

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7922-0205-00

Planning Report Date: October 3, 2022

PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

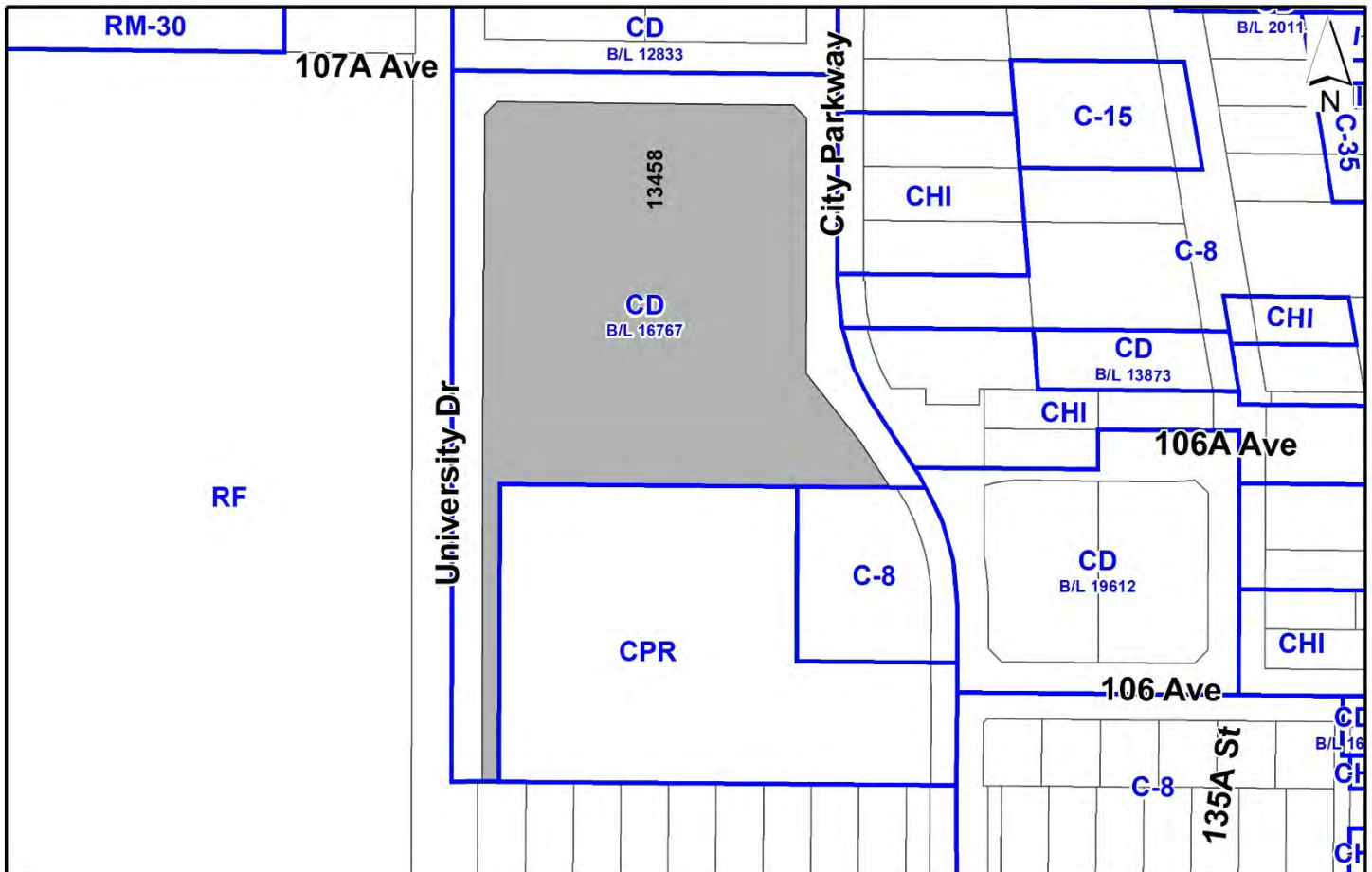
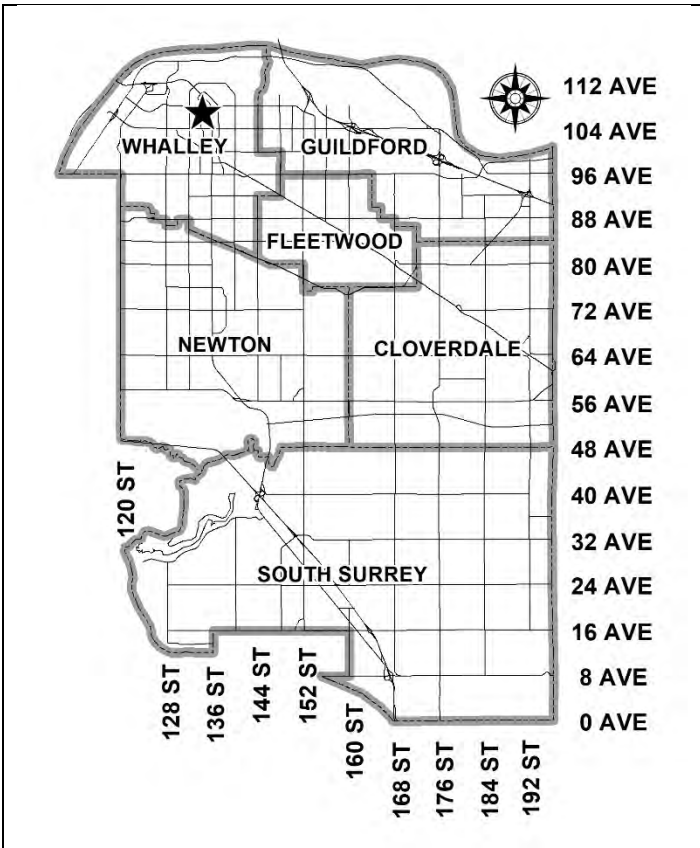
to permit the expansion of the Chuck Bailey Recreation Centre in City Centre.

LOCATION: 13458 - 107A Avenue

ZONING: CD (Bylaw No. 16767)

OCP DESIGNATION: Downtown

CCP DESIGNATION: Park



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Form and Character.
- Approval for the Development Variance Permit to proceed to Public Notification

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary CD Bylaw No. 16767 in order to reduce the number of required off-street parking spaces from 160 to 95.

RATIONALE OF RECOMMENDATION

- The proposal complies with the "Park" designation in the City Centre Plan Area.
- The proposed additional to the Chuck Bailey Recreation Centre will provide a valuable public amenity to residents in the City Centre community, and more generally for the City of Surrey.
- Both the existing partially covered skate park and outdoor hockey/basketball facilities located within Tom Binnie Park to the immediate south of the Chuck Bailey Recreation Centre, not included in the development application, will remain open.
- The proposed expansion to the Chuck Bailey Recreation Centre is energy efficient, aligning with the Passive Design target under the Canadian Green Building Council's Zero Carbon Building energy performance level, and achieves an attractive architectural built form, which utilizes high quality, natural materials, and contemporary lines.
- The proposal includes a substantial amount of both passive and active landscaping, including a children's play area and urban agriculture feature.
- As part of the subject development application a parking capacity analysis was undertaken by Steer Group to assess the current parking demand and supply at the Chuck Bailey Recreation Facility as well as future supply requirements based on estimated future demand. The study, which took place in December 2021, found an overall peak demand of approximately 61 parking spaces for the existing Chuck Bailey Recreation Centre.
- Based on a linear relationship between the surveyed parking demand and the proposed gross floor area of the expanded Chuck Bailey Recreation Centre the peak demand for off-street parking is projected to increase from approximately 61 to 72 parking spaces.
- As the parking capacity analysis found a high demand for accessible parking stalls existed within the existing Chuck Bailey Recreation Centre the proposal includes 7 accessible parking stalls, which exceeds the Zoning Bylaw requirements.

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- The proximity of multiple public transit options within a short walking or cycling distance from the Chuck Bailey Recreation Facility provide further rationale for the reduction of off-street parking spaces. In addition, the proposal includes approximately 62 bike parking spaces, 24 spaces at grade and 38 secured bicycle spaces within the proposed underground parkade.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7922-0205-00 for Form and Character generally in accordance with the attached drawings (Appendix I).
2. Council approve Development Variance Permit No. 7922-0205-00 (Appendix V), varying the minimum number of required off-street parking spaces from 160 to 95, to proceed to Public Notification.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) final approval from TransLink;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect; and
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	City Centre Plan Designation	Existing Zone
Subject Site	Existing Chuck Bailey Recreation Centre, covered skate park, outdoor hockey/basketball facilities and Tom Binnie Park.	Park	CD (Bylaw No. 16767)
North (Across 107A Avenue):	Temporary transitional supportive housing facility. Two existing lots under Development Application No. 7920-0220-00 to permit the development of a two (2) high-rise towers (Pre-Council)	High Rise Residential – Type I	CD (Bylaw No. 12833)

Direction	Existing Use	City Centre Plan Designation	Existing Zone
East (Across City Parkway):	Several one-storey, multi-tenant commercial buildings.	Mid to High Rise Residential	CHI and C-8
South:	BC Lions Football Club training facility.	Park	CPR and C-8
West (Across University Drive):	Whalley Athletic Park	Park	RF

Context & Background

- The approximately 2.0-hectare subject property (Tom Binnie Park) is owned by the City and is currently designated "Downtown" in the Official Community Plan (OCP), "Park" in the City Centre Plan and zoned "Comprehensive Development Zone (CD)" (Bylaw No. 16767).
- The subject site contains the 2,729-square metre Chuck Bailey Recreation Centre and associated surface parking facility, which were approved by Council on September 29, 2009, under Development Application No. 7908-0224-00 in addition to a covered skateboard park and outdoor hockey and basketball surfaces which were approved by Council on July 26, 2010, under Development Application No. 7910-0130-00 .

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit the development of a two-storey, 3,600-square metre expansion to the existing Chuck Bailey Recreation Facility, including the removal of the existing surface parking facilities and construction of one (1) level of underground parking, the following is required:
 - **Development Permit** for Form and Character; and
 - **Development Variance Permit** to reduce the number of required off-street parking spaces from 160 to 95.

	Proposed
Lot Area	
Gross Site Area:	19,717 sq.m.
Road Dedication:	N/A
Undevelopable Area:	N/A
Net Site Area:	19,717 sq.m.
Number of Lots:	1
Building Height:	13.02 metres
Floor Area Ratio (FAR):	0.38
Floor Area	
Total:	6,383 sq.m.

