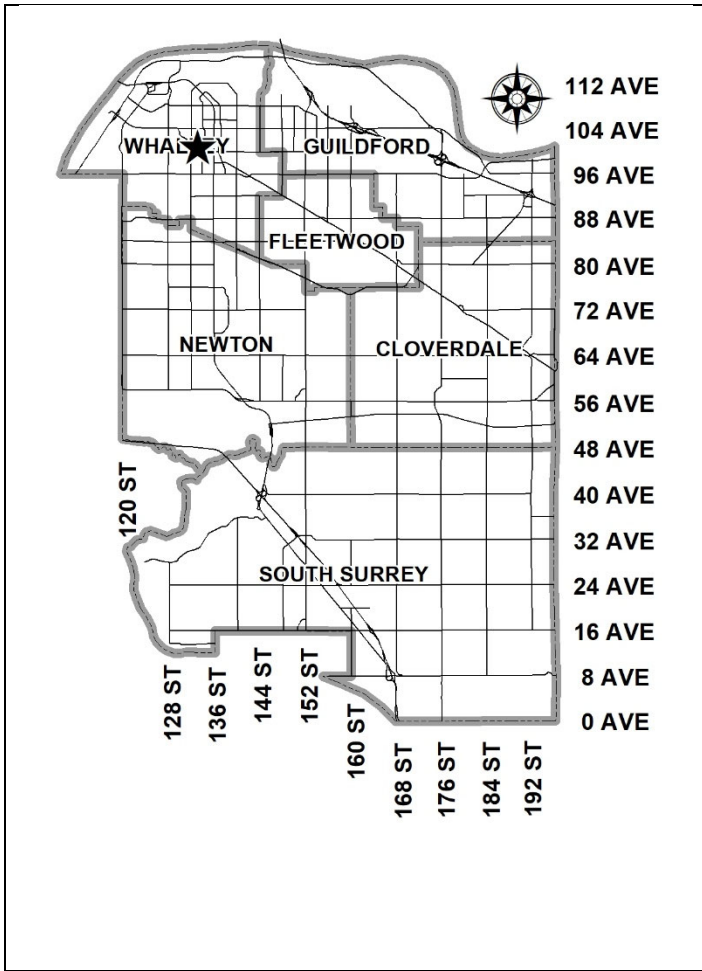


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0185-00

Planning Report Date: January 29, 2024



PROPOSAL:

- **Rezoning** from RF to CD (based on RM-70) and RF-10
- **Development Permit**
- **Development Variance Permit**

To permit the development of a 6-storey residential building, containing 98 market strata dwelling units, over two (2) levels of underground parking in City Centre as well as a remnant RF-10 lot.

LOCATION:

- 10068 - 133 Street
- 10078 - 133 Street
- 10088 - 133 Street
- 10098 - 133 Street
- Portion of 133 Street

ZONING:

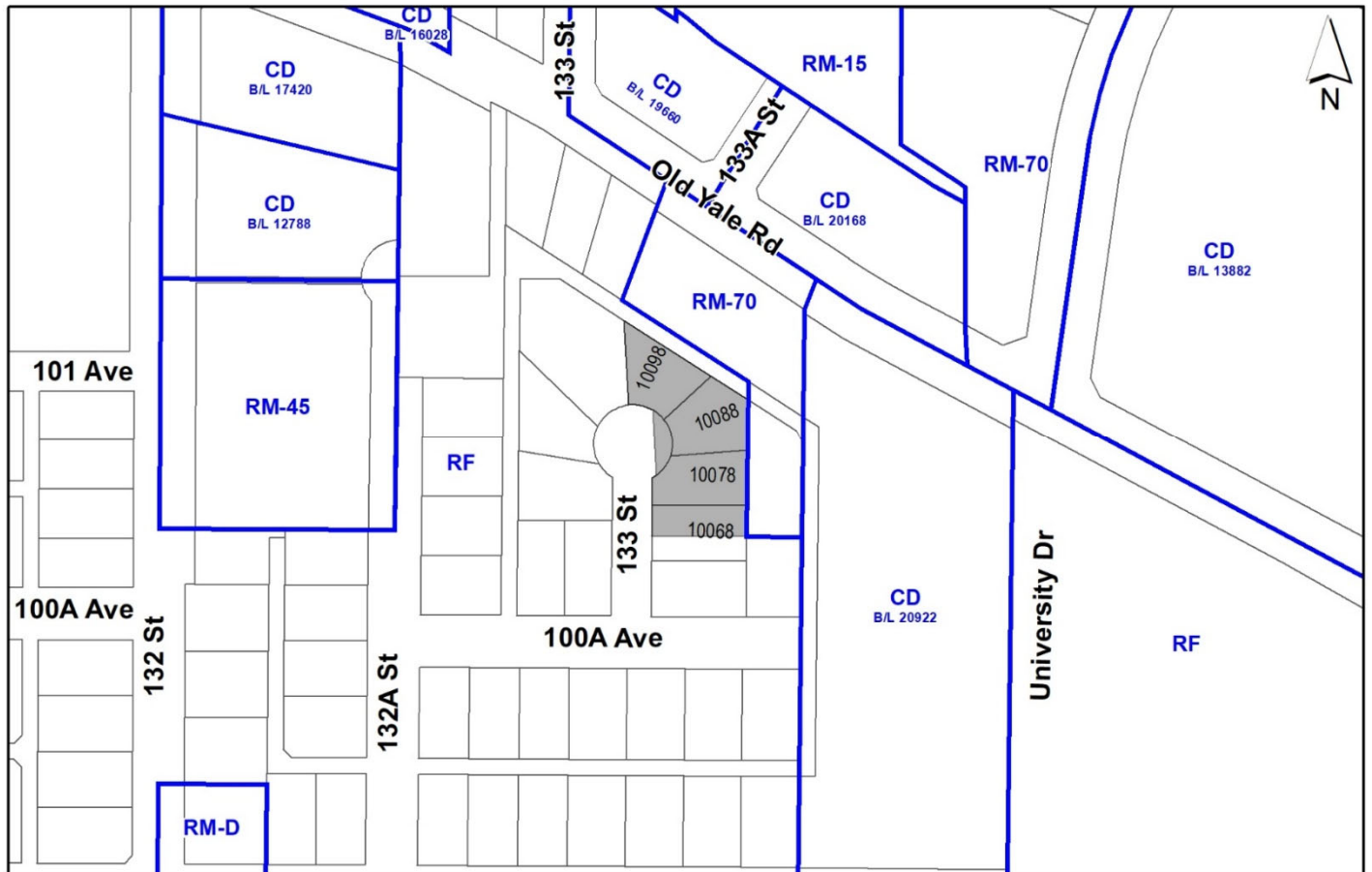
RF

OCP DESIGNATION:

Multiple Residential

CCP DESIGNATION:

Low to Mid Rise Residential



RECOMMENDATION SUMMARY

- Two (2) rezoning By-laws to proceed to Public Notification. If supported, the By-laws will be brought forward for First, Second, and Third Reading.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to reduce the minimum lot width requirement of the RF-10 Zone for a “Type I - Interior” lot from 9.7 metres to 9.5 metres on proposed Lot 2.

RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).
- In accordance with changes to Section 464 of the Local Government Act, under Bill 44 (2023) a Public Hearing is not permitted for the subject rezoning application as the proposed rezoning is consistent with the OCP. As such, Council is requested to endorse the Public Notification to proceed for the subject Rezoning By-law. The Rezoning By-law will be presented to Council for consideration of First, Second, and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the Rezoning By-law readings.
- The proposal complies with the Low to Mid Rise Residential designation in the Surrey City Centre Plan.
- The proposed density, setbacks, and building form are appropriate for this part of Surrey City Centre and served as an appropriate transition between the higher density core to the north and existing single family to the south.
- The subject site is within walking distance (approximately 850 metres) from the Surrey Central SkyTrain Station. As such, the proposed development conforms to the goal of achieving the high-rise, high density development around SkyTrain Stations.
- To complete the subdivision (consolidation), as proposed, the applicant will purchase a 124-square metre portion of the 133 Street cul-de-sac, which is considered to be surplus road allowance and is proposed to be closed and consolidated with the subject site, consistent with the Surrey City Centre Plan.
- The proposed variance will permit the creation of a RF-10 Zoned lot, over which a Section 219 Restrictive Covenant for “No-Build” is to be registered, to facilitate future consolidation and redevelopment with existing lots to the south and south-east under a future development application.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to rezone 10078, 10088 and 10098 – 133 Street, and the portion of 10068 – 133 Street shown as Block B on the attached Survey Plan (Appendix I), as well as a portion of the 133 Street cul-de-sac shown as Block A on the attached Survey Plan (Appendix I) from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" .
2. Council endorse the Public Notification to proceed for a By-law to rezone the portion of 10068 – 133 Street shown as Block C on the attached Survey Plan (Appendix I) from "Single Family Residential Zone (RF)" to "Single Family Residential (10) Zone (RF-10)".
3. Council authorize staff to draft Development Permit No. 7923-0185-00 generally in accordance with the attached drawings (Appendix I).
4. Council approve Development Variance Permit No. 7923-0185-00 (Appendix VII), to reduce the minimum lot width for a "Type I – Interior" lot under the RF-10 Zone from 9.7 metres to 9.5 metres on proposed Lot 2, to proceed to Public Notification.
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) completion of the road closure and acquisition of a portion of 133 Street cul-de-sac;
 - (i) registration of a Section 219 Restrictive Covenant for No-Build over proposed Lot 2 for future consolidation with adjacent lots (10056/10058 – 100A Avenue and 13327 – 100A Avenue) and redevelopment under a future land development application;

- (j) registration of a right-of-way for public rights-of-passage for the proposed public plaza area on proposed Lot 1; and
- (k) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services on proposed Lot 1.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	City Centre Designation	Existing Zone
Subject Site	Existing single family lots.	Low to Mid Rise Residential	RF
North (Across Lane):	4-storey residential building containing 51 dwelling units (Yale House)	Low to Mid Rise Residential	RM-70
East:	Two-storey amenity building associated with Yale House and single family lot.	Low to Mid Rise Residential	RM-70 and RF
South:	Existing duplex on single family lot.	Low to Mid Rise Residential	RF
West (Across 133 Street):	Existing single family lots under Application Nos. 7919-0096-00 (3 rd Reading) and 7921-0090-00 (3 rd Reading) for two 6-storey buildings.	Low to Mid Rise Residential	RF

Context & Background

- The 2,847-square metre subject site consists of four (4) properties on the east side of the 133 Street cul-de-sac, north of 100A Avenue, in the West Village District of Surrey City Centre.
- The subject site is designated "Multiple Residential" in the Official Community Plan (OCP), "Low to Mid Rise Residential" in the Surrey City Centre Plan, and currently zoned "Single Family Residential (RF)".
- The existing single family dwellings have access from 133 Street; however, all existing buildings and structures are to be demolished as part of the subject development application.
- The applicant has worked extensively with City staff to ensure that the proposed lot consolidation and redevelopment proposal does not negatively impact the redevelopment potential of adjacent lots in this portion of Surrey City Centre. As such, the applicant has agreed to the registration of a Section 219 Restrictive Covenant over a portion of 10068 – 133 Street (proposed Lot 2) for consolidation with the existing lots to the south (10056/10058 – 133 Street) and east (13327 – 100A Avenue) and redevelopment under a future land development application.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit the development of a 6-storey residential building, containing 98 residential units over two (2) levels of underground parking, in the West Village District of Surrey City Centre as well as one (1) remnant RF-10 Zone lot the applicant will require the following:
 - **Rezoning** from RF to CD (based on RM-70) and RF-10;
 - **Development Permit** for Form and Character;
 - **Development Variance Permit**; and
 - **Subdivision (Consolidation)** from four (4) lots, and a portion of the 133 Street cul-de-sac, to one (1) multiple residential lot and one (1) remnant RF-10 Zone lot.

Lot 1 (CD) Only	Proposed
Lot Area	
Gross Site Area:	2,516.67 square metres
Road Closure/Consolidation:	123.55 square metres
Road Dedication:	325.94 square metres
Net Site Area:	2,314.28 square metres
Number of Lots:	1
Building Height:	6 storeys / 20 metres
Floor Area Ratio (FAR):	2.50 (Gross); 2.72 (Net)
Floor Area	
Residential:	6,431.38 square metres
Indoor Amenity Space:	148.94 square metres
Total:	6,282.44 square metres
Residential Units:	
Studio:	5 dwelling units (5.1% of total units)
1-Bedroom:	64 dwelling units (65.3% of total units)
2-Bedroom:	18 dwelling units (18.4% of total units)
3-Bedroom:	11 dwelling units (11.2% of total units)
Total:	98 dwelling units

Lot 2 (RF-10) Only	Proposed
Lot Area	
Gross Site Area:	353.5 square metres
Road Dedication:	23.1 square metres
Net Site Area:	330.4 square metres
Number of Lots:	1
Unit Density:	30.2 units per hectare (UPH)
Lot Area:	330.4 square metres
Lot Width:	9.5 metres
Lot Depth:	36.6 metres

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 13 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

8 Elementary students at Old Yale Road Elementary School
3 Secondary students at Kwantlen Park Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Q2 2026.

Parks, Recreation & Culture (PRC): No concerns. PRC agrees to the removal of one (1) City tree to accommodate the proposed development and will require compensation at 2 to 1 replacement ratio to be collected through the Green City Program.

The closest active park is Holland Park and is 450 metres walking distance away, and the closest natural area is 22G-Greenbelt and is 1.2 kilometres walking distance away.

Surrey Fire Department: The Surrey Fire Department has no concerns with the proposed development. However, there are some items to be addressed as part of the subsequent Building Permit application.

Advisory Design Panel: At the Regular Council – Land Use meeting on December 18, 2023, Council endorsed Corporate Report No. R214 (2023) which amended the Terms of Reference of the City's Advisory Design Panel (ADP) which permits multi-family proposals that are 6-storied or less to proceed to Council for By-law introduction, without review and/or comment from the ADP, provided that the proposal is generally supported by City staff.

The subject development proposal is generally supported by City staff and the applicant has agreed to resolve any outstanding items, to the satisfaction of the Planning and Development Department, prior to consideration of Final Adoption of the Rezoning By-law as well as issuance of the Development Permit.

Transportation Considerations

Road Network and Infrastructure:

- The applicant will be required to provide the following road dedication and improvements as part of the subject application:
 - Dedication and construction of 133 Street to the Local Road Standard, which is planned to ultimately connect to Old Yale Road; and
 - Construction of the lane along the north side of the subject site to Residential Lane Standard.
- As part of the subject application the applicant is proposing to close and acquire a 123.55-square metre portion of the existing 133 Street cul-de-sac in order to incorporate this portion of the road with the subject site (see Survey Block Plan in Appendix I for details). As 133 Street is planned to extend west and north the cul-de-sac turnaround area is no longer required. Sufficient width will be maintained to achieve the City Centre Local Road Standard as part of the subject application.

Traffic Impacts:

- The proposed development is anticipated to generate one (1) vehicle every one (1) to two (2) minutes in the peak hour, according to industry standard rates. A site-specific Transportation Impact Analysis (“TIA”) is not required as the proposal is consistent with the Surrey City Centre Plan and is below the City’s requirement threshold.

Access and Parking:

- The proposed development is to be accessed from the existing lane to the north of the subject site.
- The applicant is proposing 88 residential spaces and 10 visitor spaces (98 total off-street parking spaces) on the subject site, equivalent to a rate of 0.9 residential parking spaces per dwelling unit and 0.1 visitor spaces per dwelling unit, which complies with the Zoning Bylaw requirement.

Transit and/or Active Transportation Routes

- The subject site is located approximately 800 metres walking distance from the Surrey Central SkyTrain Station.
- The subject site is approximately 125 metres from the future BC Parkway multi-use pathway, which will run north along University Drive and south-east along Old Yale Road.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposed development complies with the “General Urban” designation of the subject site under Metro Vancouver’s *Regional Growth Strategy, Metro 2050*.

Official Community Plan

Land Use Designation

- The proposed development complies with the “Multiple Residential” of the subject site under the Official Community Plan (OCP), which supports higher-density residential developments up to 2.5 FAR in the City Centre Plan area.

Themes/Policies

- The proposal is consistent with the following OCP Themes/Policies:
 - Support compact and efficient land development that is consistent with the Metro Vancouver Regional Growth Strategy (A1.1);
 - Accommodate higher density development in Surrey’s City Centre and near Frequent Transit Corridors at densities sufficient to encourage commercial development and transit service expansion (A2.1);
 - Encourage development in urban neighbourhoods to utilize existing infrastructure and amenities as well as implement improvements to the public realm (A3.1-A3.2);
 - Create an interconnected, short-block, finer-grained network of public streets and green lanes in Surrey’s City Centre to support direct, pleasing, and safe pedestrian and bicycle movements as well as to distribute traffic efficiently (B1.22);
 - Implement high architectural and urban design standards with Surrey’s City Centre, and create a public realm that is safe, beautiful, active, and vibrant (B1.28);
 - Develop complete, accessible, and walkable green neighbourhoods with sufficient densities to support a high-quality transit system that is accessible to most residents (B4.3); and
 - Promote affordable family housing in City Centre by encouraging a mix of unit types, including two-bedroom and three-bedroom units, in new developments (F3.1).

Secondary Plans

Land Use Designation

- The proposed development complies with the “Low to Mid Rise Residential” designation of the subject site under the City Centre Plan.

CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed 6-storey residential building on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 70 Zone (RM-70)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
Unit Density:	N/A	N/A
Floor Area Ratio:	1.50	2.72
Lot Coverage:	33%	50%
Yards and Setbacks	7.5 metres from all lot lines	North: 4.5 metres East: 3.0 metres South: 3.0 metres West: 4.5 metres
Principal Building Height:	50 metres	20 metres
Permitted Uses:	<ul style="list-style-type: none"> Multiple unit residential buildings Ground-oriented multiple unit residential buildings Child care centres 	<ul style="list-style-type: none"> Multiple unit residential buildings.
Amenity Space		
Indoor Amenity:	3 sq.m. per dwelling unit	The proposed 147 m ² + CIL meets the Zoning By-law requirement.
Outdoor Amenity:	3 sq.m. per dwelling unit	The proposed 339 m ² meets the Zoning By-law requirement.
Parking (Part 5)		
	Required	Proposed
Number of Spaces		
Residential:	88 parking spaces	88 parking spaces
Residential Visitor:	10 parking spaces	10 parking spaces
Total:	98 parking spaces	98 parking spaces
Accessible:	2 accessible spaces	3 accessible spaces
Bicycle Spaces		
Residential:	118 bicycle spaces	118 bicycle spaces
Residential Visitor:	6 bicycle spaces	6 bicycle spaces

- If calculated based on the gross site area, minus that portion of 10068 – 133 Street over which a Section 219 Restrictive Covenant for No-Build for future consolidation with the lot to the south (proposed Lot 2), the overall floor area ratio (FAR) is 2.46 which complies with the maximum permitted 2.50 FAR for “Multiple Residential” designated properties in Surrey City Centre as well as the “Low to Mid Rise Residential” designation in the Surrey City Centre Plan. If calculated on the net site area, the overall FAR is 2.67. As a result, the net site area has been increased from 1.50 under the RM-70 Zone to a maximum of 2.67 (net) in the CD By-law.
- The maximum lot coverage has been increased from 33% in the RMO-70 Zone to a maximum of 50% in the proposed CD By-law in order to accommodate the proposed development.
- The proposal to reduce the minimum building setbacks is supported given that it provides a more urban, pedestrian-oriented streetscape along 133 Street and generally complies with previously supported setback reductions on in-stream development applications in the immediate area.
- As per Sub-section A.3.(d) of Part 5 “Off Street Parking and Loading/Unloading” in the Surrey Zoning Bylaw no parking facilities can be constructed within 2.0 metres of the front lot line or the lot line along a flanking street. The proposed underground parkade will be located a minimum of 0.5 metres from the north and west lot lines and 0.0 metres from the south and east lot lines. As a result, the proposed CD By-law will include provisions that allow for the underground parking facility to extend to within 0.5-metre to 0.0-metre of the lot lines.

