

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7922-0237-00

Planning Report Date: October 3, 2022

PROPOSAL:

- **Development Variance Permit**

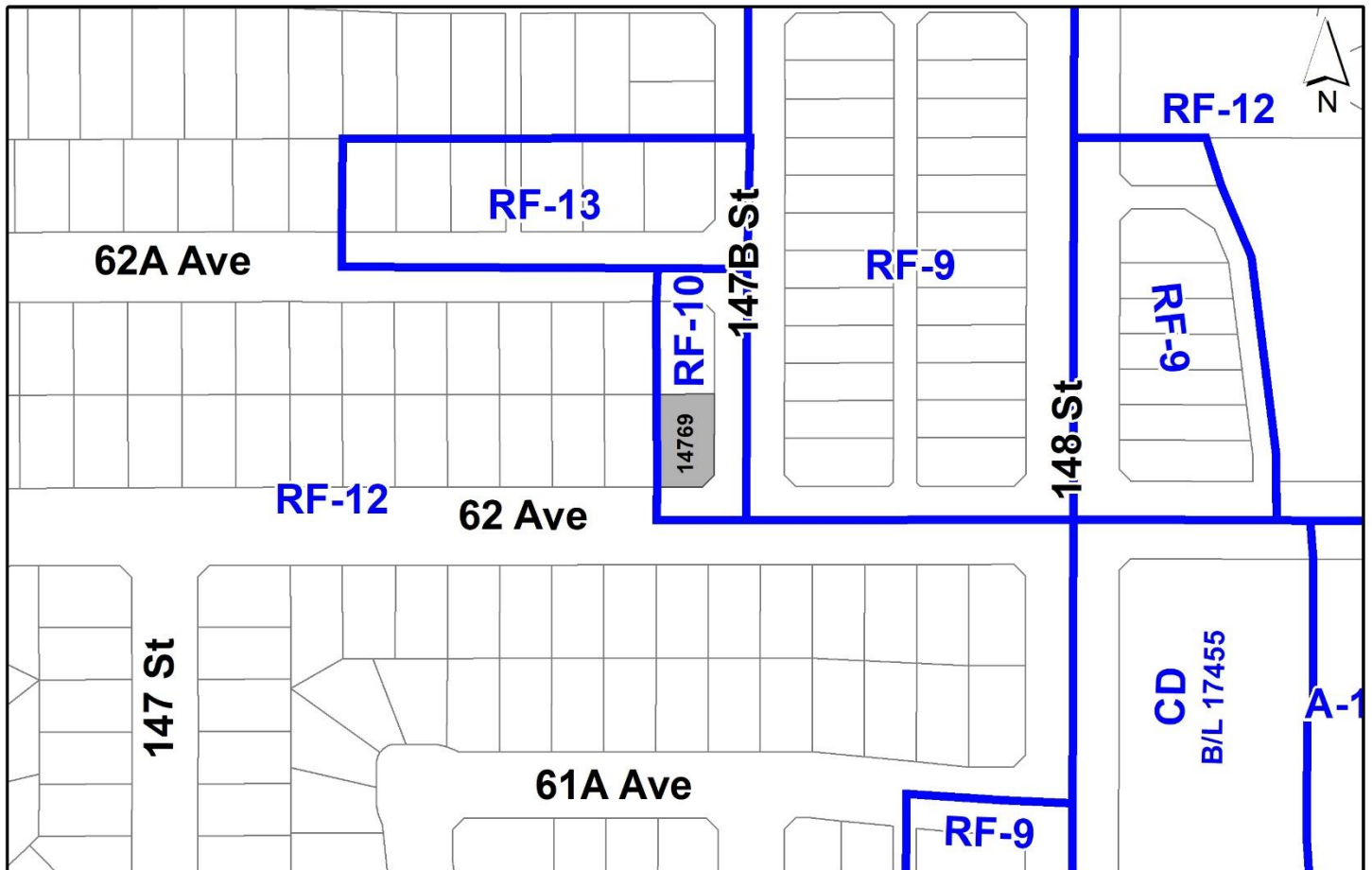
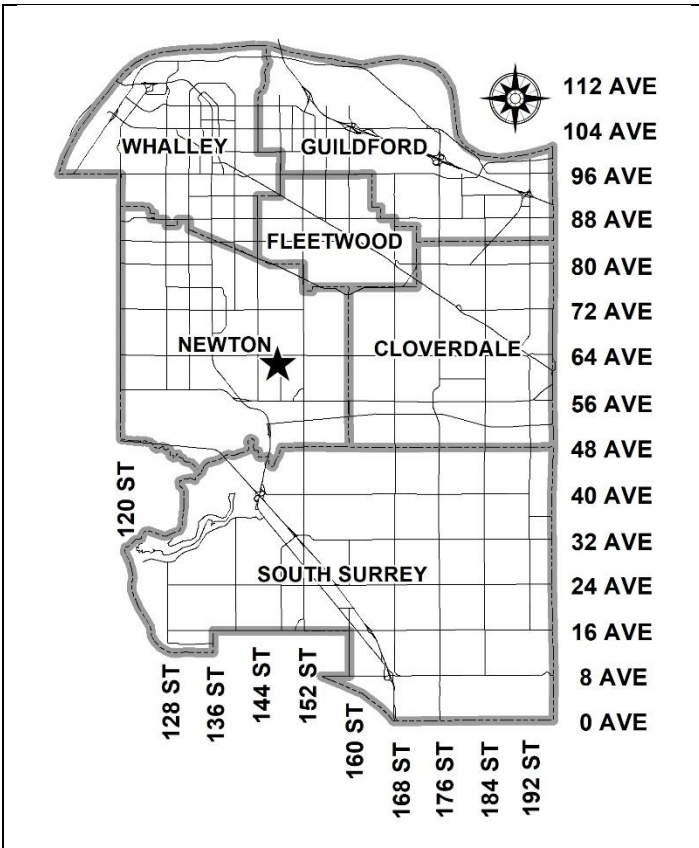
to allow front loading driveway access, vary landscaping requirements, and reduce the rear yard setback to permit the development of a single-family dwelling.

LOCATION: 14769 - 62 Avenue

ZONING: RF-10

OCP DESIGNATION: Urban

NCP DESIGNATION: (South Newton) Single Family Residential Flex 6-14 upa



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary the access, landscaping, and rear yard setback requirements of the "Single Family Residential (10) Zone" to allow driveway access along the front property line.

