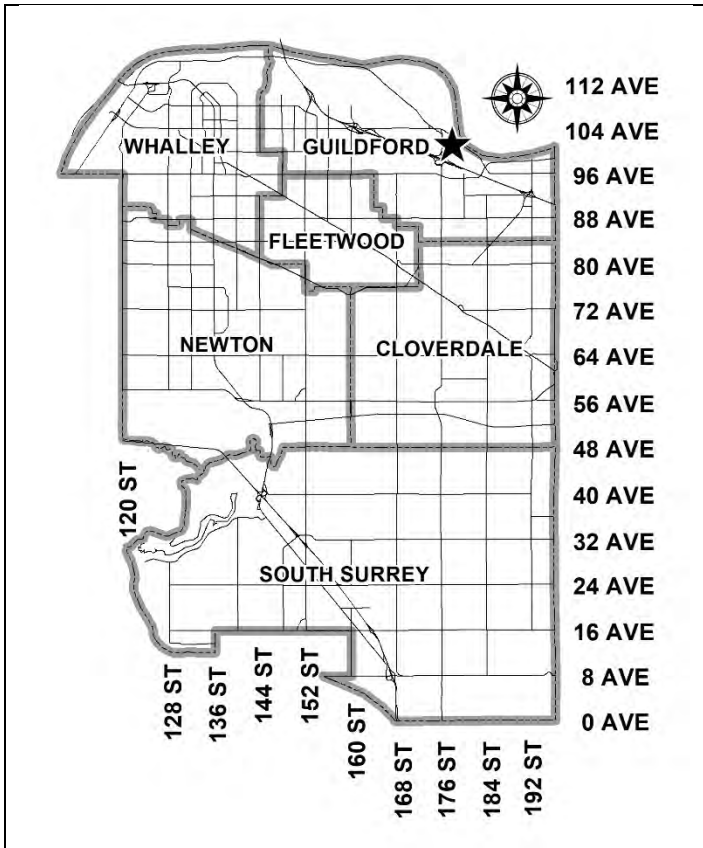


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7922-0254-00

Planning Report Date: June 19, 2023



PROPOSAL:

- **OCP Amendment** from Suburban to Urban
- **Rezoning** from RA to CD
- **LAP Amendment** from Low Density Townhouse 12-15 UPA Gross to Townhouse 15-20 UPA Gross.
- **Development Permit**

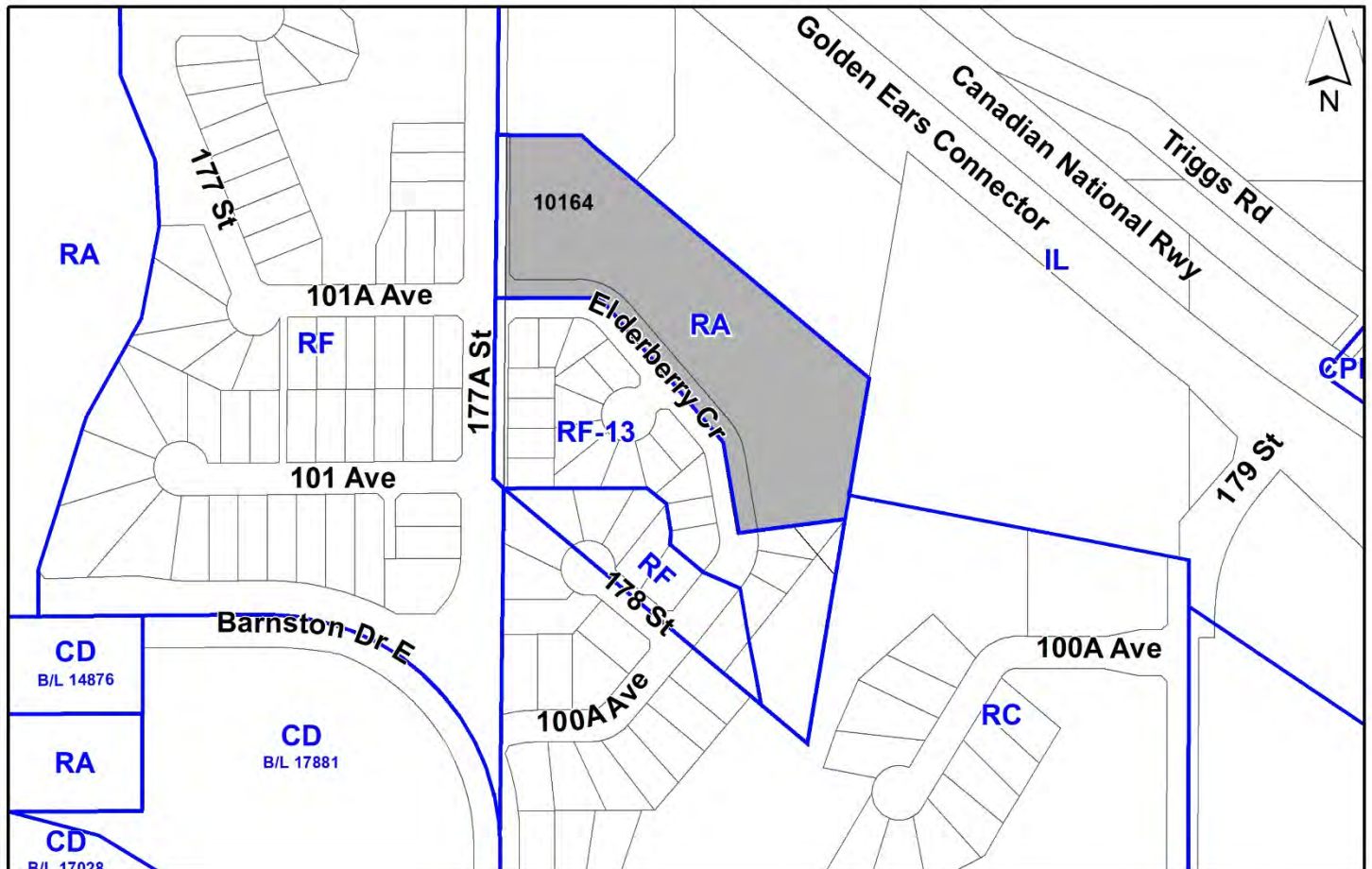
to permit the development of 58 townhouse units.

LOCATION: 10164 - 177A Street

ZONING: RA

OCP DESIGNATION: Suburban

LAP DESIGNATION: Low Density Townhouse 12-15 UPA Gross and Landscape Buffer



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Hazard Lands and Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) from Suburban to Urban
- Proposing an amendment to the Abbey Ridge Local Area Plan (LAP) from "Low Density Townhouse 12-15 UPA Gross" to "Townhouse 15-20 UPA Gross".

RATIONALE OF RECOMMENDATION

- The proposed amendment to the Official Community Plan (OCP) to redesignate the subject site from "Suburban" to "Urban" is consistent with the Abbey Ridge Local Area Plan's anticipated townhouse land use designation for this area of Abbey Ridge.
- The proposed amendment to the Abbey Ridge Local Area Plan (LAP) to redesignate the subject site from "Low Density Townhouse 12-15 UPA Gross" to "Townhouse 15-20 UPA Gross" will accommodate 58 townhouse units at a gross density of 16 units per acre (UPA). The proposed increase in density accommodates a more efficient site plan, while still consistent with the land use intent of the Abbey Ridge LAP by providing ground-oriented multifamily residences with appropriate tree retention and buffering along an industrial interface.
- The proposal complies with the Development Permit requirements in the OCP for Hazard Lands (Steep Slope) and for Form and Character.
- The applicant has worked with staff and the Fraser Heights Community Association (FHCA) to ensure appropriate interface treatment, a desirable streetscape and additional visitor parking.
- The proposed townhouse units will feature a high quality architectural design and materials and include duplex and triplex style units along 177A Street to better transition with existing single family homes across 177A Street to the west.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A Bylaw be introduced to amend the OCP to redesignate the subject site from Suburban to Urban (Appendix VI) and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7922-0254-00 generally in accordance with the attached drawings (Appendix II) and the finalized geotechnical report.
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) input from the Ministry of Transportation & Infrastructure;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department including retaining wall height and retaining wall design as well as changing all vinyl siding to hardie board siding;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) registration of a Section 219 Restrictive Covenant for installation and maintenance of the landscape buffer.
 - (h) submission of a finalized Geotechnical Report to the satisfaction of City staff;
 - (i) submission of an acoustical report for the units adjacent to industrial lands to the north and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures and alert owners to potential noise from neighbouring industrial lands;

- (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services;
 - (k) amend a portion of the existing landscape buffer Restrictive Covenant from 10 metres to 8.7 metres for the area behind proposed Buildings 11 and 12;
 - (l) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
 - (m) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department; and
 - (n) provision of a cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-30 Zone, at the rate in effect at the time of Final Adoption.
6. Council pass a resolution to amend the Abbey Ridge Local Area Plan (LAP) to redesignate the subject site from Low Density Townhouse 12-15 UPA Gross to Townhouse 15-20 UPA Gross when the project is considered for final adoption (Appendix V).

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Vacant treed lot.	Low Density Townhouse 12-15 UPA and Landscape Buffer	RA
North (across 10 metre landscape buffer RC):	Industrial building and vacant lot.	Landscape Buffer and Industrial	IL
East (including portions across watercourse):	Barnston Park and an industrial building	Low Density Townhouse 12-15 UPA, Industrial, Existing Natural Area and Existing Neighbourhood Park.	IL and RC
South (across proposed new Elderberry Crescent):	Vacant single family small lots recently approved under Application No. 7918-0164-00	Urban Residential 8-10 UPA	RF-13
West (across 177A Street):	Single family dwellings.	Single Family Residential 4-6 UPA	RF

Context & Background

- The subject lot is 1.47 hectares in area and is designated Suburban in the OCP. The lot is designated Low Density Townhouse 12-15 UPA and Landscape Buffer in the Abbey Ridge Local Area Plan (LAP).
- The subject lot was recently created as a remnant lot as part of Development Application No. 7918-0164-00 which created 27 single family residential lots to the south.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes the following in order permit the development of 58 townhouse units:
 - OCP Amendment from Suburban to Urban;
 - Abbey Ridge LAP Amendment for the site from Low Density Townhouse 12-15 UPA to Townhouse 15-20 UPA Gross;
 - Rezoning the site from RA to CD based on the “Multiple Residential 30 Zone (RM-30)”; and
 - Development Permit for Form and Character and Hazard Lands (Steep Slopes).

	Proposed
Lot Area	
Gross Site Area:	1.47 hectares
Road Dedication:	Nil
Undevelopable Area:	Nil
Net Site Area:	1.47 hectares
Number of Lots:	1
Building Height:	9.5 - 12.5 metres
Unit Density:	40 UPH / 15.9 UPA
Floor Area Ratio (FAR):	0.67
Floor Area	
Residential:	9,848 square metres
Commercial:	
Total:	9,848 square metres
Residential Units:	
Studio:	0
1-Bedroom:	0
2-Bedroom:	0
3-Bedroom:	58
Total:	58

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District:	<p>The School District has advised that there will be approximately 49 school-age children generated by this development, of which the School District has provided the following expected student enrollment.</p> <p>27 Elementary students at Bothwell Elementary School 14 Secondary students at Fraser Heights Secondary School</p> <p>(Appendix III)</p> <p>Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.</p> <p>The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by April 2025.</p>
Parks, Recreation & Culture:	<p>No concerns with the proposed development application. The closest natural area is Barnston Park and is adjacent to the development. Future active parkland is proposed within 500 metres walking distance of the subject site as part of the Abbey Ridge Local Area Plan (LAP) .</p>
Ministry of Transportation & Infrastructure (MOTI):	<p>No concerns.</p>
Surrey Fire Department:	<p>The Fire Department has no concerns with the proposed development application. However, there are some items which will be required to be addressed as part of the Building Permit application.</p>
Advisory Design Panel:	<p>The application was not referred to the ADP but was reviewed by staff and found satisfactory.</p>

Transportation Considerations

- The subject site will be accessed from Elderberry Crescent to the south, which is a local road.
- Elderberry Crescent is planned to be constructed in the coming weeks and will include a sidewalk, street lighting, and street trees.
- The proposed development is located south of Golden Ears Connector which includes a bike lane.
- Current transit is lacking in the subject area. TransLink has proposed a new bus route, 338 East Fraser Heights, that is planned to run along Golden Ears Connector to the north of the subject site. It is anticipated that the subject site would be located within 400 metres of a future bus stop. There is no anticipated start date for the new bus service.

Natural Area Considerations

- Under Development Application No. 7918-0164-00 and the subdivision that created the subject lot, a Sensitive Ecosystems Development Permit (SEDP) was issued and is registered on the subject site's title.
- The proposed development is 15 metres away from a Class B (yellow-coded) Natural Stream located on the neighbouring property to the east. The proposed setback meets the Part 7A Streamside Protection setback areas (approximately 15 metres from the top-of-bank) associated with the watercourse.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted that they intend to meet or exceed the step code when they submit their building permit application.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is located within and complies with the General Urban Land Use Designation of Metro Vancouver's Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The subject site is currently designated "Suburban" in the Official Community Plan (OCP).
- The applicant is proposing to redesignate the site to "Urban" in accordance with the Abbey Ridge Local Area Plan's envisioned OCP land use designation for the area south of 100 Avenue.

Amendment Rationale

- The proposed Urban OCP designation is consistent with the proposed townhouse land use in the Abbey Ridge LAP and consistent with surrounding OCP designations in the area.

Public Consultation for Proposed OCP Amendment

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The proposed development complies with the following themes and policies in the OCP:
 - A1.3 – Accommodate urban land development according to the following order of growth management priorities:
 - Serviced infill areas and redevelopment sites in appropriate locations within existing residential neighbourhoods, when developed compatible with existing neighbourhood character.

(The proposed development is located in a well-serviced area and will help to create a compatible transition between the lower-density residential development to the south and industrial uses and the Golden Ears Connector to the north.)

- A3.5 – Support infill development that is appropriate in scale and density to its neighbourhood context and that uses compatible design to reinforce neighbourhood character.

(The proposed development generally complies with the LAP townhouse designation and is comparable in scale and density to recently approved and proposed developments in the immediate vicinity.)

- B4.6 Design housing units to front directly onto public streets and/or public spaces, in order to facilitate a safe, welcoming, public streetscape and public realm.

(The townhouse units adjacent to 177A Street and Elderberry Crescent are proposed to front directly onto that street.)

Secondary Plans

Land Use Designation

- The site is currently designated as "Low Density Townhouse 12-15 UPA Gross" with a small portion designated Landscape Buffer in the Abbey Ridge Local Area Plan. The applicant is proposing an amendment from Low Density Townhouse 12-15 UPA Gross to Townhouse 15-20 UPA Gross (see Appendix V).

Amendment Rationale

- The applicant is proposing to redesignate portions of the site from "Low Density Townhouse 12-15 UPA Gross" to "Townhouse 15-20 UPA Gross". The "Landscape Buffer" designations will remain; however, the vegetated buffer width is proposed to be reduced from 10 metres to approximately 7 metres along the eastern portion of the site to accommodate 4.5-metre deep rear yards for 12 units (Buildings 11 and 12).
- The proposed amendment to the Abbey Ridge Local Area Plan (LAP) to redesignate a portion of the subject site from "Low Density Townhouse 12-15 UPA Gross" to "Townhouse 15-20 UPA Gross" is to accommodate a gross density of 16 units per acre (UPA). The proposed increase in

density accommodates a more efficient site plan, while still being consistent with the land use intent of the Abbey Ridge LAP, by providing ground-oriented multifamily residences with buffering along the back side of the adjacent industrial building.

- The applicant has worked with City staff and the Fraser Heights Community Association (FHCA) to ensure appropriate interface treatments and a desirable streetscape particularly along 177A Street and Elderberry Crescent.
- The proposed density of 16 UPA is less than other townhouse developments in the Abbey Ridge LAP area (7917-0067-00, 7918-0313-00, and 7919-0192-00) which required the same amendment to the Abbey Ridge LAP.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.

Themes/Objectives

- The proposed development is supported by the following objectives noted in the Abbey Ridge Local Area Plan.

- Provide appropriate land use transitions.

(The proposed development provides an appropriate transition between Golden Ears Connector and industrial lands to the north and the single-family homes to the south.); and

- Provide housing choice.

(The proposed development will provide a greater diversity of housing choice than presently exists in Abbey Ridge providing more opportunities for new families to move into the community.)

CD By-law

- The applicant proposes to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" (based on RM-30).
- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate the proposed 58-unit townhouse development on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 30 Zone (RM-30)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-30 Zone, and the proposed CD By-law is illustrated in the following table:

Zoning	RM-30 Zone (Part 22)	Proposed CD zone
Unit Density:	75 u.p.ha.	40 u.p.ha.
Floor Area Ratio:	1.00	0.70
Lot Coverage:	45%	30%
Yards and Setbacks		
North:	7.5 metres	10 metres
East:	7.5 metres	4.5 metres
South:	7.5 metres	4.5 metres
West:	7.5 metres	4.5 metres
Amenity Space		
Indoor Amenity:	58 units x 3 square metres = 174 square metres	The proposed 102 m² + cash-in-lieu of \$216,000 meets the Zoning By-law requirement.
Outdoor Amenity:	58 units x 3 square metres = 174 square metres	The proposed 174 m² meets the Zoning By-law requirement.

- The proposed CD By-law is based on the "Multiple Residential 30 Zone (RM-30)" with modifications to the permitted land-uses, density (floor area ratio), lot coverage and setbacks.
- The proposed lot coverage (30%) and density (40 uph and 0.70 FAR) are less than the lot coverage and density permitted under the RM-30 Zone.
- The reduced building setbacks proposed along all property lines will allow for improved pedestrian experience along the street and a more pedestrian-friendly urban streetscape while still allowing for usable yard space.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City’s Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City’s Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,136 per new unit.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation.
- The applicant will be required to provide the per unit flat rate for the number of units above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment.

The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption, The current rate for the Guildford Community Area is \$16,020 per unit for townhouses.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,068 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on May 10, 2023, and the Development Proposal Signs were installed on May 18, 2023. Staff received one response from the Fraser Heights Community Association and one resident. (*staff comments in italics*):
 - Street parking is in demand in the neighbourhood.
(*The newly created road (Elderberry Crescent) along the front (south) of the proposed townhouse project will include street parking on both sides of the street.*)
 - No bus service is currently present in the area.
(*TransLink has plans to introduce a new bus service in the area but has not yet secured funding. There is currently no timeline for the new service to be launched.*)
 - Rodent problems have occurred in the area as development occurs.
(*Clearing of the subject site and subsequent townhouse unit construction will be undertaken following typical construction standards.*)
- The subject development application was reviewed by the Fraser Heights Community Association. The Fraser Heights Community Association provided the following comments (*staff comments in italics*):
 - All units must include double side-by-side garages.
(*All 58 proposed units contain double side-by-side garages.*)
 - The project shall not exceed 42 units per hectare (17 units per acre).
(*The proposed project has a density of 39.5 units per hectare (16 units per acre.)*)
 - One (1) guest parking spot shall be provided per three (3) townhouse units.
(*Applicant is proposing 12 visitor parking spaces which is a ratio of one visitor space per 5 units and complies with the Zoning Bylaw. Approximately seven (7) of the units have*

long parking aprons/let downs which can be used as parking by visitors to those units. Visitors may also be able to park parallel in front of the townhouse units)

DEVELOPMENT PERMITS

Hazard Lands (Steep Slope) Development Permit Requirement

- The subject property falls within the Hazard Lands (Steep Slope) Development Permit Area (DPA) in the OCP, given that the site contains steep slopes in excess of 20% gradient. The Hazard Land (Steep Slope) Development Permit is required to protect developments from hazardous conditions.
- The proposed site slopes approximately 12 metres over 48 metres length for an approximate 25% slope along the steepest cross section through the site.
- A geotechnical report, prepared by Joel Blanco, *P. Eng.*, of Valley Geotechnical Engineering Services Ltd. and dated January 12, 2023, was peer reviewed by Yasser Abdelghany, *P. Eng.*, of EXP Services Inc. and found to be generally acceptable by the peer reviewer. The report and peer review are still in the process of being reviewed by staff to determine conformance to the OCP Development Permit guidelines for Hazard Lands. The finalized geotechnical report will be incorporated into the Development Permit.
- The geotechnical report investigated issues related to slope stability and natural storm water drainage, from a geotechnical perspective, to determine the feasibility of development the site and proposing recommendations to ensure the ongoing stability of the slope.
- Current drawings have retaining walls that are approximately 6 metres in height. The applicant needs to explore reducing the wall height which can likely be achieved by sloping the land within the landscape buffer.
- The consultant has determined that the development is feasible provided that the recommendations in their report are incorporated into the overall design of the site.
- Registration of a Section 219 Restrictive Covenant that requires the owner to develop the site in accordance with the conditions in the geotechnical report is required as a condition of final adoption.
- At Building Permit stage, the Building Division will require Letters of Assurance from a geotechnical engineer to ensure that the building plans comply with the recommendations in the approved geotechnical report.

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Abbey Ridge Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Abbey Ridge Local Area Plan (LAP).

- The applicant has worked with staff to deal with the retaining wall and grading issues as well as providing duplex style units along 177A Street to provide better transition with single family dwellings across 177 Street to the west.
- To provide a pedestrian-friendly interface and appropriate building spacing, the length of all buildings facing the street do not exceed six (6) units.
- The townhouse units are approximately 135 to 192 square metres in floor area each and are comprised entirely of three-bedroom units.
- Materials and colours for the townhouses are primarily various shades of beige and grey vinyl and foundry (vinyl) siding. The applicant has agreed to change the vinyl materials to hardie board siding prior to Final Adoption. Stone veneer is used as an accent along the lower portions of the units.

Landscaping

- The applicant proposes to plant 187 trees to augment the existing 18 off-site trees that are to be retained. The proposed trees include maple, serviceberry, false cypress, handkerchief tree, dawyck beech, maidenhair, magnolia, spruce, cherry and pillar oak.
- An existing landscape buffer is registered on title to provide some separation from the site and the rear of an industrial building to the north. The applicant proposes to amend the existing 10-metre landscape RC from 10 metres to 7.5 metres to provide 4.5 metre rear yards for the 12 units within Buildings 11 and 12. The applicant will be required to regrade the landscape buffer to reduce the height of retaining walls that separates the subject site from the industrial building to the north.
- Substantial multi-level retaining walls are proposed along the northern portion of the site to transition the grading on the site.
- In addition to the main outdoor amenity area next to the indoor amenity building, there are also two other smaller outdoor areas in the southeast portion of the site between Buildings 9 and 10 and between Buildings 10 and 11.

Indoor Amenity

- As per the Zoning Bylaw, a total of 174 square metres of indoor amenity space is required for the 58 townhouse units. The applicant proposes a reduction to the total on site indoor amenity area as they prefer to construct a single storey amenity building.

- As per Part 4 (General Provisions) of the Zoning Bylaw, a minimum of 74 square metres of indoor amenity space must be provided before cash-in-lieu of amenity space can be considered. The applicant is proposing to provide 102 square metres of indoor amenity space, and will provide cash-in-lieu to address the shortfall of 72 square metres.
- The proposed indoor amenity building is a single storey building. The proposed 102 square metres will include a kitchen, washroom and lounge area.

Outdoor Amenity

- As per the Zoning Bylaw, a total of 174 square metres of indoor amenity space is required for the 58 townhouse units. The applicant proposes to exceed this requirement.
- The proposed 363-square metre outdoor amenity area is located adjacent to the northeast of the amenity building. The area includes garden plots, a seating area and open lawn with trees. (ask applicant, more details needed).

TREES

- D. Glyn Romaine, ISA Certified Arborist of VDZ & A prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	6	2	4 (off-site)
Cottonwood	11	11	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Ash	4	0	4
Bigleaf Maple	5	5	-
Hornbeam	1	0	1
Lombardy poplar	6	6	0
Norway maple	4	0	4
Oak	2	0	2
Sweetgum	3	0	3
Weeping willow	2	2	0
Coniferous Trees			
Douglas fir	3	3	0
Total (excluding Alder and Cottonwood Trees)	30	16	14 (all off-site)
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		187	
Total Retained and Replacement Trees		205	

Contribution to the Green City Program	nil
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- The Arborist Assessment states that there are a total of 30 mature trees on the site, excluding Alder and Cottonwood trees. Seventeen (17) existing trees, approximately 36% of the total trees on the site, are Alder and Cottonwood trees. It was determined that zero (0) on-site and 18 off-site trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 41 replacement trees on the site. The applicant is proposing 187 replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 177A Street and Elderberry Crescent. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including maple, serviceberry, false cypress, handkerchief tree, dawycck beech, maidenhair, magnolia, spruce, cherry and pillar oak.
- In summary, a total of 205 trees are proposed to be retained or replaced on the site with no contribution required to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	NCP Plan
Appendix VI.	OCP Redesignation Map

approved by Ron Gill

Don Luymes
Acting General Manager
Planning and Development

ISSUED FOR COORDINATION
2023-06-06

ZONING INFORMATION

PROPERTY INFORMATION
 ADDRESS: 10150 177A ST, SURREY, BC V4N 5V9
 LEGAL DESCRIPTION: LOT 3 DISTRICT LOT 388A PLAN EPP65216 NWD GROUP 2
 PID: 030-340-969

ZONING INFORMATION
 EXISTING ZONING: RA - ONE ACRE RESIDENTIAL
 PROPOSED ZONING: CO - COMPREHENSIVE DEVELOPMENT
SETBACKS: **REQUIRED:** **PROPOSED:**
 ALL SIDES: 4.5m (14'-6") MIN. 4.5m (14'-6")

CALCULATIONS & STATISTICS:
 GROSS SITE AREA: 14,777 sq.m. / 159,098.24 sq.ft. (0.65 ac / 1.48 ha)
 NET SITE AREA: 14,777 sq.m. / 159,098.24 sq.ft. (0.65 ac / 1.48 ha)
 TOTAL BUILDING AREA: 4,319 sq.m. / 45,389 sq.ft.
 TOTAL FLOOR AREA: 9,848.13 sq.m. / 106,004.43 sq.ft.
 ALLOWABLE SITE COVERAGE: 45%
 PROPOSED SITE COVERAGE: 29%
 ALLOWABLE FAR: 1.0
 PROPOSED FAR: 0.67

UNITS:
 TOTAL # OF UNITS: 58
 EFFICIENCY: 15.9 u.p.e. / 39.3 u.p.h.

INDOOR AMENITY:
 REQUIRED AREA: 58 UNITS X 3 sq.m. = 174 sq.m. / 1,872.94 sq.ft.
 PROPOSED AREA: 102 sq.m. / 1,105 sq.ft.

OUTDOOR AMENITY:
 REQUIRED AREA: 58 UNITS X 3 sq.m. = 174 sq.m. / 1,872.94 sq.ft.
 PROPOSED AREA: 363 sq.m. / 3,909 sq.ft.

VISITOR PARKING:
 REQUIRED SPACES: 2.0 SPACES PER DWELLING UNIT (RESIDENTS)
 0.2 SPACES PER DWELLING UNIT (VISITORS)
 58 UNITS X 2 = 116 SPACES
 58 UNITS X 0.2 = 11.6 SPACES
 128 TOTAL SPACES REQUIRED (13 FOR VISITORS)
 SPACES PROVIDED: 128 TOTAL SPACES PROVIDED (12 FOR VISITORS)
 BUILDING HEIGHT: TBD

UNIT AREA CALCULATIONS				
TOWNHOUSE UNITS	LIVABLE AREA	GARAGE	TOTAL	NUMBER OF UNITS
TYPE A1	1,978 SF	453 SF	2,432 SF	10
TYPE A2	1,980 SF	453 SF	2,433 SF	3
TYPE B1	1,489 SF	533 SF	2,022 SF	13
TYPE B2	1,457 SF	549 SF	2,006 SF	10
TYPE C1	2,068 SF	403 SF	2,471 SF	18
TYPE C2	2,068 SF	403 SF	2,471 SF	4
				58

LEGEND:

- PROPERTY LINE
- BUILDING SETBACK (REQUIRED MINIMUM)
- LANDSCAPE BUFFER
- DRIVEWAY SETBACK (MIN. 3m)
- LANDSCAPE RETAINING WALL
- GRASS LANDSCAPE
- SHRUB PLANTING
- DWY DRIVEWAY
- WWY WALKWAY

SITE PLAN
 SCALE: 1/32" = 1'-0"
 DRAWING NO. 1 PROJECT NO. 9
 A1.1 21-1118

REV	DATE	DESCRIPTION	DR	RV
1	MAR 20, 2023	ISSUED FOR DEVELOPMENT PERMITS	DRVP	JH

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PROJECT: ABBEY GARDENS TOWNHOMES DEVELOPMENT
 10150 177A ST SURREY, BC

SHEET TITLE: SITE PLAN





ISSUED FOR COORDINATION
2023-06-06

LEGEND:

- PROPERTY LINE
- BUILDING SETBACK (REQUIRED MINIMUM)
- LANDSCAPE BUFFER
- - - - - DRIVEWAY SETBACK (MIN. 3m)
- LANDSCAPE RETAINING WALL
- GRASS LANDSCAPE
- SHRUB PLANTING
- DWY DRIVEWAY
- WY WALKWAY

SITE PLAN
A1.1a SCALE: 1/32" = 1'-0"

TRUE NORTH
PROJECT NORTH

REV	DATE	DESCRIPTION	DR	RV
1	MAR 20, 2023	ISSUED FOR DEVELOPMENT PERMITS	DRVP	JH

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PROJECT:
**ABBAY GARDENS
 TOWNHOMES
 DEVELOPMENT**
 10150 177A ST
 SURREY, BC

SHEET TITLE:
SITE PLAN

SCALE	SHEET NO.	TOTAL SHEETS
1/32" = 1'-0"	9	9
A1.1b		21-1118



ISSUED FOR COORDINATION
2023-06-06

LEGEND:

	PROPERTY LINE
	BUILDING SETBACK (REQUIRED MINIMUM)
	LANDSCAPE BUFFER
	DRIVEWAY SETBACK (MIN. 3m)
	LANDSCAPE RETAINING WALL
	GRASS LANDSCAPE
	SHRUB PLANTING
	DRIVEWAY
	WALKWAY

SITE PLAN
SCALE: 1/32" = 1'-0"
A1.1b

TRUE NORTH
PROJECT NORTH

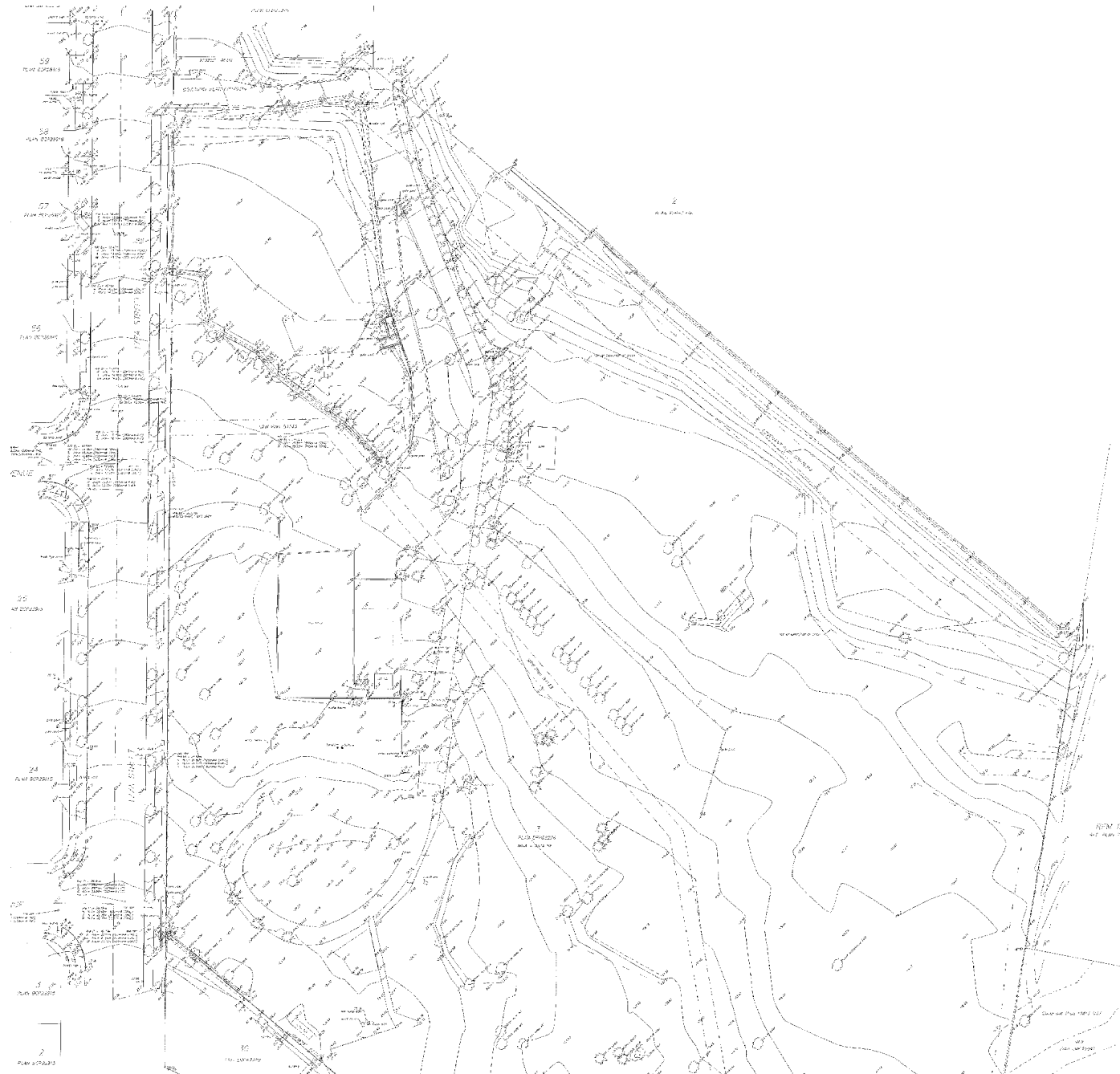
1	MAR 20 2023	REVISED FOR DEVELOPMENT PERMITS	DRVP	JH
REV	DATE	DESCRIPTION	DR	RV

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PROJECT:
**ABBEY GARDENS
TOWNHOMES
DEVELOPMENT**
10150 177A ST
SURREY, BC

SHEET TITLE:
SITE PLAN

SCALE:	1/32" = 1'-0"	SHEET NO.:	9
DRAWING NO.:	A1.1b	PROJECT NO.:	21-1118



REV	DATE	DESCRIPTION	DR	RV
1	MAR 20 20	ISSUED FOR DEVELOPMENT PERMITS	DRVP	JH

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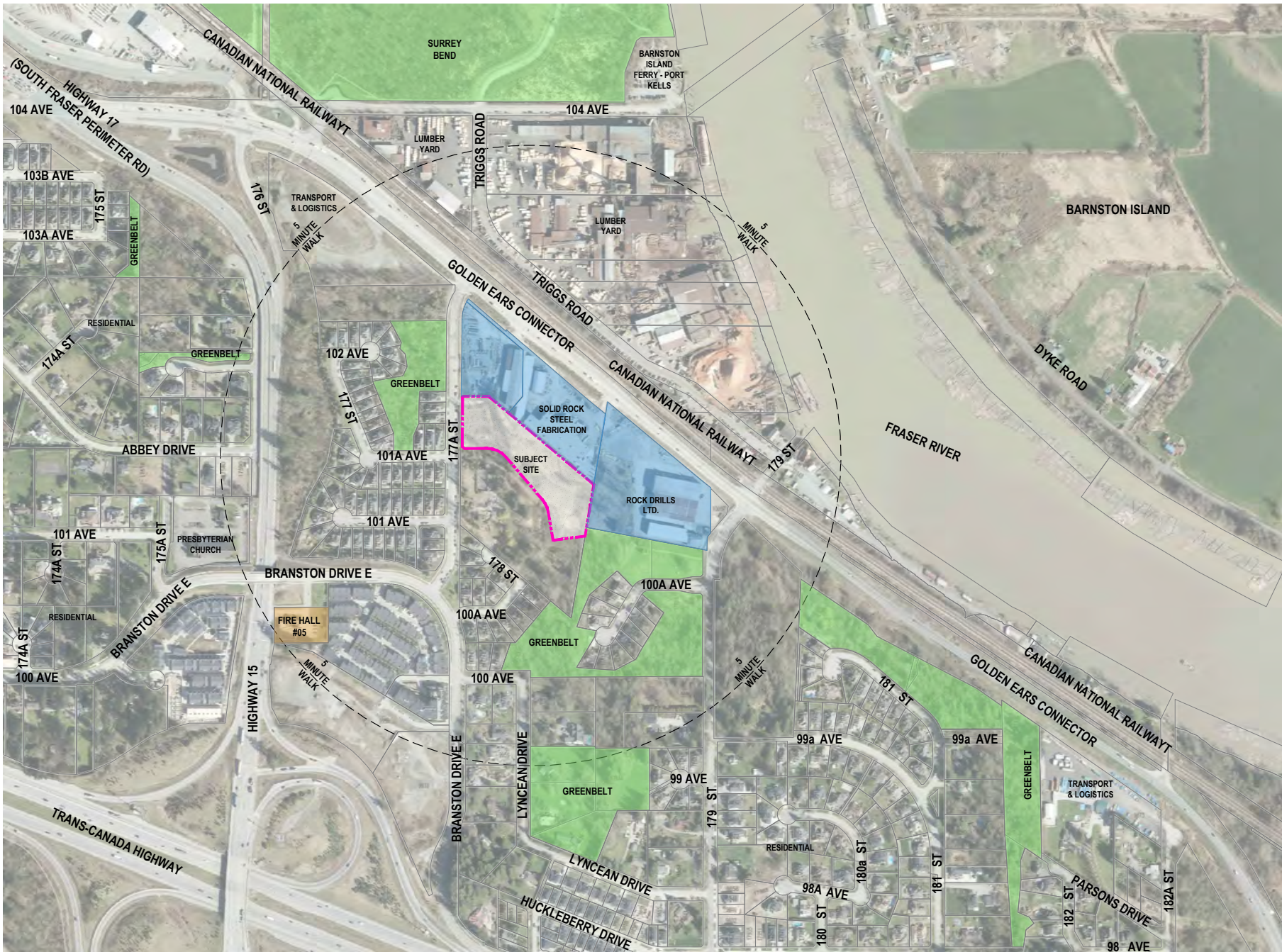
PROJECT:
**ABBAY GARDENS
 TOWNHOMES
 DEVELOPMENT**
 10155 177A ST
 SURREY, BC

