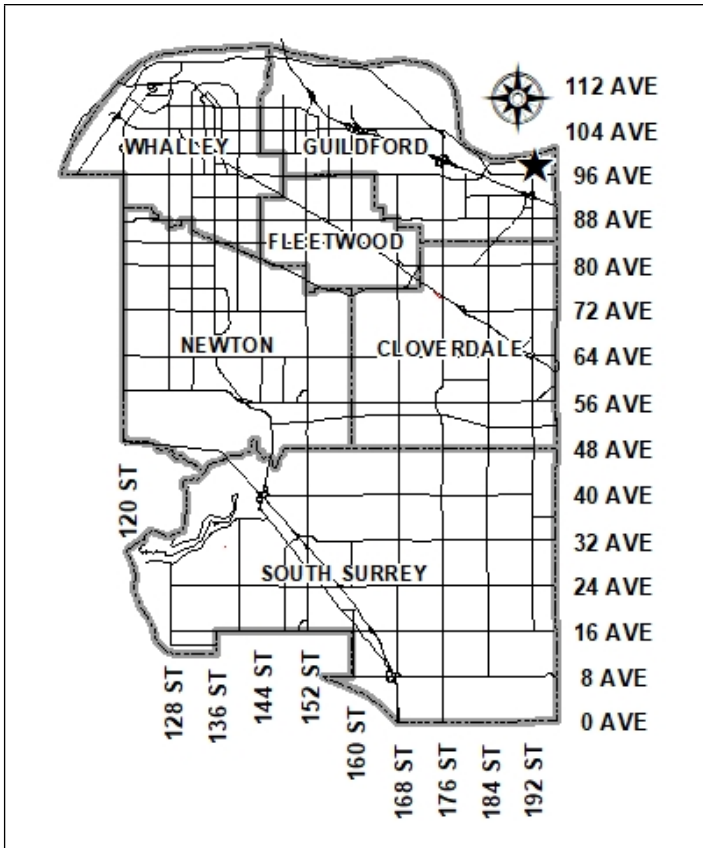


City of Surrey  
**ADDITIONAL PLANNING COMMENTS**

Application No.: 7922-0230-00

Planning Report Date: July 10, 2023



**PROPOSAL:**

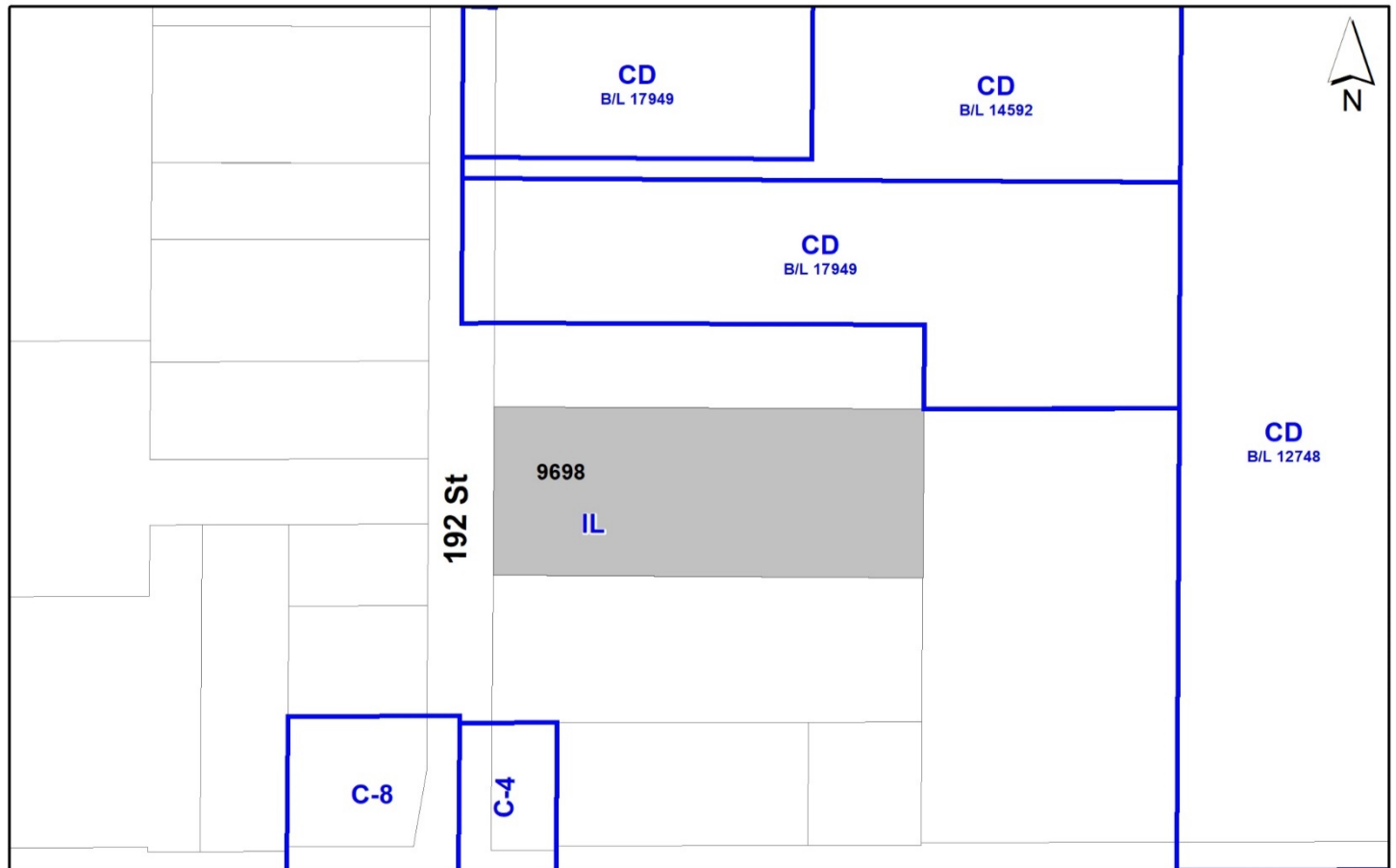
- **Development Permit**
- **Development Variance Permit**

to permit the development of two multi-tenant industrial warehouse buildings in Port Kells. A variance is requested to reduce the minimum south side yard setback requirement under the IL Zone.

**LOCATION:** 9698 – 192 Street

**ZONING:** IL

**OCP DESIGNATION:** Industrial



## RECOMMENDATION SUMMARY

- Approval to draft updated Development Permit for Form and Character.
- Approval for revised Development Variance Permit to proceed to Public Notification.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is requesting a variance in order to reduce the minimum side yard (south) building setback from 7.5 metres to 6.0 metres, under the IL Zone, for proposed Building B.

## RATIONALE OF RECOMMENDATION

- At the Regular Council – Land-Use Meeting held on May 1, 2023, Council considered the Initial Planning Report for the subject site which, at the time, proposed two multi-tenant industrial buildings on a consolidated site (9698 and 9714/9718 – 192 Street) and a DVP for reduced setbacks (Appendix V).
- At that time, staff was authorized to draft the Development Permit (DP) and the Development Variance Permit (DVP) was granted approval to proceed to Public Notification. The proposed variance was granted support by Council at the May 15, 2023 Regular Council – Public Hearing Meeting.
- Following the Council meeting, the applicant entered into negotiations with the City of Surrey to allow the City to acquire the northerly property (9714/9718 – 192 Street) for the future expansion of the Surrey Biofuel Facility located at 9751 – 192 Street.
- Therefore, the applicant is proposing to amend the original application and will proceed with redevelopment of the southerly property (9698 – 192 Street). This necessitates changes to the proposed building locations and the requirement for a variance to reduce the minimum south side yard setback for proposed Building B.
- The proposed variance to reduce the minimum side yard (south) building setback will allow for emergency response personnel to access the building from a single staging point as well as comply with B.C. Building Code requirements.
- The proposed multi-tenant industrial buildings are similar in form and character to the buildings originally presented to Council in the Initial Planning Report for 7922-0230-00.
- The proposed industrial buildings are attractive, well-designed and establish a higher-standard in terms of the form, design and character for future industrial warehouse buildings within the surrounding area.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7922-0230-00 generally in accordance with the attached updated drawings (Appendix I).
2. Council approve a revised Development Variance Permit No. 7922-0230-00 (Appendix IV) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum side yard (south) setback of the IL Zone from 7.5 metres to 6.0 metres to the principal building face for proposed Building B.
3. Council instruct staff to resolve the following issues prior to final approval:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering; and
  - (b) the applicant is required to address, to the satisfaction of City staff, all outstanding items previously identified in the Initial Planning Report (Appendix V).

## DEVELOPMENT PROPOSAL

### Planning Considerations

#### Background

- At the May 1, 2023 Regular Council – Land-Use Meeting, Council authorized staff to draft a Development Permit for two multi-tenant industrial warehouse buildings on a consolidated site (9698 and 9714/9718 – 192 Street). The Development Variance Permit for reduced building setbacks was granted “support” at the May 15, 2023 Regular Council – Public Hearing Meeting.
- Following the Council meeting, the applicant entered into negotiations with the City of Surrey to allow the City to acquire the northerly property (9714/9718 – 192 Street) for the future expansion of the Surrey Biofuel Facility located at 9751 – 192 Street.
- Therefore, the applicant is proposing to amend the original application and will proceed with redevelopment of the southerly property (9698 – 192 Street). This necessitates changes to the proposed building locations and the requirement for a variance to reduce the minimum south side yard setback for proposed Building B.

#### Revised Proposal

- The applicant is proposing to construct two (2) multi-tenant industrial buildings located at 9698 – 192 Street. The proposed buildings include a total of 8,777 square metres of industrial warehouse and office space.

- The proposed buildings comply with all aspects of the IL Zone, with the exception of the side yard (south) building setback for proposed Building B. The applicant is requesting a variance to reduce the minimum side yard (south) setback under the IL Zone, in order to comply with the operational requirements of Surrey Fire Services (SFS) and the B.C. Building Code in terms of emergency vehicle response.

Proposed	
<b>Lot Area</b>	
Gross Site Area:	16,161.88 sq. m.
Road Dedication:	N/A
Undevelopable Area:	N/A
Net Site Area:	16,161.88 sq. m.
<b>Number of Lots:</b>	1
<b>Building Height:</b>	11.6 metres
<b>Floor Area Ratio (FAR):</b>	0.54
<b>Floor Area</b>	
Residential:	N/A
Commercial:	8,777 sq. m.
Total:	8,777 sq. m.

### Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Ministry of Environment (MOE):	Ministry of Environment (MOE) comments are pending, however the applicant has previously obtained an Approval in Principal. The applicant will be required to address any additional MOE requirements prior to final approval.
Surrey Fire Department:	No concerns.
Advisory Design Panel:	The application was not referred to the ADP but was reviewed by staff and found satisfactory.

### Transportation Considerations

- The subject site will obtain driveway access from 192 Street.
- A drive aisle is proposed along the southern façade of Building B in order to meet Surrey Fire Services operational requirements in terms of emergency vehicle response. In order to provide this emergency access, a variance is requested to reduce the minimum building setback for the easterly industrial building (Building B), as outlined in the discussion below.

### Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

### **Proposed Setback Variance**

- The applicant is requesting a variance to reduce the minimum south side yard setback under the IL Zone from 7.5 metres to 6.0 metres, for proposed Building B, to the principal building façade.
- The IL Zone requires a minimum side yard setback of 7.5 metres to the principal building face unless the subject site is adjacent a Commercial, Industrial or Mixed Employment designated property in the OCP. In this situation, one side yard setback may be reduced from 7.5 metres to 0.0 metre.
- The applicant is requesting a Development Variance Permit (DVP) in order to reduce the minimum south side yard setback for proposed Building B from 7.5 metres to 6.0 metres in order to accommodate a drive aisle along the southern façade for Surrey Fire Services (SFS). The drive aisle will allow SFS personnel to access the building thereby meeting operational requirements as well as complying with life safety regulations identified in the B.C. Building Code.
- City staff support the proposed variance to proceed for consideration.

### **Public Engagement**

- Given that the proposed layout and building design are similar to the development considered by Council in the Initial Planning Report (Appendix V), no additional public consultation was undertaken by City staff.

## **DEVELOPMENT PERMITS**

### **Form and Character Development Permit Requirement**

- The proposed buildings will provide a total of 8,777 square metres of industrial warehouse and office space with roughly 8 units ranging in size from 678 square metres to 886 square metres.
- The proposed buildings will conform with all aspects of the IL Zone, except for the side yard (south) building setback. The applicant requests a variance in order to reduce the minimum building setback requirement, under the IL Zone, for proposed Building B.
- The proposed layout, form and character, tenant signage and on-site landscaping is similar to the original proposal which proceeded to Council for consideration under the Initial Planning Report (Appendix V).
- The concrete tilt-up buildings are attractive, well-designed and establish a high standard with respect to the form, design and character of future industrial buildings within the surrounding neighbourhood.

### **On-site Parking**

- Under the Zoning Bylaw, a total of 101 parking spaces are required on-site to accommodate the current proposal which includes a combination of industrial warehouse and office uses.

The required parking rate is 1 parking space per 100 square metres of gross floor area for the industrial warehouse and 2.5 parking spaces per 100 square metres of gross floor area for the office uses proposed on-site.

- The applicant is proposing to provide 105 parking spaces on-site, which complies with the Zoning Bylaw. However, given the lack of additional on-site parking, the applicant will be required to register a Section 219 Restrictive Covenant (RC) on title to limit the amount of mezzanine space allowed on-site unless additional parking is provided, per the minimum parking requirements under Zoning Bylaw No. 12000.

### Outstanding Items

- City staff will continue to work with the applicant to resolve the outstanding items identified in the Initial Planning Report (Appendix V) prior to issuance of the Development Permit and Development Variance Permit.

### TREES

- Tim Vandenberg, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared a revised Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal by tree species:

**Table 1: Summary of Proposed Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Deciduous Trees</b>			
Bigleaf Maple	9	9	0
Magnolia	3	0	3
Trembling Aspen	12	12	0
<b>Coniferous Trees</b>			
Western Red Cedar	3	3	0
<b>Total</b>	<b>27</b>	<b>24</b>	<b>3</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>			
		<b>28</b>	
<b>Total Retained and Replacement Trees Proposed</b>			
		<b>31</b>	
<b>Estimated Contribution to the Green City Program</b>			
		<b>\$11,000</b>	

- The Arborist Assessment states there are a total of twenty-seven (27) mature trees on the site. It was determined that three (3) trees can be retained as part of the development proposal. The proposed tree retention was assessed taking into consideration the building footprint, location of services, road dedication and proposed lot grading.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require forty-eight (48) replacement trees on the subject site. Since only twenty-eight (28) replacement trees are proposed, the deficit of twenty (20) replacement trees will require a cash-in-lieu payment of \$11,000, representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including Freeman Maple, Zelkova, Saratoga Ginko, White Ash, Oregon Ash, Green Pillar Pin Oak, Stellar Pink Dogwood, Tulip Trees, Japanese Maple, Pacific Crabapple and Redbud.
- In summary, a total of thirty-one (31) trees are proposed to be retained or replaced on the site with a contribution of \$11,000 to the Green City Program.

### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevation Drawings and Landscape Plans
Appendix II.	Engineering Summary
Appendix III.	Summary of Tree Survey and Tree Preservation
Appendix IV.	Revised Development Variance Permit No. 7922-0230-00
Appendix V.	Initial Planning Report No. 7922-0230-00, dated May 1, 2023

*approved by Ron Gill*

Don Luymes  
General Manager  
Planning and Development

MJ/ar



# 9698 192nd INDUSTRIAL BUILDINGS

**Beedie**

TKA+D ARCHITECTURE • DESIGNING  
251-100 PINECREST STREET, VANCOUVER, BC V6P 3R9

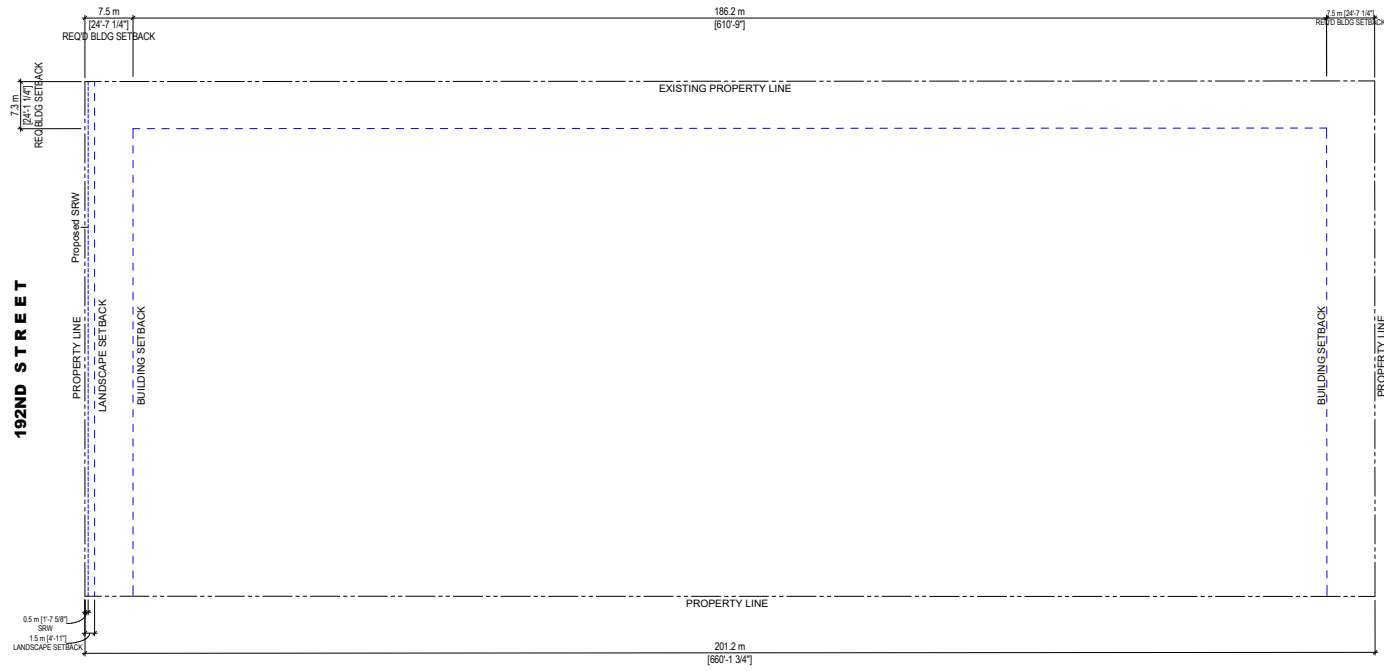
**9698 192nd**  
9698 192nd Street  
Surrey, BC

Cover Page  
PLOT DATE: 6/16/2023 3:20:21 PM

**A00**



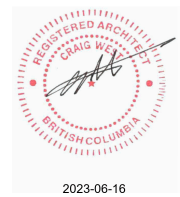




192ND STREET

1 PL, SRW, Setbacks  
1" = 30'-0"

**Base Plan Legend**  
 PROPERTY LINES  
 SETBACKS  
 SRW / EASEMENTS



REV	DATE	DESCRIPTION	DRAWN	AUTHOR
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FILE: \\tkadp\p\2023\0616\03.dwg		DATE: 6/16/2023 1:22:47 PM	PROJECT NUMBER: 22008	



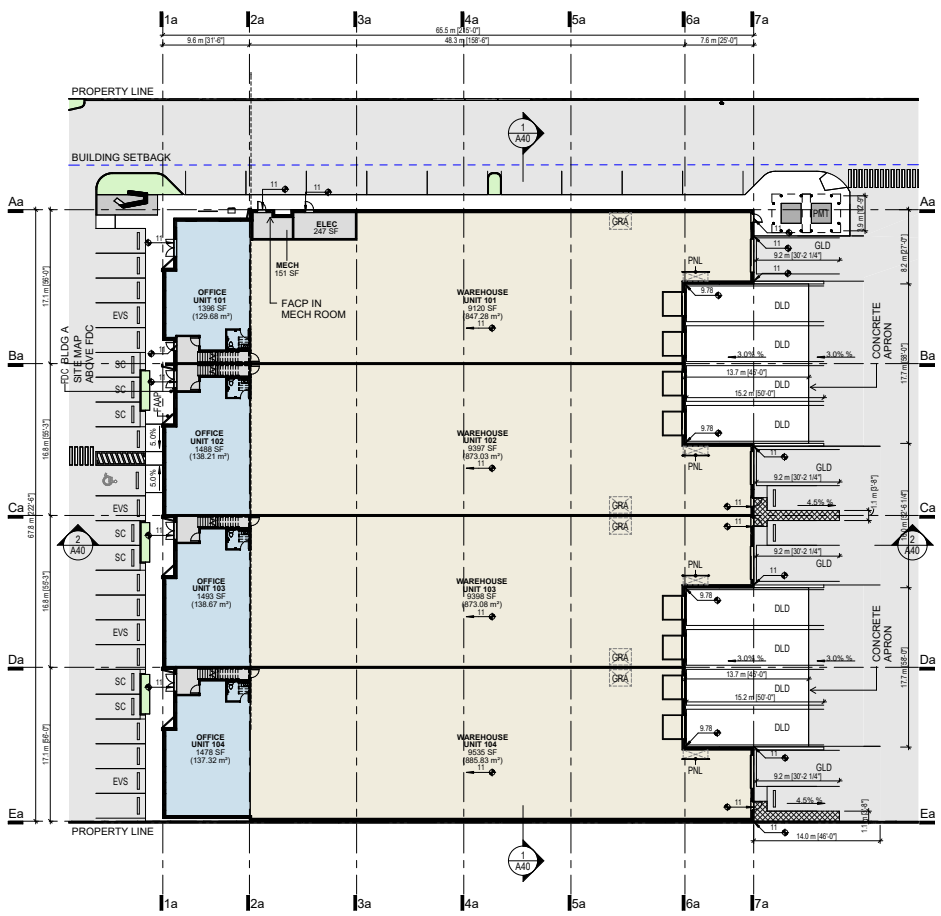
**9698 192nd**  
 9698 192nd Street  
 Surrey, BC

**Property, ROW & Setbacks**  
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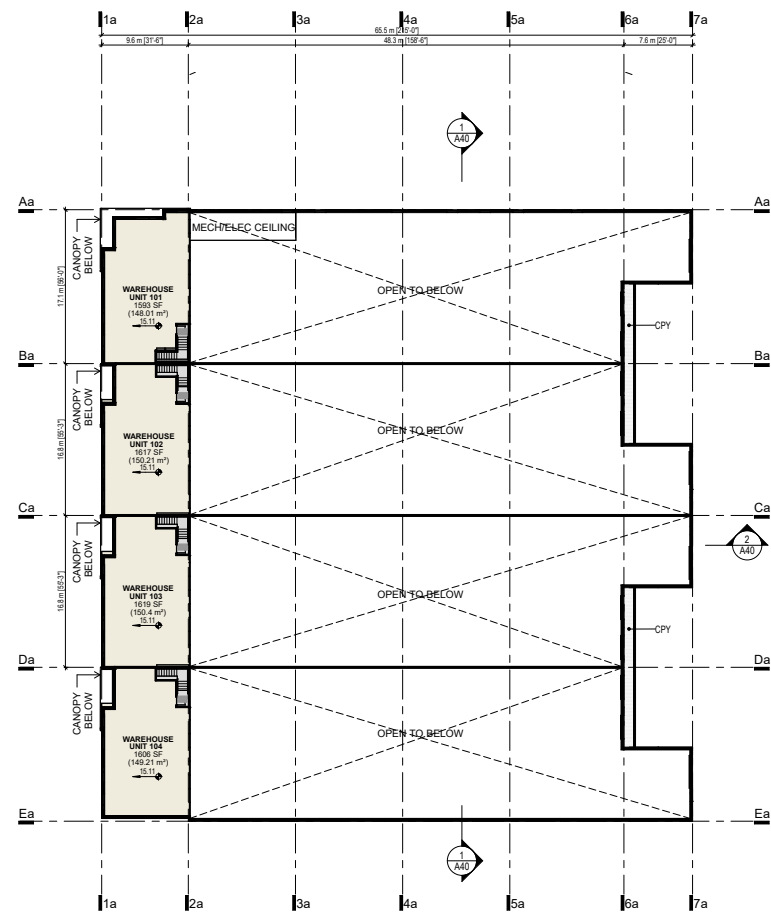
**A03**

KEYNOTE LEGEND

TAG	DESCRIPTION
CPY	CANOPY
DLD	DOCK LOADING
EVS	ELECTRIC VEHICLE STALL
FAAP	FIRE ALARM ANNUNCIATOR PANEL
FDC	FIRE DEPARTMENT CONNECTION
GLD	GRADE LOADING
GRA	GARBAGE & RECYCLING AREA
PMT	PAD MOUNTED TRANSFORMER
PNL	ELECTRICAL PANEL
SC	SMALL CAR