RATIONALE OF RECOMMENDATION

- Development Application 7920-0182-00 was granted Final Adoption on May 10, 2021, at the Regular Council – Land Use meeting. The application was to rezone the property from "One-Acre Residential Zone (RA)" to "Single Family Residential (10) Zone (RF-10)".
- The applicant is requesting to vary the Off-Street Parking, Landscaping, and Yards and Setbacks requirements of the RF-10 Zone to permit front access driveways on the lot. The proposed variances will allow the property to function similarly to a "Single Family Residential (12) Zone (RF-12)" lot.
- RF-10 zoned properties require driveway access from a rear lane, which does not exist for this lot.
- The property is an oversized Type II RF-10 corner lot.
- Allowing driveway access along 62 Avenue will maintain the building typology and frontage that will be established along 62 Avenue through the RF-12 lots to the west created under Application 7920-0182-00. These homes have not yet been constructed, but have been subdivided and rezoned, with Building Permits under application on multiple lots.

RECOMMENDATION

The Planning & Development Department recommends that:

Council approve Development Variance Permit No.7922-0237-00 (Appendix II) varying the following, to proceed to Public Notification:

- (a) to reduce the minimum rear yard setback of the RF-10 Zone from 7.5 metres to 6 metres to the principal building face;
- (b) to increase the minimum front yard setback of the RF-10 Zone from 4.0 metres to 6 metres;
- (c) to delete and replace Yard and Setbacks Section F footnote 1 of the RF-10 Zone with footnote 1 found in the RF-12 zone, in order to allow the lot to function similarly to a typical RF-12 lot by providing a reduction in front yard setback requirements for 50% of the width of the principal building provided carport and driveway setback requirements are met;
- (d) to delete and replace Yard and Setbacks Section F footnote 2 of the RF-10 Zone with footnote 2 found in the RF-12 zone, in order to allow the lot to function similarly to a typical RF-12 lot by providing a reduction in rear yard setback requirements for 50% of the width of the principal building to accommodate an unenclosed deck and increase the deck area to 14 square metres as allowed in the RF-12 zone.
- (e) to delete and replace Landscaping Section I.2 and I.3 of the RF-10 Zone with Section I.2 and I.3 of the RF-12 Zone, in order to vary the landscaping requirements to allow for a front yard driveway, including changing porous surface requirements and front yard landscaping requirements to accommodate a driveway; and
- (f) to remove Off-Street Parking Loading/Unloading Section H.2 that requires driveway access only from a lane under the RF-10 Zone.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Vacant single family lot	Urban/Single Family Residential Flex 6-14 upa	RF-10
North:	Vacant single family lot	Urban/Single Family Residential Flex 6-14 upa	RF-13

Direction	Existing Use	OCP/NCP Designation	Existing Zone
East (Across 147B Street):	Vacant single family lot	Urban/Single Family Residential Flex 6-14 upa	RF-9
South (Across 62 Avenue):	Single family dwelling	Urban/Single Family Residential Flex 6-14 upa	RF-12
West:	Vacant single family lot	Urban/Single Family Residential Flex 6-14 upa	RF-12

Context & Background

- The subject site is designated "Urban" in the Official Community Plan (OCP).
- The subject property was created through subdivision under previous Development Application 7920-0182-00.
- The lot is currently vacant as the provisions within the RF-10 zone prevents the lot from being developed. The RF-10 zoning requires vehicle access from a rear lane. However, no rear lane was provided as part of Development application No. 7920-0182-00.

DEVELOPMENT PROPOSAL

Planning Considerations

The applicant is proposing a Development Variance Permit to allow driveway access along the front lot line to allow the lot to be developed under the current RF-10 zoning.

Referrals

Engineering: The Engineering Department has no objection to the project.

Transportation Considerations

- The RF-10 zone requires Off-Street parking to be accessible from a rear lane. The variance will allow for Off-Street parking access from the front lot line, allowing the property to function similarly to the RF-12 Lots to the west along the same block.

POLICY & BY-LAW CONSIDERATIONS

Zoning By-law

Off-Street Parking Variances

- The applicant is requesting the following variances:
 - (a) to reduce the minimum rear yard setback of the RF-10 Zone from 7.5 metres to 6 metres to the principal building face;
 - (b) to increase the minimum front yard setback of the RF-10 Zone from 4.0 metres to 6 metres;
 - (c) to delete and replace Yard and Setbacks Section F footnote 1 of the RF-10 Zone with footnote 1 found in the RF-12 zone, in order to allow the lot to function similarly to a typical RF-12 lot by providing a reduction in front yard setback requirements for 50% of the width of the principal building provided carport and driveway setback requirements are met;
 - (d) to delete and replace Yard and Setbacks Section F footnote 2 of the RF-10 Zone with footnote 2 found in the RF-12 zone, in order to allow the lot to function similarly to a typical RF-12 lot by providing a reduction in rear yard setback requirements for 50% of the width of the principal building to accommodate an unenclosed deck and increase the deck area to 14 square metres as allowed in the RF-12 zone.
 - (e) to delete and replace Landscaping Section I.2 and I.3 of the RF-10 Zone with Section I.2 and I.3 of the RF-12 Zone, in order to vary the landscaping requirements to allow for a front yard driveway, including changing porous surface requirements and front yard landscaping requirements to accommodate a driveway; and
 - (f) to remove Off-Street Parking Loading/Unloading Section H.2 that requires driveway access only from a lane under the RF-10 Zone.
- The proposed variances would allow the property to be developed without the presence of a rear lane.
- The proposed variances will allow the property to function similarly to a typical RF-12 lot. Changes to setbacks, landscaping, and parking requirements will permit the lot to be accessed by vehicles from the front of the property, and modify setbacks to ensure that a functional home can be built on the property.
- The proposed front yard setback variances will match the setback requirements under the RF-12 zone, including a reduced setback of 4.0m for 50% of the width of the principal building, provided carport and driveway setback requirements are met.

- The proposed rear yard setback variances will reduce the rear yard setback requirements from 7.5 metres to 6.0 metres. Although a typical RF-12 lot would require a 7.5 metre setback, as the lot is approximately 30 square metres smaller than required for a Type II RF-12 corner lot, this reduced setback will allow for a functional sized home, while maintaining a consistent frontage along 62 Avenue. The proposed variance will also allow for an unenclosed deck to have a setback of 4.5 metres along 50 % of the width of the principal building, as is typical for an RF-12 zoned lot.
- Allowing driveway access along 62 Avenue and establishing setbacks consistent with the RF-12 zone will maintain the building typology and frontage accesses that will be established along 62 Avenue through the RF-12 lots to the west created under Application 7920-0182-00.
- Staff support the requested variances to proceed for consideration.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Site Plan
- Appendix II. Development Variance Permit No. 7922-0237-00

approved by Shawn Low

Jeff Arason
Acting General Manager
Planning and Development

SDC/cm

PROPOSED SINGLE FAMILY DWELLING AT LOT#19 14769 62 Ave SURREY, BC

LEGAL ADDRESS: LOT 19 SECTION 10 TOWNSHIP 2 PLAN EPP108966 NWD

PID: 031-447-911

SITE & ZONING ANALYSIS:

ZONING: RF-10 TYPE 2

USE: SINGLE FAMILY DWELLING W/ ATTACHED GARAGE

LOT AREA: 3,728.6 SF [346.4 SM]

LOT COVERAGE: MAX. LOT COVERAGE PERMITTED = 52% = 1,939.9 SF

PROPOSED LOT COVERAGE = 1,695 SF (APPROX)
INCLUDING RESIDENCE, GARAGE, COVERED DECK, PORCH & STAIRS

AVERAGE FINISHED GRADE: (38.82-38.75+40.00+40.05) / 4 = 39.40M

BUILDING HEIGHT: MAX. HEIGHT PERMITTED = 39.40M + 9.5M = 48.90M

PROPOSED HEIGHT = 48.53M CENTRE OF TRUSS

FLOOR AREA RATIO: MAXIMUM FLOOR AREA ALLOWED = 217 SM (2,335,769 SF) INCLUDING GARAGE = MIN. 39 SM (420 SF)

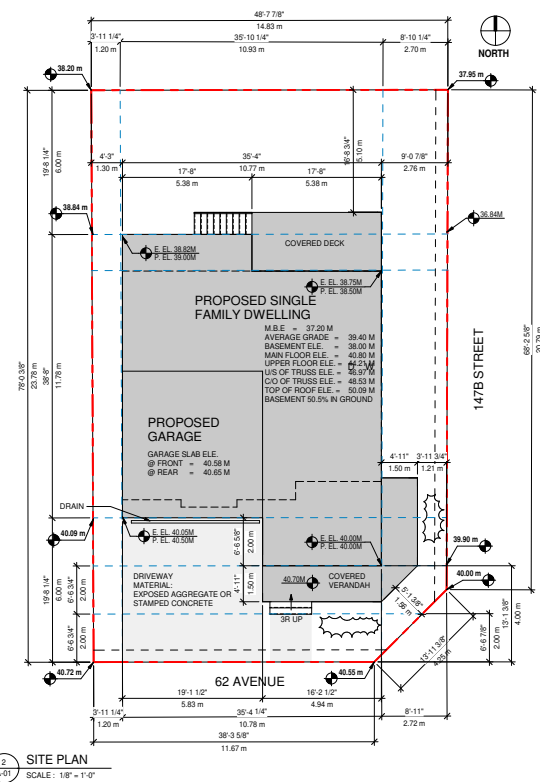
PROPOSED FLOOR AREAS: MAIN FLOOR = 973 SF GARAGE = 411 SF (RESERVED 420 SF) SECOND FLOOR = 1081 SF OPEN TO BELOW = 117 SF (EXCLUSION LIMIT 107 SF) STAIRS = 44 SF TOTAL PROPOSED = 2,233 SF

VARIANCES REQUESTED UNDER THIS DVP APPLICATION

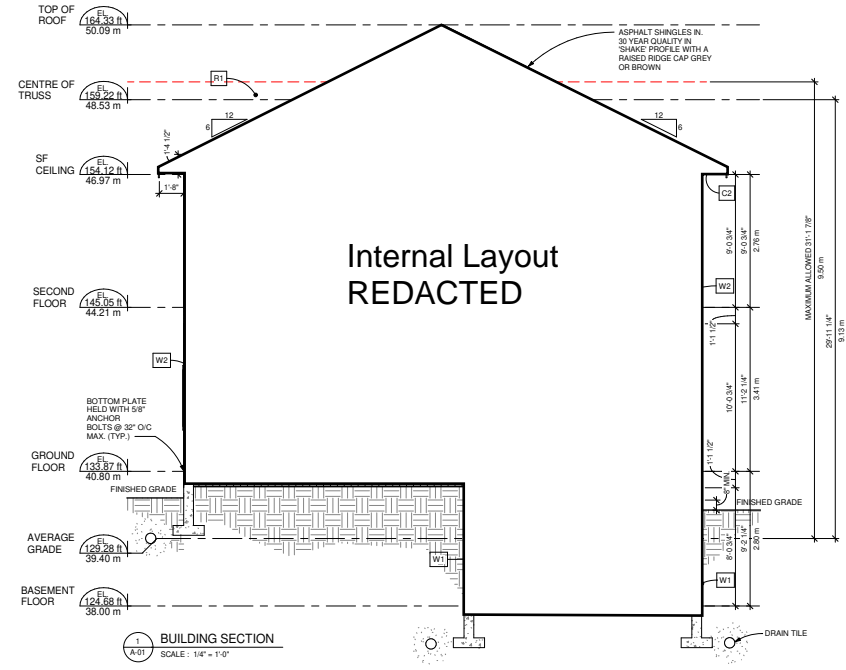
1. REMOVE CLAUSE THAT REQUIRES DRIVEWAY ACCESS ONLY FROM A LANE UNDER THE RF-10 ZONE.
2. REPLACE FRONT YARD SETBACK LANGUAGE UNDER RF-10 ZONE WITH THE RF-12 ZONE LANGUAGE (6.0M FRONT YARD SETBACK WITH REDUCTION FOR PORCH).
3. REPLACE LANDSCAPING LANGUAGE OF RF-10 ZONE WITH RF-12 ZONE LANGUAGE.
4. REAR YARD SETBACK REDUCTION (6.0 METRES).
5. INCREASE ALLOWED COVERED DECK AREA FROM 10 SQM TO 14 SQM TO MATCH ADJACENT RF-12 ZONING.

NOTES:

1. HEATING PROPOSED : FORCED AIR, ELECTRIC FOR BASEMENT
2. MIN. 1% SLOPE OF GRADE AWAY FROM BUILDING
3. AIR BARRIER : SEALED POLYETHYLENE APPROACH
4. EFFECTIVE ENERGY REQUIREMENTS THIS HOME IS TO BE BUILT TO COMPLY WITH ENERGY EFFICIENCY REQUIREMENTS AND VALUES USING THE PRESCRIPTIVE METHOD FOR CLIMATE ZONE 4 (VANCOUVER LOWER MAINLAND & SOUTHERN VANCOUVER ISLAND)



SITE PLAN
SCALE: 1/8" = 1'-0"



Internal Layout REDACTED

BUILDING SECTION
SCALE: 1/4" = 1'-0"