SHEET TITLE:
SITE SURVEY

SCALE	1/32" = 1'-0"	SECTION	0
DRAWING NO.	A1.2	PROJECT NO.	21-1118

TRUE NORTH
 PROJECT NORTH
 A1.1 SCALE: 1/32" = 1'-0"
SITE SURVEY

M:\2021\21-1118\A1.1\A1.1.dwg Development Plans\Drawings\21-1118_A1.1.dwg, 04/03/2021 09:58 AM, 0/0/0



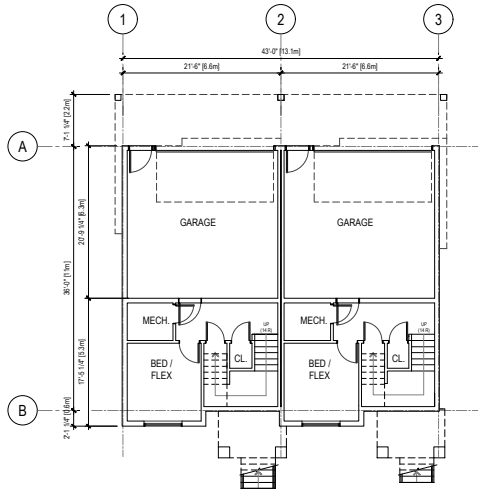
REV	DATE	DESCRIPTION	DR	RV
1	MAR 2020	ISSUED FOR DEVELOPMENT PERMIT	DRVP	JH

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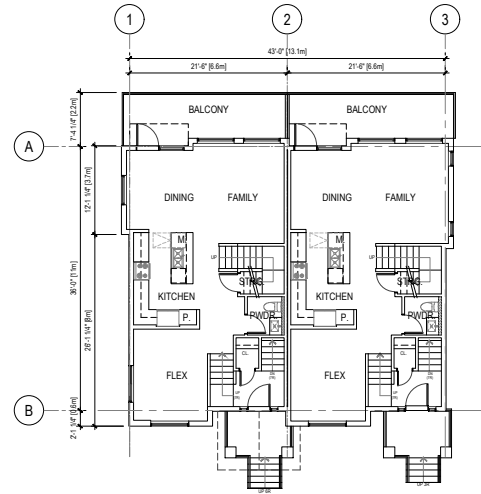
PROJECT:
ABBAY GARDENS TOWNHOMES DEVELOPMENT
 10150 177A ST
 SURREY, BC

SHEET TITLE:
AREA CONTEXT PLAN

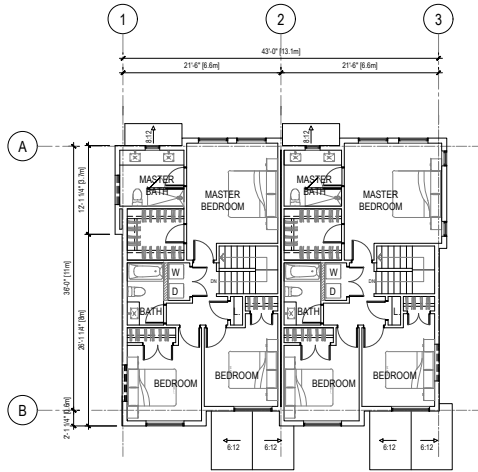
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DRAWING NO.		PROJECT NO.	
A1.3			21-1118



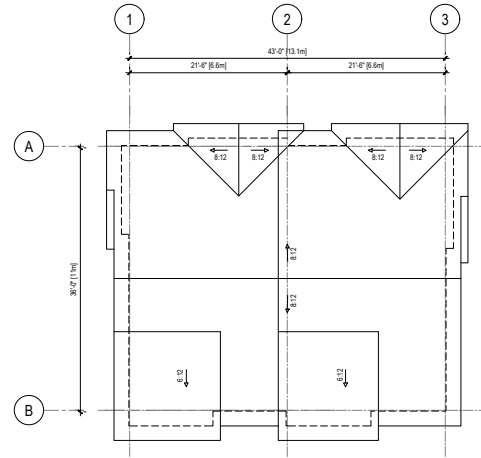
1 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



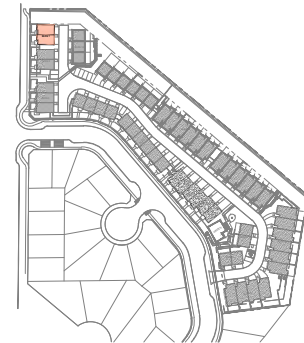
2 MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



3 UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



4 ROOF PLAN
SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV

1 MAR 2020 ISSUED FOR DEVELOPMENT PERMITS DRVP JH

REV DATE DESCRIPTION DR RV

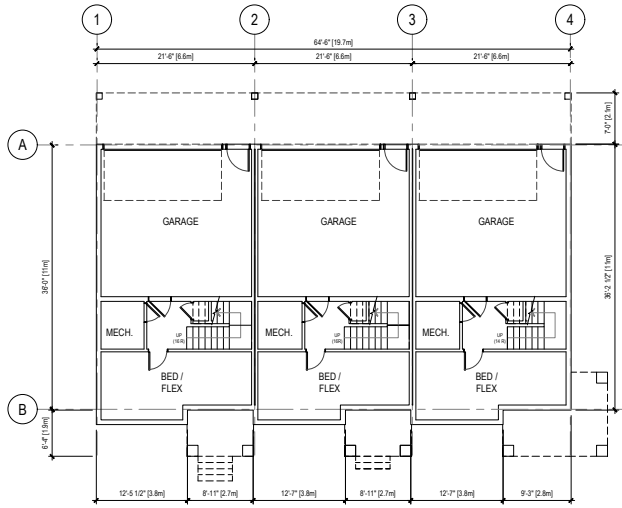
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PROJECT:
**ABBAY GARDENS
 TOWNHOMES
 DEVELOPMENT**
 10150 177A ST
 SURREY, BC

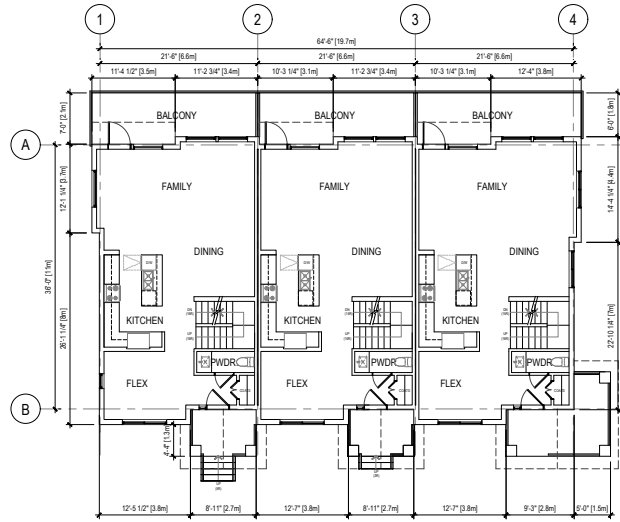
SHEET TITLE:

**FLOOR PLANS
 BUILDING 1**

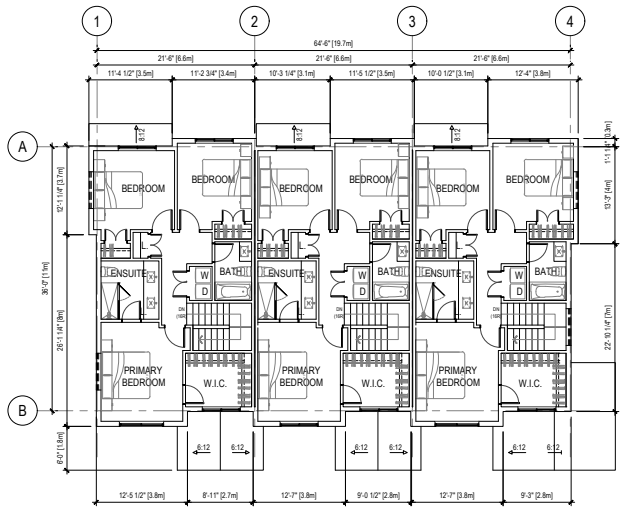
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DRAWING NO. A2.1	PROJECT NO. 21-1118



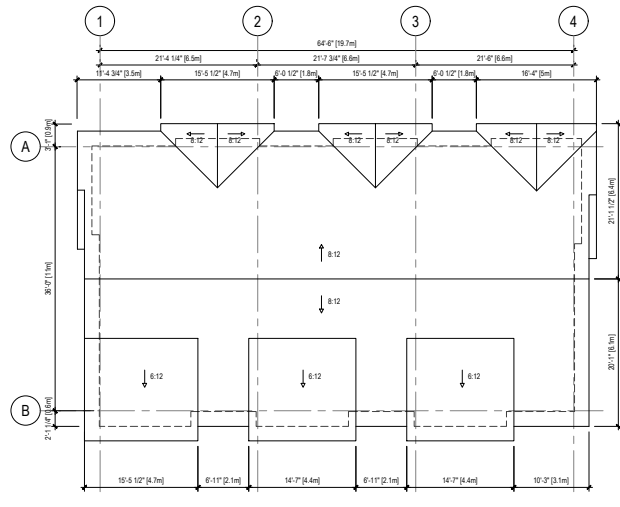
1 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



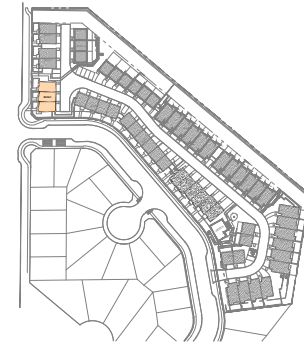
2 MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



3 UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



4 ROOF PLAN
SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
1	MAR 20 2010	ISSUED FOR DEVELOPER PERMITS	CHVP	JH

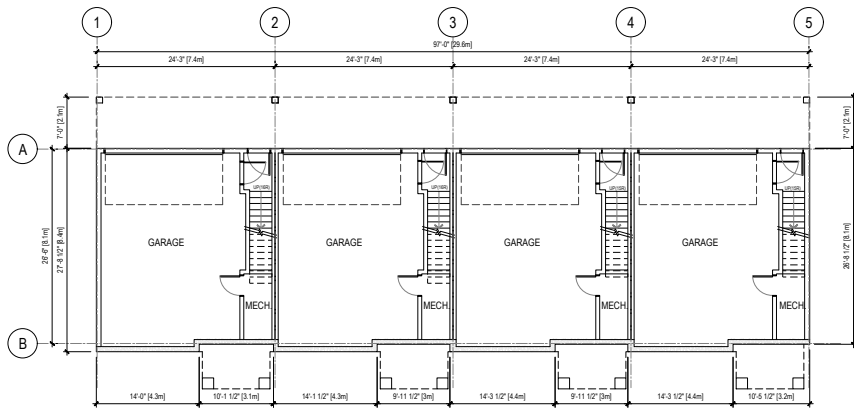
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PROJECT:
**ABBEY GARDENS
 TOWNHOMES
 DEVELOPMENT**
 10155 177A ST
 SURREY, BC

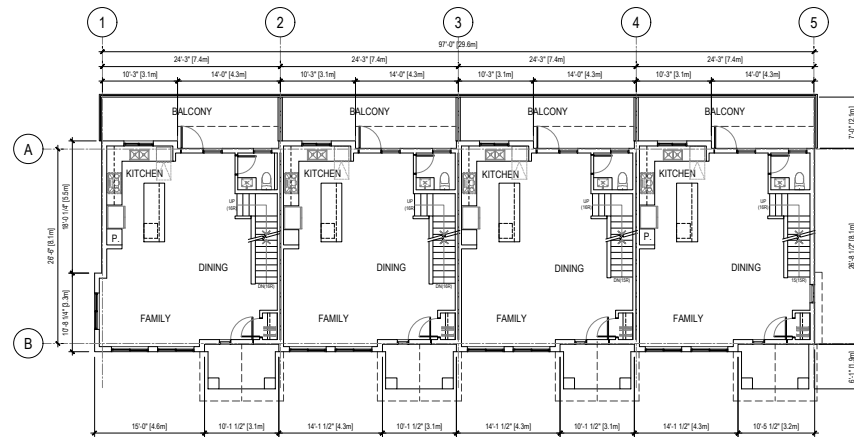
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**FLOOR PLANS
 BUILDING 3**

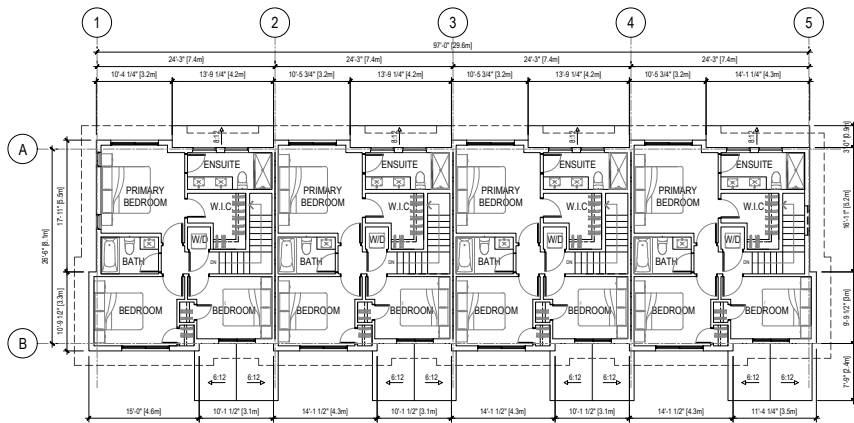
SCALE	1/8" = 1'-0"	SHEET NO.	9
DRAWING NO.	A2.3	PROJECT NO.	21-1118



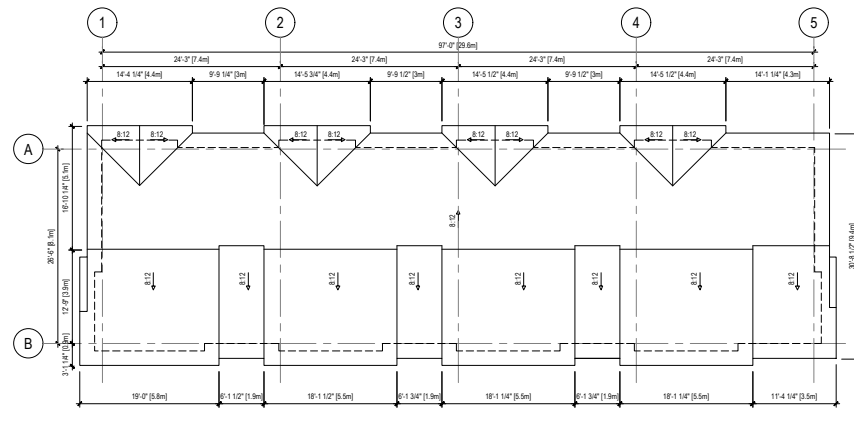
1 BASEMENT FLOOR PLAN
A2.4 SCALE: 1/8" = 1'-0"



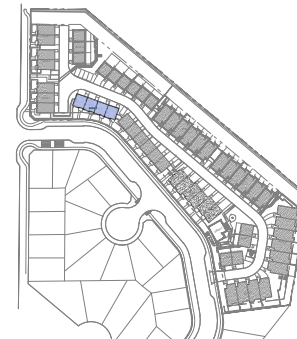
2 MAIN FLOOR PLAN
A2.4 SCALE: 1/8" = 1'-0"



3 UPPER FLOOR PLAN
A2.4 SCALE: 1/8" = 1'-0"



4 ROOF PLAN
A2.4 SCALE: 1/8" = 1'-0"



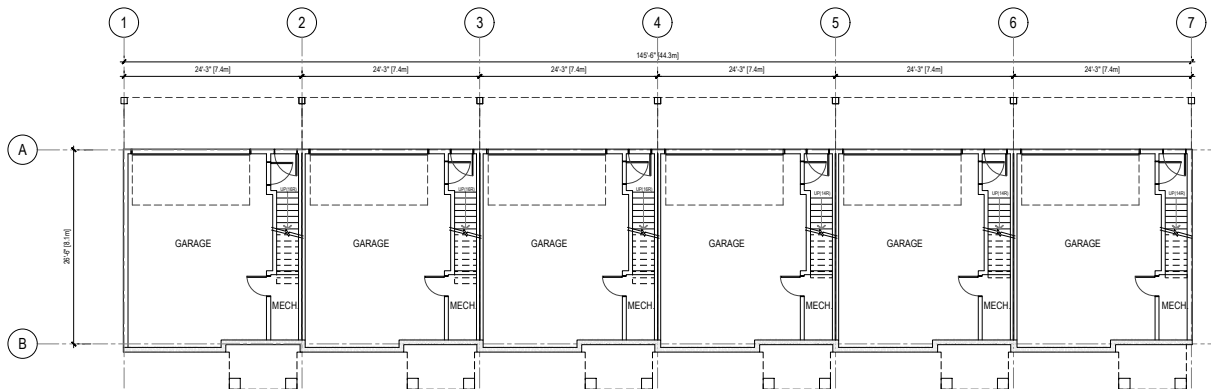
REV.	DATE	DESCRIPTION	DR	RV
1	MAR 2020	ISSUED FOR DEVELOPMENT PERMITS	CHVP	JH

1 MAR 2020 ISSUED FOR DEVELOPMENT PERMITS CHVP JH
REV. DATE DESCRIPTION DR RV
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PROJECT:
**ABBAY GARDENS
TOWNHOMES
DEVELOPMENT**
10150 177A ST
SURREY, BC

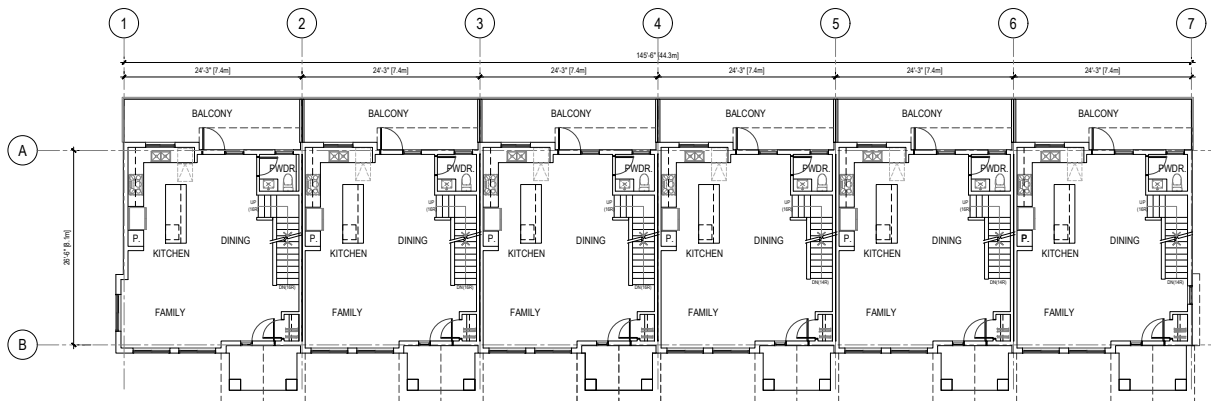
SHEET TITLE:
**FLOOR PLANS
BUILDING 4**

SCALE	SHEET NO.	TOTAL SHEETS
1/8" = 1'-0"	9	9
DRAWING NO.	PROJECT NO.	
A2.4	21-1118	



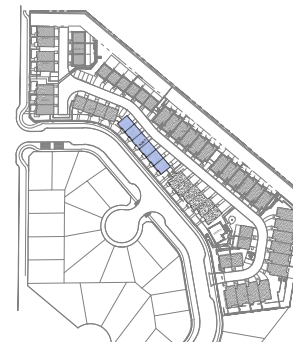
1 BASEMENT FLOOR PLAN

A2.5a SCALE: 1/8" = 1'-0"



2 MAIN FLOOR PLAN

A2.5a SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV

1 MAR 2020 ISSUED FOR DEVELOPMENT PERM DRVP JH

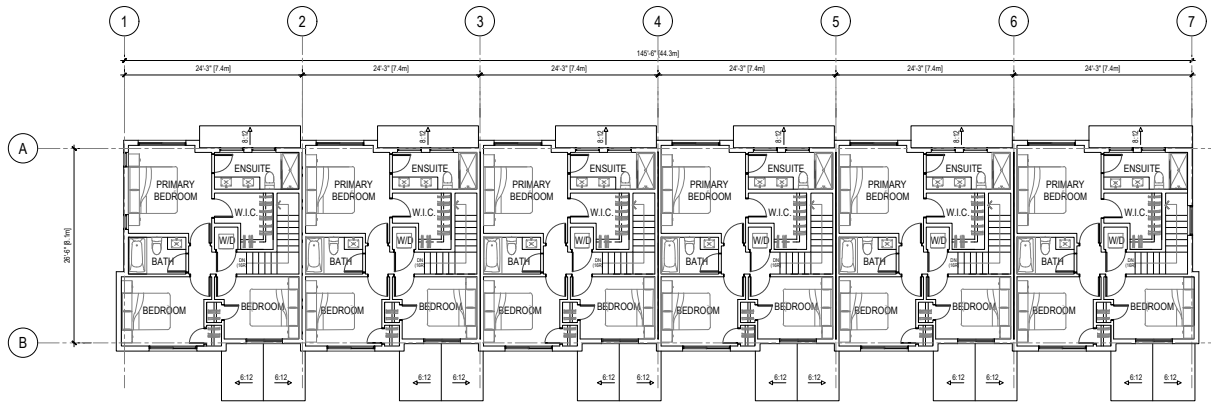
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PROJECT:
**ABBAY GARDENS
 TOWNHOMES
 DEVELOPMENT**
 10150 177A ST
 SURREY, BC

SHEET TITLE:
**FLOOR PLANS
 BUILDING 5**

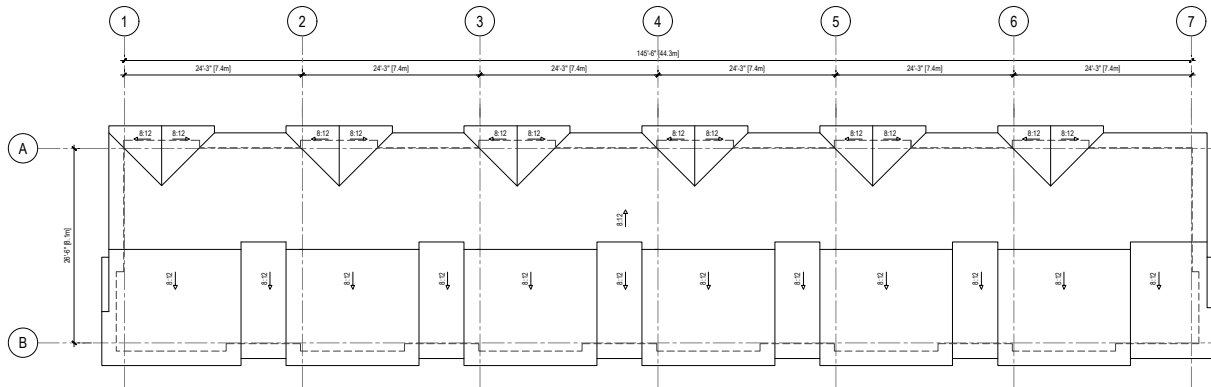
SCALE: 1/8" = 1'-0"	SHEET: 8
DRAWING NO. A2.5a	PROJECT NO. 21-1118

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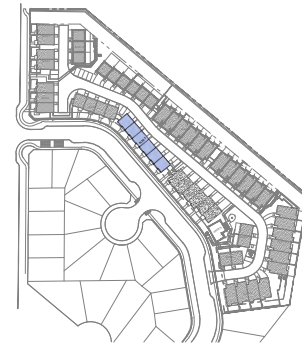
1 SECOND FLOOR PLAN

A2.5d SCALE: 1/8" = 1'-0"



2 ROOF PLAN

A2.5d SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV

1 MAR 2023 REVISION FOR DEVELOPMENT PERMITS DRVP JH

REV DATE DESCRIPTION DR RV

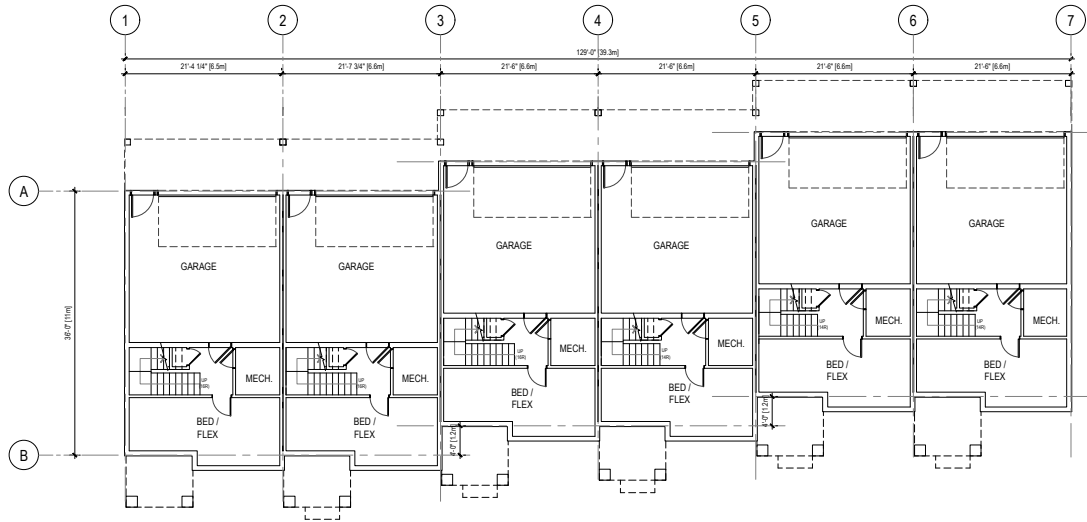
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PROJECT:
**ABBAY GARDENS
TOWNHOMES
DEVELOPMENT**
10150 177A ST
SURREY, BC

SHEET TITLE:
**FLOOR PLANS
BUILDING 5**

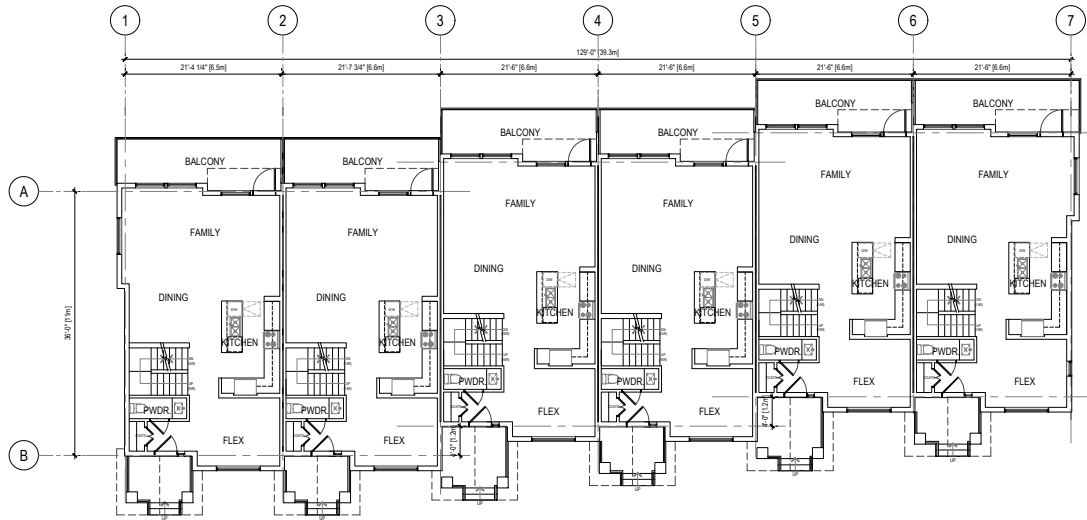
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DRAWING NO: A2.5b	PROJECT NO: 21-1118

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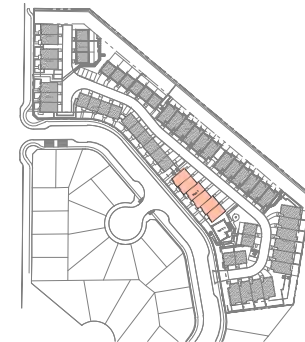
1 BASEMENT FLOOR PLAN

A2.6a SCALE: 1/8" = 1'-0"



2 MAIN FLOOR PLAN

A2.6a SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

REV	DATE	DESCRIPTION	DR	PR

1 MAR 2023 REVISED DEVELOPMENT PERMITS DMAP JA

REV DATE DESCRIPTION DR PR

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PROJECT:

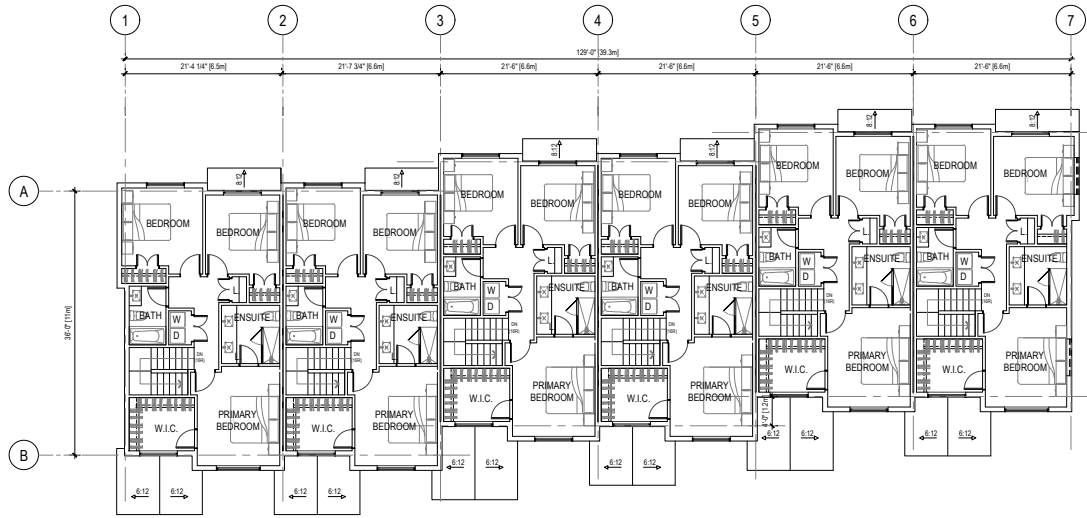
ABBEY GARDENS
TOWNHOMES
DEVELOPMENT

10150 177A ST
SURREY, BC

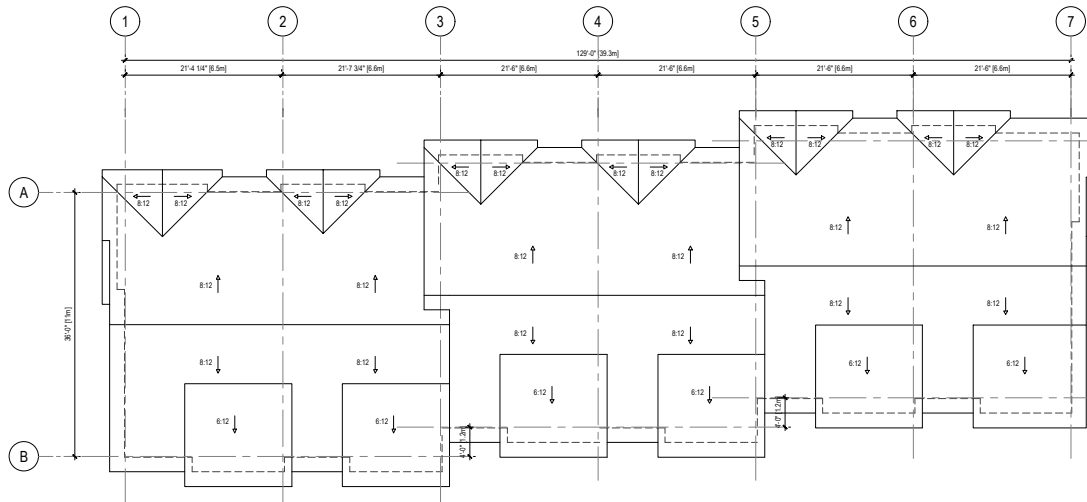
SHEET TITLE:

**FLOOR PLANS
BUILDING 6**

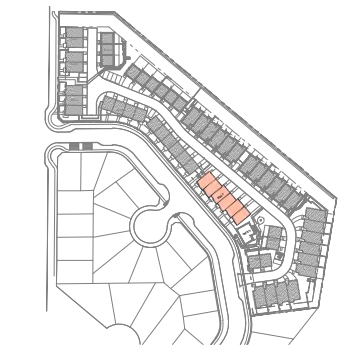
SCALE	REVISION
1/8" = 1'-0"	0
A2.6a	21-1118



1 SECOND FLOOR PLAN
A2.5b SCALE: 1/8" = 1'-0"



2 ROOF PLAN
A2.5b SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/8" = 1'-0"

REV	DATE	DESCRIPTION	DR	PR
1	MAR 20 2013	ISSUED FOR DEVELOPMENT PERMITS	DRMP	JM

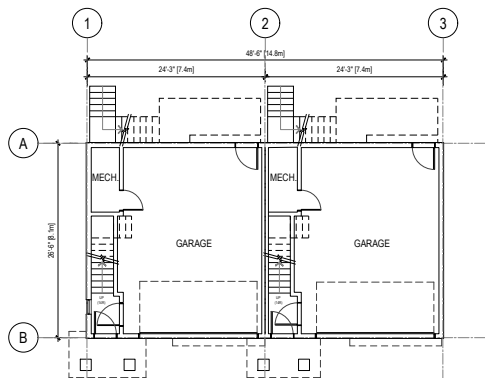
REVISIONS AND APPROVALS: ALL INSTRUMENTS OF SERVICE FOR THIS PROJECT HAVE BEEN PREPARED TO COMPLY WITH THE REQUIREMENTS OF THE BC BUILDING DEPARTMENT. THE BUILDING CODE IS APPLIED WITHOUT THE ADDITION OF ANY OTHER CODE. ALL DIMENSIONS SHOWN ON THIS DRAWING MUST BE TO FACE UNLESS OTHERWISE NOTED.
 THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION ON THE SITE AND TO HOLD RESPONSIBILITY FOR VERIFYING DIMENSIONS TO ALL DIMENSIONS SHOWN ON THIS DRAWING. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION UNLESS OTHERWISE NOTED BY THE CONSULTANT.

