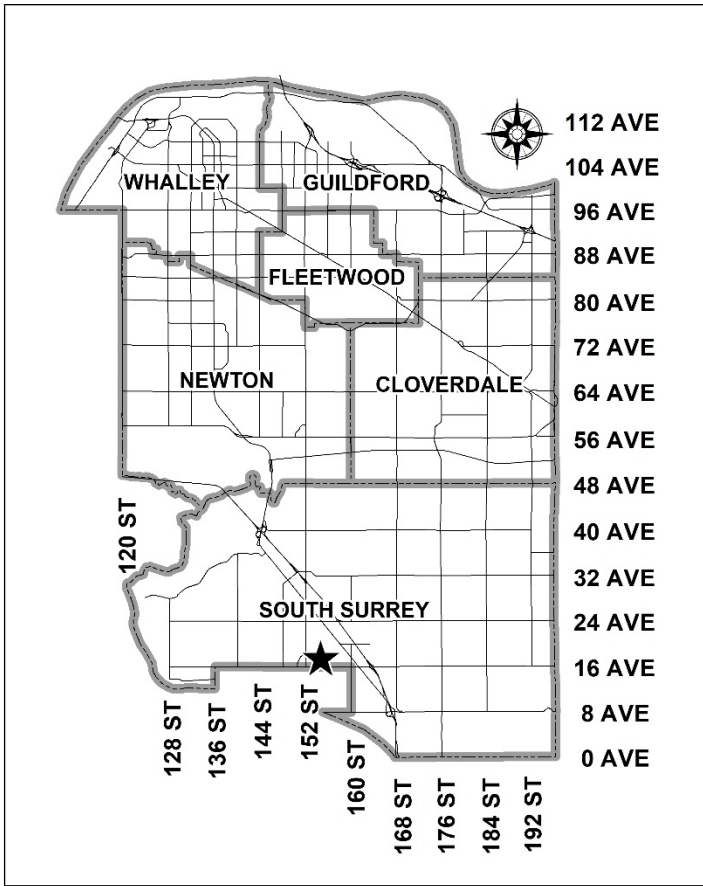


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0144-00

Planning Report Date: January 15, 2024



PROPOSAL:

- **Rezoning** from RF to CD (based on RM-70)
- **Development Permit**

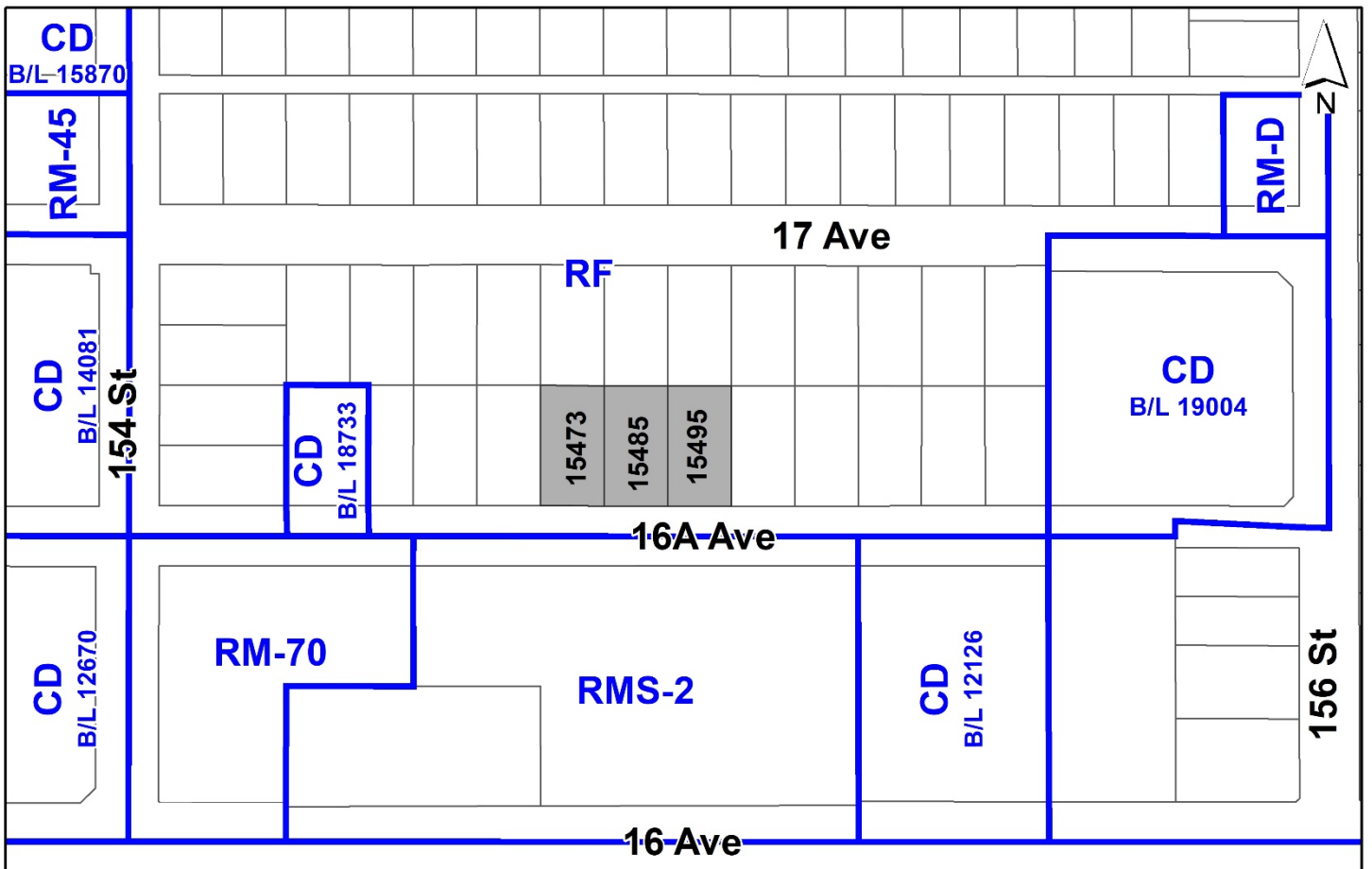
to permit the development of a six-storey apartment building consisting of 66 units.

LOCATION: 15495 - 16A Avenue
 15473 - 16A Avenue
 15485 - 16A Avenue

ZONING: RF

OCP DESIGNATION: Multiple Residential

TCP DESIGNATION: Low-Rise Residential



RECOMMENDATION SUMMARY

- Rezoning By-law to proceed to Public Notification. If supported the By-law will be brought forward for First, Second and Third Reading.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).
- The proposal complies with the Low-Rise Residential designation in the Semiahmoo Town Centre Plan (TCP).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- In accordance with changes to the *Local Government Act*, Section 464, under Bill 44 (2023) a Public Hearing is not required for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed Rezoning By-law. The Rezoning By-law will be presented to Council for consideration of First, Second, and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.
- The proposed density and building form are appropriate for this part of Semiahmoo Town Centre Plan.
- The proposed development is within the Semiahmoo Town Centre plan area and conforms to the goal of achieving higher density development near a transit corridor.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Semiahmoo Town Centre Plan (TCP) and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interfaces have been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" (based on "Multiple Residential 70 Zone (RM-70)").
2. Council authorize staff to draft Development Permit No. 7923-0144-00, generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
 - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	TCP Designation	Existing Zone
Subject Site	Single detached dwellings.	Low-Rise Residential	RF
North:	Single detached dwellings.	Townhouse Residential	RF

Direction	Existing Use	TCP Designation	Existing Zone
East:	Single detached dwellings.	Low-Rise Residential	RF
South (Across 16A Avenue):	Seniors residence.	Low-Rise Residential	RMS-2
West:	Single detached dwellings.	Low-Rise Residential	RF

Context & Background

- The subject site consists of three single-detached properties with a combined area of 2,558 square metres (0.25 hectares) which is located within the Semiahmoo Town Centre Plan area. The properties are located near the southeastern boundary of the Plan area, mid-block between 154 and 156 Streets and north of 16A Avenue.
- The subject site is designated “Multiple Residential” in the Official Community Plan (OCP), “Low-Rise Residential” in the Semiahmoo Town Centre Plan (TCP) and zoned “Single Family Residential Zone (RF)”.

DEVELOPMENT PROPOSAL

Planning Considerations

- The subject application proposes a six-storey apartment building consisting of 66 units with 5,128 square metres of floor area. The application includes:
 - Rezoning from “Single Family Residential Zone (RF)” to “Comprehensive Development Zone (CD)” (based on “Multiple Residential 70 Zone (RM-70)”);
 - Development Permit for Form and Character; and
 - Subdivision to consolidate the properties into a single development site.

	Proposed
Lot Area	
Gross Site Area:	2,558 square metres
Road Dedication:	467 square metres
Net Site Area:	2,091 square metres
Number of Lots:	1
Building Height:	21.7 metres
Floor Area Ratio (FAR):	2.0
Floor Area	
Residential:	5,128 square metres
Total:	5,128 square metres
Residential Units:	
Studio:	3 (4.5%)
1-Bedroom:	35 (53%)

	Proposed
2-Bedroom:	21 (32%)
3-Bedroom:	7 (10.5%)
Total:	66

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: The School District has advised that there will be approximately 8 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

5 Elementary students at Jessie Lee Elementary School
2 Secondary students at Earl Marriott Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2027.

Parks, Recreation & Culture:

No concerns.

Alderwood Park is the closest park with a natural area and is 800 metres walking distance from the development. Future active parkland is proposed within 240 metres walking distance of the development as part of the Semiahmoo Town Centre Plan (TCP).

Surrey Fire Department:

No concerns.

Advisory Design Panel:

The proposal was considered at the ADP meeting on July 27, 2023 and was conditionally supported. The applicant has resolved most of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department.

Transportation Considerations

Road Network and Infrastructure

- The applicant will be required to provide the following improvements:
 - Dedication and construction of the west half of a new 155 Street (along the eastern property line) to the City's local road standard, which is planned to ultimately connect to 18 Avenue; and
 - Construction of the north side of 16A Avenue to the City's local road standard.

Traffic Impacts

- According to industry standard rates, the proposal is anticipated to generate approximately one vehicle every one to two minutes in the peak hour.
- As part of the land use planning process for the Semiahmoo Town Centre Plan, an area-wide Transportation Impact Analysis (TIA) was conducted to evaluate the overall traffic impacts of redevelopment throughout the Plan area and to inform the infrastructure improvements to support the planned growth. Overall, the road network and infrastructure improvements identified within the Plan are anticipated to adequately accommodate the projected growth associated with the subject development and land use intensification in the area.
- As the proposal is consistent with the Semiahmoo Town Centre Plan and is below the City's typical traffic generation threshold, a site-specific TIA was not required as part of the subject proposal.

Parking and Access

- The subject development is proposed to be accessed via a ramp to the underground parkade from the new 155 Street at the northeast corner of the site.
- According to the Zoning Bylaw, 104 parking spaces are required to be provided on site based on the proposed number and type of residential units. The applicant is proposing to provide a parkade with a total of 104 parking spaces, meeting the Zoning Bylaw requirement.
- According to the Zoning Bylaw, 79 secured bicycle parking spaces are required, plus an additional 6 visitor bicycle parking spaces. The applicant is proposing to provide 82 secured bicycle parking spaces, plus 8 visitor parking spaces, exceeding the Zoning Bylaw requirement. Additionally, the applicant proposes to provide 17 of the proposed 82 bicycle parking spaces with electric charging capabilities.

Transit and Cycling

- The subject site is located 300 metres (approximately four-minute walking distance) from transit stops with the following services:
 - No. 321: Surrey Central Station/Newton/White Rock Centre
 - No. 360: Ocean Park/Peace Arch Hospital

- No. 363: Southpoint/Peace Arch Hospital
- No. 375: White Rock/Guildford
- The subject site is also located in proximity (approximately six-minute walking distance) to the proposed terminus for the future R1 – King George RapidBus extension.
- Cycle tracks are planned within the vicinity of the subject site, including along 16 Avenue, 17 Avenue, 18 Avenue, 154 Street, and 156 Street. 156 Street is identified within the City’s 10-Year Servicing Plan for collector road improvements, including planned cycle tracks.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following additional sustainable features:
 - The applicant proposes to provide a high-albedo roof with a minimum Solar Reflectance Index value of 75, in support of the goals of the Climate Change Action Strategy, which was adopted by Council on July 24, 2023.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is designated “General Urban” in the Metro Vancouver Regional Growth Strategy. The proposal complies with this designation.

Official Community Plan

Land Use Designation

- The subject site is designated “Multiple Residential” in the Official Community Plan. The proposal complies with this designation.

Themes/Policies

- The proposed development is consistent with several OCP Themes and Policies, including:
 - Growth Management:
 - *Growth Priorities*: Support compact and efficient land development that is consistent with the Metro Vancouver *Regional Growth Strategy* (RGS).
 - *Accommodating Higher Density*: Direct residential and mixed-use development into Surrey’s City Centre, Town Centres, and along Frequent Transit Corridors and in approved Secondary Plan areas, at densities sufficient to encourage commercial development and transit service expansion.
 - Centres, Corridors and Neighbourhoods:

- *Distinctive Town Centres*: Plan Surrey's Town Centres to accommodate a wide range of households.
- *Transit Corridors*: Encourage development that supports increased transit, pedestrian, and cycle use along existing or planned Frequent Transit Corridors.
- *Healthy Neighbourhoods*: Plan and design urban neighbourhoods with sufficient densities to support a high-quality transit system that is accessible to most residents.
- *Urban Design*: Ensure new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.

Secondary Plans

Land Use Designation

- The subject site is designated Low-Rise Residential in the Semiahmoo Town Centre Plan, which permits a base density of 2.0 Floor Area Ratio (FAR). The applicant proposes a density of 2.0 FAR, which complies with the Low-Rise Residential designation and also complies with the 6-storey TCP building height strategy.
- The subject site is within a lot consolidation area, as outlined in the Semiahmoo TCP. The adjacent lands to the west are within a separate consolidation area. The proposed development is consistent with the lot consolidation requirements of the Semiahmoo TCP.

Themes/Objectives

- The proposed development is consistent with several Semiahmoo TCP goals, policies, and design guidelines, including:
 - *Sensitive Interfaces*: The proposal provides a step back in massing at the sixth storey.
 - *Building Height*: While the building height marginally exceeds the 20 metres noted in the TCP, the building is six-storeys in keeping with the Low-Rise Residential designation for the site.
 - *Family-Oriented Housing*: The applicant proposes approximately 42% of units as 2 or more bedrooms, including 10% as three or more bedrooms, exceeding the Family-Oriented Housing policy.
 - *Adaptable Housing Policy*: The applicant proposes 100% adaptable units to meet the British Columbia Building Code (BCBC) standards and meet the Adaptable Housing policy in the Semiahmoo TCP.

CD By-law

- The applicant proposes to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" (based on "Multiple Residential 70 Zone (RM-70)").

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed six-storey residential building on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 70 Zone (RM-70)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and the proposed CD By-law is illustrated in the following table:

RM-70 Zone (Part 24)	Permitted and/or Required	Proposed CD Zone
Unit Density:	n/a	n/a
Floor Area Ratio:	1.5	2.0
Lot Coverage:	33%	48%
Yards and Setbacks		
North:	7.5 m	4.5 m
East:	7.5 m	4.5 m
South:	7.5 m	4.5 m
West:	7.5 m	4.5 m
Height of Buildings		
Principal buildings:	50 m	21.7 m
Accessory buildings:	4.5 m	4.5 m
Amenity Space		
Indoor Amenity:	198 square metres	The proposed 244 m ² meets the Zoning By-law requirement.
Outdoor Amenity:	198 square metres	The proposed 198 m ² meets the Zoning By-law requirement.
Parking (Part 5)		
	Required	Proposed
Number of Stalls		
Residential:	91	91
Residential Visitor:	13	13
Total:	104	104
Accessible (%):	2 (2%)	4 (3%)
Bicycle Spaces		
Residential Secure Parking:	79	82
Residential Visitor:	6	8

- The CD Zone proposes a higher floor area ratio (FAR) at 2.0 relative to the 1.5 FAR permitted under the RM-70 Zone. The proposed 2.0 FAR is consistent with the site's Low-Rise Residential designation in the Semiahmoo TCP.
- The RM-70 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The proposed 48% lot coverage for the site is appropriate for the proposed six-storey building.

- The reduced setbacks in the CD Zone on 16A Avenue and 155 Street are in keeping with the Semiahmoo TCP where an active frontage is sought. The north and west yard setbacks are similarly reduced to 4.5 metres, but the reduced setbacks are not anticipated to have a negative impact on the future adjacent development.
- The CD Zone proposes a lower building height at 21.7 metres relative to the building height of 50.0 metres permitted by the RM-70 Zone. The proposed building height reflects the applicant's proposal for a six-storey building. While it is marginally taller than the 20 metres identified in the Semiahmoo TCP, it remains consistent with the maximum six-storeys permitted within the TC Plan's building heights strategy.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No.R037;2023.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit Approval. The current rate is \$2,136 per unit.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit (now \$1,068) to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on May 23, 2023 and the Development Proposal Signs were installed on July 28, 2023. Staff received seven responses from neighbouring residents, whose concerns are outlined below (*staff comments in italics*):

- Several residents expressed concerns and/or opposition with the proposed building height.

(The proposed six-storey residential building is a departure from the current character of this part of Semiahmoo Town Centre, however, the proposal is consistent with the Low Rise Residential designation in the TC Plan and its building height strategy. The building is stepped back by 5.0 metres at the sixth storey along the east and 4.9 metres on the south elevation to reduce the overall appearance of massing along the public realm.)

- Several neighbouring residents (both east and west of the subject site) expressed concerns that the proposed development would compromise the development potential of adjacent properties.

(The three properties that make up the subject site are identified within a single consolidation area in the Semiahmoo TCP. The three properties west of the subject site are included in a separate lot consolidation area, while the lands east of the proposed 155 Street are within their own consolidation area. Despite the lands to the west being within a separate consolidation area, the applicant demonstrated how the adjacent lands can develop in similar fashion and therefore, the proposed development is not anticipated to negatively impact the development potential of any adjacent lands.)

- The proposed building represents a departure to the existing neighbourhood character.

(The proposed development presents a departure from the existing low-density development in this area of Semiahmoo Town Centre. To mitigate the building scale, integrate the building into the existing architectural context of the neighbourhood and present a more human scale, the building mass is broken down into three parts: a three-level base portion, a two-level middle portion, and the recessed top floor. Each of the three individual parts of the building are proposed with different materials to enhance the design, emphasize balanced horizontal proportions, and create vertical hierarchy. Through future densification and shift to higher built forms in this area of Semiahmoo Town Centre, the proposed building will fit well with the evolving and future character of the neighbourhood.)

- Several residents inquired about whether the proposed development would impact existing senior care facilities in the neighbourhood.

(Staff provided these residents with details about the proposed development which addressed potential concerns as it relates to existing care facilities in the neighbourhood.)

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Semiahmoo Town Centre Plan (TCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Semiahmoo Town Centre Plan (TCP).
- The applicant has worked with staff to:
 - Provide a sensitive interface along the street by stepping back the upper storey;
 - Provide a building that is aligned with the Semiahmoo TCP design guidelines, including extending the west coast modern character expression across all facades;
 - To meet the Semiahmoo TCP policy for adaptable units and family-oriented units.

- The design of the building is contemporary, using a modulated series of rectilinear volumes arranged in an orderly rhythm of projections and recesses for a dynamic architecture. The building is further articulated with a palette of materials and colours, which provides for visual interest on the facades. To break down the building scale and create a sensitive architectural expression, the building massing is broken into three parts: a three-level base portion that is expressed with a brick veneer; a two-level middle portion, and a recessed top floor, which has the effect of reducing the massing along 16A Avenue and 155 Street.
- The site plan proposes a 4.5 to 5.0-metre-wide setback along all frontages, with a pathway along the perimeter of the site for the west and north property lines.
- The applicant proposes all residential units to be adaptable meeting the adaptable housing policy in the TCP. Similarly, the applicant proposes 21 two-bedroom units and 7 three-bedroom units, resulting in 42% of the 66 total units being family-oriented (minimum 30% in the Semiahmoo TCP).
- The proposed residential entrance is on the south elevation, where there is a large lobby area, and also a mail pick-up area. The design incorporates CPTED principles including landscape design that allows clear and unobstructed views, visible and well-lit walkways and entries, and glazed doors and windows.
- The applicant is proposing to provide two levels of underground parking, which will provide all of the required parking for the development. The underground parkade is accessed via the northeast corner of the site along 155 Street. The underground parkade includes 82 secured bicycle parking spaces (17 of which are capable of electric charging) and a storage locker for each unit.
- High quality materials and careful detailing are used to achieve a high-quality building treatment. The proposed exterior materials include brick (grey), fibre-cement panels (white and grey), black window frame treatments, grey-tinted transparent balcony glazing, wood tone accents and a stone masonry lobby entranceway. The roofing material is high albedo to reduce its heat island effect.
- The proposed residential units range in size from 40 square metres for a studio, to 92 square metres for a 3 bedroom unit.

Landscaping

- The landscape plan proposes a total of 30 trees to be planted on the site and a significant number of shrubs and ground cover species.
- The applicant is proposing a perimeter walkway along the western boundary connected to 16A Avenue, that provides access to the rear yard outdoor amenity area and a single ground floor unit. A 3-metre-wide landscape buffer is proposed along a portion of the northern boundary buffering the proposed building from the existing single detached homes to the north (designated for Townhouse Residential in the Semiahmoo TCP).

Indoor Amenity

- The total required indoor amenity space is 198 square metres (3 square metres/unit) while the applicant is providing a total of 244 square metres.
- The indoor amenity space is located on the north side of the building on the ground floor away from the public frontages and is situated adjacent to the outdoor amenity area. The indoor amenity space is divided into several areas and includes a large lounge area with kitchenette, a fitness studio, and sauna area.

Outdoor Amenity

- The total required outdoor amenity space is 198 square metres (3 square metres/unit) while the applicant is providing 198 square metres thereby meeting the requirements of the Zoning Bylaw).
- The outdoor amenity space is located on the north side of the building away from the public realm and is situated adjacent to the indoor amenity area to create a seamless connection between the two amenity spaces. The outdoor amenity area includes a children's play area, an outdoor lounge and barbeque area, and a games area. The outdoor amenity area is complimented with a variety of benches, trees and shrubs.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - Resolving the public realm design at the southeast corner (155 Street/16A Avenue intersection); and
 - Resolution of urban design issues resulting from detailed coordination with architectural, landscape, and civil designs.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Nick McMahon, ISA Certified Arborist of ACL Group Enterprises Ltd., prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Common Plum	1	1	0
English Holly	1	1	0
European Beech	1	1	0
Saucer Magnolia	1	1	0
Flowering Cherry	2	2	0
Coniferous Trees			
Blue Spruce	1	1	0
Douglas Fir	1	1	0
Eastern White Cedar	1	1	0
Hinoki Cypress	1	1	0
Lawson Cypress	4	4	0
Total (excluding Alder and Cottonwood Trees)	14	14	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		30	
Total Retained and Replacement Trees Proposed		30	
Estimated Contribution to the Green City Program		NA	

- The Arborist Assessment states that there are a total of fourteen mature trees on the site and no Alder and Cottonwood trees. The applicant is not proposing to retain any trees as part of this development proposal. The proposed tree removal includes two City trees at the corner of 16A Avenue and the future 155 Street. The applicant has refined the site design to accommodate the retention of two off-site trees near the northwest corner of the site. The proposed tree retention was assessed taking into consideration the location of services, building footprints, parkade, road dedication and proposed lot grading. Due to the required road dedication and construction, the two City trees cannot be retained. Parks staff have accepted the proposed removal and will require compensation at a 2:1 ratio for the City trees.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio for all trees. This will require a proposed total of 28 replacement trees on the site. The applicant proposes to plant 30 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including Pacific Dogwood, Royal Star Magnolia, and Japanese Maple.