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Parks, Recreation & Culture:	No concerns.
TransLink:	No concerns. TransLink to review construction safety plans for all works proposed within the Limits of Approach (LOA) of the SkyTrain guideway in order to mitigate potential impacts.
Surrey Fire Department:	No concerns.
Advisory Design Panel:	The proposal was considered at the September 8, 2022, meeting of the ADP wherein it was given a vote of conditional support. The applicant has agreed to resolve the outstanding items from the ADP review as listed in the Development Permit section of this report prior to Council's consideration of the issuance and execution of the subject Development Permit and Development Variance Permit.

Transportation Considerations

- The Chuck Bailey Recreation Facility is approximately 250 metres from the Gateway SkyTrain station and approximately 900 metres from the Surrey Central SkyTrain station. In addition, there are several existing TransLink bus routes within a 5 to 10 minute walking distance from the facility, including:
 - Bus Route No. 321 (White Rock Centre / Newton Exchange / Surrey Central Station);
 - Bus Route No. 335 (Newton Exchange / Surrey Central Station);
 - Bus Route No. 371 (Surrey Central Station / Scott Road Station); and
 - Bus Route No. 373 (Guildford Exchange / Surrey Central Station).
- The existing BC Parkway Greenway runs along both 107A Avenue and University Drive, directly abutting the subject site.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- The project is currently targeting the Canadian Green Building Council's "Passive Design Approach" under the zero carbon building energy performance level guidelines and will meet or exceed BC Energy Step Code 2 TEDI-30 requirements.

- In addition, the applicant has highlighted the following additional sustainable features:
 - Use of low embodied carbon materials;
 - Use of a partial green roof, rain garden and natural landscaping to reduce storm water run-off and minimize the urban heat island effect;
 - Inclusion of community garden plots to encourage urban agriculture; and
 - Ensuring building design and detailing supports the future addition of building-integrated photovoltaic panels.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the existing "General Urban" designation of the subject property in the Metro Vancouver *Regional Growth Strategy* (RGS).

Official Community Plan

Land Use Designation

- The proposal complies with the existing "Downtown" designation of the subject property in the Official Community (OCP), which encourages major institutional and civic developments as well as public facilities within the designated area.

Secondary Plans

Land Use Designation

- The proposal complies with the existing "Park" designation of the subject property in the City Centre Plan (CCP).

Zoning By-law

- The table below provides an analysis of the development proposal in relation to the requirements of the existing "Comprehensive Development Zone (CD)".

CD Zone (Bylaw No. 16767)	Permitted and/or Required	Proposed
Floor Area Ratio (FAR):	0.4	0.38
Lot Coverage:	40%	36%
Yards and Setbacks		
North Yard:	2.0 metres	11.1 metres
East Yard:	2.0 metres	4.1 metres
South Yard:	7.5 metres	75.6 metres
West Yard:	15.0 metres	22.0 metres
Building Height:	15.0 metres	13.5 metres
Parking	Required	Proposed

CD Zone (Bylaw No. 16767)	Permitted and/or Required	Proposed
Number of Spaces	160 parking spaces (at a rate of 2.5 spaces per 100 sq.m. of gross floor area).	95 parking spaces (at a rate of 1.48 spaces per 100 sq.m. of gross floor area).*

*variance required

Development Variance Permit:

- Based on a required flat rate of 2.5 parking spaces per 100 square metres of gross floor area, as per CD Bylaw No. 17676, the proposed development would require a minimum of 160 off street parking spaces. As only 95 parking spaces (65 regular spaces, 7 accessible spaces and 23 small car spaces) are currently proposed a Development Variance Permit (DVP) is required for the proposed parking deficiency.
- As part of the subject development application a parking capacity analysis was undertaken by Steer Group to assess the current parking demand and supply at the Chuck Bailey Recreation Facility as well as future supply requirements based on estimated future demand. The study, which took place in December 2021, found that the existing 78 parking spaces were achieving a peak weekday average of 53% occupancy and peak weekend occupancy of 23%. Considering the impacts on facility use due to the COVID-19 pandemic program participant numbers from 2020-2021 were used to “factor up” parking demand which resulted in an increase in weekday peak demand average from 53% to 89% occupancy and weekend peak demand average from 23% to 34% occupancy. This translated to an overall peak demand of approximately 61 parking spaces for the existing Chuck Bailey Recreation Centre.
- Based on a linear relationship between the surveyed parking demand and the proposed gross floor area of the expanded Chuck Bailey Recreation Centre the peak demand for off-street parking is projected to increase from approximately 61 to 72 parking spaces.
- As the parking capacity analysis found a high demand for accessible parking stalls existed within the existing Chuck Bailey Recreation Centre the proposal includes 7 accessible parking stalls, which exceeds the Zoning Bylaw requirements.
- Steer Group also noted the proximity of multiple public transit options within a short walking or cycling distance from the Chuck Bailey Recreation Facility (see Transportation Considerations section for details) as further rationale for the reduction of off-street parking spaces.
- The proposal includes approximately 62 bike parking spaces, 24 spaces at grade and 38 secured bicycle spaces within the proposed underground parkade. This greatly exceeds the requirements of both CD Bylaw No. 16767 and Part 5 of the Zoning Bylaw which do not require a minimum number of bicycle parking spaces for the proposed use.
- Transportation supports the DVP for reduced vehicle parking requirements based on:
 - The Zoning Bylaw requires a total of 82 spaces, considering permitted 20% reduction for both uses within City Centre and 25% shared parking through ‘Alternate Hours of Use’ provision:
 - Recreation Facility – 69 spaces required

- Child Care – 13 spaces required
 - The applicant completed a parking survey that demonstrated existing peak Recreation Facility demand of 61 spaces
 - Expanding existing Recreation Facility floor space is estimated to increase peak use to 72 spaces
 - Bike parking spaces are not required as per the Zoning Bylaw, however the applicant is proposing to provide 68 bike parking spaces (24 surface and 44 secured underground)
- Staff support the requested variance to proceed for consideration.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will not be subject to the Tier 1 Capital Plan Project CACs.

Public Art Policy

- Public Art contributions are not required as the proposal does not include a rezoning component.
- Parks, Recreation and Culture will be working on a public art strategy for the project. There may be opportunities to explore public art integration into the design of the building and the site, that will be determined at a later stage.

PUBLIC ENGAGEMENT

- Development Proposal Signs were installed on July 27, 2022. To date, staff have received no responses from neighbouring residents or business owners with respect to the proposed development.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the City Centre Plan.
- The applicant has worked with staff to improve the integration and relationship between the existing and proposed components of the Chuck Bailey Recreation Centre, in addition to ensuring appropriate interfaces with the public realm, specifically in relation to the importance of the 107A Avenue entrance.

Site Planning and Building Design

- The proposal is for a two-storey, 3,600-square metre expansion to the existing City-owned Chuck Bailey Recreation Centre in City Centre, with associated active and passive outdoor areas.
- The proposed expansion will be located at the north-east corner of the subject site, directly adjacent to the existing Chuck Bailey Recreation Facility, predominantly within the existing surface parking area. The primary entrance will remain along 107A Avenue with the construction of an expanded entry plaza.
- The project is currently targeting the Canadian Green Building Council's "Passive Design Approach" under the zero carbon building energy performance level guidelines and will meet or exceed BC Energy Step Code 2 TEDI-30 requirements.
- The proposed contemporary massing is predominantly rectilinear in form; however, careful studies have been made to ensure that the proposed building heights, flows, and sightlines respect the unique architectural expression of the existing Chuck Bailey Recreation Centre. Large, glazed perforations have been provided to connect indoor and outdoor spaces as well as to provide significant natural light within the building interior.
- Uses within the expanded Chuck Bailey Recreation Centre will include the following:
 - A teaching kitchen and a community maker space;
 - New childcare facility (ages 0-5);
 - Large multi-purpose/event spaces and publicly accessible meeting rooms;
 - Youth lounge, billiards room and senior's lounge; and
 - Two large gymnasiums, weight-training, fitness studio and associated shower/change facilities.
- The proposed material palette consists of contemporary, textural materials meant to serve as a quiet backdrop to the vibrant landscape and recreation activities taking place at the Chuck Bailey Recreation Centre. These include white brick, white perforated aluminum screens, white ferro finished concrete panels, bronze aluminum framed glazing and wood slat soffits.

Landscaping and Outdoor Activity Spaces

- The landscape plans propose a total of 52 trees as well as a significant number of low-lying and ground cover species throughout the subject site.
- The proposed public spaces surround the expanded Chuck Bailey Recreation Facility include:
 - Entry plaza with feature paving and stepped seating;
 - Outdoor children's play space associated with the proposed childcare facility;
 - Interactive rain garden with native shrubs, sculptural trees and boulders;
 - A central flex-lawn area for events, outdoor cooking facilities, community gardens and pollinator/sensory plots;
 - A "social heart" multi-use outdoor room with a variety of seating and gathering spaces to encourage social interaction.

Advisory Design Panel and Outstanding ItemsADP Date: September 8th, 2022.

- The following urban design items are required to be addressed prior to final issuance of the Development Permit:
 - Further design development of the connection between the existing building and the new addition in respect to the massing, roofline and interior connection.
 - Further design development of the lobby expression, wayfinding and a more direct, accessible connection to the building entry including revision to the signage wall.
 - Further development of the architectural features, material application, and detailing.
 - Further development of the outdoor childcare, the connection between the indoor and outdoor spaces, and the fence detailing and expression.
 - Further landscape design development including adding more trees to the outdoor amenity and the north entry plaza.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to final approval of the Development Permit, should the application be supported by Council.

TREES

- Cody Laschowski, ISA Certified Arborist of Diamond Head Consulting Ltd., prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees			
American Elm	2	0	2
American Sweetgum	5	0	5
Common Beech	2	2	0
Common Hornbeam	17	9	8
Eastern Black Walnut	1	0	1
English Oak	1	1	0
Flowering Ash	1	0	1
Honey Locust	12	6	6
Katsura	8	8	0
Northern Red Oak	2	1	1
Norway Maple	2	0	2
Persian Ironwood	10	10	0
Red Maple	8	6	2
Trembling Aspen	1	1	0
White Ash	1	0	1
Total	73	44	29

Tree Species	Existing	Remove	Retain
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		52	
Total Retained and Replacement Trees		81	
Contribution to the Green City Program		\$19,800.00	

- The Arborist Assessment states that there are a total of 73 protected trees on the site. There are no Alder or Cottonwood trees. It was determined that 44 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 88 replacement trees on the site. Since only 52 replacement trees can be accommodated on the site, the deficit of 36 replacement trees will require a cash-in-lieu payment of \$19,800, representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including Austrian Pine, Serbian Spruce, Pacific Fire Vine Maple, Paperbark Maple, Katsura, Western Redbud, Raywood Ask, Galaxy Magnolia, Japanese Stewartia and Snowcone Japanese Snowbell.
- In summary, a total of 81 trees are proposed to be retained or replaced on the site with a contribution of \$19,800 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	Summary of Tree Survey and Tree Preservation
Appendix IV.	Draft ADP Comments
Appendix V.	Development Variance Permit No. 7922-0205-00

approved by Ron Gill

Jeff Arason
Acting General Manager
Planning and Development



View of main entry plaza



Street view from the corner of Fir Street and West 15th Avenue.

