

CITY OF SURREY

BY-LAW NO. 16407

A by-law to enter into a heritage revitalization agreement
.....

WHEREAS:

- A. The Council may by by-law pursuant to Part 27 of the Local Government Act, R.S.B.C. 1996, c. 323, as may be amended from time to time, enter into a heritage revitalization agreement with the owner of heritage property;

- B. The Council considers that certain lands and premises have heritage value and heritage character and ought to be conserved, which are situate within the City and described as:

Parcel Identifier: 007-435-673

Parcel "A" (Explanatory Plan 3689) Lot 1 South East Quarter Section 12
Township 2 New Westminster District Plan 1752

16588 Old McLellan Road

And as the legal description noted above is to change, the City Clerk is directed to insert the following new legal description once title(s) has/have been issued, as follows:

Parcel Identifier: _____

Lot _____ South East Quarter Section 12 Township 2 New Westminster District
Plan _____

_____ Bell Road

(the "Lands");

- C. The owner of the Lands and the City of Surrey have agreed on the nature, character and extent of the heritage value and heritage character of the Lands and

on the nature, extent and form of conservation necessary to protect the heritage value and heritage character of the Lands;

NOW THEREFORE, the City Council of the City of Surrey, in open meeting assembled, enacts as follows:

1. The City is authorized to enter into that certain heritage revitalization agreement, including Schedule "A" and "B" attached thereto, appended to this By-law as Schedule "1" (the "Heritage Revitalization Agreement") in respect of the Lands.
2. The Mayor and the City Clerk are authorized on behalf of the City to sign the Heritage Revitalization Agreement and to register a notice on the title of the Lands.
3. Schedule "1" forms a part of this By-law.
4. This By-law may be cited for all purposes as "City of Surrey Heritage Revitalization Agreement By-law, 2007, No. 16407."

READ A FIRST AND SECOND TIME on the 11th day of June, 2007.

READ A THIRD TIME on the 11th day of June, 2007.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the 26th day of June, 2007.

MAYOR

CLERK

SCHEDULE "1"

[To City of Surrey Heritage Revitalization Agreement By-law, 2007, No. 1647]

HERITAGE REVITALIZATION AGREEMENT

This Agreement made the 20th day of July, 2007

BETWEEN:

57TH AVENUE DEVELOPMENTS LTD.
#305 9288 120th Street
Surrey BC V3V 4B8

(the "Owner")

OF THE FIRST PART

AND:

CITY OF SURREY, a municipal corporation,
and having offices at 14245 56th Avenue
Surrey, British Columbia, V3X 3A2

(the "City")

OF THE SECOND PART

WHEREAS:

- A. The Owner is the registered owner in fee simple of the following lands and premises situate in the City of Surrey, British Columbia and described as:

Parcel Identifier: 007-435-673

Parcel "A" (Explanatory Plan 3689) Lot 1 South East Quarter Section 12
Township 2 New Westminster District Plan 1752

16588 Old McLellan Road

And as the legal description noted above is to change, the City Clerk is directed to insert the following new legal description once title(s) has/have been issued, as follows:

Parcel Identifier: _____

Lot _____ South East Quarter Section 12 Township 2 New Westminster
District Plan _____

_____ Bell Road

(the "Lands");

- B. The Owner and the City consider that the Lands have heritage value and heritage character;
- C. The Owner and the City desire to conserve the heritage value and heritage character of the Lands;
- D. For the purpose of conservation of the heritage value and heritage character of the Lands, the Owner and the City have agreed to enter into this Agreement setting out the terms and conditions of continuing protection for the heritage value and heritage character of the Lands;
- E. The Owner has agreed to the terms for compensating the City for the loss in heritage value in the event the heritage improvements or features on the Lands are moved or destroyed other than through natural;
- F. The improvements or features on the Lands which have heritage value and heritage character which both the Owner and City desire to conserve have been described by text, photographs, plans and drawings attached as Schedule "A" (the "Conservation Plan") and Schedule "B" (the "DL & A Plan") to this Agreement;
- G. The improvements or features identified on the Conservation Plan as the Charles Bell House are listed on the Surrey Heritage Register.

NOW THEREFORE THIS AGREEMENT WITNESSES that in consideration of the mutual premises of the parties hereto and for other good and valuable consideration (the receipt and sufficiency of which is acknowledged by the parties) the Owner and the City covenant and agree with one another pursuant to Section 966 of the Local Government Act, R.S.B.C. 1996, c. 323, as amended, re-enacted or consolidated from time to time and any successor statute (the "Local Government Act"), as follows:

Conservation Plan

- 1. (a) The Conservation Plan forms a part of this Agreement. To the extent that the text, photographs, plans and drawings constituting the Conservation Plan require interpretation, the City shall be, in the first instance, the interpreter of the Conservation Plan and shall

determine the matter. If the Owner is dissatisfied with the City's interpretation, then Section 15 of this Agreement shall apply.

- (b) Part I of the Conservation Plan identifies, details and describes the character, extent and nature of the improvements and features on the Lands that have heritage value and heritage character. Part II of the Conservation Plan sets out the maintenance strategy, general standards and exemptions for the conservation and maintenance of all improvements and features on the Lands that have heritage value and heritage character. Part III of the Conservation Plan sets out the standards and specifications for preservation, rehabilitation, restoration, modification, replication, relocation, repair, or maintenance to be undertaken and completed pursuant to this Agreement including, but not limited to, the foundation, roof structure, roof cladding, building envelope, wood detailing and trims, interior features, site features and landscaping.

Owner's Obligations to Protect, Conserve, Maintain and Rebuild

- 2. The Owner covenants and agrees to the following:
 - (a) No improvements or features on the Lands identified in the Conservation Plan as having heritage value or heritage character shall be altered including alterations required or authorized by this Agreement, except as agreed to by the City.
 - (b) Each action of relocation, restoration, rehabilitation, replication, repair, replacement or maintenance required by Parts I, II and III of the Conservation Plan shall be commenced and completed in accordance with the timing, phasing, standards and specifications set out in the Conservation Plan.
 - (c) All improvements identified in Part I and II of the Conservation Plan on the Lands as having heritage value and heritage character shall be maintained to the minimum standards and in accordance with the guidelines and requirements set out in the Conservation Plan and the Charles Bell House Conservation Plan authored by Donald Luxton & Associates Inc., May 2007 and attached as Schedule "B" (the "DL&A Plan").
 - (d) In the event the Charles Bell House is damaged, the Owner of the Lands accepts the obligation to undertake all necessary construction to restore the damaged portion or portions of the Charles Bell House to its original condition. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to restore the damaged portion

or portions of the Charles Bell House. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The restoration of the Charles Bell House shall reflect the character-defining elements and design components including, but not limited to: location within historic Surrey Centre and corner location at Old McLellan Road and 57 A Avenue; rectangular plan, one and one-half storey wood framed construction with side gabled roof, wide overhangs and a front-gabled wall dormer at the front and a sleeping porch on the rear of the house; a dual-pitched roof over the front and rear porches; lapped wood siding at the basement level, wood shingles on the rest of the house; bellcast at the base of the shingles; Craftsman influenced wood detailing such as decorative bargeboards, open soffits, decorative gable screens, triangular brackets, and square porch columns; additional exterior details such as original wood-panelled front door, full width, open front and rear porch, and interior and exterior corbelled brick chimneys; windows such as one, two and three assembly, one-over-one double-hung wood frame windows with original hardware on the first and second floors; hopper style wood framed windows on the first and second floors; single and double assembly, three-over-three, fixed and double-hung wood frame windows with wood muntins; interior features such as original wooden floors; wooden mouldings, wainscoting, trim, built-in cabinet and a window bench in the dining room and built-in bench in the entryway; all as subject to approval by the City Architect.

- (e) In the event the Charles Bell House is destroyed, the Owner of the Lands accepts the obligation to undertake all necessary construction to create a replica of the Charles Bell House. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to create a replica of the Charles Bell House. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. If the design is not an exact replica, the massing and the style shall be similar to the original building, and a heritage alteration permit shall be required before a building permit can be issued for reconstruction to take place. The construction of the replica or replacement of the Charles Bell House shall reflect the character-defining elements and design components including, but not limited to: location within historic Surrey Centre and corner location at Old McLellan Road and 57 A Avenue; rectangular plan, one and one-half storey wood framed construction with side gabled roof, wide overhangs and a front-gabled wall dormer at the front and a sleeping porch on the rear of the house; a dual-pitched roof over the front and rear porches; lapped wood siding at the

basement level, wood shingles on the rest of the house; bellcast at the base of the shingles; Craftsman influenced wood detailing such as decorative bargeboards, open soffits, decorative gable screens, triangular brackets, and square porch columns; additional exterior details such as original wood-panelled front door, full width, open front and rear porch, and interior and exterior corbelled brick chimneys; windows such as one, two and three assembly, one-over-one double-hung wood frame windows with original hardware on the first and second floors; hopper style wood framed windows on the first and second floors; single and double assembly, three-over-three, fixed and double-hung wood frame windows with wood muntins; interior features such as original wooden floors; wooden mouldings, wainscoting, trim, built-in cabinet and a window bench in the dining room and built-in bench in the entryway, all as subject to approval by the City Architect.

- (f) In the event that the Charles Bell House is destroyed, in addition to the construction of a replica, the Owner covenants and agrees to compensate the City for the loss in heritage value to the community in the amount of \$15,000, indexed to the Vancouver Consumer Price Index (CPI) with 2007 being the base year, except that if the Charles Bell House is destroyed through natural causes, including but not limited to flood, earthquake and accidental fire as determined by the City in its sole discretion, and a replica is constructed by the Owner that is acceptable to the Heritage Advisory Commission or any successor decision making body in its sole discretion, then payment of compensation by the Owner to the City is not required.
- (g) If the Charles Bell House becomes vacant and unoccupied, the Owner of the Lands agrees to maintain the integrity and security of the building and site including but not limited to, on-site security, monitored security alarm system, perimeter fencing and lighting, and boarding of windows and doors. The Owner of the Lands agrees to advise the City of any periods during which the Charles Bell House will be vacant for 30 days or more, provide in writing a 24-hour emergency contact number and confirm the security measures are in place. If the Owner fails to secure the Charles Bell House, the City may and is authorized to undertake the necessary works to secure the Charles Bell House, and the cost shall be at the expense of the Owner and the City shall be at liberty to recover the costs in a like manner as City property taxes on the Lands, and any authorized agent of the City may enter the Lands with reasonable notice for the purpose of undertaking the necessary works to secure the Charles Bell House and to conduct an inspection to determine that the security measures continue to be in place.

- (h) The Owner shall do or cause to be done all such things, and shall take or cause to be taken all such actions, as are necessary to ensure that the restrictions and requirements set out in Parts II and III of the Conservation Plan are fully observed, and the Owner shall not do, cause or allow to be done anything that would be in breach of the restrictions and requirements of this Agreement.
- (i) Where required by the City in a heritage alteration permit, the Owner shall provide security to guarantee the performance of the terms, requirements and conditions contained in the Conservation Plan.
- (j) The owner may apply for funding for the Charles Bell House from the City or from the Heritage Advisory Commission (or any like authority) including, but not limited to, monies for exemption from taxes, or any provision for assistance as specified in Section 225 of the Community Charter, S.B.C. 2003, c.26.

Variation to Bylaws

- 3. No variations to bylaws are applicable to the Lands.

Construction and Maintenance

- 4. Wherever under this Agreement the Owner relocates, restores, rehabilitates, replicates, repairs, replaces, maintains or in any way alters improvements or features on the Lands identified in the Conservation Plan as having heritage value and heritage character or constructs or maintains other works to protect or conserve such improvements or features, all the work shall be done at the Owner's sole expense strictly in accordance with the Conservation Plan, including the DL & A Plan, and as agreed by the City and all improvements or features shall be diligently and continuously maintained in good repair and efficient operating condition by the Owner at the Owner's sole expense in accordance with good engineering, design, heritage and conservation practice.

No Liability to City

- 5. In no case shall the City be liable or responsible in any way for:
 - (a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that may be suffered or sustained by the Owner or by any other person who may be on the Lands; or

- (b) any loss or damage of any nature whatsoever, howsoever caused to the Lands or any improvements or personal property on the Lands belonging to the Owner or to any other person,

arising directly or indirectly from compliance with the restrictions and requirements of this Agreement, wrongful or negligent failure or omission to comply with its restrictions and requirements, or refusal, omission or failure of the City to enforce or require compliance by the Owner with the restrictions or requirements or with any other term, condition or provision of this Agreement.

Reasonable Care and Risk

- 6. The Owner shall at all times, in complying with the restrictions or requirements of this Agreement, take reasonable care not to injure any person or cause or allow damage to any property, and shall take reasonable care not to cause, suffer, permit or allow any condition to exist that might reasonably lead to, cause or result in injury to any person or property including persons and property on lands adjacent to the Lands. It shall be the sole responsibility of the Owner to comply and maintain compliance with the restrictions and requirements in a safe manner, and without reasonably foreseeable risk to person or property. Compliance with the restrictions and requirements in this Agreement shall be at the sole and exclusive risk and cost of the Owner.

Modification

- 7. If, in fulfilling its responsibilities and obligations under this Agreement, the Owner perceives or becomes aware of any unreasonable risk of injury to persons or damage to property or other potential loss that cannot be reasonably avoided, alleviated, reduced or eliminated except by measures that would be a breach of the restrictions or requirements of this Agreement, the Owner shall notify the City in writing of the nature and extent of the risk and of the measures proposed by the Owner to be undertaken at its sole cost to reduce, alleviate, avoid or eliminate the risk. Risk shall remain with the Owner.

Indemnity

- 8. The Owner shall at all times indemnify and save harmless the City of and from all loss and damage, and all actions, claims, costs, demands, expenses, fines, liabilities and suits of any nature whatsoever by whomsoever brought for which the City shall or may become liable, incur or suffer by reason of existence and effect whether direct or indirect of the restrictions or requirements of this Agreement, or breach or nonperformance by the Owner of any covenant, term or provision of this

Agreement, or by reason of any work or action of the Owner in performance of its obligations, or by reason of any wrongful act or omission, default or negligence of the Owner.

Alternative Remedies

9. Any performance by the City pursuant to a statutory right to perform the obligations of an Owner arising out of this Agreement may be exercised fully in accordance with the Local Government Act, and shall be without prejudice to any and all other remedies at law and equity available to the City, and no reference in this Agreement to, or exercise of any specific right or remedy by the City, shall preclude the City from exercising any other right or remedy.

Damages

10. The Owner covenants and agrees that the measure of damages for any breach of the restrictions or requirements of this Agreement shall include, but shall not be limited to, the actual cost and expense of all administration, labour, materials, equipment, services and work required for all remedial acts necessary to fully relocate, restore, rehabilitate, replace, repair or maintain the building, structure, improvements on or features of the Lands having heritage value and heritage character to be protected, conserved, preserved or kept in its natural state. The nature and extent of any breach of the restrictions and requirements, and the nature and extent of any relocation, restoration, rehabilitation, replacement, maintenance or remedial work or action of any nature required to remedy a breach shall be determined by the City by reference to the Conservation Plan, including the DL & A Plan, and Sections 2 and 4 of this Agreement.

No Waiver

11. No restrictions, requirements or other provisions in this Agreement shall be deemed to have been waived by the City unless a written waiver authorized by resolution of the Council and signed by an officer of the City has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the City on previous occasions of any default nor any previous written waiver shall be taken to operate as a waiver by the City of any subsequent default or in any way to defeat or affect the rights or remedies to the City.

Statutory Authority and Proprietary Rights

12. Nothing in this Agreement shall limit, impair, fetter, or derogate from the statutory powers of the City all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled and no permissive by-law enacted by the City, or permit, license or approval, granted, made or issued by the City shall estop, limit or impair the City from relying upon and enforcing this Agreement.