PROJECT:
 ABBEY GARDENS TOWNHOMES DEVELOPMENT
 10150 177A ST
 SURREY, BC

SHEET TITLE:
FLOOR PLANS BUILDING 6

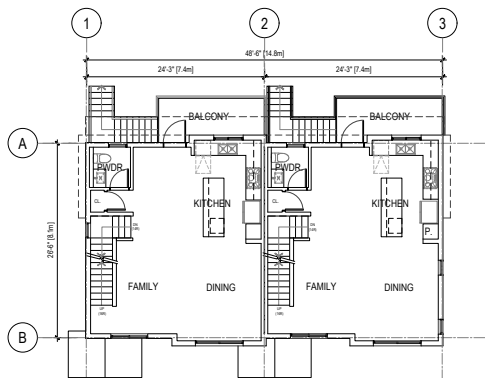
SCALE:	REVISION:
1/8" = 1'-0"	0
A2.6b	21-1118

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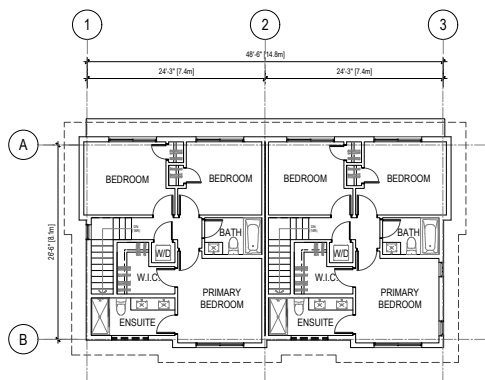
1 GROUND FLOOR PLAN

A2.7 SCALE: 1/8" = 1'-0"



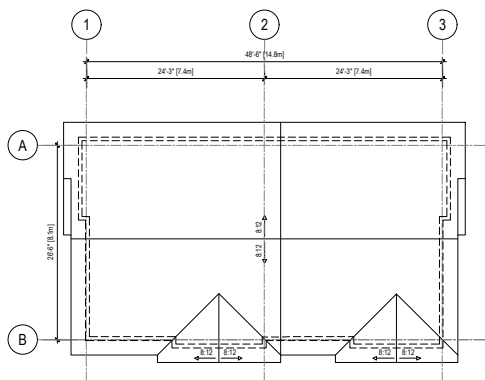
2 SECOND FLOOR PLAN

A2.7 SCALE: 1/8" = 1'-0"



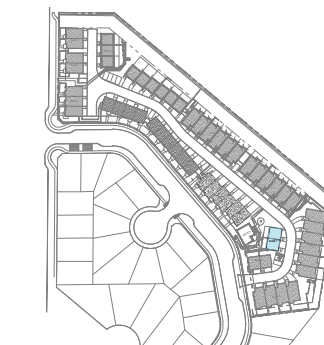
3 THIRD FLOOR PLAN

A2.7 SCALE: 1/8" = 1'-0"



4 ROOF PLAN

A2.7 SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

REV	DATE	DESCRIPTION	DR	BY

1 MAR 2013 REVISED DEVELOPMENT PERMITS DRP AP JA

REV DATE DESCRIPTION DR BY

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PROJECT:

ABBAY GARDENS
TOWNHOMES
DEVELOPMENT

10150 177A ST
SURREY, BC

SHEET TITLE:

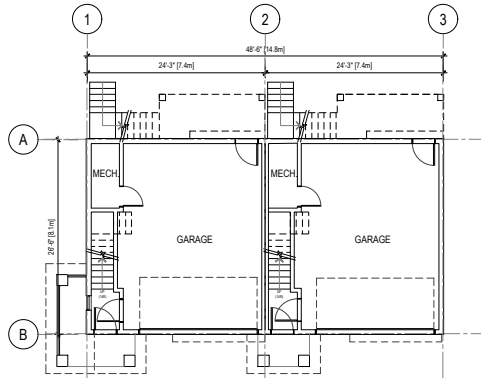
FLOOR PLANS
BUILDING 7

SCALE: 1/8" = 1'-0" REVISION: 0

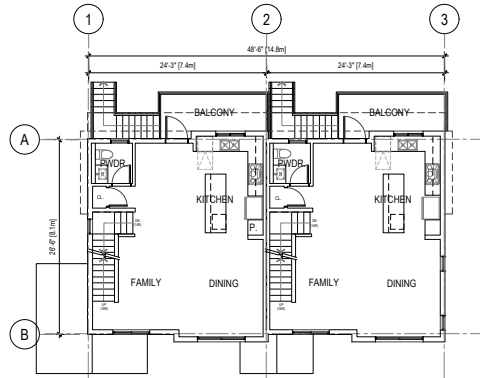
DATE: 01/20/2013 PROJECT NO:

A2.7 21-1118

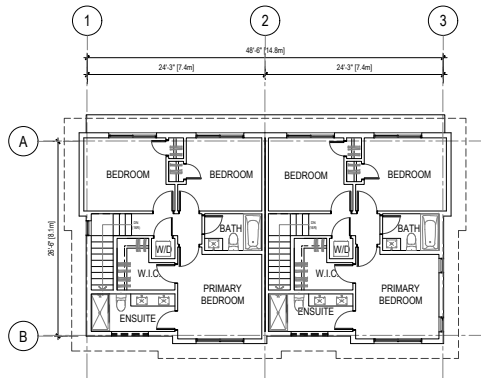
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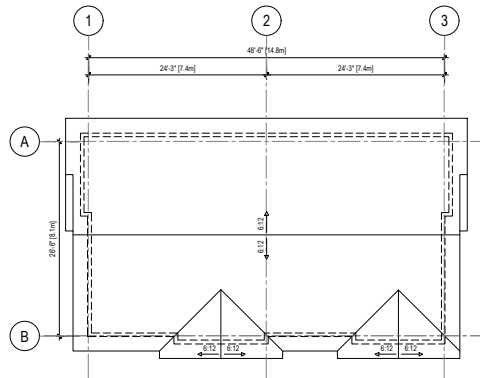
1 GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"



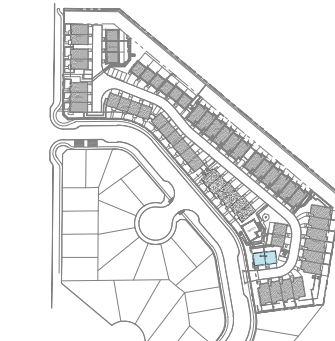
2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



3 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



4 ROOF PLAN
SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

REV	DATE	DESCRIPTION	DR	BY

1 MAR 2013 REVISED DEVELOPMENT PERMITS DRP JA

10150 177A ST SURREY, BC

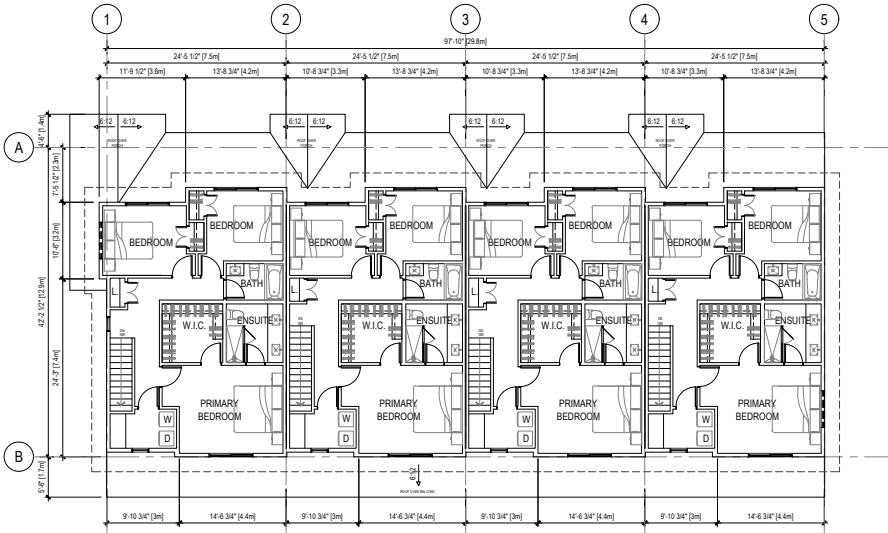
PROJECT
ABBNEY GARDENS
TOWNHOMES
DEVELOPMENT

**10150 177A ST
SURREY, BC**

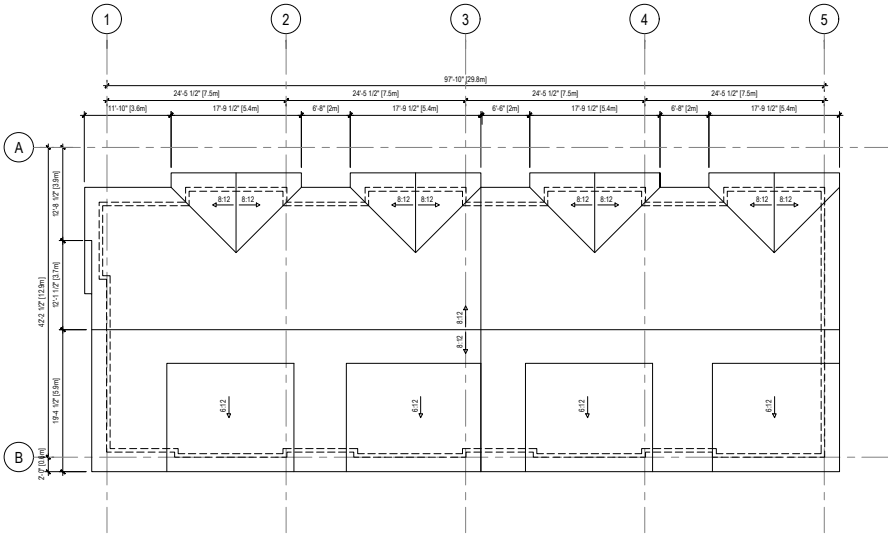
**FLOOR PLANS
BUILDING 8**

SCALE: 1/8" = 1'-0"	REVISION: 0
DATE: A2.8	PROJECT NO: 21-1118

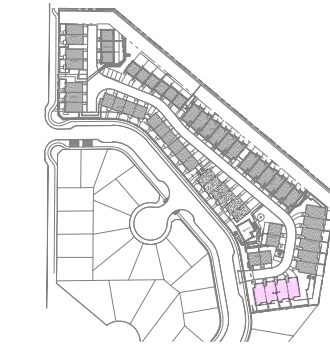
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1 UPPER FLOOR PLAN
A2.9b SCALE: 1/8" = 1'-0"



2 ROOF PLAN
A2.9b SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

REV	DATE	DESCRIPTION	DR	PR
1	MAR 2023	ISSUED FOR DEVELOPMENT PERMITS	DRP	JM

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BC BUILDING CODE AND ALL APPLICABLE REGULATIONS.
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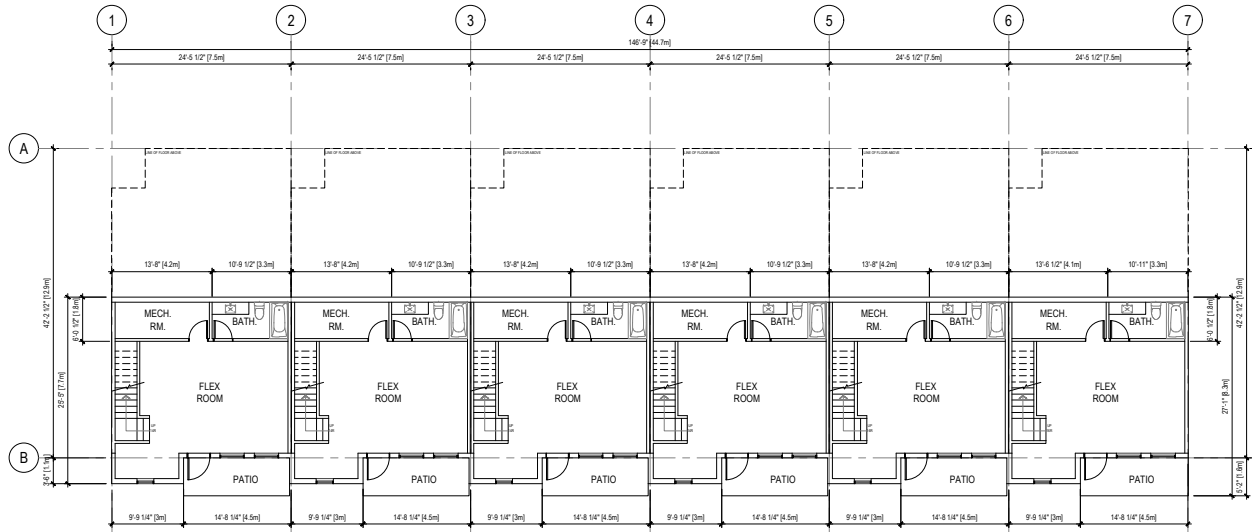
PROJECT
ABBAY GARDENS
TOWNHOMES
DEVELOPMENT

STREET TITLE
101ST ST
177A ST
SURREY, BC

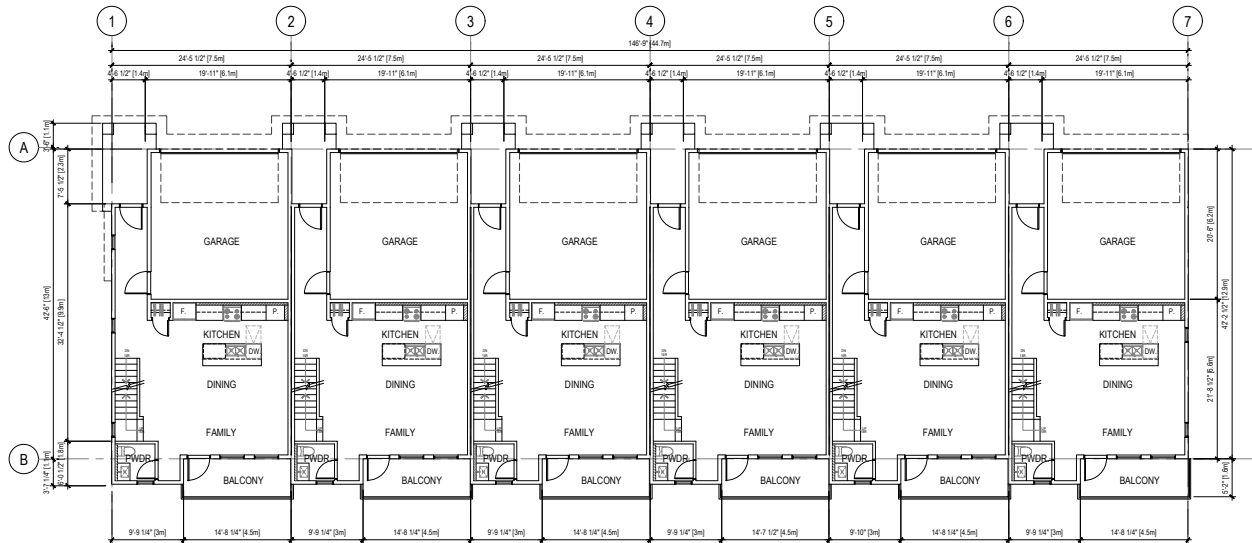
SCALE
1/8" = 1'-0"

A2.9b

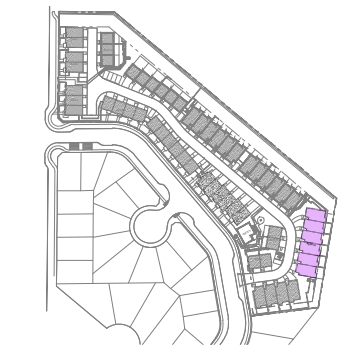
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1 GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/16" = 1'-0"

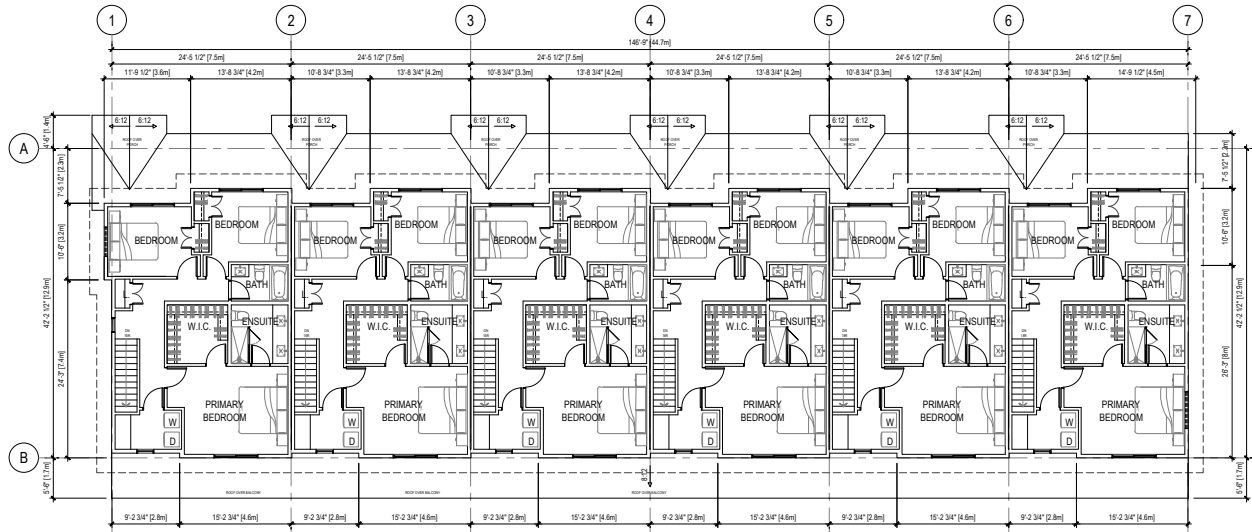
REV	DATE	DESCRIPTION	DR	PRV
1	MAR 20 2013	ISSUED FOR DEVELOPMENT PERMITS	DRP	JM

PROJ: ABBEY GARDENS TOWNHOMES DEVELOPMENT
10150 177A ST
SURREY, BC

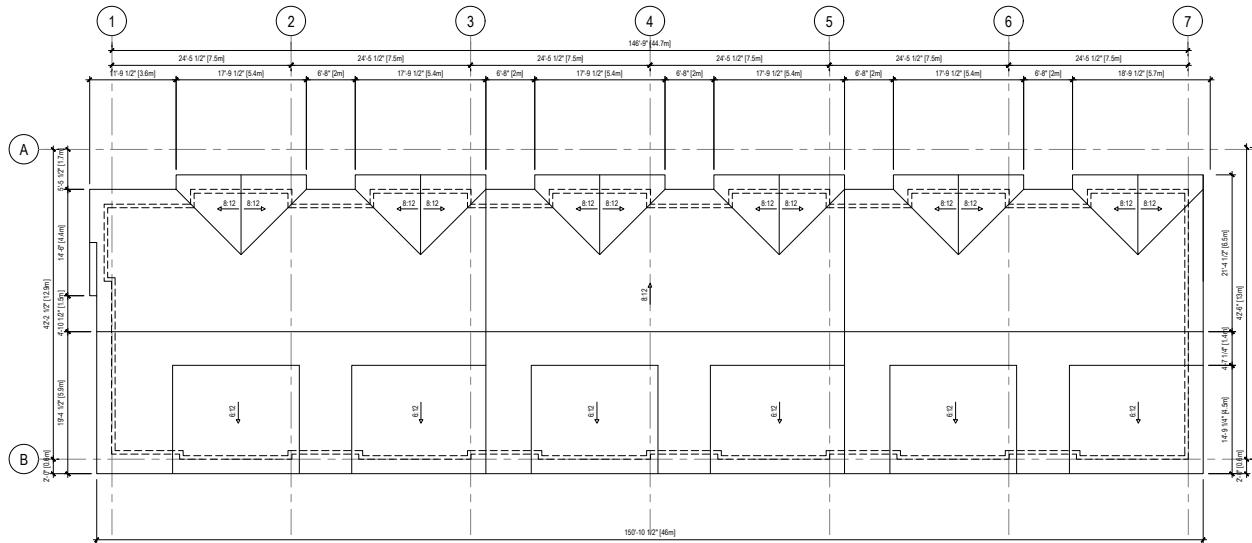
**FLOOR PLANS
BUILDING 10**

SCALE: 1/8" = 1'-0"	REVISION: 0
DATE: 03/20/13	PROJECT NO: 21-1118
A2.10a	

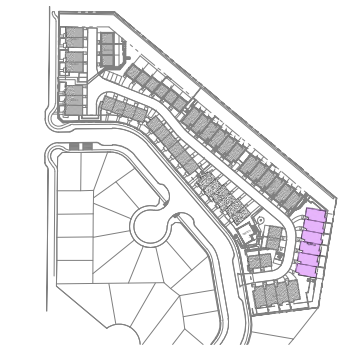
M:\SC2012\21-1118\AM\ARCH\TECH\BUILD Development\Permit\DWG\10a\Floor Plans - Building 10.dwg, 03/20/13, 02:14PM, D:\bnoos



1 UPPER FLOOR PLAN
 SCALE: 1/8" = 1'-0"



2 ROOF PLAN
 SCALE: 1/8" = 1'-0"



KEY SITE PLAN
 SCALE: 1/128" = 1'-0"

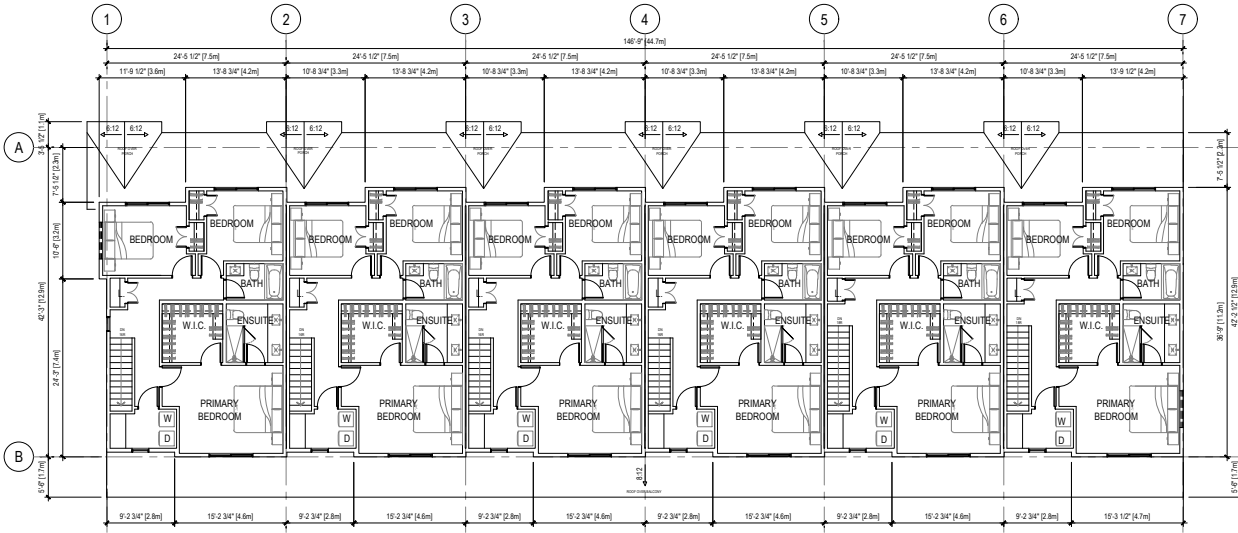
REV	DATE	DESCRIPTION	DR	BY
1	MAR 2023	ISSUED FOR DEVELOPMENT PERMITS	DRMP	JM

PROJECT:
 ABBEY GARDENS
 TOWNHOMES
 DEVELOPMENT
 10150 177A ST
 SURREY, BC

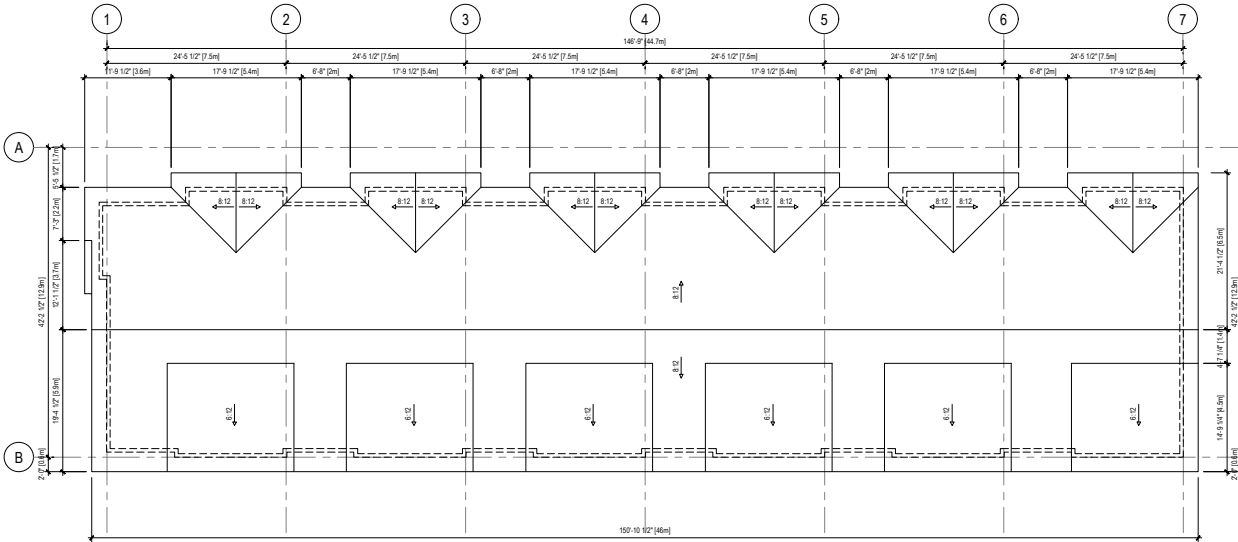
SHEET TITLE:
 FLOOR PLANS
 BUILDING 10

SCALE:	1/8" = 1'-0"	REVISION:	0
DATE:	A2.10b	PROJECT NO.:	21-1118

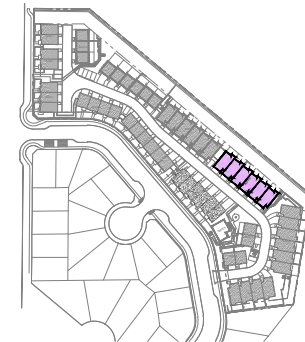
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1 UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 ROOF PLAN
SCALE: 1/8" = 1'-0"



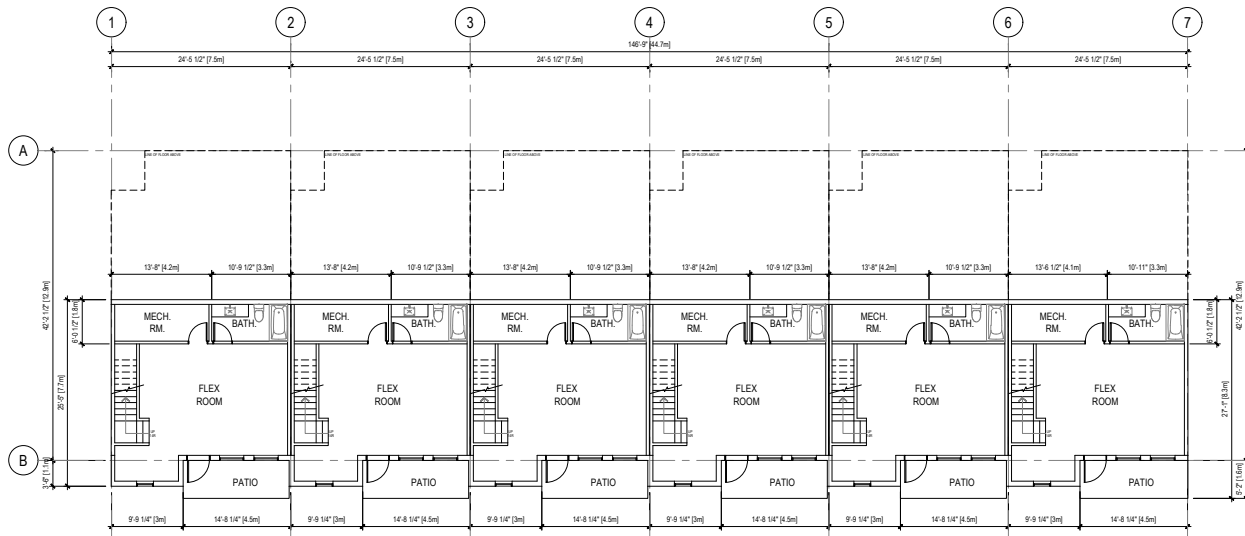
KEY SITE PLAN
SCALE: 1/16" = 1'-0"

REV	DATE	DESCRIPTION	DR	PR
1	MAR 2023	ISSUED FOR DEVELOPMENT PERMITS	DRP	JM

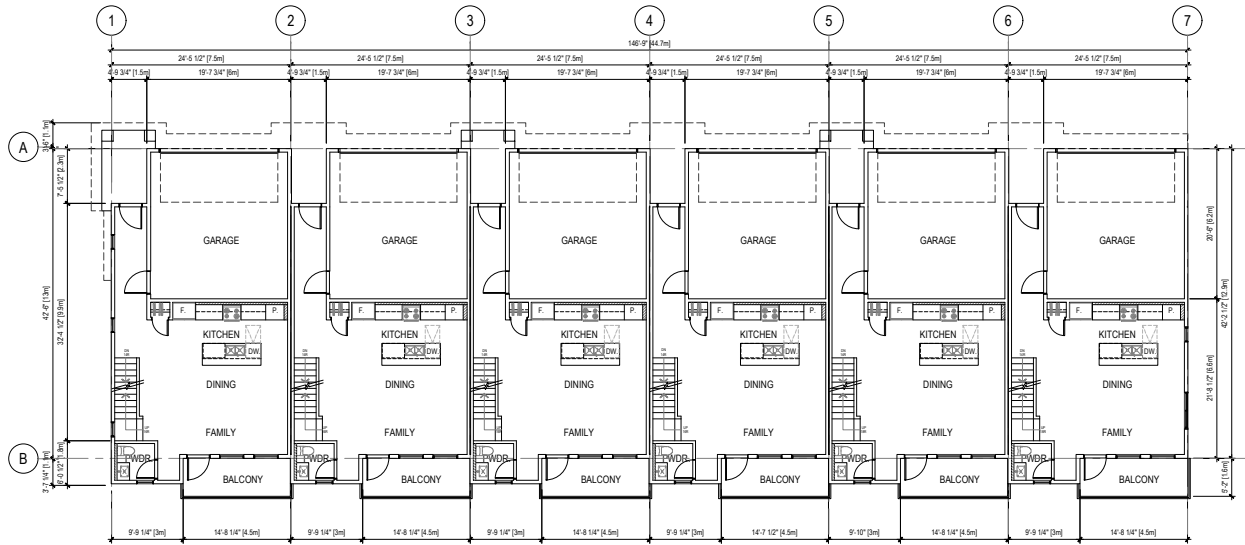
PROJECT:
**ABBEY GARDENS
TOWNHOMES
DEVELOPMENT**
19150 177A ST
SURREY, BC

SHEET TITLE:
**FLOOR PLANS
BUILDING 11**

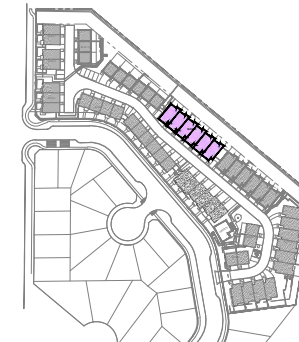
SCALE	REVISION
1/8" = 1'-0"	0
A2.11b	21-1118



1 GROUND FLOOR PLAN
A2.12a SCALE: 1/8" = 1'-0"



2 SECOND FLOOR PLAN
A2.12b SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/16" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV

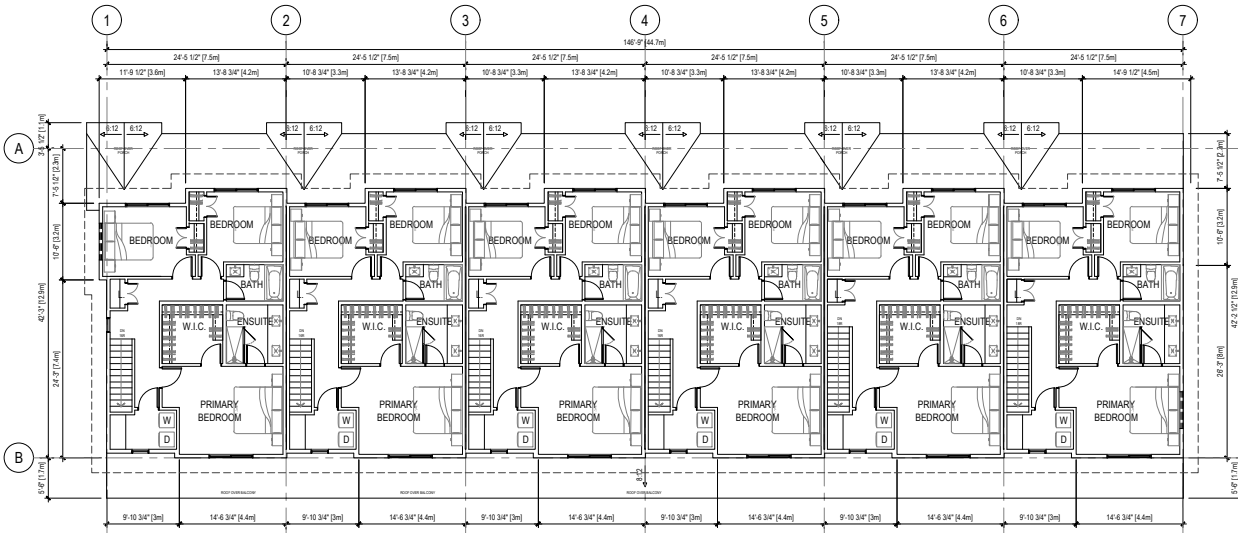
1 MAR 2020 ISSUED FOR DEVELOPMENT PERMITS DRVP JH
 REV DATE DESCRIPTION DR RV
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PROJECT:
**ABBAY GARDENS
 TOWNHOMES
 DEVELOPMENT**
 10150 177A ST
 SURREY, BC

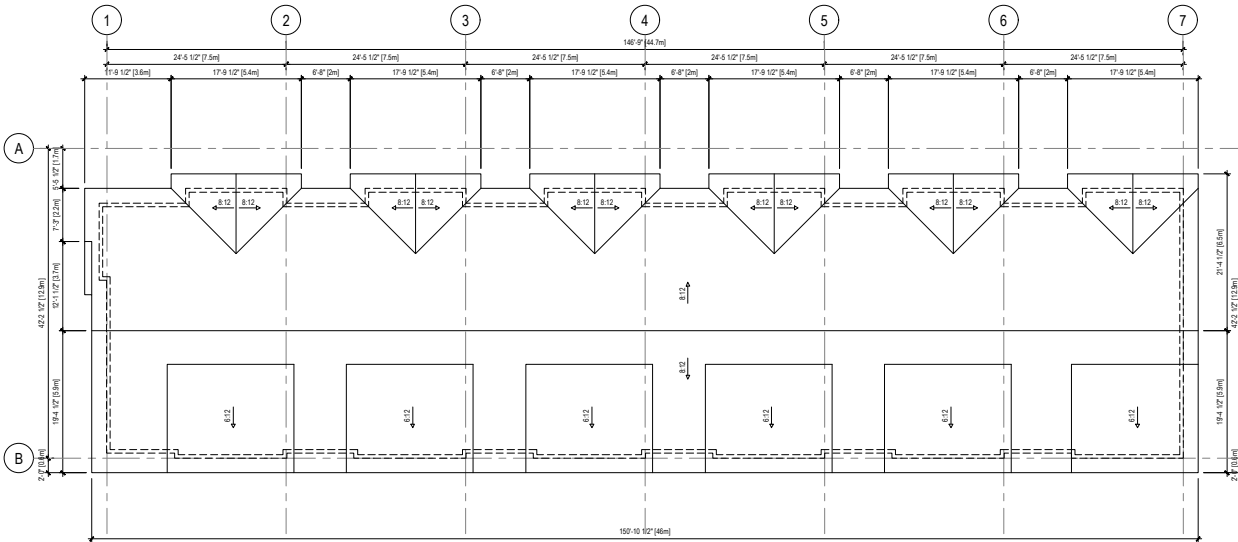
SHEET TITLE:
**FLOOR PLANS
 BUILDING 12**

SCALE: 1/8" = 1'-0"	SHEET: 9
DRAWING NO. A2.12a	PROJECT NO. 21-1118

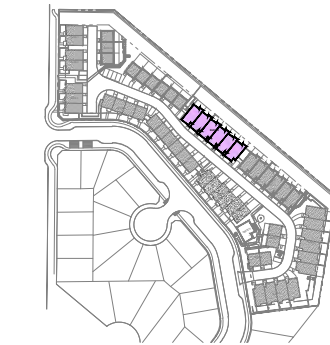
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1 UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 ROOF PLAN
SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/16" = 1'-0"

REV	DATE	DESCRIPTION	DR	PR
1	MAR 2023	ISSUED FOR DEVELOPMENT PERMITS	DRMP	JM

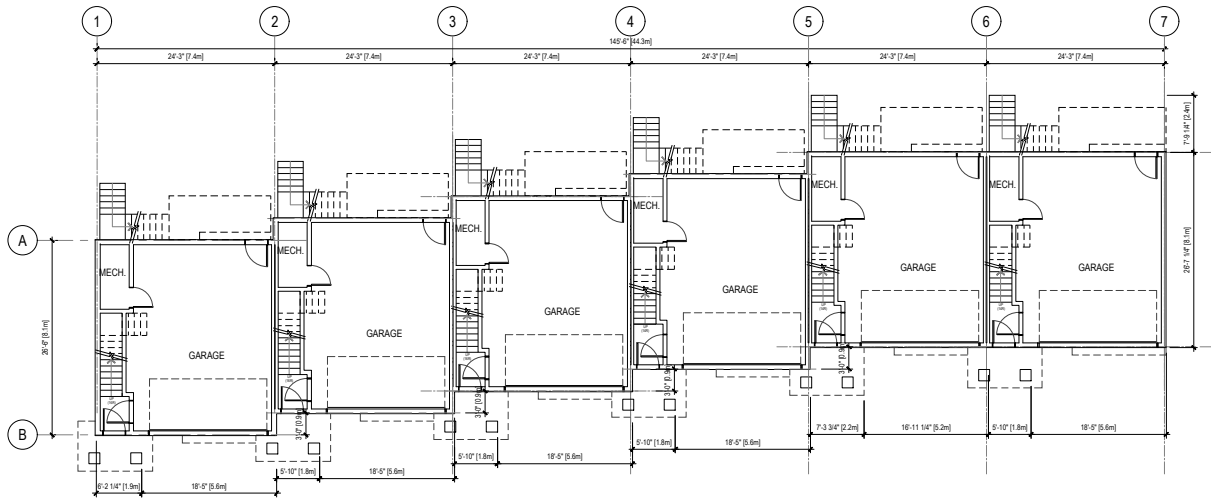
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PROJECT:
**ABBAY GARDENS
TOWNHOMES
DEVELOPMENT**

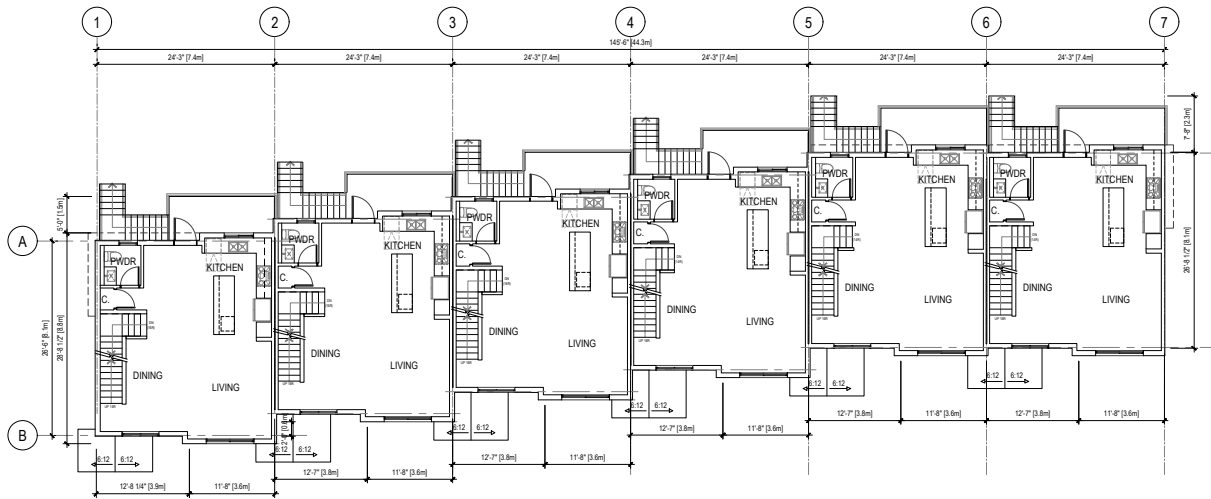
19150 177A ST
SURREY, BC

SHEET TITLE:
**FLOOR PLANS
BUILDING 12**

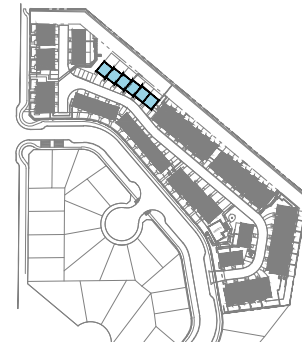
SCALE: 1/8" = 1'-0"	REVISION: 0
DATE: A2.12b	PROJECT NO: 21-1118