Site Location

The project site is located in the neighbourhood of Whalley, within the boundaries of City Centre. The Chuck Bailey Recreation Centre is the only city run recreation centre serving the City Centre area. Nearby recreation centres include North Surrey Sport and Ice Complex to the north-west and the Guildford Recreation Centre to the East.

The Chuck Bailey Recreation Centre facility consists of a gymnasium, multi-purpose spaces, a preschool, a youth centre and a seniors centre. Unlike its counterparts to the east and west, this centre does not contain a fitness studio or a fitness centre. Its close proximity to City Hall, Central City, Simon Fraser University and its position on the Skytrain line would allow this recreation centre the potential to serve workers on their lunch breaks and students in addition to local residents.



Project Site

The Chuck Bailey Recreation Centre site occupies an entire block from University Drive to City Parkway, and known as Tom Binnie Park. Immediately South of the building is a covered skate park, a ball hockey rink a basketball court and open green space. All are well used and will be retained in this design proposal.

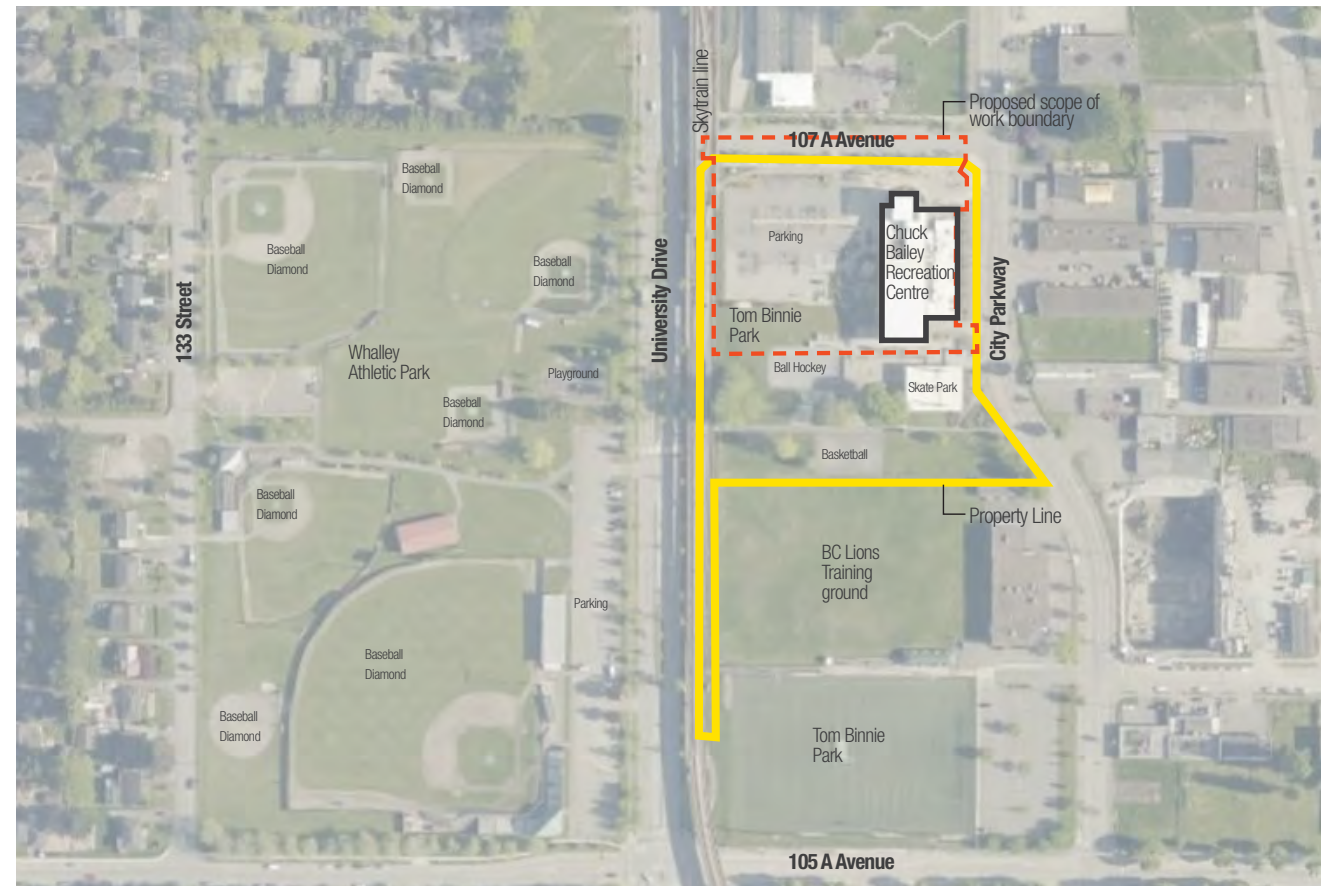
The South boundary of the property is adjacent the BC Lions Training Ground. A portion of this end of the site has been leased to BC Lions for training use. A small strip of the property runs past the BC Lions Training ground to connect to a sports field at the south end of the block. Immediately to the west of Tom Binnie Park on the other side of University Drive is the Whalley Athletic Park, home Whalley Little League, and 7 baseball diamonds, a playground, and surface parking.

The Skytrain Expo line runs along the western edge of the property, and is technically contained within the boundary of the site. A Statutory Right of Way is held by the BC Transit Authority for this purpose.

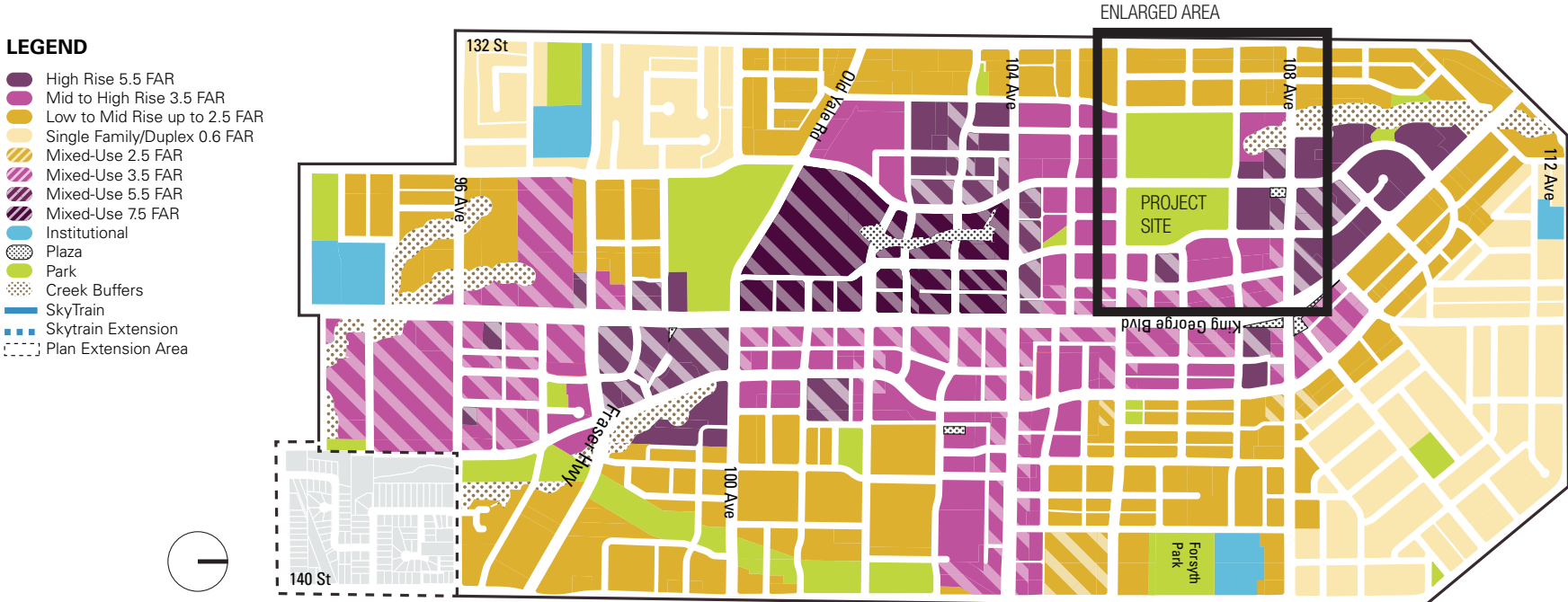
19,717 m²
For total Lot Area

2,753 m²
For undevelopable area

16,964 m²
Total Developable Area



The project site will be surrounded by mid to high rise buildings in the future, and will become a significant park and recreation hub serving the area's future residents and workers.



City Centre Land Use Plan

Site Photos



View of west main entrance from plaza at 107A Avenue



View of west facing main entry



View of west facade from University Drive



View of west facade from south, with view of community gardens



View of skate park and pedestrian pathway, looking east



View of skate park from west



View of water feature at south



View of skate park looking south



View of east main entry from 107A Avenue



View of sloped gymnasium glazing from east

Existing Building Tie-ins

01 Connection to new facility

The exit to the south of the reception and administration area will be removed to form the key connection point to the new facility. This entrance currently serves as a the firefighters' entrance, which will be ultimately relocated to a new main entrance in the expansion.

02 Front desk and administration

The existing front desk will be decommissioned upon completion of the expansion, and this area renovated to become general office space.

03 Existing main entrances

The current entrances will serve as exits in the expanded configuration, and will no longer provide access to the facility.

04 Access gates

The existing access gates will be relocated to the expanded facility adjacent the new front desk.

05 Multi-purpose rooms

Main floor multi-purpose rooms will be renovated to become a seniors lounge and billiards room.

