

CITY OF SURREY

BY-LAW NO. 20808

A bylaw to amend the provisions of "City of Surrey
Heritage Revitalization Agreement By-law, 2005, No. 15804"
.....

The Council of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

1. The City is authorized to enter into an amendment to the heritage revitalization agreement authorized by "City of Surrey Heritage Revitalization Agreement Bylaw, 2005, No. 15804" (the "Heritage Revitalization Agreement") regarding certain lands and premises located within the City of Surrey and more particularly known and described as:

Parcel Identifier: 026-507-323
Lot 2 Section 21 Township 1 NWD Plan BCP21101

(14040 - 32 Avenue)

2. The terms and conditions of the amending agreement (the "Amending Agreement") are attached to and form part of this By-law as Schedule "1", and the Amending Agreement becomes an addition to the Heritage Revitalization Agreement.
3. The Mayor and Clerk are authorized on behalf of the City to sign the Amending Agreement and to do all acts necessary and incidental to the completion of the Amending Agreement.
4. This By-law shall be cited for all purposes as "City of Surrey Heritage Revitalization Agreement Bylaw, 2005, No. 15804, Amendment Bylaw, 2022, No. 20808".

PASSED FIRST READING on the 12th day of December, 2022.

PASSED SECOND READING on the 12th day of December, 2022.

PUBLIC HEARING HELD thereon on the 16th day of January, 2023.

PASSED THIRD READING, as amended on the 11th day of September, 2023.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the 11th day of September, 2023.

 _____ MAYOR

 _____ CLERK



SCHEDULE 1

SURREY HERITAGE REVITALIZATION AGREEMENT
CHARLES FEEDHAM HOUSE
AMENDING AGREEMENT

THIS AGREEMENT dated for reference the 11th day of Sept, 2012.

BETWEEN:

CITY OF SURREY
13450 - 104 Avenue
Surrey, BC, V3T 1V8

(the "City")

OF THE FIRST PART

AND:

ss. 22(1) JACK
14040 - 32 Avenue
Surrey, BC, V4P 2J2

(the "Owner")

OF THE SECOND PART

WHEREAS:

- A. The City of Surrey and Elgin Corners Land Corp., Inc. No. 0715876 (the "Previous Owner") entered into a Heritage Revitalization Agreement dated for reference March 24, 2003 (the "Agreement") for the conservation, restoration, maintenance, and protection of the Lands, including the Charles Feedham House, as more particularly described in the Agreement;
- B. Each capitalized term not otherwise defined herein shall have the meaning ascribed to it in the Agreement;
- C. The Previous Owner has transferred the Lands to the Owner, who is bound by the terms and conditions of the Agreement by operation of the Agreement and the *Local Government Act*;
- D. The City and the Owner wish to amend the terms of the Agreement to allow a second principal dwelling (the "Second House") to be constructed on the Lands.

NOW THEREFORE this Amending Agreement witnesses that in consideration of the sum of \$1.00 paid by each party to the other and other good and valuable consideration (the receipt and

sufficiency of which each party hereby acknowledges), the parties hereby covenant and agree as follows:

1. Amendments

The Agreement is hereby amended as follows:

1.1. Under the recital "WHEREAS", by deleting Section A in its entirety and replacing it with the following new Section A:

A. The Owner is the registered owner in fee simple of the following lands and premises situate in the City of Surrey, British Columbia and described as:

Parcel Identifier: 026-507-323

Lot 2 Section 21 Township 1 New Westminster District Plan BCP21101

14040 - 32 Avenue

(the "Lands");

1.2. Under the recital "WHEREAS", by deleting Section F in its entirety and replacing it with the following new Section F:

F. The Owner has requested that the applicable provisions of the City of Surrey Zoning By-law, 1993, No. 12000, as amended, be varied or supplemented to accommodate the relocation of the Charles Feedham House to the Lands and the construction of a second principal dwelling (the "Second House") on the Lands; and

1.3. By deleting Section 2(f) of the Agreement in its entirety and replacing it with the following new Section 2(f):

(f) in the event that the Feedham House is destroyed, in addition to the construction of a replica described in 2(e), the Owner covenants and agrees to compensate the City for the loss in *heritage value* to the community in the amount of \$19,631.13.01 indexed to the Vancouver Consumer Price Index with 2022 being the base year, except that if the Feedham House is destroyed through natural causes, including but not limited to, flood, earthquake and accidental fire as determined by the City in its sole discretion, and a replica is constructed by the Owner that is acceptable to the Heritage Advisory Commission or any successor decision making body in its sole discretion, then payment of compensation by the Owner to the City is not required;

1.4. In Section 14 of the Agreement, by deleting the references to the Previous Owner's name and mailing address under the phrase "If to the Owner:" and replacing them with the following name and address:

S. 22(1) JACK
14040 - 32 Avenue
Surrey, BC, V4P 2J2

1.5. In Schedule A, Part II, Section 4 of the Agreement, by deleting the text after the heading "**4. Heritage Alteration Permit(s) Approval**" and replacing it with the following new text:

- A. Changes to the building, structure, exterior appearance of the Feedham House, features on the Lands identified in the Conservation Plan or character-defining elements may require the Owner to apply for a heritage alteration permit or obtain approval from the City.

Proposed changes shall be referred to the Planning & Development Department of the City prior to the commencement of any work to determine if the changes require or do not require a heritage alteration permit.

- B. A heritage alteration permit may not be required for alterations including, but not limited to, the following:
- (a) changes to the Conservation Plan that are considered by the City Architect to be minor in nature and not affecting the character-defining elements of the Feedham House;
 - (b) restorations considered by the City Architect to be consistent with the original design, being made to replace stylistically foreign elements and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City;
 - (c) simple repair and maintenance of existing elements not affecting the *building* structure, exterior or interior appearance of the Feedham House;
- or
- (d) changes to the exterior of the Second House that are considered by the City Architect to be complimentary to the character of the Feedham House and do not overpower the Feedham House. If the exterior colour scheme of the Second House is changed, the new colour scheme should be selected from a heritage palette.
- C. A heritage alteration permit shall be required for all but minor alterations including, but not limited to, the following:
- (a) changes to the Feedham House structure;

- (b) changes to the exterior appearance of the Feedham House;
- (c) replacement of existing elements and/or construction of additions to the Feedham House;
- (d) changes to the external appearance of the Feedham House due to interior renovations;
- (e) additions to or demolition of all, or part, of the Second House that are not provided for in the Plans and Elevations for the Second House attached as Schedule "E" of this Agreement.

If a heritage alteration permit is determined to be required, the Owner shall apply to the City for a heritage alteration permit before undertaking any of the works listed in this Section 1.5.C.

After the heritage alteration permit application is submitted, the heritage alteration permit will be considered for issuance by City Council upon the recommendation of the General Manager, Planning and Development and the Heritage Advisory Commission, or by a City official delegated by City Council.

- 1.6. In Schedule "A", Part III of the Agreement, by adding a second paragraph to Section 5. as follows:

The construction of a Second House on the Lands is permitted in accordance with the provisions of this Agreement.

- 1.7. In Schedule "A", Part III of the Agreement, by deleting the text of Section 9 and replacing it with the following new text:

The plans and elevations for the Second House attached as Schedule "E" form part of this Agreement.

- 1.8. In Schedule "B" of the Agreement, by deleting Section 1 and replacing it with the following new Section 1:

1. Section B Permitted Uses is hereby varied by deleting Subsection 1 and replacing it with the following:

"1. Two principal *single family dwellings* which may not contain a *secondary suite*."

- 1.9. In Schedule "B" of the Agreement, by deleting Section 2 and replacing it with the following new Section 2:

2. Subsection 2(b) in Section D. Density is varied by decreasing the *floor area ratio* (FAR) from 0.32 to 0.23.

1.10 In Schedule "B" of the Agreement, by deleting Section 3 and replacing it with the following new Section 3:

3. Section F Yards and Setbacks is varied by replacing Subsection 1 as follows:

USES:	SETBACKS:			
	Front Yard	Rear Yard	Side Yard (west)	Side Yard (east)
<i>Principal Building and Structures</i>	7.5 m	5.6 m	4.5 m	4.3 m
<i>Accessory Buildings</i>	7.5 m	7.5 m	4.5 m	4.5 m

1.11 By adding to the Agreement the new SCHEDULE "E" attached to this Amending Agreement.

2. Due Execution

The Owner hereby represents and warrants to the City that this Amending Agreement has been duly authorized and executed by the Owner and that the delivery of this Amending Agreement has been duly authorized by all necessary corporate action on the part of the Owner.

3. Full Force and Effect

The City and the Owner hereby agree that the Agreement shall hereinafter be read and construed in conjunction with this Amending Agreement and be regarded as being amended only to the extent herein provided, that all the terms, covenants, provisos, conditions and provisions of the Agreement, as amended hereby, shall continue to be in full force and effect and that nothing herein contained shall operate or be construed to modify or otherwise affect the rights and obligations created by the Agreement as amended hereby.

4. Enurement

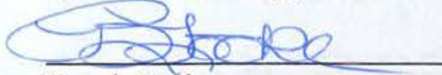
This Agreement shall enure to the benefit of and be binding upon the respective successors and permitted assigns of the City and the Owner.

5. Notice to be Filed

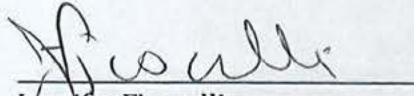
Notice of this Agreement will be filed in the Land Title Office and once filed, this Agreement will be binding on all persons who acquire an interest in the Lands.

IN WITNESS WHEREOF the parties have executed this Amending Agreement as of the date set out above.

CITY OF SURREY
by its authorized signatories



Brenda Locke
Mayor



Jennifer Ficocelli
City Clerk



ss. 22(1) JACK

SCHEDULE "E"

PLANS AND ELEVATIONS FOR THE SECOND HOUSE



FEEDHAM HOUSE GARAGE / STUDIO REDEVELOPMENT MAY 2023

ZONING REVIEW

ZONE: RH - [HALF-ACRE RESIDENTIAL]

EXISTING: HERITAGE HOUSE & DETACHED GARAGE/STUDIO, 15% LOT COVERAGE, 0.15 FAR (2493 SQ.FT.)

PROPOSED HRA AMENDMENTS:

1. FAR IS WITHIN THE LIMITS BECAUSE BASEMENT FLOOR VOLUME OF NEW HOUSE IS BURIED 65%
2. REAR SETBACK - 5.60 m (7.5 m required)
3. SIDE YARD SETBACK (EAST) - 4.33 m (4.5m required)

HERITAGE HOUSE AND LARGER NEW SINGLE FAMILY DWELLING (EXISTING GARAGE/STUDIO RETAINED AS PART OF THE NEW FAMILY DWELLING), 22.46% LOT COVERAGE, 0.22 FAR

* RETAIN AND INCORPORATE THE EXISTING GARAGE/STUDIO INTO A NEW REAR ADDITION.

ZONING DATA:

SITE AREA: 16635.71 SQ.FT. - 1545.44 sq. m.
 REAR YARD SETBACK (ACCESSORY BUILDINGS & STRUCTURES GREATER THAN 108 SQ.FT. - 25 FT (7.32m)
 SIDE YARD SETBACK -3 FT. (0.91 m)
 HEIGHT OF ACCESSORY BUILDINGS: 16.5 FT. - 5.03 m.
 LANDSCAPING - SITE TO BE LANDSCAPED W/ RETENTION OF MATURE TREES
 BASEMENT AREA EXEMPTION: THE LOWER FLOOR OF THE PROPOSED REAR HOUSE IS MORE THAN 50% BELOW ADJACENT GRADE, ON AVERAGE, AND IS EXEMPT FROM AREA CALCULATIONS

PARKING: REQUIRED PARKING: 3 PARKING SPACES PER HOUSE - 6 SPACES
 PARKING ACHIEVED: 4 PARKING SPACES AT THE HERITAGE HOUSE AND 2 AT THE NEW REAR HOUSE FOR A SITE TOTAL OF 6 SPACES

DRAWING LIST

0-01A	SITE SURVEY
EX-0	EXISTING SITE PLAN
EX-1-01	EXISTING GARAGE GROUND FLOOR PLAN
EX-1-02	EXISTING GARAGE 2ND FLOOR PLAN
EX-1-03	EXISTING GARAGE ROOF PLAN
EX-1-04	EXISTING HERITAGE HOUSE GROUND FLOOR PLAN
EX-1-05	EXISTING HERITAGE HOUSE 2 ND FLOOR PLAN
EX-1-06	EXISTING HERITAGE HOUSE ROOF PLAN
EX-2-00	EXISTING HERITAGE HOUSE ELEVATIONS
DE-A1-00	DEMOLITION DRAWINGS TO BE PROVIDED
PR-0	PROPOSED SITE PLAN
PR-L-01	PROPOSED LANDSCAPE PLAN
PR-L-02	PROPOSED LANDSCAPE PLAN NEW HOUSE
PR-L-03	LANDSCAPE PLANT LIST
PR-1-01	GROUND FLOOR CONCEPT PLAN
PR-1-02	UPPER FLOOR CONCEPT PLAN
PR-2-00	NORTH AND SOUTH ELEVATIONS
PR-2-01	EAST ELEVATION
PR-2-02	EAST ELEVATION WHOLE SITE
PR-4-01	HARDIE BOARD AND BATTEN DETAIL
PR-4-02	STAIR DESIGN DETAIL
PR-4-02a	STAIR SECTION DETAIL
PR-4-03	BUILDING BURIAL ANALYSIS
PR-4-03a	BUILDING BURIAL ANALYSIS
PR-5-01/06	PROPOSED 3D MODEL VIEWS
PR-6-01	MATERIALS AND FINISHES SCHEDULE



