

INTER-OFFICE MEMO

Regular Council - Land Use

B. 4 7922-0298-00

Monday December 12, 2022

Supplemental Information

TO: City Clerk

FROM: Acting Manager, Area Planning & Development – South Division

DATE: December 12, 2022

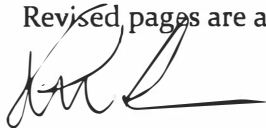
FILE: 7922-0298-00

RE: Agenda Item B.4, December 12, 2022 Regular Council – Land Use
Development Application No. 7922-0298-00
13731 57B Avenue

Development Application No. 7922-0298-00 is on the agenda for consideration by Council at the December 12, 2022 Regular Council – Land Use Meeting.

An error was identified in Appendix III (Development Variance Permit) of the Planning Report, which notes the proposed front yard variance as 7.4 metres to the proposed shop and 8.9 metres to the proposed in-ground pool. Appendix III should state the minimum front yard setback is proposed as 9.0 metres for the shop and 9.0 metres for the proposed in-ground pool.

Revised pages are attached to reflect this information correctly.



Shawn Low
Acting Manager
Area Planning & Development – South Division

c.c. - City Manager

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0298-00

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-186-956
Lot "A" Section 9 Township 2 New Westminster District Plan 21037
13731 57B Ave

(the "Land")

2. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) to reduce the minimum front yard (north) setback of the RH Zone for an accessory structure (shop) from 18 metres to ~~7.4 metres~~ 9.0 metres.
 - (b) to reduce the minimum front yard (north) setback of the RH Zone for an accessory structure (in-ground pool) from 18 metres to ~~8.9 metres~~ 9.0 metres.
3. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
4. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

5. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

6. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

7. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

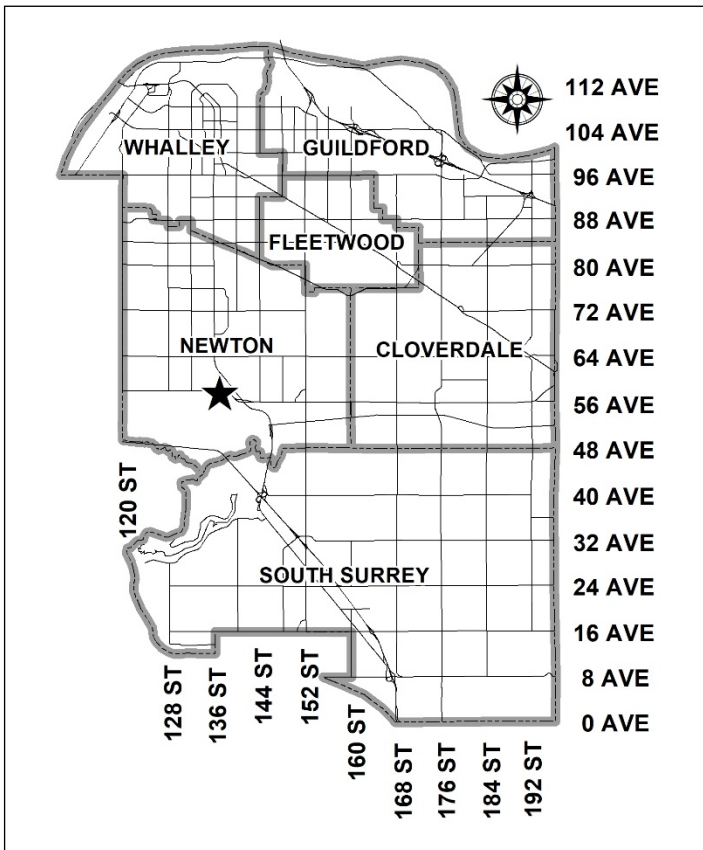
Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7922-0298-00

Planning Report Date: December 12, 2022



PROPOSAL:

- **Development Variance Permit**

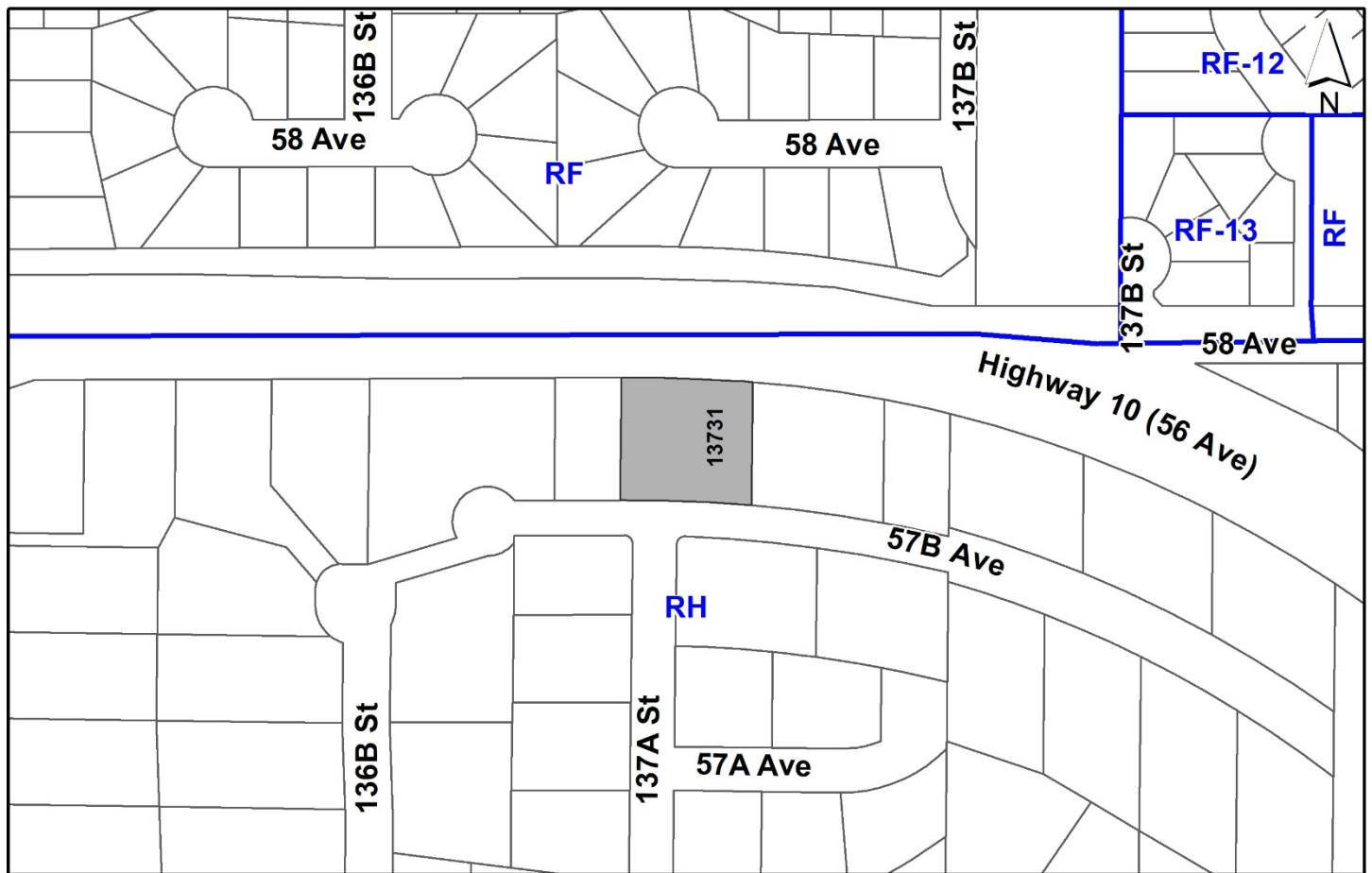
To reduce the required front yard setback to allow the construction of a swimming pool and accessory building.