Compliance with Laws

13. Despite any provision of this Agreement, the Owner shall comply with all laws, including by-laws of the City and all regulations and orders of any authority having jurisdiction, and to the extent only that these laws, regulations and orders are mandatory and necessarily require the breach of any restriction or positive obligation of this Agreement to be observed or performed by the Owner, or less than strict compliance with the terms of this Agreement, then the Owner upon sixty (60) days' written notice to the City shall be excused from complying with the restrictions or performing the obligation and the restriction or obligation shall be suspended but only to the extent and for the time that the mandatory law, regulation or order is inconsistent with compliance with the restrictions or obligations.

Notice

14. Any notice to be given under this Agreement shall be in writing and may be either delivered personally or sent by prepaid registered mail and if so mailed shall be deemed to have been given five (5) days following the date upon which it was mailed. The address of the parties for the purpose of notice shall be as follows:

If to the Owner:

Attention: Mr. Joe Dhaliwal
57TH AVENUE DEVELOPMENTS LTD.
#305 9288 120th Street
Surrey BC V3V 4B8

If to the City:

Attention: City Clerk
CITY OF SURREY
14245 - 56 Avenue
Surrey, B.C. V3X 3A2

Any party may at any time give notice in writing to the other of any change of address and after the third day of giving of the notice, the address specified in the notice shall be the address of the party for the giving of notices.

Arbitration

15. The Owner, if dissatisfied with the City's interpretation of the Conservation Plan and any determination pursuant to Section 1(a) of this Agreement, may require that the matter be decided and determined by binding arbitration as follows:
 - (a) The Owner must, within thirty (30) days of any exercise of discretion by the City, give notice to the City of its intention to dispute and the notice shall name a member in good standing of the Architectural Institute of British Columbia who has agreed to act as an arbitrator.
 - (b) The City shall within thirty (30) days of receipt of the notice either accept the Owner's arbitrator, or name another with the same qualifications willing to act, and shall give notice of its choice to the Owner.
 - (c) Where each of the Owner and the City have named an arbitrator, the two arbitrators shall within thirty (30) days of the City's notice pursuant to Section 15(b) appoint a third arbitrator having the same qualifications and the three arbitrators shall decide the dispute.
 - (d) Where the City accepts the arbitrator first selected by the Owner, that arbitrator shall act as a single arbitrator and forthwith decide the dispute.
 - (e) Any arbitrator's decision in respect of the exercise of discretion by the City shall be final, conclusive and binding on all parties.
16. Without limiting the City's power of inspection conferred by statute and in addition to that power, the City shall be entitled at all reasonable times and with reasonable notice to enter onto the Lands from time to time for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner, and wherever possible, when an inspection of the lands is undertaken, the City shall provide reasonable notice to the Owner.

Headings

17. The headings in this Agreement are inserted for convenience only and shall not affect the construction of this Agreement or any of its provisions.

Schedules

18. All schedules to this Agreement are incorporated into and form part of this Agreement.

Number and Gender

19. Whenever the singular or masculine or neuter is used in this Agreement, it shall be construed to mean the plural or feminine or body corporate where the context so requires.

Interpretation

20. Terms used in this Agreement that are italicized are defined in the Local Government Act, and the Heritage Conservation Act, R.S.B.C. 1996, c. 187, as amended, re-enacted or consolidated from time to time and any successor statute, and shall take their meaning from those acts.

Successors Bound

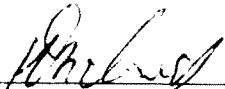
21. All restrictions, rights and liabilities imposed upon or given to the respective parties under this Agreement shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns. When the Owner is more than one party they shall be bound jointly and severally by the terms, covenants and agreements on the part of the Owner.

Notice to be Filed

22. Notice of this Agreement and amendments to it will be filed in the Land Title Office and once filed, this Agreement and amendments will be binding on all persons who acquire an interest in the Lands.


IN WITNESS WHEREOF the Owner and the City have executed this Agreement as of the date first above written.

57TH AVENUE DEVELOPMENTS LTD.
by its authorized signatory

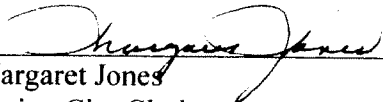


Harjinder Kaur Dhaliwal

CITY OF SURREY



Dianne Watts
Mayor



Margaret Jones
Acting City Clerk

SCHEDULE "A"

CONSERVATION PLAN

PART I – HISTORICAL AND ARCHITECTURAL BACKGROUND

1. History

- Refer to Section 1.0 Introduction in the “Charles Bell House Conservation Plan by Donald Luxton & Associates Inc., May 2007” (the “DL&A Plan”) attached as Schedule “B”.

2. Existing Appearance

- Refer to Section 2.0 Description of Site in the DL&A Plan.

3. Protected Elements

Under this Heritage Revitalization Agreement with the City of Surrey, the following components of the site are protected from alteration and/or destruction: the exterior and interior of the Charles Bell House, the natural driveway from Old McLellan Road, the rock wall, and the yard between the house and Old McLellan and 57 A Avenue. Refer to Section 2.0 Description of Site in the DL&A Plan for more in-depth descriptions of these elements.

4. Character-defining Elements

The character-defining elements of the Charles Bell House are the following:

- located within historic Surrey Centre on a south slope overlooking the agricultural lands.
- location at the corner of Old McLellan Road and 57A Avenue.
- the natural driveway from the sidewalk eastward into the property, the curved concrete walking path from Old McLellan Road to the front porch, the rock wall and the landscaped yards along Old McLellan and Bell Roads.
- form, scale and massing as expressed by rectangular plan, one and one-half storey wood framed construction with side gabled roof, wide overhangs and a front-gabled wall dormer at the front and a sleeping porch on the rear of the house. The roof is dual pitched over the front and rear porches.
- lapped wood siding at the basement level, wood shingles on the rest of the house; bellcast at the base of the shingles.
- Craftsman influenced wood detailing such as decorative bargeboards, open soffits, decorative gable screens, triangular brackets, and square porch columns.
- additional exterior details such as original wood-panelled front door, full width, open front and rear porch, and interior and exterior corbelled brick chimneys.
- windows such as one, two and three assembly, one-over-one double-hung wood frame windows with original hardware on the first and second floors; hopper style

wood framed windows on the first and second floors; and single and double assembly, three-over-three, fixed and double-hung wood frame windows with wood muntins.

- interior features such as original wooden floors; wooden mouldings, wainscoting, trim, built-in cabinet and a window bench in the dining room and built-in bench in the entryway.

PART II – MAINTENANCE, RESTORATION STANDARDS AND PERMIT APPROVALS

1. General

A. Requirement to Commence Restorations

Moving of the Charles Bell House may commence at any time following the adoption of a by-law to enter into this Agreement and authorized by the issuance of a building permit to move the house and to place it on a permanent foundation on the Lands.

Restoration of the Charles Bell House, including the works that are consistent with Part III – Restoration Standards and Specifications, may commence at any time following the adoption of a by-law to enter into this Agreement and the issuance of a building permit authorizing the restoration works.

In any event, restorations shall be commenced within 3 months of the adoption date of the by-law to enter into this Agreement and shall be completed within 30 months of the adoption date of the by-law to enter into this Agreement.

The rock wall that is located on Parcel "A" (Explanatory Plan 3689) Lot 1 South East Quarter Section 12 Township 2 New Westminster District Plan 1752, may be disassembled and stored to avoid being damaged when the Bell House is moved. The rock wall shall be reassembled on the lot that will contain the Bell House as part of final landscaping, provided the reassembly is completed within 6 months of the Bell House restorations being completed.

B. Maintenance Strategy

- Refer to Section 4.0 Maintenance Plan in the DL&A Plan.

C. Amending an Established Maintenance Strategy

An Owner may apply to the City to amend an existing Maintenance Plan and Funding Strategy. Any amendment is subject to approval by the Manager, Planning and Development, and if deemed necessary by the General Manager, Planning and Development, the approval of the Heritage Advisory Commission.

2. Restoration Standards

The "Standards and Guidelines for the Conservation of Historic Places in Canada" established under the Historic Places Program or successor guidelines as may be approved by the City, are to apply to all construction, maintenance,

restoration or renovation works undertaken under Parts II or III on the Charles Bell House.

3. Timing and Phasing

This provision does not apply to the Lands.

4. Heritage Alteration Permit Approval

- A. Changes to the building, structure, the exterior appearance or the interior appearance of the Charles Bell House, features on the Lands identified in the Conservation Plan or character-defining elements may require the Owner to apply for a heritage alteration permit or obtain approval from the City.

Proposed changes shall be referred to the Planning & Development Department of the City prior to the commencement of any work to determine if the changes require or do not require a heritage alteration permit.

- B. A heritage alteration permit may not be required for alterations including, but not limited to, the following:
- (a) changes to the Conservation Plan that are considered by the City Architect to be minor in nature and not affecting the character-defining elements of the Charles Bell House;
 - (b) restorations considered by the City Architect to be consistent with the original design, being made to replace stylistically foreign elements and done in consultation with an independent architect acceptable to the City with experience in restoration of heritage buildings; or
 - (c) simple repair and maintenance of existing elements not affecting the building structure, exterior or interior appearance of the Charles Bell House on the Lands.
- C. A heritage alteration permit shall be required for alterations including, but not limited to, the following:
- (a) changes to the Charles Bell House structure;
 - (b) changes to the exterior appearance of the Charles Bell House;
 - (c) replacement of existing elements and/or construction of additions or other construction on the Lands;
 - (d) where interior elements are identified, changes to the interior appearance of the Charles Bell House; or

(e) changes to the external appearance of the Charles Bell House due to interior renovations.

If a heritage alteration permit is determined to be required, the Owner shall apply to the City for a heritage alteration permit before undertaking any of the works listed in this Section 4.C.

After the heritage alteration permit application is submitted, the heritage alteration permit will be considered for issuance by City Council upon the recommendation of the General Manager of Planning and Development and the Heritage Advisory Commission, or by a City official delegated by City Council.

5. Building Permit Approval

Construction, alterations, landscaping or other actions to be authorized by a building permit shall be consistent with Sections 2 and 4 of Part II, Part III and attachments to this Conservation Plan, Schedule B and heritage alteration permits sanctioning construction, alterations or other actions.

When applying for a building permit to relocate the Charles Bell House, the Owner shall include with the building permit application submitted to the City a site plan with a statement from Donald Luxton certifying that the location of the proposed foundation is strictly in compliance with this Agreement, including Schedule B and any heritage alteration permits modifying or supplementing this Agreement.

Plans for the preservation and restoration of the Charles Bell House submitted by the Owner to the City are to be prepared and certified by Donald Luxton as being strictly in compliance with this Conservation Plan, including Schedule B and any heritage alteration permits modifying or supplementing this Agreement.

Landscaping plans are to be submitted and referred to the Senior Planner (Heritage) and City Landscape Architect for review and approval before a building permit is issued.

As the Charles Bell House is recognized as a significant historic site, Building Code equivalencies may be used to lessen visual impacts on the historical appearance or authenticity of the building.

PART III – RESTORATION STANDARDS AND SPECIFICATIONS

1. **Foundation** - Refer to Section 3.3.2 Masonry and Appendix A: Specifications in the DL&A Plan.
2. **Roof Structure and Cladding** - Refer to Section 3.3.4 Thermal and Moisture Protection and Appendix A: Specifications in the DL&A Plan.
3. **Building Envelope, Exterior, Wood Detailing and Trims** - Refer to Sections 3.3.1 General Requirements, 3.3.2 Masonry, 3.3.3 Siding/Trim, 3.3.5 Doors and Windows, 3.3.6, Porches and Appendix A: Specifications in the DL&A Plan.
4. **Interior Condition** - Refer To Section 3.4 Interior Conservation Recommendations and Appendix A: Specifications in the DL&A Plan.
5. **New Construction** - Refer to Section 3.3.6 Porches, 3.3.7 Addition, and Appendix A: Specifications in the DL&A Plan and architectural plans and Specifications for new garage in plans referred to in Section 9 of this part.
6. **Site Features, Landscaping and Fences** - Refer to 3.3.8 Exterior Improvements and Appendix A: Specifications in the DL&A Plan.
7. **Trees, Streetscape and Street Interface** - Refer to 3.3.8 Exterior Improvements and Appendix A: Specifications in the DL&A Plan.
8. **Accessory Buildings and Structures** - Refer to 3.3.8 Exterior Improvements and Appendix A: Specifications in the DL&A Plan.
9. **Plans and Elevations** -

Site plans, elevations, landscaping plans and other necessary plans, including a landscaping and or grading plan for the relocation of the rock wall, shall be submitted by the Owner as part of a building permit application for relocating and altering the Charles Bell House, subject to the approval stipulated in Part II Section 5.

(Note: Terms used in Schedule "A" of this Agreement that are italicized are defined in Surrey Zoning By-law, 1993, No. 12000, as amended, and shall take their meaning from the by-law.)

SCHEDULE "B"

**CHARLES BELL HOUSE CONSERVATION PLAN
BY DONALD LUXTON & ASSOCIATES INC., MAY 2007**

(Attachment beginnings on the next page)

CONSERVATION PLAN

CHARLE

BELL HOUSE

FINAL DRAFT

MAY 2007

DONALD LUXTON & ASSOCIATES, Inc.



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CHARLES BELL HOUSE CONSERVATION PLAN

1.0 INTRODUCTION

SUBJECT PROPERTY: CHARLES BELL HOUSE
16588 OLD McLELLAN ROAD
SURREY, BRITISH COLUMBIA

CONSTRUCTION DATE: CIRCA 1912

BUILDER: UNKNOWN

Located in the historic Surrey Centre neighbourhood, the Charles Bell property consists of a stately one and one-half-storey Craftsman style house and surrounding mature trees, flower gardens and rock walls (**Photo 1**). The house is situated on a landscaped corner lot at Old McLellan Road and 57A Avenue. The house is in proximity to the former historic centre of Surrey; with Christ Church and Cemetery, Christ Church Bell Hall, Loyal Orange Lodge and the Boothroyd House all within a short distance of the property. The area is undergoing a major redevelopment, with much of the original farmland subdivided and replaced with single family houses and townhouses.

The site was originally purchased by Charles Newton Bell in 1909 and owned by Charles Bell and Charles Reid from 1910 to 1912. It was likely built circa 1912, when owned by Charles Bell and his brother Uriah Poley Bell, who both, according to 1918-1919 directories, operated a farm and dairy on the property. Farming was often a prosperous venture during the boom years in Vancouver in the 1910s due to the population explosion and it was not uncommon to see grand, well-constructed rural farmhouses in the outskirts of Vancouver. Farms continued to flourish after a crash of the economy in Vancouver in 1913 and into the First World War, when many farms in the area were converted to dairy farms or used for wartime food production. The Bell brothers owned the property until 1919, when it was sold to His Majesty the King in Right of Canada Represented by the Soldier Settlement Board. It was occupied by Colonel A.W. McLellan in the early 1920s and operated as a group home for elderly and mentally challenged by the Home for the Friendless, a non-denominational religious group, in the 1930s. Ms. Rose Louie Wong bought the house in 1948 and it was held in the family until it was recently sold to 57th Avenue Developments Ltd.

This house and property is valued as a vestige of the prosperous rural farming community of Surrey Centre set within the growing modern urban community. The property was purchased by 57th Avenue Developments Ltd. to subdivide the property into 36 lots. As an historic landmark on Old McLellan Road, the Charles Bell house will be restored and rehabilitated as part of a Heritage Revitalization Agreement with the City of Surrey for use as a single family dwelling and as an anchor for the development. This report sets guidelines for the conservation of the original elements of the house and restoration to its original form. The report also includes a Maintenance Plan for the house that may be used to maintain the house indefinitely. For the purpose of this report, the front of the house (facing Old McLellan Road) is considered west.