06 South Entrance

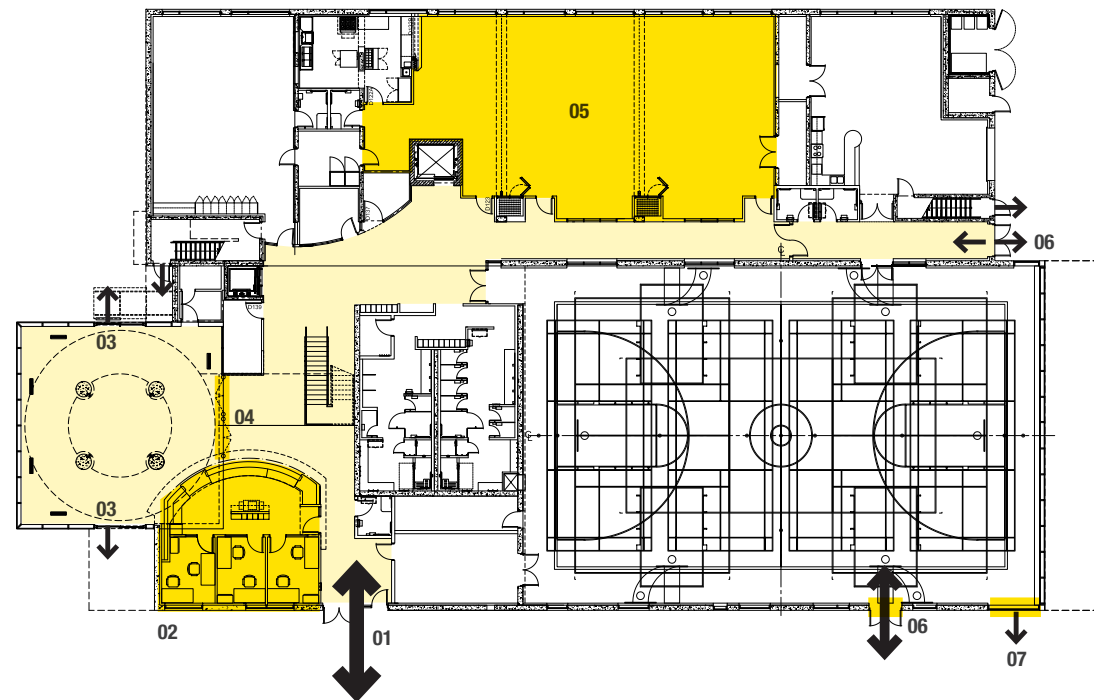
The set of double doors at the south end of the facility current serves as after hours access for the Youth Centre and gymnasium, and is proposed to become the temporary fire fighters entrance during construction.

07 New exit

The existing gymnasium exit will be relocated to the SW corner to avoid conflict with the proposed expansion.

08 Secondary connection point

The current exit from the gymnasium will be used as a secondary connection point to the proposed gymnasium.



Material Palette

The existing building material palette is a lively mix of curved reddish stained exposed glulam trusses, randomized rectangular patterned 4 sided SSG glass, and randomized coloured windows. Our material strategy is a palette that is complementary but quiet. Working with texture rather than colour, the building will become a quiet backdrop to the vibrant landscape and recreation activities taking place around the site.

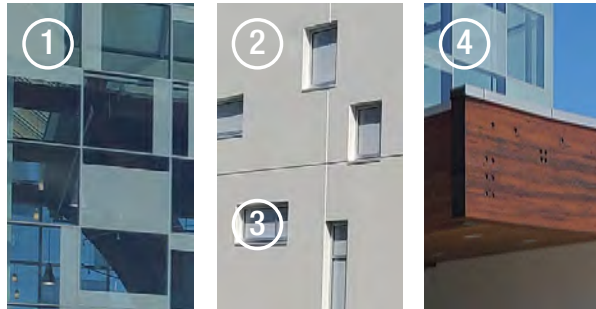
The primary cladding material proposed is white brick in a running bond pattern. Sculpted areas around windows will be a glassfibre reinforced concrete panels with a texture similar to the white brick. Openings will be 2 sided SSG glazing hybrid system with bronze aluminum exterior and wood mullion interior. Soffit areas will be wood slats and will continue into the lobby interior for a consistent ceiling plan.

Key

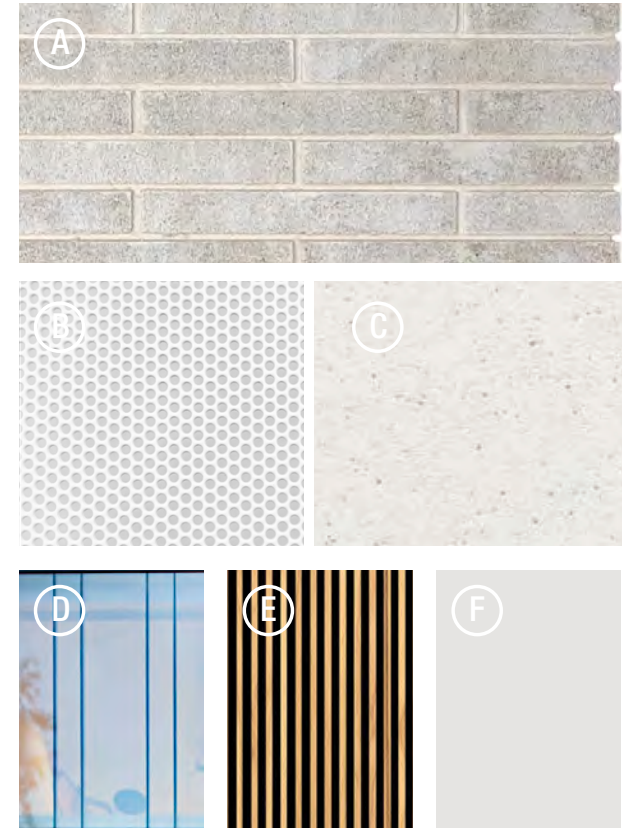
- 1 4 sided SSG with randomized rectangular frit pattern
- 2 Cast in Place Concrete with paint finish
- 3 Anodized aluminum windows
- 4 Exposed wood structure with stained finish
- 5 2 sided sloped SSG system with anodized aluminum caps
- 6 Painted exposed steel structure

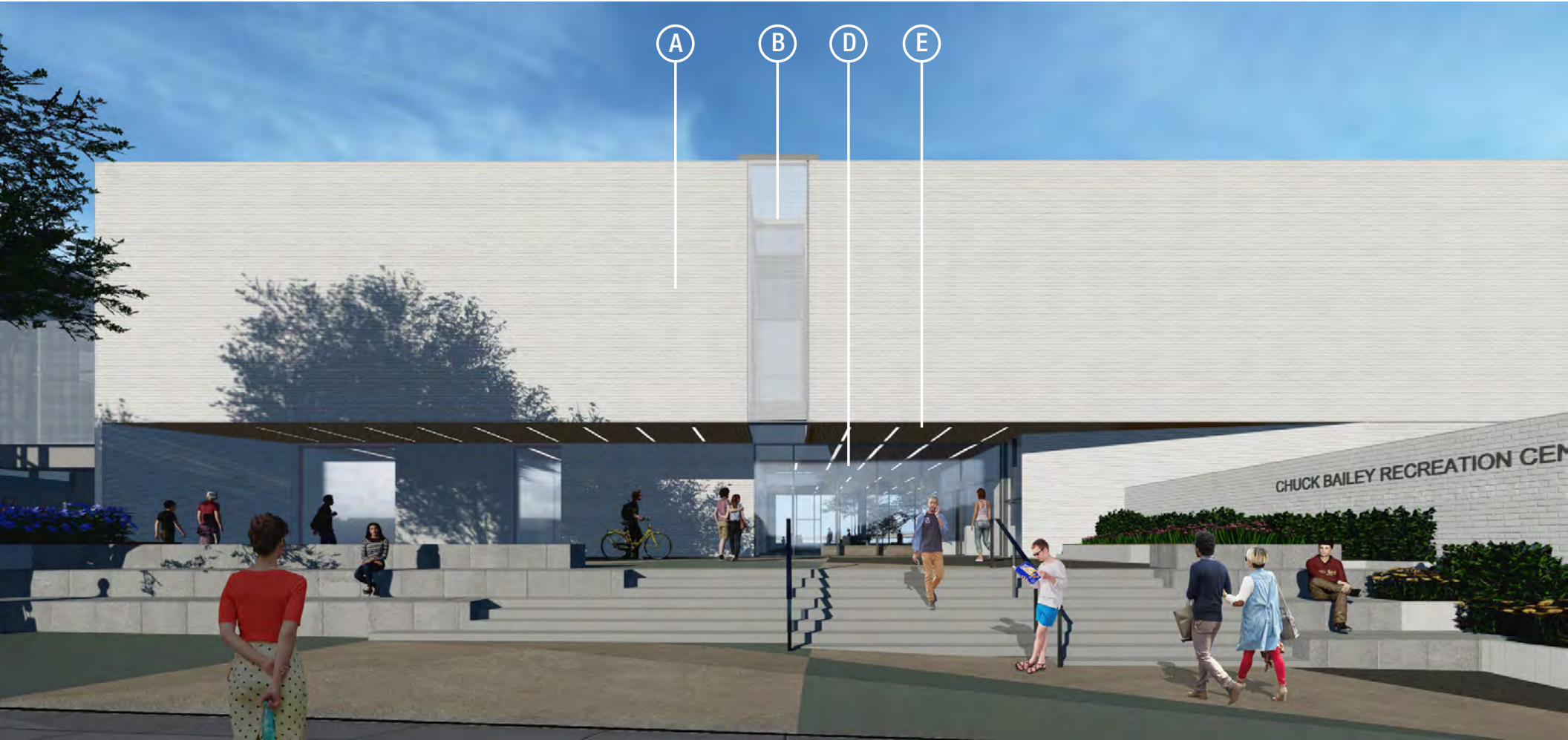
- A White brick, Shouldice Urban Brick Smooth polar or similar
- B Perforated aluminum screen, white finish
- C Glassfibre reinforced concrete panels, polar white ferro finish
- D SSG Glazing with bronze aluminum frames on exterior
- E Wood slat soffit
- F White Metal Flashing

Existing Material Palette



Proposed Material Palette





Parking

Off-street Parking

Off-street parking requirements for this project are defined by City of Surrey Bylaw amendment no. 16767 applicable to this site, requiring 2.5 parking spaces for each 100 square meters (1,075 sq. ft.) of gross floor area.

This proposal seeks to reduce off-street parking supply below bylaw requirements to achieve three overarching goals:

- 1 Eliminate surface parking on site to prioritize open park space
- 2 Encourage sustainable transportation choices to minimize parking demand
- 3 Improve access and accessibility

Our rationale for reduction in off-street parking supply from the bylaw is outlined in 4 reports provided by Steer Group that have been included in the submittal for Development Permit. These reports describe various Traffic Demand Management (TDM) strategies to reduce user parking demand and include analysis of historic and current parking demand data to understand and predict actual parking supply in and around the site.

Below Grade parking

All off street parking supplied on the site will be located below grade in a secure parking garage, and accessed via a parking ramp from 107A Avenue. The parking garage will supply 95 stalls, 7 of which are accessible parking stalls, and 9 of which are designated as dynamic or multi-use parking stalls, contributing to demand reduction or accessibility improvement. Also located in the parkade will be secured bicycle storage areas.

