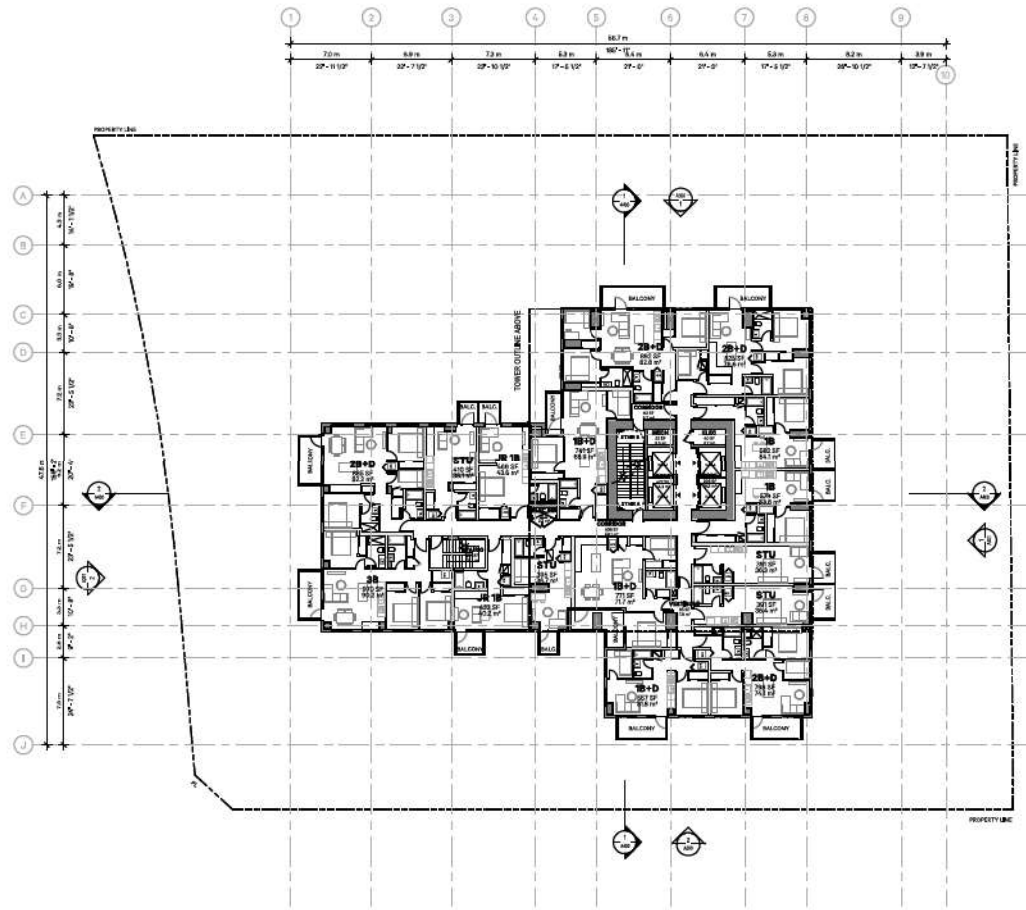


FLOOR PLAN LEVEL 02

PROJECT	AMM	DESIGN	DATE	CHECKED	DATE
SCALE	1:100	1:100	2024/09/26		

A202

2024/09/26 PM



CONTRACTOR TO VERIFY THE DIMENSIONS SHOWN AND THE EXISTING PROPERTY OF THE STRUCTURE AND SURROUNDING AREAS AND TO REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON COMMENCEMENT OF WORK.
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY APPROVED BY THE ARCHITECT.
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NO.	DATE	REVISION/COMMENT
1	2024-08-06	ISSUED FOR RFP

NOTES



BRISTOL ESTATE
 13201 104th Avenue
 Surrey, BC

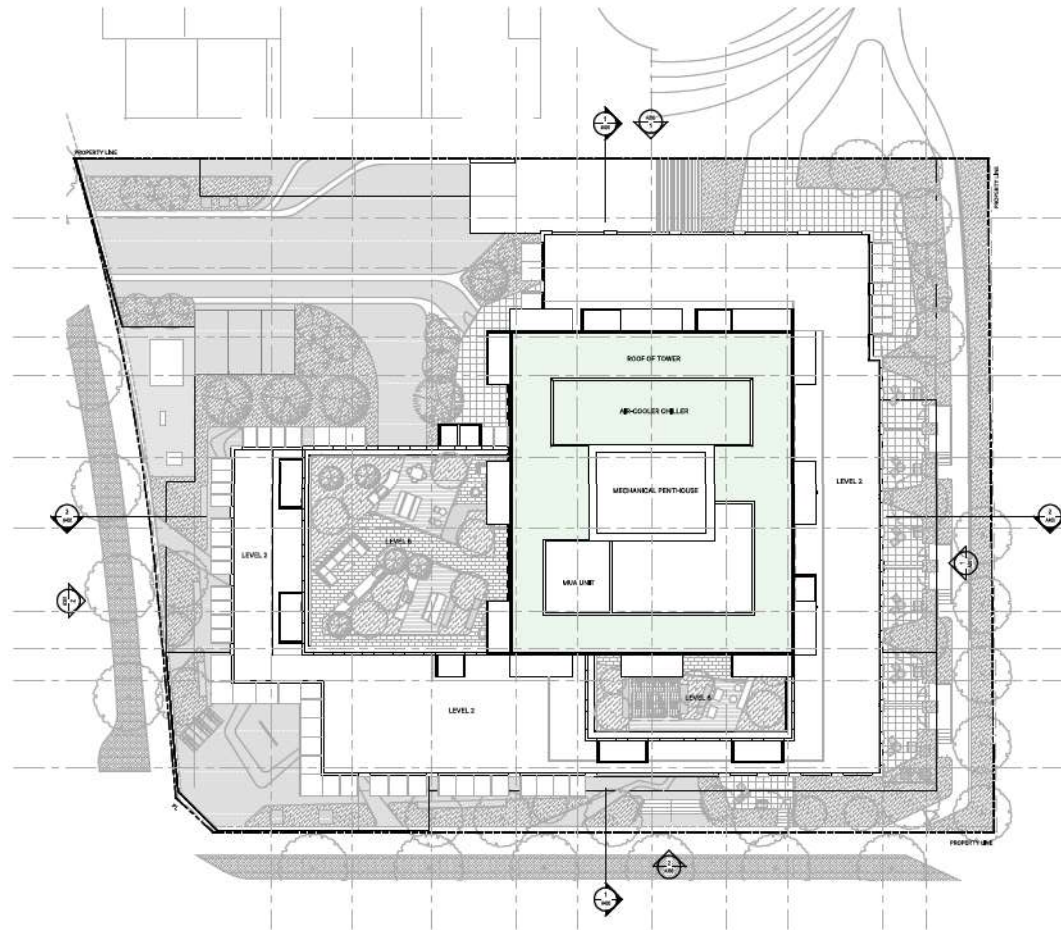
BOSA PROPERTIES

FLOOR PLAN LEVELS 03-05

PROJECT	DATE	SCALE	ISSUED	DATE	BY	CHECKED	DATE

A203

8/20/24 4:54:41 PM



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NO.	DATE	REVISION/COMMENT
1	2024-08-26	ISSUED FOR DDP

NOTES
 ISSUED FOR DDP 2024/004



BRISTOL ESTATE
 13201 104th Avenue
 Surrey, BC
 BOSA PROPERTIES

ROOF PLAN



PROJECT	DATE	DRAWN	CHECKED	SCALE
A206	2024/08/26	JM	JM	1:100

A206

8/26/24 4:03:38 PM

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **June 28, 2022** PROJECT FILE: **7820-0304-00**

RE: **Engineering Requirements (Commercial/Multi-Family)
Location: 13301 - 104 Avenue**

OCP AMENDMENT/CCP AMENDMENT

Complete sanitary and drainage catchment analysis to determine existing capacities. Resolve downstream constraints, as identified.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 2.808m along 104 Avenue, 1.942m along 105 Avenue, varying width along 133 Street, and 20.0m for the new road.
- Dedicate required corner cuts.
- Provide 0.5m wide SRW along all site frontages.

Works and Services

- Construct road works along, 133 Street, 104 Avenue, 105 Avenue and the new road.
- Construct signal at the intersection of 133 Street and 104 Avenue.
- Implement the recommendations of the Traffic Impact Study and geotechnical report.
- Construct minimum 250mm water mains along 133 Street and the new road.
- Complete fire flow analysis to determine the ultimate water main size, extent and velocity.
- Construct sanitary mains along 133 street, 104 Avenue, 105 Avenue, and new road.
- Construct storm mains along 133 Street, 105 Avenue, and the new road.
- Provide water, storm and sanitary service connections to service the development, and abandon all existing connections.
- Register applicable legal documents as determined through detailed design.
- Legal agreements facilitate replacement of existing rental units.
- Pay amenity charge for undergrounding the existing third party utilities.
- Pay applicable latecomer charges.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Jeff Pang, P.Eng.
Development Services Manager
HB4

NOTE: Detailed Land Development Engineering Review available on file

Department: **Planning and Demographics**
Date: **June 11, 2024**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **20-0304**

The proposed development of **2686** High Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	226
---	-----

Projected Number of Students From This Development In:	
Elementary School =	134
Secondary School =	54
Total Students =	188

Current Enrolment and Capacities:	
K B Woodward Elementary	
Enrolment	749
Operating Capacity	682
# of Portables	6
Kwantlen Park Secondary	
Enrolment	1594
Operating Capacity	1200
# of Portables	16

Summary of Impact and Commentary

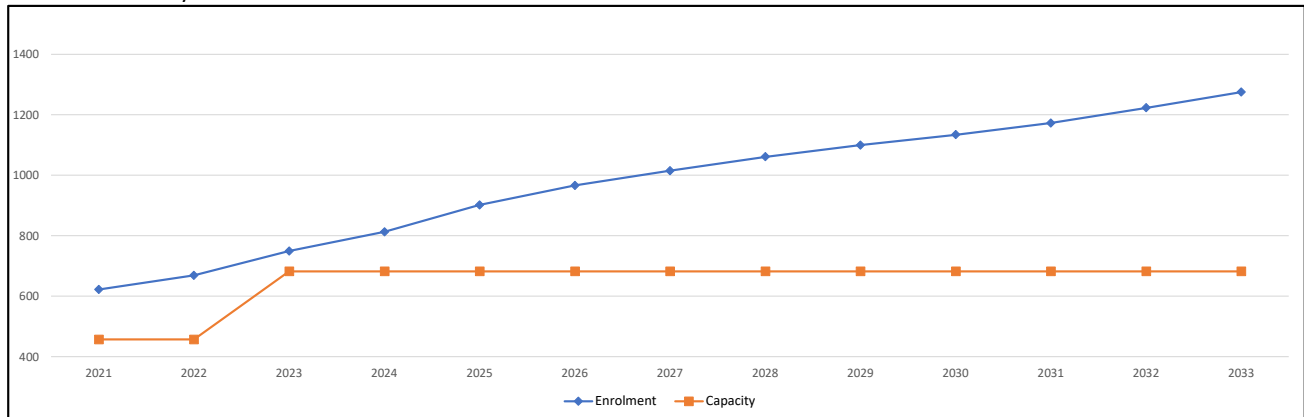
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

As of September 2023, KB Woodward is operating at 110% capacity. The 10 year enrolment projections indicate that the school will grow rapidly as City Centre continues to transform into the new business/commercial/residential center for Surrey. There are currently 6 portables with some room for future portables to accommodate some growth.

With the current school over capacity, and significant development coming in the area, the 2025/26 capital plan calls for an addition at Discovery and a new elementary school in the City Centre. As of now those are not funded by the Province.

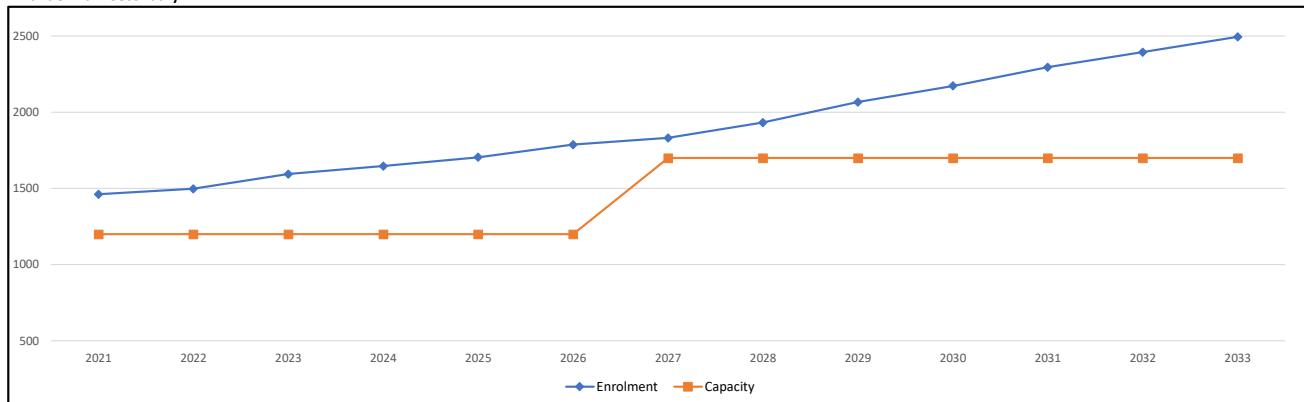
As of September 2023, Kwantlen Park Secondary is currently operating at 133% with 16 portables on site used for enrolling classes and is projected to grow significantly over the next 10 years. This school will also be impacted by timing of future high-rise development in the area. In February 2023, the District received capital funding approval from the Ministry to build a 500-capacity addition, targeted to open in the fall of 2027. However additional measures will also be required to address the future growth.

K B Woodward Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Kwantlen Park Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population: The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

3.3 Tree Preservation by Location

Note that Tree Preservation by Location tables for off-site and City trees are on the following page.

Surrey File Number:

Address: 13301 104 Ave

Arborist: Morgan Sullivan

Date of Report/Revision:

September 17, 2024

*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Alder & Cottonwood Trees			
	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)			
Alder/Cottonwood (within riparian area)			
Total	0	0	0
Deciduous Trees (excluding Alder & Cottonwood Trees)			
Tree Species	Existing	Remove	Retain
<i>Hornbeam</i>	4	4	0
<i>Big-leaf Maple</i>	4	4	0
<i>Bitter Cherry</i>	1	1	0
<i>Flowering Dogwood</i>	1	1	0
<i>Honey Locust</i>	9	9	0
<i>Horsechestnut</i>	1	1	0
<i>Linden</i>	8	8	0
<i>Norway Maple</i>	1	1	0
<i>Rowan/Mountain Ash</i>	1	1	0
<i>Silver Maple</i>	15	15	0
<i>Sycamore</i>	1	1	0
Deciduous Subtotal	46	46	0
Coniferous Trees			
Tree Species	Existing	Remove	Retain
Deodar Cedar	11	11	0
Colorado Blue Spruce	1	1	0
Japanese Cedar	1	1	0
Lawson Cypress	7	7	0
Scots Pine	3	3	0
Western Red Cedar	14	14	0
Western Hemlock	6	6	0
English Holly	1	1	0
Coniferous Subtotal	44	44	0
Deciduous & Coniferous Total	90	90	0
Onsite Tree Totals	90	90	0
Onsite Replacement Trees Proposed *insert "0" if TBD or unknown		180	
Total Onsite Retained and Replacement Trees		180	

	Alder & Cottonwood Trees			
		Existing	Remove	Retain
	Alder/Cottonwood (outside riparian area)			
	Alder/Cottonwood (within riparian area)			
Total	0	0	0	
OFFSITE	Deciduous & Coniferous (excluding Alder & Cottonwood Trees)			
	Tree Species	Existing	Remove	Retain
	<i>Katsura</i>	3	0	3
	<i>Japanese Cherry</i>	1	0	1
	<i>Silver Maple</i>	1	0	1
	<i>English Oak</i>	1	0	1
	<i>Sweetgum</i>	1	0	1
	<i>English Yew Tree Row</i>	1	0	1
	<i>Mixed Species Tree Row</i>	1	0	1
	<i>Black Pine</i>	21	21	0
	Deciduous & Coniferous Total	30	21	9
	Offsite Tree Totals	30	21	9
	Total Offsite Retained Trees		9	
	CITY		Existing	Remove
Park/City Lot Trees				
Boulevard Trees		5	1	4
	Total	5	1	4

4.0 Tree Preservation Summary

Surrey File Number:

Date of Report/Revision:

September 10, 2024

Address: 13301 104 Ave

Arborist Signature

Arborist: Morgan
Sullivan

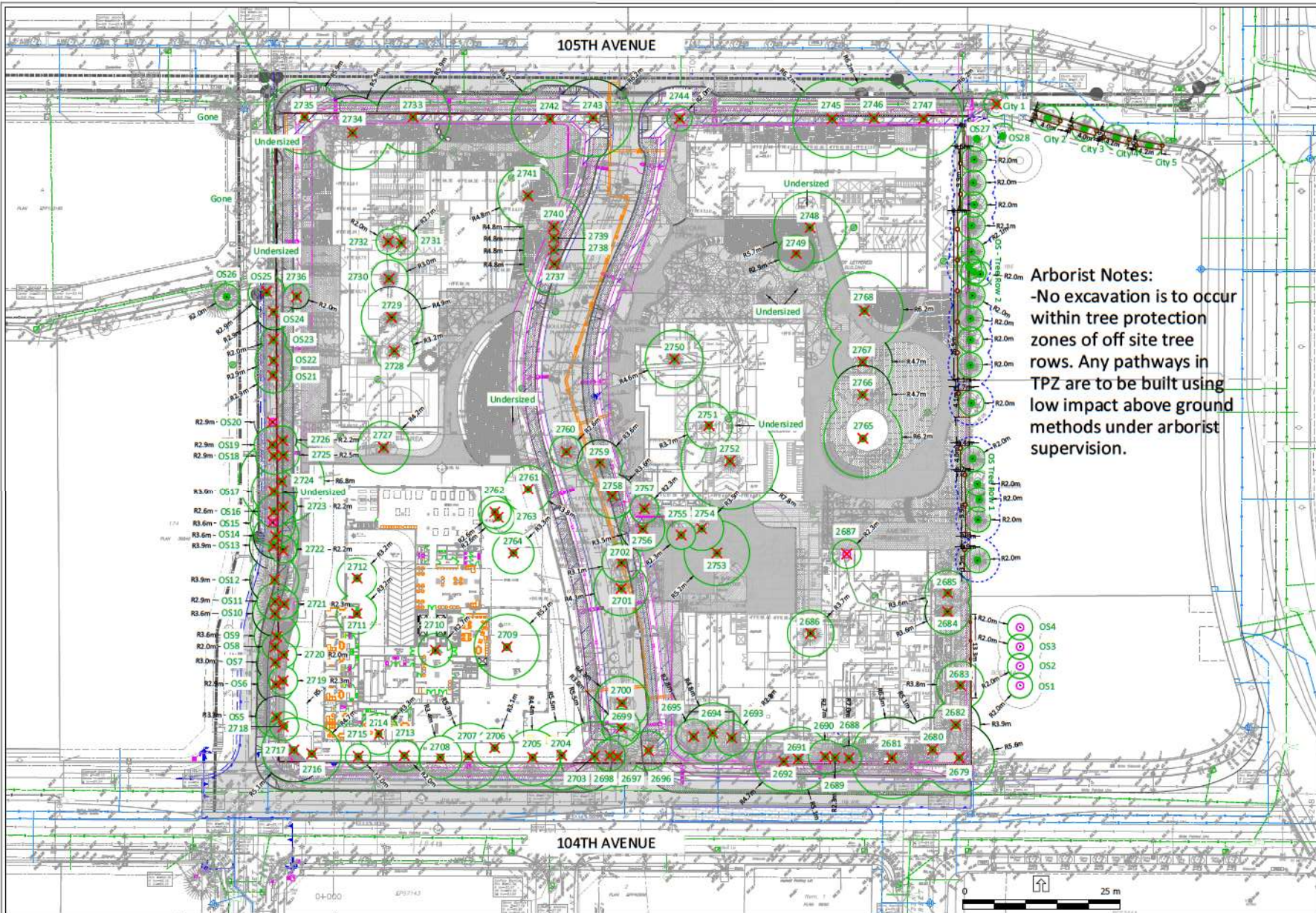


*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report

ONSITE TREES				# of Trees
Existing Bylaw Trees				<u>90</u>
Proposed Removed Bylaw Trees				<u>90</u>
Proposed Retained Bylaw Trees				<u>0</u>
Total Replacement Trees Required				
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio				
Removed			Subtotal	
0	x	1	0	-
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio				
Removed			Subtotal	
0	x	2	0	-
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio				
Removed			Subtotal	
90	x	2	180	-
Required Replacement Trees				<u>180</u>
Proposed Replacement Trees				<u>180</u>
Deficit of Replacement Trees				<u>0</u>
Total Onsite Retained and Replacement Trees				<u>180</u>

OFFSITE TREES				# of Trees
Existing Bylaw Trees				<u>30</u>
Proposed Removed Bylaw Trees				<u>21</u>
Proposed Retained Bylaw Trees				<u>9</u>
Total Replacement Trees Required				
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio				
Removed				
0	x	1	0	-
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio				
Removed				
0	x	2	0	-
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio				
Removed				
21	x	2	42	-
Required Replacement Trees				<u>42</u>
*To be taken as cash-in-lieu				
Total Offsite Retained Trees				<u>9</u>

CITY TREES	Existing	Removed	Retained
Park/City Lot Trees	0	0	0
Boulevard Trees	5	1	4
Total	5	1	4



Arborist Notes:
 -No excavation is to occur within tree protection zones of off site tree rows. Any pathways in TPZ are to be built using low impact above ground methods under arborist supervision.

- LEGEND**
- CRITICAL ROOT ZONE
 - - - NO-BUILD ZONE
 - TREE PROTECTION ZONE AND FENCING
 - SURVEYED TREE TO BE RETAINED
 - UN-SURVEYED TREE TO BE RETAINED (MUST BE SURVEYED)
 - ✗ SURVEYED TREE TO BE REMOVED
 - ✗ UN-SURVEYED TREE TO BE REMOVED (MUST BE SURVEYED)

- NOTES**
1. The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
 2. All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
 3. The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (If the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
 4. No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.
 5. The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.
 6. Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the direct supervision of an arborist.
 7. This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
 8. This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

- REFERENCE DRAWINGS**
1. Base Survey by: Bennett Land Surveying



3559 COMMERCIAL STREET
 VANCOUVER BC | V5N 4E8
 T 604.733.4886

Drawing title: Tree Management Plan
 Project address: 13301 104th Ave, Surrey
 Client: Bosa Properties

Drawing No: 001
 Date: 2024/09/17
 Drawn by: MS
 Page Size: TABLOID 11"x17"

Page #
 1 of 1

September 12, 2024

City of Surrey

Planning and Development Department
Surrey City Hall, 2nd Floor
13540-104th Avenue
Surrey BC, V3T 1V8

To: Mr. Keith Broersma, Planning and Development

**Re: 13301 104th Avenue, Surrey B.C.; ‘Bristol Estates’ – (the “Property”)
REVISED Tenant Relocation Plan prepared by Bristol Estates 13301 GP Ltd.**

Bosa Properties Inc., on behalf of its subsidiaries, Bristol Estates 13301 GP Ltd. and the registered owner of the Property, Bristol Estates 13301 Holdings Ltd. (collectively, the “**Applicant**”), has submitted a General Development Permit Application including a Tenant Relocation Plan (the “**TRP**”) to the City of Surrey which was granted Third Reading by City of Surrey Council on August 8th, 2022.

The Applicant wishes to submit the following revised Tenant Relocation Plan (the “**Revised TRP**”) to the City in order to account for the following: (i) a phasing update, reflecting the condition of the existing buildings on the Property; (ii) additional practical considerations for construction phasing as described herein; and (iii) a proposal that the replacement rental units required to be constructed on the same development site as the original units under Policy O-61, be moved from the Property to an affiliated development project situated in close proximity to the Property, at 13587 104th Avenue, Surrey (the “**PARKWAY Tower 2 Development**”), which site is owned and currently under development by Bosa Properties Inc. through its subsidiary, Bluesky Properties (Brightside) 2020 Inc.

This Revised TRP also provides updated program details and information on phasing, with tenant relocation occurring in a single phase and tied to the Rezoning Enactment (4th Reading) of the General Development Permit, which will trigger a Fourt Month Notice to End Tenancy period for tenant relocations under the *Residential Tenancy Act* (RTA) and in accordance with Policy O-61.

The Applicant will be responsible for administering the Revised TRP. In furtherance thereof, we have retained a dedicated Tenant Relocation Coordinator to engage with all tenants who meet the requirements of being an “Eligible Tenant” under policy O-61 (as defined and described in section 3 below). The Tenant Relocation Coordinator will administer the tenant relocation program and provide assistance as needed for all Eligible Tenants.

Details on the Revised TRP are provided in the sections that follow:

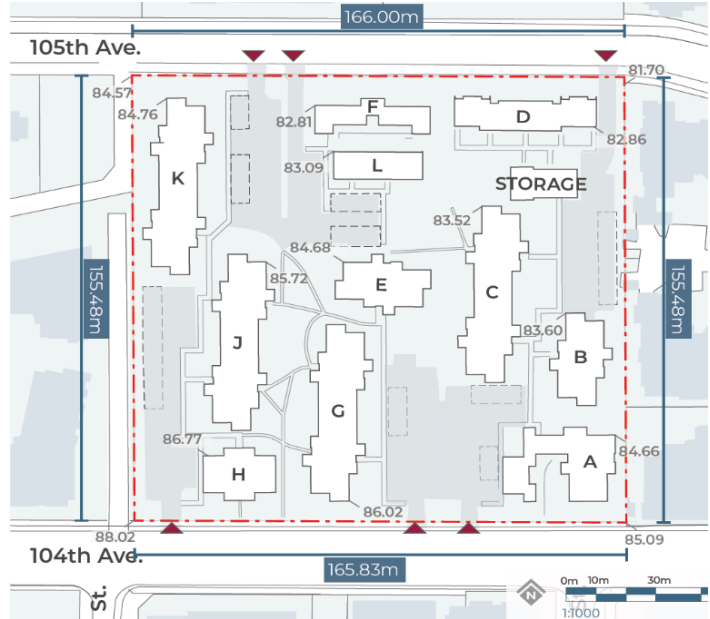
1. Existing Rental Housing at 13301 104th Avenue, Surrey B.C
2. Secured Rental Replacement Homes in the development at 13587 104th Ave, Surrey (the PARKWAY Tower 2 Development)
3. Developer’s Commitment to Tenants
4. Relocation Plan
5. Relocation Coordinator Details
6. Communication Plan
7. Reporting

1 / Existing Rental Housing on the Property - 13301 104th Avenue, Surrey B.C

The existing development on the Bristol Estates Property comprises 156 rental units (1 studios; 18 one-beds; 123 two-beds, and 14 three-beds) with a combined total of 307 bedrooms. The units are distributed amongst 11 wood-frame low-rise buildings built in the late 1960's (the "Existing Buildings"). The Existing Buildings have reached the end of their service lives. Developed at low intensity and serviced with extensive surface parking, the current development on the Property does not today make the best use of the transit-oriented site which is approximately 500m from the Surrey Centre Skytrain station.

Building	BACH	1 BED	2 BED	3 BED	TOTAL
A	1	5	7	0	13
B	0	0	8	0	8
C	0	0	20	0	20
D	0	0	0	8	8
E	0	0	12	0	12
F	0	0	4	2	6
G	0	0	24	0	24
H	0	12	0	0	12
J	0	0	24	0	24
K	0	0	24	0	24
L	0	0	0	4	5
Total	1	18	123	14	156

13301 104TH Ave – Existing Buildings



Current Occupancy Summary

Rents from December 2023, shown in the table below, reflect the age and poor condition of the Existing Buildings which, accordingly, experience high levels of turnover. At August 31st, 2024, 17 of the 156 units were occupied (11%). As of 2023, the average tenancy was 8.5 years, and the median length of tenancies was 6.8 years (50% of tenants had been residing there for less than 6.8 years, and 50% had resided there for more than 6.8 years).

	Studio	1-Beds	2-Beds	3-Beds	Totals
Units #	1	18	123	14	156
Units %	0%	12%	79%	9%	100%
Bedrooms	2	17	246	42	307
Occupied	0	2	13	2	17
Avg Rent	N/A	\$838	\$1,067	\$1,205	\$1,046

An updated summary of current occupants can be provided in a separate report upon request, to maintain tenant privacy.

2 / Secured Rental Replacement Homes Proposed at the PARKWAY Tower 2 Development, located at 13587 104th Ave, Surrey, BC

Required Units Delivered Sooner: The previous master plan for redevelopment of the Property, as submitted to the City by the former owner applicant, proposed a twelve-storey purpose-built rental housing building in Phase 1 of the redevelopment, with a total of 185 units (330 Bedrooms); however, the previous application did not address a feasible unit size in the area provided.

Accordingly, the Applicant’s proposal is to provide the Secure Rental Replacement Homes at our nearby Applicant owned development property located at 13587 104th Avenue in Surrey (referred to herein as the PARKWAY Tower 2 Development), as these units can be completed and delivered sooner than the units to be constructed in the Bristol redevelopment.

The Applicant is proposing to meet the 1:1 bedroom replacement requirement outlined in Policy O-61 by providing 307 bedrooms in the rental replacement units to be provided in the PARKWAY Tower 2 Development in compliance with O-61 and a minimum of 200 rental units, well in excess of the 156 required rental replacement units. (Number of replacement bedrooms per O-61, variation from O-61 for location of replacement units offsite)

Housing Agreement – 60 Years: The Applicant proposes to secure the rental tenure of the rental replacement units with a Housing Agreement covenant with the City of Surrey for a period of 60 years, in excess of the 20 years required by policy O-61. *(40 years in addition to 20-year requirement per O-61)*

Below Market Rents: Starting rents for Eligible Tenants with Rights of First Refusal will be set at rates 10% below CMHC Average Rents for each unit type as measured by CMHC in their annual rental market report. *(Per O-61)*

Market Rents: Concrete construction allows for more intense land use on the site, and a faster tenant relocation program but it comes at a significant cost premium relative to wood frame. Given the below-market opening rent structure, it is anticipated that the building will generate significant operating deficits in early years of operation. The Applicant therefore proposes to rent at market rates: a) the rental units that remain available once the tenants with rights of first refusal have exercised their

options, and b) the units that turn on vacancy. This transition will gradually bring the building into more positive economic returns that enable viable costs and risks of operating the rental housing as a whole. *(Rent rates per O-61 for units rented to eligible tenants, market rent rates in deviation of O-61 for units not rented by eligible tenants and for units turning to market on vacancy)*

Unit Allocation: Bosa Properties Inc. and its property management will offer replacement apartments for returning Eligible Tenants at the Parkway Development, predicated on the type of unit leased in the old complex.

Rental Ownership & Management: Bosa Properties Inc. proposes that it will own and manage the replacement rental units and verify that the rental tenancy agreements comply with the below market requirements set out above (in line with other Affordable Housing Units in the current Bosa Properties portfolio across the region), with annual reports to the City on the operations of the affordable rental replacement units. *(Deviation from O-61, as Bosa Properties Inc. will be able to manage all the units more efficiently on a consolidated basis, in compliance with CoS requirements for the below-market units)*

3 / Developer's Commitments to Tenants

Information and Engagement

Bristol GP's and subsequently, Bosa Properties' Tenant Relocation Coordinators have kept tenants involved through **open house meetings** (when Public Health Orders make it possible), **quarterly newsletters**, and the **project website** to address the most common tenant concerns and interests. Copies of this communication were shared with City Planning Staff. Key developer commitments will be updated in the Newsletters. *(Per O-61)*

Eligibility for Compensation and Relocation Benefits: "Eligible Tenants"

Policy O-61 sets out the requirements for redevelopment of purpose-built rental housing and provision of assistance to tenants when redevelopment occurs and requires the proponent to provide a proposal with the development application outlining how the Proponent's application meets the rental replacement requirements of the Policy.

The demolition of the existing rental units on the Property and start of construction on the future development is approximately 1 year away, subject to approvals timelines (requiring City review and approval of a recently submitted Phase 1 Detailed Development Permit application and subsequent submission and City review and approval of a Building Permit application).

Definition of "Eligible Tenants":

In accordance with the requirements of Policy O-61, and as per the City of Surrey's request, tenants who are eligible to receive tenant relocation assistance and compensation are defined as those tenants who have leases in good standing and who had not signed a Mutual Agreement to End of Tenancy at the time the General Development Permit application was resubmitted by the Applicant to the City on September 6th, 2023 (collectively, the "**Eligible Tenants**").

