

City of Surrey PLANNING & DEVELOPMENT REPORT Application No.: 7922-0308-00

Planning Report Date: January 16, 2023

PROPOSAL:

• Development Variance Permit

to allow a basement well and basement access between the principal building and side (south) lot line of a proposed single family dwelling.

LOCATION: 12938 - 110 Avenue

ZONING: RF

OCP DESIGNATION: Urban

NCP/TCP/LAP N/A

DESIGNATION:

				440 A				7
ガ 110 Ave								
		129 S	RF	12938			130 8	
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128A					129A			
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RECOMMENDATION SUMMARY

• Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

• The applicant is proposing a variance to allow a basement well and basement access between the principal building and side (south) lot line of a proposed single family dwelling in the Single Family Residential (RF) Zone.

RATIONALE OF RECOMMENDATION

- The subject property is a corner lot with frontage along 129A Street (east side) and 110 Avenue (north side) in the Whalley neighbourhood. It is on a gentle slope with views to the North Shore mountains.
- The applicant has a pending building permit application with the Building Division. The applicant is proposing a single family dwelling with a north orientation facing 110 Avenue in order to take advantage of the mountain views. The basement well and access is proposed at the side (south) lot line of the property.
- The RF Zone only allows basement access and basement wells to be situated between the principal building and the rear (west) lot line. The design of the proposed single family dwelling does not comply with the Zoning Bylaw.
- The applicant has indicated that a considerable amount of time was spent designing the proposed single family dwelling. At the time of building design, building permits were being issued with basement access and basement wells between the principal building and the side lot line.
- A subsequent internal policy review has determined that allowing basement access and basement wells between the principal building and the side lot line is contrary to the current Zoning Bylaw. Building permit applications submitted prior to the internal policy review are required to either amend their building design or apply for a Development Variance Permit (DVP) to comply with the current Zoning Bylaw. The basement well is sited in such a manner that it is located outside the side yard setback and provides safe and reasonable access to the rear yard.
- The applicant has indicated that it would cause delay and hardship to alter the design of the proposed single family dwelling at this time. As such, the subject variance has been requested.

RECOMMENDATION

The Planning & Development Department recommends that:

- 1. Council approve Development Variance Permit No. 7922-0308-00 (Appendix II) varying the following, to proceed to Public Notification:
 - (a) To vary Part 16 Single Family Residential Zone (RF), Section J. 3. to permit basement access and the basement well to be situated between the principal building and the side (south) lot line.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Single Family Dwelling	Urban	RF Zone
North (Across 110 Avenue):	Single Family Dwelling	Urban	RF Zone
East (Across 129A Street):	Single Family Dwelling	Urban	RF Zone
South:	Single Family Dwelling	Urban	RF Zone
West:	Single Family Dwelling	Urban	RF Zone

Context & Background

- The 722-square metre subject property is located at 12938-110 Avenue in Whalley. It is a corner lot with frontage along 129A Street and 110 Avenue and is approximately 18 metres wide and 40 metres deep.
- The lot is designated "Urban" in the Official Community Plan and is not in a Neighbourhood Concept Plan (NCP) area. The zoning of the property is Single Family Residential (RF) Zone, under Surrey Zoning Bylaw, 1993, No. 12000.
- The applicant has submitted a Building Permit application for a new single family dwelling on the lot. Upon review by the Building Division, it was determined that the proposed basement well and access are not compliant with the RF Zone. A Development Variance Permit (DVP) is therefore required.

DEVELOPMENT PROPOSAL

Planning Considerations

• The applicant is proposing to construct a new single family dwelling on the existing RF-zoned lot.

Referrals

Engineering:

The Engineering Department has no objection to the project.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

• The subject property is designated "General Urban" in the Regional Growth Strategy (RGS). The proposed new single family dwelling complies with the General Urban designation.

Official Community Plan

Land Use Designation

• The subject property is designated Urban in the Official Community Plan (OCP). The proposed new single family dwelling complies with the Urban designation.

Zoning By-law

- The subject property is zoned RF which permits a single family dwelling.
- The RF Zone only allows basement access and basement wells to be situated between the principal building and the rear lot line.

Variance

- The applicant is requesting the following variance:
 - To vary Part 16 Single Family Residential Zone (RF), Section J. 3. to permit basement access and the basement well to be situated between the principal building and the side (south) lot line.
- At the time the proposed single family dwelling was being designed, building permits were being issue with basement access and basement wells between the principal building and the side lot line.
- After a subsequent internal policy review, it was determined that approving building permit
 applications with basement access and basement wells between the principal building and the
 side lot line is contrary to the current Zoning Bylaw.
- A Zoning Bylaw text amendment to allow basement access and basement wells between the
 principal building and side lot line is under consideration to be brought before Council in the
 future, in circumstances where the basement well is located outside of the side yard setback
 and there is sufficient lot area and lot width to accommodate the basement well while
 maintaining safe and reasonable access to the rear yard.

- The applicant has indicated that they would suffer delay and hardship if they are required to alter the design of the proposed single family dwelling.
- The basement well is sited outside the side yard setback and provides safe and reasonable access to the rear yard.
- Staff support the requested variance to proceed for consideration.