1 GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

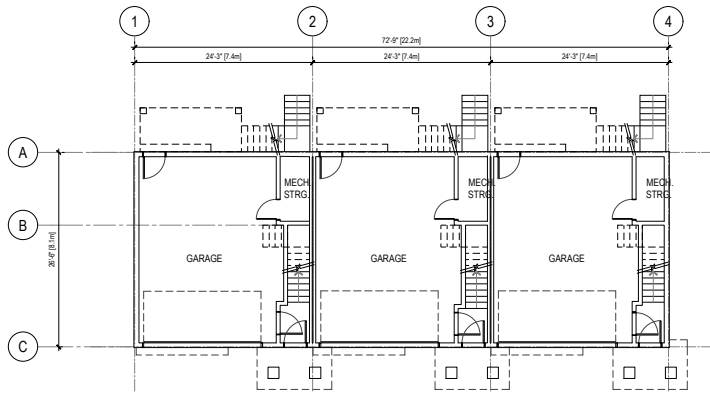
REV	DATE	DESCRIPTION	DR	RV
1	MAR 20, 2010	ISSUED FOR DEVELOPER PERMITS	CHVP, JH	
2				
3				
4				
5				
6				
7				

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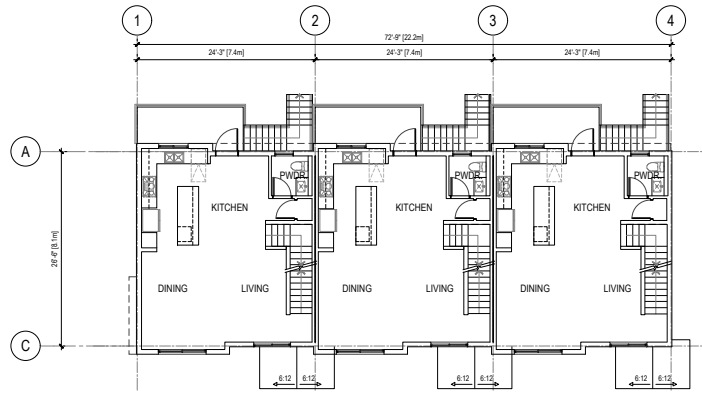
PROJECT:
ABBOTS GARDENS
TOWNHOMES
DEVELOPMENT
10150 177A ST
SURREY, BC

SHEET TITLE:
**FLOOR PLANS
BUILDING 13**

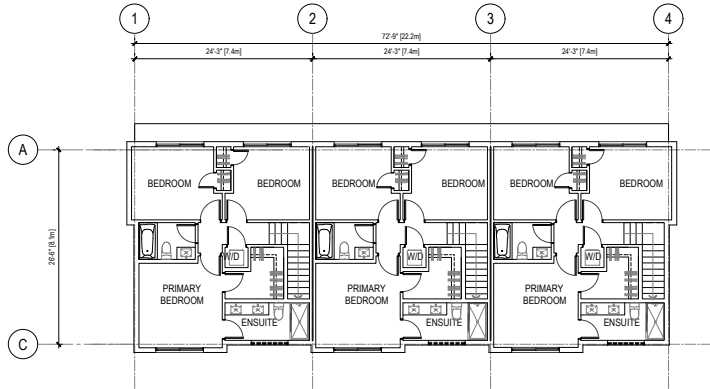
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DRAWING NO.		PROJECT NO.	
A2.13a			21-1118



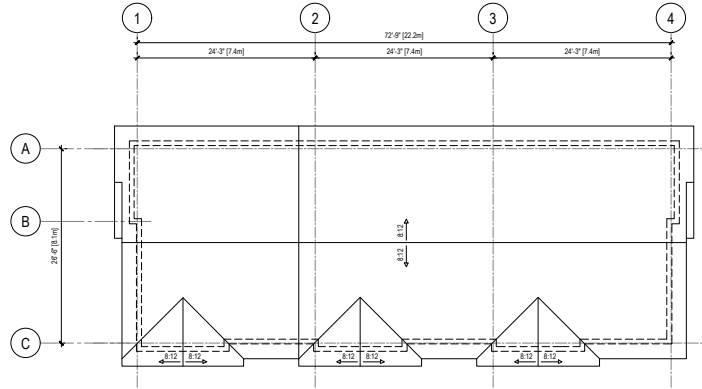
1 GROUND FLOOR PLAN
A2.14 SCALE: 1/8" = 1'-0"



2 SECOND FLOOR PLAN
A2.14 SCALE: 1/8" = 1'-0"

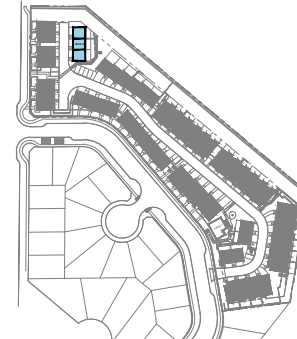


3 THIRD FLOOR PLAN
A2.14 SCALE: 1/8" = 1'-0"



4 ROOF PLAN
A2.14 SCALE: 1/8" = 1'-0"

KEY SITE PLAN
SCALE: 1/128" = 1'-0"



REV	DATE	DESCRIPTION	DR	RV

1 MAR 2020 HEAD FOR DEVELOPMENT PERM DRVP JH

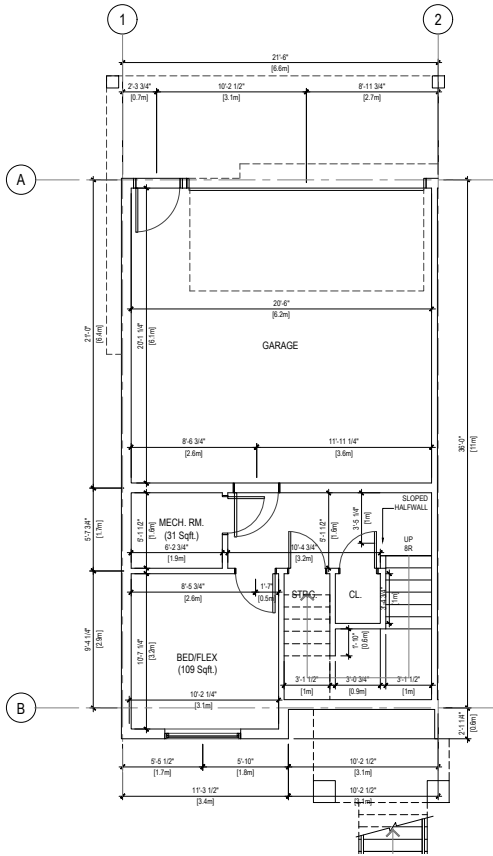
REV DATE DESCRIPTION DR RV

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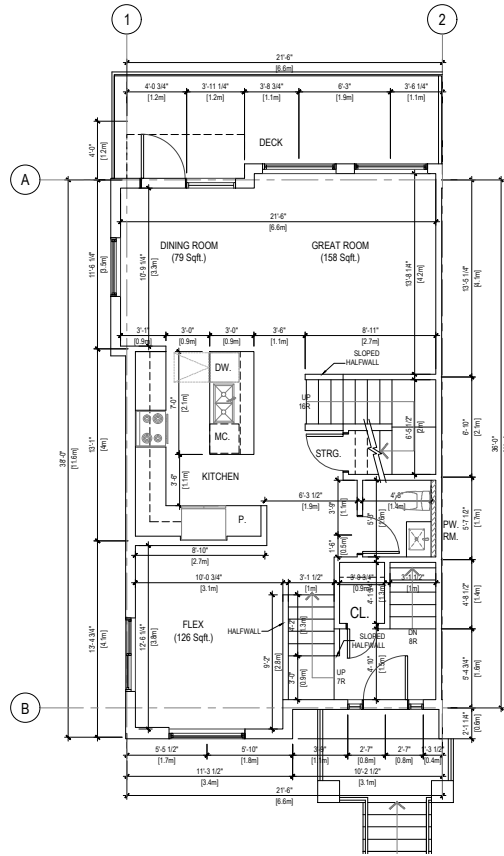
PROJECT:
**ABBEY GARDENS
 TOWNHOMES
 DEVELOPMENT**
 10150 177A ST
 SURREY, BC

SHEET TITLE:
**FLOOR PLANS
 BUILDING 14**

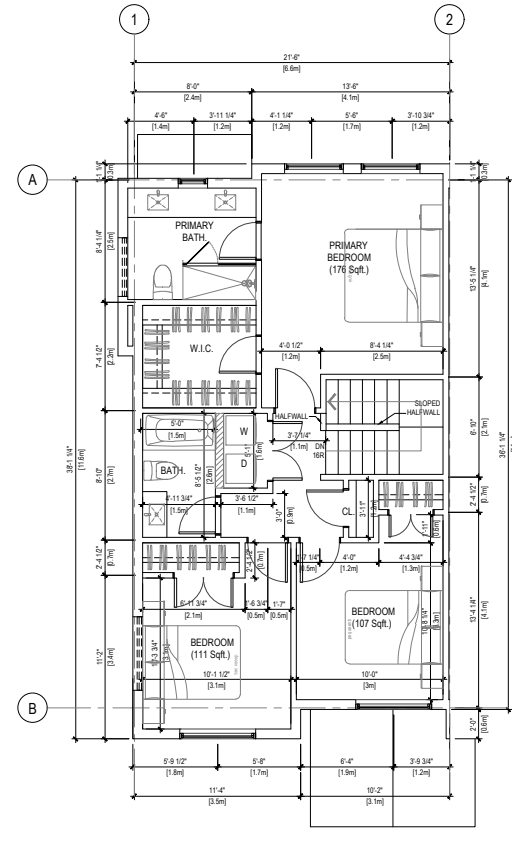
SCALE	REVISION
1/8" = 1'-0"	0
DRAWING NO.	PROJECT NO.
A2.14	21-1118



1 BASEMENT FLOOR PLAN (801.06sq.ft.)
SCALE: 1/4" = 1'-0"



2 MAIN FLOOR PLAN (814.56sq.ft.)
SCALE: 1/4" = 1'-0"



3 UPPER FLOOR PLAN (814.68sq.ft.)
SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
1	MAR 20 20	ISSUED FOR DEVELOPMENT PERMITS	CHVP, JH	

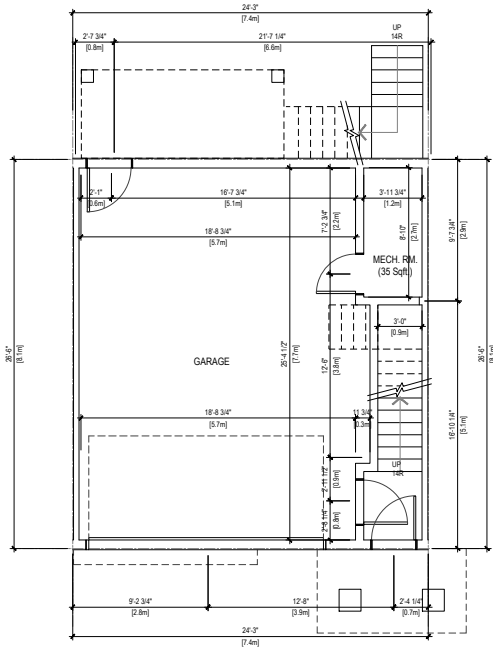
PROJECT:
**ABBAY GARDENS
TOWNHOMES
DEVELOPMENT**
10150 177A ST
SURREY, BC

SHEET TITLE:

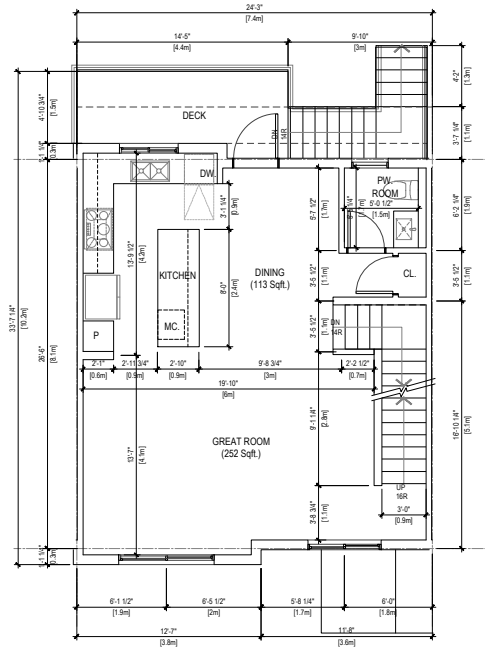
**UNIT PLANS
TYPE A1**

TOWNHOUSE UNIT	LIVABLE AREA	GARAGE	TOTAL	NUMBER OF UNITS
TYPE C1	1,978 SF	453 SF	2,432 SF	10

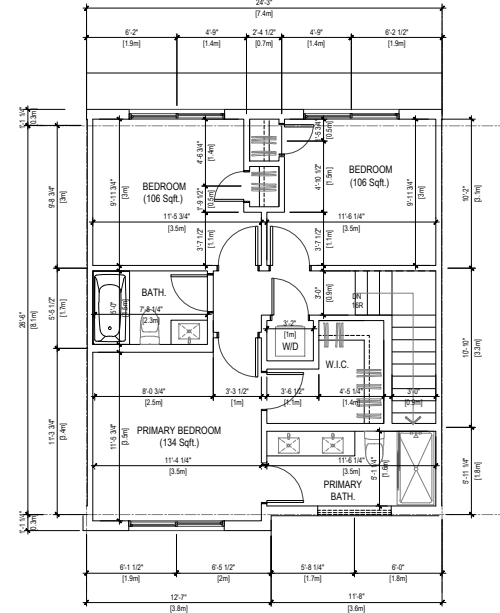
SCALE: 1/4" = 1'-0"	REVISION: 0
DRAWING NO. A2.15	PROJECT NO. 21-1118



1 BASEMENT FLOOR PLAN (650.45sq.ft.)
A2.17 SCALE: 1/4" = 1'-0"



2 MAIN FLOOR PLAN (673.50sq.ft.)
A2.17 SCALE: 1/4" = 1'-0"



3 UPPER FLOOR PLAN (698.81sq.ft.)
A2.17 SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
1	MAR 20 20	ISSUED FOR DEVELOPER PERM	DPVP	JH

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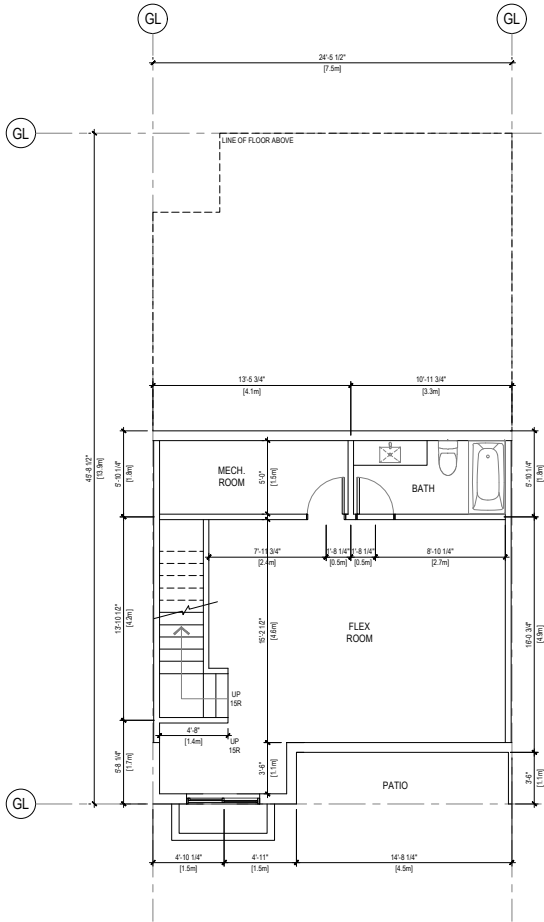
PROJECT:
**ABBAY GARDENS
TOWNHOMES
DEVELOPMENT**
10150 177A ST
SURREY, BC

SHEET TITLE:

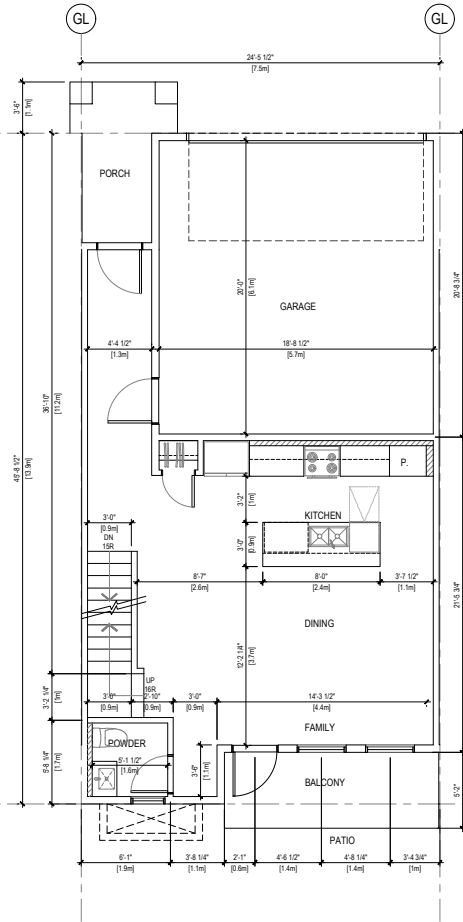
**UNIT PLANS
TYPE B1**

TOWNHOUSE UNIT	LIVABLE AREA	GARAGE	TOTAL	NUMBER OF UNITS
TYPE B1	1,469 SF	534 SF	2,002 SF	13

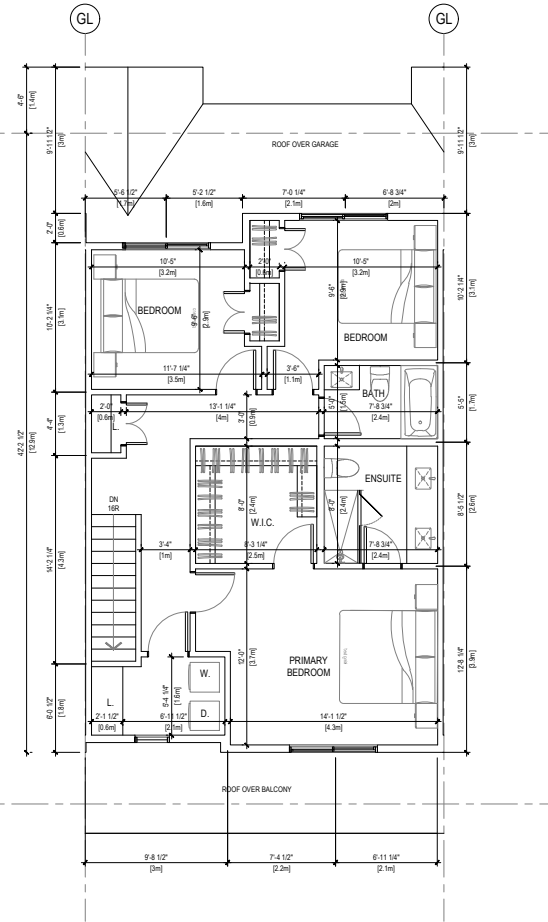
SCALE	REVISION
1/4" = 1'-0"	0
DRAWING NO.	PROJECT NO.
A2.17	21-1118



1 BASEMENT FLOOR PLAN (560sq.ft.)
A2.20 SCALE: 1/4" = 1'-0"



2 MAIN FLOOR PLAN (623sq.ft.)
A2.20 SCALE: 1/4" = 1'-0"



3 MAIN FLOOR PLAN (861sq.ft.)
A2.20 SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
1	MAR 20 2010	ISSUED FOR DEVELOPMENT PERMITS	CHVP	JH

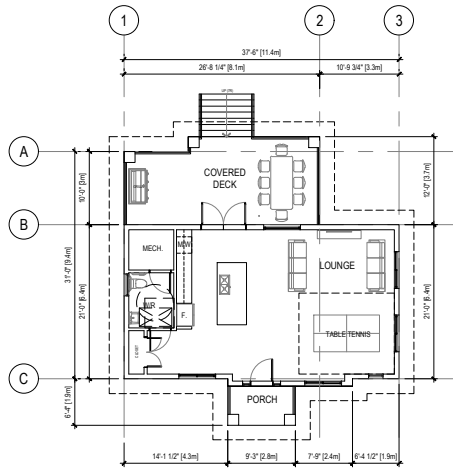
PROJECT:
**ABBEY GARDENS
TOWNHOMES
DEVELOPMENT**
10150 177A ST
SURREY, BC

SHEET TITLE:

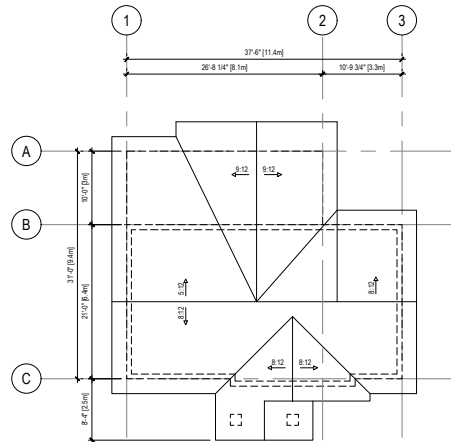
**UNIT PLANS
TYPE C2**

UNIT AREA CALCULATIONS				
TOWNHOUSE UNIT	LIVABLE AREA	GARAGE	TOTAL	NUMBER OF UNITS
TYPE C2	2,088 SF	403 SF	2,471 SF	4

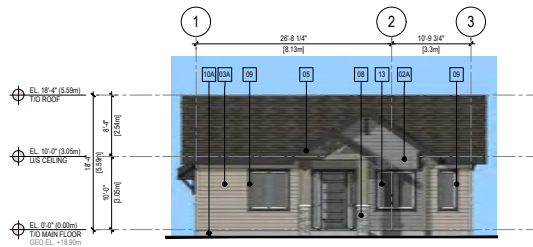
SCALE: 1/4" = 1'-0"	REVISION: 0
DRAWING NO. A2.20	PROJECT NO. 21-1118



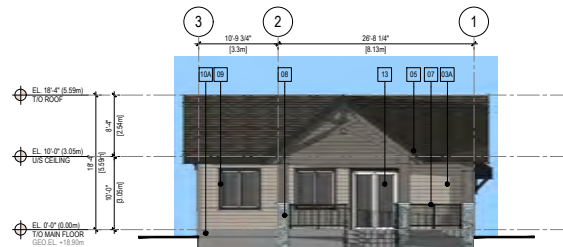
1 GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"



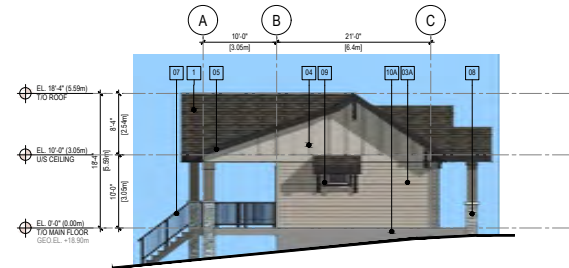
2 ROOF PLAN
SCALE: 1/8" = 1'-0"



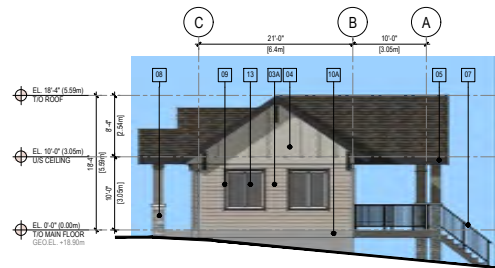
3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



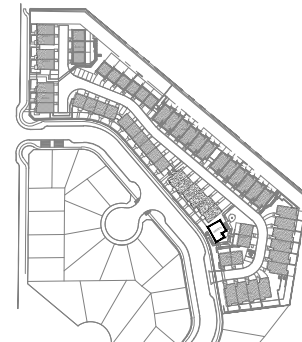
5 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



6 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIALS AND COLOURS LEGEND

01	ASPHALT ROOF SHINGLES
02	SLATE BLACK
03	SHINGLE SIDING
04	FOUNDRY SIDING, GRAYNE SHINGLE CAPE GRAY 401
05	SHINGLE SIDING
06	FOUNDRY SIDING, GRAYNE SHINGLE ASPEN BROWN 405
07	HORIZONTAL VINYL SIDING
08	GENTEX (SEDONA SELECT) (WICKER)
09	HORIZONTAL VINYL SIDING
10	GENTEX (SEDONA SELECT LINEN BOARD AND BATTEN PAINTED (DULUX DUX100-1 GREY TRAIL)
11	FASCIA BOARD
12	(DULUX DUX100-2 BLACK MAGIC)
13	GARAGE DOOR
14	(DULUX DUX100-3 ELUSION)
15	ALUMINUM BALKO
16	(ANODIZED BLACK)
17	STONE KENSER
18	CANADIAN STONE VERSETTA STONE, TIGHT CUT STERLING
19	WINDOW TRIM PAINTED (DULUX DUX100-7 BLACK MAGIC)
20	BELLY BAND
21	(DULUX DUX100-4 ELUSION)
22	ENTRANCE DOORS
23	(DULUX DUX100-5 ELUSION)
24	VINYL WINDOW FRAMES
25	(WHITE)
26	GLAZING
27	(HARCON INSULATING GLASS CLEAR)



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

1 MAR 20 2018 10:40 AM FOR DEVELOPER PERM: DRVP JH

REV DATE DESCRIPTION DR RV

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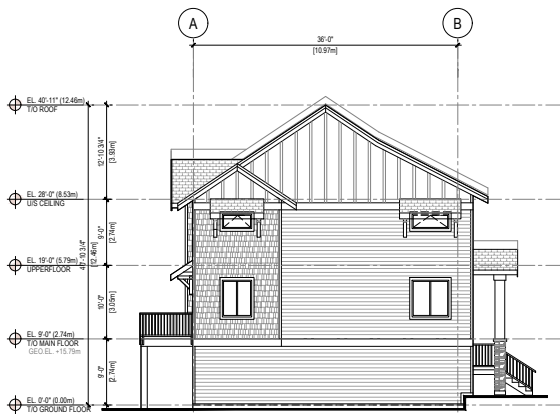
PROJECT:
**ABBAY GARDENS
TOWNHOMES
DEVELOPMENT**
10150 177A ST
SURREY, BC

SHEET TITLE:
**AMENITY BLDG
PLAN &
ELEVATIONS**

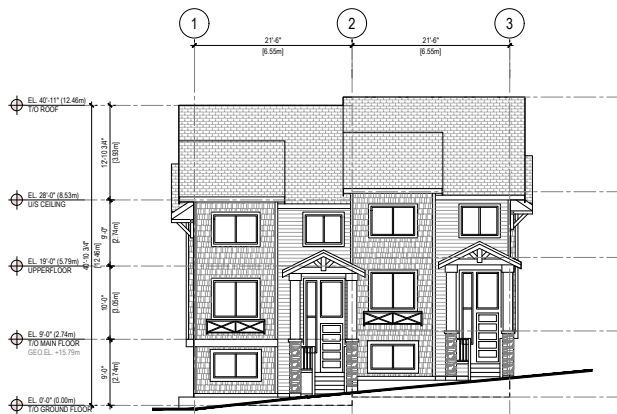
SCALE: 1/8" = 1'-0"	SHEET: 6
DRAWING NO. A2.21	PROJECT NO. 21-1118



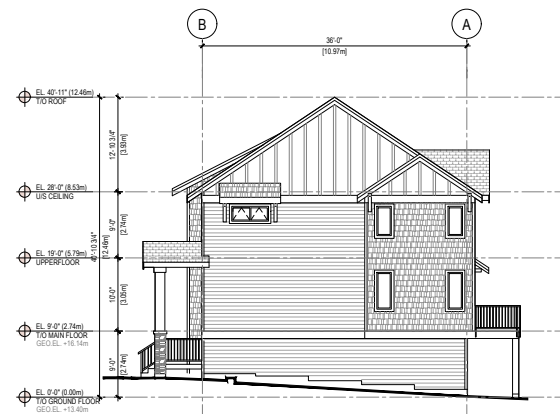
1 EAST ELEVATION
A4.1 SCALE: 1/8" = 1'-0"



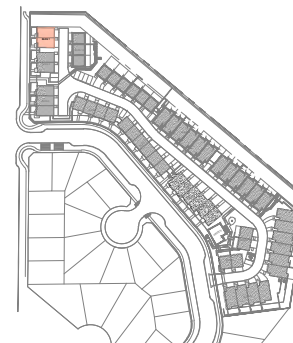
2 NORTH ELEVATION
A4.1 SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
A4.1 SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
A4.1 SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV

1 MAR 2020 ISSUED FOR DEVELOPER PERMITS DRVP JH
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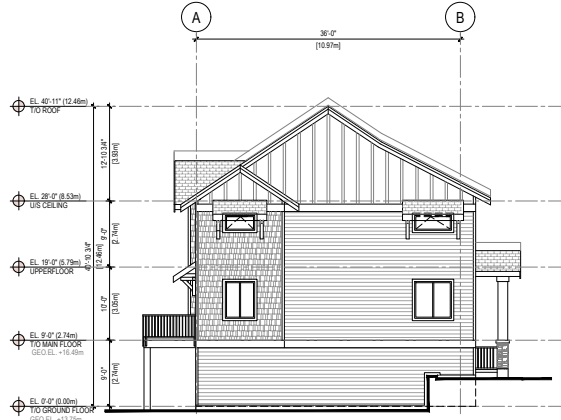
PROJECT:
**ABBEY GARDENS
 TOWNHOMES
 DEVELOPMENT**
 10150 177A ST
 SURREY, BC

SHEET TITLE:
**EXTERIOR
 ELEVATIONS
 BUILDING 1**

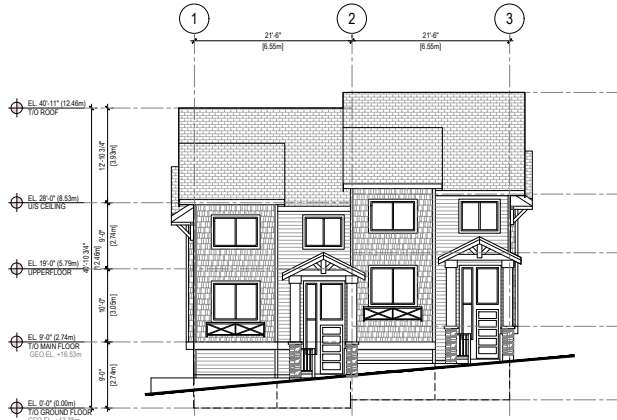
SCALE	REVISION
0/0" = 0'-0"	0
A4.1	21-1118



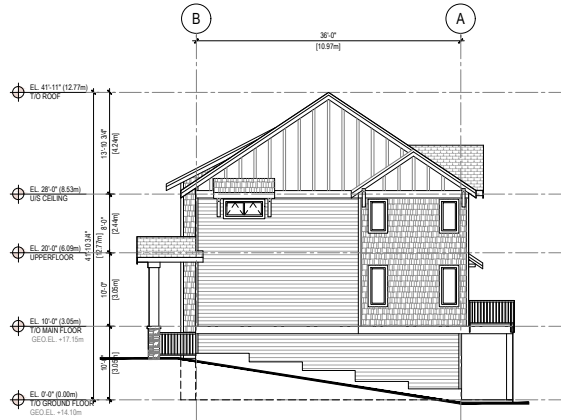
1 EAST ELEVATION
A4.2 SCALE: 1/8" = 1'-0"



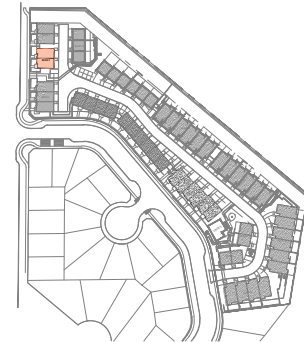
2 NORTH ELEVATION
A4.2 SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
A4.2 SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
A4.2 SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV

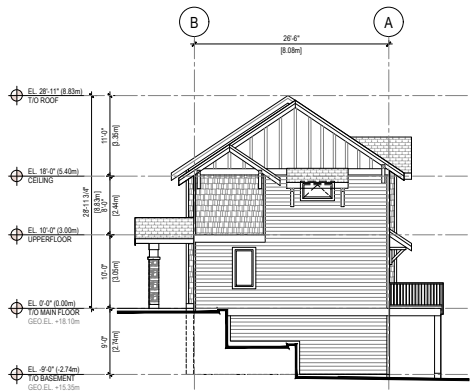
1 MAR 2020 REVISION FOR DEVELOPER PERMITS DRVP JH

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PROJECT:
**ABBEY GARDENS
 TOWNHOMES
 DEVELOPMENT**
 10150 177A ST
 SURREY, BC

SHEET TITLE:
**EXTERIOR
 ELEVATIONS
 BUILDING 2**

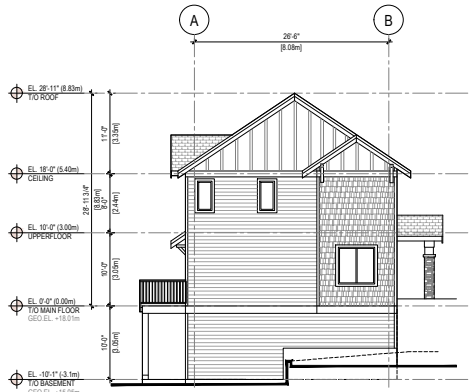
SCALE:	0/10" = 0'-0"	SHEET NO.:	9
DRAWING NO.:	A4.2	PROJECT NO.:	21-1118



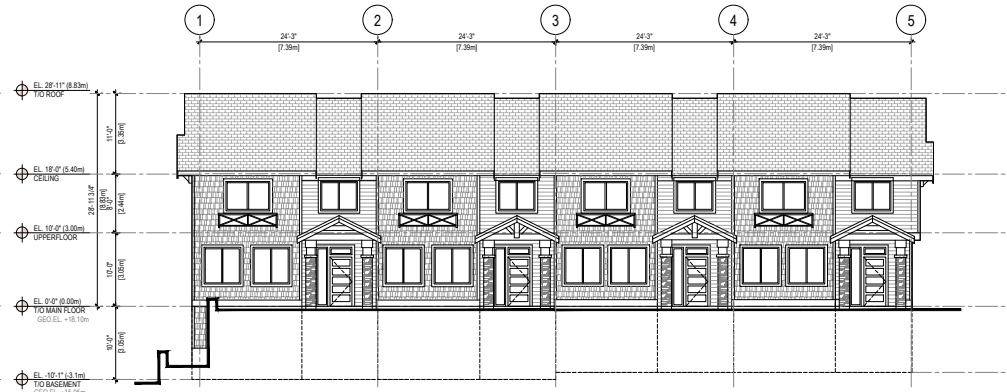
1 WEST ELEVATION
A4.4 SCALE: 1/8" = 1'-0"



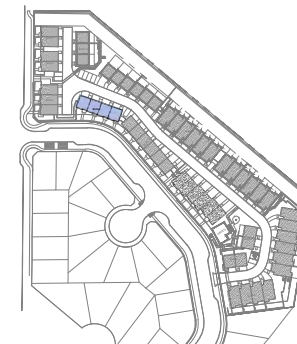
2 NORTH ELEVATION
A4.4 SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
A4.4 SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
A4.4 SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV

1 MAR 2020 ISSUED FOR DEVELOPMENT PERMITS DRVP JH

REV DATE DESCRIPTION DR RV

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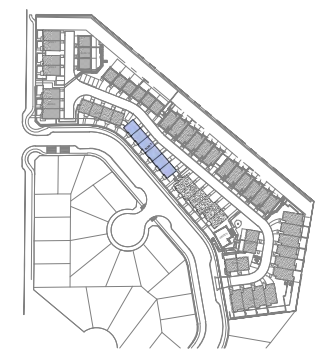
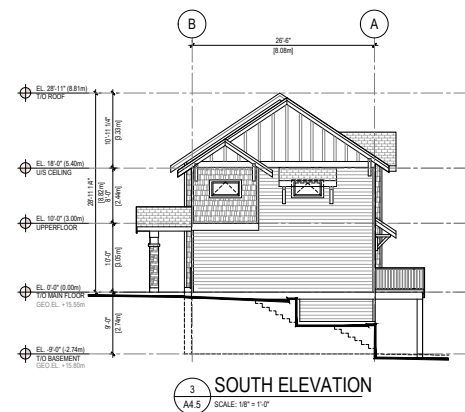
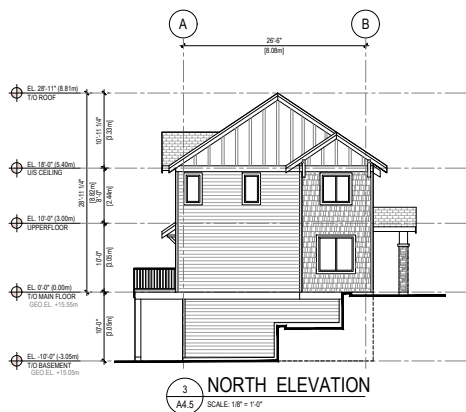
PROJECT:
ABBAY GARDENS TOWNHOMES DEVELOPMENT
 10150 177A ST
 SURREY, BC

SHEET TITLE:

EXTERIOR ELEVATIONS BUILDING 4

DRAWING NO.	REVISION
A4.4	0

PROJECT NO. 21-1118



REV	DATE	DESCRIPTION	DR	RV

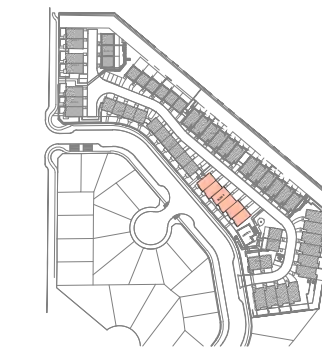
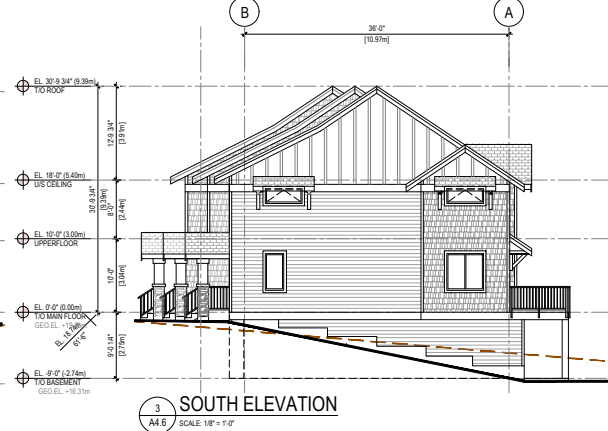
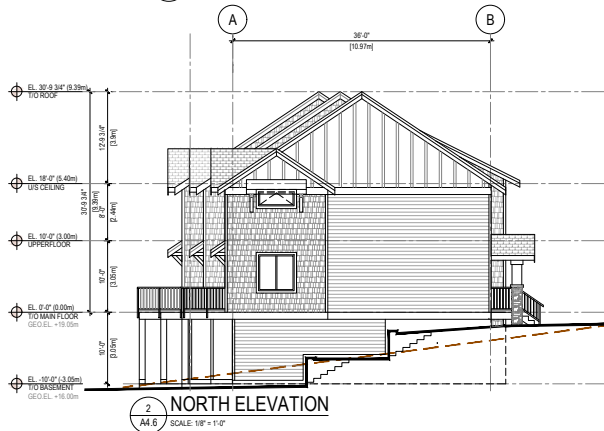
1 MAR 2010 ISSUED FOR DEVELOPER PERMITS DRVP JH

