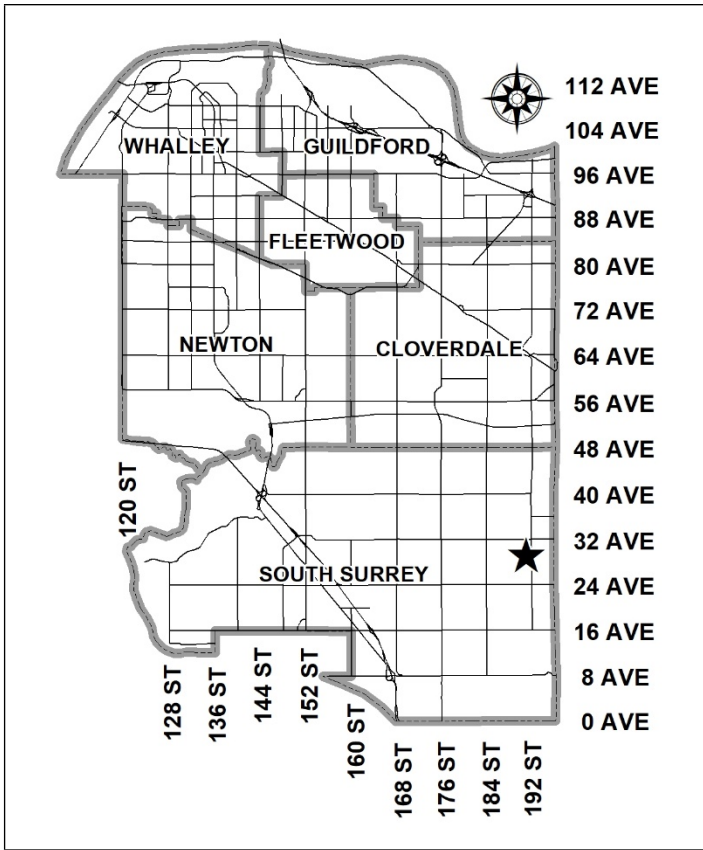


City of Surrey
PLANNING & DEVELOPMENT REPORT
 Application No.: 7923-0250-00
 Planning Report Date: September 11, 2023



PROPOSAL:

- **Temporary Use Permit**

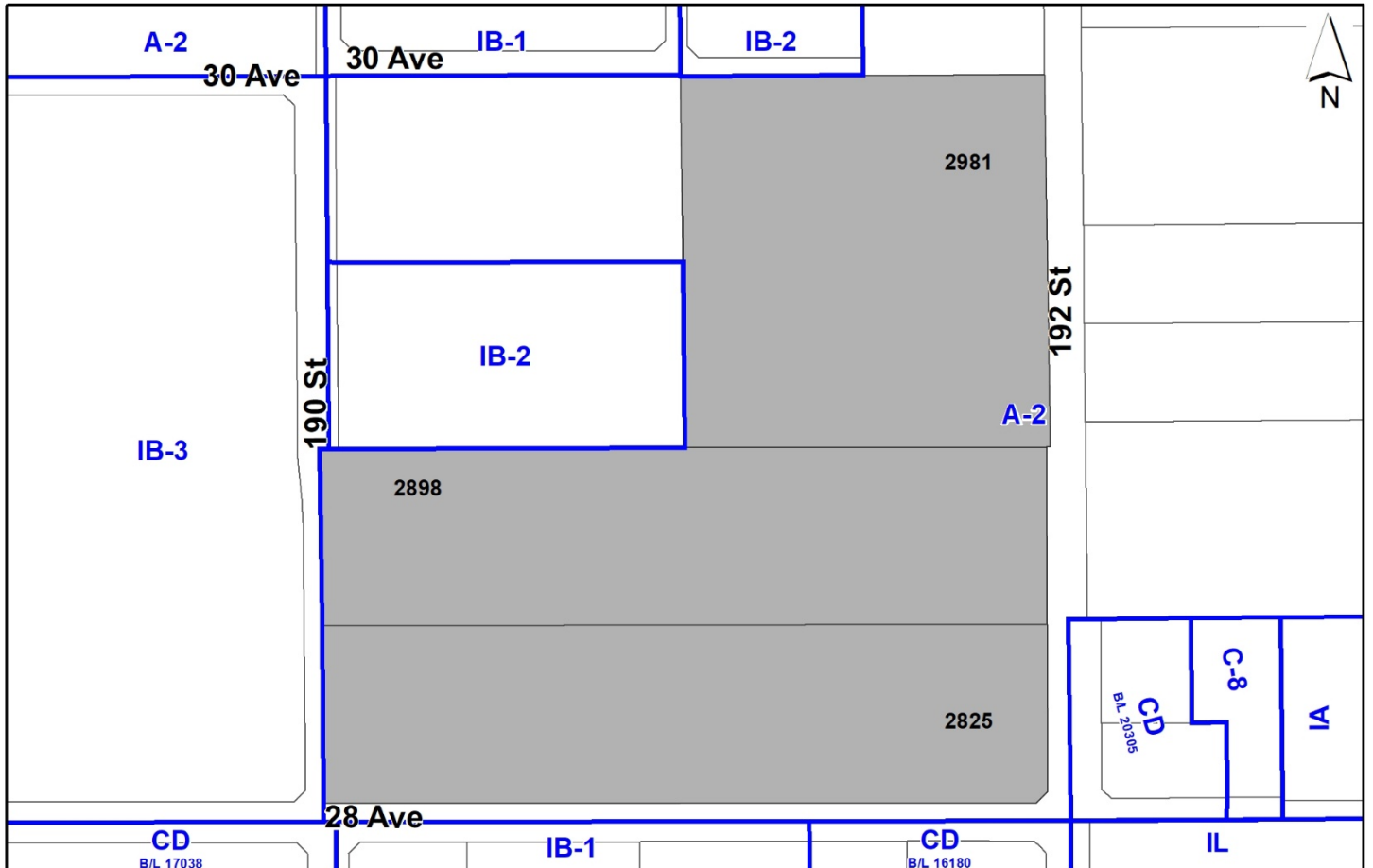
to permit the temporary use of an existing farm building.

LOCATION: 2981 – 192 Street
 2898 – 190 Street
 2825 – 192 Street

ZONING: A-1

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: “Business Park”, “Business Park (Office)”, “Landscaping Strips”, and “Commercial”



RECOMMENDATION SUMMARY

- Approval for Temporary Use Permit No. 7923-0250-00 to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The existing farm building does not comply with the anticipated Comprehensive Development (CD) Zone (Bylaw No. 20851), that was granted Third Reading by Council at the March 6, 2023 Regular Council – Public Hearing meeting under Development Application No. 7922-0191-00 on the subject site.
- As the CD Zone (Bylaw No. 20851) is anticipated to be considered for Final Adoption at the September 25, 2023 Regular Council – Land Use meeting, the temporary retention of the farm building will not comply with the new zoning for the subject site.
- The proposed farm building setbacks reflect the current on-site condition and will not comply with the CD Zone (Bylaw No. 20851) setbacks. The proposed Temporary Use Permit proposes to vary the south and west yard setbacks to accommodate the existing farm building in the interim.

RATIONALE OF RECOMMENDATION

- As a condition of approval for the rezoning and subdivision for Development Application No. 7922-0191-00 (subject site application), all uses must cease and buildings must be removed.
- The existing farm building along 28 Avenue is part of an existing chicken farm. Due to requirements set by the BC Chicken Marketing Board, the sale of chickens as part of the existing farm operation will take several months to complete. The proposed temporary use permit is being contemplated so as not to delay the proposed development of the two multi-tenant light impact industrial buildings under 7922-0191-00.
- The temporary use permit will permit the farm operation to continue until such a time that all chickens have been sold and the building can be demolished. The temporary use permit will allow for a 90 day term. Any site works associated with Development Application No. 7922-0191-00 can continue.
- The proposed reduced building setbacks will not negatively impact adjacent lands as the existing building will only be retained in the interim.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Temporary Use Permit No. 7923-0250-00 (Appendix II) to proceed to Public Notification.
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) Completion of the requirements under Development Application No. 7922-0191-00, including Final Adoption of Rezoning Bylaw No. 20851.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Underutilized Acreage agricultural lots with single family residences	“Business Park”, “Business Park (Office)”, “Landscaping Strips”, and “Commercial”	A-2
North:	Agricultural uses and a lot with an approved multi-tenant light-impact industrial building under Development Application No. 7919-0045-00 that was granted Final Adoption at the March 8, 2021 Regular Council – Land Use meeting.	Business Park”, “Business Park (Office)”, “Landscaping Strips”,	A-2, IB-2

Direction	Existing Use	LAP Designation	Existing Zone
East (Across 192 Street):	<p>Acreage agricultural lots under various development applications for proposed multi-tenant light-impact industrial buildings (7920-0321-00);</p> <p>A temporary truck and equipment storage facility approved under Development Application No. 7920-0106-00, which expired in November 2021. A subsequent TUP extension under Development Application No. 7921-0345-00 was conditionally supported by Council at the November 14, 2022 Regular Council – Public Hearing meeting; several unpermitted truck parking facilities with current Temporary Use Permit applications under Development Application Nos. 7922-0259-00 and 7922-0373-00;</p> <p>And a commercial development including a gas station, drive-through restaurant, and commercial office building that was approved under Development Application No. 7917-0411-00, which received Final Adoption at the November 14, 2022 Regular Council – Land Use meeting.</p>	“Business Park”, “Landscaping Strips”, and “Commercial”	CD (By-law No. 20305) and A-2
South (Across 28 Avenue):	Multi-tenant light-impact industrial buildings and a commercial retail plaza	“Technology Park or Business Park”, “Landscaping Strips”, and “Commercial”	CD (By-law No. 16180) and IB-1
West (Across 190 Street):	Light-impact industrial warehouses and vacant property with an approved Development Permit for a 10,222 square metre multi-tenant light-impact industrial building under Development Application No. 7919-0045-00.	Business Park”, “Business Park (Office)”, “Landscaping Strips”,	A-2, IB-2, and IB-3

Context & Background

- The subject site is under Development Application No. 7922-0191-00, which proposes two multi-tenant light impact industrial buildings with an ancillary commercial node with a total floor area of 22,607 square metres and 44,795 square metres, respectively. As part of the subject application, the site is to be rezoned under CD Bylaw No. 20851. Development

Application No. 7922-0191-00 and CD Bylaw No. 20851 was granted Third Reading (Conditional Approval) at the March 6, 2023 Regular Council – Public Hearing meeting.

- As a condition of approval for the rezoning and subdivision for Development Application No. 7922-0191-00 (subject site application), all existing uses must cease and existing buildings must be removed.
- The existing farm building along 28 Avenue at 2825 – 192 Street is part of an existing chicken farm. Due to requirements set by the BC Chicken Marketing Board, the sale of chickens as part of the existing farm operation will take several months to complete. In order to allow the business park development to proceed without delay, a temporary use permit is being contemplated to allow the farm operation to continue following Final Adoption of CD Bylaw No. 20851, until such a time that all chickens have been sold and the building can be demolished. This will allow initial site servicing and construction associated with Development Application No. 7922-0191-00 to commence.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes a temporary use permit to permit the continued farm operation on a portion of the subject site (2825 – 192 Street) for a period not to exceed 90 days.
- The property is currently zoned “General Agriculture Zone (A-1),” which permits the current farm operation and building. The proposed TUP will allow for the use to continue in the interim upon Council granting Final Adoption to CD Bylaw No. 20851. Once the rezoning occurs, the use will no longer be permitted, other than those uses granted under the proposed TUP, should it be supported by Council.
- Upon completing the sale of all chickens on the property the owner will undertake the required building demolition and the TUP will cease. A 90 day TUP term is proposed to allow for the sale of all chickens and complete the demolition process.

	Proposed
Lot Area	
Gross Site Area:	11.4 hectares
Road Dedication:	1.0 hectare
Undevelopable Area:	n/a
Net Site Area:	10.4 hectares
Number of Lots:	1
Building Height:	8.8 m

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

POLICY & BY-LAW CONSIDERATIONS

CD By-law

- The applicant proposes to retain the existing farm operation and building in the interim through a temporary use permit for a period not to exceed 90 days.
- The table below provides an analysis of the temporary use permit in relation to the requirements of the CD Zone.

CD Zone (Part 52)	Permitted and/or Required	Proposed TUP
Unit Density:	n/a	n/a
Floor Area Ratio:	n/a	n/a
Lot Coverage:	n/a	n/a
Yards and Setbacks		
North:	7.5 m	62.0 m
East:	7.5 m	45.2 m
South:	9.0 m	3.3 m
West:	16.0 m	3.8 m
Height of Buildings		
Principal buildings:	17.2/17.3 m	8.8 m
Accessory buildings:	6.0 m	n/a

Setback/Height Variances

- The applicant is requesting the following variances, forming part of the Temporary Use Permit:
 - To reduce the front yard (west) setback of CD Zone (Bylaw No. 20851) from 16.0 metres to 3.8 metres; and
 - To reduce the side yard on a flanking street (south) setback of CD Zone (Bylaw No. 20851) from 9.0 metres to 3.3 metres.
- The existing farm building will have reduced building setbacks following the dedication of lands for 28 Avenue and 190 Street and the adoption of CD Bylaw No, 20851. The reduced building setbacks will allow for the interim retention of the farm building and its operations while the owner completes the sale of all chickens in accordance with the regulations set out by the BC Chicken Marketing Board.
- Staff support the requested variances to proceed for consideration as part of the Temporary Use Permit.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on August 24, 2023 and the Development Proposal Signs were installed on August 28, 2023. Staff received no responses from neighbouring residents or businesses.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

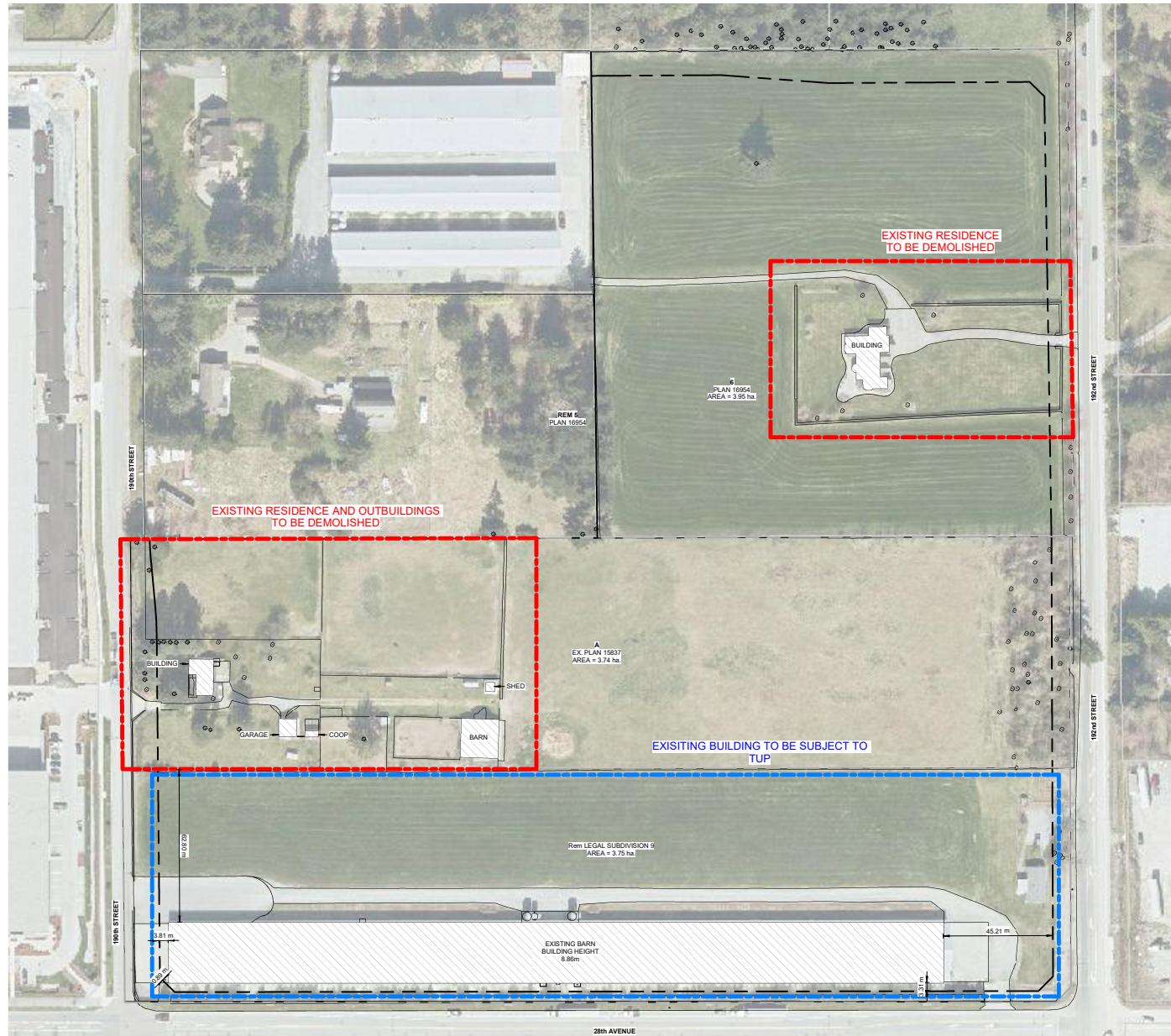
- | | |
|---------------|---|
| Appendix I. | Site Plan |
| Appendix II. | Temporary Use Permit No. 7923-0250-00 |
| Appendix III. | Initial Planning Report No. 7921-0191-00, dated February 13, 2023 |

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

KS/ar

APPENDIX I



NO.	DESCRIPTION	DATE

Project No: B21028
 Date: 2023-08-15
 5:17:35 PM
 Drawn by: AQ, LH
 Checked by: DE, LB, RB, OB
 Sheet Name:



CITY OF SURREY

(the "City")

TEMPORARY USE PERMIT

NO.: 7923-0250-00

Issued To:

Address of Owner:

Issued To:

Address of Owner:

Issued To:

Address of Owner:

(collectively referred to as the "owner")

1. This temporary use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this temporary use permit.
2. This temporary use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-273-581

Lot 6 Section 21 Township 7 New Westminster District Plan 16954

2981 - 192 Street

Parcel Identifier: 004-536-495

Parcel "A" (Explanatory Plan 15837) Legal Subdivision 9 Section 21 Township 7 New Westminster District

2898 - 190 Street

Parcel Identifier: 002-176-947
Legal Subdivision 9 Section 21 Township 7 Except: Firstly, South 33 Feet, Secondly: Part
Subdivided By Plan 16954, Thirdly: Parcel "A" And Road (Explanatory Plan 15837),
Fourthly: Part Dedicated Road On Plan BCP22704 New Westminster District

2825 - 192 Street

(the "Land")

3. The authority to issue Temporary Use Permits is granted to municipalities under Sections 492 and 493 of the *Local Government Act* R.S.B.C. 2015, c.1. Pursuant to Implementation, II(c) Implementation Instruments, Temporary Use Permits of Surrey Official Community Plan, 2013, No. 18020, as amended, the entire City of Surrey is designated a Temporary Use Permit area.
4. The temporary use permitted on the Land shall be for *intensive agriculture* for the purposes of a poultry farm operation.
5. The temporary use permitted on the Land shall be in accordance with:
 - (a) The appearance and location of the buildings, access and parking as shown on Schedule A (the "Drawings") which is attached hereto and forms part of this permit.
6. Surrey Zoning By-law, 1993, No. 12000 (Comprehensive Development Zone By-law No. 20851), as amended is varied as follows:
 - (a) the front yard (west) setback is reduced from 16.0 metres to 3.8 metres; and
 - (b) the side yard on a flanking street (south) setback is reduced from 9.0 metres to 3.3 metres.
7. As a condition of the issuance of this temporary use permit, Council is holding security set out below (the "Security") to ensure that the temporary use is carried out in accordance with the terms and conditions of this temporary use permit and that all buildings are removed, including receiving demolition Final Acceptance before this permit lapses, as determined by the City. Should the Owner fail to comply with the terms and conditions of this temporary use permit within the time provided, the amount of the Security shall be forfeited to the City. The City has the option of using the Security to enter upon the Land and perform such works as is necessary to eliminate the temporary use and bring the use and occupancy of the Land into compliance with Surrey Zoning By-law, 1993, No. 12000, as amended (the "Works"). The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Works. There is submitted accordingly:

An Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of \$100,000.00

8. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary use permit. This temporary use permit is not a building permit.
9. An undertaking submitted by the Owner is attached hereto as Appendix I and forms part of this temporary use permit.
10. This temporary use permit is not transferable.
11. This temporary use permit shall lapse on or before 90 days from the date of issuance.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

Owner: Signature

Name: (Please Print)

Owner: Signature

Name: (Please Print)

Owner: Signature

Name: (Please Print)

TO THE CITY OF SURREY:

I, _____ (Name of Owners)

being the owner of _____
(Legal Description)

known as _____
(Civic Address)

hereby undertake as a condition of issuance of my temporary use permit to:

- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to the temporary use permit issued to me; and
- (b) restore the land described on the temporary use permit to a condition specified in that permit;

all of which shall be done not later than the termination date set out on the temporary use permit.

I further understand that should I not fulfill the undertaking described herein, the City or its agents may enter upon the land described on the temporary use permit and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended, and that any securities submitted by me to the City pursuant to the temporary use permit shall be forfeited and applied to the cost of restoration of my land as herein set out.

This undertaking is attached hereto and forms part of the temporary use permit.

(Owner)

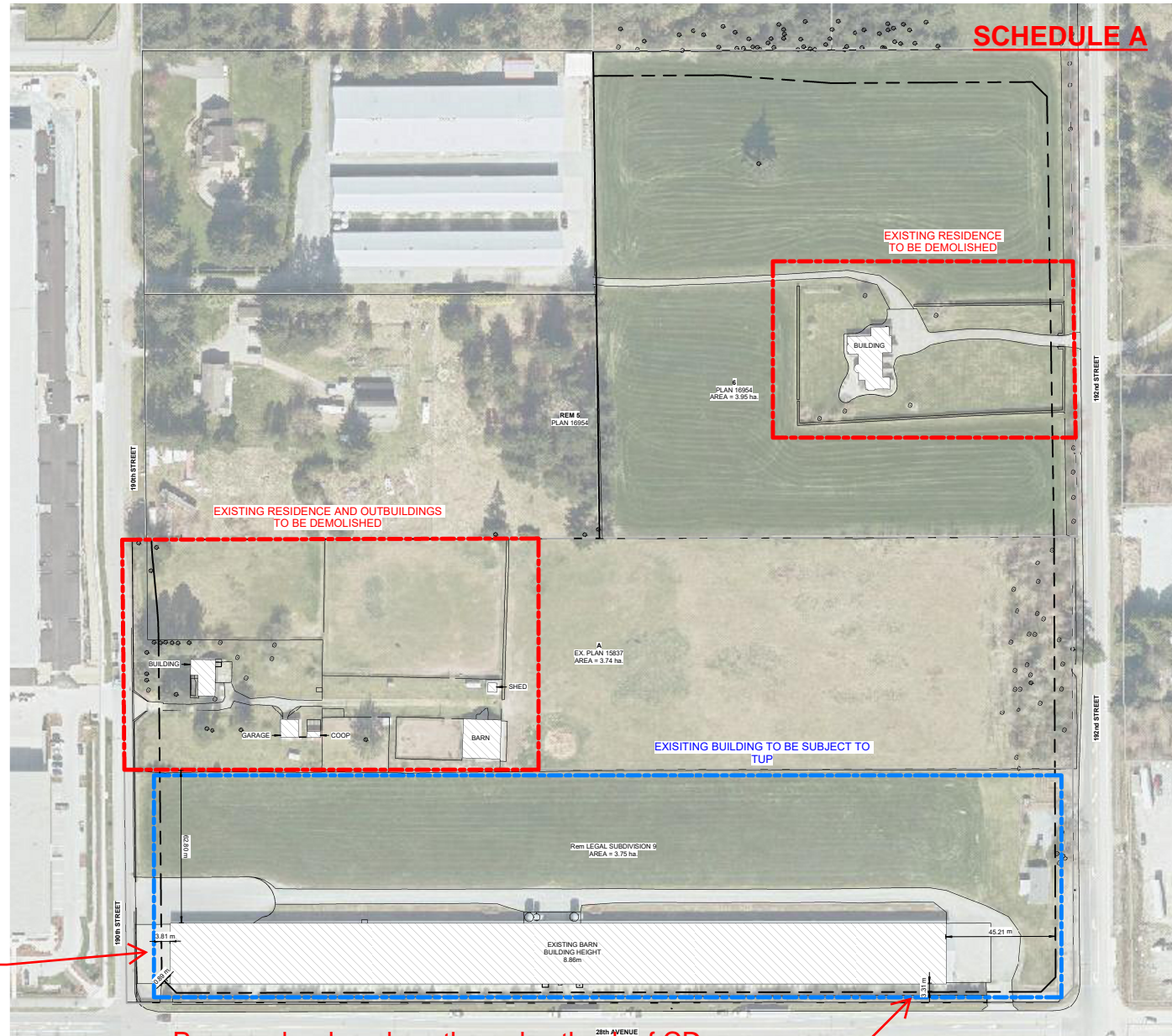
(Witness)

(Owner)

(Witness)

(Owner)

(Witness)



Proposed reduced west yard setback of CD Zone (Bylaw No. 20851) from 16.0 metres to 3.8 metres.

Proposed reduced south yard setback of CD Zone (Bylaw No. 20851) from 9.0 metres to 3.3 metres.

SCHEDULE A

NO.	DESCRIPTION	DATE

Project No: 821028
 Date: 2023-08-15
 Drawn by: 5:17:25 PM AQ, LH
 Checked by: DE, LB, RO, OB
 Sheet Name: Existing Property Demo Plan

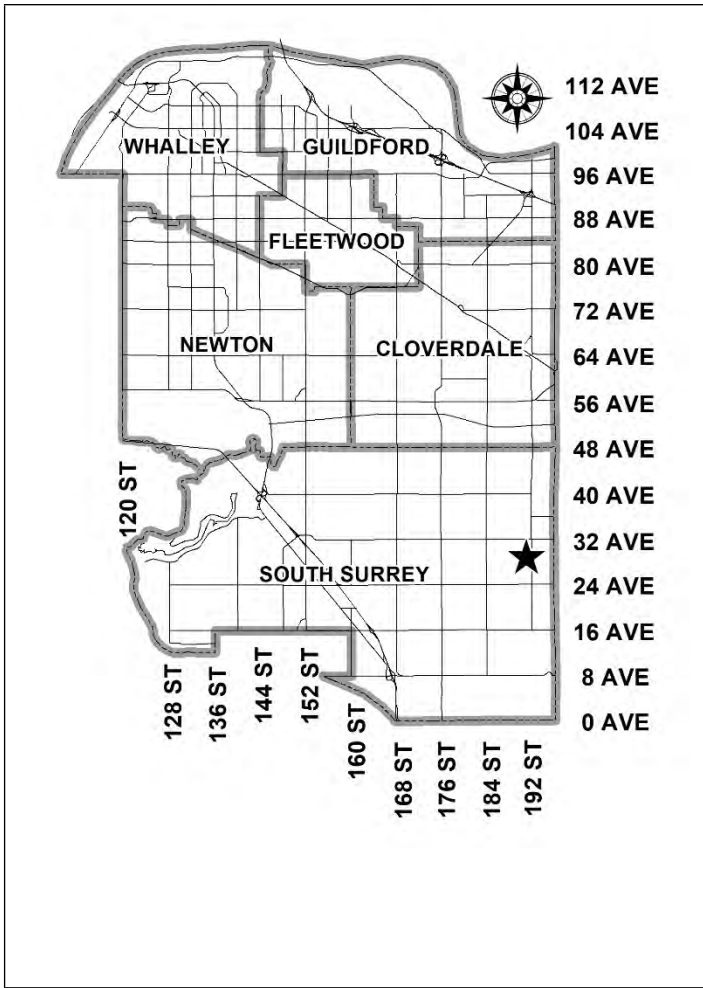


APPENDIX III

**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7922-0191-00

Planning Report Date: February 13, 2023



PROPOSAL:

- **LAP Amendment** to reduce the size of the “Commercial” node and increase the amount of “Business Park” area.
- **Rezoning** from A-2 to CD (based on IB-1 and C-8)
- **Development Permit**
- **Development Variance Permit**

to permit the development of two multi-tenant light-impact industrial buildings with an ancillary commercial node with a total floor area of 22,607 square metres and 44,795 square metres, respectively

LOCATION: 2981 – 192 Street

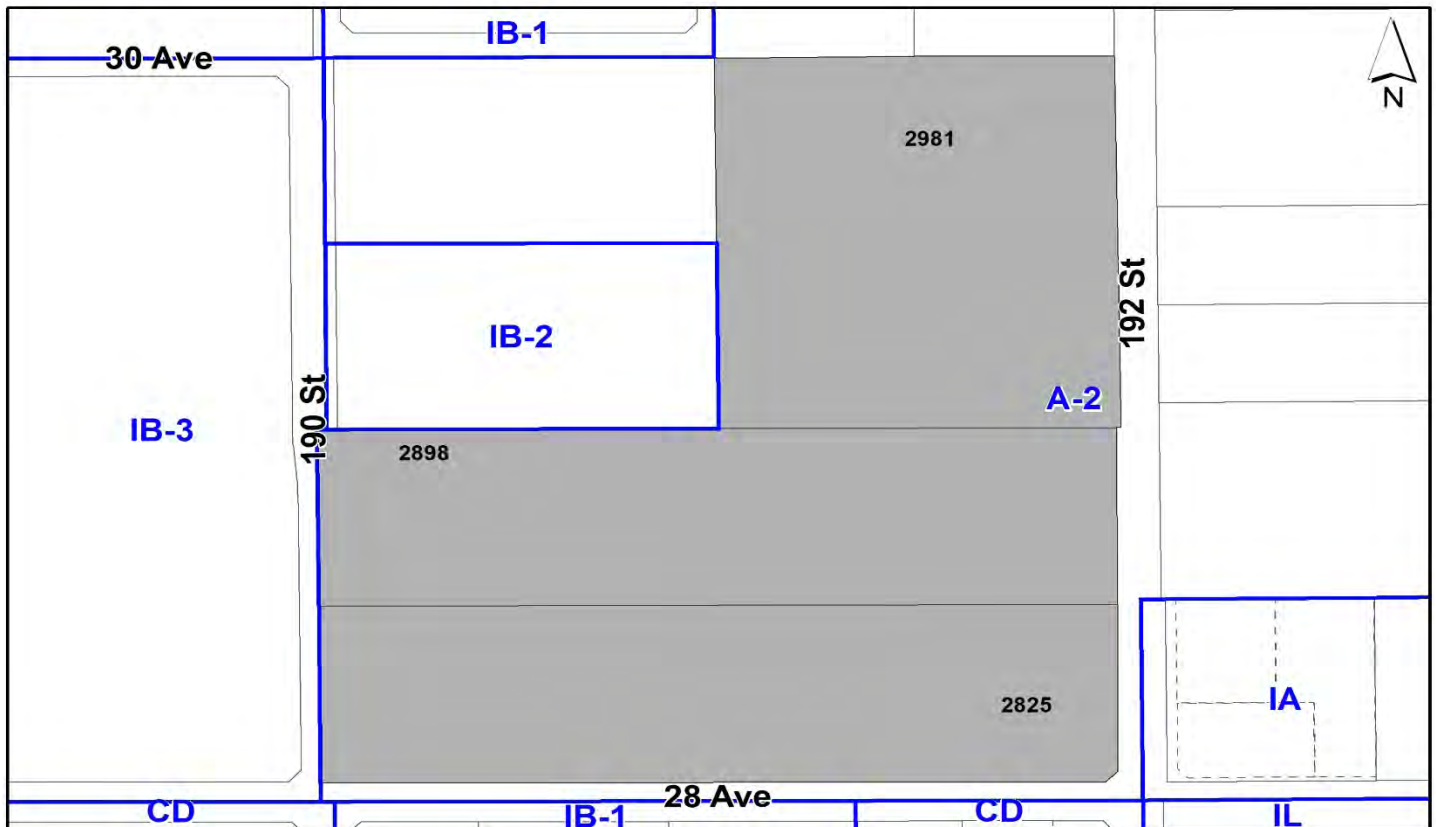
2898 – 190 Street

2825 – 192 Street

ZONING: A-2

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: “Business Park”, “Business Park (Office)”, “Landscaping Strips”, and “Commercial”



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Campbell Heights Local Area Plan (LAP) to reduce the size of the “Commercial” node and increase the amount of “Business Park” area.
- Proposing to reduce the industrial parking rate to allow for a reduced number of parking stalls on-site.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal generally complies with the “Business Park”, “Business Park (Office)”, “Landscaping Strips”, and “Commercial”, land use designations in the Campbell Heights Local Area Plan (LAP); however, the applicant proposes to reduce the size of the “Commercial” Node.
- The proposed reduced commercial area will allow for greater floor area dedicated to light-impact industrial business park uses. While the reduced area allocated to commercial uses is a departure from the Campbell Heights LAP, the intent of providing local commercial services for employees in the area will be met with the provision of a minimum of 1,999 square metres of commercial floor area.
- The proposal complies with the Mixed Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal generally complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality materials and contemporary lines. The street interface, including the featured commercial node, has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The applicant is proposing to provide a total of 787 stalls on site, equating to a 11-stall (1%) reduction. The proposed reduction is considered minimal and is supported by registration of a restrictive covenant on title to limit the maximum amount of mezzanine floor area that would be permitted to be constructed.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone a portion of the subject site shown as Block A on the attached Survey Plan (Appendix I) from "Intensive Agriculture Zone (A-2)" to "Comprehensive Development Zone (CD)" [based on "Business Park 1 Zone (IB-1)"], and Block B on the attached Survey Plan from "Intensive Agriculture Zone (A-2)" to "Comprehensive Development Zone (CD)" [based on "Business Park 1 Zone (IB-1)" and "Community Commercial Zone (C-8)"], and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7922-0191-00 generally in accordance with the attached drawings (Appendix II).
3. Council approve Development Variance Permit No. 7922-0191-00 (Appendix V) varying the following, to proceed to Public Notification:
 - (a) to reduce the industrial parking rate from 1.0 parking spaces per 100 square metres to 0.983 parking spaces per 100 square metres.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized Transportation Impact Analysis report;
 - (c) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (h) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of City staff;
 - (i) registration of a Section 219 Restrictive Covenant to prohibit any use that require a Metro Vancouver air quality permit from locating on the site;

- (j) registration of a Section 219 Restrictive Covenant to adequately address the City’s needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (k) registration of a Section 219 Restrictive Covenant to prohibit the conversion of the commercial area into light-impact industrial space; and
 - (l) registration of a Section 219 Restrictive Covenant to limit the amount of mezzanine floor area based on the current floor area proposed.
5. Council pass a resolution to amend the Campbell Heights Local Area Plan (LAP) to reduce the size of the “Commercial” node and increase the amount of “Business Park” area when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Underutilized Acreage agricultural lots with single family residences	“Business Park”, “Business Park (Office)”, “Landscaping Strips”, and “Commercial”	A-2
North:	Agricultural uses and a lot with an approved multi-tenant light-impact industrial building under Development Application No. 7919-0045-00 that was granted Final Adoption at the March 8, 2021 Regular Council – Land Use meeting.	Business Park”, “Business Park (Office)”, “Landscaping Strips”,	A-2, IB-2

Direction	Existing Use	LAP Designation	Existing Zone
East (Across 192 Street):	<p>Acreage agricultural lots under various development applications for proposed multi-tenant light-impact industrial buildings (7920-0321-00);</p> <p>A temporary truck and equipment storage facility approved under Development Application No. 7920-0106-00, which expired in November 2021. A subsequent TUP extension under Development Application No. 7921-0345-00 was conditionally supported by Council at the November 14, 2022 Regular Council – Public Hearing meeting; several unpermitted truck parking facilities with current Temporary Use Permit applications under Development Application Nos. 7922-0259-00 and 7922-0373-00;</p> <p>And a commercial development including a gas station, drive-through restaurant, and commercial office building that was approved under Development Application No. 7917-0411-00, which received Final Adoption at the November 14, 2022 Regular Council – Land Use meeting.</p>	“Business Park”, “Landscaping Strips”, and “Commercial”	CD (By-law No. 20305) and A-2
South (Across 28 Avenue):	Multi-tenant light-impact industrial buildings and a commercial retail plaza	“Technology Park or Business Park”, “Landscaping Strips”, and “Commercial”	CD (By-law No. 16180) and IB-1
West (Across 190 Street):	Light-impact industrial warehouses and a vacant property with an approved Development Permit for a 10,222 square metre multi-tenant light-impact industrial building under Development Application No. 7919-0045-00.	Business Park”, “Business Park (Office)”, “Landscaping Strips”,	A-2, IB-2, and IB-3

Context & Background

- The subject site is approximately 11.4 hectares in size and is located in the Campbell Heights Business Park along the major truck transportation route of 192 Street. The site is designated “Mixed Employment” in the Official Community Plan (OCP) and “Business Park”, “Business Park (Office)”, “Landscaping Strips”, and “Commercial” in the Campbell Heights Local Area Plan (LAP). The property is zoned “Intensive Agriculture Zone (A-2)”.