1 L1  
3/64" = 1'-0"



2 L2  
3/64" = 1'-0"



1	23.06.16	Issued for Development Permit
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PROJECT NUMBER		DRAWN: Author
FILE:	364-Open-plan-0203-01	DATE: 6/16/2023 12:02 PM



TKA ARCHITECTURE + DESIGN INC.  
300-1100 HAVENWOOD STREET, VANCOUVER, BC, V6E 4P6

9698 192nd  
9698 192nd Street  
Surrey, BC

Floor Plan - L1 & L2  
(Building A)  
PLOT DATE: 6/16/2023 3:20:28 PM



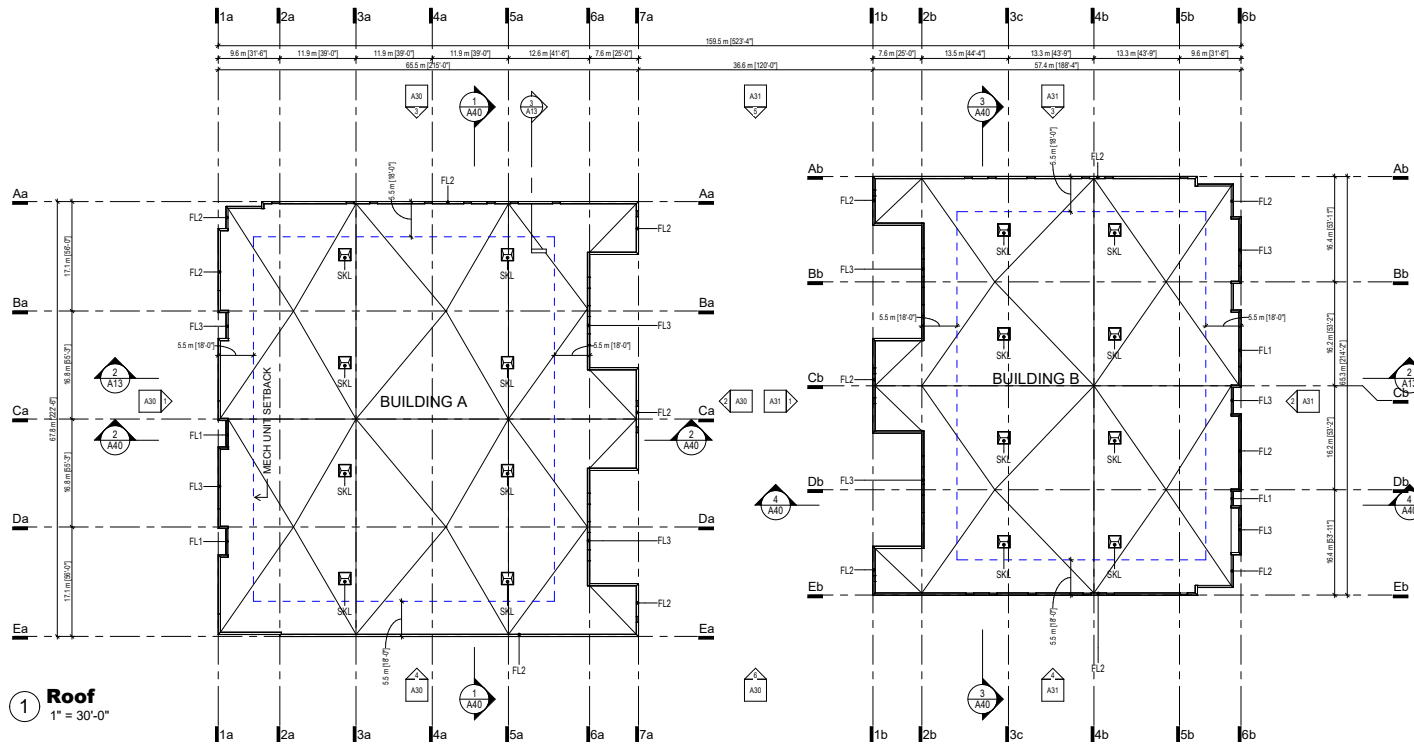


**GENERAL NOTES:**

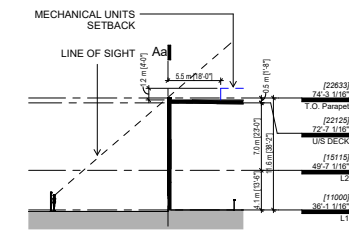
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 BALLAST MATERIAL  
 PROVIDING A SRI = 0.45

**KEYNOTE LEGEND**

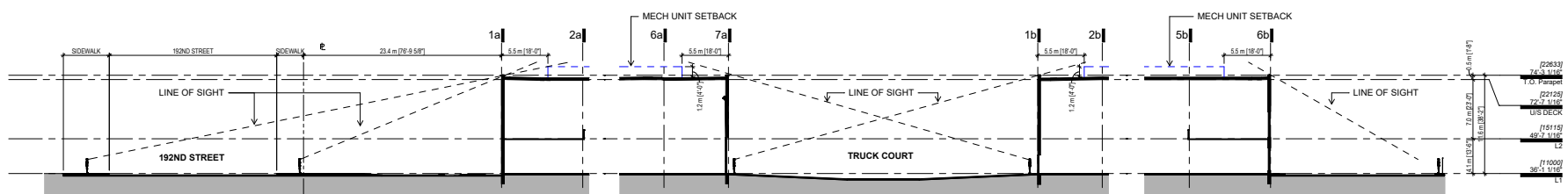
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FL2	FLASHING - PAINTED P2
FL3	FLASHING - PAINTED P3
SKL	SKYLIGHT



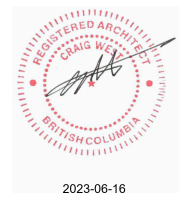
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**3 N-S Wall Section Building A**  
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**2 E-W Section Building A + B**  
1" = 20'-0"



2023-06-16

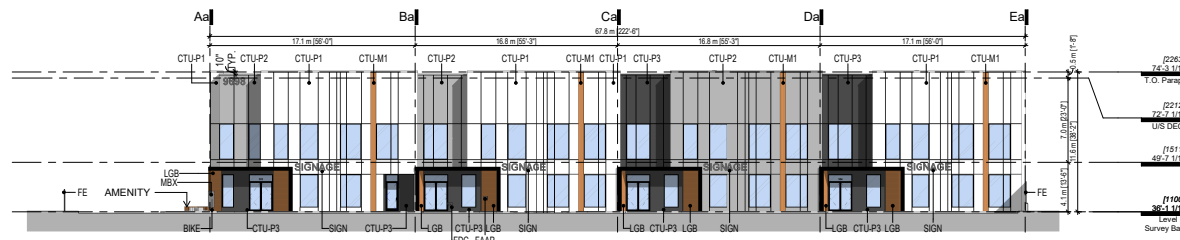
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SCALE:	As indicated	DATE:
PROJECT NUMBER		DRAWN:
		2208



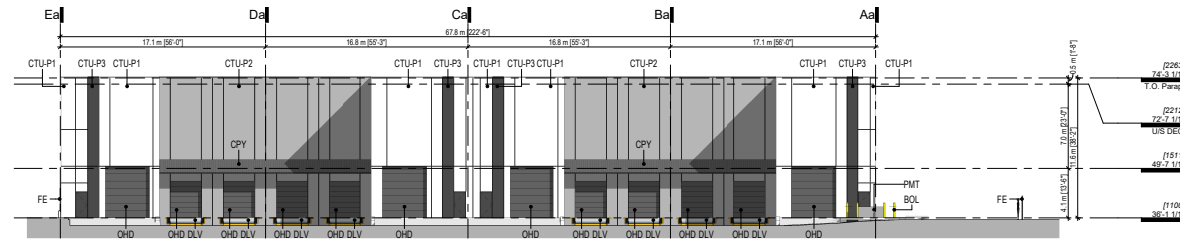
**9698 192nd**  
 9698 192nd Street  
 Surrey, BC

**Roof Plan**  
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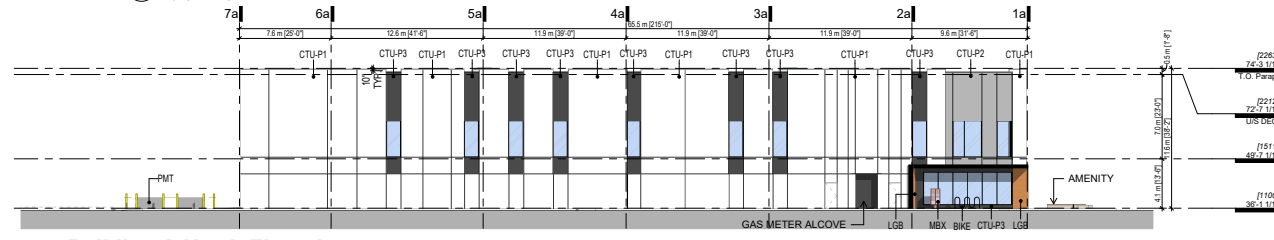




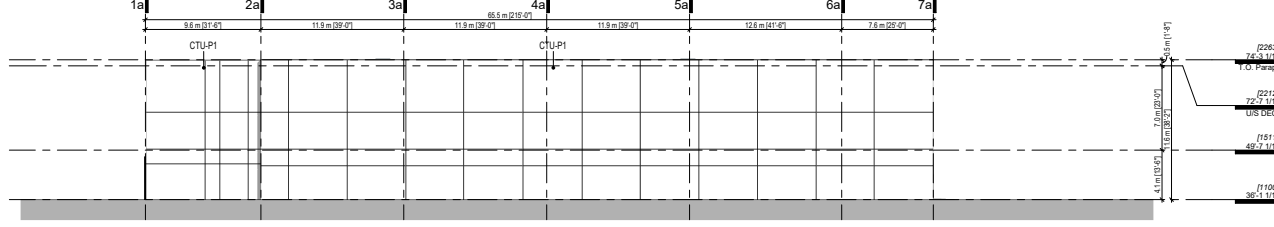
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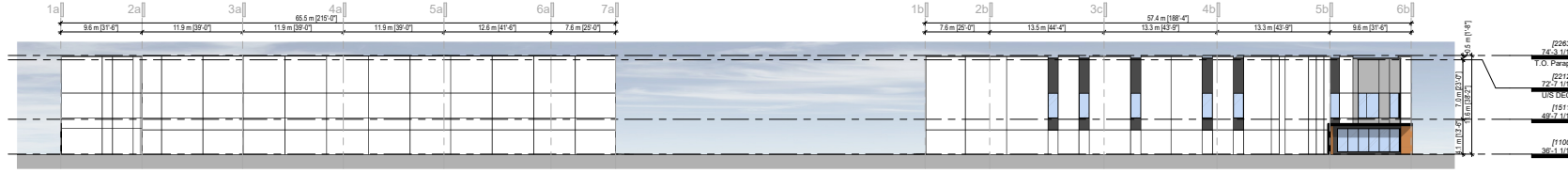
② **Building A East Elevation**  
1/16" = 1'-0"



③ **Building A North Elevation**  
1/16" = 1'-0"



④ **Building A South Elevation**  
1/16" = 1'-0"



⑥ **Building A & B South Elevation**  
3/64" = 1'-0"

**KEYNOTE LEGEND**

TAG	DESCRIPTION
BIKE	BIKE RACK
BOL	BOLLARD
CPY	CANOPY
CTU-M1	CONCRETE - TILT UP - LONGBOARD
CTU-P1	CONCRETE - TILT UP - PAINTED P1
CTU-P2	CONCRETE - TILT UP - PAINTED P2
CTU-P3	CONCRETE - TILT UP - PAINTED P3
DLV	DOCK LEVELLER
FAAP	FIRE ALARM ANNUNCIATOR PANEL
FDC	FIRE DEPARTMENT CONNECTION
FE	FENCE
LGB	LONGBOARD
MBX	MAILBOX
OHD	OVERHEAD DOOR
PMT	PAD MOUNTED TRANSFORMER
SIGN	SIGNAGE; BY OWNER



2023-06-16

1 - 23.06.16 Issued for Development Permit

REV	DATE	DESCRIPTION	BY	DATE	DESCRIPTION

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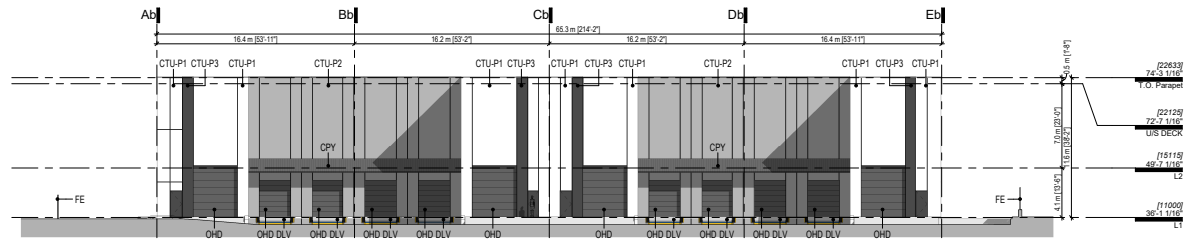
**9698 192nd**  
9698 192nd Street  
Surrey, BC

**Building A Elevations**  
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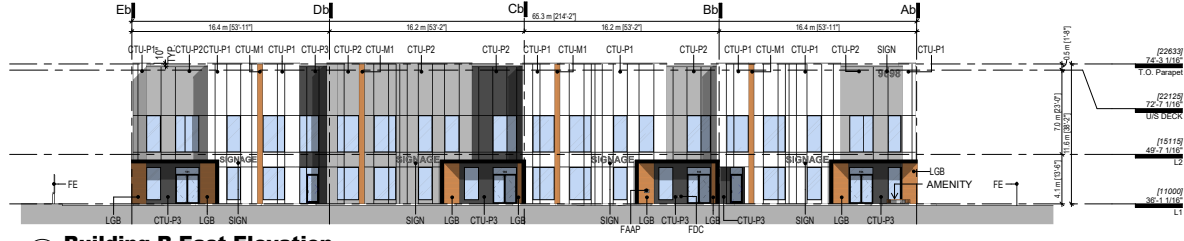
**A30**

**KEYNOTE LEGEND**

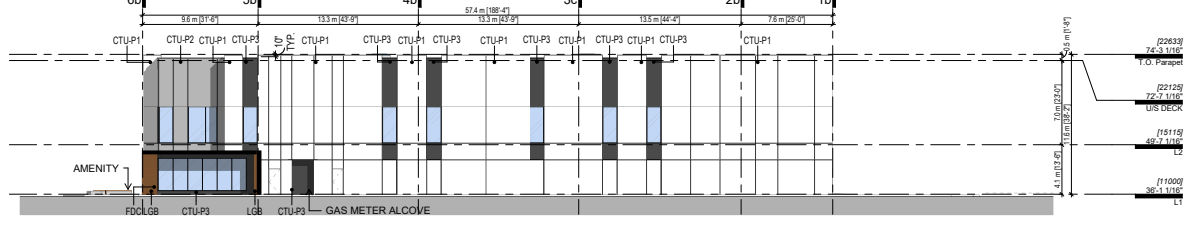
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CPY	CANOPY
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CTU-P1	CONCRETE - TILT UP - PAINTED P1
CTU-P2	CONCRETE - TILT UP - PAINTED P2
CTU-P3	CONCRETE - TILT UP - PAINTED P3
DLV	DOCK LEVELLER
FAAP	FIRE ALARM ANNUNCIATOR PANEL
FDC	FIRE DEPARTMENT CONNECTION
FE	FENCE
LGB	LONGBOARD
OHD	OVERHEAD DOOR
SIGN	SIGNAGE, BY OWNER



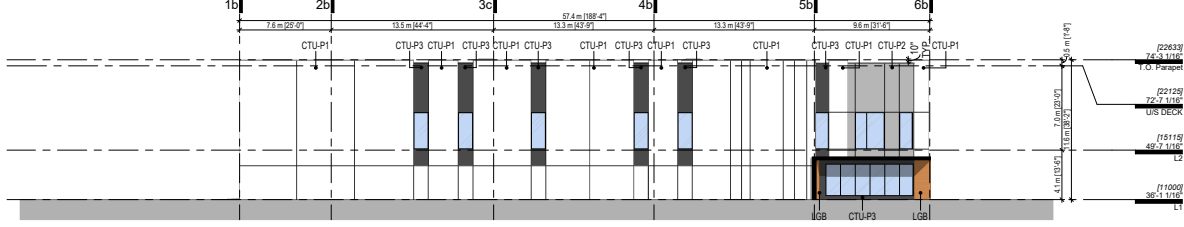
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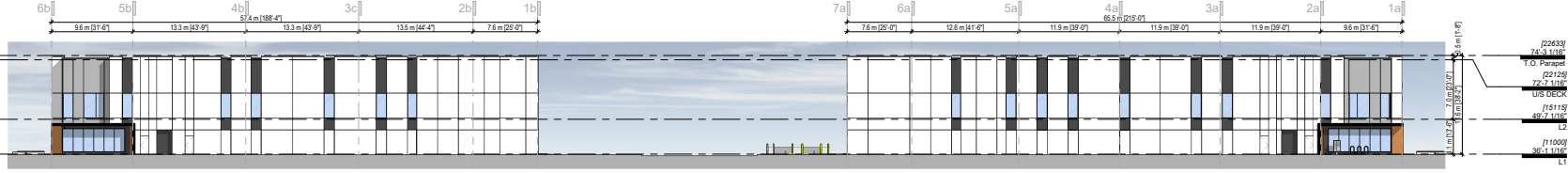
② **Building B East Elevation**  
1/16" = 1'-0"



③ **Building B North Elevation**  
1/16" = 1'-0"



④ **Building B South Elevation**  
1/16" = 1'-0"



⑤ **Building A & B North Elevation**  
3/64" = 1'-0"



1 23.06.16 Issued for Development Permit

REV	DATE	DESCRIPTION	DRAWN
SCALE	As indicated	DATE	
PROJECT NUMBER	2208		
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**TKA** ARCHITECTURE + DESIGN INC.  
305-11000 HAVEN STREET - VANCOUVER, BC, V6A 4K9

**9698 192nd**  
9698 192nd Street  
Surrey, BC

**Building B Elevations**  
PLOT DATE: 6/16/2023 3:20:41 PM

**A31**



2023-06-16

1 - 23.06.16 Issued for Development Permit			
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PROJECT NUMBER			22008
FILE: \\tkad\p\2023\22008\01.dwg			LOT DATE: 6/16/2023 1:01:47 PM



**9698 192nd**  
 9698 192nd Street  
 Surrey, BC

**Perspective Views**  
 PLOT DATE: 6/16/2023 3:20:42 PM

**A50**





- LEGEND**
- CONCRETE SIDEWALK PAVING
  - SOIL
  - SAW-CUT CONCRETE
  - SOIL CELL
  - STRUCTURAL SOIL
  - GRAVEL
  - EXISTING TREE TO REMAIN
  - TREE PROTECTION FENCE
  - PAVERS
  - 1.8m CHAINLINK FENCE
  - BIKE RACK

3	202016	ISSUED FOR DEVELOPMENT PERMIT
2	201916	ISSUED FOR DEVELOPMENT PERMIT
1	201825	ISSUED FOR REVIEW
NO. DATE (YYYY) DESCRIPTION		
ISSUES & REVISIONS		
SCALE		



PROJECT NAME:

**BEEDIE 192**

PROJECT ADDRESS:

**9698 192nd STREET  
SURREY, BC**

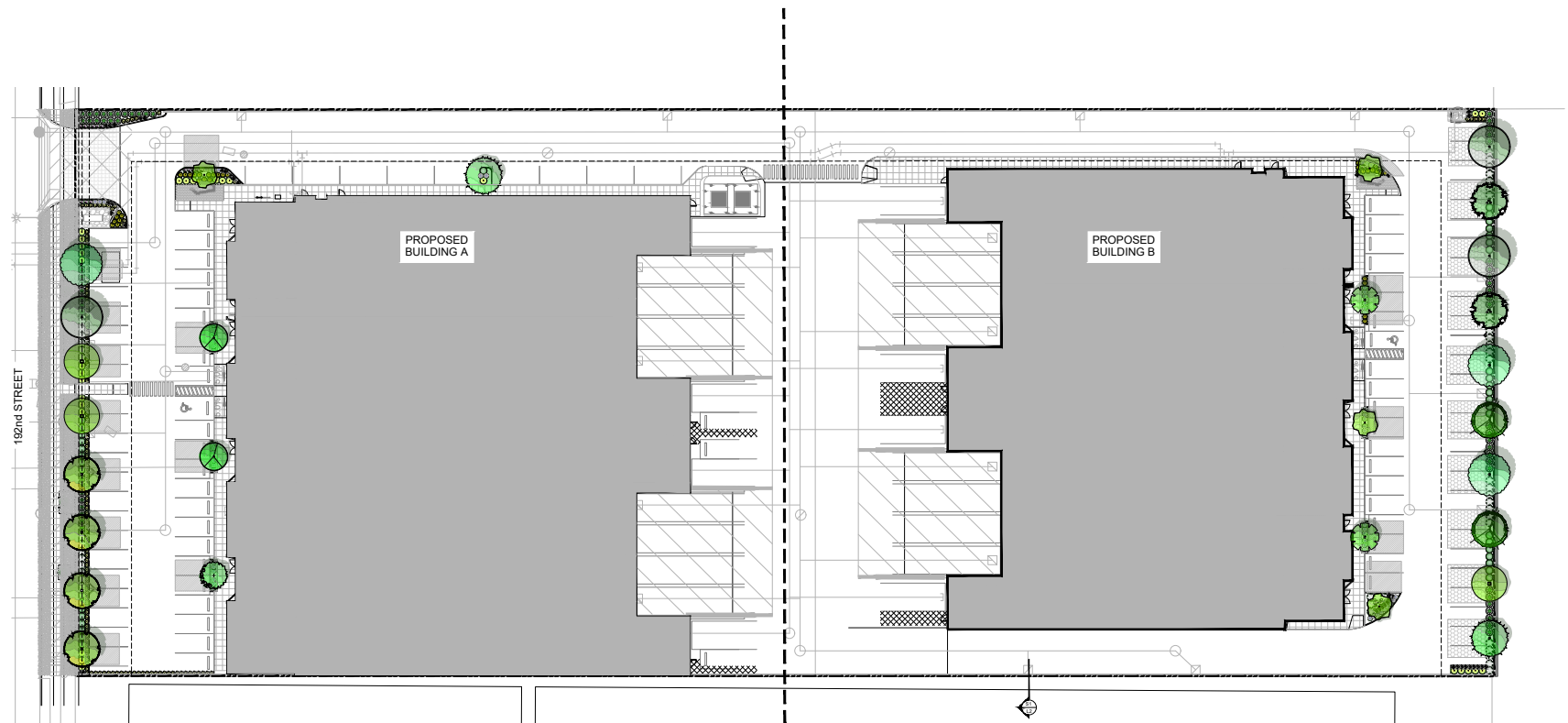
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CHECKED:	JT
PROJECT NO.:	220295-L
DRAWING NO.:	<b>L1</b>