- In summary, a total of 30 trees are proposed to be replaced on the site and no contribution to the Green City Program is required.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix V.	ADP Comments and Response

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

KS/ar

NOTES:



PROPOSED MULTI - FAMILY DEVELOPMENT

15473, 15485 & 15495 - 16A AVENUE, SURREY, BRITISH COLUMBIA



CONTEXT PLAN

PROJECT INFO

LEGAL DESCRIPTION:

LOT 5 BLOCK 8 & 13 SECTION 14 TOWNSHIP 1 PLAN NWP18804 NWDSUBURBAN BLOCK 2, PART SW 1/4.
 LOT 8 SECTION 14 TOWNSHIP 1 PLAN NWP18804 NWD PART SW 1/4.
 LOT 3 SECTION 14 TOWNSHIP 1 PLAN NWP18890 NWD PART SW 1/4.

CIVIC ADDRESS:

15473, 15485 & 15495 - 16 A AVENUE, SURREY, BRITISH COLUMBIA

ZONING INFORMATION:

ZONE:
 EXISTING: RF
 PROPOSED: CD BASED ON RM-70

LOT AREA:

GROSS SITE AREA - 0.63 AC. / 2568.3 SQM
 DEDICATIONS - 0.12 AC. / 488.7 SQM
 NET SITE AREA - 0.51 AC. / 2091.5 SQM

PROJECT DIRECTORY

CLIENT:

MANORLANE PROPERTIES (PEACE ARCH) INC.
 #201 - 204 CAYER STREET
 COQUITLAM, B.C. V3K 6B1
 CONTACT: MILAN MANN
 T: 604-621-4300
 info@bmgrealestate.com

CIVIL:

COASTLAND ENGINEERING & SURVEYING LTD.
 #101 - 19282 - 60 AVENUE
 SURREY, B.C. V3S 3M2
 CONTACT: MIKE HELLE
 T: 604-532-9700
 hell@coastland.bc.ca

ARCHITECTURAL:

DF ARCHITECTURE INC.
 350 - 10851 SHELLBRIDGE WAY
 RICHMOND, BC V6X 2W9
 CONTACT: JESSIE ARORA
 T 604-284-6194
 jessie@dfarchitecture.ca

LANDSCAPE:

VDZ+A
 #102 - 355 KINGSWAY
 VANCOUVER, BC V6T 3J7
 CONTACT: MICOLE WO
 T 604-882-0024
 mark@vdz.ca

SURVEY:

DHALWAL & ASSOCIATES LAND SURVEYING INC.
 #216 - 12899 76TH AVENUE
 SURREY, B.C. V3W 1E6
 T 604-601-6188
 info@dhalwalsurvey.com

ARBORIST:

ARBORTECH (ACL GROUP)
 #125 - 8288 203 ST LANGLEY,
 B.C. V2Y 3S1
 CONTACT: NICK MCMAHON
 T 604-275-3484 x104
 nick@aclgroup.ca

ARCHITECTURAL

CATEGORY SHEET NO. SHEET NAME

CATEGORY	SHEET NO.	SHEET NAME
A-001		COVER PAGE
A-002		DEVELOPMENT DATA
A-003		SITE ANALYSIS (CONTEXT PHOTOS)
A-004		SITE ANALYSIS (SEMAHMUO TOWN CENTRE PLAN)
A-005		SITE ANALYSIS (TRANSIT AND RECREATION)
A-006		SITE ANALYSIS (CONTEXT AERIAL VIEW)
A-007		SITE ANALYSIS (SCALE COMPATIBILITY)
A-008		SITE ANALYSIS (PEDESTRIAN & VEHICULAR)
A-009		SITE ANALYSIS (ARCHITECTURAL PRECEDENCE)
A-010		SURVEY
A-011		BASE PLAN
A-012		SHADOW ANALYSIS
A-013		CONCEPT PLAN (NEIGHBORING LOT)
A-100		SITE PLAN
A-101		FIRE SAFETY PLAN
A-200		PARKADE 1
A-201		PARKADE 2
A-202		FLOOR PLAN (LEVEL-1)
A-203		FLOOR PLAN (LEVEL-2)
A-204		FLOOR PLAN (LEVEL-3, 4 & 5)
A-205		FLOOR PLAN (LEVEL-6)
A-206		ROOF PLAN
A-220		UNIT PLANS
A-221		UNIT PLANS
A-222		UNIT PLANS
A-223		UNIT PLANS
A-301		ELEVATIONS
A-302		ELEVATIONS
A-310		STREETSCAPE (16A AVE)
A-401		LONGITUDINAL SECTION
A-402		CROSS SECTION
A-410		DETAILS

SITE & RELATED INFORMATION
 BUILDING PLANS & UNIT PLANS
 ELEVATIONS SECTIONS & DETAILS

15473-15495	16A AVENUE	15473
15473-15495	16A AVENUE	15485
15473-15495	16A AVENUE	15495
15473-15495	16A AVENUE	15473
15473-15495	16A AVENUE	15485
15473-15495	16A AVENUE	15495
15473-15495	16A AVENUE	15473
15473-15495	16A AVENUE	15485
15473-15495	16A AVENUE	15495
15473-15495	16A AVENUE	15473
15473-15495	16A AVENUE	15485
15473-15495	16A AVENUE	15495



350 - 10851 SHELLBRIDGE WAY
 RICHMOND, BRITISH COLUMBIA
 CANADA V6X 2W9
 T: 604-284-6194
 info@dfarchitecture.ca

PROJECT:
PROPOSED MULTI-FAMILY DEVELOPMENT

15473, 15485 & 15495 16A AVENUE

CLIENT:
MANORLANE PROPERTIES (PEACE ARCH) INC.

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE MADE BY ALL FEES REMAIN THE EXCLUSIVE PROPERTY OF DF ARCHITECTURE INC. AND CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

DRAWN: PA
 CHECKED: YA
 SCALE: 1/16" = 1'-0"
 JOB NO.: SUR-120
 DATE: DEC 2023
 SHEET TOTAL: 2023-12-13

COVER PAGE

DRAWING NO. A-001	JOB NO. J
-----------------------------	---------------------

PROJECT DATA			
CIVIC ADDRESS :	15473, 15485 & 15495 - 16 A AVENUE, SURREY, BC		
LEGAL DESCRIPTION :	LOT 5 BLOCK 6&13 SECTION 14 TOWNSHIP 1 PLAN NWP19604 NWD SUBURBAN BLOCK 2, PART SW 1/4. LOT 6 SECTION 14 TOWNSHIP 1 PLAN NWP19604 NWD PART SW 1/4. LOT 3 SECTION 14 TOWNSHIP 1 PLAN NWP18890 NWD PART SW 1/4.		
LOT INFO			
GROSS LOT AREA	27537.2 SQFT	2558.3 SQM	
ROAD DEDICATION	5024.0 SQFT	466.7 SQM	
NET AREA	22513.2 SQFT	2091.5 SQM	
	0.52 ac	0.21 ha	
ZONING			
EXISTING	RF		
PROPOSED	CD BASED ON RM-70		
NCP	-		
OCP	URBAN	MULTIPLE RESI.	
SETBACKS			
	ALLOWED	PROPOSED	
NORTH	4.50 m	4.56 m	
SOUTH	4.50 m	4.74 m	
EAST	4.50 m	4.80 m	
WEST	4.50 m	4.64 m	
HEIGHT			
	ALLOWED	PROPOSED (AVG. GRADE)	
	50.0 m	21.71 m	
DENSITY			
	ALLOWED	PROPOSED	
FAR	2.0	2.0	
SITE COVERAGE			
	ALLOWED	PROPOSED	
	33%	10811.2 SQFT	48%

OFF STREET PARKING				
UNIT TYPE	NO. OF UNITS	CARS PER DWELLING	NO. OF CARS	REQUIRED
1-BEDROOM / BACHELOR	38	1.3	49.4	49
2-BEDROOM / 3 BEDROOM	28	1.5	42	42
VISITORS CAR PARK	66	0.2	13.2	13
TOTAL NO. OF PARKING REQUIRED				104
NO. OF PARKING PROVIDED AT PARKADE LEVEL 1 & 2				104
NO. OF SMALL CAR SPACES				15
				14%
BICYCLE SPACES	NO. OF UNITS	BICYCLE PER DWELLING	NO. OF BICYCLES	
REQUIRED	66	1.2	79	
PROVIDED (INCLUDING 17 E-BIKES)			82	
VISITORS PROVIDED (E-BIKES)			8	
TOTAL			90	
TOTAL NO. OF STORAGE LOCKERS PROVIDED				67

AMENITY CALCULATION			
INDOOR AMENITY	NO. OF UNITS	AREA PER UNIT (3 SQM.)	AREA
REQUIRED	66	32.29	2131.1 SQFT
PROVIDED			2630.1 SQFT
OUTDOOR AMENITY	NO. OF UNITS	AREA PER UNIT	AREA
REQUIRED	66	32.29	2131.1 SQFT
PROVIDED			2129.5 SQFT

FLOOR AREAS					
LEVEL	FLOOR AREA	EXCLUSIONS		NET AREA	
	GROSS AREA	DBL. HT. SPACE	INDOOR AMENITY		
LEVEL 1	9,794.32	-	2,665.08	7129.2 SQFT	662.3 SQM
LEVEL 2	10,331.88	496.00	-	9835.9 SQFT	913.8 SQM
LEVEL 3	10,257.20	-	-	10257.2 SQFT	952.9 SQM
LEVEL 4	10,257.20	-	-	10257.2 SQFT	952.9 SQM
LEVEL 5	10,257.20	-	-	10257.2 SQFT	952.9 SQM
LEVEL 6	7,410.24	-	-	7410.2 SQFT	688.4 SQM
TOTAL	58,308.04	496.00	2,665.08	55147.0 SQFT	5123.3 SQM
FAR PROPOSED					2.00

UNIT SCHEDULE									
UNIT NAME	UNIT TYPE	AREA	FIRST	SECOND	THIRD	FOURTH	FIFTH	SIXTH	TOTAL
TYPE A	1 BEDROOM + DEN	630.50 SQFT	3	4	4	4	4	2	21
TYPE A1	1BEDROOM + DEN	655.01 SQFT	-	1	1	1	1	-	4
TYPE A2	2 BEDROOM + DEN	778.14 SQFT	-	1	1	1	1	-	4
TYPE A3	1 BEDROOM	583.51 SQFT	1	-	-	-	-	-	1
TYPE B	2 BEDROOM	795.35 SQFT	1	1	1	1	1	-	5
TYPE C	3 BEDROOM	977.95 SQFT	1	-	-	-	-	-	1
TYPE C1	3 BEDROOM	987.26 SQFT	-	1	1	1	1	1	5
TYPE D	BACHELOR	427.92 SQFT	-	-	1	1	1	-	3
TYPE E	2 BEDROOM	761.62 SQFT	1	-	-	-	-	-	1
TYPE E1	2 BEDROOM	763.12 SQFT	-	1	1	1	1	-	4
TYPE F	1 BEDROOM	662.38 SQFT	-	1	1	1	1	1	5
TYPE G	2 BEDROOM	798.27 SQFT	-	1	1	1	1	-	4
TYPE H	1 BEDROOM	608.90 SQFT	-	1	1	1	1	-	4
TYPE J	3 BEDROOM	970.02 SQFT	-	-	-	-	-	1	1
TYPE K	2 BEDROOM	847.50 SQFT	-	-	-	-	-	1	1
TYPE L	2 BEDROOM	671.00 SQFT	-	-	-	-	-	1	1
TYPE M	2 BEDROOM	849.94 SQFT	-	-	-	-	-	1	1
TOTAL UNITS ON EACH FLOOR			7	12	13	13	13	8	66
100% UNITS IN THIS DEVELOPMENT ARE ADAPTABLE									

UNIT COUNT									
UNIT TYPE	FIRST	SECOND	THIRD	FOURTH	FIFTH	SIXTH	TOTAL	PERCENTAGE	
STUDIO	0	0	1	1	1	0	3	4.5%	
1 BEDROOM/ +DEN	4	7	7	7	7	3	35	53.0%	
2 BEDROOM / + DEN	2	4	4	4	4	3	21	31.8%	
3 BEDROOM	1	1	1	1	1	2	7	10.6%	
TOTAL ON EACH FLOOR	7	12	13	13	13	8	TOTAL 66 UNITS		

NOTES:

AREA 1	100% FLOOR AREA
AREA 2	100% FLOOR AREA
AREA 3	100% FLOOR AREA
AREA 4	100% FLOOR AREA
AREA 5	100% FLOOR AREA
AREA 6	100% FLOOR AREA
AREA 7	100% FLOOR AREA
AREA 8	100% FLOOR AREA
AREA 9	100% FLOOR AREA
AREA 10	100% FLOOR AREA
AREA 11	100% FLOOR AREA
AREA 12	100% FLOOR AREA
AREA 13	100% FLOOR AREA
AREA 14	100% FLOOR AREA
AREA 15	100% FLOOR AREA
AREA 16	100% FLOOR AREA
AREA 17	100% FLOOR AREA
AREA 18	100% FLOOR AREA
AREA 19	100% FLOOR AREA
AREA 20	100% FLOOR AREA
AREA 21	100% FLOOR AREA
AREA 22	100% FLOOR AREA
AREA 23	100% FLOOR AREA
AREA 24	100% FLOOR AREA
AREA 25	100% FLOOR AREA
AREA 26	100% FLOOR AREA
AREA 27	100% FLOOR AREA
AREA 28	100% FLOOR AREA
AREA 29	100% FLOOR AREA
AREA 30	100% FLOOR AREA
AREA 31	100% FLOOR AREA
AREA 32	100% FLOOR AREA
AREA 33	100% FLOOR AREA
AREA 34	100% FLOOR AREA
AREA 35	100% FLOOR AREA
AREA 36	100% FLOOR AREA
AREA 37	100% FLOOR AREA
AREA 38	100% FLOOR AREA
AREA 39	100% FLOOR AREA
AREA 40	100% FLOOR AREA
AREA 41	100% FLOOR AREA
AREA 42	100% FLOOR AREA
AREA 43	100% FLOOR AREA
AREA 44	100% FLOOR AREA
AREA 45	100% FLOOR AREA
AREA 46	100% FLOOR AREA
AREA 47	100% FLOOR AREA
AREA 48	100% FLOOR AREA
AREA 49	100% FLOOR AREA
AREA 50	100% FLOOR AREA
AREA 51	100% FLOOR AREA
AREA 52	100% FLOOR AREA
AREA 53	100% FLOOR AREA
AREA 54	100% FLOOR AREA
AREA 55	100% FLOOR AREA
AREA 56	100% FLOOR AREA
AREA 57	100% FLOOR AREA
AREA 58	100% FLOOR AREA
AREA 59	100% FLOOR AREA
AREA 60	100% FLOOR AREA
AREA 61	100% FLOOR AREA
AREA 62	100% FLOOR AREA
AREA 63	100% FLOOR AREA
AREA 64	100% FLOOR AREA
AREA 65	100% FLOOR AREA
AREA 66	100% FLOOR AREA
AREA 67	100% FLOOR AREA
AREA 68	100% FLOOR AREA
AREA 69	100% FLOOR AREA
AREA 70	100% FLOOR AREA
AREA 71	100% FLOOR AREA
AREA 72	100% FLOOR AREA
AREA 73	100% FLOOR AREA
AREA 74	100% FLOOR AREA
AREA 75	100% FLOOR AREA
AREA 76	100% FLOOR AREA
AREA 77	100% FLOOR AREA
AREA 78	100% FLOOR AREA
AREA 79	100% FLOOR AREA
AREA 80	100% FLOOR AREA
AREA 81	100% FLOOR AREA
AREA 82	100% FLOOR AREA
AREA 83	100% FLOOR AREA
AREA 84	100% FLOOR AREA
AREA 85	100% FLOOR AREA
AREA 86	100% FLOOR AREA
AREA 87	100% FLOOR AREA
AREA 88	100% FLOOR AREA
AREA 89	100% FLOOR AREA
AREA 90	100% FLOOR AREA
AREA 91	100% FLOOR AREA
AREA 92	100% FLOOR AREA
AREA 93	100% FLOOR AREA
AREA 94	100% FLOOR AREA
AREA 95	100% FLOOR AREA
AREA 96	100% FLOOR AREA
AREA 97	100% FLOOR AREA
AREA 98	100% FLOOR AREA
AREA 99	100% FLOOR AREA
AREA 100	100% FLOOR AREA



300-10811 WILLOW CREEK WEST
RICHMOND BRITISH COLUMBIA
CANADA V6V 2G9
T: 604-273-8888 F: 604-273-8889
info@dfarchitecture.ca

PROJECT: **PROPOSED MULTI-FAMILY DEVELOPMENT**

15473, 15485 & 15495 16A AVENUE

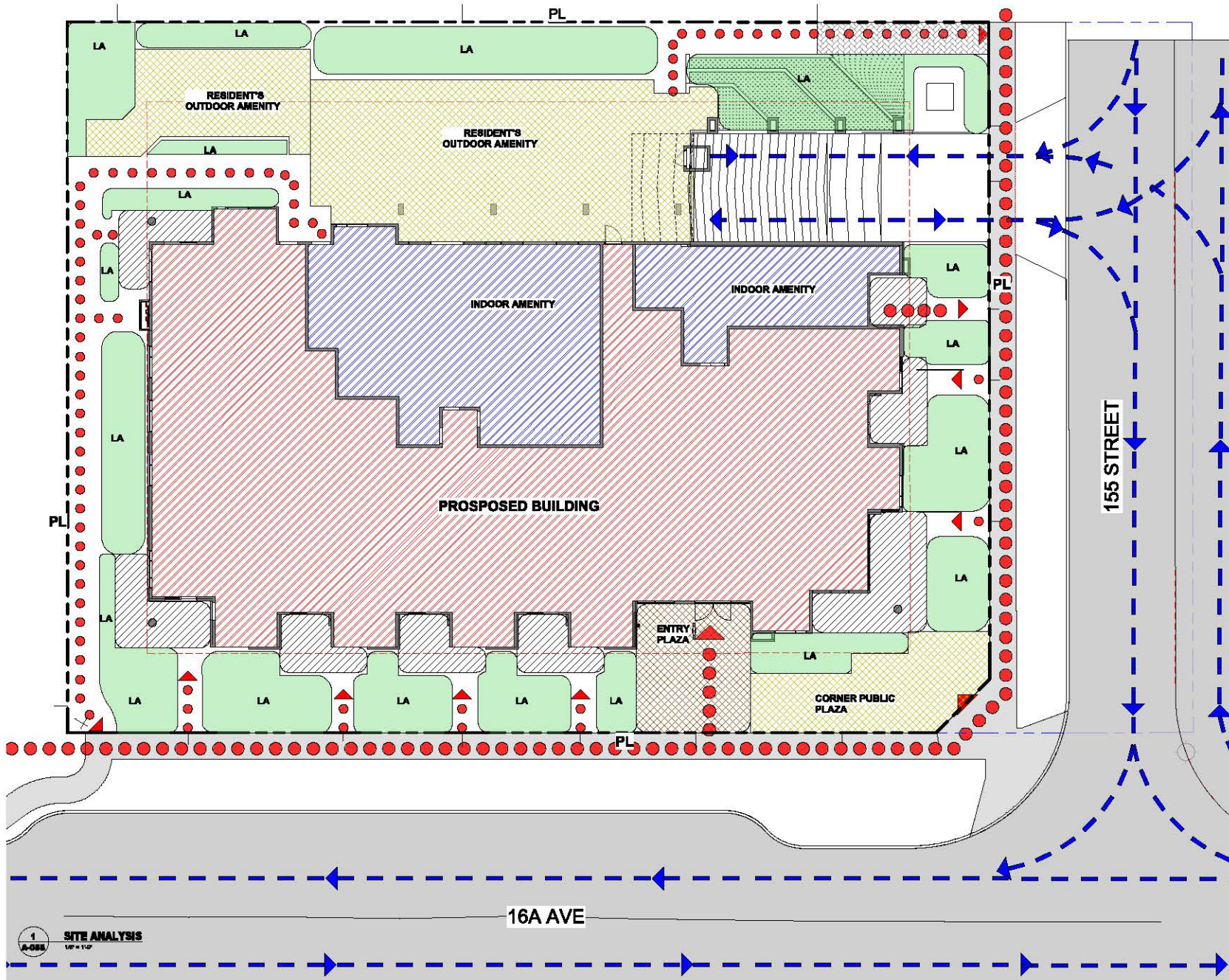
CLIENT: **HARBORLANE PROPERTIES (PACIFIC ARCH) INC.**

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND ALL THEIR PARTS THE EXCLUSIVE PROPERTY OF DF ARCHITECTURE INC. AND SHOULD BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

OWNER: PH	
OWNER: PH	
DATE: SEP-20	
DATE: DEC-2020	
DATE: 2023-12-13	

DEVELOPMENT DATA

OFFICE NO. A-002	J
-------------------------	----------



NOTES:

- PEDESTRIAN CIRCULATION
- VEHICULAR CIRCULATION
- PROPOSED BUILDING
- LANDSCAPING BUFFER
- OPEN PUBLIC SPACES
- INDOOR AMENITY
- PRIVATE OUTDOOR SPACE
- ENTRY PLAZA

df
ARCHITECTURE Inc.

300 - 1081 WILLOWDALE STREET
SCARBOROUGH, ONTARIO M1P 5P6
CANADA (416) 291-1101
1 BRIMLEY AVE. #1000 SCARBOROUGH
ONTARIO M1S 5B8

PROJECT:
PROPOSED MULTI-FAMILY DEVELOPMENT

15473, 15485 & 15485 16A AVENUE

CLIENT:
HARBORLANE PROPERTIES
(PEACE ARCH) INC.

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND ALL THEIR PARTS THE EXCLUSIVE PROPERTY OF PEACE ARCHITECTURE INC. AND SHOULD BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

OWNER:	PH
OWNER'S TA:	
SCALE:	1/8" = 1'-0"
JOB NO.:	SURV-120
DATE:	DEC 2018
SHEET TITLE:	2023-12-13



SITE ANALYSIS (PEDESTRIAN & VEHICULAR)

A-008 **J**

NOTES:



1
A-012 **SHADOW ANALYSIS AUTUMN EQ 10 AM**
1" = 40' - 0"



2
A-012 **SHADOW ANALYSIS AUTUMN EQ 12 NOON**
1" = 40' - 0"



3
A-012 **SHADOW ANALYSIS AUTUMN EQ 2 PM**
1" = 40' - 0"



4
A-012 **SHADOW ANALYSIS SPRING EQ 10 AM**
1" = 40' - 0"



5
A-012 **SHADOW ANALYSIS SPRING EQ 12 NOON**
1" = 40' - 0"



6
A-012 **SHADOW ANALYSIS SPRING EQ 2 PM**
1" = 40' - 0"

100-1141	TOP FLOOR FINISHES
100-1142	TOP FLOOR FINISHES
100-1143	TOP FLOOR FINISHES
100-1144	TOP FLOOR FINISHES
100-1145	TOP FLOOR FINISHES
100-1146	TOP FLOOR FINISHES
100-1147	TOP FLOOR FINISHES
100-1148	TOP FLOOR FINISHES
100-1149	TOP FLOOR FINISHES
100-1150	TOP FLOOR FINISHES

df
ARCHITECTURE inc.