- The “Commercial” designation is for a small portion of the subject site at its southeast corner. The “Commercial” designation on this property, together with “Commercial” designations on two other corners of the intersection of 192 Street and 28 Avenue form the main commercial node in Campbell Heights. The commercial node is intended to provide local serving amenities to employees of Campbell Heights Business Park.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes to rezone the site from “Intensive Agriculture Zone (A-2)” to “Comprehensive Development Zone (CD)” based on “Business Park Zone (IB-1)” and “Community Commercial Zone (C-8)”; a Development Permit for Form and Character; Development Variance Permit to reduce the number of required parking spaces; and consolidation into a single property to permit the development of two multi-tenant light-impact industrial buildings with an ancillary commercial node with a total floor area of 22,607 square metres and 44,795 square metres, respectively.
- The applicant also proposes an Amendment to the Campbell Heights LAP to reduce the size of the “Commercial” node and increase the amount of “Business Park” area.
- Further discussion for the proposed LAP Amendment is provided in the Policy and By-law Considerations section.
- Further discussion for the proposed parking variance is provided in the Transportation Considerations section.

			Proposed	
Lot Area				
Gross Site Area:	11.4 hectares			
Road Dedication:	1.0 hectare			
Undevelopable Area:	n/a			
Net Site Area:	10.4 hectares			
Number of Lots:	1			
Building Height:	Building 1 (Block A)		Building 2 (Block B)	
	17.2 metres		17.3 metres	
Floor Area Ratio (FAR):	0.64			
Floor Area				
	Building 1		Building 2	
Industrial:	20,636 sq. m.		39,199.5 sq. m.	
Office:	1,971 sq. m.		3,596 sq. m.	
Commercial:	n/a		1,999 sq. m.	
Total:	22,607 sq. m.		44,795 sq. m.	

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
Parks, Recreation & Culture:	No concerns. The closest active park is Latimer Park, with amenities including, a recreational trail network, and contains natural area. The park is Across the street from the development.
Surrey Fire Department:	No concerns.
Advisory Design Panel:	The application was not referred to the ADP but was reviewed by staff and found satisfactory.

Transportation Considerations

Road Network and Infrastructure

- The applicant will be required to provide the following improvements:
 - Dedication and construction of 30 Avenue along the northern property line. 30 Avenue is ultimately planned as a continuous connection between 188 Street and 194 Street and will provide full-movement ability for the block via a future signalized intersection at 192 Street;
 - Dedication and construction of the east side of 190 Street;
 - Dedication and construction of the north side of 28 Avenue; and
 - Dedication of the west side of 192 Street to protect for future arterial road widening.

Traffic Impacts

- A transportation impact analysis (“TIA”) was provided for the subject proposal. Based on the TIA, the site is anticipated to generate approximately 323 vehicle trips in the peak hour (equating to five to six vehicles per minute).
- According to the TIA, the surrounding road network and intersections were found to operate at acceptable levels with implementation of mitigation measures. The applicant will be contributing towards future mitigation measures, including intersection improvements, as part of the subject proposal.

Access

- The subject site is proposed to be accessed via several driveways to 30 Avenue, 192 Street, and 190 Street, and 28 Avenue.

- Staff worked with the applicant to ensure efficient and functional access management to the surrounding road network, in consideration of the long site frontages, existing and future signalization, and need for adequate access to support the proposed commercial uses at the southeast corner of the subject site.
- The applicant is required to construct a new 4-metre-wide multi-use pathway along the north side of 28 Avenue to accommodate pedestrian and cycling activity, boulevards with lighting, curb and gutter, and pavement widening.
- An accessible bus stop is located both east and south of the site at the corner of 192 Street and 28 Avenue. TransLink's Bus Route No. 531 serves the site, connecting to White Rock to the west and Willowbrook to the east.

Parking

- According to the Zoning Bylaw, 798 stalls are required to be provided on site.
- The applicant is proposing to provide a total of 787 stalls on site, equating to a 11-stall (1%) reduction. The proposed reduction is considered minimal and is supported by registration of a restrictive covenant on title to limit the maximum amount of mezzanine floor area that would be permitted to be constructed.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following additional sustainable features:
 - The applicant proposes to provide a high-albedo roof with a minimum Solar Reflectance Index value of 75 for the non-parking area of the roof. The non-parking area equates to approximately 72% of the rooftop area of Building 1 (Block A) and 71% of the rooftop area of Building 2 (Block B).
- The applicant proposes additional parking on the rooftop of each building thereby increasing the available land to develop. However, in place of treed landscape islands every six stalls in the rooftop parking, the applicant proposes a number of landscape planters with shrubs spaced greater than every six stalls.
- The applicant suggests the cost and survivability of trees within rooftop landscape islands renders this option unviable given the scale of the buildings.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "Mixed Employment" land use designation in the Metro Vancouver Regional Growth Strategy (RGS).

Official Community Plan

Land Use Designation

- The proposal complies with the “Mixed Employment” land use designation in the Official Community Plan.

Themes/Policies

- B6.6 – Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces.

(The proposed building is anchored to the northwest corner of 192 Street and 28 Avenue with extensive glazing and a large publicly accessible plaza leading from the intersection into the site.)

- E1.5 – Encourage the full utilization and efficient use of industrial and other employment lands in order to maximize jobs and economic activity per hectare.

(The proposal includes a significant number rooftop parking stalls to ensure the site is efficiently utilized.)

- E1.20 – Encourage the continued expansion of high-tech, research and development and light manufacturing to locate within Mixed Employment areas that are accessible to major transportation corridors and/or frequent transit services.

(The proposed development is compatible with the Mixed Employment designation and adds a significant number of employment opportunities in Campbell Heights. The subject site is also located at the corner of major arterial transportation corridors of 192 Street and 28 Avenue, which provide important transportation connections into and out of Campbell Heights.)

Secondary Plans

Land Use Designation

- The proposal requires a Local Area Plan Amendment to reduce the size of the “Commercial” node and increase the amount of “Business Park” area. Otherwise, the proposal complies with the “Business Park”, “Business Park (Office)”, “Landscaping Strips”, and “Commercial” land use designations.

Amendment Rationale

- The proposed reduced “Commercial Area” will allow for greater floor area dedicated to light-impact industrial business park uses. While the reduced area allocated to commercial uses is a departure from the Campbell Heights LAP, the intent of providing local commercial services for employees in the area will be met with the provision of a minimum of 1,999 square metres of commercial floor area.

Themes/Objectives

- The proposed development is supported by the following guidelines in the Campbell Heights Local Area Plan:
- 6.5.1.4 – Design Guidelines – Business Park – The use of glass and high-quality materials and finishes is required of buildings facing the street. Blank walls should be avoided.

(The proposed development incorporates store-front glazing over two-storeys with the commercial node at the corner of 192 Street and 28 Avenue serving as an architectural focal point. Each industrial unit is delineated with detailed storefront glazing and coloured concrete tilt-up panels along with variation in tilt-up panel height to differentiate the unit entrances from the remainder of the building.)

- 6.5.1.4 – Design Guidelines – Business Park – The exterior of buildings should be coordinated in the design on all elevations with regard to colour, materials, architectural form, and detailing to achieve design harmony and continuity.

(The proposed buildings are architecturally coordinated with a modern appearance that promotes harmony through the use of consistent cladding materials, glazing, and landscaping.)

- 6.5.1.8 – Design Guidelines – Commercial Node – Commercial areas should be designed to cater to pedestrians by creating a pleasant outdoor commercial environment.

(The proposed commercial node is oriented towards the intersection corner of 192 Street and 28 Avenue with expansive storefront glazing. The node caters to pedestrians through its raised surface connection through the parking area and expansive under-canopy patio area that can be utilized by future tenants of the commercial space.)

CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate two proposed multi-tenant light impact industrial buildings, including one building with a commercial space, on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Business Park 1 Zone (IB-1)" and the "Community Commercial Zone (C-8)".
- The proposal includes a Block Plan where the site is divided into Block A and Block B. A "Building Location Plan" is also appended to the CD By-law, which differentiates the "light-impact industrial" use from the "commercial area" on Block B. The Building Location Plan is intended to identify the location and extent of the commercial area on Block B, which is to be delivered generally in keeping with the "Commercial" land use designation in the LAP.
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the IB-1 Zone, C-8 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	IB-1 Zone (Part 47A)	C-8 Zone (Part 36)	Proposed CD Zone
Floor Area Ratio:	1.0	0.80	1.0
Lot Coverage:	60%	50%	63%
Yards and Setbacks	Front yard: 16.0 m Rear yard: 7.5 m Side yard: 7.5 m Side yard on flanking street: 9.0 m	Front yard: 7.5 m Rear yard: 7.5 m Side yard: 7.5 m Side yard on flanking street: 7.5 m	Front yard: 16.0 m* Rear yard: 7.5 m Side yard: 7.5 m Side yard on flanking street: 9.0 m *the front yard setback (north) for Block A may be reduced to 4.6 metres
Principal Building Height:	14 metres	12 metres	Block A: 17.2 metres Block B: 17.3 metres
Permitted Uses:	<u>Principal Uses</u> <ul style="list-style-type: none"> • Light impact industry • Warehouse uses • Distribution centres • Office uses (with exclusions) <u>Accessory Uses</u> <ul style="list-style-type: none"> • General service uses • Eating establishments • Community services • Child care centres • Caretaker unit 	<u>Principal Uses</u> <ul style="list-style-type: none"> • Retail stores • Personal service uses • General service uses • Beverage container return centre • Eating establishment • Neighbourhood pubs • Liquor store • Office uses • Parking facilities • Automotive service uses • Indoor recreational facilities • Entertainment uses • Assembly halls <u>Accessory Uses</u> <ul style="list-style-type: none"> • Caretaker unit 	<u>Block A and Block B – Excluding Commercial Area</u> <ul style="list-style-type: none"> • Same uses as in IB-1 Zone <u>Block B – Commercial Area</u> <u>Principal Uses</u> <ul style="list-style-type: none"> • Retail stores • Personal service uses • General service uses • Beverage container return centre • Eating establishments • Neighbourhood pubs • Liquor store • Office uses • Liquor manufacturing • And other uses in C-8 Zone. <u>Accessory Uses</u> <ul style="list-style-type: none"> • Caretaker unit
	Parking (Part 5)	Required	Proposed
Number of Stalls			
	Commercial:	60.00	
	Industrial:	598.34	
	Office:	139.18	
	Total:	798	787

- The CD By-law for Block A retains the majority of the same provisions as outlined in the “Business Park 1 Zone (IB-1)” with the exception of the following:

- Increased lot coverage from 60% to 63%; and
- Reduced setbacks to the north property line from 7.5 metres to 4.6 metres.
- Increased building height from 14 metres to 17.2 metres for Building 1 (Block A) and 17.3 metres for Building 2 (Block B).
- The increased lot coverage and reduced building setback on the north property line are sought to accommodate a jog in 30 Avenue that is required to provide the minimum interim “half-road” width as a result of an inability to secure off-site permission for either road dedication or a statutory right-of-way from the properties to the north.
- The CD By-law for Block B is divided into two sections: “Block B: Excluding Commercial Area” and “Block B: Commercial Area”.
- Block B: Excluding Commercial Area allows the same increase to lot coverage as in Block A but retains the remaining provisions as in the IB-1 Zone.
- Block B: Excluding Commercial Area also includes a provision that the light-impact industrial uses on Block B are only permitted provided a minimum of 1,999 square metres of floor area with commercial uses in the “Commercial Area” are provided. This provision will ensure that the “Commercial Area” is retained for commercial uses in keeping with the intent of the Campbell Heights LAP.
- Block B: Commercial Area has uses based on the “Community Commercial Zone (C-8)”, which include retail stores, personal service uses, general service uses, eating establishments, and liquor store. Liquor manufacturing with an associated liquor tasting lounge is also a permitted use in this area. The commercial uses are open to the public and provide local serving amenities to employees in the Campbell Heights Business Park.

Parking Variance

- The applicant is requesting the following variances:
 - (a) to reduce the industrial parking rate from 1.0 parking spaces per 100 square metres to 0.983 parking spaces per 100 square metres.
- Discussion of the proposed parking variance is noted in the Transportation Considerations section.
- Staff support the requested variances to proceed for consideration.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City’s needs with respect to public art, in accordance with the City’s Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on January 3, 2023 and the Development Proposal Signs were installed on January 12, 2023. Staff received one response from the Little Campbell Watershed Society seeking clarification on tree retention and whether air quality permits would be sought by future users on the site. Staff provided comments to the Little Campbell Watershed Society for clarification. Tree removal and retention information is noted in the “Trees” section of the report. The applicant will be required to register a restrictive covenant on title, restricting future businesses from seeking an air quality permit from Metro Vancouver.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).
- The applicant has worked with staff to provide a commercially-viable, prominent focal point, and attractive commercial node at the corner of 192 Street and 28 Avenue to support meeting the intent of the “Commercial” land use designation in the Campbell Heights LAP. While the proposed commercial node is not situated at the minimum setbacks along 192 Street and 28 Avenue, the design does include an expansive semi-public outdoor seating area, large outdoor commercial patios, a raised, visually demarcated connection to the intersection of 192 Street and 28 Avenue, and a large publicly accessible plaza near the intersection.
- The site consists of two multi-tenant light impact industrial buildings, one of which is oriented towards 192 Street and the other towards 28 Avenue. The buildings are surrounded by surface parking for passenger vehicles and a shared loading court area in the centre of the site. Rooftop-parking ramps are located on the south façade of Building 1 (Block A - north) and west façade of Building 2 (Block B - south). The parking ramps are architecturally integrated with the rest of the building through the use of coloured concrete tilt-up panels.
- The buildings are proposed to be constructed of concrete tilt-up panels in shades of grey, brown, and cream with brown metal canopies. Architectural emphasis is placed along the building facades of 192 Street and 28 Avenue by utilizing building articulation, variation in building heights, and expansive storefront glazing.
- The commercial space is visually anchored to the corner of 192 Street and 28 Avenue through the use of a large black aluminum canopy panel, extensive storefront glazing that wraps the full extent of the commercial floor on both facades, and an extended plaza canopy feature that is intended to connect to the publicly accessible plaza at the intersection. The articulation and architectural features create a strong architectural edge that reinforces an attractive pedestrian environment while retaining vehicular access for visitors to the commercial units.
- The loading bays will be screened from public view with a 3.0 metre tall architectural screen wall along 192 Street, 190 Street, and 30 Avenue.

- Employee amenity areas are located throughout the site for each building. Building 1 (Block A) contains employee amenity areas at the south and north end of the building along 192 Street, including additional amenity in the publicly accessible open space at the intersection of 30 Avenue and 192 Street. Building 2 (Block B) contains an employee amenity at the southwest corner of the site. Additional amenity space is located adjacent to the commercial retail units where expansive outdoor patio seating (subject to future tenants) and plaza seating is proposed.

Landscaping

- The proposed landscaping consists of a 6.0 metre-wide landscape buffer on 192 Street, 28 Avenue, 190 Street, and 30 Avenue.
- The proposed landscaping consists of a variety of trees, including Norway Maple, Purple Leaf Beech, Western Red Cedar, Persian Ironwood, and Freeman Maple. The tree plantings are complemented by a variety of shrubs and groundcover.
- In addition, the applicant proposes a series of landscape planters in the rooftop parking area for both buildings. The rooftop planter landscaping will consist of a variety of shrubs and perennials.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - Increasing the articulation depth of the street fronting façades;
 - Clarifying the roofing material, which is to be a high-albedo material with a minimum Solar Reflectance Index value of 75; and
 - Minor drawing clarifications and coordination.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Andrew Briggs, ISA Certified Arborist of 818 Studio prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	1	1	0
Cottonwood	8	8	0

Deciduous Trees (excluding Alder and Cottonwood Trees)			
Apple	2	2	0
Cherry	6	6	0
Trembling Aspen	18	18	0
Dogwood	3	3	0
Common Fig	1	1	0
Hawthorne	2	2	0
Japanese Maple	2	2	0
Plum	2	2	0
Coniferous Trees			
Douglas Fir	7	7	0
Austrian Pine	5	5	0
Shore Pine	5	5	0
Sitka Spruce	2	2	0
Total (excluding Alder and Cottonwood Trees)	55	55	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		181	
Total Retained and Replacement Trees		181	
Contribution to the Green City Program		\$0	

- The Arborist Assessment states that there are a total of fifty-five mature trees on the site, excluding Alder and Cottonwood trees. Nine (9) existing trees, approximately 14% of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 119 replacement trees on the site. The applicant is proposing 181 replacement trees, exceeding City requirements.
- There are no existing City trees proposed for removal. There are trees located within future road dedication that are required to be removed to facilitate future road widening on 192 Street, 190 Street, and 28 Avenue.
- The new trees on the site will consist of a variety of trees including Purple Leaf Beech, Freeman Maple, Norway Maple, and Western Red-Cedar
- In summary, a total of 181 trees are proposed to be retained or replaced on the site.

INFORMATION ATTACHED TO THIS REPORT

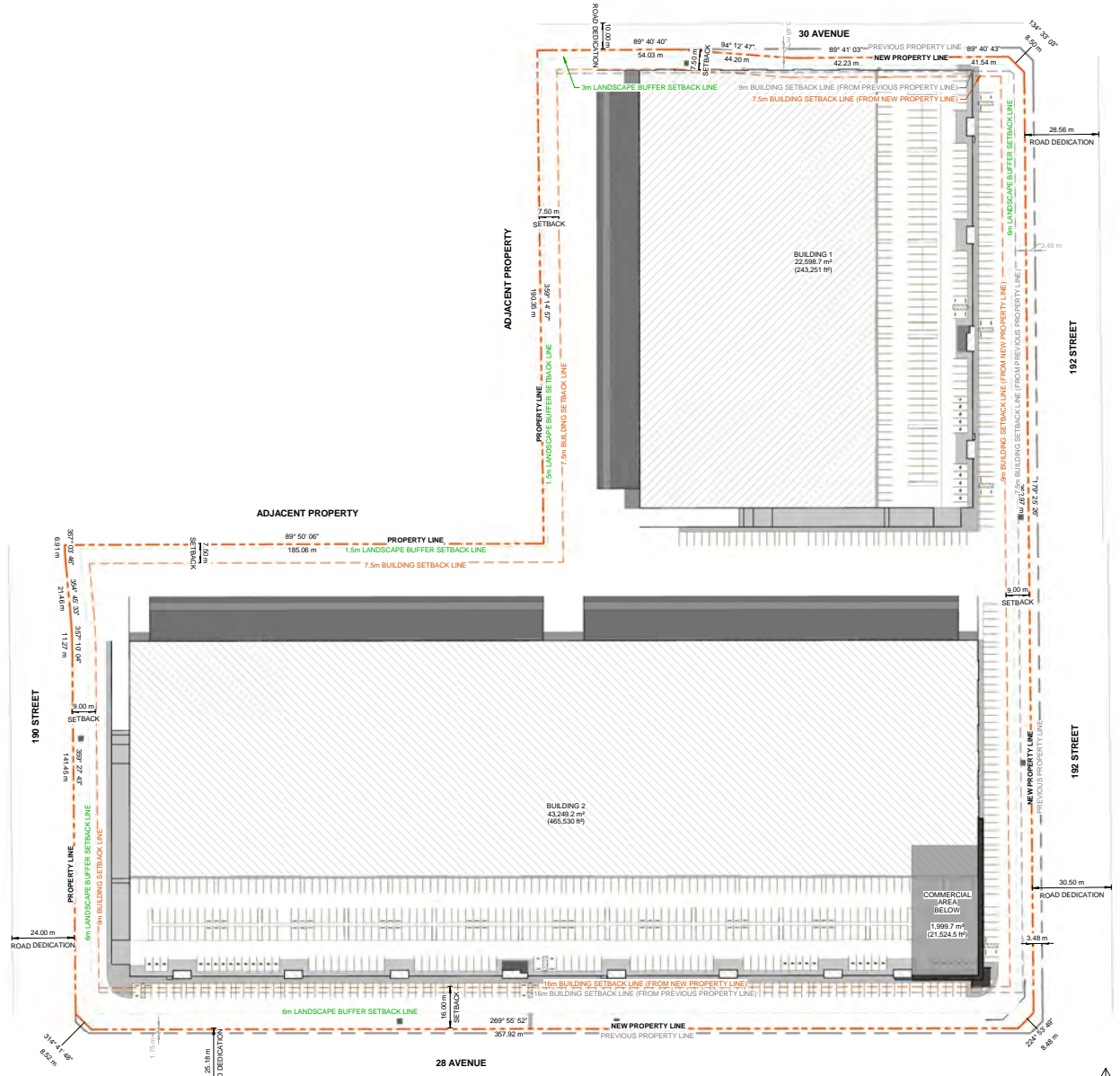
The following information is attached to this Report:

- Appendix I. Block Plan & Building Location Plan
- Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix III. Engineering Summary
- Appendix IV. Summary of Tree Survey and Tree Preservation
- Appendix V. Development Variance Permit
- Appendix VI. LAP Plan

approved by Shawn Low

Jeff Arason
Acting General Manager
Planning and Development

KS/ar



190th Street Heppell Property
Office & Warehouse & CRU
 2898 190 Street and 2981 & 2825 192 Street
 Surrey, British Columbia

NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2022-05-20
2	RESUBMITTED FOR DEVELOPMENT PERMIT	2022-06-01
3	ISSUED FOR REVIEW	2022-06-01
4	ISSUED FOR REVIEW	2022-10-10
5	RESUBMITTED FOR DEVELOPMENT PERMIT	2022-11-07
6	ISSUED FOR REVIEW	2022-12-07

Project No: 821028
 Date: 2023-02-01
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 Drawn by: AQ/EA/LH
 Checked by: DE, LB, RO, OB
 Sheet Name:

Building
 Location Plan

Sheet No:
A104

1 Base Site Plan
 A104 1:800





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design studio ltd.



APPENDIX II
APLIN MARTIN
ENGINEERING ARCHITECTURE PLANNING SURVEYING

908 Engineering INCORPORATED
EIGHT ONE EIGHT STUDIO
PLANNING + DESIGN COLLABORATIVE



190th Street Heppell Property



Surrey, British Columbia

Office Warehouse & CRU's

SYMBOL LEGEND

CONSTRUCTION REFERENCE	CONSTRUCTION TAG
FINISH REFERENCE	EXTERIOR FINISH TAG
GRID NUMBER	GRID BUBBLE
DOOR REFERENCE	DOOR TAG
ROOM NUMBER	ROOM TAG
DESCRIPTION	ELEVATION DATUM
ELEVATION	ELEVATION TAG
DRAWING NUMBER	WALL SECTION CALLOUT
SHEET NUMBER	BUILDING SECTION CALLOUT
DRAWING NUMBER	ELEVATION CALLOUT
SHEET NUMBER	ELEVATION TAG
WINDOW REFERENCE	WINDOW TAG
ELEVATION	ELEVATION TAG
DRAWING TITLE	DRAWING TITLE
SHEET NUMBER	SCALE

DRAWING INDEX

Sheet Number	Sheet Name	Current Revision
A000	Index	S
A003	Building Areas - Building 1	S
A004	Building Areas - Building 2	S
A101	Site Plan Overall	S
A102	Enlarged Site Plan	S
A103	Enlarged Site Plan	S
A104	Building Location Plan	S
A105	Signage Plan & Elevations	S
A106	Signage Plan & Elevations	S
A107	Site Details	S
A108	Site Details	S
A109	Site Details	S
A110	Site Details	S
A111	Site Study	S
A112	Site Study	S
A201	Floor Plan Overall - Building 1	S
A202	Roofing Parking & 2nd Floor Plan - Building 1	S
A203	Floor Plan Overall - Building 1	S
A204	Floor Plan Overall - Building 2	S
A205	Enlarged Floor Plan - West - Building 2	S
A206	Enlarged Floor Plan - East - Building 2	S
A207	Enlarged Second Floor Office - Building 2	S
A208	Roofing Parking Plan - Building 2	S
A209	Floor Plan Overall - Building 2	S
A301	Elevations - Building 1	S
A302	Elevations - Building 1	S
A303	Elevations - Building 2	S
A304	Elevations - Building 2	S
A305	Elevations - Building 2	S
A401	Building Sections - Building 1	S
A402	Building Sections - Building 1	S
A403	Building Sections - Building 2	S
A404	Building Sections - Building 2	S
A501	Typical Canopy Details	S
A502	Canopy Details	S
A601	Exterior Render - Building 1	S
A602	Exterior Render - Building 2	S

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EAGLE BUILDERS
THE PHYSICAL CONCRETE CONNECTION
1403 885-5325 P.O. BOX 1690
BLACKFALDS, AB, T0M 0J0

190th Street Heppell Property
Office Warehouse & CRU's
2898 190 Street and 2981 & 2825 192 Street
Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2022-05-10	ISSUED FOR DEVELOPMENT PERMIT
2	2022-06-06	REVISION FOR REVIEW
3	2022-10-10	ISSUED FOR REVIEW
4	2022-11-10	ISSUED FOR REVIEW
5	2022-11-10	REVISION FOR DEVELOPMENT PERMIT
6	2022-02-05	REVISION FOR DEVELOPMENT PERMIT

Project No: B21028
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Index
Sheet No:
A000

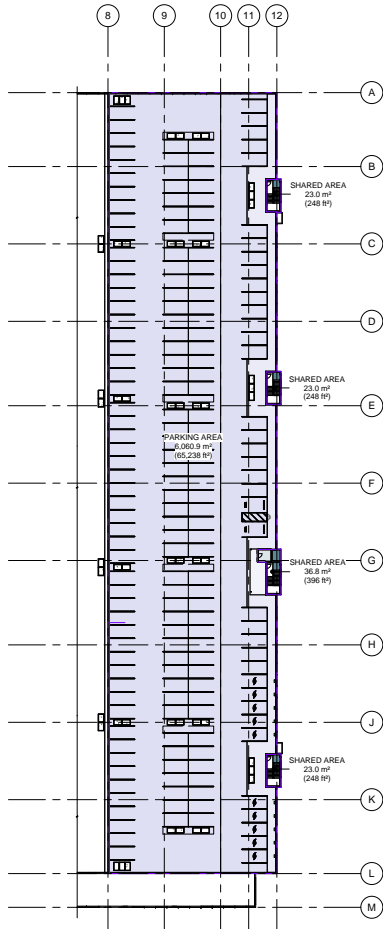
Floor Areas		
EXIT CORRIDOR	25.08 m ²	270 IP
OFFICE	1,021.28 m ²	10,992.97 IP
RAMP	279.64 m ²	3,010 IP
SHARED AREA	116.07 m ²	1,249.41 IP
SHARED SERVICES	80.27 m ²	864 IP
STORAGE	448.32 m ²	4,746 IP
WAREHOUSE	20,635.45 m ²	222,118.14 IP
	22,598.71 m ²	243,250.51 IP
OFFICE	950.33 m ²	10,229.28 IP
SHARED AREA	109.91 m ²	1,183.09 IP
	1,060.24 m ²	11,412.38 IP
PARKING AREA	6,060.85 m ²	65,238.45 IP
SHARED AREA	105.91 m ²	1,139.59 IP
	6,166.76 m ²	66,378.05 IP
Grand total	29,825.72 m ²	321,041.33 IP



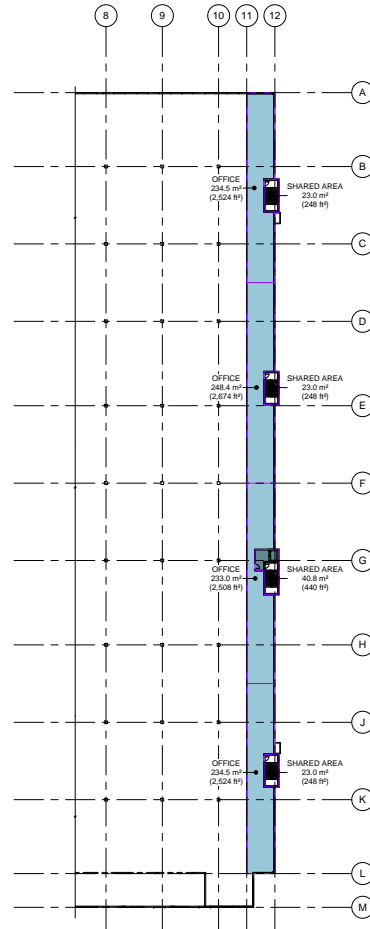
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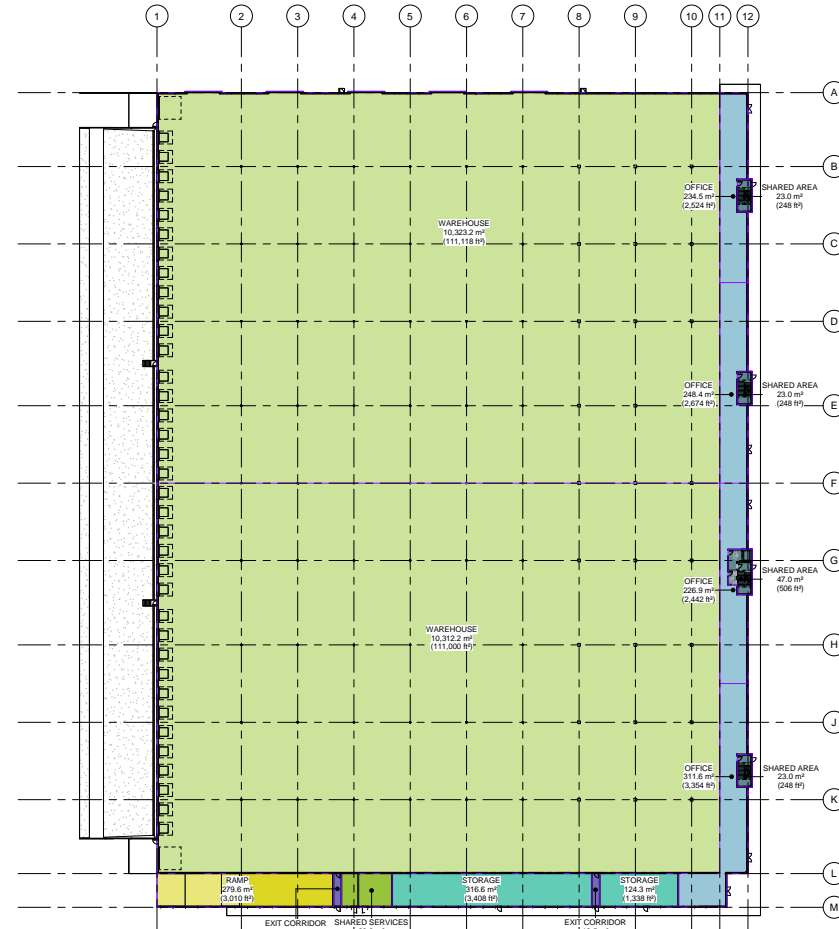
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BLACKFALDS, AB, T0M 0J0



3 Rooftop Parking Area Plan
A003 1:500



2 Second Floor Area Plan
A003 1:500



1 Main Floor Area Plan
A003 1:500

190th Street Heppell Property
Office Warehouse & CRU's
2898 190 Street and 2981 & 2825 192 Street
Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2022-05-27	ISSUED FOR DEVELOPMENT PERMIT
2	2022-12-07	REVISED FOR DEVELOPMENT PERMIT
3	2022-12-07	REVISED FOR DEVELOPMENT PERMIT
4	2022-12-05	REVISED FOR DEVELOPMENT PERMIT