ENVELOPE ASSEMBLIES

- W1 (BASEMENT WALL - BELOW GRADE)**
 - 4" CONCRETE SLAB
 - LIQUID APPLIED WATERPROOFING COATING CONCRETE
 - 1" AIR SPACE
 - 2X4 WOOD STUD
 - 6 MIL VAPOUR BARRIER SHEET GYPSUM DRYWALL
- W2 (WALL - ABOVE GRADE)**
 - 3/4" STONEHARDIE PLANK RAIN SCREEN / AIR GAP BUILDING PAPER
 - 1/2" PRE-PAINTED METAL FLASHING
 - 1/2" EXT. GRADE PLYWOOD SHEATHING
 - 2X6 STUDS @ 16" O.C. (I.N.O.)
 - R50 BATT INSULATION
 - 6 MIL VAPOUR BARRIER SHEET 1/2" GYPSUM DRYWALL
- W3 (WALL - INTERIOR PARTITIONS)**
 - 1/2" GYPSUM DRYWALL
 - 2X4 STUDS @ 16" O.C. (I.N.O.)
 - 1/2" GYPSUM DRYWALL
- W4 (WALL - FOUNDATION/RETAINING)**
 - LIQUID APPLIED WATERPROOFING COATING (DAMP PROOFING)
 - CONCRETE
- R1 (TRUSS ROOF - HOUSE/GARAGE)**
 - ASPHALT SHINGLES IN 30 YEAR QUALITY IN SHAKE PROFILE WITH A RAISED ROSE CAP GREY OR BROWN
- R2/R3 (FLAT ROOF - HOUSE/GARAGE)**
 - 2X12 SPRUCE TOPCH ROOFING FELT UNDERLAY PLYWOOD SHEATHING
 - ROOF TRUSS @ 24" O.C. VENTILATED ATTIC SPACE (2" BATTLE CLEARANCE W/ INSULATION STOPS)

SECONDARY SUITE ASSEMBLIES (MUST CONFORM TO BCBC 9.10.3.1.)

- F1 (BASEMENT SLAB)**
 - 4" CONCRETE SLAB
 - 6 MIL POLY VAPOUR BARRIER
 - MIN. COMPACTED SAND
- F2 (INTERIOR FLOOR - HOUSE)**
 - 5/8" T&G PLYWOOD SUBFLOOR GLEUED & SCREWED
 - 11-7/8" T&J FLOOR JOIST @ 16" O.C. (I.N.O.)
 - 1/2" G.W.B.
- F3 (SLAB ON GRADE - GARAGE)**
 - 4" CONCRETE SLAB (MIN 4" BELOW FINISHED GRADE)
 - 6 MIL POLY VAPOUR BARRIER
 - MIN. COMPACTED SAND OR GRAVEL FILL
- SW1 (WALL - INTERIOR PARTITIONS) ASSEMBLY W3C**
 - AS PER BCBC TABLE 9.10.3.1 - A
 - 1/2" TYPE "X" GYPSUM WALL BOARD RESILIENT CHANNEL ON ONE SIDE @ 16" O.C.
 - 2X6 STUDS @ 16" O.C. (I.N.O.)
 - PREFORMED GLASS FIBRE INSULATION IN CAVITY
 - 1/2" GYPSUM WALL BOARD
- SC1 (CEILING SECOND SUITE) ASSEMBLY F8C**
 - AS PER BCBC TABLE 9.10.3.1 - A
 - 1/2" TYPE "X" GYPSUM WALL BOARD RESILIENT CHANNELS SPACED AT 400MM
 - R50 BATT INSULATION
 - PREFORMED GLASS FIBRE INSULATION OF ROCK OR SLAG FIBRES OR WET-BLOWN CELLULOSE FIBRES
- SC2 (ASCIA/SOFFIT)**
 - INTEGRAL GUTTER SYSTEM
 - 2X10 FASCIA BOARD
 - BACK NAILER
 - METAL NYLON SOFFIT WITH CONTINUOUS SCREEN VENT

GENERAL NOTES

1. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS
2. CONTRACTOR OR BUILDER TO CHECK AND VERIFY ALL DIMENSIONS BEFORE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ALL LINES, ELEVATION AND MEASUREMENTS OF WORK EXCEPTED UNDER THE CONTRACT. CONTRACTOR SHALL VERIFY FIGURES SHOWN ON THE DRAWING AND ASSUME RESPONSIBILITY FOR ERRORS RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS.
3. CONTRACTOR OR BUILDER TO ENSURE ALL WORK CONFORMS TO ALL LOCAL BYLAWS AND REGULATIONS, AND TO THE CURRENT EDITION OF BRITISH COLUMBIA BUILDING CODE.
4. IF IS OWNER/BUILDER'S RESPONSIBILITY TO GET CORRECT ZONING, FLOOR AND LOT GRADING INFORMATION FROM CONCERNED AUTHORITIES. DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THESE.
5. ALL TRUSSES TO BE ENGINEERED BY MANUFACTURERS AND SPANS TO BE CONFIRMED PRIOR TO FABRICATION.
6. ALL BEAMS SIZES AND SUPPORT SYSTEMS SHOULD BE CHECKED AND VERIFIED BY P. ENG. REGD. IN B.C. AS DESIGNER WILL NOT BE RESPONSIBLE FOR THE SAME.
7. ALL CUSTOM WINDOWS, SPANS AND RELATING SUPPORT SYSTEM TO BE ENGINEERED BY MANUFACTURERS AND CONFIRMED PRIOR TO FABRICATION.
8. THE OWNER IS TO BE ENTIRELY RESPONSIBLE FOR ALL STRUCTURAL ENGINEERING REQUIREMENTS
9. SURVEYOR TO CONFIRM BUILDING SIZE AND LOCATION, IF THERE IS A DISCREPANCY, PARTY SHALL CONTACT THE DESIGNER.
10. WHERE FENCES ARE REQUIRED AND SHALL BE CONSTRUCTED CONCURRENTLY WITH THE SINGLE FAMILY DWELLING AND HEIGHT AND LOCATION OF FENCES SHALL BE IN COMPLIANCE WITH CITY BY LAWS.