300-1081 WILLOWDALE ROAD
RICHMOND HILL, ONTARIO L4B 1N5
CANADA 190 905 761 1111
1 905 886 0818 P 905 886 0819
info@dfarchitecture.ca

PROJECT:
PROPOSED MULTI-FAMILY
DEVELOPMENT

**15473, 15485 & 15485 16A
AVENUE**

CLIENT:
**HARBORLANE PROPERTIES
(PEACE ARCH) INC.**

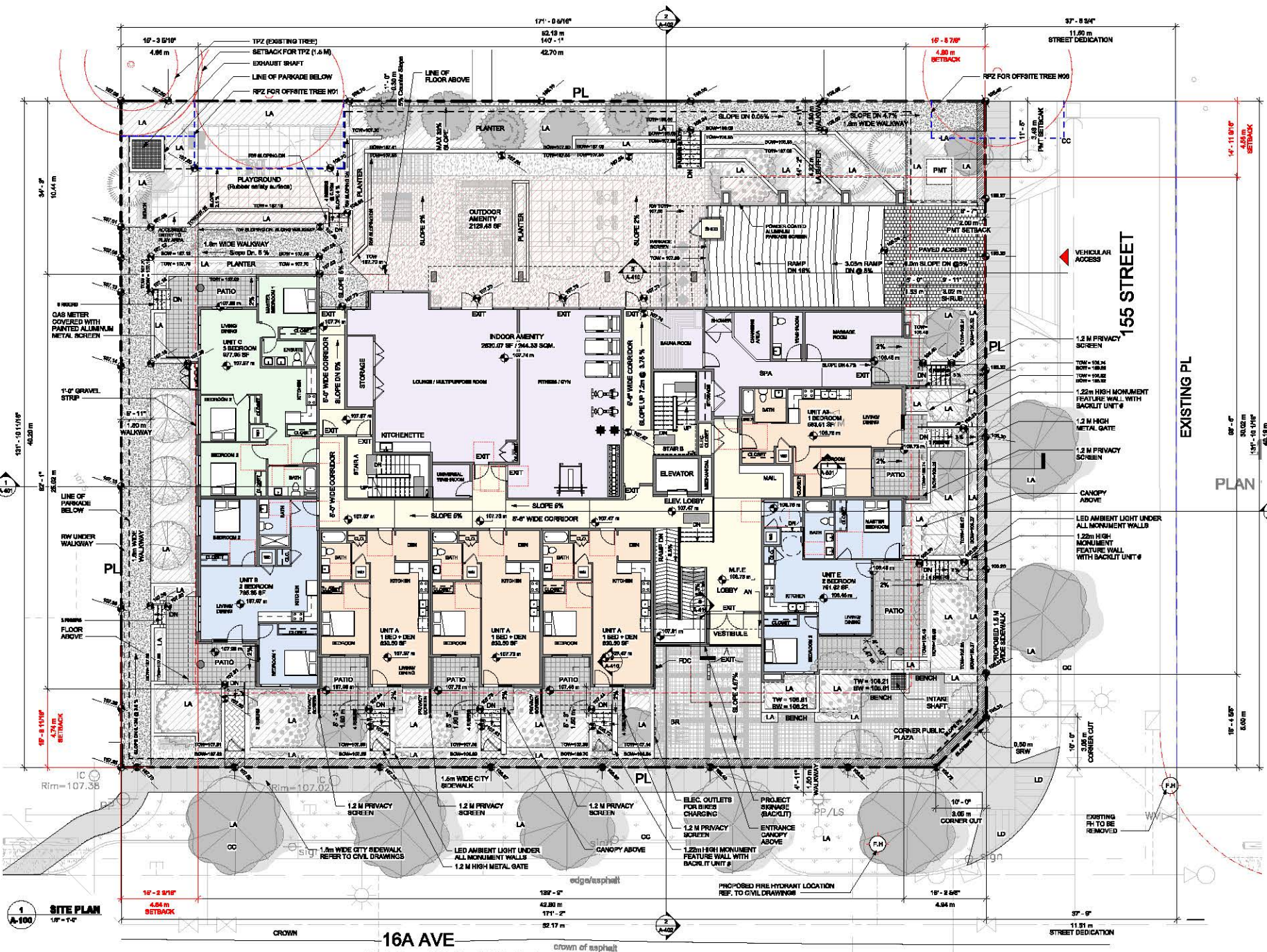
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND ALL
ALL FEES FOR THE EXCLUSIVE PROPERTY OF DF
ARCHITECTURE INC. AND SHOULD BE USED OR REPRODUCED
WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

DRAWN: **PH**
CHECKED: **YA**
SCALE: **1" = 40'-0"**
JOB NO.: **SURV-120**
DATE: **DEC 2009**
SHEET TITLE: **2009-12-13**



SHADOW ANALYSIS

DATE:	A-012
REVISION:	J



NOTES:

- CHARACTER AND COLOR OF CONCRETE FINISHES REF. TO LANDSCAPE DRAWINGS.
- ALL PLANTING MATERIAL AND LANDSCAPE DRAWINGS.
- DESIGN AREA REF. TO LANDSCAPE DRAWINGS.
- SITE GRADING, PROPOSED LOCATION OF THE FIRE HYDRANT, LOCATION OF CATCH BASIN, CURB ALIGNMENT, FOOTING CROSSING REF. TO CIVIL DRAWINGS.
- 1.0 M AND 0.5 M PER PLANTER AND RESTAINING WALLS TO BE CONFIRMED AND COORDINATED WITH LANDSCAPE AND CIVIL.

LEGEND:

- PL - PROPERTY LINE
- LA - LANDSCAPING
- BE - BENCH MARK
- BL - BOLLARD LIGHT
- PL - PROPOSED WALL LIGHT
- CP - CONCRETE PAVING
- SW - STATUARY FINISH OF WAX
- CC - CONCRETE CURB
- PA - FIRE INTERIOR
- AM - AMMUNITION
- FDG - FIRE DEPARTMENT / SMOKE CONNECTION
- LD - LED DOWN
- TM - TOP OF RETAINING WALL
- BM - BOTTOM OF RETAINING WALL

NO.	DESCRIPTION
1	PROPERTY LINE
2	LANDSCAPING
3	BENCH MARK
4	BOLLARD LIGHT
5	PROPOSED WALL LIGHT
6	CONCRETE PAVING
7	STATUARY FINISH OF WAX
8	CONCRETE CURB
9	FIRE INTERIOR
10	AMMUNITION
11	FIRE DEPARTMENT / SMOKE CONNECTION
12	LED DOWN
13	TOP OF RETAINING WALL
14	BOTTOM OF RETAINING WALL



3501 - 108th STREET, SUITE 100
 RICHMOND, BRITISH COLUMBIA, V6X 3K9
 TEL: 604.273.8888
 WWW.DFAARCHITECTURE.COM

PROJECT: PROPOSED MULTI-FAMILY DEVELOPMENT

16473, 16485 & 16485 16A AVENUE

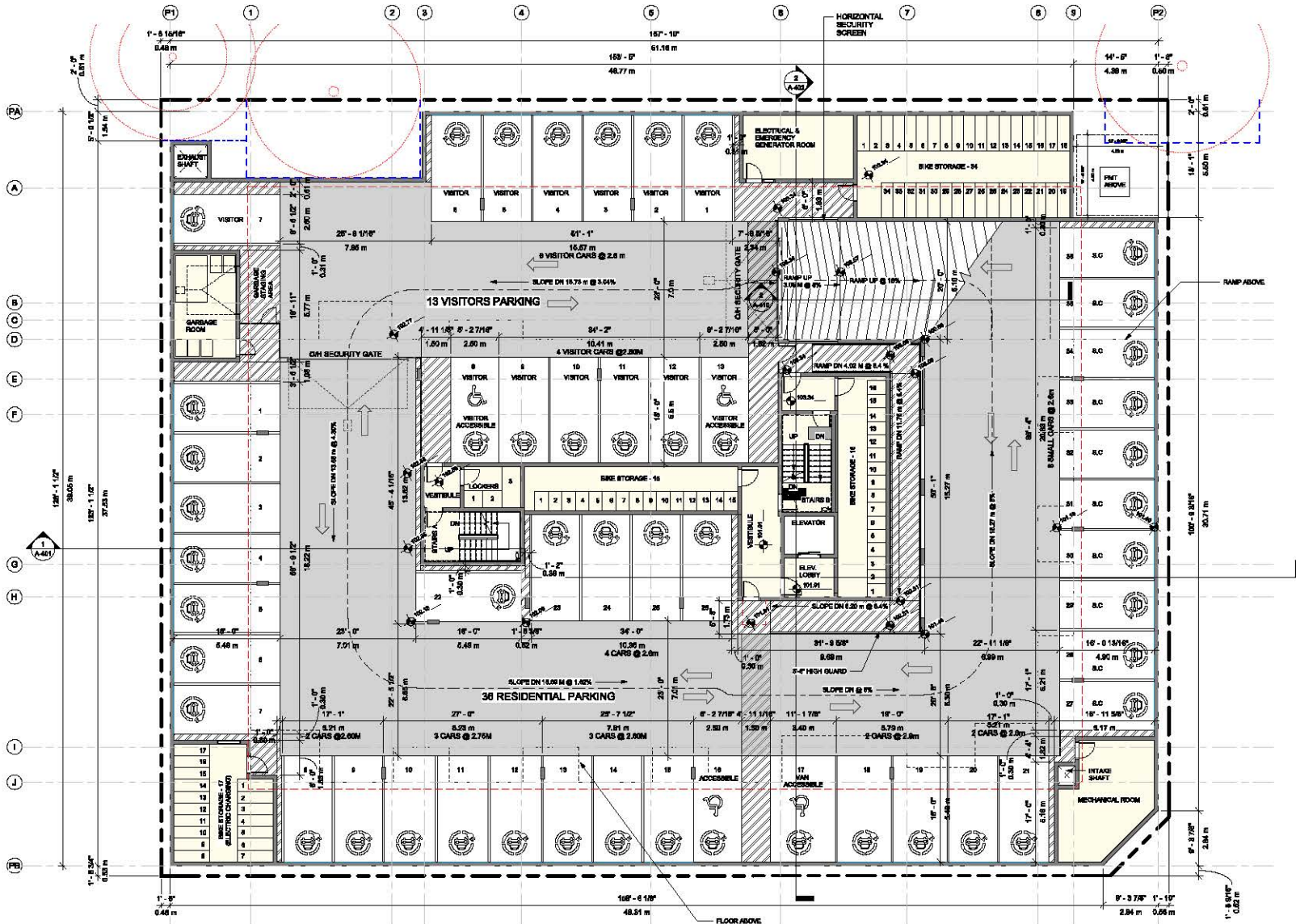
CLIENT: HARBORLANE PROPERTIES (PACIFIC ARCH) INC.

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND ALL RIGHTS RESERVED. THE EXCLUSIVE PROPERTY OF DF ARCHITECTURE INC. ALL RIGHTS RESERVED. PHOTOGRAPHED BY THE ARCHITECTURE FIRM'S OFFICE.

CHARGE:	PA
OWNER:	YA
SCALE:	As Indicated
JOB NO.:	SLV-120
DATE:	DEC 2023
REVISION:	2023-12-13

SITE PLAN

NOTES:



1001-1002	TOP FLOOR
1003-1004	1ST FLOOR
1005-1006	2ND FLOOR
1007-1008	3RD FLOOR
1009-1010	4TH FLOOR
1011-1012	5TH FLOOR
1013-1014	6TH FLOOR
1015-1016	7TH FLOOR
1017-1018	8TH FLOOR
1019-1020	9TH FLOOR
1021-1022	10TH FLOOR
1023-1024	11TH FLOOR
1025-1026	12TH FLOOR
1027-1028	13TH FLOOR
1029-1030	14TH FLOOR
1031-1032	15TH FLOOR
1033-1034	16TH FLOOR
1035-1036	17TH FLOOR
1037-1038	18TH FLOOR
1039-1040	19TH FLOOR
1041-1042	20TH FLOOR
1043-1044	21ST FLOOR
1045-1046	22ND FLOOR
1047-1048	23RD FLOOR
1049-1050	24TH FLOOR
1051-1052	25TH FLOOR
1053-1054	26TH FLOOR
1055-1056	27TH FLOOR
1057-1058	28TH FLOOR
1059-1060	29TH FLOOR
1061-1062	30TH FLOOR
1063-1064	31ST FLOOR
1065-1066	32ND FLOOR
1067-1068	33RD FLOOR
1069-1070	34TH FLOOR
1071-1072	35TH FLOOR
1073-1074	36TH FLOOR
1075-1076	37TH FLOOR
1077-1078	38TH FLOOR
1079-1080	39TH FLOOR
1081-1082	40TH FLOOR
1083-1084	41ST FLOOR
1085-1086	42ND FLOOR
1087-1088	43RD FLOOR
1089-1090	44TH FLOOR
1091-1092	45TH FLOOR
1093-1094	46TH FLOOR
1095-1096	47TH FLOOR
1097-1098	48TH FLOOR
1099-1100	49TH FLOOR
1101-1102	50TH FLOOR



300 - 1081 WILLOWDALE ROAD
SCARBOROUGH, ONTARIO M1B 3Y1
CANADA, 416-291-1111
1100 SHEPPARD AVE. EAST, SUITE 200
SCARBOROUGH, ONTARIO M1B 4E8
516-291-1111

PROJECT:
PROPOSED MULTI-FAMILY DEVELOPMENT

15473, 15485 & 15485 16A AVENUE

CLIENT:
HARBORLANE PROPERTIES (PEACE ARCH) INC.

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE THE PROPERTY OF THE ARCHITECTURE FIRM AND SHOULD BE USED ONLY IN CONNECTION WITH THE ARCHITECT'S WRITTEN CONSENT.

OWNER:	PH
CONTRACT NO.:	TA
SCALE:	1/8" = 1'-0"
JOB NO.:	SUR-120
DATE:	DEC 2008
SHEET TITLE:	

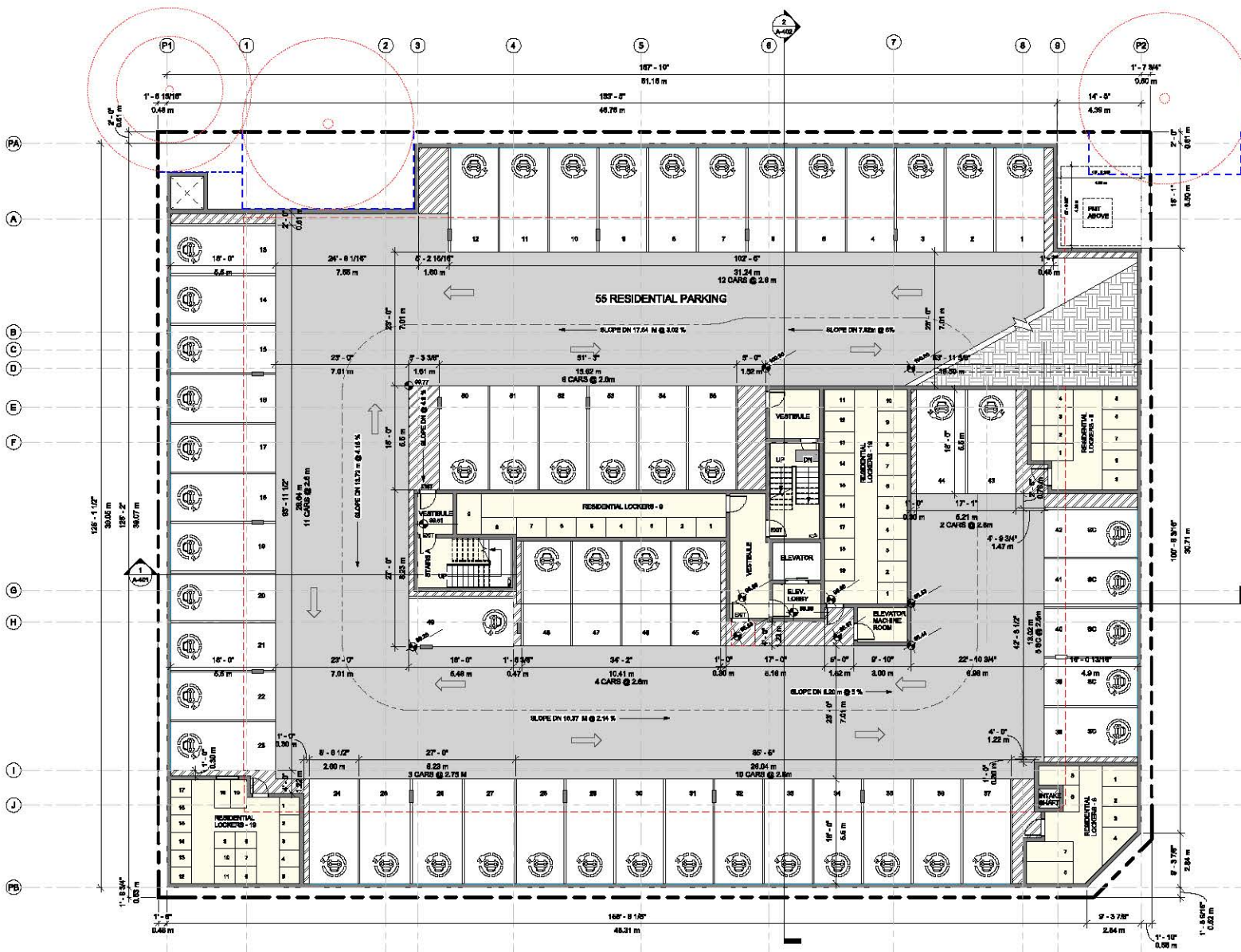


PARKADE 1

1 PARKADE 1
A-200

OWNER:	
NO.:	
A-200	J

NOTES:



100-1001	TOP FLOOR FINISHES
100-1002	TOP FLOOR FINISHES FOR LOCKERS
100-1003	TOP FLOOR FINISHES FOR POOL
100-1004	TOP FLOOR FINISHES FOR POOL DECK
100-1005	TOP FLOOR FINISHES FOR POOL DECK
100-1006	TOP FLOOR FINISHES FOR POOL DECK
100-1007	TOP FLOOR FINISHES FOR POOL DECK
100-1008	TOP FLOOR FINISHES FOR POOL DECK
100-1009	TOP FLOOR FINISHES FOR POOL DECK
100-1010	TOP FLOOR FINISHES FOR POOL DECK



300 - 1081 WILLOWDALE ROAD
 MISSISSAUGA, ONTARIO L4X 1L3
 CANADA, 416-291-1111
 1700 SHEPPARD AVENUE EAST
 SUITE 2000 SCARBOROUGH, ONTARIO M1S 1T6
 416-291-1111

PROJECT:
PROPOSED MULTI-FAMILY DEVELOPMENT

15473, 15485 & 15485 16A AVENUE

CLIENT:
HARBORLANE PROPERTIES (PEACE ARCH) INC.

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND ALL THEIR PARTS THE EXCLUSIVE PROPERTY OF THE ARCHITECTURE FIRM AND SHOULD BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

OWNER:	PA
OWNER'S TA:	
SCALE:	1/8" = 1'-0"
JOB NO.:	SUR-120
DATE:	DEC 2008
REVISION:	

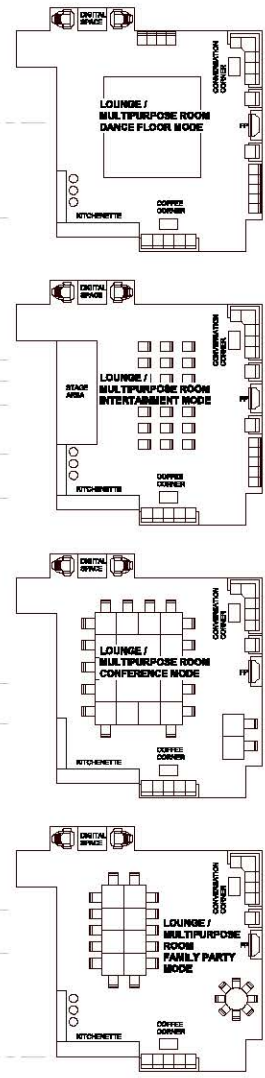


1 PARKADE 2
 1/8" = 1'-0"

PARKADE 2

OWNER:	
NO.:	
A-201	J

NOTES:



100-1001	TOP FLOOR FINISHES
100-1002	TOP FLOOR FINISHES
100-1003	TOP FLOOR FINISHES
100-1004	TOP FLOOR FINISHES
100-1005	TOP FLOOR FINISHES
100-1006	TOP FLOOR FINISHES
100-1007	TOP FLOOR FINISHES
100-1008	TOP FLOOR FINISHES
100-1009	TOP FLOOR FINISHES
100-1010	TOP FLOOR FINISHES
100-1011	TOP FLOOR FINISHES
100-1012	TOP FLOOR FINISHES
100-1013	TOP FLOOR FINISHES
100-1014	TOP FLOOR FINISHES
100-1015	TOP FLOOR FINISHES
100-1016	TOP FLOOR FINISHES
100-1017	TOP FLOOR FINISHES
100-1018	TOP FLOOR FINISHES
100-1019	TOP FLOOR FINISHES
100-1020	TOP FLOOR FINISHES



300-1081 WILLOWDALE ROAD
 100-1000 WILLOWDALE
 CANADA, ONT. M2H 1G7
 TEL: (416) 491-1111 FAX: (416) 491-1112
 info@dfarchitecture.com

PROJECT: PROPOSED MULTI-FAMILY DEVELOPMENT

15473, 15485 & 15485 16A AVENUE

CLIENT: HARBORLANE PROPERTIES (Peach Arch) INC.

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND ALL RIGHTS RESERVED THE EXCLUSIVE PROPERTY OF DF ARCHITECTURE INC. AND NO PART BE LOANED, REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT.