The Applicant has advised the City that there are a total of 23 Eligible Tenants, whose names have been provided to City of Surrey and set out in the Housing Agreement for the PARKWAY Tower 2 Development. New Tenants who fill vacancies in these buildings after September 6th, 2023, will be

required to sign waivers confirming they are only eligible for the standard compensation and notice requirements under the RTA *(Per O-61)*

Compensation

Eligible Tenants may start looking for new accommodations and may wish to move out anytime prior to the issuance of permits and being served with a formal Four Month Notice to End Tenancy. In this case, a Mutual Agreement to End Tenancy may be entered into between the tenant and landlord to end the tenancy early, as agreed upon between the parties therein. Eligible Tenants who wish to enter into a Mutual Agreement to End Tenancy with the Applicant landlord will be provided with **Three Months' Rent or equivalent, pursuant to Policy O-61, at the Tenant's discretion**, in addition to tenant relocation assistance, if desired, to assist them in finding another rental unit in which to relocate as described in this Revised TRP.

We confirm that some Eligible Tenants may wish to exercise their legal right to stay in their rental unit on the Property, until they are served with a formal Notice to End Tenancy by the Applicant which provides for not less than four months' notice of the deadline to vacate their rental unit on the Property. Such tenants will be provided with relocation assistance and **Three Months Rent or equivalent at the Tenant's discretion** at that time. This compensation could be provided as a lump sum payment, or free rent or a combination of both, at the discretion of the tenant. *(Per O-61)*

Four-Month Notice to End Tenancy

Once the requisite City permits are in place to either permit demolition **or at the time of Rezoning Enactment being approved for the General Development Permit Application**, the Applicant will ensure all remaining tenants receive at least four months' notice before they must vacate their current rental units on the Property. This notice period will allow them sufficient time to find alternate accommodation and move their belongings. *(Per O-61)*

Relocation Assistance

Tenant relocation requires cooperation between the Tenant Relocation Coordinator and Eligible Tenants.

Eligible Tenants have the choice to decide if they wish to have relocation assistance or not. Those who wish to receive such assistance will be provided with the following:

- Assistance in finding a minimum of 3 options of comparable rental units in the City of Surrey, with at least one option in the same neighbourhood where possible, unless otherwise agreed to by the tenant. *(Per O-61)*
- The Tenant Relocation Coordinator will endeavour to find 3 options at no more than 10% above the Canadian Mortgage and Housing Corporation (CMHC) average rent for the applicable rental unit size in the City of Surrey, unless agreed to by the tenant. *(Per O-61)*
- In cases where the tenant's current rent is more than 10% above the CMHC average rent, the Tenant Relocation Coordinator will make efforts to help find accommodation at the maximum of the tenant's current rent. *(Per O-61)*

- The Tenant Relocation Coordinator will consider the tenant’s needs and requirements including affordability, accessibility, household size, and need for pet friendly accommodations. *(Per O-61)*
- Where appropriate, the Tenant Relocation Coordinator will also work with non-profit housing providers and health, or social service agencies to meet the needs of tenants with additional requirements. *(Per O-61)*
- The Tenant Relocation Coordinator will request and obtain written authorization from tenants prior to collecting and/or sharing any confidential tenant information. *(Per O-61)*

Right of First Refusal (in PARKWAY Tower 2 Development)

All Eligible Tenants will receive a first right of refusal to rent a unit in the new rental building, proposed as the proposed PARKWAY Tower 2 Development rather than in the redevelopment, at no more than 10% below the CMHC average rent for the applicable unit size in the City of Surrey. These rents are significantly below the economic market rents needed to support new rental construction. *(Per O-61)*

Documentation of Relocation Assistance & Outcomes

The Tenant Relocation Coordinator will respect and maintain tenants’ privacy in the provision of tenant relocation assistance and in their documentation of such relocation assistance provided, and the related outcomes. The Applicant will provide the City of Surrey with reports on the outcomes of tenant relocation, a summary of any compensation paid to Eligible Tenants, proof that the first right of refusal offer has been sent to those qualifying Eligible Tenants, as well as a final post-occupancy report on the new rental building. *(Per O-61)*

4 / Relocation Plan

The Applicant expects tenant relocation to occur in a single phase now that tenant eligibility has been set out herein, under the definition of “Eligible Tenants” in section 3 above, with the 4-month notice period to begin at the time of Rezoning Enactment of the General Development Permit, as per Policy O-61.

5 / Tenant Relocation Coordinator – Contact Details

Sommerville Community Relations (“Sommerville”) is the appointed Tenant Relocation Coordinator.

Sommerville has been communicating with tenants and responding to all questions regarding the Applicant’s plans for implementation of the Revised TRP, as approved by the City.

In addition, tenants have been provided with a number of ways to connect with Sommerville’s representatives, including by phone, email, and mail *(Per O-61)*:

Name: Mr. James Todd, Director, Engagement

Email: bristolestates@sommerville-cr.com

Phone: 604-880-2885

Address: 740 – 1190 Melville Street, Vancouver BC, V6E 1W3

6 / Communications Plan (Initiated by Applicant)

The Applicant and its appointed Tenant Relocation Coordinator have engaged with existing tenants to provide them with a clear understanding of the Applicant’s plan for redevelopment of Bristol Estates (and construction of the PARKWAY Tower 2 development which is proposed to contain the Secured Rental Replacement Homes), and the planned relocation process.

Given the previous COVID-19 meeting restrictions, the former owner/applicant had distributed a Newsletter to tenants of Bristol Estates on November 30, 2020, to share news of the former application and to outline such former owner’s commitments to relocation, compensation and the replacement of rental housing under Policy 0-61. This was followed by a Tenant Open House in September, 2021.

Since that time, we have maintained a communication plan with the tenants of Bristol Estates, including as follows:

- We informed the tenants of the Applicant’s purchase of the Property;
- We held an All-Tenant public information meeting on April 27, 2023 to inform tenants of the upcoming steps and processes for proposed tenant relocations, as approved by the City;
- We provided a summary of tenant rights and obligations as outlined in the City of Surrey’s Policy O-61, this Revised Tenant Relocation Plan and the updated Phasing strategy. *(Per O-61)*

Stage of Development	Communication	Date	Status
Pre-Application	Newsletter with high level details on the pending rezoning application, City policies for Tenant Relocation, Developer Commitments, and Timelines.	30-Nov-20	Completed
Rezoning Process	Quarterly Newsletters	Quarterly	Completed
Rezoning Process	Tenant Open House	01-Sep-21	Completed
Rezoning Process	Project update letter re: Ownership & dedicated TRC for tenants	16-Dec-22	Completed
Rezoning Process and Phasing Update	All-Tenant Meeting + General project update for tenants	27-Apr-23	Completed
Rezoning Process and Phasing Update	General project update to tenants	17-May-23	Completed
Rezoning Process and Phasing Update	Update, outreach, one-on-one with tenants	01-Oct-23	Completed
Rezoning Process and Phasing Update	Project update to tenants, Eligibility & ROFR details (specific)	27-Mar-24	Completed
Rezoning Process and Phasing Update	Re: Development update & summary letter	10-Apr-24	Completed
Rezoning Process and Phasing Update	Project update with tenants, re: GDP signboards on site	18-Jul-24	Completed
Rezoning Process and Phasing Update	Project update with tenants, letter re; relocation and one-on-one work with TRC	06-Aug-24	Completed

Bristol Estates Revised Tenant Relocation Plan

Rezoning Process and Phasing Update	One-on-one outreach with each tenant household re: relocation assistance	30-Aug-24	Completed & ongoing
Construction	Quarterly Newsletters TBD (every 3-6 months)	TBD	TBD
Occupancy	Offers to Lease issued to Eligible Tenants with rights of first refusal (ROFR) who choose to exercise ROFR. After the deadline for ROFR acceptance, the remaining units will be offered to market renters.	TBD	TBD

7 / Reporting by Applicant and/or Tenant Relocation Coordinator

The Tenant Relocation Coordinator will submit to City Staff regular status updates showing evidence that the Tenant Relocation and Communications Plan are being implemented. Status updates will provide information updating the City Planner on all aspects of implementation of the Tenant Relocation and Communications Plan (*Per O-61*), including:

- The progress of the relocation assistance including: Options provided, Location, New monthly rent, Move-out date, and Details of additional assistance for vulnerable tenants.
- Total compensation provided for each tenant in both phases of relocation.
- Decisions by Eligible Tenants who wish to exercise a right-of-first-refusal to rent in the new rental building in the PARKWAY Tower 2 Development; if so, the unit type and starting rent.
- Samples of communications with the tenants.
- A summary of the Tenant Relocation Report will be provided to the City of Surrey, along with supporting documents and correspondence if applicable.

The goal of this Revised Tenant Relocation Plan is to ensure that tenants are informed about the process and the Applicant's commitment to them. With good planning and procedures in place, we can mitigate the impact of relocation, proceed with construction to replace the rental units and invite tenants back as soon as possible.

Yours truly,

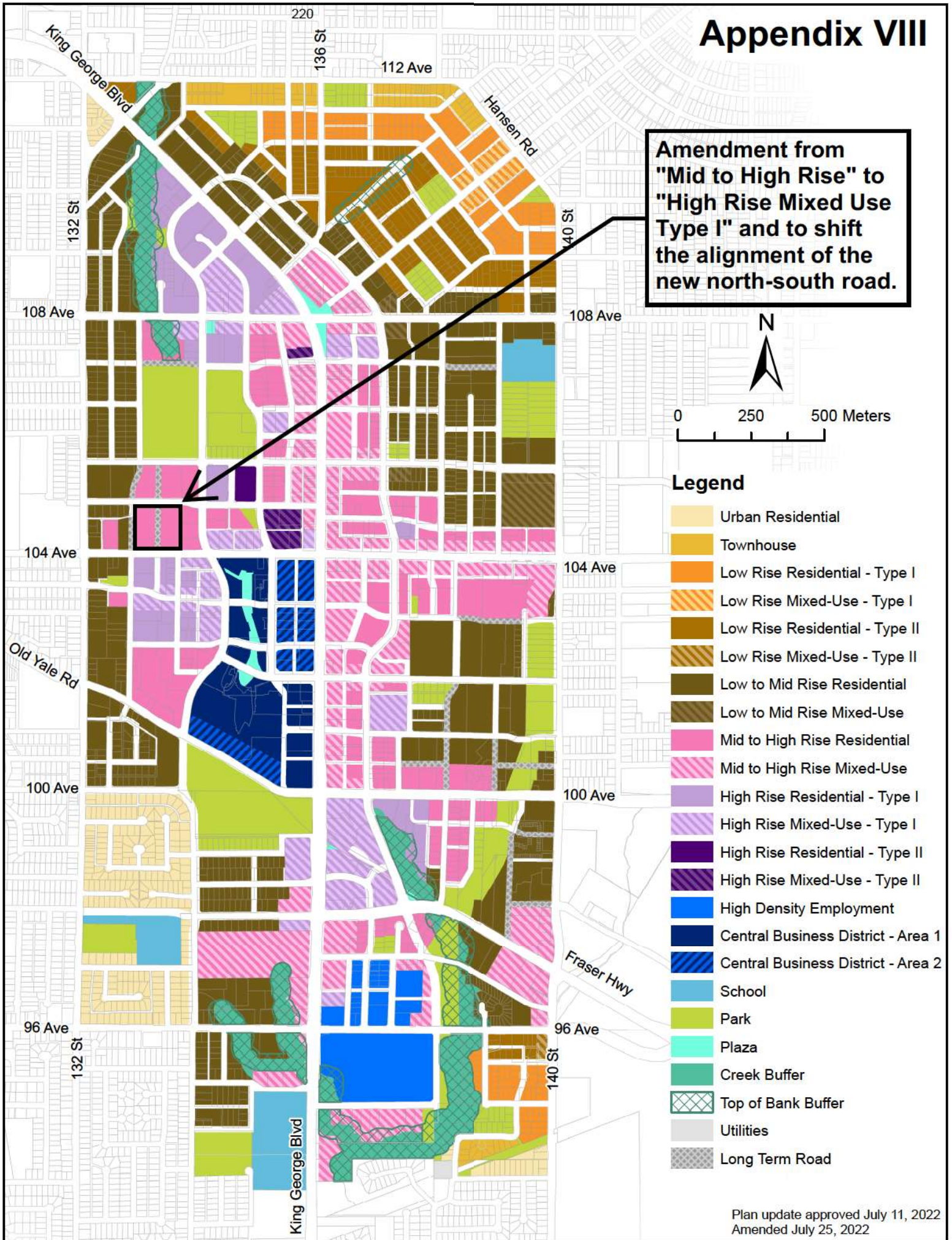
Dea Knight

Bosa Properties Ltd.
1101-838 West Hastings Street,
Vancouver BC, V6C 0A6

Email: dknight@bosaproperties.com

Phone: 604-299-1363

Appendix VIII





Advisory Design Panel Minutes

Location: Electronic Meeting
THURSDAY, APRIL 18, 2024
Time: 4:00 p.m.

Present:

Panel Members:
M. Cheung, Chair
E. Aghsaei
R. Amies
G. Brumpton
S. MacRae
B. Ransford
M. Mitchell
R. Salcido

Guests:

Asad Siddiqui, Bosa Properties Inc.
Drew Sinclair, SvN Architects
Gerardo Paez Alonso, SvN Architects,
Nastaran Moradinejad, PFS Studios

Staff Present:

A. McLean, City Architect
S. Maleknia, Urban Design Planner
A. Yahav, Clerk 3

A. RECEIPT OF MINUTES

It was

meeting of April 4, 2024 be received.

Moved by R. Salcido
Seconded by R. Amies
That the minutes of the Advisory Design Panel

Carried

E. Aghsaei joined the meeting at 4:02pm

B. NEW SUBMISSIONS

1. 4:05 p.m.

File No.: 7920-0304-00
New or Resubmit: New
Last Submission Date: N/A
Description:

Proposed Official Community Plan Amendment (OCP) from 3.5 FAR to 5.5 FAR, and City Centre Plan Amendment (CCP) from “Mid to High Rise Residential” to “Mid to High Rise Mixed Use”. Proposed Rezoning from RM-45 to CD (based on RMC-135 Zone). Proposed Subdivision from one (1) to five (5) lots. Proposed General Development Permit for the entire site and a Detailed Development Permit for Tower 1 (southwest corner). The proposal consists of 5 high-rise buildings with up to 2,692 apartment units, including 481 rental units, a child care centre, and approximately 1,069 square metres of ground floor commercial space.

Address: 13301 – 104 Avenue
Developer: Asad Siddiqui, Bosa Properties Inc.
Architect: Drew Sinclair, SvN Architects
Landscape Architect: Gerardo Paez Alonso, SvN Architects,

Planner: Nastaran Moradinejad, PFS Studios
Urban Design Planner: Keith Broersma
Sam Maleknia

The Urban Design Planner provided an overview of the area and policy context and outlined the key urban design considerations. He outlined the difference between the General Development Permit and Detailed Development Permit scopes and advised that staff generally support the project.

The Panel was asked to comment on the overall site planning, pedestrian and vehicular movement, architectural expression, overall landscape concept, and public realm interfaces.

The Project Architect presented an overview of the site planning, streetscapes, building concept, and 3D Views.

The Landscape Architect presented an overview of the general concept for the Landscape design.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by B. Ransford
Seconded by S. MacRae
That the Advisory Design Panel (ADP)
SUPPORT the General Development Permit (GDP) of the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department.

Carried

It was then Moved by S. MacRae
Seconded by B. Ransford
That the Advisory Design Panel (ADP)
SUPPORT the Detailed Development Permit (DPP) of the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department.

Carried

Key Points

GDP

- Consider increasing the retail and commercial space to activate the public realm.
Applicant Response: The Applicant has increased the site's commercial offering with the addition of retail to T3, per Staff's direction to enable commercial activity along 104th; compared to the originally approved GDP that had retail only in T1. Analysis at this time shows that another increase would not be economically feasible. While at this time we cannot commit to further retail at other areas of the Master Plan, we are open to allowing the flexibility for retail use at Ground Level on all towers. This will allow for increase in retail offering, as the market allows in this growing neighbourhood. The Applicant will continue to work with Staff to refine the street facing areas to maximize public activation through the DDP processes.