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192nd STREET

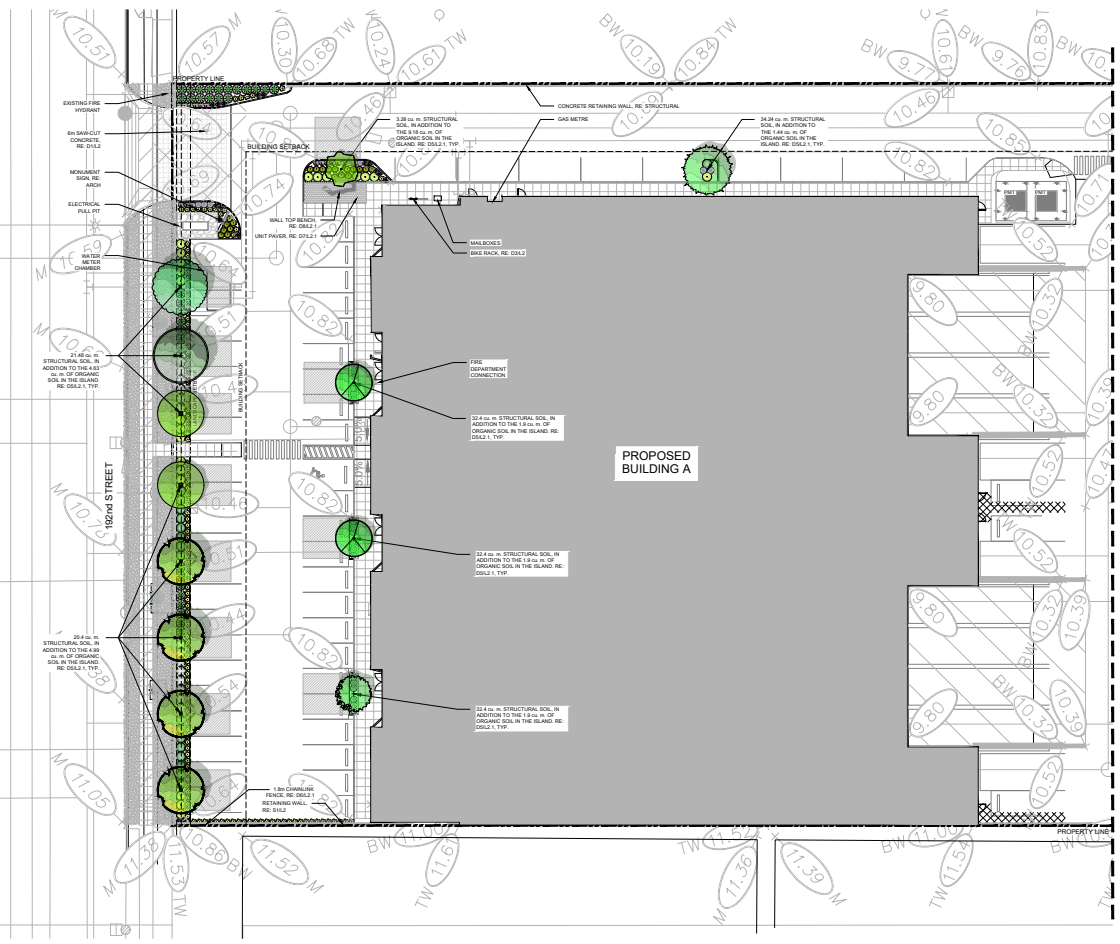
PROPOSED BUILDING A

PROPOSED BUILDING B

ENLARGEMENT 1  
SHEET L1.1  
ENLARGEMENT 2  
SHEET L1.2

**LEGEND**

- CONCRETE SIDEWALK PAVING
- SOIL
- SAWCUT CONCRETE
- SOIL CELL
- STRUCTURAL SOIL
- GRAVEL
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE
- PAVERS
- 1.8m CHAINLINK FENCE
- BIKE RACK



**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
<b>DECIDUOUS TREES</b>						
	3	<i>Liriodendron tulipifera</i>	Tulip tree	60m cal.	As per plan	W.B.
	4	<i>Ginkgo biloba 'Saratoga'</i>	Saratoga ginkgo	60m cal.	As per plan	W.B.
	3	<i>Acer x freemanii</i>	Freeman maple	60m cal.	As per plan	W.B.
	3	<i>Fraxinus americana</i>	White ash	60m cal.	As per plan	W.B.
	2	<i>Fraxinus latifolia</i>	Oregon ash	60m cal.	As per plan	W.B.
	2	<i>Quercus laevis 'Pingree'</i>	Green Pillar Pin Oak	60m cal.	As per plan	W.B.
	2	<i>Cornus rotundifolia</i>	Starlet Pink dogwood	60m cal.	As per plan	W.B.
	4	<i>Acer japonicum</i>	Japanese maple	60m cal.	As per plan	W.B.
	1	<i>Malus fusca</i>	Pacific crabapple	60m cal.	As per plan	W.B.
	2	<i>Cercis canadensis</i>	Redbud	60m cal.	As per plan	W.B.
	2	<i>Zelkova serata</i>	Zelkova	60m cal.	As per plan	W.B.
<b>SHRUBS</b>						
	28	<i>Brachyglottis compacta 'Sunshin'</i>	Brachyglottis	60cm ht.	1.8m O.C.	#3 Pkt.
	38	<i>Juncus horizontalis 'Green Carpet'</i>	Creeping juniper	45cm ht.	1m O.C.	#2 Pkt.
	45	<i>Alopecurus aemula 'Kalmiussoupe'</i>	Ornamental aspidistra	45cm ht.	1m O.C.	#2 Pkt.
	19	<i>Calluna vulgaris 'Spring Torch'</i>	Heather	30cm ht.	0.8m O.C.	#2 Pkt.
	33	<i>Juncus horizontalis 'Limeglow'</i>	Creeping juniper	30cm ht.	0.8m O.C.	#2 Pkt.
	58	<i>Limonium aquaticum 'Lemon Basker'</i>	Sea honeysuckle	45cm ht.	1m O.C.	#2 Pkt.
<b>PERENNIALS, GROUND COVERS, AND GRASSES</b>						
	38	<i>Artemisia 'Sea Foam'</i>	Culicis sage	1 Gallon	0.45m O.C.	#1 Pkt.
	57	<i>Echinacea purpurea</i>	Purple coneflower	1 Gallon	0.45m O.C.	#1 Pkt.
	147	<i>Arctostaphylos uva-ursi</i>	Rubus	1 Gallon	0.45m O.C.	#1 Pkt.

3  
 2 2020/16 ISSUED FOR DEVELOPMENT PERMIT  
 1 2020/5 ISSUED FOR REVIEW  
 NO. DATE (YYYY) DESCRIPTION  
 ISSUES & REVISIONS



PROJECT NAME:  
**BEEDIE 192**

PROJECT ADDRESS:  
**9698 192nd STREET  
 SURREY, BC**

DRAWING TITLE:  
**LANDSCAPE PLAN  
 ENLARGEMENT 1**

SCALE: 1:250

DRAWN: **RMK**

CHECKED: **JT**

PROJECT NO: **220295-L**

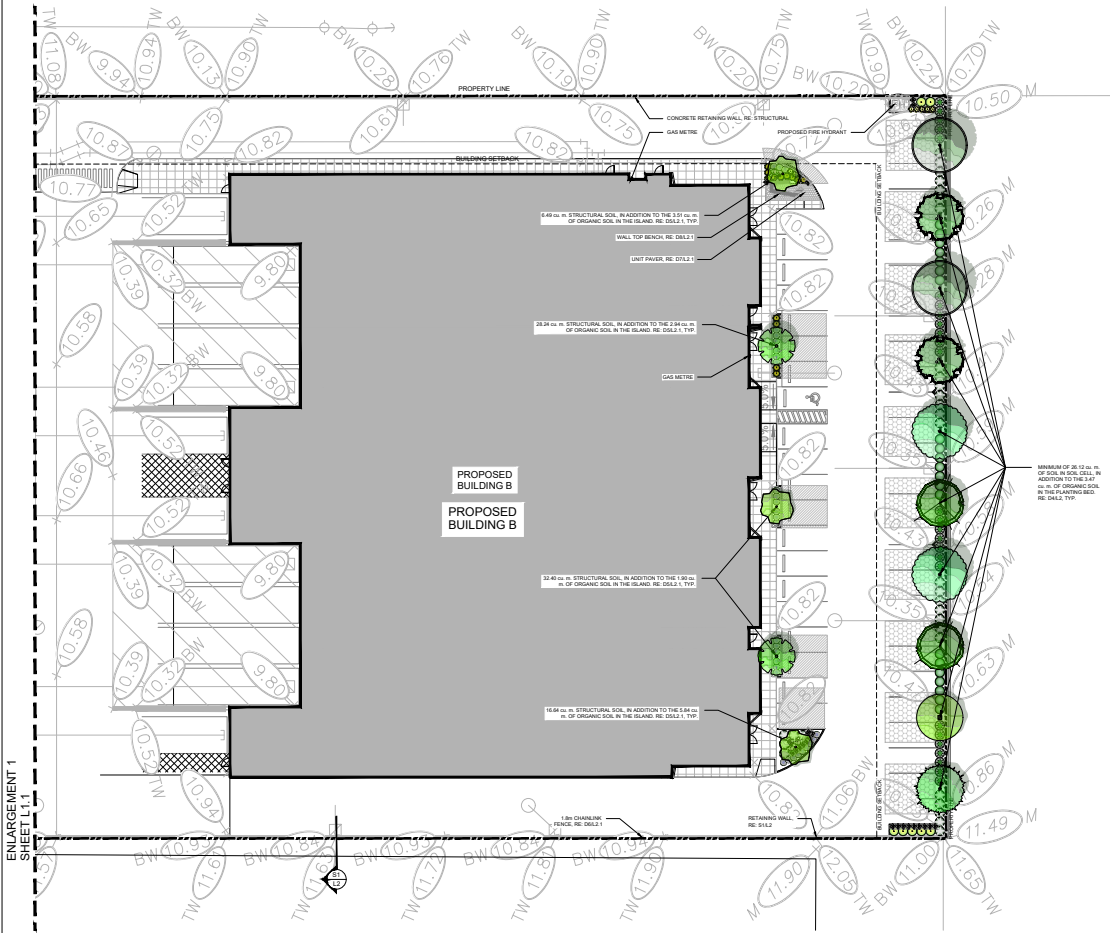
DRAWING NO:



**L1.1**

**LEGEND**

- CONCRETE SIDEWALK PAVING
- SOD
- SAW-CUT CONCRETE
- SOIL CELL
- STRUCTURAL SOIL
- GRAVEL
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE
- PAVERS
- 1.8m CHARLANK FENCE
- BIKE RACK



**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
<b>DECIDUOUS TREES</b>						
	3	<i>Liriodendron tulipifera</i>	Tulip tree	6cm cal.	As per plan	W.B.
	4	<i>Ginkgo biloba 'Saratoga'</i>	Saratoga ginkgo	6cm cal.	As per plan	W.B.
	3	<i>Acer x freemanii</i>	Freeman maple	6cm cal.	As per plan	W.B.
	3	<i>Fraxinus americana</i>	White ash	6cm cal.	As per plan	W.B.
	2	<i>Fraxinus latifolia</i>	Oregon ash	6cm cal.	As per plan	W.B.
	2	<i>Quercus placotilis 'Pringreen'</i>	Green Pin Oak	6cm cal.	As per plan	W.B.
	2	<i>Cornus rugosa</i>	Shelkar Pink dogwood	6cm cal.	As per plan	W.B.
	4	<i>Acer japonicum</i>	Japanese maple	6cm cal.	As per plan	W.B.
	1	<i>Malus fusca</i>	Pacific crabapple	6cm cal.	As per plan	W.B.
	2	<i>Cercis canadensis</i>	Redbud	6cm cal.	As per plan	W.B.
	2	<i>Zelkova serrata</i>	Zelkova	6cm cal.	As per plan	W.B.
<b>Shrubs</b>						
	28	<i>Brachyglottis compacta 'Sunshine'</i>	Brachyglottis	60cm ht.	1.8m G.C.	#3 Pot
	38	<i>Juniperus horizontalis 'Green Carpet'</i>	Creeeping juniper	45cm ht.	1m G.C.	#2 Pot
	45	<i>Abies x grandiflora 'Nadelsoopool'</i>	Cedro-virens abetula	45cm ht.	1m G.C.	#2 Pot
	19	<i>Calluna vulgaris 'Spring Torch'</i>	Heather	30cm ht.	0.6m G.C.	#2 Pot
	33	<i>Juniperus horizontalis 'Limelight'</i>	Creeeping juniper	30cm ht.	0.6m G.C.	#2 Pot
	58	<i>Lonicera ligustrina 'Lambert Beauty'</i>	Box hollyhuckle	45cm ht.	1m G.C.	#2 Pot
<b>PERENNIALS, GROUND COVERS, AND GRASSES</b>						
	38	<i>Artemisia 'Sea Foam'</i>	Gulfuise sage	1 Gallon	0.45m G.C.	#1 Pot
	57	<i>Echinacea purpurea</i>	Purple core flower	1 Gallon	0.45m G.C.	#1 Pot
	147	<i>Rubus idaeus</i>	Rasperry	1 Gallon	0.45m G.C.	#1 Pot

ENLARGEMENT 1  
 SHEET L1.1

3  
 2 2020/16 ISSUED FOR DEVELOPMENT PERMIT  
 1 2020/25 ISSUED FOR REVIEW  
 NO. DATE SYMBOL DESCRIPTION  
 ISSUES & REVISIONS



PROJECT NAME  
**BEEDIE 192**

PROJECT ADDRESS  
**9698 192nd STREET  
 SURREY, BC**

DRAWING TITLE  
**LANDSCAPE PLAN  
 ENLARGEMENT 1**

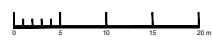
SCALE  
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DRAWN  
 RMK

CHECKED  
 JT

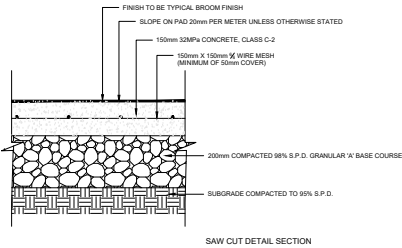
PROJECT NO.  
 220295-L

DRAWING NO.

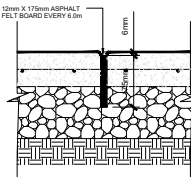


**L1.2**

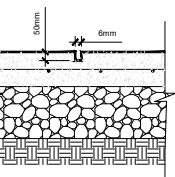
**SAW CUT CONCRETE SPECIFICATIONS  
PATTERN: SQUARE-CUT**



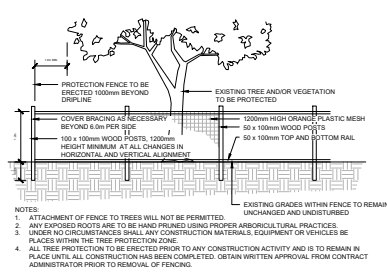
EXPANSION JOINT DETAIL SECTION



SAW CUT DETAIL SECTION

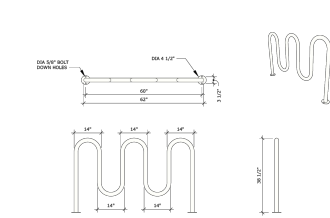


- NOTES:
1. CONCRETE TO BE 32MPa, CLASS C-2 AT 28 DAYS WITH 5-8% AIR ENTRAINED.
  2. CONCRETE TO HAVE BROOM FINISH PERPENDICULAR TO THE LENGTH OF THE SIDEWALK.
  3. EXPANSION JOINTS TO BE LOCATED AT EVERY 6.0m AND WHERE CONCRETE PAVING ADJUTS OTHER STRUCTURES OR BUILDINGS.
  4. SAW-CUT JOINTS TO BE LOCATED AT INTERVALS OF 0.6m.
  5. CONCRETE TO BE SPRAYED WITH WHITE PIGMENT CURING COMPOUND.
  6. ALL DIMENSIONS ARE IN MILLIMETERS.



**D2 TREE PROTECTION FENCING**

N.T.S.



N.T.S.

**D3 BIKE RACK**

MANUFACTURER: WISHBONE SITE FURNISHINGS  
MODEL: SURF BIKE RACK SPFRG-7  
COLOUR: WHITE BOLT  
QUANTITY: 2  
OR APPROVED EQUAL

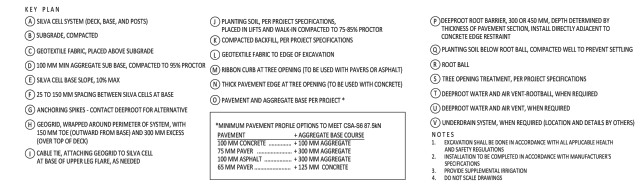
N.T.S.

**D4 SOIL CELL**

MODEL: SILVA CELL  
SUPPLIER: DEEP ROOT  
OR APPROVED EQUAL

N.T.S.

**SILVA CELL SYSTEM IX**



- KEY PLAN
- 1 SILVA CELL SYSTEM (DRAIN, BASE, AND POSTS)
  - 2 SUBGRADE, COMPACTED
  - 3 GEOTEXTILE FABRIC, PLACED ABOVE SUBGRADE
  - 4 100 MM MIN AGGREGATE SUB BASE, COMPACTED TO 90% PROCTOR
  - 5 100 MM MIN AGGREGATE SUB BASE, 10% MAX
  - 6 15 TO 150 MM SPACING BETWEEN SILVA CELLS AT BASE
  - 7 ANCHORING SPACES - CONTACT DEEPROOF FOR ALTERNATIVE
  - 8 GEORIG: UNBROKEN AROUND PERIMETER OF STEEL, WITH 100MM TIE OUT FROM BASE AND 300 MM GRESS (ON TOP OF DRAIN)
  - 9 100MM MIN AGGREGATE SUB BASE, 10% MAX
  - 10 PAVEMENT EDGE AT TREE OPENING (TO BE USED WITH CONCRETE)
  - 11 PAVEMENT AND AGGREGATE BASE PER PROJECT\*
  - 12 DEEPROOF ROOT BARRIER, 300 OR 400 MM, DEPTH DETERMINED BY THICKNESS OF PAVEMENT SECTION, INSTALLED DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT
  - 13 PLANTING SOIL BELOW ROOT BALL, COMPACTED WELL TO PREVENT SETTLING
  - 14 ROOT BALL
  - 15 TREE OPENING TREATMENT, PER PRODUCT SPECIFICATIONS
  - 16 DEEPROOF WATER AND AIR VENT, WHEN REQUIRED
  - 17 INCREASING SYSTEM, WHEN REQUIRED (LOCATION AND DETAILS BY OTHER)
- \*MINIMUM PAVEMENT PROFILE OPTIONS TO MEET CSA-B6 BY BAY PRESENT
- |                 |                  |
|-----------------|------------------|
| 150 MM CONCRETE | 100 MM AGGREGATE |
| 25 MM PAVER     | 100 MM AGGREGATE |
| 100 MM ASPHALT  | 100 MM AGGREGATE |
| 60 MM PAVEMENT  | 100 MM CONCRETE  |
- NOTES:
1. INSTALLATION SHALL BE DONE IN ACCORDANCE WITH ALL MANUFACTURER'S AND CITY REGULATIONS
  2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION
  3. PROVIDE SUPPLEMENTAL IRRIGATION
  4. DO NOT SCALE DRAWINGS

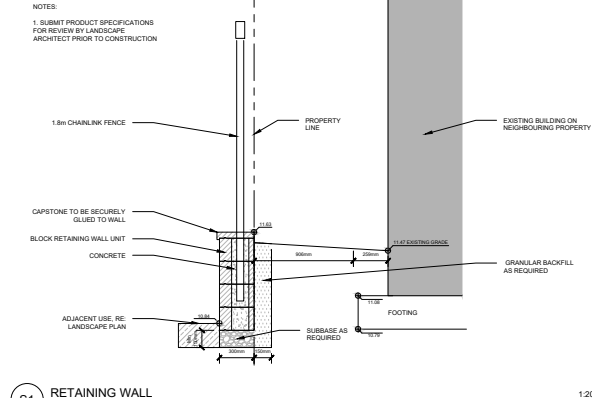
**D1 SAW CUT CONCRETE**

- GENERAL NOTES
1. EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
  2. CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
  3. CONFIRM EXISTING AND PROPOSED GRACES PRIOR TO BEGINNING CONSTRUCTION WORKS.
  4. CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
  5. OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
  6. PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT REMAIN ON SITE. ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
  7. UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
  8. THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE DURING THE PERIOD OF WORKS. PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND KEEP FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

- PLANTING NOTES
1. PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
  2. PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
  3. ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
  4. TREE PROTECTION PER THE MUNICIPAL DETAIL IF REQUIRED.
  5. ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
  6. SOIL DEPTH IN ALL PLANTING AREAS TO BE MINIMUM 450mm.
  7. SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  8. PLANTING MEDIUM TO MEET CANADIAN LANDSCAPE STANDARD FOR LEVEL 1.
  9. ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
  10. PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
  11. REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (ISA) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
  12. PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
    1. Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of action required by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or Invoiced and otherwise recovered from the Contractor.
    2. Maintenance and additional installation of mulch
    3. Weed removal
    4. Disease control

- SOODING NOTES
1. SOODED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA 101 CULTIVATED TURF SOIL WITH STRONG FIBROUS ROOT SYSTEM THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD AND OF THE FOLLOWING MIX OR APPROXIMATELY EQUAL:
    - 40% BLEND OF (D) VARIETIES OF KENTUCKY BLUEGRASS
    - 40% CREEPING RED FESCUE
    - 20% PERENNIAL RYEGRASS
 USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE. AREAS TO BE SOODED SHALL HAVE A MINIMUM 150MM TOPSOIL BARE.
  2. LOOSEN SOIL SURFACE PRIOR TO SOODING. ELIMINATE BUMPS AND HILLS. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
  3. PRIOR TO SOODING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
  4. DELIVER SOOD TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOOD FROM DRYING, AND WATER SOOD AS NECESSARY TO ENSURE ITS VIABILITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOOD WILL BE REJECTED.
  5. LAY SOOD DURING GROWING SEASON. LAY SOOD IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
  6. WATER SOOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 100MM OF TOPSOIL. MAINTAIN MOODED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

- IRRIGATION NOTES:
1. IRRIGATION TO BE PROVIDED FOR ALL SOFT LANDSCAPE AREAS SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
  2. IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILT IRRIGATION SYSTEM FOR THE SITE BUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF INSTALLATION PERFORMANCE.
  3. THE IRRIGATION SYSTEM DESIGN AND SUBSTITUTION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
  4. ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
  5. USE POP-UP SPRINKLER HEADS.
  6. DO NOT SPRAY WATER ONTO TREE TRUNKS.



**S1 RETAINING WALL**

1:20

3	202616	ISSUED FOR DEVELOPMENT PERMIT
2	202625	ISSUED FOR REVIEW
1	202625	ISSUED FOR REVIEW
NO.	DATE	ISSUED FOR REVIEW
		ISSUED A REVISIONS
REAL		

PROJECT NAME:  
**BEDDIE 192**

PROJECT ADDRESS:  
**9698 192nd STREET  
SURREY, BC**

DRAWING TITLE:  
**DETAILS, NOTES & SECTIONS**

SCALE: AS NOTED

DRAWN: RMK

CHECKED: JT

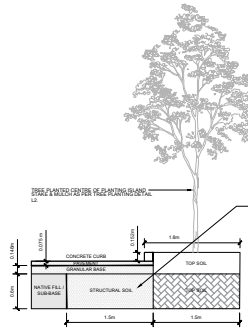
PROJECT NO.: 220295-L

DRAWING NO.:

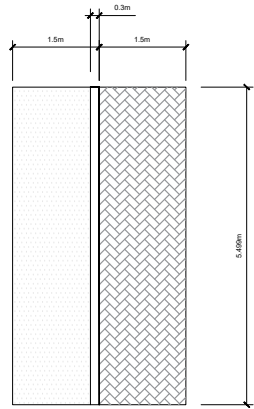
**L2**

**Landscape Islands - Growing Medium Calculations:**

- 1.5m (1.5 x 0.5m) = 0.75m<sup>2</sup>
- 3.0m (3.0 x 0.5m) = 1.5m<sup>2</sup>
- 4.5m (4.5 x 0.5m) = 2.25m<sup>2</sup>
- 6.0m (6.0 x 0.5m) = 3.0m<sup>2</sup> [Total Top Soil]
- 3.0m x 1.5m = 4.5m<sup>2</sup>
- 3.0m x 3.0m = 9.0m<sup>2</sup> [Structural soil]
- 3.0m x 4.5m = 13.5m<sup>2</sup> [Growing medium with structural soil]
- 6.0m x 1.5m = 9.0m<sup>2</sup> [Total growing medium incl. structural soil]

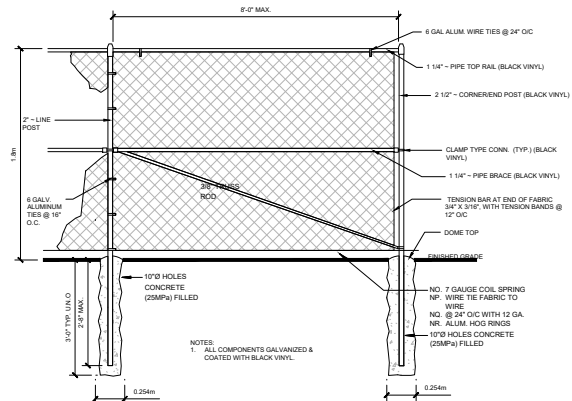


- STRUCTURAL SOIL PROPORTIONS BY HEIGHT:**
- CRUSHED STONE 40%
  - COARSE SAND 5%
  - PERFORATED PIPES
- MIXING REQUIREMENTS:**
- TOTAL MOISTURE AT MIXING 10%
  - MINIMUM 180 TONNE/HR. CAPACITY
  - CRUSHED STONE GRANDED FROM #12" FRESH PAVEMENT TO FIELD
  - CLAY LOAM CONFORMS TO USDA SOIL CLASSIFICATION SYSTEM
  - GRAVEL: 4% SAND: 30-50% SILT: 20-40% CLAY: 20-40%



N.T.S.