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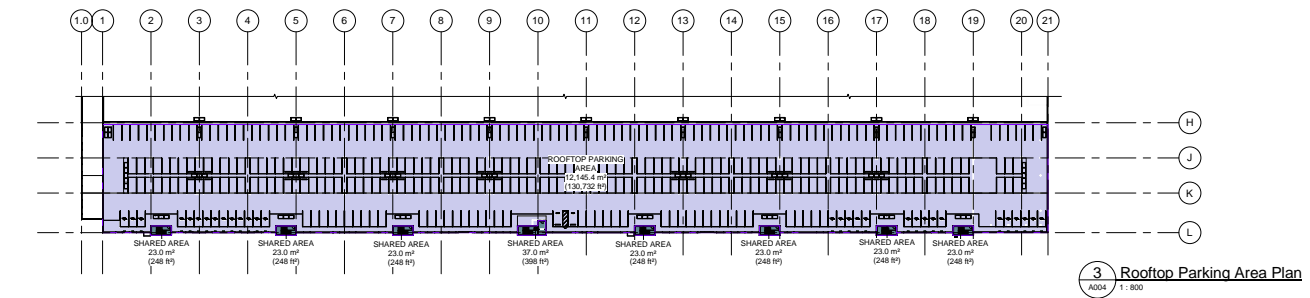
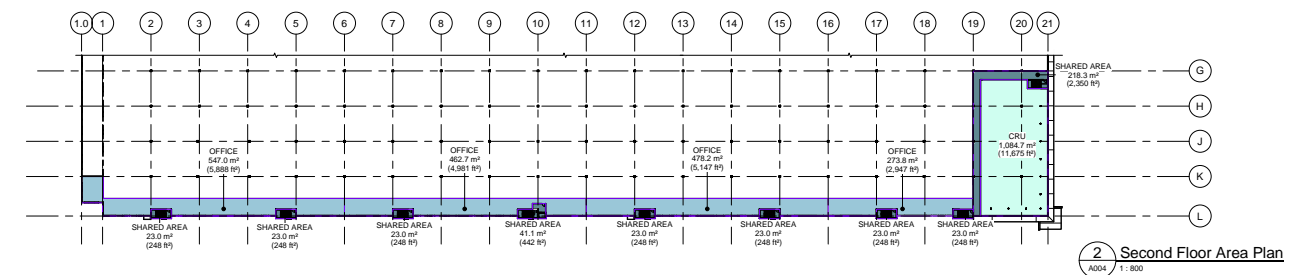
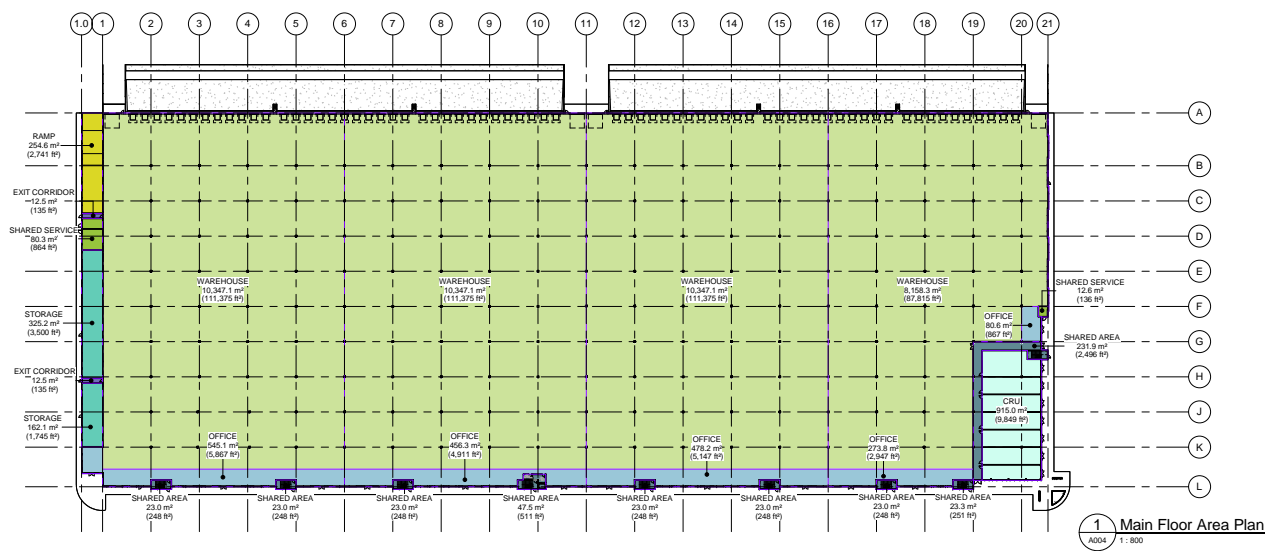
Building Area -
Building 1

Sheet No:
A003



Floor Areas

CRU	915 m ²	9,848.96 m ²
EXIT CORRIDOR	25.6 m ²	270 m ²
OFFICE	1,833.84 m ²	19,740.36 m ²
RAMP	254.65 m ²	2,741 m ²
SHARED AREA	440.89 m ²	4,745.75 m ²
SHARED SERVICE	92.88 m ²	995.7 m ²
STORAGE	487.28 m ²	5,245 m ²
WAREHOUSE	39,199.48 m ²	421,509.7 m ²
	43,249.19 m ²	463,530.45 m ²
CRU	1,084.69 m ²	11,675.49 m ²
OFFICE	1,761.77 m ²	18,963.56 m ²
SHARED AREA	420.51 m ²	4,526.29 m ²
	3,266.97 m ²	35,165.33 m ²
ROOFTOP PARKING AREA	12,145.41 m ²	130,732.08 m ²
SHARED AREA	198.19 m ²	2,133.28 m ²
	12,343.6 m ²	132,865.36 m ²
Grand total	58,859.76 m ²	633,561.15 m ²



190th Street Heppell Property
 Office Warehouse & CRU's
 2898 190 Street and 2981 & 2825 192 Street
 Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2023-05-01	ISSUED FOR DEVELOPMENT PERMIT
2	2023-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
3	2023-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2023-08-02	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 821028
 Date: 2023-02-06 5:29:12 PM
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 Checked by: DE, LB, RO, OB
 Sheet Name:

Building Areas -
 Building 2

Sheet No:
A004

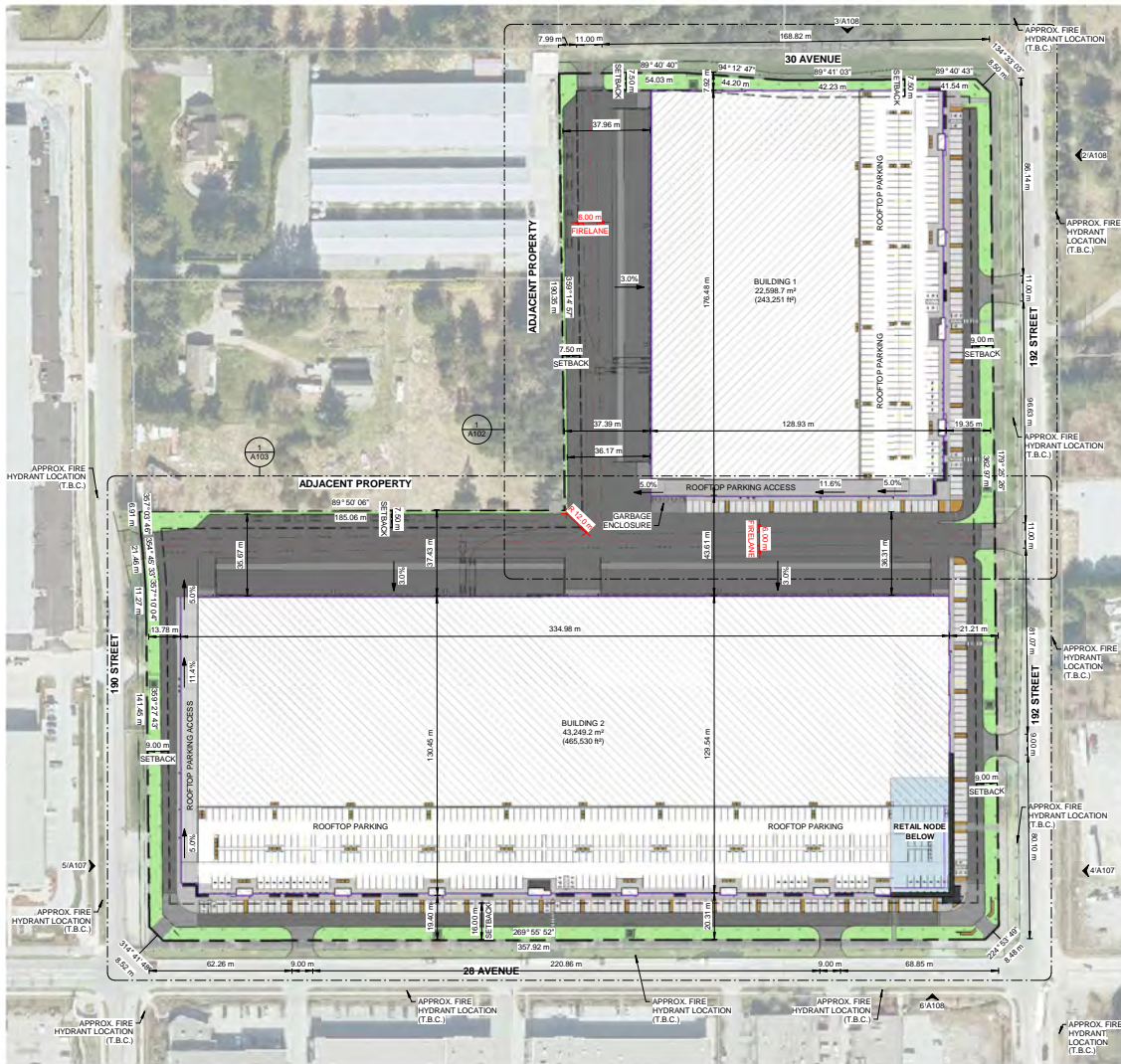




NOTES CONCERNING BUILDING LOCATION

- THIS SITE PLAN IS BASED ON INFORMATION PROVIDED BY THE OWNER, AND NOT A SURVEY OR ACTUAL SITE MEASUREMENTS. ENGINEER IS TO BE ADVISED BEFORE START OF CONSTRUCTION OF ANY UNKNOWN FEATURES ON THIS OR THE ADJACENT SITES THAT MIGHT IMPACT ON THE PROJECT EITHER DURING CONSTRUCTION OR FUTURE USE.
- THE "NORTH" ORIENTATION REFERS TO NOMINAL NORTH RATHER THAN TRUE OR MAGNETIC NORTH.
- ANY DIMENSIONS THAT SHOW THE LOCATION OF EXISTING FEATURES ARE APPROXIMATE ONLY, AND ARE TO BE CONFIRMED BEFORE CONSTRUCTION START AS REQUIRED BY A CERTIFIED ALBERTA LAND SURVEYOR.

<https://bit.ly/3aert45o>



BYLAW INFORMATION

ZONING:
 PRESENT ZONING: A-2 INDUSTRIAL AGRICULTURAL ZONE
 PROPOSED ZONING: CD COMPREHENSIVE DEVELOPMENT ZONE

SETBACKS:
 FRONT YARD (S): PROVIDED: 19.4 m, REQUIRED: 16.0 m
 REAR YARD (N): PROVIDED: 4.6 m, REQUIRED: 7.5 m
 SIDE YARD (E): PROVIDED: 19.4 m, REQUIRED: 9.0 m
 SIDE YARD (W): PROVIDED: 13.8 m, REQUIRED: 9.0 m

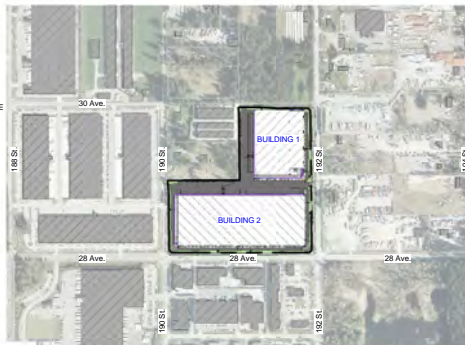
SITE SIZE:
 104,627.38 m² (1,126,199.72 RP/25.9 acre)

BUILDING AREAS:
 BUILDING 1: 22,598.71 m²
 BUILDING 2: 43,249.19 m²
 TOTAL: 65,847.90 m²

SITE COVERAGE:
 PROVIDED: 62.9%
 MAX: 60%

BUILDING HEIGHT:
 PROVIDED: 13.32m (43'-8 1/4")
 MAX: 14m (46 ft)

LOADING DOORS:
 BUILDING 1: 36
 BUILDING 2: 68



2 Context Plan
 A101 1: 6000

PARKING CALCULATION

BUILDING	USE	AREA		PARKING BY GROSS FLOOR AREA	
		ft ²	m ²	REQUIREMENT	REQUIRED
BUILDING 1	MAIN OFFICE	10,992.07	1,021.3	2.5 STALL PER 100 m ²	25.53
	MAIN WAREHOUSE	222,118.14	20,635.5	1 STALL PER 100 m ²	206.35
					256.84
BUILDING 2	MAIN OFFICE	19,740.35	1,833.9	2.5 STALL PER 100 m ²	45.85
	MAIN RETAIL	9,846.96	915.0	3 STALL PER 100 m ²	27.45
BUILDING 2	MAIN WAREHOUSE	421,937.90	39,199.5	1 STALL PER 100 m ²	391.99
	2nd FLOOR RETAIL	11,675.49	1,084.7	3 STALL PER 100 m ²	32.54
2nd FLOOR	RETAIL	18,963.55	1,761.8	2.5 STALL PER 100 m ²	44.04
					541.88
SUBTOTAL					797.52
TOTAL PARKING STALLS REQUIRED					797.52

SITE SCHEDULE

ON SITE

DESCRIPTION	AREA	REQUIREMENT
APRON	18,976.53 m ²	1,763.0 m ²
DECORATIVE PAVING	10,476.57 m ²	1,010.5 m ²
HARD LANDSCAPING	7.81 m ²	7.2 m ²
HEAVY DUTY ASPHALT	242,748.16 m ²	22,622.1 m ²
LANDSCAPING	67,717.89 m ²	6,291.2 m ²
LIGHT DUTY ASPHALT	39,533.01 m ²	3,644.9 m ²
MULCH	4,396.57 m ²	408.5 m ²
SIDEWALK	28,544.45 m ²	2,661.9 m ²
	413,262.52 m ²	38,362.2 m ²

OFF SITE

DESCRIPTION	AREA	REQUIREMENT
HEAVY DUTY ASPHALT - BOULEVARD	8,399.85 m ²	780.4 m ²
LANDSCAPING - BOULEVARD	48,070.97 m ²	4,465.9 m ²
SIDEWALK - BOULEVARD	37,666.08 m ²	3,499.3 m ²
	94,136.89 m ²	8,745.6 m ²
Grand total	507,419.21 m²	47,140.8 m²

ACCESSIBLE PARKING STALL REQUIREMENTS

STANDARD STALLS	REQUIREMENT	REQUIRED
797.52	2%	15.95
TOTAL VEHICLE PARKING STALLS REQUIRED:		798

BICYCLE PARKING REQUIREMENTS

BUILDING	TYPE OF STALL	AREA		PARKING BY GROSS FLOOR AREA	
		ft ²	m ²	REQUIREMENT	REQUIRED
GENERAL SERVICE USE AND EATING ESTABLISHMENT	SECURE BIKE STALLS	725,508.44	67,401.9	0.06 SPACE PER 100 m ²	40.44
	VISITOR BIKE STALLS	725,508.44	67,401.9	0.06 SPACE PER 100 m ²	40.44
					80.88
TOTAL BIKE SPACES REQUIRED					81

SECURE BIKE STALLS TO BE PROVIDED IN FUTURE TENANT IMPROVEMENT STAGE.

EV PARKING STALL REQUIREMENTS

COMMERCIAL AREA (OFFICE & RETAIL)	BUILDING	COMMERCIAL STALLS	REQUIREMENT	REQUIRED	
	BUILDING 1	49.29	20%	9.86	
	BUILDING 2	149.88	20%	29.98	
TOTAL EV STALLS REQUIRED					40

SITE PLAN LEGEND

PROPERTY LINE	---
SETBACK LINE	---
RIGHT OF WAY LINE	---
RIGHT OF WAY HATCH	---
PROPOSED BUILDING	---
FENCE	---
MAIN DOOR	---
OVERHEAD DOOR	---
BARRIER FREE ENTRANCE	---

SITE MATERIAL LEGEND

APRON	MULCH
SIDEWALK	LANDSCAPING
LIGHT DUTY ASPHALT	HARD LANDSCAPING
HEAVY DUTY ASPHALT	DECORATIVE PAVING

LOADING DOORS

SIZE	TYPE	COUNT
9'x10' OHD	Deck Door	104
16'x16' OHD	Grate Door	6

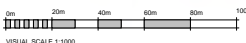
190th Street Heppell Property
 Office Warehouse & CRU's
 2898 190 Street and 2981 & 2825 192 Street
 Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2022-05-05	ISSUED FOR DEVELOPMENT PERMIT
2	2022-05-05	ISSUED FOR REVIEW
3	2022-10-10	ISSUED FOR REVIEW
4	2022-11-10	ISSUED FOR REVIEW
5	2022-11-10	RECEIVED FOR DEVELOPMENT PERMIT
6	2022-02-02	RECEIVED FOR DEVELOPMENT PERMIT

Project No: 821028
 Date: 2023-02-07
 8:49:59 AM
 Drawn by: AQ/EA/LH
 Checked by: DE, LB, RO, OB
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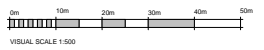
Site Plan
 Overall

Sheet No:
A101



1 Site Plan
 A101 1: 1,000





1 Enlarged Site Plan - Building 1
 A101 1:500



190th Street Heppell Property
 Office Warehouse & CRU's
 2898 190 Street and 2981 & 2825 192 Street
 Surrey, British Columbia

NO.	DESCRIPTION	DATE
1.	ISSUED FOR DEVELOPMENT PERMIT	2022-05-26
2.	ISSUED FOR REVIEW	2022-10-20
3.	ISSUED FOR REVIEW	2022-11-20
4.	RESUBMITTED FOR DEVELOPMENT PERMIT	2022-12-02
5.	RESUBMITTED FOR DEVELOPMENT PERMIT	2023-02-02

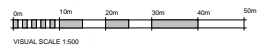
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 Date: 2023-02-07
 8:49:12 AM
 Drawn by: AQ/EA/LH
 Checked by: DE, LB, RB, OB
 Sheet Name:

Enlarged Site Plan

Sheet No:

A102

190th Street Heppell Property
Office Warehouse & CRU's
2898 190 Street and 2981 & 2825 192 Street
Surrey, British Columbia



1 Enlarged Site Plan - Building 2
A101 1:500



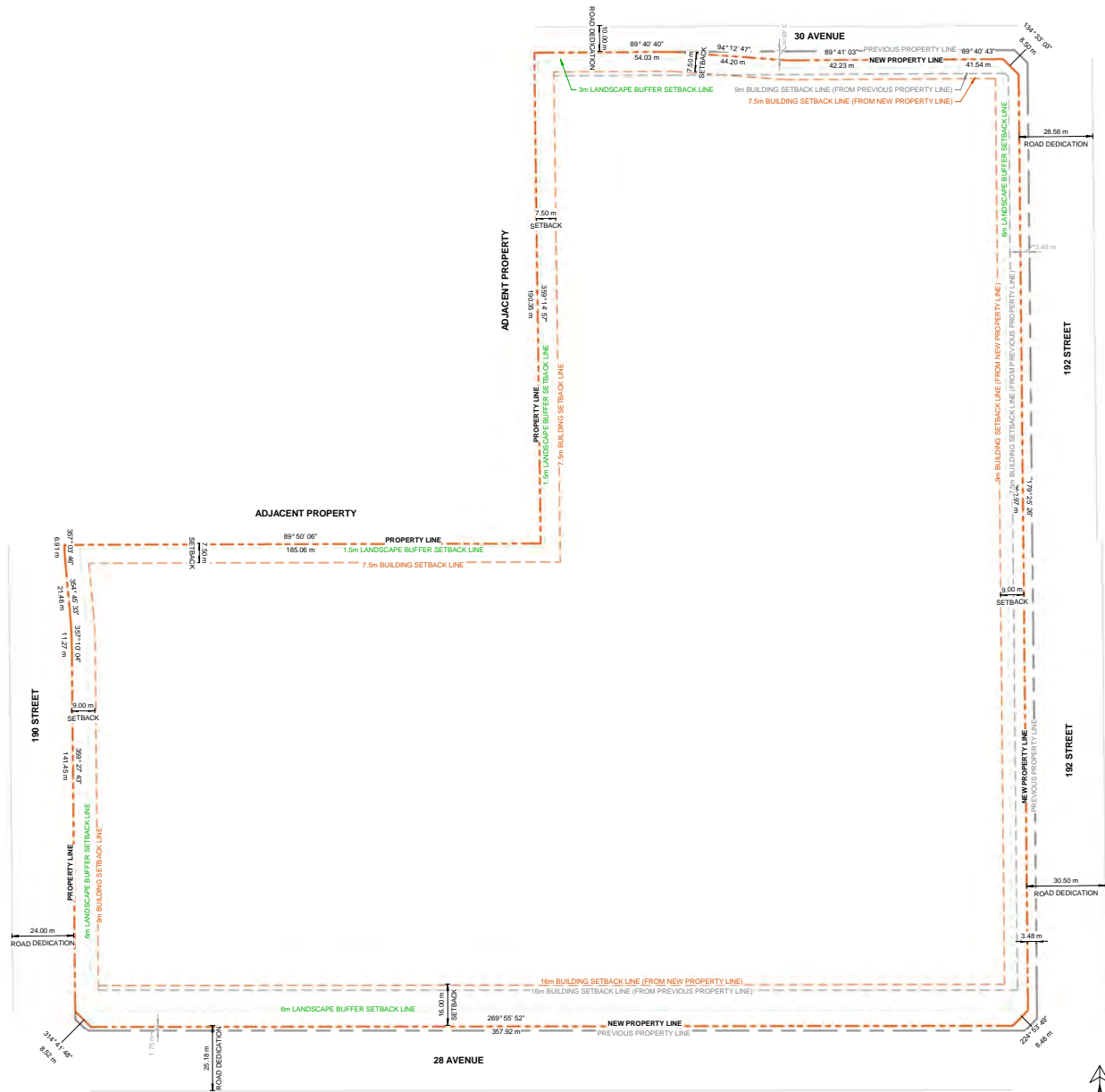
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2	2022-06-01	RESUBMITTED FOR PERMIT
3	2022-06-01	ISSUED FOR REVIEW
4	2022-10-10	ISSUED FOR REVIEW
5	2022-11-30	ISSUED FOR REVIEW
6	2022-11-30	RESUBMITTED FOR DEVELOPMENT PERMIT
7	2022-02-05	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 821028
Date: 2023-02-07 8:49:18 AM
Drawn by: AQ/EA/LH
Checked by: DE, LB, RO, OB
Sheet Name:

Enlarged Site Plan

Sheet No:

A103



1 Base Site Plan
A104 1:800



aggregate
design studio ltd.
EAGLE BUILDERS
THE PROJECT: CONCRETE CONNECTION
4631 885-5255 P.O. BOX 1690
BLACKFALDS, AB, T0M 0J0

190th Street Heppell Property Office Warehouse & CRU's

2898 190 Street and 2981 & 2825 192 Street
Surrey, British Columbia

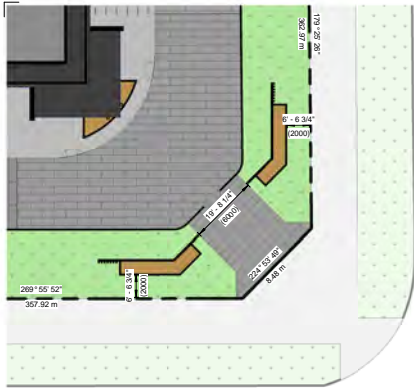
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1.	2022-05-20	ISSUED FOR DEVELOPMENT PERMIT
2.	2022-06-01	RESUBMITTED FOR PERMIT
3.	2022-06-01	ISSUED FOR REVIEW
4.	2022-10-10	ISSUED FOR REVIEW
5.	2022-10-10	RESUBMITTED FOR DEVELOPMENT PERMIT
6.	2022-11-02	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 821028
Date: 2023-02-07
8:49:19 AM
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Checked by: DE, LB, RO, OB
Sheet Name:

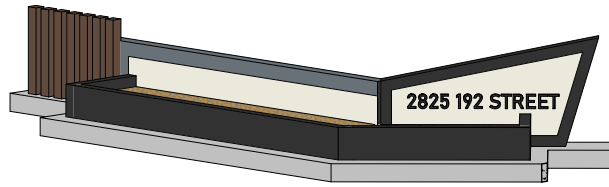
Building
Location Plan

Sheet No:
A104

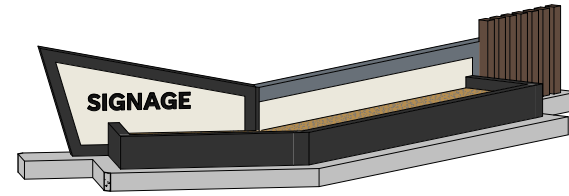
DO NOT SCALE DRAWING - VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE ARCHITECT IMMEDIATELY. ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES. THIS IS A COPYRIGHT DRAWING AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT OF THE CONSULTANT.



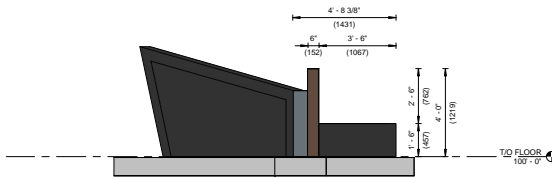
Southeast Signage Location
1:200



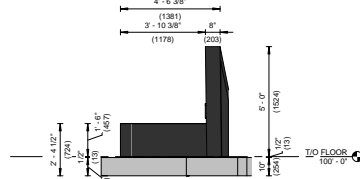
Southwest Corner Sign (Left)



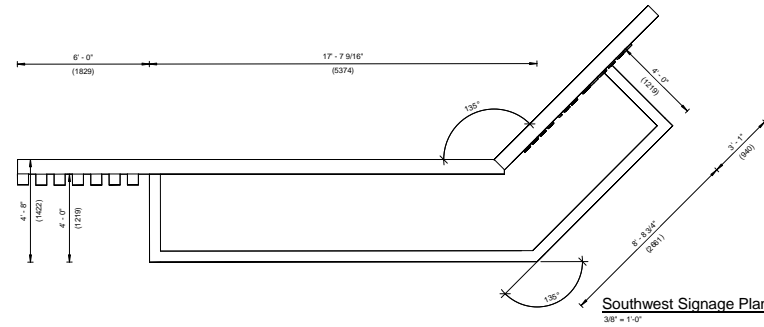
Southwest Corner Sign (Right)



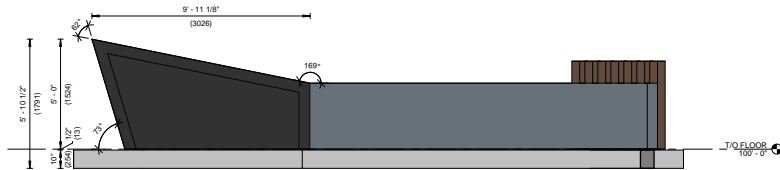
Southwest Sign Left
3/8" = 1'-0"



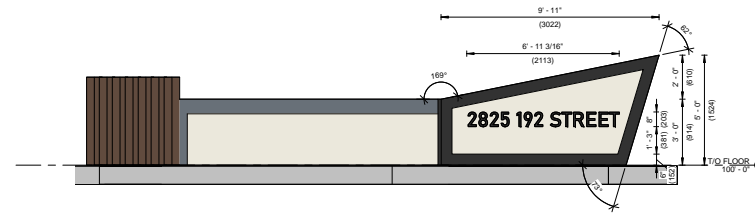
Southwest Sign Right
3/8" = 1'-0"



Southwest Signage Plan
3/8" = 1'-0"

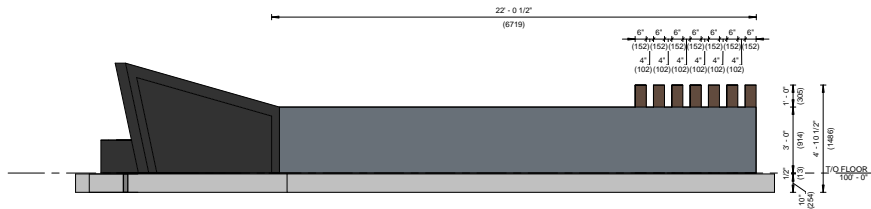


Southwest Sign Back #1
3/8" = 1'-0"

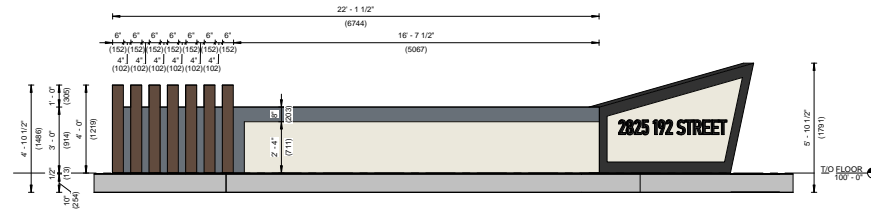


Southwest Sign Front #1
3/8" = 1'-0"

SIGNAGE FONT: BAHNSCHRIFT
NOTE: SIGN SURFACE AREA = 4%



Southwest Sign Back #2
3/8" = 1'-0"



Southwest Sign Front #2
3/8" = 1'-0"

SIGNAGE FONT: BAHNSCHRIFT
NOTE: SIGN SURFACE AREA = 4%

Stamp:



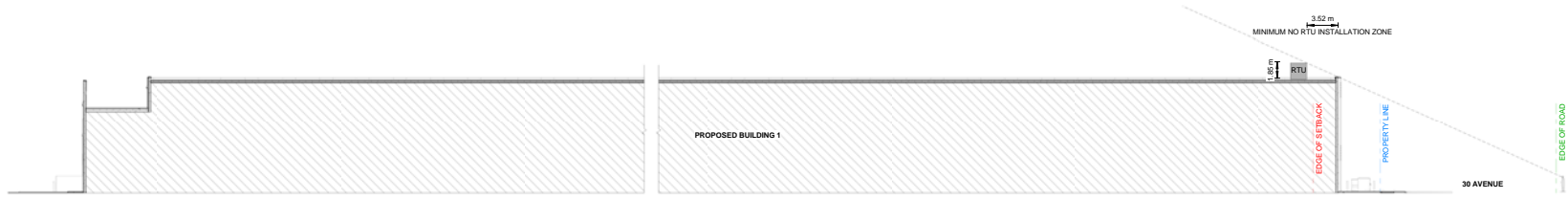
NO.	DATE	DESCRIPTION
1	2023-02-07	REQUIRED FOR DEVELOPMENT PERMIT

Project No: 821028
Date: 2023-02-07
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Drawn by: AQ/EA/LH
Checked by: DE, LB, RO, OB
Sheet Name:

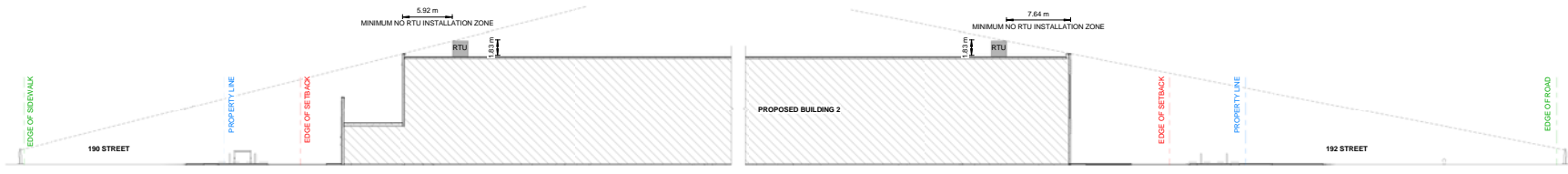
Signage Plan & Elevations

Sheet No:

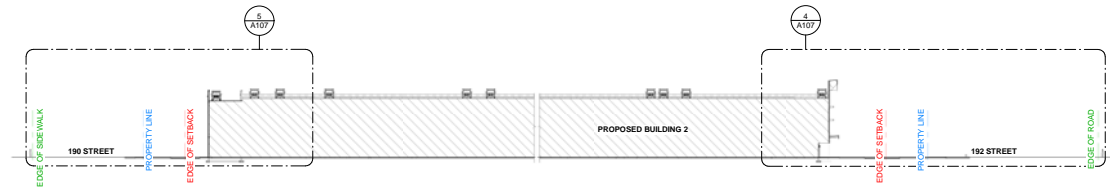
A105



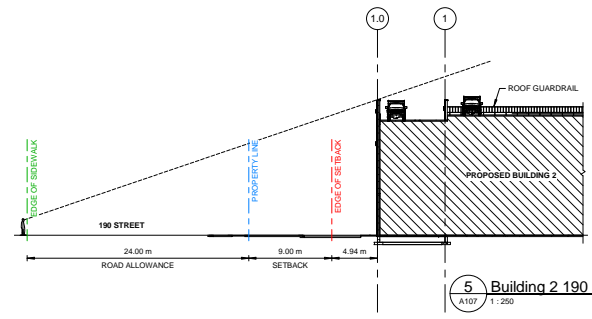
1 Building 1 Rooftop Unit Sight Line
A107 1:250



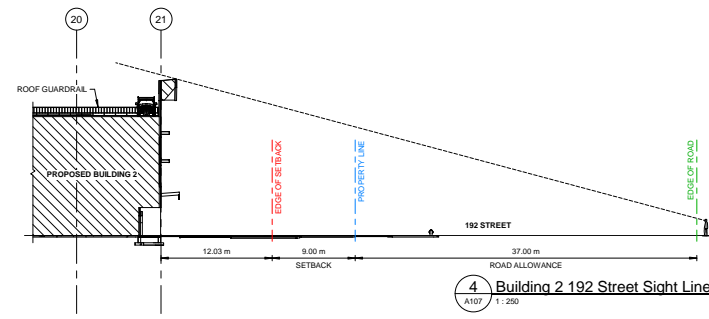
2 Building 2 Rooftop Unit Sight Lines
A107 1:250



3 Building 2 Rooftop Parking Sight Lines
A107 1:500



5 Building 2 190 Street Sight Line
A107 1:250

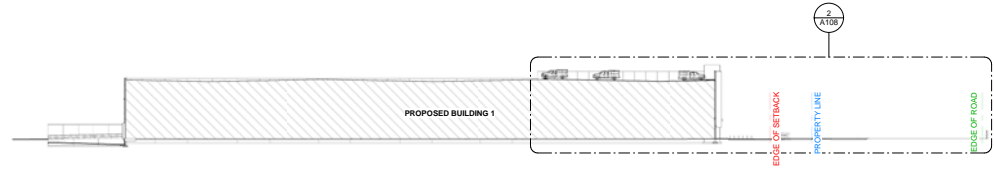


4 Building 2 192 Street Sight Line
A107 1:250

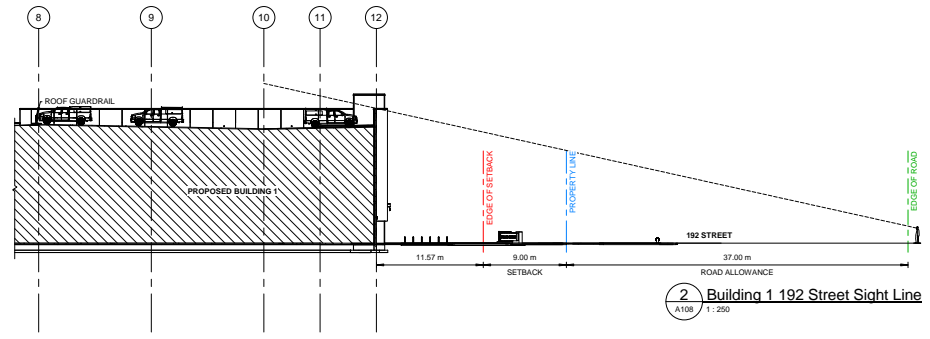
NO.	DATE	DESCRIPTION
1	2022-05-27	ISSUED FOR DEVELOPMENT PERMIT
2	2022-07-07	REVISED FOR DEVELOPMENT PERMIT
3	2022-07-07	REVISED FOR DEVELOPMENT PERMIT
4	2022-02-05	REVISED FOR DEVELOPMENT PERMIT

Project No: B21028
Date: 2023-02-07
8:49:32 AM
Drawn by: AQ/EA/LH
Checked by: DE, LB, RO, OB
Sheet Name:

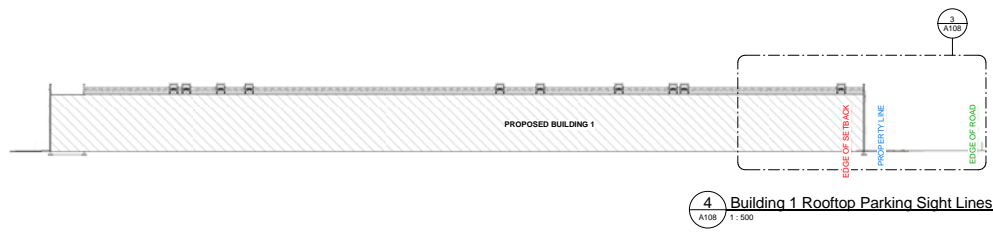
Site Details



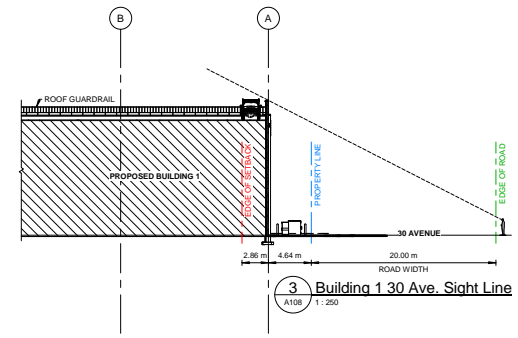
1 Building 1 Rooftop Parking Sight Line
 A108 1:500



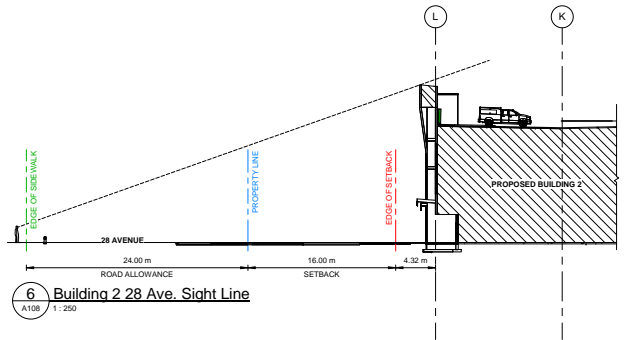
2 Building 1 192 Street Sight Line
 A108 1:250



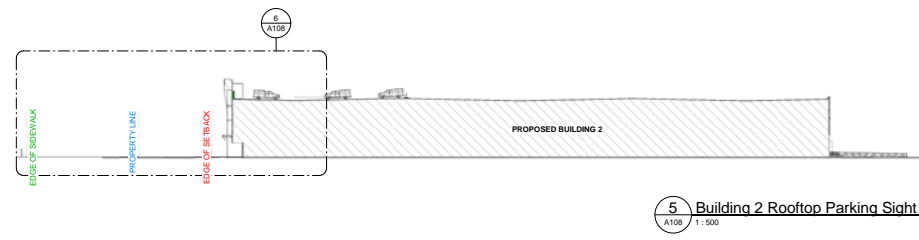
4 Building 1 Rooftop Parking Sight Lines
 A108 1:500



3 Building 1 30 Ave. Sight Line
 A108 1:250



6 Building 2 28 Ave. Sight Line
 A108 1:250



5 Building 2 Rooftop Parking Sight Line
 A108 1:500

NO.	DATE	DESCRIPTION
1	2022-05-20	ISSUED FOR DEVELOPMENT PERMIT
2	2022-07-07	RESOLVED DEVELOPMENT PERMIT
3	2022-07-07	RESOLVED DEVELOPMENT PERMIT
4	2022-08-05	RESOLVED DEVELOPMENT PERMIT

Project No: B21028
 Date: 2023-02-07
 8:49:40 AM
 Drawn by: AQ/EA/LH
 Checked by: DE, LB, RO, OB
 Sheet Name:

Site Details

Sheet No:

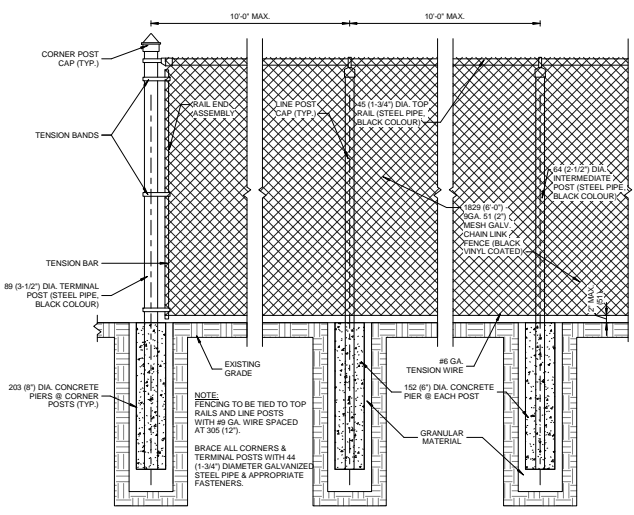
A108

NO.	DATE	DESCRIPTION
1	2022-05-20	ISSUED FOR DEVELOPMENT PERMIT
2	2022-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
3	2022-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2022-02-05	RESUBMITTED FOR DEVELOPMENT PERMIT

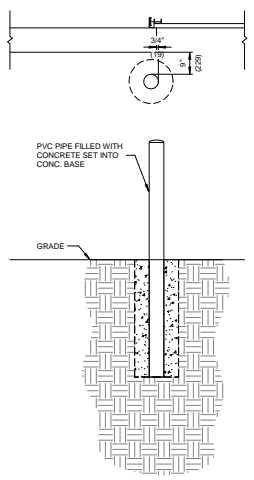
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 Date: 2023-02-07
 8:49:41 AM
 Drawn by: AQ/EA/LH
 Checked by: DE, LB, RO, OB
 Sheet Name:

Site Details

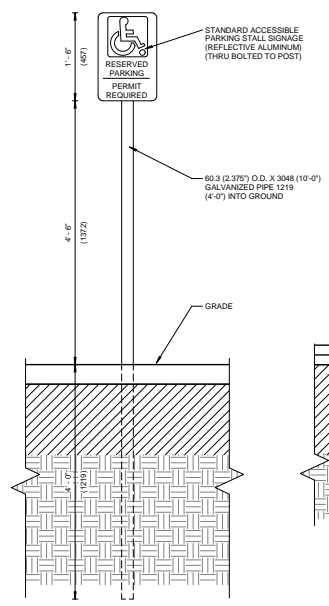
Sheet No:
A109



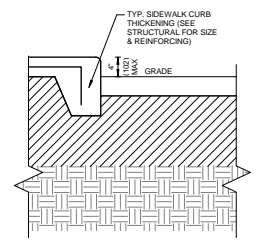
5 Wire Fence Detail
 A109 3/4" x 1'-0"



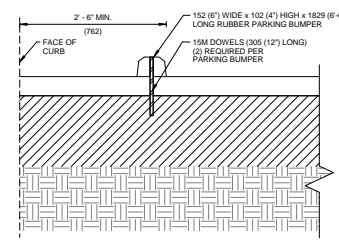
4 Bollard Detail
 A109 1/2" x 1'-0"



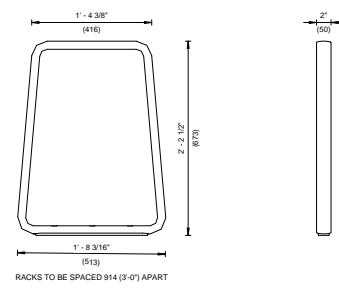
3 Barrier Free Sign
 A109 1" x 1'-0"



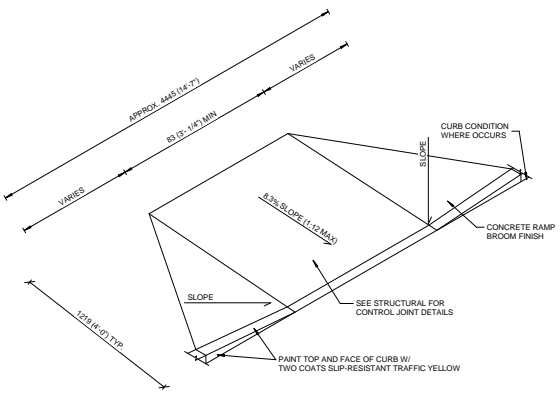
2 Curb Detail
 A109 1" x 1'-0"



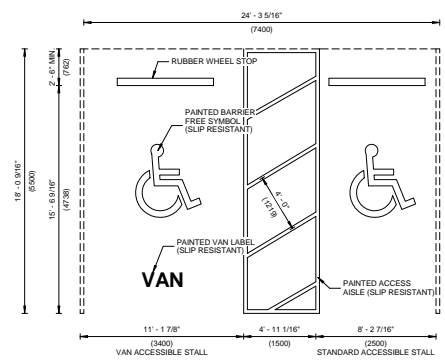
1 Wheel Stop Detail
 A109 1" x 1'-0"



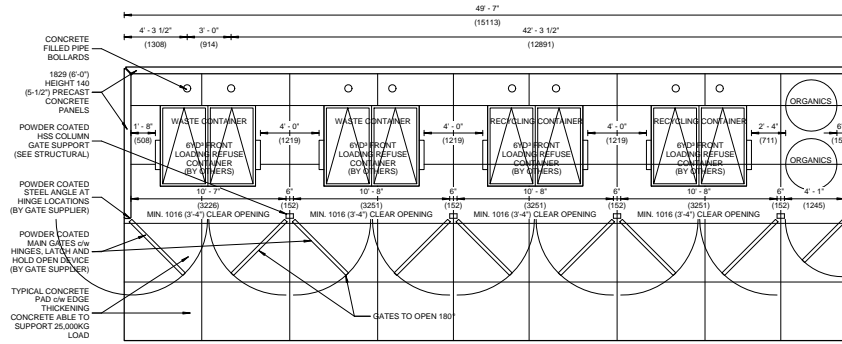
8 Maqin Bike Rack
 A109 1 1/2" x 1'-0"



7 Sidewalk Ramp
 A109 3/16" x 1'-0"

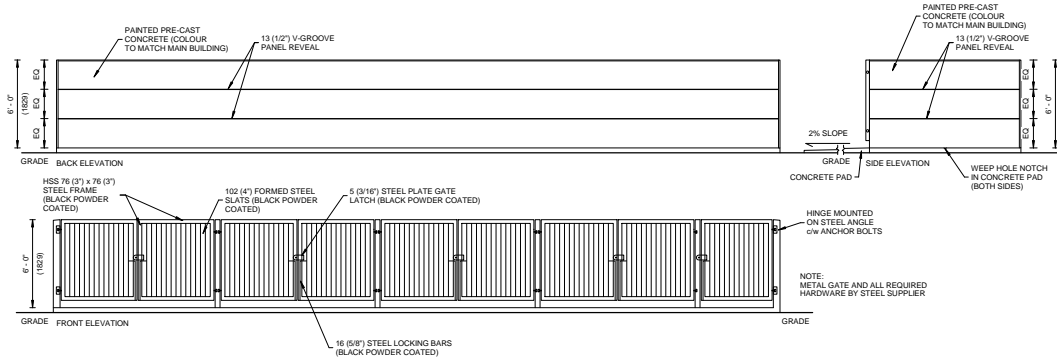


6 Barrier Free Parking Stalls
 A109 1/4" x 1'-0"

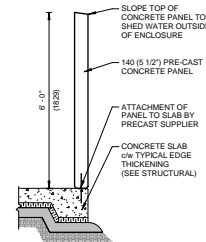


WASTE AND RECYCLING PROTOCOL:
 - THIS ENCLOSURE IS INTENDED FOR TYPICAL COMMERCIAL/ INDUSTRIAL GENERATED WASTE ONLY.
 - CONFIRM MINIMUM 6401 (21'-0") VERTICAL CLEARANCE OVER COLLECTION LOCATION
 - PROVIDE A MIN. 500x1165" VERTICAL AND HORIZONTAL CLEARANCE FOR VEHICLE ACCESS.
 - PROVIDE MIN. 508 (1'-8") CLEARANCE IN ALL DIRECTIONS AROUND CONTAINERS.

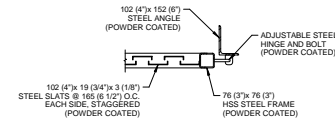
1 Garbage Enclosure Plan
 A110 1/4" = 1'-0"



2 Garbage Enclosure Elevation
 A110 1/4" = 1'-0"



4 Enclosure Section
 A110 1/2" = 1'-0"



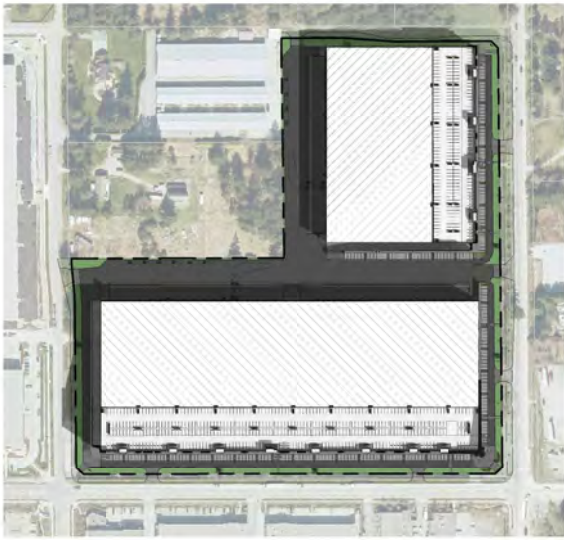
3 Enclosure Gate Construction
 A110 1" = 1'-0"

190th Street Heppell Property
Office Warehouse & CRU's
 2898 190 Street and 2981 & 2825 192 Street
 Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2022-05-21	ISSUED FOR DEVELOPMENT PERMIT
2	2022-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
3	2022-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2022-02-05	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 821028
 Date: 2023-02-07
 8:49:42 AM
 Drawn by: AQ/EA/LH
 Checked by: DE, LB, RO, OB
 Sheet Name:

Site Details



1 Sun Study - Spring 9am
A111 1:2000



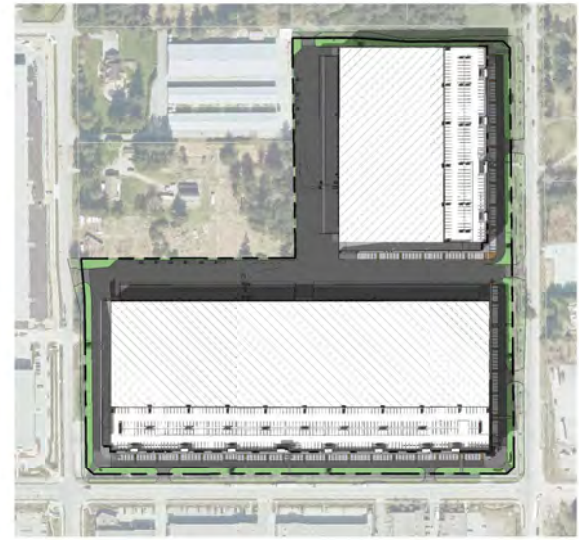
NOTES:
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



2 Sun Study - Spring 12pm
A111 1:2000



NOTES:
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



3 Sun Study - Spring 3pm
A111 1:2000



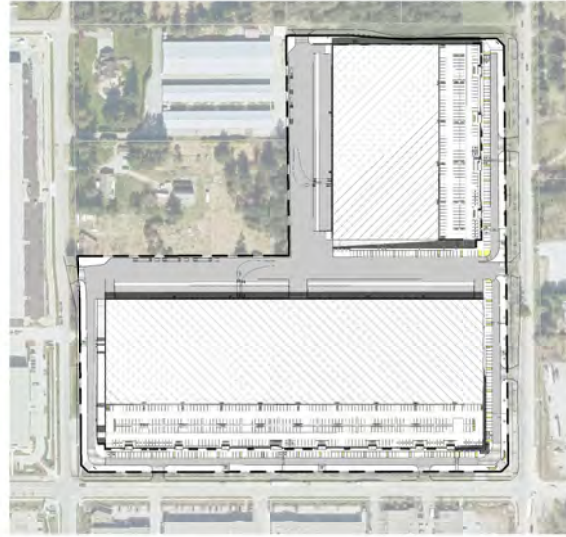
NOTES:
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



4 Sun Study - Summer 9am
A111 1:2000



NOTES:
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



5 Sun Study - Summer 12pm
A111 1:2000



NOTES:
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



6 Sun Study - Summer 3pm
A111 1:2000



NOTES:
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS

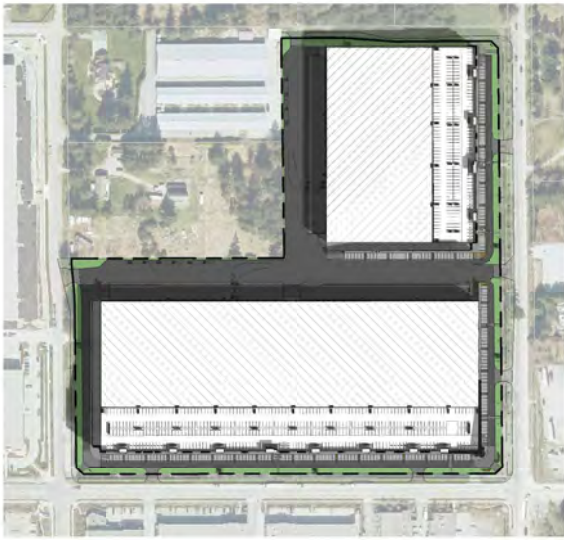
190th Street Heppell Property
Office Warehouse & CRU's
2898 190 Street and 2981 & 2825 192 Street
Surrey, British Columbia

NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-05-20
2	ISSUED FOR REVIEW	2023-06-01
3	RESOLVED FOR DEVELOPMENT PERMIT	2023-12-07
4	RESOLVED FOR DEVELOPMENT PERMIT	2023-02-06

Project No: 621028
Date: 2023-02-07 8:50:28 AM
Drawn by: AQ/EA/LH
Checked by: DE, LB, RO, OB
Sheet Name:

Sun Study

Sheet No:
A111



1 Sun Study - Fall 9am
A112 1:2000



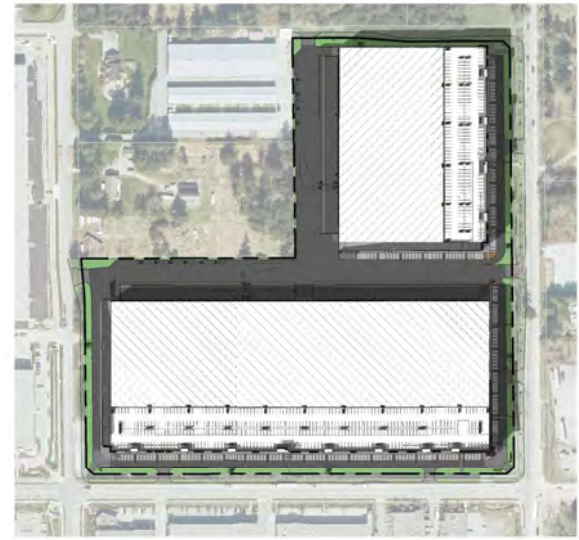
NOTES:
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



2 Sun Study - Fall 12pm
A112 1:2000



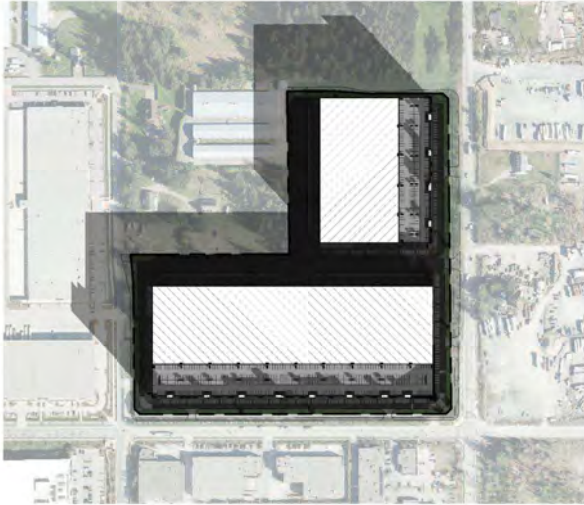
NOTES:
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



3 Sun Study - Fall 3pm
A112 1:2000



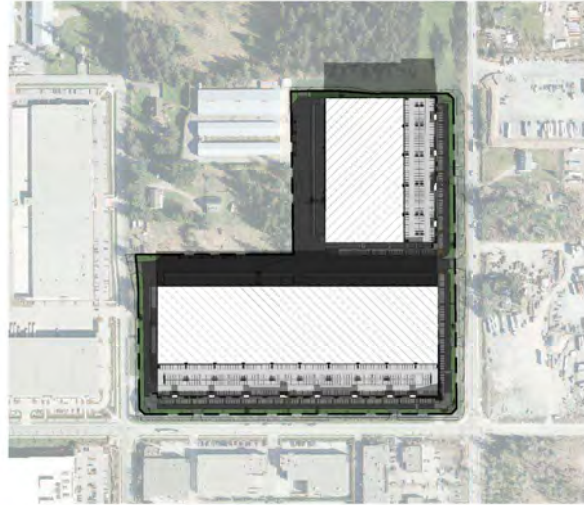
NOTES:
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



4 Sun Study - Winter 9am
A112 1:2700



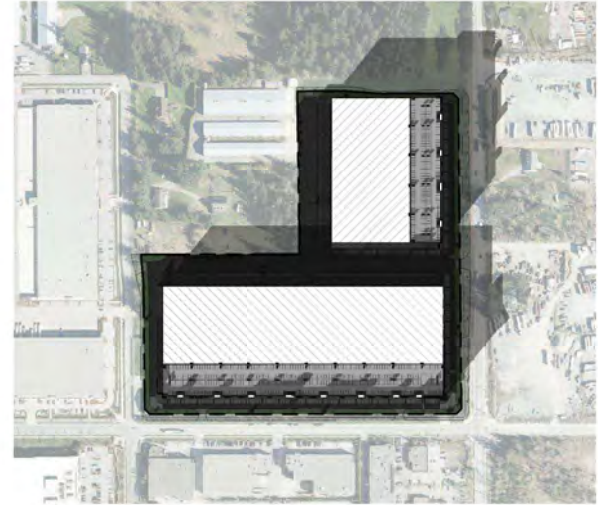
NOTES:
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



5 Sun Study - Winter 12pm
A112 1:2700



NOTES:
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



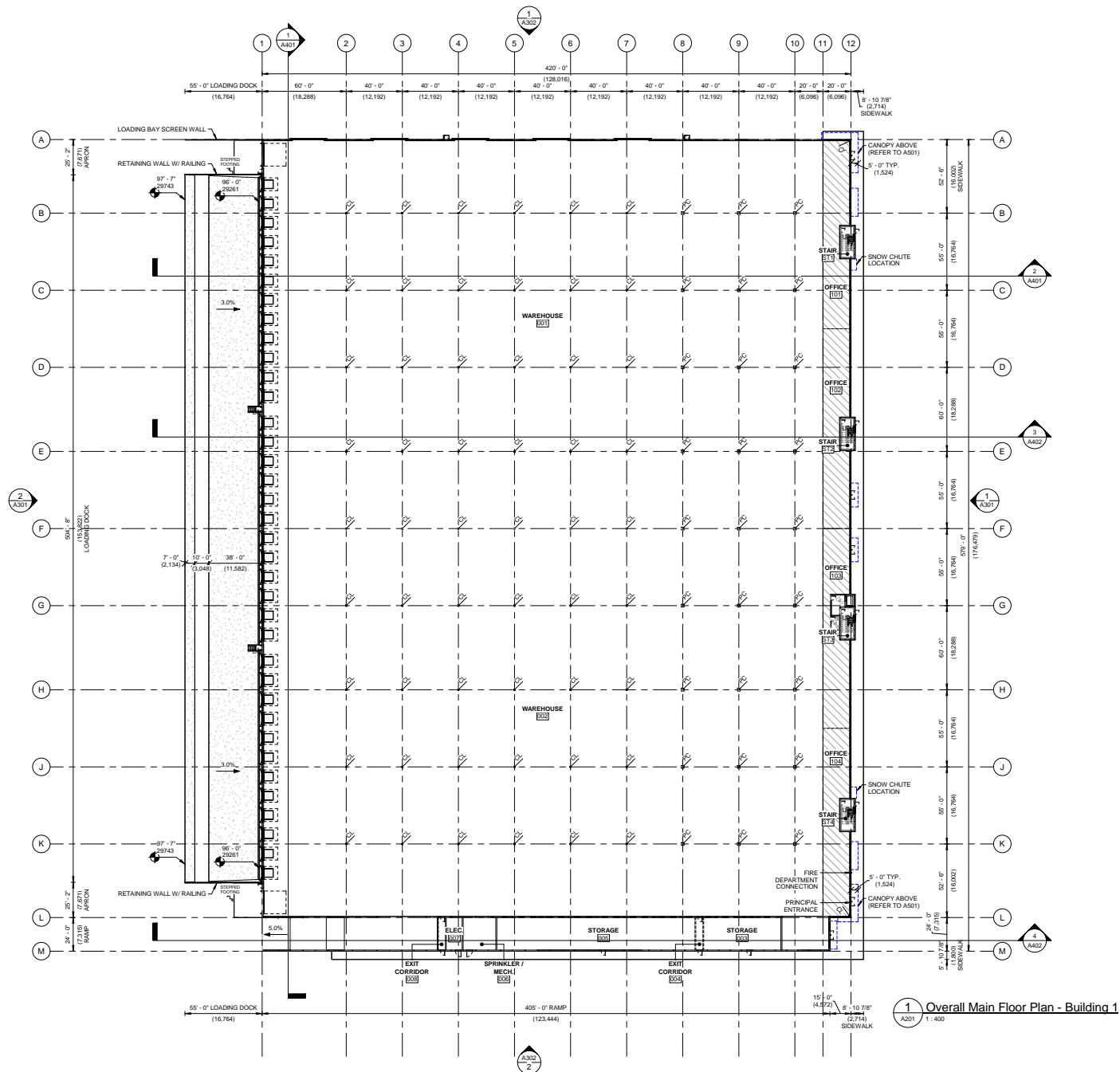
6 Sun Study - Winter 3pm
A112 1:2700



NOTES:
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS

NO.	DATE	DESCRIPTION
1	2022-05-20	ISSUED FOR DEVELOPMENT PERMIT
2	2022-10-20	ISSUED FOR REVIEW
3	2022-12-07	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2023-02-06	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: B21028
Date: 2023-02-07 8:51:20 AM
Drawn by: AQ/EA/LH
Checked by: DE, LB, RO, DB
Sheet Name:



1 Overall Main Floor Plan - Building 1
A201 1:400



Architect:

Stamp:

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design studio ltd.

THE PREMIER CONCRETE CONNECTION
4631 885-5325 P.O. BOX 1690
BLACKFALDS, AB, T0M 0J0

190th Street Heppell Property
Office Warehouse & CRU's
2898 190 Street and 2981 & 2825 192 Street
Surrey, British Columbia

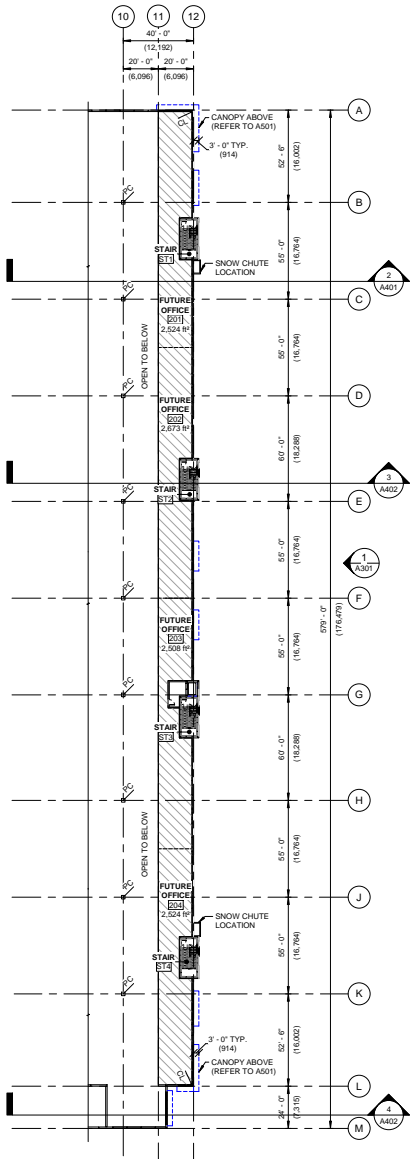
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2	2022-11-20	ISSUED FOR REVIEW
3	2022-12-02	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2023-02-06	RESUBMITTED FOR DEVELOPMENT PERMIT

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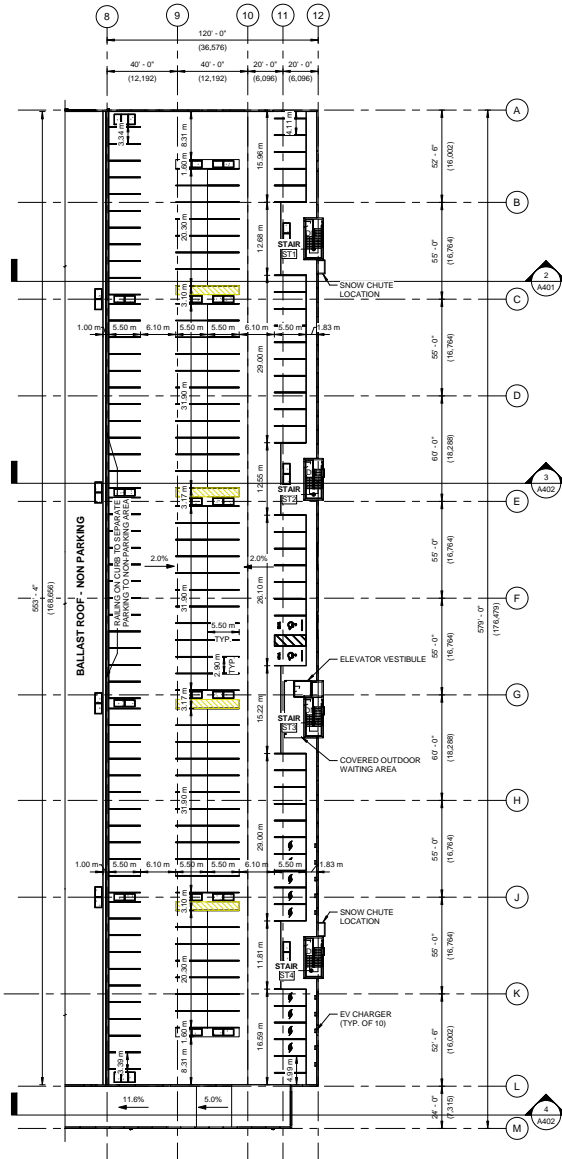
Floor Plan
Overall -
Building 1

Sheet No:
A201

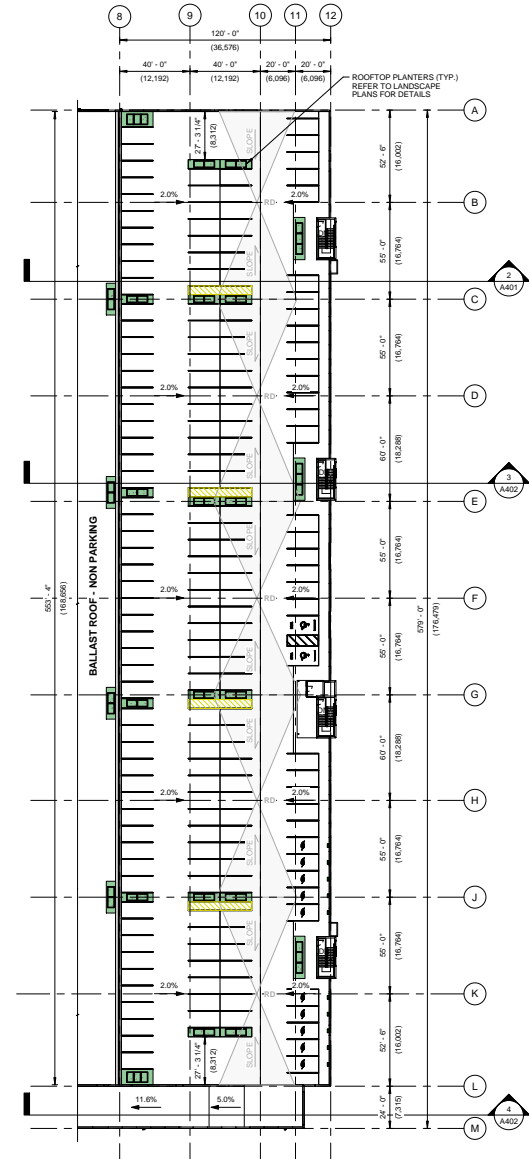
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3 Future Second Floor Plan
A202 1:400



2 Rooftop Parking Plan
A202 1:400



1 Rooftop Planter Layout
A202 1:400



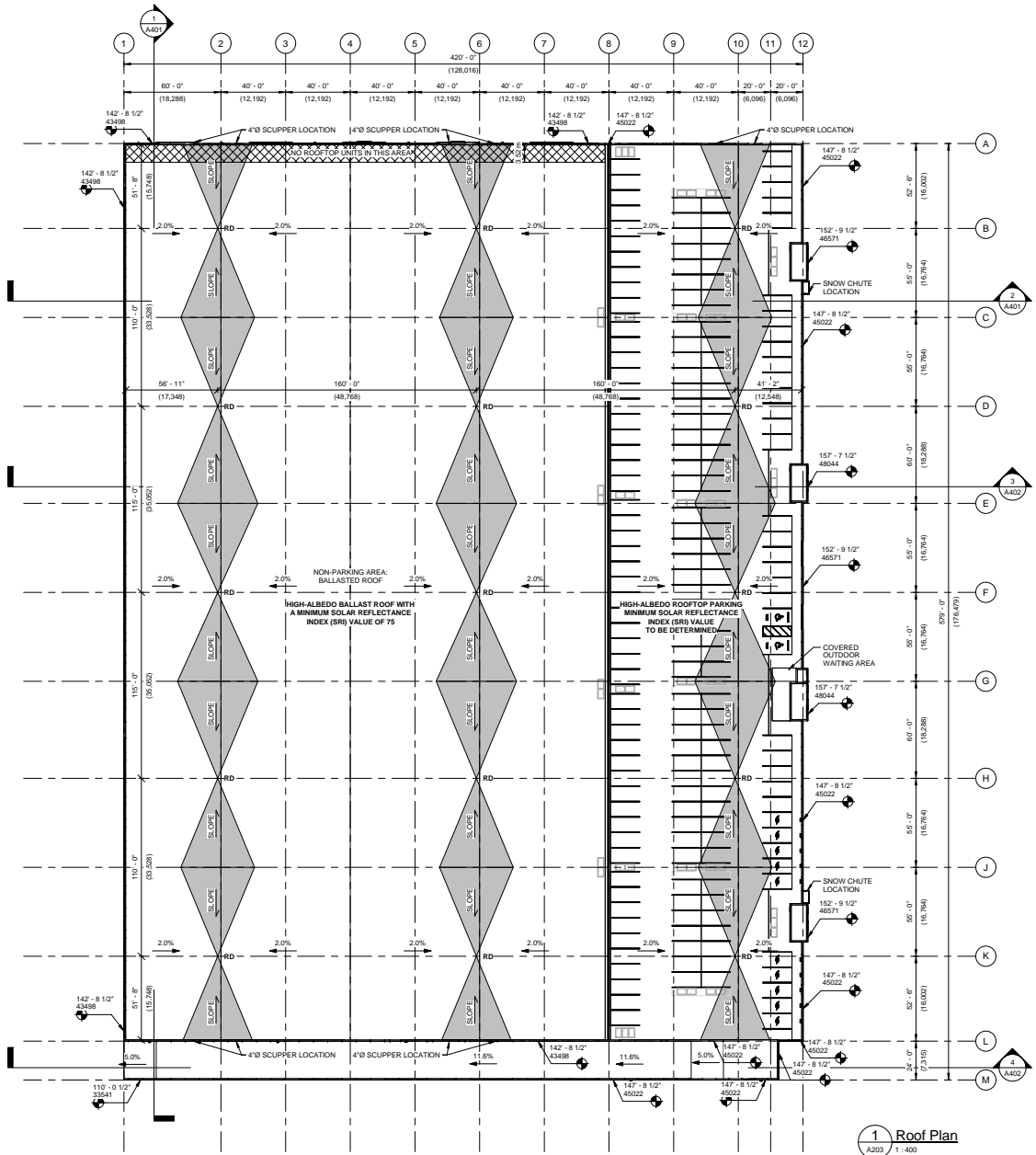
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2	2022-07-07	REVISED FOR DEVELOPMENT PERMIT
3	2022-07-07	REVISED FOR DEVELOPMENT PERMIT
4	2022-02-05	REVISED FOR DEVELOPMENT PERMIT