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PROJECT:
**ABBAY GARDENS
 TOWNHOMES
 DEVELOPMENT**
 10150 177A ST
 SURREY, BC

SHEET TITLE:
**EXTERIOR ELEVATIONS
 BUILDING 5**

SCALE	SHEET NO.	TOTAL SHEETS
0/10" = 0'-0"	5	5
DRAWING NO.	PROJECT NO.	
A4.5	21-1118	



KEY SITE PLAN
SCALE: 1/162" = 1'-0"

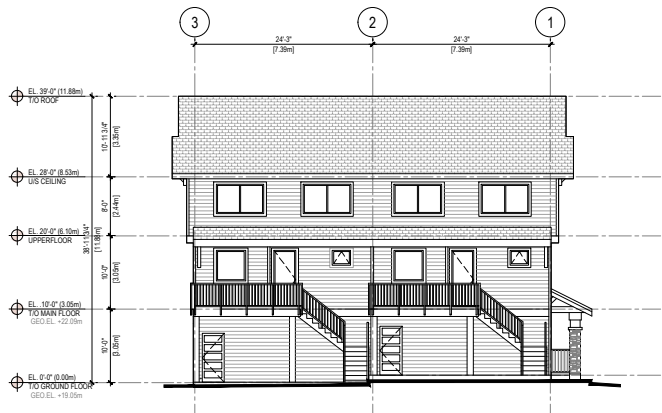
REV	DATE	DESCRIPTION	DR	RV
1	MAR 20, 2010	ISSUED FOR DEVELOPER PERMITS	CHVP	JH

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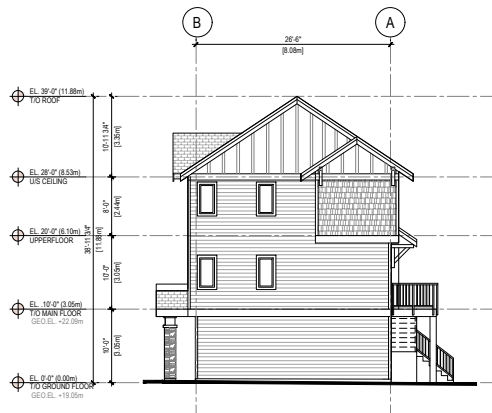
PROJECT:
ABBEY GARDENS
TOWNHOMES
DEVELOPMENT
10150 177A ST
SURREY, BC

SHEET TITLE:
EXTERIOR ELEVATIONS
BUILDING 6

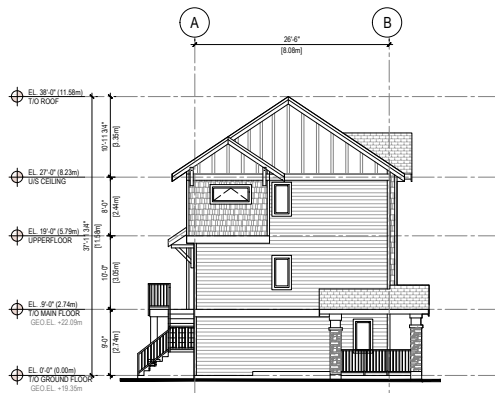
SCALE: 0/10" = 0'-0"	SHEET: 6
DRAWING NO. A4.6	PROJECT NO. 21-1118



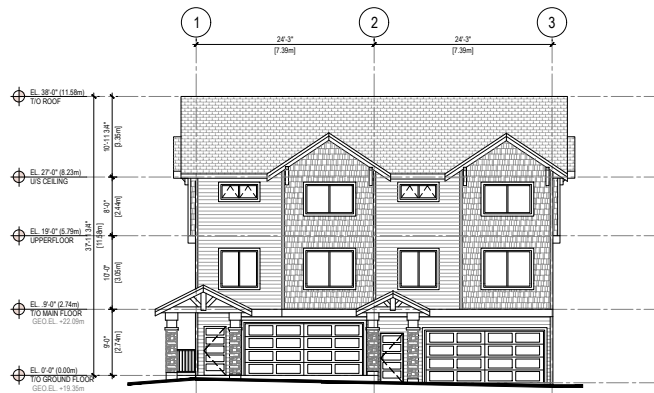
1 NORTH ELEVATION
A4.8 SCALE: 1/8" = 1'-0"



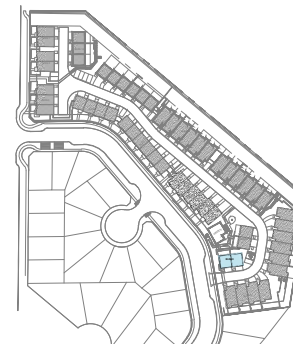
2 EAST ELEVATION
A4.8 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
A4.8 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
A4.8 SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV

1 MAR 2023 ISSUED FOR DEVELOPER PERMITS DRVP JH

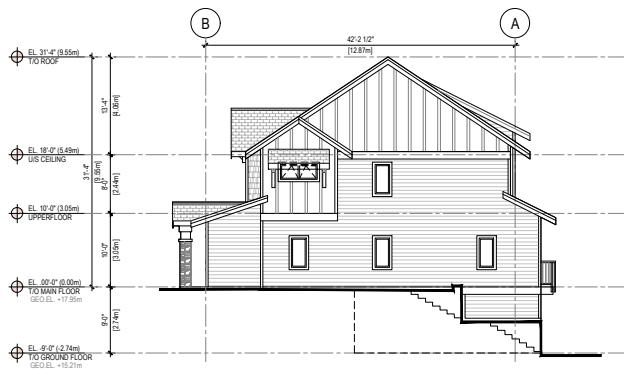
REV DATE DESCRIPTION DR RV

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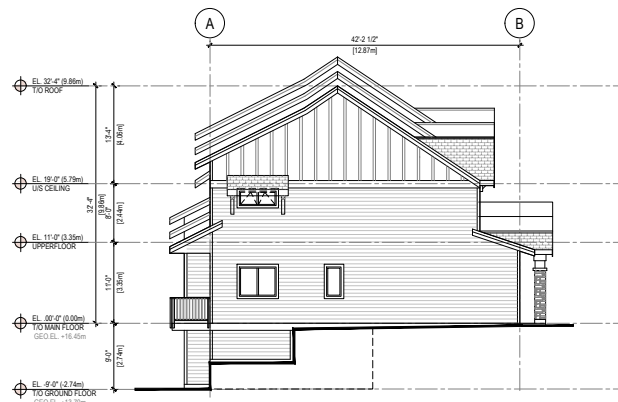
PROJECT:
**ABBAY GARDENS
 TOWNHOMES
 DEVELOPMENT**
 10150 177A ST
 SURREY, BC

SHEET TITLE:
**EXTERIOR
 ELEVATIONS
 BUILDING 8**

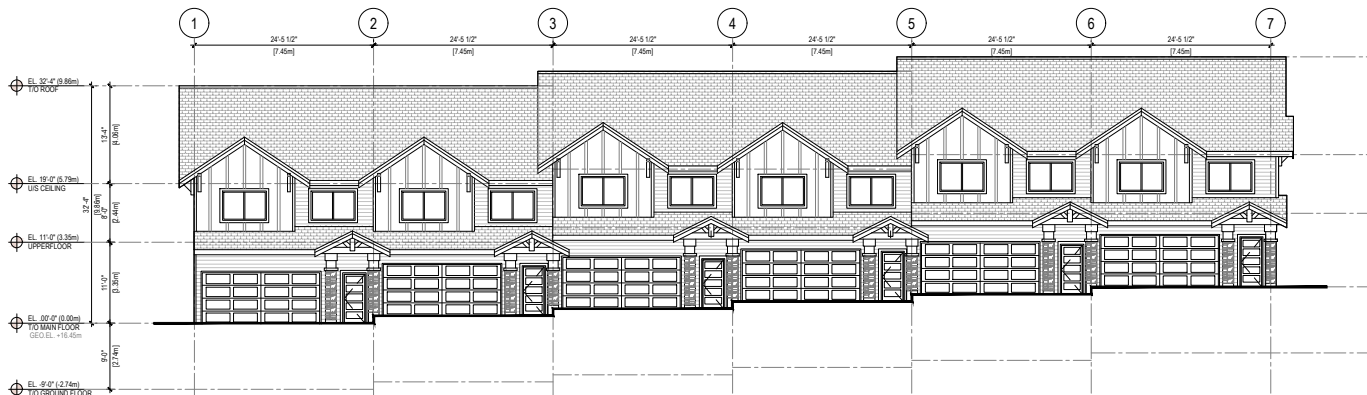
SCALE	REVISION
0/0" = 0'-0"	0
A4.8	21-1118



1 NORTH ELEVATION
A4.10 SCALE: 1/8" = 1'-0"



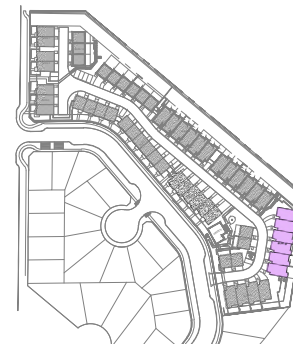
2 SOUTH ELEVATION
A4.10 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
A4.10 SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
A4.10 SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/16" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV

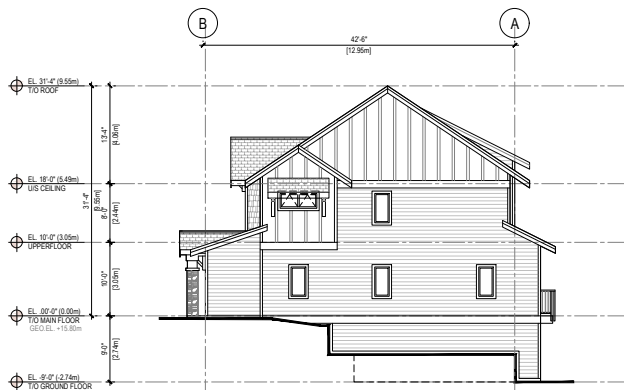
1 MAR 2020 REVISION FOR DEVELOPER PERMITS DRVP JH

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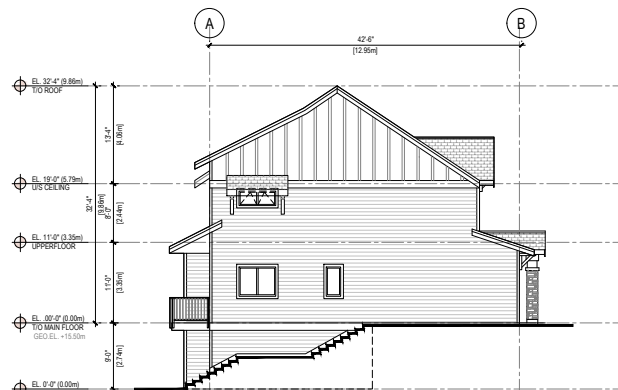
PROJECT:
**ABBEY GARDENS
TOWNHOMES
DEVELOPMENT**
10150 177A ST
SURREY, BC

SHEET TITLE:
**EXTERIOR
ELEVATIONS
BUILDING 10**

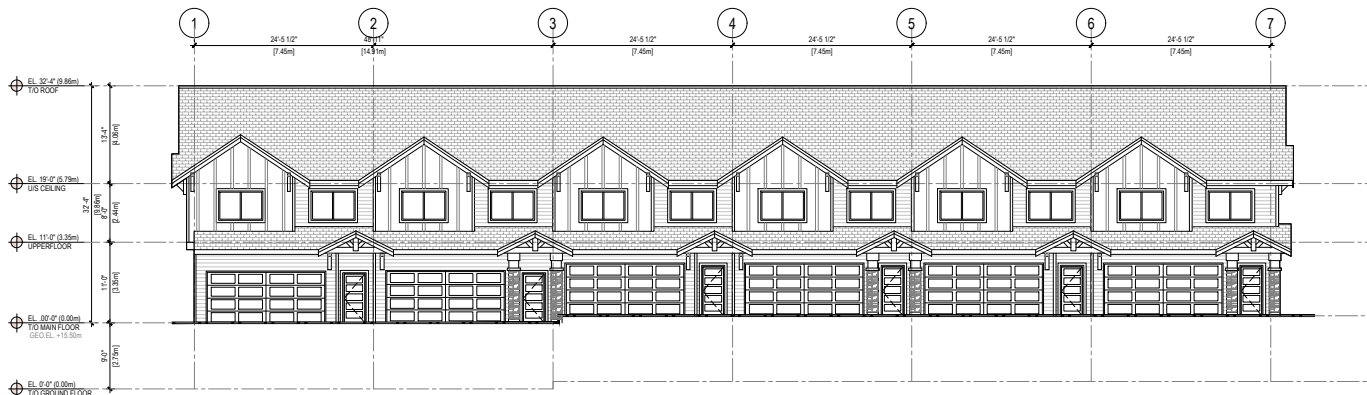
SCALE	SHEET NO.	TOTAL SHEETS
0/0" = 0'-0"	9	9
DRAWING NO.	PROJECT NO.	
A4.10	21-1118	



1 NORTH ELEVATION
A4.12 SCALE: 1/8" = 1'-0"



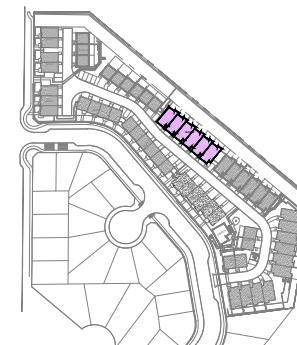
2 SOUTH ELEVATION
A4.12 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
A4.12 SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
A4.12 SCALE: 1/8" = 1'-0"



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV

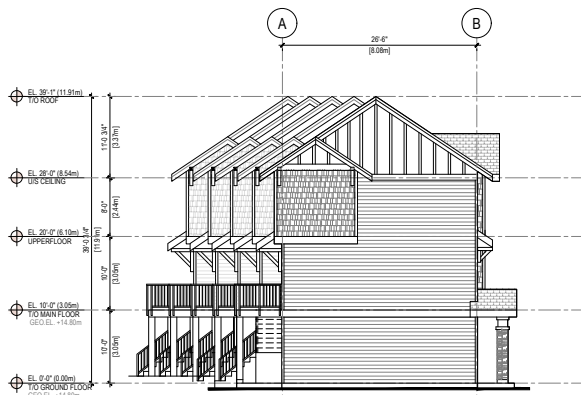
1 MAR 2020 REVISION FOR DEVELOPMENT PERMITS DRVP JH

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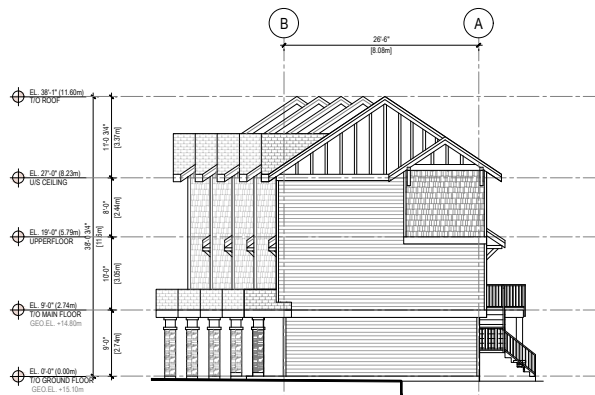
PROJECT:
**ABBEY GARDENS
TOWNHOMES
DEVELOPMENT**
10150 177A ST
SURREY, BC

SHEET TITLE:
**EXTERIOR
ELEVATIONS
BUILDING 12**

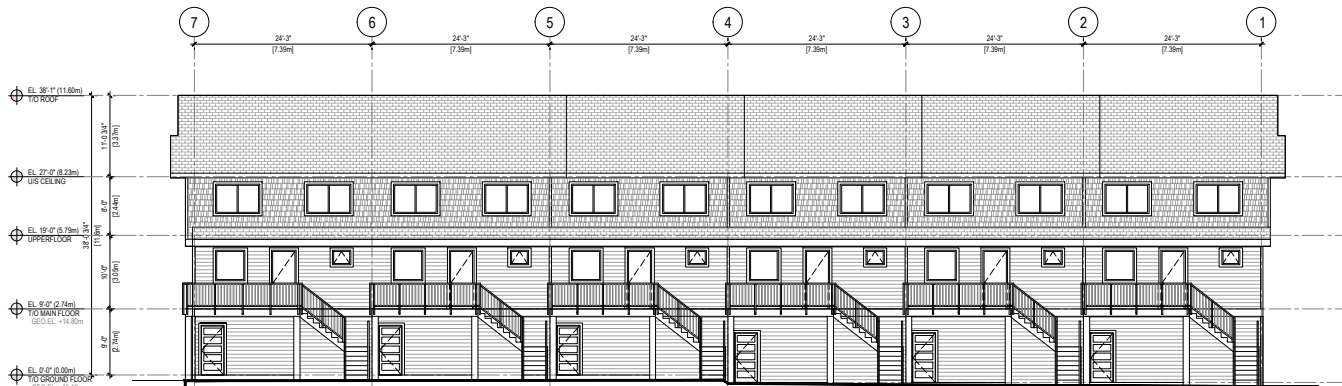
SCALE: 1/8" = 1'-0"	SHEET: 9
DRAWING NO. A4.12	PROJECT NO. 21-1118



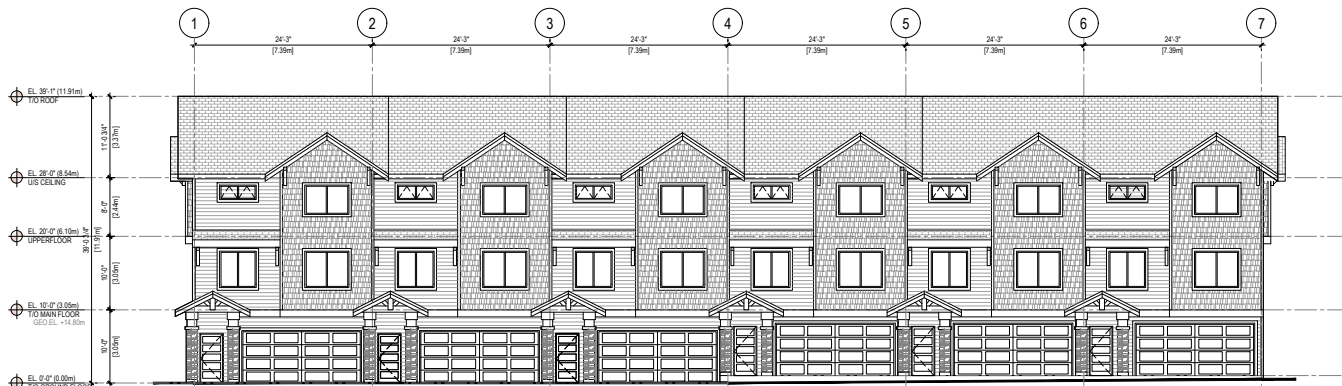
1 NORTH ELEVATION
A4.13 SCALE: 1/8" = 1'-0"



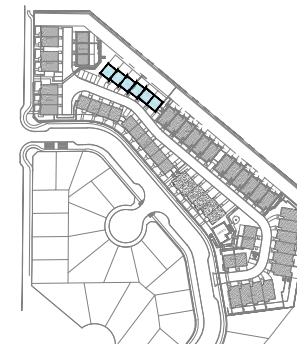
2 SOUTH ELEVATION
A4.13 SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
A4.13 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
A4.13 SCALE: 1/8" = 1'-0"



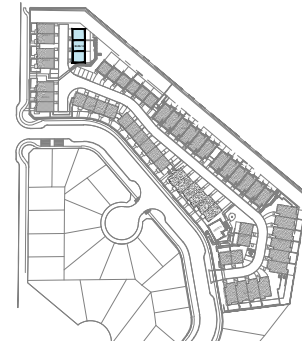
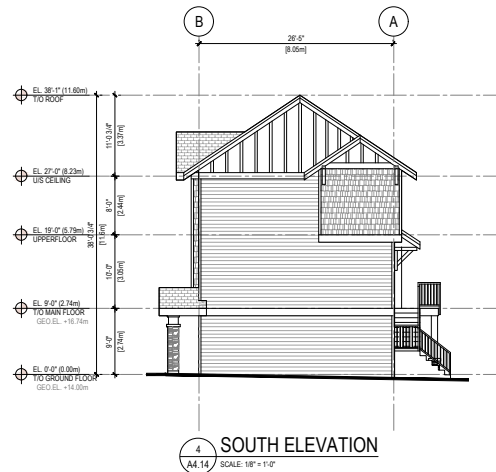
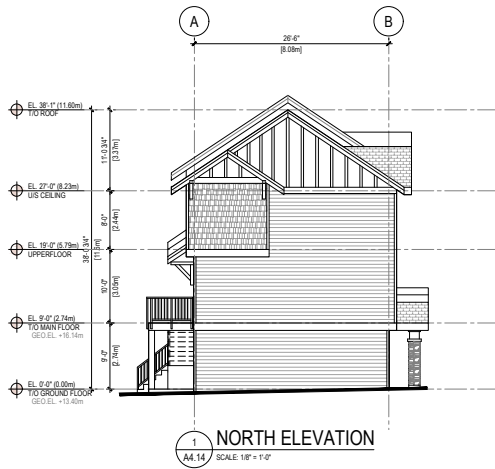
KEY SITE PLAN
SCALE: 1/162" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
1	MAR 20 2018	ISSUED FOR CONSTRUCTION	CHVP	JH

PROJECT:
**ABBEY GARDENS
TOWNHOMES
DEVELOPMENT**
10155 177A ST
SURREY, BC

SHEET TITLE:
**EXTERIOR
ELEVATIONS
BUILDING 13**

SCALE	SHEET NO.
0/0" = 0'-0"	9
DRAWING NO.	PROJECT NO.
A4.13	21-1118



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

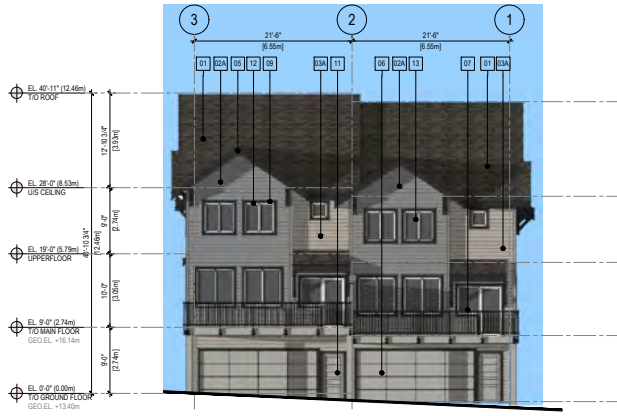
REV	DATE	DESCRIPTION	DR	RV

1 MAR 2020 ISSUED FOR DEVELOPER PERMITS DRVP JH
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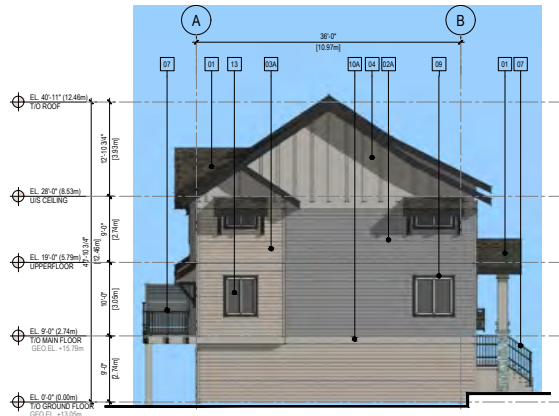
PROJECT:
ABBAY GARDENS TOWNHOMES DEVELOPMENT
 10150 177A ST
 SURREY, BC

SHEET TITLE:
EXTERIOR ELEVATIONS BUILDING 14

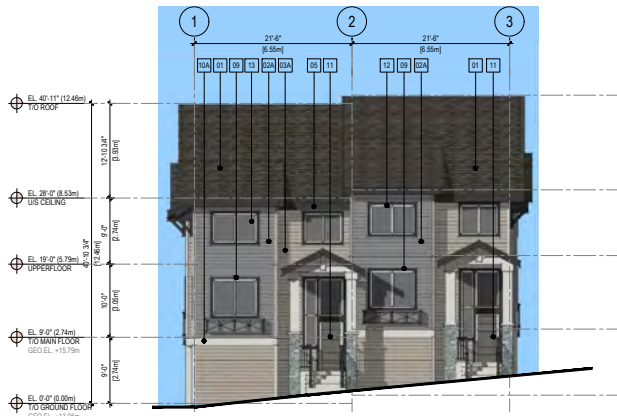
SCALE	REVISION
0/0" = 0'-0"	9
DRAWING NO.	PROJECT NO.
A4.14	21-1118



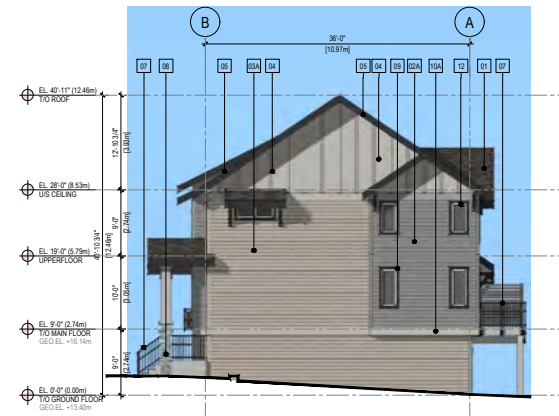
1 EAST ELEVATION
A4.15 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
A4.15 SCALE: 1/8" = 1'-0"



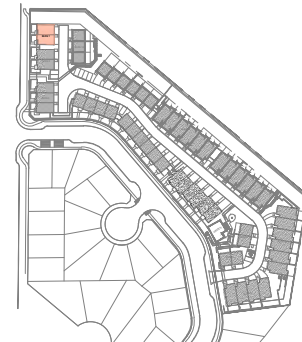
3 WEST ELEVATION
A4.15 SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
A4.15 SCALE: 1/8" = 1'-0"

MATERIALS AND COLOURS LEGEND

01	ASPHALT ROOF SHINGLES
02	SLATE BLACK
03	SHINGLE SIDING
04	FOUNDRY SIDING, GRAYNE SHINGLE CAPE GRAY 401
05	SHINGLE SIDING
06	FOUNDRY SIDING, GRAYNE SHINGLE ASPEN BROWN 405
07	HORIZONTAL VINYL SIDING
08	GENTEX (SEDONA SELECT) (WICKER)
09	HORIZONTAL VINYL SIDING
10	GENTEX (SEDONA SELECT) LINEN BOARD AND BATTEN PAINTED (DULUX DLA1001-4 GREY TRAIL)
11	FASCIA BOARD
12	(DULUX DLA1001-7 BLACK MAGIC)
13	GARAGE DOOR
14	(DULUX DLA1005-2 ELLISION)
15	ALUMINUM RAILING
16	STONE KENSER
17	CANADIAN STONE VERSETTA STONE, TIGHT CUT STERLING
18	WINDOW TRIM PAINTED (DULUX DLA1001-7 BLACK MAGIC)
19	BELLY BAND
20	(DULUX DLA1005-2 ELLISION)
21	ENTRANCE DOORS
22	(DULUX DLA1005-2 ELLISION)
23	VINYL WINDOW FRAMES (SHIFTS)
24	GLAZING
25	(VIRACON INSULATING GLASS CLEAR)



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
1	MAR 20 2018	ISSUED FOR DEVELOPER PERMITS	DP/VP	JH

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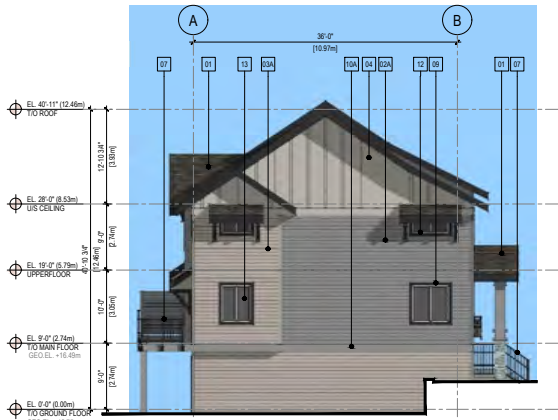
PROJECT:
ABBEY GARDENS TOWNHOMES DEVELOPMENT
 10150 177A ST
 SURREY, BC

SHEET TITLE:
COLORED ELEVATIONS BUILDING 1

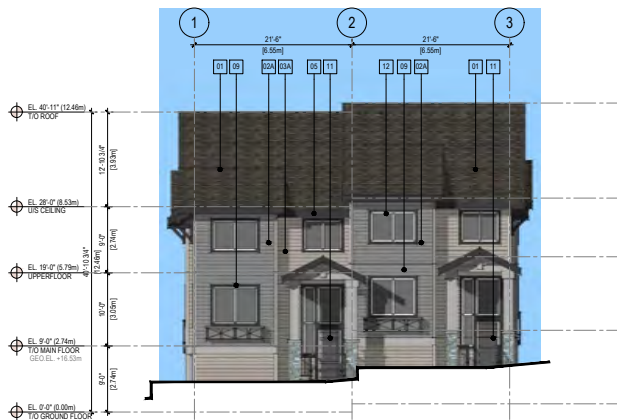
SCALE: 0/0" = 0'-0"	REVISION: 0
DRAWING NO. A4.15	PROJECT NO. 21-1118



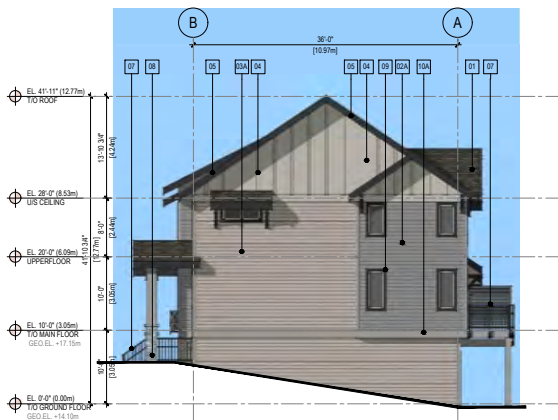
1 EAST ELEVATION
A4.16 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
A4.16 SCALE: 1/8" = 1'-0"



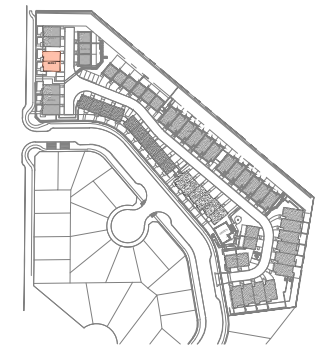
3 WEST ELEVATION
A4.16 SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
A4.16 SCALE: 1/8" = 1'-0"

MATERIALS AND COLOURS LEGEND

01	ASPHALT ROOF SHINGLES
02	SLATE BLACK
03	SHINGLE SIDING
04	FOUNDRY SIDING, GRAYNE SHINGLE CAPE GRAY 401
05	SHINGLE SIDING
06	FOUNDRY SIDING, GRAYNE SHINGLE ASPEN BROWN 405
07	HORIZONTAL VINYL SIDING
08	GEMTEK (SQUOXA SELECT) (WICKER)
09	HORIZONTAL VINYL SIDING
10	GEMTEK (SQUOXA SELECT) (LINEN BOARD AND BATTEN PAINTED (DULUX DLA1001-4 SILVER TRAIL))
11	FASCIA BOARD
12	(DULUX DLA1001-7 BLACK MAGIC)
13	GARAGE DOOR
14	(DULUX DLA1005-2 ELLISION)
15	ALUMINUM RAILING
16	STONE KENSER
17	CANADIAN STONE VERSETTA STONE, TIGHT CUT STERLING
18	WINDOW TRIM PAINTED (DULUX DLA1001-7 BLACK MAGIC)
19	BELLY BAND
20	(DULUX DLA1005-2 ELLISION)
21	ENTRANCE DOORS
22	(DULUX DLA1005-2 ELLISION)
23	VINYL WINDOW FRAMES
24	(SHIFTS)
25	GLAZING
26	(VIRACON INSULATING GLASS CLEAR)



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

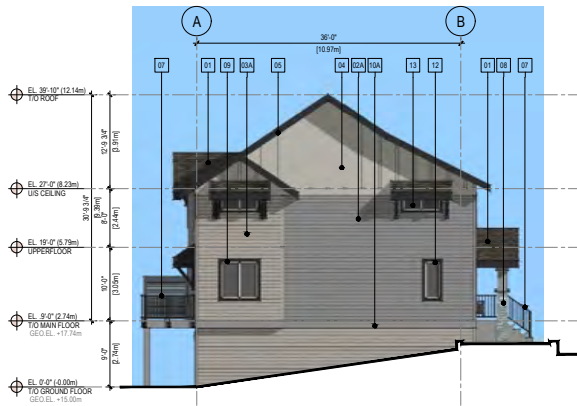
REV	DATE	DESCRIPTION	DR	RV
1	MAR 20 2020	ISSUED FOR DEVELOPER PERMITS	DR/PF	JH

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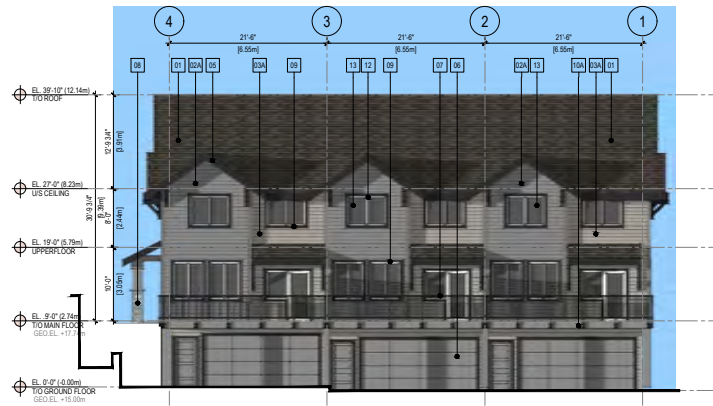
PROJECT:
**ABBAY GARDENS
TOWNHOMES
DEVELOPMENT**
10150 177A ST
SURREY, BC

SHEET TITLE:
**COLORED
ELEVATIONS
BUILDING 2**

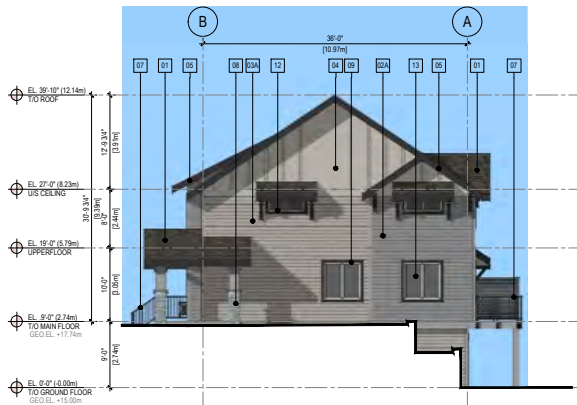
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DRAWING NO. A4.16	PROJECT NO. 21-1118



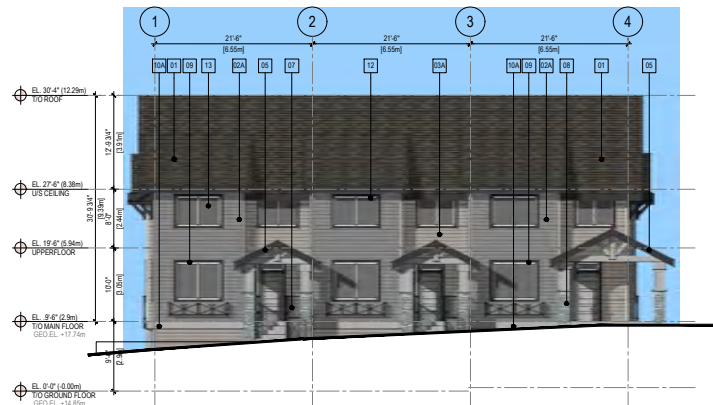
1 NORTH ELEVATION
A4.17 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
A4.17 SCALE: 1/8" = 1'-0"



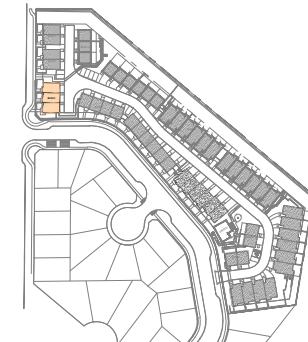
3 SOUTH ELEVATION
A4.17 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
A4.17 SCALE: 1/8" = 1'-0"

MATERIALS AND COLOURS LEGEND

01	ASPHALT ROOF SHINGLES
02	SLATE BLACK
03	SHINGLE SIDING
04	FOUNDRY SIDING, GRAYNE SHINGLE CAPE GRAY 401
05	SHINGLE SIDING
06	FOUNDRY SIDING, GRAYNE SHINGLE ASPEN BROWN 405
07	HORIZONTAL VINYL SIDING
08	GEMEX (SEDONA SELECT) (WICKER)
09	HORIZONTAL VINYL SIDING
10	GEMEX (SEDONA SELECT) LINEN BOARD AND BATTEN PAINTED
11	OSLUX OX1001-4 (SIBBY TRAIL)
12	FASCIA BOARD
13	OSLUX OX1001-2 (BLACK MAGIC)
14	GARAGE DOOR
15	OSLUX OX1005-2 (ELISION)
16	ALUMINUM BALCONY (ANODIZED BLACK)
17	STONE KENSER
18	CANADIAN STONE VERSETTA STONE, TIGHT CUT STERLING
19	WINDOW TRIM PAINTED
20	OSLUX OX1001-7 (BLACK MAGIC)
21	BELLY BAND
22	OSLUX OX1005-2 (ELISION)
23	ENTRANCE DOORS
24	OSLUX OX1003 (ELISION)
25	VINYL WINDOW FRAMES (WHITE)
26	GLAZING
27	(HARCON INSULATING GLASS CLEAR)