CONSTRUCTION NOTES

1. BRING FOOTINGS TO UNDISTURBED, SOUND BEARING SOIL BELOW FROSTLINE (IF MAIN BUILDING GRADE).
2. APPLY ASPHALT EMULSION TO FOUNDATION WALLS BEFORE GRADE.
3. PROVIDE A MINIMUM OF 6" CLEARANCE BETWEEN SOILS AND ANY WOOD MEMBERS.
4. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENT OF CSA A201 LATEST EDITION
5. FOUNDATION CONCRETE STRENGTH TO BE MIN. 20MPa
6. INTERIOR SLAB CONCRETE STRENGTH TO BE MIN. 20MPa
7. EXTERIOR SLAB CONCRETE STRENGTH TO BE MIN. 32MPa WITH 5% AIR ENTRAINMENT
8. LUMBER IN CONTACT WITH CONCRETE TO BE DAMPROOFED, AND ANCHORED WITH 1/2" DIA ANCHOR BOLT @ 6" O.C. MAX
9. STRUCTURAL LUMBER TO BE #2 DOUGLAS FIR (U.N.O.)
10. LINTELS TO BE 2" X 10" DOUGLAS FIR (U.N.O.)
11. PROVIDE SOLID LAMINATED STUDDING AT BEARING POINTS
12. PROVIDE DOUBLE JOISTS AT PARALLEL PARTITIONS OPT 2x10 BLOCKING @ 54" O.C.
13. BEDROOM WINDOWS MUST CONFORM TO BCBC 9.13.1
14. DWELLING MUST MEET CURRENT B.C. VENTILATION CODE
15. INSTALL SMOKE ALARMS TO BEDROOM AREAS TO CONFORM TO B.C.B.C. 9.13.18(21)
16. ALL FRAMING AND NAILING SHALL CONFORM TO B.C.B.C. PART 9 AND DESIGN TO CSA LATEST EDITION
17. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER.
18. ALL NEW WINDOWS AND DOORS AND SKYLIGHTS AND THEIR INSTALLATION SHALL COMPLY WITH NEW NAFS STANDARDS AND SPECIFICATIONS (9.7.4 B.C.B.C. 2018 EDITION)
19. PROVIDE MIN. 2X2 CROSS BRACING OR SOLID BLOCKING BETWEEN JOISTS AND RAFTERS @ 7'00" O.C. MAXIMUM MINIMUM ONE ROW
20. PROVIDE MIN. GYPSUM BOARD AND ATTIC ACCESS OF 1'10" X 4"
21. UNIFORMLY DISTRIBUTE VENTILATION TO FLAT AND VAULTED ROOMS TO 1/300 OF INSULATED CEILING AREA WITH A MINIMUM OF 25% OF THE 1/300 AT THE TOP AND A MINIMUM OF 25% OF THE BOTTOM.
22. ALL EXTERIOR DOORS TO HAVE DEAD BOLTS MIN. 1" THROW WITH 5 PIN ACTION.
23. ALL HANDRAILS SHALL BE A MINIMUM 2" HIGH ABOVE THE NOSINGS.
24. PROVIDE A MINIMUM 1" NOSING TO ALL STAIR TREADS LESS THAN 12" IN WIDTH.
25. LINO OR EQUAL REED ON BATHROOM FLOORS
26. WATERPROOF WALL BOARD RATIO AT TILE SURROUNDS AT TUBS AND SHOWERS

BCBC 2018 REFERENCE NOTES

1. FOOTING TO BE LOCATED AND SIZED AS PER SUBSECTION 9.15.3
2. FOUNDATION WALL THICKNESS AND HEIGHT TO COMPLY WITH TABLE 9.14.2-A
3. DAMPROOFING ON BELOW GRADE STRUCTURES REQUIRED AS PER ARTICLE 9.15.3.1
4. WATERPROOFING REQUIRED ON-GRADE SLABS & BELOW GRADE WALLS WHERE HYDROSTATIC PRESSURE MAY OCCUR AS PER SENTENCE 9.15.3.1(1)
5. CONCRETE SLABS SHALL COMPLY WITH SECTION 9.14.4
6. CRACKS SHALL COMPLY WITH SECTION 9.18
7. ROOF ACCESS AND VENTING SHALL COMPLY WITH SECTION 9.19
8. UNFINISHED MASONRY & MASONRY VENEER TO BE BUILT AS SPECIFIED IN SECTION 9.20
9. FRAPICES TO BE DESIGN & INSTALLED AS PER SECTION 9.22
10. WOOD-FRAME CONSTRUCTION SHALL COMPLY WITH SUBSECTION 9.23.2
11. WOOD-FRAME FASTENERS SHALL COMPLY WITH SUBSECTION 9.23.3
12. NAILING FOR FRAMING AS SPECIFIED IN TABLE 9.23.4
13. SPANS FOR BEAMS JOISTS & LINTELS SHALL COMPLY WITH SUBSECTION 9.23.4
14. BUILDING FRAMES SHALL BE ANCHORED TO THE FOUNDATION AS SPECIFIED IN SUBSECTION 9.25
15. SILL PLATES SHALL BE MIN 38MM X 88MM WHERE THEY PROVIDE BEARING FOR THE FLOOR SYSTEM (REFER TO SENTENCE 9.23.1(1))
16. BEAMS SUPPORTING FLOORS SHALL COMPLY WITH SUBSECTION 9.23.8
17. FLOOR JOISTS SHALL COMPLY WITH SUBSECTION 9.23.9
18. WALL STUDS SHALL COMPLY WITH SUBSECTION 9.23.10
19. WALL PLATES SHALL COMPLY WITH SUBSECTION 9.23.11
20. FRAMING OVER OPENINGS SHALL COMPLY WITH SUBSECTION 9.23.12
21. ROOF A CEILING FRAMING SHALL COMPLY WITH SUBSECTION 9.23.12
22. SUBFLOORING SHALL COMPLY WITH SUBSECTION 9.23.14
23. ROOF SHEATHING SHALL COMPLY WITH SUBSECTION 9.23.15
24. WALL SHEATHING SHALL COMPLY WITH SUBSECTION 9.23.16
25. INSULATION REQUIRED AS PER ARTICLE 9.25.2.1
26. INSTALL INSULATION AS SPECIFIED IN ARTICLE 9.25.2.1 ONLY AS PER 9.25.2.4(1)
27. AIR BARRIERS REQUIRED AS PER ARTICLE 9.25.3.1
28. CONTINUITY OF AIR BARRIER IS CRITICAL AS PER ARTICLES 25.3.3
29. VAPOUR BARRIER REQUIRED AS PER ARTICLE 9.25.4.1
30. MATERIAL SELECTION FOR VAPOUR BARRIER AS SPECIFIED IN ARTICLE 9.25.4.2
31. NAILS FOR ROOFING SHALL COMPLY WITH ARTICLE 9.26.2.2
32. STAPLES FOR ROOFING SHALL COMPLY WITH ARTICLE 9.26.2.3
33. ROOFING FLASHING SHALL COMPLY WITH SUBSECTION 9.26.4
34. EAVE PROTECTION FOR SHINGLES SHALL COMPLY WITH SUBSECTION 9.26.5
35. UNDERLAY BENEATH SHINGLES SHALL COMPLY WITH SUBSECTION 9.26.6
37. ASPHALT SHINGLES SHALL COMPLY WITH SUBSECTION 9.26.9
38. WOOD ROOF SHINGLES SHALL COMPLY WITH SUBSECTION 9.26.9
39. CEDAR ROOF SHINGLES SHALL COMPLY WITH SUBSECTION 9.26.10
40. WOOD ROOF SHINGLES SHALL COMPLY WITH SUBSECTION 9.26.17
41. CLADDING TO BE INSTALLED USING MATERIALS & METHODS ASPECIFIED IN SECTION 9.27
42. STUCCO TO BE INSTALLED USING MATERIALS & METHODS ASPECIFIED IN SECTION 9.28
43. INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH SECTION 9.29
44. FINISH FLOORING SHALL PROVIDE IN ALL RESIDENTIAL OCCUPANCIES & SHALL COMPLY WITH SECTION 9.30

NO.	DATE	DESCRIPTION
1	2023.07.10	ISSUED FOR DVP
2	2023.07.10	REVISED
3	2023.07.10	REVISED

THESE PLANS CONFORM TO BCBC 2018.