The major elements to restore, rehabilitate and preserve the Charles Bell House include:

If house is to be moved, lift house UNDER skirting, to avoid damaging basement windows, place on new cement foundation (Section 3.3.2).
Replace roof with original cedar shingle roof (Section 3.3.4)
Paint house with original colours (Section 3.3.3)
Restore to original rear porch (Section 3.3.6)

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Restore to original rear sleeping porch (3.3.7)

Repair and restore damaged windows, trim, siding, chimneys, and doors (all exterior Sections)

Retain and restore original interior wood trim, wood floors and built-in in dining room (Section 3.4.1)



PHOTO 1: Charles Bell House (west elevation)

CHARLES BELL HOUSE CONSERVATION PLAN

2.0 DESCRIPTION OF SITE

2.1 DESCRIPTION OF EXTERIOR

General

Built circa 1912, the Charles Bell House is a grand one and one-half storey with full basement, wood-framed house with Craftsman influence. The front of the house, set back from the road, faces Old McLellan Road and from the south side of the house, there are commanding views of Mount Baker and the agricultural flatlands. The house conforms to a simple rectangular plan set on a solid cement foundation. The roof is a medium pitched side-gabled roof with wide overhangs and a front-gabled wall dormer at the front of the house and a sleeping porch at the back (currently filled in). At the front and rear of the house, the roof over the porch is dual-pitched (**Photo 2**)¹. Composed of modern duroid shingles, the roof has amassed moss in eastern and northern areas and has failed in a number of locations. Downspouts or gutters are either connected or missing. Decorative (originally notched) bargeboards, open soffits, exposed (originally notched) rafter ends and heavy timber triangular brackets add to the Craftsman charm of the house. Decorative gable screens adorn roof peaks at the north and south side of the house. The house is entirely sheathed in cedar shingles, except for the basement which displays lapped wood siding. Original siding was lapped on the first and second floor, with the dormer and sleeping porch balustrade shingled. The shingles bellcast at the base of the first storey. The house has a variety of window types and arrangements. The first and second floors display one, two, and three assembly, one-over-one, double hung wood-framed windows with wide wood trim and shingles serving as flashing above each set of windows. A set of three double-hung windows are set into a square bay on the south side of the house with wood decorative modillions on the underside of this bay (**Photo 3**). The first and second floors also have hopper style single windows. At the basement level, windows are typified by single and double assembly three-over-three double hung and fixed windows with wood muntins. Apart from a few broken window panes, the majority of the windows in the house are original, intact and in good condition.

The house has two porches. Apart from the stairs which have been replaced in the last ten years, the front porch is in near original or original condition. Sheltered by a full width dual-pitch roof, the porch is supported by three wood-panelled square porch columns positioned on a low, shingled balustrade. A single fixed piano window and triple assembly one-over-one double-hung windows adorn the front entry. The tongue-and-groove porch floorboards are original, as is the front wood panelled door with three decorative panes of bevelled glass at eye level. A single ceiling light fixture serves the porch.

Clad in newer and unsympathetic vinyl siding, the rear porch has been significantly altered. The balustrade was raised and four small square porch columns, decorated with unsympathetic scrollwork at the corners have been replaced a minimum of fifteen years ago. A hot tub was installed on the southern portion of the deck. The original tongue-and-groove floorboards have been covered in plywood on a portion of the porch. A stairway, replaced within the last twenty to thirty years, leading up to the porch is rotting, missing components and is in need of replacement. The north vinyl door, has been recently cut in from the kitchen and is framed with thinner trim than the rest of the doors on the house. A door to the south, near the hot tub is original or near original - with original hardware. The vinyl siding continues to the foundation level, and upon inspection of the interior basement, is a recent addition, as the original exterior wall is extant behind the new vinyl siding. Overall, the porch is sloping, causing stress and cracking to the shingle siding on each side of the porch. Lighting is provided by a single fixture mounted on the north wall of the rear porch.

¹ Please refer to Figures 2 and 3 for full reference to architectural terms used for this project

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On the second floor of the house, above the rear porch there is a filled-in sleeping porch. The infill was poorly built, with unsympathetic aluminum casement windows, cedar shingles and a roof with a lower pitch than the rest of the house.

The house has two red brick chimneys; a large and detailed corbelled chimney on the south side of the house and an internal on the north and rear side of the house.

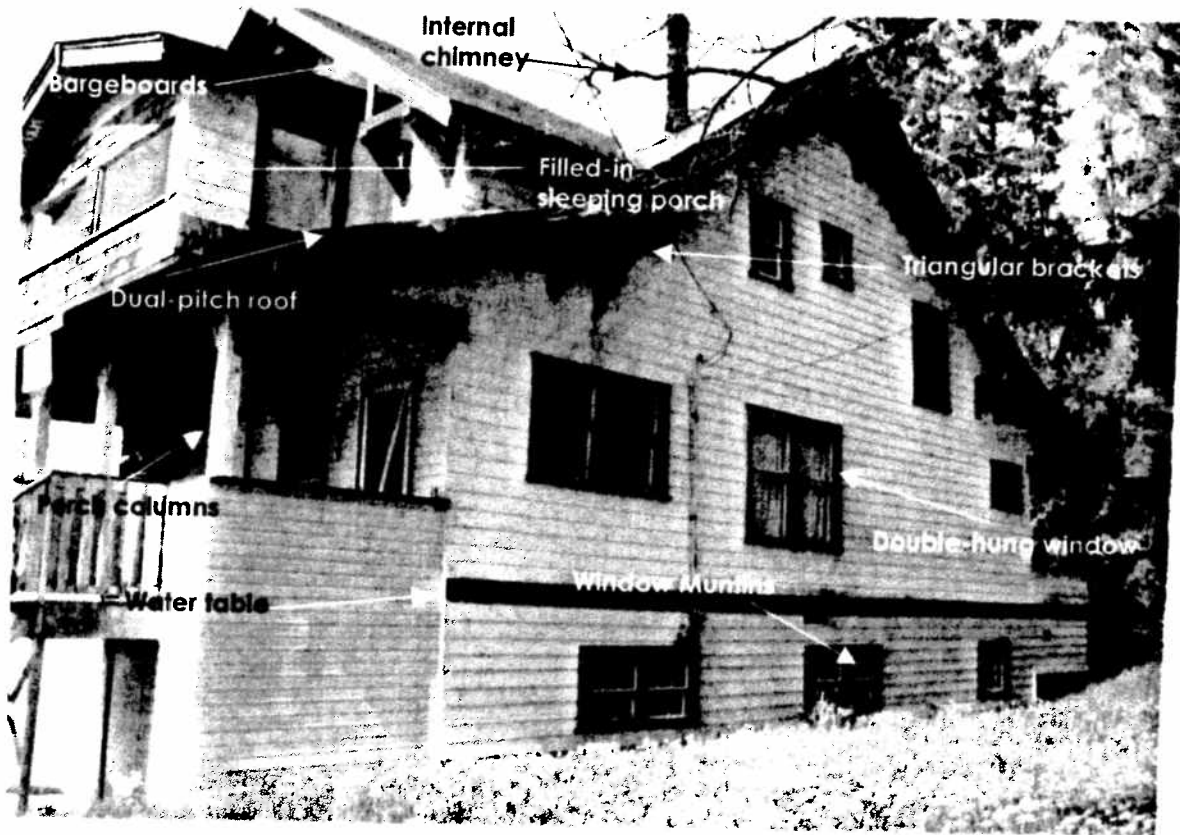


PHOTO 2: Terms of Reference (north elevation)

CHARLES BELL HOUSE CONSERVATION PLAN

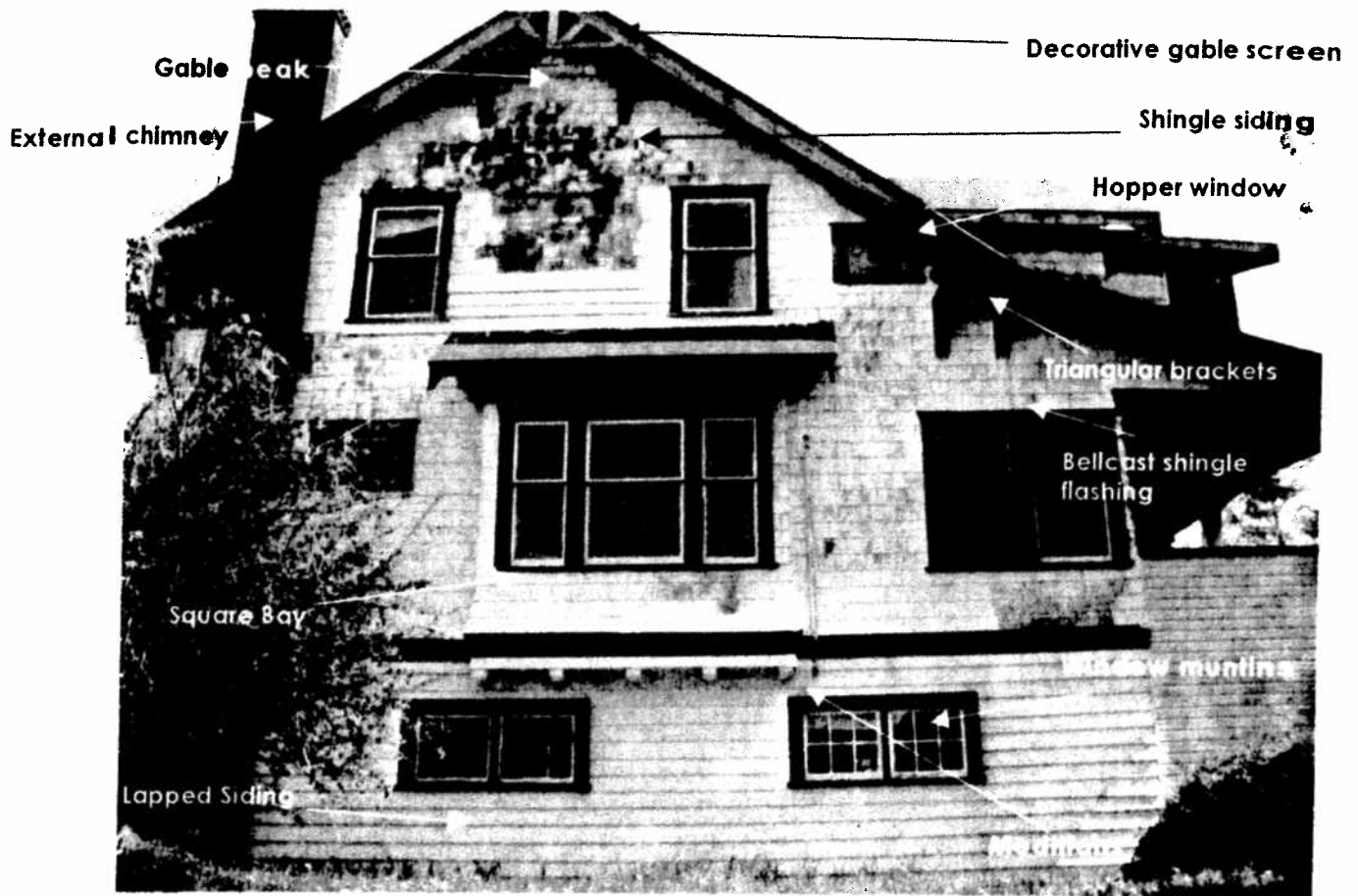


PHOTO 3: Terms of Reference (south elevation)

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2.2 DESCRIPTION OF INTERIOR

The house has two floors with a full height basement. The main storey contains the kitchen, formal living and dining rooms, a den and a front entryway (Photos 4-5). A dual entry stairway leads up to the second floor which has four rooms and a bathroom with a separate water closet. The largest room is located at the rear of the house and extends into the addition. This room appears to have been originally two rooms separated by a hallway that lead to the sleeping porch. Apart from this room, and the kitchen, room configuration appears to be intact and the majority of the door and window hardware, registers, inside mouldings and trim, built-in cabinets, stairways, hardwood flooring and interior doors are present and in good condition. Mouldings and door and window trim are unpainted in the front hall, living and dining rooms and up the stairs. Interior light fixtures are generally more modern; however, some original light switches are present on the first and second floor. Kitchen cabinetry is not original and likely added in the 1940s to 1950s. Plumbing has been updated since the house was built.

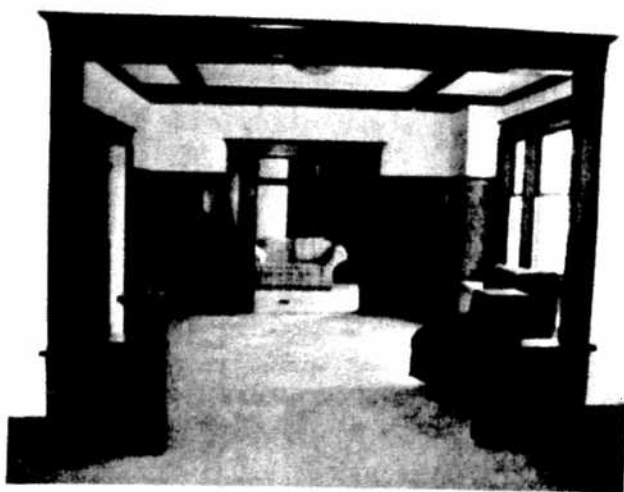


PHOTO 4: Living and Dining Room



PHOTO 5: Bedroom – Back of House

2.3 DESCRIPTION OF LANDSCAPE

Mature cedar trees serve as a perimeter screen at Old McLellan and 57A Avenue. The property was at one time, well landscaped with flower gardens, a mini orchard and terraced with a rock wall that surrounds the south and east sides of the house. A cement path leads to the front porch (Photo 6). A mature holly, likely planted around the time the house was built, is located at the Old McLellan Road driveway into the property. Younger plantings are unkempt and overgrown.

CHARLES BELL HOUSE CONSERVATION PLAN



PHOTO 6: Typical Landscaping – Old McLellan Road driveway on right (south elevation)

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3.0 CONSERVATION PLAN

3.1 NATIONAL STANDARDS AND GUIDELINES

The Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* (2004) is the main source utilized to determine the feasibility of conservation at the Charles Bell House. Under the guidelines, we propose that alterations to the complex include aspects of *preservation*, *restoration*, and *rehabilitation* defined below:

Preservation: The action or process of protecting, maintaining and/or stabilizing the existing materials, form and integrity of an historic place or of an individual component, while protecting its heritage value.

Restoration: The action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Rehabilitation: The action or process of making possible a continuing or compatible contemporary use of an historic place or of an individual component, through repair, alterations, and/or additions, while protecting its heritage value.

For the purpose of the *Charles Bell House Conservation Plan*, there is a proposed *preservation* and *rehabilitation* of both the interior and exterior space. *Restoration* will be applied to restoring the exterior sleeping porch, by re-exposing the sleeping porch on the second floor; and restoring the back porch to its original form. The conservation procedures outlined below, in conjunction with the more detailed Specifications in Appendix A serve to provide direction for its re-use as a modern, single family house. Specification categories correspond to the Canadian Master Spec (CMS©) approved, CMS Heritage© (2006 edition).

3.2 DESIGNATIONS

The property has been purchased by 57th Avenue Developments Ltd. and the property subdivided into 36 lots to build 35 new single family houses. The Charles Bell House will serve as the anchor property for the development. The house is on Surrey's Heritage Register and will be protected through a Heritage Revitalization Agreement with the City of Surrey (2007).

3.3 EXTERIOR CONSERVATION RECOMMENDATIONS

3.3.1 General Requirements

Considering its age, the exterior of the house is in good condition, with the majority of its elements in original or near original condition. The structure of the house, aside from slumpage observed on the back verandah, is solid and intact and no major cracking or movement of the house foundation is evident. Major issues that impact the heritage preservation of the house include the dilapidated roof

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and rainwater works, the addition to the second floor and the slumping and altered back porch. In many areas, paint is chipped and/or flaked off and original wood is exposed to the elements.