LOCATION: 13731 - 57B Avenue

ZONING: RH

OCP DESIGNATION: Suburban (Density Exception Area)

LAP DESIGNATION: Suburban Residential (Half Acre)



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is requesting a Development Variance Permit (DVP) to reduce the minimum front yard setback requirement of the "Half-Acre Residential Zone (RH)" in order to permit the construction of an in-ground swimming pool and accessory structure.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Suburban Density Exception Area (max 2 upa) designation in the Official Community Plan (OCP).
- The proposal complies with the Suburban Residential (Half Acre) designation in the West Panorama Ridge Local Area Plan (LAP).
- The subject site is a through lot, which is defined in Surrey Zoning Bylaw No. 12000 as a "lot abutting two parallel or parallel highways". When a lot is defined as a through lot, both lot lines common to the lot and abutting highways are considered the front lot line.
- Although the north property line is defined as a front yard in the Zoning Bylaw, it functions as the rear yard. The rear yard setback for accessory structures under the RH Zone is 1.8 metres. If the north property line was identified as a rear yard, the proposed variances would not be required.
- The property is adjacent to Highway 10 to the North and is screened by a high fence along the north property line which should further screen the in-ground basement and accessory structure as well as provide additional privacy.
- There are seven large trees proposed to be retained along the east property line which would further screen the in-ground basement.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7922-0298-00 (Appendix III) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum front yard setback (north) of the RH Zone for an accessory structure from 18 metres to 9.0 metres for the proposed shop and to 9.0 metres to the proposed in-ground pool.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Single Family Residential	Suburban Residential (Half Acre)	RH Zone
North (Across Highway 10):	Single Family Residential	OCP: Urban	RF Zone
East:	Single Family Residential	Suburban Residential (Half Acre)	RH Zone
South (Across 57B Avenue):	Single Family Residential	Suburban Residential (Half Acre)	RH Zone
West:	Single Family Residential	Suburban Residential (Half Acre)	RH Zone

Context & Background

- The subject property is designated "Suburban" in the Official Community Plan (OCP), "Suburban Residential (Half Acre)" in the West Panorama Ridge Local Area Plan (LAP) and is zoned "Half Acre Residential Zone (RH)".
- The subject site is a through lot, which is defined in the Surrey Zoning Bylaw No. 12000 as a "lot abutting two parallel or parallel highways". When a lot is defined as a through lot, both lot lines common to the lot and abutting highways are considered the front lot line.
- The applicant is proposing a Development Variance Permit to reduce the minimum north front yard setbacks of the RH Zone for an accessory structure from 18 metres to 9.0 metres for the accessory structure (shop) and from 18 metres to 9.0 metres for the in-ground pool.

Referrals

Engineering: The Engineering Department has no objection to the project.

POLICY & BY-LAW CONSIDERATIONS

Official Community Plan

Land Use Designation

- The proposal complies with the Suburban Density Exception Area (max 2 upa) designation in the Official Community Plan (OCP).

Secondary Plans

Land Use Designation

- The proposal complies with the Suburban Residential (Half Acre) designation in the West Panorama Ridge Local Area Plan (LAP).

Zoning By-law

Setback Variances

- The applicant is requesting the following variances:
 - (a) to reduce the minimum front yard (north) setback of the RH Zone for an accessory structure (shop) from 18 metres to 9.0 metres.
 - (b) to reduce the minimum front yard (north) setback of the RH Zone for an accessory structure (in-ground pool) from 18 metres to 9.0 metres.
- The subject site is a through lot, which is defined in the Surrey Zoning Bylaw No. 12000 as a “lot abutting two parallel or parallel highways”. When a lot is defined as a through lot, both lot lines common to the lot and abutting highways are considered the front lot line.
- Although the North property line is defined as a front yard in the Zoning Bylaw, it functions as the rear yard. The rear yard setback for accessory structures under the RH Zone is 1.8 metres. If the north property line was identified as a rear yard, the proposed variances would not be required.
- The property is adjacent to Highway 10 to the North and is screened by a high fence along the north property line which should further screen the in-ground basement and accessory structure as well as provide additional privacy. There are also seven large trees proposed to be retained along the east property line which would further screen the in-ground basement.
- Staff support the requested variances to proceed for consideration.