- Consider providing covered outdoor space for amenities.
Applicant Response: Applicant will work with Staff to provide covered outdoor areas in future Tower DDP process where possible, aligning with best amenity programming locations. Ground Level outdoor residential amenity space in T1 has been revised to include a covered canopy area to allow for better multi-seasonal use. Redesign is included in the T1 DDP Resubmission.
- Revisit the scale of the plaza to ensure activation. –
Applicant Response: Applicant will work with Staff in future T2 DDP submission to ensure scale and activation of the Master Plan central plaza is optimized for public and private uses, with amenity programming at the time of application. Scale, retail activation and access of T1 North Plaza has been revisited, and redesign is included in the T1 DDP Resubmission.
- Recommend better-relating the project population to amenity programming.
Applicant Response: Applicant is re-aligning the amenity program for a more multi-generational community oriented offering. We anticipate a good majority of the projected residents of the building will be an equal blend of students, young professionals, young families and downsizers/ older family members moving to be closer to growing families in the neighbourhood. As such the intent of the project is to provide a variety of spaces of interaction across these multi-generational residents – and design the project at large in a meaningful way for residents seeking community.

As such we have revisited our amenity programming, with a larger focus on community kitchen, social lounge spaces in Tower 1; and activity, fitness and wellbeing in the subsequent towers (with social and co-working spaces always in mind for all towers). Amenity spaces for T1, per above, have been redesigned and included in the T1 DDP Resubmission.

- Reconsider the setback of tower four (center tower) to the road.
Applicant Response: After careful consideration and additional discussions with Staff, shifting of the central T4 tower isn't feasible due to tower separation constraints. The locations of T1 and T5 are dictated by the surrounding existing and potential new towers. The S-E facades of T3 and the N-E facades of T1 are currently meeting the 50 meters (face-to-face condition) and/or 30 meters (end-to-end condition), and therefore cannot be moved. The location of T4 is a direct consequence of the aforementioned towers. Moving T4 further east would reduce the corner-to-corner distance between T4 and T1, as well as between T4 and T5.

In addition the design of the Master Plan is strongly focused around the current T4 signature tower location, being visually framed by the 'gateway' towers at entries to the site, from both the north (105th) and south (104th).

There is however a potential setback at the Ground Level of T4 that can be explored in the T4 DDP stage, to ensure the appropriate street front interface and setback experience at grade.

- Consider an earlier delivery of the childcare facility.
Applicant Response: The placement of the childcare facility was carefully considered and Tower 5 (Lot E) select to optimize public access, daycare prominence and safety, ease of drop off and pick-up, and optimized sunlight access for the at-grade outdoor play areas. Each of the other towers reduced the viability of the daycare, and posed problems with meeting these above mentioned priorities.

The Applicant team however has taken the concerns of the ADP panel and Staff to heart, with regards to providing access to childcare alternatives for the growing community, sooner in the Master Plan phasing. The Applicant is proposing to further explore including a minimum of 2 and up to 3 units in the T3 rental building allocated as Eligible Units for 'Licensed Family Child Care' or 'Licensed In-home Multi-age Care'. We are committed to working with the City to explore how we can prioritize these units for tenants who are 'Licensed Family Child Care' (up to 7 children) or 'Licensed In-home Multi-age Care' (up to 8 children) providers, planning to offer Child Care services as a home-based business. We feel that this opportunity would greatly benefit the family residents and surrounding neighbourhood, providing care for up to 24 children; while maintaining the intended and much needed rental unit count currently in the project. This proposal would not change any previous discussions about the daycare in T5; but would act as a potential supplement in the interim, providing an alternate type of care that could further fill the gap and need for 'Non-Standard Hour' child care, as well as a range of care for those seeking a smaller and more intimate scaled care environment. We will further explore the operating requirements and design specifics during the DDP phase of T3, to meet all requirements as outlined in the Child Care Licensing Regulation, for either the 'Licensed Family Child Care' or the 'Licensed In-home Multi-age Care'.
- Recommend including more family-oriented amenities.
Applicant Response: The team has reallocated the amenity programing in T1 to include for more family friendly amenities, such as a community kitchen on the Ground Level and a kids room on the podium level adjacent to the outdoor play space. Redesign is included in the T1 DDP Resubmission. Further consideration will be made for families in each tower through the individual DDP stages.
- Ensure that adequate soil volumes are provided for all trees and landscape materials.
Applicant response: Preliminary grading coordination between architecture and landscape was conducted throughout the GDP design process to ensure soil availability. Detailed coordination of soil depth and areas will be conducted through the DDP process and soil depth plans will be provided in future DDP submissions. A reference soil depth plan has been included for T1 DDP Submission on L500-L502.
- Consider providing E-bike parking on-site.
Applicant response: Applicant is committed to providing E-bike parking where possible, and will explore inclusion and specific locations as part of individual tower DDPs. Location of proposed E-bike parking for T1 included in the T1 DDP Resubmission.

- Consider developing a comprehensive on-site stormwater management plan.
Applicant Response: Onsite stormwater management has been considered through the offsite design process. Landscape team has coordinated with civil to provide total area and depth of absorbent landscape (at grade and on rooftops) and proposed LID features which has informed stormwater mitigation and detention calculations. This stormwater management strategy is depicted at a high level on sheet 4.5.7 in the GDP submission.
- Further consider accessibility measures for the site landscape design and parkade design.
Applicant Response: Please refer to sheet 4.2.6 for an accessible paths of travel diagram in the GDP Submission. Accessibility requirements have been considered throughout the design process and in detail through the development of circulation and grading strategies. Additional opportunities to improve accessibility will be considered through the individual DDP phases. For example, further development to create a more inclusive and accessible north retail plaza at T1 has now been incorporated into the design post ADP panel, and is included in the T1 DDP Resubmission (further referenced in detailed DDP points below).

DDP

- Recommend providing energy modelling with future climate data.
Applicant Response: The Project is targeting Step Code 3, with associated sustainability and energy efficiency requirements being factored into the design. While future climate data energy modeling is not possible at this time, future climate data considerations can be considered for following phases of the Master Plan.
- Recommend having more greenery at the podium rooftops to provide a visual connection to the ground plane.
Applicant Response: Landscape/species have been further developed to improve greenery at podium rooftop. At amenity rooftops, planters are placed closer to the perimeter to allow for planting to be visible from ground level. At level 2, a 150mm extensive green roof is envisioned to allow for the inclusion of grasses and other flowering perennials that would be visible from ground level. Updated Planting list has been included in the T1 DDP Resubmission.
- Review accessibility for terracing landscape design
Applicant Response: Further development to create a more inclusive and accessible north retail plaza at T1 has now been incorporated into the design post ADP panel, and included in the T1 DDP Resubmission. An accessible walkway connecting the retail terrace to the sidewalk at the new street has been incorporated into the terraced landscape design of the northeast plaza, per below:



- Review the strategy for weather protection design. –
Applicant Response: Weather protection has been further considered and included in the T1 DDP Resubmission; with new awnings located where possible above ground level public areas at the north, east and south facades of the building, and a relocated canopy design at the residential outdoor amenity to provide more multi-seasonal outdoor seating.
- Reconsider the façade of the ground-oriented townhome units and their entry designs.
Applicant Response: The Applicant design team believes the townhouse design offers unique visual interest, while unifying the various at-grade uses through a similar language of frames and materiality. The Applicant will continue to work with Staff to provide further details showing smaller-scale residential detailing and entry design through the DDP process.

Site

GDP

- Consider reducing the width of the four-lane street to a one-way or two-lane street to enhance the quality of pedestrian flow, improve safety, and reduce noise.
Applicant Response: Offsite work design is following City of Surrey requirements outlined in Policy and is in line with all comments received from Staff based on review of Applicant's offsite works submissions.
- Reorient tower three (SE tower) to reduce shadowing in the interior site outdoor amenity space.
Applicant Response: Applicant will work with Staff on achieving balance between minimizing shadow cast on the outdoor amenity space, and maximizing building environment performance (while considering site constraints - e.g., the South and

East facades cannot be moved due to the minimum separation distance from the adjacent towers), through the T₃ DDP process.

- Consider widening the central court to allow for more useable outdoor space.
Applicant Response: Applicant will work with Staff during the T₂ DDP process to optimize spaces (shape/ size/ access) within the central court to allow for public activation and maximize usability, as programming is further developed at this point in time.

DDP

- Consider revisiting the design of tower four:
Applicant Response: Applicant will work with Staff to further design development of this tower at the T₄ DDP stage.

- Recess the tower from the west property line,

Applicant Response: After careful consideration and additional discussions with Staff, shifting of the central T₄ tower isn't feasible due to tower separation constraints. The locations of T₁ and T₅ are dictated by the surrounding existing and potential new towers. The S-E facades of T₃ and the N-E facades of T₁ are currently meeting the 50 meters (face-to-face condition) and/or 30 meters (end-to-end condition), and therefore cannot be moved. The location of T₄ is a direct consequence of the aforementioned towers. Moving T₄ further east would reduce the corner-to-corner distance between T₄ and T₁, as well as between T₄ and T₅.

In addition the design of the Master Plan is strongly focused around the current T₄ signature tower location, being visually framed by the 'gateway' towers at entries to the site, from both the north (105th) and south (104th).

There is a however a potential setback at the Ground Level of T₄ that can be explored in the T₄ DDP stage, to ensure the appropriate street front interface and setback experience at grade.

- Revisit the pedestrian level for useability and functionality, and –

Applicant Response: Applicant will work with Staff to further optimize the public realm design of this tower at the T₄ DDP stage, and ensure consideration for pedestrian useability and functionality, balanced with vehicular entry design and ground level townhouse residential street frontages.

- Revisit the podium façade.

Applicant Response: The podium and tower facades of Tower 4 will be further developed before submitting the T₄ DDP application. Applicant will work with Staff to further design development of this tower at the T₄ DDP stage.

Form and Character

GDP

- Consider expanding retail and commercial spaces to activate the edges of the buildings.
Applicant Response: The Applicant has increased the site's commercial offering

with the addition of retail to T3, per Staff's direction to enable commercial activity along 104th; compared to the originally approved GDP that had retail only in T1. Analysis at this time shows that another increase would not be economically feasible. While at this time we cannot commit to further retail at other areas of the Master Plan, we are open to allowing the flexibility for retail use at Ground Level on all towers. This will allow for increase in retail offering, as the market allows in this growing neighbourhood. The Applicant will continue to work with Staff to refine the street facing areas to maximize public activation through the DDP processes.

- Consider further design development to activate the north side of the tower one (SW tower).

Applicant Response: An elevated amenity terrace overlooking the mid-block connection is envisioned at the north side of Tower 1 creating an activated edge and fusion point between streetscape, public plaza with bleacher seating, retail patio, and private outdoor amenity for residents. Further development has been considered to create a more inclusive and accessible north retail plaza at T1, with an accessible walkway connecting the retail terrace to the sidewalk at the new street, incorporated into the terraced landscape design of the northeast plaza, per below:



- Reconsider the childcare delivery timeline and consider this programming in earlier phases of the project.

Applicant Response: The placement of the childcare facility was carefully considered and Tower 5 (Lot E) select to optimize public access, daycare prominence and safety, ease of drop off and pick-up, and optimized sunlight access for the at-grade outdoor play areas. Each of the other towers reduced the viability of the daycare, and posed problems with meeting these above mentioned priorities.

The Applicant team however has taken the concerns of the ADP panel and Staff to heart, with regards to providing access to childcare alternatives for the

growing community, sooner in the Master Plan phasing. The Applicant is proposing to further explore including a minimum of 2 and up to 3 units in the T3 rental building allocated as Eligible Units for 'Licensed Family Child Care' or 'Licensed In-home Multi-age Care'. We are committed to working with the City to explore how we can prioritize these units for tenants who are 'Licensed Family Child Care' (up to 7 children) or 'Licensed In-home Multi-age Care' (up to 8 children) providers, planning to offer Child Care services as a home-based business. We feel that this opportunity would greatly benefit the family residents and surrounding neighbourhood, providing care for up to 24 children; while maintaining the intended and much needed rental unit count currently in the project. This proposal would not change any previous discussions about the daycare in T5; but would act as a potential supplement in the interim, providing an alternate type of care that could further fill the gap and need for 'Non-Standard Hour' child care, as well as a range of care for those seeking a smaller and more intimate scaled care environment.

We will further explore the operating requirements and design specifics during the DDP phase of T3, to meet all requirements as outlined in the Child Care Licensing Regulation, for either the 'Licensed Family Child Care' or the 'Licensed In-home Multi-age Care'.

- Relocate childcare area from tower five (NE tower) to be exposed to more daylight.
Applicant Response: The present daycare site offers optimal natural lighting conditions as compared to other applicable tower locations, making it challenging to find an alternative location that can adequately fulfill all the facility's requirements, per comment above. Applicant is committed to optimizing the shape and size of the outdoor space with Staff during the T5 DDP process.
- Consider designing a motor court between towers three and four to celebrate arrival and to create a public, multifunctional space.
Applicant Response: Applicant will work with Staff during the T3 and T4 DDP process to explore the multifunction vehicular access and drop off area, while still prioritizing pedestrians in this area.
- Consider including carwash and dog wash amenities at all phases of the project.
Applicant Response: Applicant will include carwash locations and dog wash amenities in subsequent DDP submissions. Location for T1 have been marked in the T1 DDP Resubmission.

DDP

- Consider optimizing the two-bedroom unit layout by extending the corridors.
Applicant Response: Unit layouts have been updated with added functionality and use and included in the T1 DDP resubmission.

Landscape

GDP

- Ensure effective tree and shrub diversity for four-season interest and optimum wildlife habitat. -
Applicant Response: The project proposes an approach to planting that considers both four season interest as well as micro-climactically responsive groupings of trees and shrubs. Please refer to the diagram on sheet 4.5.2 of the GDP submission document for the principles which are intended to guide the detailed planting design that will be demonstrated through the DDP process.
- Recommend selecting plant materials that are drought tolerant for future environmental resiliency.
Applicant Response: Applicant will work with Staff to ensure consideration of the detailed planting list and plan which will be provided through each of the DDP processes. Environmental resiliency and drought tolerance will be key considerations for plant selection, as will microclimatic suitability.
- Recommend confirming the stormwater feature coordinated with environmental design plans to ensure that no erosion will occur for sloped or raised landscape beds during significant rain events.
Applicant Response: Noted. Stormwater management strategies and erosion control measures will be designed with future DDP submissions. A variety of rainwater management tools and strategies will be employed as appropriate taking in consideration specific site conditions and opportunities.
- Consider reducing the amount of hardscape, especially at tower three and tower four, and introduce more green, permeable landscape in its place.
Applicant Response: By strategically consolidating the parking entrance for Towers 3 and 4 into one servicing courtyard, we have been able to create a lush green, unconstrained, pedestrian oriented public realm at the front of Tower 4 and between Tower 4 and 5. Through Tower 3 detailed design and DPP process the team will continue to work with Staff on creating greener edges along the servicing courtyard that will help to prioritize the pedestrian experience.
- Consider augmenting the useable play space in the central court.
Applicant Response: Currently the design of the Central Court allows for unprogrammed and flexible minor recreation activities to occur while also providing the opportunity for the development of a public art garden. Applicant will however work with Staff through the Tower 2 DDP process, to ensure the Central Court landscape design is optimized for multi-generational public use and in line with the programming intent at this time.

DDP

- Reconsider the transition from the indoor gym to the outdoor program to activate the space.
Applicant Response: The amenity on the Ground Level has been converted into a community kitchen, indoor dining and social areas – in lieu of the larger gym. To connect the indoor and outdoor private amenity better, outdoor dining and social spaces have now been provided at the exterior outdoor area at the same level, with a covered canopy area.

- Consider developing a rainwater capturing plan on the rooftop.
Applicant Response: In addition to the intensive green roof on Level 9 amenity deck, Levels 2 and 9 incorporate generous areas of extensive green roof which are significant contributors to rainwater management and run-off reduction. This has been further noted and highlighted in the T1 DDP Resubmission.
- Reconsider the public programming at the ground floor associated with retail spaces to provide a better transition and to activate the space.
Applicant Response: A new redesign has been proposed for the exterior Ground Level north plaza, with a clearer delineation between private amenity spaces and public plaza. This delineation has been created with the use of planting, while maintaining a generous and dynamic public space adjacent to the retail units in form of a terraced landscape, with space on the top tier directly adjacent to the CRU unit for seating tables or similar.
- Consider using landscape elements to increase privacy in the gym amenity. –
Applicant Response: The outdoor amenity spaces have been redesigned screened with generous planters and planting of varying scales as appropriate for the each location and aspect.