TREES

• An arborist assessment for the subject property is required as part of the Building Permit review. The location of the basement access well is not anticipated to have bearing on tree preservation on the lot.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Site Plan

Appendix II. Development Variance Permit No. 7922-0308-00

approved by Ron Gill

Jeff Arason Acting General Manager Planning and Development

DQ/ar

129A STREET 5 to a < 20. 50. 50. 50. 50. 6-05 LE. OS EX. WATER S/C >30 YRS (DATE NEW POSSIBLE GAS S/C. UNKOWN) TO BE REPLACED BY NEW EXACT LOCATION TO BE 19mm S/C AT THE SAME LOCATION **JWTA** ROAD %9.6% . 7.7" I2 OOM √& 0° 30' 12" 6. 6x 58.98 (17.98 M) PROPERTY LINEZ LOS ZONING REQUIREMENTS GENERAL CONSTRUCTION NOTES: 6- 6x EXCAVATION e × AND ZONED Anc SETT BUILDING WIDTE 2'-0" [0.61M] SITE AREA SITE COVERAGE -ALLOWABLE -PROPOSED 00 28'-6½" [8.70M] (.40 - .02) = .38 X 7,776 SF 2,954 SF 2760 SF (274.45 M²) (256.41 M²) FLOOR AREA RATIO GW .6 X 6000 SF = 3,600 SF + .35 X 1,776 SF = 621 SF 4,221 SF TOTAL (5,000 SF MAX) -MAX. ALLOW FOUNDATIONS 420 SF 200 SF -PARKING -OPEN TO BELOW EXEMPTION Q. -PROPOSED 5 BASEMENT (EVENDTER) 1797 SE (166.02 M²) BASEMENT PARKING (EXEMPTED) (41.06 M²) (218.51 M²) MAIN FLOOR 2352 SF CRAWL SPACE \otimes -UPPER FLOOR (80% MAX. LOWER FL 1842 SF (171.14 M²) LINE OF RO OPEN TO BELOW (EXEMPTED) 197 SF (18.30 M² ABOVE TOTAL COUNTED FLOOR ARE GROSS FLOOR AREA: -COVERED DECKS VENTILATION 422 SF 153 SF (39.20 M²) (14.21 M²) ALLOWABLE: 4221 SF X .1 VERANDA -MAIN FLOOR 128 SF (11.89 M²) /2 JUPPER ELOOR (80% MAX LOWER EL) 130 SE (12.10 M²) TOTAL COUNTED FLOOR AREA: 411 SE (38.20 M²) **AVENUE** AVERAGE GRADE CALC (159.42' + 156.38' +166.21' + 163.71') / 4 = 161.43 (49.20 M) 40. √∆ IT IMI IM (161 43' + 29 53'): 3:12 SLOPE MIN (58.20 M 190.47 (58.05 M SET BACKS 110 PROPOSED -FRONT YARD 7.5 M 25.25 (7.70 M 154'-2 5" (47 0 1 8 SIDE YARD 1.8 M 6.00° 12.84° (1.83 M INSULATION 156'-\$.5" (47.77 M 166'-9" (50.83 M ASEMENT SLAB EL "FLANKING SIDE 3.6 M 7.5 M MAIN FL.EL. REAR YARD 176'-11" (53.98 M 193'-2" (58.88 M) ER FL.EL. EX. STM S/C >30VRS (1974) TO BE ABANDONED/CAPPED IN PLACE BY CITY AT DEVELOPERS COST IMPERMEABLE SURFACES ALLOWABLE .7 X 7776 SF 5443 SF REPLACE EXISTING SERVICE PROPOSED 3122 SE (290.06 M²) CE CONNECTION AT SAME LOCATION N N MEL 47 49m V.EL 46.35m GENERAL SITE PLAN NOTES: ANY DEVELOPMENT PROPOSED ON DNV BOULEVARDS MUST BE SUBMITTED FOR APPROVAL PRIOR TO COMPLETION. THIS INCLUDES ALL PLANTINS, LANDSCAPINS, STRUCTURAL AND NON-STRUCTURAL ENTITIES. RUN MIN. 8.25" MAX. 14" NO PERMANENT STRUCTURES PERMITTED ON DNV BOULEVARDS. THIS INCLUDE STAIRS, RETAINING WALLS, RAILINGS, IRRIGATION SYSTEM, ETC. ANY CHANGES TO DNV'S BOULEVARD MUST BE APPROVED. \triangleleft 0th 3. FIRST 2.0M OF THE BOULEVARD FROM THE ROAD EDGE ARE TO BE FREE OF LANDSCAPING DESIGNS. CLEARANCE REQUIRED FOR PEDESTRIAN ACCESSIBILITY. AT MINIMUM, TO BE RESTORED WITH TOPSOIL AND SOD. 4. ALL CURBING WORK TO BE DONE BY THE DISTRICT CREWS WITH ALL CHARGES PAID BY THE DEVELOPER. MAX DRIVEWAY WIDTH 4.5M FROM ROAD EDGE TO PROPERTY LINE. $\overline{}$ S ASDUAL T DDIVEWAYS MIJST BE REMAINMINH IM ASDUAL T DAVEMENT THICKNESS \boxtimes ON A MINIMUM 150MM THICK 19MM MINUS CRUSH GRANULAR BASE MATERIAL CONCRETE DRIVEWAY MUST BE AT MINIMUM 120MM THICKNESS ON A 150MM FICK 19MM MINUS CRUSH GRANULAR BASE MATERIAL. (DISTRICT ROW) ₩ 8 SANTARY, WATER AND STORM INSPECTION CHAMBERS MUST BE KEPT VISIBLE AND ACCESSIBLE. DO NOT COVER DURING OR AFTER THE CONSTRUCTION. 4K" [0.72M] (S) ~ 7 38 0½ 1 tieong $\otimes^{\frac{1}{2}}$ <u>₹159(50)</u> 6. S. 17.93 `<× ×0° 33'42" 58.82' (17:93 M) PROPERTY LINE EX.SAN S/C >30YRS (1974) TO = FE Ø BE ABANDONED/CAPPED IN PLACE BY CITY AT DEVELOPERS COST 13689 =10 5 WEST Ą Ч OS. S. RW HAS BEEN CLEARED SITE PLAN

Appendix I

- GEOTECHNICAL ENGINEER IS TO CERTIFY A SITE IS SAFE FOR WORKERS WHEN THE SLOPE OF THE EXCAVATIONS EXCEEDS ½ HORIZONTAL TO ONE VERTICAL OR EXCAVATION EXCEEDS 49:
 INSPECTIONS CAN ONLY BE DONE IF SITE IS POSTED AS SAFE BY PROF.