Existing Demand

To make an accurate assessment of the existing vehicular traffic patterns and parking demand on site, Steer has prepared a *Traffic Assessment of Existing and Future Conditions* to assess the volume of vehicular traffic in the area and impact on parking, and parking capacity analysis which can be found in the *Parking Assessment Summary of Findings* document, both of which are included in the appendix of this document. The result of these findings were that the occupancy rate of the existing supply is at 85%, meaning that actual demand for parking is at approximately 85% of the baseline requirement.

Traffic Demand Management (TDM)

To further reduce vehicular parking demand, the project will implement a number of TDM measures which will encourage sustainable transportation methods such as public transportation, cycling, carpooling and family parking. The TDM measures have been selected based on an *Employee Commute Survey* conducted by Steer and included in the appendix of this document, as well as Transit service, housing and demographics and the Chuck Bailey Expansion Survey conducted during early public engagement for this project. Refer to the *Traffic Demand Management Assessment* for a complete description of measures.

With the implementation of all TDM strategies, visitor and staff vehicle trips are estimated to be reduced to 52% of the baseline requirement. This would bring the estimated parking need to a total of 95 stalls.

Accessibility

The parking capacity analysis conducted by Steer found that demand for accessible spaces are consistently higher than the demand for undesignated spaces. This project will supply a total of 7 accessible stalls, 3 more than the requirement, and designated 2 van accessible drop off areas along the street in front of the main entrance.

Dynamic / Multi-use parking

9 spaces have been designated as dynamic stalls. Dynamic stalls are multi-function parking stalls that serve to reduce overall parking demand by facilitating high parking turn-over and incentivizing people to travel together. These parking stalls of standard dimension prioritize specific users / uses such as elderly, expectant mothers, carpoolers, day care pick-up and drop-off. To further facilitate management of these dynamic parking stalls, the project will provide a rough-in for future digital signage at each location, allowing for programmable signage should facility operators decide to use digital signs in lieu of physical signage in the future.

Additional information about dynamic parking stalls and the proposed parking strategy can be found in the Parking Assessment Memo prepared by Steer Group on June 16, 2022 that has been included as part of the full Development Permit submittal.

Alternate Hours of use

There are 2 main program uses in the expansion programming, a childcare centre which is operational from 7:00am to 6:00pm Mondays to Fridays, and a Recreation centre that is open from 9:00am to 9:00pm daily. The existing Recreation Centre peak times based on historic data are from 12:00 to 3:00pm on Fridays and Saturdays. Childcare Centre peak times will be at pick up and drop off times from 7:00am – 9:00am and again from 5:00pm to 6:00pm Mondays to Fridays, and not operational on weekends.

The staggered high and low use periods for the various uses on site will allow for the sharing of parking supply to accommodate user demands.

Bicycle parking

Surface bicycle parking will be adjacent the main entrances, and secured bicycle parking provided within the below-grade parking garage. End of trip facilities will be available within the facility for cyclist use. A total of 38 secure parking stalls (in parkade) and 24 surface bike parking stalls are proposed for this project.

Electric Vehicle Charging

A total of 6 Electric Vehicle charging stations will be supplied in the parkade. EV station use will be managed by the City of Surrey.

Perspective Views



View from the north west corner of the site



View along north entry plaza at 107A Avenue

Perspective Views



View of south plaza, social heart of the facility



View of south elevation from existing Ball Hockey Rink



View of outdoor play area

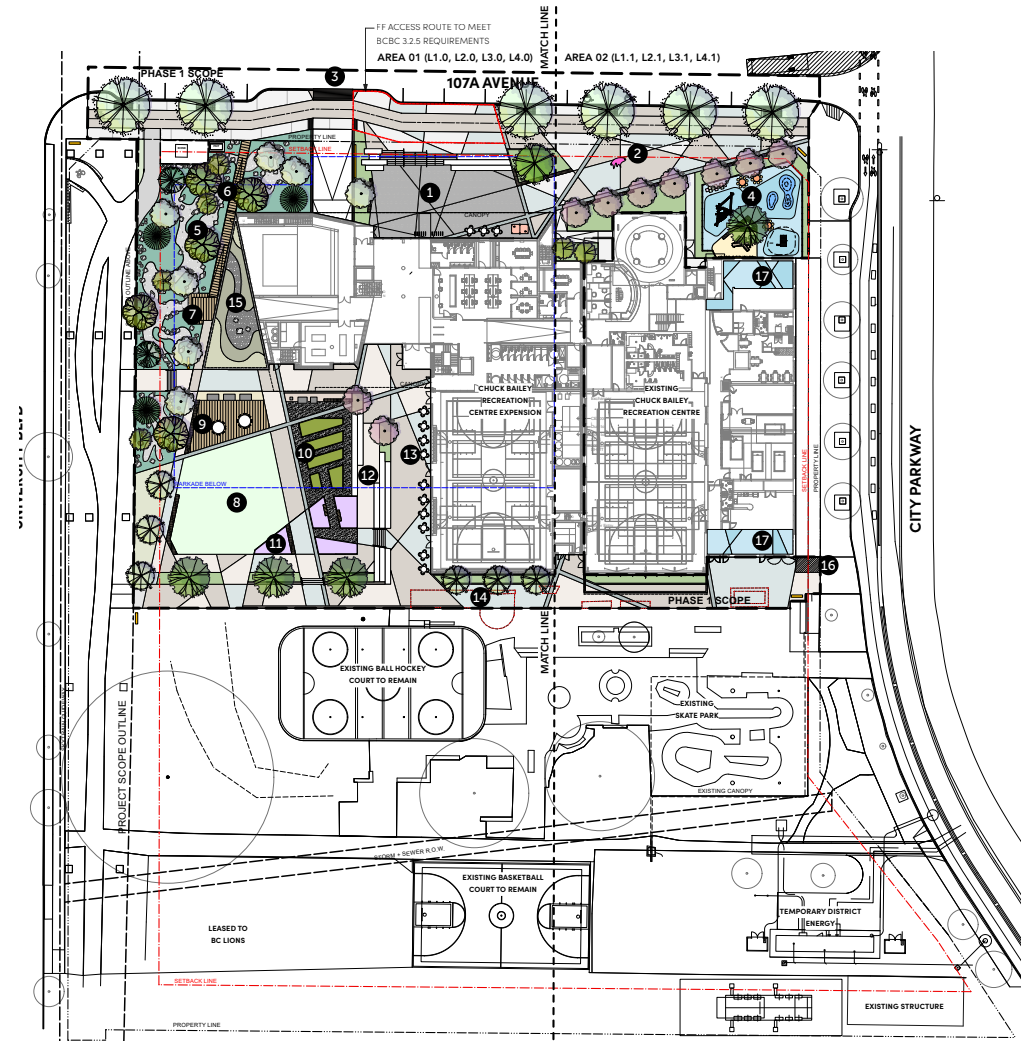
Landscape Design Rationale

The overall design intent for the ground level landscape is to create a series of welcoming and activated public spaces that cater to a range of activities, programmes, ages and abilities. Similarly, CPTED principles have been considered to maximize safety, wayfinding, and visual porosity throughout the site. The landscape layout and geometry is inspired by the strong angular forms of the proposed new building, providing a framework onto which the various outdoor spaces have been integrated into a cohesive palette of forms and materials throughout.

More specifically, the new plaza at the main entry provides a large activated gathering space, flexible to host a range of activities while providing abundant seating, feature paving and signage. This concept extends eastward to the refurbished existing plaza, using the strong forms of the building to dictate paving patterns and embedded interpretive elements and public art. At the northeast corner of the existing building, a proposed new outdoor daycare space for 3-5 year old children anchors the corner, and is buffered by layered plantings and a security fence/screen. On the west side of the site, an interactive and “explorable” rain garden, with native shrubs, sculptural trees, river rock and boulder groupings, creates a more naturalized feature against the new building, and takes advantage of the site’s prevailing grades to function as a surface rainwater detention facility. As with elsewhere on the site, an accessible path of travel cuts through the rain garden to ensure access to all portions of the site for all abilities. At the south-facing inner courtyard, the “social heart” of the project’s outdoor spaces will be a hive of activity that responds to the building’s interior programming, while reflecting the desired outdoor programme elements expressed during the public engagement process: a central flex-lawn area for events, outdoor cooking facilities, community gardens and pollinator/sensory plots, and a variety of seating and gathering spaces to encourage social interaction. The southern edge of the project’s scope will carefully “stitch” the proposed new programme elements into the existing sports facilities and grades while ensuring a strong east-west community path that connects university boulevard to the city parkway.

KEY LEGEND

- | | |
|---|--|
| <ul style="list-style-type: none"> 1 NEW BUILDING ENTRY PLAZA WITH SEATING + STEPS + SIGNAGE + FEATURE PAVING + MOVABLE GAMES AND FURNITURE 2 REFURBISHED EXISTING PLAZA: BENCHES + PLANTING + CIP CONCRETE PAVING + PUBLIC ART 3 107A AVE IMPROVEMENTS: DROPOFF + BIKE LANE + PARKADE ENTRY + STREET TREES 4 PROPOSED NEW OUTDOOR DAYCARE SPACE (250m²) 5 FEATURE RAIN GARDEN / DRY RIVER BED TO HELP SCREEN PMT AND SKYTRAIN GUIDEWAY CAN SERVE AS A PLACE TO WALK AROUND 6 ADA COMPLIANT PEDESTRIAN PATH 7 ACCESS DECK OVERLOOKING RAIN GARDEN 8 FLEX TURF AREA 9 OUTDOOR KITCHEN WITH COOKING SLABS | <ul style="list-style-type: none"> 10 RAISED GARDEN BEDS + MIXING TABLES 11 POLLINATOR/SENSORY GARDENS 12 ACCESSIBLE PATH + STAIRS + SEAT STEPS 13 BUILDING INTERFACE: MULTI-COLOURED CONCRETE PAVING WITH MOVABLE FURNISHINGS 14 REFURBISHED EAST-WEST PEDESTRIAN CORRIDOR WITH PLANTERS AND REMOVAL OF CONFLICTING SKATE FEATURES 15 LEVEL 2 SEDUM GREEN ROOF WITH LANDSCAPE BOULDERS 16 GARBAGE ENCLOSURE 17 LEVEL 2 DAY CARE OUTDOOR PLAY AREA |
|---|--|



OVERALL LANDSCAPE PLAN - GROUND LEVEL
Scale: 1:350

Entry Plaza Precedent Images



Entry Plaza 3D Perspectives



Social Heart 3D Perspectives

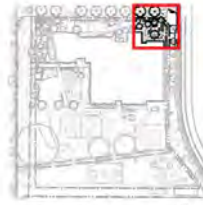


Outdoor Daycare Concept Plan + Precedent Images



KEY LEGEND

- 1 ACTIVE/RISK PLAY
- 2 ROLE PLAY + HUT
- 3 NATURALIZED PLAY
- 4 OUTDOOR CLASSROOM
- 5 PERIMETER FENCE + BUFFER PLANTING



KEY PLAN



Rain Garden Concept Plan + Precedent



KEY LEGEND

- 1 ACCESSIBLE RAMP + GUARDRAIL
- 2 VIEWING DECK/RAIN GARDEN ACCESS
- 3 NATURALIZED RAIN GARDEN: SCULPTURAL TREES, NATIVE SHRUBS AND GROUNDCOVERS, RIVER ROCK, BOULDER GROUPINGS
- 4 GREEN ROOF ABOVE ON LEVEL 2



KEY PLAN



Rain Garden 3D Perspective



Architecture Inc.