DRAWN:	PH
CHECKED:	TA
SCALE:	1/8" = 1'-0"
JOB NO.:	SUN-120
DATE:	DEC 2008
SHEET TITLE:	2008-12-13



FLOOR PLAN (LEVEL-1)

1 Level 1 1/8" = 1'-0"

2 LOUNGE ROOM PROGRAM OPTIONS 1/8" = 1'-0"

NOTES:



100-1011	TOP FLOOR ELEVATION
100-1012	1ST FLOOR ELEVATION
100-1013	2ND FLOOR ELEVATION
100-1014	3RD FLOOR ELEVATION
100-1015	4TH FLOOR ELEVATION
100-1016	5TH FLOOR ELEVATION
100-1017	6TH FLOOR ELEVATION
100-1018	7TH FLOOR ELEVATION
100-1019	8TH FLOOR ELEVATION
100-1020	9TH FLOOR ELEVATION
100-1021	10TH FLOOR ELEVATION
100-1022	11TH FLOOR ELEVATION
100-1023	12TH FLOOR ELEVATION
100-1024	13TH FLOOR ELEVATION
100-1025	14TH FLOOR ELEVATION
100-1026	15TH FLOOR ELEVATION
100-1027	16TH FLOOR ELEVATION
100-1028	17TH FLOOR ELEVATION
100-1029	18TH FLOOR ELEVATION
100-1030	19TH FLOOR ELEVATION
100-1031	20TH FLOOR ELEVATION
100-1032	21ST FLOOR ELEVATION
100-1033	22ND FLOOR ELEVATION
100-1034	23RD FLOOR ELEVATION
100-1035	24TH FLOOR ELEVATION
100-1036	25TH FLOOR ELEVATION
100-1037	26TH FLOOR ELEVATION
100-1038	27TH FLOOR ELEVATION
100-1039	28TH FLOOR ELEVATION
100-1040	29TH FLOOR ELEVATION
100-1041	30TH FLOOR ELEVATION
100-1042	31ST FLOOR ELEVATION
100-1043	32ND FLOOR ELEVATION
100-1044	33RD FLOOR ELEVATION
100-1045	34TH FLOOR ELEVATION
100-1046	35TH FLOOR ELEVATION
100-1047	36TH FLOOR ELEVATION
100-1048	37TH FLOOR ELEVATION
100-1049	38TH FLOOR ELEVATION
100-1050	39TH FLOOR ELEVATION
100-1051	40TH FLOOR ELEVATION
100-1052	41ST FLOOR ELEVATION
100-1053	42ND FLOOR ELEVATION
100-1054	43RD FLOOR ELEVATION
100-1055	44TH FLOOR ELEVATION
100-1056	45TH FLOOR ELEVATION
100-1057	46TH FLOOR ELEVATION
100-1058	47TH FLOOR ELEVATION
100-1059	48TH FLOOR ELEVATION
100-1060	49TH FLOOR ELEVATION
100-1061	50TH FLOOR ELEVATION
100-1062	51ST FLOOR ELEVATION
100-1063	52ND FLOOR ELEVATION
100-1064	53RD FLOOR ELEVATION
100-1065	54TH FLOOR ELEVATION
100-1066	55TH FLOOR ELEVATION
100-1067	56TH FLOOR ELEVATION
100-1068	57TH FLOOR ELEVATION
100-1069	58TH FLOOR ELEVATION
100-1070	59TH FLOOR ELEVATION
100-1071	60TH FLOOR ELEVATION
100-1072	61ST FLOOR ELEVATION
100-1073	62ND FLOOR ELEVATION
100-1074	63RD FLOOR ELEVATION
100-1075	64TH FLOOR ELEVATION
100-1076	65TH FLOOR ELEVATION
100-1077	66TH FLOOR ELEVATION
100-1078	67TH FLOOR ELEVATION
100-1079	68TH FLOOR ELEVATION
100-1080	69TH FLOOR ELEVATION
100-1081	70TH FLOOR ELEVATION
100-1082	71ST FLOOR ELEVATION
100-1083	72ND FLOOR ELEVATION
100-1084	73RD FLOOR ELEVATION
100-1085	74TH FLOOR ELEVATION
100-1086	75TH FLOOR ELEVATION
100-1087	76TH FLOOR ELEVATION
100-1088	77TH FLOOR ELEVATION
100-1089	78TH FLOOR ELEVATION
100-1090	79TH FLOOR ELEVATION
100-1091	80TH FLOOR ELEVATION
100-1092	81ST FLOOR ELEVATION
100-1093	82ND FLOOR ELEVATION
100-1094	83RD FLOOR ELEVATION
100-1095	84TH FLOOR ELEVATION
100-1096	85TH FLOOR ELEVATION
100-1097	86TH FLOOR ELEVATION
100-1098	87TH FLOOR ELEVATION
100-1099	88TH FLOOR ELEVATION
100-1100	89TH FLOOR ELEVATION
100-1101	90TH FLOOR ELEVATION
100-1102	91ST FLOOR ELEVATION
100-1103	92ND FLOOR ELEVATION
100-1104	93RD FLOOR ELEVATION
100-1105	94TH FLOOR ELEVATION
100-1106	95TH FLOOR ELEVATION
100-1107	96TH FLOOR ELEVATION
100-1108	97TH FLOOR ELEVATION
100-1109	98TH FLOOR ELEVATION
100-1110	99TH FLOOR ELEVATION
100-1111	100TH FLOOR ELEVATION



300-1081 WILLOWDALE ROAD
 RICHMOND HILL, ONTARIO
 CANADA, L4B 1N6
 T: (905) 882-9999 F: (905) 882-9999
 info@dfarchitecture.ca

PROJECT: PROPOSED MULTI-FAMILY DEVELOPMENT

15473, 15485 & 15485 16A AVENUE

CLIENT: HARBORLANE PROPERTIES (PEARCE ARCH) INC.

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND ALL THEIR PARTS THE EXCLUSIVE PROPERTY OF DF ARCHITECTURE INC. AND CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

DRAWN: PB
 CHECKED: YA
 SCALE: 1/8" = 1'-0"
 JOB NO.: SUR-120
 DATE: DEC 2023
 SHEET TITLE: 2023-12-13



FLOOR PLAN (LEVEL-2)

1 Level 2
 A-203 1/8" = 1'-0"

DATE: A-203 J

NOTES:



1001-1002	TOP FLOOR FINISHES
1003-1004	TOP FLOOR FINISHES (SEE NOTES)
1005-1006	TOP FLOOR FINISHES (SEE NOTES)
1007-1008	TOP FLOOR FINISHES (SEE NOTES)
1009-1010	TOP FLOOR FINISHES (SEE NOTES)
1011-1012	TOP FLOOR FINISHES (SEE NOTES)
1013-1014	TOP FLOOR FINISHES (SEE NOTES)
1015-1016	TOP FLOOR FINISHES (SEE NOTES)
1017-1018	TOP FLOOR FINISHES (SEE NOTES)
1019-1020	TOP FLOOR FINISHES (SEE NOTES)
1021-1022	TOP FLOOR FINISHES (SEE NOTES)
1023-1024	TOP FLOOR FINISHES (SEE NOTES)
1025-1026	TOP FLOOR FINISHES (SEE NOTES)
1027-1028	TOP FLOOR FINISHES (SEE NOTES)
1029-1030	TOP FLOOR FINISHES (SEE NOTES)
1031-1032	TOP FLOOR FINISHES (SEE NOTES)
1033-1034	TOP FLOOR FINISHES (SEE NOTES)
1035-1036	TOP FLOOR FINISHES (SEE NOTES)
1037-1038	TOP FLOOR FINISHES (SEE NOTES)
1039-1040	TOP FLOOR FINISHES (SEE NOTES)
1041-1042	TOP FLOOR FINISHES (SEE NOTES)
1043-1044	TOP FLOOR FINISHES (SEE NOTES)
1045-1046	TOP FLOOR FINISHES (SEE NOTES)
1047-1048	TOP FLOOR FINISHES (SEE NOTES)
1049-1050	TOP FLOOR FINISHES (SEE NOTES)
1051-1052	TOP FLOOR FINISHES (SEE NOTES)
1053-1054	TOP FLOOR FINISHES (SEE NOTES)
1055-1056	TOP FLOOR FINISHES (SEE NOTES)
1057-1058	TOP FLOOR FINISHES (SEE NOTES)
1059-1060	TOP FLOOR FINISHES (SEE NOTES)
1061-1062	TOP FLOOR FINISHES (SEE NOTES)
1063-1064	TOP FLOOR FINISHES (SEE NOTES)
1065-1066	TOP FLOOR FINISHES (SEE NOTES)
1067-1068	TOP FLOOR FINISHES (SEE NOTES)
1069-1070	TOP FLOOR FINISHES (SEE NOTES)
1071-1072	TOP FLOOR FINISHES (SEE NOTES)
1073-1074	TOP FLOOR FINISHES (SEE NOTES)
1075-1076	TOP FLOOR FINISHES (SEE NOTES)
1077-1078	TOP FLOOR FINISHES (SEE NOTES)
1079-1080	TOP FLOOR FINISHES (SEE NOTES)
1081-1082	TOP FLOOR FINISHES (SEE NOTES)
1083-1084	TOP FLOOR FINISHES (SEE NOTES)
1085-1086	TOP FLOOR FINISHES (SEE NOTES)
1087-1088	TOP FLOOR FINISHES (SEE NOTES)
1089-1090	TOP FLOOR FINISHES (SEE NOTES)
1091-1092	TOP FLOOR FINISHES (SEE NOTES)
1093-1094	TOP FLOOR FINISHES (SEE NOTES)
1095-1096	TOP FLOOR FINISHES (SEE NOTES)
1097-1098	TOP FLOOR FINISHES (SEE NOTES)
1099-1100	TOP FLOOR FINISHES (SEE NOTES)
1101-1102	TOP FLOOR FINISHES (SEE NOTES)
1103-1104	TOP FLOOR FINISHES (SEE NOTES)
1105-1106	TOP FLOOR FINISHES (SEE NOTES)
1107-1108	TOP FLOOR FINISHES (SEE NOTES)
1109-1110	TOP FLOOR FINISHES (SEE NOTES)
1111-1112	TOP FLOOR FINISHES (SEE NOTES)
1113-1114	TOP FLOOR FINISHES (SEE NOTES)
1115-1116	TOP FLOOR FINISHES (SEE NOTES)
1117-1118	TOP FLOOR FINISHES (SEE NOTES)
1119-1120	TOP FLOOR FINISHES (SEE NOTES)
1121-1122	TOP FLOOR FINISHES (SEE NOTES)
1123-1124	TOP FLOOR FINISHES (SEE NOTES)
1125-1126	TOP FLOOR FINISHES (SEE NOTES)
1127-1128	TOP FLOOR FINISHES (SEE NOTES)
1129-1130	TOP FLOOR FINISHES (SEE NOTES)
1131-1132	TOP FLOOR FINISHES (SEE NOTES)
1133-1134	TOP FLOOR FINISHES (SEE NOTES)
1135-1136	TOP FLOOR FINISHES (SEE NOTES)
1137-1138	TOP FLOOR FINISHES (SEE NOTES)
1139-1140	TOP FLOOR FINISHES (SEE NOTES)
1141-1142	TOP FLOOR FINISHES (SEE NOTES)
1143-1144	TOP FLOOR FINISHES (SEE NOTES)
1145-1146	TOP FLOOR FINISHES (SEE NOTES)
1147-1148	TOP FLOOR FINISHES (SEE NOTES)
1149-1150	TOP FLOOR FINISHES (SEE NOTES)
1151-1152	TOP FLOOR FINISHES (SEE NOTES)
1153-1154	TOP FLOOR FINISHES (SEE NOTES)
1155-1156	TOP FLOOR FINISHES (SEE NOTES)
1157-1158	TOP FLOOR FINISHES (SEE NOTES)
1159-1160	TOP FLOOR FINISHES (SEE NOTES)
1161-1162	TOP FLOOR FINISHES (SEE NOTES)
1163-1164	TOP FLOOR FINISHES (SEE NOTES)
1165-1166	TOP FLOOR FINISHES (SEE NOTES)
1167-1168	TOP FLOOR FINISHES (SEE NOTES)
1169-1170	TOP FLOOR FINISHES (SEE NOTES)
1171-1172	TOP FLOOR FINISHES (SEE NOTES)
1173-1174	TOP FLOOR FINISHES (SEE NOTES)
1175-1176	TOP FLOOR FINISHES (SEE NOTES)
1177-1178	TOP FLOOR FINISHES (SEE NOTES)
1179-1180	TOP FLOOR FINISHES (SEE NOTES)
1181-1182	TOP FLOOR FINISHES (SEE NOTES)
1183-1184	TOP FLOOR FINISHES (SEE NOTES)
1185-1186	TOP FLOOR FINISHES (SEE NOTES)
1187-1188	TOP FLOOR FINISHES (SEE NOTES)
1189-1190	TOP FLOOR FINISHES (SEE NOTES)
1191-1192	TOP FLOOR FINISHES (SEE NOTES)
1193-1194	TOP FLOOR FINISHES (SEE NOTES)
1195-1196	TOP FLOOR FINISHES (SEE NOTES)
1197-1198	TOP FLOOR FINISHES (SEE NOTES)
1199-1200	TOP FLOOR FINISHES (SEE NOTES)
1201-1202	TOP FLOOR FINISHES (SEE NOTES)
1203-1204	TOP FLOOR FINISHES (SEE NOTES)
1205-1206	TOP FLOOR FINISHES (SEE NOTES)
1207-1208	TOP FLOOR FINISHES (SEE NOTES)
1209-1210	TOP FLOOR FINISHES (SEE NOTES)
1211-1212	TOP FLOOR FINISHES (SEE NOTES)
1213-1214	TOP FLOOR FINISHES (SEE NOTES)
1215-1216	TOP FLOOR FINISHES (SEE NOTES)
1217-1218	TOP FLOOR FINISHES (SEE NOTES)
1219-1220	TOP FLOOR FINISHES (SEE NOTES)
1221-1222	TOP FLOOR FINISHES (SEE NOTES)
1223-1224	TOP FLOOR FINISHES (SEE NOTES)
1225-1226	TOP FLOOR FINISHES (SEE NOTES)
1227-1228	TOP FLOOR FINISHES (SEE NOTES)
1229-1230	TOP FLOOR FINISHES (SEE NOTES)
1231-1232	TOP FLOOR FINISHES (SEE NOTES)
1233-1234	TOP FLOOR FINISHES (SEE NOTES)
1235-1236	TOP FLOOR FINISHES (SEE NOTES)
1237-1238	TOP FLOOR FINISHES (SEE NOTES)
1239-1240	TOP FLOOR FINISHES (SEE NOTES)
1241-1242	TOP FLOOR FINISHES (SEE NOTES)
1243-1244	TOP FLOOR FINISHES (SEE NOTES)
1245-1246	TOP FLOOR FINISHES (SEE NOTES)
1247-1248	TOP FLOOR FINISHES (SEE NOTES)
1249-1250	TOP FLOOR FINISHES (SEE NOTES)
1251-1252	TOP FLOOR FINISHES (SEE NOTES)
1253-1254	TOP FLOOR FINISHES (SEE NOTES)
1255-1256	TOP FLOOR FINISHES (SEE NOTES)
1257-1258	TOP FLOOR FINISHES (SEE NOTES)
1259-1260	TOP FLOOR FINISHES (SEE NOTES)
1261-1262	TOP FLOOR FINISHES (SEE NOTES)
1263-1264	TOP FLOOR FINISHES (SEE NOTES)
1265-1266	TOP FLOOR FINISHES (SEE NOTES)
1267-1268	TOP FLOOR FINISHES (SEE NOTES)
1269-1270	TOP FLOOR FINISHES (SEE NOTES)
1271-1272	TOP FLOOR FINISHES (SEE NOTES)
1273-1274	TOP FLOOR FINISHES (SEE NOTES)
1275-1276	TOP FLOOR FINISHES (SEE NOTES)
1277-1278	TOP FLOOR FINISHES (SEE NOTES)
1279-1280	TOP FLOOR FINISHES (SEE NOTES)
1281-1282	TOP FLOOR FINISHES (SEE NOTES)
1283-1284	TOP FLOOR FINISHES (SEE NOTES)
1285-1286	TOP FLOOR FINISHES (SEE NOTES)
1287-1288	TOP FLOOR FINISHES (SEE NOTES)
1289-1290	TOP FLOOR FINISHES (SEE NOTES)
1291-1292	TOP FLOOR FINISHES (SEE NOTES)
1293-1294	TOP FLOOR FINISHES (SEE NOTES)
1295-1296	TOP FLOOR FINISHES (SEE NOTES)
1297-1298	TOP FLOOR FINISHES (SEE NOTES)
1299-1300	TOP FLOOR FINISHES (SEE NOTES)



300 - 1081 WILLOWDALE ROAD
 RICHMOND HILL, ONTARIO
 CANADA L4B 1N2
 T: 905.882.9100 F: 905.882.9101
 info@dfarchitecture.ca

PROJECT:
**PROPOSED MULTI-FAMILY
 DEVELOPMENT**

15473, 15485 & 15485 16A
 AVENUE

CLIENT:
**HARBORLANE PROPERTIES
 (Peach Arch) INC.**

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF DF ARCHITECTURE INC. AND CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

OWNER:	PH
OWNER'S NO.:	YA
SCALE:	1/8" = 1'-0"
JOB NO.:	SUR-120
DATE:	DEC 2008
REVISION TITLE:	2008-12-13



FLOOR PLAN (LEVEL- 3,
 4 & 5)

1
A-204 Level 3 & 5
 1/8" = 1'-0"

NOTES:



1001-1002	TOP FLOOR FINISHES
1003-1004	TOP FLOOR FINISHES FOR LOUNGE
1005-1006	TOP FLOOR FINISHES FOR LOUNGE
1007-1008	TOP FLOOR FINISHES FOR LOUNGE
1009-1010	TOP FLOOR FINISHES FOR LOUNGE
1011-1012	TOP FLOOR FINISHES FOR LOUNGE
1013-1014	TOP FLOOR FINISHES FOR LOUNGE
1015-1016	TOP FLOOR FINISHES FOR LOUNGE
1017-1018	TOP FLOOR FINISHES FOR LOUNGE
1019-1020	TOP FLOOR FINISHES FOR LOUNGE
1021-1022	TOP FLOOR FINISHES FOR LOUNGE
1023-1024	TOP FLOOR FINISHES FOR LOUNGE
1025-1026	TOP FLOOR FINISHES FOR LOUNGE
1027-1028	TOP FLOOR FINISHES FOR LOUNGE
1029-1030	TOP FLOOR FINISHES FOR LOUNGE
1031-1032	TOP FLOOR FINISHES FOR LOUNGE
1033-1034	TOP FLOOR FINISHES FOR LOUNGE
1035-1036	TOP FLOOR FINISHES FOR LOUNGE
1037-1038	TOP FLOOR FINISHES FOR LOUNGE
1039-1040	TOP FLOOR FINISHES FOR LOUNGE
1041-1042	TOP FLOOR FINISHES FOR LOUNGE
1043-1044	TOP FLOOR FINISHES FOR LOUNGE
1045-1046	TOP FLOOR FINISHES FOR LOUNGE
1047-1048	TOP FLOOR FINISHES FOR LOUNGE
1049-1050	TOP FLOOR FINISHES FOR LOUNGE
1051-1052	TOP FLOOR FINISHES FOR LOUNGE
1053-1054	TOP FLOOR FINISHES FOR LOUNGE
1055-1056	TOP FLOOR FINISHES FOR LOUNGE
1057-1058	TOP FLOOR FINISHES FOR LOUNGE
1059-1060	TOP FLOOR FINISHES FOR LOUNGE
1061-1062	TOP FLOOR FINISHES FOR LOUNGE
1063-1064	TOP FLOOR FINISHES FOR LOUNGE
1065-1066	TOP FLOOR FINISHES FOR LOUNGE
1067-1068	TOP FLOOR FINISHES FOR LOUNGE
1069-1070	TOP FLOOR FINISHES FOR LOUNGE
1071-1072	TOP FLOOR FINISHES FOR LOUNGE
1073-1074	TOP FLOOR FINISHES FOR LOUNGE
1075-1076	TOP FLOOR FINISHES FOR LOUNGE
1077-1078	TOP FLOOR FINISHES FOR LOUNGE
1079-1080	TOP FLOOR FINISHES FOR LOUNGE
1081-1082	TOP FLOOR FINISHES FOR LOUNGE
1083-1084	TOP FLOOR FINISHES FOR LOUNGE
1085-1086	TOP FLOOR FINISHES FOR LOUNGE
1087-1088	TOP FLOOR FINISHES FOR LOUNGE
1089-1090	TOP FLOOR FINISHES FOR LOUNGE
1091-1092	TOP FLOOR FINISHES FOR LOUNGE
1093-1094	TOP FLOOR FINISHES FOR LOUNGE
1095-1096	TOP FLOOR FINISHES FOR LOUNGE
1097-1098	TOP FLOOR FINISHES FOR LOUNGE
1099-1100	TOP FLOOR FINISHES FOR LOUNGE
1101-1102	TOP FLOOR FINISHES FOR LOUNGE
1103-1104	TOP FLOOR FINISHES FOR LOUNGE
1105-1106	TOP FLOOR FINISHES FOR LOUNGE
1107-1108	TOP FLOOR FINISHES FOR LOUNGE
1109-1110	TOP FLOOR FINISHES FOR LOUNGE
1111-1112	TOP FLOOR FINISHES FOR LOUNGE
1113-1114	TOP FLOOR FINISHES FOR LOUNGE
1115-1116	TOP FLOOR FINISHES FOR LOUNGE
1117-1118	TOP FLOOR FINISHES FOR LOUNGE
1119-1120	TOP FLOOR FINISHES FOR LOUNGE
1121-1122	TOP FLOOR FINISHES FOR LOUNGE
1123-1124	TOP FLOOR FINISHES FOR LOUNGE
1125-1126	TOP FLOOR FINISHES FOR LOUNGE
1127-1128	TOP FLOOR FINISHES FOR LOUNGE
1129-1130	TOP FLOOR FINISHES FOR LOUNGE
1131-1132	TOP FLOOR FINISHES FOR LOUNGE
1133-1134	TOP FLOOR FINISHES FOR LOUNGE
1135-1136	TOP FLOOR FINISHES FOR LOUNGE
1137-1138	TOP FLOOR FINISHES FOR LOUNGE
1139-1140	TOP FLOOR FINISHES FOR LOUNGE
1141-1142	TOP FLOOR FINISHES FOR LOUNGE
1143-1144	TOP FLOOR FINISHES FOR LOUNGE
1145-1146	TOP FLOOR FINISHES FOR LOUNGE
1147-1148	TOP FLOOR FINISHES FOR LOUNGE
1149-1150	TOP FLOOR FINISHES FOR LOUNGE
1151-1152	TOP FLOOR FINISHES FOR LOUNGE
1153-1154	TOP FLOOR FINISHES FOR LOUNGE
1155-1156	TOP FLOOR FINISHES FOR LOUNGE
1157-1158	TOP FLOOR FINISHES FOR LOUNGE
1159-1160	TOP FLOOR FINISHES FOR LOUNGE
1161-1162	TOP FLOOR FINISHES FOR LOUNGE
1163-1164	TOP FLOOR FINISHES FOR LOUNGE
1165-1166	TOP FLOOR FINISHES FOR LOUNGE
1167-1168	TOP FLOOR FINISHES FOR LOUNGE
1169-1170	TOP FLOOR FINISHES FOR LOUNGE
1171-1172	TOP FLOOR FINISHES FOR LOUNGE
1173-1174	TOP FLOOR FINISHES FOR LOUNGE
1175-1176	TOP FLOOR FINISHES FOR LOUNGE
1177-1178	TOP FLOOR FINISHES FOR LOUNGE
1179-1180	TOP FLOOR FINISHES FOR LOUNGE
1181-1182	TOP FLOOR FINISHES FOR LOUNGE
1183-1184	TOP FLOOR FINISHES FOR LOUNGE
1185-1186	TOP FLOOR FINISHES FOR LOUNGE
1187-1188	TOP FLOOR FINISHES FOR LOUNGE
1189-1190	TOP FLOOR FINISHES FOR LOUNGE
1191-1192	TOP FLOOR FINISHES FOR LOUNGE
1193-1194	TOP FLOOR FINISHES FOR LOUNGE
1195-1196	TOP FLOOR FINISHES FOR LOUNGE
1197-1198	TOP FLOOR FINISHES FOR LOUNGE
1199-1200	TOP FLOOR FINISHES FOR LOUNGE



300 - 1085 WILLIAMSBURG ROAD
 ROSHAMORE VILLAGE COLLEGE
 CANADA, V6C 2R8
 TEL: 604.273.8888 FAX: 604.273.8889
 WWW.DFAARCHITECTURE.COM

PROJECT: PROPOSED MULTI-FAMILY DEVELOPMENT

15473, 15485 & 15485 16A AVENUE

CLIENT: HARBORLANE PROPERTIES (Peach Arch) INC.