- Recommend adding weather protection structures within the ground level amenity areas for multi-season use.
Applicant Response: Awnings have been added located above ground level public areas where possible on the north, east and south facades of the building. This has been noted and added to the Level 1 Mezzanine Floor Plan, in the DDP Resubmission.
- Consider repositioning the ramp north of tower one such that it directs pedestrians toward the amenity area.
Applicant Response: The ramp has been reconfigured to provide direct access from the New Road to the amenity area, secondary building access and north retail area. This has been included in the Architectural Site Plan and Landscape plans, in the T1 DDP Resubmission.

- Recommend providing a green rooftop strategy.
Applicant Response: Project rooftops at L2 and L9 amenity level are either programed for residents (intensive green roofs) or are envisioned as extensive green roofs providing co-benefits such as rainwater capture, biodiversity, heat island mitigation and visual interest.
- Consider coordinating the mechanical design of the parkade with the landscape design.
Applicant Response: The Parkade intake and exhaust ventilation louvres have been integrated into the landscape; refer to the Architectural Siteplan and Landscape plans.
- Consider increasing planting at this site to reduce and soften noise reflection.
Applicant Response: With the incorporation of the redesigned sloped and accessible walkway from the retail terrace, a significant green area has also been included; which will aid in noise abatement and a softer user experience.
- Consider ways to incorporate urban agriculture to the terrace levels. Which
Applicant Response: Urban agriculture is incorporated in the program for L9 outdoor amenity area including planting beds and a work / potting bench.
- Consider ways to encourage bees to visit the site, such as through intentional plant and flower selection.
Applicant Response: A selection of native and adaptive flowering and fruit bearing species that attract both pollinators and birds are incorporated in the plant palette.

CPTED

- No specific issues were identified.

Sustainability

GDP

- Consider rainwater harvesting and re-use to offset reliance on municipal water for irrigation and other building uses.
Applicant Response: Rainwater management is being incorporated per City requirements as part of offsite design and included in the GDP Submission.
- Consider including solar-ready or grey-water-ready for future proofing services through sleeving and rough-in.
Applicant Response: The building is being designed with a Step Code 3 target in accordance with City Policy and associated sustainability and energy efficiency aspects incorporated. The design team is working to include solar ready into the individual buildings, allowing for the space allocation and rough-ins in the individual DDP applications.
- Recommend continuing conversations with the City to reduce parking requirements to reduce below-grade levels in order to reduce embodied carbon.
Applicant Response: The applicant will continue to discuss parking counts with Staff through the DDP processes, to best balance market requirements for

parking stalls and reduced embodied carbon below grade.

- Consider setting goals for certifications such as “salmon safe”.
Applicant Response: The Applicant is looking into the Salmon Safe certification program, to align water management practices across the GDP.
- Consider providing both interior and exterior parking for electric bicycles.
Applicant Response: The Applicant will explore provision of electric bike charging through each individual DDP process. E-bike stalls have been provided and identified in the T1 DDP Resubmission.
- Consider measures to encourage e-bike use such as high-level circulation plans, adequate seating, weather-protected areas, and e-bike charging stations.
Applicant Response: This will be explored through the DDP process. Weather protected areas are being incorporated and charging provisions are being explored.

DDP

- Consider energy modelling to future climate data (2050-2080) to anticipate shock events (hot and cold). –
Applicant Response: The first two towers of the Master Plan are targeting Step Code 3, with associated sustainability and energy efficiency requirements being factored into the design. While future climate data energy modeling is not possible at this time for these towers, future climate data considerations can be considered for following phases of the Master Plan.
- Consider including slag or fly ash into the structural concrete to reduce carbon due to cement content. –
Applicant Response: The applicant is looking into alternative concrete options for later towers in the Master Plan, as more market options become available. We are committed to exploring and implementing more sustainable practices across our portfolio.
- Consider providing solar panels at the rooftops.
Applicant Response: The design team is working to include solar ready into the individual buildings, allowing for the space allocation and rough-ins in the individual DDP applications. An area for potential future solar panels has been identified at the T1 roof, and rough-in conduit for installation noted in the T1 DDP Resubmission.

Accessibility

DDP

- Recommend providing more information on the function of ramping and barrier-free access at the site.

Applicant Response: Accessible access has been provided to all areas of the Ground Floor and general accessibility at the north plaza has been improved, so that a more direct path is provided from the New Road to the plaza and so that the stair/ ramp accesses work together, as opposed to being separated at different entrance points on the site. Equity of access has been a guiding principle in the landscape redesign for T1, and is included in the T1 DDP Resubmission.

E. Aghsaei left the meeting at 6:42

B. Ransford left the meeting 6:42

C. OTHER BUSINESS

1. Roundtable

A roundtable of discussion was held.

D. NEXT MEETING

The next Advisory Design Panel is scheduled for Thursday, May 2, 2024.

E. ADJOURNMENT

The Advisory Design Panel meeting adjourned at 6:56 p.m.

Jennifer Ficocelli, City Clerk

M. Cheung, Chairperson

Appendix X

CITY OF SURREY

HOUSING AGREEMENT (Residential Only)

THIS HOUSING AGREEMENT made the _____ day of _____, 2024.

BETWEEN:

CITY OF SURREY, a municipal corporation having its offices at 13450 – 104 Avenue, Surrey, B.C. V3T 1V8

(the “**City**”)

OF THE FIRST PART

AND:

BRISTOL ESTATES 13301 HOLDINGS LTD., a corporation having its offices at 1101-838 West Hastings Street, Vancouver, BC, V6C 0A6

(the “**Owner**”)

OF THE SECOND PART

WHEREAS:

- A. The Owner is the legal and beneficial owner of those certain lands and premises located in the City of Surrey, in the Province of British Columbia, legally described as:

Parcel Identifier: NPA
Lot 3 Section 22 Block 5 North Range 2 West New Westminster District
Plan EPP_____

(the “**Lands**”);

- B. The Owner intends to construct on the Lands for a development which includes a 43-storey residential building (“**Tower 3**”) containing approximately 491 Dwelling Units (the “**Development**”);
- C. The Owner has voluntarily agreed to enter into a housing agreement pursuant to Section 483 of the *Local Government Act*, R.S.B.C. 2015, Chapter 1, as amended, to ensure that the Rental Units are rented in accordance with this Agreement.

NOW THEREFORE in consideration of the premises herein and of the mutual covenants and agreements hereinafter set forth and contained herein and \$1.00 now paid by the City to the Owner (the receipt of which is hereby acknowledged), the parties hereto covenant and agree each with the other as follows:

1. DEFINED TERMS

1.1 In and for the purpose of this Agreement, in addition to the definitions on the first page of this document, the following terms shall have the following meanings:

- (a) **“Agreement”** means this housing agreement and any amendments to or modifications of the same;
- (b) **“City”** means the City of Surrey and any person authorized by the City of Surrey, including assigns of whole or partial interest in this Agreement or of any of the rights conferred upon the City of Surrey by this Agreement;
- (c) **“City Personnel”** means all of the City’s elected and appointed officials, officers, employees, agents, nominees, delegates, permittees, contractors, subcontractors, invitees and the Approving Officer;
- (d) **“Claims and Expenses”** means all actions, causes of actions, suits, judgments, proceedings, demands, and claims, whether at law or in equity, losses, damages, expenses and costs (including legal fees and disbursements on an indemnity basis) of any kind or nature whatsoever, at law or in equity, for any damages, losses, injuries or death;
- (e) **“Development”** means as defined in Recital B;
- (f) **“Dwelling Unit”** means each of the 491 dwelling units to be constructed within the Development;
- (g) **“Lands”** means the parcel of land situated in the City of Surrey, British Columbia and legally described in Recital A, and includes any parcel into which such land is consolidated or further subdivided (including a subdivision pursuant to the *Land Title Act*);
- (h) **“Owner”** means the person named on the first page of this Agreement and the legal and beneficial owner at any given time and any successors in title of the Lands;
- (i) **“Rental Units”** means 491 Dwelling Units which must be made available by the Owner to the general public at arms’ length for use as residential rental accommodation on a month-to-month or longer basis in accordance with all applicable laws including, without limitation, the *Residential Tenancy Act*, S.B.C. 2002, Chapter 78, as amended, and any regulations pursuant thereto; and
- (j) **“Term”** means 60 years, commencing on the first day of the month after the City issues an occupancy permit for the Development.

2. RESTRICTION ON OCCUPANCY OF DWELLING UNITS

- 2.1 During the Term the Rental Units must be made available for rent in accordance with this Agreement.
- 2.2 The City may, from time to time, during the Term request the Owner to provide written proof of compliance with section 2.1 and the Owner agrees to provide, or cause an operator of the Lands to provide, the City with such proof in a form reasonably satisfactory to the City.
- 2.3 During the Term, the portion of the Lands containing the Development shall not be stratified.
- 2.4 All of the Rental Units must be owned by the same Owner(s).
- 2.5 Throughout the Term, the Owner shall not sell or transfer the beneficial or registered title or any interest in and to the Rental Units, unless the Owner obtains from the transferee an agreement in writing from the transferee to assume and perform all of the obligations of the Owner arising under this Agreement.

3. LIABILITY

- 3.1 **Indemnity.** The Owner shall indemnify and save harmless the City and City Personnel from all Claims and Expenses which the City and City Personnel may suffer, or incur, or be put to, arising out of or in connection with any breach or default of any covenants or agreements on the part of the Owner contained in this Agreement, or arising out of, or in connection with the Development or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.2 **Release.** The Owner does hereby remise, release and forever discharge the City and City Personnel from all Claims and Expenses which the Owner may have against the City and City Personnel, which the Owner now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.3 **Obligations Continue.** The Owner covenants and agrees that the indemnity and release in Sections 3.1 and 3.2 will remain effective and survive the expiration or termination of this Agreement whether by fulfilment of the covenants contained in this Agreement or otherwise.

4. NOTICE

- 4.1 Any notices or other documents to be given or delivered pursuant to this Agreement will be addressed to the proper party as follows:

(a) As to the City:

City of Surrey
13450 – 104 Avenue
Surrey, BC V3T 1V8

Attention: General Manager, Planning and Development Department

(b) As to the Owner:

Bristol Estates 13301 Holdings Ltd.
1101-838 West Hastings Street
Vancouver, BC V6C 0A6

Attention: Director, Development

or such other address as such party may direct. Any notice or other documents to be given or delivered pursuant to this Agreement will be sufficiently given or delivered if delivered to the particular party as its address set out or determined in accordance with this section and shall be deemed complete two (2) days after the day of delivery.

4.2 It is specifically agreed that for any notice or document to be validly given or delivered pursuant to this Agreement, such notice or document must be delivered and not mailed.

5. **GENERAL**

5.1 **Joint and Several.** Where the Owner consists of more than one person, each such person will be jointly and severally liable to perform the Owner's obligations under this Agreement.

5.2 **Assignment by City.** This Agreement or any of the rights conferred by this Agreement upon the City may be assigned in whole or in part by the City without the consent of the Owner.

5.3 **City's Other Rights Unaffected.** Nothing contained or implied herein will derogate from the obligations of the Owner under any other agreement with the City or, if the City so elects, prejudice or affect the City's rights, powers, duties or obligations in the exercise of its functions pursuant to the *Local Government Act* and the *Community Charter*, as amended from time to time and the rights, powers, duties and obligations of the City under all public and private statutes, by-laws, orders and regulations, which may be, if the City so elects, as fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner and the City.

- 5.4 **Agreement for Benefit of City.** The Owner and the City hereby acknowledge, agree and declare that this Agreement is entered into for the sole purpose of benefitting the City and, in particular, acknowledge, agree and declare that this Agreement is not designed to protect or promote the interests of the Owner or any mortgagee of the Owner, or any future owner or occupier of the Lands and any improvements on the Lands or any other person and the City may, at its sole option, execute a release of this Agreement at any time without liability to any person for so doing.
- 5.5 **No Waiver.** The Owner acknowledges and agrees that no failure on the part of the City to exercise and no delay in exercising any right under this Agreement will operate as a waiver thereof, nor will any single or partial exercise by the City of any right under this Agreement preclude any other or future exercise thereof of the exercise of any other right.
- 5.6 **City Not Required to Prosecute.** The Owner agrees that the City is not required or is under no obligation in law or equity to prosecute or enforce this Agreement in any way whatsoever.
- 5.7 **Remedies.** The remedies provided for in this Agreement will be cumulative and not exclusive of any other remedies provided by law or in equity. In addition to any remedies which are available under this Agreement or at law, the City will be entitled to all equitable remedies, including, without limitation, specific performance, injunction and declaratory relief, or any combination thereof, to enforce its rights under this Agreement. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy for a default by the Owner under this Agreement.
- 5.8 **Severability.** All the obligations and covenants in this Agreement are severable, so that if any one or more of the obligations or covenants are declared by a court of competent jurisdiction to be void and unenforceable, the balance of the obligations and covenants will remain and be binding.
- 5.9 **City Court Costs.** In an action to enforce this Agreement in respect of which the court determines that the position of the City will prevail, the City will be entitled to court costs on a solicitor-client basis.
- 5.10 **Personal Representatives and Successors.** This Agreement shall enure to the benefit of and be binding upon the parties hereto and their personal representatives, respective heirs, executors, administrators, successors, and assigns.
- 5.11 **Governing Law.** This Agreement will be governed by and construed in accordance with the laws of the Province of British Columbia and the laws of Canada applicable in British Columbia.

- 5.12 **Priority.** The Owner shall at the sole expense of the Owner, do or cause to be done all acts reasonably necessary to grant priority to this Agreement over all charges and encumbrances which may have been registered against the title to the Lands at the Land Title Office save and except those specifically approved in writing by the City.
- 5.13 **Further Assurances.** The Owner shall do, or cause to be done, all things and execute or cause to be executed all documents and give such further and other assurances which may be reasonably necessary to give proper effect to the intent of this Agreement.
- 5.14 **Counterparts.** This Agreement may be executed in any number of counterparts and delivered via facsimile or e-mail, each of which will be deemed to be an original and all of which taken together will be deemed to constitute one and the same instrument, provided that any party delivering this Agreement via facsimile or e-mail will deliver to the other party any originally executed copy of this Agreement forthwith upon request by the other party.
- 5.15 **Entire Agreement.** This Agreement represents the entire agreement between the City and the Owner regarding the matters set out in this Agreement and supersedes all prior agreements, letters of intent or understandings about these matters.

[Remainder of page left intentionally blank. Signature page to follow.]

IN WITNESS WHEREOF the City of Surrey and the Owner have executed this Agreement under seal of their duly authorized officers as of the references of this Agreement.