REV.	DESCRIPTION	DATE
3	REVISED FOR SP	07/26/23
2	REVISED FOR SP	06/29/23
1	ISSUED FOR SP	04/14/23

PROJECT:
**FEEDHAM HOUSE
 GARAGE / STUDIO
 REDEVELOPMENT**
 14040 - 32ND AVENUE, SURREY

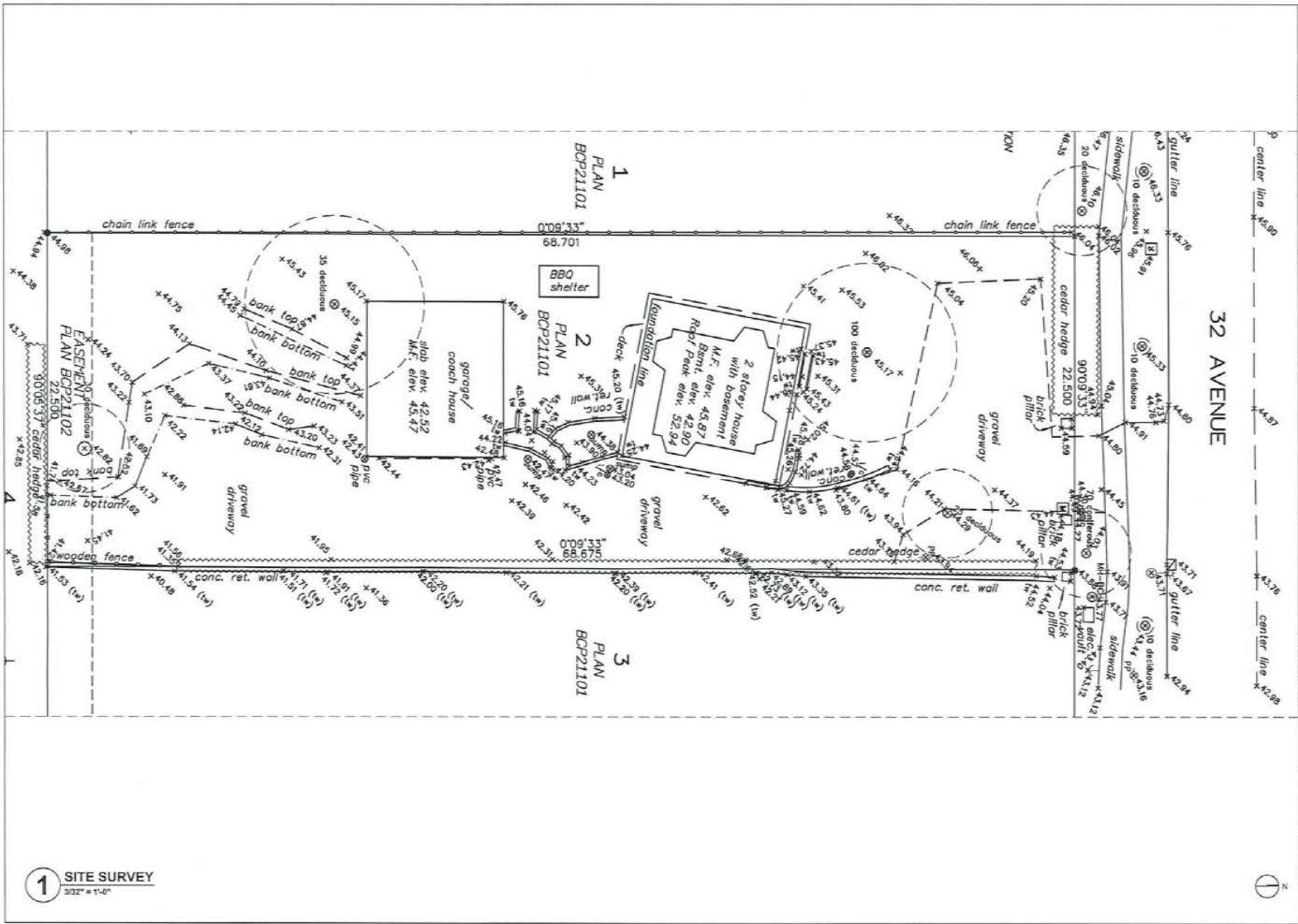
TITLE:
COVER SHEET

DRAWN BY: DN
 DATE: 01/04/2022
 SCALE: NTS
 DWG#: 00

CIVIC ADDRESS
 14040 - 32ND AVENUE,
 SURREY, BC, V4P 2J2

LEGAL DESCRIPTION
 LOT 2 SECTION 21 TOWNSHIP 1 PLAN
 BCP21101 NWD

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REV.	DESCRIPTION	DATE
3	REVISED FOR DP	07/20/20
2	REVISED FOR DP	06/23/20
1	REVISED FOR DP	05/19/20

PROJECT:
**FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

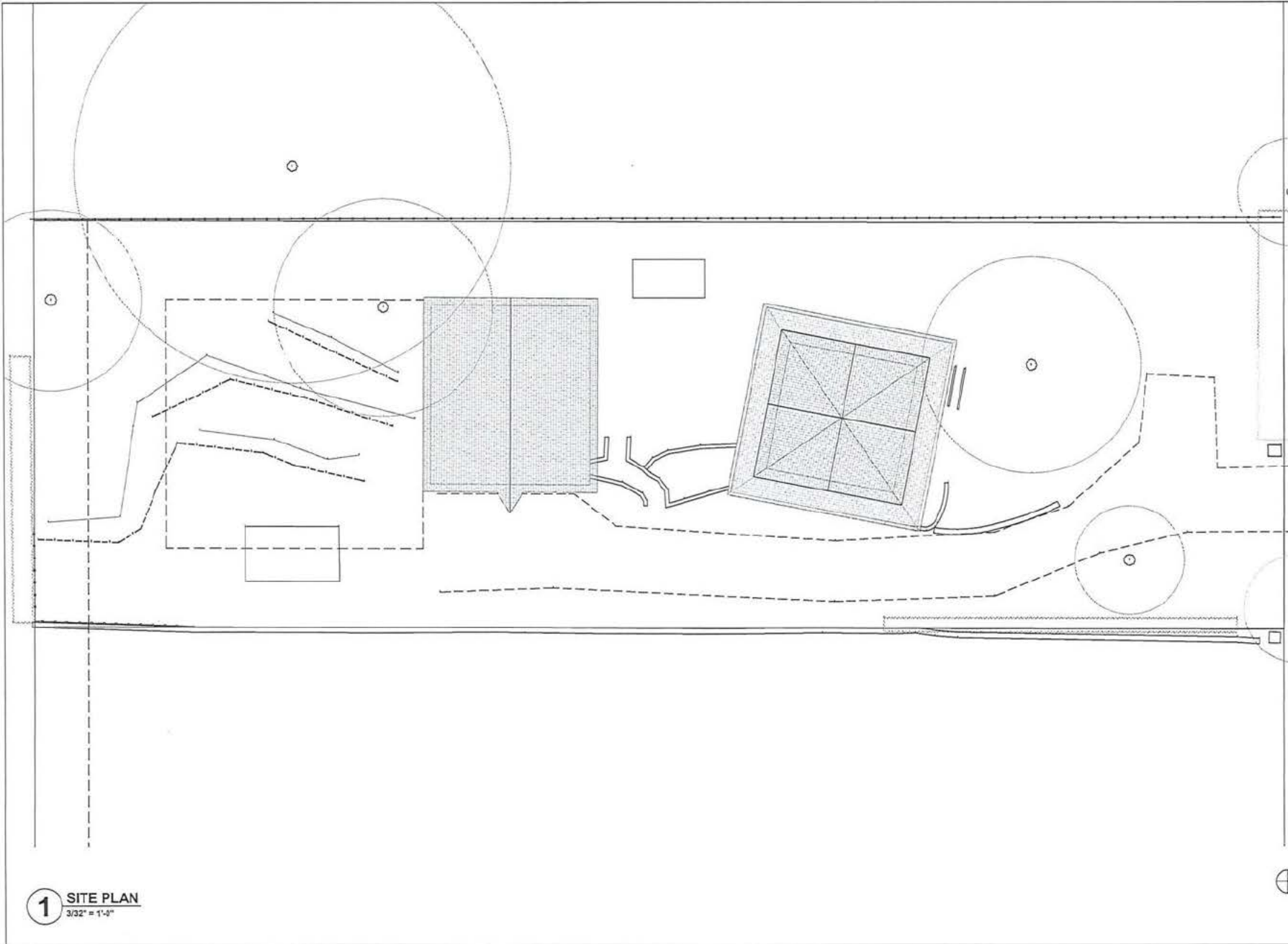
TITLE:
SITE SURVEY

DRAWN BY: DN
DATE: 01/04/2022
SCALE: 3/32" = 1'-0"
DWG#



1 SITE SURVEY
3/32" = 1'-0"

0-01A



1 SITE PLAN
3/32" = 1'-0"

McGinn Engineering & Preservation Ltd.
Barry McGinn Architect
#603-402 West Pender St. Vancouver, B.C.
Tel: 604-473-5886 Fax: 604-473-1877
Web: www.mcgin-engineering.com

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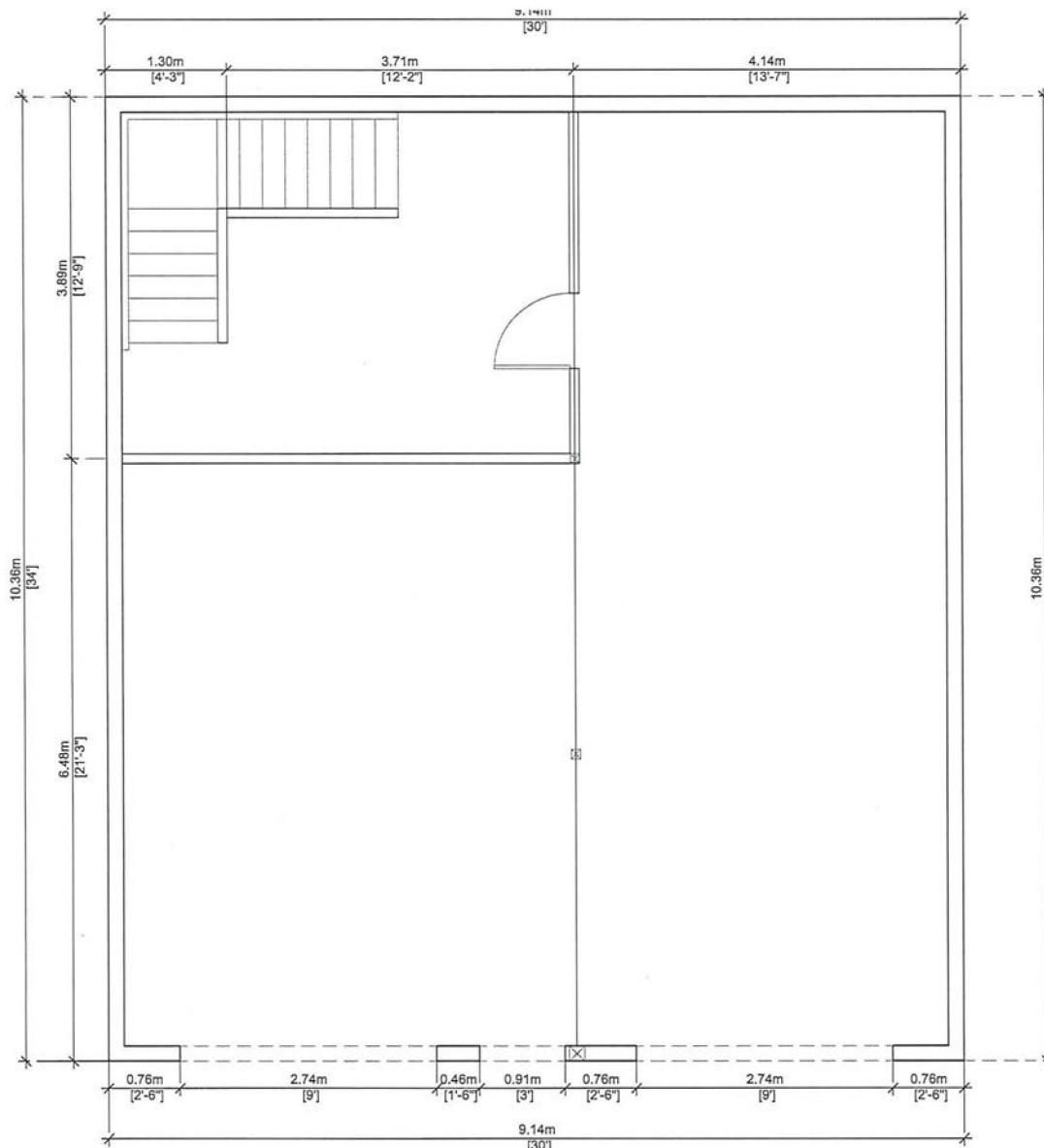
REV.	DESCRIPTION	DATE
3	REVISED FOR SP	07/26/20
2	REVISED FOR SP	06/29/20
1	ISSUED FOR SP	09/24/19

PROJECT:
**FEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

TITLE:
**EXISTING
SITE PLAN**

DRAWN BY: DN
DATE: 01/04/2022
SCALE: 3/32" = 1'-0"
DWG:

EX-0



1 GARAGE GROUND FLOOR PLAN
1/2" = 1'-0"

McGinn Engineering & Preservation Ltd.
Barry McGinn Architect
#803-402 West Pender St. Vancouver, B.C.
Tel: 604-473-9866 Fax: 604-473-9877
Web: www.mcginn-engineering.com

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REV.	DESCRIPTION	DATE
3	REVISED FOR DP	07/09/20
2	REVISED FOR DP	06/29/20
1	ISSUED FOR DP	05/04/20

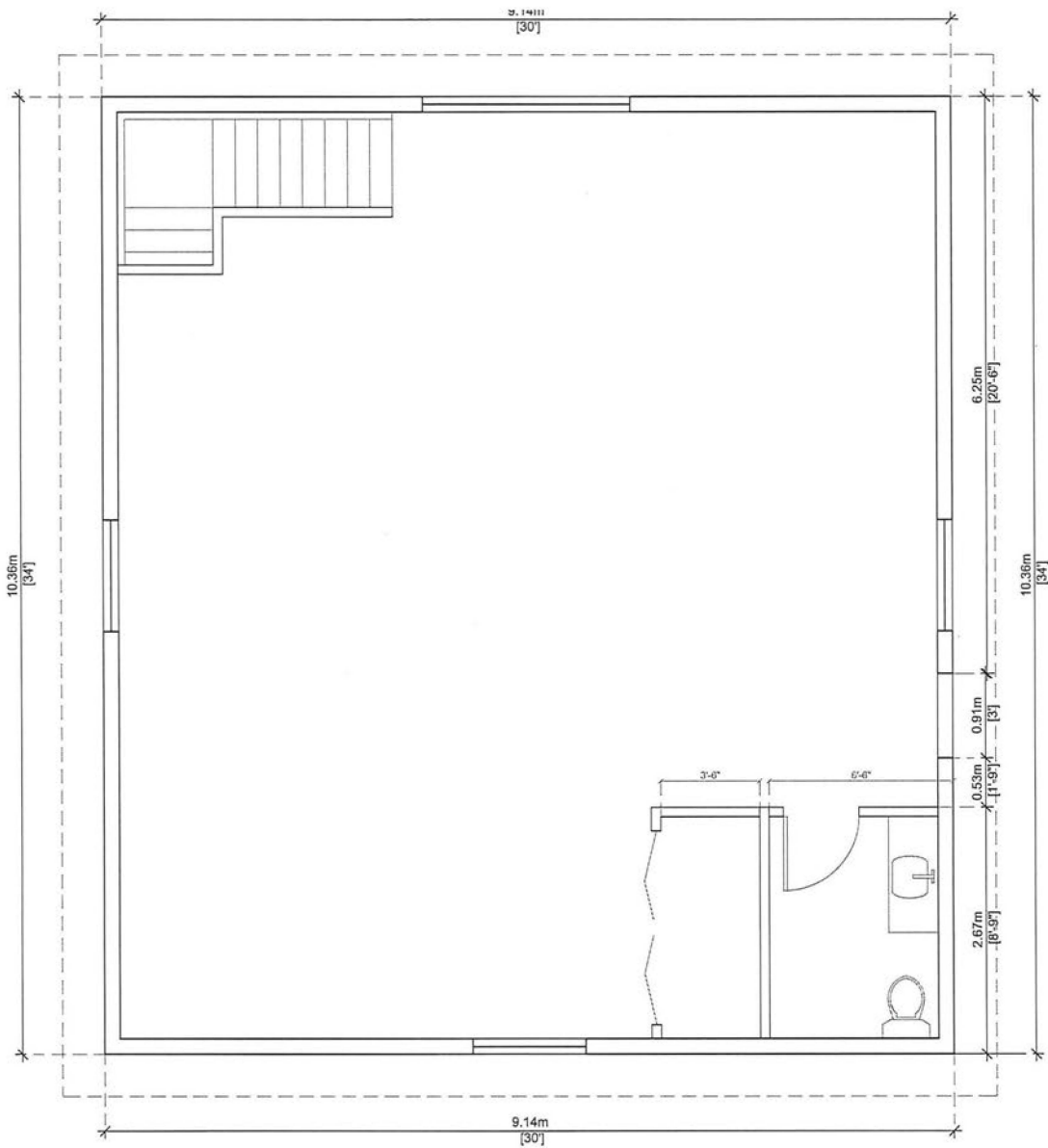
PROJECT:
**FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