DESIGNER ASSUMES NO LIABILITY FOR ERRORS & OMISSIONS.

CONTRACTORS/OBUILDER MUST VERIFY ALL DIMENSIONS ON PLAN PRIOR TO ANY OF THE WORKING.

THIS DRAWING IS THE PROPERTY OF AAKAAR DESIGN STUDIO. A WRITTEN APPROVAL BY AAKAAR DESIGN STUDIO IS REQUIRED PRIOR TO ANY USE OF THIS DRAWING.

PROPOSED SINGLE FAMILY DWELLING
14769 62 Ave
SURREY, BC



designer
AAKAAR DESIGN STUDIO
the.akaar.studio@gmail.com
(779) 552-7618

project number 21007h

drawing title
COVER & SITE PLAN

date: 18 JULY 2022 sheet number
scale: As Indicated
drawn by: A-01
checked by: JF

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0237-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 031-447-911
Lot 19 Section 10 Township 2 New Westminster District Plan Epp108966
14769 - 62 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F.2 of Part 17C "Single Family Residential (10) Zone", the minimum principal building rear yard setback is reduced from 7.5 metres to 6.0 metres.
 - (b) In Section F.2 of Part 17C "Single Family Residential (10) Zone", the minimum principal building front yard setback is increased from 4.0 metres to 6.0 metres.

- (c) In Section F.2 of Part 17C “Single Family Residential (10) Zone”, Delete Footnote 1 and replace with the following:
- i. The *front yard setback* of the *principal building* may be reduced to a minimum of 4.0 m for up to 50% of the width of the front of the *principal building*, or for the entire first storey or part thereof of the *principal building*, or for a *principal building* not exceeding 5.0 m in building height, provided that the *front yard setback* of a garage or carport shall be a minimum of 6.0 m. The minimum 6.0 m and the permitted 4.0 m *front yard setbacks* may be further reduced to a minimum of 4.0 m and 2.0 m respectively by an unenclosed and uninhabitable space such as a porch or veranda, provided that the said porch or veranda is covered from above and is an integral part of the *principal building*.
- (d) In Section F.2 of Part 17C “Single Family Residential (10) Zone”, delete Footnote 2 and replace with a footnote tied to the Principal Building Rear Yard setback, indicating the following:
- ii. The minimum *rear yard setback* of the *principal building* may be reduced to 6.0 m for a maximum of 50% of the width of the rear of the *principal building* for Type II lots. The rear yard setback of the *principal building* on Type II lots may be further reduced to 4.5 m for a maximum of 50% of the width of the rear of the *principal building* at the first floor by an unenclosed deck with a maximum area of 14 sq. m which may be covered by a *sloped roof*, and by stairways with more than 3 risers.
- (e) In Section H. of Part 17C “Single Family Residential (10) Zone”, delete Section 2, in order to remove requirement for driveway access only from a lane under the RF-10 Zone.
- (f) In Section I. of Part 17C “Single Family Residential (10) Zone”, delete Section 2 and replace with the following:
- Porous and Non-Porous Surfaces:
Non-porous or paved surfaces, including a driveway, shall cover a maximum of 30% of the lot area not occupied by buildings or structures.
- (g) In Section I. of Part 17C “Single Family Residential (10) Zone”, delete Section 3 and replace with the following:
- Front Yard Minimums:
In this Zone, *landscaping* within *front yards* shall not include any non-porous or paved surfaces and shall be required as follows:
- (a) Where the *driveway* is located in the *front yard*, a minimum of 75% of the required *front yard*, except the *driveway*, shall be landscaped; and
 - (b) Where the *driveway* is not located in the *front yard*, a minimum of 90% of the required *front yard*, except for a maximum 1.5 m wide entrance path and a maximum 1.0 m wide path leading to the *side yard*, shall be landscaped.

4. This development variance permit applies to only the portion of the Land shown on Schedule A, attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

PROPOSED SINGLE FAMILY DWELLING AT LOT#19 14769 62 Ave SURREY, BC

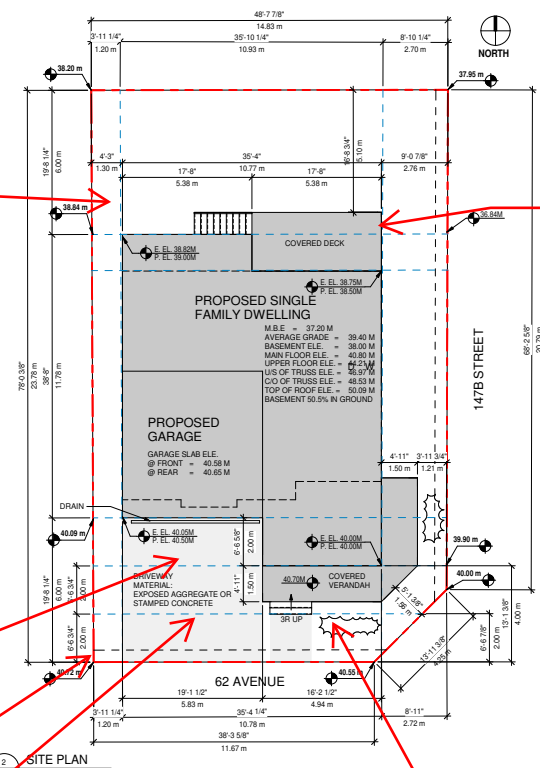
Reduce principal building rear yard setback from 7.5 metres to 6.0 metres.