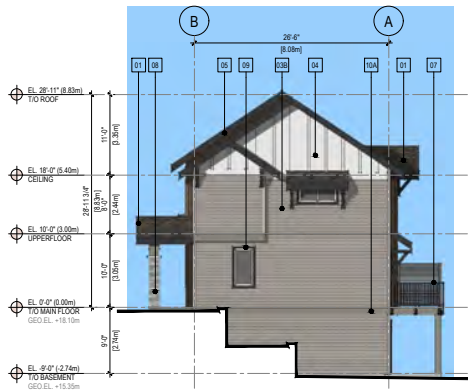
KEY SITE PLAN
SCALE: 1/128" = 1'-0"

REV.	DATE	DESCRIPTION	DR	RV
1	MAR 20, 2018	ISSUED FOR DEVELOPER PERMITS	DP/VP	JH

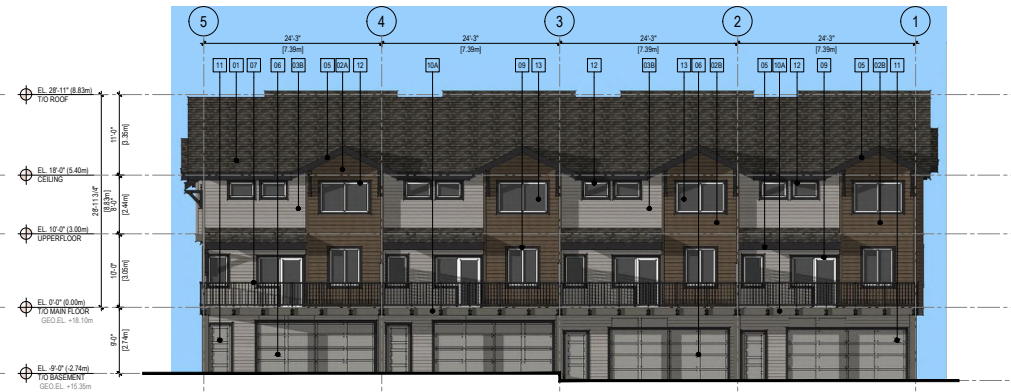
PROJECT:
**ABBAY GARDENS
TOWNHOMES
DEVELOPMENT**
 10550 177A ST
 SURREY, BC

SHEET TITLE:
**COLORED ELEVATIONS
BUILDING 3**

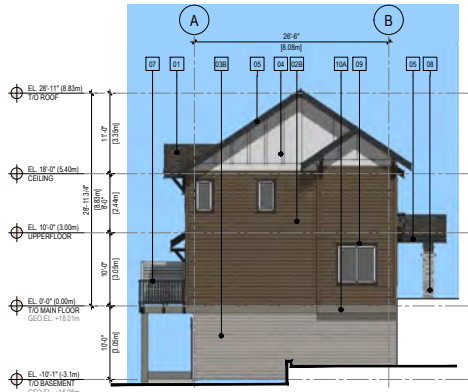
SCALE: 1/8" = 1'-0"	DESIGN: 0
DRAWING NO. A4.17	PROJECT NO. 21-1118



1 WEST ELEVATION
A4.18 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
A4.18 SCALE: 1/8" = 1'-0"



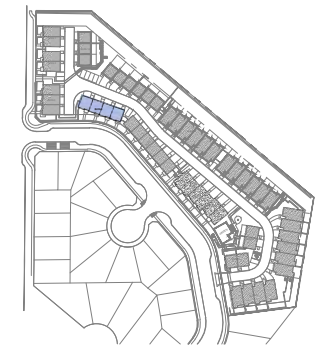
3 EAST ELEVATION
A4.18 SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
A4.18 SCALE: 1/8" = 1'-0"

MATERIALS AND COLOURS LEGEND

17	ASPHALT ROOF SHINGLES
18	SLATE BLACK
19	SHINGLE SIDING
20	FOUNDRY SIDING, GRAYNE SHINGLE CAPE GRAY 401
21	SHINGLE SIDING
22	FOUNDRY SIDING, GRAYNE SHINGLE ASPEN BROWN 405
23	HORIZONTAL VINYL SIDING
24	GENTEX (SQUOJA SELECT) (WICKER)
25	HORIZONTAL VINYL SIDING
26	GENTEX (SQUOJA SELECT) (LINEN BOARD AND BATTEN PAINTED (JULIA OUK101-4) (BETTY TRAIL)
27	FASCIA BOARD
28	JULIA OUK101-1 (BLACK MAGIC)
29	GARAGE DOOR
30	JULIA OUK100-2 (ELUSION)
31	WINDOW TRIM PAINTED (ANODIZED BLACK)
32	STONE KENSER
33	CANADIAN STONE VERSETTA STONE, TIGHT CUT STERLING
34	BELLY BAND
35	JULIA OUK100-2 (ELUSION)
36	ENTRANCE DOORS
37	JULIA OUK100-3 (ELUSION)
38	VINYL WINDOW FRAMES (WHITE)
39	GLAZING (HARCON INSULATING GLASS CLEAR)



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
1	MAR 20, 2023	ISSUED FOR DEVELOPER PERMITS	DR/PV	JH

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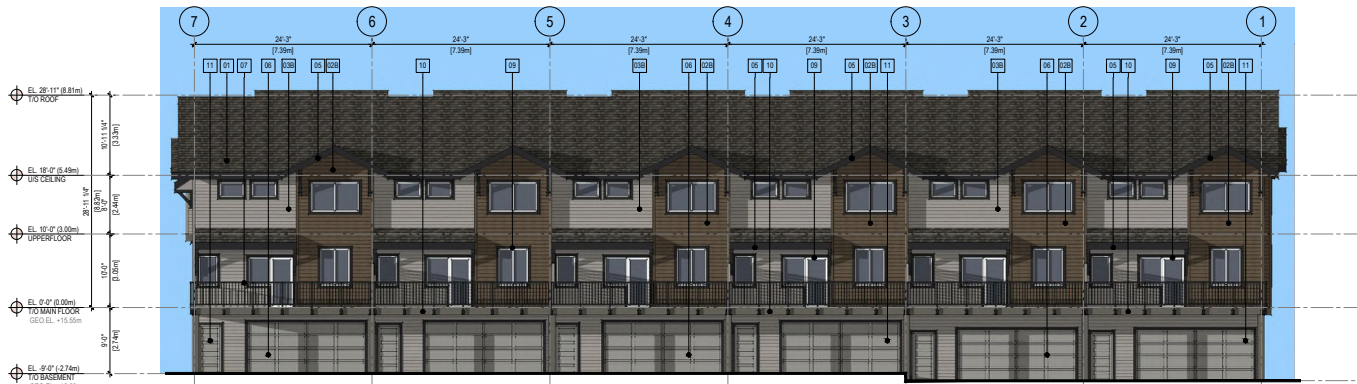
PROJECT:
ABBAY GARDENS TOWNHOMES DEVELOPMENT
 10150 177A ST
 SURREY, BC

COLORED ELEVATIONS BUILDING 4

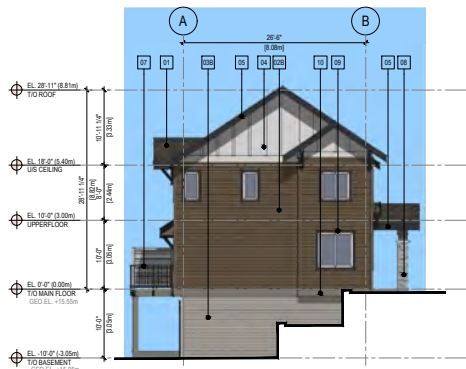
SCALE: 1/8" = 1'-0"	ISSUE: 0
DRAWING NO. A4.18	PROJECT NO. 21-1118



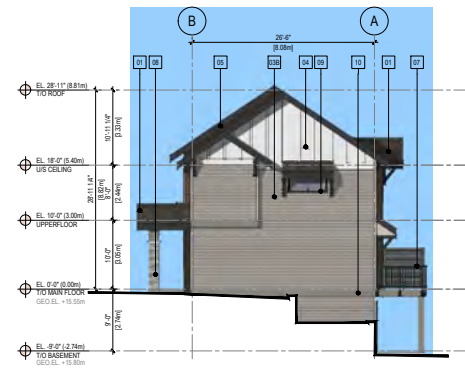
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A4.19 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
A4.19 SCALE: 1/8" = 1'-0"



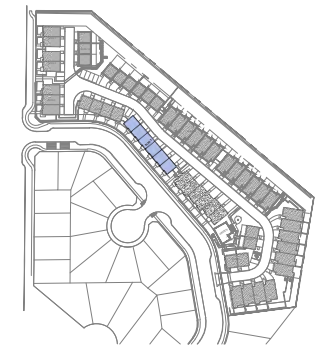
3 NORTH ELEVATION
A4.19 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
A4.19 SCALE: 1/8" = 1'-0"

MATERIALS AND COLOURS LEGEND

17	ASPHALT ROOF SHINGLES
18	SLATE BLACK
19	SHINGLE SIDING
20	FOUNDRY SIDING, GRAYNE SHINGLE CAPE GRAY 401
21	SHINGLE SIDING
22	FOUNDRY SIDING, GRAYNE SHINGLE ASPEN BROWN 405
23A	HORIZONTAL VINYL SIDING
23B	GENTEX (SEDONA SELECT) (WICKER)
24	HORIZONTAL VINYL SIDING
25	GENTEX (SEDONA SELECT) (LINEN)
26	BOARD AND BATTEN PAINTED (DULUX OLI1001-4 SILVER TRAIL)
27	FASCIA BOARD
28	DULUX OLI1001-1 BLACK MAGIC
29	GARAGE DOOR
30	DULUX OLI1005-2 ELLISION
31	ALUMINUM RAILING (ANODIZED BLACK)
32	STONE KENSER
33	CANADIAN STONE VERSETTA STONE, TIGHT CUT STERLING
34	WINDOW TRIM PAINTED (DULUX OLI1005-2 ELLISION)
35	BELLY BAND
36	DULUX OLI1005-2 ELLISION
37	ENTRANCE DOORS (DULUX OLI1005-2 ELLISION)
38	VINYL WINDOW FRAMES (SIFITE)
39	GLAZING (HARCON INSULATING GLASS CLEAR)



KEY SITE PLAN
SCALE: 1/16" = 1'-0"

1 MAR 2020 REVISION FOR DUAL/PKWT PERM DR/PV JH

REV.	DATE	DESCRIPTION	DR	PV

PROJECT:
**ABBAY GARDENS
 TOWNHOMES
 DEVELOPMENT**
 10150 177A ST
 SURREY, BC

SHEET TITLE:
**COLORED
 ELEVATIONS
 BUILDING 5**

SCALE	1/8" = 1'-0"	DESIGN	0
DRAWING NO.	A4.19	PROJECT NO.	21-1118

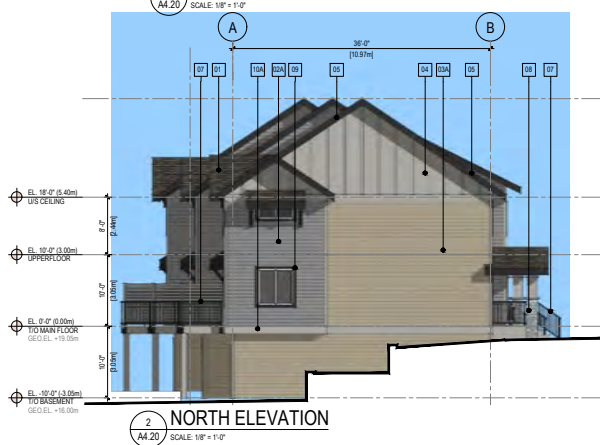
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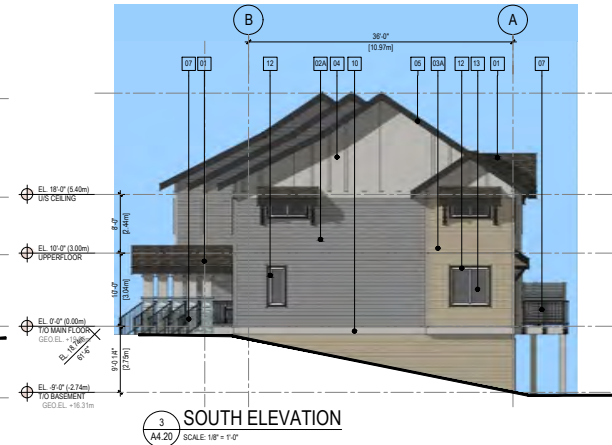
1 WEST ELEVATION
A4.20 SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
A4.20 SCALE: 1/8" = 1'-0"



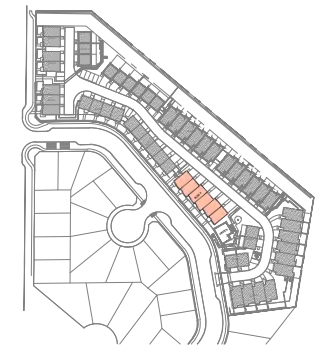
2 NORTH ELEVATION
A4.20 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
A4.20 SCALE: 1/8" = 1'-0"

MATERIALS AND COLOURS LEGEND

01	ASPHALT ROOF SHINGLES
02	SLATE BLACK
03	SHINGLE SIDING
04	FOUNDRY SIDING, GRAYNE SHINGLE CAPE GRAY 401
05	SHINGLE SIDING
06	FOUNDRY SIDING, GRAYNE SHINGLE ASPEN BROWN 405
07	HORIZONTAL VINYL SIDING
08	GENTEX (SEQUOIA SELECT) (WICKER)
09	HORIZONTAL VINYL SIDING
10	GENTEX (SEQUOIA SELECT) (LINEN)
11	BOARD AND BATTEN PAINTED (DULUX DUX100-4 SILVER TRAIL)
12	FASCIA BOARD
13	(DULUX DUX100-2 BLACK MAGIC)
14	GARAGE DOOR
15	(DULUX DUX100-2 ELUSION)
16	ALUMINUM BALCONY
17	(ANODIZED BLACK)
18	STONE KENSER
19	CANADIAN STONE VERSETTA STONE, TIGHT CUT STERLING
20	WINDOW TRIM PAINTED (DULUX DUX100-2 ELUSION)
21	BELLY BAND (DULUX DUX100-2 ELUSION)
22	ENTRANCE DOOR (DULUX DUX100-2 ELUSION)
23	VINYL WINDOW FRAMES (SIFITE)
24	GLAZING (HARCON INSULATING GLASS CLEAR)



KEY SITE PLAN
SCALE: 1/162" = 1'-0"

1 MAR 2020 ISSUED FOR DEVELOPER PERMITS DRVP JH
REV. DATE DESCRIPTION DR. REV.

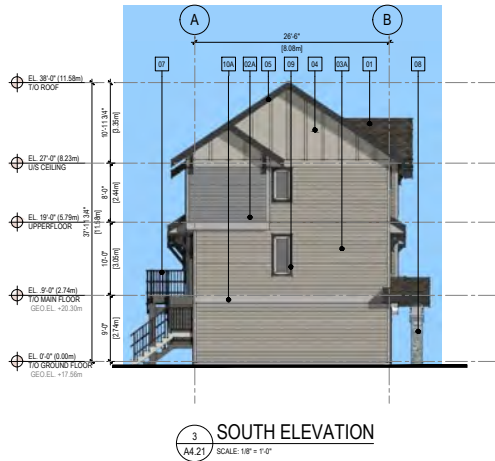
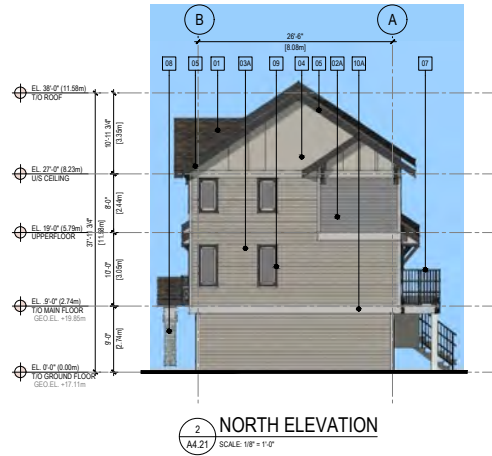
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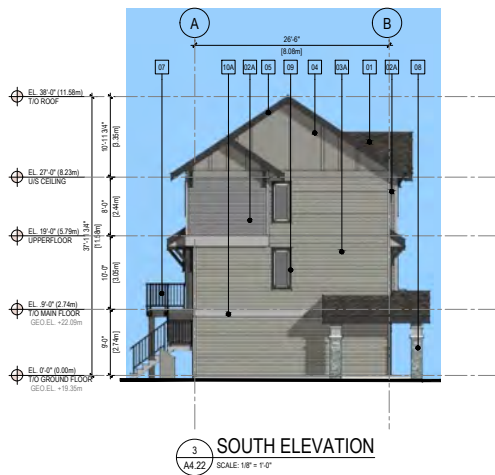
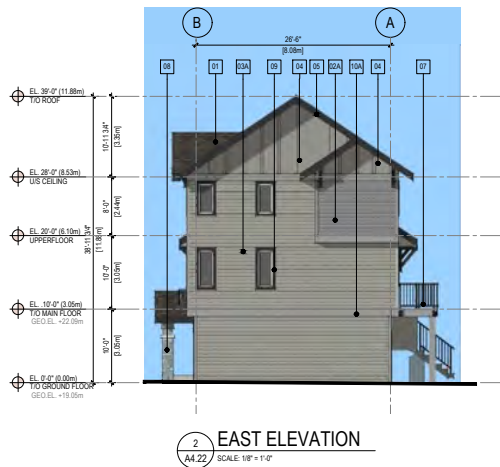
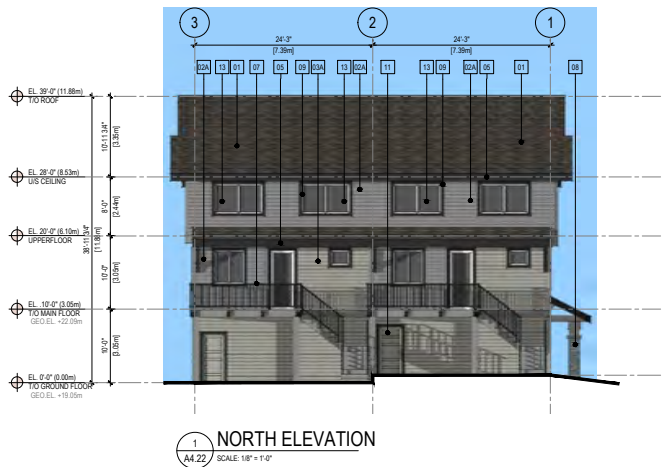
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PROJECT:
ABBAY GARDENS
TOWNHOMES
DEVELOPMENT
10150 177A ST
SURREY, BC

SHEET TITLE:
COLORED
ELEVATIONS
BUILDING 6

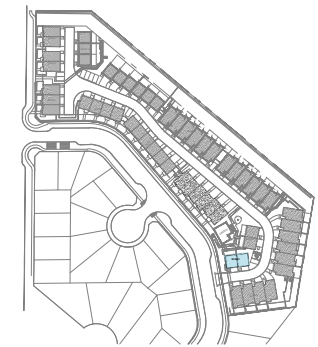
SCALE: 1/8" = 1'-0"	SHEET NO: 6
DRAWING NO: A4.20	PROJECT NO: 21-1118





MATERIALS AND COLOURS LEGEND

17	ASPHALT ROOF SHINGLES
18	SLATE BLACK
19	SHINGLE SIDING
20	FOUNDRY SIDING, GRAYNE SHINGLE CAPE GRAY 401
21	SHINGLE SIDING
22	FOUNDRY SIDING, GRAYNE SHINGLE ASPEN BROWN 45
23A	HORIZONTAL VINYL SIDING
23B	GEMTEK (SEDONA SELECT) (WICKER)
24	HORIZONTAL VINYL SIDING
25	GEMTEK (SEDONA SELECT) (LINEN BOARD AND BATTEN PAINTED (DULUX DUX100-4 SILBY TRAIL)
26	FASCIA BOARD
27	DULUX DUX100-1 BLACK MAGIC
28	GARAGE DOOR
29	DULUX DUX100-2 ELLUSION
30	ALUMINUM RAILING
31	STONE KENSER
32	CANADIAN STONE VERSETTA STONE, TIGHT CUT STERLING
33	WINDOW TRIM PAINTED (DULUX DUX100-7 BLACK MAGIC)
34	BELLY BAND
35	DULUX DUX100-3 ELLUSION
36	ENTRANCE DOORS
37	DULUX DUX100-5 ELLUSION
38	VINYL WINDOW FRAMES (SHIFTS)
39	GLAZING
40	(HVRCON INSULATING GLASS CLEAR)



KEY SITE PLAN
SCALE: 1/128" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
1	MAR 20, 2018	ISSUED FOR DEVELOPER PERMITS	DP/VP	JH

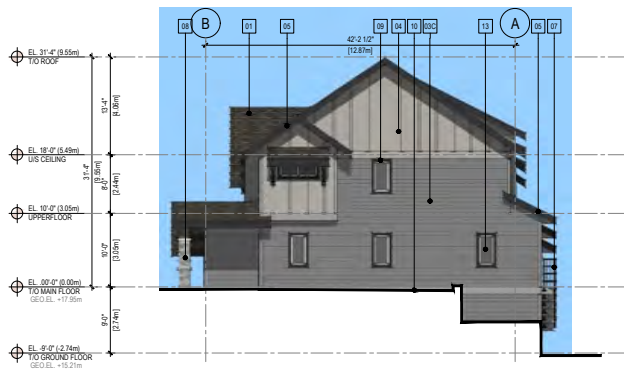
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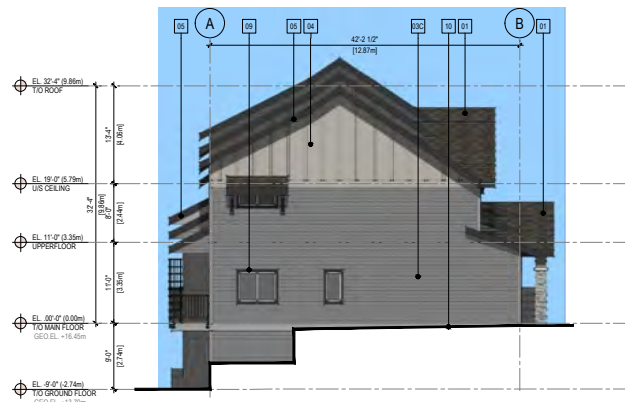
PROJECT:
ABBAY GARDENS TOWNHOMES DEVELOPMENT
10150 177A ST
SURREY, BC

SHEET TITLE:
COLORED ELEVATIONS BUILDING 8

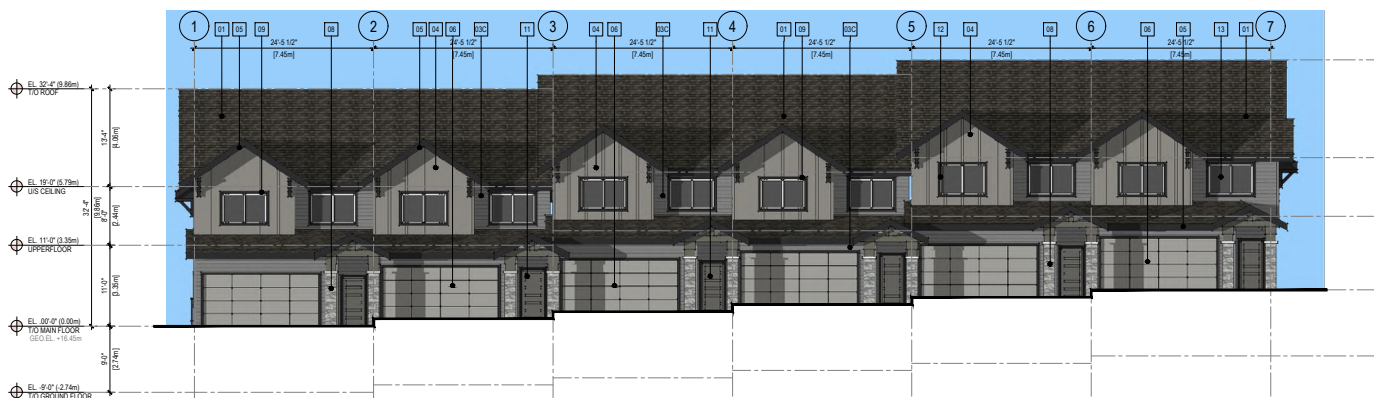
SCALE: 1/8" = 1'-0"	SHEET: 8
DRAWING NO. A4.22	PROJECT NO. 21-1118



1 NORTH ELEVATION
A4.24 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
A4.24 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
A4.24 SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
A4.24 SCALE: 1/8" = 1'-0"

MATERIALS AND COLOURS LEGEND

01	ASPHALT ROOF SHINGLES
02	SLATE BLACK SHINGLE SIDING
03	FOUNDRY SIDING, GRAYE SHINGLE CAPE GRAY 451
04	SHINGLE SIDING
05	FOUNDRY SIDING, GRAYE SHINGLE ASPEN BROWN 415
06	HORIZONTAL VINYL SIDING
07	GENTEX SEDONA SELECT (WICKER)
08	HORIZONTAL VINYL SIDING
09	GENTEX SEDONA SELECT (LINEN)
10	HORIZONTAL VINYL SIDING
11	GENTEX SEDONA SELECT (SHEPHERD GRAY)
12	BOARD AND BATTEN PAINTED
13	QUICK DRY 1001-4 (DUSTY TRAIL)
14	FAUX CHA BOARD
15	QUICK DRY 1001-7 (BLACK MAGIC)
16	GARAGE DOOR
17	QUICK DRY 1005-2 (ELUSION)
18	ALUMINUM BALCONY (ANODIZED BLACK)
19	STONE KENSER
20	CANADIAN STONE VERSETTA STONE, TIGHT CUT STERLING
21	WINDOW TRIM PAINTED
22	QUICK DRY 1001-7 (BLACK MAGIC)
23	BELLY BAND
24	QUICK DRY 1005-2 (ELUSION)
25	ENTRANCE DOORS
26	QUICK DRY 1005-2 (ELUSION)
27	VINYL WINDOW FRAMES
28	(SIFTE)
29	GLAZING
30	(HYBRON INSULATING GLASS CLEAR)



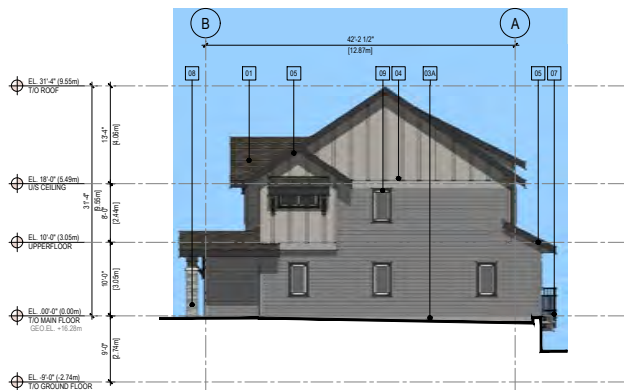
KEY SITE PLAN
SCALE: 1/162" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
1	MAR 20, 2023	ISSUED FOR DEVELOPER PERMITS	DP/VP	JH

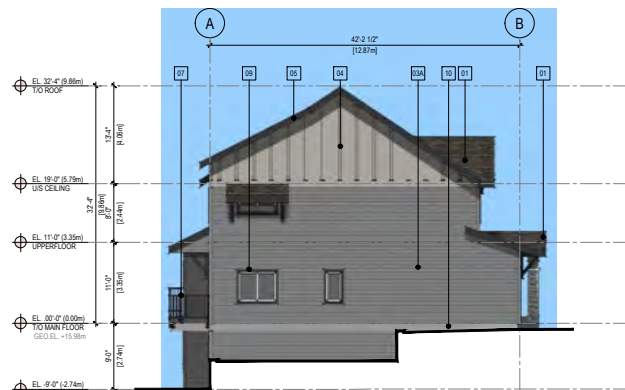
PROJECT:
**ABBAY GARDENS
TOWNHOMES
DEVELOPMENT**
10150 177A ST
SURREY, BC

SHEET TITLE:
**COLORED
ELEVATIONS
BUILDING 10**

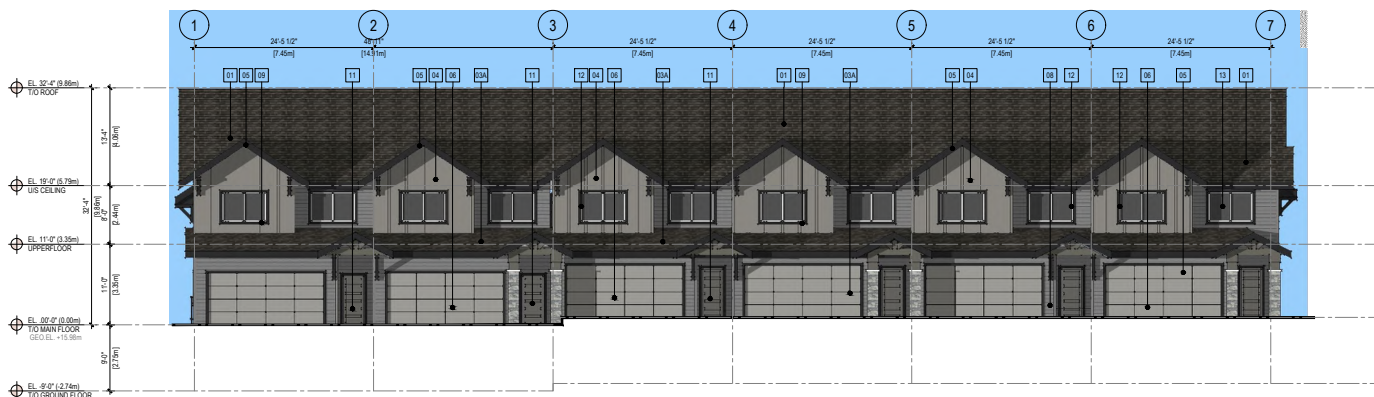
SCALE: 1/8" = 1'-0"	SHEET: 8
DRAWING NO. A4.24	PROJECT NO. 21-1118



1 NORTH ELEVATION
A4.25 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
A4.25 SCALE: 1/8" = 1'-0"



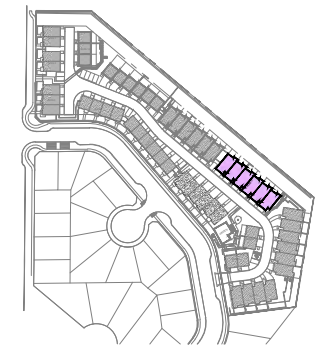
1 WEST ELEVATION
A4.25 SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
A4.25 SCALE: 1/8" = 1'-0"

MATERIALS AND COLOURS LEGEND

01	ASPHALT ROOF SHINGLES
02	SLATE BLACK SHINGLE SIDING
03	FOUNDRY SIDING, GRAYNE SHINGLE CAPE GRAY 451
04	SHINGLE SIDING
05	FOUNDRY SIDING, GRAYNE SHINGLE ASPEN BROWN 415
06	HORIZONTAL VINYL SIDING
07	GENTEX SEDONA SELECT (WICKER)
08	GENTEX SEDONA SELECT (LINEN)
09	HORIZONTAL VINYL SIDING
10	GENTEX SEDONA SELECT (CHEAPEAKE GRAY)
11	BOARD AND BATTEN PAINTED
12	QUICK DRY 1001-7 BLACK MAGIC
13	PAISIA BOARD
14	QUICK DRY 1001-1 BLACK MAGIC
15	GARAGE DOOR
16	QUICK DRY 1005-2 ELLISON
17	ALUMINUM FINISH
18	(ANODIZED BLACK)
19	STONE KENSER
20	CANADIAN STONE VERSETTA STONE, TIGHT CUT STERLING
21	WINDOW TRIM PAINTED
22	QUICK DRY 1001-7 BLACK MAGIC
23	BELLY BAND
24	QUICK DRY 1005-2 ELLISON
25	ENTRANCE DOORS
26	QUICK DRY 1005-2 ELLISON
27	VINYL WINDOW FRAMES
28	(WHITE)
29	GLAZING
30	(VIRACON INSULATING GLASS CLEAR)



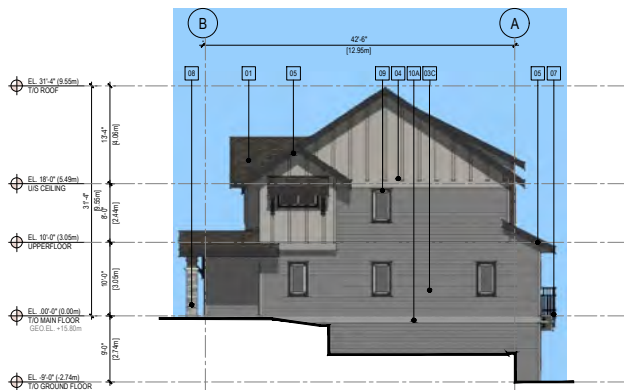
KEY SITE PLAN
SCALE: 1/16" = 1'-0"

1	MAR 20 2025	ISSUED FOR DEVELOPER PERMITS	DR	JH
REV	DATE	DESCRIPTION	DR	RV

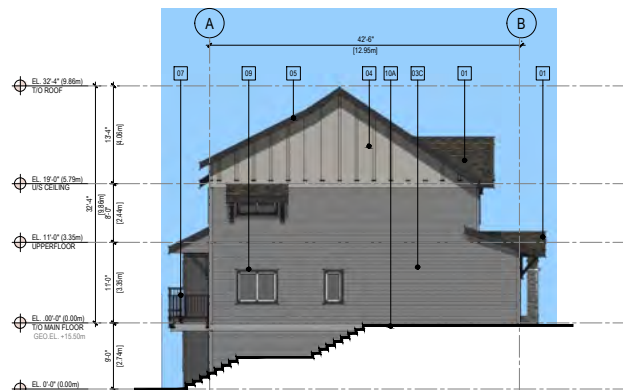
PROJECT:
**ABBAY GARDENS
 TOWNHOMES
 DEVELOPMENT**
 10150 177A ST
 SURREY, BC

SHEET TITLE:
**COLORED
 ELEVATIONS
 BUILDING 11**

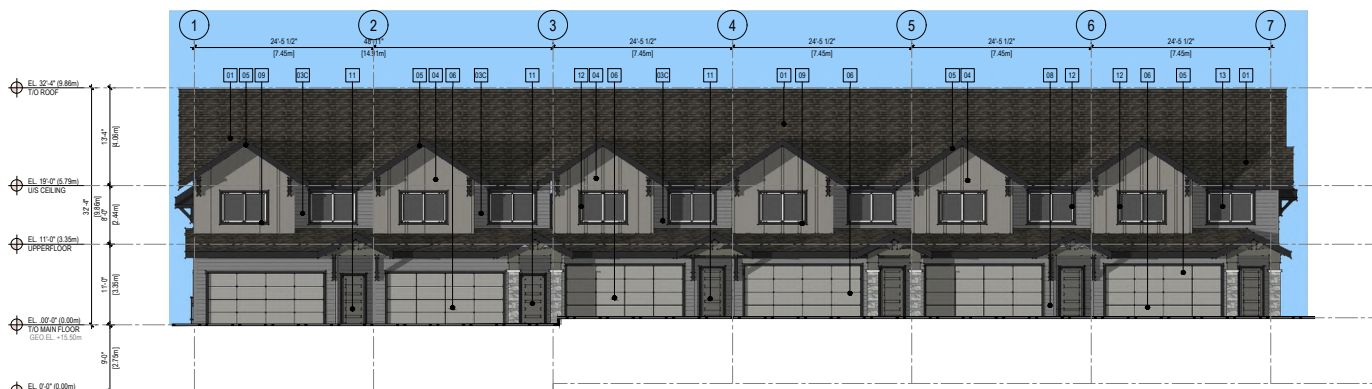
SCALE:	1/8" = 1'-0"	SHEET NO.	9
DRAWING NO.	A4.25	PROJECT NO.	21-1118



1 NORTH ELEVATION
A4.26 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
A4.26 SCALE: 1/8" = 1'-0"



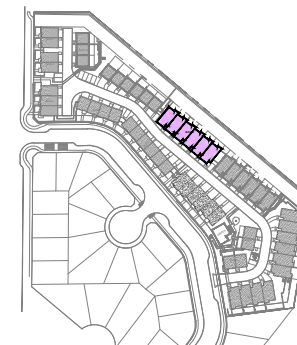
1 WEST ELEVATION
A4.26 SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
A4.26 SCALE: 1/8" = 1'-0"

MATERIALS AND COLOURS LEGEND

- 01 ASPHALT ROOF SHINGLES
- 02 SLATE BLACK SHINGLE SIDING
- 03 FOUNDRY SIDING, GRAYNE SHINGLE CAPE GRAY 451
- 04 SHINGLE SIDING
- 05 FOUNDRY SIDING, GRAYNE SHINGLE ASPEN BROWN 415
- 06 HORIZONTAL VINYL SIDING
- 07 GENTEX (SEDONA SELECT) (WICKER)
- 08 HORIZONTAL VINYL SIDING
- 09 GENTEX (SEDONA SELECT) (LINEN)
- 10 HORIZONTAL VINYL SIDING
- 11 GENTEX (SEDONA SELECT) (CHEAPEAKE GRAY)
- 12 BOARD AND BATTEN PAINTED (GOLUX OL1001-1 DUBY TRAIL)
- 01 FAUCIA BOARD (GOLUX OL1001-1 BLACK MAGIC)
- 02 GARAGE DOOR (GOLUX OL1002-2 ELLISON)
- 03 ALUMINUM BALCONY (ANODIZED BLACK)
- 04 STONE KENSER (CANADIAN STONE VERSETTA STONE, TIGHT CUT STERLING)
- 05 WINDOW TRIM PAINTED (GOLUX OL1001-1 BLACK MAGIC)
- 06 BELLY BAND (GOLUX OL1002-2 ELLISON)
- 07 ENTRANCE DOORS (GOLUX OL1002-2 ELLISON)
- 08 VINYL WINDOW FRAMES (SIFITE)
- 09 GLAZING (HIRACON INSULATING GLASS CLEAR)