Interior view of the proposed Fitness Centre, looking south

GENERAL NOTES

- FOR **SITE SURVEY** INFORMATION REFER TO SURVEY PLAN OF PARCEL 1 SECTION 22 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT PLAN BCP38410 EXCEPT PART ON PLAN SCRP0423 BY MATSON PECK & TOPUSS SURVEYORS & ENGINEERS

CONTEXT LEGEND

- PROPERTY LINE
- - - SETBACK LINE
- - - SRW LINE
- [] EXPANSION
- [] EXISTING BUILDINGS

STAMP

NOTES

NO	DESCRIPTION

REVISIONS

NO	DESCRIPTION	DATE
4	Issued for Development Permit	220821
6	Issued for ADP (Sept. 8) Checklist V.1	220815
7	Submission to ADP (Sept. 8) 22-0205	220825

CHUCK BAILEY RECREATION CENTRE EXPANSION

13458 107a Ave, Surrey, BC V3T 0G4

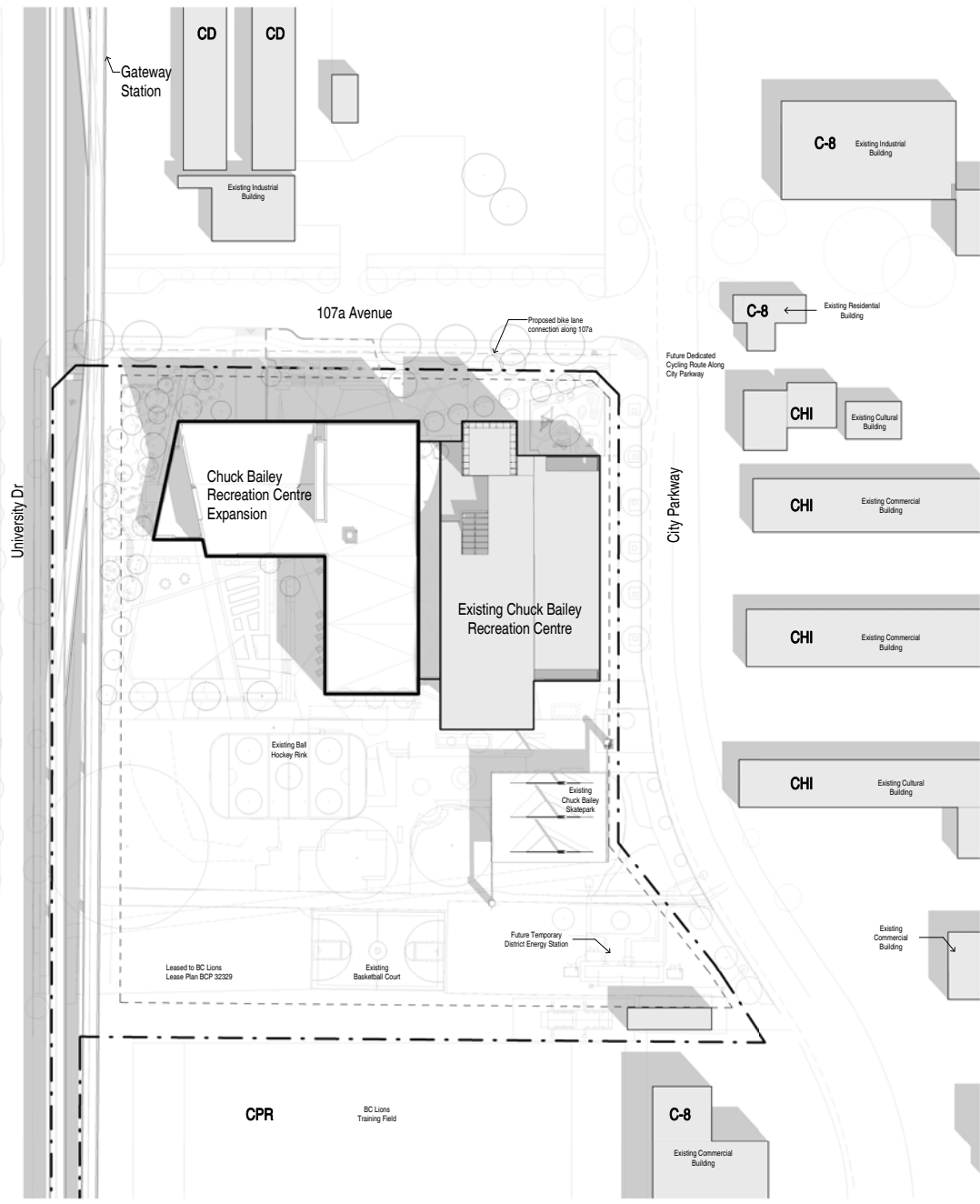
Submission to ADP (Sept. 8) 22-0205

CONTEXT PLAN

DATE	31 August 2022
DRAWN BY	AG/WC
CHECKED BY	LK/AS
SCALE	As indicated
JOB NUMBER	2106



A010



PARCEL 1 SECTION 22
 BLOCK 5 NORTH RANGE 2 WEST
 NEW WESTMINSTER DISTRICT PLAN BCP38410
 EXCEPT PART ON PLAN BCP0423

CIVIC ADDRESS
 #13458 - 107A AVENUE
 SURREY, BC

STAMP

NOTES

NO	DESCRIPTION
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REVISIONS

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6	Issued for ADP (Sept. 8) Checklist V.1	220815
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CHUCK BAILEY RECREATION CENTRE EXPANSION

13458 107a Ave, Surrey, BC V3T 0G4

Submission to ADP (Sept. 8) 22-0205

SITE PHOTOS

DATE	31 August 2022
DRAWN BY	AG/WC
CHECKED BY	LK/AS
SCALE	
JOB NUMBER	2106



View from University Drive looking East under the skytrain at the Existing Chuck Bailey Recreation Center



View from 107a Ave looking South East at the Existing Chuck Bailey Recreation Center main entrance



View of the East Corner at 107a Ave and City Parkway. The Existing Chuck Bailey Recreation Center is on the right and the neighbouring context beyond



View looking South along City Parkway with the Existing Chuck Bailey Recreation Center on the right



View from the Ball Hockey Court looking East at the Existing Chuck Bailey Recreation center on the left and the skatepark on the right



View looking North East at the skatepark, covered skate park canopy and the Existing Chuck Bailey Recreation Centre

STAMP

NOTES

NO	DESCRIPTION

REVISIONS

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CHUCK BAILEY RECREATION CENTRE EXPANSION

13458 107a Ave, Surrey, BC V3T 0G4

Submission to ADP (Sept. 8) 22-0205

SITE PLAN

DATE	31 August 2022
DRAWN BY	AG/WC
CHECKED BY	LK/AS
SCALE	As indicated
JOB NUMBER	2106

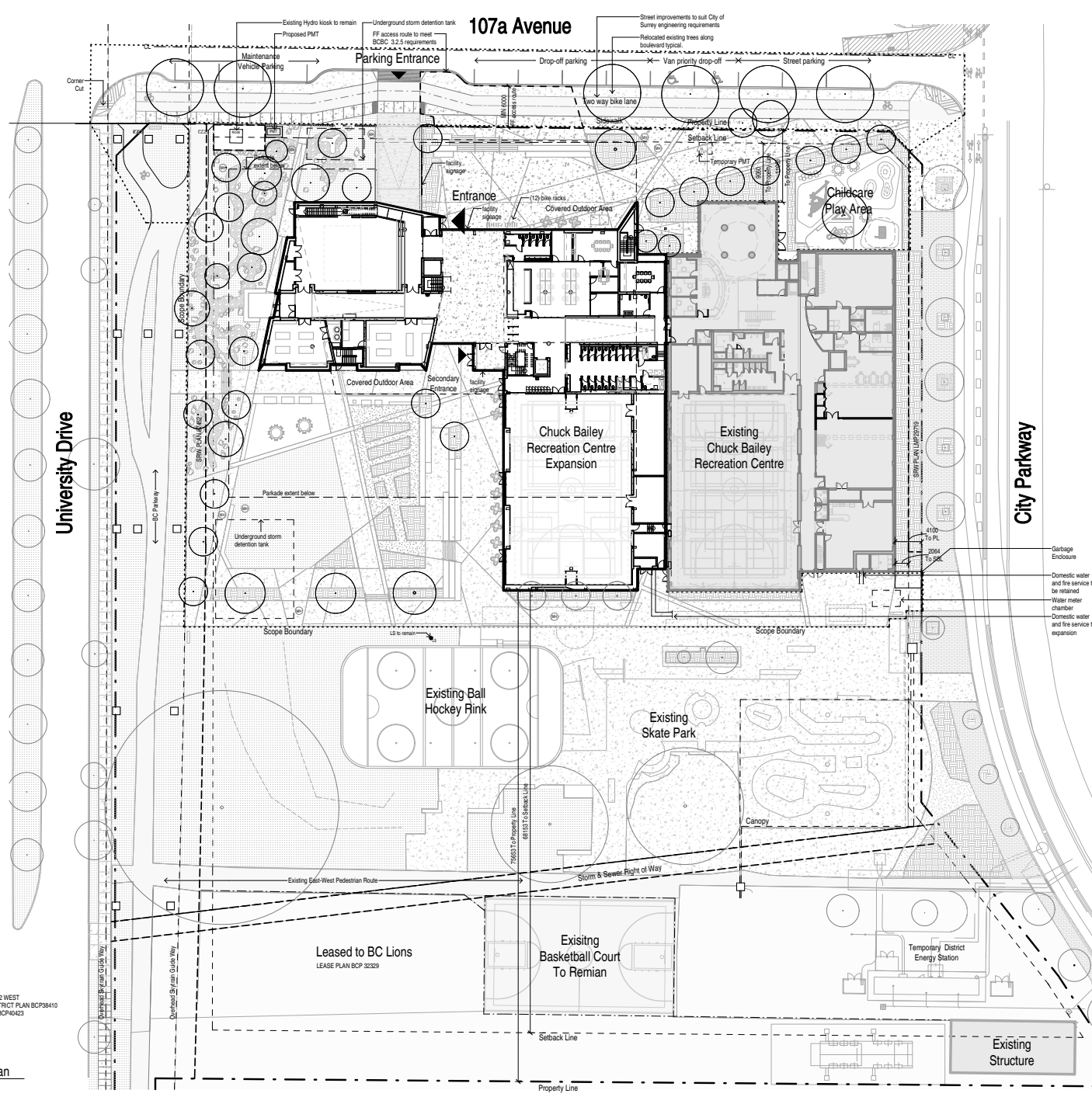
A013

GENERAL NOTES

- FOR BITE SURVEY INFORMATION REFER TO SURVEY PLAN OF PARCEL 1 SECTION 22 BLOCK 5 NORTH RANGE 3 WEST NEW WESTMINSTER DISTRICT PLAN BCP38410 EXCEPT PART ON PLAN SOPS483 BY MATSON PECK & TOPLESS SURVEYORS & ENGINEERS