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND ALL RIGHTS RESERVED THE EXCLUSIVE PROPERTY OF DFA ARCHITECTURE INC. AND CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

CHARGE: PB
 CHARGES: YA
 SCALE: 1/8" = 1'-0"
 JOB NO.: SURV-120
 DATE: DEC 2008
 SHEET TITLE: 2008-12-13



FLOOR PLAN (LEVEL-6)

1 Level 6
 A-205
 1/8" = 1'-0"

CHARGE: PB
 CHARGES: YA
 SCALE: 1/8" = 1'-0"
 JOB NO.: SURV-120
 DATE: DEC 2008
 SHEET TITLE: 2008-12-13

NOTES:



LEGEND:
 RD ROOF DRAIN
 OF OVERFLOW DRAIN

000-11-11	TOP FLOOR ROOF PLAN
000-11-12	TOP FLOOR ROOF PLAN FOR LOADING
000-11-13	TOP FLOOR ROOF PLAN FOR LOADING
000-11-14	TOP FLOOR ROOF PLAN FOR LOADING
000-11-15	TOP FLOOR ROOF PLAN FOR LOADING
000-11-16	TOP FLOOR ROOF PLAN FOR LOADING
000-11-17	TOP FLOOR ROOF PLAN FOR LOADING
000-11-18	TOP FLOOR ROOF PLAN FOR LOADING
000-11-19	TOP FLOOR ROOF PLAN FOR LOADING
000-11-20	TOP FLOOR ROOF PLAN FOR LOADING
000-11-21	TOP FLOOR ROOF PLAN FOR LOADING
000-11-22	TOP FLOOR ROOF PLAN FOR LOADING
000-11-23	TOP FLOOR ROOF PLAN FOR LOADING
000-11-24	TOP FLOOR ROOF PLAN FOR LOADING
000-11-25	TOP FLOOR ROOF PLAN FOR LOADING
000-11-26	TOP FLOOR ROOF PLAN FOR LOADING
000-11-27	TOP FLOOR ROOF PLAN FOR LOADING
000-11-28	TOP FLOOR ROOF PLAN FOR LOADING
000-11-29	TOP FLOOR ROOF PLAN FOR LOADING
000-11-30	TOP FLOOR ROOF PLAN FOR LOADING



300 - 1081 WILLOWDALE ROAD
 PROFESSIONAL BUILDING
 CANADA, ONTARIO
 1 (905) 881-1111
 info@dfarchitecture.ca

PROJECT:
PROPOSED MULTI-FAMILY DEVELOPMENT

15473, 15485 & 15485 16A AVENUE

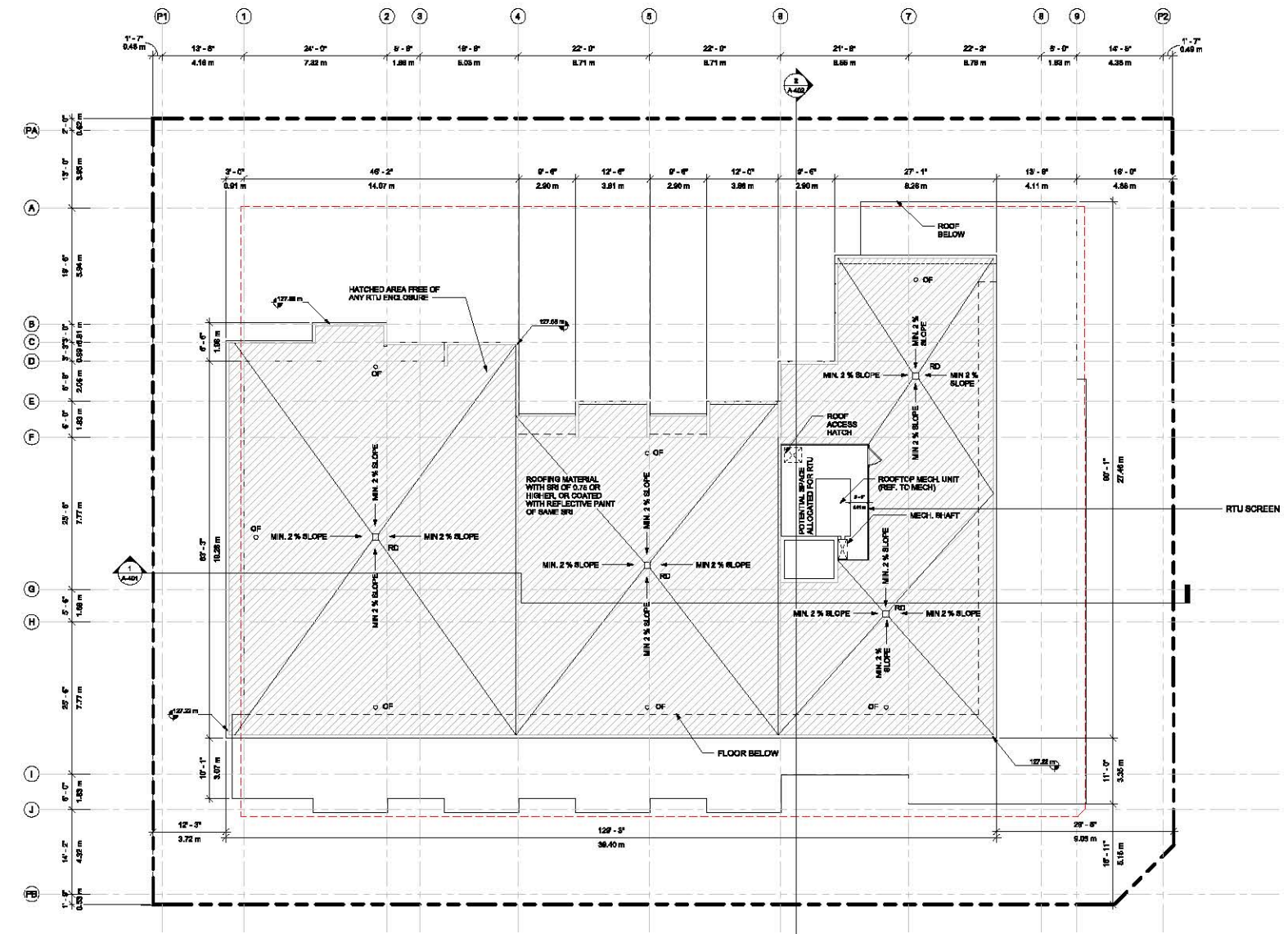
CLIENT:
HARBORLANE PROPERTIES (PRAIRIE ARCH) INC.

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND ALL THEIR PARTS THE EXCLUSIVE PROPERTY OF DF ARCHITECTURE INC. AND SHOULD BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

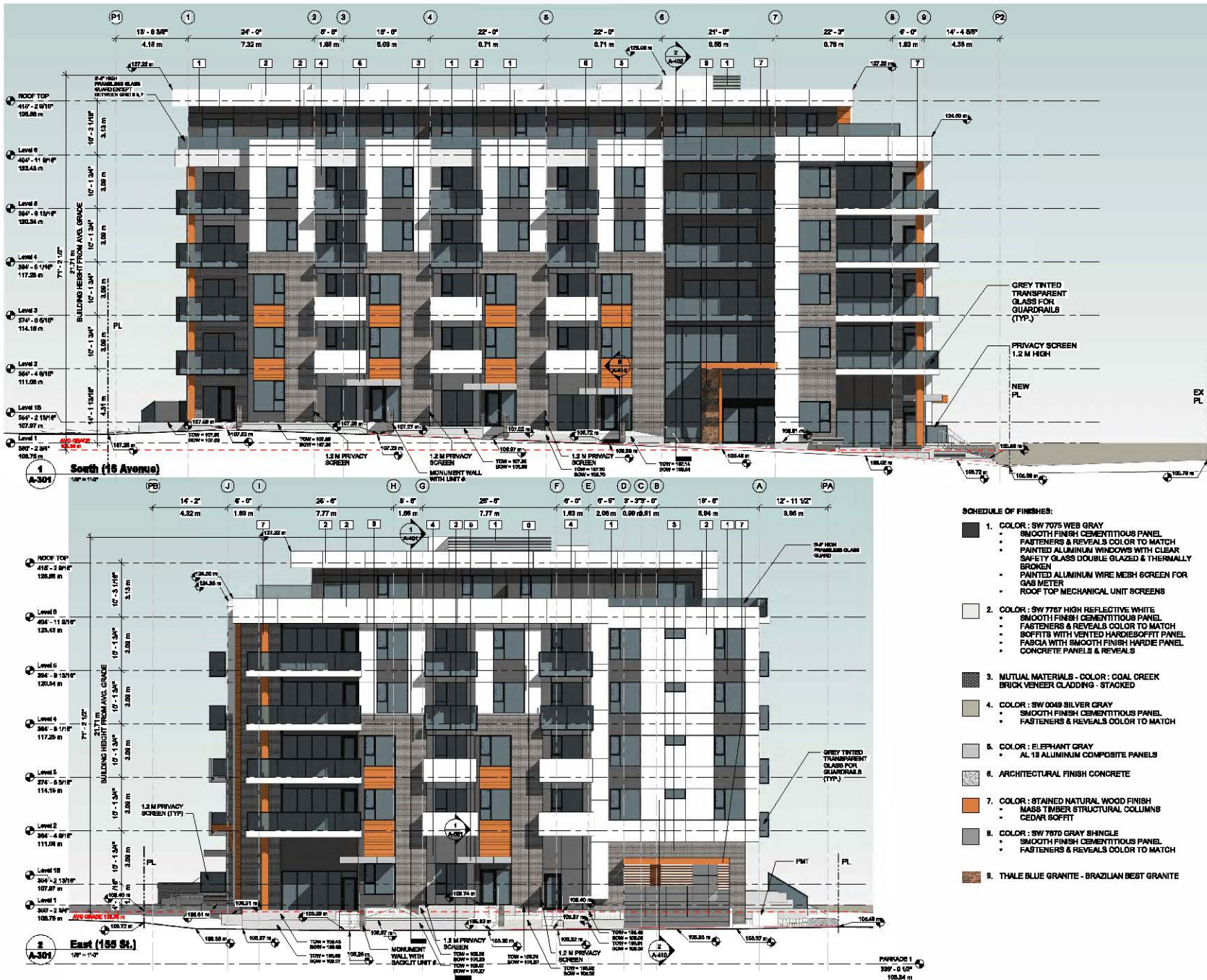
DRAWN:	PH
CHECKED:	TA
SCALE:	1/8" = 1'-0"
JOB NO.:	SUR-120
DATE:	DEC 2008
REVISION:	



ROOF PLAN



1 ROOF TOP
 A-206 1/8" = 1'-0"



NOTES:



KEY PLAN

NOTES:

BLACK WINDOW FRAMES FOR THE WHOLE BUILDING TO BE RETAINED TILL CONSTRUCTION PHASE. SEPARATE LETTER OF COMMITMENT FROM THE CLIENT TO THE CITY STAFF HAS BEEN PROVIDED AT THE COUNCIL MEETING STAGE OF THE PROJECT.

100-10-11	TOP FLOOR FINISH
100-10-12	TOP FLOOR FINISH
100-10-13	TOP FLOOR FINISH
100-10-14	TOP FLOOR FINISH
100-10-15	TOP FLOOR FINISH
100-10-16	TOP FLOOR FINISH
100-10-17	TOP FLOOR FINISH
100-10-18	TOP FLOOR FINISH
100-10-19	TOP FLOOR FINISH
100-10-20	TOP FLOOR FINISH
100-10-21	TOP FLOOR FINISH
100-10-22	TOP FLOOR FINISH
100-10-23	TOP FLOOR FINISH
100-10-24	TOP FLOOR FINISH
100-10-25	TOP FLOOR FINISH
100-10-26	TOP FLOOR FINISH
100-10-27	TOP FLOOR FINISH
100-10-28	TOP FLOOR FINISH
100-10-29	TOP FLOOR FINISH
100-10-30	TOP FLOOR FINISH



300-1081 WILLOW AVENUE WEST
 MISSISSAUGA, ONTARIO L4X 1L7
 CANADA, 100 000 000 000
 T: 905.882.9100 F: 905.882.9101
 info@dfarchitecture.ca

PROJECT:
PROPOSED MULTI-FAMILY DEVELOPMENT
 15473, 15485 & 15485 16A AVENUE

CLIENT:
HARBORLANE PROPERTIES (PEACE ARCH) INC.

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND ALL FEES FOR THIS EXCLUSIVE PROPERTY OF DF ARCHITECTURE INC. AND CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

DATE:	PD
DESIGNED BY:	JA
SCALE:	1/8" = 1'-0"
JOB NO.:	SURV-120
DATE:	DEC 2023
REVISION:	2023-12-13

ELEVATIONS

PACKAGE 1
 330' - 0 1/2"
 103.34 m

A-301 **J**

- SCHEDULE OF FINISHES:**
- 1. COLOR : SW 7075 WEB GRAY
 - SMOOTH FINISH CEMENTITIOUS PANEL
 - FASTENERS & REVEALS COLOR TO MATCH
 - PAINTED ALUMINUM WINDOWS WITH CLEAR SAFETY GLASS DOUBLE GLAZED & THERMALLY BROKEN
 - PAINTED ALUMINUM WIRE MESH SCREEN FOR GAS METER
 - ROOF TOP MECHANICAL UNIT SCREENS
 - 2. COLOR : SW 7787 HIGH REFLECTIVE WHITE
 - SMOOTH FINISH CEMENTITIOUS PANEL
 - FASTENERS & REVEALS COLOR TO MATCH
 - SOFFITS WITH VENTED HARDIESOFFIT PANEL
 - FASCIA WITH SMOOTH FINISH HARDIE PANEL
 - CONCRETE PANELS & REVEALS
 - 3. MUTUAL MATERIALS - COLOR : COAL CREEK BRICK VENEER CLADDING - STACKED
 - 4. COLOR : SW 0049 SILVER GRAY
 - SMOOTH FINISH CEMENTITIOUS PANEL
 - FASTENERS & REVEALS COLOR TO MATCH
 - 5. COLOR : ELEPHANT GRAY
 - AL 18 ALUMINUM COMPOSITE PANELS
 - 6. ARCHITECTURAL FINISH CONCRETE
 - 7. COLOR : STAINED NATURAL WOOD FINISH
 - MASS TIMBER STRUCTURAL COLUMNS
 - CEDAR SOFFIT
 - 8. COLOR : SW 7870 GRAY SHINGLE
 - SMOOTH FINISH CEMENTITIOUS PANEL
 - FASTENERS & REVEALS COLOR TO MATCH
 - 9. THALE BLUE GRANITE - BRAZILIAN BEST GRANITE



NOTES:



KEY PLAN

NOTES:
 BLACK WINDOW FRAMES FOR THE WHOLE BUILDING TO BE RETAINED TILL CONSTRUCTION PHASE. SEPARATE LETTER OF COMMITMENT FROM THE CLIENT TO THE CITY STAFF HAS BEEN PROVIDED AT THE COUNCIL MEETING STAGE OF THE PROJECT.

100-1081-1	TOP FLOOR ROOF DECK
100-1081-2	TOP FLOOR MECHANICAL ROOM
100-1081-3	TOP FLOOR MECHANICAL ROOM
100-1081-4	TOP FLOOR MECHANICAL ROOM
100-1081-5	TOP FLOOR MECHANICAL ROOM
100-1081-6	TOP FLOOR MECHANICAL ROOM
100-1081-7	TOP FLOOR MECHANICAL ROOM
100-1081-8	TOP FLOOR MECHANICAL ROOM
100-1081-9	TOP FLOOR MECHANICAL ROOM
100-1081-10	TOP FLOOR MECHANICAL ROOM
100-1081-11	TOP FLOOR MECHANICAL ROOM
100-1081-12	TOP FLOOR MECHANICAL ROOM
100-1081-13	TOP FLOOR MECHANICAL ROOM
100-1081-14	TOP FLOOR MECHANICAL ROOM
100-1081-15	TOP FLOOR MECHANICAL ROOM
100-1081-16	TOP FLOOR MECHANICAL ROOM
100-1081-17	TOP FLOOR MECHANICAL ROOM
100-1081-18	TOP FLOOR MECHANICAL ROOM
100-1081-19	TOP FLOOR MECHANICAL ROOM
100-1081-20	TOP FLOOR MECHANICAL ROOM



- SCHEDULE OF FINISHES:**
- COLOR: SW 7078 WEB GRAY**
 - SMOOTH FINISH CEMENTITIOUS PANEL
 - FASTENERS & REVEALS COLOR TO MATCH
 - PAINTED ALUMINUM WINDOWS WITH CLEAR SAFETY GLASS DOUBLE GLAZED & THERMALLY BROKEN
 - PAINTED ALUMINUM WIRE MESH SCREEN FOR GAS METER
 - ROOF TOP MECHANICAL UNIT SCREENS
 - COLOR: SW 7757 HIGH REFLECTIVE WHITE**
 - SMOOTH FINISH CEMENTITIOUS PANEL
 - FASTENERS & REVEALS COLOR TO MATCH
 - SOFFITS WITH VENTED HANDICRAFT PANEL
 - FASCIA WITH SMOOTH FINISH HANDICRAFT PANEL
 - CONCRETE PANELS & REVEALS
 - MUTUAL MATERIALS - COLOR: COAL CREEK BRICK VENEER CLADDING - STACKED**
 - COLOR: SW 9048 SILVER GRAY**
 - SMOOTH FINISH CEMENTITIOUS PANEL
 - FASTENERS & REVEALS COLOR TO MATCH
 - COLOR: ELEPHANT GRAY**
 - AL 13 ALUMINUM COMPOSITE PANELS
 - ARCHITECTURAL FINISH CONCRETE**
 - COLOR: STAINED NATURAL WOOD FINISH**
 - MASS TIMBER STRUCTURAL COLUMNS
 - CEDAR SOFFIT
 - COLOR: SW 7670 GRAY SHINGLE**
 - SMOOTH FINISH CEMENTITIOUS PANEL
 - FASTENERS & REVEALS COLOR TO MATCH
 - THALE BLUE GRANITE - BRAZILIAN BEST GRANITE**



300-1081 WILLOWDALE ROAD
 WILLOWDALE, ONTARIO L4Y 1P4
 CANADA, 416-491-1111
 1-800-363-6828 (TOLL FREE)
 info@dfarchitecture.ca

PROJECT:
 PROPOSED MULTI-FAMILY DEVELOPMENT

15473, 15485 & 15485 16A AVENUE

CLIENT:
 HARBORLANE PROPERTIES (PEACE ARCH) INC.

© COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND ALL FEES FOR THIS EXCLUSIVE PROPERTY OF DF ARCHITECTURE INC. AND ALL RIGHTS ARE RESERVED. NO REPRODUCTION WITHOUT THE WRITTEN CONSENT.

OWNER:	PH
DESIGNER:	YA
SCALE:	1/8" = 1'-0"
JOB NO.:	SUR-120
DATE:	DEC 2023
SHEET TITLE:	2023-12-13

ELEVATIONS

NOTES:



000-11-11	TOP FLOOR FINISHES
000-11-12	TOP FLOOR FINISHES (SEE SCHEDULE)
000-11-13	TOP FLOOR FINISHES (SEE SCHEDULE)
000-11-14	TOP FLOOR FINISHES (SEE SCHEDULE)
000-11-15	TOP FLOOR FINISHES (SEE SCHEDULE)
000-11-16	TOP FLOOR FINISHES (SEE SCHEDULE)
000-11-17	TOP FLOOR FINISHES (SEE SCHEDULE)
000-11-18	TOP FLOOR FINISHES (SEE SCHEDULE)
000-11-19	TOP FLOOR FINISHES (SEE SCHEDULE)
000-11-20	TOP FLOOR FINISHES (SEE SCHEDULE)
000-11-21	TOP FLOOR FINISHES (SEE SCHEDULE)
000-11-22	TOP FLOOR FINISHES (SEE SCHEDULE)
000-11-23	TOP FLOOR FINISHES (SEE SCHEDULE)
000-11-24	TOP FLOOR FINISHES (SEE SCHEDULE)
000-11-25	TOP FLOOR FINISHES (SEE SCHEDULE)
000-11-26	TOP FLOOR FINISHES (SEE SCHEDULE)
000-11-27	TOP FLOOR FINISHES (SEE SCHEDULE)
000-11-28	TOP FLOOR FINISHES (SEE SCHEDULE)
000-11-29	TOP FLOOR FINISHES (SEE SCHEDULE)
000-11-30	TOP FLOOR FINISHES (SEE SCHEDULE)



300 - 10881 WILLOWDALE ROAD
 RICHMOND HILL, ONTARIO L4B 3N2
 CANADA, 1900 SQ. FT.
 T: (905) 882-1111 F: (905) 882-1112
 info@dfarchitecture.ca

PROJECT:
PROPOSED MULTI-FAMILY DEVELOPMENT

16473, 16485 & 16485 16A AVENUE

CLIENT:
HARBORLANE PROPERTIES (PEACE ARCH) INC.