3.3.2 Masonry

Foundation

The cement foundation of the house is solid and in excellent condition. There are no visible major cracks or deterioration of the foundation and slumpage and / or settlement of the main part of the house was not observed. The foundation is clear of vegetation, the ground slopes away from the foundation and the house is well drained and surrounded by drainage gravel. However, the verandah at the rear of the house is slumping, and stress cracks are evident in some of the shingles at the junction where the house meets the porch (**Photo 7**).

Conservation:

- It is the intention of the owner to move the house to face 57A Avenue. It is recommended to lift the house below the skirting (to preserve the basement windows). Ensure that the new foundation is the same material (aggregate, colour, and strength) as the existing house's foundation.

Stress cracks

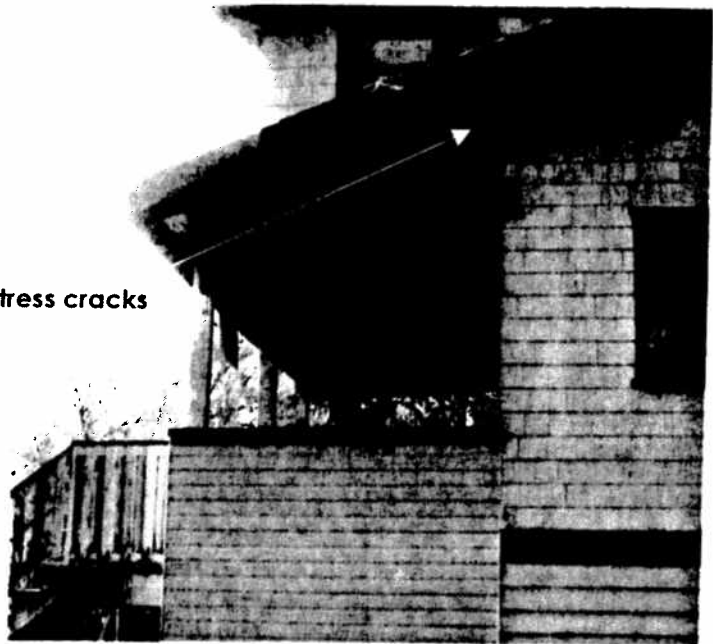


PHOTO 7: Rear porch - slumping to the east (north elevation)

Brickwork

The house has two red brick chimneys; an external corbelled chimney on the south side and an internal chimney on the northeast side of the house (**Photos 8-9**). The external chimney appears to be in fair condition. Some of the bricks are cracked and mortar at the base of the chimney has sloughed off. The internal chimney is in need of more repairs. The chimney was originally corbelled at the top rim, similar to the external, but this has since been removed (See Appendix B photos). An earlier repair was clumsily applied and mortar now covers many of the bricks. Bricks at the top of the chimney are missing or damaged.

Conservation:

- Replace missing or damaged bricks with units of the same type, colour, dimension and durability. Cracked bricks should be replaced if the fireplace is to be used by future owners. Re-mortar the

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bricks using a mortar mix no stronger or stiffer than the historic mortar. Do not use modern formulations with high proportions of Portland cement.

- From the base of the external chimney, where mortar has loosened or is crumbling, remove crumbled material with hand tools and replace with new, historically accurate mortar. Do not use modern formulations with high proportions of Portland cement.
- Protect and retain corbelled chimney top on the external chimney. Repair or replace cracked or damaged chimney tops.
- Remove excess mortar on internal chimney top using the gentlest methods possible, such as hand tools. Replace damaged or missing bricks at the top of the internal chimney and replace corbelled top with new, historically similar bricks.

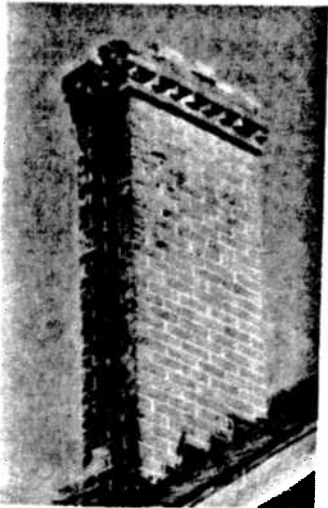


PHOTO 8: Internal Chimney (south elevation)



PHOTO 9: Internal Chimney (north elevation)

3.3.3 Siding / Trim

Siding

The wood cedar shingle siding on the first and second floors and lapped siding at the basement, are, for the most part, intact and in good condition. Animal intrusion, substantial fungal decay or insect infestation was not apparent upon inspection. In terms of the shingle siding, most appears to be original or near original. Splitting and/or damage to the shingles was noted on the south wall and at the point where the rear porch meets the house (Photo 10). At the south side, above the second floor windows, damaged shingles were

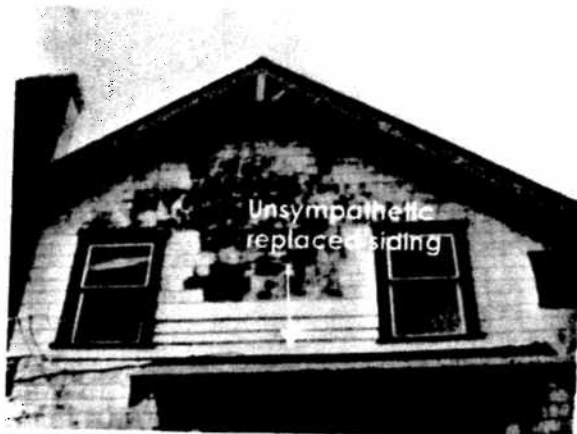


PHOTO 10: Gable Peak - Localized damage to shingles. Note replacement with lapped siding (south elevation)

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replaced with lapped siding. Fungal and water damage was noted on some of the shingles at the north side of the house, particularly at the bellcast. Replacement of the existing shingles should be limited to locales damaged beyond repair. Siding at the basement level has been replaced with lapped siding sometime in the last fifteen years and is good condition, requiring no repair. The entire house requires a new paint job – see historic colour tests below. Paint is cracking, chipped and exposed wood is apparent at numerous locations around the house. Bare wood is problematic on the north side of the house, concentrated on the sills of the windows as well as on the balustrade on the front verandah.

Conservation:

- Remove severely deteriorated paint that is not adhered to the wood using a flexible metal spatula for highly deteriorated locales.
- Remove dust and dirt with the gentlest method possible such as low-pressure water washing (garden hose), sponge, and soft natural bristle brushes or putty knives.
- Remove mold, moss and mildew on wood elements with a mix of 1 part Simple Green® and 10 parts water and a soft bristle brush.
- For smaller in kind repairs use linseed oil putty (for holes smaller than ¼") or non-shrinking two-part epoxy-based filler for larger imperfections.
- Replace all deteriorated shingle elements at the southeast corner of the house with new of the same wood source and design. Replicated replacements should be air-dried to avoid changes in size due to shrinkage.
- Hammer in any nails pulling loose from shingle siding.
- Replace lapped siding on south wall with new historically similar shingles.

Trim



PHOTO 11: Missing Moulding, (north elevation)

The trim encompasses all decorative wood elements on the house. This includes window and door trim, the water table board at the basement level, moulding below the bellcast shingles at the base of the first storey and on the porch, bargeboards, triangular brackets and decorative gable screens at the gable peak at the side of the house. For the most part, trim elements are extant, do not show major signs of decomposition or damage and are simply in need of repainting. Some portions of moulding are missing from below the bellcast shingles on the south and north elevation (**Photo 11**). A decorative element (keystone) on the bargeboard is missing from the bargeboard at the front and sides of the house (**Photos 12, 13**). These keystones are not original and should be removed. Modillions, under the square bay with windows at the south side of the house are original and in good condition. Window trim is original and consistent on all of the windows on the first and second floor. Window trim has been replaced on the basement windows but is consistent and should not be restored to original. All trim is in good condition.

Conservation:

- Replace missing moulding below bellcast with new, historically appropriate trim.
- Repair in kind and replace with historically accurate replicas where required.

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PHOTO 12:
Missing
Keystone in
Bargeboard
(west
elevation)



PHOTO 13:
Keystone
Detail (east
elevation)



Vinyl Siding

The rear porch is clad in vinyl siding, which does not conform to the siding found on the rest of the house. The siding should be removed to reveal original shingling below.

Conservation:

- Remove vinyl siding.
- Inspect siding below for deteriorated units and replace in kind or completely if damaged beyond repair.

Paint

The house requires repainting as paint is chipping, deteriorating and alligating throughout the house. Ideally, repainting should destroy as little as possible of what lies beneath (Photo 14).

Conservation:

- Complete all basic repairs and replacements and remove surface dust and grime before preparing, priming and painting. Be sure that all surfaces to be painted are dry.
- Scrape and sand painted surfaces only as deep as necessary to reach a sound base. Do not strip all previous paint except to repair base-material decay.
- Paint all areas of exposed wood with paint primer. Select an appropriate primer for materials being painted. (i.e. if latex paint is used over original oil paint, select an oil-based primer)
- Paint with colours outlined in table below.

Location	Historic Paint Colour	Where Applied
Body of the house	Benjamin Moore True Colours VC-3 Pendrell Cream	Shingles – 1 st and second floor Lapped siding – basement Open soffits/rafters
Trim	Benjamin Moore True Colours VC-21 Hams Green	Window and door trim Painted doors Porch columns and mouldings Balustrade ledges Water table Mouldings under water table Bargeboards and decorative gable screen Triangular brackets Modillions
Window Sash	Benjamin Moore True Colours VC-3 Pendrell Cream	All window sashes
Porch flooring	Benjamin Moore True Colours VC-26 Edwardian Porch Grey	Front and rear porch floor
Doors	Unpainted	All unpainted exterior doors

Table 1: Paint Colours

CHARLES BELL HOUSE CONSERVATION PLAN

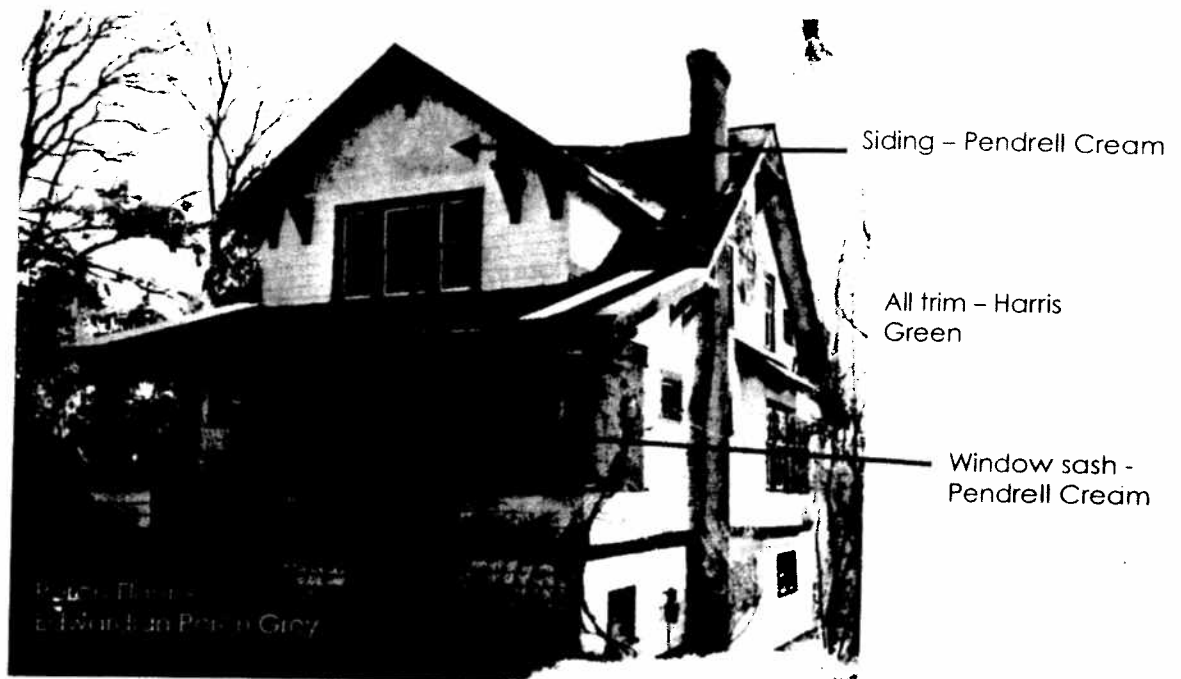


PHOTO 14: Heritage House Colours (west elevation)

3.3.4 Thermal and Moisture Protection

The current composition duroid roof, which has been replaced from the original cedar shingle roof, is not in good condition. Portions of the roof are damaged beyond repair, failing in many locations and roofing paper is exposed. The roof is leaking and rainwater works are missing. A new cedar shingle roof, or appropriate replacement material (contact Heritage Consultant) is recommended for conservation.

Conservation:

- Remove existing roof shingles and paper. Repair any water-damaged elements with new.
- Install new cedar shingle roof.
- Remove aluminum gutters and downspouts and install historically sympathetic replacement gutters and downspouts. We recommend installing **black gutters and for the downspouts, a colour similar to the siding.**
- Connect new drains to storm water / perimeter drain system.
- At minimum 18" below grade, install 4" ABS rainwater collection piping to reduce water ingress through the cement foundation. Direct piping to an adjacent rock pit or into a civic storm water collection system.

3.3.5 Doors and Windows

Wood Door Restoration

There are three doors in the house. The wood paneled front door and hardware, at the west entrance, are original or near original. With a strip of the panel cracked on the middle of the door, all

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that is required is local repair to cracked or nicked portions of the door and to clean and refinish the door (Photos 18-19). Three bevelled glass windows at the top of the door are in good condition. One of the glass pieces has been replaced with an unbevelled pane. The door at the rear south is original or near original and has only minor nicks to repair in kind (Photos 15,16). This door also has all of its original hardware. The north rear door has been replaced with a vinyl door and should be replaced with a three-panelled similar historically accurate door and hardware (Photo 17).

PHOTO
15: South
porch
Door
(east
elevation)



PHOTO
16: South
porch
door
hardware
(east
elevation)



PHOTO
17: North
porch
door (east
elevation)

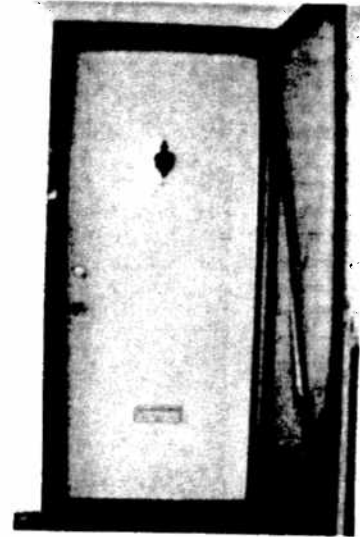
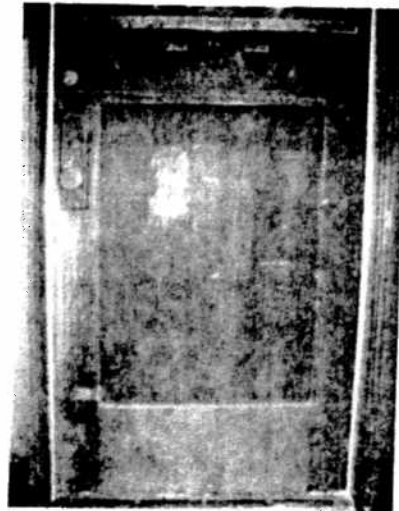


PHOTO
18: Front
door (west
elevation)



PHOTO
19: Front
door details



Conservation:

- Remove mold, moss and mildew on wood elements with a mix of 1 part Simple Green® and 10 parts water and a soft bristle brush.
- Dust and debris should be removed with the gentlest method possible such as low-pressure water washing (garden hose), sponge, soft natural bristle brushes or putty knives.
- Repair nicks and cracks with a filler. For smaller in kind repairs use linseed oil putty (for holes smaller than ¼") or non-shrinking two-part epoxy-based filler for larger imperfections.

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- Refinish front door and paint rear doors in Harris Green (See Table 1).
- Check doors for locks and opening.
- Replace north rear door with historically accurate door and hardware.