TITLE: **EXISTING
GARAGE GROUND FL
PLAN**

DRAWN BY: DN
DATE: 01/04/2022
SCALE: 1/2" = 1'-0"

DWG#: **EX-1-01**





1 GARAGE 2ND FLOOR PLAN
1/2" = 1'-0"

McGinn Engineering & Preservation Ltd.
Barry McGinn Architect
8803-402 West Pender St. Vancouver, B.C.
Tel: 604-473-9566 Fax: 604-473-9877
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REV.	DESCRIPTION	DATE
3	REVISED FOR DP	07/26/20
2	REVISED FOR DP	06/29/20
1	ISSUED FOR DP	05/04/20

PROJECT:
**FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

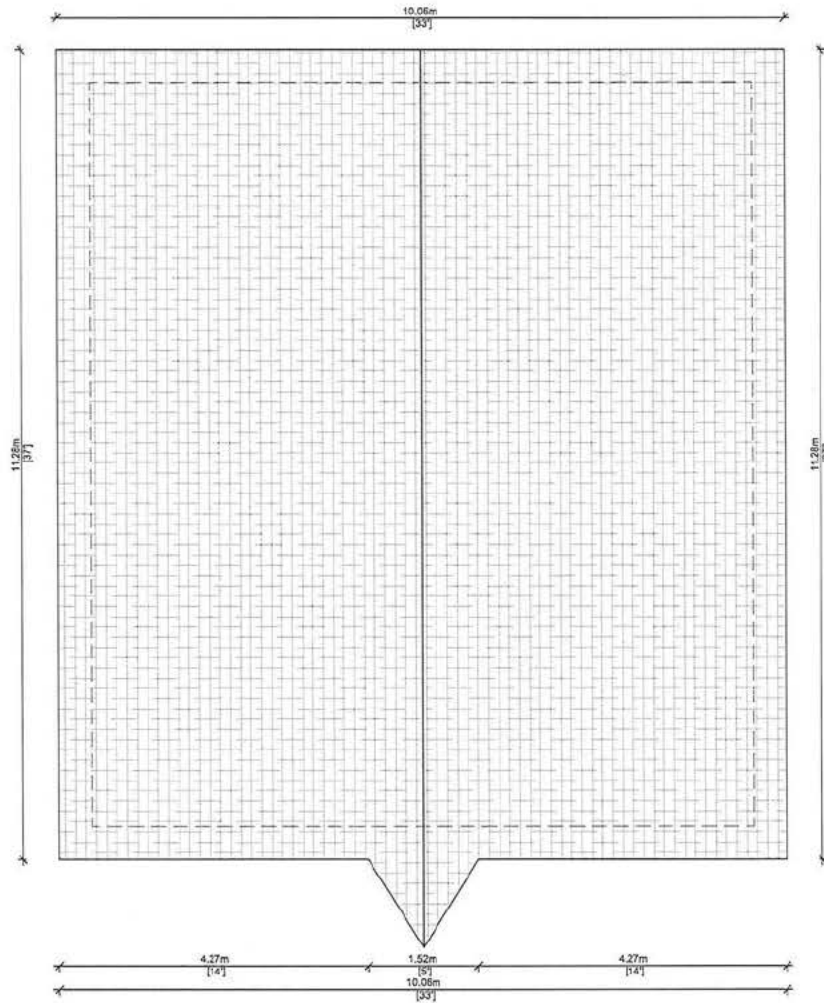
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GARAGE 2ND FLOOR
PLAN**

DRAWN BY: DN
DATE: 05/04/2022
SCALE: 1/2" = 1'-0"



DWG# **EX-1-02**

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1 GARAGE ROOF PLAN
3/8" = 1'-0"



REV.	DESCRIPTION	DATE
3	REVISED FOR DP	07/26/21
2	REVISED FOR DP	06/29/21
1	ISSUED FOR DP	06/14/21

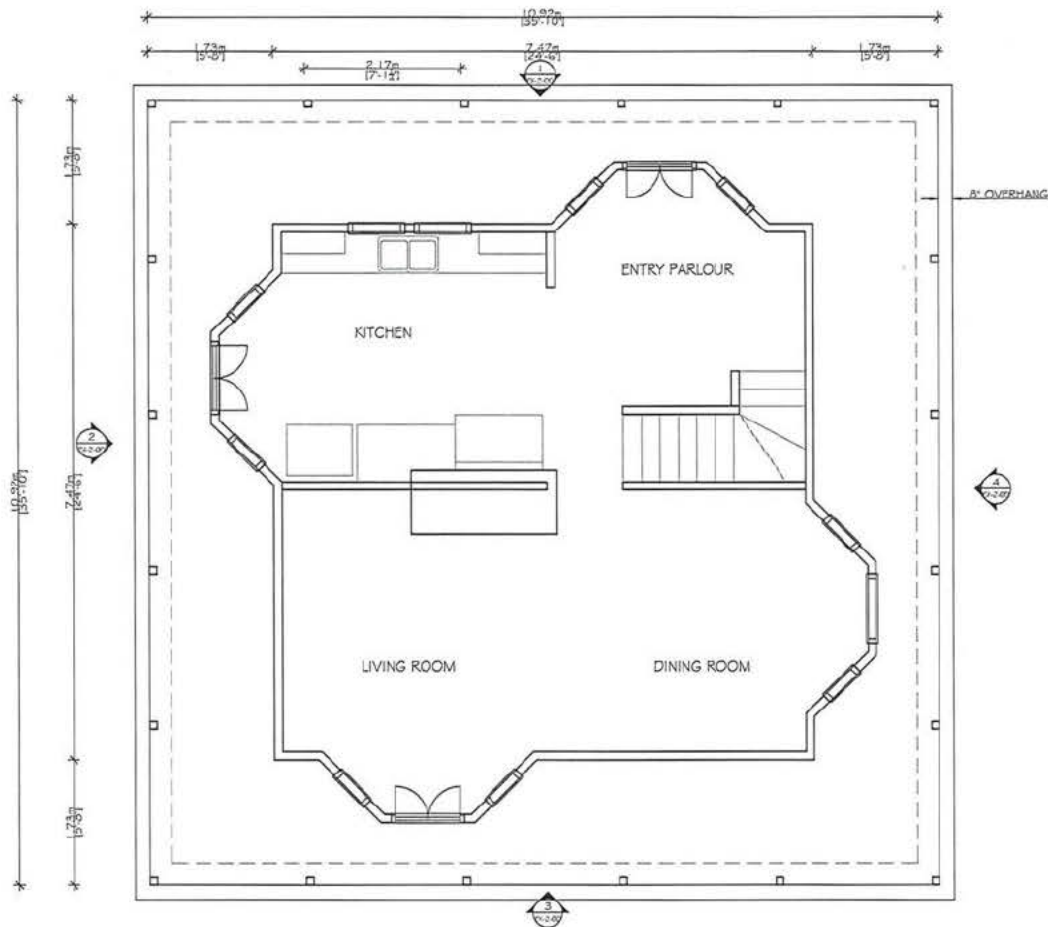
PROJECT:
**FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

TITLE:
**EXISTING
GARAGE ROOF
PLAN**

DRAWN BY: DN
DATE: 05/04/2022
SCALE: 3/8" = 1'-0"
DWG#:



EX-1-03



1 Ground Floor Plan
3/8" = 1'-0"



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3	REVISED FOR DP	07/28/22
2	REVISED FOR DP	06/29/22
1	ISSUED FOR DP	06/04/22

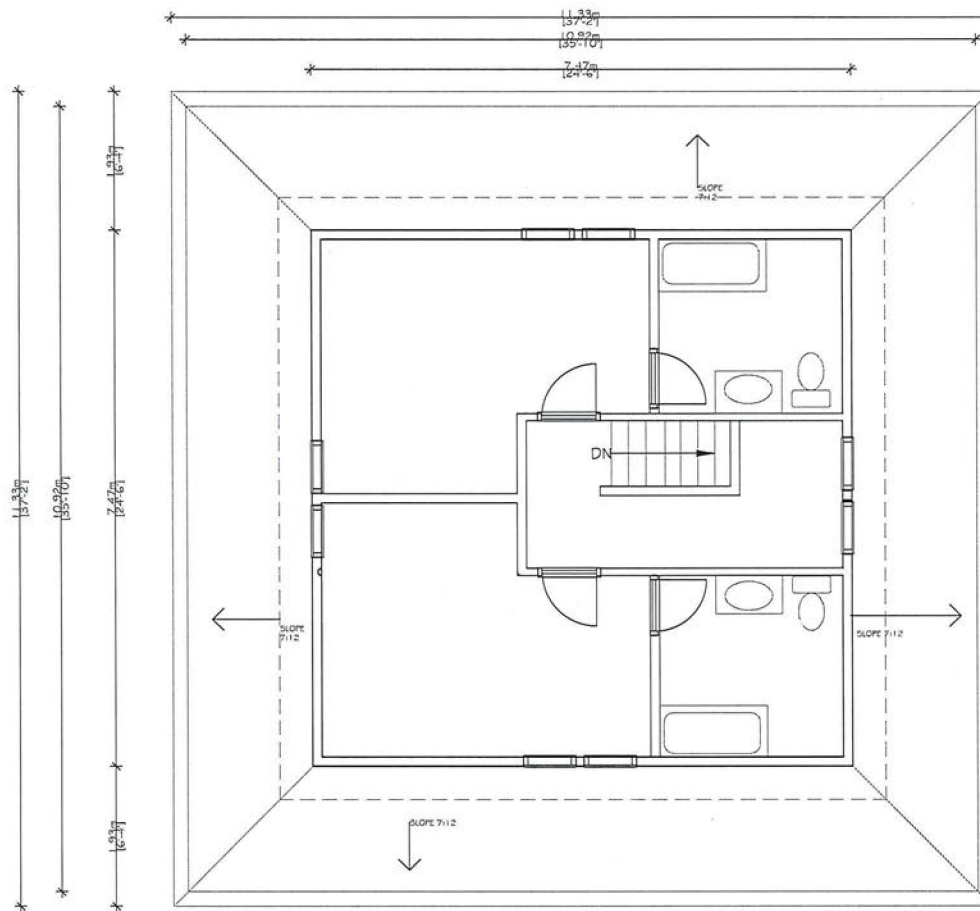
PROJECT:
**FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

TITLE:
**EXISTING HERITAGE HOUSE
GROUND FLOOR PLAN**

DRAWN BY: DN
DATE: 01/04/2022
SCALE: 3/8" = 1'-0"
DWG#:



EX-1-04



1 First Floor Plan
3/8" = 1'-0"



REV.	DESCRIPTION	DATE
3	REVISED FOR DP	07/26/20
2	REVISED FOR DP	06/29/20
1	ISSUED FOR DP	05/04/20

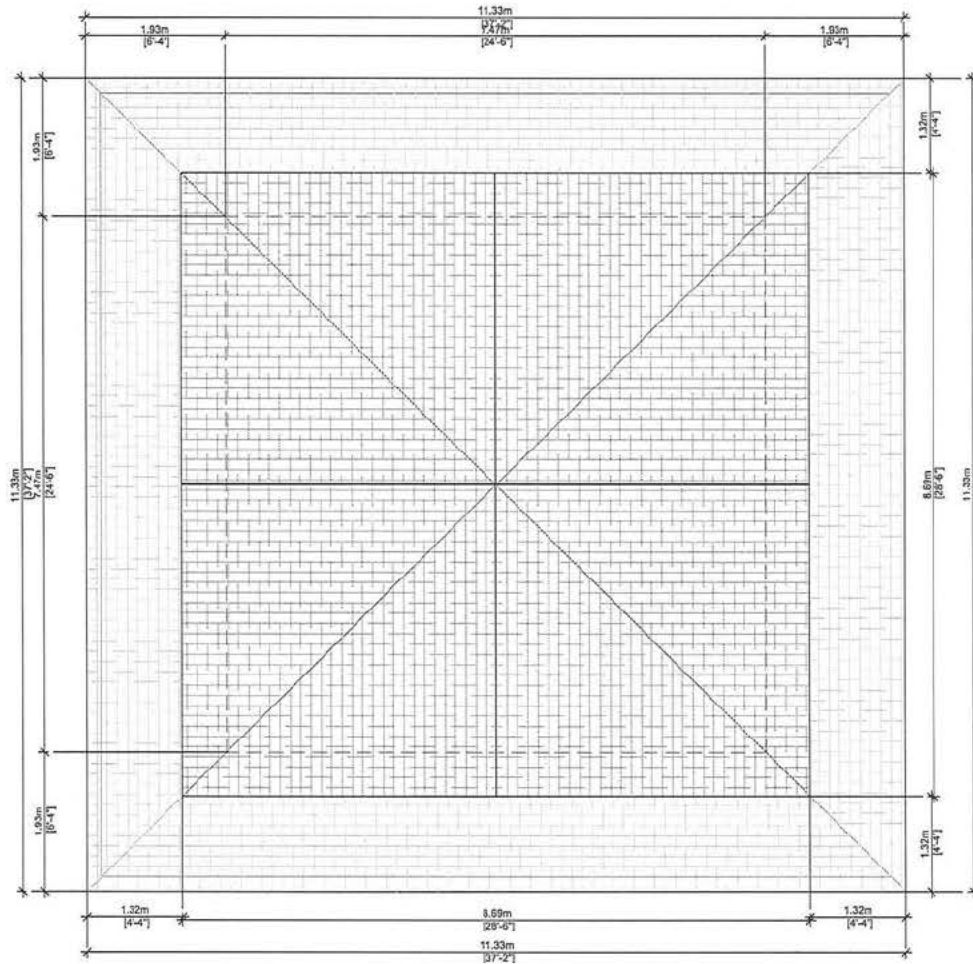
PROJECT:
**FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

TITLE:
**EXISTING HERITAGE HOUSE 2
FLOOR PLAN**

DRAWN BY: DN
DATE: 01/04/2022
SCALE: 3/8" = 1'-0"
DWG#:



EX-1-05



REV.	DESCRIPTION	DATE
3	REVISED FOR EP	07/26/23
2	REVISED FOR EP	05/29/23
1	ISSUED FOR EP	09/04/22

PROJECT:
**FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

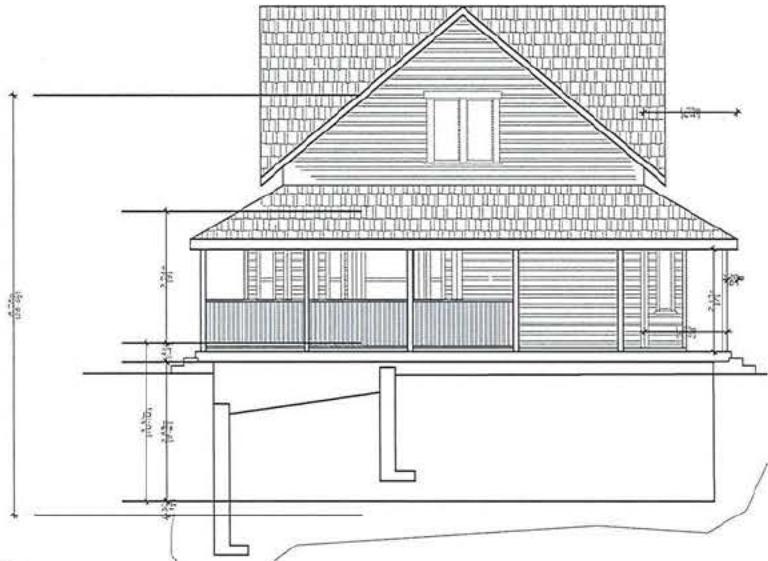
TITLE:
**EXISTING HERITAGE HOUSE
ROOF PLAN**