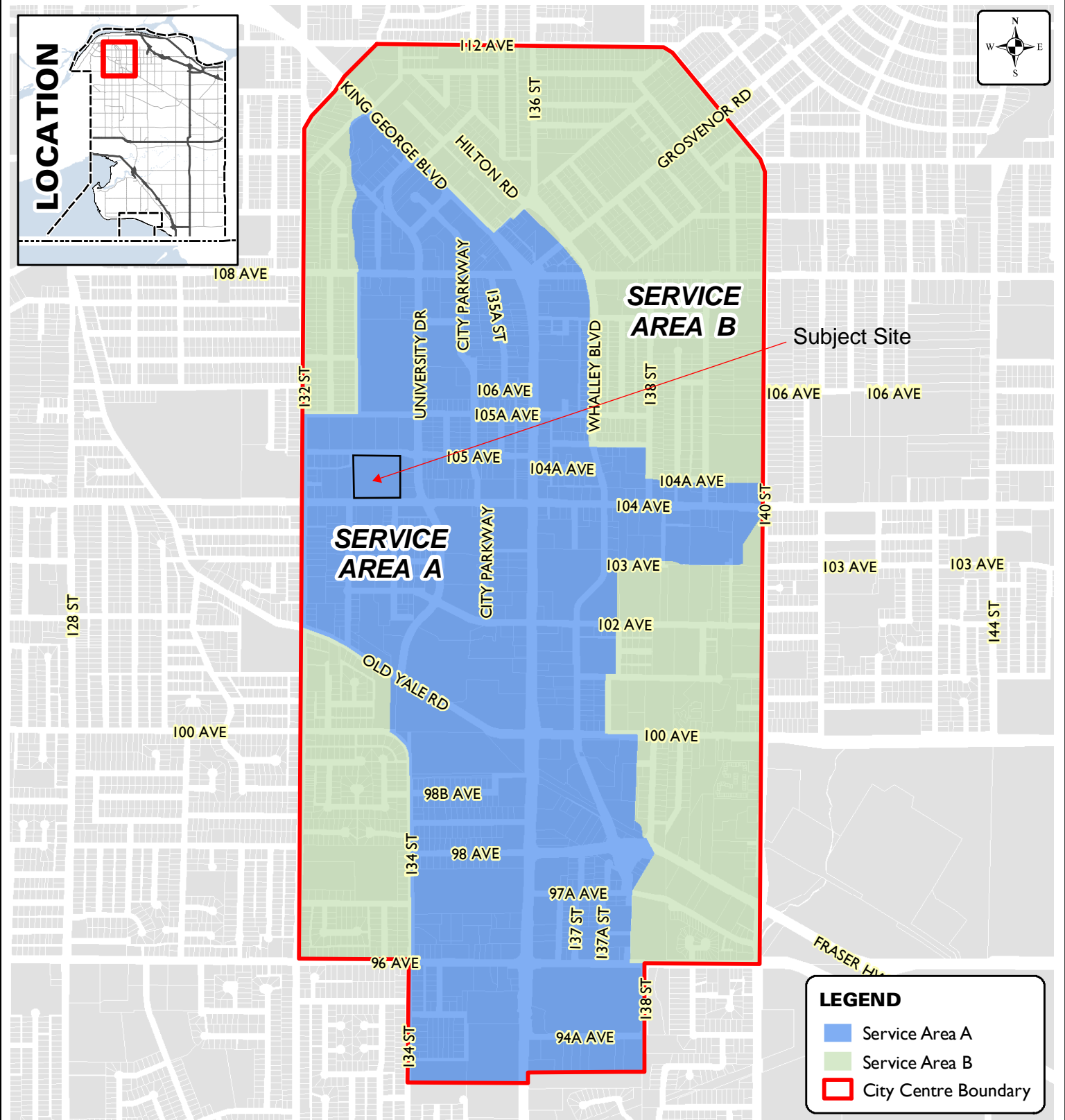
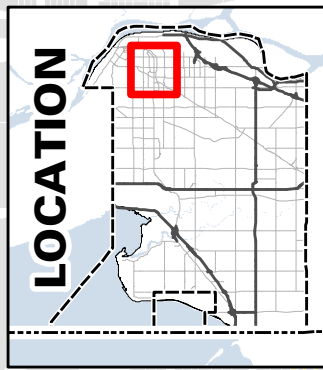
CITY OF SURREY

By: _____
Authorized Signatory
Brenda Locke,
Mayor
City of Surrey

By: _____
Authorized Signatory
Jennifer Ficocelli,
City Clerk and Director Legislative Services
City of Surrey

BRISTOL ESTATES 13301 HOLDINGS LTD.

By:  _____
Authorized Signatory
Name: Colin Bosa
Title: Director



LEGEND

- Service Area A
- Service Area B
- City Centre Boundary

Produced by GIS Section: May 31, 2012, CS/AW8

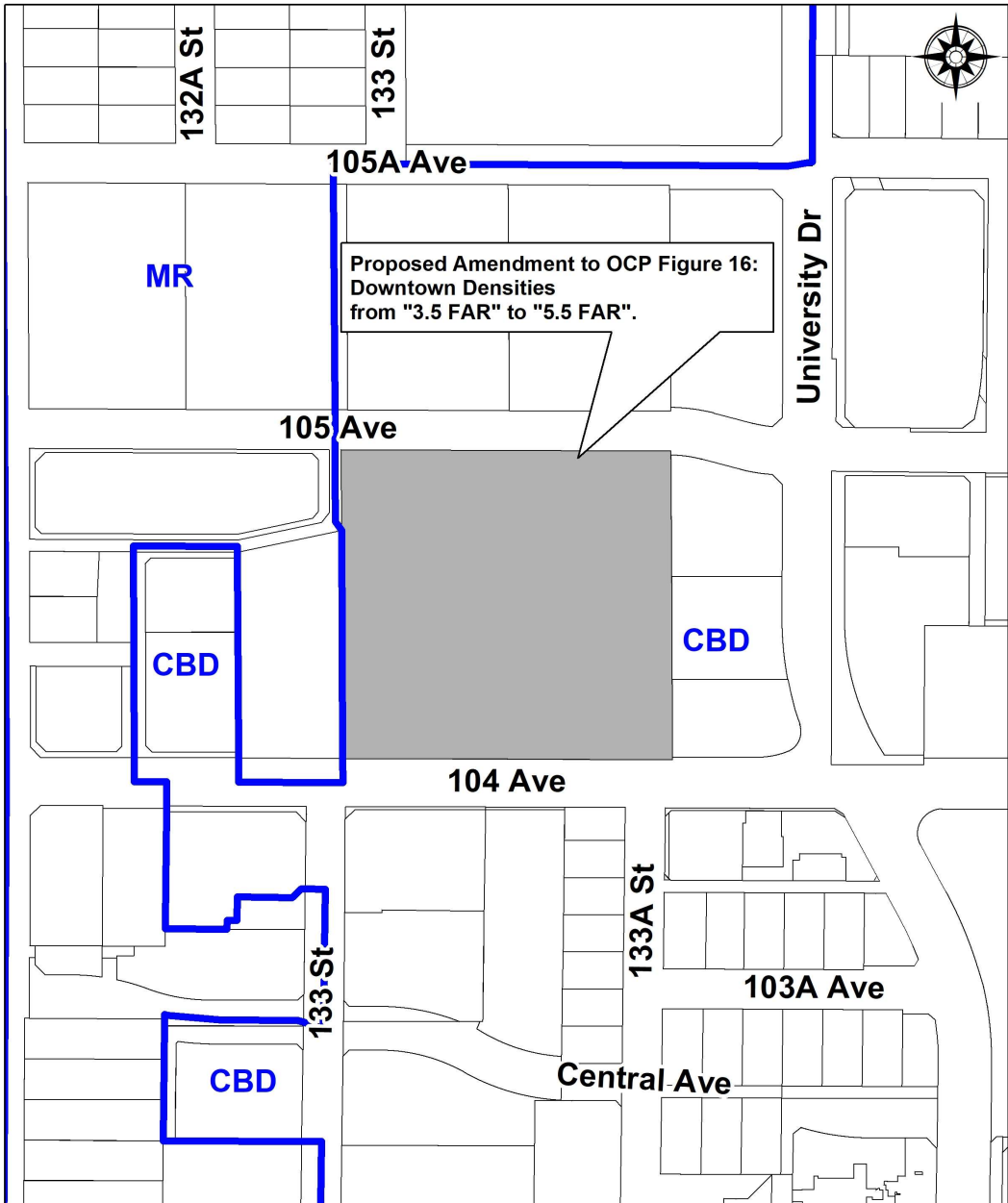


DISTRICT ENERGY SERVICE AREA (SERVICE AREA A & SERVICE AREA B)

ENGINEERING DEPARTMENT

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, Legal descriptions and encumbrances must be confirmed at the Land Title Office.

Appendix XII

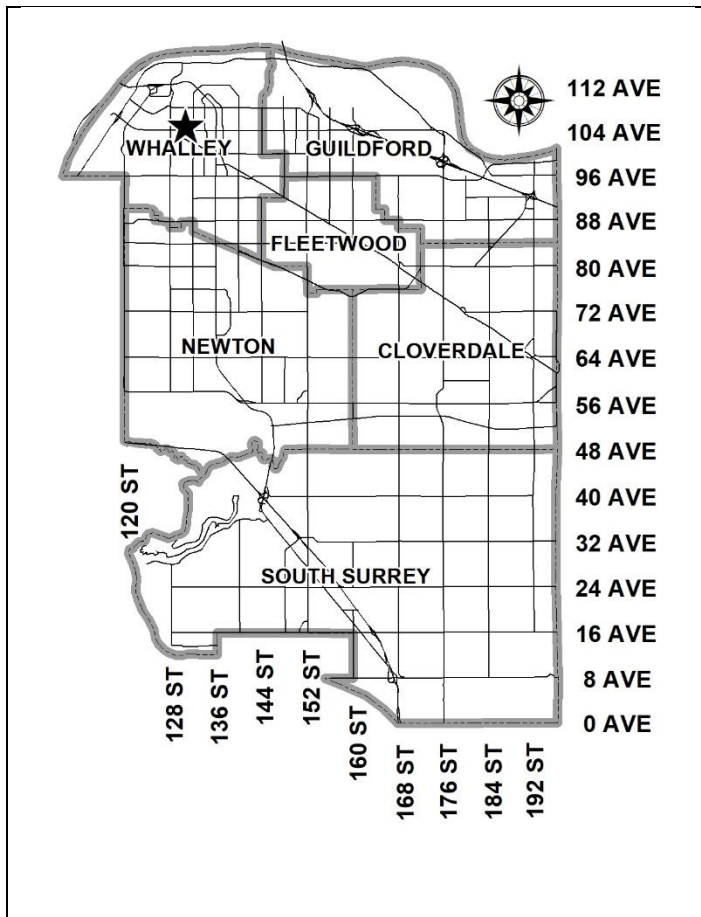


Appendix XIII

City of Surrey PLANNING & DEVELOPMENT REPORT

Application No.: 7920-0304-00

Planning Report Date: July 25, 2022



PROPOSAL:

- **OCP Amendment** of Figure 16: Central Business District Densities from "3.5 FAR" to "5.5 FAR"
- **CCP Amendment** from "Mid to High Rise 3.5 FAR" to "High Rise 5.5 FAR" and to shift the alignment of the new north-south road
- **Rezoning** from RM-45 to CD
- **General Development Permit**

to permit the development of five, high-rise residential buildings and one, mid-rise rental apartment building as part of a multi-phased development consisting of approximately 2,200 dwelling units in City Centre.

LOCATION:

13301 to 13355 – 104 Avenue
13280 to 13362 – 105 Avenue

ZONING:

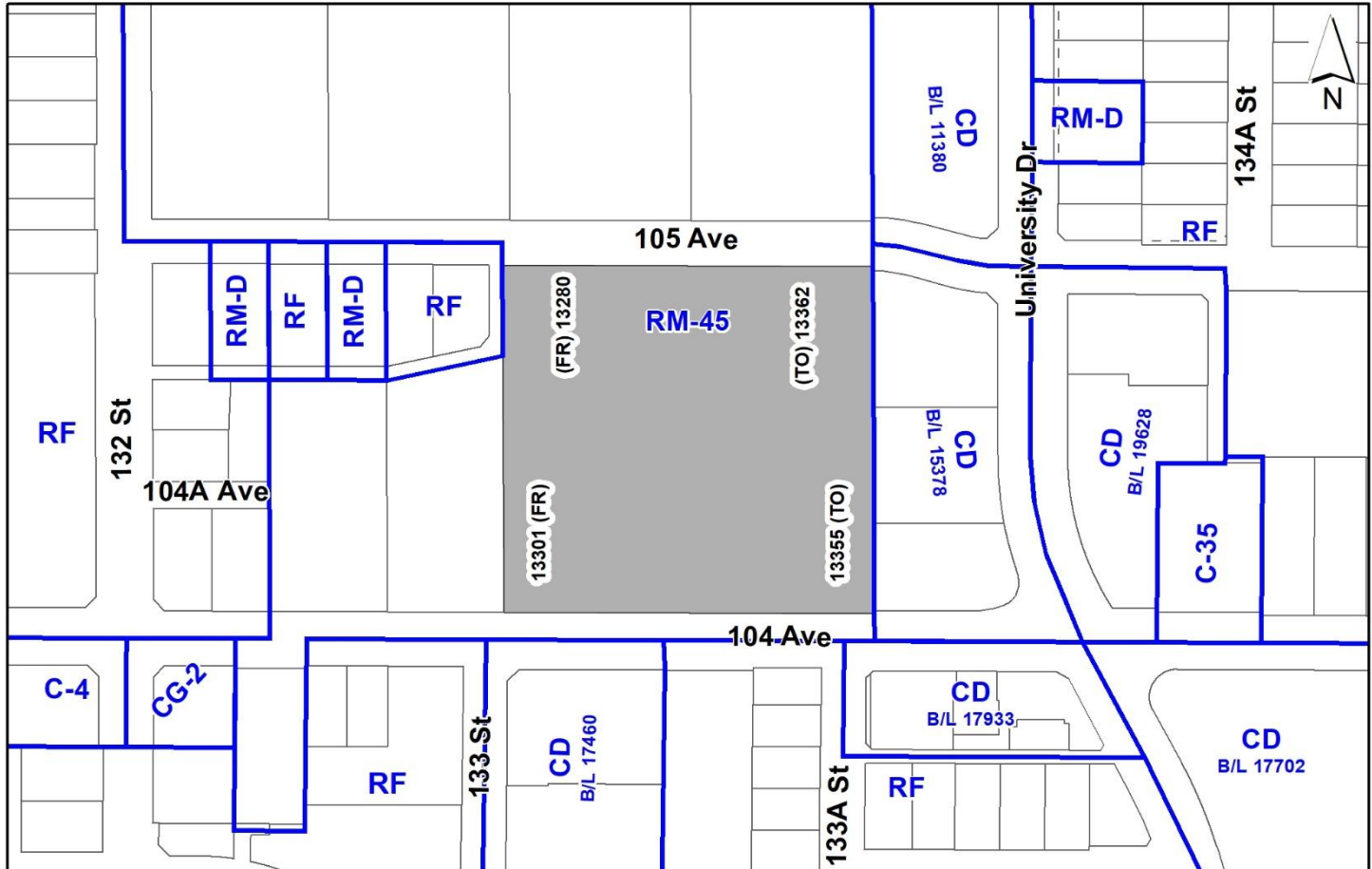
RM-45

OCP DESIGNATION:

Central Business District

CCP DESIGNATION:

Mid to High Rise 3.5 FAR



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft General Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking an amendment to the Official Community Plan (OCP) and City Centre Plan to permit a higher density.
- The proposal partially complies with Policy O-61 Rental Housing Redevelopment: Rental Replacement and Tenant Relocation Assistance. Existing rental housing units are proposed to be replaced at a higher than 1:1 replacement ratio, however, of the 185 proposed rental replacements units, only those offered to existing eligible tenants with the right of first refusal are proposed to be provided at rents in line with the affordable rental rates for low to moderate income households (defined as 10% below current Canadian Market and Housing Corporations (CMHC) average rents) as specified in the Policy.

RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- Although the proposed density on the subject site is higher than that prescribed in the OCP and City Centre Plan, the proposed mix of rental housing, residential market housing and a childcare centre aligns with the goals and objectives for the West Village District of the City Centre Plan. These housing options will also support and complement the Central Downtown District, which includes the growing Kwantlen Polytechnic University and Simon Fraser University campuses.
- The proposed density and building form are appropriate for this part of City Centre and complies with the Development Permit (Form and Character) requirements in the OCP and design guidelines for City Centre Plan.
- The proposed buildings are expected to achieve an attractive architectural built form utilizing high quality, natural materials, and contemporary lines. The street interface has been designed to a high-quality to achieve a positive urban experience between the proposed buildings and the public realm. Since the proposal is only for a General Development Permit at this time, the applicant will still be required to submit a Detailed Development Permit for Form and Character in the future. At that time, staff will work with the applicant to further enhance the design of the project.
- The site is within walking distance of bus transit along 104 Avenue and is about 600 metres (10-minute walk) from Surrey Central SkyTrain station. The proposed development conforms to the goal of achieving high-rise, high density development near public transit options.