D5 STRUCTURAL SOIL

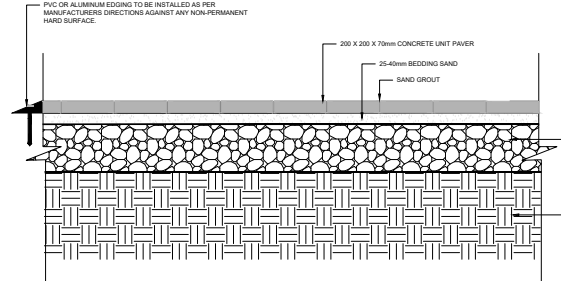


- NOTES:**
- ALL COMPONENTS GALVANIZED & COATED WITH BLACK VINYL.

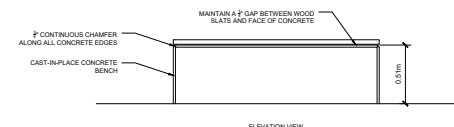
N.T.S.

D6 1.8m CHAINLINK FENCE

- NOTES:**
- SUBMIT SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION



- UNIT PAVER SPECIFICATIONS**
- PATTERN: RUNNING BOND  
MODEL: GRANITO 8" X 8" HEX  
COLOUR: SABA  
MANUFACTURER: UNLOCK



N.T.S.

D7 UNIT PAVER

N.T.S.

D8 WALLTOP BENCH

3		
2	200916	ISSUED FOR DEVELOPMENT PERMIT
1	200525	ISSUED FOR REVIEW
	NO.	DATE / REVISION / DESCRIPTION
		ISSUES & REVISIONS
		SCALE

PROJECT NAME:	BEEDIE 192
PROJECT ADDRESS:	9698 192nd STREET SURREY, BC
DRAWING TITLE:	DETAILS AND SECTIONS
SCALE:	AS NOTED
DRAWN:	RMK
CHECKED:	JT
PROJECT NO.:	220295-L
DRAWING NO.:	L2.1

---

TO: **Director, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **Revised July 04, 2023** PROJECT FILE: **7822-0230-00**  
~~April 24, 2023~~

---

RE: **Engineering Requirements (Commercial/Industrial)  
Location: 9698 192 St**

### DEVELOPMENT VARIANCE PERMIT

Development Variance Permit to reduce the minimum side yard south setback requirement under the IL Zone.

### DEVELOPMENT PERMIT

The following conditions are associated with the Development Permit but can be addressed through Building Permit Process prior to issuance of the Building Permit.

#### ***Works and Services***

- Construct concrete driveway letdown.
- Provide storm, sanitary, and metered water service connection to the lot.
- Construct onsite stormwater mitigation features as determined through detailed design.
- Register applicable legal encumbrances on the lot.

A Mini Servicing Agreement is required as a condition of Building Permit.




Jeff Pang, P.Eng.  
Development Services Manager  
BD

## Tree Preservation Summary

Surrey Project No: 22-0230-00  
Address: 9698 – 192 Street  
Registered Arborist: Tim Vandenberg

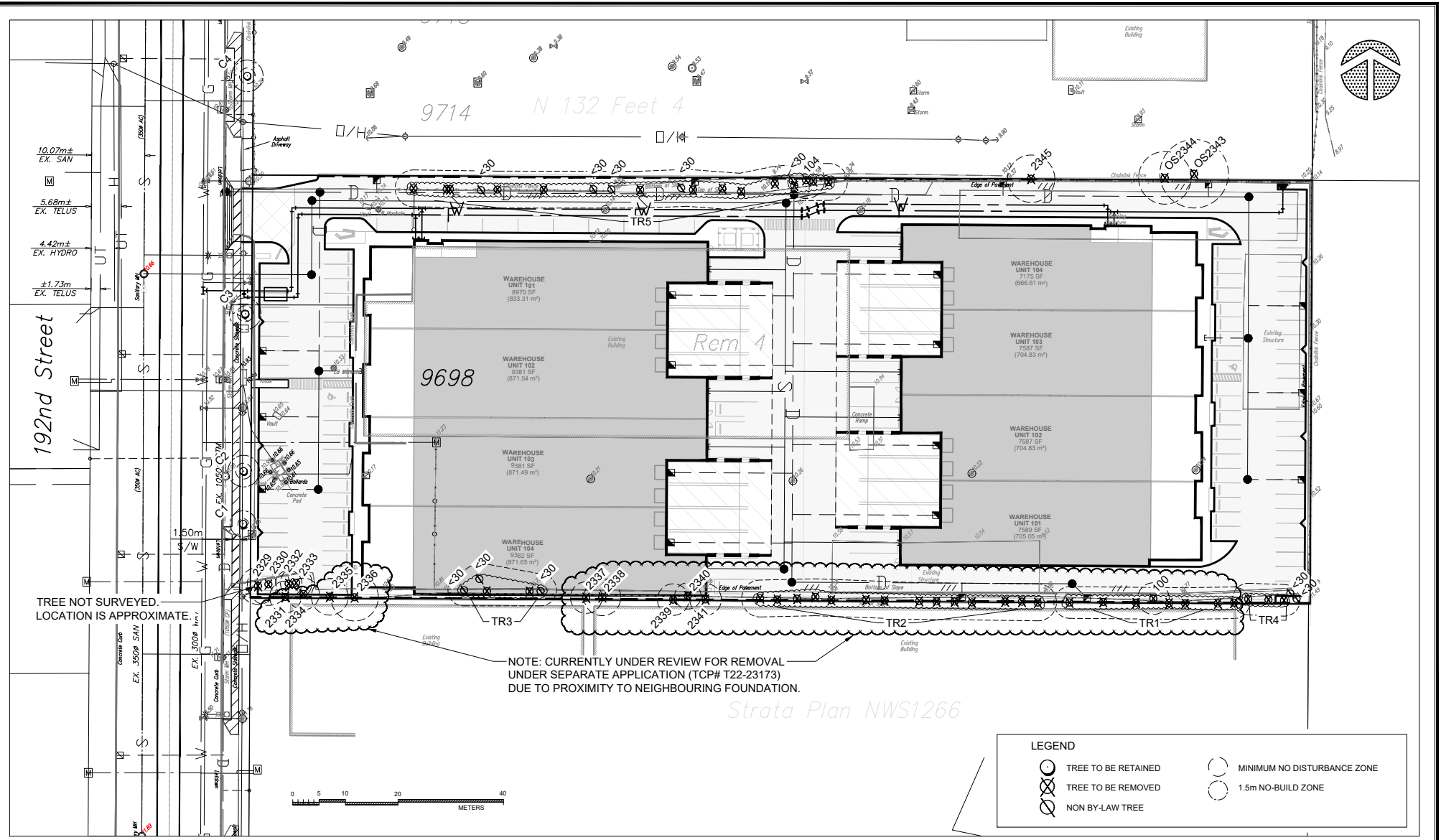
On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	27
<b>Protected Trees to be Removed</b>	24
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	3
<b>Total Replacement Trees Required:</b>  - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0  - All other Trees Requiring 2 to 1 Replacement Ratio 24 X two (2) = 48	48
<b>Replacement Trees Proposed</b>	TBD
<b>Replacement Trees in Deficit</b>	TBD
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	NA

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	0
<b>Total Replacement Trees Required:</b>  - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0  - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	0
<b>Replacement Trees Proposed</b>	NA
<b>Replacement Trees in Deficit</b>	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.	
Signature of Arborist: 	Date: May 24, 2023







**LEGEND**

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- NON BY-LAW TREE
- MINIMUM NO DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE

STAMP	NO.	DATE	BY	REVISION

**MIKE FADUM AND ASSOCIATES LTD.**  
**VEGETATION CONSULTANTS**

#105, 8277 129 St.  
 Surrey, British Columbia  
 V3V 0A6  
 Ph: (778) 593-0300  
 Fax: (778) 593-0302  
 Email: [mfadum@fadum.ca](mailto:mfadum@fadum.ca)

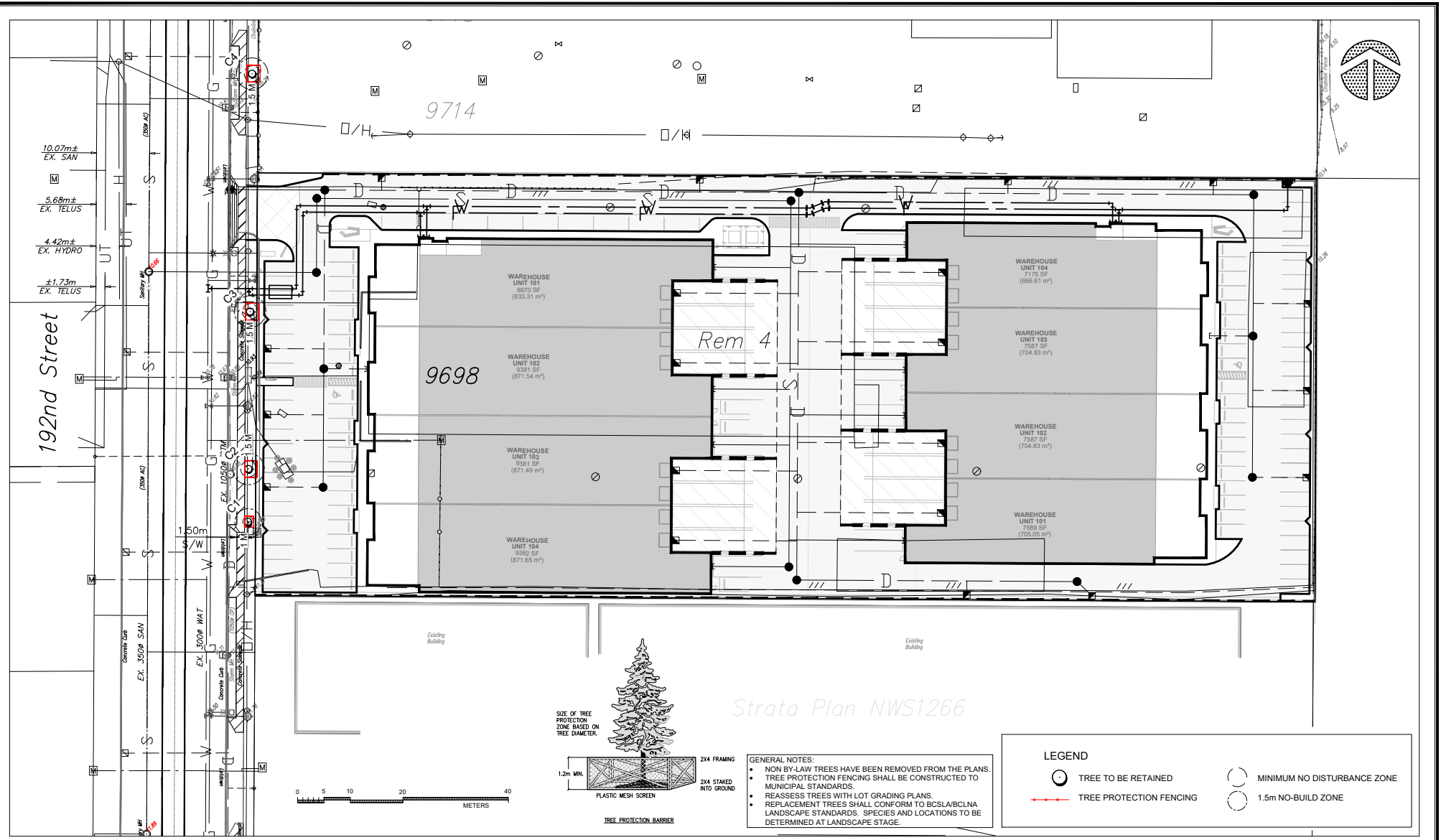
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PROJECT TITLE  
**9698 - 192 STREET**  
 SURREY, B.C.

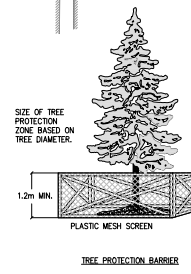
SHEET TITLE  
**T1 - TREE REMOVAL AND PRESERVATION PLAN**  
 CLIENT \_\_\_\_\_

DRAWN MK  
 SCALE AS SHOWN  
 DATE MAY 24, 2023

**T-1**  
 SHEET 1 OF 2



Strata Plan NWS1266



- GENERAL NOTES:**
- NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS.
  - TREE PROTECTION FENCING SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.
  - REASSESS TREES WITH LOT GRADING PLANS.
  - REPLACEMENT TREES SHALL CONFORM TO BCSLA/BC/LNA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.

**LEGEND**

- TREE TO BE RETAINED
- MINIMUM NO DISTURBANCE ZONE
- TREE PROTECTION FENCING
- 1.5m NO-BUILD ZONE

STAMP	NO.	DATE	BY	REVISION

**MIKE FADUM AND ASSOCIATES LTD.**  
**VEGETATION CONSULTANTS**

#105, 8277 129 St.  
 Surrey, British Columbia  
 V3W 0A6  
 Ph: (778) 593-0300  
 Fax: (778) 593-0302  
 Email: mfadum@fadum.ca

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**PROJECT TITLE**  
 9698 - 192 STREET  
 SURREY, B.C.

**SHEET TITLE**  
 T2 - TREE PROTECTION PLAN

**CLIENT**

**DRAWN** MK  
**SCALE** AS SHOWN  
**DATE** MAY 24, 2023

**T-2**  
 SHEET 2 OF 2

(the "City")

**DEVELOPMENT VARIANCE PERMIT**

NO.: 7922-0230-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
  
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 002-775-620

Lot 4 Except: The North 132 Feet District Lot 387A Group 2 New Westminster District Plan 3966

9698 – 192 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

---

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

---

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Section F. of Part 48, Light Impact Industrial Zone (IL), the minimum side yard (south) setback is reduced from 7.5 metres to 6.0 metres to the principal building face for proposed Building B.
  
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
  
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
  
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
  
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  
9. This development variance permit is not a building permit.

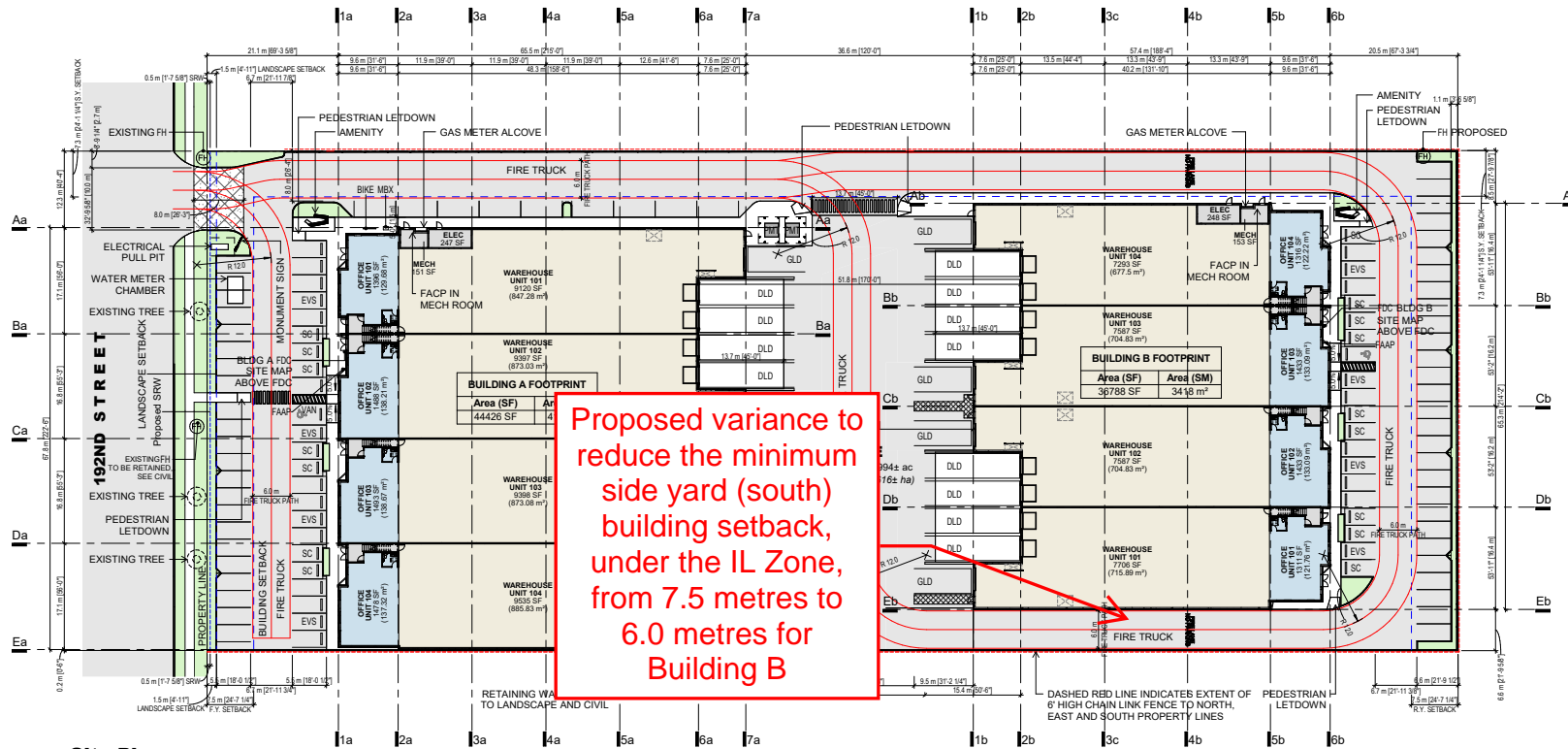
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

---

Mayor – Brenda Locke

---

City Clerk – Jennifer Ficocelli



Proposed variance to reduce the minimum side yard (south) building setback, under the IL Zone, from 7.5 metres to 6.0 metres for Building B

**KEYNOTE LEGEND**

TAG	DESCRIPTION
BIKE	BIKE RACK
DLD	DOCK LOADING
EVS	ELECTRIC VEHICLE STALL
FAAP	FIRE ALARM ANNUNCIATOR PANEL
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT
GLD	GRADE LOADING
MBX	MAILBOX
PMT	PAD MOUNTED TRANSFORMER
SC	SMALL CAR
VAN	ACCESSIBLE VAN STALL

**Base Plan Legend**

**PROPERTY LINES**  
—

**SETBACKS**  
- - -

**SRW / EASEMENTS**  
- - -

1 Site Plan  
1" = 30'-0"

**ZONING SUMMARY:**

**PROJECT ADDRESS:** 9698 192nd Street, Surrey, BC  
**LEGAL DESCRIPTION:** LOT 4 DISTRICT LOT 387A PLAN NWP3966 NWD EXCEPT PLAN N13Z.  
**EASEMENTS:** ---  
**AUTHORITY:** City of Surrey  
**ZONE:** IL  
**USES:** Light Impact Industrial Zone  
**SITE AREA:** 173,965sf (4.0ac)  
**FAR:** Proposed: 0.54, Permitted: 1.0  
**LOT COVERAGE:** Proposed: 46.6%, Permitted: 60%  
**BUILDING FOOTPRINT:** 81214 SF 7545 m<sup>2</sup>

**BUILDING A**

**Front Yard Setback:** Proposed: 21.1 m, Required: 7.5 m  
**Side Yard Setback (South):** Proposed: 0 m, Required: 0 m  
**Side Yard Setback (North):** Proposed: 12.1 m, Required: 7.5 m

**BUILDING B**

**Rear Yard Setback:** Proposed: 20.5 m, Required: 7.5 m  
**Side Yard Setback (South):** Proposed: 6.8 m, Required: 0 m  
**Side Yard Setback (North):** Proposed: 8.5 m, Required: 7.5 m

**BUILDING HEIGHT** Proposed: 11.6m, Permitted: 18m

**AREA SUMMARY - By Building**

Level	Area (SF)	Area (SM)
<b>BUILDING A</b>		
L1	44426	4127
L2	6855	637
	51281	4764
<b>BUILDING B</b>		
L1	36788	3418
L2	6403	595
	43191	4013
	94472	8777

**AREA SUMMARY - By Type**

Occupancy	Area (SF)	Area (SM)
SERVICE	799 SF	74 m <sup>2</sup>
STAIRS	839 SF	78 m <sup>2</sup>
VESTIBULE	1448 SF	134 m <sup>2</sup>
Exclusion Subtotal	3086 SF	287 m <sup>2</sup>
OFFICE	11346 SF	1054 m <sup>2</sup>
WAREHOUSE	80040 SF	7436 m <sup>2</sup>
FAR Subtotal	91386 SF	8490 m <sup>2</sup>
Gross Area Total	94472 SF	8777 m <sup>2</sup>

**PARKING SUMMARY:**

**ZONING REQUIREMENTS**

**Accessible Stalls Required:** 2%  
**Small Car Stalls Allowed:** 35%  
**Drive Aisle Width:** 6.7m (2.75m wide Stall)

**PARKING REQUIRED (by Building)**

Name	Area (SM)	Factor (X/100sqm)	Spaces
<b>BUILDING A</b>			
OFFICE	544 m <sup>2</sup>	2.5	13.6
WAREHOUSE	4077 m <sup>2</sup>	1.0	40.8
	4621 m <sup>2</sup>		54.4
<b>BUILDING B</b>			
OFFICE	510 m <sup>2</sup>	2.5	12.8
WAREHOUSE	3359 m <sup>2</sup>	1.0	33.6
	3869 m <sup>2</sup>		46.4
<b>TOTAL</b>	<b>8490 m<sup>2</sup></b>		<b>100.8</b>

**PARKING PROVIDED**

Type	Quantity	Ratio
Accessible Stall 2.5m x 5.5m (+1.5m)	1	1%
Accessible Van Stall 3.4m x 5.5m (+1.5m)	1	1%
EV Parking Stall - Regular 2.75m x 5.5m	8	8%
Parking Stall - Parallel 2.75m x 6.7m	9	9%
Parking Stall - Regular 2.75m x 5.5m	70	67%
Parking Stall - Small 2.75m x 4.9m	16	15%
<b>GRAND TOTAL</b>	<b>105</b>	

**PARKING PROVIDED (by Building)**

Building	Quantity
BUILDING A	57
BUILDING B	48
<b>GRAND TOTAL</b>	<b>105</b>

**LOADING SUMMARY:**

**Loading Provided**

Type	Quantity
Dock Loading 13' x 50'	16
Grade Loading 4m x 9.2m	8

**PARKING DIMENSIONS:**

**Accessible Stalls:** 2.5m x 5.5m (+1.5m)  
**Accessible Van Stall:** 3.4m x 5.5m (+1.5m)  
**Regular Car Stall:** 2.75m x 5.5m  
**Small Car Stall:** 2.75m x 4.9m  
**EV Car Stall:** 2.75m x 5.5m  
**Tandem Stall:** 2.75m x 6.7m  
**Parallel Stall:** 2.75m x 6.7m  
**Grade Loading:** 4m x 9.2m  
**Dock Loading:** 4m x 15.2m