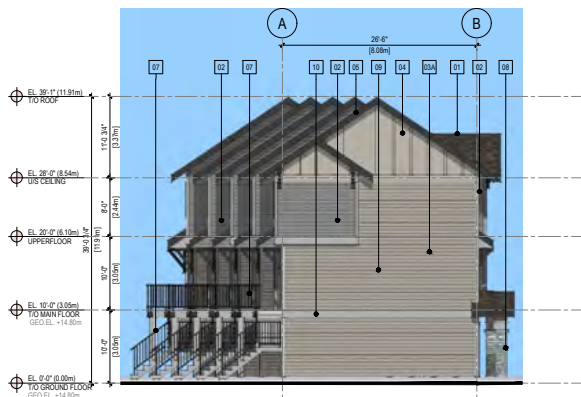
KEY SITE PLAN
SCALE: 1/16" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
1	MAR 20, 2020	ISSUED FOR DEVELOPER PERMITS	DR	JH

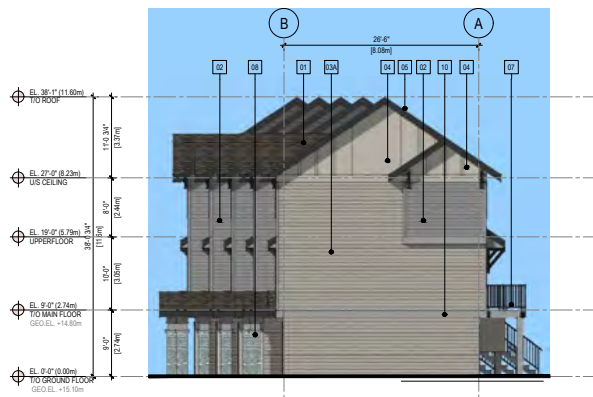
PROJECT:
**ABBAY GARDENS
TOWNHOMES
DEVELOPMENT**
10150 177A ST
SURREY, BC

SHEET TITLE:
**COLORED
ELEVATIONS
BUILDING 12**

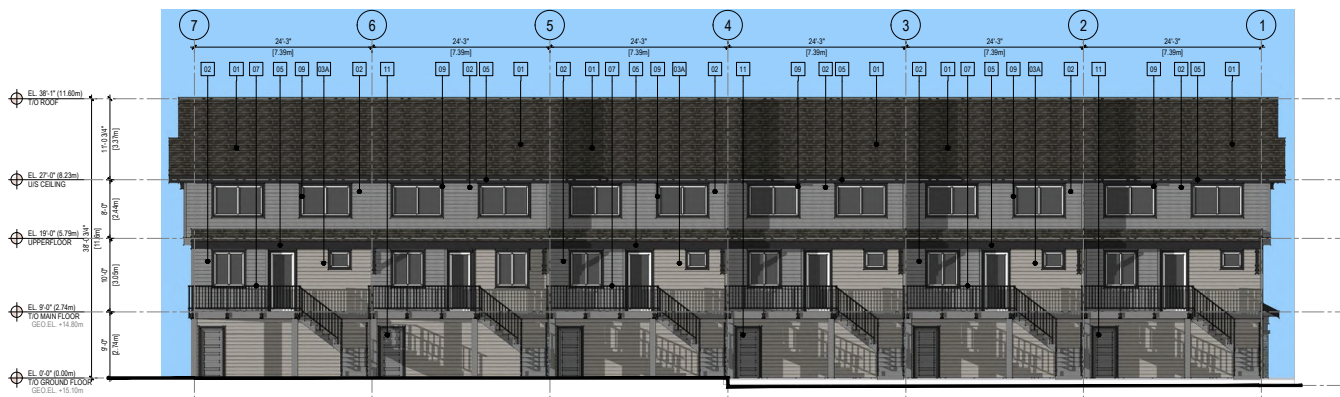
SCALE	1/8" = 1'-0"	SHEET NO.	9
DRAWING NO.	A4.26	PROJECT NO.	21-1118



1 NORTH ELEVATION
A4.27 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
A4.27 SCALE: 1/8" = 1'-0"



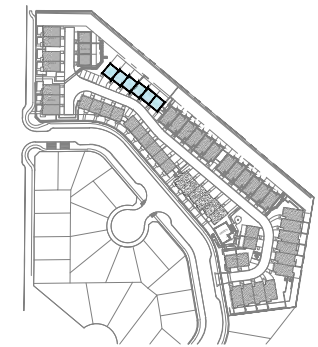
1 EAST ELEVATION
A4.27 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
A4.27 SCALE: 1/8" = 1'-0"

MATERIALS AND COLOURS LEGEND

- 01 ASPHALT ROOF SHINGLES
- 02 SLATE BLACK
- 03 SHINGLE SIDING
- 04 FOAMERY SIDING, GRAYNE SHINGLE CAPE GRAY 401
- 05 SHINGLE SIDING
- 06 FOAMERY SIDING, GRAYNE SHINGLE ASPEN BROWN 405
- 07 HORIZONTAL VINYL SIDING
- 08 GENTEX (SOLUXA SELECT (WICKER))
- 09 HORIZONTAL VINYL SIDING
- 10 GENTEX (SOLUXA SELECT (LINEN))
- 11 BOARD AND BATTEN PAINTED (SOLUX OL1001-4 SILVER TRAIL)
- 12 FASCIA BOARD
- 13 SOLUX OL1001-7 BLACK MAGIC
- 14 GARAGE DOOR
- 15 SOLUX OL1005-2 ELUSION
- 16 ALUMINUM RAILING
- 17 ANODIZED BLACK
- 18 STONE KENSER
- 19 CANADIAN STONE VERSETTA STONE, TIGHT CUT STERLING
- 20 WINDOW TRIM PAINTED (SOLUX OL1001-7 BLACK MAGIC)
- 21 BELLY BAND
- 22 SOLUX OL1005-2 ELUSION
- 23 ENTRANCE DOORS
- 24 SOLUX OL1005-2 ELUSION
- 25 VINYL WINDOW FRAMES
- 26 (SHIFTS)
- 27 GLAZING
- 28 (VIRACON INSULATING GLASS CLEAR)



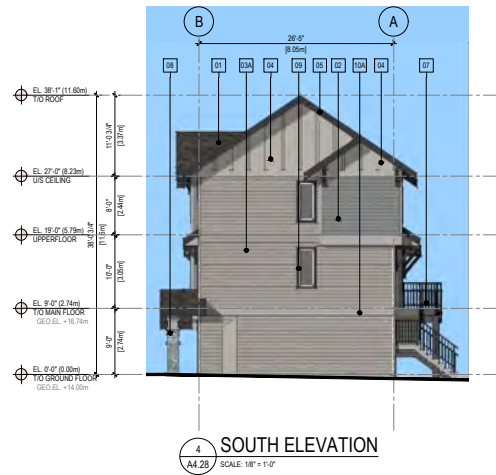
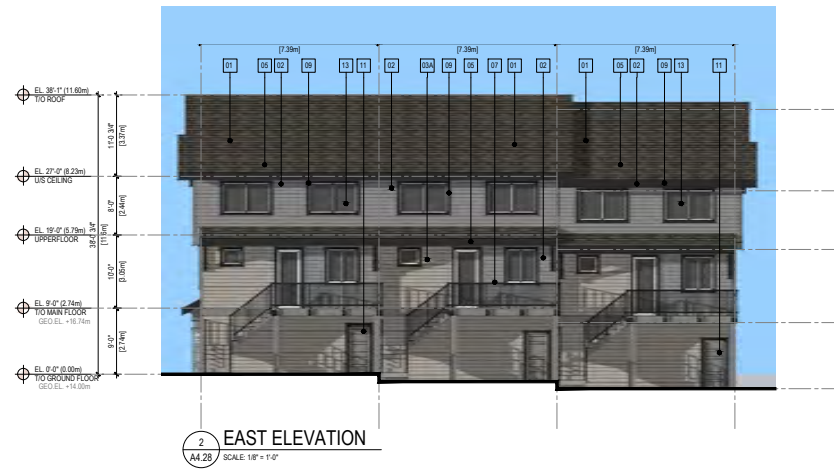
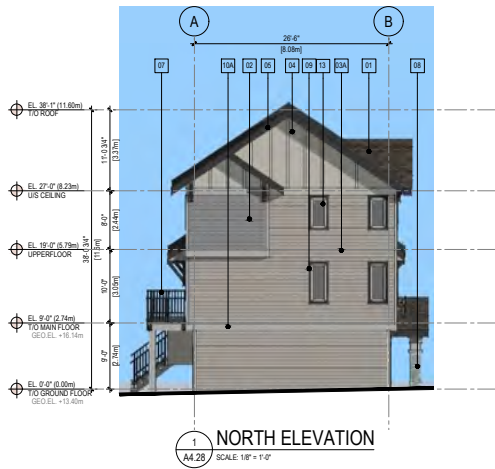
KEY SITE PLAN
SCALE: 1/16" = 1'-0"

REV.	DATE	DESCRIPTION	DR	RV
1	MAR 20 2018	ISSUED FOR DEVELOPER PERMITS	DPV/P	JH

PROJECT:
**ABBEY GARDENS
TOWNHOMES
DEVELOPMENT**
10150 177A ST
SURREY, BC

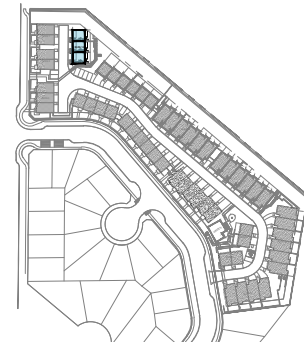
SHEET TITLE:
**COLORED
ELEVATIONS
BUILDING 13**

SCALE: 1/8" = 1'-0"	ISSUE: 0
DRAWING NO. A4.27	PROJECT NO. 21-1118



MATERIALS AND COLOURS LEGEND

01	ASPHALT ROOF SHINGLES
02	SLATE BLACK
03	SHINGLE SIDING
04	FOUNDRY SIDING, GRAYNE SHINGLE CAPE GRAY 401
05	SHINGLE SIDING
06	FOUNDRY SIDING, GRAYNE SHINGLE ASPEN BROWN 405
07	HORIZONTAL VINYL SIDING
08	GEMTEK (SEDONA SELECT) (WICKER)
09	HORIZONTAL VINYL SIDING
10	GEMTEK (SEDONA SELECT) (LINEN BOARD AND BATTEN PAINTED (DULUX DUX100-4 SILVER TRAIL))
11	FASCIA BOARD
12	DULUX DUX100-2 BLACK MAGIC
13	ALUMINUM RAILING
14	ALUMINUM RAILING (ANODIZED BLACK)
15	STONE KENSER
16	CANADIAN STONE VERSETTA STONE, TIGHT CUT STERLING
17	WINDOW TRIM PAINTED (DULUX DUX100-2 ELUSION)
18	BELLY BAND (DULUX DUX100-2 ELUSION)
19	WINDOW TRIM PAINTED (DULUX DUX100-7 BLACK MAGIC)
20	BELLY BAND (DULUX DUX100-7 BLACK MAGIC)
21	ENTRANCE DOORS (DULUX DUX100-2 ELUSION)
22	ENTRANCE DOORS (DULUX DUX100-7 BLACK MAGIC)
23	GLAZING
24	(HYDRON INSULATING GLASS CLEAR)



1 MAR 2020 ISSUED FOR DEVELOPER PERMITS DRVP JH

REV DATE DESCRIPTION DR RV

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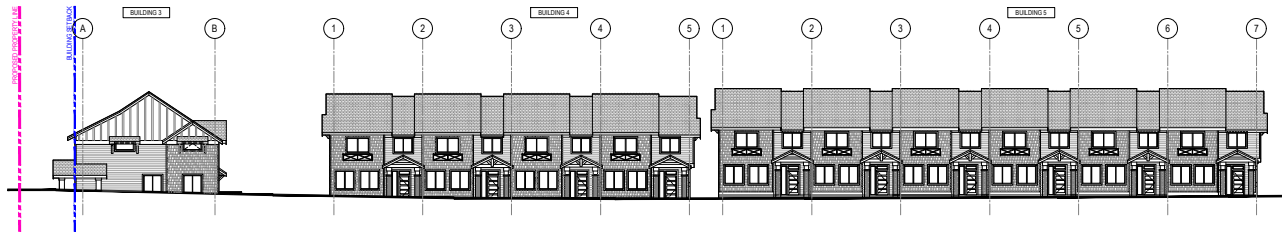
PROJECT:
ABBAY GARDENS
TOWNHOMES
DEVELOPMENT
10150 177A ST
SURREY, BC

SHEET TITLE:
COLORED
ELEVATIONS
BUILDING 14

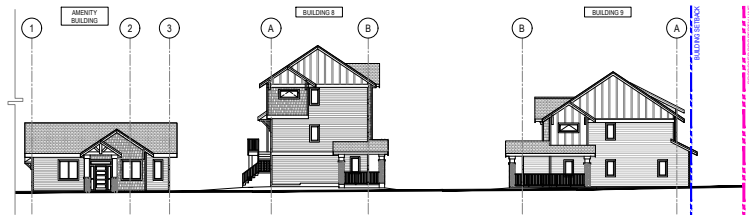
SCALE: 1/8" = 1'-0" SHEET NO: 9
DRAWING NO. PROJECT NO.
A4.28 21-1118



1 WEST ELEVATION (177A STREET)
A4.29 SCALE: 1/16" = 1'-0"



2 SOUTHWEST ELEVATION (NEW STREET) [1 OF 2]
A4.29 SCALE: 1/16" = 1'-0"



3 SOUTHWEST ELEVATION (NEW STREET) [2 OF 2]
A4.29 SCALE: 1/16" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV

1 MAR 2023 ISSUED FOR DEVELOPMENT PERM DRVP JH

REV DATE DESCRIPTION DR RV

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PROJ: 118-AM-2023-03-01-PA-0000

PROJECT: ABBEY GARDENS TOWNHOMES DEVELOPMENT

10150 177A ST SURREY, BC

SHEET TITLE: OVERALL STREETVIEWS

SCALE: 1/16" = 1'-0"

DRAWING NO: A4.29

PROJECT NO: 21-1118

DATE: 11/03/2023 11:58 AM ARCHITECTURE/PA/Development/PA/00/Working/Drawings/118-AM-2023-03-01-PA-0000

DATE: 11/03/2023 11:58 AM ARCHITECTURE/PA/Development/PA/00/Working/Drawings/118-AM-2023-03-01-PA-0000

DATE: 11/03/2023 11:58 AM ARCHITECTURE/PA/Development/PA/00/Working/Drawings/118-AM-2023-03-01-PA-0000

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DATE: 11/03/2023 11:58 AM ARCHITECTURE/PA/Development/PA/00/Working/Drawings/118-AM-2023-03-01-PA-0000

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DATE: 11/03/2023 11:58 AM ARCHITECTURE/PA/Development/PA/00/Working/Drawings/118-AM-2023-03-01-PA-0000



BUILDING 1 & 2 (FROM DRIVEWAY)



BUILDING 1 & 2 (FROM 177A ST.)



BUILDING 4 (FROM DRIVEWAY)

REV	DATE	DESCRIPTION	DR	RV

1 MAR 2023 ISSUED FOR DEVELOPMENT PERMITS DRVP JH

2 APR 2023 REVISED PERMITS DRVP JH

3 MAY 2023 REVISED PERMITS DRVP JH

4 JUN 2023 REVISED PERMITS DRVP JH

5 JUL 2023 REVISED PERMITS DRVP JH

6 AUG 2023 REVISED PERMITS DRVP JH

7 SEP 2023 REVISED PERMITS DRVP JH

8 OCT 2023 REVISED PERMITS DRVP JH

9 NOV 2023 REVISED PERMITS DRVP JH

10 DEC 2023 REVISED PERMITS DRVP JH

11 JAN 2024 REVISED PERMITS DRVP JH

12 FEB 2024 REVISED PERMITS DRVP JH

13 MAR 2024 REVISED PERMITS DRVP JH

14 APR 2024 REVISED PERMITS DRVP JH

15 MAY 2024 REVISED PERMITS DRVP JH

16 JUN 2024 REVISED PERMITS DRVP JH

17 JUL 2024 REVISED PERMITS DRVP JH

18 AUG 2024 REVISED PERMITS DRVP JH

19 SEP 2024 REVISED PERMITS DRVP JH

20 OCT 2024 REVISED PERMITS DRVP JH

21 NOV 2024 REVISED PERMITS DRVP JH

22 DEC 2024 REVISED PERMITS DRVP JH

23 JAN 2025 REVISED PERMITS DRVP JH

24 FEB 2025 REVISED PERMITS DRVP JH

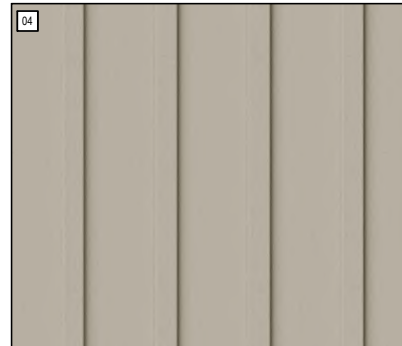
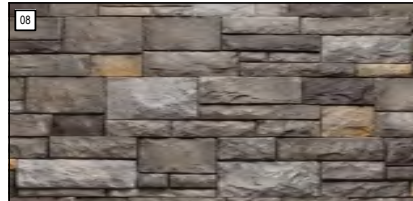
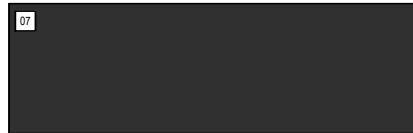
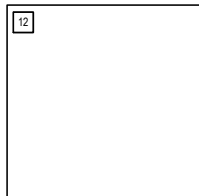
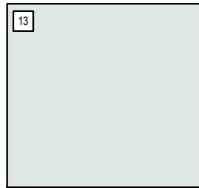
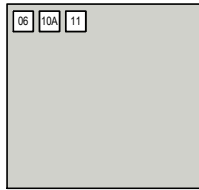
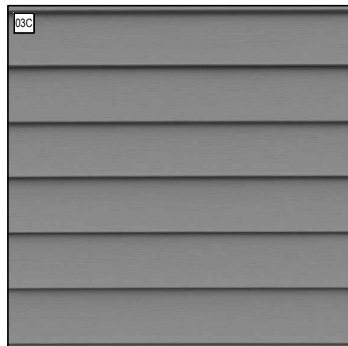
25 MAR 2025 REVISED PERMITS DRVP JH

PROJECT:
**ABBAY GARDENS
TOWNHOMES
DEVELOPMENT**
10150 177A ST
SURREY, BC

SHEET TITLE:
PERSPECTIVES

SCALE:	NOT TO SCALE	REVISION:	0
DRAWING NO.:	A9.2	PROJECT NO.:	21-1118

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MATERIALS AND COLOURS LEGEND	
01	ASPHALT ROOF SHINGLES SLATE BLACK
02A	SHINGLE SIDING -FOLKERT SIDING, GRAYNE SHINGLE CAPE GRAY 401
02B	SHINGLE SIDING -FOLKERT SIDING, GRAYNE SHINGLE ASPEN BROWN 405
03A	HORIZONTAL VINYL SIDING -GENTEK BEQUZIA SELECT (WICKER)
03B	HORIZONTAL VINYL SIDING -GENTEK BEQUZIA SELECT (LINEN)
03C	HORIZONTAL VINYL SIDING -GENTEK BEQUZIA SELECT (CHESAPEAKE GRAY)
04	BOARDS AND BATTEN PAINTED -DULUX DLY100-7 DUSTY TRAIL
05	FACIA BOARD -DULUX DLY100-7 BLACK MAGIC
06	BOARDS AND BATTEN PAINTED -DULUX DLY100-7 BLACK MAGIC
07	ALUMINUM RAILING -BRIDGES BLACK
08	STONE VENEER -CANADIAN STONE VERSETTA STONE, TIGHT OUT STERLING
09	WINDOW TRIM PAINTED -DULUX DLY100-7 BLACK MAGIC
10	BELLY BAND -DULUX DLY100-7 BLACK MAGIC
10A	ENTRANCE DOOR -DULUX DLY100-2 ELUSION
11	VINYL WINDOW FRAMES -GRETEL
12	GLAZING -VIBRACON INSULATING GLASS CLEAR
13	

REV	DATE	DESCRIPTION	DR	RV
1	MAR 20 2018	ISSUED FOR DEVELOPMENT PERM	DRVP	JH

1 MAR 20 2018 ISSUED FOR DEVELOPMENT PERM DRVP JH

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PROJECT:
**ABBEY GARDENS
 TOWNHOMES
 DEVELOPMENT**
 10160 177A ST
 SURREY, BC

SHEET TITLE:
**MATERIAL
 BOARD**

SCALE:
NOT TO SCALE
 DRAWING NO.:
A9.3

VERSION:
0
 PROJECT NO.:
21-1118

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Daly Road Townhomes

Issued for Development Permit

Contact Information	Other Key Contacts:	
VDZ+A Fort Langley Studio 100 - 9181 Church Street Fort Langley, British Columbia, V5M 2P9 Mount Pleasant Studio 102-3535 Kingsway Vancouver, British Columbia, V5T 3J7 Primary project contact: Mason Tierney mason@vdz.ca o. 604 546 0928 Alternate contacts (in case away): Mark van der Zant Principal Landscape Architect mark@vdz.ca o. 604 546 0920	Fordage Homes 201-6529 117B Street, Surrey, BC 778 471 2111	Adrian Martin 203-13448 62nd Avenue Surrey, BC 604 567 9086
Legal Address and Description:		
DISTRICT LOT 389A GROUP 2 NEW WESTMINSTER DISTRICT PLAN EPP65276		

Sheet List Table

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02	TREE PROTECTION PLAN A
L-03	SITE PLAN
L-03A	LANDSCAPE PLAN
L-03B	LANDSCAPE PLAN
L-03C	LANDSCAPE PLAN
L-03D	LANDSCAPE PLAN
L-03E	LANDSCAPE PLAN
L-03F	LANDSCAPE PLAN
L-04	PLANTING PALETTE
LS-01	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS



1 SITE PLAN OVERVIEW
Scale 1:300



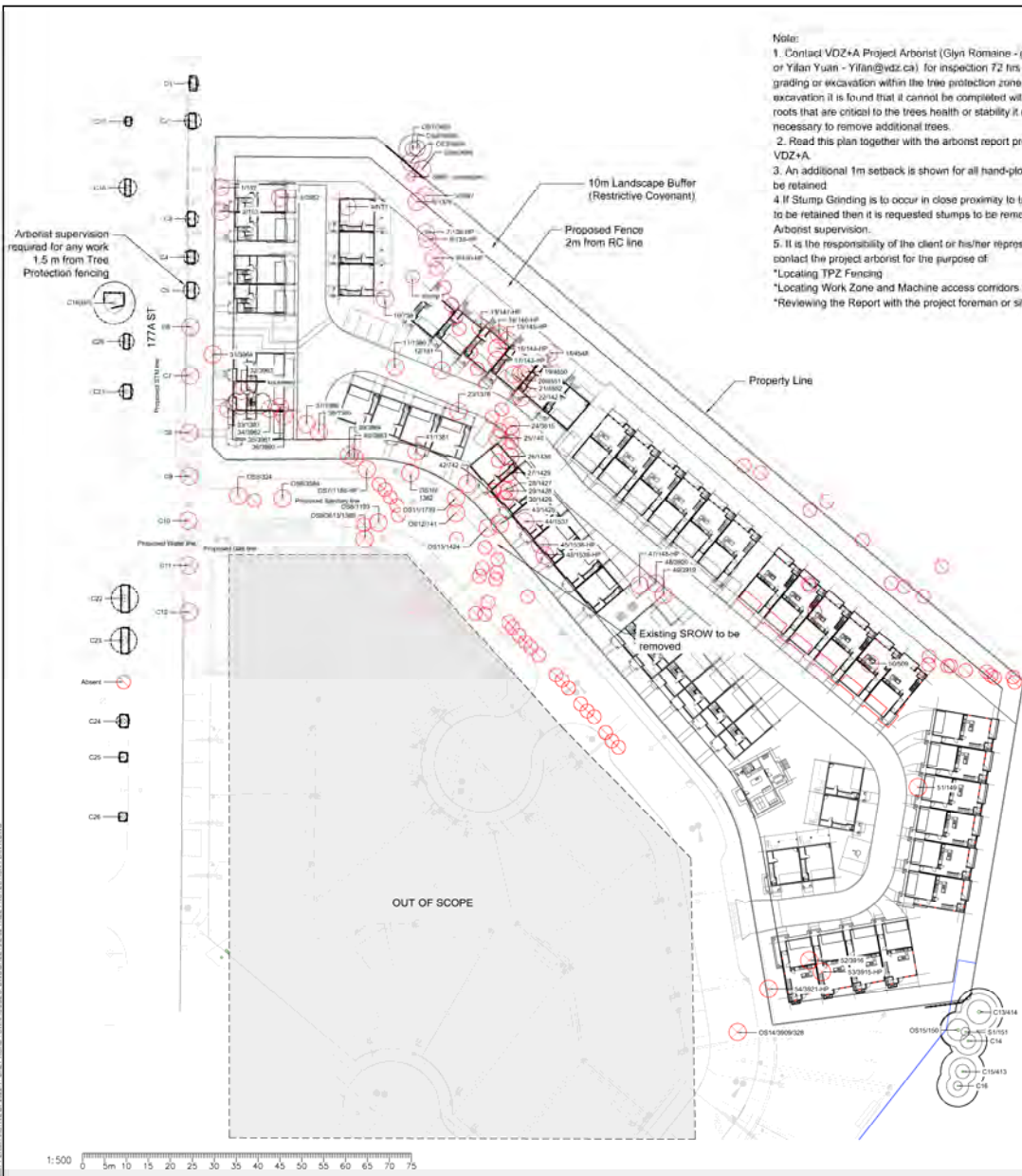
2 LOCATION MAP
Scale 1:300

REVISIONS TABLE FOR DRAWINGS			
No.	By:	Description	Date
1	MT	Issued for DP	2023-06-12
* If change is required, the drawing date stamp in the project at VDZ+A will not be updated or used for other projects without permission.			
REVISIONS TABLE FOR SHEET			
No.	By:	Description	Date
Project: Abbey Gardens Townhouse			
Location: 10150 177A Street, Surrey, BC V4N 5H1			
Drawn: MT	Stamp:		
Checked: MT	Original Sheet Size: 24"x36"		
Approved: MVDZ	Scale:		
AS NOTED	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.		

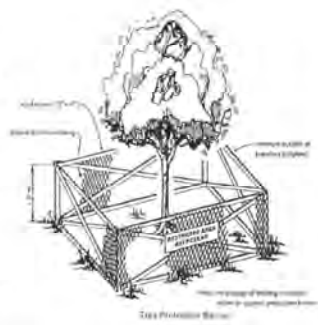
Drawing Title: COVER PAGE
 VDZ Project #: DP2022-11
 Drawing #: L-01

Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIV\DP2022-11 DALY ROAD TOWNHOMES\L-01\VDZ\VDZ+A\COVER PAGE.DWG

PROJECT: 10150 177A STREET, SURREY, BC V4N 5H1. DRAWING: TREE PROTECTION PLAN. DATE: 2022-11-11.



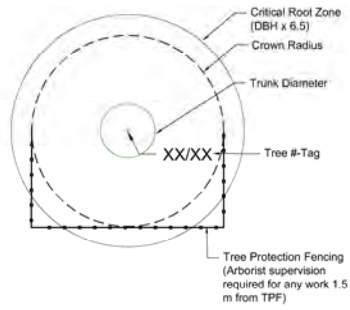
- Note:**
1. Contact Vdz+A Project Arborist (Glyn Romaine - glyn@vdz.ca or Yifan Yuan - Yifan@vdz.ca) for inspection 72 hrs prior to any grading or excavation within the tree protection zone. (typ) If during excavation it is found that it cannot be completed without severing trees that are critical to the trees health or stability it may be necessary to remove additional trees.
 2. Read this plan together with the arborist report prepared by Vdz+A.
 3. An additional 1m setback is shown for all hand-plotted trees to be retained.
 4. If Stump Grinding is to occur in close proximity to trees which are to be retained then it is requested stumps to be removed under Arborist supervision.
 5. It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:
 - *Locating TPZ Fencing
 - *Locating Work Zone and Machine access corridors where required
 - *Reviewing the Report with the project foreman or site supervisor.



TREE PROTECTION FENCE & TAGS

Tree Number (C#)	Retention (Y/N)	Retention (Y/N)	Retention (Y/N)
01	Y	Y	Y
02	Y	Y	Y
03	Y	Y	Y
04	Y	Y	Y
05	Y	Y	Y
06	Y	Y	Y
07	Y	Y	Y
08	Y	Y	Y
09	Y	Y	Y
10	Y	Y	Y
11	Y	Y	Y
12	Y	Y	Y
13	Y	Y	Y
14	Y	Y	Y
15	Y	Y	Y
16	Y	Y	Y
17	Y	Y	Y
18	Y	Y	Y
19	Y	Y	Y
20	Y	Y	Y

2 TREE PROTECTION FENCE
N.T.S.



LEGEND

Existing Tree to be Retained	Existing Tree to be Removed	Underuse Tree	Tree Protection Fencing

Tree Tag Legend

- XX - Tag number
- C-XX - Municipal tree
- OS-XX - Off-site tree
- S-XX - Straddling tree. Written permission required from owner to remove trees.
- XX-N1 - No Tag #
- S-N1C - Straddling Red Cedar
- BLM - Big Leaf Maple
- RA - Red Alder



REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
6	AL	Issued for Arborist Report	2023-04-19
5	AL	Issued for Arborist Report	2023-02-07
4	YY	Issued for Arborist Report	2022-09-19
3	AL	Issued for Arborist Report	2022-06-30
2	YY	Issued for Arborist Report	2022-05-05
1	AL	Issued for Arborist Report	2022-04-14

REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project: Abbey Gardens Townhouse
Location: 10150 177A Street, Surrey, BC V4N 5H1

Drawn: AL YY	Stamp:
Checked: GR	
Approved: MvDZ	Original Sheet Size: 24"x36"
Scale: 1:500	Notes: Continued on next sheet. See drawing for details. All work to be done in accordance with the City of Surrey's Tree Protection Bylaw. All work to be done in accordance with the City of Surrey's Tree Protection Bylaw. All work to be done in accordance with the City of Surrey's Tree Protection Bylaw.

1 TREE PROTECTION PLAN
Scale: 1:500



LANDSCAPE LEGEND

KEY	DESCRIPTION
	CONCRETE PAVING
	PEDESTRIAN PAVERS
	VEHICULAR PAVERS
	CRUSHED GRANITE
	HYDRATED SLABS SET IN GRAVEL
	GRASP STRIP
	BIKE RACK
	ADIRONDACK CHAIRS
	FIRE PIT
	RETAINING WALL
	PICKET FENCE
	3 RAIL FENCE
	SEED
	SHRUB PLANTING
	LANDSCAPE BUFFER PLANTING

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE	QTY
	AA	Acer x freemanii / Armstrong / Armstrong Freeman Maple	80B		80cm cal. 7'	7
	AC	Amelanchier canadensis / Canadian Serviceberry	80B		2.5m H 4E	4E
	CO	Chamaecyparis obtusa / Hinoki False Cypress	80B		2.5m H 5	5
	DI	Davallia involucrea / Handkerchief Tree	80B		5 cm cal.	1
	FDZ	Fagus sylvatica / Dawyck / Dawyck Beech	80B		50m cal.	33
	GA	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Tree	80B		80cm cal.	19
	ML	Magnolia grandiflora 'Little Gem' / Little Gem Dwarf Southern Magnolia	80B		60cm cal.	7
	PI	Prinos purpurea 'Illi Fastigiate' / Fastigate Spruce	80B		2.5m H 13	13
	FS	Prinos sitchensis / Sitka Spruce	80B		2.5m H 34	34
	PK	Prinos pauciflora 'Keweenaw' / Keweenaw Flowering Cherry	80B		60cm cal.	5
	QG	Quercus pelueata 'Green Pillar' / Green Pillar Oak	80B		60cm cal.	25



VDZ+A
 FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO
 100-8331 Chiswick | 100-830 Kingway
 Fort Langley, BC | Vancouver, BC
 Y4M 2R6 | V6T 1Z7
 www.vdz.ca | 604-882-0201

No.	By	Description	Date
1	MT	Issued for DP	2023-09-12

REVISIONS TABLE FOR DRAWINGS

* Although limited, the drawing may change in the event of a 100% plan may still be contained or used in other project related drawings.

No.	By	Description	Date
1	MT	DRAW SITE PLAN	Feb 28, 2023

REVISIONS TABLE FOR SHEET

Project:
Abbey Gardens Townhouse

Location:
10150 177A Street,
Surrey, BC V4N 5H1

Drawn MT	Stamp:
Checked MT	
Approved MVDZ	Original Sheet Size 24"x36"
Scale: 1:400	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS SHOWN ON THE WORK.



Drawing Title
SITE PLAN

VDZ Project #
DP2022-11

Drawing #
L-03

LANDSCAPE LEGEND

KEY	DESCRIPTION
	CONCRETE PAVING
	PEDESTRIAN PAVERS
	VEHICULAR PAVERS
	CRUSHED GRANITE
	HYDRATED/PRESSED SLABS SET IN GRAVEL
	GRP STRIP
	BIKE RACK
	ADIRONDACK CHAIRS
	FIRE PIT
	RETAINING WALL
	PICKET FENCE
	3 RAIL FENCE
	SEED
	SHRUB PLANTING
	LANDSCAPE BUFFER PLANTING



No.	By	Description	Date
1	MT	Issued for DP	2023-06-12

REVISIONS TABLE FOR DRAWINGS

* All changes to drawings are the responsibility of the user. The drawing may not be reproduced or used for other projects without permission.

Project:
Abbey Gardens Townhouse

Location:
10150 177A Street,
Surrey, BC V4N 5H1

Drawn MT	Stamp
Checked MT	
Approved MYDZ	Original Sheet Size 24" x 36"
Scale 1:150	CONTRACTOR SHALL CONSULT DRAWINGS OF THE WORK AND VERIFY THE ACCURACY OF THE INFORMATION AND MATERIALS AND SHALL OBTAIN THE NECESSARY PERMITS FOR THE WORK AND BE RESPONSIBLE FOR THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND BE RESPONSIBLE FOR THE WORK.

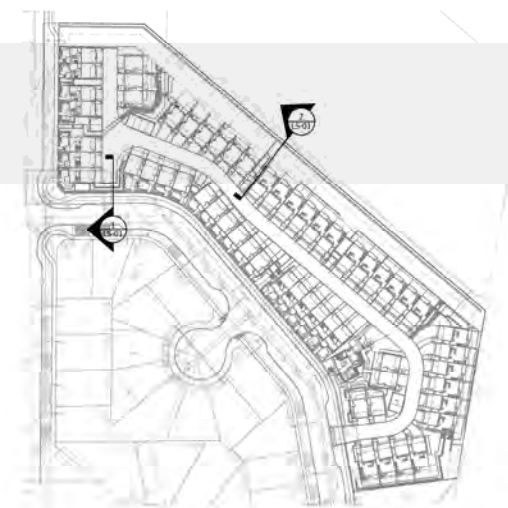
PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE	QTY
	AA	Aberkane / Amelting / Amelting Freeman Male	B&B	8cm cal.	7	
	AB	Amelting / Amelting / Amelting Freeman Male	B&B	1.5m H	48	
	AC	Crataegus mollis / Honeysuckle	B&B	2.5m H	5	
	AD	Daviesia involuta / Handkerchief Tree	B&B	5 cm Cal.	1	
	AE	Ficus lyrata / Ficus / Ficus (Ficus)	B&B	8cm cal.	33	
	GA	Ornithoglossum autumnale / Autumn Star / Autumn Star	B&B	8cm cal.	11	
	MB	Magnolia grandiflora / Little Gem / Little Gem Dwarf Southern Magnolia	B&B	6cm cal.	7	
	PI	Picea pungens 'Mill' / Fastigiate / Fastigiate Spruce	B&B	2.5m H	13	
	PS	Picea sitchensis / Sitka Spruce	B&B	2.5m H	34	
	PK	Prunus simulata 'Kawachi' / Kwanzan Flowering Cherry	B&B	6cm cal.	5	
	QG	Quercus prinus / Green Pine / Green Pine Oak	B&B	8cm cal.	25	

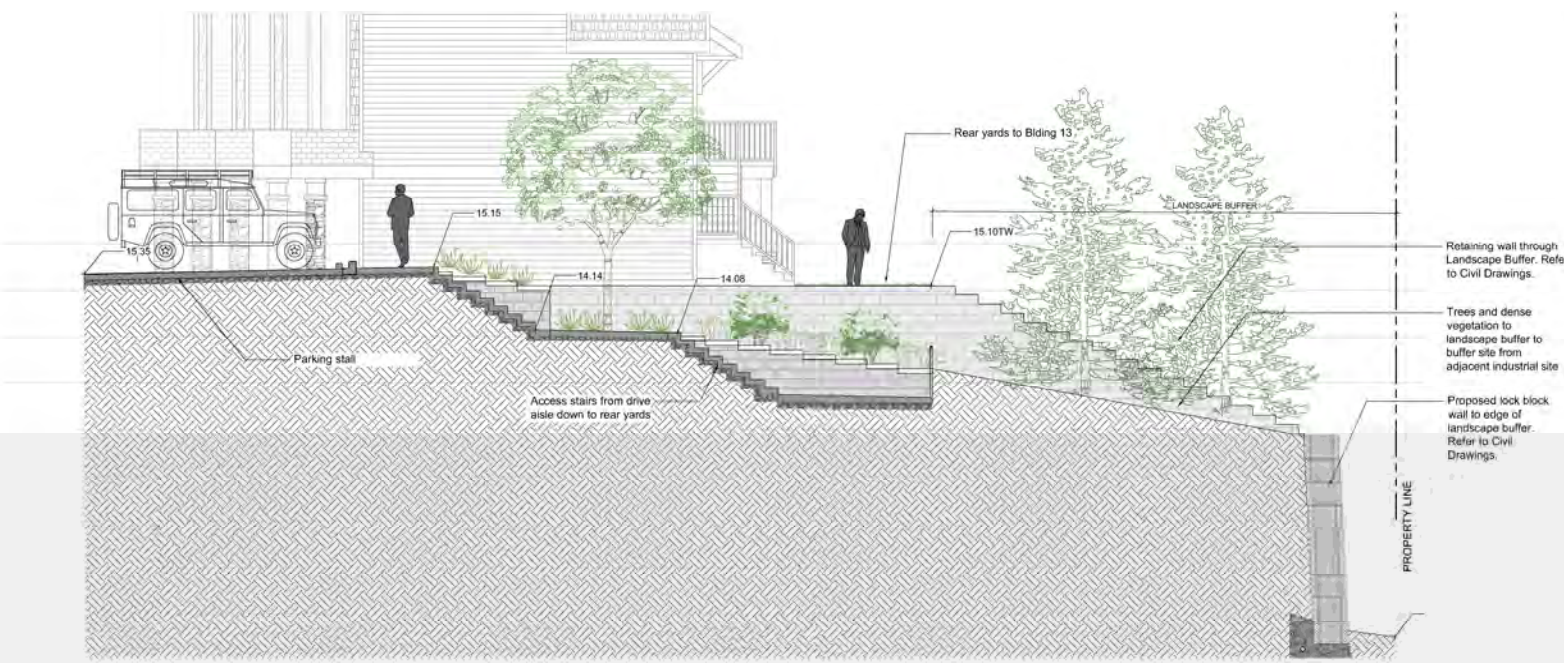




1 SECTION THROUGH WALL SYSTEM LOOKING AT BLD 3
 Scale: 1:50



KEY PLAN
 Scale: 1:100



2 SECTION THROUGH BLD 12 ACCESS STAIRS AND LANDSCAPE BUFFER
 Scale: 1:50

No.	By:	Description	Date
1	MT	Issued for DP	2023-09-12

REVISIONS TABLE FOR DRAWINGS

• Although limited, the drawing only depicts the elements of VDD-4. It may still be considered a used by other people without permission.