Project No: 621028
Date: 2023-02-07
8:50:32 AM
Drawn by: AQ, LH
Checked by: DE, LB, RO, OB
Sheet Name:

Rooftop Parking
& 2nd Floor Plan
- Building 1

Sheet No:

A202



1 Roof Plan
A203 1:400



NO.	DATE	DESCRIPTION
1	2022-09-20	ISSUED FOR DEVELOPMENT PERMIT
2	2022-10-07	RESOLVED FOR DEVELOPMENT PERMIT
3	2022-12-07	RESOLVED FOR DEVELOPMENT PERMIT
4	2023-02-05	RESOLVED FOR DEVELOPMENT PERMIT

Project No: 821028
Date: 2023-02-07
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Drawn by: AE, LB, RB, OB
Checked by: DE, LB, RB, OB
Sheet Name:

Roof Plan
Overall -
Building 1

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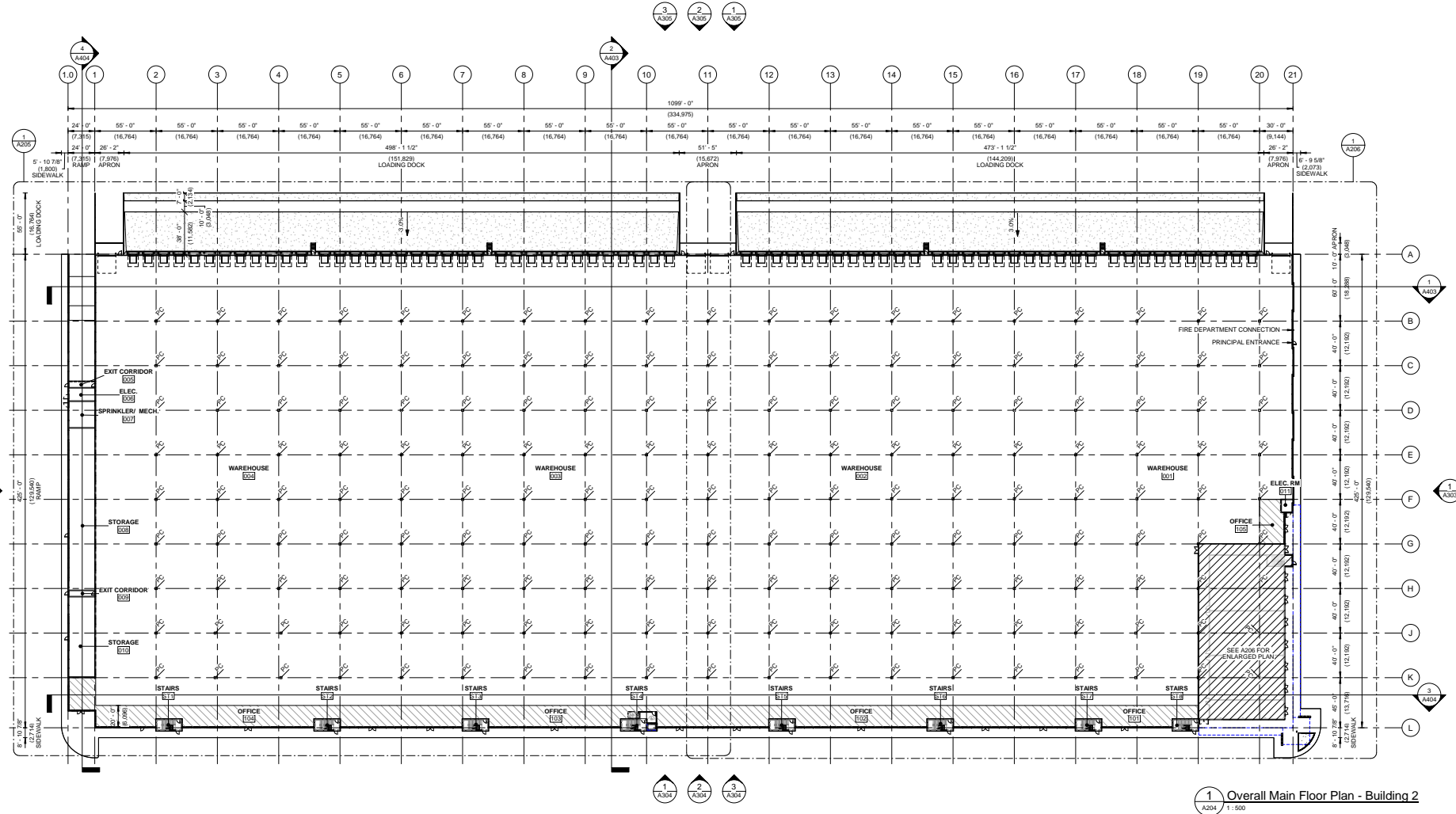
190th Street Heppell Property
Office Warehouse & CRU's
 2898 190 Street and 2981 & 2825 192 Street
 Surrey, British Columbia

NO.	DATE	DESCRIPTION
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2	2023-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
3	2023-02-06	RESUBMITTED FOR DEVELOPMENT PERMIT

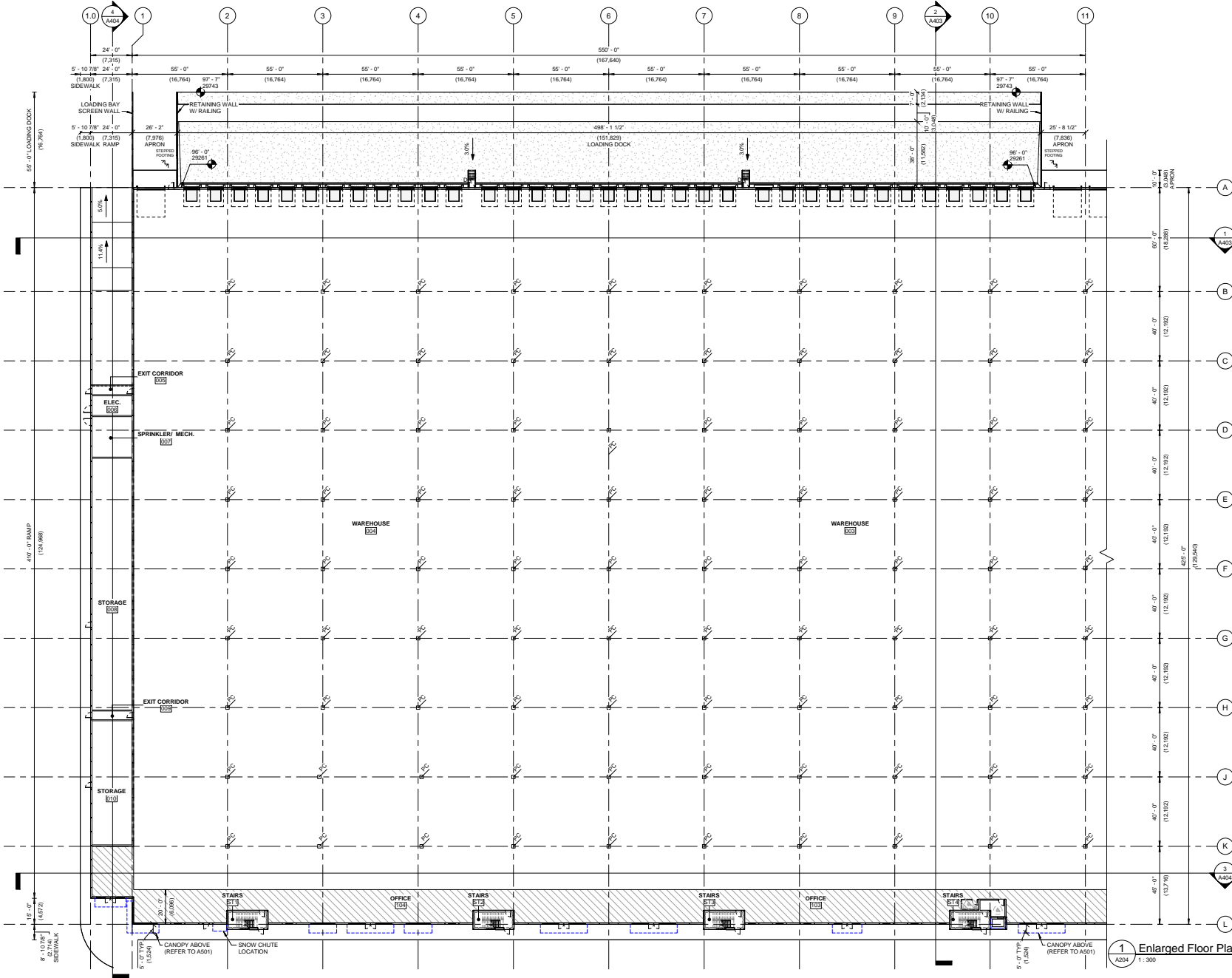
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 Sheet Name:

Floor Plan
 Overall -
 Building 2

Sheet No:
A204



1 Overall Main Floor Plan - Building 2
 A204 1:500



1 Enlarged Floor Plan - West
A204 1:300



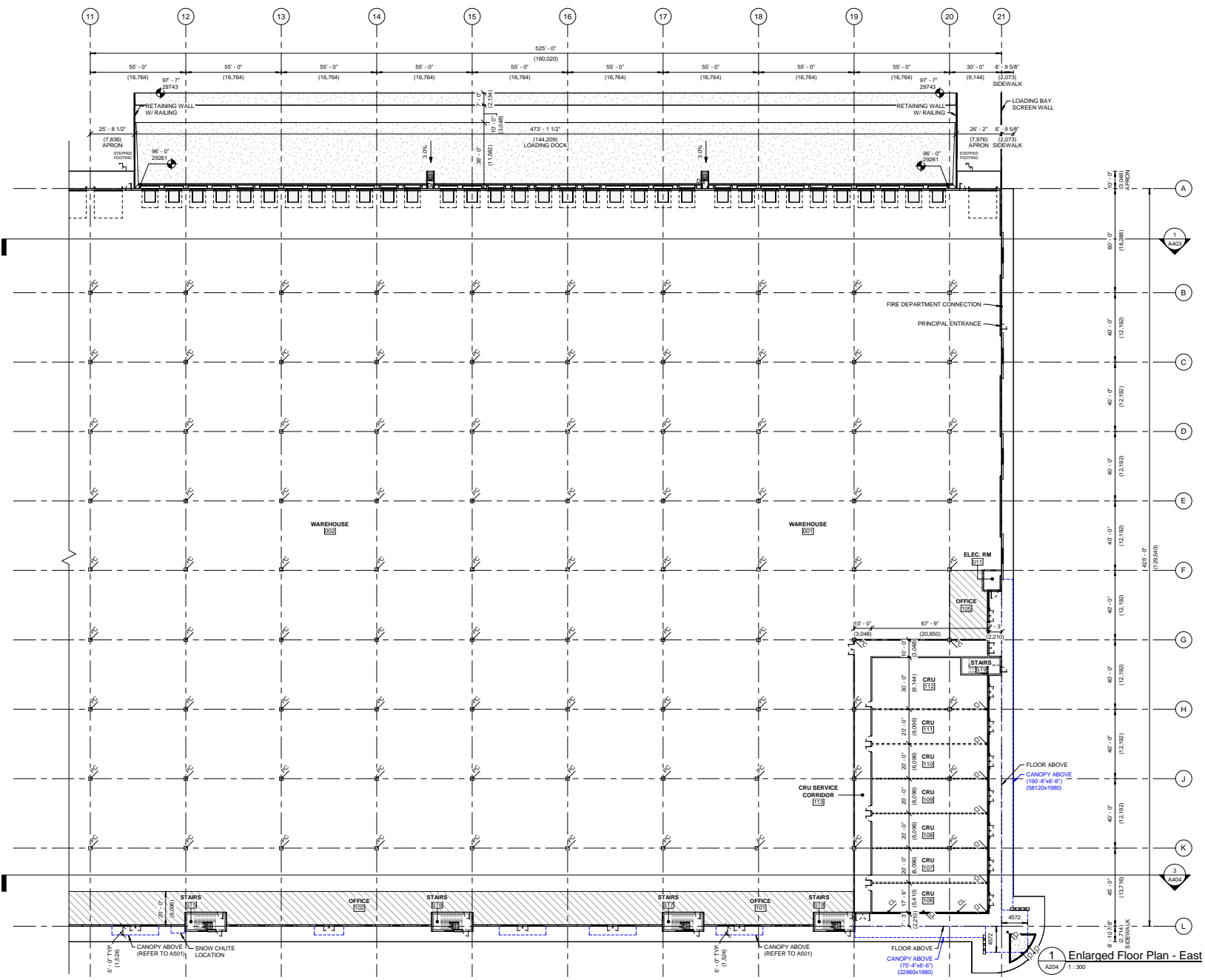
190th Street Heppell Property
Office Warehouse & CRU's
 2898 190 Street and 2981 & 2825 192 Street
 Surrey, British Columbia

NO.	DATE	DESCRIPTION
1.	2023-05-30	ISSUED FOR DEVELOPMENT PERMIT
2.	2023-07-20	ISSUED FOR REVIEW
3.	2023-09-19	ISSUED FOR REVIEW
4.	2023-12-07	REVISED FOR DEVELOPMENT PERMIT
5.	2023-02-06	REVISED FOR DEVELOPMENT PERMIT

Project No: 821028
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 Checked by: DE, LB, RO, OB
 Sheet Name:

Enlarged Floor
 Plan - West -
 Building 2

Sheet No:
A205



1 Enlarged Floor Plan - East
A204 1:300



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EAGLE BUILDERS
THE PROJECT: CONCRETE CONNECTION
1403 885-5325 P.O. BOX 1690
BLACKFALDS, AB, T0M 0J0

190th Street Heppell Property
Office Warehouse & CRU's
2898 190 Street and 2981 & 2825 192 Street
Surrey, British Columbia

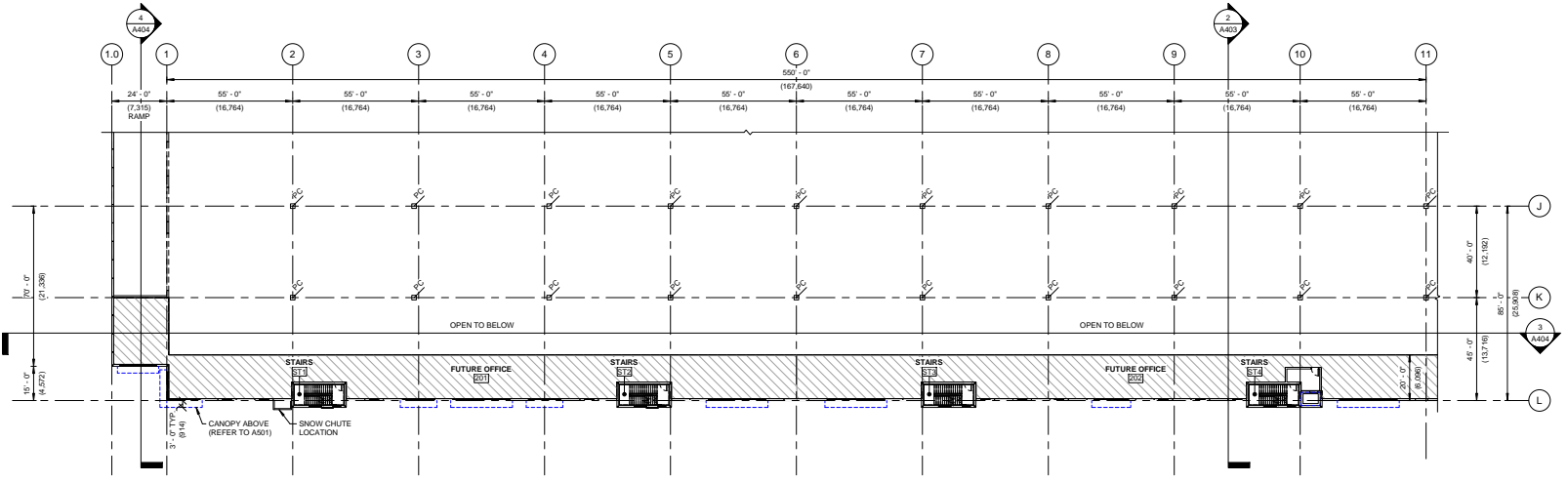
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4	2023-02-06	RESUBMITTED FOR DEVELOPMENT PERMIT

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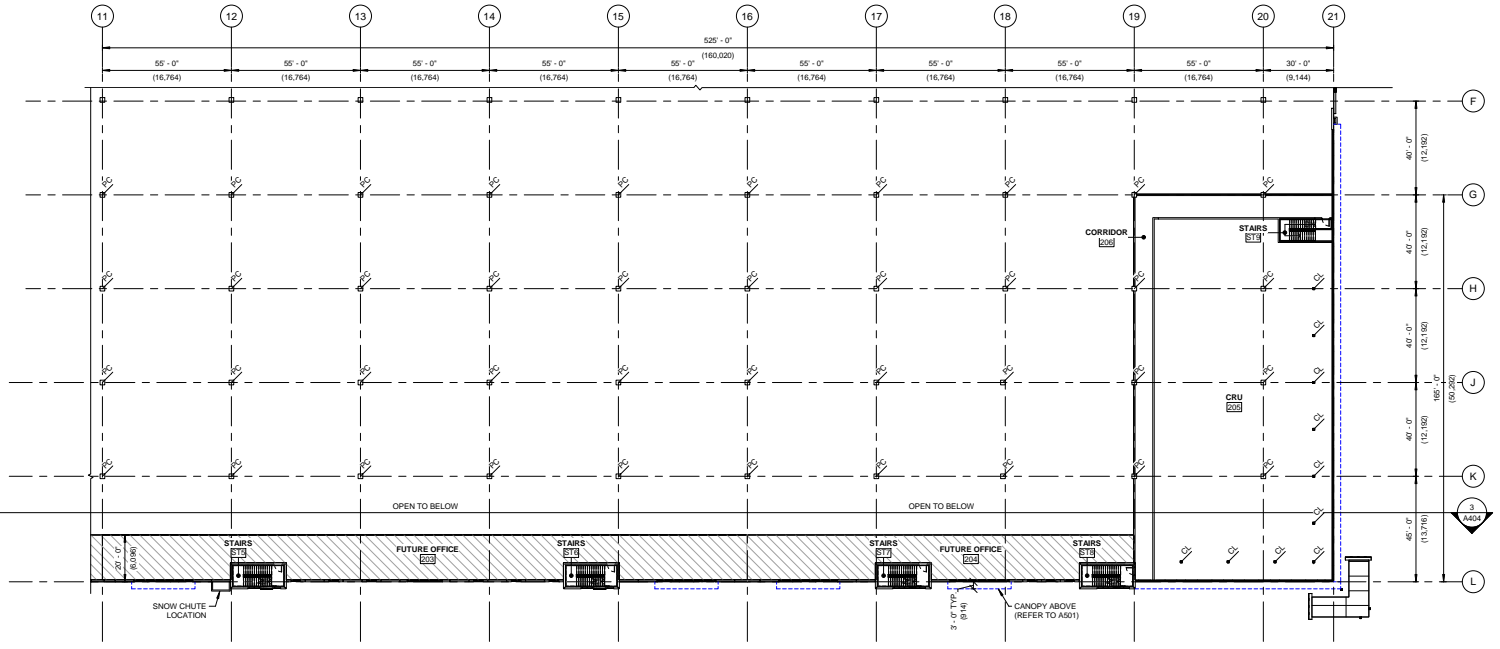
Enlarged Floor Plan - East - Building 2

Sheet No:

A206



1 Enlarged Second Floor Office Plan - West
A207 1:300



2 Enlarged Second Floor Office Plan - East
A207 1:300



NO.	DATE	DESCRIPTION
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2	2022-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
3	2022-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2022-02-05	RESUBMITTED FOR DEVELOPMENT PERMIT

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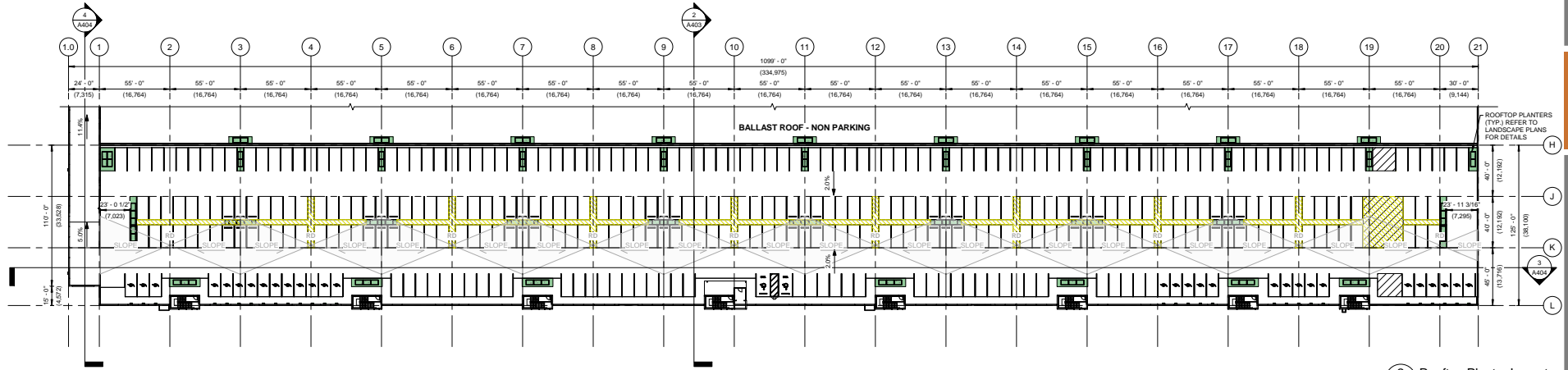
Enlarged Second Floor Office - Building 2

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3	RESUBMITTED FOR DEVELOPMENT PERMIT	2023-07-10
4	RESUBMITTED FOR DEVELOPMENT PERMIT	2023-08-05

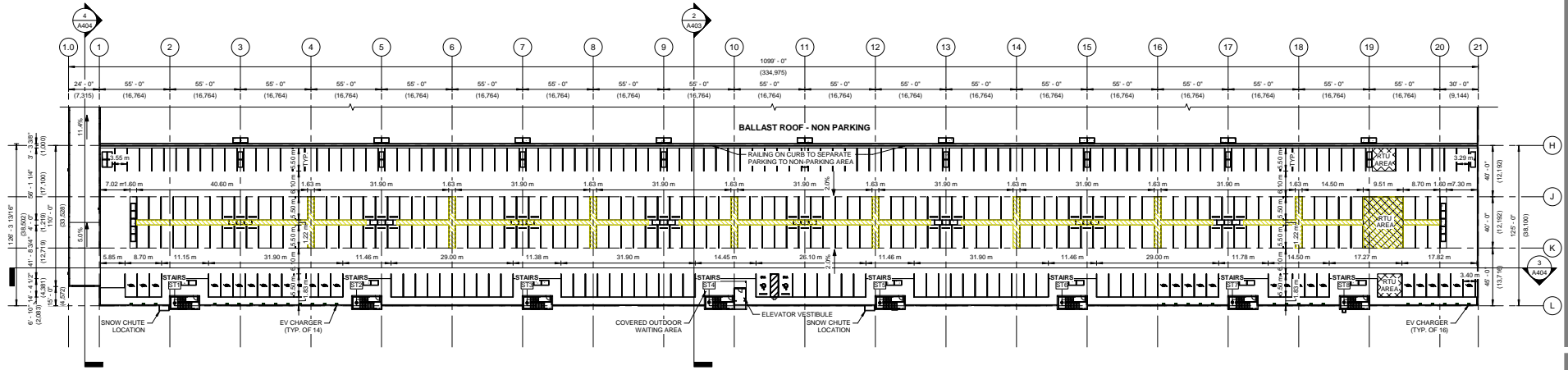
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Rooftop Parking
 Plan - Building 2

Sheet No:
A208

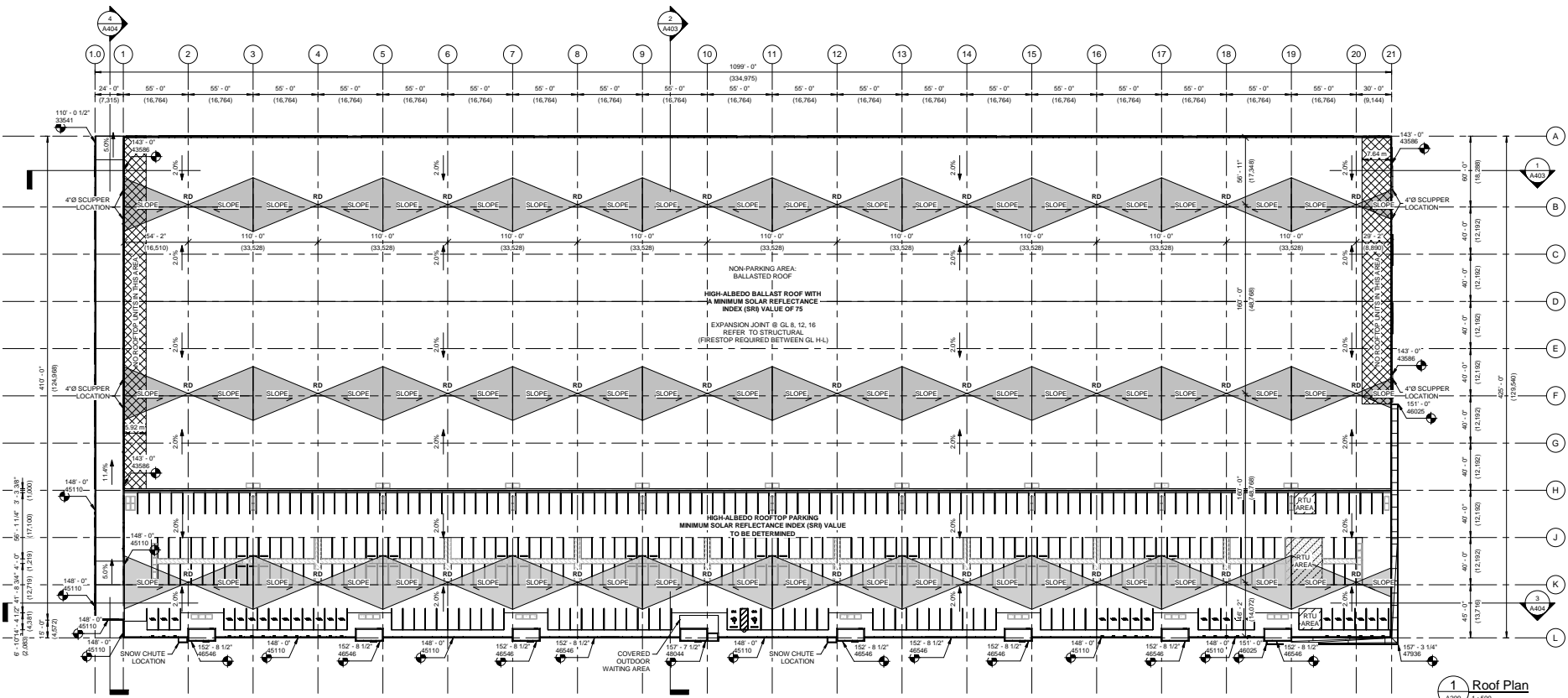


2 Rooftop Planter Layout
 A208 1:450



1 Rooftop Parking Plan
 A208 1:450





1 Roof Plan
 A209 1:500

190th Street Heppell Property
 Office Warehouse & CRU's
 2898 190 Street and 2981 & 2825 192 Street
 Surrey, British Columbia

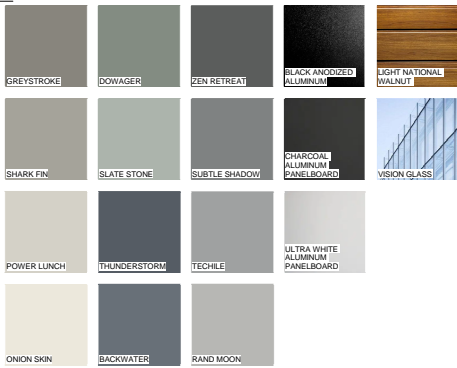
NO.	DATE	DESCRIPTION
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2	2023-07-07	REVISION FOR DEVELOPMENT PERMIT
3	2023-02-05	REVISION FOR DEVELOPMENT PERMIT

Project No: B21028
 Date: 2023-02-06
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 Checked by: DE, LB, RO, OB
 Sheet Name:

Roof Plan
 Overall -
 Building 2

Sheet No:
A209



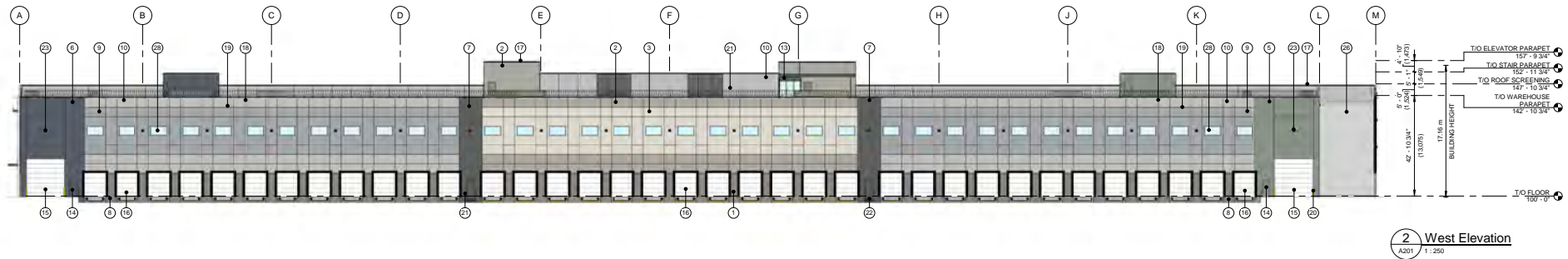
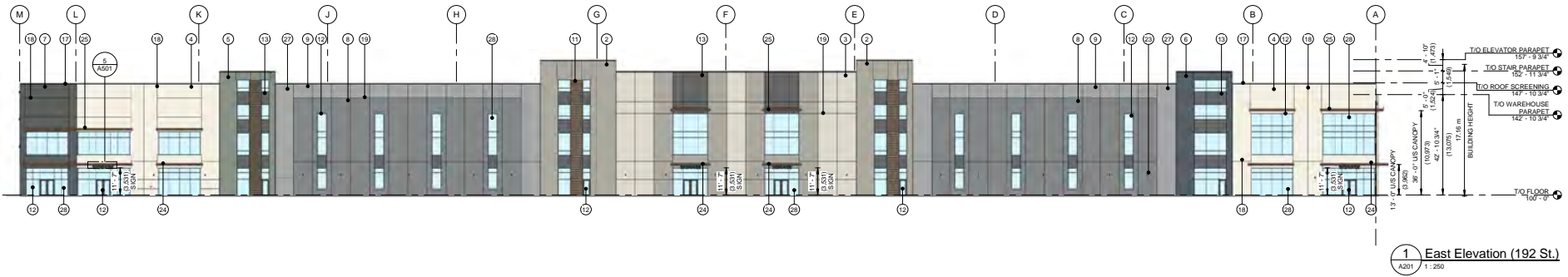


MATERIAL LEGEND

- ① PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0575 GREYSTROKE - SMOOTH FINISH)
- ② PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0574 SHARK FIN - SMOOTH FINISH)
- ③ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0572 POWER LUNCH - SMOOTH FINISH)
- ④ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0418 ONION SKIN - SMOOTH FINISH)
- ⑤ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0442 DOWAGER - SMOOTH FINISH)
- ⑥ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0514 THUNDERSTORM - SMOOTH FINISH)
- ⑦ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0535 ZEN RETREAT - SMOOTH FINISH)
- ⑧ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0534 SUBTLE SHADOW - SMOOTH FINISH)
- ⑨ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0533 TECHILE - SMOOTH FINISH)
- ⑩ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0532 RAND MOON - SMOOTH FINISH)
- ⑪ LONGBOARD 6" LINK & LOCK FINIS (FINISH - LIGHT NATIONAL WALNUT)
- ⑫ PRE-FINISHED ALUMINUM WINDOW/ DOOR FRAME (BLACK ANNOXIDIZED ALUMINUM)
- ⑬ PRE-FINISHED METAL SPANDREL PANEL (COLOUR - BLACK)
- ⑭ PRIMED AND PAINTED INSULATED METAL-FRAMED DOOR (COLOUR TO MATCH WALL)

MATERIAL LEGEND

- ⑮ PRE-FINISHED INSULATED METAL OVERHEAD DOOR (COLOUR - WHITE)
- ⑯ PRE-FINISHED INSULATED METAL DOCK DOOR (COLOUR - WHITE)
- ⑰ PRE-FINISHED METAL PARAPET FLASHING (COLOUR - BLACK)
- ⑱ PRECAST CONCRETE PANEL JOINT
- ⑲ PRECAST CONCRETE REVEAL
- ⑳ CONCRETE FILLED BOLLARDS (COLOUR - SAFETY YELLOW)
- ㉑ PRIMED AND PAINTED METAL GUARDRAIL (COLOUR - GREY)
- ㉒ PRIMED AND PAINTED METAL STAIRS (COLOUR - BLACK)
- ㉓ WALL MOUNTED EXTERIOR LIGHTS (SEE ELECTRICAL)
- ㉔ METAL CANOPY (FINISH - LONGBOARD LIGHT NATIONAL WALNUT) (BY SUPPLIER)
- ㉕ METAL CANOPY W/ LOUVERS (FINISH - LONGBOARD LIGHT NATIONAL WALNUT) (BY SUPPLIER)
- ㉖ EXTERIOR CONCRETE RAMP
- ㉗ SNOW CHUTE - PAINTED PRECAST CONCRETE
- ㉘ PRE-FINISHED ALUMINUM WINDOW



Architect:

Stamp:

aggregate
design studio ltd.