Lot Width Variance (Proposed Lot 2)

- The applicant is proposing the following variance:
 - Reduce the minimum lot width requirement of the RF-10 Zone for a Type I – Interior lot from 9.7 metres to 9.5 metres for proposed Lot 2.
- The proposed variance will permit the creation of a RF-10 Zone lot, over which a Section 219 Restrictive Covenant for “No-Build” is to be registered, to facilitate future consolidation and redevelopment with existing lots to the south and south-east under a future development application.
- Staff support the proposed variance to proceed to Public Notification.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City’s Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City’s Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No.R037; 2023.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit issuance with the current rate being \$2,136 per dwelling unit.

- The proposed development will not be subject to the Tier 2 Capital Plan Project CACs as the proposal complies with the densities in both the OCP and Surrey Centre Plan designations.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,068 per new dwelling unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on September 28, 2023, and the Development Proposal Signs were installed on October 10, 2023. To date, staff have received no responses from neighbouring residents or businesses with respect to the subject development proposal.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Surrey City Centre Plan.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Surrey City Centre Plan.
- The applicant has worked with staff to:
 - Ensure appropriate lot consolidation in order to provide sufficient development opportunities for adjacent lots in this section of 100A Avenue and 133 Street;
 - Design an appropriate response to a sloping site, including the refinement of perimeter grading and on-site transitioning;
 - Refinement of the proposed materials and design elements in order to further differentiate the proposed building from other in-stream applications in the immediate area, while maintaining a shared architectural 'language'; and
 - Establishing a pedestrian walkway and boulevard adjacent to the existing lane to the north of the subject site.

- The applicant is proposing a 6-storey residential building containing 98 dwelling units over two (2) levels of underground parking. The proposed unit mix consists of 5 studio, 64 one-bedroom, 18 two-bedroom, and 11 three-bedroom units, which range in size from 36 square metres to 83 square metres.
- Ten (10) of the proposed units will be considered adaptable with respect to BC Building Code requirements.
- The proposed 6-storey apartment building incorporates both building massing and design aesthetics that are generally in accordance with the vision for this part of Surrey City Centre. This area (West Village) is envisioned as a mid-to-high density, green urban village connected with fine-grained pedestrian walkways, green lanes, plazas, and open space areas.
- The applicant proposes a contemporary, rectilinear building façade articulated by the interplay of extruded frames, clad in horizontal fibre cementitious boards (cedar) and panels (night gray), as well as the use of brick to delineate a two-storey “townhouse expression” on the street-facing facades.
- The lobby entrance, located at the south-west corner of the subject site adjacent to 133 Street, is accentuated by extensive glazing as well as a one-storey cedar clad trellis supporting integrated weather protection.

Landscaping

- The landscape plans include a mixture of trees, shrubs, and groundcover to be planted throughout the subject site, as well as extensive hardscaping, lighting, fencing and furniture.
- Street-facing, ground-level dwelling units have access to a semi-private patio space which are screened via a combination of low, landscaped retaining walls, low-lying shrubs, and individual trees. Each patio can be accessed either through the dwelling unit or via a gated entrance from the public sidewalk.
- See the Outdoor Amenity section below regarding landscaping in association with the proposed on-site outdoor amenity space areas.

Indoor Amenity

- The Zoning Bylaw requires the applicant to provide a minimum of 3 square metres per dwelling unit. The Zoning Bylaw also prescribes the minimum indoor amenity space requirement that must be provided on site with a cash-in-lieu option to address the remaining requirement.
- Based upon the City’s Zoning Bylaw requirement, the proposed development must provide 294 square metres of indoor amenity space to serve the residents of the proposed 98-unit apartment building. Of this 294-square metre requirement, a minimum of 74 square metres of indoor amenity space must be provided on-site and the remaining indoor amenity space requirement can be addressed through cash-in-lieu.

- The applicant is proposing 147 square metres of indoor amenity space, which is less than the 294- square metre total indoor amenity space requirement for the project but which exceeds the minimum on-site requirement for 74 square metres.
- The applicant has agreed to provide a monetary contribution of \$150,000 (based on \$3,000 per unit, however, the cash-in-lieu contribution must be paid at the rate in effect at the time of Final Adoption of the Rezoning By-law) to address the remaining shortfall in the required indoor amenity space, in accordance with Council Policy No. O-48, as amended.
- The applicant is proposing a fitness studio as well as a lounge space on the ground floor, directly adjacent to the proposed outdoor amenity space.

Outdoor Amenity

- The Zoning Bylaw requires the applicant to provide a minimum of 3 square metres per dwelling unit. Based on the City's Zoning Bylaw requirement, the proposed development must provide a total of 294 square metres of outdoor amenity space to serve the residents of the proposed 98-unit apartment building.
- The applicant is proposing 339 square metres of outdoor amenity space, thereby exceeding the minimum Zoning Bylaw requirement.
- The applicant is proposing a large at-grade outdoor amenity area directly adjacent to the proposed indoor amenity area, containing urban agriculture boxes, a variety of semi-private seating areas, a shared outdoor kitchen and dining area and children's play area, as well as a publicly accessible plaza at the north-west corner of the subject site.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - Refinement of the public realm interfaces and landscape concept, particularly the east and south lot interfaces, as it relates to on-site grading, retaining walls and drainage.
 - Design development of balcony balustrade expression.

TREES

- Lucian Serban, ISA Certified Arborist of McElhanney Ltd., prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees			
Cherry	1	1	0
Horse Chestnut	1	1	0
Coniferous Trees			
Cypress	1	1	0
Douglas-fir	2	1	1
Hemlock	1	1	0
Spruce	4	4	0
Western Red Cedar	1	1	0
Total	11	10	1
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		26	
Total Retained and Replacement Trees Proposed		27	
Estimated Contribution to the Green City Program		Not required	

- The Arborist Assessment states that there are a total of eleven (11) protected trees on the site. There are no Alder or Cottonwood trees on the site. The applicant proposes to retain one (1) tree as part of this development proposal; specifically, within that portion comprising proposed Lot 2 falling within 10068 – 133 Street over which a Section 219 Restrictive Covenant for No-Build is proposed to be registered. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of twenty (20) replacement trees on the site. The applicant is proposing twenty-six (26) replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 133 Street. This will be determined by the Engineering Department during the servicing design review process.
- The new trees proposed on the site will consist of Columnar Red Japanese Maple, Pink Star Magnolia, Bruns Serbian Spruce, and Ivory Silk Japanese Lilac.

- In summary, a total of 27 trees are proposed to be retained or replaced on the site with no contribution to the Green City Program required.

CITY ENERGY

- The subject site is located within Service Area B, as defined in the "City Centre District Energy System By-law" (see Appendix VI for details). The District Energy (DE) System consists of three primary components:
 - Community energy centres, city operated facilities that generate thermal heat energy for distribution through a piped hot water network;
 - Distribution piping that links the community energy centres with buildings connected to the system; and
 - City-owned Energy Transfer Stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system, and is used to meter the amount of energy used.
- All new developments within Service Area B with a build-out FAR between 1.0 and 2.5 will be required to incorporate hydronic thermal energy systems to allow for future connection to the City's district energy system but will not be required to utilize hydronic systems for space heating within individual residential units. Hydronic systems will be required for all other space heating and hot water heating in the building.
- It should be noted that heat generation equipment (e.g. boilers) will need to be provided by the developer until such time as the development can be connected to the DE system.
- It should also be noted that the project is required to be compatible for a future connection to the City's DE System.
- In order to avoid conflicts between the DE System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for City access to, and maintenance and operation of, the ETS and to prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department must confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Survey Block Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix V. Surrey City Centre Plan
- Appendix VI. District Energy Map
- Appendix VII. Development Variance Permit No. 7923-0185-00

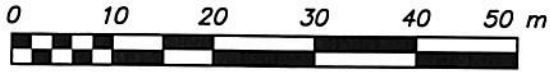
approved by Ron Gill

Don Luymes
General Manager
Planning and Development

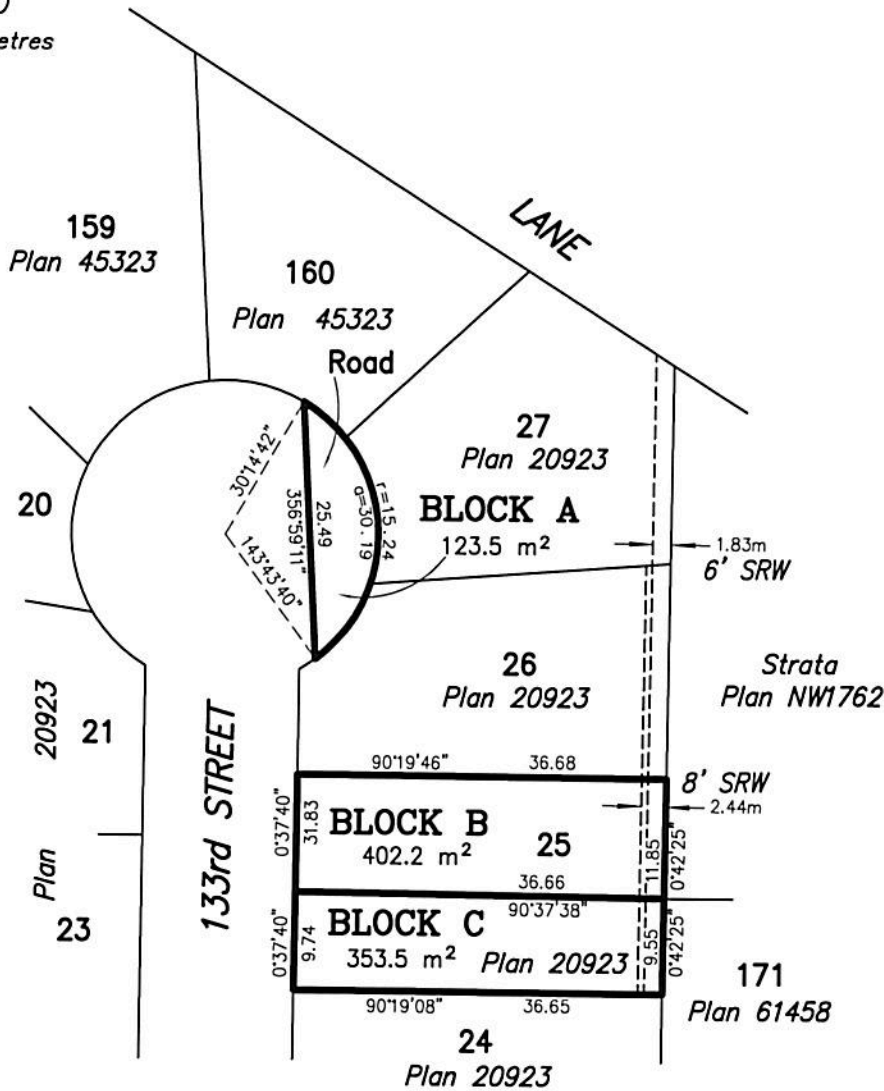
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**SURVEY PLAN TO ACCOMPANY CITY OF SURREY
REZONING BYLAW NO. _____ OF LOT 25 PLAN 20923,
AND PART ROAD DEDICATED ON PLAN 20923;
ALL OF SECTION 27, BLOCK 5 NORTH, RANGE 2 WEST,
NEW WESTMINSTER DISTRICT**

City of Surrey B.C.G.S. 92G.016



SCALE - 1 : 750
All distances are in metres



Cameron Land Surveying Ltd.
B.C. Land Surveyors
Unit 234 - 18525-53rd Avenue
Surrey, B.C. V3S 7A4
Phone: 604-597-3777
File: 8507-Block



Certified correct to survey dated
this 23rd day of January, 2024.

Sean Costello, B.C.L.S.

This plan lies within the Metro Vancouver Regional District



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www.integra-arch.com
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(PROJECT TEAM)



Zenterra Developments

(PROJECT)

**10068/ 10078/ 10088/
10098 133 Street,
Surrey, BC, V3T 3Y5**

(TITLE)

Project Data

22592 (PROJECT)

(SCALE)

(DATE)

Tuesday, January 23, 2024

Issue 4.0 - RZ/DP Resubmission

(DRAWING)

A-0.100

133 ST SURREY, BC

Project No. 22592
Date: January 23, 2024
Issue: 4.0 Reasoning / DP

PROJECT SUMMARY:

PROJECT NAME: CITY CENTRE EAST - 133 ST SURREY, BC

PROJECT OWNER/DEVELOPER: Zenterra Developments Ltd
4216 - 2630 Croydon Drive, Surrey, BC, V3Z 6T3
T: 778.945.2009

PROJECT ARCHITECT: Steve Wall, Integra Architecture Inc., 2330 - 200 Granville Street, Vancouver, BC, V6C 1S4
T: 604.688.4220

PROJECT ADDRESS: 10068/10078/10088/10098 133 Street, Surrey, BC

LEGAL DESCRIPTION: Lot 25, 26 and 27 Plan 20923
Lot 160, Plan 42263, All of section 27, Block 5 North
Lot 23, Block 13614, Sec 27, Range 2, Plan NWP20923 NWD

ZONING:

Existing Zoning: R1
Proposed Zoning: CD (Based on RM-135)
NCP designation: N/A
OGP designation: Multiple Residential
Applicable Plans: Surrey City Centre Plan - West Village

SITE AREA:

Gross site area (Existing Lot)*	0.7036 Acres	Total	30,645.52 SF	2,847.03 m ²
Land Set Aside for Neighbouring Development (RF-13 Lot 2)	0.0816 Acres	Total	3,555.97 SF	330.36 m ²
Development Gross Area (Lot 1)**	0.6219 Acres	Total	27,089.25 SF	2,516.67 m ²
Estimated Dedications*	0.0005 Acres	Total	3,588.42 SF	329.94 m ²
Land purchase	0.2005 Acres	Total	1,339.81 SF	123.55 m ²
Total Net site area*	0.9719 Acres	Total	24,910.67 SF	2,314.28 m ²

* BASED ON CURRENT PROPERTY LINES - To be confirmed by survey

** Development Gross Area is the existing site minus the set aside land to generate the permitted FAR

TOTAL GFCA:

Building	No. Res. Units	GROSS FLOOR AREA (SF)	GROSS FLOOR AREA (m ²)	COMMON AREAS	FLOOR AREA NET (SF)	NET FLOOR AREA (m ²)
LEVEL P2*	0	23,516.87	2,184.76	0.00	23,516.87	2,184.76
LEVEL P1*	0	23,516.87	2,184.76	0.00	23,516.87	2,184.76
TOTAL AREA BELOW GRADE*	0	47,033.74	4,369.52	0.00	47,033.74	4,369.52
LEVEL 1	13	11,175.18	1,037.93	3,407.27	7,767.91	713.95
LEVEL 2	17	11,610.90	1,076.89	1,336.55	10,274.35	954.52
LEVEL 3	17	11,610.90	1,076.89	1,336.55	10,274.35	954.52
LEVEL 4	17	11,610.90	1,076.89	1,336.55	10,274.35	954.52
LEVEL 5	17	11,610.90	1,076.89	1,336.55	10,274.35	954.52
LEVEL 6	17	11,610.90	1,076.89	1,336.55	10,274.35	954.52
TOTAL AREA ABOVE GRADE	98	69,226.66	6,431.37	10,170.02	59,056.64	5,486.54

FLOOR AREA RATIO: (Based off of "TOTAL AREA ABOVE GRADE")

Gross Floor Area Proposed	69,226.66 SF	6,431.37 m ²
FAR Exclusions	1,603.19 SF	148.94 m ²

Proposed FAR (Calculated on Gross Area)	2.50 FAR	67,623.47 SF	6,282.43 m ²
Permitted FAR Maximum	2.50 FAR	67,723.13 SF	6,291.68 m ²

Proposed FAR (Calculated on Net Area)	2.71 FAR	67,623.47 SF	6,282.43 m ²
Permitted FAR Maximum	2.50 FAR	62,276.68 SF	5,785.69 m ²

Unit Areas (Measured area to exterior wall included)

Unit Types	Unit Area								Total	Unit Area		Min. Balcony Area		Total Unit Area		% of all Units
	1st	2nd	3rd	4th	5th	6th	7th	8th		SF	m ²	SF	m ²	SF	m ²	
UNIT A2	0	1	1	1	1	1	1	1	5	395.79	36.77	49.50	4.60	1,978.95	183.85	5.1%
UNIT A3	0	1	1	1	1	1	1	1	5	458.91	42.38	49.50	4.60	2,279.55	211.78	5.1%
UNIT A3*	1	0	0	0	0	0	0	1	447.05	41.53	49.50	4.60	447.05	41.53	1.0%	
UNIT A5 - ADAPTABLE	0	1	1	1	1	1	1	1	5	534.37	49.64	49.50	4.60	2,671.85	248.22	5.1%
UNIT A5* - ADAPTABLE	0	1	1	1	1	1	1	1	5	527.72	49.03	49.50	4.60	2,638.60	245.13	5.1%
UNIT A0	1	1	1	1	1	1	1	1	6	521.97	48.49	49.50	4.60	3,131.62	290.95	6.1%
UNIT A1	0	4	4	4	4	4	4	20	552.39	51.32	49.50	4.60	11,047.80	1,026.37	20.4%	
UNIT A1*	4	0	0	0	0	0	0	4	527.69	49.02	49.50	4.60	2,110.76	196.09	4.1%	
UNIT A1**	1	0	0	0	0	0	0	1	531.78	49.49	49.50	4.60	531.78	49.49	1.0%	
AAS	0	1	1	1	1	1	1	1	5	507.76	47.39	49.50	4.60	2,731.65	253.78	5.1%
UNIT A43*	1	0	0	0	0	0	0	1	513.77	47.73	49.50	4.60	513.77	47.73	1.0%	
UNIT A45	0	1	1	1	1	1	1	1	5	524.92	48.77	49.50	4.60	2,624.60	243.83	5.1%
UNIT A45*	1	1	1	1	1	1	1	1	6	540.99	50.26	49.50	4.60	3,245.94	301.56	6.1%
UNIT C*	0	1	1	1	1	1	1	1	5	751.50	69.82	49.50	4.60	3,757.50	349.08	5.1%
UNIT C1	1	1	1	1	1	1	1	1	6	730.59	67.87	49.50	4.60	4,383.54	407.24	6.1%
UNIT C2	0	1	1	1	1	1	1	1	5	692.10	62.98	49.50	4.60	4,660.50	416.39	5.1%
UNIT C2**	1	0	0	0	0	0	0	1	776.34	72.31	49.50	4.60	776.34	72.31	1.0%	
UNIT C3	1	1	1	1	1	1	1	1	6	789.36	73.39	49.50	4.60	4,739.76	440.33	6.1%
UNIT C4	0	1	1	1	1	1	1	1	5	841.98	78.22	49.50	4.60	4,209.90	391.11	5.1%
UNIT C4*	1	0	0	0	0	0	0	1	831.45	77.24	49.50	4.60	4,571.45	421.45	1.0%	
Total	13	17	17	17	17	17	17	98	12,236.6	1,136.81	990.00	91.97	69,115.11	5,491.93	100%	