- 1. PAD FOOTINGS ARE REQUIRED TO HAVE A MINIMUM FOOTING AREA OF
 4. SSF SUPPORTING 1 FLOOR, SSF SUPPORTING 2 FLOORS, A 10 7SF
 2. FOOTINGS ARE TO EXTEND 18 BELOW GRADE MINIMUM.
 3. FOUNDATION WALLS OF BASEMENT BELOW GRADE AND CRAWL SPACES
 MUST BE INSLATED WITH RET 20 24* BELOW GRADE AND

PROVIDE %" Ø ANCHOR BOLTS @ 8"-0" O.C... ANCHOR POSTS TO FOOTINGS TO RESIST UPLIFT.

PROVIDE CRAWL SPACE ACCESS OF 1'-8" X 2'-4", MIN. 18" CLEARANCE AND VENTILATE TO 1/500TH OF AREA.
 GROUNDCOVER REQD. OF 2" CONCRETE OVER 6 MIL U.V.

- LINIFORMLY DISTRIBUTE VENTUATION TO FLAT AND VALUETED ROOFS TO 1/150 OF INSULATED CEILING AREA. VENTING IS REQUIRED TO BE TWOWAY
- 1/150 OF INSULATED CEILING AREA. VENTING IS REQUIRED TO BE TWOWN.

 WIN 2 X 2 CROSS PURILINS TO FAIT, VAULTED CEILINGS, AND DECKS OVER
 LIVING AREAS TO CONFORM TO 89 17.3 (4).

 PROVIDE MIX 2 Y CLEARANCE BETWEEN ROOP SHEATHING AND
 PROVIDE MIX. 1" CLEARANCE BETWEEN ROOP SHEATHING AND
 PROVIDE MIX. 1" CLEARANCE BETWEEN INSULATION AND TOP OF ROOF
 JOISTS.
- JOISTS.
 VENTILATE ATTICS TO 1/300 OF INSULATED CEILING AREA.
- 5. ROOF VENTS MUST BE UNIFORMLY DISTRIBUTED WITH A MINIMUM OF 25% AT BASE AND 25% IN ROOFTOP. 8. PROVIDE ATTIC HATCH OF 3.4SF IN AREA WITH NO DIMENSIONS LESS THAN
- 1-10"

 Submit Mechanical Ventilationair conditioning design and letter of supervision by Prof. Engineer, certified heal or hyc Technician At Frame and Final Inspection.

 Econtinuous or intermittent exhaust fans are required to all bathfooms and witchens as Ferr 99.2.3.

- INSULATION WHERE SUBJECT TO MECHANICAL DAMAGE IS TO BE COVERED AS PER #9.25.2.3.(7) WITH DRYWALL OR EQUIVALENT (E.G. CRAWL
- STORAGE AREAS).

 2. WALL INSULATION TO BE R20 MINIMUM IF DWELLING IS NOT HEATED BY NATURAL GAS.

 3. MINIMUM INSULATION VALUES R20 WALLS, R28 FOR FLAT OR VAULTED.
- CEILINGS, AND R40 FOR ATTIC SPACES.

 CEILING AND WALLS TO HAVE 6 MIL U.V. POLY FULLY CAULKED AS PER #
- 9.25. R 10 RIGID INSULATION REQUIRED AROUND UNHEATED SLABS ON GRADE:
- 20" VERTICAL OR HORIZONTAL FROM BOTTOM EDGE OF SLAB. R 12 RIGID INSULATION REQUIRED UNDER ENTIRE SLAB AREA FOR SLABS

WITH RADIANT HEATING

- STRAIGHT STAIR: RISE MIN 5" MAX 7 87"
- E. ALL TREADS TO HAVE A 1" NOSING. I. MINIMUM HEADROOM IS 6"-5" FROM A LINE THROUGH NOSINGS,
- MEASURED VERTICALLY. HANDRAIL TO BE BETWEEN 32" TO 38" FROM A LINE, MEASURED

- 4. PROMINION LO DE DEL VIELEN 27 LO 39 FROMIN A LINE, MEASURELY
 VERTICALLY, TROUGH MOSING.

 6. PRIMARY STAR, RUNNIMAM MOTH 2-10;

 7. CURVED STARS AND STARS 47 IN WIDTH OR GREATER REQUIRE 2
 HANDRALS.

 8. HANDRALE GEOLO, ON INTERIOR STARS WITH THREE OR MORE RISERS, AND
 EXTERIOR STARS WITH FOUR OR MORE RISERS.

 9. HANDRALE AS CAUGHD STO DE BETWEEN 39' AND 39'.

ENERGY EFFICIENCY REQUIREMENTS:

CLIMATE ZONE 4 WITH PERFORMANCE 9.36.6.

(ENERGY STEP CODE) - STEP 1 AIRTIGHTNESS (9.36.2.9.) & CONSTRUCTION OF AIR BARRIER DETAILS (9.36.2.10.):

- SEE SHEETS A6, A7 & A8 DETAILS
PRINCIPAL VENTILATION SYSTEM SUPPLY AIR (9.32.3.4.):
- PROVIDE VENTILATION TO BEDROOMS & HALLWAYS PER 9.32.3.4.(3)

HVAC AND SERVICE WATER HEATING REQUIREMENTS (9.32, & 9.33.)