THE PREMIER CONCRETE CONNECTION
1403 885-5255 P.O. BOX 1690
BLACKFALDS, AB, T0M 0J0

190th Street Heppell Property
Office Warehouse & CRU's
2898 190 Street and 2981 & 2825 192 Street
Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2022-05-20	ISSUED FOR DEVELOPMENT PERMIT
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3	2022-12-02	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2023-02-06	RESUBMITTED FOR DEVELOPMENT PERMIT

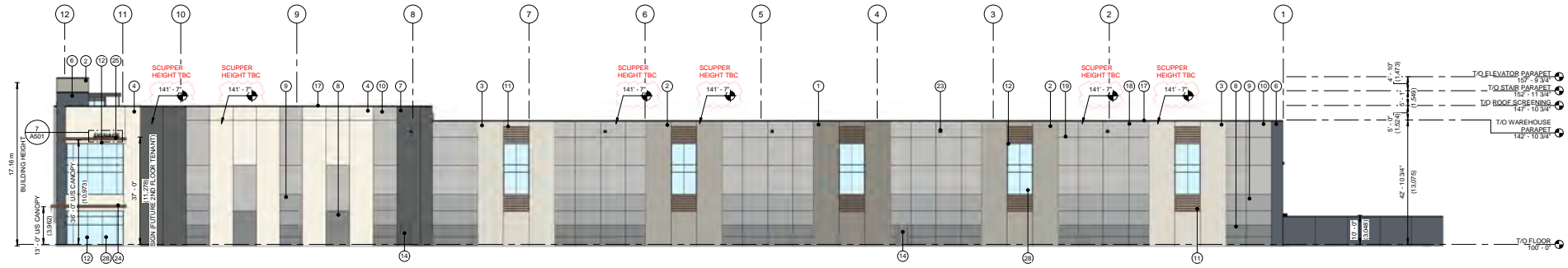
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Sheet Name:

Elevations -
Building 1

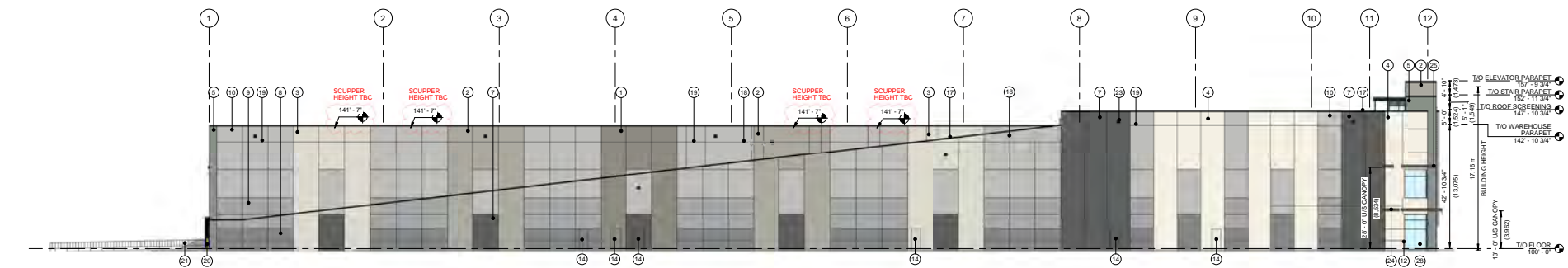
Sheet No:
A301

- MATERIAL LEGEND**
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 - ② PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0574 SHARK FIN - SMOOTH FINISH)
 - ③ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0572 POWER LUNCH - SMOOTH FINISH)
 - ④ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0418 ONION SKIN - SMOOTH FINISH)
 - ⑤ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0442 DOWAGER - SMOOTH FINISH)
 - ⑥ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0514 THUNDERSTORM - SMOOTH FINISH)
 - ⑦ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0535 ZEN RETREAT - SMOOTH FINISH)
 - ⑧ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0534 SUBTLE SHADOW - SMOOTH FINISH)
 - ⑨ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0533 TECHILE - SMOOTH FINISH)
 - ⑩ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0532 RAND MOON - SMOOTH FINISH)
 - ⑪ LONGBOARD 6" LINK & LOCK FINS (FINISH - LIGHT NATIONAL WALNUT)
 - ⑫ PRE-FINISHED ALUMINUM WINDOW/ DOOR FRAME (BLACK ANODIZED ALUMINUM)
 - ⑬ PRE-FINISHED METAL SPANDREL PANEL (COLOUR - BLACK)
 - ⑭ PRIMED AND PAINTED INSULATED METAL-FRAMED DOOR (COLOUR TO MATCH WALL)

- MATERIAL LEGEND**
- ⑮ PRE-FINISHED INSULATED METAL OVERHEAD DOOR (COLOUR - WHITE)
 - ⑯ PRE-FINISHED INSULATED METAL DOCK DOOR (COLOUR - WHITE)
 - ⑰ PRE-FINISHED METAL PARAPET FLASHING (COLOUR - BLACK)
 - ⑱ PRECAST CONCRETE PANEL JOINT
 - ⑲ PRECAST CONCRETE REVEAL
 - ⑳ CONCRETE FILLED BOLLARDS (COLOUR - SAFETY YELLOW)
 - ㉑ PRIMED AND PAINTED METAL GUARDRAIL (COLOUR - GREY)
 - ㉒ PRIMED AND PAINTED METAL STAIRS (COLOUR - BLACK)
 - ㉓ WALL MOUNTED EXTERIOR LIGHTS (SEE ELECTRICAL)
 - ㉔ METAL CANOPY (FINISH - LONGBOARD LIGHT NATIONAL WALNUT)(BY SUPPLIER)
 - ㉕ METAL CANOPY W/ LOUVERS (FINISH - LONGBOARD LIGHT NATIONAL WALNUT)(BY SUPPLIER)
 - ㉖ EXTERIOR CONCRETE RAMP
 - ㉗ SNOW CHUTE - PAINTED PRECAST CONCRETE
 - ㉘ PRE-FINISHED ALUMINUM WINDOW



1 North Elevation (30 Ave.)
 A201 1:200



2 South Elevation
 A201 1:200

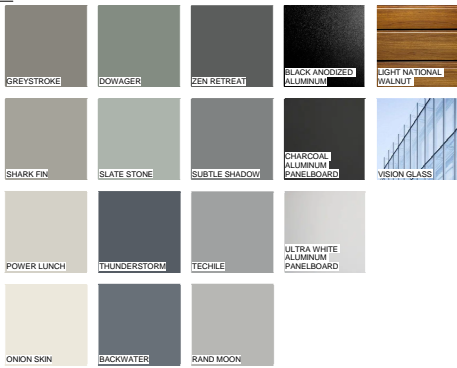
190th Street Heppell Property
 Office Warehouse & CRU's
 2898 190 Street and 2981 & 2825 192 Street
 Surrey, British Columbia

NO.	DATE	DESCRIPTION
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2	2022-11-13	ISSUED FOR PERMIT
3	2022-11-13	ISSUED FOR PERMIT
4	2022-12-02	RESUBMITTED FOR DEVELOPMENT PERMIT
5	2023-02-06	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 821028
 Date: 2023-02-07
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 Checked by: DE, LB, RO, OB
 Sheet Name:

Elevations -
 Building 1

Sheet No:
A302



MATERIAL LEGEND

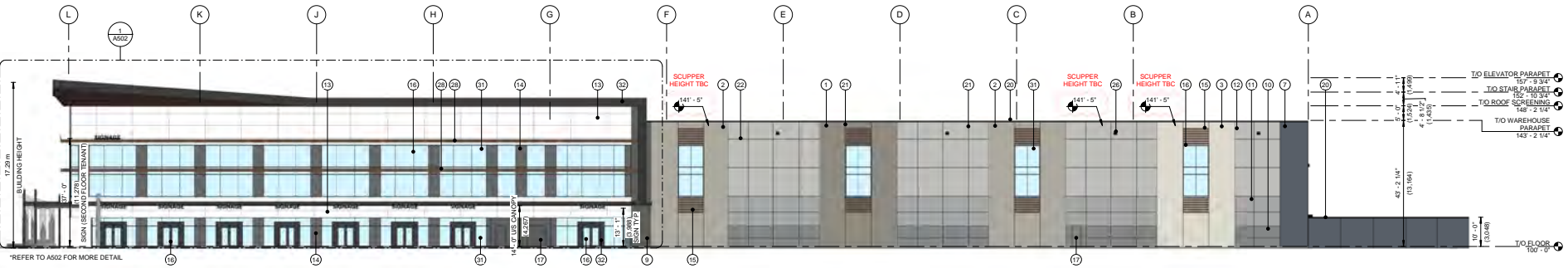
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- ② PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0574 SHARK FIN - SMOOTH FINISH)
- ③ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0572 POWER LUNCH - SMOOTH FINISH)
- ④ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0418 ONION SKIN - SMOOTH FINISH)
- ⑤ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0442 DOWAGER - SMOOTH FINISH)
- ⑥ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0441 SLATE STONE - SMOOTH FINISH)
- ⑦ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0514 THUNDERSTORM - SMOOTH FINISH)
- ⑧ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0513 BACKWATER - SMOOTH FINISH)
- ⑨ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0535 ZEN RETREAT - SMOOTH FINISH)
- ⑩ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0534 SUBTLE SHADOW - SMOOTH FINISH)
- ⑪ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0533 TECHILE - SMOOTH FINISH)

MATERIAL LEGEND

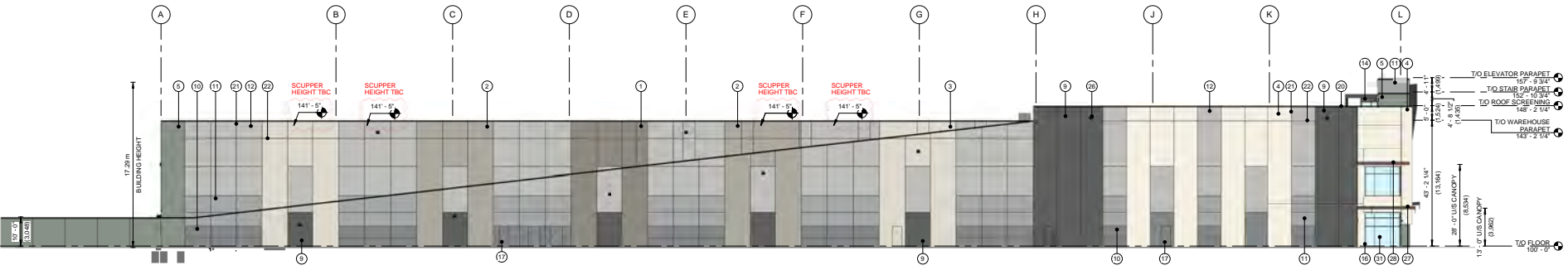
- ⑫ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0532 RAND MOON - SMOOTH FINISH)
- ⑬ PRE-FINISHED ALUMINUM PANELBOARD (COLOUR - ULTRA WHITE)
- ⑭ PRE-FINISHED METAL SPANDEL PANEL (COLOUR - BLACK)
- ⑮ LONGBOARD 6" LINK & LOCK FINS (FINISH - LIGHT NATIONAL WALNUT)
- ⑯ PRE-FINISHED ALUMINUM WINDOW/DOOR FRAME (BLACK ANNOXIDIZED ALUMINUM)
- ⑰ PRIMED AND PAINTED INSULATED METAL-FRAMED DOOR (COLOUR TO MATCH WALL)
- ⑱ PRE-FINISHED INSULATED METAL OVERHEAD DOOR (COLOUR - WHITE)
- ⑲ PRE-FINISHED INSULATED METAL DOCK DOOR (COLOUR - WHITE)
- ⑳ PRE-FINISHED METAL PARAPET FLASHING (COLOUR - BLACK)
- ㉑ PRECAST CONCRETE PANEL JOINT
- ㉒ PRECAST CONCRETE REVEAL

MATERIAL LEGEND

- ㉓ CONCRETE FILLED BOLLARDS (COLOUR - SAFETY YELLOW)
- ㉔ PRIMED AND PAINTED METAL GUARDRAIL (COLOUR - GREY)
- ㉕ PRIMED AND PAINTED METAL STAIRS (COLOUR - BLACK)
- ㉖ WALL MOUNTED EXTERIOR LIGHTS (SEE ELECTRICAL)
- ㉗ METAL CANOPY (FINISH - LONGBOARD LIGHT NATIONAL WALNUT)(BY SUPPLIER)
- ㉘ METAL CANOPY W/ LOUVERS (FINISH - LONGBOARD LIGHT NATIONAL WALNUT)(BY SUPPLIER)
- ㉙ EXTERIOR CONCRETE RAMP
- ㉚ SNOW CHUTE - PAINTED PRECAST CONCRETE
- ㉛ PRE-FINISHED ALUMINUM WINDOW
- ㉜ PRE-FINISHED ALUMINUM PANELBOARD (COLOUR - CHARCOAL)



1 East Elevation (192 St.)
A204 1:200



2 West Elevation (190 St.)
A204 1:200



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CONCRETE CONNECTION
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190th Street Heppell Property
Office Warehouse & CRU's
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Surrey, British Columbia

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1	2023-05-20	ISSUED FOR DEVELOPMENT PERMIT
2	2023-05-20	ISSUED FOR PERROW
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6	2023-02-06	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 821028
Date: 2023-02-06 5:29:39 PM
Drawn by: AQ, KL, LH
Checked by: DE, LB, RO, OB
Sheet Name:

Elevations - Building 2

Sheet No:
A303

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MATERIAL LEGEND

- 1 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0575 GREYSTROKE - SMOOTH FINISH)
- 2 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0574 SHARK FIN - SMOOTH FINISH)
- 3 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0572 POWER LUNCH - SMOOTH FINISH)
- 4 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0419 ONION SKIN - SMOOTH FINISH)
- 5 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0442 DOWAGER - SMOOTH FINISH)
- 6 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0441 SLATE STONE - SMOOTH FINISH)
- 7 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0514 THUNDERSTORM - SMOOTH FINISH)
- 8 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0513 BACKWATER - SMOOTH FINISH)
- 9 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0535 ZEN RETREAT - SMOOTH FINISH)
- 10 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0534 SUBTLE SHADOW - SMOOTH FINISH)
- 11 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0533 TECHILE - SMOOTH FINISH)

MATERIAL LEGEND

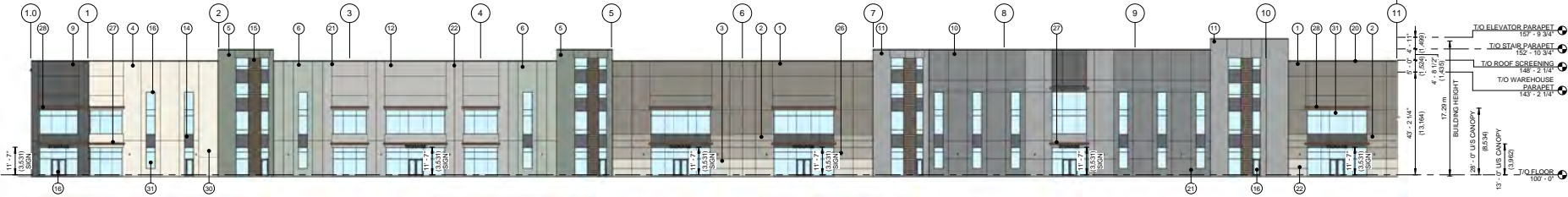
- 12 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0532 RAND MOON - SMOOTH FINISH)
- 13 PRE-FINISHED ALUMINUM PANELBOARD (COLOUR - ULTRA WHITE)
- 14 PRE-FINISHED METAL SPANDREL PANEL (COLOUR - BLACK)
- 15 LONGBOARD 6" LINK & LOCK FINS (FINISH - LIGHT NATIONAL WALNUT)
- 16 PRE-FINISHED ALUMINUM WINDOW/DOOR FRAME (BLACK ANODIZED ALUMINUM)
- 17 PRIMED AND PAINTED INSULATED METAL-FRAMED DOOR (COLOUR TO MATCH WALL)
- 18 PRE-FINISHED INSULATED METAL OVERHEAD DOOR (COLOUR - WHITE)
- 19 PRE-FINISHED INSULATED METAL DOCK DOOR (COLOUR - WHITE)
- 20 PRE-FINISHED METAL PARAPET FLASHING (COLOUR - BLACK)
- 21 PRECAST CONCRETE PANEL JOINT
- 22 PRECAST CONCRETE REVEAL

MATERIAL LEGEND

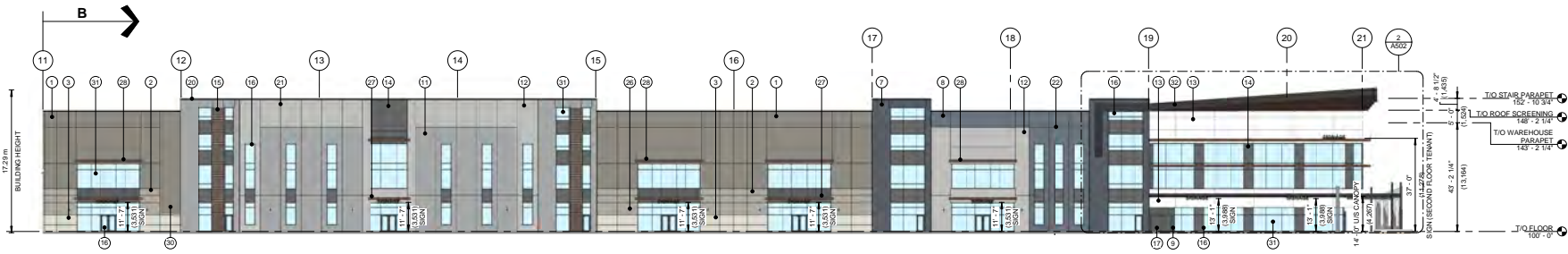
- 23 CONCRETE FILLED BOLLARDS (COLOUR - SAFETY YELLOW)
- 24 PRIMED AND PAINTED METAL GUARDRAIL (COLOUR - GREY)
- 25 PRIMED AND PAINTED METAL STAIRS (COLOUR - BLACK)
- 26 WALL MOUNTED EXTERIOR LIGHTS (SEE ELECTRICAL)
- 27 METAL CANOPY (FINISH - LONGBOARD LIGHT NATIONAL WALNUT) (BY SUPPLIER)
- 28 METAL CANOPY W/ LOUVERS (FINISH - LONGBOARD LIGHT NATIONAL WALNUT) (BY SUPPLIER)
- 29 EXTERIOR CONCRETE RAMP
- 30 SNOW CHUTE - PAINTED PRECAST CONCRETE
- 31 PRE-FINISHED ALUMINUM WINDOW
- 32 PRE-FINISHED ALUMINUM PANELBOARD (COLOUR - CHARCOAL)



1 South Elevation (28 Ave.)
A204 1:450



2 South Elevation A (28 Ave.)
A204 1:250



3 South Elevation B (28 Ave.)
A204 1:250

NO.	DATE	DESCRIPTION
1	2022-05-20	ISSUED FOR DEVELOPMENT PERMIT
2	2022-11-20	ISSUED FOR REVIEW
3	2022-12-02	REQUIRED FOR DEVELOPMENT PERMIT
4	2023-02-06	REQUIRED FOR DEVELOPMENT PERMIT

Project No: 821028
Date: 2023-02-06
5:29:46 PM
Drawn by: AQ, KL, LH
Checked by: DE, LB, RO, OB
Sheet Name:

Elevations -
Building 2

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MATERIAL LEGEND

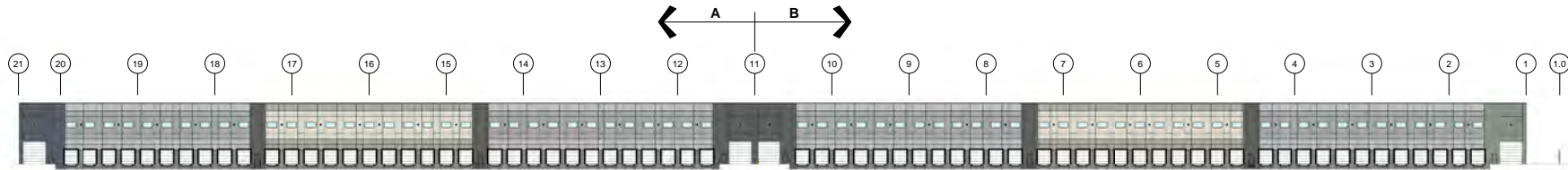
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- ② PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0574 SHARK FIN - SMOOTH FINISH)
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- ⑪ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0533 TECHILE - SMOOTH FINISH)

MATERIAL LEGEND

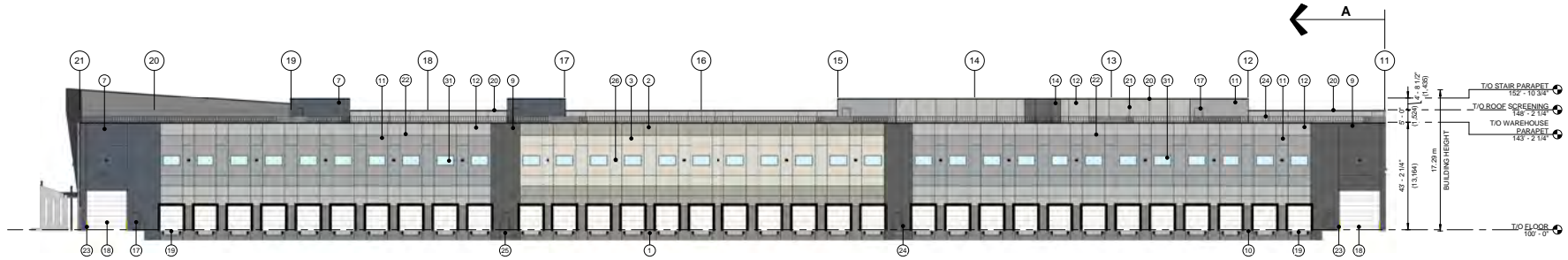
- ⑫ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0532 RAND MOON - SMOOTH FINISH)
- ⑬ PRE-FINISHED ALUMINUM PANELBOARD (COLOUR - ULTRA WHITE)
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- ⑳ PRE-FINISHED METAL PARAPET FLASHING (COLOUR - BLACK)
- ㉑ PRECAST CONCRETE PANEL JOINT
- ㉒ PRECAST CONCRETE REVEAL

MATERIAL LEGEND

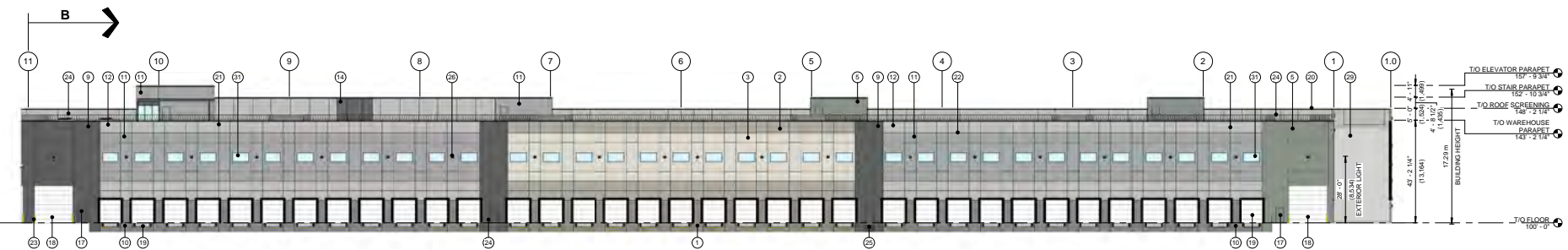
- ㉓ CONCRETE FILLED BOLLARDS (COLOUR - SAFETY YELLOW)
- ㉔ PRIMED AND PAINTED METAL GUARDRAIL (COLOUR - GREY)
- ㉕ PRIMED AND PAINTED METAL STAIRS (COLOUR - BLACK)
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- ㉛ PRE-FINISHED ALUMINUM WINDOW
- ㉜ PRE-FINISHED ALUMINUM PANELBOARD (COLOUR - CHARCOAL)



1 North Elevation
A304 1:450



2 North Elevation A
A304 1:250



3 North Elevation B
A304 1:250

NO.	DATE	DESCRIPTION
1	2022-05-20	ISSUED FOR DEVELOPMENT PERMIT
2	2022-11-20	ISSUED FOR REVIEW
3	2022-12-02	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2023-02-06	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 821028
Date: 2023-02-06
5:30:25 PM
Drawn by: AQ, KL, LH
Checked by: DE, LB, RO, OB
Sheet Name:

Elevations -
Building 2

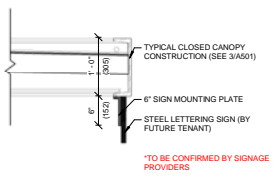
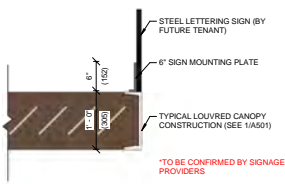
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NO.	DATE	DESCRIPTION
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 Date: 2023-02-07
 8:50:49 AM
 Drawn by: AQ, LH
 Checked by: DE, LB, RO, OB
 Sheet Name:

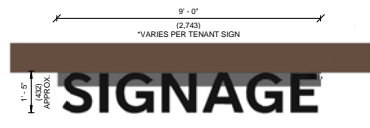
Typical Canopy
 Details

Sheet No:
A501



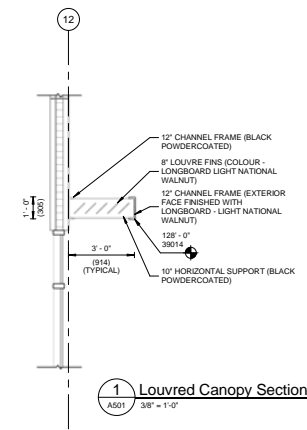
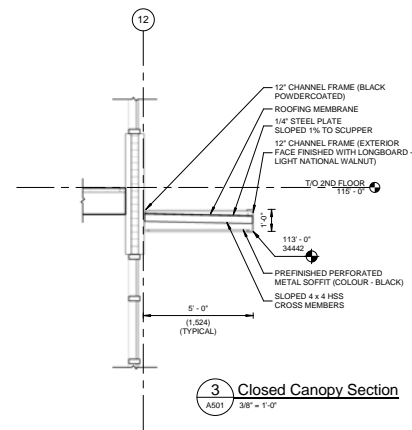
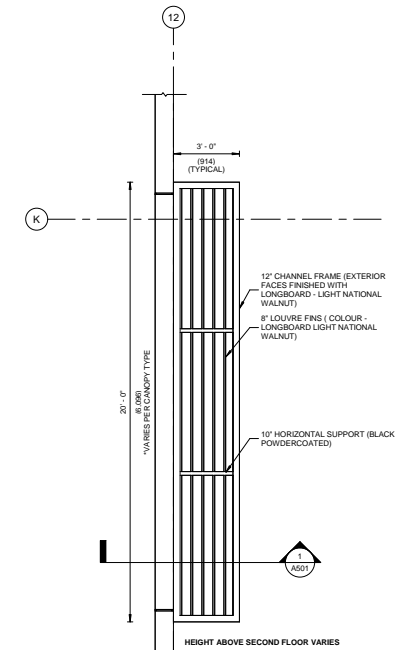
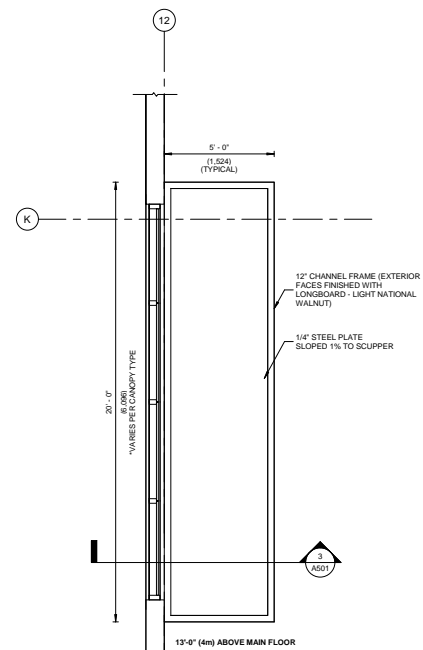
FUTURE PROPOSED TENANT SIGNAGE
 - STEEL LETTERING
 - MOUNTED UNDERSIDE OF CANOPY
 - COLOURS AND FINISHES TO BE APPROVED BY TENANT
**TO BE CONFIRMED BY SIGNAGE PROVIDERS*

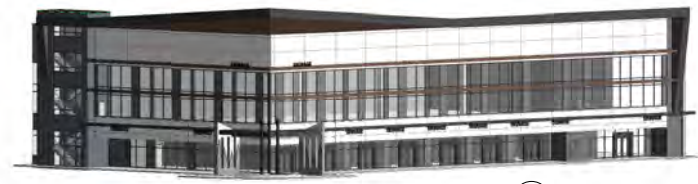
7 Second Floor Canopy Sign
 A501 1/2" = 1'-0"



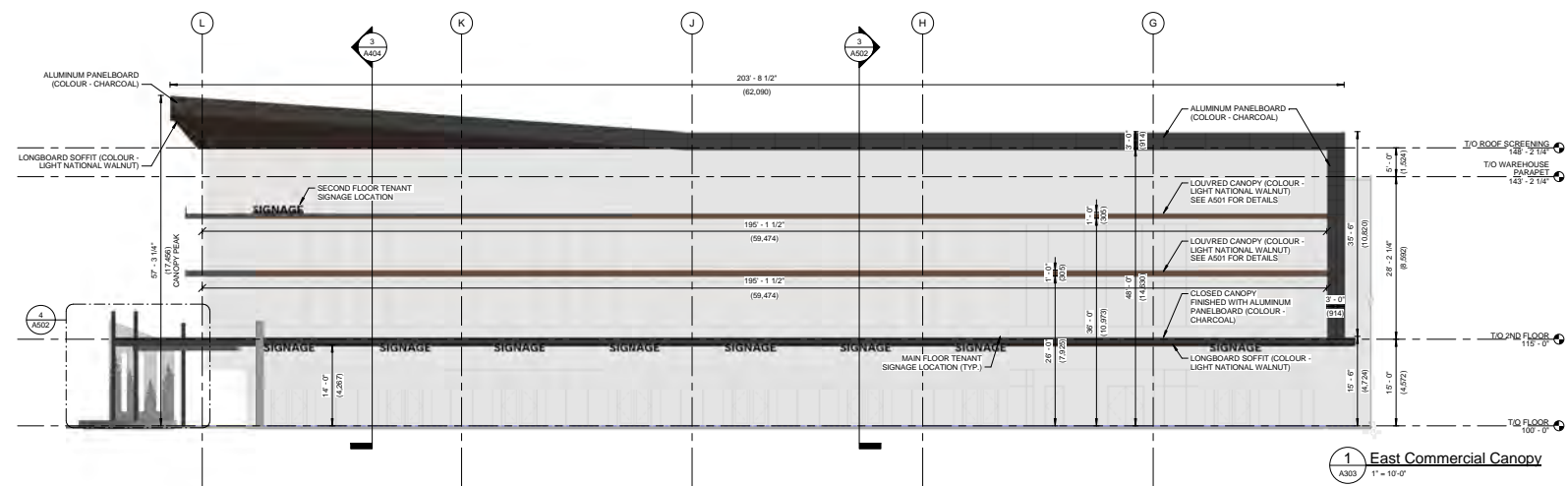
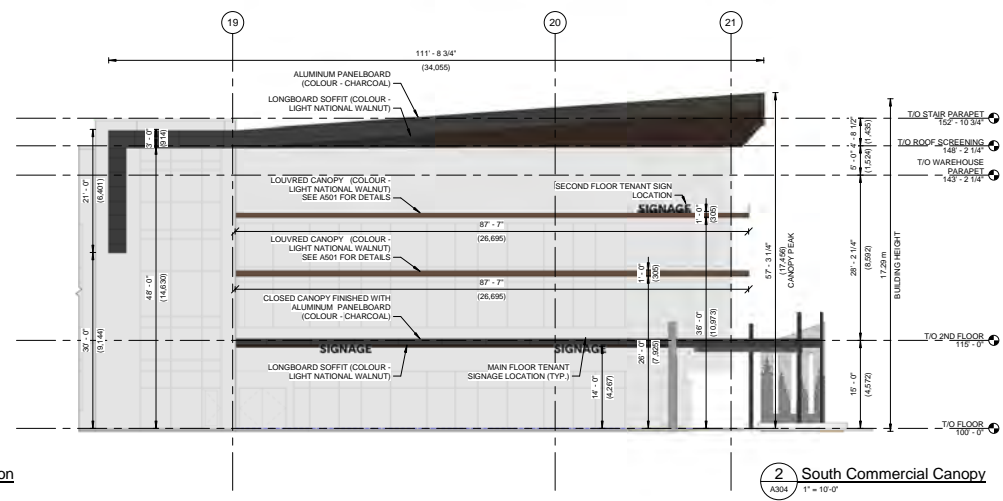
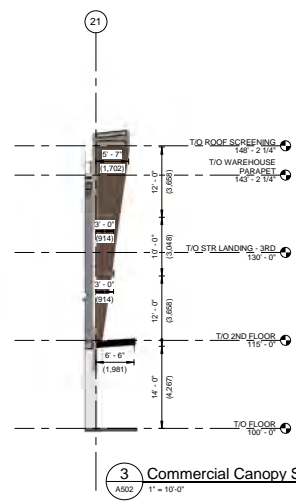
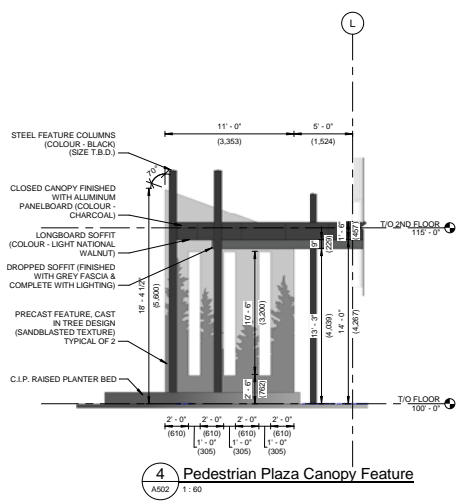
FUTURE PROPOSED TENANT SIGNAGE
 - STEEL LETTERING
 - MOUNTED UNDERSIDE OF CANOPY
 - COLOURS AND FINISHES TO BE APPROVED BY TENANT
**TO BE CONFIRMED BY SIGNAGE PROVIDERS*

5 First Floor Canopy Sign
 A501 1/2" = 1'-0"





5 Commercial Node
 A502



190th Street Heppell Property
 Office Warehouse & CRU's
 2898 190 Street and 2981 & 2825 192 Street
 Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2023-02-06	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 821028
 Date: 2023-02-06
 5:30:40 PM
 Drawn by: AQ, KL, LH
 Checked by: DE, LB, RO, OB
 Sheet Name:

Canopy Details

Sheet No:
A502



Stamp:



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THE PROXY COMPANY CONNECTION
1403 885-5325 P.O. BOX 1690
BLACKFALDS, AB, T0M 0J0

**190th Street Heppell Property
Office Warehouse & CRU's**
2898 190 Street and 2981 & 2825 192 Street
Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2023-05-01	ISSUED FOR DEVELOPMENT PERMIT
2	2023-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
3	2023-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2023-08-06	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: B21028
Date: 2023-02-07
8:50:50 AM
Drawn by: AQ, LH
Checked by: DE, LB, RO, OB
Sheet Name:

Exterior Render
- Building 1

Sheet No:
A801



Stamp:



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design studio ltd.