TREES

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder & Cottonwood	0	0	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry, Bitter	1	1	0
Maple, Bigleaf	1	1	0
Maple, Vine	2	0	2
Sitka Willow	1	1	0
Coniferous Trees			
Douglas Fir	7	7	0
Western Red Cedar	24	17	7
Dead Trees	5	5	0
Total (excluding Alder and Cottonwood Trees)	41	32	9
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		9	
Total Retained and Replacement Trees		18	
Contribution to the Green City Program		\$24,750	

- Connor Gritter, ISA Certified Arborist of Mike Fadum & Associates prepared an Arborist Assessment for the subject property.
- The Arborist Assessment states that there are a total of 41 mature trees on the site, of which 5 trees have been identified as dead trees (NOTE: the dead trees are not identified as part of Appendix II). It was determined that 9 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services and building footprint.
- For those trees that cannot be retained, the applicant will be required to plant trees at a 2 to 1 replacement ratio for all trees. There are no replacement trees required for dead trees. This will require a total of 54 replacement trees on the site. Since only 9 replacement trees can be accommodated on the site, the deficit of 45 replacement trees will require a cash-in-lieu payment of \$24,750, representing \$550 per tree, to the Green City Program, in accordance with the City’s Tree Protection By-law.
- In summary, a total of 18 trees are proposed to be retained or replaced on the site with a contribution of \$24,750 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Site Plan
- Appendix II. Tree Summary and Retention and Removal Plan
- Appendix III. Development Variance Permit No. 7922-0298-00

approved by Shawn Low

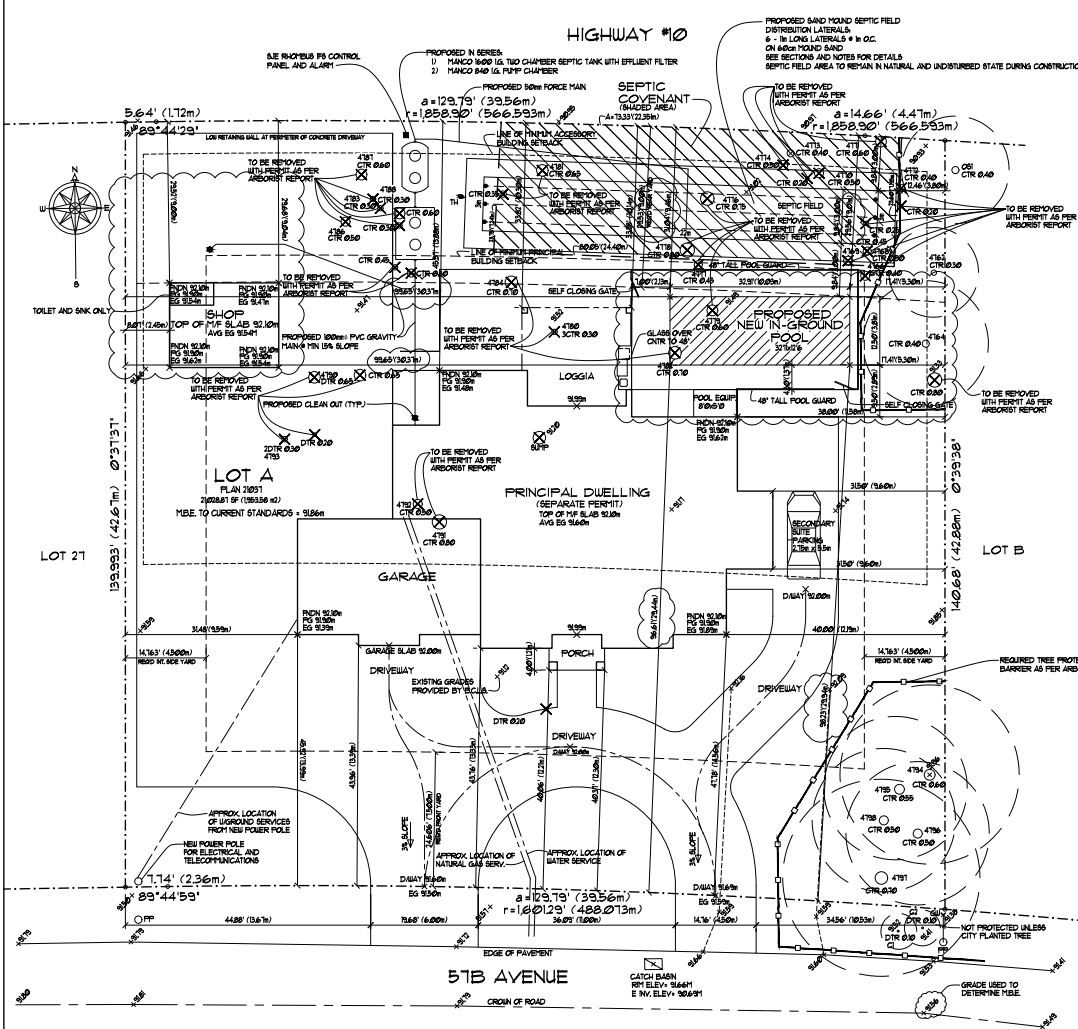
Jeff Arason
Acting General Manager
Planning and Development

HS/ar

PROJECT INFORMATION	
PROPERTY OWNER	BOBBY GILL
SITE ADDRESS	1373 57B AVENUE, SURREY, B.C.
PROJECT TYPE	PROPOSED NEW IN-GROUND POOL
AUTHORITY HAVING JURISDICTION	CITY OF SURREY
LEGAL DESCRIPTION	LOT A BLOCK 3 SECTION 8 TOWNSHIP 7 PLAN NUP0287 AND PUD 000-000-000
TITLE SEARCH	YES - NO SIGNIFICANT COVENANTS ON TITLE
ZONE	R1
SUBDIVISION	INFL LOT
DESIGN CONTROL CONSULTANT	NOT REQUIRED
BUILDER	TESE