- The applicant has provided a Tenant Assistance and Relocation Plan (see Appendix IX), as required under City Policy No. O-61, outlining the relocation strategy for the existing rental tenants on the subject site. The applicant's assistance and proposed relocation efforts for the existing residents meets the requirements of Surrey's City Policy No. O-61.
- In accordance with the rental replacement requirements of Surrey's City Policy No. O-61, the applicant is proposing to replace all 156 existing rental units with 185 new rental units with a total of 330 bedrooms in the proposed 12-storey mid-rise building (Rental 1) on the subject site (southwest corner), as part of Phase 1 of the development, which exceeds the required 1:1 replacement ratio.
- All existing eligible tenants with the right of first refusal are proposed to be offered rents in line with the affordable rental rates for low to moderate income households (defined as 10% below current Canadian Market and Housing Corporations (CMHC) average rents) as specified in the Policy. However, the remainder of the rental units would be offered at market rents.
- The applicant proposes to enter into a Housing Agreement to allocate the 185 dwelling units located in the Rental 1 building as market rental. The proposed Housing Agreement will restrict the dwelling units to rental for a period of 20 years. The Housing Agreement will be forwarded for Council consideration at a future Council meeting and is a requirement of Final Adoption.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A Bylaw be introduced to amend OCP Figure 16: Central Business District Densities to increase the density from 3.5 FAR to 5.5 FAR and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A Bylaw be introduced to rezone the subject site from "Multiple Residential 45 Zone (RM-45)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7920-0304-00 in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) the applicant enter into a Housing Agreement with the City to secure 185 dwelling units in the proposed 12-storey building, as part of Phase 1, as rental housing for a minimum period of twenty (20) years;
 - (h) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (i) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;

- (j) registration of a right-of-way for public rights-of-passage for the area between the building face and the street edges;
 - (k) submission of an acoustical report for the units adjacent to 104 Avenue and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (l) registration of a Section 219 Restrictive Covenant for “no build” on proposed Lots 2 to 5 until Detailed Development Permit approvals have been granted by the City and the related works and services are installed and roads are constructed;
 - (m) registration of a Section 219 Restrictive Covenant to adequately address the City’s needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City’s Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services;
 - (n) completion of a Highway Licensing Agreement (HLA) to allow some existing buildings and structures to temporarily encroach into the road dedication of the new north/south road; and
 - (o) Submission of the necessary legal documents to facilitate the proposed relocation plan of the existing tenants, including the interim retention of the existing buildings.
6. Council pass a resolution to amend the City Centre Plan to redesignate the land from "Mid to High Rise 3.5 FAR" to "High Rise 5.5 FAR" and to shift the alignment of the new north-south road, as shown in Appendix V, when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	City Centre Plan Designation	Existing Zone
Subject Site	3-storey rental apartment buildings	Mid to High Rise 3.5 FAR	RM-45
North (Across 105 Avenue):	3-storey rental apartment buildings, including a portion under Application No. 7920-0033-00 for a high rise and a low-rise apartment (pre-Council)	Mid to High Rise 3.5 FAR	RM-45

Direction	Existing Use	City Centre Plan Designation	Existing Zone
East:	Two 4-storey apartment buildings and a 24-storey residential high-rise	Mid to High Rise 3.5 FAR	CD Bylaw No. 15378
South (Across 104 Avenue):	Two high-rise residential buildings approved by Council on July 26, 2012 under Development Application No. 7911-0075-00, and single family lots (one occupied by a sales centre) that are under Development Application No. 7919-0234-00 for a high-rise building as part of Phase 6 of the West Village Master Plan. The Rezoning was granted Third Reading by Council on December 20, 2021.	High Rise 5.5 FAR	CD Bylaw No. 17460 and RF
West (Across future 133 Street):	Proposed 6-storey apartment building, in which the Rezoning was granted Third Reading on November 22, 2021, under Development Application No. 7920-0290-00, and two proposed high-rise buildings under Development Application No. 7918-0393-00, which was granted Third Reading on September 14, 2020.	Low to Mid Rise up to 2.5 FAR	RF and RM-45

Context & Background

- The subject site involves one large property, approximately 2.6 hectares in size, and is located along 104 Avenue just northwest of City Hall.
- The site is designated 'Central Business District' in the Official Community Plan (OCP) and 'Mid to High Rise 3.5 FAR' in the City Centre Plan.
- Currently, 3-storey rental apartment buildings with surface parking are situated on the subject site.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes the following, in order permit a multi-phased, high-rise development on the subject site:
 - OCP Amendment to Figure 16: Central Business District Densities to increase the density from 3.5 FAR to 5.5 FAR;
 - City Centre Plan Amendment to increase the allowable density from "Mid to High Rise 3.5 FAR" to "High Rise 5.5 FAR" and to slightly shift the alignment of the new north/south road through the center of the site;
 - Rezoning from RM-45 to a CD Zone based on the RM-135 Zone and C-8 for the entire site;
 - General Development Permit (Form and Character DP) for the entire site; and
 - A subdivision from one lot into five lots.
- The proposed gross density is 6.70 FAR (8.40 net FAR) over the entire site. The proposed development will consist of the following units:
 - 185 rental units in the proposed 12-storey rental building (Rental 1); and
 - 2,017 market residential units in five high-rise buildings ranging in height from 36 to 52 storeys and will be developed over time in five phases.
- The following table includes the project statistics for the proposed development:

	Proposed
Lot Area	
Gross Site Area:	25,795 sq.m.
Road Dedication:	5,308 sq.m.
Net Site Area:	20,487 sq.m.
Number of Lots:	5
Building Heights:	Tower 1: 136 m. (44 storeys) Rental 1: 36 m. (12 storeys) Tower 2: 112 m. (36 storeys) Tower 3: 148 m. (48 storeys) Tower 4: 160 m. (52 storeys) Tower 5: 121 m. (39 storeys)
Floor Area Ratio (FAR):	6.70 gross FAR (8.40 net FAR)
Floor Area	
Residential:	171,294 sq.m.
Commercial:	398 sq.m.
Childcare:	<u>216 sq.m.</u>
Total:	171,908 sq.m.
Residential Units:	
Studio:	353
1-Bedroom:	899
2-Bedroom:	841
3-Bedroom:	<u>109</u>
Total:	2,202

Referrals

- Engineering:** The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
- School District:** The School District has advised that there will be approximately 241 school-age children generated by this development, of which the School District has provided the following expected student enrollment:
- 76 Elementary students at K.B Woodward Elementary School
100 Secondary students at Kwantlen Park Secondary School
- (Appendix III)
- Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.
- The applicant has advised that the dwelling units in this entire project are expected to be constructed phase by phase and may take a decade to be ready for occupancy.
- Parks, Recreation & Culture:** Parks notes that the ultimate proposal includes the subdivision of one existing lot into five lots, which may trigger the requirement to provide 5% of the land as parkland or to pay cash-in-lieu, as per the Local Government Act Section 510.
- The closest active park is Whalley Athletic Park and is 250 metres away, and the closest natural area is 11D - Greenbelt and is 1.1 kilometres away. Future parkland is proposed within 200 metres of the subject site as part of the Surrey City Centre Plan.
- Surrey Fire Department:** No significant concerns, but future Detailed Development Permits must be submitted for review.
- BC Hydro:** A referral was made to BC Hydro, however, to date, a response has not been received. Staff will follow up with BC Hydro prior to the zoning By-law proceeding to Final Adoption.
- Fortis BC:** A referral was made to Fortis BC, however, to date, a response has not been received. Staff will follow up with Fortis BC prior to the zoning By-law proceeding to Final Adoption.

Advisory Design Panel: The proposal was considered at the ADP meeting on March 31, 2022 and was supported. The applicant has resolved most of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department.

Transportation Considerations

- The proposed development is located adjacent to existing transit service on 104 Avenue, serviced by Routes #323/#324/#393 (Newton Exchange / Surrey Central Station) and #373 (Guildford / Surrey Central Station), as well as being less than 200 m from University Drive stops serviced by Routes #321 (White Rock / Newton / Surrey Central Station), #335 (Newton / Surrey Central Station), and #371 (Surrey Central / Scott Road Station).
- Surrey Central SkyTrain Station and surrounding transit hub are approximately 500 metres southeast from the subject site (approximately 8-minute walk), which is serviced by rapid transit and standard bus routes that connect to every adjacent municipality and community within Surrey.

Traffic Impacts

- Given the scale and uses of the proposed development, a Transportation Impact Analysis (TIA) was required to evaluate traffic impacts to the surrounding network and identify any required improvements to mitigate impacts.
- Based on industry standard rates, the proposed uses for all 5 phases generate approximately 543 and 501 vehicle trips respectively during the AM and PM peak hours.
- Due to the significant traffic volume generated by the subject site and to promote walkability with closer spaced controlled intersections, the applicant will be contributing towards the design and construction of a new traffic signal at the intersection of 104 Avenue & 133 Street, along with multiple other developments in vicinity of the intersection.

Road Network & Infrastructure

- 104 Avenue borders the southern property line and is an east-west Arterial Road, where the applicant will dedicate 2.808 m to achieve the ultimate 30.0 m road allowance and construct the north side with a cycle track, boulevard with street trees/streetlighting and new sidewalk at the property line.
- 105 Avenue borders the northern property line and is an east-west Collector Road, where the applicant will dedicate 1.942 m to achieve the ultimate 24.0 m road allowance and construct the south side with a cycle track, boulevard with street trees/streetlighting and new sidewalk at the property line.

- 133 Street borders the western property line and is a north-south Local Road, where the applicant will provide varying dedication (meeting the road alignment established under Development Application No. 7918-0393-00) to achieve the ultimate 20.0 m road allowance and construct the east side with a parking pocket, boulevard with street trees/streetlighting and new sidewalk at the property line.
- A new north-south Local Road (to be named) will bisect the subject site, where the applicant will dedicate the full 20.0 m road allowance and construct both sides of the road with parking pockets, boulevards with street trees/streetlighting and sidewalks at the property lines.

Access

- Access to Phase 1 and Phase 2 will be from 133 Street, while access to Phase 3 and Phase 4 will be from the new north-south Local Road. Access to Phase 5 will be from a shared laneway with the neighbouring property to the east, with a driveway letdown to 105 Avenue.

Parking

- The proposed development including all 5 phases will provide a total of 2,268 parking spaces, within separate enclosed underground parking garages for each phase.
- The proposed parking for each phase either meets or exceeds the minimum requirement as per the Zoning Bylaw (total 2,268 spaces provided), therefore no Transportation Demand Management (TDM) measures or Cash-in-Lieu of parking is being proposed.
- On-street parking will be formalized along 133 Street, the new north-south Local Road and 105 Avenue where the subject site frontage will be completed with parking pockets.
- The applicant will be required to provide 1.2 bicycle parking spaces per unit, resulting in 2,682 residential bike parking spaces, plus at least 6 visitor parking spaces near each building's entrance.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist. This project will be required to meet a minimum of Step 3 of the BC Energy Step Code.
- The building will be connected to the City's District Energy system.
- In addition, the applicant has highlighted the following additional sustainable features:
 - Efficient insulated envelopes;
 - Low glazing-to-wall areas;
 - Innovative, integrated stormwater management system that directs stormwater runoff into planted rain gardens that filter and clean water before it is discharged into the public stormwater system;
 - Alternative transportation options are available including cycling (bicycle storage provided on-site), as well nearby bus and SkyTrain service; and
 - On-site electric vehicle charging stations.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposed development is compliant with the Urban Centres (Surrey Metro Centre) Land Use Designation of Metro Vancouver's Regional Growth Strategy (RGS).

Official Community Plan

Land Use Designation

- The subject site is designated Central Business District in the OCP, with maximum permitted density of 3.5 FAR as noted in Figure 16 of the OCP.
- The proposed development does not comply with the OCP. Therefore, the applicant has proposed an OCP Amendment to amend Figure 16 for the site from 3.5 FAR to 5.5 FAR.

Amendment Rationale

- The proposed density and building form are appropriate for this part of Surrey City Centre, and forms part of an emerging high-density mixed-use hub that will be complementary to the City of Surrey Civic Centre to the south.
- The increased density includes a child-care facility as well as 185 market rental housing, both of which are in demand in City Centre.
- The site is located near multiple public transit options, including bus service along 104 Avenue, 132 Street and University Drive, and SkyTrain to the southeast. The Surrey Central SkyTrain Station is located about a 10-minute walk from the subject site.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report.

Public Consultation for Proposed OCP Amendment

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations, or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Growth Management
 - Accommodating Higher Density: Direct residential development into Surrey's City Centre at densities sufficient to encourage commercial development and transit services expansion.
 - Centres, Corridors and Neighbourhoods:
 - Dynamic City Centre: Concentrate the highest density of residential and mixed-use development within Surrey's City Centre in areas near existing and planned rapid transit stations.
 - Dynamic City Centre: Create an interconnected, short-block, finer-grained network of public streets and green lanes in Surrey's City Centre to support direct, pleasing, and safe pedestrian and cycle movements and to distribute traffic efficiently.
 - Healthy Neighbourhood: Plan and design urban neighbourhoods with sufficient densities to support a higher-quality transit system that is accessible to most residents.
 - Urban Design: Ensure a new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.
 - Housing types: Support a balanced demographic community in City Centre by maintaining a diversity of housing types and unit sizes.
 - Ecosystems
 - Energy, Emissions and Climate Resiliency: Design a community that is energy-efficient, reduces carbon emissions and adapts to a changing environment through a design that meets typical sustainable development criteria.

Secondary Plans

Land Use Designation

- The subject site is designated Mid to High Rise 3.5 FAR in the City Centre Plan (CCP).
- The proposed development does not comply with the CCP. Therefore, the applicant has proposed a City Centre Plan Amendment to redesignate the entire site to High Rise 5.5 FAR.

Amendment Rationale

- Although the proposed density on the subject site is higher than that prescribed in the City Centre Plan, the proposed, phased high-rise development will support and complement the Central Downtown District of the City Centre.
- The site is within walking distance of Surrey Central SkyTrain station. The proposed development conforms to the goal of achieving higher density development near public transit, particularly SkyTrain Stations.
- The applicant is proposing to provide a child-care facility and rental units, which are in demand in City Centre.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.

Themes/Objectives

- The proposed development is consistent with the following guiding principles of the City Centre Plan:
 - Build Density and Mixed-Use, by providing a mix of commercial, office and residential space;
 - Encourage Housing Diversity, with a variety of unit types and sizes;
 - Create Vibrant Urban Space, with high quality architectural aesthetics and amenities such as plazas and street furniture to encourage people to interact with the public realm; and Promote Identity and Sense of Place, with a blend of open landscaped spaces and enclosed residential spaces.

CD By-law

- The applicant proposes to rezone the subject site from "Multiple Residential 45 Residential Zone (RM-45)" to "Comprehensive Development Zone (CD)".
- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed mixed-use, phased development consisting of five high-rise buildings and one mid-rise rental apartment building on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 135 Zone (RM-135)" and the "Community Commercial Zone (C-8)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-135 Zone and C-8 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-135 Zone (Part 25) and C-8 Zone (Part 36)	Proposed CD Zone
Floor Area Ratio:	2.5	Overall net site density: 8.40 Block A: 7.6 Block B: 9.1 Block C: 8.3 Block D: 8.5 Block E: 9.1
Lot Coverage:	33%	Block A: 46% Block B: 44% Block C: 38% Block D: 34% Block E: 47%
Yards and Setbacks	50% of the height of the building	Block A: North: 0.0 metres South: 6.9 metres East: 4.5 metres West: 4.5 metres Block B: North: 4.5 metres South: 4.5 metres East: 6.1 metres West: 4.5 metres Block C: North: 5.9 metres South: 10.3 metres East: 7.5 metres West: 6.6 metres Block D: North: 0.0 metres South: 10.8 metres East: 31.2 metres West: 4.5 metres Block E: North: 4.5 metres South: 0.0 metres East: 10.0 metres West: 4.5 metres
Principal Building Height:	N/A	Block A: 136 metres Block B: 112 metres Block C: 148 metres Block D: 160 metres Block E: 121 metres

Permitted Uses:	<p>The RM-135 Zone permits multiple unit residential buildings and ground-oriented multiple unit residential buildings.</p> <p>The C-8 Zone permits commercial uses including:</p> <ul style="list-style-type: none"> • Retail stores • Personal service uses • General service uses • Beverage container return centres • Eating establishments • Neighbourhood pubs • Liquor store • Office uses • Parking facilities • Automotive service uses • Indoor recreational facilities • Entertainment uses • Assembly halls • Community services • Child care centres • Cultural uses • Accessory Uses: <ul style="list-style-type: none"> ○ Caretaker unit 	<p>All blocks will comply with the residential component of the RM-135 Zone.</p> <p>Commercial uses will include the following:</p> <p>Block C:</p> <ul style="list-style-type: none"> • Retail stores • Personal service uses • General service uses • Eating establishments • Neighbourhood pubs • Liquor store • Office uses • Indoor recreational facilities • Community services • Child care centres • Cultural uses <p>Block D:</p> <ul style="list-style-type: none"> • Child care centre 																					
Amenity Space																							
Indoor Amenity:	4,426 square metres required	The proposed 4,507 square metres meets the Zoning By-law requirement.																					
Outdoor Amenity:	6,603 square metres required	The proposed 8,230 square metres meets the Zoning By-law requirement.																					
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 33%;">Parking (Part 5)</th> <th style="width: 33%;">Required</th> <th style="width: 33%;">Proposed</th> </tr> </thead> <tbody> <tr> <td colspan="3">Number of Stalls</td> </tr> <tr> <td>Commercial:</td> <td style="text-align: center;">11</td> <td style="text-align: center;">11</td> </tr> <tr> <td>Child Care Centre:</td> <td style="text-align: center;">6</td> <td style="text-align: center;">6</td> </tr> <tr> <td>Residential:</td> <td style="text-align: center;">1,935</td> <td style="text-align: center;">2,048</td> </tr> <tr> <td>Residential Visitor:</td> <td style="text-align: center;">220</td> <td style="text-align: center;">220</td> </tr> <tr> <td>Total:</td> <td style="text-align: center;">2,172</td> <td style="text-align: center;">2,285</td> </tr> </tbody> </table>			Parking (Part 5)	Required	Proposed	Number of Stalls			Commercial:	11	11	Child Care Centre:	6	6	Residential:	1,935	2,048	Residential Visitor:	220	220	Total:	2,172	2,285
Parking (Part 5)	Required	Proposed																					
Number of Stalls																							
Commercial:	11	11																					
Child Care Centre:	6	6																					
Residential:	1,935	2,048																					
Residential Visitor:	220	220																					
Total:	2,172	2,285																					
Bicycle Spaces																							
Residential Secure Parking:	2,641	2,646																					
Residential Visitor:	36	36																					

- The proposed CD Bylaw will incorporate similar uses as the RM-135 Zone, along with selected commercial uses from the C-8 Zone for Phase 3 (Block C).