DRAWN BY: DN
DATE: 01/14/2022
SCALE: 1/8" = 1'-0"
DWG#:

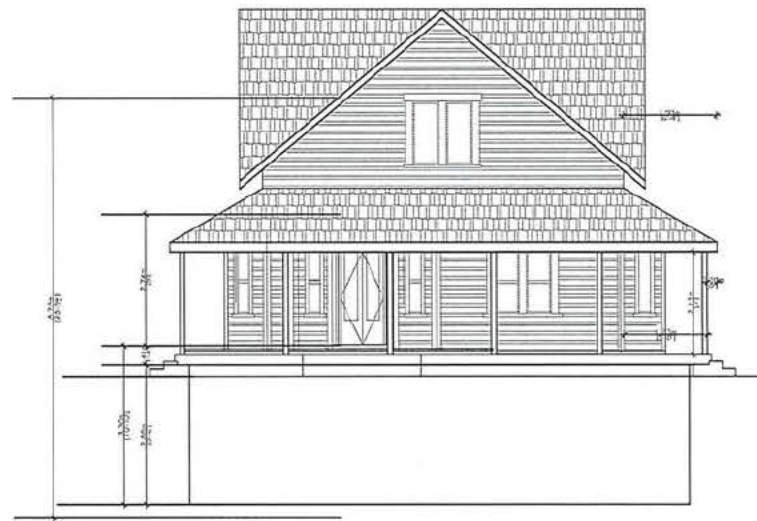


1 HERITAGE HOUSE ROOF PLAN
3/8" = 1'-0"

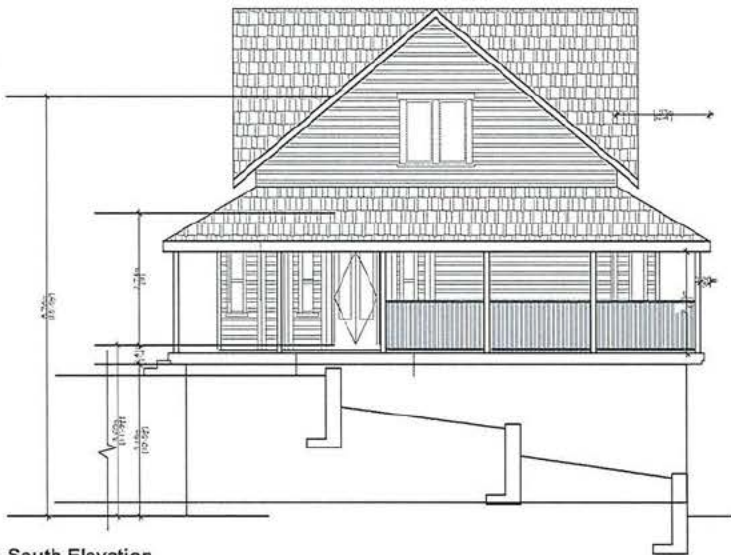
EX-1-06



1 North Elevation
3/8" = 1'-0"



2 West Elevation
3/8" = 1'-0"



3 South Elevation
3/8" = 1'-0"



4 East Elevation
3/8" = 1'-0"

REV.	DESCRIPTION	DATE
3	REVISED FOR CP	07/29/20
2	REVISED FOR CP	06/29/20
1	ISSUED FOR CP	06/24/20

PROJECT:
FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT
14040 - 32ND AVENUE, SURREY

TITLE:
EXISTING HERITAGE HOUSE
ELEVATIONS

DRAWN BY: DN

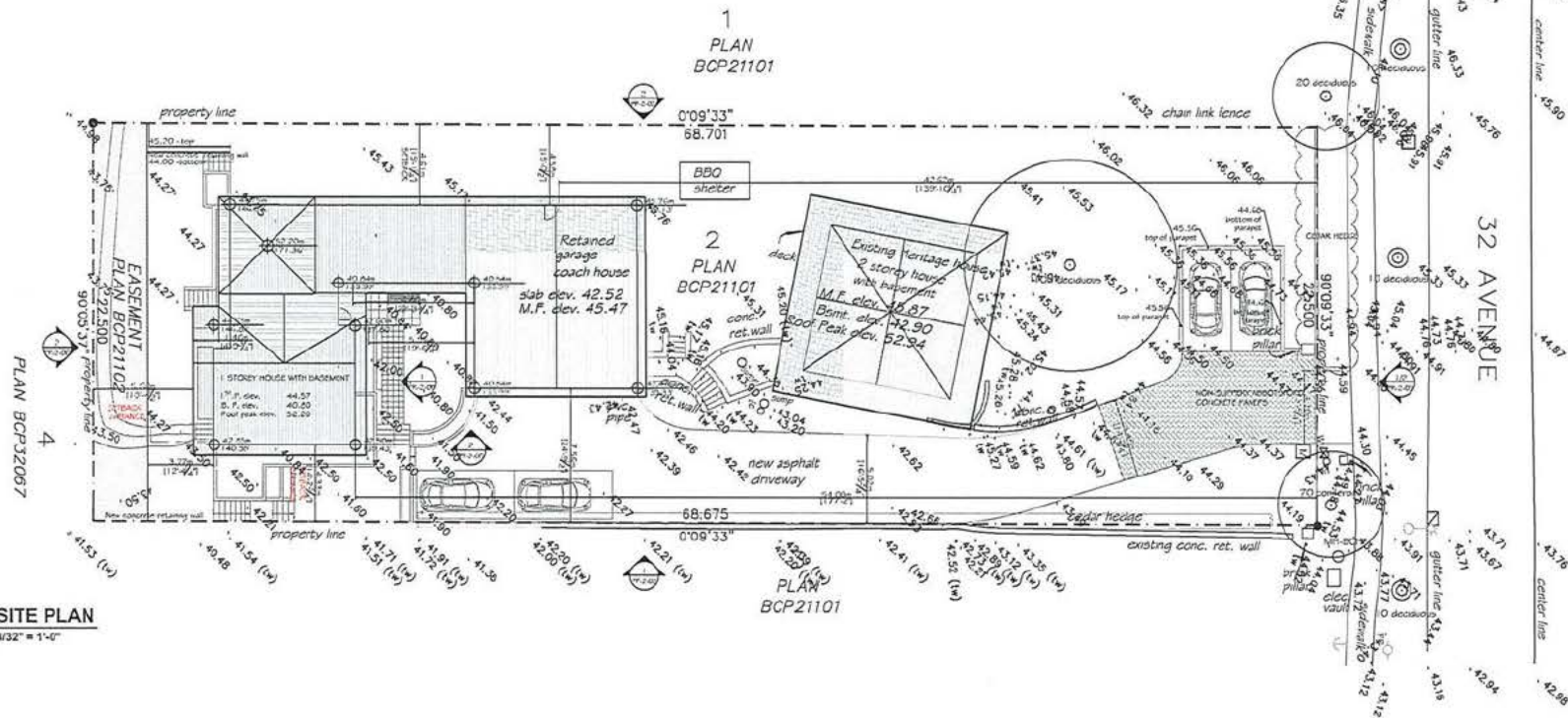
DATE: 01/24/22

SCALE: 3/8" = 1'-0"

DWG#:

EX-2-00

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1 SITE PLAN
3/32" = 1'-0"

NEW RESIDENTIAL HOUSE	IMPERIAL	METRIC
Lot Area	16635.71 sq. ft.	1545.44 sq. m.
Building Footprint	2452.37 sq. ft.	227.03 sq. m.
Lot Coverage (new house)	14.74%	14.74%
Lot Coverage (both houses)	22.46%	22.46%
Dwelling Units	1	1
Parking	4	4
SETBACKS		
Rear	12 ft. 3/4 in.	5.60 m
Side (west)	15 ft. 1 1/2 in.	4.61 m
Side (east)	14 ft. 2 1/2 in.	4.33 m
Front	13 ft. 1 in.	39.93 m
Building depth	74 ft. 1 1/2 in.	22.65 m
Height (from avg. grade to roof ridge)	27 ft. 6 1/2 in.	8.39 m
ABOVE GRADE FLOOR AREA		
Basement Floor	2423 sq. ft. (65% banded) - refer to R6-D4-02 and R6-D4-03 - not included in FAR	225.10 sq. m.
First Floor	2475 sq. ft.	229.94 sq. m.
AGFA	2475 sq. ft.	229.94 sq. m.
Existing FAR - Heritage House and Garage	0.15 - from Surrey Act60	0.15
FAR - Proposed House	0.15 (AGFA/LOT AREA)	0.15
FAR - Proposed House and Heritage House	0.22	0.22

EXISTING GARAGE / STUDIO IS BEING RETAINED AND ATTACHED TO A NEW FAMILY DWELLING - ALL CALCULATIONS ARE DONE AS ONE WHOLE AREA.

	RH DISTRICT REQUIREMENTS	NEW RESIDENTIAL HOUSE WITH HERITAGE HOUSE
Lot Area	2023.43 (half zone)	1545.44
Lot Coverage	25%	22.46%
F.A.R.	0.25	0.22
Building Height	9 m	8.30 m
SETBACKS		
FRONT	7.5	39.93 m
SIDE (WEST)	4.5	4.61 m
SIDE (EAST)	4.5	4.33 m
REAR	7.5	5.60 m

HERITAGE HOUSE INFORMATION		
Lot Area	16635.71 sq. ft.	1545.44 sq. m.
Heritage Building Footprint (with the porch)	1204.03 sq. ft.	110.25 sq. m.
Lot Coverage (Heritage House)	7.22%	7.72%
ABOVE GRADE FLOOR AREA		
First Floor	600 sq. ft.	63.17 sq. m.
Second Floor	600 sq. ft.	55.74 sq. m.
AGFA	1200 sq. ft.	110.93 sq. m.
FAR - Heritage House Only	0.07	0.07

NO WORK ON EXISTING HERITAGE HOUSE IS INCLUDED IN THIS SCOPE

REV.	DESCRIPTION	DATE
4	ISSUED FOR IRR REVIEW	03/25/22
3	REVISED FOR CP	07/26/20
2	REVISED FOR CP	06/29/20
1	ISSUED FOR CP	05/04/20

PROJECT:
FEEDHAM HOUSE GARAGE / STUDIO REDEVELOPMENT
14040 - 32ND AVENUE, SURREY

TITLE:
PROPOSED SITE PLAN

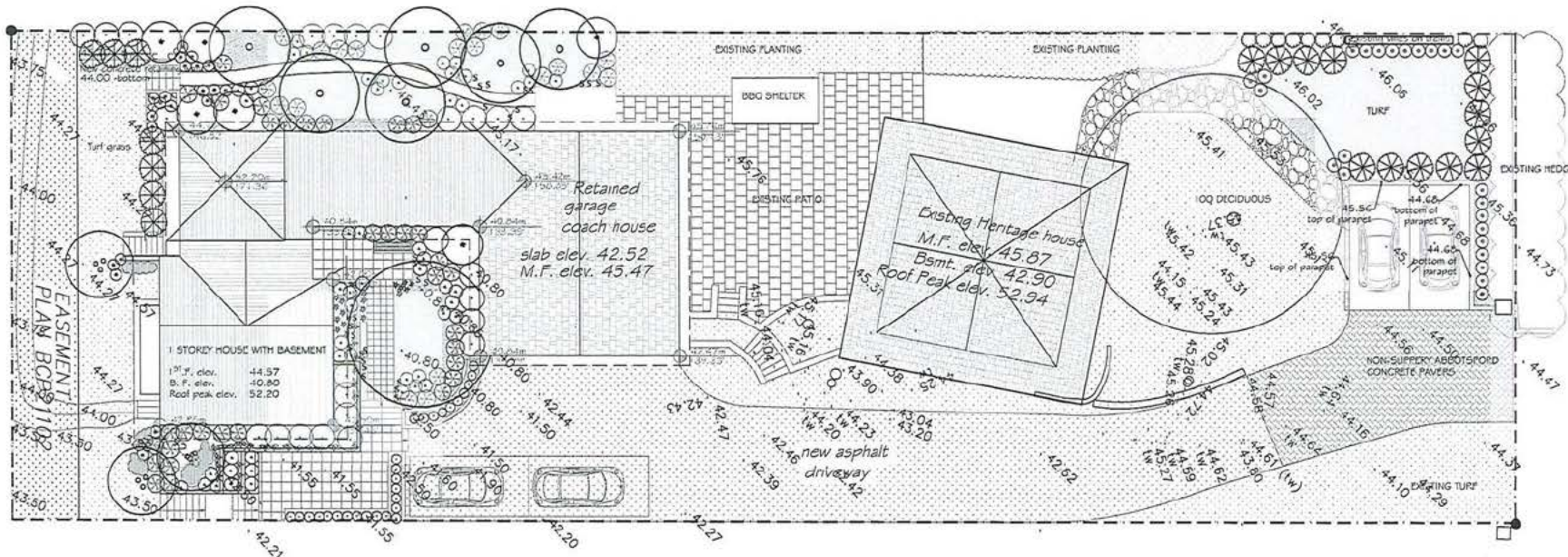
DRAWN BY: DN

DATE: 01/24/22

SCALE: 3/4" = 1'-0"

DWG:

PR-0



1 LANDSCAPE PLAN
1/8" = 1'-0"



REV.	DESCRIPTION	DATE
4	ISSUED FOR HRA REVISION	09/05/20
3	REVISED FOR SP	07/28/20
2	REVISED FOR SP	06/29/20
1	ISSUED FOR SP	09/04/19