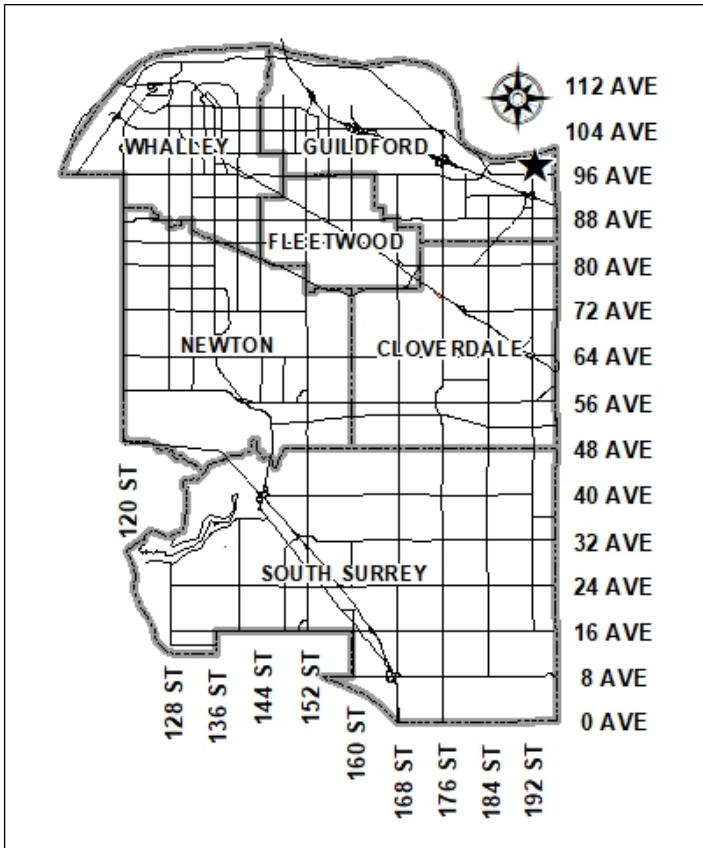
2023-06-16



TKA+D ARCHITECTURE + DESIGN INC.  
 300-1100 HAVDON STREET, SURREY, BC V3R 4S8  
 9698 192nd Street, Surrey, BC

Site Plan  
 PLOT DATE: 6/16/2023 3:20:24 PM





**PROPOSAL:**

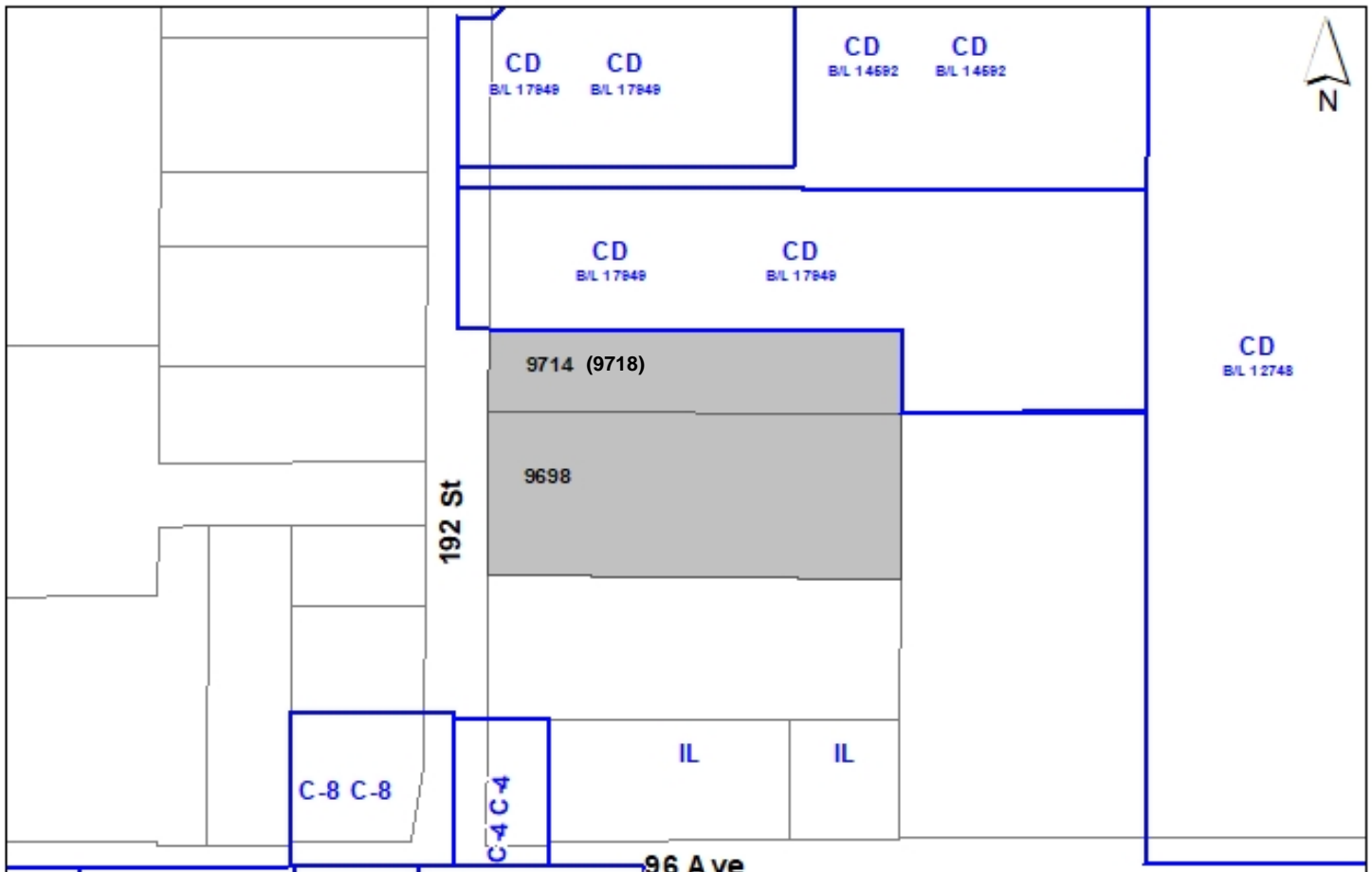
- Development Permit
- Development Variance Permit

to permit the development of two multi-tenant industrial warehouse buildings on a consolidated site. A variance is requested to reduce the minimum north side yard setback requirement under the IL Zone.

**LOCATION:** 9698 - 192 Street  
9714 - 192 Street (9718 - 192 Street)

**ZONING:** IL

**OCP DESIGNATION:** Industrial



**RECOMMENDATION SUMMARY**

- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

**DEVIATION FROM PLANS, POLICIES OR REGULATIONS**

- The applicant is requesting a variance in order to reduce the minimum side yard (north) building setback from 7.5 metres to 6.3 metres, under the IL Zone, for proposed Building B.

**RATIONALE OF RECOMMENDATION**

- The proposal complies with the Industrial designation in the Official Community Plan (OCP).
- The proposal complies with the Metro Vancouver Regional Growth (RGS) strategy designation.
- The proposal is consistent with OCP policies and the City's Employment Lands Strategy.
- The proposed variance to reduce the minimum side yard (north) building setback will allow for emergency response personnel to access the building from a single staging point as well as comply with B.C. Building Code requirements.
- The proposed industrial buildings are attractive, well-designed and establish a higher-standard in terms of the form, design and character for future industrial warehouse buildings within the surrounding area.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7922-0230-00 generally in accordance with the attached drawings (Appendix I).
2. Council approve Development Variance Permit No. 7922-0230-00 (Appendix IV) varying the following to proceed to Public Notification:
  - (a) to reduce the minimum side yard (north) setback of the IL Zone from 7.5 metres to 6.3 metres to the principal building face for proposed Building B.
3. Council instruct staff to resolve the following issues prior to final approval:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) input and approval from Ministry of Environment;
  - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (h) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
  - (i) registration of a Section 219 Restrictive Covenant to restrict the maximum amount of mezzanine space permitted on-site.



**SITE CONTEXT & BACKGROUND**

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Industrial warehouse building and truck parking facility	Industrial	IL
North:	Surrey Biofuel Facility	Industrial	CD (Bylaw No. 17949)
East and South:	Multi-tenant industrial warehouse buildings	Industrial	IL
West (Across 192 Street):	Industrial building and outdoor storage	Industrial	IL

**Context & Background**Background

- The subject site consists of two properties (9698 – 192 Street and 9714/18 – 192 Street) which are both designated Industrial in the Official Community Plan (OCP) as well as zoned “Light Impact Industrial Zone (IL)”.
- The applicant had obtained an Approval in Principle (AiP) from the Ministry of Environment (MOE) in September, 2022 to address previous on-site contamination. The AiP requires that any buildings and/or structures constructed on-site must be slab-on-grade.

**DEVELOPMENT PROPOSAL****Planning Considerations**

- The applicant is proposing to consolidate 9698 – 192 Street and 9714/18 – 192 Street in order to construct two (2) multi-tenant industrial buildings on a consolidated site. The buildings will provide a total of 14,183 square metres of industrial warehouse and office space.
- The proposed buildings comply with all aspects of the IL Zone, with the exception of the side yard (north) building setback for proposed Building B. The applicant requests a variance to reduce the minimum side yard (north) setback, under the IL Zone, in order to comply with the operational requirements of Surrey Fire Services (SFS) and the B.C. Building Code in terms of emergency vehicle response.

	Proposed
<b>Lot Area</b>	
Gross Site Area:	24,254.38 sq. m.
Road Dedication:	N/A
Undevelopable Area:	N/A
Net Site Area:	24,254.38 sq. m.

	Proposed
<b>Number of Lots:</b>	2 (Existing) 1 (Proposed)
<b>Building Height:</b>	12 m.
<b>Floor Area Ratio (FAR):</b>	0.59
<b>Floor Area</b>	
Residential:	N/A
Industrial:	14,185 sq. m.
Total:	14,185 sq. m.

### Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Ministry of Environment (MOE):	Ministry of Environment (MOE) comments are pending, however the applicant has previously obtained an Approval in Principle. The applicant will be required to address any additional MOE requirements prior to final approval.
Surrey Fire Department:	No concerns.
Advisory Design Panel:	The application was not referred to the ADP but was reviewed by staff and found satisfactory.

### Transportation Considerations

- The subject site will obtain driveway access from 192 Street. Vehicular access for Building A will be provided primarily from the northerly driveway access off 192 Street. All trucks will access the proposed buildings from the southern driveway entrance on 192 Street for loading/unloading purposes with each individual unit having access to an overhead roller door as well as loading bay.
- A drive aisle is proposed along the northern façade of Building B in order to meet Surrey Fire Services operational requirements in terms of emergency vehicle response. In order to accommodate this emergency access a variance is requested to reduce the minimum building setback for Building B, as outlined in the discussion below.
- The subject site is located within roughly 275 metres of a bus stop along 96 Avenue.

### Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

## **POLICY & BY-LAW CONSIDERATIONS**

### **Regional Growth Strategy**

- The property is designated “Industrial” in the Regional Growth Strategy (RGS).
- The proposed development complies with the Industrial RGS designation.

### **Official Community Plan**

#### Land Use Designation

- The subject site is designated “Industrial” in the Official Community Plan (OCP).
- The proposed development complies with the Industrial OCP designation.

#### Themes/Policies

- The proposed development is consistent with the following guiding policies and objectives in the OCP:
  - Policy B6.6 – Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas and spaces.
  - Policy E1.6 – Support the infill and redevelopment of under-utilized properties within Industrial land designations.
  - Policy E1.8 – Ensure a positive interface between employment lands and accompanying industrial activities and uses.
  - Policy E.10 – Ensure sufficient, convenient and appropriate access to employment lands, including supply and goods movement routes as well as access to employment opportunities for Surrey’s workforce.

### **Proposed Setback Variance**

- The applicant is requesting the following variance:
  - to reduce the minimum north side yard setback, for proposed Building B, from 7.5 metres to 6.3 metres to the principal building face.
- The IL Zone requires a minimum side yard setback of 7.5 metres to the principal building face unless the subject site is adjacent a Commercial, Industrial or Mixed Employment designated property in the OCP. In this situation, one side yard setback may be reduced from 7.5 metres to 0.0 metre.

- The applicant is requesting a Development Variance Permit (DVP) in order to reduce the minimum north side yard setback from 7.5 metres to 6.3 metres in order to accommodate a drive aisle along the northern façade for Surrey Fire Services (SFS). The drive aisle will allow Surrey Fire Services (SFS) to access the building thereby meeting operational requirements as well as complying with life safety regulations identified under the B.C. Building Code.
- City staff support the proposed variance to proceed for consideration.

## **PUBLIC ENGAGEMENT**

- Development Proposal Signs were installed on the subject site on October 21, 2022. To date, staff have not received any responses from area residents or business owners relative to this development application.

## **DEVELOPMENT PERMITS**

### **Form and Character Development Permit Requirement**

#### Proposed Building

- The proposed development is subject to a Development Permit for Form and Character given its proximity to 192 Street (an arterial road).
- The proposed buildings will provide a total of 14,183 square metres of industrial warehouse and office space with approximately 12 units ranging in size from 805 square metres to 910 square metres.
- Each unit will have access to overhead roller doors and loading bays.
- The proposed buildings conform with all aspects of the IL Zone, except for the side yard (north) building setback. The applicant requests a variance in order to reduce the minimum building setback requirement, under the IL Zone, for proposed Building B.
- The building materials include concrete tilt-up panels, shop front glazing, overhead roller doors as well as coloured longboard vertical accents and cladding material around the entry doors to enhance visual interest.
- The concrete tilt-up buildings are attractive, well-designed and establish a high-standard with respect to the form, design and character of future industrial buildings within the surrounding neighbourhood.

#### Proposed Signage

- The applicant is proposing one upper-storey fascia sign along the western façade of Building A to identify the name and/or address of the proposed industrial warehouse buildings. The sign complies with the maximum allowable combined sign area, per linear foot of premise frontage, and will not extend more than 0.5 metre from the building façade, in keeping with the Sign By-law.

- In addition, each individual unit will have one fascia sign located above the principal entrance.
- All tenant signage is limited to the ground-floor. No upper-storey tenant signage is permitted.
- All fascia signage proposed on-site will consist of individual channel letters and will comply with all aspects of the Sign Bylaw.
- The applicant also proposes two free-standing signs along 192 Street. The free-standing signs are 1.2 metres and 0.9 metre in height, respectively, and comprised of cast-in-place concrete with individual channel lettering and additional landscaping around the base.
- The proposed free-standing signs will comply with all aspects of the Sign By-law.
- If additional signage is required in future, it will be considered through a separate application.

#### On-site Parking and Pedestrian Connectivity

- Under the Zoning By-law, a total of 164 parking spaces are required on-site to accommodate the current proposal which includes a combination of industrial warehouse and office uses. The required parking rate is 1 parking space per 100 square metres of gross floor area for industrial warehouse purposes and 2.5 parking spaces per 100 square metres of gross floor area for office uses.
- The applicant proposes to provide 164 parking spaces on-site which complies with the Zoning Bylaw. However, given the lack of available parking, the applicant will also register a Section 219 Restrictive Covenant on title to restrict the amount of mezzanine space permitted on-site unless additional parking is provided, per the minimum parking requirements under Zoning Bylaw No. 12000.
- A sidewalk is provided along the southern building façades to the adjacent public sidewalk on 192 Street in order to encourage pedestrian connectivity.

#### Landscaping

- The applicant is proposing a 1.5 metre wide landscape setback along 192 Street that consists of shade trees, ornamental grasses, flowering shrubs and low-lying ground cover.
- Given the site constraints, the applicant proposes to provide parallel landscape islands directly adjacent the proposed buildings supplemented by significant tree planting along the east and west lot lines. According to the Official Community Plan (OCP), a landscape island is typically required every 6 parking spaces. The applicant proposes to offset the lack of landscape islands within the surface parking area by providing additional planting along the perimeter of the site (i.e. along 192 Street and the east lot line).
- A 1.0 metre wide landscape setback is proposed along the east lot line which consists of small trees and low-level planting. Additional low-lying shrubs are proposed along the north lot line and south lot line, at the driveway entrances.

- Outdoor employee amenity space is provided at the southwest corner of proposed Building A and southeast corner of Building B consisting of wall top bench seating, unit pavers, a by-law sized tree and low-level planting.
- Decorative paving materials are proposed at the driveway entrances.

### Outstanding Items

- City staff will continue to work with the applicant to resolve the following staff-identified design-related issues prior to Final Approval:
  - Provide increased landscape buffer width along 192 Street to permit additional on-site planting and reduce the visual impact of the surface parking area from 192 Street.
  - Remove any fencing proposed within the minimum front yard setback and replace with landscape material.
  - Provide additional information on the proposed fascia and free-standing signage as well as ensure the signage is appropriately scaled.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

### TREES

- Tim Vandenberg, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Cottonwood	2	2	0
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Aspen, Trembling	12	12	0
Magnolia	4	0	4
Maple, Bigleaf	11	11	0
<b>Coniferous Trees</b>			
Douglas-Fir	1	1	0
Red Cedar, Western	3	3	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>31</b>	<b>27</b>	<b>4</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>39</b>	
<b>Total Retained and Replacement Trees</b>		<b>43</b>	

<b>Contribution to the Green City Program</b>	<b>\$13,750</b>
---	-----------------

- The Arborist Assessment states that there are a total of thirty-one (31) mature trees on the site, excluding Alder and Cottonwood trees. Two (2) existing trees, approximately six (6%) of the total trees on the site, are Alder and Cottonwood trees. It was determined that four (4) trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of sixty-four (64) replacement trees on the site. Since only thirty-nine (39) replacement trees can be accommodated on the site, the deficit of twenty-five (25) replacement trees will require a cash-in-lieu payment of \$13,750, representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees will be planted on 192 Street. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Freeman Maple, Zelkova, Saratoga Ginkgo, White Ash, Oregon Ash, Green Pillar Pin Oak, Stellar Pink Dogwood, Tulip Trees, Japanese Maple, Pacific Crabapple and Redbud.
- In summary, a total of forty-three (43) trees are proposed to be retained or replaced on the site with a contribution of \$13,750.00 to the Green City Program.

## INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations Drawings and Landscape Plans
Appendix II.	Engineering Summary
Appendix III.	Summary of Tree Survey and Tree Preservation
Appendix IV.	Development Variance Permit No. 7922-0230-00

*approved by Ron Gill*

Don Luymes  
General Manager  
Planning and Development

MJ/ar



9698 & 9714 192nd INDUSTRIAL BUILDINGS

**Beedie**

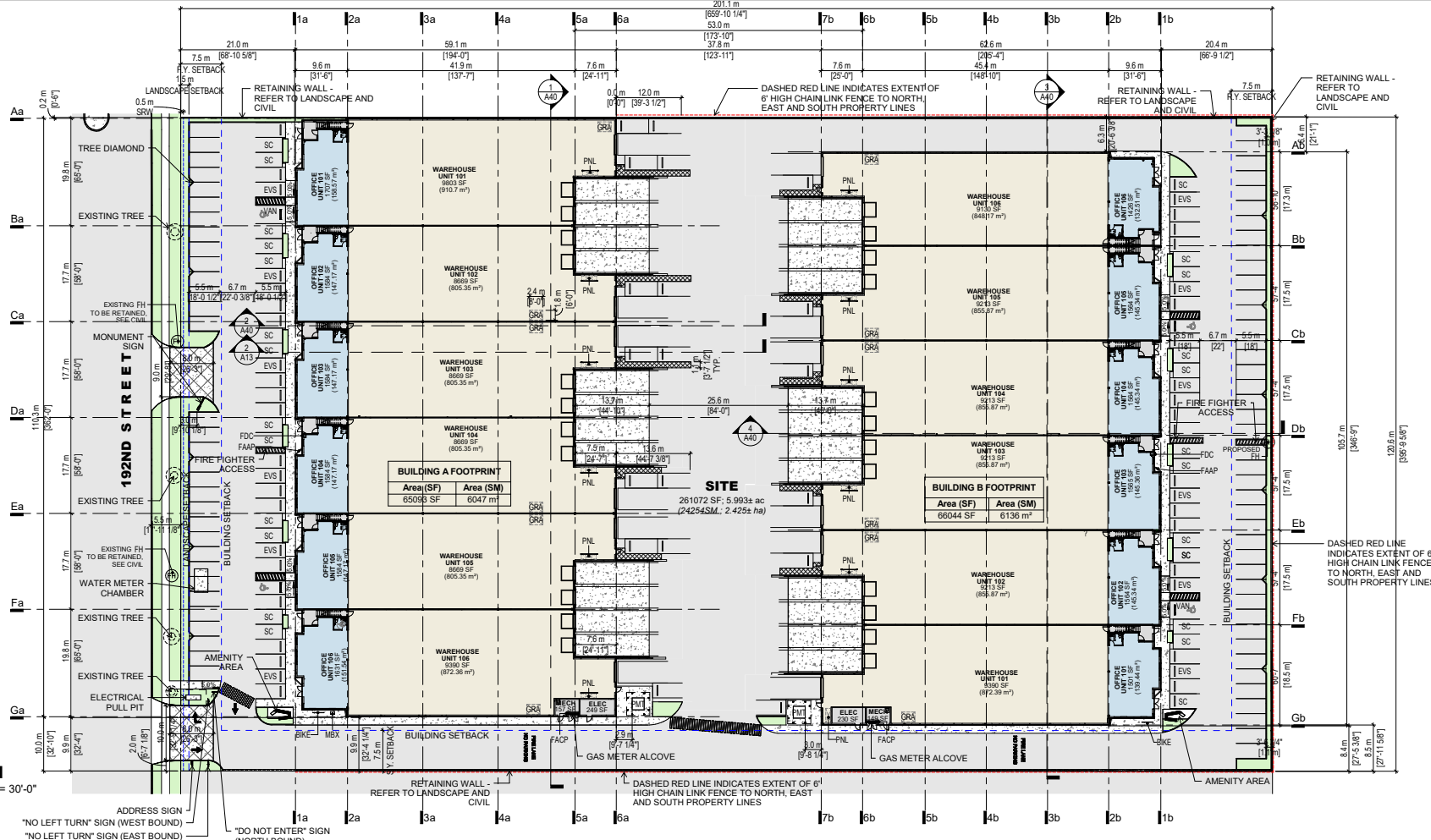
IRA ARCHITECTURE + DESIGN INC  
305-108 FRODOX STREET VANCOUVER BC V6B 5J7 P: 604-261-1111

**9698 & 9714 192nd**  
9698 & 9714 192nd Street  
Surrey, BC

Cover Page  
PLOT DATE: 4/25/2023 3:09:01 PM

**A00**





**KEYNOTE LEGEND**

TAG	DESCRIPTION
BIKE	BIKE RACK
EVS	ELECTRIC VEHICLE STALL
FAAP	FIRE ALARM ANNUNCIATOR PANEL
FACP	FIRE ALARM CONTROL PANEL
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT
GRA	GARBAGE & RECYCLING AREA
MBX	MAILBOX
PMT	PAID MOUNTED TRANSFORMER
PNL	ELECTRICAL PANEL
SC	SMALL CAR
VAN	ACCESSIBLE VAN STALL

**Base Plan Legend**

**PROPERTY LINES**

**SETBACKS**

**SRW / EASEMENTS**

**L1**  
1" = 30'-0"

**ZONING SUMMARY:**

**PROJECT ADDRESS:** 9698/9714 192nd Street, Surrey, BC  
**LEGAL DESCRIPTION:** LOT 4 DISTRICT LOT 387A PLAN NWP3966 NWD EXCEPT PLAN N1327.  
**EASEMENTS:** ---  
**AUTHORITY:** City of Surrey  
**ZONE:** IL  
**USES:** Light Impact Industrial Zone  
**SITE AREA:** 261,072sf (6.0ac)  
**FAR:** Proposed: 0.58  
 Permitted: 1.0  
**LOT COVERAGE:** Proposed: 50.2%  
 Permitted: 60%  
**BUILDING FOOTPRINT:** 131137 SF 12183 m<sup>2</sup>

**BUILDING A**  
 Front Yard Setback: Proposed: 21 m  
 Required: 7.5 m  
 Side Yard Setback: Proposed: 9.9 m  
 Required: 7.5 m (South)  
 Side Yard Setback: Proposed: 0 m  
 Required: 0 m (North)  
**BUILDING B**  
 Rear Yard Setback: Proposed: 20.4 m  
 Required: 7.5 m  
 Side Yard Setback: Proposed: 8.4 m  
 Required: 7.5 m (South)  
 Side Yard Setback: Proposed: 6.3 m  
 Required: 7.5 m (North)  
 Development Variance Permit Required For Building B Side Yard Setback (North)  
**BUILDING HEIGHT** Proposed: 11.9m  
 Permitted: 18m

**AREA SUMMARY:**

**AREA SUMMARY - By Building**

Level	Area (SF)	Area (SM)
BUILDING A	65093	6047
L1	11026	1024
L2	76118	7072
BUILDING B	66044	6136
L1	10526	978
L2	76570	7114
Grand total	152888	14185

**AREA SUMMARY - By Type**

Occupancy	Area (SF)	Area (SM)
SERVICE / STAIR	4363 SF	405 m <sup>2</sup>
OFFICE	20818 SF	1915 m <sup>2</sup>
WAREHOUSE	127708 SF	11864 m <sup>2</sup>
	148326 SF	13780 m <sup>2</sup>
<b>Grand Area Total</b>	<b>152888 SF</b>	<b>14185 m<sup>2</sup></b>

**PARKING SUMMARY:**

**ZONING REQUIREMENTS**

Accessible Stalls Required: 2%

Small Car Stalls Allowed: 35%

Drive Aisle Width: 6.7m (2.75m wide Stall)

**PARKING REQUIRED (by Building)**

Name	Area (SM)	Factor (X/100sqm)	Spaces
BUILDING A OFFICE	899 m <sup>2</sup>	2.5	22.5
WAREHOUSE	5967 m <sup>2</sup>	1.0	59.7
	6866 m <sup>2</sup>		82.2
BUILDING B OFFICE	853 m <sup>2</sup>	2.5	21.4
WAREHOUSE	6061 m <sup>2</sup>	1.0	60.6
	6914 m <sup>2</sup>		82.0
<b>TOTAL</b>	<b>13780 m<sup>2</sup></b>		<b>164.2</b>

\*Service/Stair Areas Excluded for Parking Calculations

**PARKING PROVIDED**

Type	Quantity	Ratio
Accessible Stall 2.5m x 5.5m (+1.5m)	2	1%
Accessible Van Stall 3.4m x 5.5m (+1.5m)	2	1%
EV Parking Stall - Regular 2.75m x 5.5m	12	7%
Parking Stall - Regular 2.75m x 5.5m	111	68%
Parking Stall - Small 2.75m x 4.9m	25	15%
Parking Stall - Tandem 2.75m x 6.0m	12	7%
<b>GRAND TOTAL</b>	<b>164</b>	