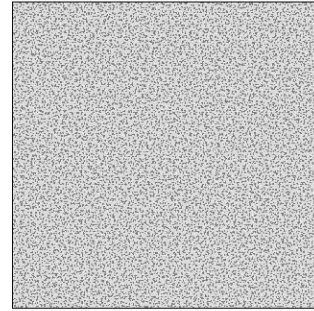
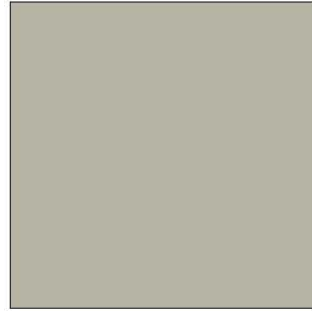
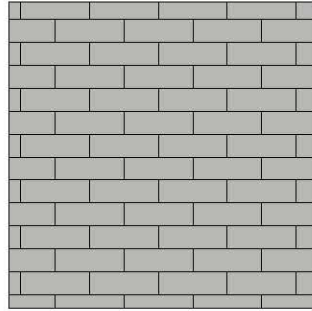
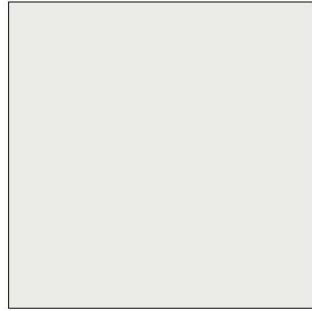
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND ALL THEIR PARTS THE EXCLUSIVE PROPERTY OF DF ARCHITECTURE INC. AND SHOULD BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

DRAWN:	PH
CHECKED:	TA
SCALE:	
JOB NO.:	SUR-120
DATE:	DEC 2023
SHEET TITLE:	



STREETSCAPE (16A AVE)

DATE:	
A-310	J



NOTES:

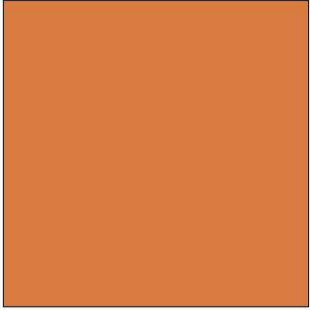
1. COLOR : SW 7075 WEB GRAY
- SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM 2.0
 - FASTENERS & REVEALS COLOR TO MATCH PAINTED ALUMINUM WINDOWS WITH SAFETY GLASS DOUBLE GLAZED & THERMALLY BROKEN
 - PAINTED ALUMINUM WIRE MESH SCREEN FOR GAS METER
 - ROOF TOP MECHANICAL UNIT SCREENS

2. COLOR : SW 7757 HIGH REFLECTIVE WHITE
- SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM 2.0
 - FASTENERS & REVEALS COLOR TO MATCH SOFFITS WITH VENTED HARDESOFFIT PANEL
 - FASCIA WITH SMOOTH FINISH HARDIE PANEL
 - CONCRETE PANELS & REVEALS

3. MUTUAL MATERIALS - COLOR : COAL CREEK BRICK VENEER CLADDING - STACKED

4. COLOR : SW 0049 SILVER GRAY
- SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM 2.0
 - FASTENERS & REVEALS COLOR TO MATCH

5. ARCHITECTURAL FINISH CONCRETE



6. COLOR : STAINED NATURAL WOOD FINISH
- MASS TIMBER STRUCTURAL COLUMNS
 - CEDAR SOFFIT



7. THALE BLUE GRANITE - BRAZILIAN BEST GRANITE



000-11-01	TOP FLOOR FINISHES
000-11-02	TOP FLOOR FINISHES
000-11-03	TOP FLOOR FINISHES
000-11-04	TOP FLOOR FINISHES
000-11-05	TOP FLOOR FINISHES
000-11-06	TOP FLOOR FINISHES
000-11-07	TOP FLOOR FINISHES
000-11-08	TOP FLOOR FINISHES
000-11-09	TOP FLOOR FINISHES
000-11-10	TOP FLOOR FINISHES
000-11-11	TOP FLOOR FINISHES
000-11-12	TOP FLOOR FINISHES
000-11-13	TOP FLOOR FINISHES
000-11-14	TOP FLOOR FINISHES
000-11-15	TOP FLOOR FINISHES
000-11-16	TOP FLOOR FINISHES
000-11-17	TOP FLOOR FINISHES
000-11-18	TOP FLOOR FINISHES
000-11-19	TOP FLOOR FINISHES
000-11-20	TOP FLOOR FINISHES
000-11-21	TOP FLOOR FINISHES
000-11-22	TOP FLOOR FINISHES
000-11-23	TOP FLOOR FINISHES
000-11-24	TOP FLOOR FINISHES
000-11-25	TOP FLOOR FINISHES
000-11-26	TOP FLOOR FINISHES
000-11-27	TOP FLOOR FINISHES
000-11-28	TOP FLOOR FINISHES
000-11-29	TOP FLOOR FINISHES
000-11-30	TOP FLOOR FINISHES



300 - 10851 WILLOWCROFT WAY
 RICHMOND BRITISH COLUMBIA
 CANADA V6X 2R6
 T: 604.273.8100 F: 604.273.8101
 info@dfarchitecture.ca

PROJECT: PROPOSED MULTI-FAMILY DEVELOPMENT

15473, 15485 & 15485 16A AVENUE

CLIENT: HARBORLANE PROPERTIES (PRAIRIE ARCH) INC.

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND ALL THEIR PARTS THE EXCLUSIVE PROPERTY OF DF ARCHITECTURE INC. AND SHOULD BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

OWNER: PB
DESIGNED: YA
SCALE: 1/16" = 1'-0"
JOB NO.: SUR-120
DATE: DEC 2023
REVISION TITLE: 2023-12-13



MATERIAL BOARD

DRAWING NO. A-320
J



1. PERSPECTIVE VIEW FROM SOUTH EAST CORNER (INTERSECTION OF 166 STREET AND 16A AVENUE)

NOTES:



KEY PLAN

100-11-11	TOP FLOOR FINISHES
100-11-12	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-13	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-14	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-15	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-16	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-17	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-18	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-19	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-20	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-21	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-22	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-23	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-24	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-25	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-26	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-27	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-28	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-29	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-30	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-31	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-32	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-33	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-34	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-35	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-36	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-37	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-38	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-39	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-40	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-41	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-42	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-43	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-44	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-45	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-46	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-47	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-48	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-49	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-50	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-51	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-52	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-53	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-54	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-55	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-56	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-57	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-58	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-59	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-60	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-61	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-62	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-63	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-64	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-65	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-66	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-67	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-68	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-69	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-70	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-71	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-72	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-73	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-74	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-75	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-76	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-77	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-78	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-79	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-80	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-81	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-82	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-83	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-84	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-85	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-86	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-87	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-88	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-89	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-90	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-91	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-92	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-93	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-94	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-95	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-96	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-97	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-98	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-99	TOP FLOOR FINISHES (SEE SCHEDULE)
100-11-100	TOP FLOOR FINISHES (SEE SCHEDULE)



300 - 10881 WILLOWDALE ROAD
 RICHMOND HILL, ONTARIO L4B 1N2
 CANADA, 1600 SQ. FT.
 T 905.882.9200 F 905.882.9201
 info@dfarchitecture.ca

PROJECT:
PROPOSED MULTI-FAMILY DEVELOPMENT

15473, 15485 & 15485 16A AVENUE

CLIENT:
HARBORLANE PROPERTIES (PRAIRIE ARCH) INC.

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND ALL RIGHTS RESERVED THE EXCLUSIVE PROPERTY OF DF ARCHITECTURE INC. AND SHOULD BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

OWNER:	PH
DESIGNED BY:	TA
SCALE:	
JOB NO.:	SUR-120
DATE:	DEC 2023
REVISION TITLE:	2023-12-13



3D VIEWS

CHANGING NO.	A-350	J
--------------	-------	---



2. PERSPECTIVE VIEW FROM NORTH WEST CORNER

NOTES:



KEY PLAN

000-11-01	TOP FLOOR FINISHES
000-11-02	TOP FLOOR FINISHES FOR LOUNGE
000-11-03	TOP FLOOR FINISHES FOR OFFICE
000-11-04	TOP FLOOR FINISHES FOR OFFICE
000-11-05	TOP FLOOR FINISHES FOR OFFICE
000-11-06	TOP FLOOR FINISHES FOR OFFICE
000-11-07	TOP FLOOR FINISHES FOR OFFICE
000-11-08	TOP FLOOR FINISHES FOR OFFICE
000-11-09	TOP FLOOR FINISHES FOR OFFICE
000-11-10	TOP FLOOR FINISHES FOR OFFICE
000-11-11	TOP FLOOR FINISHES FOR OFFICE
000-11-12	TOP FLOOR FINISHES FOR OFFICE
000-11-13	TOP FLOOR FINISHES FOR OFFICE
000-11-14	TOP FLOOR FINISHES FOR OFFICE
000-11-15	TOP FLOOR FINISHES FOR OFFICE
000-11-16	TOP FLOOR FINISHES FOR OFFICE
000-11-17	TOP FLOOR FINISHES FOR OFFICE
000-11-18	TOP FLOOR FINISHES FOR OFFICE
000-11-19	TOP FLOOR FINISHES FOR OFFICE
000-11-20	TOP FLOOR FINISHES FOR OFFICE
000-11-21	TOP FLOOR FINISHES FOR OFFICE
000-11-22	TOP FLOOR FINISHES FOR OFFICE
000-11-23	TOP FLOOR FINISHES FOR OFFICE
000-11-24	TOP FLOOR FINISHES FOR OFFICE
000-11-25	TOP FLOOR FINISHES FOR OFFICE
000-11-26	TOP FLOOR FINISHES FOR OFFICE
000-11-27	TOP FLOOR FINISHES FOR OFFICE
000-11-28	TOP FLOOR FINISHES FOR OFFICE
000-11-29	TOP FLOOR FINISHES FOR OFFICE
000-11-30	TOP FLOOR FINISHES FOR OFFICE



300 - 1085 WILLOWDALE ROAD
 SCARBOROUGH, ONTARIO M1H 1C4
 CANADA, M1H 1C4
 T 416-291-8888 F 416-291-8889
 info@dfarchitecture.ca

PROJECT:
PROPOSED MULTI-FAMILY DEVELOPMENT

15473, 15485 & 15485 16A AVENUE

CLIENT:
HARBORLANE PROPERTIES (PEACE ARCH) INC.

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AT ALL TIMES THE EXCLUSIVE PROPERTY OF DF ARCHITECTURE INC. AND SHOULD BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

DRAWN: **PH**
 CHECKED: **YA**
 SCALE:
 JOB NO.: **SUR-120**
 DATE: **DEC 2023**



3D VIEWS

DRAWING NO. **A-351** | **J**



4. PERSPECTIVE VIEW FROM SOUTH WEST CORNER



5. PERSPECTIVE VIEW FROM NORTH EAST CORNER (155 STREET)

NOTES:



KEY PLAN

ROOM 101	TOP FLOOR RESIDENTIAL
ROOM 102	TOP FLOOR RESIDENTIAL
ROOM 103	TOP FLOOR RESIDENTIAL
ROOM 104	TOP FLOOR RESIDENTIAL
ROOM 105	TOP FLOOR RESIDENTIAL
ROOM 106	TOP FLOOR RESIDENTIAL
ROOM 107	TOP FLOOR RESIDENTIAL
ROOM 108	TOP FLOOR RESIDENTIAL
ROOM 109	TOP FLOOR RESIDENTIAL
ROOM 110	TOP FLOOR RESIDENTIAL
ROOM 111	TOP FLOOR RESIDENTIAL
ROOM 112	TOP FLOOR RESIDENTIAL
ROOM 113	TOP FLOOR RESIDENTIAL
ROOM 114	TOP FLOOR RESIDENTIAL
ROOM 115	TOP FLOOR RESIDENTIAL
ROOM 116	TOP FLOOR RESIDENTIAL
ROOM 117	TOP FLOOR RESIDENTIAL
ROOM 118	TOP FLOOR RESIDENTIAL
ROOM 119	TOP FLOOR RESIDENTIAL
ROOM 120	TOP FLOOR RESIDENTIAL
ROOM 121	TOP FLOOR RESIDENTIAL
ROOM 122	TOP FLOOR RESIDENTIAL
ROOM 123	TOP FLOOR RESIDENTIAL
ROOM 124	TOP FLOOR RESIDENTIAL
ROOM 125	TOP FLOOR RESIDENTIAL
ROOM 126	TOP FLOOR RESIDENTIAL
ROOM 127	TOP FLOOR RESIDENTIAL
ROOM 128	TOP FLOOR RESIDENTIAL
ROOM 129	TOP FLOOR RESIDENTIAL
ROOM 130	TOP FLOOR RESIDENTIAL
ROOM 131	TOP FLOOR RESIDENTIAL
ROOM 132	TOP FLOOR RESIDENTIAL
ROOM 133	TOP FLOOR RESIDENTIAL
ROOM 134	TOP FLOOR RESIDENTIAL
ROOM 135	TOP FLOOR RESIDENTIAL
ROOM 136	TOP FLOOR RESIDENTIAL
ROOM 137	TOP FLOOR RESIDENTIAL
ROOM 138	TOP FLOOR RESIDENTIAL
ROOM 139	TOP FLOOR RESIDENTIAL
ROOM 140	TOP FLOOR RESIDENTIAL
ROOM 141	TOP FLOOR RESIDENTIAL
ROOM 142	TOP FLOOR RESIDENTIAL
ROOM 143	TOP FLOOR RESIDENTIAL
ROOM 144	TOP FLOOR RESIDENTIAL
ROOM 145	TOP FLOOR RESIDENTIAL
ROOM 146	TOP FLOOR RESIDENTIAL
ROOM 147	TOP FLOOR RESIDENTIAL
ROOM 148	TOP FLOOR RESIDENTIAL
ROOM 149	TOP FLOOR RESIDENTIAL
ROOM 150	TOP FLOOR RESIDENTIAL
ROOM 151	TOP FLOOR RESIDENTIAL
ROOM 152	TOP FLOOR RESIDENTIAL
ROOM 153	TOP FLOOR RESIDENTIAL
ROOM 154	TOP FLOOR RESIDENTIAL
ROOM 155	TOP FLOOR RESIDENTIAL
ROOM 156	TOP FLOOR RESIDENTIAL
ROOM 157	TOP FLOOR RESIDENTIAL
ROOM 158	TOP FLOOR RESIDENTIAL
ROOM 159	TOP FLOOR RESIDENTIAL
ROOM 160	TOP FLOOR RESIDENTIAL
ROOM 161	TOP FLOOR RESIDENTIAL
ROOM 162	TOP FLOOR RESIDENTIAL
ROOM 163	TOP FLOOR RESIDENTIAL
ROOM 164	TOP FLOOR RESIDENTIAL
ROOM 165	TOP FLOOR RESIDENTIAL
ROOM 166	TOP FLOOR RESIDENTIAL
ROOM 167	TOP FLOOR RESIDENTIAL
ROOM 168	TOP FLOOR RESIDENTIAL
ROOM 169	TOP FLOOR RESIDENTIAL
ROOM 170	TOP FLOOR RESIDENTIAL
ROOM 171	TOP FLOOR RESIDENTIAL
ROOM 172	TOP FLOOR RESIDENTIAL
ROOM 173	TOP FLOOR RESIDENTIAL
ROOM 174	TOP FLOOR RESIDENTIAL
ROOM 175	TOP FLOOR RESIDENTIAL
ROOM 176	TOP FLOOR RESIDENTIAL
ROOM 177	TOP FLOOR RESIDENTIAL
ROOM 178	TOP FLOOR RESIDENTIAL
ROOM 179	TOP FLOOR RESIDENTIAL
ROOM 180	TOP FLOOR RESIDENTIAL
ROOM 181	TOP FLOOR RESIDENTIAL
ROOM 182	TOP FLOOR RESIDENTIAL
ROOM 183	TOP FLOOR RESIDENTIAL
ROOM 184	TOP FLOOR RESIDENTIAL
ROOM 185	TOP FLOOR RESIDENTIAL
ROOM 186	TOP FLOOR RESIDENTIAL
ROOM 187	TOP FLOOR RESIDENTIAL
ROOM 188	TOP FLOOR RESIDENTIAL
ROOM 189	TOP FLOOR RESIDENTIAL
ROOM 190	TOP FLOOR RESIDENTIAL
ROOM 191	TOP FLOOR RESIDENTIAL
ROOM 192	TOP FLOOR RESIDENTIAL
ROOM 193	TOP FLOOR RESIDENTIAL
ROOM 194	TOP FLOOR RESIDENTIAL
ROOM 195	TOP FLOOR RESIDENTIAL
ROOM 196	TOP FLOOR RESIDENTIAL
ROOM 197	TOP FLOOR RESIDENTIAL
ROOM 198	TOP FLOOR RESIDENTIAL
ROOM 199	TOP FLOOR RESIDENTIAL
ROOM 200	TOP FLOOR RESIDENTIAL



300 - 1085 WILLOWDALE ROAD
 10000 SHEPPARD AVENUE EAST
 SCARBOROUGH, ONTARIO M1S 1T5
 CANADA TEL: 416 291-1111
 WWW.DFAARCHITECTURE.COM
 INFO@DFAARCHITECTURE.COM

PROJECT:
**PROPOSED MULTI-FAMILY
 DEVELOPMENT**

15473, 15485 & 15485 16A
 AVENUE

CLIENT:
**HARBORLANE PROPERTIES
 (PEACE ARCH) INC.**

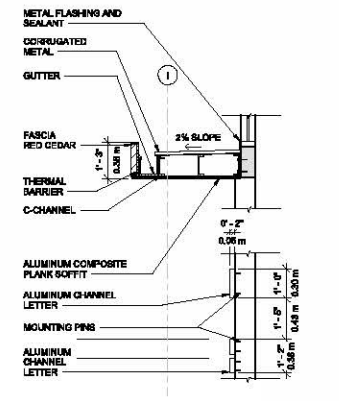
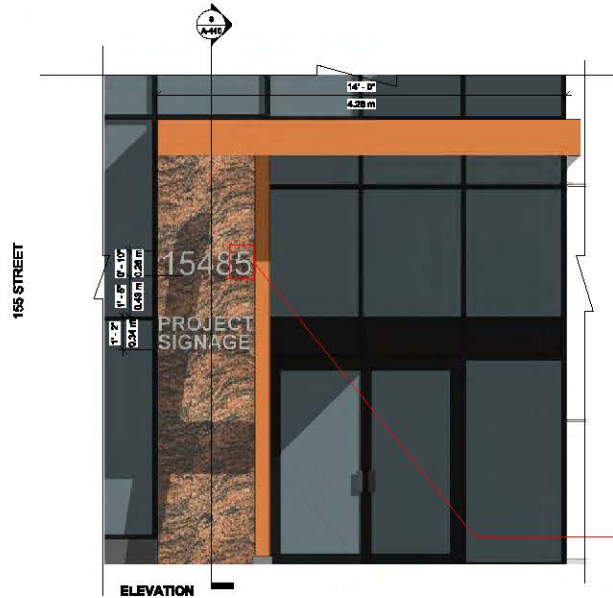
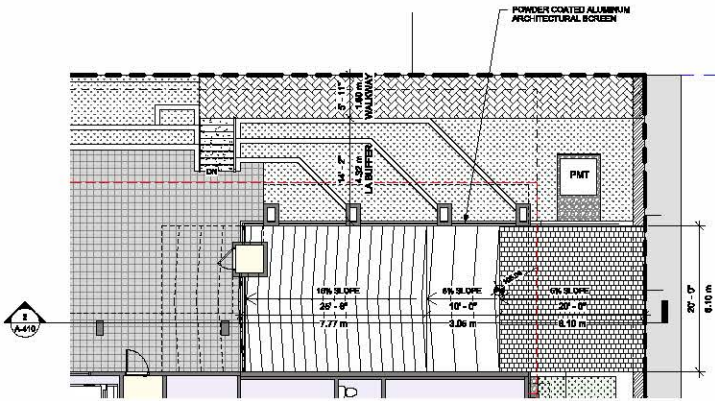
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND ALL
 RIGHTS RESERVED THE EXCLUSIVE PROPERTY OF
 DFA ARCHITECTURE INC. AND SHOULD BE USED OR REPRODUCED
 WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

OWNER:	PH
DESIGNED BY:	TA
SCALE:	
JOB NO.:	SUR-120
DATE:	DEC 2023
REVISION TITLE:	



3D VIEWS

DRAWING NO.	A-352
REVISION	J

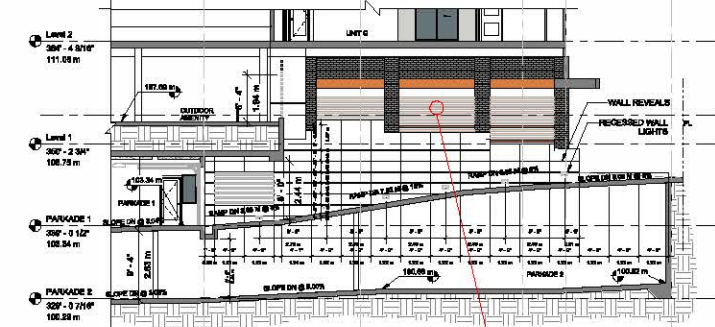


CANOPY & CHANNEL LETTER MOUNTING DETAIL

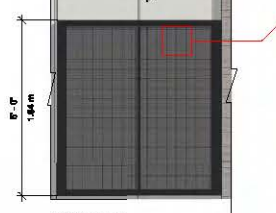
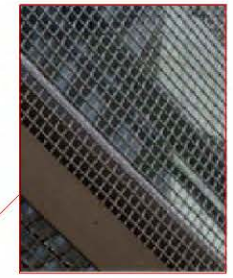
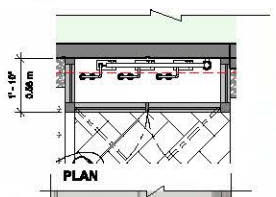


NOTES:

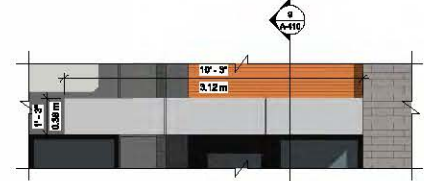
001-1101	TOP FINISH SCREEN
001-1102	TOP FINISH SCREEN
001-1103	TOP FINISH SCREEN
001-1104	TOP FINISH SCREEN
001-1105	TOP FINISH SCREEN
001-1106	TOP FINISH SCREEN
001-1107	TOP FINISH SCREEN
001-1108	TOP FINISH SCREEN
001-1109	TOP FINISH SCREEN
001-1110	TOP FINISH SCREEN
001-1111	TOP FINISH SCREEN
001-1112	TOP FINISH SCREEN
001-1113	TOP FINISH SCREEN
001-1114	TOP FINISH SCREEN
001-1115	TOP FINISH SCREEN
001-1116	TOP FINISH SCREEN
001-1117	TOP FINISH SCREEN
001-1118	TOP FINISH SCREEN
001-1119	TOP FINISH SCREEN
001-1120	TOP FINISH SCREEN



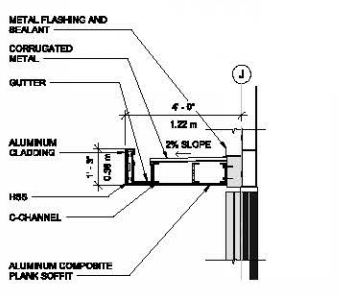
3 SIGNAGE & CANOPY DETAIL
12" = 1/4"



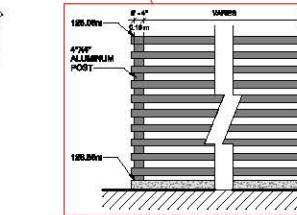
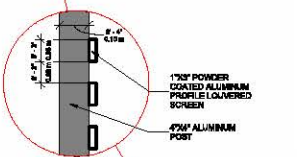
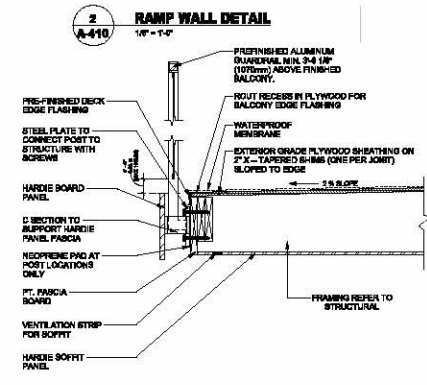
4 GAS METER SCREEN
1/2" = 1/4"



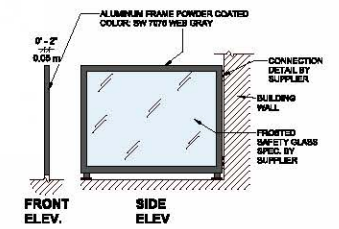
ELEVATION



CANOPY DETAIL



11 RTU SCREEN DETAIL
1/2" = 1/4"



7 PRIVACY SCREEN DETAIL
1/2" = 1/4"

8 CANOPY ABOVE PATIO DETAIL
1/2" = 1/4"



300 - 1085 WILLOWDALE ROAD
RICHMOND HILL, ONTARIO L4B 3N2
CANADA 190 900 4681
1 905 882 6618 P 905 882 6619
info@dfarchitecture.ca