HVAC SYSTEMS AND DUCTS TO BE SIZED & INSTALLED PER 9:36:3.2 PROVIDE DAMPERS FOR AIR INTAKE & OUTLET PER 9.36.3.3
PER 9.36.3.3, PIPING FOR HEATING AND COOLING SYSTEMS TO BE LOCATED INSIDE

THE PLANE OF INSULATION; WHERE PIPING IS LOCATED OUTSIDE THE BUILDING ENCLOSURE OR WITHIN UNCONDITIONED SPACE, THE INSULATION MUST BE INSTALLED TO A THERMAL

UNCONDITIONED SPACE, THE INSULATION MUST BE INSTALLED TO A THERMAL RESISTANCE NOT LESS THAN THE EFFECTIVE RESISTANCE REQUIREMENTS OF THE EXTERIOR ABOVE PER 9.36.3.6.THE

PER 9.3-0.30. IPIE ACCUPACY OF THE CONTROL MUST BE BETTER THAN PLUS OR MINUS 0.5°C. - HRV TO CONFORM TO 9.36.3.9, INCLUDING HAVING A MINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF 60%.

NEW SERVICE CONNECTION INSTALL ATION NOTES:

8. PROPERTY CORNERS MUST BE POSTED BY A REGISTERED BC LAND SURVEYOR PRIOR TO ANY CONNECTION BEING INSTALLED.

10 ANY BUILDING MATERIALS CARRAGE CONTAINED/BINS SPOIL DUES ETC. WITHIN 3.0M OF AN EXISTING OR PROPOSED SANITARY, STORM, OR WATER CONNECTION WILL PREVENT ANY DNY WORK FROM PROCEEDING UNTIL THE AREA

- CHAPDRAILS TO BE A MINIMUM 42" EYTERIOR AND
- 36" INTERIOR HEIGHT.
 NO MEMBER FACILITATING CLIMBING PERMITTED FROM
- 6" TO 36" ABOVE THE FLOOR OR WALKING SURFACE (IN ALL GUARDS). MAXIMUM 4" OPENING IN ALL STAIR, DECK AND BALCONY GUARDS (INTERIOR AND EXTERIOR). ALL GLASS GUARDS TO HAVE TOP CAP UNLESS APPROVED BY PROF.

- 1. ALL GAASS GUIMED 10 THINE TO ...

 FINANCEM POR THE CHART IS PERMITTED FOR DECKS WITHIN 5-11*

 OF GRADE.

 GOUADD REQUIRED TO ALL DROPS EXCEEDING 24" WHERE ACCESS IS PROVIDED (E.G. WINDOW WELLS).

 TO SUMPA REQUIRED WHERE THE ADACENT SURFACE WITHIN 1.2 M OF THE WALKING SURFACE HAS A SLOPE OF MORE THAN 1 IN 2

- 1. GLASS IN WINDOWS AND DOORS TO BE DOUBLE-GLAZED.

 2. GLASS IN ENTRANCE, SHOWER AND SLIDING DOORS, AND WINDOWS WITHIN 6" OF FLOODS AND WITHIN 5" OF DEADBOLTS ARE ALL TO BE SAFETY GLASS.

 3. SIDELICHTS 2" O'- IN WIDTH ARE TO BE SAFETY GLASS.

 4. WINDOWS IN WALLS ENCLOSING SHOWER OR TUBS ARE TO BE SAFETY GLASS AND BE COLOTED ARROW THE WITERFROOF WALL FINISH HEIGHT GLASS AND BE LOCATED ARROW THE WITERFROOF WALL FINISH HEIGHT.
- THE BOTTOM OF AN OPENABLE WINDOW IN A BEDROOM IS NOT TO EXCEED 4-11" ABOVE THE FLOOR, AND HAVE A MIN. OPENING WIDTH OF
- EXCEED 4-11* ABOVE THE FLOOR, AND HAVE A MIN. UPENING THE IT OF 15* WITH AM AREA OF 3.75 ST. I WINDOWS OVER STARS, RAMPS AND LANDINGS THAT EXTEND TO LESS THAN 36* ABOVE THE SURFACE SHALL BE PROTECTED WITH GUARDS OR BE THAN 30* ABOVE WELLS ARE TO BE 22* MINIMUM WIDTH WHEN REQUIRED AS A promptous region.
- WINDOW WELLS ARE TO BE 22" MINIMUM WIDTH WHEN REQUIRED AS A BEDROOM EGRESS. BEDROOM WINDOWS REQUIRED AS EXITS MUST MAINTAIN THE REQUIRED
- OPENING DURING AN EMERGENCY WITHOUT THE NEED FOR ADDITIONAL
- SUPPORT IN CONFORMANCE WITH #9.7.12.2.B.
 WHERE A PROTECTIVE ENCLOSURE IS INSTALLED OVER A WINDOW WELL, IT SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF KEYS, TOOLS, OR SPECIAL KNOWLEDGE.

MASONRY VENEER WALLS

PROVIDE MASONRY/VENEER WALL FLASHING TIES AND WEEP HOLES AS PER #9.20.

GARAGES

- DOORS BETWEEN GARAGE AND DWELLING ARE TO BE A SELF-CLOSING AND WEATHERSTREPPED SOLD CORE DOOR.

 WEATHERSTREPPED SOLD CORE DOOR.

 MOSTLURE PROTECTION.

 BY TO IT OF BELOW GRADE.

 MOSTLURE PROTECTION.

 PROVIDE FLASHING BETWEEN HORIZONTAL INTERSECTIONS OF DIFFERING WALL PRINSES. EL FLASHING TO SLOPE AWAY FROM THE BULDING A MANIBULIO OF SIL.

 MANIBULIO OF SIL.

 PROVIDE FLASHING SOLDE AWAY FROM THE BULDING A MANIBULIO OF SIL.