ZONING ANALYSIS					
BUILDING SETBACKS					
STRUCTURE	FRONT YARD	REAR YARD	SIDE YARD	BLANKING ST.	
PRINCIPAL BUILDING	24.60' (7.50m)	24.60' (7.50m)	14.50' (4.50m)	24.60' (7.50m)	
ACCESSORY BUILDING	19.50' (5.90m)	19.50' (5.90m)	12.00' (3.60m)	24.60' (7.50m)	
BUILDING SETBACK NOTES					
* FOR LOTS LESS THAN 1000 SF THE SETBACKS FOR THE REAR YARD SHALL APPLY.					
* THE REAR YARD SETBACK FROM A NATURAL GAS TRANSMISSION TOWER SHALL BE 10'.					
* IN-GROUND SWIMMING POOLS ARE CONSIDERED ACCESSORY BUILDINGS WITH REGARDS TO SETBACKS.					
PERMITTED ENCROACHMENTS					
	FRONT YARD	REAR YARD	SIDE YARD	BLANKING ST.	
TRIP CHAIRS (1)	2' (0.61m)	2' (0.61m)	2' (0.61m)	2' (0.61m)	
BENCHES (1)	2' (0.61m)	2' (0.61m)	2' (0.61m)	2' (0.61m)	
BOX WINDSHIELD (1)	2' (0.61m)	2' (0.61m)	2' (0.61m)	2' (0.61m)	
BOAT (1)	2' (0.61m)	2' (0.61m)	2' (0.61m)	2' (0.61m)	
EAVES	2' (0.61m)	2' (0.61m)	2' (0.61m)	2' (0.61m)	
STAIRS (2)	NO LIMIT	NO LIMIT	NO LIMIT	NO LIMIT	
DECK / PORCH	2' (0.61m)	2' (0.61m)	2' (0.61m)	2' (0.61m)	
VEHICLES (1)	NO LIMIT	NO LIMIT	NO LIMIT	NO LIMIT	
PERMITTED ENCROACHMENT NOTES					
(1) ELEVATION REQUIRED YARD TO BE MAX 8'0" SIDE PER WALL FACE PER FLOOR					
(2) VENER SUPPORTED BY FOUNDATION NOT ALLOWED. PALM/OLIVE/AVOCADO					
(3) STAIRS IN REQUIRED YARD TO BE NO MORE THAN 2' BEYOND 24' ABOVE GARAGE					

SPECIAL NOTE:
THE SITE PLAN AND PROJECT INFORMATION ON THIS DRAWING WERE PRIMARILY USED FOR THE NEW DWELLING AND ACCESSORY BUILDING PERMIT SUBMISSION. THEY HAVE BEEN ALTERED TO PROVIDE INFORMATION ABOUT THE POOL TO BE USED FOR A POOL PERMIT SUBMISSION BUT STILL CONTAIN A SIGNIFICANT AMOUNT OF INFORMATION WHICH IS NOT RELEVANT FOR THE POOL PERMIT. THIS DRAWING IS TO BE SUPPLEMENTED WITH DRAWINGS AND INFORMATION FROM THE POOL CONTRACTOR AND ENGINEER.



SITE PLAN
SCALE 3/32" = 1'-0"

LOT AREA	
LOT AREA	21028.81 SF 1953.56 m ²
FLOOR AREA RATIO	
GROSS ALLOWABLE FLOOR AREA	75%
GROSS ALLOWABLE FLOOR AREA	15757.21 SF 468.39 m ²
DECK GARAGE RESERVATION 1208 SF	41.00 m ²
DECKED ACCESS RESERVATION 160.95 SF	28.60 m ²
NET ALLOWABLE AREA	15086.26 SF 439.79 m ²
PROPOSED GROSS FLOOR AREA	15756.84 SF 468.37 m ²
PROPOSED GARAGE AREA	1733.89 SF 51.02 m ²
FLOOR AREA IN EXCESS GARAGE	15622.95 SF 457.35 m ²
PROPOSED OUTDOOR COV. AREA	358.00 SF 10.52 m ²
FLOOR AREA RATIO NOTES	
* FOR LOTS THAT ARE LESS THAN 1000 SF PART (D) DENSITY OF THE RE ZONE APPLIES	
(1) ALL OUTDOOR COVERED AREA IS COUNTED IN FLOOR AREA RATIO EXCEPT FOR TREES THE GROSS FLOOR AREA IS CALCULATED ABOVE GRADE. IF THE SPA IS USED INTERNALLY IN THE REAR THEN THE RESERVE AREA MUST BE TAKEN FROM THE GROSS FLOOR AREA	
(2) CEILING GREATER THAN 7'0" WILL BE COUNTED TWICE IN FLOOR AREA RATIO EXCEPT FOR BELMANS RETURN 2'10" TO 2'10" THAT ARE BELMANS ARE NOT COUNTED AS LONG AS ONE WALL IS 2'10" OR LONGER	
* GARAGE AREA EXCEEDING 70% OF RESERVATION TO BE TAKEN OUT OF FLOOR AREA	
* ALL AREA USED FOR COVERED PARKING ARE TO BE INCLUDED IN THE FLOOR CALCULATION	
* GARAGE IN BASEMENT IS EXCLUDED FROM FLOOR AREA RESERVATION IS USED AS FLOOR AREA	
* COVERED PATIO OR TERRACE WHETHER FINISHED OR UNFINISHED, WILL BE INCLUDED IN THE CALCULATION OF FLOOR AREA RATIO - CHINA WALLS/STAIRWAYS	
* COVERED PATIO AT BASEMENT LEVEL WHICH ACCESS BY A VEHICLE SHALL BE CONSIDERED A GARAGE AND INCLUDED IN THE FLOOR CALCULATION	
* A BASEMENT HAS AT LEAST 50% OF ITS VOLUME IN GROUND. IF YES THEN FROM THE TOP OF THE SUB TO THE TOP OF THE NEXT FLOOR ABOVE AND AN ELEVATION TO THE LOWER OF THE GARAGE FLOOR OR THE NEXT FLOOR ABOVE. CEILING GREATER THAN 7'0" WILL BE COUNTED TWICE IN FLOOR AREA RATIO	
* WHEN DETERMINING THE AVERAGE EXISTING GRADE THE GRADES AT THE FOUR EXTREME CORNERS OF THE PROPOSED BUILDING ARE USED	
* BASEMENTS ARE PERMITTED TO BE EXCLUDED FROM FLOOR AREA WHETHER THEY ARE LOCATED IN THE PRINCIPAL DWELLING OR AN ACCESSORY BUILDING. GARAGE AREAS BEYOND THE PRINCIPAL FLOOR ABOVE WILL BE TAKEN FROM THE GROSS FLOOR AREA	
* COVERED PATIO AT BASEMENT LEVEL WHICH APPEAR TO BE HOISTLY ENCLOSED ARE NOT INCLUDED IN FLOOR AREA RATIO	
* ACCESSORY BUILDINGS SHALL HAVE ACCESS FROM THE EXTERIOR TO A MINIMUM 10' WIDE DRIVEWAY	
* ACCESSORY BUILDINGS SHALL HAVE ACCESS FROM THE EXTERIOR TO A MINIMUM 10' WIDE DRIVEWAY	
* ACCESSORY BUILDINGS SHALL HAVE ACCESS FROM THE EXTERIOR TO A MINIMUM 10' WIDE DRIVEWAY	