603.22 Average Unit size

Studio Unit	Number of Units	Total Unit Area		% of all Units	% Of Area
		SF	m ²		
Studio Unit	5	1,978.95	183.85	5%	3%
1 Bedroom Unit	16	8,037.05	746.66	16%	14%
1 Bedroom + Nook Units	43	23,206.47	2,155.93	44%	39%
1 Bedroom + Den Units	5	2,731.65	253.78	5%	5%
2 Bedroom Units	18	13,689.14	1,268.97	18%	23%
3 Bedroom Units	11	9,501.85	882.74	11%	16%
Total Unit Areas (Sellable)	98	69,115.11	5,491.93	100%	100%

ADAPTABLE UNITS:

REQUIRED	10%	10 units
PROVIDED	10%	10 units

INDOOR AMENITY:

REQUIRED (minimum as per General Provisions Part 4 (B) 1.(b) before cash in lieu)				
REQUIRED	98 Units @	3.00 Sqm per Unit	3163.44 SF	294.00 m ²
PROVIDED	98 Units @	3.00 Sqm per Unit	1,277.70 SF	148.83 m ²

OUTDOOR AMENITY:

REQUIRED	98 Units @	3.00 Sqm per Unit	3163.44 SF	294.00 m ²
PROVIDED	98 Units @	3.46 Sqm per Unit	3650.02 SF	339.22 m ²
OUTDOOR AMENITY AREA			3089.96 SF	287.16 m ²
PUBLIC PLAZA			560.16 SF	52.06 m ²

PARKING REQUIRED:

Resident Parking	98 Units @	0.90 Stalls per Unit	88
Visitor Parking	98 Units @	0.10 Stalls per Unit	10
Total Parking Required:	98 Units @	1.00 Stalls per Unit	98

PARKING PROVIDED:

Resident Parking	98 Units @	0.90 Stalls per Unit	88
Visitor Parking	98 Units @	0.10 Stalls per Unit	10
Total Parking Provided:	98 Units @	1.00 Stalls per Unit	98

H/C Parking Required:	2
50% of required H/C parking are required to be Van Accessible stalls	
H/C Parking Provided:	3

Small Cars Allowed (35%)	34	35%
Small Cars Provided:	23	23%

LOADING REQUIRED:

LOADING REQUIRED:	NONE
-------------------	------

BICYCLE PARKING:

Class I (Visitor)			
Bike parking required	1.80m x 1.20m	6 Spaces	
Bike parking proposed	1.80m x 1.20m	6 Spaces	
Class II			
Bike parking required	1.2Unit	118 Spaces	
Bike parking proposed		118 Spaces	0
Horizontal spaces	1.80m x 0.60m	79 Spaces	
Vertical spaces	0.90m x 0.60m	39 Spaces	

BUILDING SITE COVERAGE:

Proposed Building Coverage:	11786.83 SF	1092.25 m ²
% of Gross Site Area	38.30%	
% of Net Site Area	47.20%	

BUILDING SETBACKS:

West	Front (133 Street)	4.5m
North	Side (Lane)	4.5m
East	Rear (Adjacent Property)	3.0m
South	Side (Adjacent Property)	3.0m

West: **Reduced setbacks to permit entry canopy & balconies (2.37 m)
West: **Reduced setbacks to permit roof (2.76 m)

BUILDING HEIGHT:

Proposed Height	8 storeys/ 19.96 m
Average Height (Refer to L2 Coverage Plan)	96.94 m

Notes:

Note 1: Final areas to be confirmed.
Note 2: Unit areas are measured to the center of partywalls and to the exterior of sheathing of exterior walls.
Note 3: The proposed FSR excludes all parking areas, service spaces, parking exits and overhead lighting.



VIEW LOOKING FROM SOUTH-EAST



VIEW LOOKING FROM NORTH-EAST



VIEW LOOKING FROM NORTH-WEST



VIEW LOOKING FROM SOUTH-WEST



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[PROJECT TEAM]



[CLIENT]

Zenterra Developments

[PROJECT]

10068/ 10078/ 10088/
10098 133 Street,
Surrey, BC, V3T 3Y5

[TITLE]
**Existing Context
- Aerial
Perspective**

[PROJECT]
2292

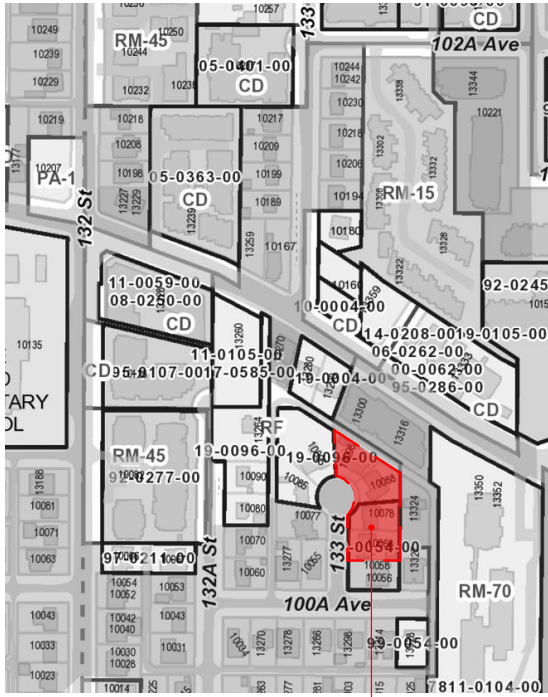
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Tuesday, January 23, 2024

[ISSUE]
Issue 4.0 - RZ/DP Resubmission

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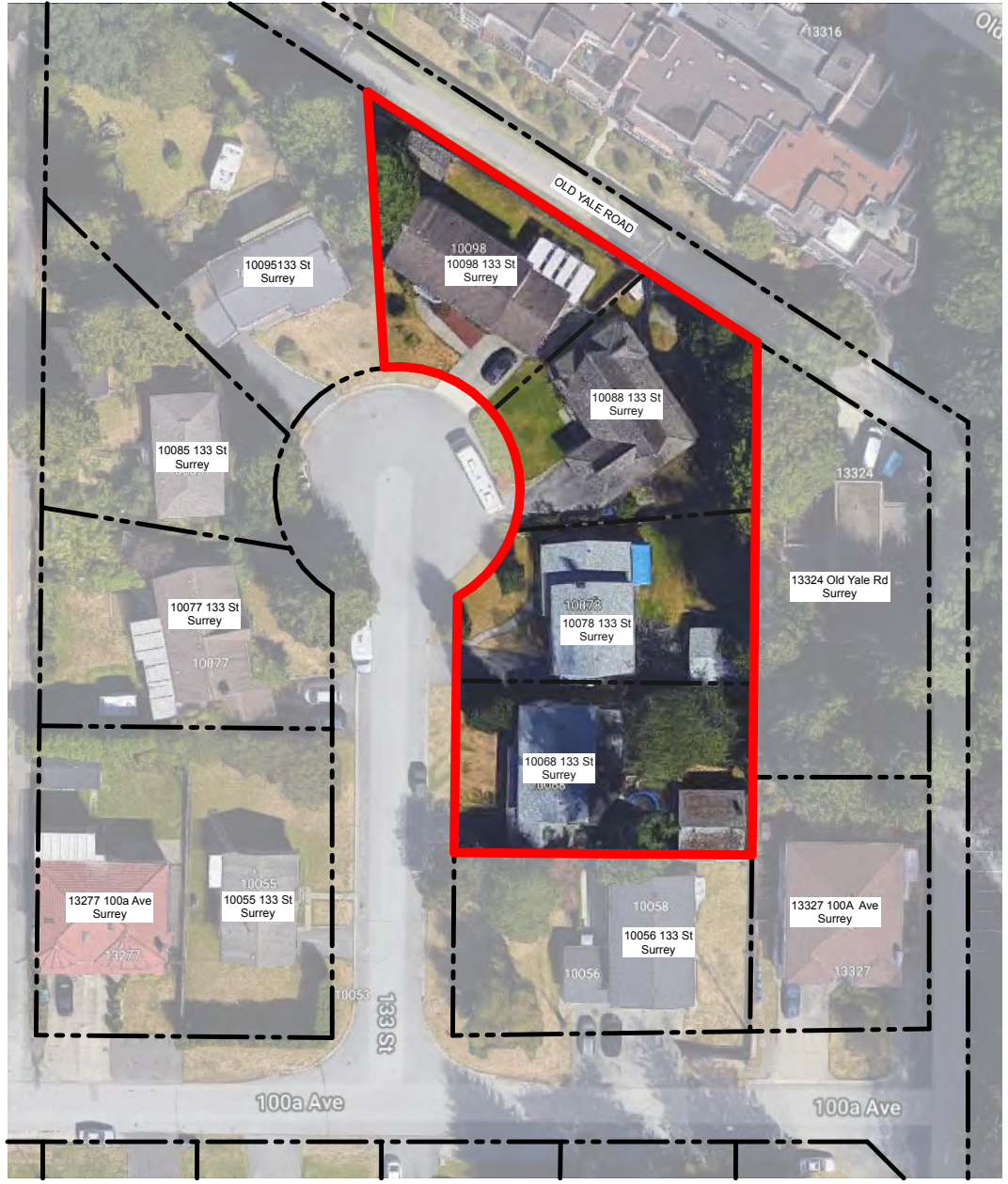
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PROJECT SITE
10068, 10076, 10088, 10098
- 133 St, Surrey, BC

PROJECT SITE
10068, 10076, 10088, 10098
- 133 St, Surrey, BC

PROJECT SITE
10068, 10076, 10088, 10098
- 133 St, Surrey, BC



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Zenterra Developments

(PROJECT)

10068/ 10078/ 10088/
10098 133 Street,
Surrey, BC, V3T 3Y5

(TITLE)

**Existing Context
and OCP - Site**

22592 (PROJECT)

(SCALE)

(DATE)

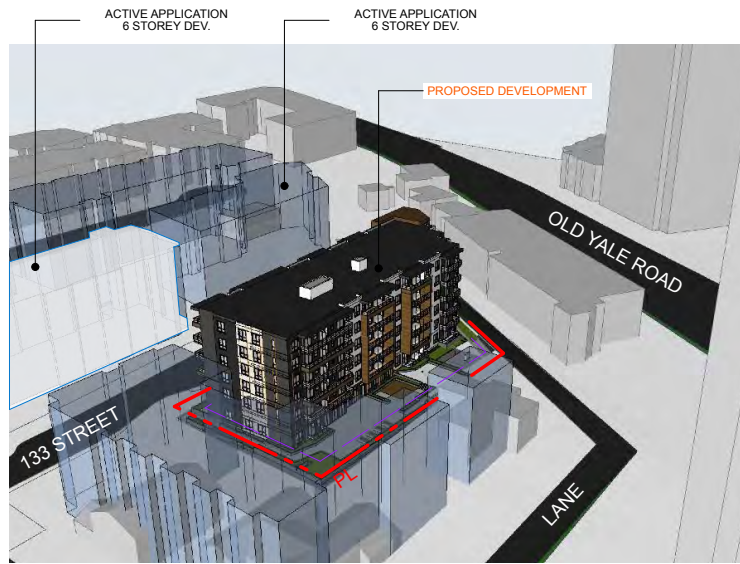
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Looking North West



Looking North East



Looking South West



Looking South East



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(TITLE)

Context 3D
Aerial

(PROJECT)

22592

(SCALE)

(DATE)

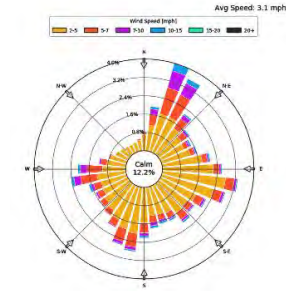
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(ISSUE)

Issue 4.0 - RZ/DP Resubmission

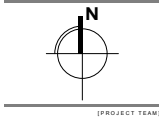
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**Context - Site
Analysis**

22592 [PROJECT]

[SCALE]

Tuesday, January 23, 2024 [DATE]

Issue 4.0 - RZ/DP Resubmission [REVISION]

[DRAWING]

A-0.205

200 m

500 m

1000 m

Local Amenities

Educational
SFU, Kwantlen Park Secondary, Queen Elizabeth Secondary, Old Yale Road Elementary, A H P Matthew Elementary

Civic
Holland Park, City Center Library, Surrey Memorial Hospital, Surrey City Hall, Central City mall

Transport
Surrey Central Transport Hub



EAST 3RD-NORTH VANCOUVER, BC



LONSDALE- NORTH VANCOUVER, BC



SFU-BURNABY, BC



CITY CENTRE / 100A AVE & 133 ST - SURREY, BC



DOMINION- NEW WESTMINSTER, BC



FUSION- SURREY, BC



CARDINAL- COQUITLAM, BC



THE SHORE- NORTH VANCOUVER, BC



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[TITLE]

Concept Imagery

[PROJECT]

22592

[SCALE]

[DATE]

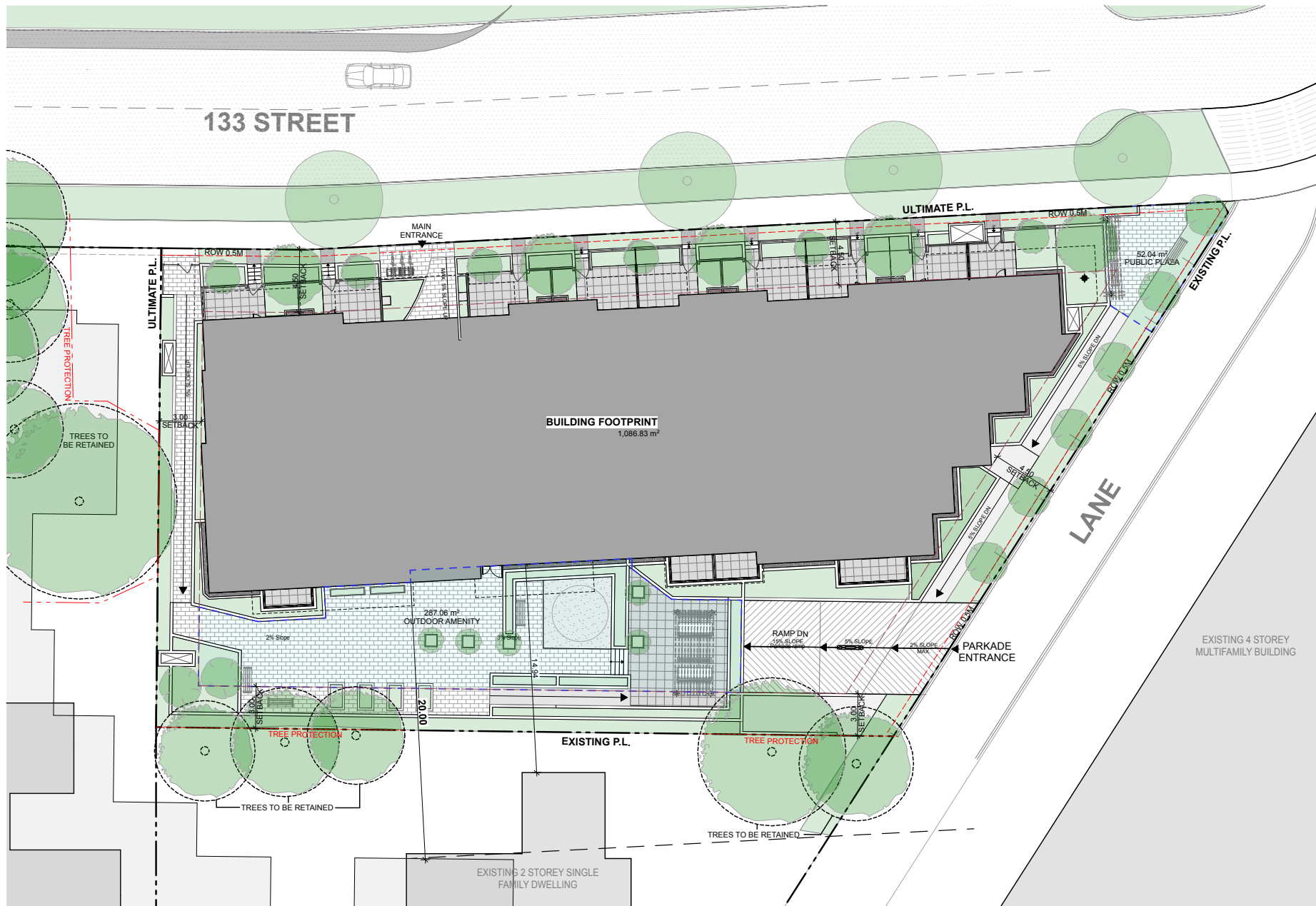
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[REVISION]

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[DRAWING]

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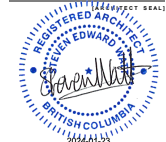
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(CLIENT)

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(PROJECT)

10068/ 10078/ 10088/
 10098 133 Street,
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(TITLE)

Lot Coverage

22592 (PROJECT)

1:250 (SCALE)

Tuesday, January 23, 2024 (DATE)

Issue 4.0 - RZ/DP Resubmission (REVISION)

(DRAWING)

A-1.400

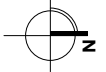


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10068/ 10078/ 10088/
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Surrey, BC, V3T 3Y5

(TITLE)

Level 1 Floor Plan

22592 (PROJECT)

1:250 (SCALE)