 THE PROVIDE FLASHING SOLDE AWAY FROM THE BULDING A MANIBULIO OF SIL.

 THE PROVIDE FLASHING SOLDE AWAY FROM THE BULDING A MANIBULIO OF SIL.

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 THE PROVIDE FLASHING SOLDE AWAY FROM THE BULDING A MANIBULIO OF SIL.

 THE PROVIDE FLASHING SOLDE AWAY FROM THE BULDING PARAPETS.

- FOR SOLID GUARDS ON DECKS
- FOR SOLID GUARDS ON DECKS.
 RAINSCREEN ASSEMBLY REQUIRED FOR ALL BUILDINGS, WITH A MINIMUM.
- CAPILLARY BREAK OF 3/8" ALL PLATFORMS ARE ROOFS
- 4. ALL PLATFORMS ARE ROOFS
 ALL ROOFS MUST SLOPE 1 IN 50 AWAY FROM WALLS, THIS INCLUDES
 PARAPET WALLS SURROUNDING DECKS
 6. 6° CLEARANCE REQUIRED BETWEEN DECK MEMBRANES & FLOOR

MISCELLANEOUS

- . CROSS BRIDGING REQUIRED @ 7'- 0" O.C. MAXIMUM FOR FLOOR AND ROOF JOISTS
- ROOF JOISTS.

 2. LING OR EQUAL REQUIRED TO BATHROOM FLOORS WATERPROOF WALLBOARD REQUIRED AS TILE BASE AROUND TUBS AND

- 3. WAILEMPOUR PROLITED TO CELLING MEMBERS AT 24" O.C. 4.06" DRYNMLI REQUIRED TO CELLING MEMBERS AT 24" O.C. 5.00" DRYNMLI REQUIRED TO CELLING MEMBERS AT 24" O.C. 5.00" DRYNOGFING TOR STARS, INCLUDING CRAIN SPACES, ARE TO BE 6 MIL. 5.00" DRYNOGFING TOR STARS, INCLUDING CRAIN SPACES, ARE TO BE 6 MIL. 7. PURMACE AND LAURIORY ROOM DOOR WITH 06" Z.F. MIN. 6. N.R.P. HINNES REQUIRED FOR OUTSWING EXTERDER DOORS.
- B. N.P. HINGES REQUIRED FOR OUTSWING EXTERIOR DOURS.. 9. ONE HARD WIRED-SMOKE ALARM REQUIRED PER FLOOR, ALL SMOKE ALARMS TO BE INTERCONNECTED.

LIST OF STANDARD ABBREVIATIONS

A.V.B. Air Vapour Barrie Microwave Minimum Necessary Not in Contract Not to Scale Opening Phywood (Polyethylene Roof Ventilation Jack Roof Joists Rough Opening Rod and Shelf Rainwater Leader Auripur Barne
Aluminum
Board
Bfold Door
Building Paper
Bottom of
Built-Up (Beam)
Column Base
Ceiling
Closet
Clear
Concrete R.O Rough Openin R&S Rod and Shelf RWL Rainwater Lea S.A. Smoke Alarm SFLR Subfloor SG Safety Glass SIM Similar STR Stair Concrete Dryer Down Dishwasher Exhaust Fan Equal

GENERAL NOTES:

B.O. B.U.B. CB CLG CLOS CLR CONC D DN DN

ALL WORK AND MATERIALS TO COMPLY WITH BC BUILDING CODE 2012 AND WITH MUNICIPAL BYLAWS AND REQUIREMENTS.

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION

ALL STRUCTURAL MEMBERS TO HAVE THE FOLLOWING GRADES BEAMS INISTS AND MEADERS: DOLIGLAS EID #2 OR BETTER STUDS: #2 K.D. S.P.F. OR BETTER

ROOF TRUSSES TO BE DESIGNED BY A PROFESSIONAL ENGINEER. SHOP DRAWINGS TO BE SUBMITTED FOR MUNICIPAL APPROVAL PRIOR TO FABRICATION.

ALL CONSTRUCTION AND DESIGN TO CONFORM TO PART 9 OF THE

WATERPROOF WALLBOARD REQUIRED AS TILE BASE AROUND TUBS AND SHOWERS



satendra mann 604.988.6063

MANIANI RESIDENCE

ADDRESS:

12938, 110th AVENUE SURREY

LEGAL DESCRIPTION

SECTION - 16 BLOCK - 05 NWD PLAN - 13689

PID: - 009-861-491

12/27/21 ISSUED FOR BP

11/21/22 REVISED FOR BP

Title

SITE PLAN & CALCS

Date NOVEMBER 21ST, 2022

Scale AS SHOWN

Drawing No. Δ1

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0308-00

1	ssuec	17	Γα.

("the Owner")

Address of Owner:

- 1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
- 2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 009-861-491 Lot 14 Section 16 Block 5 North Range 2 West New Westminster District Plan 13689 12938 110 Ave

(the "Land")

- 3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section J.3. of Part 16 "Single Family Residential Zone (RF)", a basement access and the basement well are permitted to be situated between the principal building and the side (south) lot line.
- 4. This development variance permit applies to only <u>that portion of the buildings and structures on the Land</u> shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
- 5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6.	This development variance permit shall lapse if construction with respect to which this develop (2) years after the date this development varian	oment variance permit is issued, within two			
7.	The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.				
8.	This development variance permit is not a building permit.				
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 . ISSUED THIS DAY OF , 20 .					
	<u> </u>	Mayor – Brenda Locke			
	(City Clerk – Jennifer Ficocelli			