SITE & ZONING ANALYSIS

ZONING:	RF-10 TYPE 2	FLOOR AREA RATIO:	MAXIMUM FLOOR AREA ALLOWED = 217 SM (2,335.769 SF) INCLUDING GARAGE = MIN. 39 SM (420 SF)
USE:	SINGLE FAMILY DWELLING W/ ATTACHED GARAGE	PROPOSED FLOOR AREAS:	MAIN FLOOR = 973 SF GARAGE = 411 SF (RESERVED 420 SF) SECOND FLOOR = 1081 SF OPEN TO BELOW = 117 SF (EXCLUSION LIMIT 107 SF) STAIRS = 44 SF TOTAL PROPOSED = 2,233 SF
LOT AREA:	3,728.6 SF (346.4 SM)	NOTES:	
LOT COVERAGE:	MAX. LOT COVERAGE PERMITTED = 52% = 1,938.9 SF		
PROPOSED LOT COVERAGE = 1,695 SF (APPROX.) INCLUDING RESIDENCE, GARAGE, COVERED DECK, PORCH & STAIRS			
AVERAGE FINISHED GRADE:	(38.82-38.75+40.00+40.05) / 4 = 39.40M		
BUILDING HEIGHT:	MAX. HEIGHT PERMITTED = 39.40M + 9.5M = 48.90M PROPOSED HEIGHT = 48.53M CENTRE OF TRESS		

VARIANCES REQUESTED UNDER THIS DVP APPLICATION

1. REMOVE CLAUSE THAT REQUIRES DRIVEWAY ACCESS ONLY FROM A LANE UNDER THE RF-10 ZONE.
2. REPLACE FRONT YARD SETBACK LANGUAGE UNDER RF-10 ZONE WITH THE RF-12 LANGUAGE (6.0M FRONT YARD SETBACK WITH REDUCTION FOR PORCH).
3. REPLACE LANDSCAPING LANGUAGE OF RF-10 ZONE WITH RF-12 ZONE LANGUAGE.
4. REAR YARD SETBACK REDUCTION (6.0 METRES).
5. INCREASE ALLOWED COVERED DECK AREA FROM 10 SQM TO 14 SQM TO MATCH ADJACENT RF-12 ZONING.



GENERAL NOTES

Delete and replace Yard and Setbacks Section F footnote 2 of the RF-10 Zone with footnote 2 found in the RF-12 zone, in order to allow the lot to function similarly to a typical RF-12 lot by providing a reduction in rear yard setback requirements for 50% of the width of the principal building to accommodate an unenclosed deck and increase the deck area to 14 square metres as allowed in the RF-12 zone.

1. ALL MATERIALS TO BE USED SHALL COMPLY WITH THE REQUIREMENTS OF CAN S A201 LATEST EDITION
2. FOUNDATION CONCRETE STRENGTH TO BE MIN. 20MPa
3. INTERIOR SLAB CONCRETE STRENGTH TO BE MIN. 20MPa
4. EXTERIOR SLAB CONCRETE STRENGTH TO BE MIN. 32MPa WITH 5% AIR ENTRAINMENT
5. LUMBER IN CONTACT WITH CONCRETE TO BE DAMPROOFED, AND ANCHORED WITH 1/2" DIA ANCHOR BOLT @ 6" O.C. MAX
6. STRUCTURAL LUMBER TO BE #2 DOUGLAS FIR L (U.N.O.)
7. LINTELS TO BE #2 DOUGLAS FIR L (U.N.O.)
8. PROVIDE SOLID LAMINATED STUDDING AT BEARING POINTS
9. PROVIDE DOUBLE JOISTS AT PARALLEL PARTITIONS OPT 2x10 BLOCKING @ 54" O.C.
10. BEDROOM WINDOWS MUST CONFORM TO BCBC 9.7.13
11. DWELLING MUST MEET CURRENT B.C. VENTILATION CODE
12. INSTALL SMOKE ALARMS TO BEDROOM AREAS TO CONFORM TO B.C. CODE 9.10.18.011
13. ALL FRAMING AND NAILING SHALL CONFORM TO B.C.B.C. PART 9 AND DESIGN TO CSA LATEST EDITION
14. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER.
15. ALL NEW WINDOWS, DOORS AND SKYLIGHTS AND THEIR INSTALLATION SHALL COMPLY WITH NEW NAFS STANDARDS AND SPECIFICATIONS (9.7.4 B.C.B.C. 2018 EDITION)
16. PROVIDE MIN. 2% CROSS BRACING OR SOLID BLOCKING BETWEEN JOISTS AND RAFTERS @ 700° C. MAXIMUM MINIMUM ONE ROW
17. PROVIDE MIN. CROWN MOULDING AND ATTIC ACCESS OF 1" X 2" X 4"
18. UNIFORMLY DISTRIBUTE VENTILATION TO FLAT AND VAULTED ROOFS TO 100% OF INSULATED CEILING AREA WITH A MINIMUM OF 25% OF THE 1/300 AT THE BOTTOM AND A MINIMUM OF 25% OF THE 1/300 AT THE TOP.
19. ALL EXTERIOR DOORS TO HAVE DEAD BOLTS MIN. 1" THROW WITH 5 PIN ACTION
20. ALL HANDRAILS SHALL BE A MINIMUM 2" HIGH ABOVE THE NOSINGS
21. PROVIDE A MINIMUM 1" NOSING TO ALL STAIR TREADS LESS THAN 12" IN WIDTH
22. LINO OR EQUAL REDUCED ON BATHROOM FLOORS
23. WATERPROOF WALL BOARD REAT AT TILE SURROUNDS AT TUBS AND SHOWERS

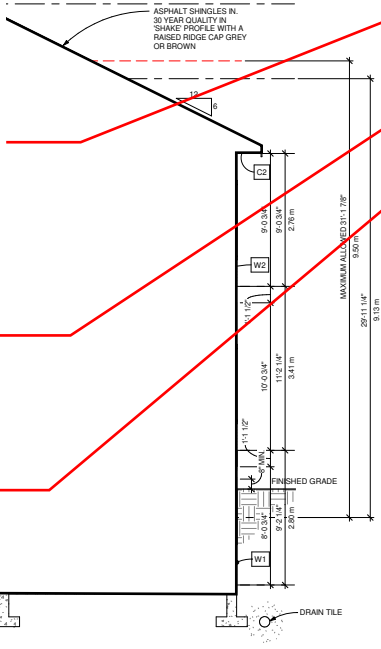
BCBC 2018 REFERENCE NOTES

1. FOOTING TO BE LOCATED AND SIZED AS PER SUBSECTION 9.15.3
2. FOUNDATION WALL THICKNESS AND HEIGHT TO COMPLY WITH TABLE 9.14.2-A
3. DAMPROOFING ON BELOW GRADE STRUCTURES REQUIRED AS PER

Delete and replace Yard and Setbacks Section F footnote 1 of the RF-10 Zone with footnote 1 found in the RF-12 zone, which will provide a reduction in front yard setback requirements for 50% of the width of the principal building provided carport and driveway setbacks are met

Increase principal building front yard setback from 4.0 metres to 6.0 metres.