Vinyl Door

A horizontal sliding vinyl door was installed in the vinyl siding below the rear porch. This door is not historically appropriate, and should be replaced with a historically accurate door (three-panelled).

Conservation:

- See Section 3.3.6 for restoration of exterior rear porch.
- Replace sliding door with historically accurate three-panelled wood door.

Wood Window Restoration

The windows are in excellent condition and all except for windows in the addition at the rear of the house are original or near original. It is recommended to keep the existing historic windows. *Do not replace with vinyl windows as this will severely alter the heritage character of the house.* Paint deterioration, some broken or cracked windows and missing wood muntins at the basement level are common throughout the house. Also, glazing and putty failure were noted. Significant moss and mildew growth was noted on the north windows. A summary of the maladied windows in the house is summarized below:

Location	Ref.	Window Type	Issue	Action
1st storey square bay with windows, south side, middle window	Photo 20	1/1 double hung	Two cracked windows	Replace with new window panes
Basement, middle window, south side	Photo 21	3/3 fixed panel	Muntins missing	replace missing muntins with new historically same
Basement, near front of house, north side	Photo 22	3/3 fixed panel	Muntins missing	replace missing muntins with new historically same
Basement, middle set of windows, north side	Photo 23	3/3 double-hung	Muntins missing in two locations and portion of wooden window ledge rotten, portion of window sash missing, window broken	Replace missing muntins and sash and windows with new historically same and replace in kind, portion of rotted out window ledge
Basement, near rear of house, north side	Photo 24	3/3 double-hung	Cracked window pane	Replace with new window pane

Table 2: Windows

CHARLES BELL HOUSE CONSERVATION PLAN

PHOTO
20:
Broken
windows



PHOTO
21:
Missing
muntins

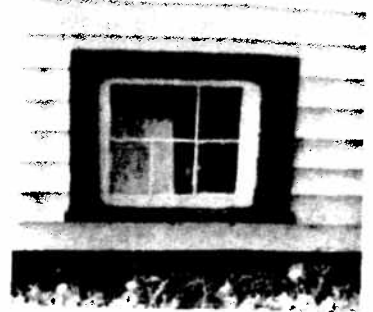


PHOTO
22:
Missing
muntins

PHOTO
23:
Broken
glass,
muntins,
sill, sash

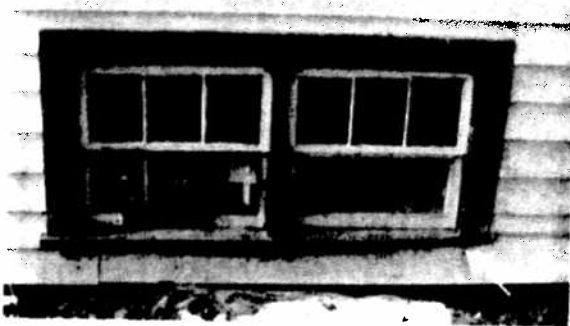
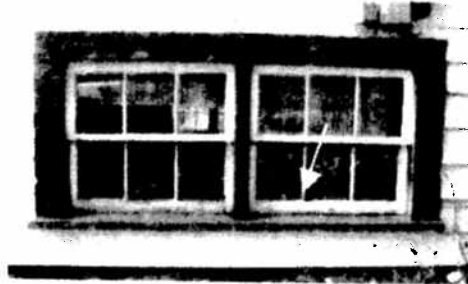


PHOTO
24:
Broken
window



Conservation:

- Retain all historic windows.
- Remove mold, moss and mildew on wood elements with a mix of 1 part Simple Green® and 10 parts water and a soft bristle brush.
- Remove dust and dirt with the gentlest method possible such as low-pressure water washing (garden hose), sponge, and soft natural bristle brushes or putty knives.
- Repair in kind, all elements decayed beyond repair or missing.
- Check operability and locking capabilities of all windows in the house. If broken, fix with historically appropriate hardware and fixings.
- Replace broken glass with new.
- Weather strip as appropriate.

3.3.6 Porches

Front Porch

The front porch is in good, near original condition. The wood stairway has been replaced within the last ten years and is in good condition, with no major decomposition or damage. The porch itself is supported by three wood panelled square porch columns. The columns are in good condition, except for one on the northwest, closest to the stairs, which has been damaged and cracked on one side (Photo 25). The tongue-and-groove porch floor is in fair condition, requiring general clean-up, in kind repair and painting. The balustrade sill has been replaced with new on the south side of the porch. Portions of the sill are pock-marked and damaged from moss and mould and should be replaced in kind (Photo 26).

CHARLES BELL HOUSE CONSERVATION PLAN



PHOTO 25: Cracked column panel



PHOTO 26: Mould damaged balustrade sill

Conservation:

- Remove mold, moss and mildew on wood elements with a mix of 1 part Simple Green® and 10 parts water and a soft bristle brush.
- Remove dust and dirt with the gentlest method possible such as low-pressure water washing (garden hose), sponge, and soft natural bristle brushes or putty knives.
- Repair in kind, all elements decayed beyond repair or missing.

Rear Porch

The rear porch has been altered from its original form (See Appendix B). The original porch had a low balustrade and was bellcast at the base. Four square columns, identical to those on the front porch supported the porch roof (**Photo 27 and Appendix B**). Double-hung windows lined the open spaces between the columns. Below the stairway to the northeast, the basement wall was inset and sided with lapped siding (where the sliding doors are now). At the present, the rear porch has been removed and porch columns replaced with new, smaller columns adorned with decorative scrollwork at the top corners (**Photo 28**). The wood stairway has been replaced within the last twenty to thirty years and is in poor condition, with major decomposition and damage. The tongue-and-groove porch floor is in fair to poor condition, requiring general clean-up, and in kind repair and painting. A portion of the flooring has been replaced with plywood and a hot tub was added to the south side of the deck in the last twenty years. Portions of the sill are pock-marked and damaged from moss and mold and should be replaced in kind if possible. This porch should be restored to its original form (See Appendix B and Photo 27). This should be accomplished by removing the vinyl siding to reveal the original siding, and restoring the four columns and mouldings to mimic those on the front porch. Keep porch open – do not add windows as seen in Photo 27. The plywood portion of the porch should be replaced with new, historically accurate tongue and groove wood flooring, and painted the colour suggested in Table I.

CHARLES BELL HOUSE CONSERVATION PLAN



PHOTO 27: Historic photo of rear porch – ca. 1997 (Courtesy of Surrey Archives)



PHOTO 28: Present condition of rear porch

Conservation:

- Remove vinyl siding to reveal original siding. Repair in kind siding and use existing balustrade sill to cap new balustrade.
- Remove hot tub.
- Replace plywood flooring with new, historically accurate tongue-and-groove wood flooring (Photo 29).
- Remove mold, moss and mildew on wood elements with a mix of 1 part Simple Green© and 10 parts water and a soft bristle brush.
- Remove dust and dirt with the gentlest method possible such as low-pressure water washing (garden hose), sponge, soft natural bristle brushes or putty knives.
- Repair in kind, all elements decayed beyond repair or missing.
- Using the existing columns as the core, add wood planking to outsides, reconstructing to original found on front porch. Add moulding historically similar to moulding at top and bottom of front porch columns (see Photo 25)



PHOTO 29: Profile of flooring (front porch)

3.3.7 Addition

There is an early addition to the second floor at the rear of the house, which was once a sleeping porch. The addition was converted early, likely in the 1930s, when the house was used as a rooming house. The balcony was enclosed with double-hung windows, that match the windows in the rest of the house and a gabled roof with similar notched bargeboards, notched rafters a keystone were added. The roof plane is at a lower pitch than the main roof and dormer. Later, the windows were replaced with aluminum sliding windows. This addition should be removed, and the material salvaged for future restorations to the house (Photo 30). A separate new garage will be added to the rear of the house. This is not of concern to the heritage portion of this project.

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Conservation:

- Remove shingles, windows, to expose where wall meets the former balustrade taking precautions to retain elements.
- RETAIN former balustrade on sleeping porch (below windows). Add historically similar sill to balustrade present on front porches.

Remove
windows, walls,
roof, decorative
elements



PHOTO 30: Addition (east elevation)

- Repair and replace in kind, shingles on balustrade and side of house.
- Repair and replace in kind, wood flooring and paint with paint recommended in Table I (Edwardian Porch Grey).
- Add historically similar three-panelled door to the rest of the house to close sleeping porch off from the inside.

3.3.8 Exterior Improvements

In the past, the site was well landscaped, but it is now overgrown and unkempt. In the 1910s it was not uncommon to see a farm garden with local trees, shrubs and perennials (**See Photo 6**). There are many mature historic trees on the lot, including the fence of cedar trees, various fruit trees (at the south corner of lot) and a large holly at the Old McLellan Road driveway. A terraced rock wall surrounds the south and east side of the property and small rock lined gardens contain a variety of perennials and flowering bushes. Younger plantings, that impede the beauty of the house, overhang or touch the structure or whose root system is causing damage to the foundation, should be removed and if required, replaced with new historically appropriate plantings. As this house will be moved to face 57A Avenue, it is recommended to retain all historic trees that do not impede the development and add new historical plantings when complete. On the south side of the house, at the front porch, there is a mature wisteria vine that at one time covered the house. Remnants of this vine were noted as high as the decorative gable screens and triangular brackets at the gable peak. Although wisteria is one of the few plants that does not damage a historic structure, these branches should be removed. Homet and wasp nests were also noted in numerous locations at the open soffits and should also be removed. The site is littered with refuse and small out-buildings. A winding walkway, leading from Old McLellan Road driveway to the front porch is cracked and deteriorating once the house is relocated.

Conservation:

- Remove all garbage and debris from property and remove unusable out buildings.
- Retain if possible, historic trees and healthy plantings that do not impede the development of the site.
- Plant historically appropriate plants such as tulips, roses, rhododendron, primrose, daffodils
- Remove remnants of vine from decorative elements on south side of house.
- Remove all insect nests from rafters and open purlins.

CHARLES BELL HOUSE CONSERVATION PLAN

- Replace deteriorating walkway to front of house with new.

3.4 INTERIOR CONSERVATION RECOMMENDATIONS

The interior of the house is in relatively good condition considering its variety of owners and use as a rooming house in the 1930s. Recognizing the need to upgrade to modern amenities, it is recommended to retain and refinish interior decorative wood elements (stairways, flooring, trim, doors, built-in in dining room, and benches in dining and front entry) and hardware (doors, windows). Retaining these features will not only preserve the heritage integrity, **but add tremendously to the re-sale value of the house.**

Main Floor

Apart from the kitchen, which has been drastically altered, much of the original wood detailing (mouldings, baseboards, door and window hardware, registers, and wood flooring), built-ins, stairways are intact and in good condition. The entry hallway has a built-in wood bench and wooden floors under later linoleum flooring; the living room with its stately brick fireplace; the dining room with built in beautifully crafted cabinets and a window seat, and the dual entry stairway with handsome wood banisters really exemplify the craftsman detailing of the house. **It is recommended to retain these elements that are essentially the interior expression of its Craftsman roots.** Room size within the house is adequate and should be retained with improvements. Interior finishes that are original and essential to defining the character of the house, such as baseboards, picture rails, doors, windows, wooden flooring should be retained. The dining room, parlour, and office are carpetted, with original hardwood floor underneath. It is recommended to remove the carpeting and linoleum and restore the hardwood flooring.

The kitchen has been upgraded likely in the 1930s-1950s, and is in need of a modern upgrade. Indoor plumbing has also been modernized.

Second Floor

The second floor has retained much of its original detailing, such as baseboards, hardwood flooring, and door and window trim. The room configuration is intact, except for the room at the rear of the house which was changed from two rooms to one and includes the filled in sleeping porch (**Photo 31**). This room has been altered quite severely from its original form. It is recommended to retain the present configuration of the rooms, the basic finishing woodwork and return the filled-in sleeping porch to its original use.

Basement

The basement has been demised in the last twenty years and is not necessary to restore to its original form.

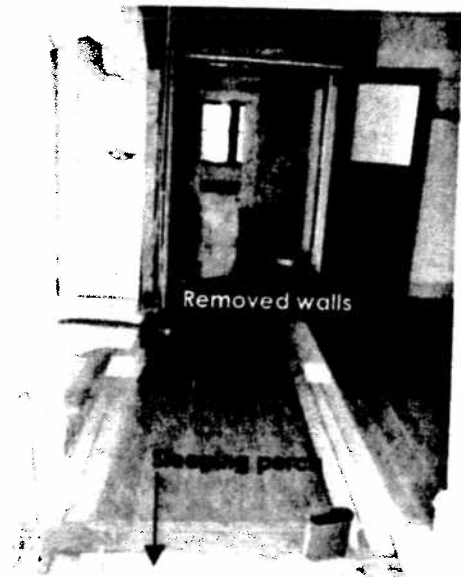


PHOTO 31: Bedroom at rear of house - second floor. Note green areas which demarked separate room and hall to sleeping porch.

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3.4.1 Finishes

Wood Flooring Restoration

Damaged and stained carpet covers the dining, and living rooms and den and should be removed to expose the wooden flooring. Linoleum covers original wooden flooring in the main entry. The wooden floors are worn and water damaged in the room directly west of the kitchen and should be repaired or replaced in kind, to match the original flooring.

Conservation:

- Remove carpetting and linoleum from floor, exposing hardwood flooring.
- Repair in kind where damaged or worn.
- Replace if damaged beyond repair.
- Refinish with oil, wax, varnish or shellac. Avoid 'low maintenance' finishes, especially polyurethane as it is hard and rigid and will not forgive movements in the wood. It is also prone to impact damage and burns and is hard to spot-repair.

Finishes, Windows, Doors

The finishes in this house are well-preserved and mostly intact (Photo 32-34). These finishes add to the historic nature of this house and should be preserved where possible. Should finishes not fit into renovation plans, they should be covered with readily removable materials. Windows are in good shape within the house and should be checked for operability.

PHOTO
32: Built-in
cabinets

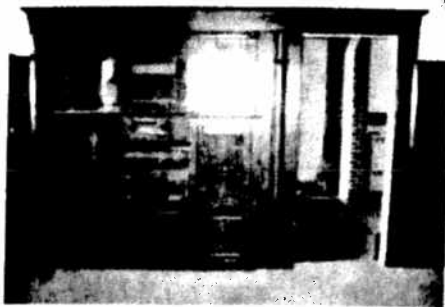
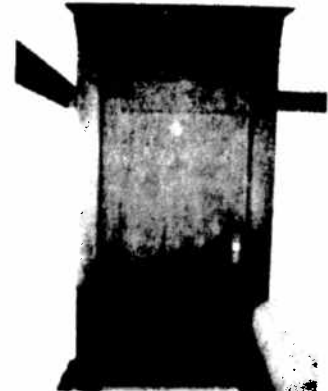


PHOTO
33:
Newel
post



PHOTO
34:
Typical
door



Conservation:

- Retain and restore the operation of all historic hardware – registers, doorknobs, locks, window latches.
- Replace missing or broken hardware with period appropriate hardware.
- Clean all wood baseboards, picture rails, doors, window frames and stairways with soft cloths and a mild solution.
- For areas with interior mold, such as the second floor north facing bedrooms, clean with a solution of 1 part Simple Green®, 10 parts water and a soft bristle brush.

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3.4.2 Mechanical and Electrical Systems

Electrical, heating, and plumbing systems in the house are a mix of old and new (and very little is original). It is up to the discretion of 57th Avenue Developments Ltd. as to what improvements are necessary for occupancy.

Conservation:

- Check operability of plumbing and heating and ventilation. Replace where required.
- Work with original plugs, locations and switches and add only where necessary.