129A STREET E-05 EX. WATER S/C >30 YRS (DATE UNKOWN) TO BE REPLACED BY NEV 19mm S/C AT THE SAME LOCATION . 5'-7" [2.00M 0° 30' 12" GENERAL CONSTRUCTION NOTES EXCAVATION ° 0 × 2'-0" [0.61M] GEOTECHNICAL ENGINEER IS TO CERTIFY A SITE IS SAFE FOR WORKERS WHEN THE SLOPE OF THE EXCAVATIONS EXCEEDS % HORIZONTAL TO ONE VERTICAL OR EXCAVATION EXCEEDS 48: INSPECTIONS CAN ONLY BE DONE IF SITE IS POSTED AS SAFE BY PROF. 28'-6½" [8.70M] (.40 - .02) = .38 X 7,776 SF (274.45 M²) (256.41 M²) FLOOR AREA RATIO .6 X 6000 SF = 3,600 SF + .35 X 1,776 SF = 621 SF 4,221 SF TOTAL (5,000 SF MAX) 1. PAD FOOTINGS ARE REQUIRED TO HAVE A MINIMUM FOOTING AREA OF 4. SEF SUPPORTING 1 FLOOR, SEF SUPPORTING 2 FLOORS, 8 10.7SE 2. FOOTING 1 FLOORS, 10 FLOOR SEP SUPPORTING 2 FLOORS, 10.7SE 2. FOOTING 1 FLOORS, 10 FLOOR SEP -PARKING -OPEN TO BELOW EXEMPTION Q. PROVIDE %" Ø ANCHOR BOLTS @ 8"-0" O.C... ANCHOR POSTS TO FOOTINGS TO RESIST UPLIFT. BASEMENT (EVEMPTER) 1797 SE (166.02 M²) BASEMENT PARKING (EXEMPTED) (41.06 M²) (218.51 M²) \otimes -UPPER FLOOR (80% MAX, LOWER FL 1842 SF (171.14 M²) (18.30 M²) OPEN TO BELOW (EXEMPTED) PROVIDE CRAWL SPACE ACCESS OF 1'-8" X 2'-4", MIN. 18" CLEARANCE AND VENTILATE TO 1/500TH OF AREA. GROUNDCOVER REQD. OF 2" CONCRETE OVER 6 MIL U.V. TOTAL COUNTED FLOOR ARE GROSS FLOOR AREA: -COVERED DECKS 422 SF 153 SF (39.20 M²) (14.21 M²) ALLOWABLE: 4221 SF X .1 LINIFORMLY DISTRIBUTE VENTUATION TO FLAT AND VALUETED ROOFS TO /150 OF INSULATED CEILING AREA. VENTING IS REQUIRED TO BE TWOWN (11.89 M²) /2 1/150 OF INSULATED CEILING AREA. VENTING IS REQUIRED TO BE TWOWAY. MIN 2 X 2 CROSS PURLINS TO FAIT, VAULTED CEILINGS, AND DECKS OVER LIVING AREAS TO CONFORM TO 89 JI 3/14 (). PROVIDE MIN 2.9 CLEARANGE BETWEEN ROOF SHEATHING AND INSULATION 99 JI 3/1.3. PROVIDE MIN "TO CLEARANGE BETWEEN INSULATION AND TOP OF ROOF PROVIDE MIN "TO CLEARANGE BETWEEN INSULATION AND TOP OF ROOF JUPPER ELOOR (80% MAX LOWER EL) 130 SE (12.10 M²) TOTAL COUNTED FLOOR AREA: 411 SE **AVENUE** JOISTS. VENTILATE ATTICS TO 1/300 OF INSULATED CEILING AREA. 5. ROOF VENTS MUST BE UNIFORMLY DISTRIBUTED WITH A MINIMUM OF 25% AT BASE AND 25% IN ROOFTOP. 6. PROVIDE ATTIC HATCH OF 3.45F IN AREA WITH NO DIMENSIONS LESS THAN AVERAGE GRADE CALC (159.42' + 156.38' +166.21' + 163.71') / 4 = 161.43 1-10' S JUBMIT MECHANICAL VENTILATIONAIR CONDITIONING DESIGN AND LETTER OF SUPERVISION BY PROF. ENGINEER, CERTIFIED HEAJ OR HVC TECHNICIAN AT FRAME AND FINAL INSPECTION. B. CONTINUOUS OR INTERMITTENT EXPAUST FANS ARE REQUIRED TO ALL BATHROOMS AND KITCHENS AS FER 93 2.3. MAX HEIGHT - MAXIMUM (161.43' + 29.53'); 3:12 SLOPE MIN 190.47 110 PROPOSED -FRONT YARD 7.5 M 25.25 SIDE YARD 1.8 M 6.00° 12.84° 156'-\$.5" (47.77 M 166'-9" (50.83 M ELANKING SIDE INSULATION WHERE SUBJECT TO MECHANICAL DAMAGE IS TO BE COVERED AS PER #9.25.2.3.(7) WITH DRYWALL OR EQUIVALENT (E.G. CRAWL MAIN FL.EL REAR YARD ER FL.EL STORAGE AREAS). 2. WALL INSULATION TO BE R20 MINIMUM IF DWELLING IS NOT HEATED BY NATURAL GAS. 3. MINIMUM INSULATION VALUES R20 WALLS, R28 FOR FLAT OR VAULTED. IMPERMEABLE SURFACES CEILINGS, AND R40 FOR ATTIC SPACES. CEILING AND WALLS TO HAVE 6 MIL U.V. POLY FULLY CAULKED AS PER # ALLOWABLE .7 X 7776 SF REPLACE EXISTING SERVICE 3122 SE 9.25. i. R10 RIGID INSULATION REQUIRED AROUND UNHEATED SLABS ON GRADE: 20" VERTICAL OR HORIZONTAL FROM BOTTOM EDGE OF SLAB. R 12 RIGID INSULATION REQUIRED UNDER ENTIRE SLAB AREA FOR SLABS Z W ANY DEVELOPMENT PROPOSED ON DNV BOULEVARDS MUST BE SUBMITTED FOR APPROVAL PRIOR TO COMPLETION. THIS INCLUDES ALL PLANTING, LANDSCAPING, STRUCTURAL AND NON-STRUCTURAL ENTITIES. STRAIGHT STAIR-RISE MIN 5" MAX 7.87 NO PERMANENT STRUCTURES PERMITTED ON DNV BOULEVARDS. THIS INCLUDE STAIRS, RETAINING WALLS, RAILINGS, IRRIGATION SYSTEM, ETC. ANY CHANGES TO DNV'S BOULEVARD MUST BE APPROVED. \triangleleft E. ALL TREADS TO HAVE A 1" NOSING. I. MINIMUM HEADROOM IS 6"-5" FROM A LINE THROUGH NOSINGS MEASURED VERTICALLY. HANDRAIL TO BE BETWEEN 32" TO 38" FROM A LINE, MEASURED 10th 3. FIRST 2.0M OF THE BOULEVARD FROM THE ROAD EDGE ARE TO BE FREE OF 4. PROMINION LO DE DEL VILLE PLAZ 'L' L' 30 FROMIN À L'INEL, MER-SOURELY VERTICALLY, PROCODIN CONSON. 4. PROMINION STATE RIMINIMAM MODITH 2- 107. 5. COURVED STATES AND STATES 43° IN WIDTH OR GREATER REQUIRE 2 HANDRALS. 5. HANDRALE SCOLO, ON INTERIOR STATES WITH THREE OR MORE RISERS, AND EXTERIOR STATES WITH FOUR OR MORE RISERS. 5. PAMORIALE S. ALGUARD IST O'BE ENTENEN 30° AND 38°. ANDSCAPING DESIGNS, CLEARANCE REQUIRED FOR PEDESTRIAN ACCESSIBILITY. AT MINIMUM, TO BE RESTORED WITH TOPSOIL AND SOD. S ASDUAL T DDIVEWAYS MIJST BE REMAINMINH IM ASDUAL T DAVEMENT THICKNESS \otimes N A MINIMUM 150MM THICK 19MM MINUS CRUSH GRANULAR BASE MATERIAL ONCRETE DRIVEWAY MUST BE AT MINIMUM 120MM THICKNESS ON A 150MM 19MM MINUS CRUSH GRANULAR BASE MATERIAL. (DISTRICT ROW SANTARY, WATER AND STORM INSPECTION CHAMBERS MUST BE KEPT VISIBLE AND ACCESSIBLE. DO NOT COVER DURING OR AFTER THE CONSTRUCTION. ~ 7 38.0% 1 (1 60 kg) EX.SAN S/C >30YRS (1974) TO BE ABANDONED/CAPPED IN PLACE BY CITY AT DEVELOPERS COST to permit basement access $\bar{\exists} \otimes$ 10 5 and the basement well to be WEST situated between the principal OS. S. building and the side (south) SITE PLAN lot line.