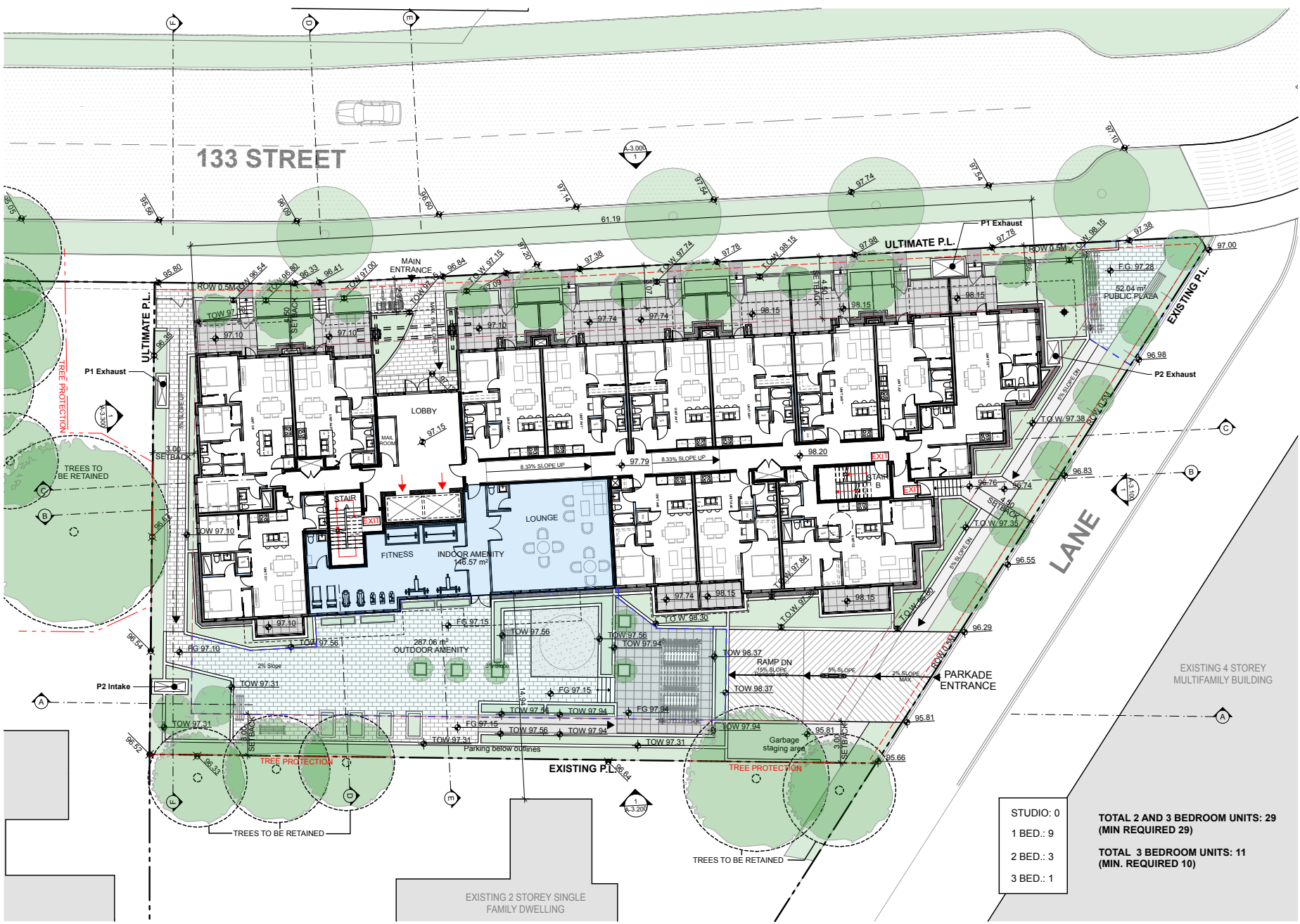
(DATE)

Tuesday, January 23, 2024 (ISSUE)

Issue 4.0 - RZ/DP Resubmission (REVISION)

(DRAWING)

A-2.200



STUDIO: 0
1 BED: 9
2 BED: 3
3 BED: 1

TOTAL 2 AND 3 BEDROOM UNITS: 29 (MIN REQUIRED 29)
TOTAL 3 BEDROOM UNITS: 11 (MIN. REQUIRED 10)

EXISTING 2 STOREY SINGLE FAMILY DWELLING

EXISTING 4 STOREY MULTIFAMILY BUILDING

Material and Colour Legend

Colour	Product (to match)	Finish (to match)	Location
CLADDING			
1.1	Gray	Interstate Brick (DLI or similar)	X Exterior walls
1.2	Night Gray	Lap Siding w/ 4" Exposure (James Hardie or similar)	X Exterior walls
1.3	Arctic White	Lap Siding w/ 4" Exposure (James Hardie or similar)	X Exterior walls
1.4	Arctic White	Fiber Cement Panel (James Hardie or similar)	X Exterior walls
1.5	Night Gray	Fiber Cement Panel (James Hardie or similar)	X Exterior walls
1.6	Cedar	Cementitious Board - Cedar (Alura or similar)	X Exterior walls
1.7	Gray	Cast in place Raw Concrete	X Exterior walls
SOFFIT			
2.1	Cedar	Cementitious Board - Cedar Soffit (Alura or similar)	1.5 Feature Soffit

TRIMS / FLASHINGS			
3.1	Charcoal	Combed Face Wood / Flashing	5.1 Flashings
3.2	Charcoal	Charcoal Powder coated Aluminum Matt	5.1
ROOFS / DECKS			
4.1	Charcoal	Charcoal Powder coated Aluminum Matt	1.5 Roof / Overhangs / Flashings
WINDOWS / GLAZING			
5.1	Black	Vinyl Windows	X Prefinished vinyl windows
5.2	Black	Railings	X Charcoal railings w/ clear glazing
FEATURE WOOD			
6.1	Cedar	Feature Wood Beam	Cedar Solid Stain Exposed wood structure to entry
6.2	Charcoal	Painted Wood	5.1 Exterior Columns



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(PROJECT)

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(TITLE)

**Building
Elevation - West**

22592 (PROJECT)

1:250 (SCALE)

Tuesday, January 23, 2024 (DATE)

Issue 4.0 - RZ/DP Resubmission (REVISION)

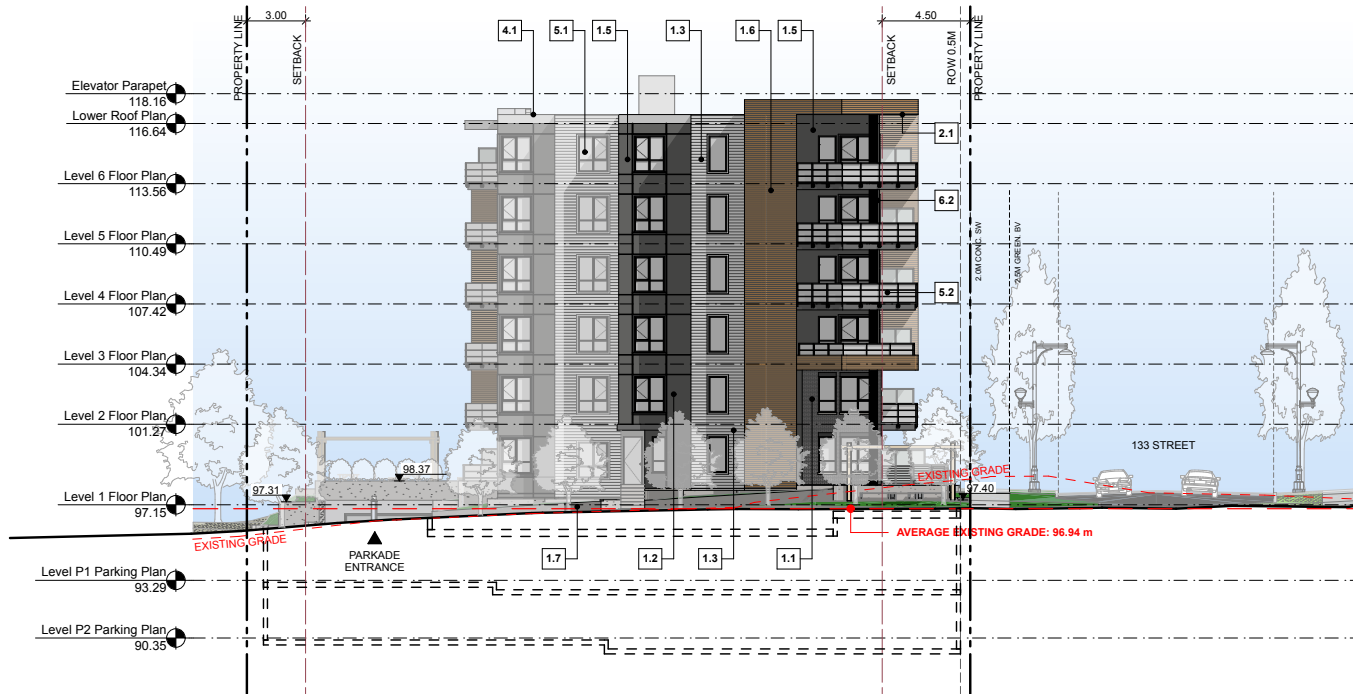
(DRAWING)

A-3.000

Material and Colour Legend

1.0	Colour	Product (to match)	Finish (to match)	Location
C L A D D I N G				
1.1	Gray	Interstate Brick (DLI or similar)	X	Exterior walls
1.2	Night Gray	Lap Siding w/ 4" Exposure (James Harde or similar)	X	Exterior walls
1.3	Arctic White	Lap Siding w/ 4" Exposure (James Harde or similar)	X	Exterior walls
1.4	Arctic White	Fiber Cement Panel (James Harde or similar)	X	Exterior walls
1.5	Night Gray	Fiber Cement Panel (James Harde or similar)	X	Exterior walls
1.6	Cedar	Cementitious Board - Cedar (Alura or similar)	X	Exterior walls
1.7	Gray	Cast in place Raw Concrete	X	Exterior walls
S O F F I T				
2.1	Cedar	Cementitious Board - Cedar Soffit (Alura or similar)	1.5	Feature Soffit

3.0	T R I M S / F L A S H I N G S			
3.1	Charcoal	Combed Face Wood / Flashing	5.1	Flashings
3.2	Charcoal	Charcoal Powder coated Aluminum Matt	5.1	
4.0	R O O F S / D E C K S			
4.1	Charcoal	Charcoal Powder coated Aluminum Matt	1.5	Roof / Overhangs / Flashings
5.0	W I N D O W S / G L A Z I N G			
5.1	Black	Vinyl Windows	X	Prefinished vinyl windows
5.2	Black	Railings	X	Charcoal railings w/ clear glazing
6.0	F E A T U R E W O O D			
6.1	Cedar	Feature Wood Beam	Cedar Solid Stain	Exposed wood structure to entry
6.2	Charcoal	Painted Wood	5.1	Exterior Columns



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[PROJECT TEAM]



Zenterra Developments

[PROJECT]

10068/ 10078/ 10088/
10098 133 Street,
Surrey, BC, V3T 3Y5

[TITLE]

Building Elevation - North

22592 [PROJECT]

1:250 [SCALE]

Tuesday, January 23, 2024 [DATE]

Issue 4.0 - RZ/DP Resubmission [REVISION]

[DRAWING]

A-3.100

Material and Colour Legend

Colour	Product (to match)	Finish (to match)	Location
C L A D D I N G			
1.1 Gray	Interstate Brick (DL or similar)	X	Exterior walls
1.2 Night Gray	Lap Siding w/ 4" Exposure (James Harde or similar)	X	Exterior walls
1.3 Arsic White	Lap Siding w/ 4" Exposure (James Harde or similar)	X	Exterior walls
1.4 Arsic White	Fiber Cement Panel (James Harde or similar)	X	Exterior walls
1.5 Night Gray	Fiber Cement Panel (James Harde or similar)	X	Exterior walls
1.6 Cedar	Cementitious Board - Cedar (Alura or similar)	X	Exterior walls
1.7 Gray	Cast in place Raw Concrete	X	Exterior walls
S O F F I T			
2.1 Cedar	Cementitious Board - Cedar Soffit (Alura or similar)	1.5	Feature Soffit

T R I M S / F L A S H I N G S			
3.1 Charcoal	Combed Face Wood / Flashing	5.1	Flashings
3.2 Charcoal	Charcoal Powder coated Aluminum Matt	5.1	
R O O F S / D E C K S			
4.1 Charcoal	Charcoal Powder coated Aluminum Matt	1.5	Roof / Overhangs / Flashings
W I N D O W S / G L A Z I N G			
5.1 Black	Vinyl Windows	X	Prefinished vinyl windows
5.2 Black	Railings	X	Charcoal railings w/ clear glazing
F E A T U R E W O O D			
6.1 Cedar	Feature Wood Beam	Cedar Solid Stain	Exposed wood structure to entry
6.2 Charcoal	Painted Wood	5.1	Exterior Columns



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[PROJECT TEAM]



Zenterra Developments

[PROJECT]

**10068/ 10078/ 10088/
10098 133 Street,
Surrey, BC, V3T 3Y5**

[TITLE]

**Building
Elevation - East**

22592 [PROJECT]

1:250 [SCALE]

Tuesday, January 23, 2024 [DATE]

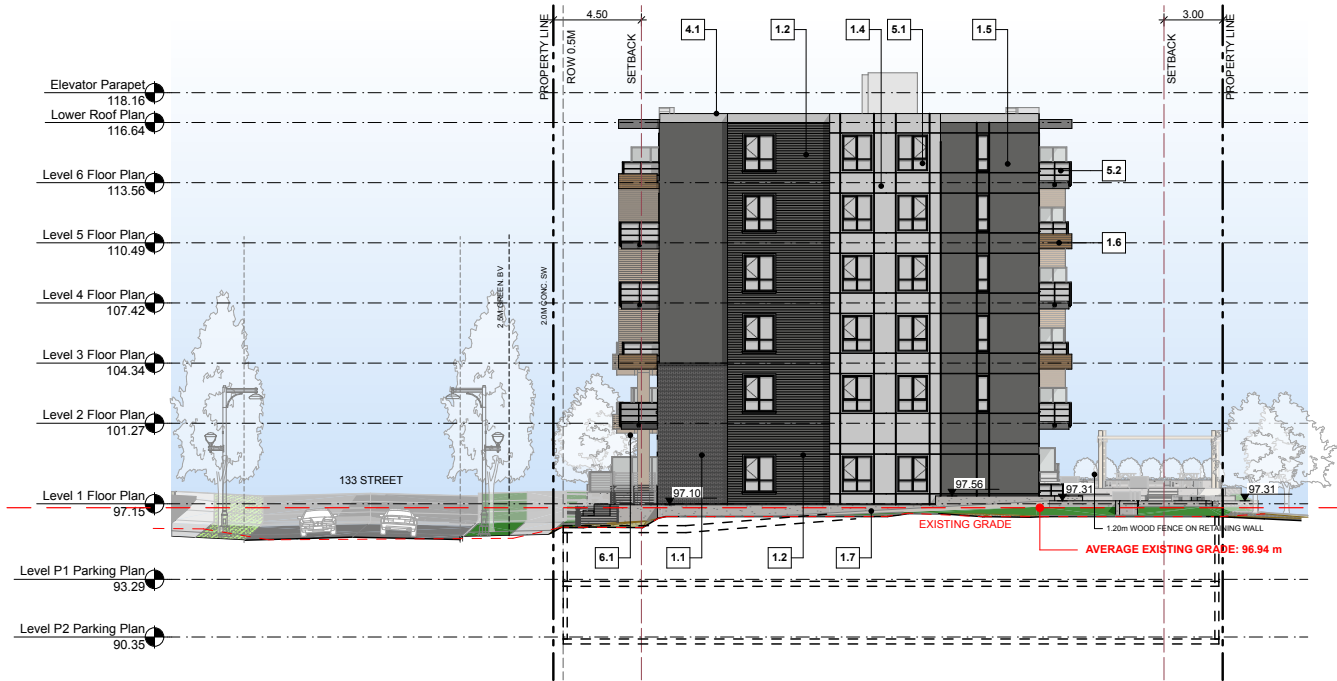
Issue 4.0 - RZ/DP Resubmission [REVISION]

[DRAWING]

A-3.200

Material and Colour Legend			
Colour	Product (to match)	Finish (to match)	Location
1.0 CLADDING			
1.1 Gray	Interstate Brick (DL or similar)	X	Exterior walls
1.2 Night Gray	Lap Siding w/ 4" Exposure (James Harde or similar)	X	Exterior walls
1.3 Artic White	Lap Siding w/ 4" Exposure (James Harde or similar)	X	Exterior walls
1.4 Artic White	Fiber Cement Panel (James Harde or similar)	X	Exterior walls
1.5 Night Gray	Fiber Cement Panel (James Harde or similar)	X	Exterior walls
1.6 Cedar	Cementitious Board - Cedar (Alkura or similar)	X	Exterior walls
1.7 Gray	Cast in place Raw Concrete	X	Exterior walls
2.0 SOFFIT			
2.1 Cedar	Cementitious Board - Cedar Soffit (Alkura or similar)	1.5	Feature Soffit

TRIMS / FLASHINGS			
3.1 Charcoal	Combed Face Wood / Flashing	5.1	Flashings
3.2 Charcoal	Charcoal Powder coated Aluminum Matt	5.1	
ROOFS / DECKS			
4.1 Charcoal	Charcoal Powder coated Aluminum Matt	1.5	Roof / Overhangs / Flashings
WINDOWS / GLAZING			
5.1 Black	Vinyl Windows	X	Prefinished vinyl windows
5.2 Black	Railings	X	Charcoal railings w/ clear glazing
FEATURE WOOD			
6.1 Cedar	Feature Wood Beam	Cedar Solid Stain	Exposed wood structure to entry
6.2 Charcoal	Painted Wood	5.1	Exterior Columns



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**Building
Elevation -
South**

(TITLE)

22592 (PROJECT)

1:250 (SCALE)

Tuesday, January 23, 2024 (DATE)

Issue 4.0 - RZ/DP Resubmission (REVISION)

(DRAWING)

A-3.300



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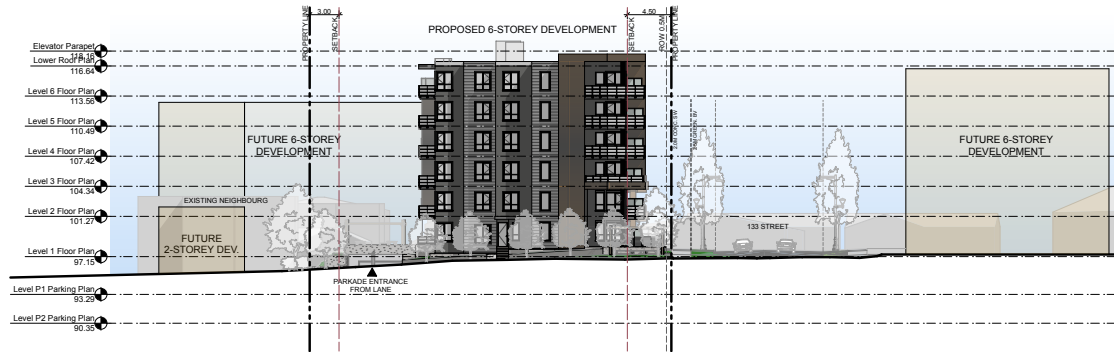
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Building Context Elevation - West



Building Context Elevation - North

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[TITLE]

**Building Context
Elevations**

22592 [PROJECT]

1:800 [SCALE]

Tuesday, January 23, 2024 [DATE]

Issue 4.0 - RZ/DP Resubmission [REVISION]

[DRAWING]