SITE LEGEND

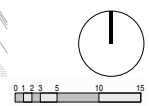
- PROPOSED BUILDING
- EXISTING BUILDING
- PROPERTY LINE
- SETBACK LINE
- SRW LINE
- SCOPE BOUNDARY LINE
- FF ACCESS ROUTE
- OVERHEAD LINE
- SUB-GRADE SERVICES
- AT GRADE SERVICES
- LANDSCAPE LINES BUILDING ENTRANCE
- ACCESSIBLE STALL
- CYCLING ROUTE
- NEW TREES
- EXISTING TREES
- SOD
- ASPHALT
- PAVEMENT
- GRAVEL
- PLANTER
- BRICK



PARCEL 1 SECTION 22
 BLOCK 5 NORTH RANGE 3 WEST
 NEW WESTMINSTER DISTRICT PLAN BCP38410
 EXCEPT PART ON PLAN BCP40423

CIVIC ADDRESS
 #13458- 107A AVENUE
 SURREY, BC

1 Site Plan
 1:300



STAMP

NOTES

NO DESCRIPTION

REVISIONS

NO	DESCRIPTION	DATE
4	Issued for Development Permit	220821
6	Issued for ADP (Sept. 8) Checklist V.1	220815
7	Submission to ADP (Sept. 8) 22-0205	220825
8	Submission to ADP (Sept. 8) 22-0205	220831

CHUCK BAILEY RECREATION CENTRE EXPANSION

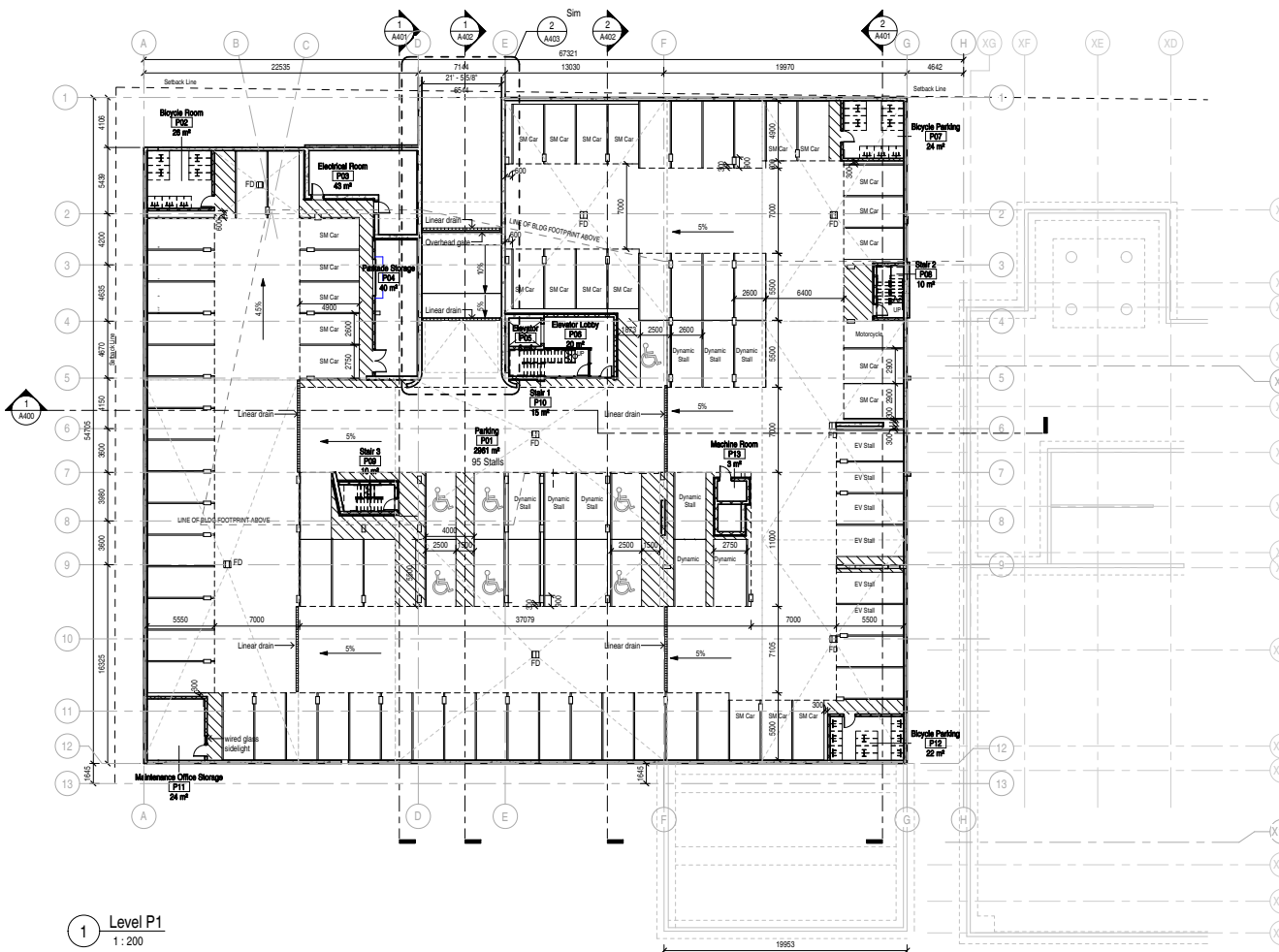
13458 107a Ave. Surrey, BC V3T 0G4

Submission to ADP (Sept. 8) 22-0205

LEVEL P PLAN

DATE 31 August 2022
 DRAWN BY AG/WC
 CHECKED BY LK/AS
 SCALE 1:200
 JOB NUMBER 2106

A200



1 Level P1
 1:200

NOTES

NO	DESCRIPTION
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REVISIONS

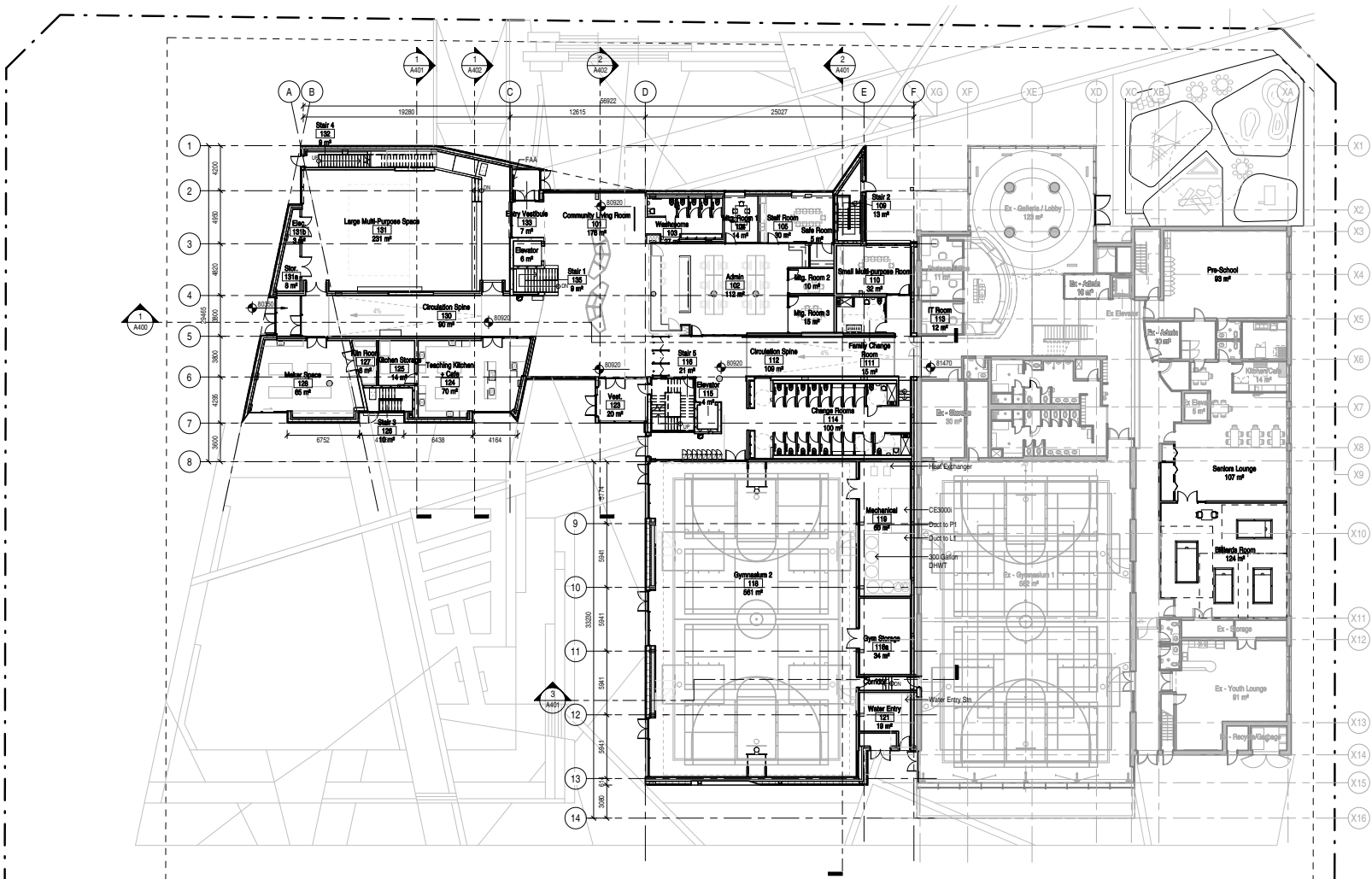
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4	Issued for Development Permit	220821
6	Issued for ADP (Sept. 8) Checkat V.1	220815
7	Submission to ADP (Sept. 8) 22-0205	220825

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Submission to ADP (Sept. 8) 22-0205