LOT COVERAGE	
ALLOWABLE PERCENT	75%
ALLOWABLE AREA	15757.21 SF 468.39 m ²
PROPOSED PERCENT	75.00%
PROPOSED AREA	15882.72 SF 464.34 m ²
LOT COVERAGE NOTES	
* FOR LOTS LESS THAN 1000 SF THE LOT COVERAGE RATIO FOR THE RE ZONE SHALL APPLY.	
* ACCESSORY BUILDINGS SHALL HAVE ACCESS FROM THE EXTERIOR TO A MINIMUM 10' WIDE DRIVEWAY	
* ACCESSORY BUILDINGS SHALL HAVE ACCESS FROM THE EXTERIOR TO A MINIMUM 10' WIDE DRIVEWAY	
* ACCESSORY BUILDINGS SHALL HAVE ACCESS FROM THE EXTERIOR TO A MINIMUM 10' WIDE DRIVEWAY	

BUILDING HEIGHT	
PRINCIPLE BLDG ALLOWED	12.50' (3.81m)
PRINCIPLE BLDG PROPOSED	12.50' (3.81m)
ACCESSORY BLDG ALLOWED	10.00' (3.05m)
ACCESSORY BLDG PROPOSED	10.00' (3.05m)
BUILDING HEIGHT NOTES	
* BUILDING HEIGHT IS MEASURED FROM THE AVERAGE EXISTING GRADE FINISHED GRADE AS INDICATED ON A LOT GRADING PLAN.	
* WHEN DETERMINING THE AVERAGE EXISTING GRADE THE GRADES AT THE FOUR EXTREME CORNERS OF THE PROPOSED BUILDING ARE USED.	
* BUILDING HEIGHT IS TO THE TOP OF A FLAT ROOF OR MEAN OF A PITCHED ROOF THE MEAN BEING THE HORIZONTAL LINE BETWEEN THE EAVE AND THE ROOF. THE EAVE BEING THE HORIZONTAL LINE OF A ROOF OVERHANG AND IS TYPICALLY TAKEN AS THE UNDERSIDE OF THE ROOF TRUSS OR RIBS WHICH OCCUPY MORE THAN 50% OF THE ROOF AREA. THEY DO NOT INCLUDE THEIR EAVES COUNTED AS THE BANS FOR DETERMINING EAVE TO REDUCE NEAR ROOF HEIGHT.	
GEOMETRIC ELEVATIONS	
ROOF PEAK ELEV.	100.75m
ROOF MEAN ELEV.	99.43m
UPPER FLOOR CEILING ELEV.	98.75m
UPPER FLOOR SLAB ELEV.	98.48m
MAIN FLOOR SLAB ELEV.	97.90m
SEWER INVERT * P.F.L.	
SITE SERVICES NOTES	
* ANY LIVING SPACE PROPOSED BELOW GRADE REQUIRES AN INLET TO BE ESTABLISHED. THIS CAN BE CERTIFIED BY AN ENGINEER WHICH IS TYPICALLY BASED ON STORM SERVICE OR SUPPORT DRAIN OR CAN BE ESTABLISHED BY USING THE LOWEST CENTER OF ROAD ADJACENT TO THE LOT PLUS 0.3m.	
* INLET BASED ON STORM SERVICE IS USUALLY INSET PLUS A MINIMUM OF 0.3m BUT MAY BE HIGHER DUE TO HYDRAULIC GRADE CALCULATIONS. INLET BASED ON ROCK PIT OR PUMP IS TYPICALLY OVERFLOW ELEVATING PLUS 0.3m.	
* ROCK PIT OR PUMP IS NOT ALLOWED UNLESS THE PROPOSED MAIN FLOOR IS LOWER THAN THE STORM SERVICE OR FRONTING DITCH. IN WHICH CASE AND END SYSTEM IS ALLOWED.	
* PRETREATED DRAINAGE THAT NOT BE REQUIRED IF APPROVED BY A PROFESSIONAL ENGINEER.	

DRAINAGE	
ALLOWABLE SLOPE	1:200
PROPOSED SLOPE	1:200
TYP. SLOPE	1:200 (0.50%)
DRAINAGE NOTES	
* FOR 8'-0" AND LOWER DENSITY ZONES CIRCULAR DRAINAGE ARE PERMITTED WHERE THE FRONTAGE IS GREATER THAN 200 FEET. UNLESS OTHERWISE NOTED AT RIGHT ANGLES THE MINIMUM WIDTH OF STORM DRAIN CHANNELS SHALL BE 6" AND 4" RESPECTIVELY. THINWALL PERFORATED BRACING FOR THE STORM DRAIN IS FOR DRAINAGE ONLY.	
* DRAINAGE ON SOLEWARD MUST NOT BE MORE THAN 0% TO 2% SLOPE FROM ROCK PIT OR PUMP FOR LOCAL ROADS AND MUST NOT HAVE A TRANSITION OF MORE THAN 0.5%.	
* DRAINAGE ON SOLEWARD MUST NOT BE MORE THAN 0% TO 2% SLOPE FROM ROCK PIT OR PUMP FOR LOCAL ROADS AND MUST NOT HAVE A TRANSITION OF MORE THAN 0.5%.	
PARKING	
* THREE (3) OFF STREET PARKING SPACES ARE REQUIRED FOR EACH SINGLE FAMILY DWELLING.	
* MINIMUM CLEAR WIDE DIMENSIONS FOR A SINGLE GARAGE = 8'0" (2.44m) x 20'0" (6.10m)	
* MINIMUM CLEAR WIDE DIMENSIONS FOR A DOUBLE GARAGE = 8'0" (2.44m) x 20'0" (6.10m)	

DATE	DESCRIPTION	INITIALS	DATE	DESCRIPTION	INITIALS
SEPT-07-2002	REAR SETBACKS	PLA			

1373 57B AVE.