PROJECT: PROPOSED MULTI-FAMILY DEVELOPMENT

15473, 15485 & 15485 16A AVENUE

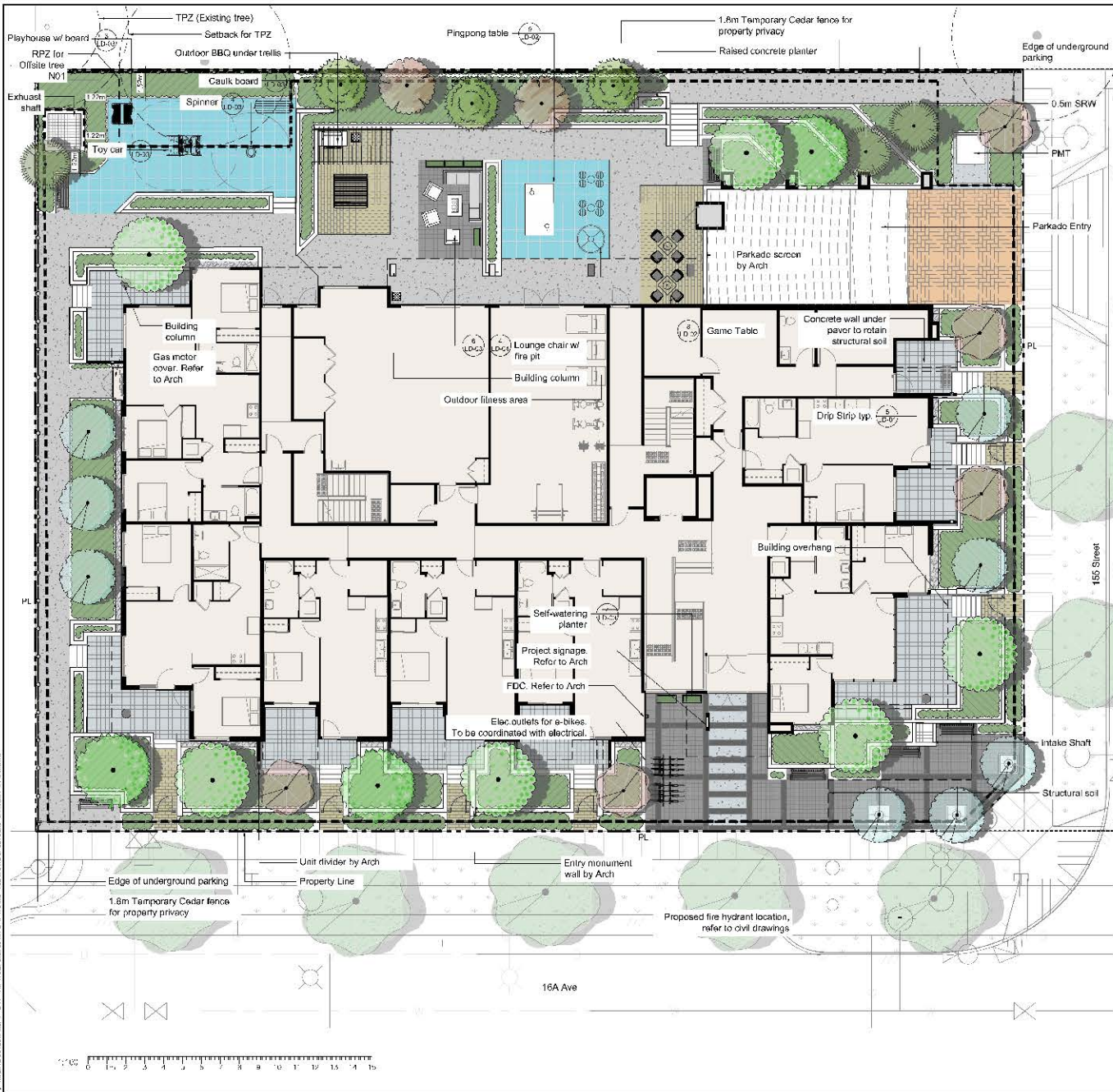
CLIENT: HARBORLANE PROPERTIES (PEACE ARCH) INC.

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND ALL THEIR PARTS THE EXCLUSIVE PROPERTY OF DF ARCHITECTURE INC. AND ANYBODY IS TO BE PROHIBITED FROM REPRODUCING WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

OWNER:	PH
DESIGNER:	YA
SCALE:	As Indicated
JOB NO.:	SUN-120
DATE:	DEC 2023
REVISION TITLE:	2023-12-13

DETAILS

OWNER:	A-410
DESIGNER:	J



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
(3,4) LD-01	3,4	CONCRETE PAVING BROOM FINISH
(3,4) LD-01	3,4	CONCRETE PAVING MEDIUM SAND/ASPH/1" NDI
(2) LD-01	2	CONCRETE (2" MIN) PAVEMENT WITH 20% REINFORCING FIBER (20% MIN) WITH 20% REINFORCING FIBER (20% MIN) WITH 20% REINFORCING FIBER (20% MIN)
(2) LD-01	2	CONCRETE (3" MIN) PAVEMENT WITH 20% REINFORCING FIBER (20% MIN) WITH 20% REINFORCING FIBER (20% MIN)
(6) LD-01	6	RESINER SAFETY SURFACE (Color - Blue) 50mm
(5) LD-01	5	VERTICAL CURB (1.5m HIGH) WITH 20% REINFORCING FIBER (20% MIN) WITH 20% REINFORCING FIBER (20% MIN)
(5) LD-01	5	DRY FLAG
(3) LD-02	3	SHRUB PLANTING
(7) LD-01	7	BIKE TRACK
(8) LD-02	8	BEVC
(7) LD-03	7	PIAN PRIST
(8) LD-02	8	WALIT 1" OF PLANT
(7) LD-02	7	PICNIC TABLE
(8) LD-02	8	DATE TABLE
(5) LD-04	5	TABLE AND CHAIRS
(3) LD-04	3	TREE CRATE

FENCING

KEY	REF.	DESCRIPTION
(5) LD-03	5	1.8m TEMPORARY CEDAR FENCE (Take down after future development of neighboring properties)

VDZ+A
 LANDSCAPE ARCHITECTURE
 168 LAUREL WOODMOUNT PLACE SUITE 1100
 VANCOUVER, BC V6L 2K6
 TEL: 604.275.1111 FAX: 604.275.1112
 www.vdz.ca

NO.	BY	DESCRIPTION	DATE
1	MD	ISSUED FOR PERMITS	2023-10-11
2	MD	ISSUED FOR PERMITS	2023-11-10
3	MD	ISSUED FOR PERMITS	2023-11-10
4	MD	ISSUED FOR PERMITS	2023-11-10
5	MD	ISSUED FOR PERMITS	2023-11-10
6	MD	ISSUED FOR PERMITS	2023-11-10
7	MD	ISSUED FOR PERMITS	2023-11-10
8	MD	ISSUED FOR PERMITS	2023-11-10
9	MD	ISSUED FOR PERMITS	2023-11-10
10	MD	ISSUED FOR PERMITS	2023-11-10

REVISIONS TABLE FOR DRAWINGS

Project: Multi-Family Development

Local on: 15473, 15485 & 15495 - 18A Avenue, Surrey, B.C.

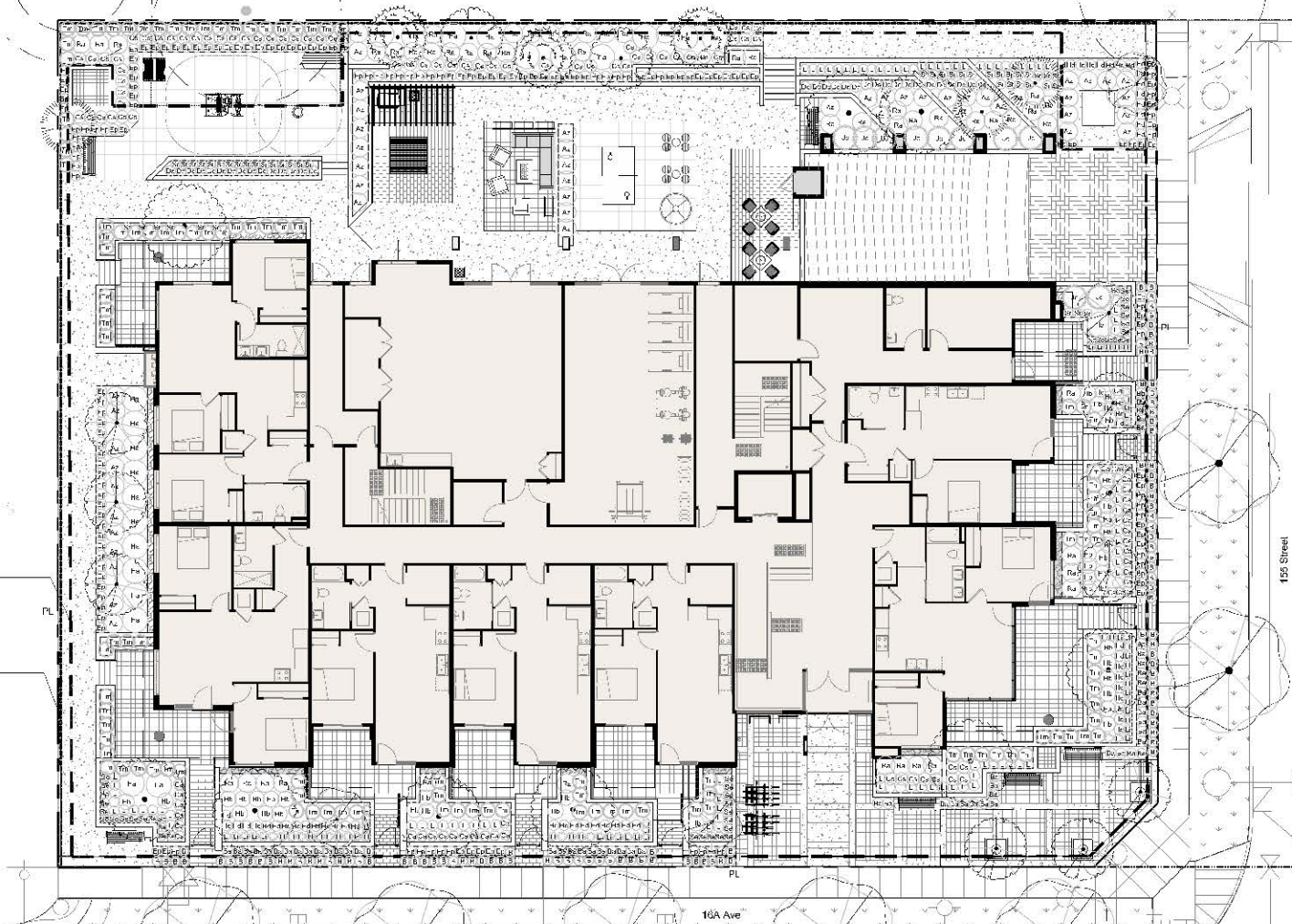
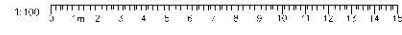
Drawn: SA AH
 Checked: VW
 Approved: VVDZ
 Stamp: [Stamp]
 Origin: Sheet 8 of 22
 Date: 24/11/23

PLANT SCHEDULE

TRF#s	BOTANICAL / COMMON NAME	QVNT	CAI	HT	QT
	acer palmat. / Japanese Maple	2.5m Height B&B	6 on cal.	5	
	Chamaecyparis nootkanensis 'Pencil Point' / Knappe Noctua Cypress	B&B	2.0 m H	2	
	Quercus rubra / Pacific Dogwood	2.5m Height B&B	5 m	5	
	Magnolia stellata 'Royal Star' / Royal Star Magnolia	B&B	6m	8	
	Melicope / Weeping Cornus	B&B, 6m ca.		2	
	Rosa pratincola / Hybrid / Hybrid Garden Rose	R&R	1.2 m H	3	
	Syringa reticulata 'Royal Red' / Royal Red Japanese Tree Lilac	B&B	80 m	3	

PLANT SCHEDULE

CODE	BOTANICAL / COMMON NAME	COVT	SPACING	QTY
SHRUBS				
AJ	Abutilon speciosum 'Nippon White' / Nippon White Japanese Abutilon	80	0.2 m	45
Ba	Bouteloua gracilis 'Blue Chip' / Blue Chip Blue Chama	71	0.2 m	55
D	Desmodium illinoense / Illinois Blue Butterfly Bush	80	0.2 m	10
Ca	Cornus stolonifera 'Holland Blue' / Holland Blue Dogwood	75	0.2 m	65
Hc	Hydrangea macrophylla 'Endless Summer' / Endless Summer Hydrangea	85	1.2 m	23
J	Juncus communis 'Blue Star' / Blue Star Juniper	75	1.2 m	10
Rc	Rhododendron 'Fragrant' / Fragrant Rhododendron	80	0.2 m	5
Sr	Sarcococca nana / Dwarf Japanese Sarcococca	75	0.15 m	15
Tn	Taxus canadensis 'Nana' / Nana Japanese Cedar	1.2 m H	0.2 m	113
GRASSES / PERENNIALS				
Ca	Carex acutiformis 'Ice Dance' / Ice Dance Japanese Sedge	21	0.2 m	35
Dc	Diellastrum aegyptium 'Iceberg' / Iceberg Bluegrass	21	0.2 m	33
L	Luzula sylvatica 'Variegata' / Variegated Lilyturf	21	0.25 m	55
ANNUAL PERENNIALS				
Ep	Euphorbia poliflora 'Meru' / Meru Coral Spurge	71	0.2 m	153
Hb	Hebe x 'Blueberry' / Blueberry Hebe	21	0.25 m	32
L	Lavandula angustifolia 'Hidcote' / Hidcote Lavender	21	0.2 m	31
Sa	Scabiosa autumnalis 'Autumn Joy' / Autumn Joy Scabiosa	71	0.25 m	35



Edge of underground parking
Property Line

125 Street

16A Ave

VDZ+A
LANDSCAPE ARCHITECTURE
110-1181 13 AVENUE EAST, SUITE 101
VANCOUVER, BC V6A 3K4
604.263.2233

1	REV	ISSUED FOR PERMITS	2023-10-11
2	REV	ISSUED FOR PERMITS	2023-11-10
3	REV	ISSUED FOR PERMITS	2023-11-10
4	REV	ISSUED FOR PERMITS	2023-11-10
5	REV	ISSUED FOR PERMITS	2023-11-10
6	REV	ISSUED FOR PERMITS	2023-11-10
7	REV	ISSUED FOR PERMITS	2023-11-10
8	REV	ISSUED FOR PERMITS	2023-11-10
9	REV	ISSUED FOR PERMITS	2023-11-10
10	REV	ISSUED FOR PERMITS	2023-11-10

REVISIONS TABLE FOR DRAWINGS

REVISIONS TABLE FOR SHEET

Project:
Multi-Family Development

Local on:
15473, 15485 & 15495 - 16A Avenue,
Surrey, B.C.

Drawn: AH
SA

Checked: VW

Approved: MDVZ

Stamp:

Orig. Sheet & sz:
24x36"

Scale:
1:100

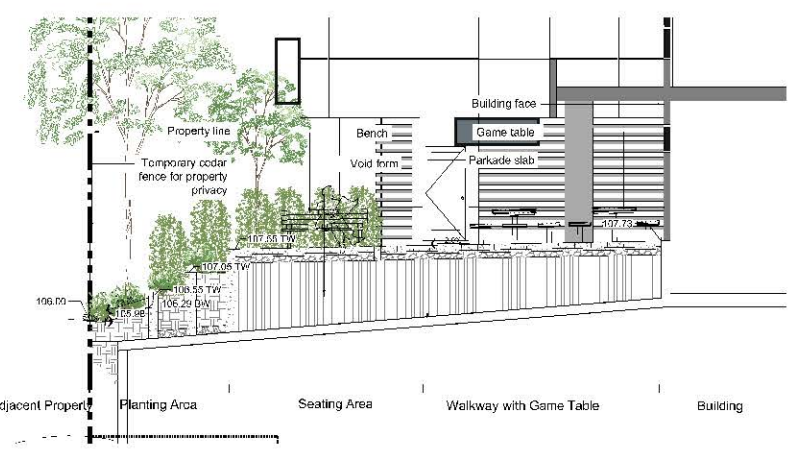
VDZ Project #: DP2023-26

Drawing #: L-03

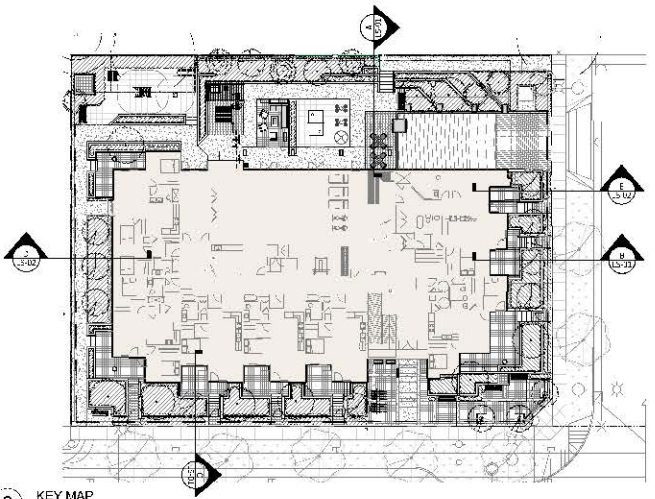
Drawing Title: **PLANTING PLAN**

VDZ Project #: **DP2023-26**

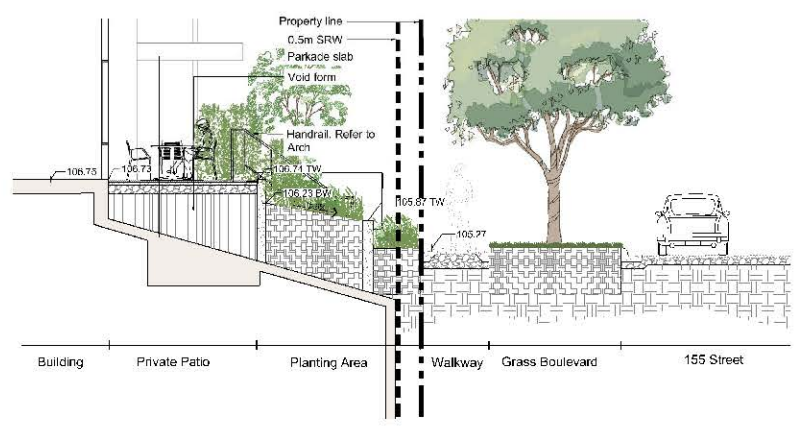
Drawing #: **L-03**



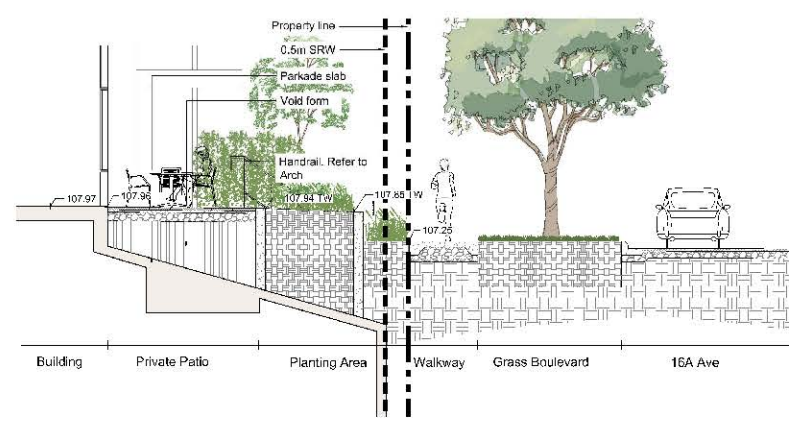
A SECTION THROUGH AMENITY
 Scale: 1:50



0 KEY MAP
 Scale: 1:250



B SECTION THROUGH EAST PATIO
 Scale: 1:50



C SECTION THROUGH SOUTH PATIO
 Scale: 1:50

Rev.	By	Description	Date
7	MM	Issued for DP	2023-10-11
6	MM	Issued for DP	2023-10-12
5	MM	Issued for DP	2023-09-20
4	MM	Issued for DP	2023-09-20
3	MM	Issued for DP	2023-09-16
2	MM	Issued for DP	2023-09-16
1	JAD	Issued for Permits (DP)	2023-04-27
0	JAD	Issued for Permits (DP)	2023-04-27
0	JAD	Issued for Permits (DP)	2023-04-27

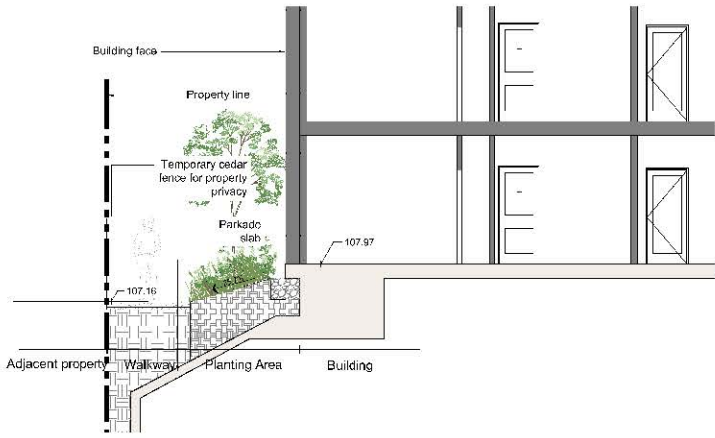
REVISIONS TABLE FOR DRAWINGS
 * For each revision, the drawing number and date of the revision shall be indicated. The drawing number shall be in the format of [Drawing Number]-[Revision Number].

Rev.	Date	By	Description
0	2023-10-11	MM	Issued for DP

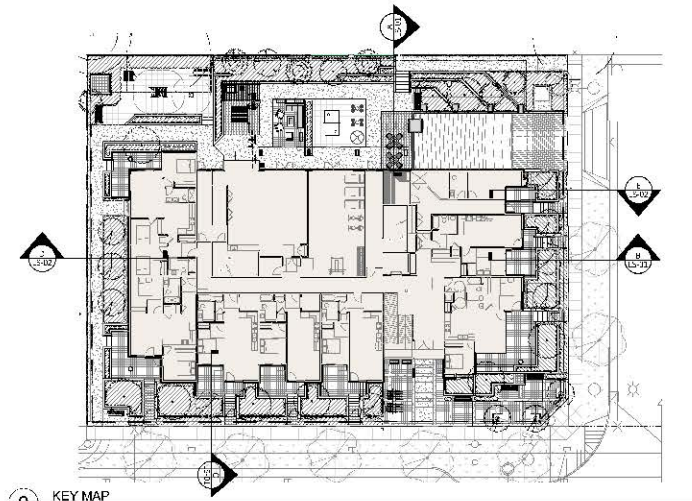
Project: Multi-Family Development
 Local on: 15475, 15485 & 15495 - 16A Avenue, Surrey, B.C.

Drawn: AH
 Stamp: [Stamp]
 Checked: VW
 Approved: WVDZ
 Origin: Sheet 8 of 22
 Date: 2/4/2023

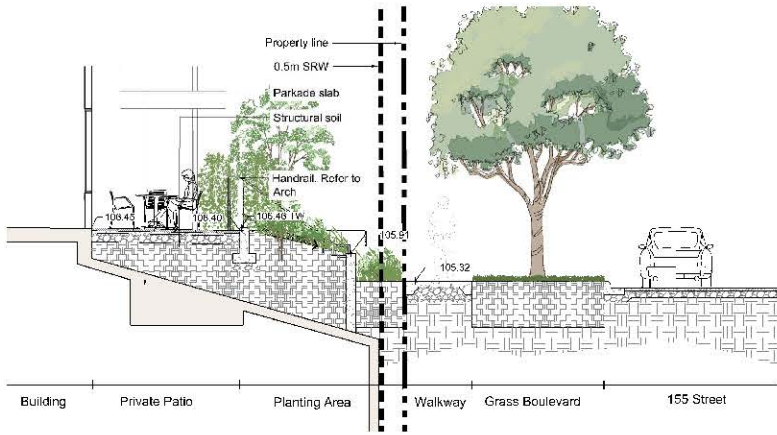
2. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED SHALL BE IN METERS. DIMENSIONS SHOWN IN THIS DRAWING ARE FOR INFORMATION ONLY.