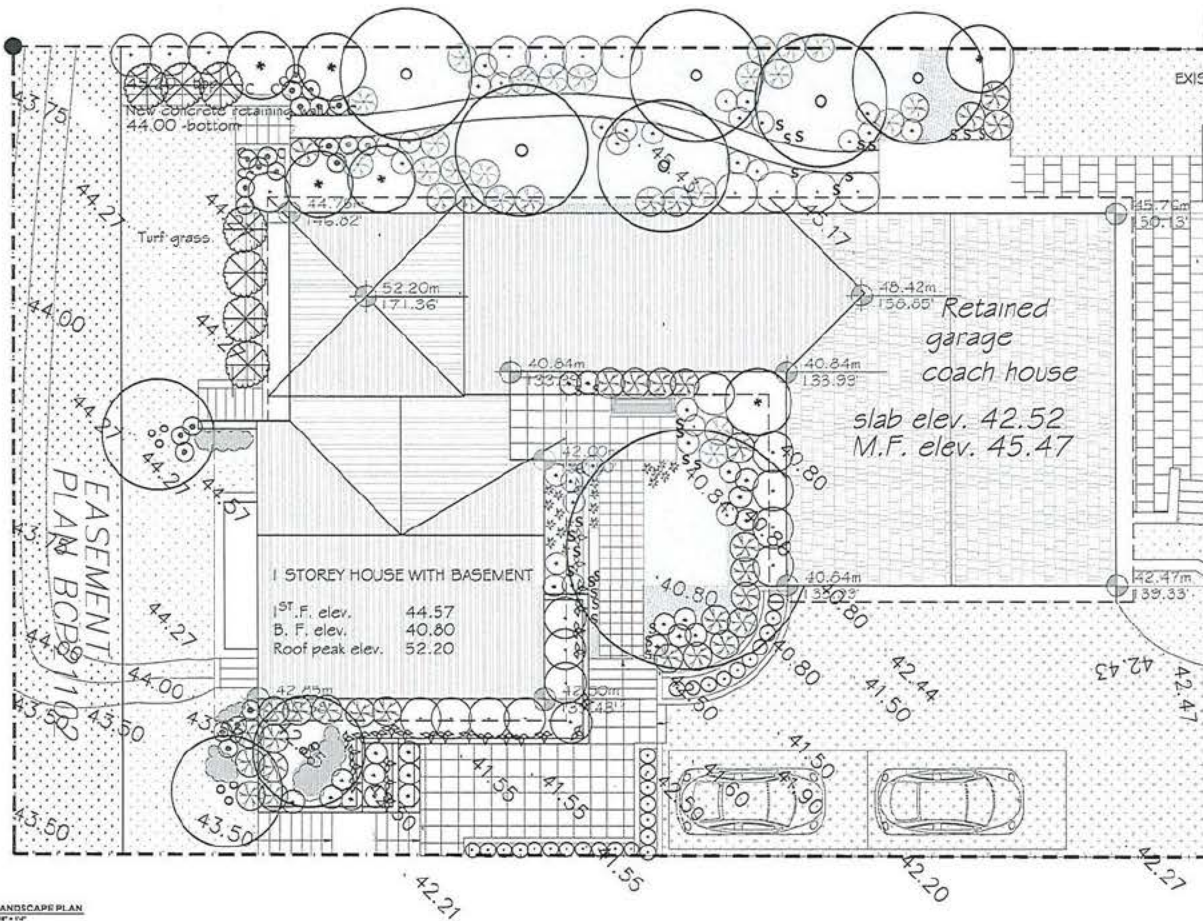
PROJECT:
**FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

TITLE:
**PROPOSED
LANDSCAPE PLAN**

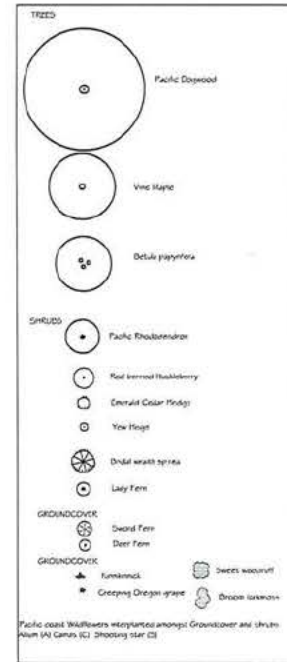
DRAWN BY: DN
DATE: 01/14/2022
SCALE: 1/8" = 1'-0"

DWG. NO.:
PR-L-01





1 LANDSCAPE PLAN



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REV.	DESCRIPTION	DATE
4	ISSUE FOR MHA REVIEW	05/05/2023
3	REVISED FOR DR DP	07/26/2022
2	REVISED FOR DR DP	06/29/2022
1	ISSUED FOR DR DP	06/04/2022

PROJECT:
**FEDHAM HOUSE
 GARAGE / STUDIO
 REDEVELOPMENT**
 14040 - 32ND AVENUE, SURREY

TITLE:
**PROPOSED
 LANDSCAPE PLAN
 NEW HOUSE**

DRAWN BY: DN
 DATE: 01/04/2022
 SCALE: 1/8" = 1'-0"

DWG#: **PR-L-02**

PLANT LIST					
	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	NOTES
TREES					
	<i>Acer circinatum</i>	Vine maple	6	3m ht	First branch at least 50 cm from ground. 7 of 8 replacement trees.
	<i>Betula papyrifera</i>	Paper Birch	3	#20 pot	3 Trunks per tree
	<i>Cornus nuttallii</i>	Pacific Dogwood	1	3m overall ht / 5cm min cal.	First branch no closer than 150 from ground. 1 of 8 replacement trees.
SHRUBS					
	<i>Rhododendron macrophyllum</i>	Pacific rhododendron	6	#10 pot	
	<i>Espirea prunifolia</i>	Bridal Wreath Spiraea	20	#3 pot	
	<i>Taxus media 'Hicksii'</i>	Yew hedge	28	#3 pot	Plant in trench
	<i>Thuja occidentalis 'Smaragd'</i>	Emerald Cedar	9	#5 pot	Plant in trench
	<i>Vaccinium parvifolium</i>	Red Huckleberry	25	#1 pot	
GROUNDCOVER/FERNS					
	<i>Athyrium filix-femina</i>	Lady fern	47	#1 pot	
	<i>Blechnum spicant</i>	Deer fern	52	#1 pot	
	<i>Galium odoratum</i>	Sweet woodruff	52	#1 pot	Plant on 1' centres
	<i>Kinnikinnick uva-ursi</i>	Kinnikinnick	27	#1 pot	
	<i>Mahonia repens</i>	Creeping Oregon grape	18	#1 pot	
	<i>Polystichum munitum</i>	Sword fern	54	#2 pot	
	<i>Dicranum scoparium</i>	Broom forkmoss	90	9cm pot	Substitute alternative is <i>Sagina subulata aurea</i>
	Turf grass	Kentucky Blue Grass (mix)	Sod to cover 1300 sq.ft add 5% contingency=1365 total	Sod	
BULB & PERENNIAL FLOWERS - IF AVAILABLE					
	<i>Camassia quamash</i>	Camas	50		Plant bulbs in drifts 5 per location noted
	<i>Dodecatheon maeda</i>	Shooting star	66	10 cm pot	Plant 3 pots per location noted
All bulbs and perennials to be interspersed amongst shrubs in a 'naturalized' configuration - can be omitted if not available.					

TREES



Cornus nuttallii
Pacific dogwood



Acer circinatum
Vine maple



Betula papyrifera
Paper birch



Thuja plicata 'Emerald Green'
Emerald Green Cedar



Taxus x media 'Hicksii'
Yew hedge

SHRUBS



Vaccinium parvifolium
Red Huckleberry



Rhododendron macrophyllum
Pacific Rhododendron



Spiraea prunifolia
Bridal Wreath Spiraea

FERNS/GROUNDCOVER



Polystichum munitum
Sword Fern



Blechnum spicant
Deer Fern



Athyrium filix-femina
Lady fern



Kinnikinnick uva-ursi
Kinnikinnick



Galium odoratum
Sweet woodruff



Mahonia repens
Creeping Oregon grape



Dicranum scoparium

WILDFLOWERS



Camassia quamash
Blue camas



Dodecatheon maeda
Shooting star

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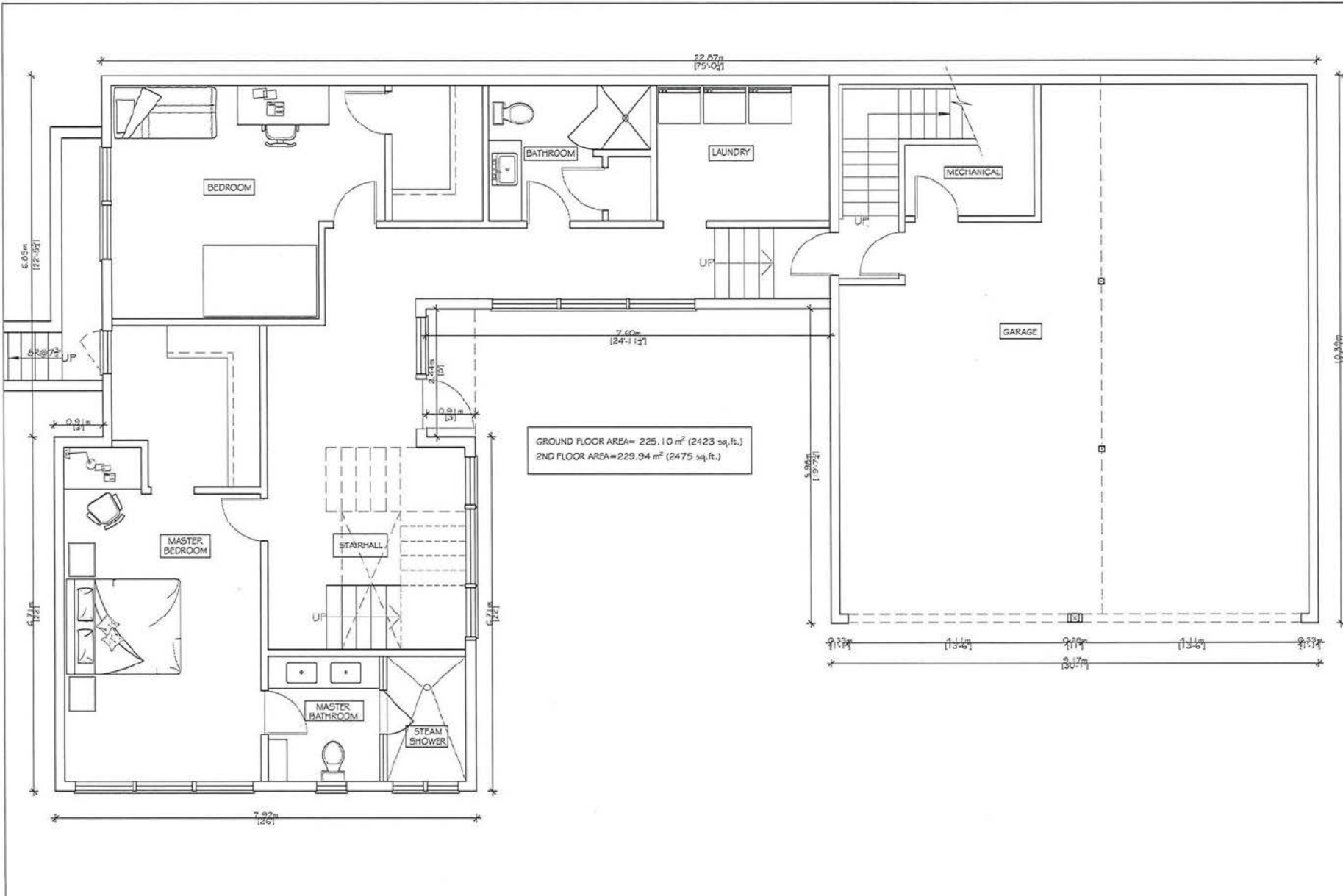
REV.	DESCRIPTION	DATE
3	REVISED FOR DP	07/26/2022
2	REVISED FOR DP	06/29/2022
1	ISSUED FOR DP	05/04/2022

PROJECT:
FEEDHAM HOUSE GARAGE / STUDIO REDEVELOPMENT
14040 - 32ND AVENUE, SURREY

TITLE:
LANDSCAPE PLANT LIST

DRAWN BY: DN
DATE: 01/04/2022
SCALE: 1/8" = 1'-0"

DWG#: **PR-L-03**



1 BASEMENT FLOOR PLAN
3/8" = 1'-0"

REV	DESCRIPTION	DATE
4	ISSUED FOR HSA REVIEW	05/05/22
3	REVISED FOR DP	07/26/22
2	REVISED FOR DP	06/29/22
1	ISSUED FOR DP	05/04/22

PROJECT:
**FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

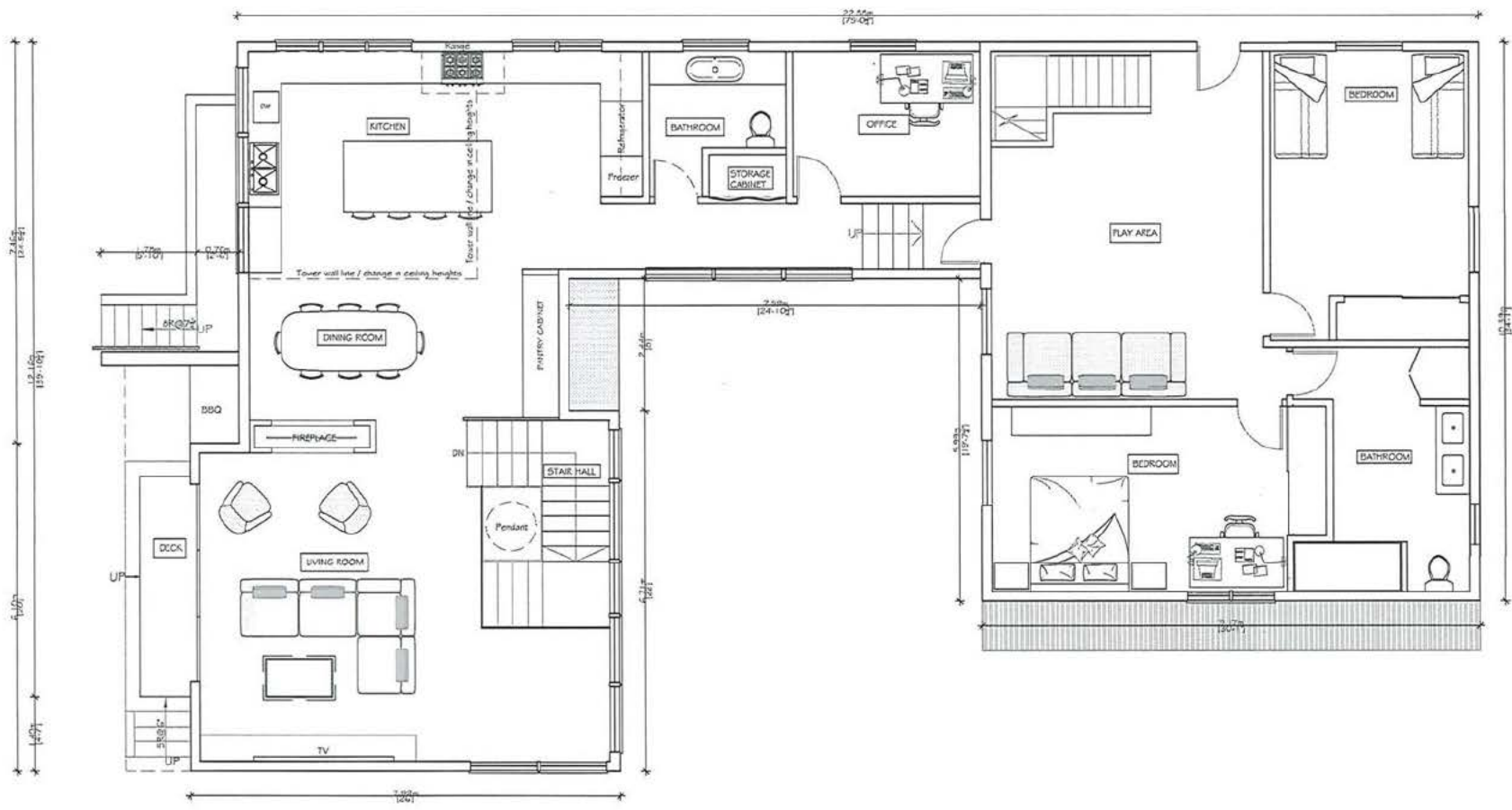
TITLE:
**PROPOSED
BASEMENT FLOOR PLAN**

DRAWN BY: DN
DATE: 01/04/2022
SCALE: 3/8" = 1'-0"