A-3.400

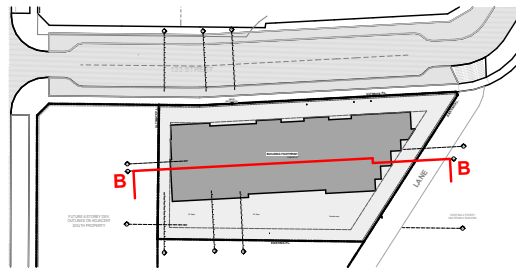
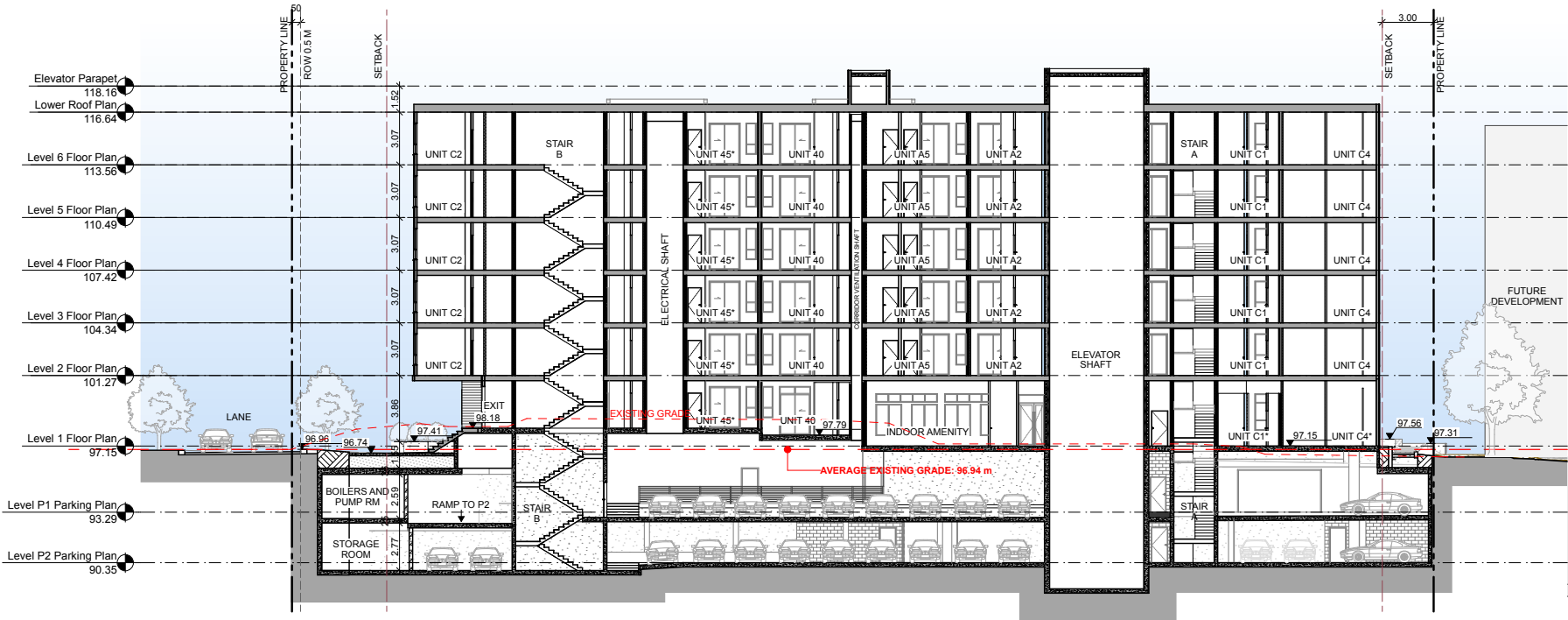


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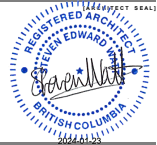
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Key plan

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Zenterra Developments

(PROJECT)

10068/ 10078/ 10088/
10098 133 Street,
Surrey, BC, V3T 3Y5

(TITLE)

Section BB

22592 (PROJECT)

1:250 (SCALE)

Tuesday, January 23, 2024 (DATE)

Issue 4.0 - RZ/DP Resubmission (REVISION)

(DRAWING)

A-4-100

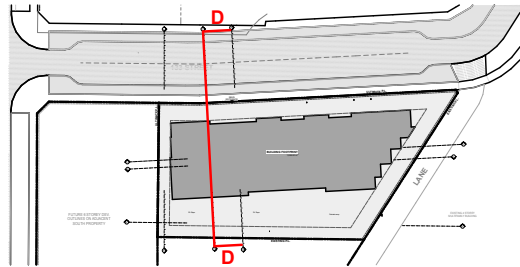
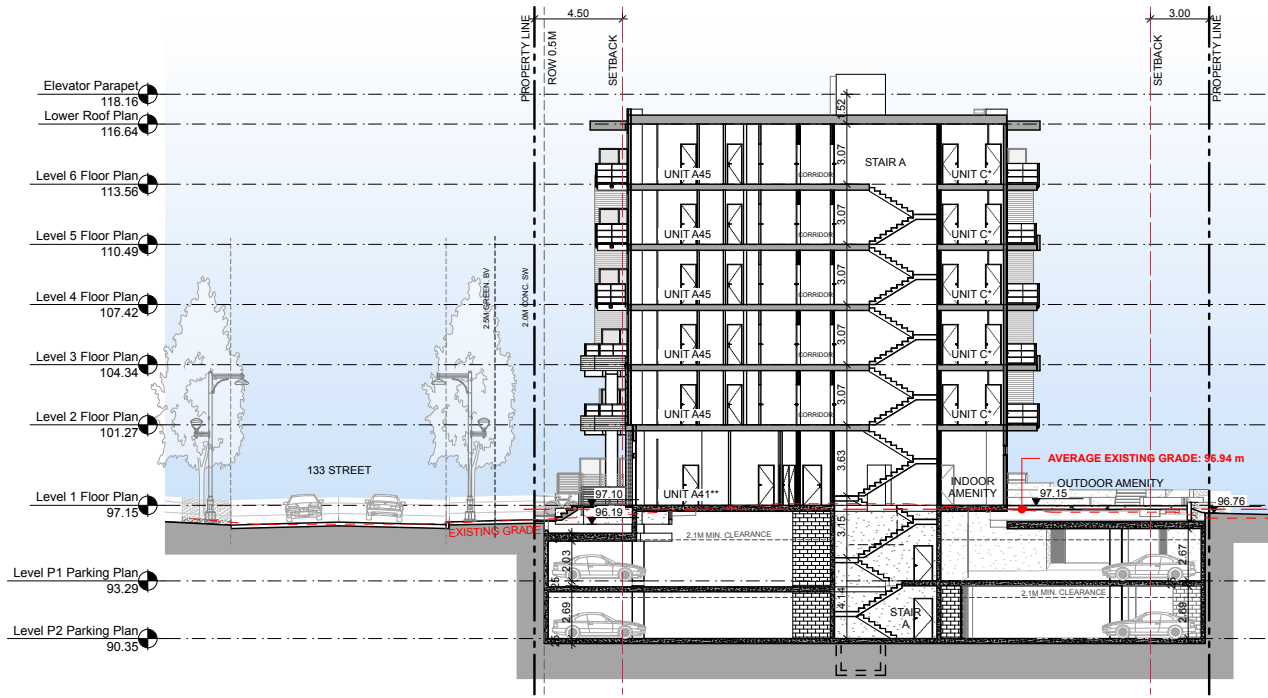


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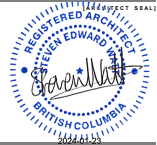
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Key plan

[PROJECT TEAM]



[CLIENT]

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10068/ 10078/ 10088/
10098 133 Street,
Surrey, BC, V3T 3Y5

[TITLE]

Section DD

22592 [PROJECT]

1:250 [SCALE]

Tuesday, January 23, 2024 [DATE]

Issue 4.0 - RZ/DP Resubmission [REVISION]

[DRAWING]

A-4-300

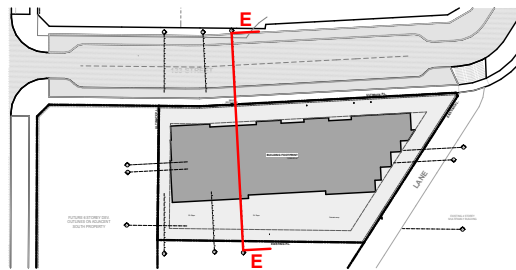
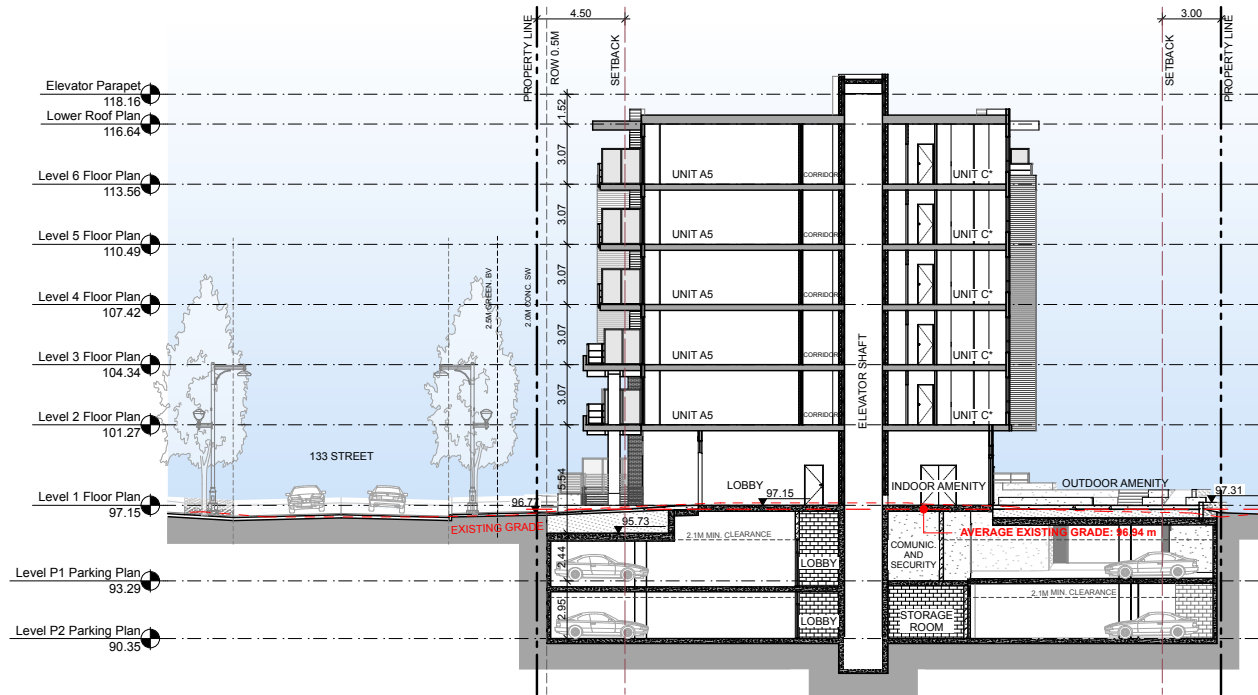


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Key plan

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[PROJECT]

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[TITLE]

Section EE

22592 [PROJECT]

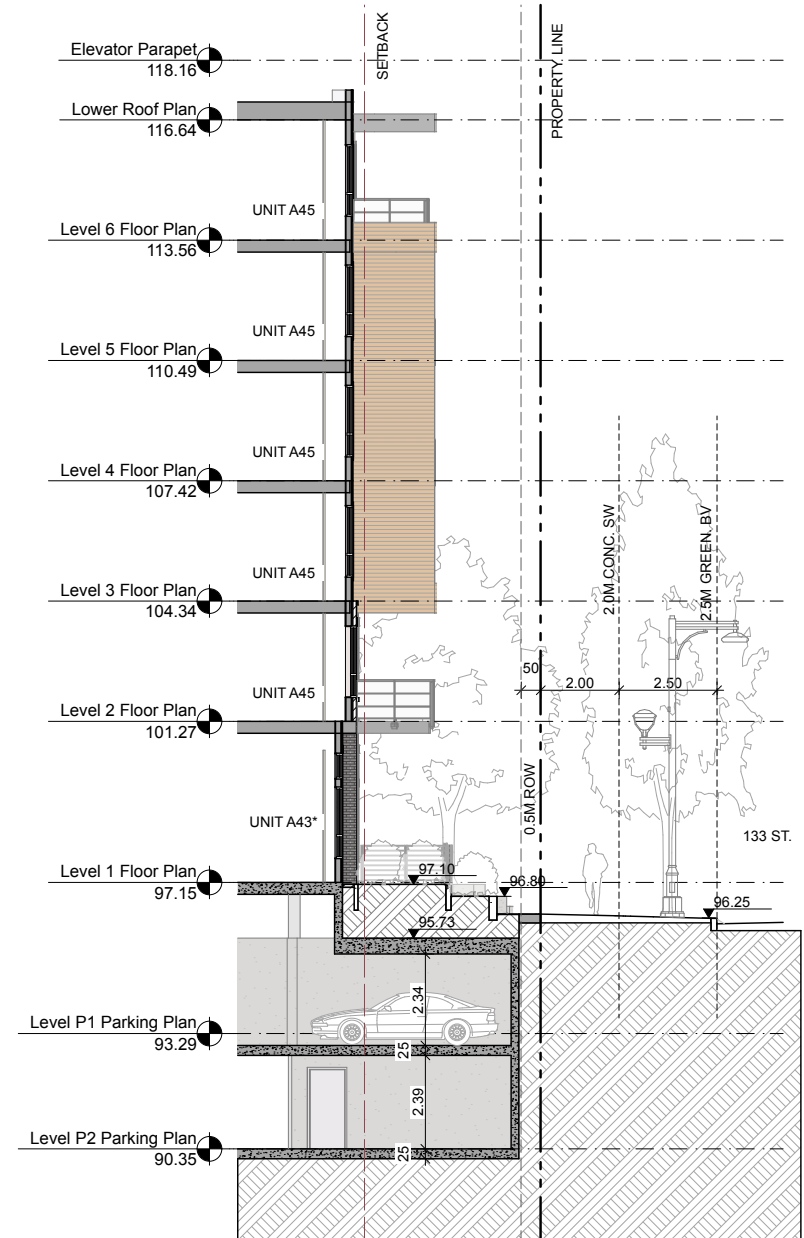
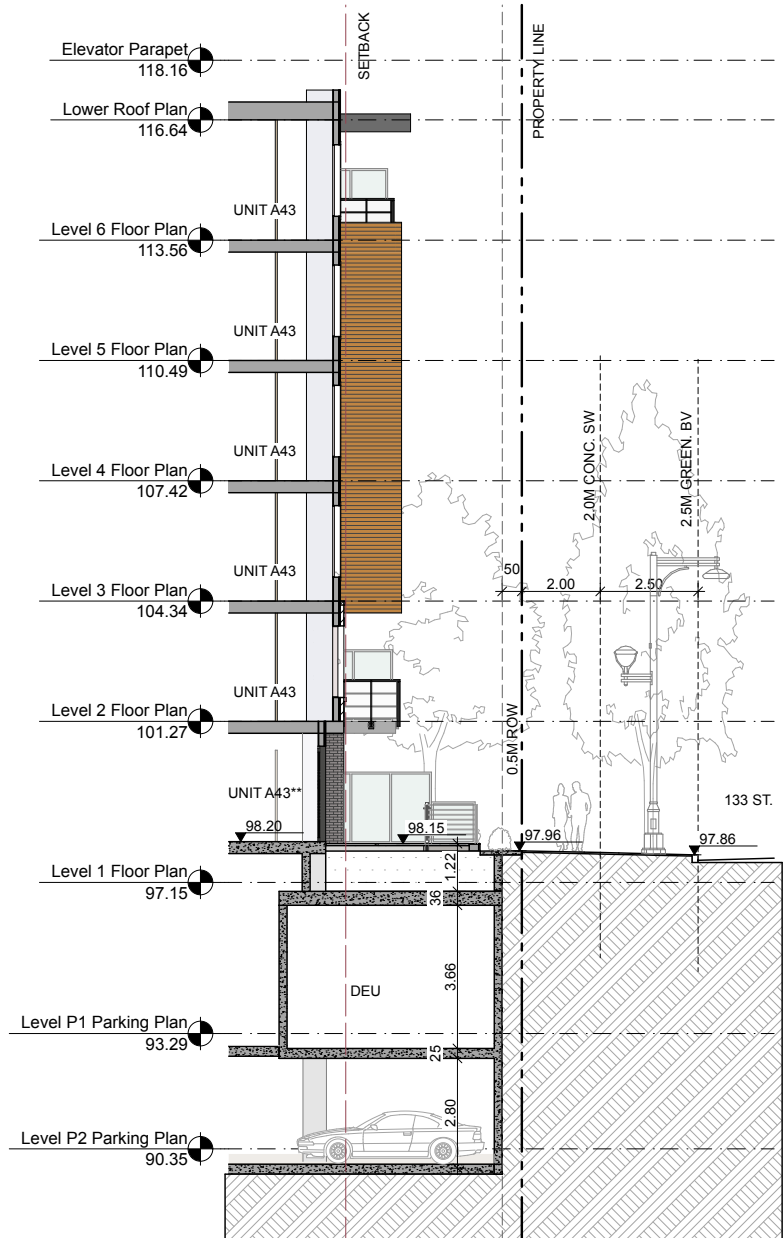
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Tuesday, January 23, 2024 [DATE]

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[DRAWING]

A-4.400



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Zenterra Developments

(PROJECT)

10068/ 10078/ 10088/
 10098 133 Street,
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(TITLE)

Street Realm Sections

22592 (PROJECT)

1:125 (SCALE)

(DATE)

Tuesday, January 23, 2024

(ISSUE)

Issue 4.0 - RZ/DP Resubmission

(DRAWING)

A-4.600

SECTION A1

SECTION A2



South West 3D view



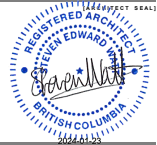
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Zenterra Developments

[PROJECT]

10068/ 10078/ 10088/
 10098 133 Street,
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[TITLE]

South West 3D
 view

22592 [PROJECT]

Not To Scale [SCALE]

Tuesday, January 23, 2024 [DATE]

Issue 4.0 - RZ/DP Resubmission [REVISION]

[DRAWING]

A.5.000



North West 3D view



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10068/ 10078/ 10088/
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[TITLE]

**North West 3D
 view**

22592 [PROJECT]

Not To Scale [SCALE]

Tuesday, January 23, 2024 [DATE]

Issue 4.0 - RZ/DP Resubmission [REVISION]

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A-5.100



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North East 3D view

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[TITLE]

**North East 3D
view**

22592 [PROJECT]

Not To Scale [SCALE]

Tuesday, January 23, 2024 [DATE]

Tuesday, January 23, 2024 [ISSUE]

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A-5-200



3D view from Outdoor Amenity



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10098 133 Street,
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[TITLE]

3D view from
Outdoor Amenity

22592 [PROJECT]

Not To Scale [SCALE]

Tuesday, January 23, 2024 [DATE]

Issue 4.0 - RZ/DP Resubmission [REVISION]

[DRAWING]

A.5.300



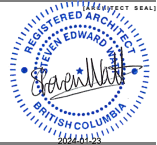
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Zenterra Developments

(PROJECT)

10068/ 10078/ 10088/
10098 133 Street,
Surrey, BC, V3T 3Y5

(TITLE)

Townhouse Expression

22592 (PROJECT)

1:100 (SCALE)

Tuesday, January 23, 2024 (DATE)

Issue 4.0 - RZ/DP Resubmission (REVISION)

(DRAWING)

A-5.400



Townhouse Expression along 133 St.