THESE PLANS CONFORM TO THE B.C. BUILDING CODE, 2008 ED. INCLUDING ALL REVISIONS

SITE PLAN, INFO

GILL RESIDENCE - PROPOSED IN-GROUND POOL

DESIGN BY RAYMOND S. BONTER, DESIGNER LTD.
788 - 195A - 152nd STREET
SOUTH SURREY, B.C. V4A 9E3
PHONE: 604-535-3372
E-MAIL: info@raymondbonterdesigner.ca

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 22-0298-00

Address: 13731 57B Avenue, Surrey, BC

Registered Arborist: Connor Gritter PN-9392A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	36
Protected Trees to be Removed	27
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	9
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 <li style="text-align: center;">_____ - All other Trees Requiring 2 to 1 Replacement Ratio 27 X two (2) = 54 <li style="text-align: center;">_____ 	54
Replacement Trees Proposed	9
Replacement Trees in Deficit	45
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 <li style="text-align: center;">_____ - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 <li style="text-align: center;">_____ 	0
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 

Date: December 6, 2022

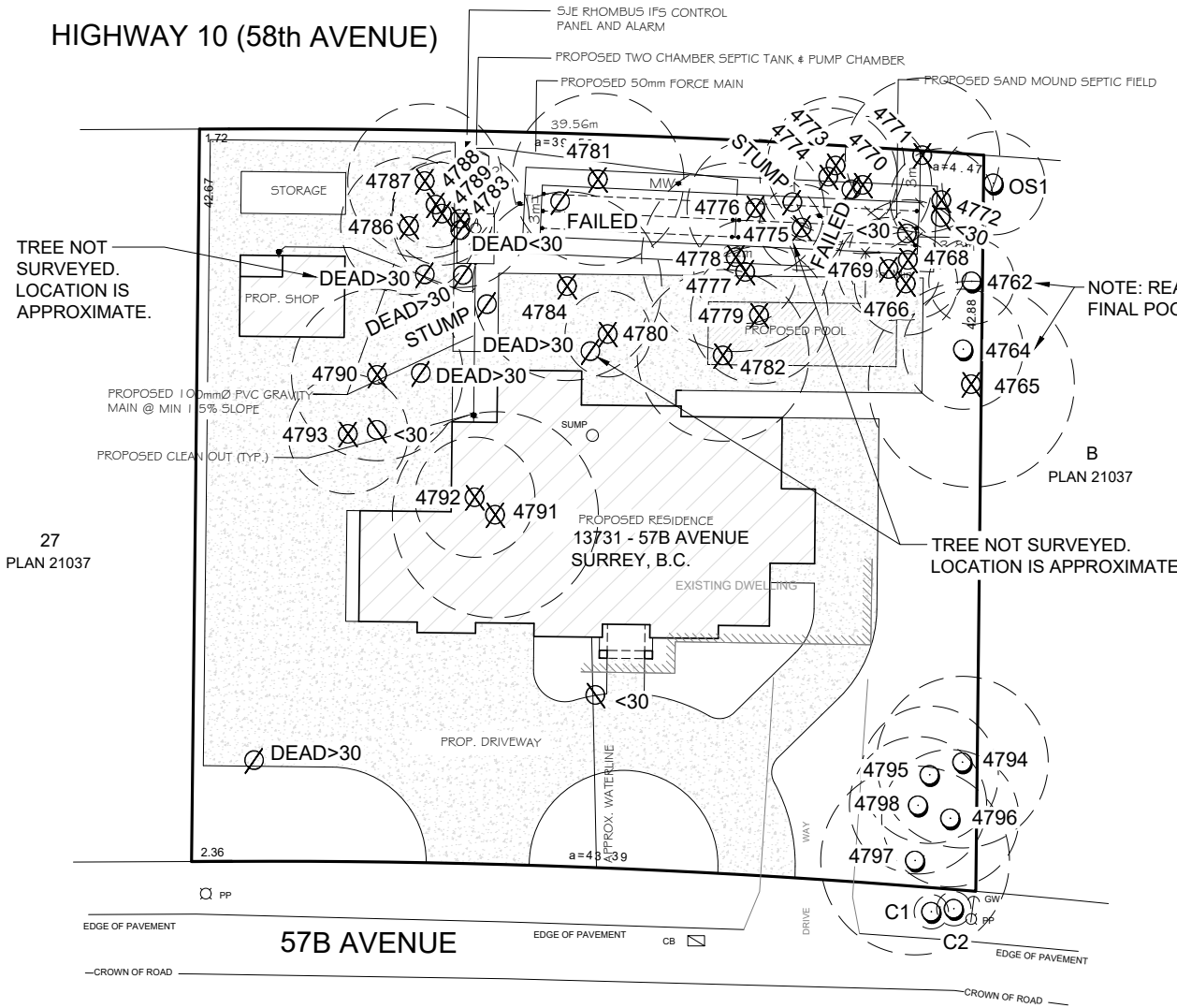


Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302





HIGHWAY 10 (58th AVENUE)



FAILED TREE NEAR TREE #4781



FAILED TREE NEAR TREE #4770



LEGEND	
	TREE TO BE RETAINED
	TREE TO BE REMOVED
	NON-BY-LAW TREE
	MINIMUM NO DISTURBANCE ZONE
	TREE STUMP OR DEAD/FAILED TREE

27
PLAN 21037

TREE NOT SURVEYED.
LOCATION IS APPROXIMATE.

NOTE: REASSESS WITH
FINAL POOL DETAILS.