THE PROJECT: CONCRETE CONNECTION
14031 885-5125 P.O. BOX 1690
BLACKFALDS, AB, T0M 0J0

190th Street Heppell Property
Office Warehouse & CRU's
2898 190 Street and 2981 & 2825 192 Street
Surrey, British Columbia

NO.	REVISIONS	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-05-20
2	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
3	RESUBMITTED FOR DEVELOPMENT PERMIT	2023-07-07
4	RESUBMITTED FOR DEVELOPMENT PERMIT	2023-08-06

Project No: B21028
Date: 2023-02-06
5:30:40 PM
Drawn by: AQ, KL, LH
Checked by: DE, LB, RO, OB
Sheet Name:

Exterior Render
- Building 2

Sheet No:
A802



2 overall landscape plan
1:800



1 context plan
1:5000

soil preparation and placement notes

- All growing medium placed on project to meet or exceed BCNFA and BC Landscape Standards latest edition.
- Submit site analysis by an approved independent soil testing laboratory for each type of growing medium being used on the project PRIOR to placement for review and approval. Clearly identify source and type for each. Resubmit as required until growing medium is approved. Provide one composite sample of each type of proposed growing medium for each different application within the project. Minimum 1 liter physical sample.
- Submittals shall be made at least seven (7) days before.
- Contractor shall not move or work growing medium or additives when they are excessively wet, extremely dry, frozen or in any manner which is adversely affect growing structure. Growing medium whose structure has been destroyed by handling under these conditions will be rejected. Growing medium, except structure to required finish grades and minimum depths as detailed, unless otherwise shown.
- Structural soil under parking shall be max. 300mm (12") thick compacted to 90% MFC. Supplied by tiered. Soils to a depth of 1.0m (3'3") soil area dimensions to provide 20m² per each tree.

irrigation notes

- All "soft" landscape areas are to be irrigated with high efficiency design/build irrigation system to IMBC Standards, complete with Rain and Wind Sensors.
- The irrigation system design and installation should be in accordance with the Irrigation Industry of BC Standards and Guidelines and City of Surrey Bylaw.
- System design and installation to take into account/vegetation differences, sun orientation and other factors affecting zoning and operation of the system to minimized evapotranspiration and wind loss.
- System design shall provide for uniform complete "head" coverage of all trees and planted areas.
- Contractor shall be responsible to provide SHOP DRAWINGS a minimum of 3 weeks prior to installation of any irrigation for review and approval.
- Should the contractor proceed without approval, any additional modifications to the irrigation systems, as directed by the Landscape Architect shall be at the contractor's cost.
- PRIOR to Substantial Performance, contractor shall provide a maintenance DATA/AND OPERATION instruction manual containing operational information for all operating components, cleaning and lubrication schedules, overhaul/adjustment schedule.
- Solenoid valves shall be first quality, compatible with the controller selected.
- Valve boxes shall be reinforced plastic boxes manufactured specifically for landscape irrigation, complete with captive lock bolt cover, sized to suit valves and other components with adequate room for operation and maintenance.

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notes

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- Do not scale drawings.
- Refer to Civil drawings for all grading information.
- The assessment of the trees presented in this plan have been made using accepted arboricultural techniques. These include a visual examination of each tree for structural defects, scars, external indications of decay such as fungal fruiting bodies, evidence of insect attack, discoloration, foliage, the condition of any visible root structures, the degree and direction of lean if any, the general condition of the tree(s) in the surrounding site, and the proximity of property and people. Except where specifically noted, none of the trees examined were diseased, correct, pruned, or cleaned, and detailed root crown examinations involving excavation were not undertaken.
- While reasonable efforts have been made to determine that the trees recommended for retention are healthy, no guarantees are offered, or implied, that these trees, or parts of them, will remain standing and alive. It is responsible to predict with absolute certainty the behaviour of any single tree or group of trees, or their component parts in all future circumstances. Inevitably any standing tree will pose some risk. In accordance with standard practice, the assessment presented in this plan is valid at the time it was undertaken. B18 Studio accepts no responsibility for subsequent damage or deterioration.
- The findings and opinions expressed in this plan are representative of the conditions found on the day of the review (2022-04-08) only. Any trees retained should be reviewed on a regular basis. The root crown, and overall structure, of all of the trees to be retained must be reviewed immediately following land clearing, grade disturbance, significant weather events and prior to site usage changes.

EIGHT ONE EIGHT STUDIO
PLANNING + DESIGN COLLABORATIVE

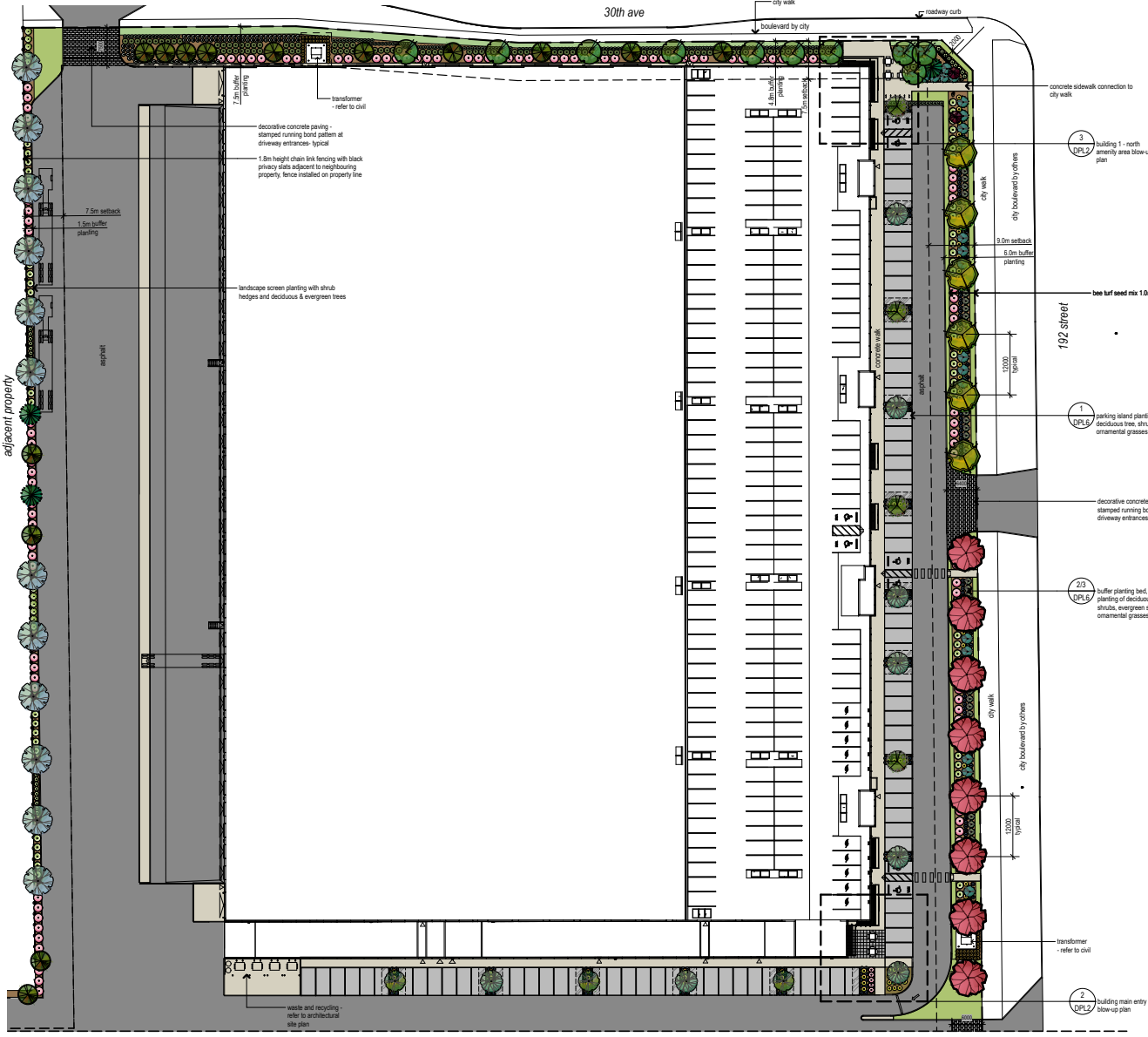
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2	review site plan	2022-09-29	tw	ab
1	review site plan	2022-06-29	ab	ab
no	revision	date	by	approved
6	issue for dp- re-submission 2	2022-02-02		
5	issue for dp- re-submission 1	2022-12-06		
4	issue for dp- re-submission 1	2022-11-24		
3	issue for client review	2022-10-03		
2	issue for dp	2022-09-29		
1	issue for client review	2022-04-29		

project
190th St. Heppell Project
2898 - 190 Street,
2825/2981 - 192 Street,
Surrey BC

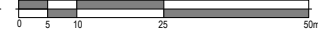
drawing
overall landscape plan

drawn	checked	date	scale	approved	project number
ab	ab	22.04.22	as noted	ab	1210.12

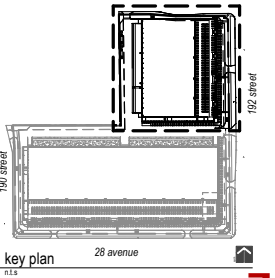
DPL1



1 landscape plan - north
1:400



- legend**
- bee turf seed mix - West Coast Seeds on 100mm depth topsoil
 - shrub bed, 100mm chip mulch topping
 - wildflower/polestar seed mix - West Coast Seeds on 100mm depth topsoil
 - decoactive granular, 3/4" diameter
 - feature paving at entry: 610mm x 610mm x 50mm tall - pebble hydropressed pavers, pattern random.
 - heavy duty asphalt - refer to civil drawings
 - light duty asphalt parking aisle - refer to civil drawings
 - concrete paving
 - stamped concrete running bond pattern
 - partially buried logs to encourage habitat and diversity
 - landscape boulders to encourage habitat and diversity

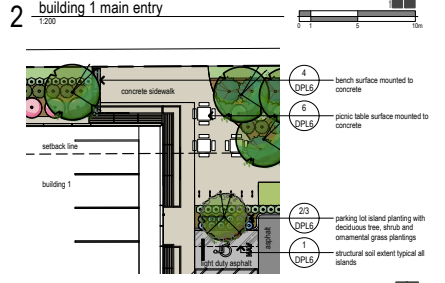
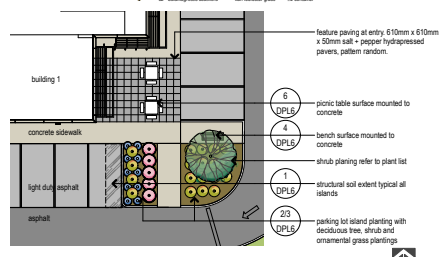


- plant schedule - north**
- trees**
- | tree | species | quantity | notes |
|------|--|--|-------|
| 1 | Acer glaberrimum - Common Maple | 60mm caliper min. balled + burlapped | |
| 2 | Acer japonicum - Pacific Sumner | 40mm caliper min. balled + burlapped | |
| 3 | Acer of freeland 'Emerald' - Freeman Maple | 60mm caliper min. balled + burlapped, 2m to 4m | |
| 4 | Fagus sylvatica 'Dragonheart' - Fencing Oak | 60mm caliper min. balled + burlapped, 2.0m to 4.0m | |
| 5 | Malva x subsp. - Flowering Malva | 50mm caliper min. balled + burlapped | |
| 6 | Parrotia persica - Persian Parrotia | 50mm caliper min. balled + burlapped | |
| 7 | Parrotia persica 'Triple Ruby Tree' - Upright Persian Parrotia | 60mm caliper min. balled + burlapped | |
| 8 | Flax lily - Jack Pine | 3.5m maximum ht. balled + burlapped | |
| 9 | Quercus palustris - Pin Oak | 60mm caliper min. balled + burlapped | |
| 10 | Thuja plicata - Western Red Cedar | 3.5m maximum ht. balled + burlapped | |
- shrubs**
- | shrub | species | quantity | notes |
|-------|---|--------------|-------------------|
| 11 | Geandrea chinensis - Shrubmint | 40 pot | 300mm min. height |
| 12 | Coleman's daisy - Beeshrub Cotoneaster | 40 container | 200mm min. height |
| 13 | Euonymus alatus 'Compactus' - Winged Burning Bush | 40 pot | 600mm min. height |
| 14 | Philadelphus x 'Snowfall' - variable rootstock | 40 container | 600mm min. height |
| 15 | Flora alba 'Mollis' - Pink Veil Shrub | 40 container | 600mm min. height |
| 16 | Flora purpurea 'Prunifera' - Prunella Shrub | 40 container | 600mm min. height |
| 17 | Flora magis - Dwarf Hugel Tree | 40 container | 600mm min. height |
| 18 | Sarcococca confusa - Sweet Box | 40 pot | 200mm min. height |
| 19 | Spiraea 'Goldmound' - Goldmound Spiraea | 4 pot | 400mm min. height |
| 20 | Neocodon cuneatus - Evergreen/Hybrid Holly | 40 pot | 600mm min. height |
- perennials**
- | perennial | species | quantity | notes |
|-----------|---|--------------|-------|
| 21 | Hydrangea macrophylla - Blue Day Garden | 40 container | |
| 22 | Chimonanthes axillaris - Leaf-Tiered Primrose | 40 container | |

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for review and coordination only

EIGHT ONE EIGHT STUDIO
PLANNING + DESIGN COLLABORATIVE

no.	description	date	by	approved
1	issue for client review	2022-05-29	ab	
2	issue for client review	2022-05-29	ab	
3	issue for client review	2022-05-29	ab	
4	issue for client review	2022-05-29	ab	
5	issue for dp- re-submission 1	2022-11-24	ab	
6	issue for dp- re-submission 2	2023-02-02	ab	
7	issue for dp- re-submission 1	2022-12-06	ab	
8	issue for dp- re-submission 1	2022-11-24	ab	
9	issue for client review	2022-10-03	ab	
10	issue for client review	2022-05-29	ab	
11	issue for client review	2022-05-29	ab	



3 building 1 - north amenity area
1:200

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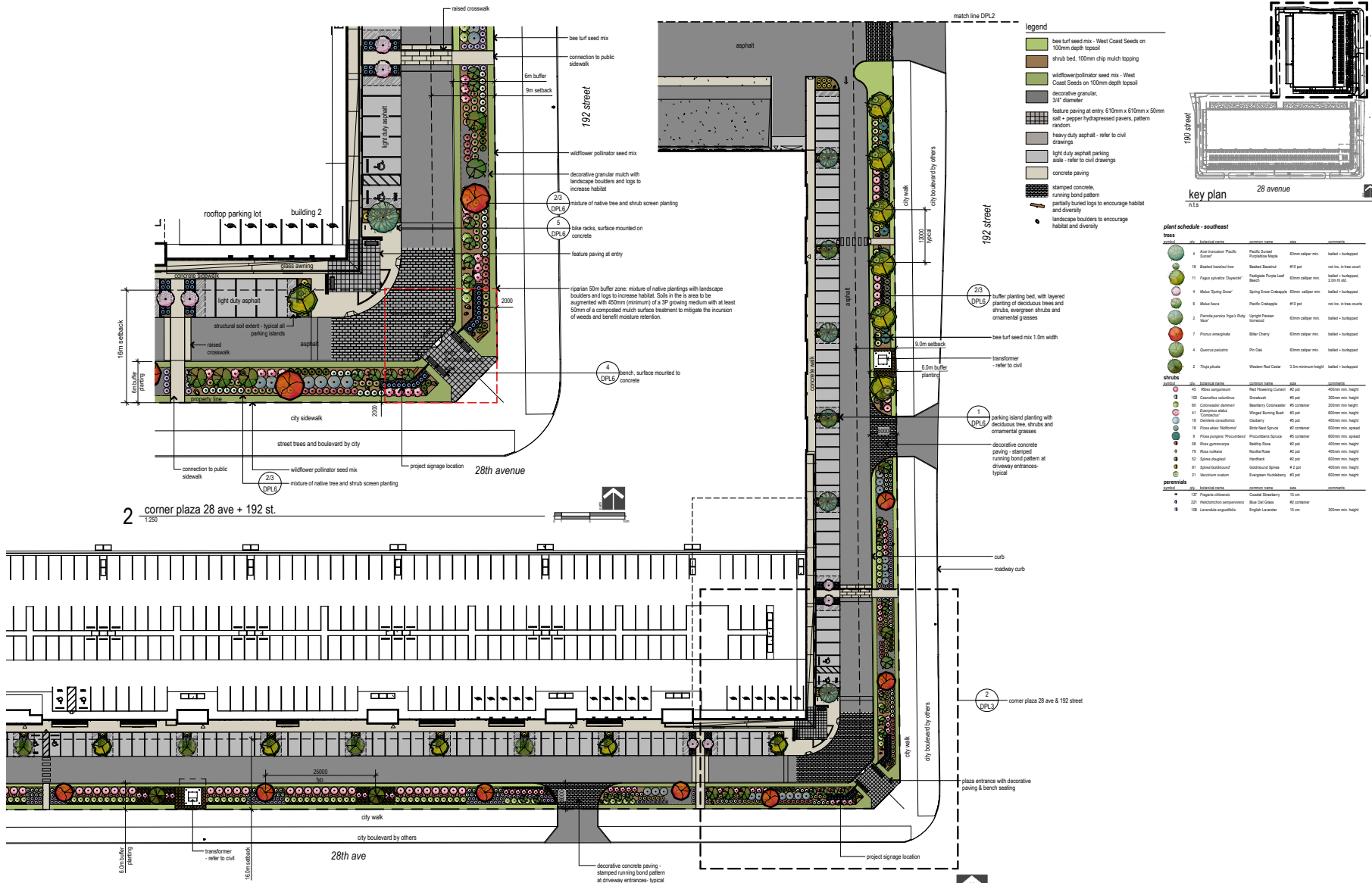
EIGHT ONE EIGHT STUDIO
PLANNING + DESIGN COLLABORATIVE

no.	description	date	by	approved
1	issue for client review	2022-05-29	ab	
2	issue for client review	2022-05-29	ab	
3	issue for client review	2022-05-29	ab	
4	issue for client review	2022-05-29	ab	
5	issue for dp- re-submission 1	2022-11-24	ab	
6	issue for dp- re-submission 2	2023-02-02	ab	
7	issue for dp- re-submission 1	2022-12-06	ab	
8	issue for dp- re-submission 1	2022-11-24	ab	
9	issue for client review	2022-10-03	ab	
10	issue for client review	2022-05-29	ab	
11	issue for client review	2022-05-29	ab	

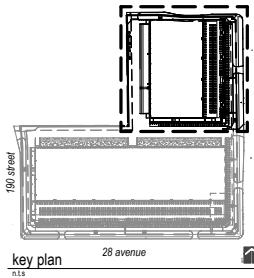
project
190th St. Heppell Project
2898 - 190 Street,
2825/2981 - 192 Street,
Surrey BC

drawing
north - overall landscape plan

drawn	checked	approved
ab	ab	ab
date	project number	
22.04.22	1210.12	
scale	as noted	
		DPL2



- legend**
- bee turf seed mix - West Coast Seeds on 100mm depth topsoil
 - shrub bed, 100mm chip mulch topping
 - wildflower/pollinator seed mix - West Coast Seeds on 100mm depth topsoil
 - decorative granular
 - feature paving at entry 610mm x 610mm x 50mm salt - pepper hydropressed pavers, pattern random
 - heavy duty asphalt - refer to civil drawings
 - light duty asphalt parking aisle - refer to civil drawings
 - concrete paving
 - stamped concrete, running bond pattern
 - partially buried logs to encourage habitat and diversity
 - landscape boulders to encourage habitat and diversity



plant schedule - southeast

trees	no.	botanical name	common name	size	comments
1	Asian Weeping Pear	Pyrus pyramidalis	Asian weeping pear	4.5m caliper min.	labelled + bushproof
2	Shaded Weeping Tree	Salix babingtonii	Shaded weeping tree	#10 pot	ref. to 3 trees east
3	Flora aphylla 'Doronic'	Flora aphylla 'Doronic'	Flora aphylla	60m caliper min.	labelled + bushproof, 2.0m ht. spec.
4	Waka Spring Snow	Picea Spross Caeleste	Waka Spring Snow	60m caliper min.	labelled + bushproof
5	Waka Taka	Picea Caeleste	Waka Taka	#10 pot	ref. to 3 trees south
6	Parrotia persica 'Toga's Pink'	Parrotia persica 'Toga's Pink'	Parrotia persica	60m caliper min.	labelled + bushproof
7	Pinus sargentii	Birch Cherry	Pinus sargentii	60m caliper min.	labelled + bushproof
8	Quercus palustris	Pin Oak	Quercus palustris	60m caliper min.	labelled + bushproof
9	Thuja plicata	Western Red Cedar	Thuja plicata	3.0m minimum height	labelled + bushproof

shrubs	no.	botanical name	common name	size	comments
10	Ribes sanguineum	Red Flowering Currant	Ribes sanguineum	#2 pot	600mm min. height
11	Camellia sasanqua	Sasanqua	Camellia sasanqua	#2 pot	200mm min. height
12	Chimonanthes	Beauty's Companion	Chimonanthes	#2 container	200mm min. height
13	Camellia japonica	Winged Burning Bush	Camellia japonica	#2 pot	600mm min. height
14	Camellia japonica	Osakura	Camellia japonica	#2 pot	600mm min. height
15	Prunella alba 'Holland'	Bark Near Spruce	Prunella alba	#2 container	600mm min. height
16	Prunella japonica 'Procumbens'	Procumbens Spruce	Prunella japonica	#2 container	600mm min. height
17	Rosa rugosa	Baldy Rose	Rosa rugosa	#2 pot	600mm min. height
18	Rosa rugosa	Hedge Rose	Rosa rugosa	#2 pot	600mm min. height
19	Rosa rugosa	Hedge Rose	Rosa rugosa	#2 pot	600mm min. height
20	Rosa rugosa	Hedge Rose	Rosa rugosa	#2 pot	600mm min. height
21	Yucca filamentosa	Common Yucca	Yucca filamentosa	#2 pot	600mm min. height

perennials	no.	botanical name	common name	size	comments
1	Phlox pilularis	Coastal Saxifrage	Phlox pilularis	15 cm	
2	Hebe x exoniensis	Sea-Dart Creeper	Hebe x exoniensis	#2 container	
3	Laurencia angustifolia	English Lavender	Laurencia angustifolia	15 cm	200mm min. height

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EIGHT ONE EIGHT STUDIO
PLANNING + DESIGN COLLABORATIVE

no.	description	date	by	approved
6	issue for dp - resubmission 2	2022-12-02	hsl	hsl
5	issue for dp - re-submission 1	2022-12-06	hsl	hsl
4	issue for dp - re-submission 1	2022-11-24	hsl	hsl
3	issue for client review	2022-10-03	hsl	hsl
2	issue for dp	2022-05-24	hsl	hsl
1	issue for client review	2022-04-29	hsl	hsl

no.	description	date	by	approved
6	issue for dp - resubmission 2	2022-02-02	hsl	hsl
5	issue for dp - re-submission 1	2022-11-24	hsl	hsl
4	issue for client review	2022-10-03	hsl	hsl
3	issue for dp	2022-05-24	hsl	hsl
2	issue for client review	2022-04-29	hsl	hsl

project
190th St. Heppell Project
2898 - 190 Street,
2825-2981 - 192 Street,
Surrey BC

drawing
midwest - overall landscape plan

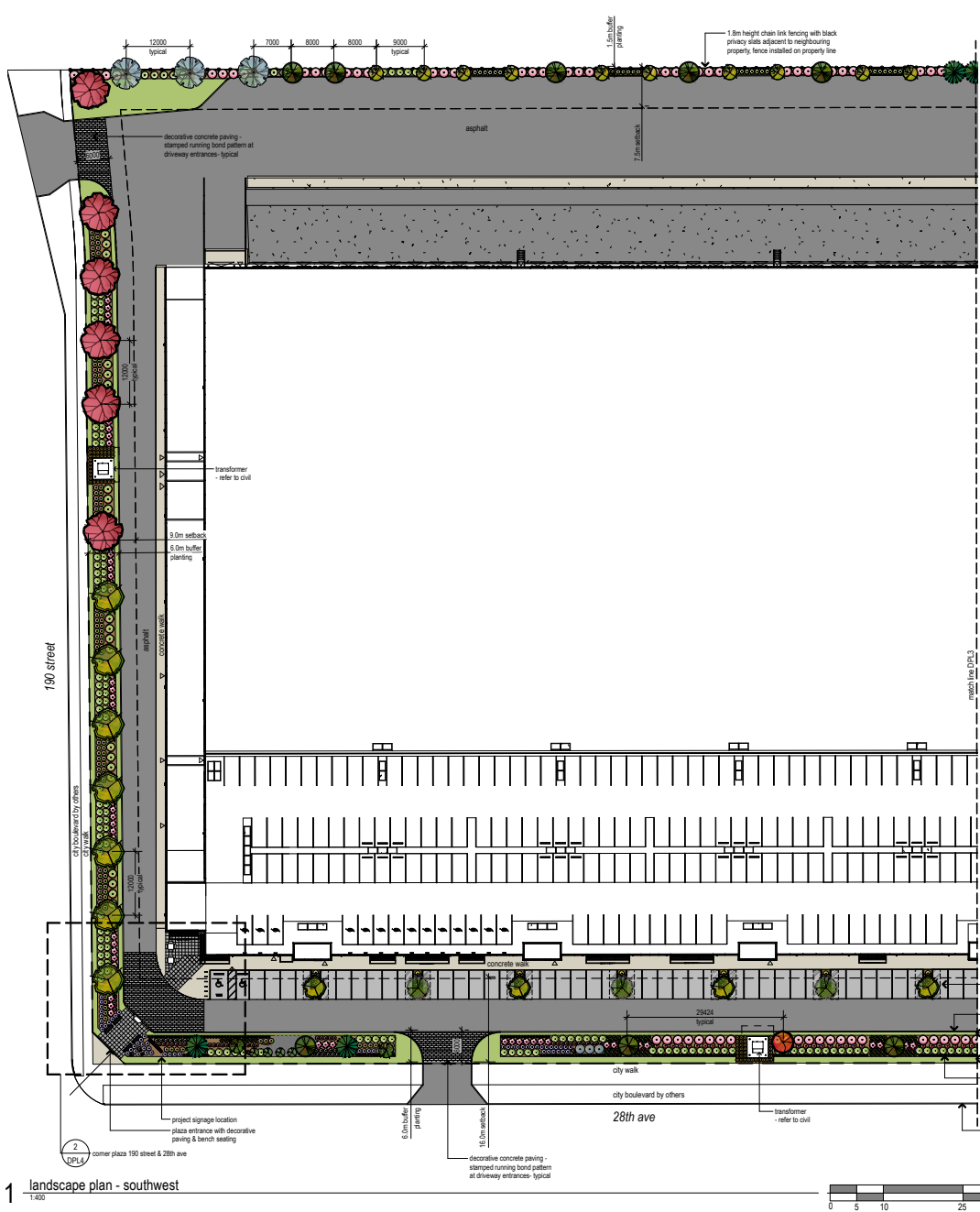
drawn	checked	approved
ab	ab	ab

project number: 1210.12
date: 22.04.22
scale: as noted

DPL3

1 landscape plan - southeast
1:500





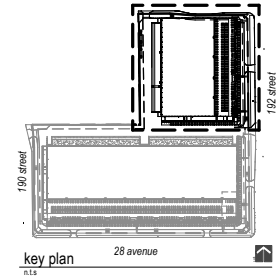
- legend**
- bee turf seed mix - West Coast Seeds on 100mm depth topsoil
 - shrub bed, 100mm chip mulch topping
 - wildflower/pollinator seed mix - West Coast Seeds on 100mm depth topsoil
 - decorative granular, 3/4" diameter
 - feature paving at entry 610mm x 610mm x 50mm salt + pepper hydrogressed pavers, pattern random.
 - heavy duty asphalt - refer to civil drawings
 - light duty asphalt parking aisle - refer to civil drawings
 - concrete paving
 - stamped concrete running bond pattern
 - partially buried logs to encourage habitat and diversity
 - landscape boulders to encourage habitat and diversity

plant schedule - southwest

tree	no.	species	size	quantity	notes
1	6	Asar pedunculata Common dog	60cm caliper min. 1.5m height	1	ball & burlapped
2	3	Asar Friesenii 'Remington' Freeman Shrub	80cm caliper min. 1.5m height	3	ball & burlapped 2m in. in tree count
3	4	Shrubbed hazelnut tree	Shrubbed 40cm x 40cm	#12 pot	in tree count
4	11	Papua sylvatica Diwayana	60cm caliper min. 2.5m in. in	11	ball & burlapped
5	10	Liquidambar styraciflua 'Shawnee' Shrubbed	60cm caliper min. 2.5m in. in	10	ball & burlapped
6	5	Pinus banksiana	3.5m height min.	5	ball & burlapped
7	1	Pinus strobus	60cm caliper min.	1	ball & burlapped
8	3	Quercus pedunculata	60cm caliper min.	3	ball & burlapped
9	6	Thuja plicata	1.5m height min.	6	ball & burlapped

shrub	no.	species	size	quantity	notes
10	40	Ribes sanguineum	80cm caliper	40	400mm min. height
11	10	Ceanothus velutinus	Shrubbed	10	300mm min. height
12	31	Cornus sericea	red color selected	45	400mm min. height + spread
13	100	Calluna vulgaris	Shrubbed	100	200mm min. height
14	40	Comptonia tomentosa	Shrubbed	40	600mm min. height
15	3	Chamaenerion angustifolium	Shrubbed	45	400mm min. height
16	20	Pinus strobus	Shrubbed	45	400mm min. height
17	20	Pinus strobus	Shrubbed	45	400mm min. height
18	20	Pinus strobus	Shrubbed	45	400mm min. height
19	20	Pinus strobus	Shrubbed	45	400mm min. height
20	20	Pinus strobus	Shrubbed	45	400mm min. height
21	20	Pinus strobus	Shrubbed	45	400mm min. height
22	20	Pinus strobus	Shrubbed	45	400mm min. height
23	20	Pinus strobus	Shrubbed	45	400mm min. height
24	20	Pinus strobus	Shrubbed	45	400mm min. height
25	20	Pinus strobus	Shrubbed	45	400mm min. height
26	20	Pinus strobus	Shrubbed	45	400mm min. height
27	20	Pinus strobus	Shrubbed	45	400mm min. height
28	20	Pinus strobus	Shrubbed	45	400mm min. height
29	20	Pinus strobus	Shrubbed	45	400mm min. height
30	20	Pinus strobus	Shrubbed	45	400mm min. height

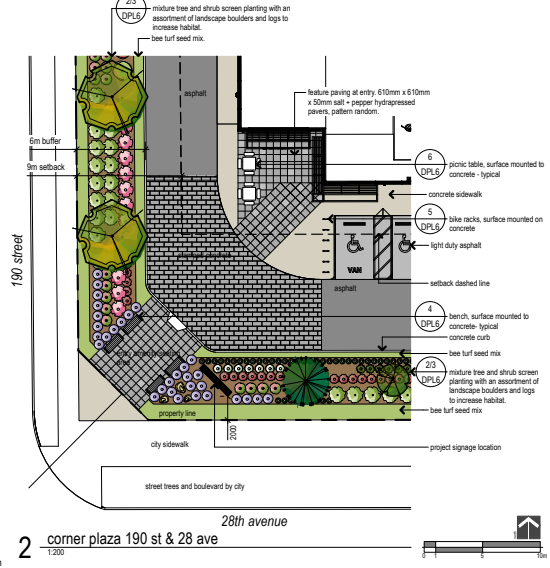
perennial	no.	species	size	quantity	notes
31	10	Limonium carolinianum	Shrubbed	10	300mm min. height
32	100	Phlox subulata	Shrubbed	100	150mm
33	100	Phlox subulata	Shrubbed	100	400mm min. height
34	100	Phlox subulata	Shrubbed	100	400mm min. height
35	100	Phlox subulata	Shrubbed	100	400mm min. height
36	100	Phlox subulata	Shrubbed	100	400mm min. height
37	100	Phlox subulata	Shrubbed	100	400mm min. height
38	100	Phlox subulata	Shrubbed	100	400mm min. height
39	100	Phlox subulata	Shrubbed	100	400mm min. height
40	100	Phlox subulata	Shrubbed	100	400mm min. height



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EIGHT ONE EIGHT STUDIO
PLANNING + DESIGN COLLABORATIVE

no.	description	date	by	approved
1	review base plan	2022-12-06	ab	twf
2	review base plan	2022-12-06	ab	twf
3	review base plan	2022-11-31	ab	twf
4	review base plan	2022-11-31	ab	twf
5	review site plan	2022-10-03	ab	twf
6	review site plan	2022-09-29	ab	twf
7	review site plan	2022-09-29	ab	twf



no.	description	date	by	approved
1	issue for dp- re-submission 2	2023-02-02	ab	twf
2	issue for dp- re-submission 1	2022-12-06	ab	twf
3	issue for dp- re-submission 1	2022-11-24	ab	twf
4	issue for client review	2022-10-03	ab	twf
5	issue for dp	2022-09-29	ab	twf
6	issue for client review	2022-09-29	ab	twf

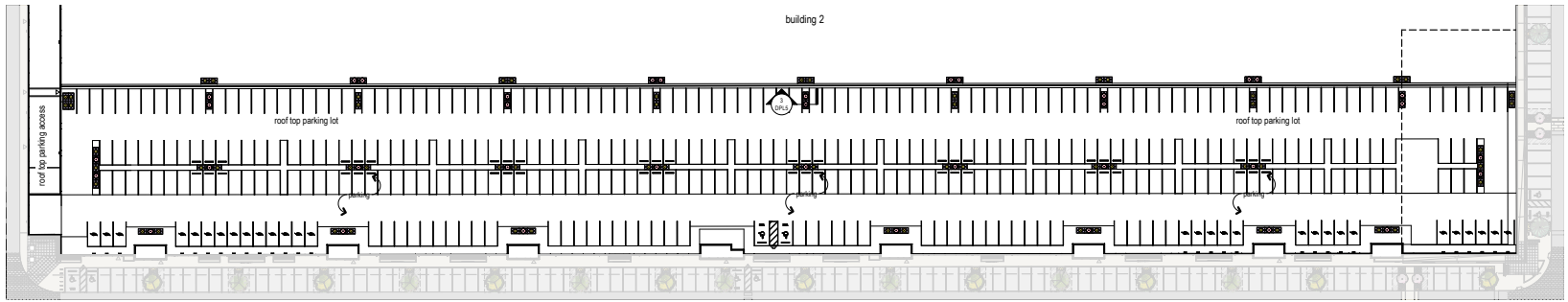
190th St. Heppell Project
2898 - 190 Street,
2825-2981 - 192 Street,
Surrey BC

south - overall landscape plan

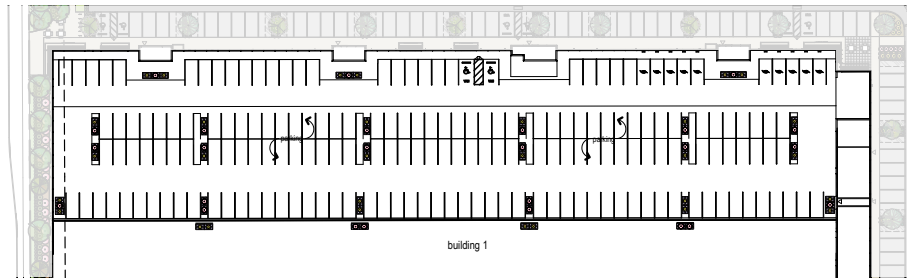
Drawn: ab
Checked: ab
Date: 22.04.22
Scale: as noted

Approved: ab
Project number: 1210.12
Date: 22.04.22
Scale: as noted

DPL4



1 rooftop planting plan - building 2
1:500



2 rooftop planting plan - building 1
1:500



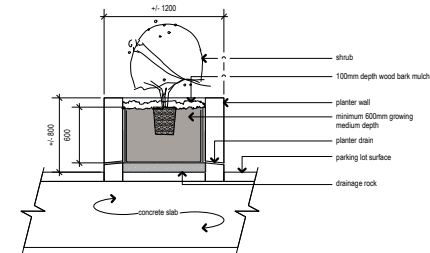
rooftop planting - overall

shrubs

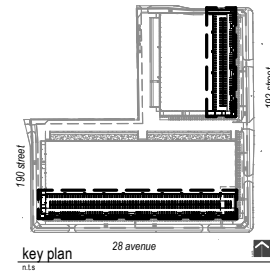
symbol	quantity	botanical name	common name	size	comments	spacing
	48	<i>Euonymus alatus</i> "Compact"	Winged Burning Bush	#3 pot	600mm min. height	+1100
	85	<i>Spirea Goldmound</i>	Goldmound Spirea	#2 pot	400mm min. height	+1675

perennials

symbol	quantity	botanical name	common name	size	comments	spacing
	532	<i>Lavandula angustifolia</i>	English Lavender	15 cm	300mm min. height	+650



3 planter section - typ.
1:25



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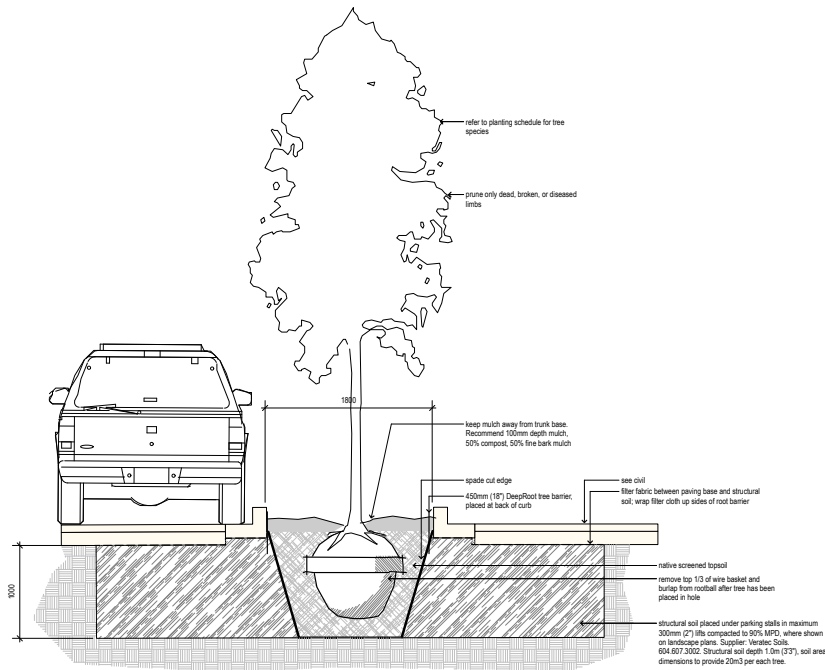
EIGHT ONE EIGHT STUDIO
PLANNING + DESIGN COLLABORATIVE

number	revision	date	by	approved
6	issue for dp- re-submission 2	2023-02-02		
5	issue for dp- re-submission 1	2022-12-06		
4	issue for dp- re-submission 1	2022-11-24		
3	issue for client review	2022-10-03		
2	issue for dp	2022-05-29		
1	issue for client review	2022-04-29		

project
190th St. Heppell Project
2898 - 190 Street,
2825/2981 - 192 Street,
Surrey BC

drawing
rooftop planting plan

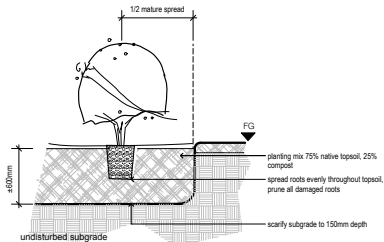
drawn	approved
ab	ab
checked	project number
ab	1210.12
date	drawn
22.04.08	ab
scale	as noted
	DPL5



notes

1. Dig all holes by hand when tree pit is closer than one meter from edge of pit to the staked utility line.
2. All plant material shall meet the horticultural standards and practices of the Canadian Nursery Landscape Association.
3. Sites with heavy clay shall have a larger than normal hole and equal mix of soil from hole, organic matter and sand.
4. Avoid glazing the sides of the hole when digging tree pit. Sides of the hole shall be scarified prior to planting.