DWG#: **PR-01-01**



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1 FIRST FLOOR PLAN
5/16" = 1'-0"

REV.	DESCRIPTION	DATE
4	ISSUED FOR HVA REVISION	09/05/22
3	REVISED FOR DP	07/06/22
2	REVISED FOR DP	06/29/22
1	ISSUED FOR DP	05/04/22

PROJECT:
**FEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

TITLE:
**PROPOSED
FIRST FLOOR PLAN**

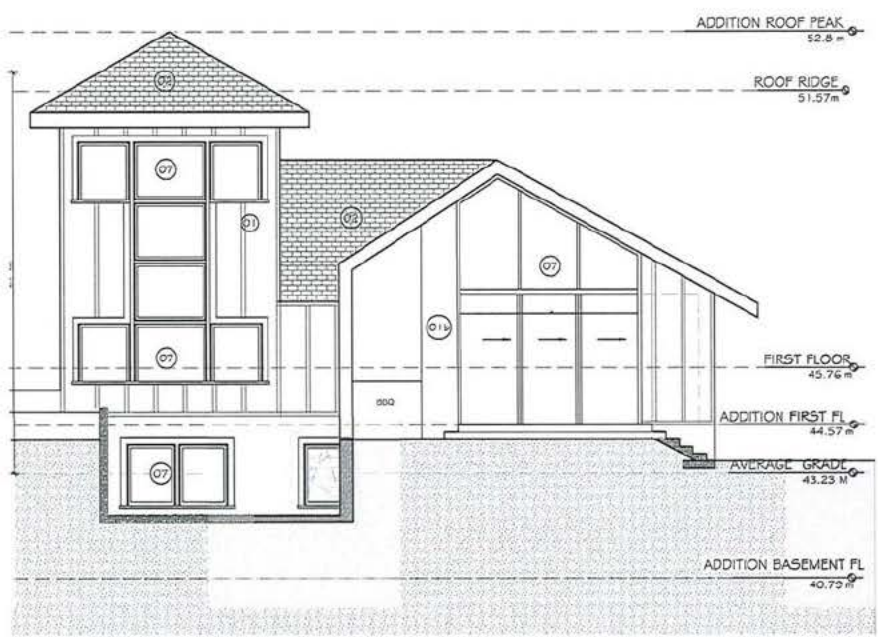
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DATE: 01/04/2022
SCALE: 1/8" = 1'-0"
DWG#

PR-01-02

PLEASE REFER TO PR-04-03 FOR MATERIALS AND FINISHES SCHEDULE

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1 NORTH ELEVATION/SECTION
1/4" = 1'-0"

2 SOUTH ELEVATION
1/4" = 1'-0"

- 
1. White Matte Hardie Board
- 
2. Dark Gray / Black Asphalt Shingles
- 
3. Concrete Retaining Wall
- 
4. Cut Stone Retaining Wall
- 
5. Non-slippery Abbotstone Concrete Pavers
- 
6. Dark Gray / Black Aluminum Doors
- 
7. Black Aluminum Casement Windows
- 
8. Existing Retaining Wall
- 
9. Heritage House Basement Wall - Light Gray Stone
- 
10. Heritage House-Main Floor Wall - Pale Yellow Horizontal Siding
- 
11. Heritage House Second Floor Wall - Pale Yellow Wall Shingle
- 
12. Heritage House Roof - Natural Color Sawn Cedar Shingle



REV.	DESCRIPTION	DATE
4	ISSUED FOR IPRM REVISION	09/05/20
3	REVISED FOR DP	07/09/20
2	REVISED FOR DP	06/29/20
1	ISSUED FOR DP	09/04/19

PROJECT:
FEEDHAM HOUSE GARAGE / STUDIO REDEVELOPMENT
14040 - 32ND AVENUE, SURREY

TITLE:
PROPOSED ELEVATIONS

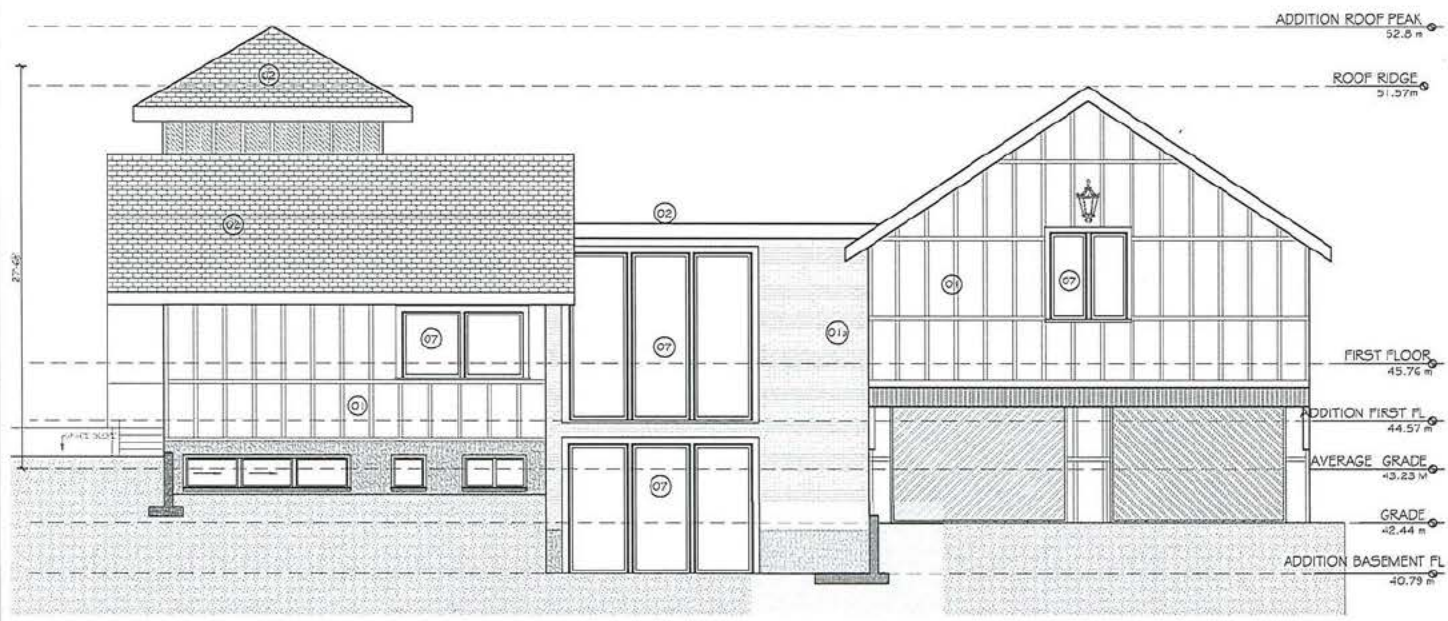
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DATE: 01/04/2022
SCALE: 3/4" = 1'-0"

DWG#: **PR-02-00**

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1 EAST ELEVATION/SECTION
1/4" = 1'-0"



1. White Matte Hardie Board



13. White Brck



2. Dark Gray / Black Asphalt Shingles



3. Concrete Retaining Wall



4. Cut Stone Retaining Wall



5. Non-slippery Abbotsford Concrete Pavers



6. Dark Grey / Black Aluminum Doors



7. Black Aluminum Casement Windows



8. Existing Retaining Wall



9. Heritage House Basement Wall - Light Gray Stone



10. Heritage House Main Floor Wall - Pale Yellow Horizontal Siding



11. Heritage House Second Floor Wall - Pale Yellow Wall Stringing



12. Heritage House Roof - Natural Color South Cedar Shingle

REV.	DESCRIPTION	DATE
4	ISSUED FOR NHA REVISION	09/05/20
3	REVISED FOR SP	07/26/20
2	REVISED FOR SP	06/29/20
1	ISSUED FOR SP	05/04/20

PROJECT:
FEEDHAM HOUSE GARAGE / STUDIO REDEVELOPMENT
14040 - 32ND AVENUE, SURREY

TITLE:
PROPOSED ELEVATIONS

DRAWN BY: DN

DATE: 01/04/2022

SCALE: 1/2" = 1'-0"

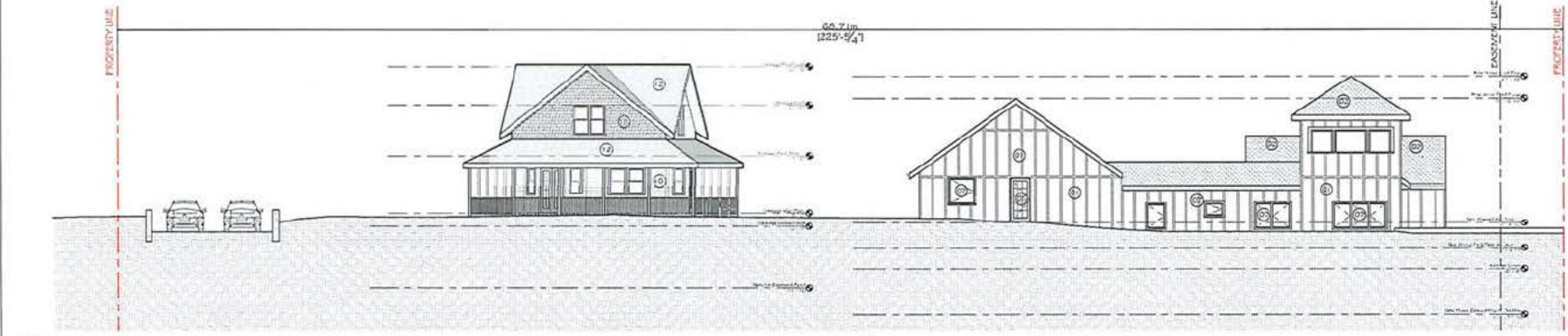
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1 EAST ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

PLEASE REFER TO PR-04-03 FOR MATERIALS AND FINISHES SCHEDULE



REV.	DESCRIPTION	DATE
4	ISSUED FOR HVA REVISION	09/05/23
3	REVISED FOR DP	07/29/23
2	REVISED FOR DP	06/29/23
1	ISSUED FOR DP	09/04/22

PROJECT:
FEEDHAM HOUSE GARAGE / STUDIO REDEVELOPMENT
14040 - 32ND AVENUE, SURREY

TITLE:
PROPOSED EAST ELEVATION

DRAWN BY: DN

DATE: 01/04/2022

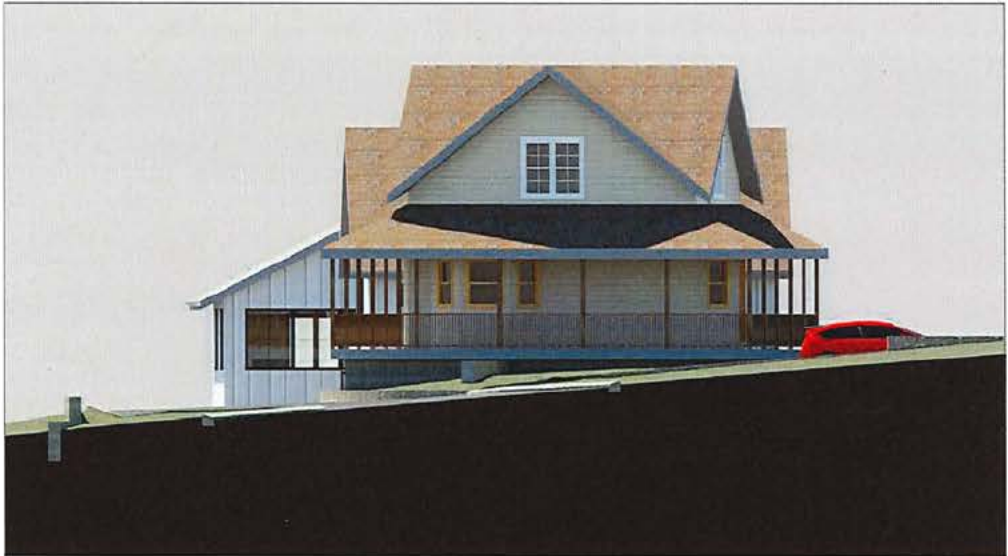
SCALE: 3/8" = 1'-0"

DWG#

PR-02-02

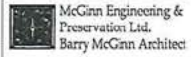


1 NORTH ELEVATION PERSPECTIVE
NTS



2 NORTH ELEVATION ORTHOGONAL
NTS

PLEASE REFER TO PR-04-03 FOR
MATERIALS AND FINISHES SCHEDULE



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REV.	DESCRIPTION	DATE
3	REVISED FOR CP	07/26/20
2	REVISED FOR CP	06/23/20
1	ISSUED FOR CP	05/04/20

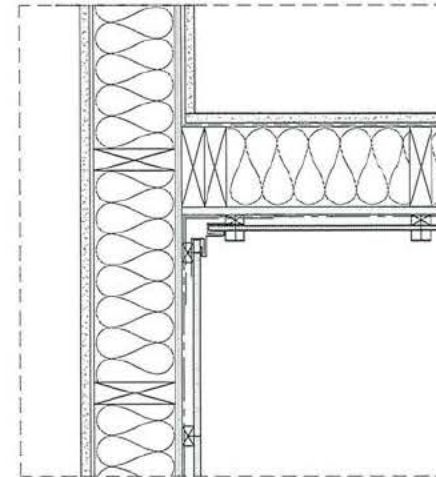
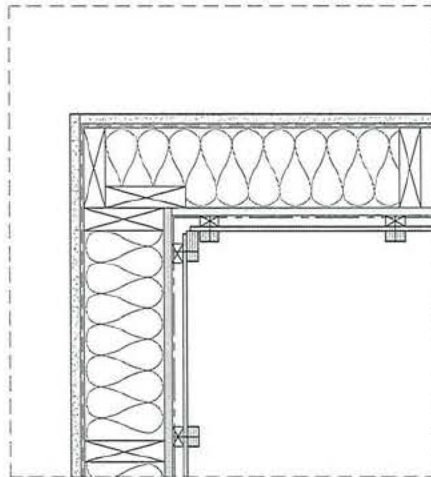
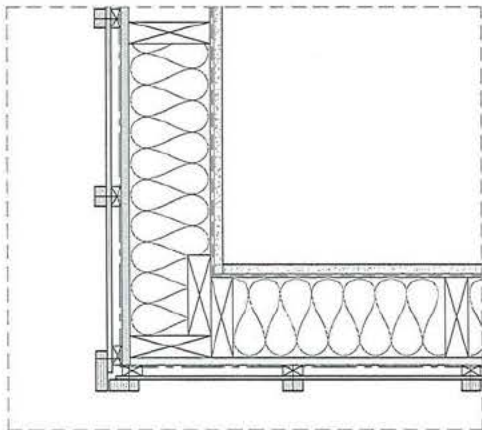
PROJECT:
FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT
14040 - 32ND AVENUE, SURREY

TITLE:
NORTH ELEVATIONS
FROM 32ND AVENUE

DRAWN BY: DN
DATE: 05/04/2020
SCALE: 3/4" = 1'-0"