3.5 BUILDING CODE RECOMMENDATIONS

There are no smoke alarms visible in any of the rooms. The basement floor is served by two at-grade exits (on the east) that are barrier free. Three functional exits serve the main floor at both porches and there is one means of egress from the second floor. All exits on the first floor are above grade and are not wheelchair accessible. The interior stairway has a continuous handrail that conforms to code (above 42"). The exterior stairways on both the porches do not have rail heights that adhere to code (above 42") while the back porch is in disrepair and the doorway is blocked. The porch balustrade on both of the porches do not meet code regulations for height. Should the balustrade and sleeping porch balustrade height become an issue for the new owners, add either a pipe rail or drill in flowerboxes to meet height requirement of 42". All exiting routes are unobstructed.

Conservation:

- Battery operated smoke alarms should be added to prominent locations at each level of the house.
- Consider sprinklering the house.

CHARLES BELL HOUSE CONSERVATION PLAN

4.0 MAINTENANCE PLAN

4.1 MAINTENANCE GUIDELINES

A maintenance schedule should be formulated that adheres to the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2004). Routine maintenance keeps water out of the building, which is the single most damaging element to a heritage building. Maintenance also prevents damage by sun, wind, snow, frost and all weather; prevents damage by insects and vermin; and aids in protecting all parts of the building against deterioration. The effort and expense expended on an aggressive maintenance will not only lead to a higher degree of preservation but will over time potentially save large amount of money otherwise required for later repairs. This Maintenance Plan should be passed onto the new owners of the house.

4.1.1 Permitting

Repair activities, such as simple repair of materials in-kind, or repainting in the same colour, should be exempt from requiring city permits. Other more intensive activities will require the issuance of a Heritage Alteration Permit

4.1.2 Cleaning

Following the *Standards and Guidelines for the Conservation of Historic Places in Canada*, be mindful of the principle which recommends 'using the gentlest means possible'. Any cleaning procedures should be undertaken on a routine basis, and should be undertaken with non-destructive methods. Cleaning of the house will be limited to the exterior material such as masonry wall surfaces and wood elements such as windows and trim. All of these elements are usually easily cleaned, using a soft, natural bristle brush, without water, to remove dirt and other material. If a more intense cleaning is required, this can be accomplished with warm water, mild detergent (such as Simple Green®) and a soft bristle brush. High-pressure washing or sandblasting, should not be allowed.

4.1.3 Repairs and Replacement of Deteriorated Materials

Interventions such as repairs and replacements must conform to the *Standards and Guidelines for the Conservation of Historic Places in Canada*. The building's *character-defining elements* – characteristics of the building which contribute to its heritage value such as materials, form, configuration, etc - must be conserved, referencing the following principals to guide interventions:

- An approach of minimal intervention must be adopted - where intervention is carried out it is by the least intrusive and most gentle means possible.
- Repair rather than replace character defining elements.
- Repair character defining elements using recognized conservation methods.
- Replace 'in kind' extensively deteriorated or missing parts of character defining elements.
- Make interventions physically and visually compatible with the historic place.

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4.1.4 Maintenance of Exteriors - Keeping the Water Out

Water, in all its forms and sources (rain, snow, frost, rising ground water, leaking pipes, back-splash, etc.) is the single most damaging element to historic buildings. Water supports all forms of biological decay such as rot, fungus, moss, lichen, termites, powder post beetle, other insects, etc. Keeping a building dry is the single best method of combatting biological decay.

The most common place for water to enter a building is through the roof and/or the guttering and downspout systems. An apparent minor roof or clogged gutter leak that is ignored can introduce enough moisture to support biological decay in a building on a scale necessitating removal of walls and floors, replacement of structural systems and services. Keeping roofs repaired or renewed and gutters frequently cleaned is a more cost-effective option.

Evidence of a small interior leak should be viewed as a warning for a much larger and worrisome water damage problem elsewhere and should be fixed immediately.

4.1.5 Information File

The house should have its own information file where a yearly inspection report by either the owner or a heritage professional can be filed. This file should also contain the logbook, which itemizes problems and corrective action. Additionally, this file should contain house plans, building permits, heritage reports, photographs and other relevant documentation so that a complete understanding of the building and its evolution is readily available, which will aid in determining appropriate intervention when needed.

Each file should also contain a list outlining the finishes and materials used, and information detailing where they are available (store, supplier). The property owner should keep on hand a stock of these spare materials for minor repairs.

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4.2 INSPECTION CHECKLIST

The following checklist considers a wide range of potential problems specific to the house such as water/moisture penetration; material deterioration; structural deterioration; site and environmental issues. This checklist should be filled out by the owner on an annual basis and stored in the owner's Information File for the house.

EXTERIOR INSPECTION

SITE INSPECTION:

- o Is the lot well drained?
- o Do trees need pruning - are there dangerous dead limbs?
- o Do plants hold water against the structure?
- o Do trees overhang or touch the structure – rubbing damage?
- o Can shrub and tree roots damage the structure?
- o Are there creepers or vines on the structure – causing damage?
- o Is the paint peeling? Cracking?

FOUNDATION:

- o Is bedding mortar sound?
- o Moisture: Is rising damp present?
- o Is the water table throwing water off the walls and not into the wall?
- o Is there back-splashing from ground to structure?
- o Does water drain away from foundation? Puddles?
- o Is moisture problem general or local?
- o Is spalling from freezing present? (Flakes or powder?)
- o Is efflorescence present?
- o Is spalling from sub-fluorescence present?
- o Is damp proof course present?
- o Are there shrinkage cracks in the foundation?
- o Are there movement cracks in the foundation?
- o Is crack monitoring required?
- o Is uneven foundation settlement evident?
- o Do foundation openings (doors and windows) show: rust; rot; insect attack; paint failure; soil buildup; deflection of lintels?

STRUCTURE:

Masonry (chimneys):

- o Are moisture problems present? (Rising damp, rain penetration, condensation moisture from plants, water run-off from roof?)
- o Is spalling from freezing present? Location?
- o Is efflorescence present? Location?
- o Is spalling from sub-fluorescence present? Location?
- o Need for pointing repair? Condition of existing pointing and re-pointing?
- o Are there cracks due to shrinking and expansion?
- o Are there cracks due to structural movement?
- o Are there unexplained cracks?
- o Do cracks require continued monitoring?
- o Are there stains present? Rust, copper, organic, paints, oils / tars? Cause?
- o Does the surface need cleaning?

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Wood Elements (such as siding, wood details (bargeboards, modillions, triangular brackets, decorative gable screens):

- Are there moisture problems present? (Rising damp, rain penetration, condensation moisture from plants, water run-off from roof, sills, or ledges?)
- Is wood in direct contact with the ground?
- Is there insect attack present? Where and probable source?
- Is there fungal attack present? Where and probable source?
- Are there any other forms of biological attack? (Moss, birds, etc.) Where and probable source?
- Is the wood surface damaged from UV radiation? (bleached surface, loose surface fibers)
- Is the wood warped, cupped or twisted?
- Is the wood split? Are there loose knots?
- Are nails pulling loose or rusted?
- Is there any staining of wood elements? Source?

Condition of Exterior Paint Materials:

- Paint shows: blistering, sagging or wrinkling, alligatoring, peeling. Cause?
- Paint has the following stains: rust, bleeding knots, mildew, etc. Cause?
- Paint cleanliness, especially at air vents?

Windows:

- Is there glass cracked or missing?
- If the glazing is puttied has it gone brittle and cracked? Fallen out? Painted to shed water?
- If the glass is secured by beading, are the beads in good condition?xxx?
- Is there condensation or water damage to the paint and wood?
- Are the sashes easy to operate? If hinged, do they swing freely?
- Is the frame free from distortion?
- Is the end grain properly sealed?
- Do sills show weathering or deterioration?
- Is shingle flashing above the windows properly shedding water?
- Is the caulking between the frame and the siding in good condition?

Doors:

- Do the doors create a good seal when closed?
- Are the hinges sprung? In need of lubrication?
- Do locks and latches work freely?
- If glazed, is the glass in good condition? Does the putty need repair?
- Are door frames wicking up water? Where? Why?
- Are door frames caulked at the siding? Is the caulking in good condition?
- What is the condition of the sill?

Gutters and Downspouts:

- Are downspouts leaking? Clogged? Are there holes or corrosion? (Water against structure)
- Are downspouts complete without any missing sections? Are they properly connected?
- Are eaves clean? Do they show any sagging?
- Is the water being effectively carried away from the downspout by a drainage system? Do downspouts drain completely away?

Roof:

- Are there water blockage points behind chimneys or valleys?
- Is the leading edge of the roof wet?

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- Is there evidence of biological attack? (Fungus, moss, birds, insects)
- Are wood shingles wind damaged or severely weathered? Are they cupped or split or lifting?
- Are the nails sound? Are there loose or missing shingles?
- Are flashings well sealed, especially at the chimney?
- Are metal joints and seams sound?
- Does the open soffits show any signs of water damage? Insect or bird infestation?

Porches and Open Balconies:

- Are steps safe? Handrail secure? Balusters deteriorating?
- Do any support posts show rot at their bases?
- Attachment – are porches, steps, etc. securely connected to the building?

INTERIOR

Basement:

- Are there signs of moisture damage to the walls? Is masonry cracked, discoloured, spalling? Is wood cracked, peeling rotting? Does it appear wet when surroundings are dry?
- Are there signs of past flooding, or leaks from the floor above? Is the floor damp?
- Are walls even or buckling or cracked? Is the floor cracked or heaved?
- Are there signs of insect or rodent infestation?

Living / Work Space:

- Materials: plaster, wood, metal, masonry – are they sound, or uneven, cracked, out of plumb or alignment; are there signs of settlement, old, or recent (bulging walls, long cracks, etc)?
- Finishes: paints, stains, etc. – are they dirty, peeling, stained, cracked?
- Are there any signs of water leakage or moisture damage? (Mold? Water-stains?)

Concealed spaces:

- Is light visible through walls, to the outsider or to another space?
- Are the ventilators for windowless spaces clear and functional?
- Do pipes or exhausts pass through concealed spaces without leaks?
- Are wooden elements soft, damp, cracked? Is metal material rusted, paint peeling or off altogether?
- Infestations - are there signs of birds, bats, insects, rodents, past or present?

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4.3 MAINTENANCE PLAN

Daily:

- Observations noted during cleaning (cracks; damp, dripping pipes; malfunctioning hardware; etc.) to be noted in log book or building file
- Usual cleaning, as required

Weekly:

- Clean gutters during periods of heavy leaf fall
- Clean air filters as necessary

Monthly:

- Have all rainwater gutters, downspouts, drains cleaned out
- Major issues entered into the log book

Quarterly:

- Check roofs inside and outside including gutters, valleys, downspouts, etc.
- Check doors for closing and locking
- Clean light fixtures

Semi-annually:

- Semi-annual inspection and report with special focus on seasonal issues
- Thorough cleaning of gutters and downspouts to cope with winter rains and summer storms
- Check smoke detectors
- Check condition of weather sealants (Fall)
- Clean the exterior using a soft bristle broom/brush

Annually (Spring):

- Inspect masonry, and brick mortar for cracks, deterioration, loss.
- Inspect windows for paint and glazing compound failure, wood decay and proper operation.
- Complete annual inspection and report for Information File
- Clean out of all perimeter drains and rainwater systems
- Check all fire extinguishers and have access to them
- Touch up worn paint on the building's exterior
- Oil all locks, hinges, etc.
- Service mechanical units such as air conditioning/pumps etc.
- Check for plant, insect or animal infestation
- Routine cleaning, as required

Five Year Cycle:

- A full inspection report by a heritage professional should be undertaken every five years comparing records from previous inspections and the original work, particularly monitoring structural movement and durability of utilities.

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- Repaint window sash windows every five to fifteen years. With proper maintenance, wood windows have the potential to last indefinitely.

Ten Year Cycle:

- Check condition of roof every ten years after last replacement.

Twenty Year Cycle:

- Confirm condition of roof and estimate effective lifespan. Replace when required.

Storm Inspections (As required):

- After any storm, inspection must occur for any damage. Gutters and roofs need to be checked and cleaned.

Major Maintenance Work (As Required):

- Thorough repainting, re-roofing, gutter, downspout and drain replacement; replacement of deteriorated building materials; etc.

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APPENDIX A: CONSERVATION SPECIFICATIONS

Part I General

I.1 SECTION INCLUDES

- .1 Definitions.
- .2 Historic significance.
- .3 Restoration procedures.
- .4 Historic artifacts.
- .5 Alterations.

I.2 RELATED SECTIONS

- .1 Refer to Heritage Conservation Report by Donald Luxton & Associates Inc.

I.3 DEFINITIONS

- .1 Match Existing: Provide new materials to match the existing in place material, in all aspects as closely as possible. Existing materials are those which are visible in whole or in part in the facility.
- .2 Match Original: Provide new materials to match the original material in all aspects as closely as possible. Original materials are those which were originally installed in the building at the time of its completion, prior to previous alterations and which may predate existing materials.
- .3 Preservation: "The action or process of protecting, maintaining and/or stabilising the existing materials, form and integrity of an historic place, or of an individual component, while protecting its heritage value", Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* (2004).
- .4 Reconstruction: The act or process of reproducing, by means of new construction, the form, features and detailing of a non-surviving building, structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location.
- .5 Restoration: "The action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting the heritage value", Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* (2004). This may be carried out by means of the selective removal of features from other periods in its history and reconstruction of missing features from the restoration period.

I.4 QUALITY ASSURANCE

- .1 Historic Significance:
 - .1 The existing buildings are designated historical building listed by the City of Surrey.
 - .2 Due to the unique historical significance, special procedures and precautions must be used in selective demolition and restoration.

- .3 The Charles Bell House is to be restored to its original appearance.
- .2 Restoration Procedures:
 - .1 Protect existing retained material from all adjacent works, passing traffic or any other action that may damage the materials.
 - .1 Protect floor finishes to be restored by vacuuming thoroughly, cover with polyethylene sheeting, 1/2" fibreboard and 1/2" plywood. Tape all joints. Allow for removal and reinstatement of hardboard and tape. Ensure hardboard and tape remains intact throughout the project.
 - .2 Preserve existing and original materials, finishes and profiles.
 - .3 Blend new and existing or original work to provide smooth transitions and uniform appearance.
 - .4 Cease work, notify Heritage Consultant/Architect and await instructions if materials or conditions encountered at the site are not as indicated by the Contract Documents or if structure is in danger of movement or collapse.
- .3 Historic Artifacts: If artifacts of a historic nature are encountered during the Work:
 - .1 Cease work in the affected area immediately.
 - .2 Protect artifacts from damage.
 - .3 Notify Heritage Consultant/Architect and await instructions.
 - .4 Salvage or dispose of artifacts as directed by the Heritage Consultant/Architect.
- .4 All work to be performed in accordance with the *Standards & Guidelines for the Conservation of Historic Places in Canada*, (2004) Department of Canadian Heritage.

Products

I.5 MATERIALS

- .1 New Materials:
 - .1 Provide new materials to match existing or original adjacent materials or original materials, repairs and reconstructions where suitable salvaged materials do not exist, are insufficient in quantity, or where reuse is not permitted.
 - .2 Retain recorded samples of existing and original materials on site for comparison purposes.
 - .3 Match existing or original materials in material, type, size, quality, colour, finish and other attributes.
- .2 Reused Materials:
 - .1 Clean and prepare salvaged materials for reuse.
 - .2 Do not use materials with objectionable chips, cracks, splits, dents, scratches, or other defects.
 - .3 Repair operable items to function properly.

Part 2 Execution

2.1 PREPARATION

- .1 Test materials to be used in repairs for compatibility with existing or original materials; do not use incompatible materials.
- .2 Cut, move or remove items to provide access for alterations and restoration work. Replace and restore upon completion.
- .3 Protect existing and original materials and surfaces from damage by all operations.