Remove Off-Street Parking Loading/Unloading Section H.2 that requires driveway access only from a lane under the RF-10 Zone.



ENVELOPE ASSEMBLIES

- W1 (BASEMENT WALL - BELOW GRADE)**
 - 4" DRAINAGE MAT
 - LIQUID APPLIED WATERPROOFING COATING
 - CONCRETE
 - 1" AIR SPACE
 - WOOD STUD
 - 6 MIL VAPOUR BARRIER SHEET
 - GYPSUM DRYWALL
- W2 (WALL - ABOVE GRADE)**
 - 3/4" STONEHARDIE PLANK
 - RAIN SCREEN / AIR GAP
 - BUILDING PAPER
 - 1/2" PRE-PANDED METAL FLASHING
 - EXIT GRADE PLYWOOD SHEATHING
 - 2X6 STUDS @ 16" O.C. (U.N.O.)
 - R50 BATT INSULATION
 - 6 MIL VAPOUR BARRIER SHEET
 - 1/2" GYPSUM DRYWALL
- W3 (WALL - INTERIOR PARTITIONS)**
 - 1/2" GYPSUM DRYWALL
 - 2X4 STUDS @ 16" O.C. (U.N.O.)
 - 1/2" GYPSUM DRYWALL
- W4 (WALL - FOUNDATION/RETAINING)**
 - LIQUID APPLIED WATERPROOFING COATING (DAMP PROOFING)
 - CONCRETE
- R1 (TRUSS ROOF - HOUSE/GARAGE)**
 - ASPHALT SHINGLES IN 30 YEAR QUALITY IN SHAKE PROFILE WITH A RAISED RIDGE CAP GREY OR BROWN
 - ROOF TRUSS @ 24" O.C.
 - VENTILATED ATTIC SPACE (2" Baffle CLEARANCE W/ INSULATION STOPS)
- R2/R3 (FLAT ROOF - HOUSE/GARAGE)**
 - SPLY STRIPS TOUCH ON ROOFING
 - ROOFING FELT UNDERLAY
 - PLYWOOD SHEATHING
 - 1/2" CROSS PURLINS
 - PRE-ENGINEERED TRUSS @ 24" O.C. (SEE TRUSS DRAWINGS)

SECONDARY SUITE ASSEMBLIES (MUST CONFORM TO BCBC 9.10.3.1.)

- F1 (BASEMENT SLAB)**
 - 4" CONCRETE SLAB
 - 6 MIL POLY VAPOUR BARRIER
 - MIN. COMPACTED SAND
- F2 (INTERIOR FLOOR - HOUSE)**
 - 5/8" T&G PLYWOOD SUBFLOOR GLEUED & SCREWED
 - 11-7/8" T&J FLOOR JOIST @ 16" O.C. (U.N.O.)
 - 1/2" G.W.B.
- F3 (SLAB ON GRADE - GARAGE)**
 - 4" CONCRETE SLAB (MIN 4" BELOW FOUNDATION WALL)
 - 6 MIL POLY VAPOUR BARRIER
 - MIN. COMPACTED SAND OR GRAVEL FILL
- C1 (CEILING US ROOF - HOUSE/GARAGE)**
 - R-40 BATT INSULATION
 - 6 MIL POLY VAPOUR BARRIER
 - 5/8" GYPSUM DRYWALL
- C2 (FASCIA/SOFFIT)**
 - INTEGRAL GUTTER SYSTEM
 - 2X10 FASCIA BOARD
 - 2X4 BACK NAILED
 - METAL VINYL SOFFIT WITH CONTINUOUS SCREEN VENT
- SW1 (WALL - INTERIOR PARTITIONS) ASSEMBLY W3C**
 - AS PER BCBC TABLE 9.10.3.1 - A
 - 1/2" TYPE 'X' GYPSUM WALL BOARD
 - RESILIENT CHANNEL ON ONE SIDE @ 16" O.C.
 - 2X6 STUDS @ 16" O.C. (U.N.O.)
 - PREFORMED GLASS FIBRE INSULATION IN CAVITY
 - 1/2" GYPSUM WALL BOARD
- SC1 (CEILING SECONDARY SUITE) ASSEMBLY F8C**
 - AS PER BCBC TABLE 9.10.3.1 - A
 - 1/2" TYPE 'X' GYPSUM WALL BOARD
 - RESILIENT METAL CHANNELS SPACED AT 400MM
 - JOIST SPACES TO BE FILLED W/ PREFORMED INSULATION OF ROCK OR SLAG FIBRES OR WET-BLOWN CELLULOSE FIBRES
 - 5/8" T&G OSB / PLYWOOD SUBFLOOR FLOOR FINISH

Delete and replace Landscaping Section I.2 and I.3 of the RF-10 Zone with Section I.2 and I.3 of the RF-12 Zone, in order to vary the landscaping requirements to allow for a front yard driveway, including changing porous surface requirements and front yard landscaping requirements to accommodate a driveway

30. VAPOUR BARRIER REQUIRED AS PER ARTICLE 9.25.4.1
31. MATERIAL SELECTION FOR VAPOUR BARRIER AS SPECIFIED IN ARTICLE 9.26.2.2
32. NAILS FOR ROOFING SHALL COMPLY WITH ARTICLE 9.26.2.2
33. STAPLES FOR ROOFING SHALL COMPLY WITH ARTICLE 9.26.2.3
34. ROOFING FLASHING SHALL COMPLY WITH SUBSECTION 9.26.4
35. EAVE PROTECTION FOR SHINGLES SHALL COMPLY WITH SUBSECTION 9.26.5
36. UNDERLAY BENEATH SHINGLES SHALL COMPLY WITH SUBSECTION 9.26.6
37. ASPHALT SHINGLES SHALL COMPLY WITH SUBSECTION 9.26.7
38. WOOD ROOF SHINGLES SHALL COMPLY WITH SUBSECTION 9.26.8
39. CEDAR ROOF SHINGLES SHALL COMPLY WITH SUBSECTION 9.26.10
40. WOOD ROOF SHINGLES SHALL COMPLY WITH SUBSECTION 9.26.11
41. CLADDING TO BE INSTALLED USING MATERIALS & METHODS ASSOCIATED IN SECTION 9.27
42. STUCCO TO BE INSTALLED USING MATERIALS & METHODS ASSOCIATED IN SECTION 9.28
43. INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH SECTION 9.29
44. FINISH FLOORING SHALL PROVIDE IN ALL RESIDENTIAL OCCUPANCIES & SHALL COMPLY WITH SECTION 9.30

PROPOSED SINGLE FAMILY DWELLING
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project number	21007h
drawing title	COVER & SITE PLAN

date:	18 JULY 2022	sheet number	
scale:	As indicated		
drawn by:	JF		
checked by:	JF		