STAMP	NO.	DATE	BY	REVISION
	1	MAR08/22	MK	SITE PLAN W/SEPTIC

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3W 0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Email: mfadum@fadum.ca

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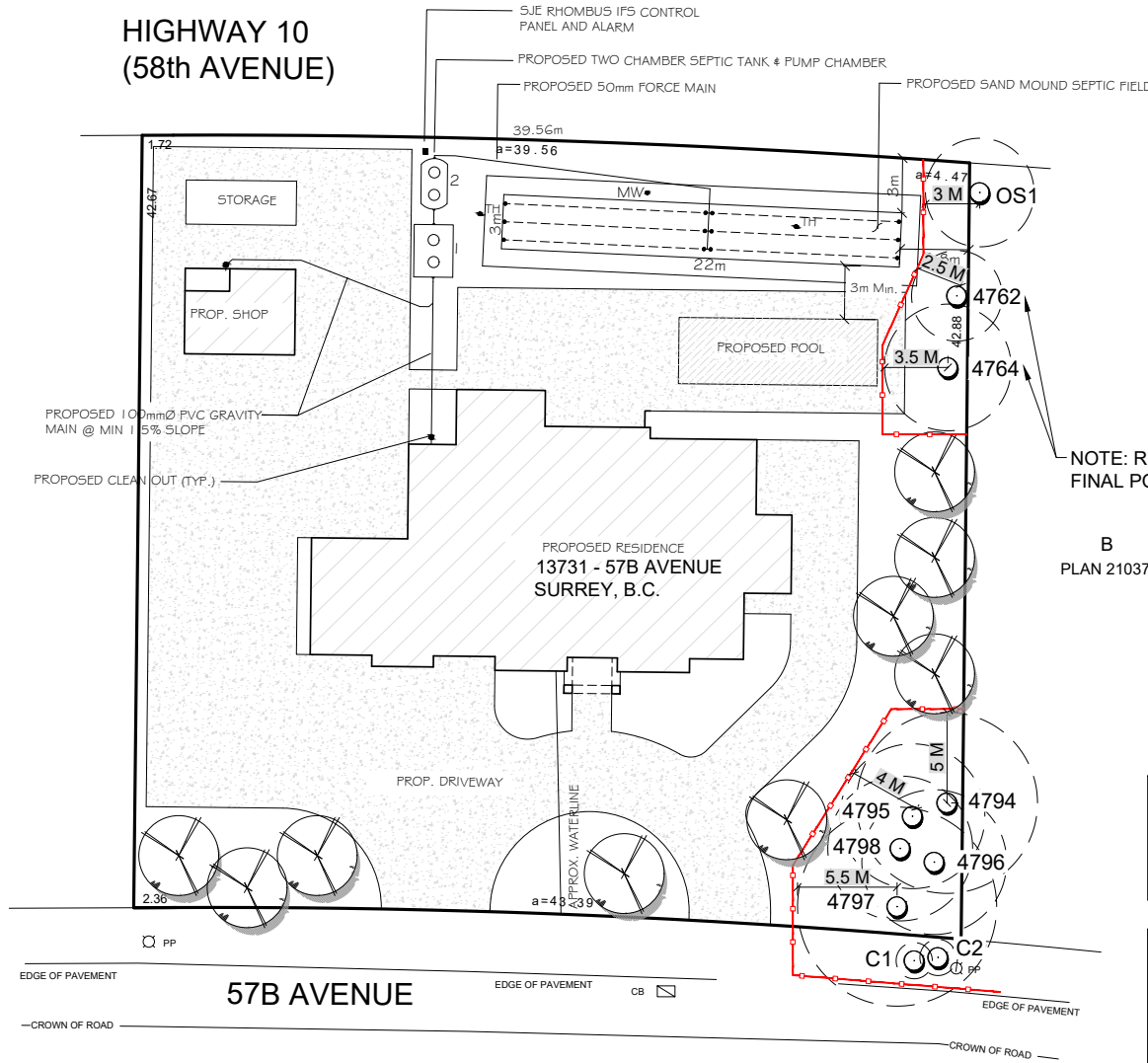
PROJECT TITLE
13731 - 57B AVENUE
SURREY, B.C.

SHEET TITLE
T1 - TREE REMOVAL AND PRESERVATION PLAN

DRAWN
 AA
 SCALE
 AS SHOWN
 DATE
 SEPTEMBER 23, 2021

T-1
 SHEET 1 OF 2

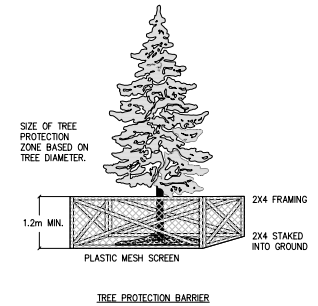
HIGHWAY 10
(58th AVENUE)



Tree #	DBH (cm)	TPZ (m)
4798	58	4.0
4797	81	5.5
4796	54	4.0
4795	58	4.0
4794	70	5.0
4764	48	5.0
4762	37	7.0
C1	10	1.0
C2	11	1.0
OS1	40	3.0

NOTE: REASSESS WITH FINAL POOL DETAILS.

B
PLAN 21037



- GENERAL NOTES:
- NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS.
 - PROPOSED PERIMETER CEDAR FENCE. NO EXCAVATION AND HAND DIG POSTS IF INSIDE TREE PROTECTION ZONE.
 - TREE PROTECTION FENCING SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.
 - REASSESS TREES WITH LOT GRADING PLANS.
 - REPLACEMENT TREES SHALL CONFORM TO BC SLA/BC LNA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.



LEGEND	
	TREE TO BE RETAINED
	MINIMUM NO DISTURBANCE ZONE
	TREE PROTECTION FENCING
	REPLACEMENT TREE DECIDUOUS (5 CM. DIA. MINIMUM) CONIFEROUS (3.0 M. HT. MINIMUM)

27
PLAN 21037

STAMP	NO.	DATE	BY	REVISION
	1	MAR0822	MK	SITE PLAN W/SEPTIC

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Email: mfadum@fadum.ca

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PROJECT TITLE
13731 - 57B AVENUE
SURREY, B.C.