D SECTION THROUGH WEST WALKWAY
Scale: 1/50



0 KEY MAP
Scale: 1/250



E SECTION THROUGH EAST PATIO
Scale: 1/50

NO.	DATE	DESCRIPTION
1	2023-04-27	Issue for Permits (DEP)
2	2023-07-10	Issue for DEP
3	2023-07-10	Issue for DEP
4	2023-07-10	Issue for DEP
5	2023-10-11	Issue for DEP
6	2023-11-12	Issue for DEP
7	2023-12-11	Issue for DEP

REVISIONS TABLE FOR DRAWINGS
* Examples of how to use the revision table are provided in the drawing set.
* A primary revision is indicated by a red circle and number.

NO.	DATE	DESCRIPTION
1	2023-04-27	Issue for Permits (DEP)
2	2023-07-10	Issue for DEP
3	2023-07-10	Issue for DEP
4	2023-07-10	Issue for DEP
5	2023-10-11	Issue for DEP
6	2023-11-12	Issue for DEP
7	2023-12-11	Issue for DEP

REVISIONS TABLE FOR SHEET

Project:
Multi-Family Development

Local on:
15473, 15485 & 15495 - 16A Avenue,
Surrey, B.C.

Drawn: AH
Stamp: [Stamp]

Checked: VW

Approved: MVDZ
Original: 2/1/2023

Scale: AS SHOWN

VDZ+A
111-1131 13 AVENUE SOUTHWEST, SUITE 201
VANCOUVER, BC V6Z 2R8
604.268.2237
www.vdz.ca

TO: **Director, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **October 6, 2023** PROJECT FILE: **7823-0144-00**

RE: **Engineering Requirements
Location: 15473 16A Avenue**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 11.5 m for 155 Street, with 3 m x 3 m corner cut at 16A Avenue.
- Register 0.5 m SRW on 16A Avenue and 155 Street.

Works and Services

- Construct north side of 16A Avenue.
- Construct 155 Street to local half-road standard.
- Confirm available downstream storm system capacity to service the proposed development; upgrade the system as required.
- Provide on-lot mitigation, including runoff volume and flow rate control as per the NCP.
- Construct water mains on 155 Street and 16A Avenue.
- Upgrade the existing 200mm sewer on 16A Avenue to a minimum 250mm sewer main.
- Submit sanitary analysis to confirm downstream system capacity.
- Construct adequately-sized storm and sanitary service connections (minimum size 150mm), complete with inspection chamber to service the proposed development.
- Construct adequately-sized metered water service connection with backflow preventers to service the proposed lot.
- Pay Storm Latecomer Charges relative to project 5914-0177-00-1.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit except for the requirements listed above.



Jeff Pang, P.Eng.
Development Services Manager

IK

NOTE: Detailed Land Development Engineering Review available on file

Department: **Planning and Demographics**
Date: **May 23, 2023**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23 0144 00**

The proposed development of **66** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	8
---	----------

Projected Number of Students From This Development In:	
Elementary School =	5
Secondary School =	2
Total Students =	7

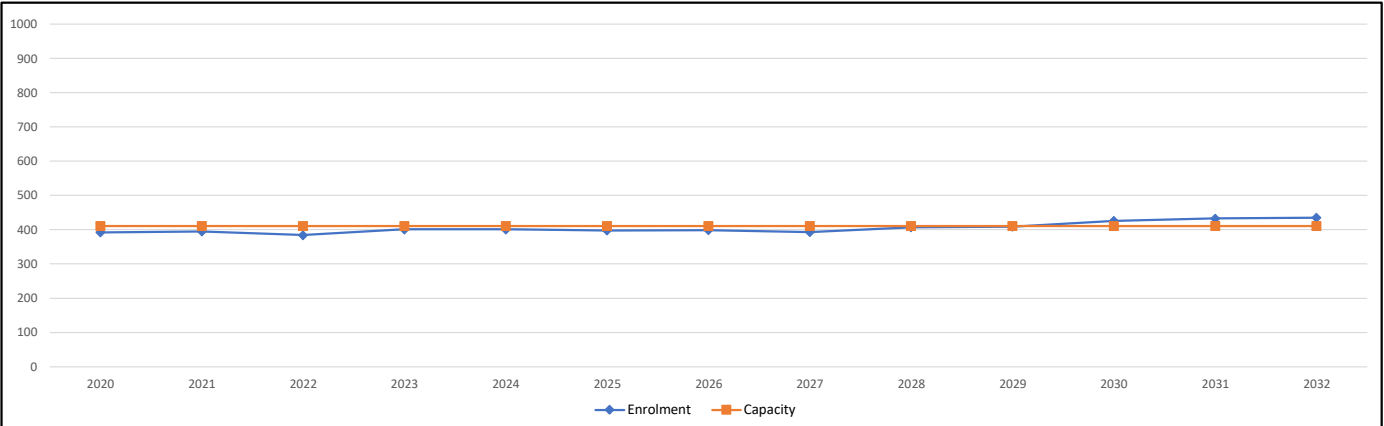
Current Enrolment and Capacities:	
Jessie Lee Elementary	
Enrolment	384
Operating Capacity	411
# of Portables	1
Earl Marriott Secondary	
Enrolment	1348
Operating Capacity	1500
# of Portables	4

Summary of Impact and Commentary
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

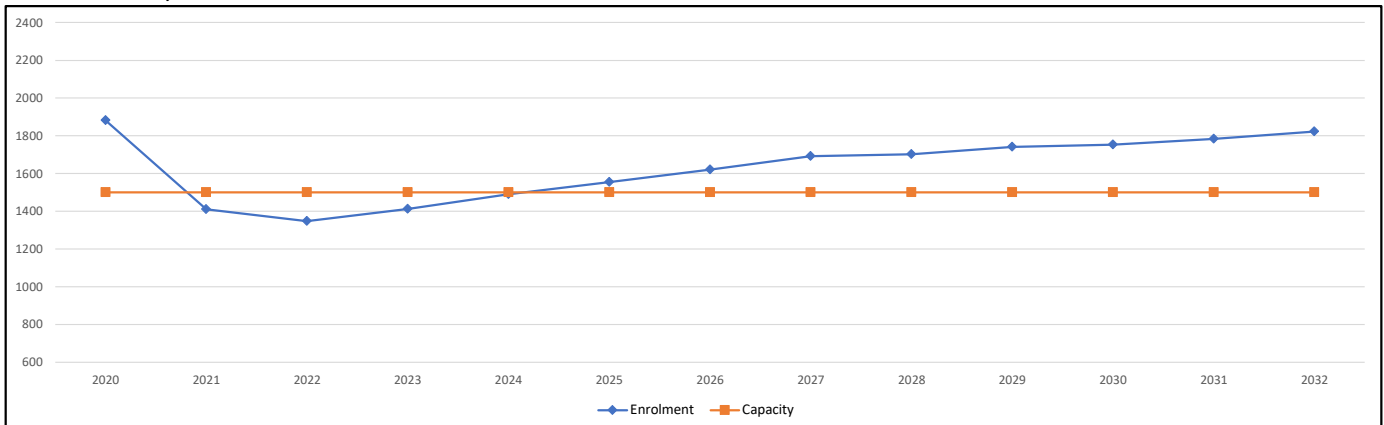
Actual enrollment to Jessie Lee Elementary has grown modestly the past five years. The 10-year projections support continuing growth at a similar modest pace. Enrolment growth can be handled with 4 portables or less. Currently there are no capital expansion requests for Jessie Lee Elementary.

Grandview Heights Secondary opened September 2021. This new facility relieves the overcrowding at Earl Marriot Secondary. Newly adopted secondary boundary changes have come into effect. At this time, Jessie Lee will no longer feed two secondary schools but will only feed Earl Marriott.

Jessie Lee Elementary



Earl Marriott Secondary



Population: The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.



APPENDIX F: CITY OF SURREY SUMMARY FORM

Surrey Project No.: _____
Project Address: **15473, 15485, 15495 16A Ave, Surrey**
Consulting Arborist: **Nick McMahon**

ON-SITE TREES:	QUANTITY OF TREES
Total Bylaw Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, excluding Park and ESA dedications)	14
Bylaw Protected Trees to be Removed	14
Bylaw Protected Trees to be Retained (excludes trees in Park dedication areas and ESA's)	0
Replacement Trees Required: Alder and Cottonwood at 1:1 ratio: 0 times 1 = 0 All Other Bylaw Protected Trees at 2:1 ratio: 14 times 2 = 28 TOTAL:	28
Replacement Trees Proposed	30
Replacement Trees in Deficit	0
Protected Trees Retained in Proposed Open Space/ Riparian Areas	0

OFF-SITE TREES:	QUANTITY OF TREES
Bylaw Protected Off-Site Trees to be Removed	0
Replacement Trees Required: Alder and Cottonwood at 1:1 ratio: 0 times 1 = 0 All Other Bylaw Protected Trees at 2:1 ratio: 0 times 2 = 0 TOTAL:	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

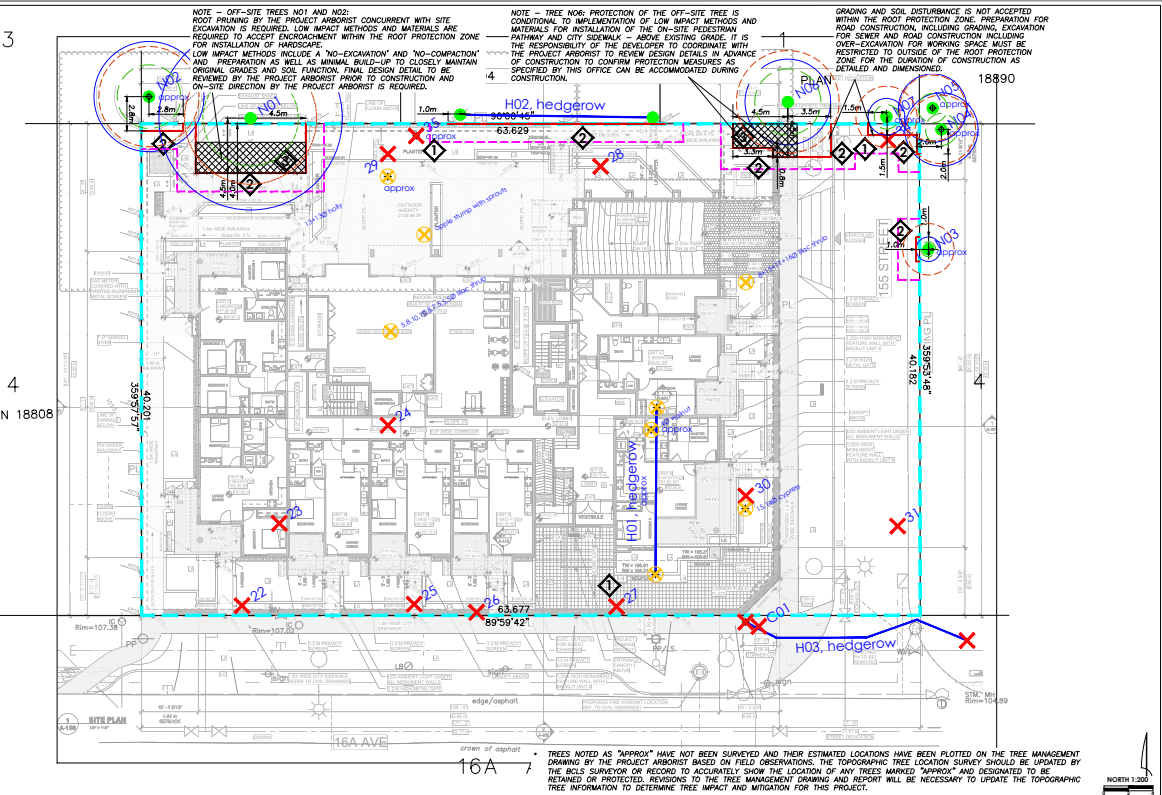
N/A denotes information "Not Available" at this time.

This summary and the referenced documents are prepared and submitted by:

Nick McMahon, Senior Consulting Arborist

Dated: December 12, 2023

Direct: 604 812-2986
Email: nick@aclgroup.ca



UPDATED RESPONSES TO ADP COMMENTS

Key Points

- Consider further design development to simplify the elevations, as there are inconsistent design details across different facades.
- Elevation design has been simplified. Number of balcony guard types has been reduced. The extrusions around the windows and the 5th floor north-west corner balcony have been eliminated together with vertical shades on the west elevation. Instead, to continue the character of the front elevation, the roof deck projection has been extended to the north-west corner and brick veneer of the same three levels height as at the building front has been wrapped around the south-west corner to the almost full length of the west elevation. To provide more of the West Coast Design flavour and consistency with the rest of the building, the wood finished soffit of the 6th floor deck projection and the window aprons of the same finish have been introduced on the east elevation. The same approach has been used to simplify the north elevation by wrapping around the corner brick finish of the parking entry and continue it for the entire width of the portion of the building projecting above the parking ramp, providing the same character for the columns supporting his projection.
 - Consider enhancing both the internal lobby and the external public area in front of the lobby by reviewing the pedestrian ramp, layout, and external canopy.
- Main lobby space has been enhanced by increasing its area and simplification of the layout. External entry canopy has been extended and a V-shaped west coast style heavy timber column has been proposed to support the canopy.
 - Consider extending the West Coast Modern character throughout the entire project.
- Architectural elements and details of the West Coast Modern character have been integrated throughout the entire project including the main entrance canopy with V-shaped heavy timber support and soffit finish, canopy over the parkade entrance, wood finish window aprons for the 3-level brick façades, main roof soffit above level 6 and soffits of the deck projections above 5th floor, balcony soffits for units above the main entrance, parkade screen and panel above the screen for North elevation, as well as wood finished soffit and columns of the canopy above the portion of the outdoor amenity.
 - Consider coordinating the relationship between indoor and outdoor amenities for improved usability.
- Amenity usability has been improved by unification of floor level of different parts of the indoor amenity, as well as the outdoor amenity space.
 - Consider reducing the amount of circulation ramps in the landscape area

to enhance usability and promote continuity across the outdoor space.

- Outdoor amenity area ramp has been eliminated to enhance the usability of the space.
 - Provide complete planting plans for the landscape drawings.
- VDZ: Planting plan is provided in this submission.

Site

- No specific issues were identified.

Form and Character

- Consider integrating the building character on the north elevation with the rest of the facades, as it currently appears isolated and unresolved.
- North elevation has been revised and integrated with the rest of the building. The covered amenity area has been increased and wood finish heavy timber columns & soffits have been added to support this canopy. A new west coast style canopy has been proposed above the exit from the building and the indoor amenity space. The parkade screen has also been changed to wood finish. Wooden panels have been added on top of the parkade screen. The brick finish of the east elevation parking entry has been wrapped around the corner and continues for the entire width of the portion of the building projecting above the parking ramp, providing the same character for the columns supporting his projection.
- - Reevaluate the overall elevations, particularly the corners of the slot windows, as they appear somewhat cluttered.
- The elevations have been reevaluated and revised. Slot windows have been relocated to face the North elevation instead of them facing the street and the amenity area for the 2 corner units.
 - Reevaluate the decision to have the level 5 northwest corner balcony boxed out, as there seems to be no compelling reason to highlight that corner, and it is not harmonizing cohesively with the rest of the building.
- Design of the north-west corner of the building has been revised by eliminating the corner boxed balcony.
 - Consider for the south elevation enhancing the differentiation between the white vertical features and the plain gray brick areas by introducing more pronounced massing articulation.
- The better massing articulation has been achieved by introduction of light gray horizontal concrete cap blocks on top of the brick surface.
 - Consider enhancing the lobby entry to be more inviting and welcoming by providing cohesive colours in terms of pattern and defining the entry canopy.

- Main lobby space has been enhanced by increasing its area and simplification of the layout. External entry canopy has been extended and a V-shaped west coast style heavy timber column has been proposed to support the canopy.
 - Consider extending the main entrance canopy past the white full height frame.
- The main entrance canopy has been extended past the white full height frame.
 - Consider the lobby to be less like a walkway and more of an area for patrons to lounge and wait.
- The main lobby has been redesigned into more lounge-like space due to improving of the lobby proportions and simplification of the space.
 - Consider consolidating the balcony guards to two types of architectural details from the current four may help unify the architectural language across all the elevations. Currently, there are too many competing features on the elevations.
- Number of the balcony guard types has been reduced to three types in consistency with the general design logic based on reflecting and enhancing the main massing components including 3 level townhome-like building base, south-east corner facing the street intersection and the rest of the building.
 - Consider incorporating more of a west coast modern style with more use of wood and cedar soffit for the materiality and colour palette. The corners seem underdeveloped so use of wood can increase the elevation and help unify and create cohesive language by having prominent horizontal surfaces.
- Elements of the west coast design have been incorporated into all elevations throughout the building including the main entrance canopy with wood soffit finish, canopy over the parkade entrance, wood finished main roof soffit above level 6 and soffits of the deck projections above 5th floor, balcony soffits for units above the main entrance, parkade horizontal screen and panel above the screen at north elevation, as well as wood finished soffit and columns of the canopy above the portion of the outdoor amenity.
- - Consider reviewing the layout of below grade storage spaces and exploring the possibility of providing additional areas for large items.
- Storage spaces layouts have been revised. Several bigger lockers have been provided for larger items.
 - The black window frames are a key element of the exterior elevations. However, these are sometimes dropped later due to cost issues, and this would drastically change the look of the building. It is important that the City obtain some form of firm commitment that they will be retained. Otherwise, the applicant should provide alternative elevations to the ADP, so the actual design can be assessed.
- Commitment letter has been provided by the client.

- Consider replacing the closet doors with sliding doors, which would facilitate a more flexible furniture layout.
- The swing closet doors have been replaced with sliding doors.
- Consider expanding the drive aisle on the west of level P1 parking as it is currently very narrow especially at stall 8 where regular parking stalls start.
- Underground parking layouts have been revised. Width of all drive aisles complies with the Zoning Bylaw. Width of the drive aisle in front of stall 8 is 23 feet. However, we see the possibility for parking layout improvement, and we'll introduce them after the Council Meeting.
- Show the programming of indoor amenity areas on the drawings.
- The indoor amenity programming has been introduced on the Level 1 floor plan for the fitness area of the amenity because it is easily programmable. The amenity lounge area is the multifunctional space and could be organised for variety of different functions which are usually determined by the strata (besides of the location of rough ins), or by the interior design and marketing teams at the BP stage of the project. However, to comply with your request, we provide several schematic furniture and equipment layouts for different programs which could be implemented in this space, illustrating its functional and special flexibility. Please see A-202.

Landscape

- Reconsider the functionality of the furniture in the landscape outdoor amenity spaces as the garden pots are very close to the outdoor stretch area and patrons are not able to use the two spaces efficiently as there is conflict of circulation. Also consider providing more flexible tables to allow patrons to use for social activities.

VDZ: The garden pots are eliminated, and programs are redesigned in the amenity space. Please refer to the landscape drawings.

- Consider all trees to have adequate soil volume and depth. Consider soil volume plan to show areas where hatches are into patio spaces and to clarify and specify the product.

VDZ: Hatch into the patio space is structural soil under the surface. Please refer to sections.

- Consider effective diversity in tree shrub species for 4 seasons and optimum habitat.

VDZ: We have a balance of coniferous and deciduous mix in our planting design to optimize the ecological value and habitat opportunity.

- Highly recommend providing shrub or tree planting plans to review in the submission as there were none provided.

VDZ: Planting plan is provided in this submission.

- Consider having screening between units and to the street frontage.

VDZ: Privacy screen is proposed between units, please refer to architectural details. Regarding the frontage, evergreen hedges are used for the same purpose.

- Highly recommend showing fence details on the landscape plans as it is easier to review and determine if the screening is comprehensive.

VDZ: Please refer to Fencing Plan and Details in the landscape package.

- Consider the height of the walls and to review them under the amenity area if the grading of the walkway is changing.

VDZ: Grading in amenity area is changed. Please refer to landscape site plan and grading plan for the revisions.

- Consider excluding the flowers (Golden Purvis) as they tend to have a distinctive smell and could irritate some people.

VDZ: We don't have this plant in our list.

- Consider incorporating walkways into the northwest corner amenity areas through materiality or programming to reduce hard surfacing and allow more programmed space and more cohesive design in children's play area.

VDZ: The circulation path has been redesigned to cut down the hardscape area.

- Consider coordinating the amenity programming interior to exterior, for example inside gym to outside yoga area as the yoga area is in the middle of the exit door walkway.

VDZ: The programs in amenity space have been redesigned to provide better connection and service between indoor and outdoor.

- Recommend reviewing the location of the veggie gardens as they appear to be in the centre of the 6 storeys building on the north side without any sunlight.

VDZ: The garden pots are eliminated.

- Consider providing screening or separation between children's play structure area and access walkway coming from the building.

VDZ: We want to keep eyes on the play area for safety reasons. However, planting buffer is provided between NW living unit and outdoor amenity space to the play area.

- Consider adding sheltered outdoor amenity space to provide occupants access to open air group spaces for year-round use.

VDZ: A trellis is proposed above the BBQ area for weather protection during the year.

CPTED

- No specific issues were identified.

Sustainability

- Consider energy modeling to future climate data to account for shock events (hot and cold), and to inform fenestration layouts, natural ventilation, and passive cooling strategies on different facades.
- Energy modeling will be provided at BP stage of the project. Proposed recessed balconies, roof and canopy overhangs are part of passive cooling strategies.
 - Consider including slag or fly ash into the structural concrete to reduce embodied carbon due to cement content.
- This recommendation will be considered at the next stage of the project in collaboration with appropriate consultants competent in this area.
 - Consider setting higher performing targets for sustainability metrics such as air tightness and low embodied carbon.
- This recommendation will be considered at the next stage of the project in collaboration with appropriate consultants competent in this area.
 - Consider inclusion of renewable energy on roof surfaces. Or consider providing extensive green roof to help reduce storm water run-off and heat island effect.
- This recommendation will be considered at the next stage of the project in collaboration with appropriate consultants competent in this area.
 - Consider reviewing opportunities for rain gardens or bioswales especially with at grade planting areas beside parking ramp.
- VDZ: The planter on the north side of the amenity area is turned into a rain garden. Stormwater from the hardscape surface will run into this planter and filtered by the bio-planting and drain rock pad.
 - Recommend providing bike parking for e-bikes for both internal and exterior bike parking.
- E-bike stalls are provided for internal and external bike parking.

Accessibility

- Consider providing and installing an inclusive play structure for children of all abilities in the playground.
- **VDZ: With the limited area and fall zone requirement, inclusive play structure can not be provided at the location. However, we have tried our best to provide multiple toys to serve different age groups.**
- Consider reviewing and reducing the slope between the building access to amenity area as it is 5% slope.
- **Slope has been reduced to 4.3%.**