2.2 ALTERATIONS

- .1 Coordinate alterations and renovations to expedite completion.
- .2 Minimize damage to existing and original materials and surfaces; provide means for restoring products and finishes to their original or specified new condition.
- .3 Remove unsuitable materials not marked for salvage.
- .4 Remove debris and abandoned items from areas of work and from concealed spaces.
- .5 Refinish visible surfaces to specified condition, with neat transition to adjacent surfaces.
- .6 Install products and finish surfaces as specified in individual sections, or where no specification section exists, to match original.
- .7 Finish patches to provide uniform colour and texture over entire surface, with repairs not discernible from normal viewing distance. If finish cannot be matched, notify Heritage Consultant/Architect prior to refinishing entire surface to nearest intersections.
- .8 Rework finished surfaces to smooth plane, without breaks, steps or bulkheads:
 - .1 Where new work abuts or aligns with existing, provide smooth and even transition.
 - .2 Where a change in plane of 6 mm (1/4 inch) or more occurs, submit recommendation to Heritage Consultant/Architect for transition.
- .9 Where alterations expose mechanical and electrical components which were previously concealed, rework to be concealed in completed work.

END OF SECTION

Part 1 General

1.1 SECTION INCLUDES

- .1 All labour, materials, tools and other equipment, services and supervision required to repoint selective parts of the brick chimneys on the north and south elevations of the house.
- .2 Mortar materials.
- .3 Mortar mixes.

1.2 RELATED SECTIONS

- .1 Refer to Heritage Conservation Report by Donald Luxton & Associates Inc.
- .2 Section 01 15 10 (01310) - Restoration Project Procedures.

1.3 REFERENCES

- .1 City of Surrey Building By-Law 9011 (1987)
- .2 CSA A179-04 - Mortar and Grout for Unit Masonry.
- .3 CAN/CSA A3000-1998: Aggregate for Masonry Mortar.
- .4 CAN/CSA A3000-1998: Portland Cement.
- .5 CAN/CSA A3000-1998: Hydrated Lime for Masonry Purposes.

1.4 DEFINITIONS

- .1 Defective Mortar Joints: Joints in which mortar is missing, loose, spalled, eroded, powdered, broken, hollow, unsound, soft or weathered more than 5 mm (3/16 inch) from original plane. Sound joints containing fine hairline cracks are excluded.

1.5 SUBMITTALS

- .1 Samples: Submit two (2) cured mortar samples, 2ft x 2ft in size.
 - .1 Samples will be compared to existing unweathered sample to determine acceptability of match.
 - .2 Sample should match existing in colour, texture and joint style

1.6 QUALITY ASSURANCE

- .1 *Standards & Guidelines for the Conservation of Historic Places in Canada*, Department of Canadian Heritage (2004).

1.7 DELIVERY, STORAGE AND HANDLING

- .1 Protect materials from moisture absorption and damage; reject damaged containers.

- .2 Store sand to prevent inclusion of foreign matter.

1.8 PROTECTION

- .1 Use necessary means to protect masonry materials in all phases of handling and restoration. Protect the installed work and existing surfaces from mortar droppings.
- .2 Make good any damage, spillage to adjacent existing surfaces, buildings or grounds at no extra cost to the Owner.
- .3 Restoration work shall not damage the existing brick masonry.

1.9 EXISTING CONDITIONS

- .1 Report to the Construction Manager any existing brick masonry units that appear to have been loosened or otherwise weakened in the course of restoration operations.

Part 2 Products

2.1 MATERIALS

- .1 Portland Cement:
 - .1 Type: CAN/CSA A3000, Type II, containing maximum 0.60 percent alkali (sodium oxide) and maximum 0.15 percent water soluble alkali by weight.
 - .2 Colour: Use grey, nonstaining white or combination thereof as required to match existing mortar as closely as possible.
- .2 Lime: CAN/CSA A3000, Type S, hydrated masonry type.
- .3 Sand: clean, natural, well graded, complying with CAN/CSA A3000, colour, size and type to match existing mortar in colour and texture as closely as possible.
- .4 Water: Potable, clean and free from deleterious amounts of acids, alkalis and organic matter.
- .5 Air Entraining, Antifreeze, Bonding and Other Additives: Not permitted.

2.2 MIXES

- .1 Type N (1:1:5-6): 1 part cement, 1 part lime and 5-6 parts sand by volume.
- .2 Ultimate Compressive Strength: Not to exceed that of existing mortar or masonry.

2.3 MIXING MORTAR

- .1 Thoroughly mix ingredients in quantities needed for immediate use.
- .2 Mix dry ingredients mechanically until uniformly distributed; add half the required water and mix for 5 minutes; add the remainder of the water to achieve workable consistency.
- .3 Keep water to a minimum to reduce shrinkage and cracking and because a drier mortar is easier to compact into the joint.

- .4 Discard lumpy, caked, frozen and hardened mixes and mixes not used within 2 hours after initial mixing.
- .5 Use mortar within 2-1/2 hours after initial mixing at ambient temperatures below 27 degrees C and within 1-1/2 hours after initial mixing at ambient temperatures over 27 degrees C. Do not retemper the mix.
- .6 Do not add antifreeze compounds to lower freezing temperature of mortar.
- .7 Provide consistent colour for exposed mortar.

Part 3 Execution

3.1 JOINT PREPARATION

3.2 PREPARATION

- .1 Prior to beginning work examine existing mortar joints to determine procedures required to match new mortar to existing, including:
 - .1 Order in which horizontal and vertical joints were tooled.
 - .2 Style of tooling including depth and profile.
- .2 Rout out mortar joints scheduled for repointing
 - .1 A minimum depth of 2 - 2.5 times the width of the joint.
 - .2 Remove any loose or disintegrated mortar beyond this minimum depth.
 - .3 Square edges of mortar at the back of the joint.
 - .4 Rinse joint using jet of water to remove loose materials.
- .3 Damage to the masonry from this procedure is not permitted.
- .4 Equipment: The use of small pneumatically powered chisels and hand tools to remove mortar from horizontal joints are permitted. Use hand tools only to remove mortar from vertical joints. Power saws are not permitted.
- .5 Noise and dust control to comply with City of Surrey Building By-Law 9011 (1987).

3.3 REPOINTING MORTAR JOINTS

- .1 Carry out repointing in temperatures between 8 degrees C and 38 degrees C, out of direct sunlight.
- .2 At time of filling, dampen the joints with water but do not allow water to stand in the joint.
- .3 Where mortar has been removed to greater than 1 inch in depth, fill in several layers of approximately 1/4 inch thickness, applying the next layer once the previous one has reached thumbprint hardness.
- .4 When the final layer is thumbprint hard, tool the joint to match the historic joint.
- .5 Brush excess mortar from edge of joint using a natural bristle or nylon brush. Metal bristle brushes are not permitted.

- .6 Protect the newly pointed work from heavy rain and frost. In high temperatures, continually mist the area with water and protect from sunlight to reduce cracking.
- .7 If necessary to more closely match [existing] [original] mortar colour and texture, artificially age mortar using one of following methods:
 - .1 Lightly brush with stiff natural brush after tooling.
 - .2 Apply fine mortar spray with low pressure water after tooling.
- .8 Staining is [not] permitted.
- .9 Install mortar and masonry grout to requirements of CAN/CSA A179.

3.4 CLEAN-UP

- .1 The assigned work areas must be regularly cleaned of accumulated waste materials, refuse and garbage. Leave the assigned work areas and surrounding areas clean and in the same state as at the commencement of work and to the satisfaction of the Owner.
- .2 All debris resulting from the work on this contract will be removed from the site at completion of the work, paying particular attention to protected water sources.

END OF SECTION

Part I General

I.1 SUMMARY

I.2 SECTION INCLUDES

- .1 All labour, materials, tools and other equipment, services and supervision required to complete:
 - .1 Consolidation of existing interior and exterior finish carpentry components.
 - .2 Epoxy patching of existing interior and exterior finish carpentry components.
 - .3 Replacement of damaged and missing interior and exterior finish carpentry components.

I.3 RELATED SECTIONS

- .1 Refer to Heritage Conservation Report by Donald Luxton & Associates Inc.
- .2 Section 01 15 10 - Restoration Project Procedures.
- .3 Section 09 03 98 - Restoration Painting.

I.4 REFERENCES

- .1 ALSC (American Lumber Standards Committee) - Grading Rules.
- .2 AWI/AWMAC (Architectural Woodwork Institute) - Quality Standards.
- .3 NIST (National Institute of Standards and Technology) PS 20 - American Softwood Lumber Standard.

I.5 SUBMITTALS

- .1 Samples: Submit two (2) samples each 12 inch in size illustrating each trim and siding profile.
- .2 Qualification Statement: Installer qualifications, including previous projects.

I.6 QUALITY ASSURANCE

- .1 Installer Qualifications:
 - .1 Minimum three (3) years experience in work of this Section.
 - .2 Successful completion of at least three (3) projects of similar scope and complexity within past five (5) years.
- .2 *Standards & Guidelines for the Conservation of Historic Places in Canada, Department of Canadian Heritage (2004).*

Part 2 Products

2.1 MANUFACTURERS

- .1 Acceptable Manufacturers – Consolidant and Patching Compound:
 - .1 Abatron, Inc.

2.2 MATERIALS

- .1 Lumber: Use salvaged or new wood for patching holes and replacing deteriorated components. Do not reuse rotted, split, termite damaged or otherwise damaged pieces. New timber should be air-dried.

2.3 ACCESSORIES

- .1 Consolidant: Low viscosity penetrating consolidant, 8 hour minimum cure time; LiquidWood by Abatron, Inc.
- .2 Patching Compound: Epoxy based, multiple component; WoodEpoxy by Abatron, Inc.
- .3 Fasteners: Type and size as required by conditions of use; plain steel for interior use; hot dip galvanized steel for exterior use. Use similar fixing to original siding, where possible.

2.4 FABRICATION

- .1 Quality: AWI/AWMAC Premium Quality Grade.
- .2 Fabricate new wood components with profiles and dimensions to match original using salvaged materials as a template.

Part 3 Execution

3.1 PREPARATION

- .1 Prior to installation, condition existing and repair wood to average humidity that will prevail after installation.
- .2 Back prime exterior wood and wood in contact with masonry or cementitious materials prior to installation.

3.2 CONSOLIDATION OF EXISTING WOOD

- .1 Remove paint to Section 09 03 98. If paint is lead based, comply with all local regulations for its removal.
- .2 Surfaces for consolidation to be stripped, cleaned and dried by washing, degreasing, scraping or sanding.
- .3 Apply consolidant to manufacturer's instructions.
- .4 Completely saturate damaged wood with consolidant; allow to cure 8 hours minimum.

- .5 Apply to end grain where exposed. Prevent leakage with wax or clay plugs. Clean leakage before it cures.
- .6 Apply second coat if first coat does not completely saturate and harden wood.

3.3 EPOXY REPAIR OF EXISTING WOOD

- .1 Mix and apply epoxy to manufacturer's instructions.
- .2 Apply epoxy putty to fill voids after consolidant has cured.
- .3 Embed wood in centre of large patches to reduce amount of filler.
- .4 After filler has cured, sand, chisel or plane off to smooth surface, flush with adjacent surfaces.

3.4 REPLACEMENT OF EXISTING WOOD

- .1 Standard of decayed wood for replacement to be agreed by Heritage Consultant.
- .2 Remove existing damaged and deteriorated wood by removing to sound wood with a chisel and square off the cut, all in manner to minimize damage to adjacent surfaces.
- .3 Fit new components to original profiles and lines. Remove paint of adjacent existing timber to ensure correct profile.
- .4 Feather new materials into existing.
- .5 Secure at maximum 12 inches on centre. Use concealed or exposed nailing to match original.
- .6 Mitre corners.
- .7 Scribe to adjacent construction with maximum 1/8 inch gaps.
- .8 Sand cut ends and edges smooth.

END OF SECTION

Part I General

1.1 SECTION INCLUDES

- .1 All labour, materials, tools and other equipment, services and supervision required to complete:
 - .1 The overall restoration of existing six-over-one wooden windows and related wood trim.
 - .2 Restoration of existing hardware and replacement of damaged and missing hardware.

1.2 RELATED SECTIONS

- .1 Refer to Heritage Conservation Report by Donald Luxton & Associates Inc
- .2 Section 01 15 10 - Restoration Project Procedures.
- .3 Section 06 03 10 - Finish Carpentry Restoration.
- .4 Section 09 03 98 (09990) - Restoration Painting.

1.3 REFERENCES

- .1 City of Surrey Building By-Law 9011 (1987).

1.4 REGULATIONS

- .1 City of Surrey Building By-Law 9011 (1987), the Workers' Compensation Board and any other Authority Having Jurisdiction.

1.5 DEFINITIONS

- .1 Severe Deterioration: Deteriorated of the whole or part of an element to include voids and where the structural integrity of the element or the assembly in which the element is located is jeopardized.
- .2 Moderate Deterioration: Deterioration of the whole or part of an element to include voids and where the element is punctured under moderate pressure from a screwdriver, but where the structural integrity of the element or the assembly in which the element is located is not jeopardized.
- .3 Minor Deterioration: Deterioration of the whole or part of an element to the point where it feels soft but is not punctured under light pressure from a screwdriver, and voids do not exist.

1.6 SUBMITTALS

- .1 Shop Drawings:
 - .1 Include locations, dimensions, profiles, relationship to adjacent construction, hardware, weatherstripping and attachments.
 - .2 Illustrate weatherstripping in relationship to each frame and sash profile.

- .2 Samples: 150 mm long samples of each weatherstripping profile and moulded profile.
- .3 Qualification Statement: Restorer qualifications, including previous projects.

1.7 QUALITY ASSURANCE

- .1 Restorer Qualifications:
 - .1 Minimum three (3) years experience in work of this Section.
 - .2 Successful completion of at least three (3) projects of similar scope and complexity within past five (5) years.
- .2 All work to be performed in accordance with the *Standards & Guidelines for the Conservation of Historic Places in Canada*, (2004) Department of Canadian Heritage.

1.8 MOCK-UP

- .1 Size: One typical window.
- .2 Include epoxy repair, replacement in timber, any new mouldings and rebalancing sashes.
- .3 Locate where directed.

1.9 EXISTING CONDITIONS

- .1 Report to the Construction Manager any existing window units that appear to have been damaged or otherwise weakened in the course of restoration operations.

1.10 DELIVERY, STORAGE, AND PROTECTION

- .1 Comply with instructions for storage and handling of all windows and components.

Part 2 Products

2.1 MATERIALS

- .1 Counterweights: Reuse existing salvaged weights where possible. Provide new weights to match existing in profile and weight where weights are damaged or missing.
- .2 Sash Cord: sash chain.
- .3 Weather stripping: Material and profile to match original.
- .4 Hardware: Sash pulleys, sash lifts and sash locks; material, profile and finish to match original.

Part 3 Execution

3.1 REPAIR AND REPLACEMENT OF WOOD

- .1 Severe Deterioration:
 - .1 Replace deteriorated wood sash and trim members with new wood as specified in Section 06 03 10 - Finish Carpentry Restoration.

- .2 Match new wood to profile and grain of existing wood.
- .3 New wood grain to run in same direction as existing in situ.
- .4 Fabricate frame and sash members with mortised and tenoned joints. Fit to hairline joint, glue and nail. Stapling not permitted.
- .5 In replacing Sills, remove by cutting in three and removing centre section first to allow ends to be eased out without damage to rest of frame. Replace with a minimum angle of 10 degrees away from the building.
- .6 Install building paper to isolate new wood from existing timber.
- .2 Moderate Deterioration:
 - .1 Epoxy patch voids as specified and consolidate soft wood as specified in Section 06 03 10 - Finish Carpentry Restoration.
- .3 Minor Deterioration:
 - .1 Consolidate soft wood as specified in Section 06 03 10 - Finish Carpentry Restoration.
- .4 Missing Elements:
 - .1 Replace missing wood sash and trim members with new wood as specified in Section 06 03 10 - Finish Carpentry Restoration.
 - .2 Match new wood to profile and grain of original wood.
 - .3 Fabricate frame and sash members with mortised and tenoned joints. Fit to hairline joint, glue and nail. Stapling not permitted.
 - .4 Install building paper to isolate new wood from existing timber.
- .5 Reinforcing Joints:
 - .1 Reinforce joints using one or a combination of the following options, agreed on a window-by-window basis with the Heritage Consultant:
 - .1 Remove sash from frame, square sash, drill through the members where the mortise and tenon join and insert a hardwood dowel and glue. Reinstall sash.
 - .2 Screw metal angles to the squared up sash and prime and paint over angle and screw.