SHEET TITLE
T2 - TREE PROTECTION PLAN
DRAWN AA
SCALE AS SHOWN
DATE SEPTEMBER 23, 2021

T-2
SHEET 2 OF 2

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0298-00

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-186-956
Lot "A" Section 9 Township 2 New Westminster District Plan 21037
13731 57B Ave

(the "Land")

2. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) to reduce the minimum front yard (north) setback of the RH Zone for an accessory structure (shop) from 18 metres to 7.4 metres.
 - (b) to reduce the minimum front yard (north) setback of the RH Zone for an accessory structure (in-ground pool) from 18 metres to 8.9 metres.
3. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
4. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

5. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

6. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

7. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

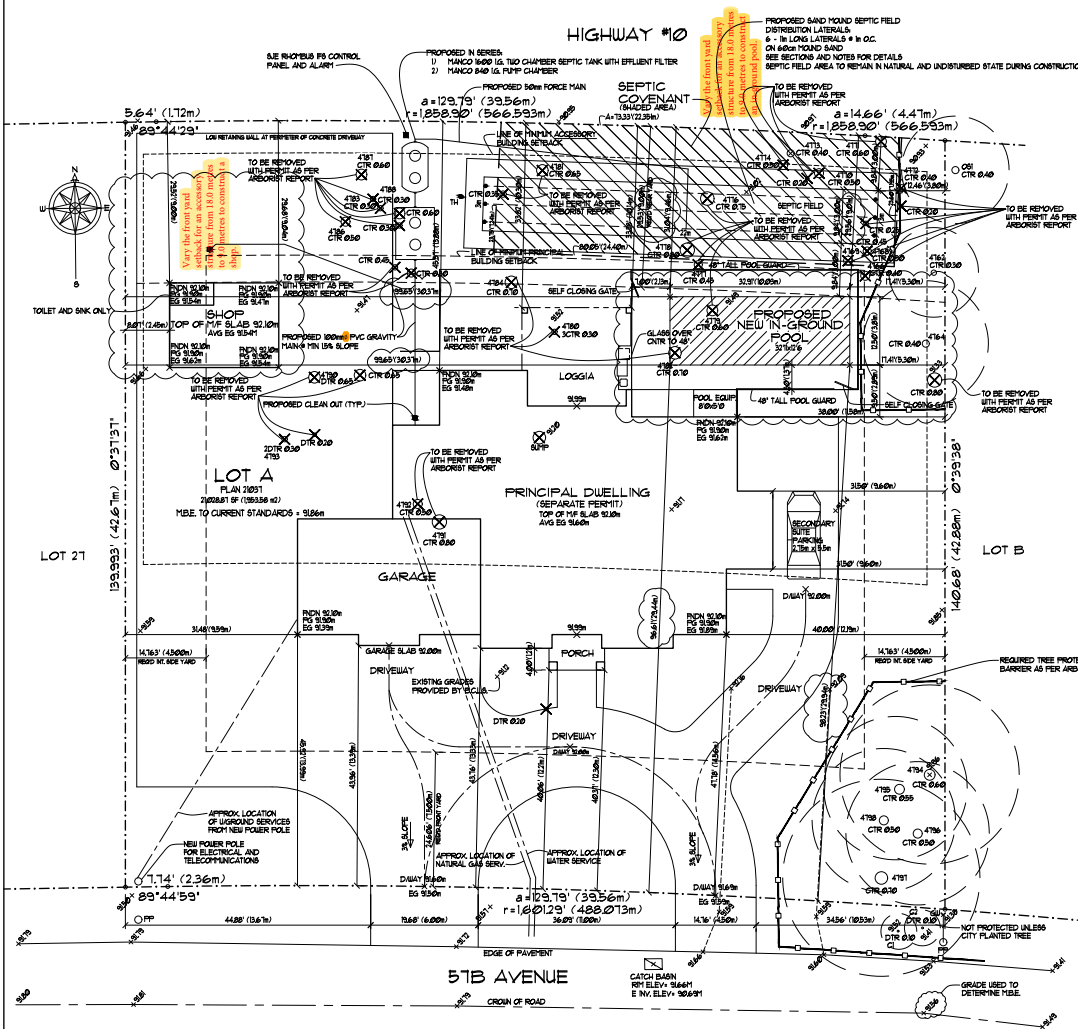
PROJECT INFORMATION

Table with 2 columns: PROPERTY OWNER, ADDRESS, PROJECT TYPE, etc. Values include BOBBY GILL, 1373 57B AVENUE, SURREY B.C., PROPOSED NEW IN-GROUND POOL, etc.

ZONING ANALYSIS

Table with 2 columns: BUILDING SETBACKS, PERMITTED ENCROACHMENTS. Rows include STRUCTURE, PRINCIPAL BUILDING, etc. with setback dimensions.

SPECIAL NOTE: THE SITE PLAN AND PROJECT INFORMATION ON THIS DRAWING WERE PRIMARILY USED FOR THE NEW DWELLING AND ACCESSORY BUILDING PERMIT SUBMISSION. THEY HAVE BEEN ALTERED TO PROVIDE INFORMATION ABOUT THE POOL TO BE USED FOR A POOL PERMIT SUBMISSION BUT STILL CONTAIN A SIGNIFICANT AMOUNT OF INFORMATION WHICH IS NOT RELEVANT FOR THE POOL PERMIT. THIS DRAWING IS TO BE SUPPLEMENTED WITH DRAWINGS AND INFORMATION FROM THE POOL CONTRACTOR AND ENGINEER.



SITE PLAN SCALE 3/32" = 1'-0"

Table with 2 columns: LOT AREA, FLOOR AREA RATIO. Values include 21028.81 SF, 1093.59 sq ft, etc.

Table with 2 columns: LOT COVERAGE, BUILDING HEIGHT. Values include 25%, 1308.72 SF, etc.

Table with 2 columns: DRIVEWAY, DRAINAGE NOTES, PARKING. Values include 1:00.00, 13.68' (4.17m), etc.

1373 57B AVE.

THESE PLANS CONFORM TO THE B.C. BUILDING CODE, 2018 ED. INCLUDING ALL REVISIONS

SITE PLAN, INFO

GILL RESIDENCE - PROPOSED IN-GROUND POOL

988 - 195A - 152nd STREET SOUTH SURREY, B.C. V4A 9E3 PHONE: 604-535-3372 E-MAIL: info@raymondson.com

DESIGN BY RAYMOND S. BONTER, DESIGNER LTD.