**PARKING PROVIDED (by Building)**

Building	Quantity
BUILDING A	82
BUILDING B	82
<b>GRAND TOTAL</b>	<b>164</b>

**LOADING SUMMARY:**

Loading Provided	Quantity
Dock Loading 13' x 50'	24
Grade Loading 4m x 9.2m	12

**PARKING DIMENSIONS:**

Accessible Stalls:	2.5m x 5.5m (+1.5m)
Accessible Van Stall:	3.4m x 5.5m (+1.5m)
Regular Car Stall:	2.75m x 5.5m
Small Car Stall:	2.75m x 4.9m
EV Car Stall:	2.75m x 5.5m
Tandem Stall:	2.75m x 6.7m
Grade Loading:	4m x 9.2m
Dock Loading:	4m x 15.2m

5 23.04.25 Re-issued for DP  
 4 23.04.14 Re-issued for DP  
 3 23.02.10 Re-issued for DP  
 1 22.04.18 For DP/Review

REV DATE DESCRIPTION

ISSUE DATE: As indicated DATE: Date: April 25, 2025 DRAWN: Author: 2009 PROJECT NUMBER: 2009 2008  
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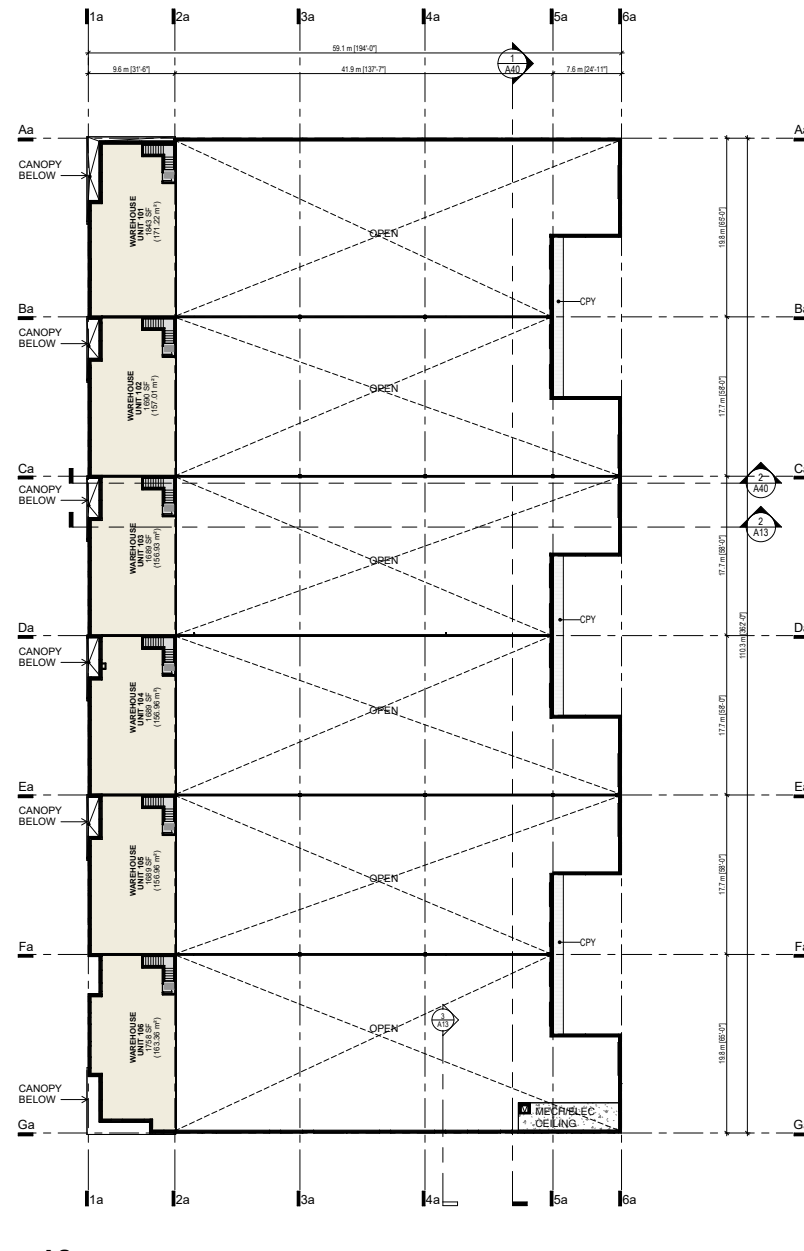
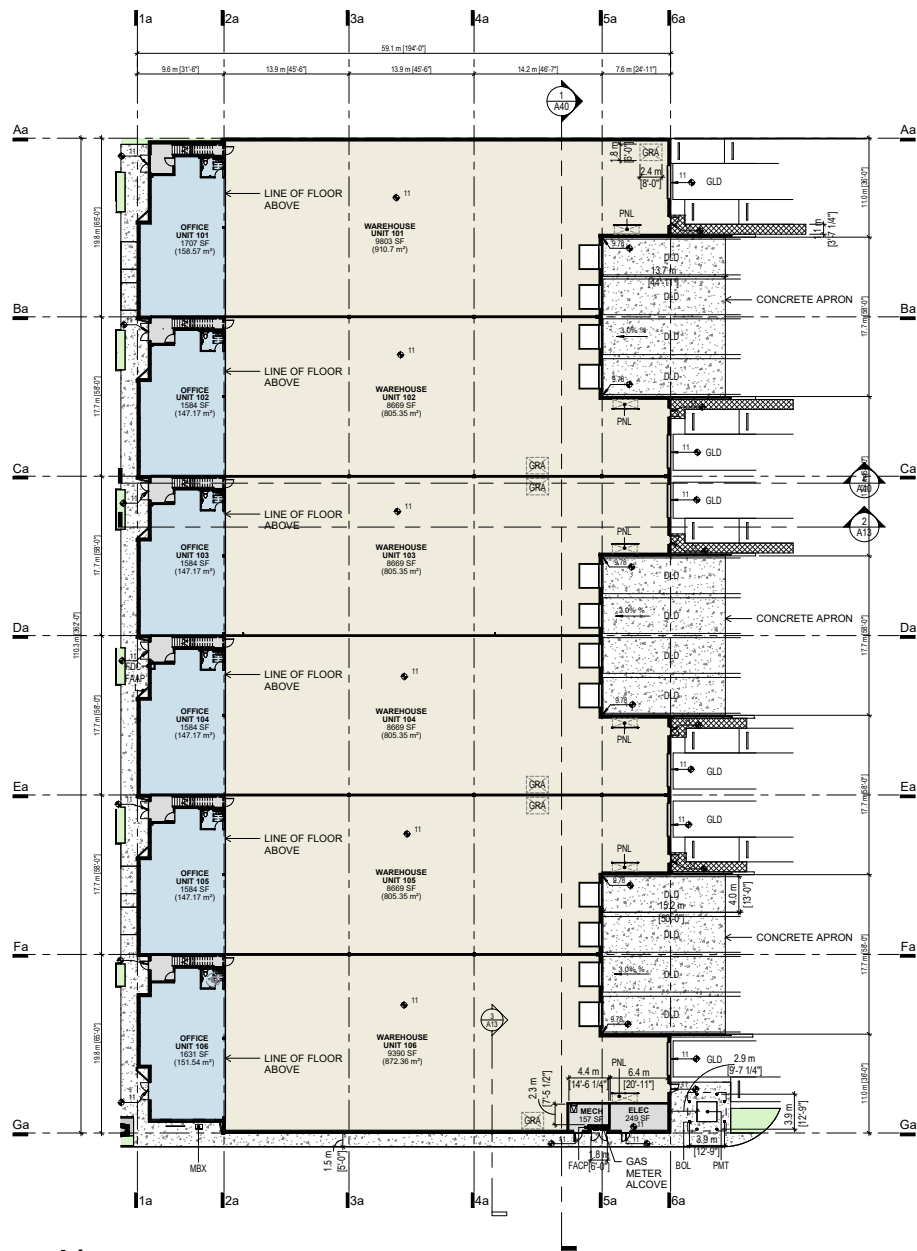
TKA ARCHITECTURE + DESIGN INC.

**9698 & 9714 192nd**  
 9698 & 9714 192nd Street  
 Surrey, BC

**Site Plan**  
 PLOT DATE: 4/25/2023 3:09:05 PM







**KEYNOTE LEGEND**

TAG	DESCRIPTION
BOL	BOLLARD
CPY	CANOPY
DLD	DOCK LOADING
FALP	FIRE ALARM ANNUNCIATOR PANEL
FACP	FIRE ALARM CONTROL PANEL
FDC	FIRE DEPARTMENT CONNECTION
GLD	GRADE LOADING
GRA	GARBAGE & RECYCLING AREA
MBX	MAILBOX
PMT	PAD MOUNTED TRANSFORMER
PNL	ELECTRICAL PANEL

4 23.04.14 Re-issued for DP  
 3 23.02.11 Re-issued for DP  
 2 22.07.11 Issued for DP  
 1 22.07.11 Issued for DP

REV [DATE] [DESCRIPTION]

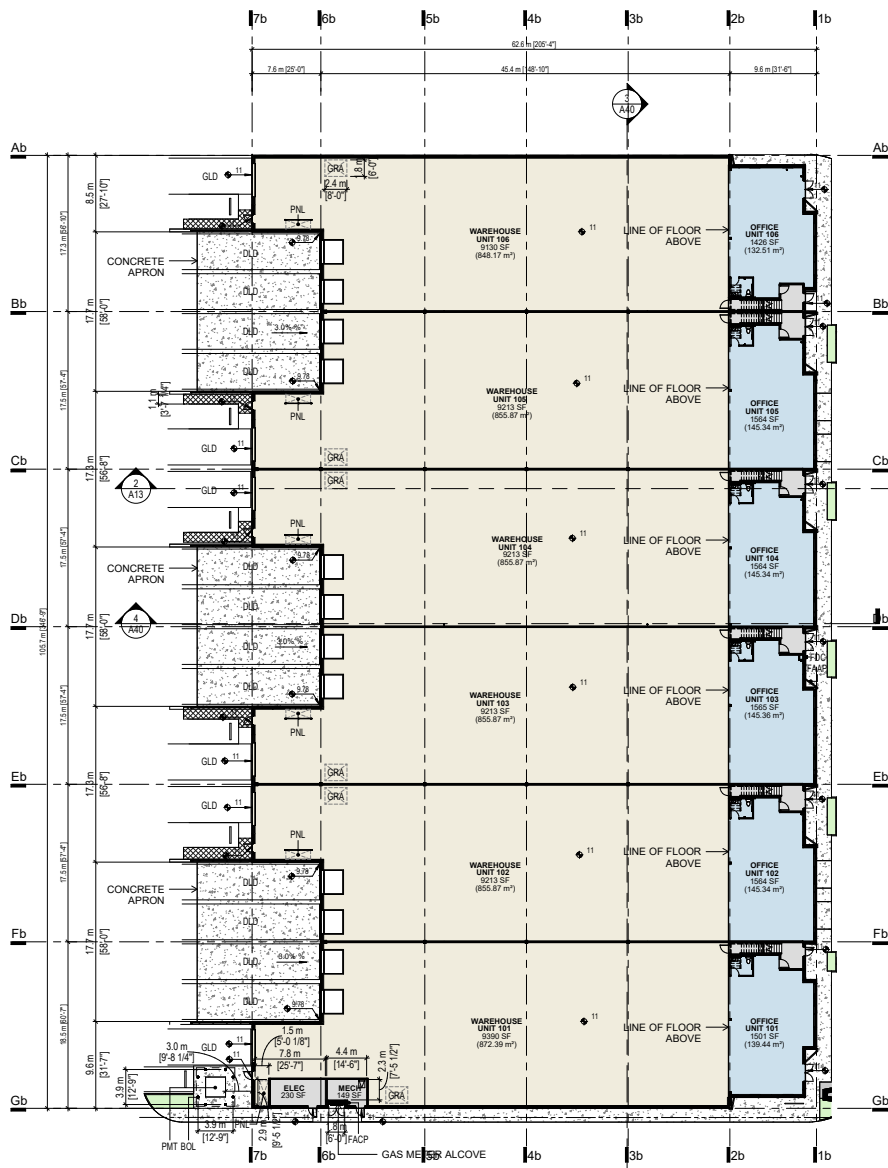
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 PLOT DATE: 4/25/2009 3:09:16 PM



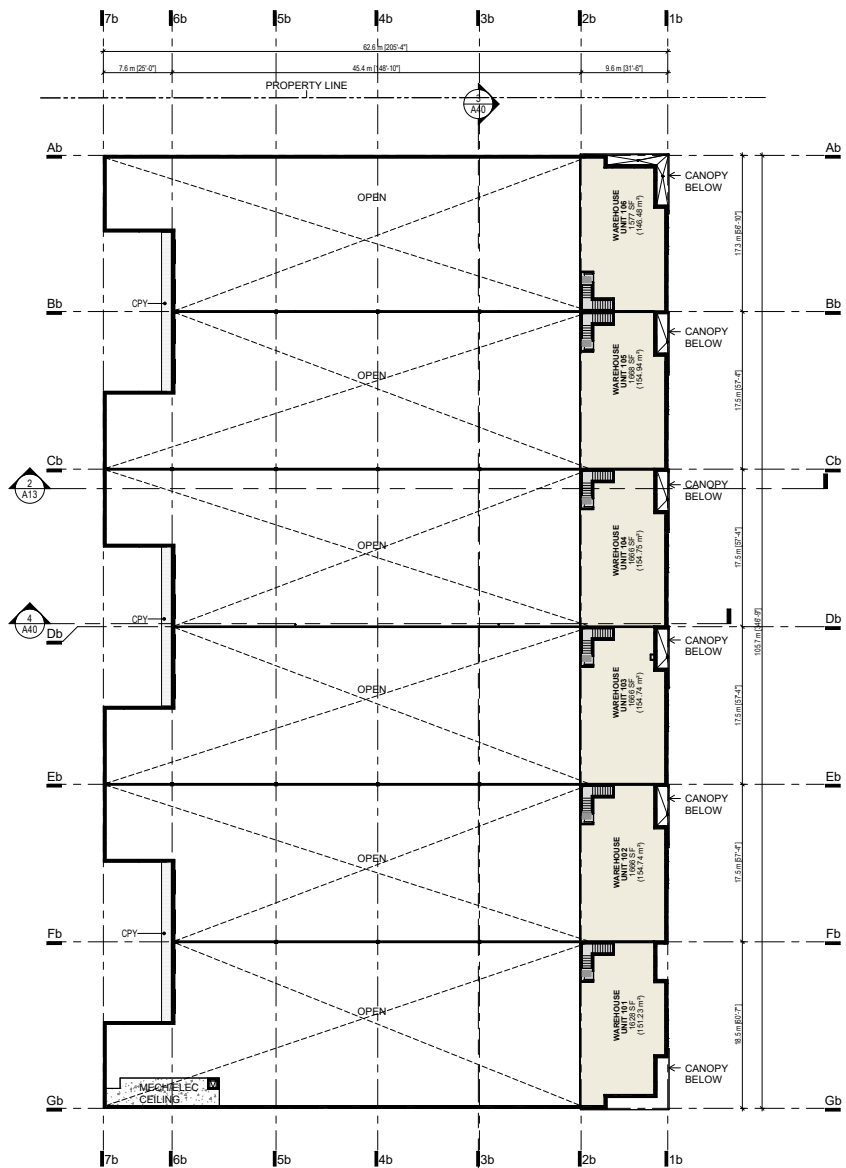
TKA ARCHITECTURE + DESIGN INC.  
 9698 & 9714 192nd Street, Vancouver, BC V6V 2G7, Canada  
 9698 & 9714 192nd  
 9698 & 9714 192nd Street  
 Surrey, BC

Floor Plan - L1 & L2  
 (Building A)  
 PLOT DATE: 4/25/2009 3:09:16 PM





1 L1  
3/64" = 1'-0"



2 L2  
3/64" = 1'-0"

**KEYNOTE LEGEND**

TAG	DESCRIPTION
BOL	BOLLARD
CPY	CANOPY
DLD	DOCK LOADING
FAAP	FIRE ALARM ANNUNCIATOR PANEL
FACP	FIRE ALARM CONTROL PANEL
FDC	FIRE DEPARTMENT CONNECTION
GLD	GRADE LOADING
GRA	GARBAGE & RECYCLING AREA
PMT	PAD MOUNTED TRANSFORMER
PNL	ELECTRICAL PANEL

4	23.04.14	Re-issued for DP
3	23.02.11	Re-issued for DP
2	22.07.11	Issued for DP
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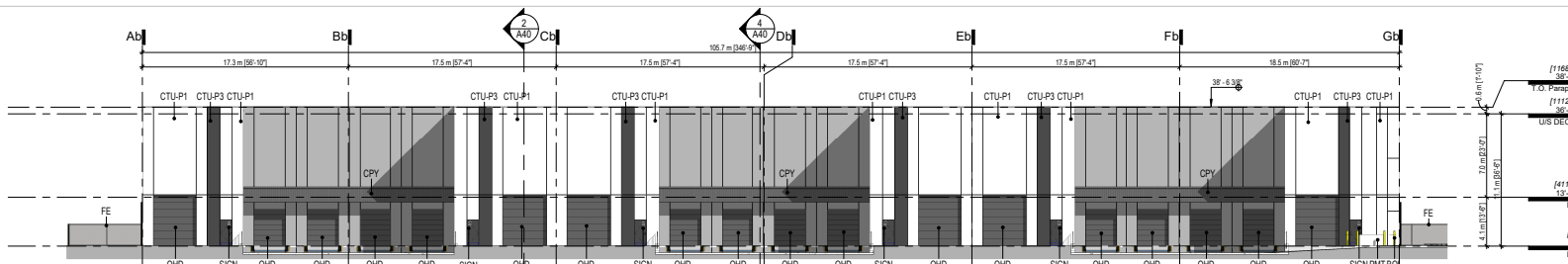
TKA ARCHITECTURE + DESIGN INC  
 9698 & 9714 192nd Street  
 Surrey, BC

**Floor Plan - L1 & L2  
 (Building B)**

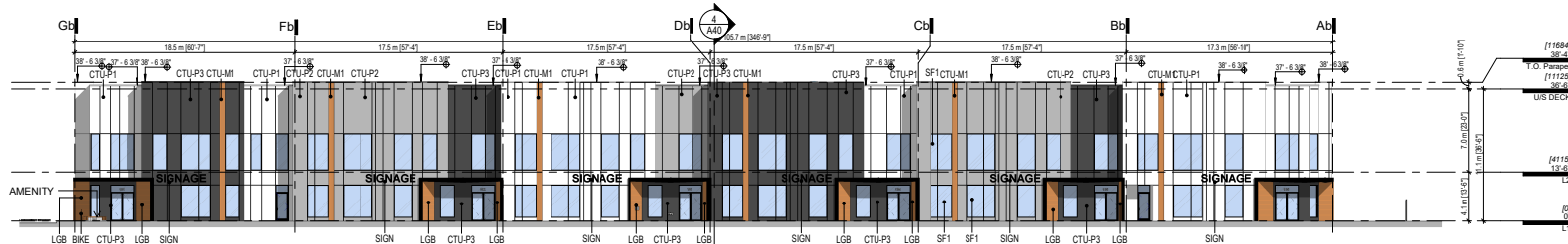
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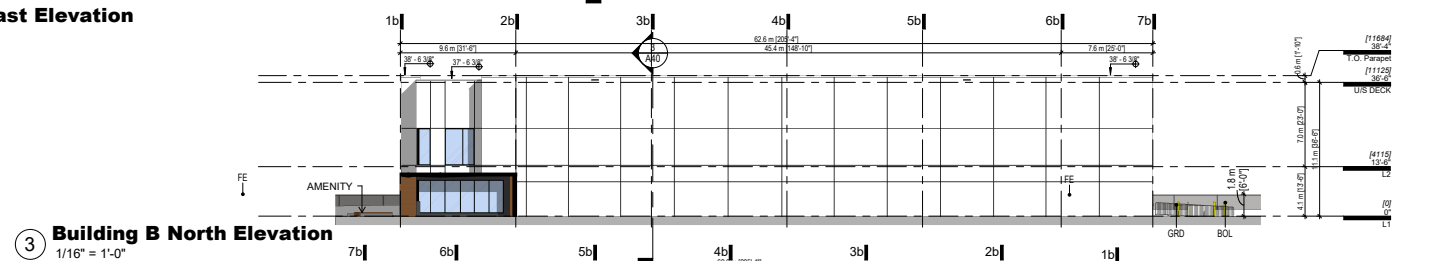




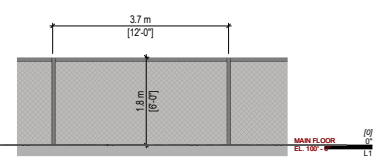
**1 Building B West Elevation**  
1/16" = 1'-0"



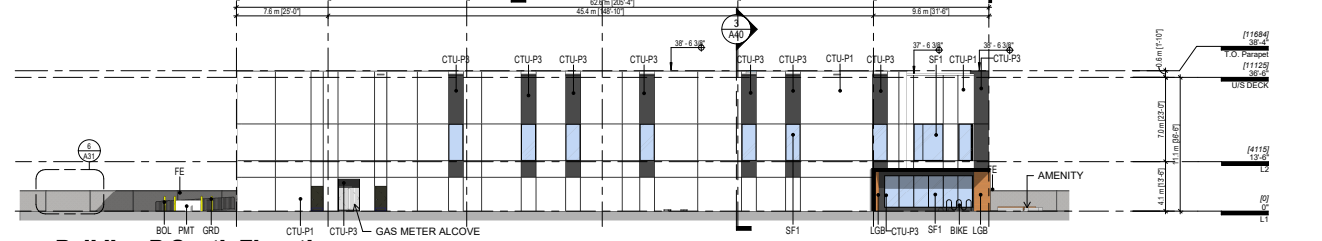
**2 Building B East Elevation**  
1/16" = 1'-0"



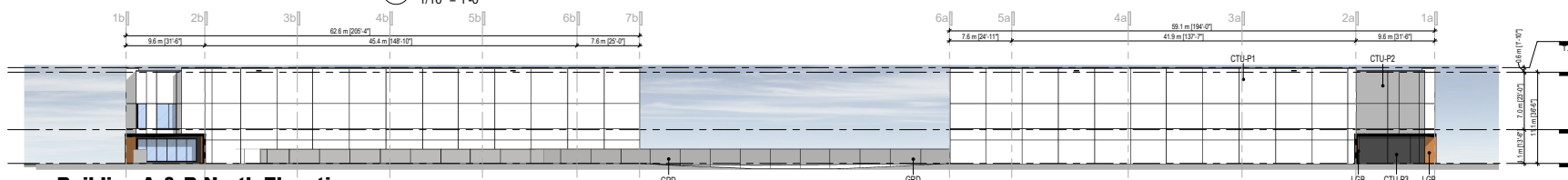
**3 Building B North Elevation**  
1/16" = 1'-0"



**6 Chainlink Fence Elevation**  
1/4" = 1'-0"



**4 Building B South Elevation**  
1/16" = 1'-0"



**5 Building A & B North Elevation**  
3/64" = 1'-0"

**KEYNOTE LEGEND**

TAG	DESCRIPTION
BIKE	BIKE RACK
BOL	BOLLARD
CPY	CANOPY
CTU-M1	CONCRETE - TILT UP - LONGBOARD
CTU-P1	CONCRETE - TILT UP - PAINTED P1
CTU-P2	CONCRETE - TILT UP - PAINTED P2
CTU-P3	CONCRETE - TILT UP - PAINTED P3
FE	FENCE
GRD	GUARD RAIL
LGB	LONGBOARD
OHD	OVERHEAD DOOR
PMT	PAD MOUNTED TRANSFORMER
SF1	SHOP FRONT GLAZING - TYPE 1
SIGN	SIGNAGE; BY OWNER

4	23.04.14	Re-issued for DP
3	23.02.10	Re-issued for DP
1	22.04.18	For DDC Review
REV [DATE] DESCRIPTION		
SCALE: As indicated		DATE: April 25, 2023
PROJECT NUMBER		2009
DRAWN		2008
PLOT DATE		4/25/2023 10:40 AM



TKA ARCHITECTURE + DESIGN INC  
301-1100 HAVDON STREET, VANCOUVER, BC, V6E 4R6

**9698 & 9714 192nd**  
9698 & 9714 192nd Street  
Surrey, BC

**Building B Elevations**  
PLOT DATE: 4/25/2023 3:09:40 PM

**A31**



4	23.04.14	Re-issued for DP
3	23.02.10	Re-issued for DP
2	22.07.11	Issued for DP
1	22.04.18	For CMC Review
REV	DATE	DESCRIPTION
SCALE:	DATE: April 25,	DRAWN: CW
PROJECT NUMBER	2009	2008
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TKA+D ARCHITECTURE + DESIGN INC.