- The proposed density and building height are supportable at this location in the West Village District of City Centre. The proposed building heights, that range from 12-storeys to 52-storeys, and overall massing of the project are generally consistent with City Centre Plan goals.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs, with the exception of the proposed market rental units, which are exempt from Capital Plan Project CACs when secured through a Housing Agreement for a minimum of 20 years. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,000.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the City Centre Plan designation.
- The applicant will be required to provide the per unit flat rate for the number of units above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment, with the exception of the proposed market rental units. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption. The current rate is \$40 per square foot for apartments.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.
- The proposed 185 rental units are exempt from the provision of this policy. The applicant will be required to register a Section 219 Restrictive Covenant, making the fees payable if there is a future change in tenure from the proposed market rental units, to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements, with the exception of the proposed market rental units. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

City Policy O-61 (Rental Housing Redevelopment: Rental Replacement and Tenant Relocation Assistance)

- On April 9, 2018, Council approved Corporate Report No. Ro66; 2018 which outlined City Policy O-61 - Rental Housing Redevelopment: Rental Replacement and Tenant Relocation Assistance Policy as part of Surrey's Affordable Housing Strategy: A Focus on Rental Housing.
- The Surrey Affordable Housing Strategy includes specific strategies to prevent the loss of purpose-built rental housing and strengthen protection for tenants. The Rental Housing Redevelopment Policy (City Policy O-61) sets out requirements for redevelopment of purpose-built rental housing and provision of assistance to tenants when redevelopment occurs.
- There are currently 156 rental units in the existing 3-storey apartment buildings. The development of Phase 1 (12-storey, 185-unit rental building) will occur in two steps. The first step will be a demo and site prep phase, where 99 of the existing units will be removed. During the construction of Phase 1, the remaining 58 existing units will be removed.
- The following illustrates the rental replacement requirements and the applicant's response (Staff's comments in italics):
 - Redevelopment of a purpose-built rental site requires replacement of the existing rental units within the new development.
 - There are 156 rental units in the existing 3-storey apartment buildings on the subject site. The applicant proposes to replace these existing 156 rental units with 185 purpose-built rental units in Phase 1.

(The applicant is proposing 185 market rental units, exceeding the 156 rental units required to replace the number of existing rental units.)
 - Replacement of purpose-built rental units shall include, at a minimum, the same number of total bedrooms as in the original development.
 - A total of 330 bedrooms will be provided in 185 rental units.

(The applicant is proposing 330 bedrooms exceeding the requirement to replace the existing 307 bedrooms.)

- Replacement units are required to be ‘affordable rental’ for low to moderate income households, rented at a maximum of 10% below current Canadian Market and Housing Corporation (CMHC) average rents for the applicable unit size in the City of Surrey. Current average rental rates for Surrey are provided in CMHC’s Rental Market Report: Vancouver CMA, which is released annually in the fall.
 - The applicant is proposing to replace the existing 156 rental units with 185 rental units, however, only those units offered to existing eligible tenants with the right of first refusal are proposed to be provided at rents in line with the affordable rental rates for low to moderate income households (defined as 10% below current Canadian Market and Housing Corporations (CMHC) average rents) as specified in the Policy. The remainder of the rental units would be offered at market rents. In addition, the units occupied under the right of first refusal would subsequently be offered at market rents at such as time as the existing eligible tenants vacate.

(The applicant acknowledges that the proposed affordable housing rental rates do not comply with Policy O-61 but has indicated that due to the cost of concrete construction, the rental building is anticipated to be operating at a deficit in the near term. In the longer term, with the turnover of the units occupied by tenants who exercised their right of first refusal, it is anticipated the rental building would gradually transition to more positive economic returns.)

- Affordable rental replacement rental units shall be secured as rental with a Housing Agreement. In addition to tenure, the Housing Agreement shall specifically target households (low to moderate income households, with reference to BC Housing’s Housing Income Limits), rental rates, and administration and management of the units, and the requirement of annual reporting to the City on the operations of the affordable rental replacement units.
 - All 185 proposed rental units will be secured with a Housing Agreement for a period of 20 years. The applicant will submit the Housing Agreement, which will be forwarded to Council for consideration in the near future and prior to final adoption of the subject Rezoning application.
- The affordable rental replacement units must be managed by a non-profit organization, or a nonprofit / social enterprise property management firm as approved by the City.
 - The applicant proposes to own and manage the rental building and to contract a third-party non-profit or social enterprise manager to verify that the rental tenancy agreements comply with the below market requirements for eligible tenants exercising their right of first refusal.
- Replacement rental units shall be located on the same development site as the original units. In special cases, replacement units off-site may be considered, at a location in the same neighbourhood.

- All proposed replacement units are to be located on the same development site as the original units at 13301 to 13355 – 104 Avenue and 13280 to 13362 – 105 Avenue.
- A proposal acceptable to the City shall be provided by the Proponent with the development application. The proposal shall outline how the Proponent's application meets the rental replacement requirements of the Policy.
 - The applicant submitted an updated proposal on June 1, 2022. (See Appendix IX - Tenant Assistance and Relocation Plan).
- In accordance with Policy O-61, the applicant has been proactive and has taken the following actions:
 - Existing eligible tenants will be given the opportunity to rent a unit (Right of First Refusal) in the 12-storey rental building (Phase 1), when completed;
 - Appointed a Tenant Relocation Coordinator to facilitate communications with the tenants throughout the development proposal process;
 - Drafted a Tenant Assistance and Relocation Plan (Appendix IX) that outlines potential financial compensation, relocation assistance, and right of first refusal; and
 - Drafted and initiated a Communications Plan illustrating the development approval process and when and how residents are notified of the process and opportunities for input.
- The proposal is deemed to generally comply with the rental replacement requirements of City Policy O-61, and therefore staff are supportive of the proposal proceeding to a Public Hearing.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on May 14, 2021, and the Development Proposal Signs were installed on May 25, 2021. Staff received seven (7) responses (*staff comments in italics*):
 - Three respondents expressed concerns about the proposed density and built form. They indicated that the proposed heights are too tall for this part of City Centre and that they will have impacts on privacy and view cones.

(Although the proposed density on the subject site is higher than that prescribed in the OCP and City Centre Plan, the proposed mix of rental housing, residential market housing and a childcare centre aligns with the goals and objectives for the West Village District of the City Centre Plan. These housing options will also support and complement the Central Downtown District, which includes the growing Kwantlen Polytechnic University and Simon Fraser University campuses).

- One respondent expressed concern that there was not enough commercial space being provided, particularly office space, to support the existing and future residents.

(The subject site is designated 'Residential' and the City can encourage commercial or office space on the subject site, but cannot require it. The applicant is proposing some non-residential uses (commercial and child care space). The City Centre Plan focuses and requires office space on sites closer to the core (i.e. further southeast of the subject site)).

- One respondent expressed concern that the applicant is not provided enough rental units to meet the needs of the community.

(The applicant is proposing 185 market rental units, exceeding the 156 rental units required to replace the number of existing rental units.)

- One respondent expressed concerns regarding the impacts to school capacities.

(Construction of a 200-capacity addition at KB Woodward Elementary is underway and targeted to open in the Fall of 2022. As of September 2021, Kwantlen Park Secondary utilizes 11 portables on site. In March 2020, the School District started a feasibility report to building a 300-capacity addition, targeted to open in 2025.)

- Three respondents sought more information but did not have any concerns.

Public Information Meeting

- The applicant held an online Public Information Meeting (PIM) on October 7, 2021, to inform and engage neighbouring residents with respect to the proposed development. One City staff member attended the online meeting as an observer.
- In total, there were three attendees at the PIM. They posed general questions about the proposed development and the interface with the adjacent D'Cor strata development. In particular, the attendees had the following questions:
 - One attendee asked for more information about how the proposal fits within the existing context of the area.

(The applicant provided further information about the Surrey City Centre Plan and the focus on higher density neighbourhoods in close proximity to transit, such as the Surrey Central SkyTrain station.)

- One attendee asked about the potential impacts from construction.

(The applicant explained there was sufficient space to manage the construction on-site and that the developers would create a construction management plan to the satisfaction of the City.)

- A question was posed about the capacity of local infrastructure.

(The applicant explained that the City would require a servicing agreement for related infrastructure to be upgraded and paid for by the developer. In addition, the developer would be required to pay the related Development Cost Charges (DCCs) and Community Amenity Contributions (CACs) to help fund local services and amenities, such as schools, parks, and community centres.)

- A question was raised by one attendee about the impact that 2,200 new units would have on traffic.

(The applicant explained that a Transportation Engineering Consultant, Bunt Engineering, had undertaken a Transportation Impact Analysis (TIA) to study the capacity of local roads. As the proposed development is highly transit-oriented and will provide for two new north-south roads, improved permeability and connectivity within the road network will be achieved. The proposed development is not anticipated to negatively impact the level of service of the local roads.)

- Subsequently to the PIM, the applicant met with the strata representative from D'Cor, which led to the negotiation of an additional setback for proposed Tower 5, as well as additional landscaping on the proposed shared lane with D'Cor, which satisfied the strata representative.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a General Development Permit for Form and Character and is also subject to the urban design guidelines in the City Centre Plan.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the City Centre Plan.
- The applicant proposes five towers with residential podiums, a purpose-built mid-rise rental building, child care, and a convenience retail node on 104 Avenue.
- The project height is oriented so that the tallest towers are on the south edge of the site at 104 Avenue, and the shortest towers on the north edge of the site at 105 Avenue. These edge towers are set to the corners of the site and act to frame the tower in the centre.
- The development creates new connectivity for pedestrians, cyclists, and vehicles through the dedication of a new public street that runs north-south.
- Bisected by the new road, the site's scale will be reduced by pedestrian pathways and a variety of open spaces, creating a comfortable and accessible public realm.
- Street interfaces include apartments at grade with a 2-storey expression and lobby structures that create active edges.

- Changes in grade, texture and materials are used to gently delineate private, semi-private and public spaces inside the development.
- The applicant has worked with staff to develop a design that incorporates City Centre urban design guidelines and principles through tower height and massing refinement, public realm, and street interface. However, subsequent Detailed Development Permit applications are required for each of the five (5) phases to address further comments with respect to the Form and Character.
- The proposed development received ‘support’ from the Advisory Design Panel (ADP) at the March 31, 2022, ADP meeting, and the applicant has addressed most of the ADP comments (Appendix VIII).
- The applicant has agreed to address any outstanding post-ADP and staff comments to the satisfaction of the City Architect, prior to final adoption.

Outstanding Items

- The applicant is required to resolve all outstanding urban design and landscaping issues and Advisory Design Panel comments, as follows:
 - Further developing a clearer intent for the podium heights, general form, and expression.
 - Further clarity of the indoor and outdoor daycare in relation to the overall concept.
 - Further landscape design development, phasing coordination, and development of the legibility of the overall public realm concept, including public art, special landscape features, publicly accessible open spaces, and private/semi-private spaces.

Indoor Amenity

- Based upon the City’s Zoning By-law requirement, the applicant is required to provide 4,426 square metres of indoor amenity space to serve the residents of the proposed development (2,202 dwelling units). The applicant is currently providing 4,507 square metres of indoor amenity space, which exceeds the minimum requirement.
- Each building is expected to accommodate its own indoor amenity space. The exact size and details of the amenity spaces will be confirmed as part of the future Detailed Development Permits.

Outdoor Amenity

- Based upon the City’s Zoning By-law requirement, the applicant is required to provide 6,603 square metres of outdoor amenity space to serve the residents of the proposed development. The applicant is currently providing 8,230 square metres of outdoor amenity space, which well exceeds the minimum requirement.
- Each building will have its own outdoor amenity space. The exact size and details of the amenity spaces will be confirmed as part of the future Detailed Development Permits.

Landscaping

- The landscape design is centered around the interaction between public and private spaces embracing the idea that permeable landscape encourages activity and living in an informal and organic manner that is safe and well used.
- Further details on the landscaping will be provided at the Detailed Development Permit stage.

TREES

- Tim Vanderberg, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/Cottonwood	0	0	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry	1	1	0
Crab Apple	1	1	0
Dogwood, Pacific	1	1	0
Hawthorn	1	1	0
Holly	1	1	0
Horse-chestnut	1	1	0
Hornbeam, European	4	4	0
Linden, Little Leaf	8	8	0
Locust, Honey	9	9	0
London Plane	1	1	0
Mountain Ash	1	1	0
Maple, Big Leaf	4	4	0
Maple, Norway	1	1	0
Maple, Silver	15	15	0
Coniferous Trees			
Cedar, Deodar	10	10	0
Douglas-Fir	4	1	3
Falsecypress, Sawara	5	5	0
Hemlock, Western	6	6	0
Juniper	1	1	0
Pine, Scots	3	3	0
Redcedar, Western	12	12	0
Redcedar, Zebra	2	2	0
Total (excluding Alder and Cottonwood Trees)	92	89	3

Total Replacement Trees Proposed (excluding Boulevard Street Trees)	378
Total Retained and Replacement Trees	381
Contribution to the Green City Program	N/A

- The Arborist Assessment states that there are a total of 92 mature trees on the site. There are no Alder and Cottonwood trees on the site. It was determined that three (3) trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, underground parking, building footprints and road dedication.
- There are also 24 off-site trees that are proposed for removal. These off-site trees are located on the properties to the west (13272 – 105 Avenue and 13265 – 104 Avenue). Both of these abutting properties are also under developments applications (File Nos. 7918-0393-00 and 7920-0290-00, both of which are currently at Third Reading for the proposed Rezoning). Road dedication (133 Street) as per the City Centre Plan is required as part of those neighbouring development applications, and thus the trees proposed for removal for the subject site are the same as those trees that are proposed for removal for File Nos. 7918-0393-00 and 7920-0290-00. Whichever development application proceeds first, will be responsible for the tree removal and replacement/compensation.
- For those trees that cannot be retained on the subject site, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 178 replacement trees on the site. The applicant is proposing approximately 378 replacement trees on site (exact numbers to be determined through detailed Development Permit process), exceeding City requirements.
- In summary, approximately 381 trees are proposed to be retained or replaced on the site with no contribution requirement to the Green City Program anticipated.

CITY ENERGY

- The subject site is located within Service Area A, as defined in the "City Centre District Energy System By-law" (see Appendix X for location). The District Energy System consists of three primary components:
 - community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;
 - distribution piping that links the community energy centres with buildings connected to the system; and
 - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system and is used to meter the amount of energy used.

- All new developments within Service Area A with a build-out density equal to or greater than a floor area ratio (FAR) of 1.0 will be required to provide hydronic thermal energy systems in support of the City's District Energy (DE) system including domestic hot water, make-up air units and in-suite hydronic space heating. The City is committed to having the DE system operational within the timeframe of this project. Therefore, the subject application will be required to connect to the City's DE system prior to occupancy.
- In order to avoid conflicts between the District Energy System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
 - City access to, and maintenance and operation of, the ETS within the building and any infrastructure between the building and the property line; and
 - to prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	City Centre Amendment Map
Appendix VI.	OCP Redesignation Map
Appendix VII.	Aerial Photos
Appendix VIII.	ADP Comments and Responses
Appendix IX.	Tenant Assistance and Relocation Plan
Appendix X.	District Energy Service Area Map

approved by Ron Gill

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CB/cm