3.2 REPAIRING & REBALANCING COUNTERWEIGHTS

- .1 Ensure pulley is operating freely by lubricating, removing paint or replacing.
- .2 Remove the sashes from the frame by removing the rabbet and parting bead to remove upper sash.
- .3 Open pockets containing weights usually located on the inner side of the frame.
- .4 Clear out the accumulated debris inside the weight pocket and support the weights temporarily within the pocket to avoid damaging the frame if allowed to fall.
- .5 Release the cord from the sash by cutting at the junction with the frame.
- .6 Weigh the sashes with a scale or spring balance and to check that the weights adequately balance the sashes, particularly if the glazing has been replaced and add weights if

inadequate. Weights for the upper sash should normally be 2lb (0.9kg) heavier than the sash; weights for the lower sash should normally be 2lb (0.9kg) lighter than the sash.

- .7 Attach new sash chain to the window. New sash chain must be of the same diameter as the old to avoid snagging on the pulley.
- .8 Thread new cord over pulley and into weight box from the top, using a thin string with a weight on its leading end as a guide. Manoeuvre the sashes back into position. The system should be adjusted to allow the weights to hang 75 to 100mm clear of the bottom or top of the weight box when the sashes are in the fully open position, to reduce knocking noises in the frame
- .9 Firmly attach cord to weights and reinstate mouldings and pocket cover.

3.3 REPAIR AND REPLACEMENT OF HARDWARE

- .1 Restore existing operable items to working condition.
- .2 Replace damaged and missing hardware.
- .3 Replace missing fasteners with new to match original. Tighten existing fasteners.
- .4 Lubricate operable parts.
- .5 Adjust for smooth operation.

3.4 CLEAN-UP

- .1 The assigned work areas must be regularly cleaned of accumulated waste materials, refuse and garbage. Leave the assigned work areas and surrounding areas clean and in the same state as at the commencement of work and to the satisfaction of the Owner.
- .2 All debris resulting from the work on this contract will be removed from the site at completion of the Work paying particular attention to protected water sources.

END OF SECTION

Part I General

I.1 SECTION INCLUDES

- .1 All labour, materials, tools and other equipment, services and supervision required to complete all interior and exterior painting and decorating work as indicated on Finish Schedules and to the full extent of the drawings and specification.
- .2 Surface preparation to receive paint finishes as per industry standards.
- .3 Application of new paints and coatings.
- .4 Refer to drawings and Finish Schedules for type, location and extent of finishes required and include all touch-ups and field painting necessary to complete work shown scheduled or specified.

I.2 RELATED SECTIONS

- .1 Refer to Heritage Conservation Report by Donald Luxton & Associates Inc.
- .2 Section 01 15 10 - Restoration Project Procedures.

I.3 REGULATIONS

- .1 City of Surrey Building By-Law 9011 (1987), the Workers' Compensation Board and another Authority Having Jurisdiction.

I.4 QUALITY ASSURANCE

- .1 New surfaces – Master Painters Institute (MPI) Architectural Painting Specification Manual (latest edition).
- .2 Existing Surfaces – Master Painters Institute (MPI) Architectural Painting Specification Manual (latest edition).
- .3 Provide a manufacturer's warranty for all products and a two-year workmanship warranty for all paint preparations and applications.
- .4 A copy of the MPI Painting Specification Manual shall be kept on site during the duration of the painting work.
- .5 Should modifications to the standards occur in this specification, then the modifications shall govern.
- .6 All work to be performed in accordance with the *Standards & Guidelines for the Conservation of Historic Places in Canada*, (2004) Department of Canadian Heritage.

I.5 DEFINITIONS

- .1 Cracking: Fine, jagged, interconnected breaks in top layer or layers of paint.
- .2 Intercoat Peeling: Loss of adhesion between layers of paint.

- .3 Peeling: Loss of adhesion of paint from substrate.
- .4 Alligatoring: Cracking extending to substrate.
- .5 Abrasive Methods: Paint removal by mechanical or manual methods using putty knives, scrapers, wire brushes, sandpaper, sanding blocks or sanding sponges.
- .6 Thermal Methods: Paint removal by softening and raising the paint by applying heat via heat plate or gun, followed by scraping.
- .7 Chemical Methods: Paint removal by softening the paint by applying chemical stripper, followed by scraping.

1.6 SUBMITTALS

- .1 Product Data: Provide manufacturer's data on materials proposed for use. Include:
 - .1 Product designation and grade of each paint type.
 - .2 Surface preparation materials and procedures.
 - .3 Product analysis and performance characteristics for each paint type.
 - .4 Material Safety Data Sheet (MSDS) for each paint type.
- .2 Samples: Submit two (2) samples, 3 x 6 inches in size illustrating each colour and lustre, on representative substrate. Step each coat stepped back so that all coats remain exposed.
- .3 When requested by the Paint Inspector, the contractor shall prepare and paint a designated surface, area, room or item (in each colour scheme) to requirements specified herein, with specified paint or coating showing selected colours, gloss/sheen, textures and workmanship for review and approval. When approved, surface, area, room and/or items shall become the acceptable standard of finish quality and workmanship for similar on-site work.
- .4 Qualification Statement: Applicator qualifications, including previous projects.
- .5 Provide an itemised list complete with manufacturer, paint type and colour coding for all colours used for Owner's later use in maintenance.

1.7 QUALITY ASSURANCE

- .1 The Painting Trade Contractor shall have a minimum of five (5) years proven satisfactory experience and shall maintain a qualified crew of painters throughout the duration of the work who shall be qualified to fully satisfy the requirements of this specification. Only qualified journeymen (and apprentices) shall be engaged in painting and decorating work and have a provincial tradesman qualification certificate of proficiency (where applicable).
- .2 Conform to MPI Quality standard for surface preparation, paint products and application quality.
- .3 All work to be performed in accordance with the *Standards & Guidelines for the Conservation of Historic Places in Canada*, (2004) Department of Canadian Heritage.

1.8 MOCK-UP

- .1 Demonstrate surface preparation, primer, intermediate coats and top coats.

- .2 Locate where directed.

1.9 PROJECT CONDITIONS

- .1 Apply paints under dry and dust free conditions.
- .2 Ambient temperature: Between 10 and 32 degrees C.
- .3 Humidity: Maximum 50 percent.

1.10 WARRANTY

- .1 All painting and decorating work shall be inspected by a Paint Inspector recommended by Benjamin Moore.
- .2 The painting contractor shall notify the Paint Inspector at the end of each stage of the project i.e. surface preparation, priming first topcoat etc to get approval to move on to the next stage.
- .3 The painting contractor shall notify the Paint Inspector a minimum one week prior to commencement of work to schedule a site tour to inspect the surfaces requiring painting.

1.11 EXTRA MATERIALS

- .1 Provide 4 gallons of each type of extra paint, in unopened cans, properly labelled and identified, for Owner's later use in maintenance. Store where directed by the Construction Manager.
- .2 At completion of the Work, submit to the Consultant a detailed list of all types of paint and their manufacturers used in the project for the Owner's later use in maintenance. Include paint product, name and address of manufacturer and the Painting Trade Contractor.

1.12 EXISTING CONDITIONS

- .1 Report to the Construction Manager any existing brick masonry units that appear to have been loosened or otherwise weakened in the course of restoration operations.

1.13 DELIVERY, STORAGE and PROTECTION

- .1 Product delivery and storage of materials shall be in accordance with applicable chapter of MPI Manual.

Part 2 Products

2.1 MANUFACTURERS

- .1 Acceptable Manufacturers:
 - .1 Benjamin Moore.

2.2 MATERIALS

- .1 Exterior Wood Primer: Alkyd type; as manufactured by Benjamin Moore.

- .2 Interior Wood Primer: Alkyd type; as manufactured by Benjamin Moore.
- .3 Interior Flat Paint: Alkyd Latex as manufactured by Benjamin Moore.
- .4 Only materials (primers, paint, coatings, varnishes, stains, lacquers, fillers, etc) listed in the latest edition of the MPI Approved Product List (APL) are acceptable for use on this project. All such material shall be a single manufacturer for each system used.
- .5 Other materials such as linseed oil, shellac, thinners, solvents etc shall be the highest quality product of an MPI listed manufacturer and shall be compatible with paint materials being used as required.
- .6 All materials used shall be lead and mercury free and shall have low VOC content where possible.
- .7 Undercoats, primers and paint systems shall be of same manufacture as the final finish coat.
- .8 All materials shall bear manufacturer's label. Materials in unidentified containers shall be removed from the site.

2.3 ACCESSORIES

- .1 Surface Preparation Materials: Formulated for particular application.
- .2 Thinners and Cleaners: As recommended by paint manufacturer.

2.4 MIXES

- .1 Uniformly mix paints to thoroughly disperse pigments prior to applying.
- .2 Do not thin paint in excess of manufacturer's recommendations.

Part 3 Execution

3.1 EXAMINATION

- .1 The Painting Trade Contractor shall examine all surfaces to be painted before commencing work. Report any unsatisfactory conditions to the Construction Manager.
- .2 The commencement of work indicates acceptance of the surfaces and job conditions.

3.2 PROTECTION

- .1 Protect surrounding or adjoining work by adequately covering with tarpaulins or other necessary protective covering; make good any damage caused by failure to provide suitable protection.
- .2 Before commencement of work remove all electrical plates, surface hardware, canopies of lighting fixings etc and replace in original condition at completion of painting in each space.
- .3 Do not use solvent or thinners to clean hardware that will remove the permanent lacquer finish on these items.

- .4 Wrap knobs and remove escutcheons during painting operations. Cover all other hardware such as strikes, butts and door closers, push plates etc.

3.3 PREPARATION - GENERAL

- .1 Protect surfaces not requiring painting.
- .2 Apply primer or first coat immediately after surface preparation to prevent contamination of surface, all in accordance with MPI Architectural Painting Specification Manual for the various surfaces.

3.4 SURFACE PREPARATION

- .1 Exterior Surfaces:
 - .1 Wash (max 750psi) all surfaces with 1 part Simple Green© and 10 parts water solution.
 - .2 Rinse with clean water and allow to dry completely.
- .2 Interior Surfaces:
 - .1 Prepare all surfaces in accordance with MPI Painting Specification Requirement.
 - .2 Remove loose, flaky or bubbled paint by mechanical (i.e. palm sander, scraper etc) or chemical (paint and varnish remover) methods.
 - .3 Remaining paint to be feathered back to eliminate undercutting from the new paint.
 - .4 Fill holes and indentations with filler appropriate to surface. Allow to dry; sand flush with adjacent surfaces.
 - .5 Lightly sand glossy paints.
 - .6 Sand surfaces smooth where paint is removed to expose substrate.
 - .7 Prevent damage to existing surfaces.

3.5 APPLICATION

- .1 Application shall be in accordance with the manufacturer's directions, MPI Specifications Manual and as follows
- .2 After washing, allow wood surfaces to dry for two good drying days prior to applying any paint.
- .3 Thinning shall be done only in accordance with manufacturer's directions as required, but no dilution, adulteration or misuses will be allowed.
- .4 Apply paint and coatings to minimum dry film thickness recommended by manufacturer.
- .5 Apply paint and coatings uniformly without laps, sags, curtains, holidays and objectionable brush marks.
- .6 Allow each coat to cure completely before applying additional coats.

- .7 Ensure that each coat is undamaged prior to applying succeeding coat.
- .8 Sand between coats on interior wood surfaces prior to application of succeeding coats.
- .9 Do not paint:
 - .1 Surfaces indicated on Drawings or specified to be unpainted or unfinished.
 - .2 Surfaces with factory applied finish coat or integral finish.
 - .3 Architectural metals including brass, bronze and copper.
 - .4 Name tags or identifying markings.
- .10 Window trim colour is to be wrapped around on all edges of the window trim.
- .11 Continue paint finishes through behind wall-mounted items.
- .12 All finish work shall be uniform in sheen, colour and texture.

3.6 ADJUSTING

- .1 Touch up abraded, stained and otherwise disfigured surfaces or refinish as required.
- .2 Contractor must make allowances for additional coats of paint when top coating a primer with a deeper colour to ensure they are able to meet the industry standard for opaqueness.

3.7 FIELD QUALITY CONTROL

- .1 Manufacturer's Field Services: Ensure that materials are being applied correctly.

3.8 EXTERIOR SURFACES

- .1 All surfaces (wood) that have been prepared as above shall be spot primed in areas of surface preparation with Benjamin Moore (BM) exterior alkyd primer or similar approved.
- .2 All sidings should have two (2) coats of BM low lustre acrylic latex or similar approved.
- .3 All trim shall have two coats of BM low semi-gloss latex or similar approved.
- .4 All window sashes and frames shall have two coats of BM Impervo Enamel.

3.9 INTERIOR SURFACES

- .1 All new drywall to be primed with BM Moorspec Primer Sealer.
- .2 All newly primed drywall and existing painted wall surfaces is to be painted with two coats BM Moorspec Eggshell.
- .3 All existing painted trim to have two coats of BM Ecospec semi-gloss latex.
- .4 All new /latex finished ceilings to have two coats of BM Moorspec Flat.
- .5 All existing alkyd finished ceilings are to be painted with two coats of BM Ecospec Flat.

- .6 All stained/varnished woodwork to be painted with one coat of Alkyd Underbody (217-00) and then two coats of BM Ecospec semi-gloss latex.
- .7 All stained/varnished woodwork to remain BM Polyurethane gloss finish.

3.10 COLOUR SCHEDULE

- .1 Refer to the Donald Luxton & Associates Inc. Conservation Report (Table I) for the colours that have been chosen for the various surfaces.

3.11 CLEAN-UP

- .1 The assigned work areas must be regularly cleaned of accumulated waste materials, refuse and garbage. Leave the assigned work areas and surrounding areas clean and in the same state as at the commencement of work and to the satisfaction of the Owner.
- .2 All debris resulting from the work on this contract will be removed from the site at completion of the Work paying particular attention to protected water sources.

END OF SECTION

CHARLES BELL HOUSE CONSERVATION PLAN

APPENDIX B: ADDITIONAL PHOTOS



Rear porch and addition, ca. 1997 (City of Surrey Archives)

CHARLES BELL HOUSE CONSERVATION PLAN



Front porch. Note notched rafters and bargeboards, ca. 1997 (City of Surrey Archives)

CHARLES BELL HOUSE CONSERVATION PLAN



Decorative gable trusses, ca. 1997 (City of Surrey Archives)

16588 Old McEllan Road SC045



Rear porch—original form, ca. 1997 (City of Surrey Archives)

CHARLES BELL HOUSE CONSERVATION PLAN

APPENDIX C: RESEARCH SOURCES

PROPERTY INFORMATION

- BC Vital Events
- BC Directories
- Surrey Heritage Register, Worksheet No. 95
- City of Surrey Archives
- Title Search

CONSERVATION INFORMATION

Baeyer, Edwinna von

- 1984 Rhetoric and Roses: A History of Canadian Gardening. Fitzhenry & Whiteside, Markham, Ontario.

Fram, Mark

- 2003 Well Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation, 3rd Edition. Erin, Ontario, Boston Mills Press.

Parks Canada

- 2004 Standards and Guidelines for the Conservation of Historic Places in Canada. Parks Canada.

IN WITNESS WHEREOF the Owner and the City have executed this Agreement as of the date first above written.

57TH AVENUE DEVELOPMENTS LTD.
by its authorized signatory



Harjinder Kaur Dhaliwal

CITY OF SURREY

Dianne Watts
Mayor

Margaret Jones
Acting City Clerk