Schedule A

- CHAPDRAILS TO BE A MINIMUM 42" EYTERIOR AND 36" INTERIOR HEIGHT.
 NO MEMBER FACILITATING CLIMBING PERMITTED FROM
- 6" TO 36" ABOVE THE FLOOR OR WALKING SURFACE (IN ALL GUARDS). MAXIMUM 4" OPENING IN ALL STAIR, DECK AND BALCONY GUARDS (INTERIOR AND EXTERIOR). ALL GLASS GUARDS TO HAVE TOP CAP UNLESS APPROVED BY PROF.

- WALKING SURFACE HAS A SLOPE OF MORE THAN 1 IN 2

- THE BOTTOM OF AN OPENABLE WINDOW IN A BEDROOM IS NOT TO EXCEED 4-11" ABOVE THE FLOOR, AND HAVE A MIN. OPENING WIDTH OF
- 15" WITH AN AREA OF 3.75 SF. WINDOWS OVER STAIRS, RAMPS AND LANDINGS THAT EXTEND TO LESS
- THAN 36" ABOVE THE SURFACE SHALL BE PROTECTED WITH GUARDS OR BE NON-OPENABLE AND DESIGNED TO #4.1.5.15.
 WINDOW WELLS ARE TO BE 22" MINIMUM WIDTH WHEN REQUIRED AS A
- WINDOW WELLS ARE TO BE 22" MINIMUM WIDTH WHEN REQUIRED AS A BEDROOM EGRESS.

 BEDROOM WINDOWS REQUIRED AS EXITS MUST MAINTAIN THE REQUIRED. OPENING DURING AN EMERGENCY WITHOUT THE NEED FOR ADDITIONAL
- SUPPORT IN CONFORMANCE WITH #9.7.1.2.2.B.
- SUPPORT IN CONFORMANCE WITH #9.7.1.2.2.B.
 WHERE A PROTECTIVE ENCLOSURE IS INSTALLED OVER A WINDOW WELL, IT
 SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF KEYS, TOOLS,

PROVIDE MASONRY/VENEER WALL FLASHING TIES AND WEEP HOLES AS PER #9.20.