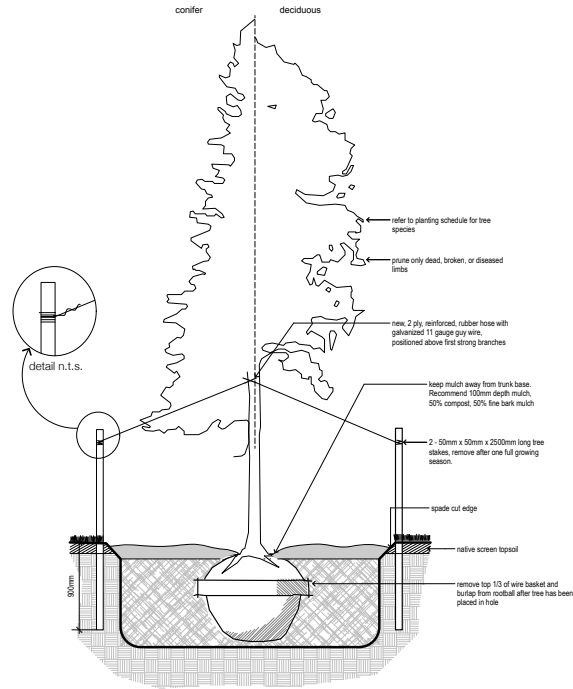
1 structural soil - at grade parking lot, typical
T-25



notes

1. Do not place mulch within 50mm from shrub base.
2. Prune all dead or damaged roots and branches.
3. All plant material shall meet the horticultural standards and practices of the Canadian Nursery Landscape Association.

3 shrub planting, typical
T-25



notes

1. If minimum utility setbacks permit, position tree stakes in direction of prevailing winds.
2. All trees to maintain a minimum clearance from all utilities as set out in the City of Surrey land use bylaws.
3. Dig all holes by hand when tree pit is closer than one meter from edge of pit to the staked utility line.
4. Trees larger than 80mm caliper or 3.0 meters height require 3 tree stakes.
5. All plant material shall meet the horticultural standards and practices of the Canadian Nursery Landscape Association.
6. Sites with heavy clay shall have a larger than normal hole and equal mix of soil from hole, organic matter and sand.
7. Avoid glazing the sides of the hole when digging tree pit. Sides of the hole shall be scarified prior to planting.

2 tree planting, typical (excludes 1.8m wide parking islands)
T-25



model: MBR-2000-PCC Bench
supplier: magin
colour: silver 14
materials: bench ends are made from solid cast aluminum. The seat employs High Density Paper Composite (HDPC). Charcoal fabric.
installation: surface mount as per manufacturer's specification

4 site furnishing - bench
n.t.s.



model: MBR-2000-00011 bike rack
supplier: magin
colour: silver 14
materials: the bike rack frame is made from solid cast aluminum. Tamper resistant fasteners are stainless steel.
installation: surface mount as per manufacturer's specification

5 site furnishing - bicycle rack
n.t.s.



model: MTS-0400-00020 bike rack
supplier: magin
colour: silver 14
materials: The frame is H.S. steel tube and flat bar. Table top and seats are manufactured using recycled plastic slats - Grey color.
installation: surface mount as per manufacturer's specification

6 site furnishing - picnic table
n.t.s.

notes

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EIGHT ONE EIGHT STUDIO
PLANNING + DESIGN COLLABORATIVE

no.	description	date	by	approved
6	revised base plan	2022-12-06	ab	twf
5	revised base plan	2022-12-02	ab	twf
4	revised base plan	2022-11-31	mag	
3	review site plan	2022-10-03	ab	
2	review site plan/planting	2022-09-29	mag	
1	revised site plan	2022-06-16	ab	
control	revision	date	by	approved

6	issue for dp- re-submission 2	2022-12-02
5	issue for dp- re-submission 1	2022-12-06
4	issue for dp- re-submission 1	2022-11-24
3	issue for client review	2022-10-03
2	issue for dp	2022-09-29
1	issue for client review	2022-04-29
issued by	mag	by: j.m.f.

project

190th St. Heppell Project
2898 - 190 Street,
2825/2981 - 192 Street,
Surrey BC

drawing

details

drawn	checked	approved
ab	ab	ab
date	project number	1210.12
22.04.08	sheet	
as noted		

DPL6

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **February 02, 2023** PROJECT FILE: **7822-0191-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 2898 190 St**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate approximately 4.142 m towards 28 Avenue.
- Dedicate 10 m to 13.5 m towards 30 Avenue.
- Dedicate 14.5 m towards 190 Street.
- Dedicate 6.308 m to 8.442 m to 192 Street.
- Dedicate required corner cuts.
- Register 0.5 m SRW along all road frontages.

Works and Services

- Construct multi-use pathway on 192 Street.
- Construct the east side of 190 Street.
- Construct the north side of 28 Avenue.
- Construct the south side of 30 Avenue.
- Construct water mains along 30 Avenue.
- Construct sanitary main, as required.
- Construct storm mains along 28 Avenue, 192 Street, and 30 Avenue.
- Complete sanitary and storm catchment analysis to determine existing capacities. Resolve downstream constraints, as identified.
- Provide on-site stormwater mitigation, biofiltration, and water quality features.
- Register applicable legal documents as determined through detailed design.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.



Jeff Pang, P.Eng.
Development Services Manager

NOTE: Detailed Land Development Engineering Review available on file

Tree Preservation Summary

Surrey Project No: 7922-01910-00

Address: 2898 - 190 Street, 2981/2825 - 192 Street, Surrey, BC

Registered Arborist: Catherine Dowdell CA# PR5221-A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	64
Protected Trees to be Removed	64
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u> 9 </u> X one (1) = 9 - All other Trees Requiring 2 to 1 Replacement Ratio <u> 55 </u> X two (2) = 110	119
Replacement Trees Proposed	181
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	n/a

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	17
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u> 1 </u> X one (1) = 1 - All other Trees Requiring 2 to 1 Replacement Ratio <u> 16 </u> X two (2) = 32	33
Replacement Trees Proposed	0
Replacement Trees in Deficit	33

Summary, report and plan prepared and submitted by: Harrison Luethe

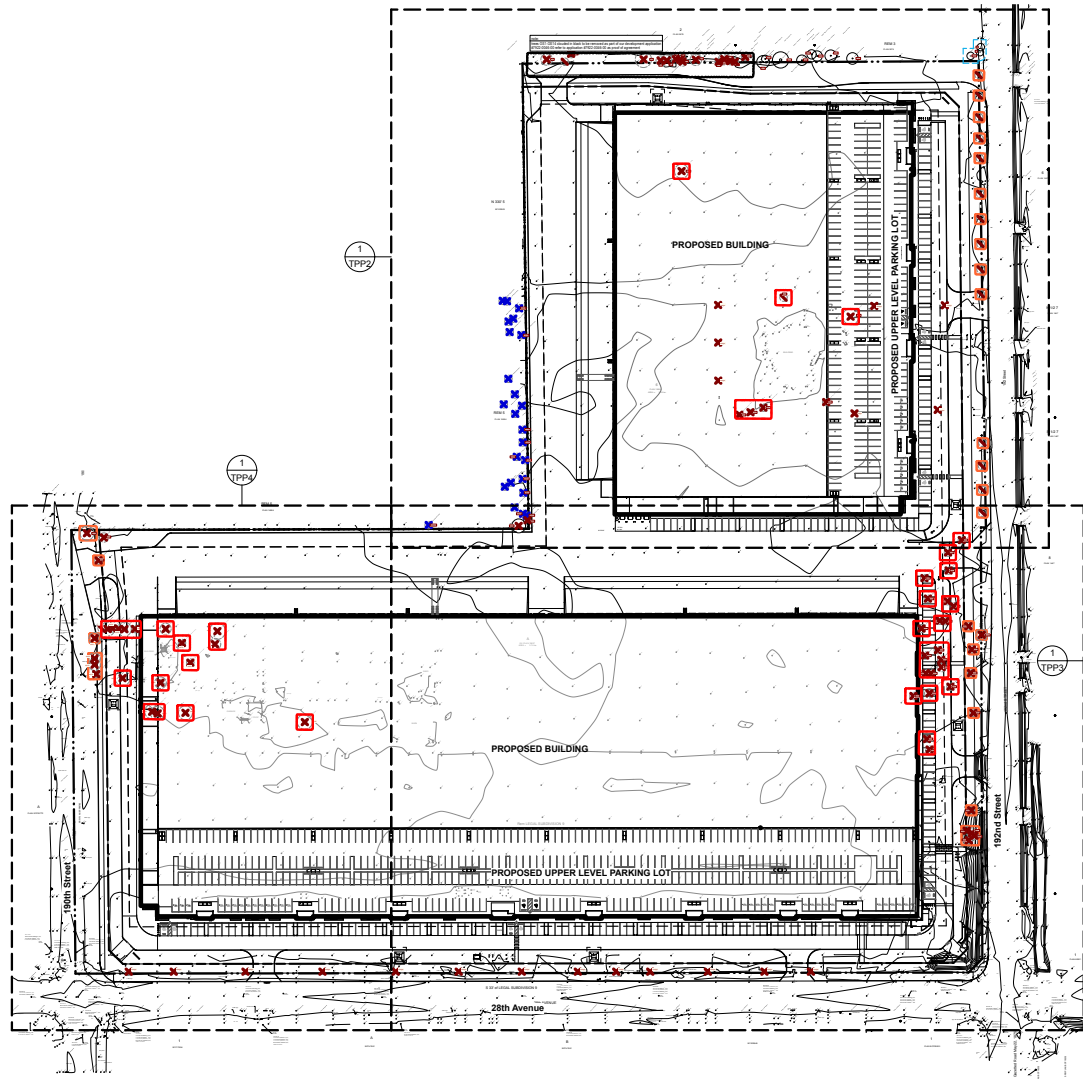
Summary, report and plan reviewed and approved by: Catherine Dowdell CA# PR5221-A



 (Signature of Arborist)

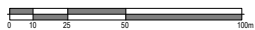
2023/02/03

 Date



1 tree preservation and removal plan

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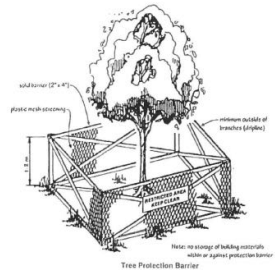


- legend
- to be removed
 - removed
 - non-by-law to be removed
 - to be retained
 - tree id tag
 - tree protection fencing
 - on site trees requiring removal
 - boulevard trees, removal pending parks review

- tree protection notes
1. Tree protection fencing to be installed as per detail.
 2. Prior to commencement of any site activity such as site alteration, demolition or construction, the tree protection measures specified must be installed.
 3. Tree protection fencing as per Bylaw 2006 No. 16100. For more information contact the City of Surrey.
 4. Refer to civil for existing utility lines call 3-1-1 before you dig.
 5. Removal of trees to be done outside of nesting season (February through to August), a bird survey may be required.
 6. Once all tree protection fencing has been installed, City of Surrey Arborist must be contacted to arrange for an inspection.
 7. Tree protection must remain in place and in good condition throughout site demolition and construction and must not be altered, moved or removed until authorized by City of Surrey Arborist.
 8. Minimum impact to tree root systems during construction. Any tree root systems impacted during construction activities will need to be addressed through proper pruning techniques.
 9. It is not anticipated that tree pruning is required, however if pruning is required it is recommended that a certified arborist or qualified professional with extensive tree knowledge perform all tree pruning.
 10. Any branches broken or significantly damaged as a result of construction shall be pruned.
 11. If clearance pruning of public trees is required, City of Surrey Arborist must be notified (minimum two business days prior) and an approved contractor must be used at the applicants expense. Please contact City of Surrey Arborist at 311 for more information.
 12. All pruning to be done by a certified arborist or approved equivalent.
 13. All maintenance to be performed by a certified horticultural technician or landscape journeyman.
 14. All remaining trees to be regularly maintained for a minimum of one growing season after construction completion.
 15. Contractor to arrange for watering as needed (minimum of weekly visit - more during temperature weeks) of existing trees during development period. Trees to be watered manually from a water truck.
 16. Contractor to add 75-100mm of new bark mulch to be added to tree protection zones.
 17. Absolutely no work to be carried out inside the tree protection zone. If access is required, contact City of Surrey Arborist. Provide photos evidence for response.
 18. No stockpiling or dumping of construction materials is permitted on the adjacent soccer fields, open spaces or boulevards.

2 tree protection barrier detail

Actual Size



Tree Protection Distance Table

Trunk Diameter (cm)	Minimum Protection Fencing Around Tree (distance from trunk in metres)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5.4
100	6.0

NOT FOR CONSTRUCTION
for review and coordination only

- notes
1. This drawing is copyright © 818 studio ltd. and shall not be reproduced, revised, transmitted and/or utilized by any third party outside of the Owner without written permission from 818 studio ltd.
 2. Do not scale drawings.
 3. Refer to Civil drawings for all grading information.
 4. The assessment of the trees presented in this plan have been made using accepted arboricultural techniques. These include a visual examination of each tree for structural defects, scars, external indications of decay such as fungal fruiting bodies, evidence of insect attack, discoloration, foliage, the condition of any visible root structures, the degree and direction of lean or any other general condition of the tree(s) in the surrounding site, and the proximity of property and people. Except where specifically noted, none of the trees examined were diseased, comed, probed, or climbed, and detailed root crown examinations involving excavation were not undertaken.
 5. While reasonable efforts have been made to determine that the trees recommended for retention are healthy, no guarantees are offered, or implied, that these trees, or parts of them, will remain standing and whole. It is responsible to predict with absolute certainty the behaviour of any single tree or group of trees, or their component parts in all future circumstances. Inevitably any standing tree will pose some risk. In accordance with standard practice, the assessment presented in this plan is valid at the time it was undertaken. 818 Studio accepts no responsibility for subsequent damage or deterioration.
 6. The findings and opinions expressed in this plan are representative of the conditions found on the day of the review (2022-04-08) only. Any trees retained should be reviewed on a regular basis. The root structure, and overall structure, of all of the trees to be retained must be reviewed immediately following land clearing, grade disturbance, significant weather events and prior to site usage changes.

EIGHT ONE EIGHT STUDIO
PLANNING + DESIGN COLLABORATIVE

number	revision	date	by	approved
3	site base updates	2023-02-02	hml	hml
2	review site plan	2022-10-09	ab	ab
1	premise tables	2022-04-08	ab	ab
4	development permit resubmission	2023-02-03		
3	issue for dp	2022-05-25		
2	issue for client review	2022-05-13		
1	issue for client review	2022-04-28		

190th Street Heppell Property
2898 - 190 Street,
2825-2961 - 192 Street,
Surrey BC

tree preservation plan

drawn	checked	date	approved	project number
ab	ab	2022-04-08	TPP1	1210.12
as noted				

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0191-00

Issued To:

(the "Owner")

Address of Owner:

Issued To:

(the "Owner")

Address of Owner:

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-273-581

Lot 6 Section 21 Township 7 New Westminster District Plan 16954

2981 - 192 Street

Parcel Identifier: 004-536-495

Parcel "A" (Explanatory Plan 15837) Legal Subdivision 9 Section 21 Township 7 New Westminster District

2898 - 190 Street

Parcel Identifier: 002-176-947
Legal Subdivision 9 Section 21 Township 7 Except: Firstly: South 33 Feet Secondly: Part
Subdivided By Plan 16954 Thirdly: Parcel "A" And Road (Explanatory Plan 15837), Fourthly:
Part Dedicated Road On Plan Bcp22704 New Westminster District

2825 - 192 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Table D.1 of Part 5, Off-Street Parking and Loading/Unloading, the industrial parking rate is reduced from 1.0 parking spaces per 100 square metres to 0.983 parking spaces per 100 square metres.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

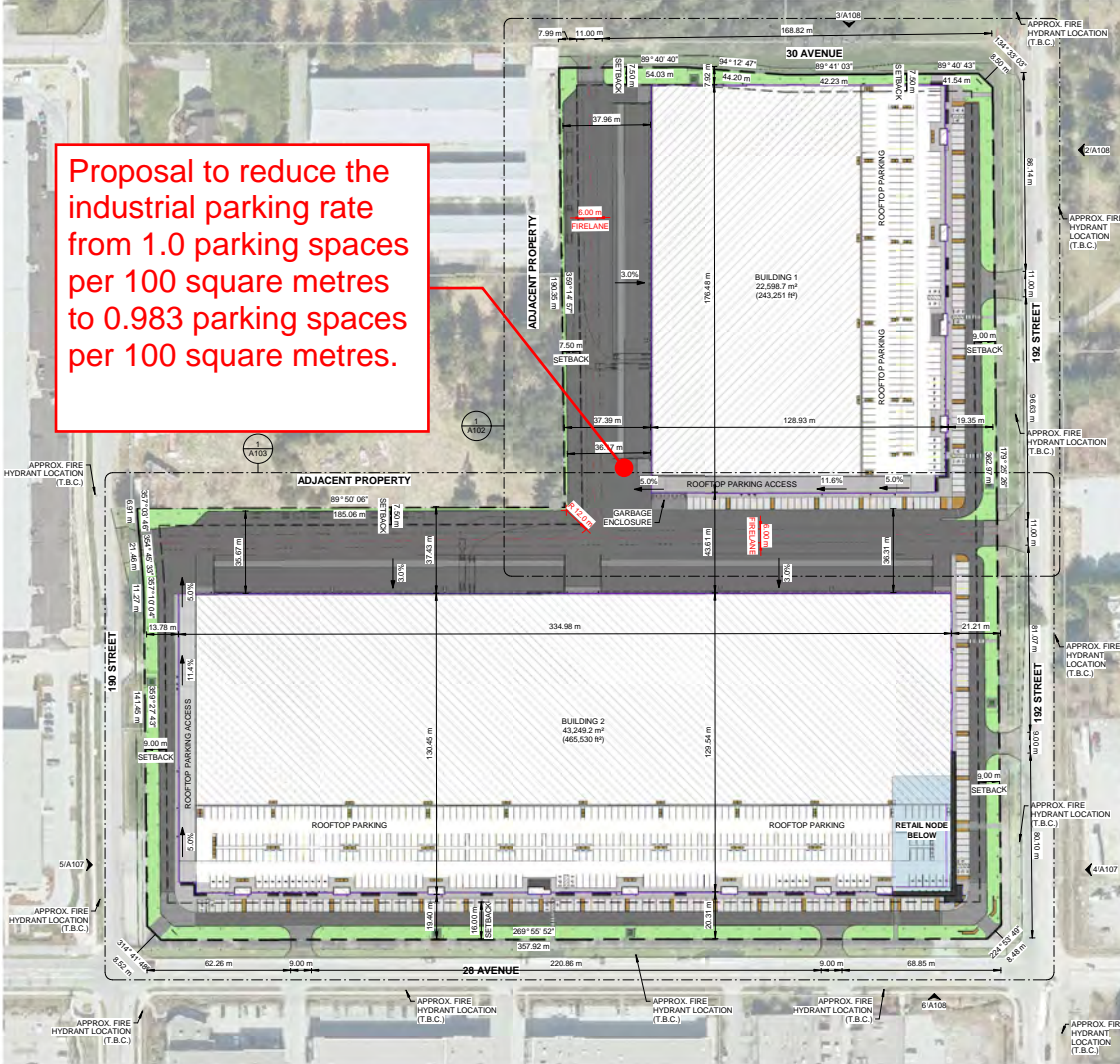


NOTES CONCERNING BUILDING LOCATION

1. THIS SITE PLAN IS BASED ON INFORMATION PROVIDED BY THE OWNER, AND NOT A SURVEY OR ACTUAL SITE MEASUREMENTS. ENGINEER IS TO BE ADVISED BEFORE START OF CONSTRUCTION OF ANY UNKNOWN FEATURES ON THIS OR THE ADJACENT SITES THAT MIGHT IMPACT ON THE PROJECT EITHER DURING CONSTRUCTION OR FUTURE USE.
2. THE "NORTH" ORIENTATION REFERS TO NOMINAL NORTH RATHER THAN TRUE OR MAGNETIC NORTH.
3. ANY DIMENSIONS THAT SHOW THE LOCATION OF EXISTING FEATURES ARE APPROXIMATE ONLY, AND ARE TO BE CONFIRMED BEFORE CONSTRUCTION START AS REQUIRED BY A CERTIFIED ALBERTA LAND SURVEYOR.

<https://bit.ly/3aer45o>

SCHEDULE A



BYLAW INFORMATION
 ZONING: PRESENT ZONING: A-2 INDUSTRIAL AGRICULTURAL ZONE
 PROPOSED ZONING: CD COMPREHENSIVE DEVELOPMENT ZONE
 SETBACKS:
 FRONT YARD (S): PROVIDED: 19.4 m REQUIRED: 16.0 m
 REAR YARD (N): PROVIDED: 4.6 m REQUIRED: 7.5 m
 SIDE YARD (E): PROVIDED: 19.4 m REQUIRED: 9.0 m
 SIDE YARD (W): PROVIDED: 13.8 m REQUIRED: 9.0 m
 SITE SIZE: 104,627.38 m² (1,126,199.72 RP/25.9 acre)
 BUILDING AREAS:
 BUILDING 1: 22,598.7 m²
 BUILDING 2: 43,292.2 m²
 TOTAL: 65,890.9 m²
 SITE COVERAGE: PROVIDED: 62.9%
 MAX: 60%
 BUILDING HEIGHT: PROVIDED: 13.32m (43'8 1/4")
 MAX: 14m (46 ft)
 LOADING DOORS:
 BUILDING 1: 36
 BUILDING 2: 68



Proposal to reduce the industrial parking rate from 1.0 parking spaces per 100 square metres to 0.983 parking spaces per 100 square metres.

PARKING CALCULATION

BUILDING	USE	AREA		PARKING BY GROSS FLOOR AREA	
		R ²	M ²	REQUIREMENT	REQUIRED
BUILDING 1	MAIN OFFICE	10,992.97	1,021.3	2.5 STALL PER 100 m ²	25.53
	2nd FLOOR OFFICE	222,118.14	20,635.5	1 STALL PER 100 m ²	206.35
					256.84
BUILDING 2	MAIN OFFICE	19,740.35	1,833.9	2.5 STALL PER 100 m ²	45.85
	2nd FLOOR OFFICE	9,846.96	915.0	3 STALL PER 100 m ²	27.45
BUILDING 2	MAIN WAREHOUSE	421,937.90	39,199.5	1 STALL PER 100 m ²	391.99
	2nd FLOOR RETAIL	11,675.49	1,084.7	3 STALL PER 100 m ²	32.54
					44.04
					541.88
SUBTOTAL					797.52
TOTAL PARKING STALLS REQUIRED					797.52

ACCESSIBLE PARKING STALL REQUIREMENTS

STANDARD STALLS	REQUIREMENT	REQUIRED
797.52	2%	15.95
TOTAL VEHICLE PARKING STALLS REQUIRED: 798		

BICYCLE PARKING REQUIREMENTS

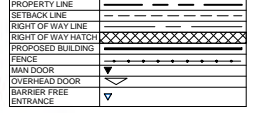
BUILDING	TYPE OF STALL	AREA		PARKING BY GROSS FLOOR AREA	
		R ²	M ²	REQUIREMENT	REQUIRED
GENERAL SERVICE USE AND EATING ESTABLISHMENT	SECURE BIKE STALLS	725,508.44	67,401.9	0.06 SPACE PER 100 m ²	40.44
	VISITOR BIKE STALLS	725,508.44	67,401.9	0.06 SPACE PER 100 m ²	40.44
					80.88
					TOTAL BIKE SPACES REQUIRED: 81

SECURE BIKE STALLS TO BE PROVIDED IN FUTURE TENANT IMPROVEMENT STAGE.

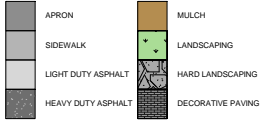
EV PARKING STALL REQUIREMENTS

COMMERCIAL AREA (OFFICE & RETAIL)	BUILDING	COMMERCIAL STALLS	REQUIREMENT	REQUIRED
	BUILDING 1	49.29	20%	9.86
	BUILDING 2	149.88	20%	29.98
TOTAL EV STALLS REQUIRED: 40				

SITE PLAN LEGEND



SITE MATERIAL LEGEND



LOADING DOORS

SIZE	TYPE	COUNT
9'x10' OHD	Deck Door	104
16'x16' OHD	Grate Door	6

SITE SCHEDULE

ON SITE	AREA	REQUIRED
APRON	18,976.53 RP	1,763.0 m ²
DECORATIVE PAVING	10,476.57 RP	1,010.5 m ²
HARD LANDSCAPING	7.86 RP	7.2 m ²
HEAVY DUTY ASPHALT	242,749.16 RP	22,621.2 m ²
LANDSCAPING	67,717.89 RP	6,291.2 m ²
LIGHT DUTY ASPHALT	39,533.01 RP	3,654.9 m ²
MULCH	4,396.57 RP	408.5 m ²
SIDEWALK	28,544.45 RP	2,661.9 m ²
SIDEWALK	413,262.52 RP	38,362.2 m ²
Grand total: 507,419.21 RP / 47,140.8 RP		

PARKING SCHEDULE

BUILDING	STALL TYPE	ROOF PARKING	GROUND PARKING	TOTAL
BUILDING 1	BARRIER FREE PARKING STALL	0	6	6
	STANDARD PARKING STALL	0	53	53
BUILDING 1	BARRIER FREE PARKING STALL	0	2	2
	STANDARD PARKING STALL	0	174	174
BUILDING 2	BARRIER FREE PARKING STALL	0	6	6
	STANDARD PARKING STALL	0	159	159
BUILDING 2	BARRIER FREE PARKING STALL	0	2	2
	STANDARD PARKING STALL	0	30	30
BUILDING 2	EV PARKING STALL	0	345	345
	STANDARD PARKING STALL	0	174	174
Grand Total: 798				

190th Street Heppell Property
 Office Warehouse & CRU's
 2898 190 Street and 2981 & 2825 192 Street
 Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2023-05-10	ISSUED FOR DEVELOPMENT PERMIT
2	2023-05-10	ISSUED FOR REVIEW
3	2023-10-10	ISSUED FOR REVIEW
4	2023-11-30	ISSUED FOR REVIEW
5	2023-12-05	ISSUED FOR REVIEW
6	2024-02-05	ISSUED FOR REVIEW

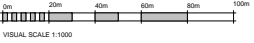
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 Checked by: DE, LB, RO, OB
 Sheet Name:

Site Plan
 Overall

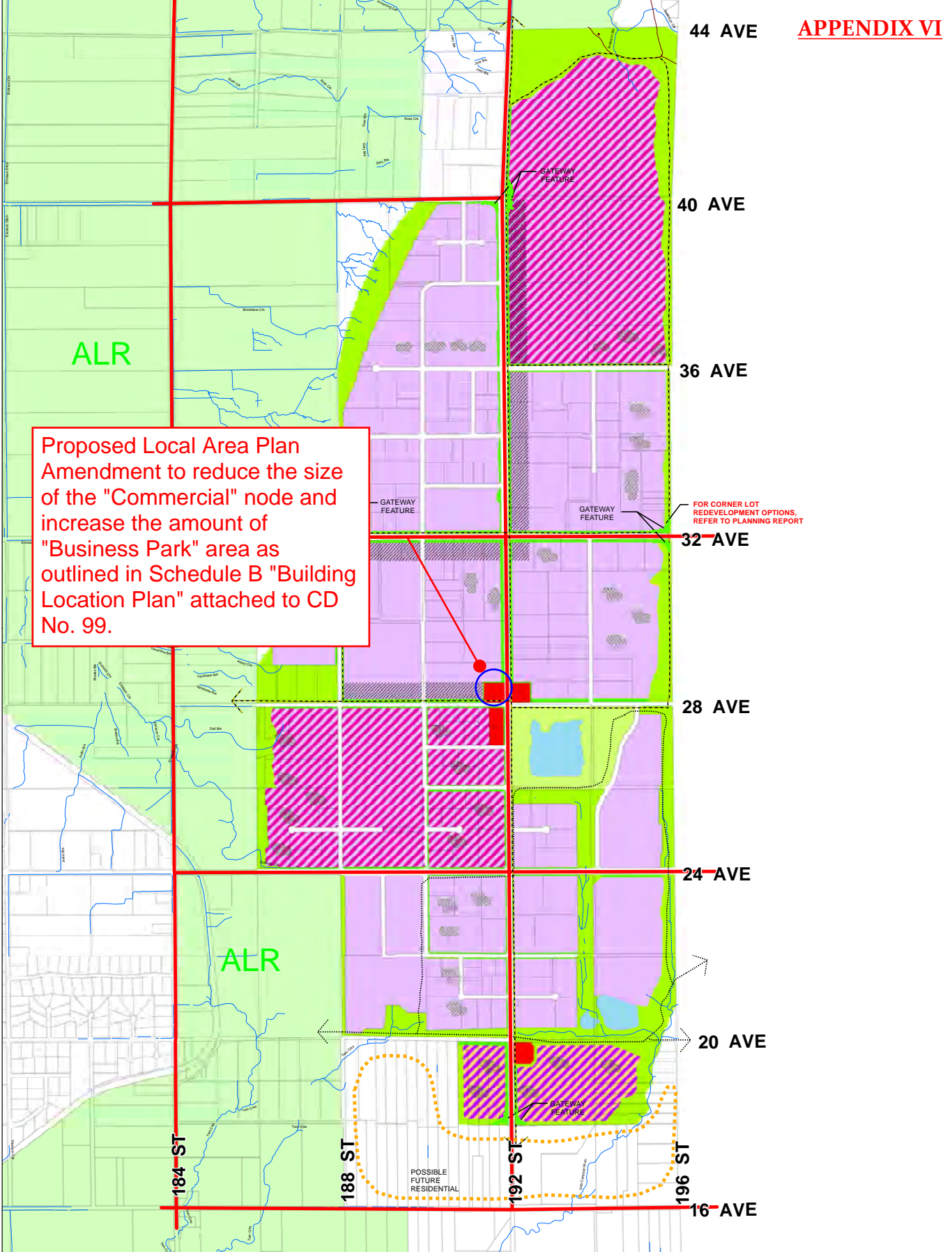
Sheet No:

A101

1 Site Plan
 A101 1:1000



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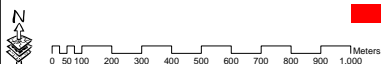


Proposed Local Area Plan Amendment to reduce the size of the "Commercial" node and increase the amount of "Business Park" area as outlined in Schedule B "Building Location Plan" attached to CD No. 99.

FOR CORNER LOT REDEVELOPMENT OPTIONS, REFER TO PLANNING REPORT

CAMPBELL HEIGHTS LAND USE PLAN
 City of Surrey Planning & Development Department

- Legend**
- Campbell Heights Local Area Plan
 - Campbell Heights Local Area Plan, City Park
 - ALR Boundary
 - Business Park (Office)
 - Open Space Corridors/Buffers
 - Tree Preservation Opportunities
 - Business Park
 - Landscaping Strips
 - Stormwater Management Facilities
 - Technology Park or Business Park
 - Creeks and Rivers
 - Multi-Use Trail (Walking, Cycling and Horseback Riding)
 - Business Park or Live/Work in Cluster Housing Form
 - Commercial
 - Walking and Cycling Pathways
 - Arterial Roads



Approved by Council: December 11, 2000
 Amended 20 October 2022

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