No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

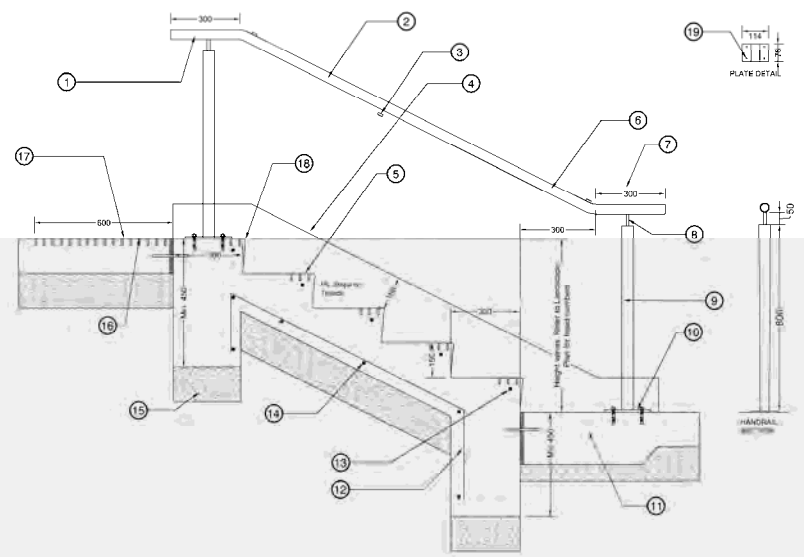
Project:
 Abbey Gardens Townhouse

Location:
 10150 177A Street,
 Surrey, BC V4N 5H1

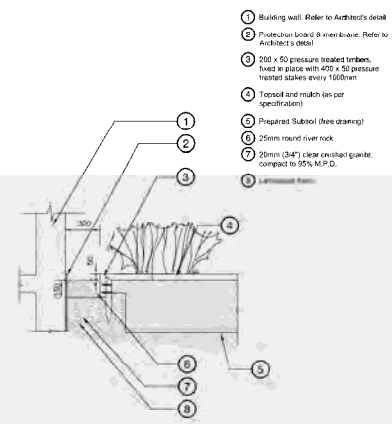
Drawn: MT 01	Checked: MVDZ	Approved: MVDZ	Stamp: Original Stamp 21" x 28"
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Scale:
 AS SHOWN

CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



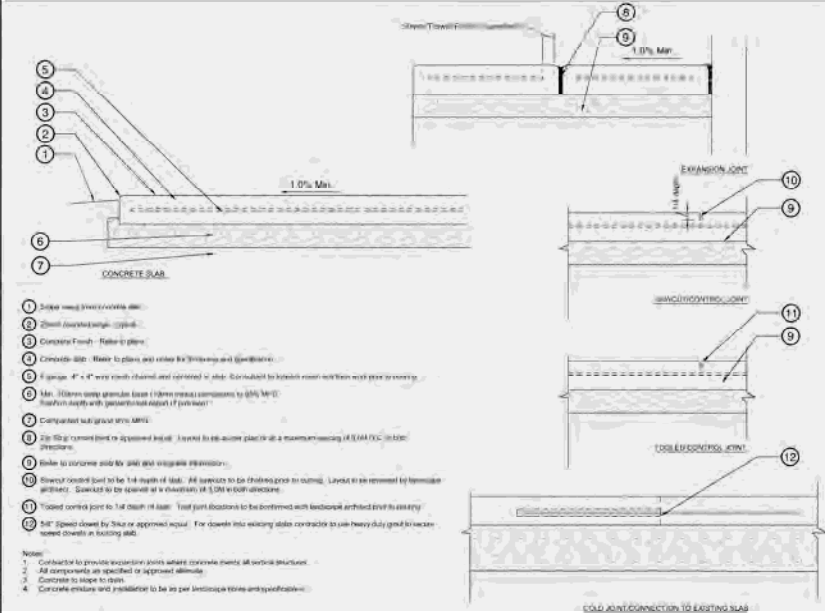
- 1 300mm handrail extension, top and bottom of stairs
- 2 Steel handrail
- 3 Steel skate stops
- 4 150mm thick full height cheek wall on slip footing
- 5 Typical tactile warning at stair nosing. Medium sandblast on each head as per BCBC 3.8.3.9
- 6 42mm OD HSS round
- 7 300mm handrail extension, top and bottom of stairs
- 8 12.7x12.7mm Plate steel
- 9 30x30mm HSS steel
- 10 114x76mm plate steel
- 11 Handrail embedded 150mm with eye strike guard
- 12 100mm concrete nosing 150mm thick 40mm wide
- 13 20mm epoxy resin, 10mm concrete depth
- 14 20mm wide @ 400mm c/c
- 15 10mm granular base (10mm minus) conforming to BCBC 3.8.3.9
- 16 10mm wide expansion joint @ 1000mm max. c/c
- 17 Minimum nosing height 42mm @ 10mm O.C. or full depth of nosing strip as per BCBC 3.8.3.9
- 18 6mm radius
- 19 Expansion joint to accommodate wedge anchor depth



- 1 Building wall. Refer to Architect's detail
- 2 Protective board @ 150mm min. Refer to Architect's detail
- 3 200 x 50 pressure treated timber, fixed in place with 400 x 50 pressure treated stakes every 1000mm
- 4 Tossol and mulch (as per specification)
- 5 Prepared Subsoil (see drawing)
- 6 25mm round river rock
- 7 20mm (3/4") clear crushed granite compact to 95% MFD.
- 8 150mm base

Notes:
 1. Steps to have full depth nosing.
 2. Expansion joints required at 10m of vertical or horizontal exposure to these walls. Joint expansion joints with a compatible joint material approved by project mechanical engineer.
 3. Refer to Code Technical report for concrete and steel reinforcement.
 4. Material to be proper coated rebar (FRS 3002) to a concrete reinforcement. See concrete working or drawing.

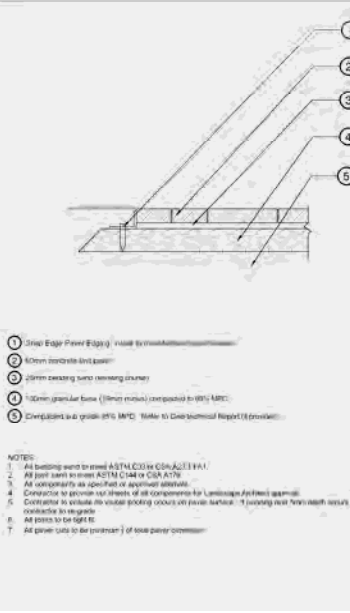
1 TREAD CONCRETE STAIRS W/CHEEKWALL



- 1 Slope nosing down to outside edge
- 2 20mm diameter single, epoxy-bond
- 3 Concrete finish - Refer to plans
- 4 Concrete slab - Refer to plans and notes for finishing and joint details
- 5 10mm granular base (10mm minus) conforming to BCBC 3.8.3.9
- 6 150mm granular base (15mm minus) conforming to BCBC 3.8.3.9
- 7 Expanded metal mesh 100mm MFD
- 8 20mm concrete slab to approved height - topped to sub-surface grade at a maximum nosing of 42mm O.C. in 100mm increments
- 9 Refer to concrete code for joint and expansion details
- 10 100mm concrete slab to be full depth of slab. All aspects to be checked and approved. Slabs to be removed by mechanical means. Spacing to be equal at a maximum of 500mm c/c in both directions
- 11 100mm concrete joint to full depth of slab. Joint joints to be reinforced with 2x100mm x 100mm x 100mm steel reinforcement
- 12 20mm concrete slab to approved height. For details refer to existing slab construction to be heavy duty grade to be checked and approved.

3 CONCRETE SLAB - WIRE MESH

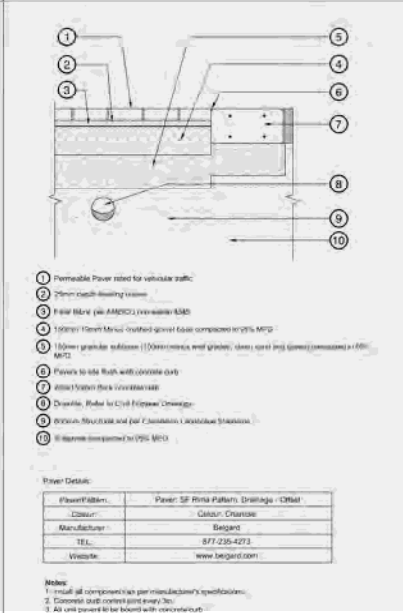
4 UNIT PAVERS - PEDESTRIAN



- 1 20mm Edge Panel Edging - Refer to manufacturer's specification
- 2 100mm concrete bed base
- 3 20mm wearing surface wearing course
- 4 100mm granular base (10mm minus) conforming to BCBC 3.8.3.9
- 5 150mm granular base (15mm minus) conforming to BCBC 3.8.3.9
- 6 20mm concrete slab to approved height - topped to sub-surface grade at a maximum nosing of 42mm O.C. in 100mm increments
- 7 100mm concrete slab to approved height - topped to sub-surface grade at a maximum nosing of 42mm O.C. in 100mm increments

Notes:
 1. All bedding sand to meet ASTM C625 or C636 F.H.I.
 2. All joint sand to meet ASTM C625 or C636 F.H.I.
 3. All components as specified or approved alternate.
 4. Contractor to provide cut sheets of all components for Landscape Architect approval.
 5. Contractor to provide the visible bedding course on paver surface. It is important that bedding issues be coordinated in the grade.
 6. All joints to be sighted.
 7. All paver joints to be protected from water penetration.

2 DRIP STRIP ADJACENT GARDEN BED



- 1 Permeable Paver rated for vehicular traffic
- 2 25mm mesh bedding course
- 3 150mm granular base (15mm minus) conforming to BCBC 3.8.3.9
- 4 100mm granular base (10mm minus) conforming to BCBC 3.8.3.9
- 5 150mm granular base (15mm minus) conforming to BCBC 3.8.3.9
- 6 Pavers to be laid flush with concrete curb
- 7 100mm concrete slab to approved height - topped to sub-surface grade at a maximum nosing of 42mm O.C. in 100mm increments
- 8 20mm concrete slab to approved height - topped to sub-surface grade at a maximum nosing of 42mm O.C. in 100mm increments
- 9 100mm concrete slab to approved height - topped to sub-surface grade at a maximum nosing of 42mm O.C. in 100mm increments
- 10 150mm granular base (15mm minus) conforming to BCBC 3.8.3.9

Notes:
 1. Install all components per manufacturer's specifications.
 2. Concrete curb to be full depth of slab.
 3. All joint sand to be sighted and approved.
 4. All joint sand to be sighted and approved.

Manufacturer:	Belgard
TEL:	877-230-4273
Website:	www.belgard.com

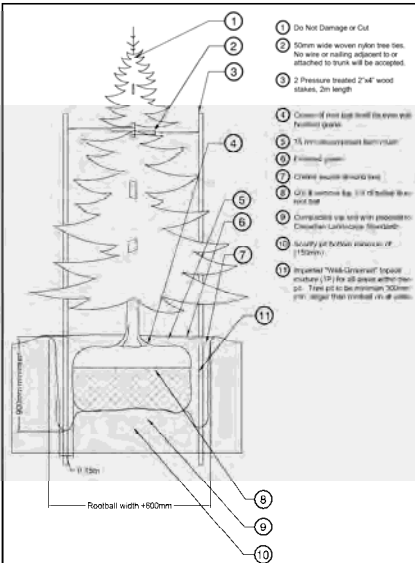
5 PERMEABLE PAVERS

REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
1	MT	Issued for DR	2023-06-12

REVISIONS TABLE FOR SHEET

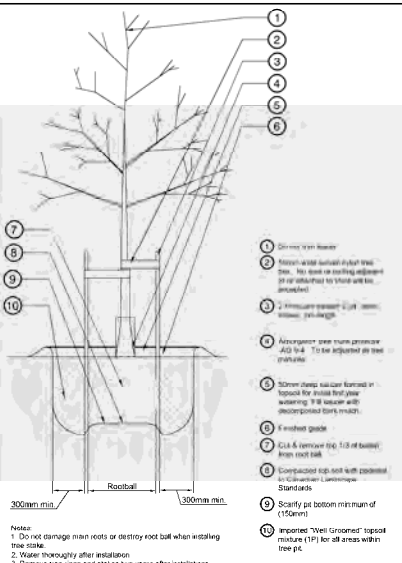
Project: Abbey Gardens Townhouse	
Location: 10150 177A Street, Surrey, BC V4N 5H1	
Drawn: MT	Checked: MT
Approved: MYDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL VERIFY ALL DIMENSIONS OFF THE ARCHITECT'S DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



- 1 Do Not Damage or Cut
- 2 300mm wide access path tree hole. No wire or railing adjacent to or attached to trunk will be accepted.
- 3 2 Pressure treated 2"x4" wood stakes, 2m length
- 4 Crown of tree just below lowest well formed branch
- 5 75mm diameter perforated kerf mulch
- 6 150mm granular mulch
- 7 150mm granular mulch
- 8 300mm deep Gently Compacted Topsoil Mature to Canadian Landscape Standard 1P
- 9 150mm granular mulch
- 10 300mm deep Gently Compacted Topsoil Mature to Canadian Landscape Standard 1P
- 11 300mm wide access path tree hole

Notes:
 1. Do not damage main roots or destroy root ball when installing tree stake.
 2. Water thoroughly after installation.
 3. Remove tree rings and stakes two years after installation.
 4. Provide drainage for planting pit as appropriate soil.

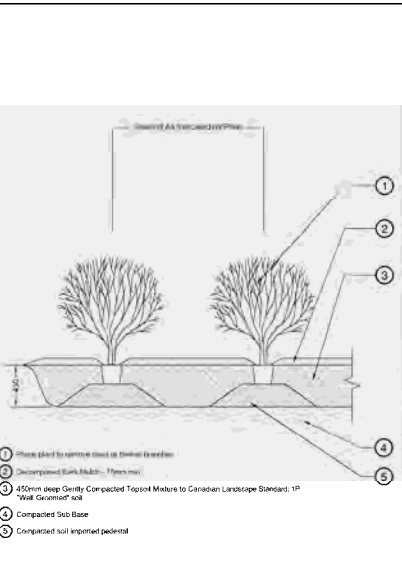
1 TREE PLANTING - CONIFEROUS TREE



- 1 Do Not Damage or Cut
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- 3 2 Pressure treated 2"x4" wood stakes, 2m length
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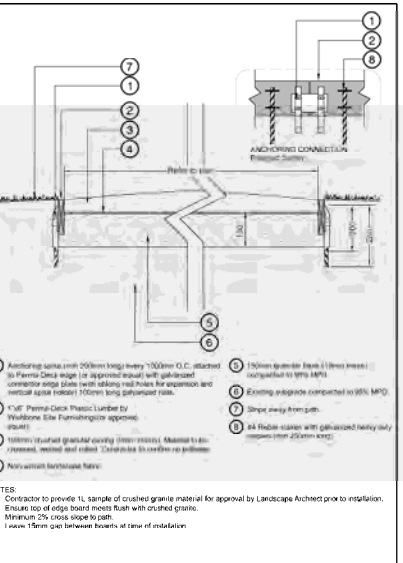
2 TREE PLANTING - DECIDUOUS TREE



- 1 300mm wide access path tree hole. No wire or railing adjacent to or attached to trunk will be accepted.
- 2 2 Pressure treated 2"x4" wood stakes, 2m length
- 3 450mm deep Gently Compacted Topsoil Mature to Canadian Landscape Standard 1P
- 4 150mm granular mulch
- 5 300mm deep Gently Compacted Topsoil Mature to Canadian Landscape Standard 1P

Notes:
 1. Remove all string, twine, pots, tags from plant.
 2. All soil, mulch and plant material to meet latest Canadian Landscape Standard.
 3. Topsoil shall be 1.5x diameter of plant container.
 4. Planting all bed edges to be set back from edge of O.C. spacing or plan.
 5. All bed edges to have clean, calked edge.

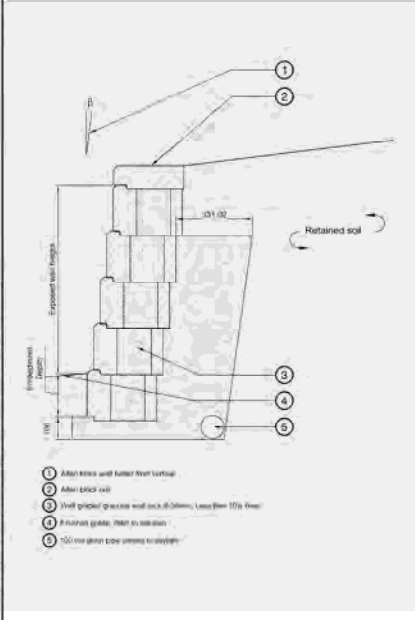
3 SHRUB PLANTING



- 1 150mm wide access path tree hole. No wire or railing adjacent to or attached to trunk will be accepted.
- 2 2 Pressure treated 2"x4" wood stakes, 2m length
- 3 450mm deep Gently Compacted Topsoil Mature to Canadian Landscape Standard 1P
- 4 150mm granular mulch
- 5 300mm deep Gently Compacted Topsoil Mature to Canadian Landscape Standard 1P
- 6 150mm wide access path tree hole. No wire or railing adjacent to or attached to trunk will be accepted.
- 7 150mm wide access path tree hole. No wire or railing adjacent to or attached to trunk will be accepted.

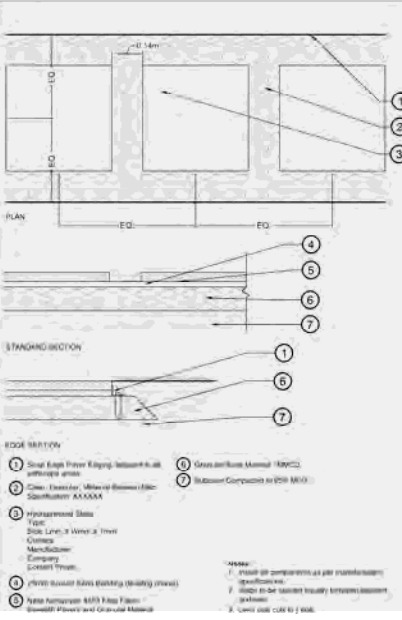
Notes:
 1. Contractor to provide 1L sample of crushed granite material for approval by Landscape Architect prior to installation.
 2. Ensure top of edge board meets finish with crushed granite.
 3. Minimum 2% cross slope to path.
 4. 150mm 15mm gap between boards at time of installation.

4 CRUSHED GRANITE PATH



- 1 150mm wide access path tree hole. No wire or railing adjacent to or attached to trunk will be accepted.
- 2 2 Pressure treated 2"x4" wood stakes, 2m length
- 3 450mm deep Gently Compacted Topsoil Mature to Canadian Landscape Standard 1P
- 4 150mm granular mulch
- 5 300mm deep Gently Compacted Topsoil Mature to Canadian Landscape Standard 1P

5 ALLAN BLOCK WALL



- 1 150mm wide access path tree hole. No wire or railing adjacent to or attached to trunk will be accepted.
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- 4 150mm granular mulch
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- 7 150mm wide access path tree hole. No wire or railing adjacent to or attached to trunk will be accepted.

6 HYDRAPRESSED SLAB ACCESS PATH

No.	By	Description	Date
1	MT	Issued for O.P.	2023-06-12
REVISIONS TABLE FOR DRAWINGS			
REVISIONS TABLE FOR SHEET			
Project: Abbey Gardens Townhouse			
Location: 10150 177A Street, Surrey, BC V4N 5H1			
Drawn:	MT	Checked:	MT
Approved:	Original Brian Son, MVDZ	Date:	21/1/20
Scale:	AS SHOWN		

INTER-OFFICE MEMO

**TO: Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: May 25, 2023 **PROJECT FILE: 7822-0254-00**

**RE: Engineering Requirements
Location: 10150 177A St**

REZONE/SUBDIVISION

The subject site is being serviced via Servicing Agreement 7818-0164-00, which must be completed as a condition of proposed Rezoning.

Works and Services

- Provide on-site sustainable drainage features as per the Bon Accord North Slope ISMP.
- Applicant to register restrictive covenant for on-site storm water mitigation features, water quality and system maintenance.
- Provide adequately sized storm, sanitary and water service connection.
- Register restrictive covenant for pumped services connection, if applicable.
- Register reciprocal access and services easement for Form P phasing, if applicable.

Administrative Processing is required for the legal documents listed above.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/ Development Variance Permit.



Jeff Pang, P.Eng.
Development Services Manager

RH

Department: **Planning and Demographics**
Date: **May 10, 2023**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **22 0254 00**

The proposed development of **58** Townhouse units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	49
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Projected Number of Students From This Development In:	
Elementary School =	27
Secondary School =	14
Total Students =	41

Current Enrolment and Capacities:	
Bothwell Elementary	
Enrolment	276
Operating Capacity	294
# of Portables	1
Fraser Heights Secondary	
Enrolment	1535
Operating Capacity	1200
# of Portables	8

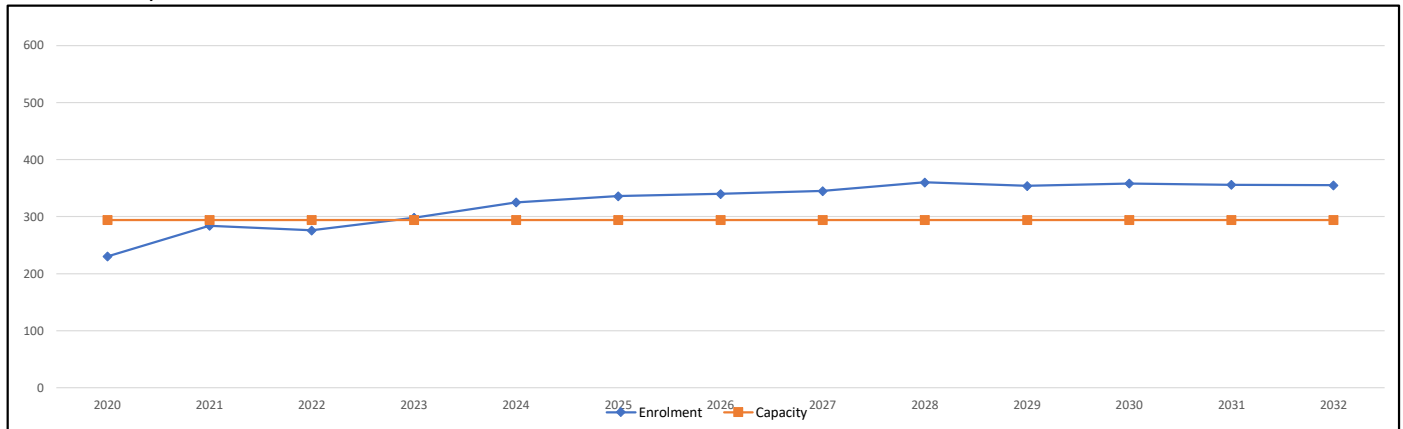
Summary of Impact and Commentary

The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

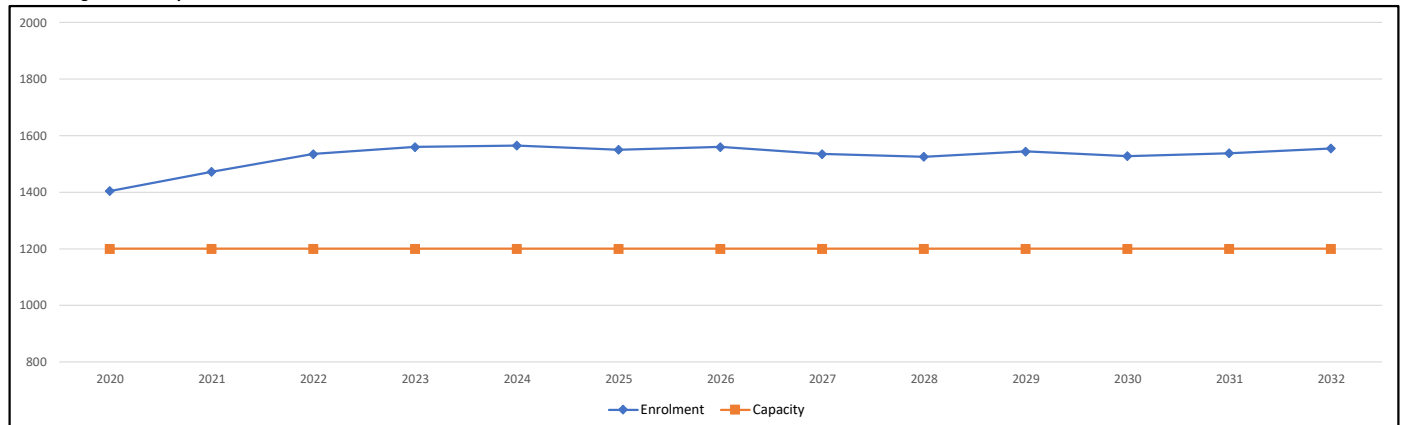
Bothwell Elementary 10 year enrolment projections show a growth trend that can be attributed to the increased density being considered along the bluff to the east of Highway 17 (South Fraser Perimeter Road). With Highway 17 dissecting the Bothwell catchment, as part of the District's 2023/2024 Capital Plan submission to the Ministry, the District is requesting to purchase a new site in the new Abbey Ridge area in the next 3-5 years; followed by, building a new elementary school after 2030. There has been no Ministry funding approval for these projects. Until then, enrolment growth at Bothwell elementary will be accommodated by portables.

Fraser Heights Secondary is the only secondary school that serve the communities located on the north side of Highway 1. The school is currently operating at 128% capacity. The school's 10 year projections show enrolment to continue at this level and potentially grow as the Bothwell and Abbey Ridge communities start to build. As a result, the District has requested as part of their 2023/2024 Capital Plan submission to the Ministry a 500 capacity addition for the school, targeted to open in 2029. There has been no Ministry funding approval for this project.

Bothwell Elementary



Fraser Heights Secondary



Population : The projected population of children aged 0-17 impacted by the development.
Enrolment : The number of students projected to attend the Surrey School District ONLY.

Table 2 : Summary of Tree Preservation by Tree Species

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	6	2	4
Cottonwood	11	11	0
Deciduous Trees (Excluding Alder and Cottonwood) Trees			
Ash	4	0	4
Bigleaf maple	5	5	0
Hornbeam	1	0	1
Lombardy poplar	6	6	0
Norway maple	4	0	4
Oak	2	0	2
Sweetgum	3	0	3
Weeping willow	2	2	0
Coniferous Trees			
Douglas fir	3	3	0
Total (excluding Alder and Cottonwood Trees)	30	16	14
Additional Trees in the proposed Open Space / Riparian Area	n/a	n/a	n/a
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		TBD	
Total Retained and Replacement Trees Number		18	

Summary, report, and plan prepared and submitted by: D.Glyn Romaine



(Signature of Arborist)

April 21, 2023

Date

Abbey Ridge LAP
Amendment from Low
Density Townhouse
12 - 15 u.p.a. Gross
to Townhouse 15 - 20
u.p.a. Gross

LEGEND

Land Use Designations

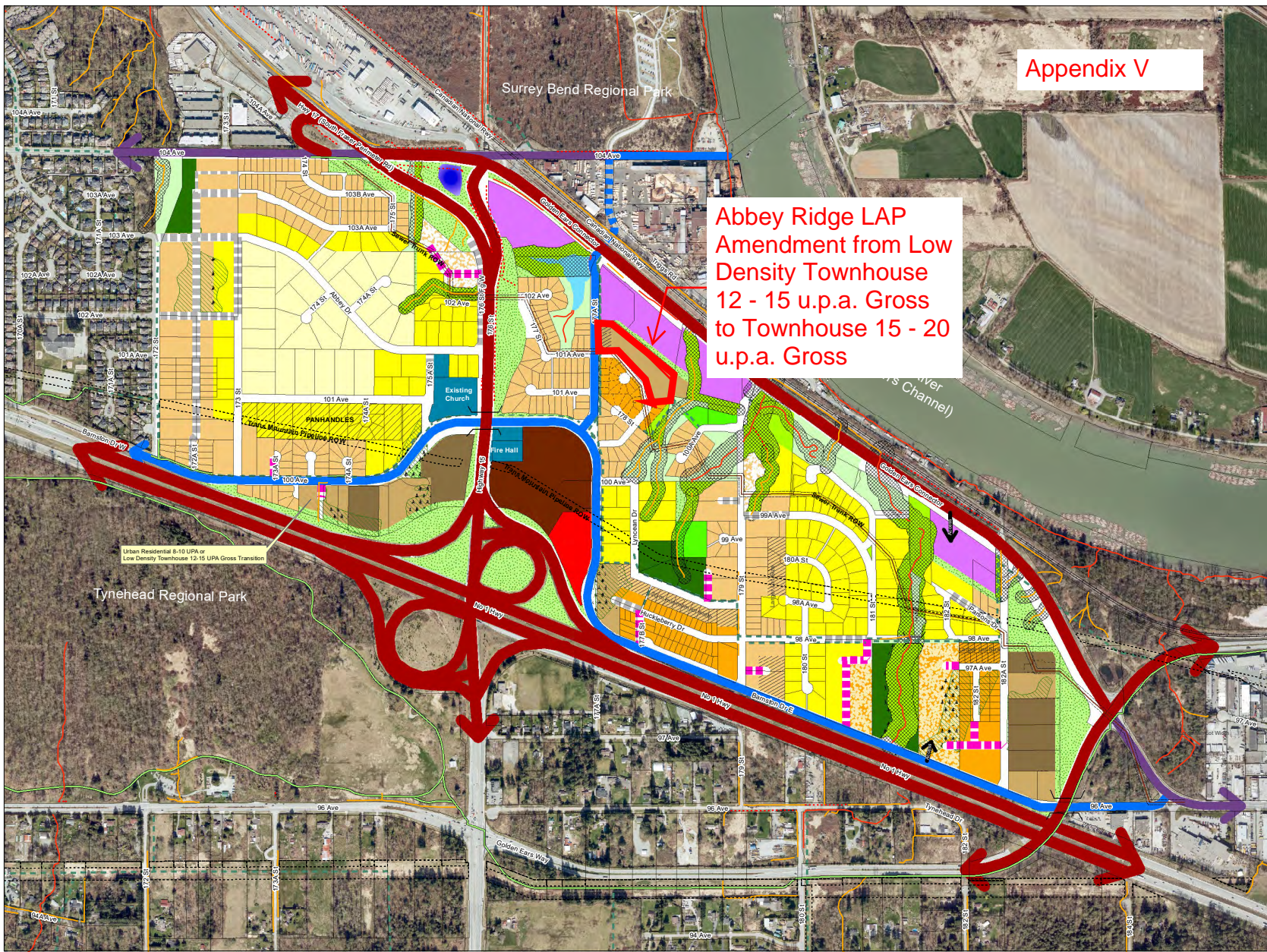
- Acreage Residential 1-2 UPA
- Suburban Residential 2-4 UPA Gross
- Urban Transition 4-5 UPA
- Low Density Cluster 4-6 UPA Gross
- Single Family Residential 4-6 UPA
- Medium Density Cluster 10-12 UPA Gross
- Urban Residential 8-10 UPA Transition
- Urban Residential 8-10 UPA
- Low Density Townhouse 12-15 UPA Gross Transition
- Low Density Townhouse 12-15 UPA Gross
- High Density Multiple Residential 30-45 UPA
- Neighbourhood Commercial
- Industrial
- Institutional
- Existing Natural Area
- Future Natural Area
- Existing Neighbourhood Park
- Future Neighbourhood Park
- Landscape Buffer
- Storm Water Pond
- Wet Land
- Tree Retention Area

Transportation Network

- Proposed City Greenway
- Railway
- Signalized Intersection
- Cul De Sac
- Flex Cul De Sac
- Provincial Highway
- Arterial 30m
- Collector 24m
- Future Collector 24m
- Proposed Local 20m
- Proposed Flex Local Road
- Proposed Local Lane 6m
- Proposed Greenways 4m
- In Service Greenways 4m

Utilities & Other

- SanitaryTrunkSewer_ROW_10m_AbbyRidge
- SanitaryTrunkSewer_AbbyRidge
- Significant Tree Stand
- Trans Mountain Pipeline ROW (18.6m)
- Stream Class A
- Stream Class B
- Buffer of Fishclass A and AO 30m
- Buffer of Fishclass B 15m



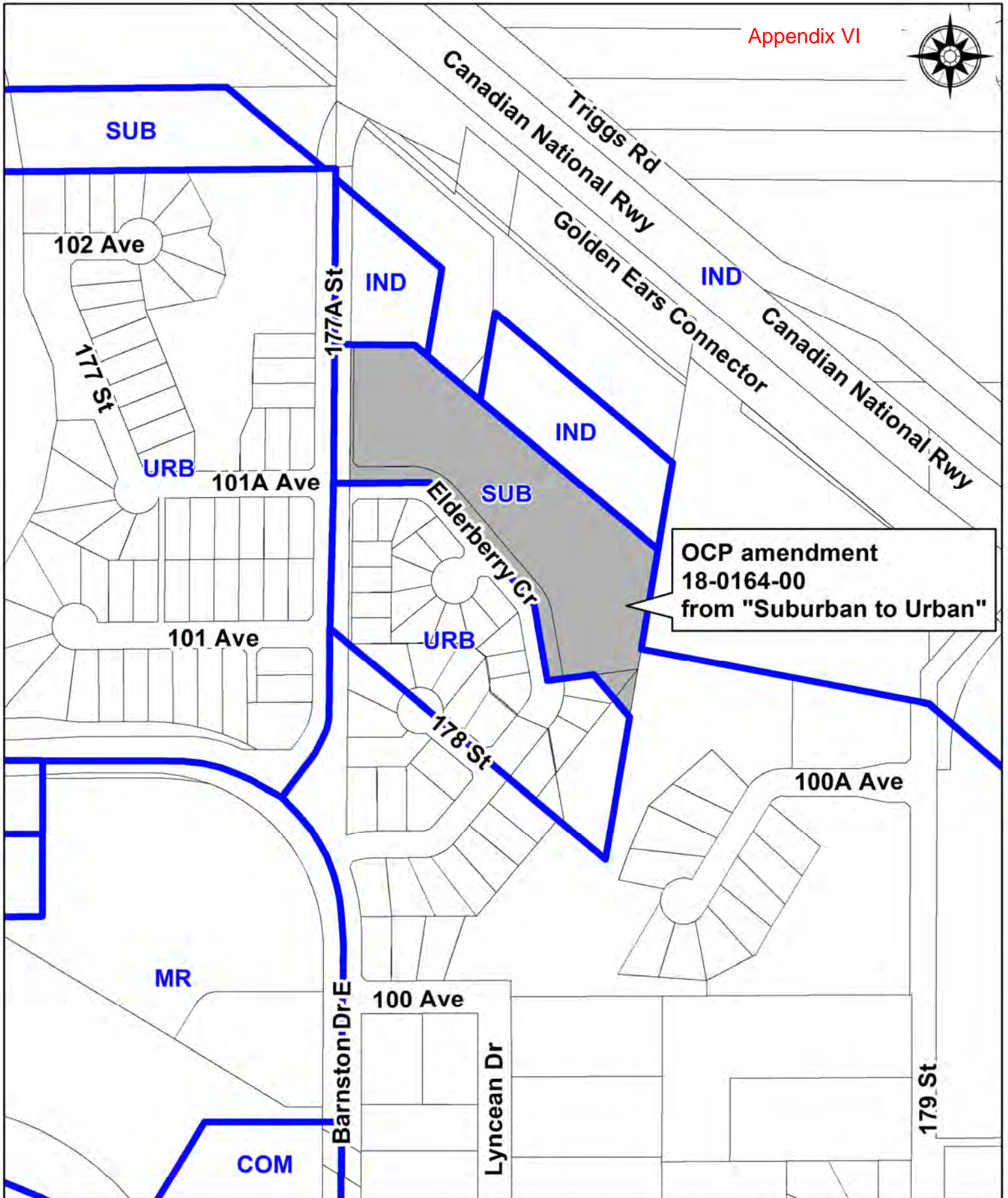
Abbey Ridge Stage 2 - Land Use Concept Plan

Approved by Council at it's Regular Council Meeting of February 6, 2017 - Resolution RES R17-383 Amended 16 Novt. 2022

City of Surrey Planning and Development Department



V:\Policy&Long Range\GIS_ANALYSIS\FRASER_HEIGHTS\East_Fraser_Heights_Abby_Ridge\LAND_USE_PLAN\Abby_Ridge_STAGE_II



OCP amendment
18-0164-00
from "Suburban to Urban"