GATE + RAILING ON
RETAINING WALLS

PLANTERS +
LANDSCAPING ALONG
133 ST

GATE + RAILING ON
RETAINING WALLS



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(PROJECT)

10068/ 10078/ 10088/
10098 133 Street,
Surrey, BC, V3T 3Y5

(TITLE)

Townhouse Expression

22592 (PROJECT)

1:100 (SCALE)

Tuesday, January 23, 2024 (DATE)

Issue 4.0 - RZ/DP Resubmission (REVISION)

(DRAWING)

A-5.401



Townhouse Expression along 133 St.

Material and Colour Legend

CL	Colour	Product (to match)	Finish (to match)	Location
C L A D D I N G				
1.1	Gray	Interstate Brick (IXL or similar)	X	Exterior walls
1.2	Night Gray	Lap Siding w/ 4" Exposure (James Hardie or similar)	X	Exterior walls
1.3	Arctic White	Lap Siding w/ 4" Exposure (James Hardie or similar)	X	Exterior walls
1.4	Arctic White	Fiber Cement Panel (James Hardie or similar)	X	Exterior walls
1.5	Night Gray	Fiber Cement Panel (James Hardie or similar)	X	Exterior walls
1.6	Cedar	Cementitious Board - Cedar (Allura or similar)	X	Exterior walls
1.7	Gray	Cast in place Raw Concrete	X	Exterior walls
S O F F I T				
2.1	Cedar	Cementitious Board - Cedar Soffit (Allura or similar)	1.5	Feature Soffit

TR	Colour	Product (to match)	Finish (to match)	Location
T R I M S / F L A S H I N G S				
3.1	Charcoal	Combed Face Wood / Flashing	5.1	Flashing
3.2	Charcoal	Charcoal Powder coated Aluminum Matt	5.1	
R O O F S / D E C K S				
4.1	Charcoal	Charcoal Powder coated Aluminum Matt	1.5	Roof / Overhangs / Flashings
W I N D O W S / G L A Z I N G				
5.1	Black	Vinyl Windows	X	Prefinished vinyl windows
5.2	Black	Railings	X	Charcoal railings w/ clear glazing
F E A T U R E W O O D				
6.1	Cedar	Feature Wood Beam	Cedar Solid Stain	Exposed wood structure to entry
6.2	Charcoal	Painted Wood	5.1	Exterior Columns



1.1 | Gray | Interstate Brick (IXL or sim.)



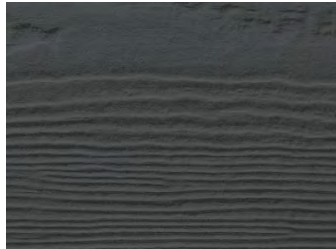
1.4 | Arctic White | Panel (Hardie or sim.)



1.7 | Grey | Cast In Place Concrete



1.2 | Night Gray | Lap Siding (Hardie or sim.)



1.5 | Night Gray | Panel (Hardie or sim.)
6.2 | Night Gray | Panel (Hardie or sim.)



3.2 | Charcoal | Powder Coated Alu. Matt
4.1 | Charcoal | Powder Coated Alu. Matt
7.1 | Charcoal | Painted Wood



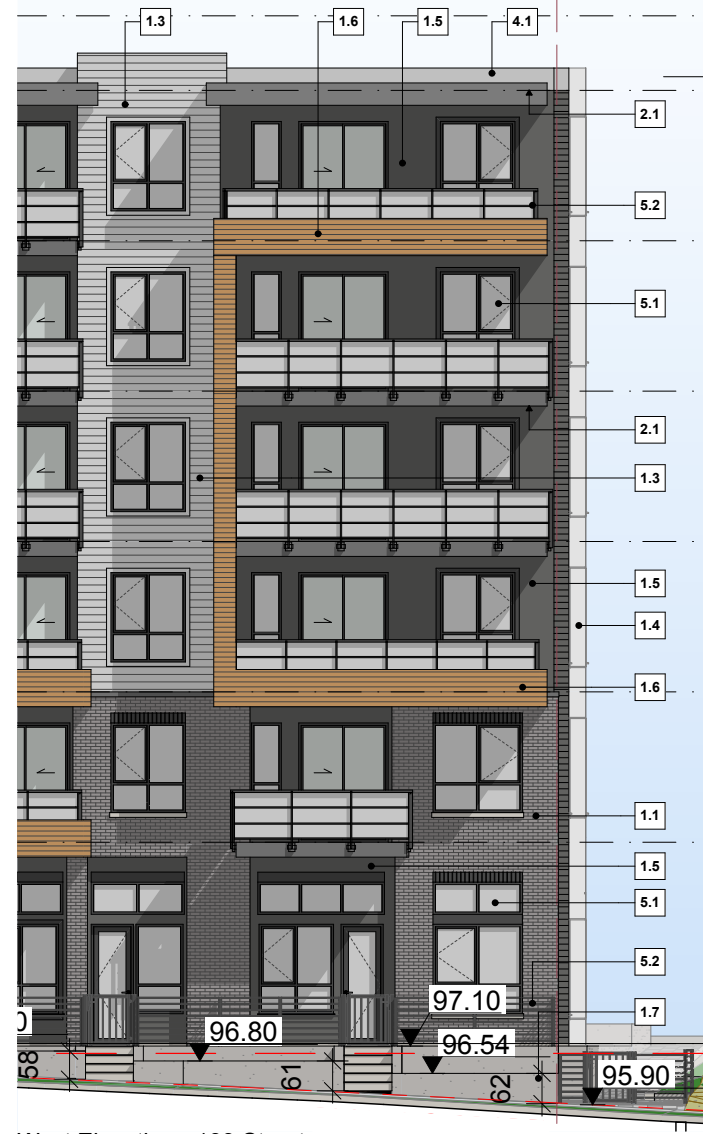
1.3 | Arctic White | Lap Siding (Hardie or sim.)



1.6 | Cedar | Cementitious Board (Allura or sim.)
2.1 | Cedar | Cementitious Board (Allura or sim.)



1.6 | Cedar | Cementitious Board (Allura or sim.)



West Elevation - 133 Street

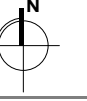


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(CLIENT)

Zenterra Developments

(PROJECT)

10068/ 10078/ 10088/
10098 133 Street,
Surrey, BC, V3T 3Y5

(TITLE)

**Material &
Colours**

22592 (PROJECT)

Not To Scale (SCALE)

Tuesday, January 23, 2024 (DATE)

Issue 4.0 - RZ/DP Resubmission (REVISION)

(DRAWING)

A-5-500

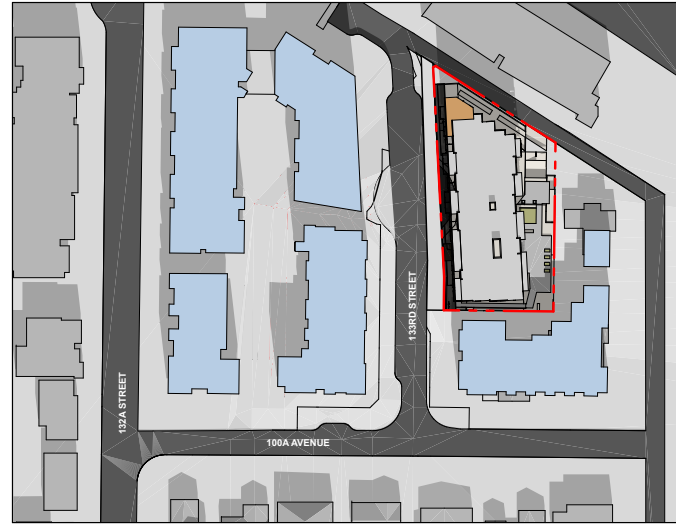
PROPOSED 6 STOREY DEVELOPMENT

FUTURE 6 STOREY DEV. OUTLINES ON ADJACENT WEST PROPERTY

POTENTIAL 6 STOREY DEV. OUTLINES ON ADJACENT SOUTH PROPERTY



MARCH/SEPTEMBER 21ST @ 10 AM



MARCH/SEPTEMBER 21ST @ 12 PM



MARCH/SEPTEMBER 21ST @ 2 PM



MARCH/SEPTEMBER 21ST @ 4 PM



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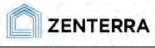
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(TITLE)

Shadow Diagrams

22592 (PROJECT)

Not To Scale (SCALE)

Tuesday, January 23, 2024 (DATE)

Issue 4.0 - RZ/DP Resubmission (REVISION)

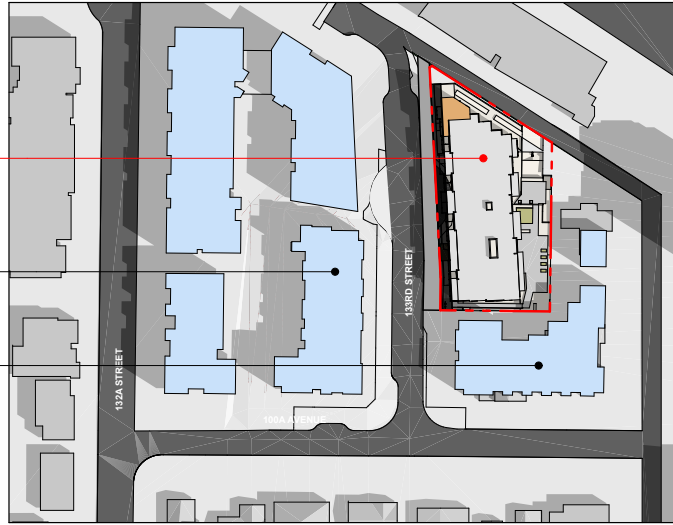
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A-5.600

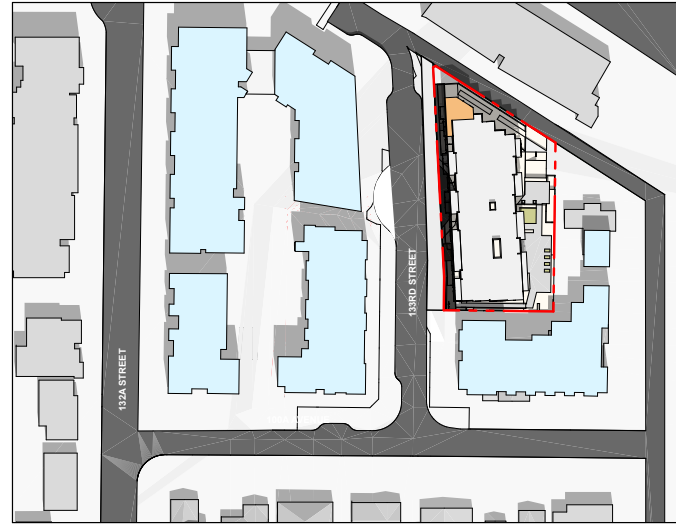
PROPOSED 6 STOREY DEVELOPMENT

FUTURE 6 STOREY DEV. OUTLINES ON ADJACENT WEST PROPERTY

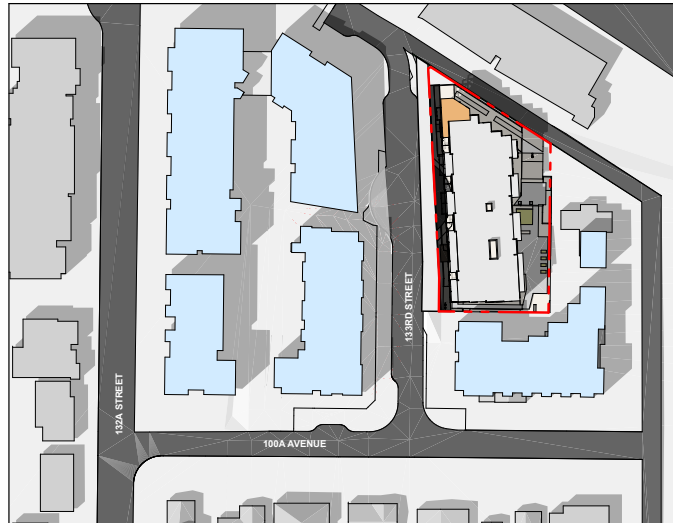
POTENTIAL 6 STOREY DEV. OUTLINES ON ADJACENT SOUTH PROPERTY



JUNE 21ST @ 10 AM



JUNE 21ST @ 12 PM



JUNE 21ST @ 2 PM



JUNE 21ST @ 4 PM

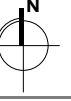


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(PROJECT)

10068/ 10078/ 10088/
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Surrey, BC, V3T 3Y5

(TITLE)

Shadow Diagrams

22592 (PROJECT)

Not To Scale (SCALE)

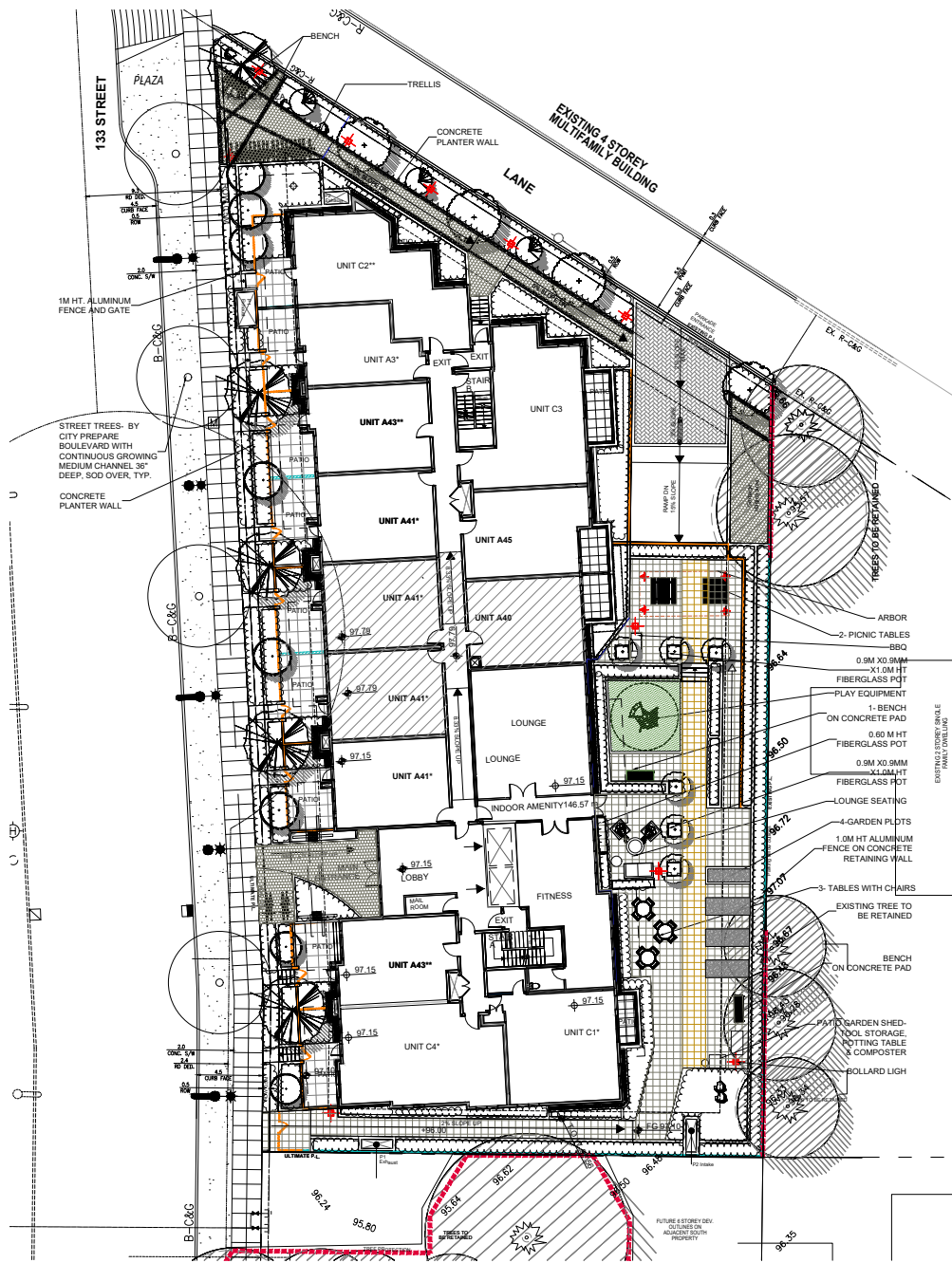
Tuesday, January 23, 2024 (DATE)

Issue 4.0 - RZ/DP Resubmission (REVISION)

(DRAWING)

A-5.601

SEAL:



PLANT SCHEDULE PMG PROJECT NUMBER: 22-044

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
5	5	ACER PALMATUM	JAPANESE MAPLE	6CM CAL, 2M HT, B&B
8	8	ACER PALMATUM 'TWOMBLY'S RED SENTINEL'	COLUMNAR RED JAPANESE MAPLE	5CM CAL, 2.5M HT, B&B
4	4	MAGNOLIA KOBUS STELLATA 'PINK STAR'	PINK STAR MAGNOLIA (LIGHT PINK)	5CM CAL, 1.8M STD, B&B
3	3	PICEA OMORICA 'BRUNO'	BRUNO'S SERBIAN SPRUCE	3M HT, B&B
5	5	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	2.5M HT, 1.0M STD, B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ODLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFERS TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAHJAN AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE:
* PROVIDE DESIGNED BUILD HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM TO I.L.A.B.C. STANDARDS TO ALL SOFT LANDSCAPE AREAS.
SHOP DRAWINGS O BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



NO.	DATE	REVISION DESCRIPTION	DR.
1	24 JAN 21	NEW SITE PLAN	DO
2	23 SEP 21	REVISION AS PER CITY COMMENTS	DO*
3	23 NOV 25	DP REVISIONS	DO
4	23 NOV 25	NEW SITE PLAN	DO
5	23 NOV 25	NEW CITY PLAN COMMENTS	DO*
6	23 SEP 21	REVISION AS PER CITY COMMENTS	DO
7	23 MAY 20	ISSUED FOR OP	DO

NO. DATE REVISION DESCRIPTION DR.