9698 & 9714 192nd  
9698 & 9714 192nd Street  
Surrey, BC

Perspective Views

PLOT DATE: 4/25/2023 3:09:43 PM

A50

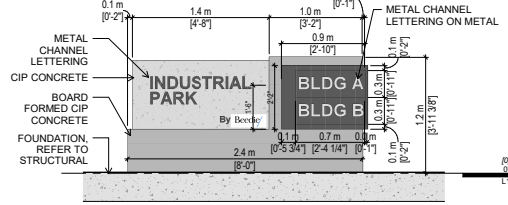
**KEYNOTE LEGEND**

TAG	DESCRIPTION
SIGN	SIGNAGE, BY OWNER

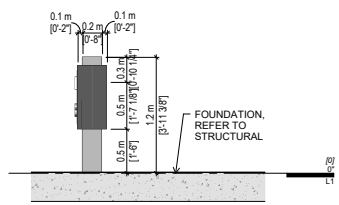


**1 Building A Signage Plan**  
1" = 30'-0"

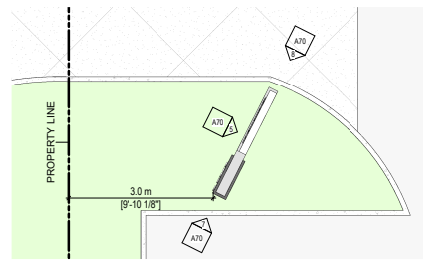
**9 Building B Signage Plan**  
1" = 30'-0"



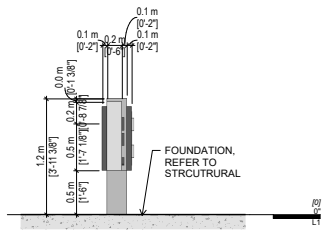
**5 Sign Elevation - Front**  
1/2" = 1'-0"



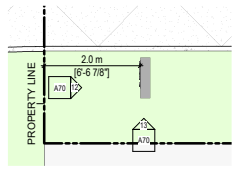
**7 Sign Elevation - South Side**  
1/2" = 1'-0"



**4 Monument Sign**  
1/4" = 1'-0"



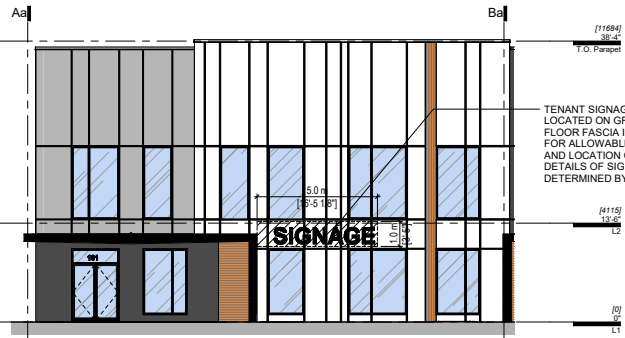
**8 Sign Elevation - North Side**  
1/2" = 1'-0"



**11 Address Sign**  
1/4" = 1'-0"



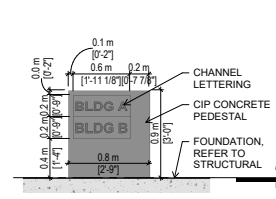
**10 Typ. Building Fascia Sign**  
1/8" = 1'-0"



**3 Typ. Unit Fascia Sign**  
1/8" = 1'-0"



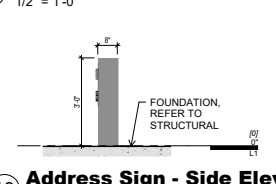
**6 Building B Units Fascia Signage**  
1/16" = 1'-0"



**12 Address Sign - Front Elev**  
1/2" = 1'-0"



**2 Building A Units Fascia Signage**  
1/16" = 1'-0"



**13 Address Sign - Side Elev**  
1/2" = 1'-0"

5	23.04.25	Re-issued for DP
4	23.04.14	Re-issued for DP
3	23.02.10	Re-issued for DP
REV	DATE	DESCRIPTION
SCALE: As indicated   DATE: Date April 25, 2023   DRAWN: Author		
PROJECT NUMBER: 2209		
FILE: 2023-03-08_9698&9714.rvt   PLOT DATE: 4/25/2023 3:09:48 PM		



TKA ARCHITECTURE + DESIGN INC  
100-1100 HAVENWOOD STREET, VANCOUVER, BC, V6E 4R6

**9698 & 9714 192nd**

9698 & 9714 192nd Street  
Surrey, BC

**Exterior Signage - Sign Plan & Details**

PLOT DATE: 4/25/2023 3:09:48 PM

**A70**



- LEGEND**
- CONCRETE SIDEWALK PAVING
  - SOIL
  - SAW-CUT CONCRETE
  - SOIL CELL
  - STRUCTURAL SOIL
  - GRAVEL
  - EXISTING TREE TO REMAIN
  - TREE PROTECTION FENCE
  - PAVERS
  - 1.8m CHAINLINK FENCE
  - BIKE RACK

- 8 230227 ISSUED FOR COMMENT RESPONSE
  - 7 230227 ISSUED FOR REVIEW
  - 6 230210 ISSUED FOR DP
  - 5 230202 ISSUED FOR REVIEW
  - 4 230123 ISSUED FOR REVIEW
  - 3 201708 ISSUED FOR COMMENT RESPONSE
  - 2 201705 ISSUED FOR REVIEW
  - 1 201531 ISSUED FOR COORDINATION
- NO. DATE (Y/M/D) DESCRIPTION
- ISSUES & REVISIONS
- 
- SEAL



PROJECT NAME

**BEEDIE 192**

PROJECT ADDRESS  
**9698/9714 192nd STREET  
 SURREY, BC**

DRAWING TITLE  
**LANDSCAPE PLAN**

SCALE: 1:300

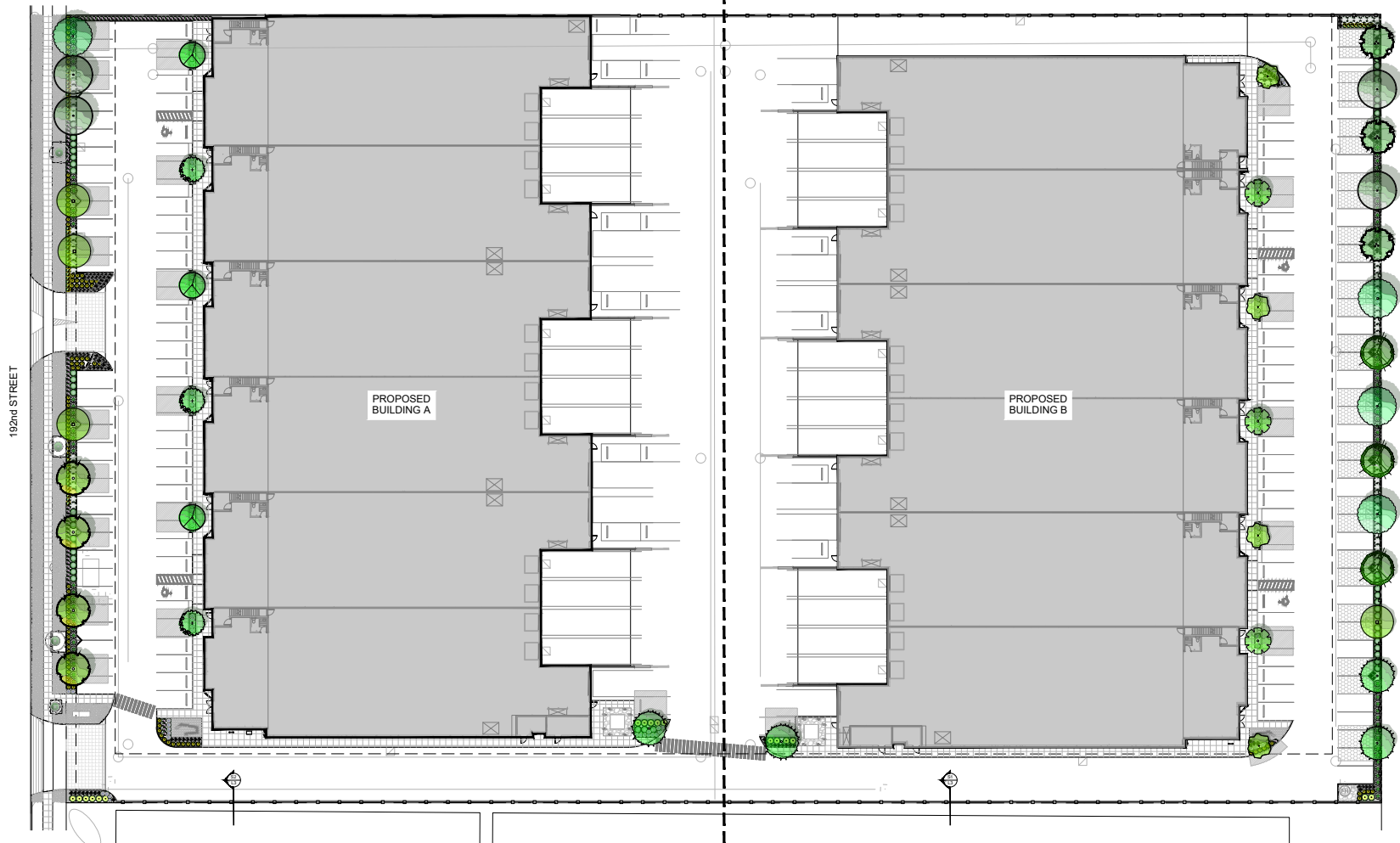
DRAWN: **RMK**

CHECKED: **JT**

PROJECT NO: **220295-L**

DRAWING NO: **L1**

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192nd STREET

PROPOSED BUILDING A

PROPOSED BUILDING B

ENLARGEMENT 1  
 SHEET L1.1  
 ENLARGEMENT 2  
 SHEET L1.2



**LEGEND**

- CONCRETE SIDEWALK PAVING
- SOIL
- SAWCUT CONCRETE
- SOIL CELL
- STRUCTURAL SOIL
- GRAVEL
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE
- PAVERS
- 1.8m CHAINLINK FENCE
- BIKE RACK

ISSUE TRACKING

NO.	DATE	ISSUE / REVISIONS
1	230227	ISSUED FOR COMMENT RESPONSE
2	230227	ISSUED FOR REVIEW
3	230210	ISSUED FOR DP
4	230202	ISSUED FOR REVIEW
5	230123	ISSUED FOR COMMENT RESPONSE
6	230108	ISSUED FOR REVIEW
7	230105	ISSUED FOR COMMENT RESPONSE
8	230105	ISSUED FOR COORDINATION

NO. DATE (MM/DD) DESCRIPTION  
ISSUES & REVISIONS

SCALE



PROJECT NAME  
**BEEIDIE 192**

PROJECT ADDRESS  
**9698/9714 192nd STREET  
SURREY, BC**

DRAWING TITLE  
**LANDSCAPE PLAN  
ENLARGEMENT 1**

SCALE: 1:250  
DRAWN: RMK  
CHECKED: JT  
PROJECT NO: 220295-L  
DRAWING NO:

**L1.1**

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**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
<b>DECIDUOUS TREES</b>						
	4	<i>Liriodendron tulipifera</i>	Tulip tree	6cm cal.	As per plan	W.B.
	4	<i>Ginkgo biloba 'Saratoga'</i>	Saratoga ginkgo	6cm cal.	As per plan	W.B.
	4	<i>Acer x freemanii</i>	Freeman maple	6cm cal.	As per plan	W.B.
	4	<i>Fraxinus americana</i>	White ash	6cm cal.	As per plan	W.B.
	4	<i>Fraxinus latifolia</i>	Oregon ash	6cm cal.	As per plan	W.B.
	3	<i>Quercus pisicarpa 'Pringree'</i>	Green Pillar Pin Oak	6cm cal.	As per plan	W.B.
	3	<i>Cornus rugosa</i>	Starlet Pink dogwood	6cm cal.	As per plan	W.B.
	4	<i>Acer japonicum</i>	Japanese maple	6cm cal.	As per plan	W.B.
	3	<i>Malus fusca</i>	Pacific crabapple	6cm cal.	As per plan	W.B.
	3	<i>Cercis canadensis</i>	Redbud	6cm cal.	As per plan	W.B.
	3	<i>Zelkova serrata</i>	Zelkova	6cm cal.	As per plan	W.B.
<b>PERENNIALS, GROUND COVERS, AND GRASSES</b>						
	121	<i>Asterias 'Sea Foam'</i>	Curling sage	1 Gallon	0.45m O.C.	#1 Pot
	111	<i>Eritrichon purpureum</i>	Purple crocusbell	1 Gallon	0.45m O.C.	#1 Pot



ENLARGEMENT 2  
SHEET L1.2



**LEGEND**

- CONCRETE SIDEWALK PAVING
- SOIL
- SAW-CUT CONCRETE
- SOIL CELL
- STRUCTURAL SOIL
- GRAVEL
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE
- PAVERS
- 1.8m CHARLANK FENCE
- BIKE RACK

**ISSUANCE TRACKING**

#	230227	ISSUED FOR COMMENT RESPONSE
#	230227	ISSUED FOR REVIEW
#	230210	ISSUED FOR DP
#	230202	ISSUED FOR REVIEW
#	230123	ISSUED FOR REVIEW
#	201708	ISSUED FOR COMMENT RESPONSE
#	201705	ISSUED FOR REVIEW
#	200531	ISSUED FOR COORDINATION

NO. DATE (YYYY) DESCRIPTION  
 ISSUES & REVISIONS

SCALE

**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
<b>DECIDUOUS TREES</b>						
	4	<i>Lithodendron tulipifera</i>	Tulip tree	6cm cal.	As per plan	W.B.
	4	<i>Ginkgo biloba 'Saratoga'</i>	Saratoga ginkgo	6cm cal.	As per plan	W.B.
	4	<i>Acer x freemanii</i>	Freeman maple	6cm cal.	As per plan	W.B.
	4	<i>Fraxinus americana</i>	White ash	6cm cal.	As per plan	W.B.
	4	<i>Fraxinus latifolia</i>	Oregon ash	6cm cal.	As per plan	W.B.
	3	<i>Quercus placensis 'Springer'</i>	Green Pillar Pin Oak	6cm cal.	As per plan	W.B.
	3	<i>Camus rotgen</i>	Starke Pink dogwood	6cm cal.	As per plan	W.B.
	4	<i>Acer japonicum</i>	Japanese maple	6cm cal.	As per plan	W.B.
	3	<i>Malus kusa</i>	Pacific crabapple	6cm cal.	As per plan	W.B.
	3	<i>Cercis canadensis</i>	Redbud	6cm cal.	As per plan	W.B.
	3	<i>Zelkova serrata</i>	Zelkove	6cm cal.	As per plan	W.B.
<b>PERENNIALS</b>						
	17	<i>Brachyglottis compacta 'Sunshine'</i>	Brachyglottis	60cm Ht.	1.8m O.C.	#3 Pot
	49	<i>Juniperus horizontalis 'Green Carpet'</i>	Creeeping juniper	45cm Ht.	1m O.C.	#2 Pot
	58	<i>Abutilon grandiflorum 'Kaleidoscope'</i>	Gold-ringed abutilon	45cm Ht.	1m O.C.	#2 Pot
	51	<i>Berberis thunbergii f. atropurpurea 'Siegelskalle'</i>	Dwarf purpleleafed Japanese barberry	30cm Ht.	0.8m O.C.	#2 Pot
	88	<i>Calluna vulgaris 'Spring Torch'</i>	Heather	30cm Ht.	0.8m O.C.	#2 Pot
	107	<i>Juniperus horizontalis 'Samogah'</i>	Creeeping juniper	30cm Ht.	0.8m O.C.	#2 Pot
	79	<i>Lonicera ligularis 'Lemon Beauty'</i>	Box honeysuckle	45cm Ht.	1m O.C.	#2 Pot
<b>PERENNIALS, GROUND COVERS AND GRASSES</b>						
	121	<i>Antennaria 'Sea Foam'</i>	Curious sage	1 Gallon	0.45m O.C.	#1 Pot
	111	<i>Echinacea purpurea</i>	Purple coneflower	1 Gallon	0.45m O.C.	#1 Pot

**PROJECT NAME**

**BEEDIE 192**

**PROJECT ADDRESS**

9698/9714 192nd STREET  
 SURREY, BC

**DRAWING TITLE**

LANDSCAPE PLAN  
 ENLARGEMENT 1

**SCALE**

1:250

**DRAWN**

RMK

**CHECKED**

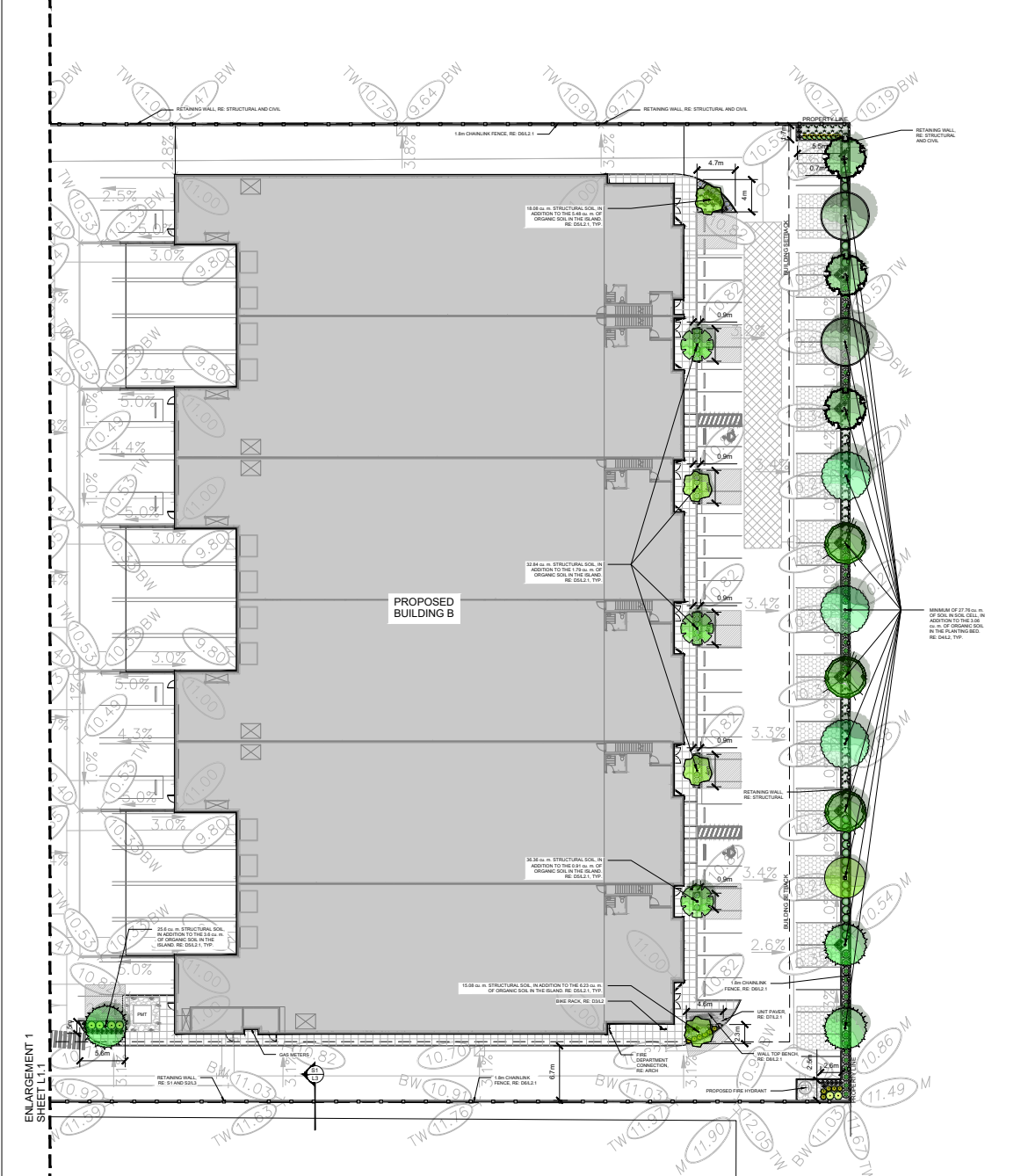
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**PROJECT NO.**

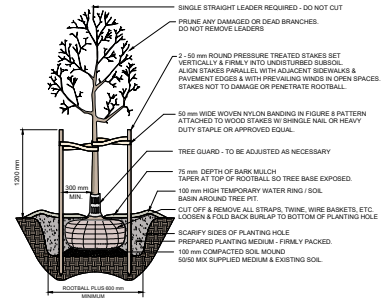
220295-L

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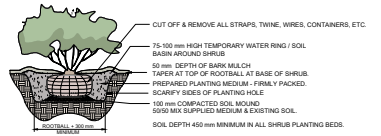
L1.2



ENLARGEMENT 1  
 SHEET L1.1

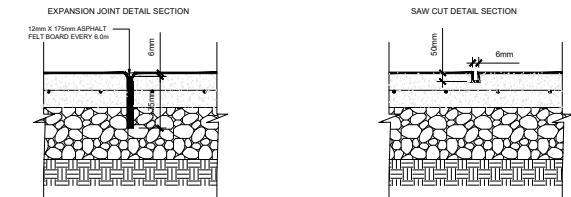
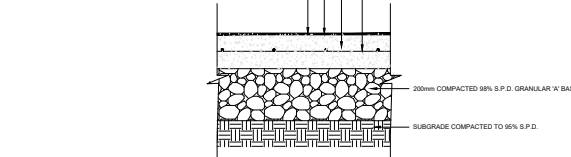


**DECIDUOUS TREE** N.T.S.



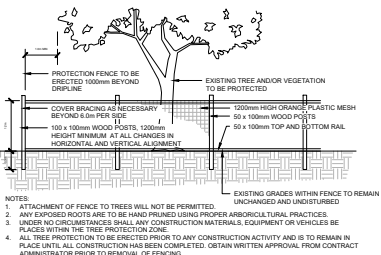
**SHRUB AND PERENNIAL PLANTING DETAIL** N.T.S.

**SAW CUT CONCRETE SPECIFICATIONS**  
PATTERN SQUARE CUT

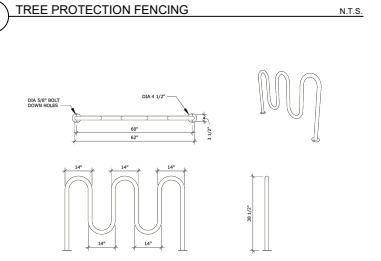


- NOTES:**
- CONCRETE TO BE 32MPa, CLASS C-2 AT 28 DAYS WITH 5-8% AIR ENTRAINED.
  - CONCRETE TO HAVE BROOM FINISH PERPENDICULAR TO THE LENGTH OF THE SIDEWALK.
  - EXPANSION JOINTS TO BE LOCATED AT INTERVALS OF 6.0m. AND WHERE CONCRETE PAVING ABUTS OTHER STRUCTURES OR BUILDINGS.
  - SAW-CUT JOINTS TO BE LOCATED AT INTERVALS OF 0.6m.
  - CONCRETE TO BE SPRAYED WITH WHITE PIGMENT CURING COMPOUND.
  - ALL DIMENSIONS ARE IN MILLIMETRES.

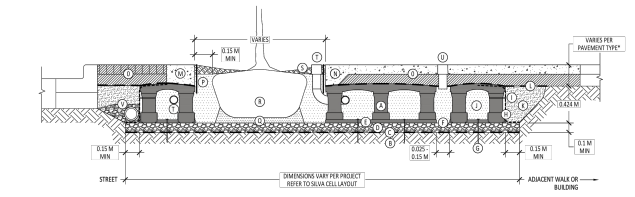
**D1 SAW CUT CONCRETE** N.T.S.