- DOORS BETWEEN GARAGE AND DWELLING ARE TO BE A SELF-CLOSING AND WEATHER STRIPPED SOLD COKE DOOR MOON THE RESTRIPPED SOLD COKE DOOR MOOSTURE PROTECTION SHIPP TO 16" BELOW GRADE. MOOSTURE PROTECTION SHIPP TO 16" BELOW GRADE. MOSTURE PROTECTION SO FOR PROVED FLASHING BETWEEN HORIZONTAL INTERSECTIONS OF DIFFERING PROVIDE FLASHING DISCOVERING FLOOR THE BUILDING A WALL FINSHESS. ALL FLASHING TO SLOPE AWAY FROM THE BUILDING A
- WALL FINISHES. ALL PLASHING TO GLOPE AND THOSE TO STATE AND THE STA
- RAINSCREEN ASSEMBLY REQUIRED FOR ALL BUILDINGS, WITH A MINIMUM CAPILLARY BREAK OF 3/8"
- ALL ROOFS MUST SLOPE 1 IN 50 AWAY FROM WALLS, THIS INCLUDES
- PARAPET WALLS SURROUNDING DECKS 3. 6" CLEARANCE REQUIRED BETWEEN DECK MEMBRANES & FLOOR

- . CROSS BRIDGING REQUIRED @ 7'- 0" O.C. MAXIMUM FOR FLOOR AND
- LINO OR EQUAL REQUIRED TO BATHROOM FLOORS WATERPROOF WALLBOARD REQUIRED AS TILE BASE AROUND TUBS AND

- 3. WAILEMPOUP WAILEDWIND REQUIRED AS I ILE DATA MANDE AS INCHES SHOWERS.
 SHOWERS.
 SHOWERS OF CLEARANCE BETWEEN GRADE AND SIDNA.
 D. DIMP-PROOFING FOR SLASS, INCLUDING CRAIM, SPACES, ARE TO BE 8 MIL.
 7. PURMACE AND LAURIPY ROOM DOOR WIDTH OF 7.2 MIN.
 8. N.R.P. HINNES REQUIRED FOR OUTSWING EXTERDIR DOORS.
- B. N.P. HINGES REQUIRED FOR OUTSWING EXTERIOR DOURS.. 9. ONE HARD WIRED-SMOKE ALARM REQUIRED PER FLOOR, ALL SMOKE ALARMS TO BE INTERCONNECTED.

LIST OF STANDARD ABBREVIATIONS A.V.B. Air Vapour Barrie

ENERGY EFFICIENCY REQUIREMENTS:

CLIMATE ZONE 4 WITH PERFORMANCE 9.36.6.

(ENERGY STEP CODE) - STEP 1 AIRTIGHTNESS (9.36.2.9.) & CONSTRUCTION OF AIR BARRIER DETAILS (9.36.2.10.):

HVAC AND SERVICE WATER HEATING REQUIREMENTS (9.32. & 9.33.)

HVAC SYSTEMS AND DUCTS TO BE SIZED & INSTALLED PER 9.36.3.2 PROVIDE DAMPERS FOR AIR INTAKE & OUTLET PER 9:36:3:3
PER 9:36:3:3, PIPING FOR HEATING AND COOLING SYSTEMS TO BE LOCATED INSIDE

WITHIN UNCONDITIONED SPACE, THE INSULATION MUST BE INSTALLED TO A THERMAL

UNCONDITIONED SPACE, THE INSULATION MOST BE INSTALLED TO A THERMAL RESISTANCE NOT LESS THAN THE EFFECTIVE RESISTANCE REQUIREMENTS OF THE EXTERIOR ABOVE - PROVIDE TEMPERATURE CONTROLS FOR HEATING AND COOOLING EQUIPMENT PER 9.36.3.6. THE

ACCURACY
OF THE CONTROL MUST BE BETTER THAN PLUS OR MINUS 0.5°C.
OF THE CONFORM TO 9.383.9, INCLUDING HAVING A MINIMUM SENSIBLE HEAT
RECOVERY
EFFICIENCY OF 60%.

NEW SERVICE CONNECTION INSTALL ATION NOTES.

8. PROPERTY CORNERS MUST BE POSTED BY A REGISTERED BC LAND SURVEYOR PRIOR TO ANY CONNECTION BEING INSTALLED.

10 ANY BUILDING MATERIALS GARRAGE CONTAINED BINS SPOUL DUES ETC. WITHIN 3.0M OF AN EXISTING OR PROPOSED SANITARY, STORM, OR WATER CONNECTION WILL PREVENT ANY DNY WORK FROM PROCEEDING UNTIL THE AREA

Concrete Dryer Down Dishwasher Exhaust Fan Equal

GENERAL NOTES: ALL WORK AND MATERIALS TO COMPLY WITH BC BUILDING CODE 2012 AND WITH MUNICIPAL BYLAWS AND REQUIREMENTS.

Microwave
Minimum
Necessary
Not in Contract
Not to Scale
Opening
Plywood
Polyvethylene
Roof Ventilation
Roof Joists
Rough Opening
Rod and Shelf

R.O Rough Openin R&S Rod and Shelf RWL Rainwater Lea S.A. Smoke Alarm SFLR Subfloor SG Safety Glass SIM Similar STR Stair

ALL STRUCTURAL MEMBERS TO HAVE THE FOLLOWING GRADES

BEAMS INISTS AND MEADERS: DOLIGLAS EID#2 OF BETTER STUDS: #2 K.D. S.P.F. OR BETTER

ROOF TRUSSES TO BE DESIGNED BY A PROFESSIONAL ENGINEER. SHOP DRAWINGS TO BE SUBMITTED FOR MUNICIPAL APPROVAL PRIOR TO FABRICATION. ALL CONSTRUCTION AND DESIGN TO CONFORM TO PART 9 OF THE

WATERPROOF WALLBOARD REQUIRED AS TILE BASE AROUND TUBS AND SHOWERS



satendra man 604.988.6063

MANIANI RESIDENCE

ADDRESS:

12938, 110th AVENUE SURREY

LEGAL DESCRIPTION

SECTION - 16 BLOCK - 05 NWD -13689

PID: - 009-861-491

12/27/21

PLAN

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ISSUED FOR BP

SITE PLAN & CALCS

Date

NOVEMBER 21ST, 2022

AS SHOWN Drawing No.