PROJECT:
6-STORY RESIDENTIAL DEVELOPMENT
10068-10098 133 Street,
SURREY
City of Surrey Project No.:
7923 0185 00
DRAWING TITLE:
LANDSCAPE PLAN

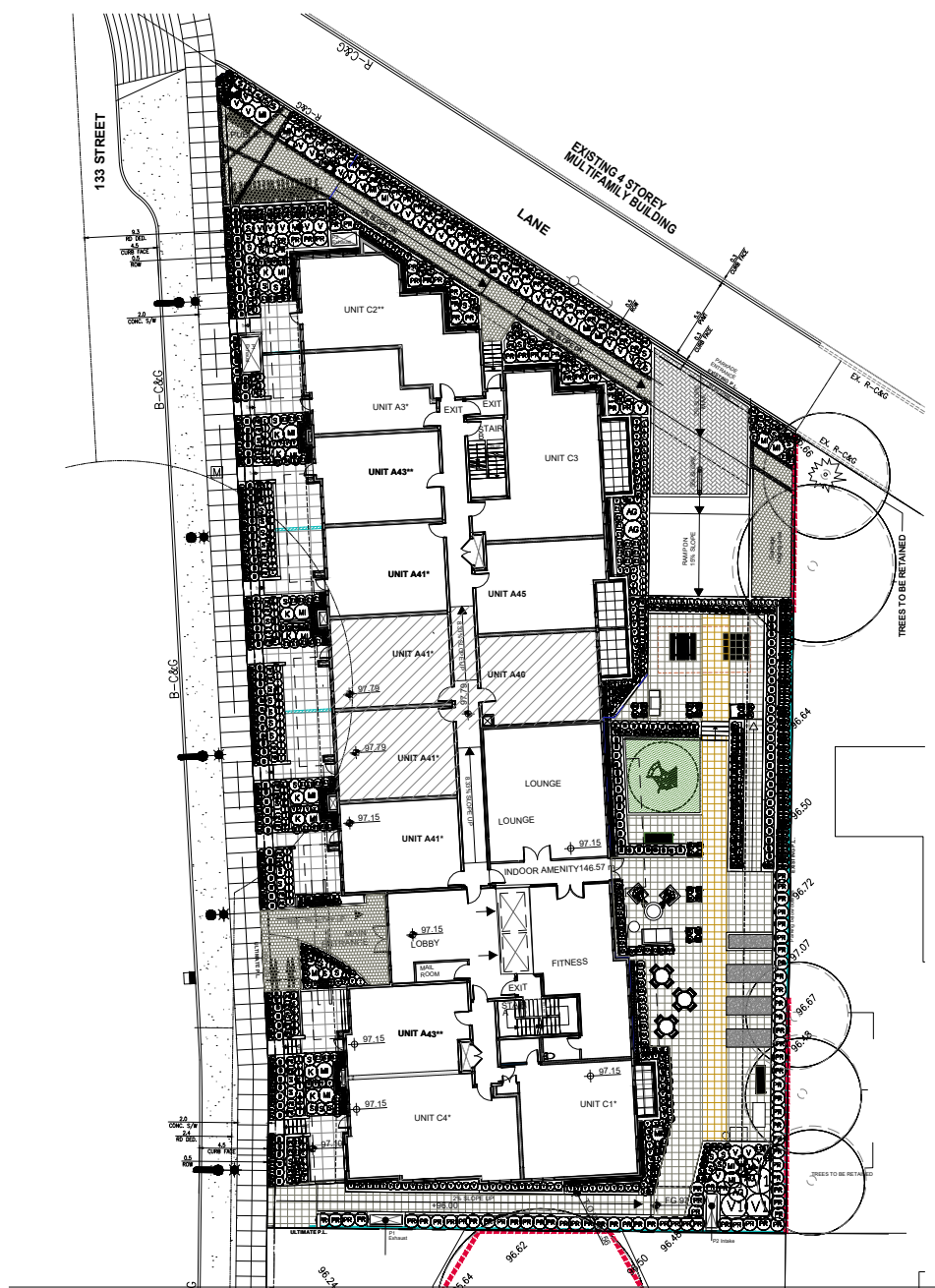
DATE: March 20, 2023 DRAWING NUMBER:
SCALE: 1:150
DRAWN: DO
DESIGN: DO
CHKD: OF 8

L1

SEAL:

PLANT SCHEDULE				PMG PROJECT NUMBER: 22-044
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
5		ABELIA x GRANDIFLORA	GLOSSY ABELIA	#3 POT; 50CM
157		BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 40CM
95		ILEX CRENATA 'CONVEXA'	JAPANESE HOLLY	#3 POT; 50CM
		KALMA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	#3 POT; 50CM
124		PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	0.9m Ht
56		SPIRAEA JAPONICA 'GOLDMOUND'	DWARF GOLDMOUND SPIREA	#2 POT 30CM;
142		TAXUS X MEDIA 'HICKSIF'	HICKS' YEW	1.0M
38		VIBURNUM DAVIDII	DAVID'S VIBURNUM	#3 POT; 50CM
3		VIBURNUM P.T. 'SUMMER SNOWFLAKE'	SUMMER SNOWFLAKE VIBURNUM	#3 POT; 60CM
GRASS				
26		CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
323		CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
24		MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP SILVER GRASS	#2 POT
158		PENNISETUM ALOPECUROIDES 'HAMELIN'	DWARF FOUNTAIN GRASS	#1 POT
PERENNIAL				
49		LAVENDULA ANGUSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER, COMPACT	15CM POT
64		ELONIMYUS JAPONICA 'EMERALD GAJET'	ELONIMYUS, SILVER VARIEGATED	#2 POT; 40CM
46		LONICERA PILEATA	PRIVET HONEY-SUCKLE	#1 POT; 25CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



NO.	DATE	REVISION DESCRIPTION	DR.
1	24 JAN 21	NEW SITE PLAN	DD
2	23 SEP 21	REVISION AS PER CITY COMMENTS	DD
3	23 NOV 21	DP REVISION/ISSUE	DD
4	23 NOV 21	NEW SITE/SCHEMATIC PLANS	DD
5	23 NOV 21	NEW CITY/LOCALITY COMMENTS	DD
6	23 SEP 21	REVISION AS PER CITY COMMENTS	DD
7	23 MAY 20	ISSUED FOR DP	DD

CLIENT:



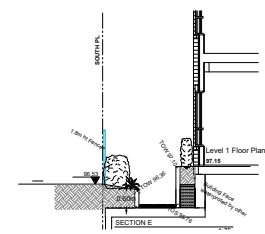
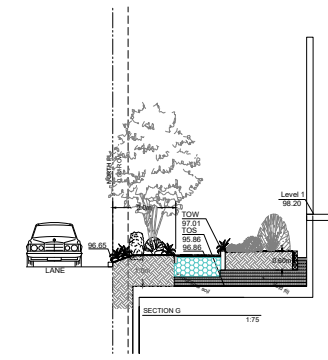
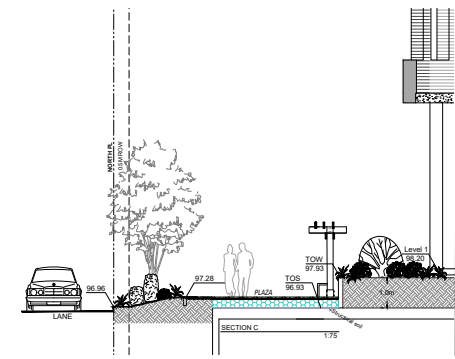
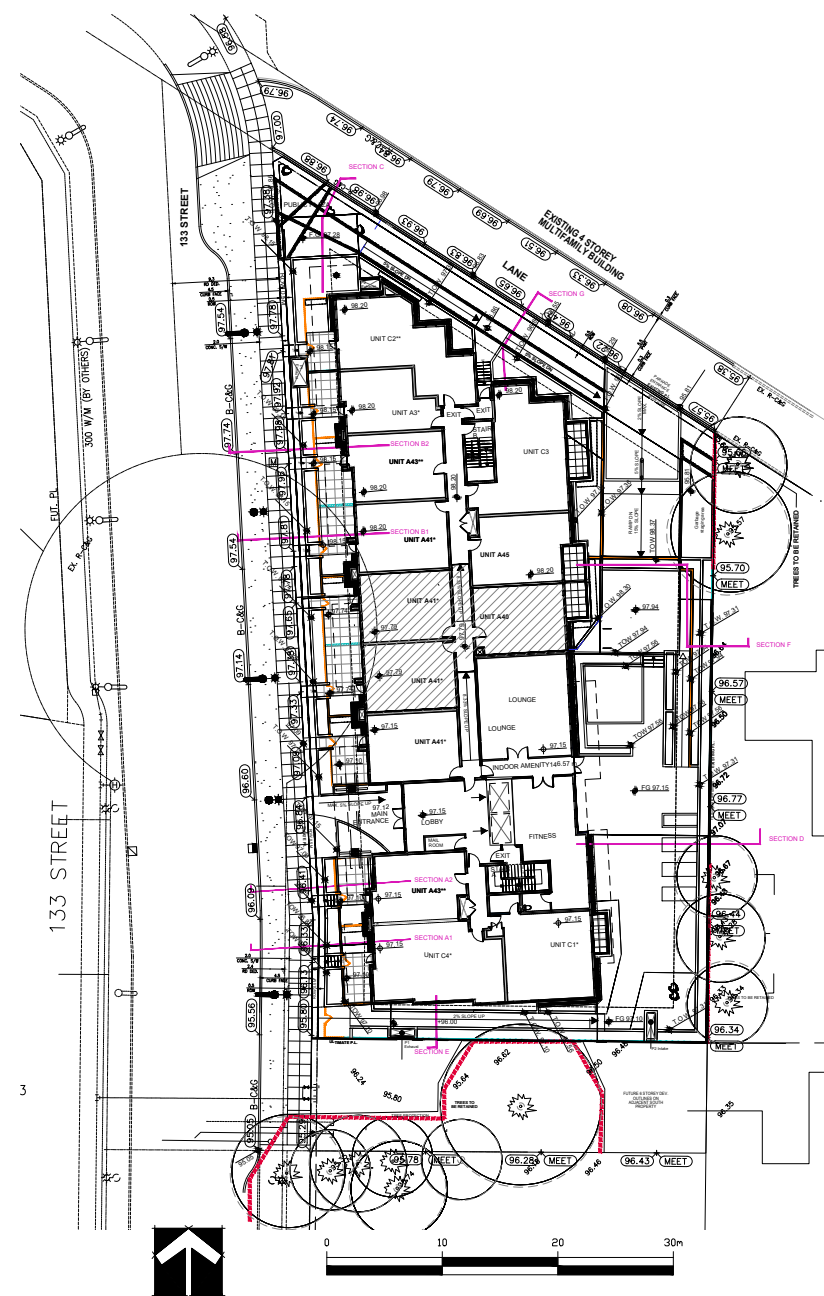
PROJECT:

6-STORY RESIDENTIAL DEVELOPMENT
10068-10098 133 Street,
SURREY
City of Surrey Project No.:
7923 0185 00

DRAWING TITLE:
SHRUB PLAN

DATE: March 20, 2023 DRAWING NUMBER:
SCALE: 1:50
DRAWN: DD
DESIGN: DD
CHKD:
OF 8

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
8	24 JAN 11	NEW SITE PLAN	DD
7	23 DEC 07	REVISION AS PER CITY COMMENTS	DD
6	23 NOV 05	DP RESUBMISSION	DD
4	23 NOV 05	NEW SITE PLAN	DD
3	28 NOV 05	NEW SITE PLAN, CITY COMMENTS	DD
2	23 SEP 05	REVISION AS PER CITY COMMENTS	DD
1	23 MAY 05	ISSUED FOR DP	DD

NO. DATE REVISION DESCRIPTION DR.



CLIENT:
ZENTERRA

PROJECT:
6-STORY RESIDENTIAL DEVELOPMENT
10068-10098 133 Street,
SURREY
City of Surrey Project No.:
7923 0185 00

DRAWING TITLE:
GRADING PLAN LANDSCAPE SECTIONS

DATE: March 20, 2023 DRAWING NUMBER:
SCALE: 1:200
DRAWN: DD
DESIGN: DD
CHKD:
OF 8

TO: **Director, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **January 23, 2024** PROJECT FILE: **7823-0185-00**

RE: **Engineering Requirements
Location: 10068 133 St**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 2.38 m (southern portion) and 9.25 m (northern portion) along 133 Street;
- Dedicate 1.0 m x 1.0 m corner cut at lane / 133A Street intersection; and
- Register 0.5 m statutory right-of-way (SRW) along 133 Street frontage for maintenance.

Works and Services

- Construct east side of 133 Street;
- Construct residential lane;
- Construct concrete letdown to lane;
- Complete road closure of a portion of the 133 Street cul-de-sac road allowance fronting the site;
- Construct adequately-sized service connections (drainage, water, and sanitary), complete with inspection chambers/water meter, to the development site; and
- Construct required local servicing mains (drainage, water, and sanitary) along the site frontage in order to meet frontage requirements and to provide servicing to the development site. Downstream upgrades may be required - Coordinate with other in-stream adjacent developments as required.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/Development Variance Permit.



Jeff Pang, P.Eng.
Development Services Manager
M51

Department: **Planning and Demographics**
Date: **September 25, 2023**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **22 0185 00**

The proposed development of **98** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	13
---	----

Projected Number of Students From This Development In:	
Elementary School =	8
Secondary School =	3
Total Students =	11

Current Enrolment and Capacities:	
Old Yale Road Elementary	
Enrolment	471
Operating Capacity	438
# of Portables	2
Kwantlen Park Secondary	
Enrolment	1498
Operating Capacity	1200
# of Portables	13

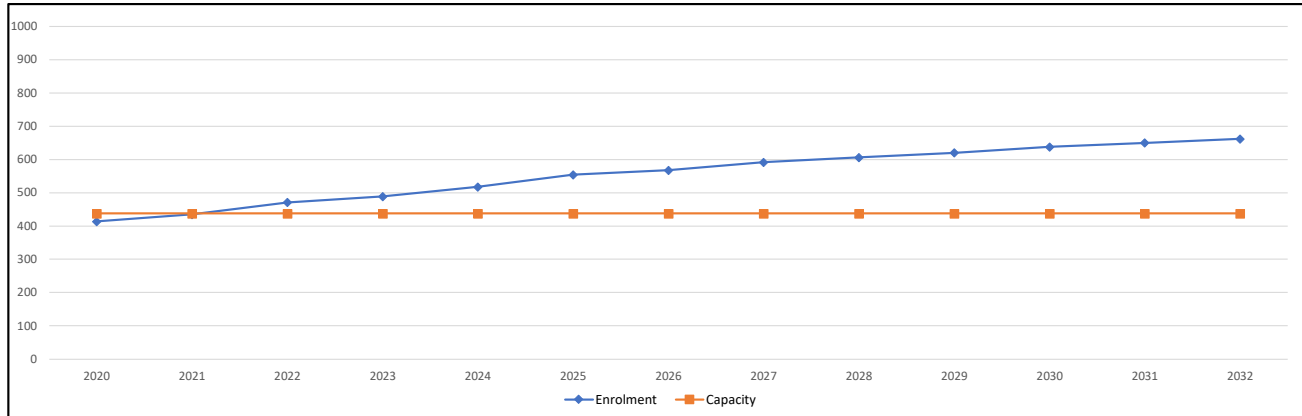
Summary of Impact and Commentary

The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

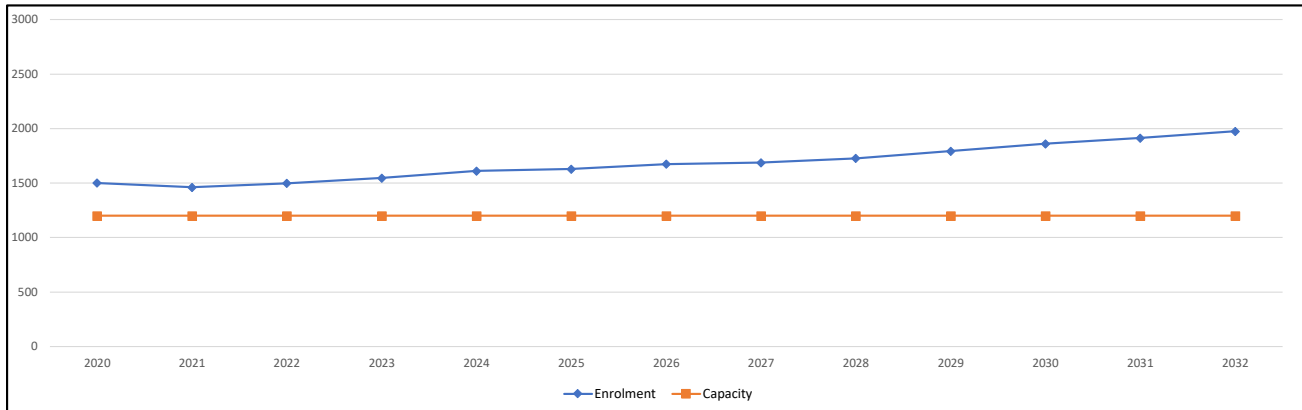
Old Yale Road catchment serves the central business district of Surrey. The timing of future high rise development in this area, with good market conditions could impact the enrolment growth upwards from the projections below. As of September 2022, the school was operating at 108% capacity. The school requires 2 portables to manage this growth. This catchment is being monitored over the next several years as the projected growth in the area has yet to arrive as projected last year. As part of the 2024/25 Capital Plan, the District is requesting a 10-classroom addition but no capital funding has been approved at this time.

As of September 2022, Kwantlen Park Secondary is currently operating at 125% with 13 portables on site used for enrolling classes and is projected to grow by 450 students over the next 10 years. This school will also be impacted by timing of future high-rise development in the area. In February 2023, the District has received capital funding approval from the Ministry to build a 500-capacity addition, targeted to open in the fall of 2027.

Old Yale Road Elementary

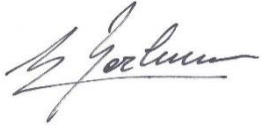


Kwantlen Park Secondary



Population : The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

Appendix B: Tree Preservation Summary	
Surrey Project No: pre-application	
10068, 10078, 10088 & 10098 133 St, Surrey, BC	
Registered Arborist: Lucian Serban, RPF ISA Certified Arborist Municipal Specialist (PN7558AM), Tree Risk Assessment Qualified	
On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas).	11 (1 City boulevard tree)
Protected Trees to be Removed	10 (1 City boulevard tree)
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	1
Total Replacement Trees Required Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u>0</u> X one (1) = 0 All other Trees Requiring 2 to 1 Replacement Ratio 10 (1 shared tree) X two (2) = 20	20
Replacement Trees Proposed	20
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed Open Space/Riparian Areas	n/a
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Retained	12
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u>0</u> X one (1) = 0 All other Trees Requiring 2 to 1 Replacement Ratio <u>0</u> X two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0
Summary prepared and submitted by Lucian Serban, Arborist	
Date: May 5, 2022	
	



TOPOGRAPHIC PLAN OF LOTS 25, 26 AND 27, PLAN 20923;
LOT 160, PLAN 45323; ALL OF SECTION 27, BLOCK 5 NORTH,
RANGE 2 WEST, NEW WESTMINSTER DISTRICT

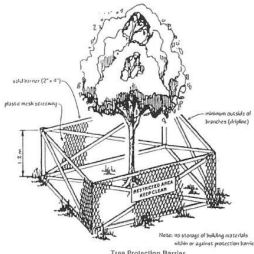
CIVIC ADDRESS:
Lot 25 10068 - 133rd Street, Surrey, B.C.
Lot 26 10078 - 133rd Street, Surrey, B.C.
Lot 27 10088 - 133rd Street, Surrey, B.C.
Lot 160 10098 - 133rd Street, Surrey, B.C.