**D2 TREE PROTECTION FENCING** N.T.S.



**D3 BIKE RACK** N.T.S.



- KEY PLAN**
- SILVA CELLS SYSTEM (DECK, BASE AND POSTS)
  - DRAINAGE, COMPACTED
  - DEBTETITE FABRIC, WASHED SAND SUBGRADE
  - 200 MM MIN AGGREGATE TO BASE, COMPACTED TO 96% PROCTOR
  - SILVA CELL BASE SIZE, 120 X 60
  - 25 TO 350 MM SPACING BETWEEN SILVA CELLS AT BASE
  - ANCHORING SPACES - CONTACT DEEPFOOT FOR ALTERNATIVE
  - SECONDARY WAPPING AROUND PERIMETER OF SYSTEM, WITH 150 MM TOP (OUTWARD FROM BASE) AND 300 MM EXCESS (DOWN TOP OF DECK)
  - CABLE TIE, ATTACHING SECOND TO SILVA CELL AT BASE OF UPPER LEVEL, 60 X 60
  - PLANTING SOIL, PER PROJECT SPECIFICATIONS
  - TRUCKS AND WALKER COMPACTED TO 75 85% PROCTOR
  - COMPACTED BACKFILL PER PROJECT SPECIFICATIONS
  - DEBTETITE FABRIC TO EDGE OF EXCAVATION
  - REMOVE CURB AT TREE OPENING (DO NOT USE WITH PAVERS OR ASPHALT)
  - THICK PAVEMENT EDGE AT TREE OPENING (DO NOT USE WITH CONCRETE)
  - PREVENT AND AGGREGATE BASE PER PROJECT \*
  - DEEPFOOT ROOT BARRIER, 300 OR 450 MM, DEPTH DETERMINED BY DEPTH OF PAVEMENT SECTION (NOT DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT)
  - HARDNESS SOIL BROOM BALL COMPACTED W/IL TO PREVENT SETTLING
  - ROOT BALL
  - FREE DRAINING TREATMENT, PER PROJECT SPECIFICATIONS
  - DEEPFOOT WATER AND AIR VENT, BOTTOMBALL, WHEN REQUIRED
  - DEEPFOOT WATER AND AIR VENT, WHEN REQUIRED
  - UNDERDRAIN SYSTEM, WHEN REQUIRED (LOCATION AND DETAILS BY OTHERS)
- NOTES**
- LOCATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS
  - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
  - PROVIDE SUPPLEMENTARY IRRIGATION
  - CONTRAST SIGNAGE
- \*MINIMUM PAVEMENT PROFILE OPTIONS TO MEET CSA-S8-87 BAN PAVEMENT
- 250MM CONCRETE ..... + 350 MM AGGREGATE
  - 75 MM PAVES ..... + 300 MM AGGREGATE
  - 200MM ASPHALT ..... + 300 MM AGGREGATE
  - 60 MM PAVES ..... + 125 MM CONCRETE

**D4 SOIL CELL** N.T.S.

MODEL: SILVA CELL  
SUPPLIER: DEEP FOOT  
OR APPROVED EQUAL

- GENERAL NOTES**
- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
  - CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
  - CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
  - CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, NETWORKS, BUILDING CODE WORKS, AND OTHER LOCAL REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
  - OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
  - PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTORS WORK AT THE CONTRACTORS OWN EXPENSE.
  - UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPAIR MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
  - THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE DURING THE PERIOD OF WORK. PAVED AND ROAD AREAS ARE TO BE SWEEP AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

- PLANTING NOTES**
- PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
  - PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
  - ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
  - TREE PROTECTION**, PER THE MUNICIPAL DETAIL IF REQUIRED.
  - ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
  - SOIL DEPTH IN ALL PLANTING AREAS TO BE MINIMUM 450mm
  - SOIL ANALYSIS FOR PROPOSED GROWING MEDIUM IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - PLANTING MEDIUM TO MEET CANADIAN LANDSCAPE STANDARD FOR LEVEL 1.
  - ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
  - PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARDS FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISHYPNOOZ POOR GROWTH HABILTY OR UNDESIRABLE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
  - REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (I.S.A.) SPECIFICATIONS WITH APPROPRIATE TRAINING FOR EACH SPECIES.
  - PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTORS OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
    - Regular schedules of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of written request by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or holdback and otherwise recovered from the Contractor.
    - Maintenance and additional installation of mulch
    - Weed removal
    - Disease control

- SODDING NOTES**
- SODDED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOIL WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
    - 40% BLEND OF SUBSTRATES OF KENTUCKY BLUEGRASS
    - 40% CREEPING RED FESCUE
    - 20% PERENNIAL RYEGRASS
 USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE
  - AREAS TO BE SODDED SHALL HAVE A MINIMUM 150MM TOPSOIL BASE.
  - LOOSEN SOIL SURFACE PRIOR TO SODDING. ELIMINATE BUMPS AND HILLS. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
  - PRIOR TO SODDING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
  - DELIVER SOOD TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOOD FROM DRYING, AND WATER SOOD AS NECESSARY TO ENSURE ITS VIABILITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOOD WILL BE REJECTED.
  - LAY SOOD DURING GROWING SEASON. LAY SOOD IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS GLOBELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
  - WATER SOOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SODDED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

- IRRIGATION NOTES:**
- IRRIGATION TO BE PROVIDED FOR ALL SOFT LANDSCAPE AREAS SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
  - IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE STUB OUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK BEFORE TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
  - THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
  - ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
  - USE POP-UP SPRINKLER HEADS.
  - DO NOT SPRAY WATER ONTO TREE TRUNKS.

PROJECT NAME:

**BEDDIE 192**

PROJECT ADDRESS:

**9698/9714 192nd STREET SURREY, BC**

DRAWING TITLE:

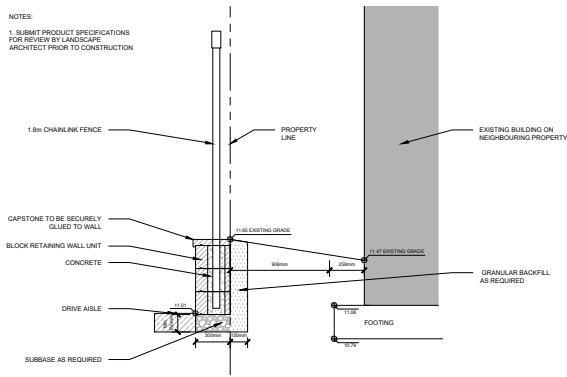
**DETAILS & NOTES**

SCALE:	AS NOTED
DRAWN:	RMK
CHECKED:	JT
PROJECT NO.:	22029-L
DRAWING NO.:	<b>L2</b>

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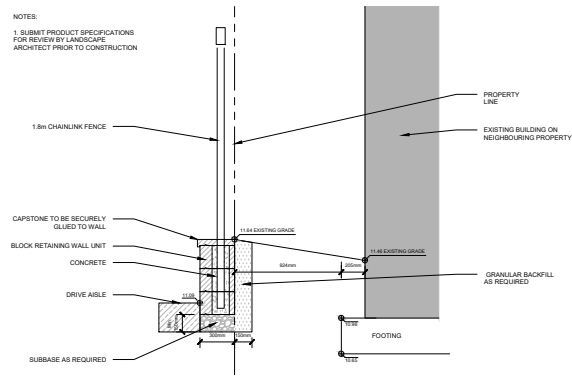
NOTES:  
1. SUBMIT PRODUCT SPECIFICATIONS FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION



S1 RETAINING WALL

1:20

NOTES:  
1. SUBMIT PRODUCT SPECIFICATIONS FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION



S2 RETAINING WALL

1:20

6	230227	ISSUED FOR COMMENT RESPONSE
7	230227	ISSUED FOR REVIEW
8	230210	ISSUED FOR DP
9	230202	ISSUED FOR REVIEW
4	230123	ISSUED FOR REVIEW
3	200708	ISSUED FOR COMMENT RESPONSE
2	200705	ISSUED FOR REVIEW
1	200531	ISSUED FOR COORDINATION
NO.	DATE (Y/M/D)	DESCRIPTION
ISSUES & REVISIONS:		
SEAL:		

PROJECT NAME:

**BEEDIE 192**

PROJECT ADDRESS:  
**9098/9714 192nd STREET  
SURREY, BC**

DRAWING TITLE:

**SECTIONS**

SCALE:	AS NOTED
DRAWN:	RMK
CHECKED:	JT
PROJECT NO.:	220295-L

DRAWING NO. **L3**

---

TO: **Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **April 24, 2023** PROJECT FILE: **7822-0230-00**

---

RE: **Engineering Requirements (Commercial/Industrial)  
Location: 9698 192 St**

**REZONE/SUBDIVISION**

***Property and Right-of-Way Requirements***

- Register 0.5 m Statutory Right-of-Way (SRW) along 192 Street.

***Works and Services***

- Construct concrete driveway letdowns.
- Construct 1.8 m concrete sidewalk along 192 St adjacent to PL.
- Provide storm, sanitary, and metered water service connection to the lot.
- Construct onsite stormwater mitigation features as determined through detailed design.
- Register applicable legal encumbrances on the lot.

A Servicing Agreement is required prior to Rezone and Subdivision.

**DEVELOPMENT PERMIT**

There are no engineering requirements relative to the issuance of the Development Permit.



Jeff Pang, P.Eng.  
Development Services Manager

BD

## Tree Preservation Summary

Surrey Project No: 22-0230-00  
 Address: 9698 9714 – 192 Street  
 Registered Arborist: Tim Vandenberg

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	33
<b>Protected Trees to be Removed</b>	29
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	4
<b>Total Replacement Trees Required:</b>  - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 2 X one (1) = <u>2</u>  - All other Trees Requiring 2 to 1 Replacement Ratio 27 X two (2) = <u>54</u>	56
<b>Replacement Trees Proposed</b>	38
<b>Replacement Trees in Deficit</b>	18
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	NA

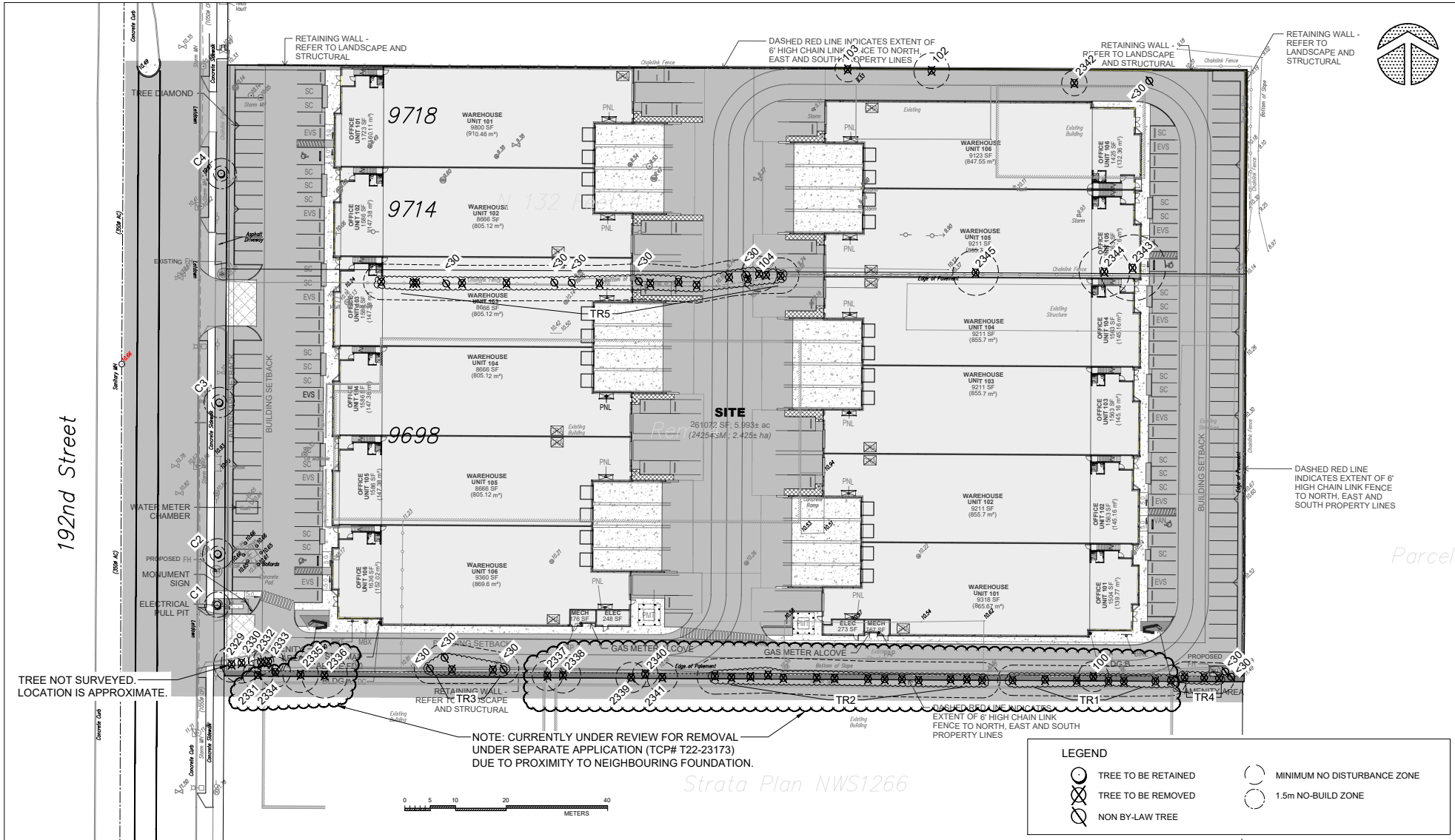
Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	0
<b>Total Replacement Trees Required:</b>  - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0  - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	0
<b>Replacement Trees Proposed</b>	NA
<b>Replacement Trees in Deficit</b>	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.	
Signature of Arborist:	Date: February 8, 2023





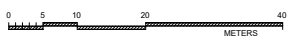
192nd Street



TREE NOT SURVEYED. LOCATION IS APPROXIMATE.

NOTE: CURRENTLY UNDER REVIEW FOR REMOVAL UNDER SEPARATE APPLICATION (TCP# T22-23173) DUE TO PROXIMITY TO NEIGHBOURING FOUNDATION.

DASHED RED LINE INDICATES EXTENT OF 6' HIGH CHAIN LINK FENCE TO NORTH, EAST AND SOUTH PROPERTY LINES



Strata Plan NWS1266

**LEGEND**

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- NON-BY-LAW TREE
- MINIMUM NO DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE

NO.	DATE	BY	REVISION
1	APR14/22	MK	UPDATED SURVEY & REVISED SITE PLAN
2	MAY16/22	MK	UPDATED SURVEY
3	JUL04/22	MK	REVISED SITE PLAN
4	FEB07/22	MK	REVISED SITE PLAN

**MIKE FADUM AND ASSOCIATES LTD.**  
**VEGETATION CONSULTANTS**

#105, 8277 129 St.  
 Surrey, British Columbia  
 V3W 0A6  
 Ph: (778) 593-0300  
 Fax: (778) 593-0302  
 Email: mfadum@fadum.ca

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**PROJECT TITLE**  
 9698 & 9714  
 192 STREET  
 SURREY, B.C.

**SHEET TITLE**  
 T1 - TREE REMOVAL AND PRESERVATION PLAN

CLIENT \_\_\_\_\_

**DRAWN** MK  
**SCALE** AS SHOWN  
**DATE** MARCH 18, 2022

**T-1**  
 SHEET 1 OF 2



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0230-00

Issued To:

(the "Owner")

Address of Owner:

- 1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
  
- 2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-055-677  
 North 132 Feet Lot 4 District Lot 387A Group 2 New Westminster District Plan 3966

9714 - 192 Street (9718 - 192 Street)

Parcel Identifier: 002-775-620  
 Lot 4 Except: The North 132 Feet District Lot 387A Group 2 New Westminster District Plan 3966

9698 - 192 Street

(the "Land")

- 3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

\_\_\_\_\_

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

\_\_\_\_\_

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Section F. of Part 48, Light Impact Industrial Zone (IL), the minimum side yard (north) setback is reduced from 7.5 metres to 6.3 metres to the principal building face for proposed Building B.
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

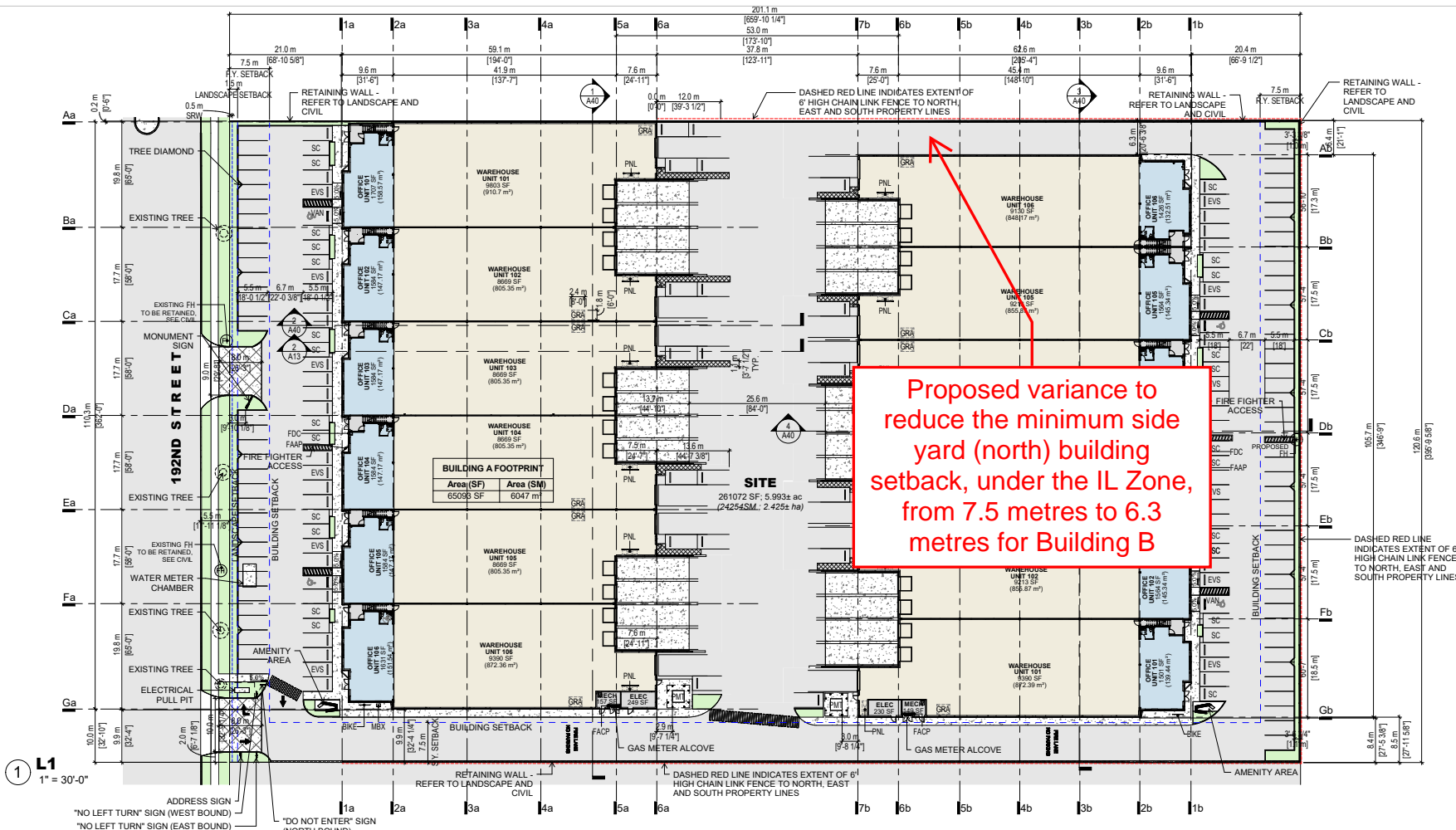
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

---

Mayor – Brenda Locke

---

City Clerk – Jennifer Ficocelli



Proposed variance to reduce the minimum side yard (north) building setback, under the IL Zone, from 7.5 metres to 6.3 metres for Building B

**KEYNOTE LEGEND**

TAG	DESCRIPTION
BIKE	BIKE RACK
EVS	ELECTRIC VEHICLE STALL
FAAP	FIRE ALARM ANNUNCIATOR PANEL
FACP	FIRE ALARM CONTROL PANEL
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT
GRA	GARBAGE & RECYCLING AREA
MBX	MAILBOX
PMT	PAID MOUNTED TRANSFORMER
PNL	ELECTRICAL PANEL
SC	SMALL CAR
VAN	ACCESSIBLE VAN STALL

**Base Plan Legend**

**PROPERTY LINES**

**SETBACKS**

**SRW / EASEMENTS**

**L1**  
1" = 30'-0"

**ZONING SUMMARY:**

**PROJECT ADDRESS:** 9698/9714 192nd Street, Surrey, BC  
**LEGAL DESCRIPTION:** LOT 4 DISTRICT LOT 387A PLAN NWP3966 NWD EXCEPT PLAN N1527.  
**EASEMENTS:** ---  
**AUTHORITY:** City of Surrey  
**ZONE:** IL  
**USES:** Light Impact Industrial Zone  
**SITE AREA:** 261,072sf (6.0ac)  
**FAR:** Proposed: 0.58  
 Permitted: 1.0  
**LOT COVERAGE:** Proposed: 50.2%  
 Permitted: 60%  
**BUILDING FOOTPRINT:** 131137 SF 12183 m<sup>2</sup>

**BUILDING A**  
 Front Yard Setback: Proposed: 21 m  
 Required: 7.5 m  
 Side Yard Setback: Proposed: 9.9 m  
 Required: 7.5 m (South)  
 Side Yard Setback: Proposed: 0 m  
 Required: 0 m (North)  
**BUILDING B**  
 Rear Yard Setback: Proposed: 20.4 m  
 Required: 7.5 m  
 Side Yard Setback: Proposed: 8.4 m  
 Required: 7.5 m (South)  
 Side Yard Setback: Proposed: 6.3 m  
 Required: 7.5 m (North)  
 Development Variance Permit Required For Building B Side Yard Setback (North)  
**BUILDING HEIGHT** Proposed: 11.9m  
 Permitted: 18m

**AREA SUMMARY:**

**AREA SUMMARY - By Building**

Level	Area (SF)	Area (SM)
BUILDING A	65093	6047
L1	11026	1024
L2	76118	7072
BUILDING B	66044	6136
L1	10526	978
L2	76570	7114
Grand total	152888	14185

**AREA SUMMARY - By Type**

Occupancy	Area (SF)	Area (SM)
SERVICE / STAIR	4363 SF	405 m <sup>2</sup>
OFFICE	20818 SF	1915 m <sup>2</sup>
WAREHOUSE	127708 SF	11864 m <sup>2</sup>
	148326 SF	13780 m <sup>2</sup>
Grand Area Total	152888 SF	14185 m <sup>2</sup>

**PARKING SUMMARY:**

**ZONING REQUIREMENTS**

Accessible Stalls Required: 2%

Small Car Stalls Allowed: 35%

Drive Aisle Width: 6.7m (2.75m wide Stall)

**PARKING REQUIRED (by Building)**

Name	Area (SM)	Factor (X/100sqm)	Spaces
BUILDING A OFFICE	899 m <sup>2</sup>	2.5	22.5
WAREHOUSE	5967 m <sup>2</sup>	1.0	59.7
	6866 m <sup>2</sup>		82.2
BUILDING B OFFICE	853 m <sup>2</sup>	2.5	21.4
WAREHOUSE	6061 m <sup>2</sup>	1.0	60.6
	6914 m <sup>2</sup>		82.0
TOTAL	13780 m <sup>2</sup>		164.2

\*Service/Stair Areas Excluded for Parking Calculations

**PARKING PROVIDED:**

Type	Quantity	Ratio
Accessible Stall 2.5m x 5.5m (+1.5m)	2	1%
Accessible Van Stall 3.4m x 5.5m (+1.5m)	2	1%
EV Parking Stall - Regular 2.75m x 5.5m	12	7%
Parking Stall - Regular 2.75m x 5.5m	111	68%
Parking Stall - Small 2.75m x 4.9m	25	15%
Parking Stall - Tandem 2.75m x 6.0m	12	7%
GRAND TOTAL	164	

**PARKING PROVIDED (by Building)**

Building	Quantity
BUILDING A	82
BUILDING B	82
GRAND TOTAL	164

**LOADING SUMMARY:**

Loading Provided	Quantity
Dock Loading 13' x 50'	24
Grade Loading 4m x 9.2m	12

**PARKING DIMENSIONS:**

Accessible Stalls:	2.5m x 5.5m (+1.5m)
Accessible Van Stall:	3.4m x 5.5m (+1.5m)
Regular Car Stall:	2.75m x 5.5m
Small Car Stall:	2.75m x 4.9m
EV Car Stall:	2.75m x 5.5m
Tandem Stall:	2.75m x 6.7m
Grade Loading:	4m x 9.2m
Dock Loading:	4m x 15.2m

5 23.04.25 Re-issued for DP  
 4 23.04.14 Re-issued for DP  
 3 23.02.19 Re-issued for DP  
 1 22.04.18 For DP Review  
 REV DATE DESCRIPTION  
 REV DATE As indicated DATE Date: April 25, 2025 DRAWN: Author  
 PROJECT NUMBER 2025 2008  
 FILE: \\sdc\proj\9698\_9714\9698\_9714\_2025.dwg  
 PLOT DATE: 4/25/2025 3:09:05 PM

**Beedie**  
 IKA L A R C H I T E C T U R E + D E S I G N I N C  
 9698 & 9714 192nd  
 9698 & 9714 192nd Street  
 Surrey, BC  
**Site Plan**  
 PLOT DATE: 4/25/2025 3:09:05 PM  
 A02