DWG:
PR-02-03

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EXAMPLE OF BLACK HARDIE BOARD AND BATTEN



EXAMPLE OF WHITE HARDIE BOARD AND BATTEN

REV	DESCRIPTION	DATE
3	REVISED FOR DP	07/26/22
2	REVISED FOR DP	05/29/22
1	ISSUED FOR DP	05/04/22

PROJECT:
**FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

TITLE:
HARDIE BOARD DETAIL

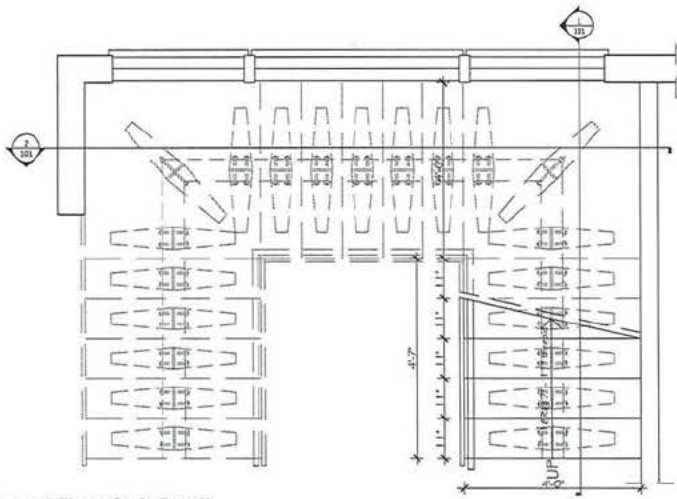
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DATE: 01/04/2022
SCALE: 3" = 1'-0"

DWG#:

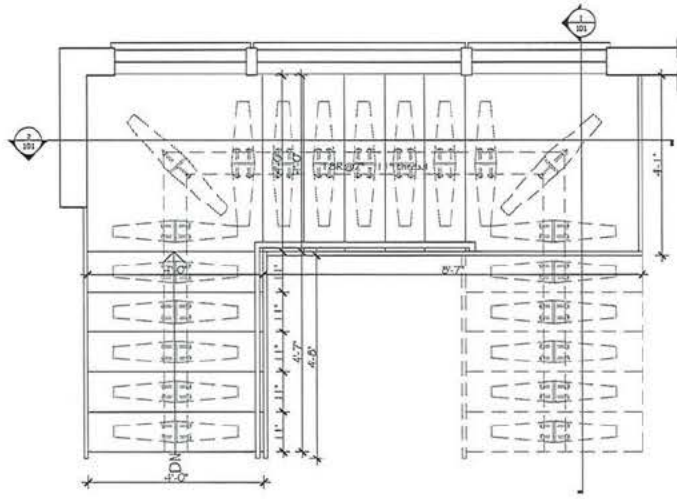
PR-04-01

1 HARDIE BOARD DETAIL
1/8" = 1'-0"

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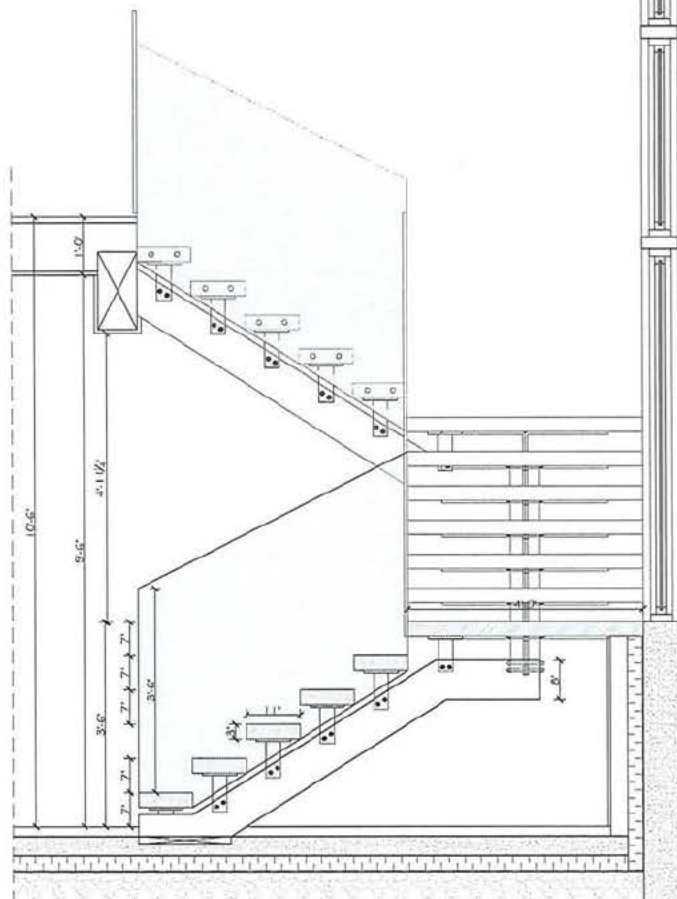


① Ground Floor Stair Detail
3/4" = 1'-0"



② First Floor Stair Detail
3/4" = 1'-0"

③ Stair Section 01
1" = 1'-0"



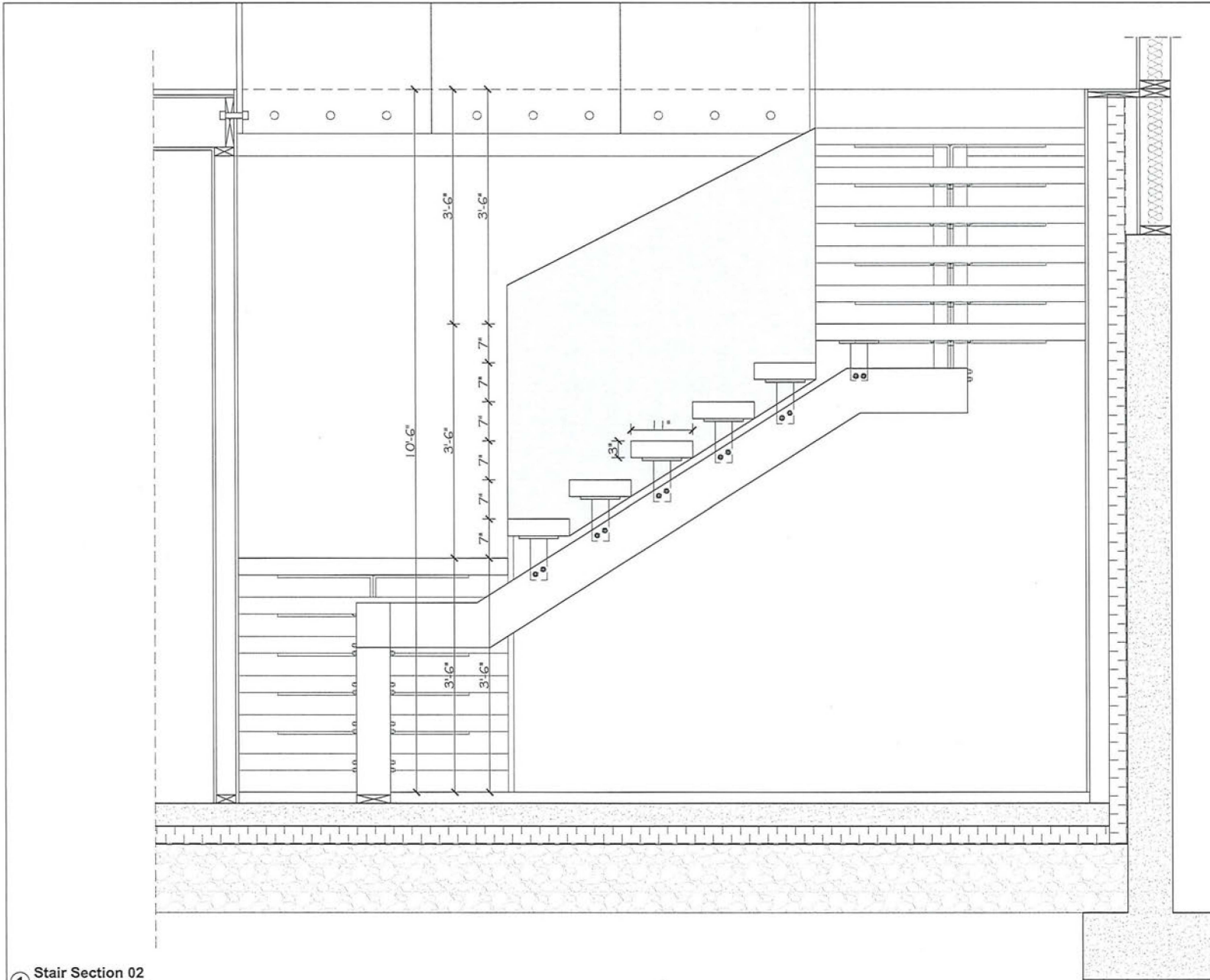
REV.	DESCRIPTION	DATE
3	REVISED FOR DP	07/26/20
2	REVISED FOR DP	06/29/20
1	ISSUED FOR CP	05/04/20

PROJECT:
**FEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

TITLE:
STAIR DESIGN DETAIL

DRAWN BY: DN
DATE: 01/04/2022
SCALE: AS SHOWN

DWG#: **PR-04-02**



① Stair Section 02
1 1/2" = 1'-0"

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REV.	DESCRIPTION	DATE
3	REVISED FOR DP	07/26/20
2	REVISED FOR DP	06/29/20
1	ISSUED FOR DP	06/04/20

PROJECT:
**FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

TITLE:
Stair Section Detail

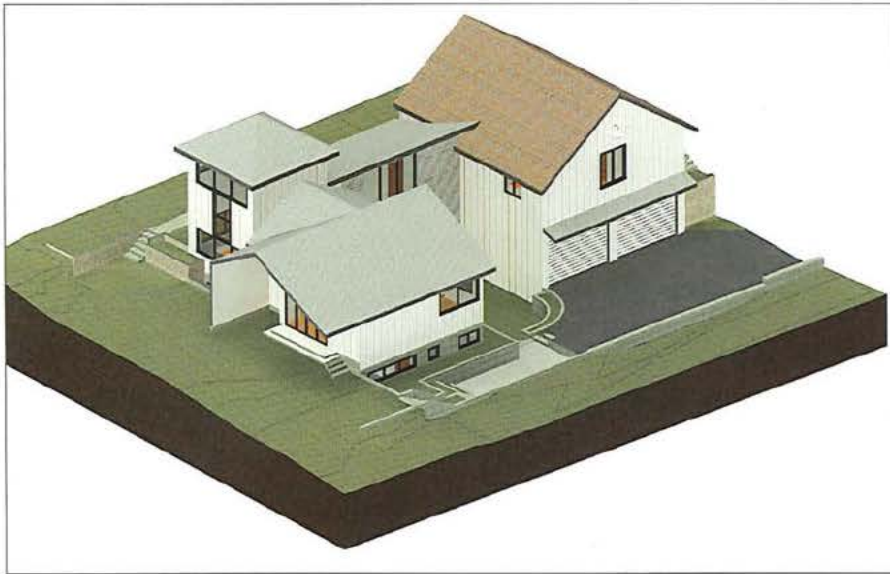
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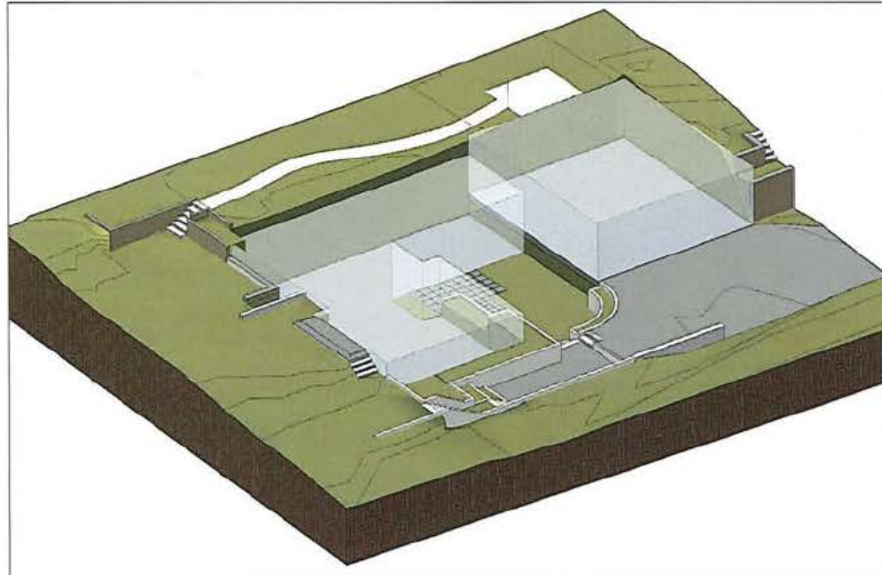
SCALE: AS SHOWN

DWG#:

PR-04-02a



← PROPOSED HOUSE ON GRADE



← BASEMENT VOLUME MASS BURIAL

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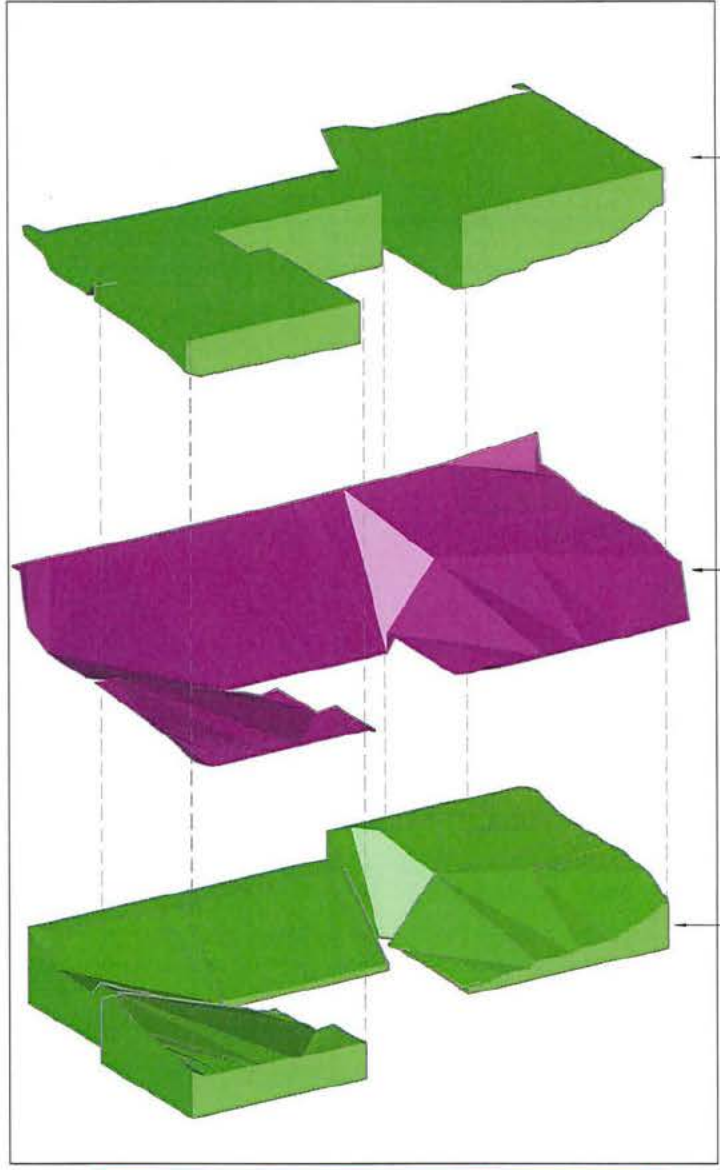
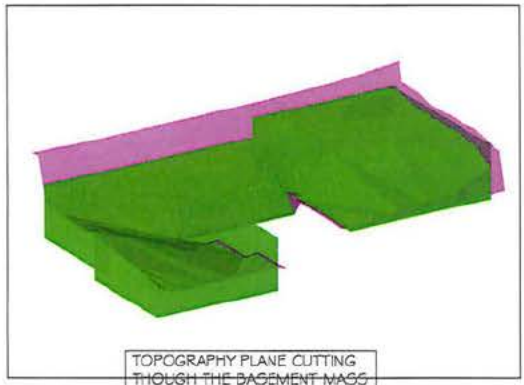
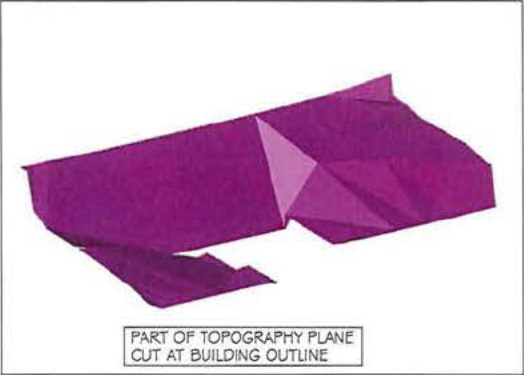
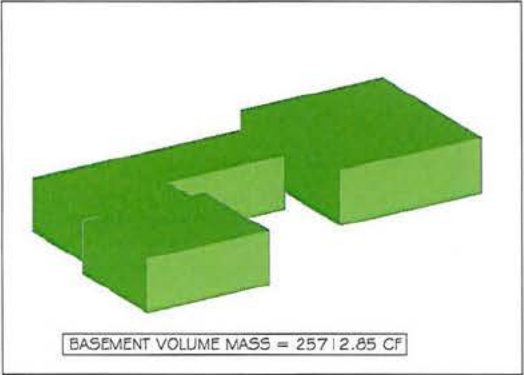
REV.	DESCRIPTION	DATE
4	ISSUED FOR HRA REVISION	09/05/20
3	REVISED FOR DP	07/29/20
2	REVISED FOR DP	06/29/20
1	ISSUED FOR DP	09/04/19

PROJECT:
**FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

TITLE:
**BUILDING BURIAL
ANALYSIS**

DRAWN BY: DN
DATE: 01/04/2022
SCALE: NTS

DWG#:
PR-04-03



VOLUME MASS BURIED BELOW GRADE LEVEL IS 15344.57 CF (59.68% BURIED) OUT OF 257 | 2.85 CF TOTAL BASEMENT VOLUME MASS

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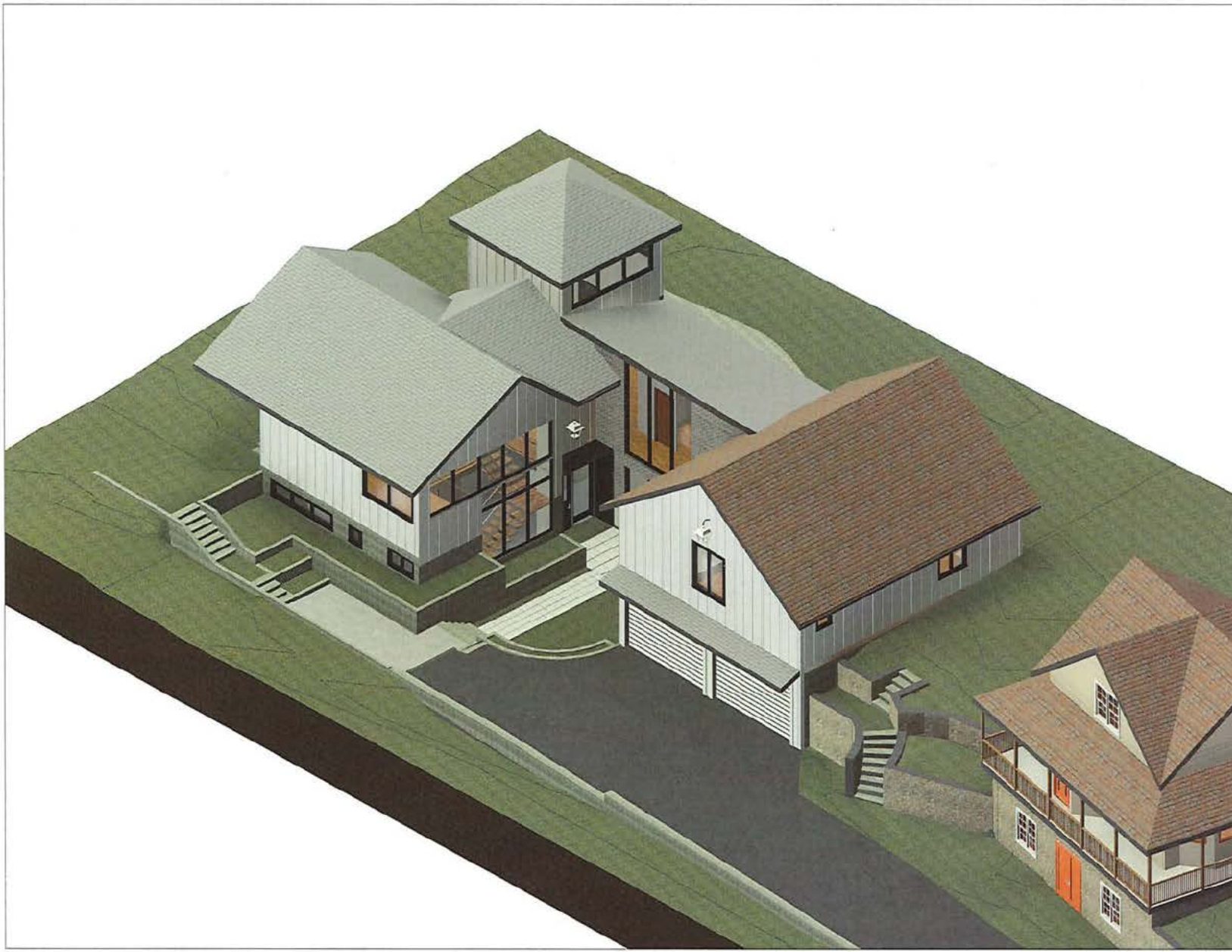
REV.	DESCRIPTION	DATE
4	ISSUED FOR APPROVAL	27/04/2023
3	REVISED FOR DP	07/06/2022
2	REVISED FOR DP	06/29/2022
1	ISSUED FOR DP	05/04/2022

PROJECT: FEEDHAM HOUSE GARAGE/STUDIO REDEVELOPMENT
14040-32ND AVENUE, SURREY

TITLE: BUILDING BURIAL ANALYSIS

DRAWN BY: DN
DATE: 01/04/2022
SCALE: 1/2" = 1'-0"

DATE: PR-A4-03a



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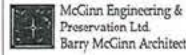
REV.	DESCRIPTION	DATE
3	REVISED FOR DP	07/29/20
2	REVISED FOR DP	06/29/20
1	REVISED FOR DP	05/14/20

PROJECT:
**FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

TITLE:
**PROPOSED
3D MODEL**

DRAWN BY: DN
DATE: 01/04/2022
SCALE: 3/4" = 1'-0"

DWG#
PR-05-01



McGinn Engineering &
Preservation Ltd.
Barry McGinn Architect

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REV.	DESCRIPTION	DATE
3	REVISED FOR DP	07/29/20
2	REVISED FOR DP	06/29/20
1	REVISED FOR DP	06/04/20

PROJECT:
**FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

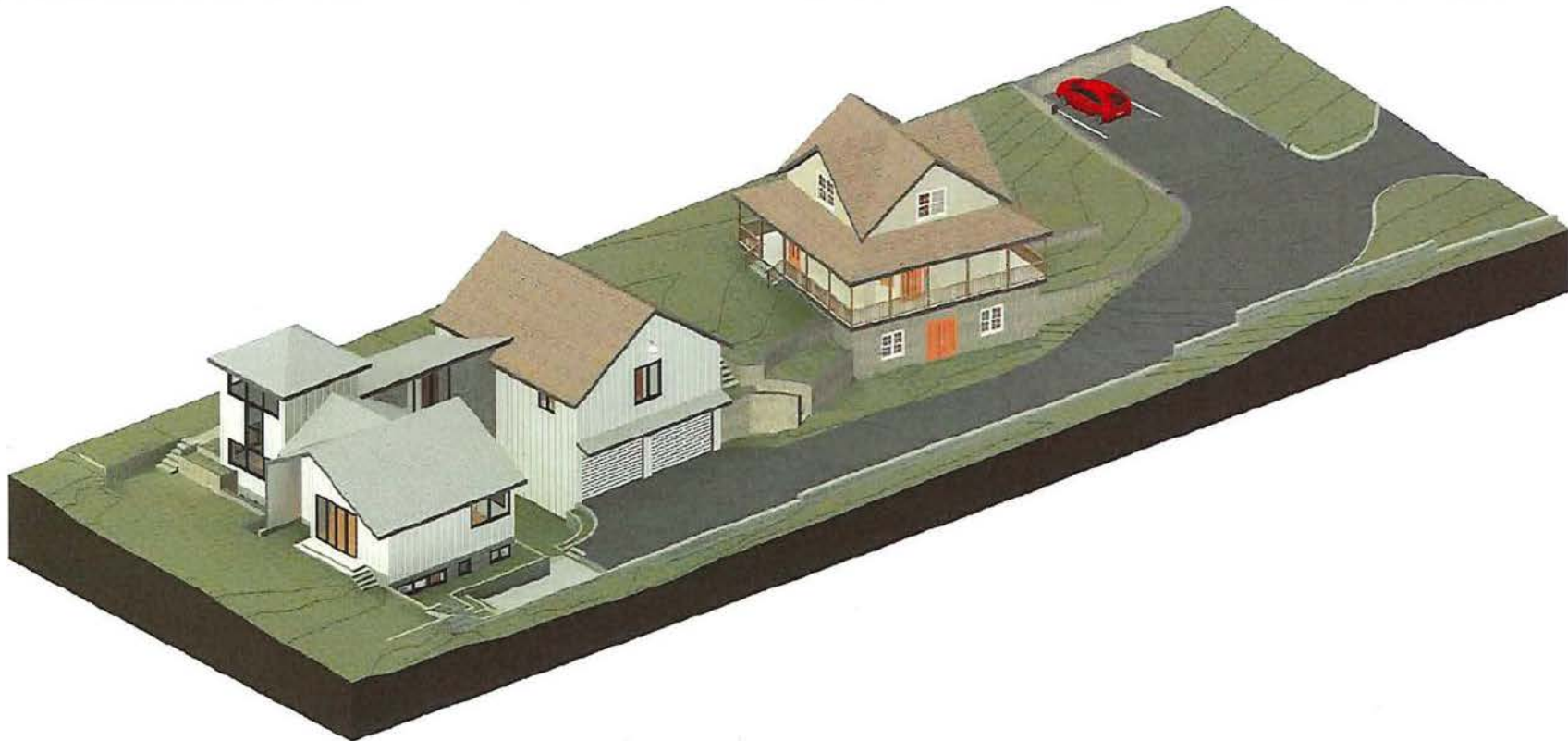
TITLE:
**PROPOSED
3D MODEL**

DRAWN BY: DN
DATE: 01/04/2022
SCALE: 3/4" = 1'-0"

DWG#

PR-05-02

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REV.	DESCRIPTION	DATE
3	REVISED FOR DP	07/20/20
2	REVISED FOR DP	06/25/20
1	ISSUED FOR DP	06/04/20

PROJECT:
**FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

TITLE:
**PROPOSED
3D MODEL**

DRAWN BY: DM

DATE: 01/04/2022

SCALE: 3/4" = 1'-0"

DWG#

PR-05-03




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REV.	DESCRIPTION	DATE
3	REVISED FOR SP	07/26/23
2	REVISED FOR SP	06/29/23
1	ISSUED FOR SP	09/04/22

PROJECT:
**FEEDHAM HOUSE
 GARAGE / STUDIO
 REDEVELOPMENT**
 14040 - 32ND AVENUE, SURREY

TITLE:
**PROPOSED
 3D MODEL**

DRAWN BY: **DN**

DATE: **01/04/2022**

SCALE: **1/8" = 1'-0"**

DWG#

PR-05-04



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REV.	DESCRIPTION	DATE
3	REVISED FOR DP	07/26/20
2	REVISED FOR DP	06/22/20
1	ISSUED FOR DP	06/04/20

PROJECT:
**FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

TITLE:
**PROPOSED
3D MODEL**

DRAWN BY: DN
DATE: 01/04/2022
SCALE: 3/4" = 1'-0"

DWG#
PR-05-05

PROPOSED MATERIALS AND FINISHES				EXISTING MATERIALS & FINISHES		
No.	PHOTO	NAME	NOTES			
1		HARDIE BOARD	WHITE MATTE FACADE, REFER TO PR-04-01 FOR DETAILS	8		EXISTING RETAINING WALL EXISTING STONE
2		ASPHALT SHINGLES	DARK GRAY OR BLACK ROOF ASPHALT SHINGLES, DETAILS TO BE DETERMINED.	9		HERITAGE HOUSE - BASEMENT WALL EXISTING LIGHT GRAY STONE
3		CONCRETE RETAINING WALL	CAST IN PLACE CONCRETE RETAINING WALL TO BE PAINTED IN OFF-WHITE COLOR.	10		HERITAGE HOUSE - MAIN FLOOR WALL PALE YELLOW HORIZONTAL SIDING
4		CUT STONE RETAINING WALL	STONE RETAINING WALL TO BE PLACED AROUND BACKYARD AT THE PROPERTY LINE	11		HERITAGE HOUSE - SECOND FL. WALL PALE YELLOW WALL SHINGLE
5		DRIVEWAY PAVERS	HERITAGE CONCRETE NON-SLIPPERY DRIVEWAY ABBOTSFORD PAVERS VISIBLE FROM THE PUBLIC REALM.	12		HERITAGE HOUSE - ROOF NATURAL COLOR - SAWN CEDAR SHINGLE ROOF
6		ALUMINUM DOOR	DARK GRAY / BLACK	 GRAY COLOR OF SOME WINDOW AND DOOR TRIMS, PORCH GUARDRAIL, POSTS AND ROOF FASCA, WINDOWS JAMB AND SASH ARE WHITE COLOR.		
7		ALUMINUM CASEMENT WINDOWS	THERMAL ALUMINUM WINDOW - BLACK STEEL LOOK.			



REV.	DESCRIPTION	DATE
3	REVISED FOR DP	07/26/20
2	REVISED FOR SP	06/25/20
1	ISSUED FOR DP	06/04/20

PROJECT:
**FEEDHAM HOUSE
GARAGE / STUDIO
REDEVELOPMENT**
14040 - 32ND AVENUE, SURREY

TITLE:
**MATERIALS AND
FINISHES SCHEDULES**

DRAWN BY: DN
DATE: 01/04/2022
SCALE: NTS

DWG#:

PR-06-01