Surrey Tree Protection Bylaw, 2006 No. 16100
Schedule "C"

SCALE - 1 : 250
All distances are in metres

SURVEY LEGEND

- Catch basin
- Gate post
- Storm manhole
- Guy wire anchor
- Inspection chamber
- Unknown manhole
- Power pole
- Water meter
- Sign
- Water valve
- Fire hydrant
- 50cm dia Deciduous tree
- 60cm dia Coniferous tree



Total TPF: 81.6 m
Tree Protection Distance Table

Trunk Diameter (cm)	Minimum Protection Radius (Distance from trunk in metres)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3.0
55	3.3
60	3.6
75	4.5
90	5.4
100	6.0

NOTES

- 1) Elevations are in metres and are geoidic.
- 2) Elevations are derived from Control Monument no. 8042057 located on the south side of 120th Avenue 240m east of 133rd Street. Elevation = 90.859 metres
- 3) This Plan was prepared for architectural design and site servicing purposes, and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of the use of this Plan.
- 4) Prior to any construction services to be undertaken in relation to this document without consent of the signatory, the hard copy of this Plan and the digital data provided, the project arborist must be consulted before any alteration to the Plan and the digital data shall be confirmed by the City of Surrey Engineering Dept.
- 5) If there is any conflict between the hard copy of this Plan and the digital data provided, the hard copy shall be taken to be correct. Any information taken from digital data shall be confirmed by information shown on the hard copy of this Plan.
- 6) Property lines derived from Land Titles Office records and field files.
- 7) Trees are represented using a standard size symbol. This symbol does not represent the true size of the tree on the site.

McElhanney
TREE MANAGEMENT PLAN
TMP Date updated on January 18th, 2024
Site Plan updated on January 18th, 2024

TREE IMPACT MITIGATION

Tree Protection Barrier: The areas, surrounding the trees to be retained, should be isolated from the construction activity by erecting protective barrier fencing. Where possible, the fencing should be erected at the perimeter of the tree protection zones. The barrier fencing to be erected must be a minimum of 1200mm in height, of solid frame construction that is attached to wooden or metal posts. A solid board or rail must run between the posts at the top and the bottom of the fencing. This solid frame can then be covered with plywood, or flexible snow fencing. The fencing must be erected prior to the start of any construction activity on site (i.e. demolition, excavation, construction), and remain in place through completion of the project. Signs should be posted around the protection zone to declare it off limits to all construction related activity. The project arborist must be consulted before this fencing is removed or moved for any purpose.

Excavation: We recommend that no excavation occur within tree protection zones of trees that are to be retained. Any excavation that is necessary, within the working space setback of trees to be retained must be completed under the direction of the project arborist. If it is found, at the time of excavation, that the excavation cannot be completed without severing roots that are critical to the trees health or stability it may be necessary to remove additional trees.

Demolition: If tree removal is proposed to be undertaken in conjunction with demolition operations, tree removal permits may be necessary. Note that some municipalities may not approve tree removal at this phase. If the municipality relaxes the requirement for barrier fencing installations prior to demolition (subject to onsite arborist supervision during demolition operations) a Letter of Undertaking may be required by the municipality.

Material storage: Areas must be designated for material storage and staging during the construction process. Ideally these areas will be located outside the tree protection areas that will be isolated by barrier fencing. Should it be necessary to store material temporarily within any of the tree protection areas, the project arborist must be consulted.

Multi layer or plywood over heavy traffic areas: Should it be necessary to access tree protection areas during the construction phase of the project, and heavy foot traffic or vehicular encroachment is required, we recommend that a layer of wood chip horticultural mulch or plywood be installed to reduce compaction. This project arborist must be consulted prior to removing or moving the protection barrier for this purpose.

Pruning: Once tree clearing has taken place we recommend that trees to be retained be pruned to remove deadwood, and to address any structural flaws.

We recommend that any pruning of bylaw-protected trees be performed to ANSI A300 standards and Best Management Practices.

Stump removal: We recommend that, if stumps require removal, they are removed under arborist supervision, or ground using a stump grinder to avoid disturbing root systems of trees in close proximity, that are shown on the tree management drawing to be retained.

Windthrow: Where forest edge trees are proposed to be removed, we recommend that trees that may experience an increase in wind exposure, be re-examined, once tree clearing has taken place, to ensure that they are structurally stable, and suitable for retention as leading edge trees. Paved areas over critical root zones of trees to be retained: Where paved areas cannot avoid encroachment within critical root zones of trees to be retained, construction techniques, such as floating permeable paving, may be required. (Specifications can be provided by the project arborist, in consultation with the design consultant).

Landscaping: Any proposed landscaping within the critical root zones of trees to be retained must be reviewed with the project arborist.

Arborist's Role: It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:

- Locating the barrier fencing.
- Reviewing the report with the project foreman or site supervisor.
- Locating work zones and machine access corridors where required.
- Supervising excavation for any areas within the critical root zones of trees to be retained including any proposed retaining wall footings and review any proposed fill areas near trees to be retained.

Tree Resource Legend

- Bylaw protected tree to be retained
- Retain tree ID (tag)
- Remove tree
- Remove tree ID (tag)
- Critical root zone (CRZ) for retained trees (DBHX6.5m)
- Additional 1.5m no-build/supervision zone
- Tree estimated dripline
- Tree protection fence
- Root pruning interface
- Property line

Integra
ARCHITECTURE INC.
2250-2200 Granville Street
Vancouver, BC, V6C 1S4
www.integra-arch.com
Telephone: 604.688.4220

ZENTERRA
(UNAPPORTED AREA)

Zenterra Developments

10068/10078/10088/
10098 133 Street,
Surrey, BC, V3T 3Y5

Level 1 Floor Plan

2292
1:250
Thursday, January 18, 2024
Issue 1.0 - RZDP Resubmission

A-2.200

Cameron Land Surveying Ltd.
B.C. Land Surveyors
Unit 234 - 1825-53rd Avenue
Surrey, B.C. V3S 7A4
Phone: 604-597-3777
File: 8507-TP

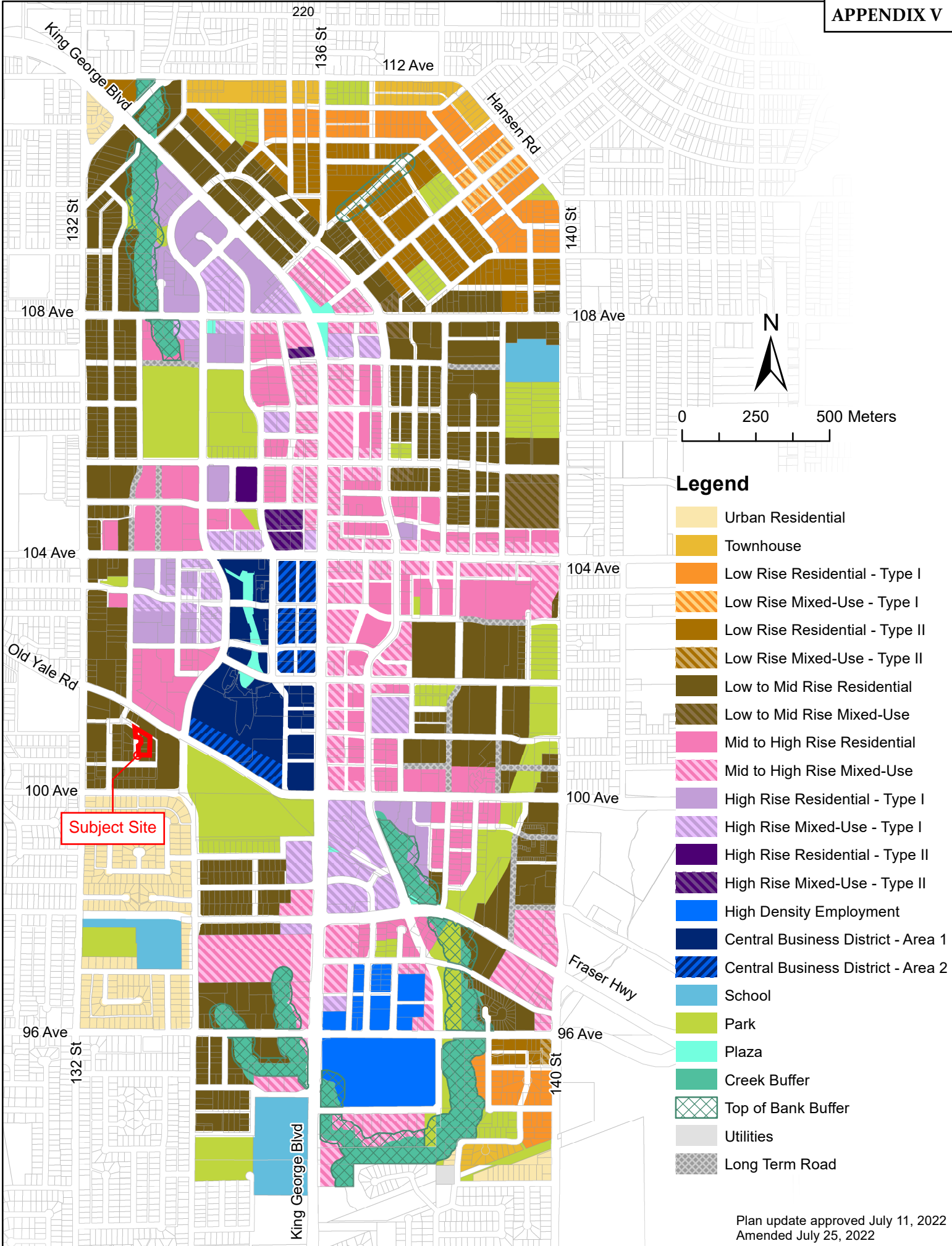
Tree Management Plan Prepared by:

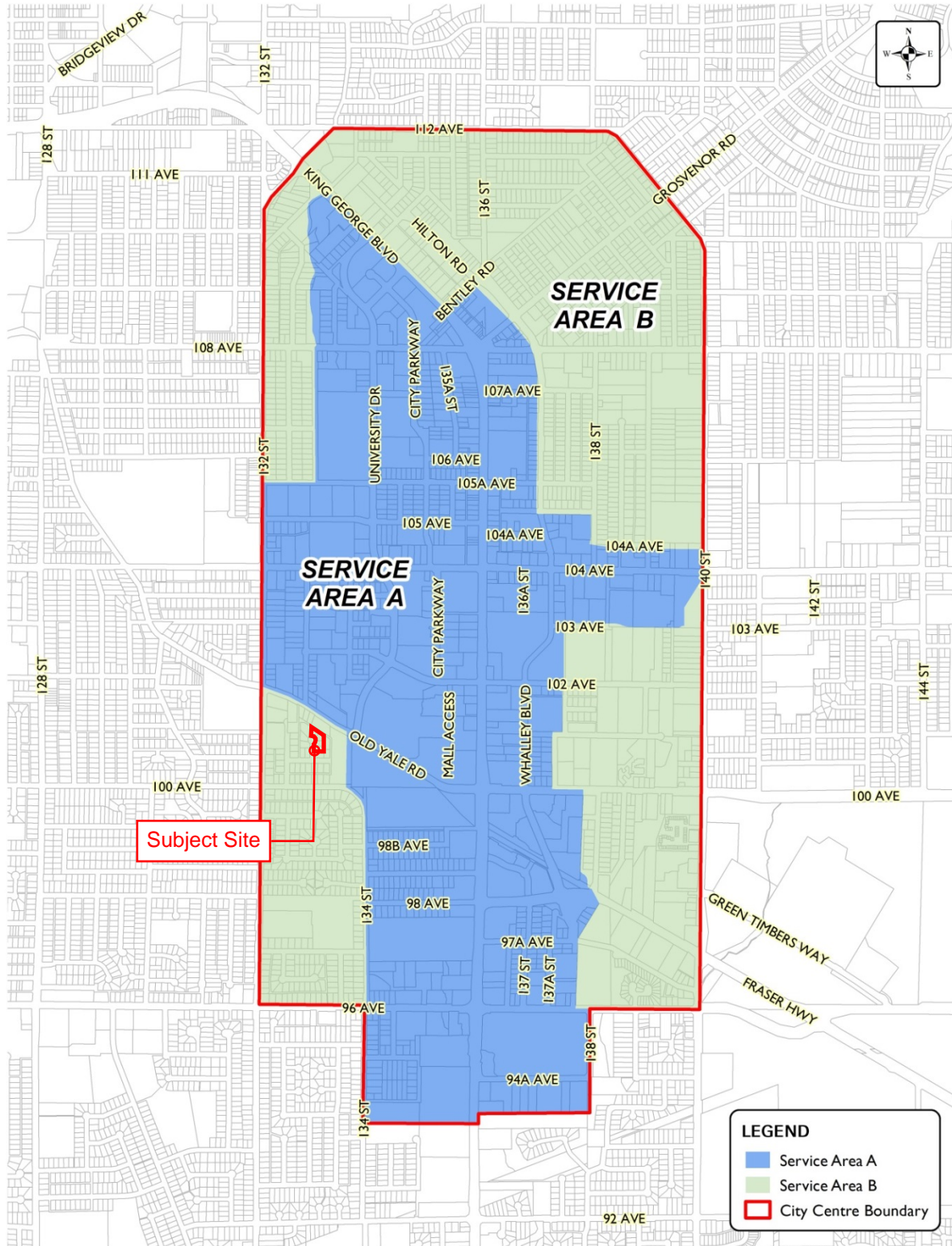
Lucian Serban, RPF
ISA Certified Arborist Municipal Specialist
PN 7588A

Tree Risk Assessment Qualification
Email: lserban@mcclhanney.com
250-739-8825

This plan has been prepared in accordance with the Professional Reference Manual with additional specifications from our client and is certified correct this 23rd day of February, 2022.

Sean Costello B.C.L.S. (900)





Map 265 District Energy City Centre Service Areas

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7923-0185-00

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 003-405-907
Lot 25 Section 27 Block 5 North Range 2 West NWD Plan 20923
10068 - 133 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Sub-section K.2.(c) of Part 17C “Single Family Residential 10 Zone (RF-10)”, the minimum lot width for a “Type I – Interior” lot is reduced from 9.7 metres to 9.5 metres for proposed Lot 2.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli



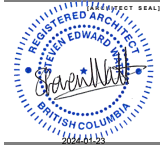
Integra

ARCHITECTURE INC.
2330-200 Granville Street
Vancouver, BC, V6C 1S4
www.integra-arch.com
Telephone: 604 688 4220

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(PROJECT TEAM)



(LICENSEE)

Zenterra Developments

(PROJECT)

10068/ 10078/ 10088/
10098 133 Street,
Surrey, BC, V3T 3Y5

(TITLE)

Base Plan

22592 (PROJECT)

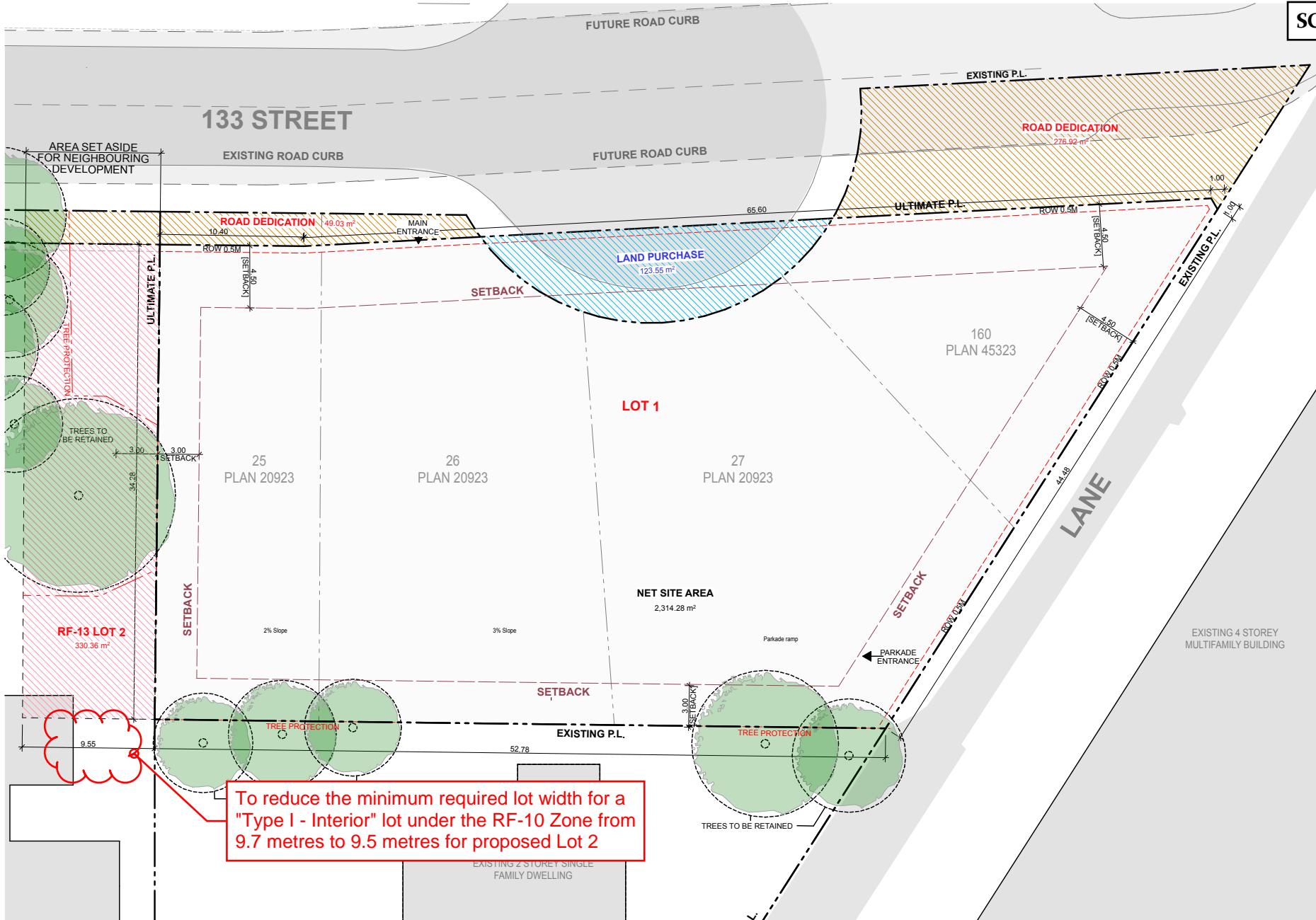
1:250 (SCALE)

Tuesday, January 23, 2024 (DATE)

Issue 4.0 - RZ/DP Resubmission (REVISION)

(DRAWING)

A-1-300



To reduce the minimum required lot width for a "Type I - Interior" lot under the RF-10 Zone from 9.7 metres to 9.5 metres for proposed Lot 2