LEVEL 1 PLAN

DATE	31 August 2022
DRAWN BY	AG/WC
CHECKED BY	LK/AS
SCALE	1 : 200
JOB NUMBER	2106



1 Level 1 Existing
1 : 200

STAMP

NOTES
 NO DESCRIPTION

REVISIONS

NO	DESCRIPTION	DATE
4	Issued for Development Permit	220821
6	Issued for ADP (Sept. 8) Checklist V.1	220815
7	Submission to ADP (Sept. 8) 22-0205	220823

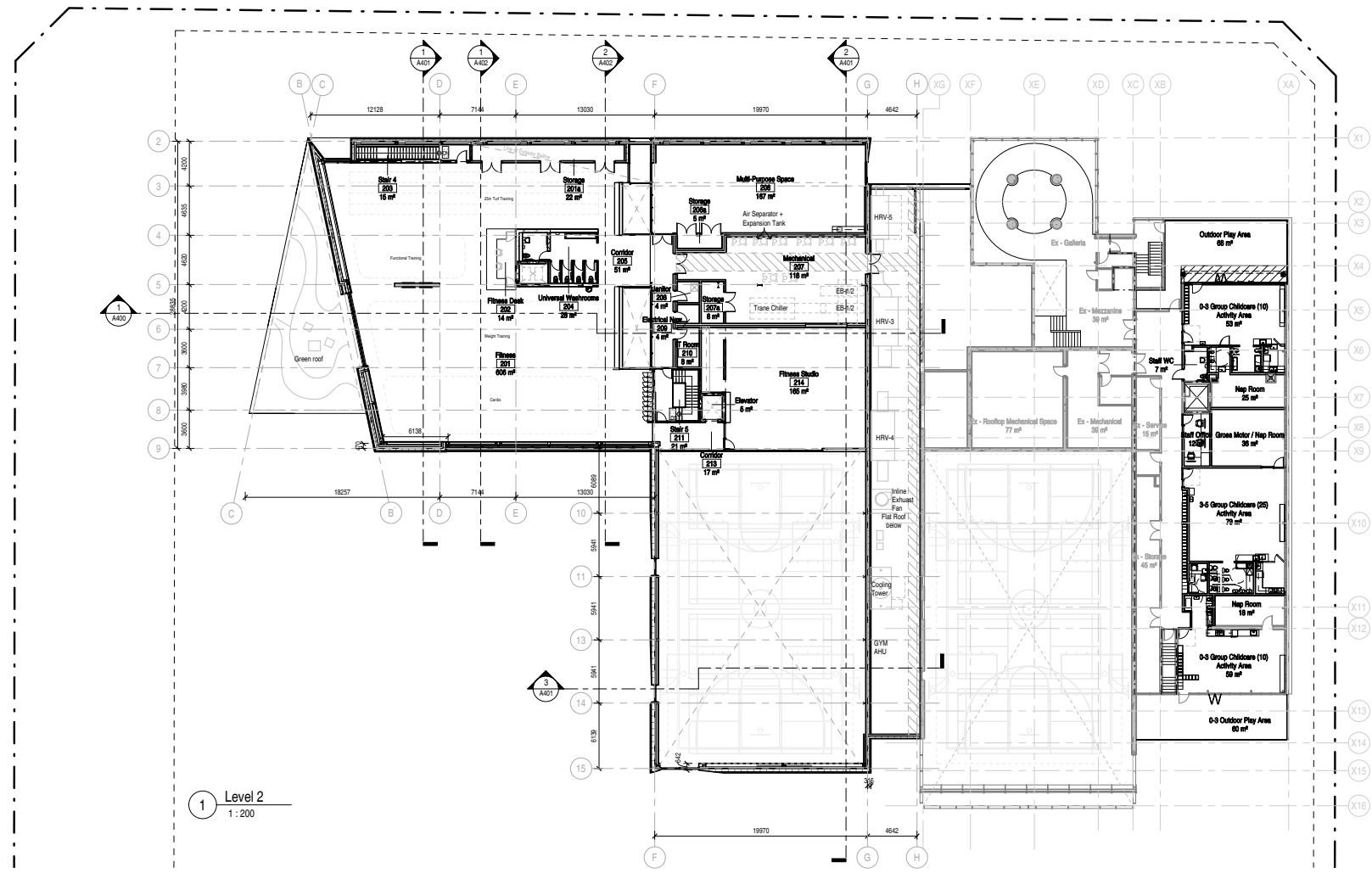
**CHUCK BAILEY
 RECREATION CENTRE
 EXPANSION**

13458 107a Ave, Surrey, BC V3T 0G4

Submission to ADP (Sept. 8) 22-0205

LEVEL 2 PLAN

DATE	31 August 2022
DRAWN BY	AG/WC
CHECKED BY	LK/AS
SCALE	1:200
JOB NUMBER	2106



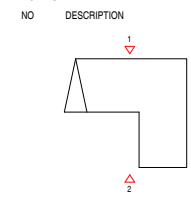
1 Level 2
 1:200



A202

STAMP

NOTES



REVISIONS

NO	DESCRIPTION	DATE
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6	Issued for ADP (Sept. 8) Checklist V.1	220815
7	Submission to ADP (Sept. 8) 22-0205	220825

CHUCK BAILEY RECREATION CENTRE EXPANSION

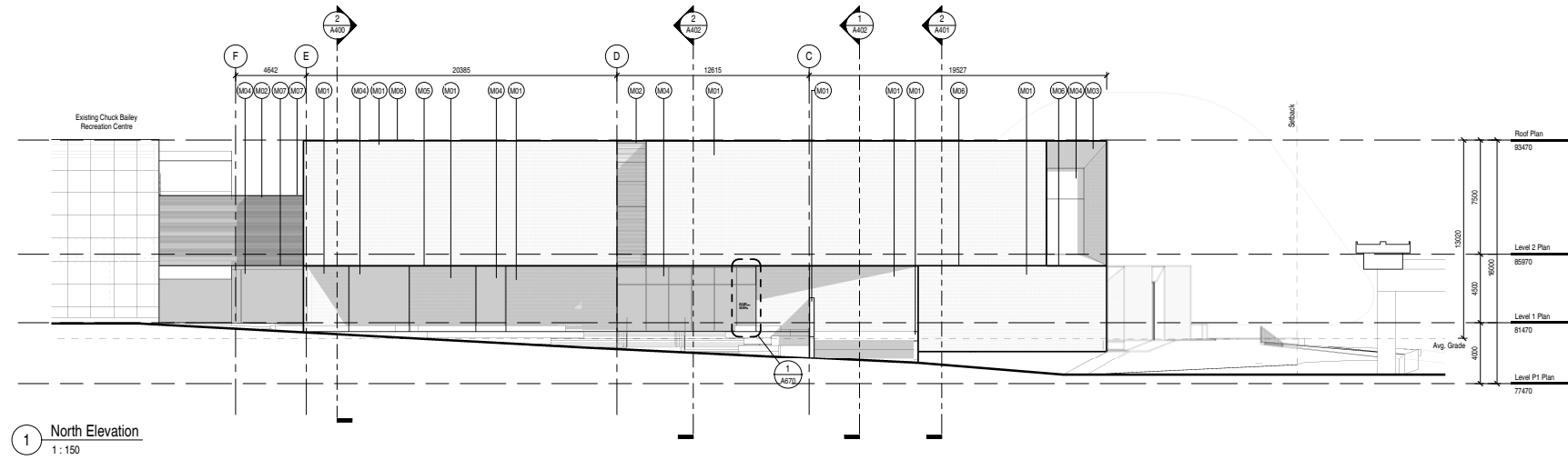
13458 107a Ave, Surrey, BC V3T 0G4

Submission to ADP (Sept. 8) 22-0205

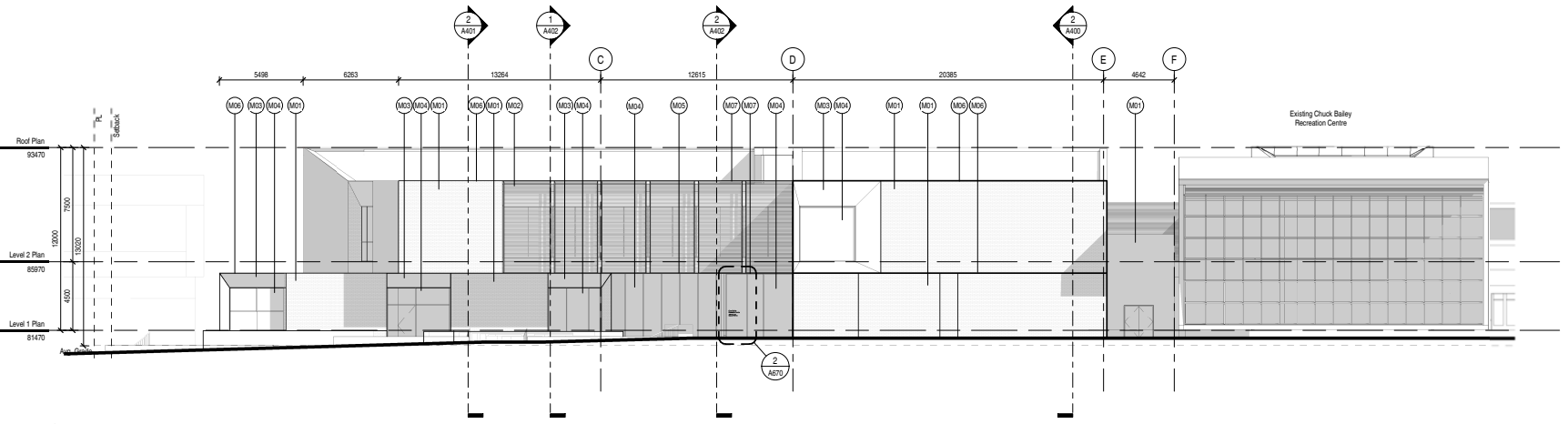
BUILDING ELEVATIONS

DATE 31 August 2022
 DRAWN BY AG/WC
 CHECKED BY LK/AS
 SCALE 1 : 150

JOB NUMBER 2106



1 North Elevation
 1 : 150



2 South Elevation
 1 : 150

- Exterior Elevation Legend
- (M1) WHITE BRICK
 - (M2) WHITE PERFORATED ALUMINUM SCREEN
 - (M3) WHITE GLASSFIBRE REINFORCED CONCRETE PANELS
 - (M4) SSG GLAZING WITH BRONZE ALUMINUM FRAMES
 - (M5) WOOD SLAT SOFFIT
 - (M6) WHITE METAL FLASHING
 - (M7) WHITE PAINTED STEEL

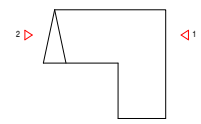


A300

STAMP

NOTES

NO DESCRIPTION



REVISIONS

NO	DESCRIPTION	DATE
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6	Issued for ADP (Sept. 8) Checklist V.1	220815
7	Submission to ADP (Sept. 8) 22-0205	220825

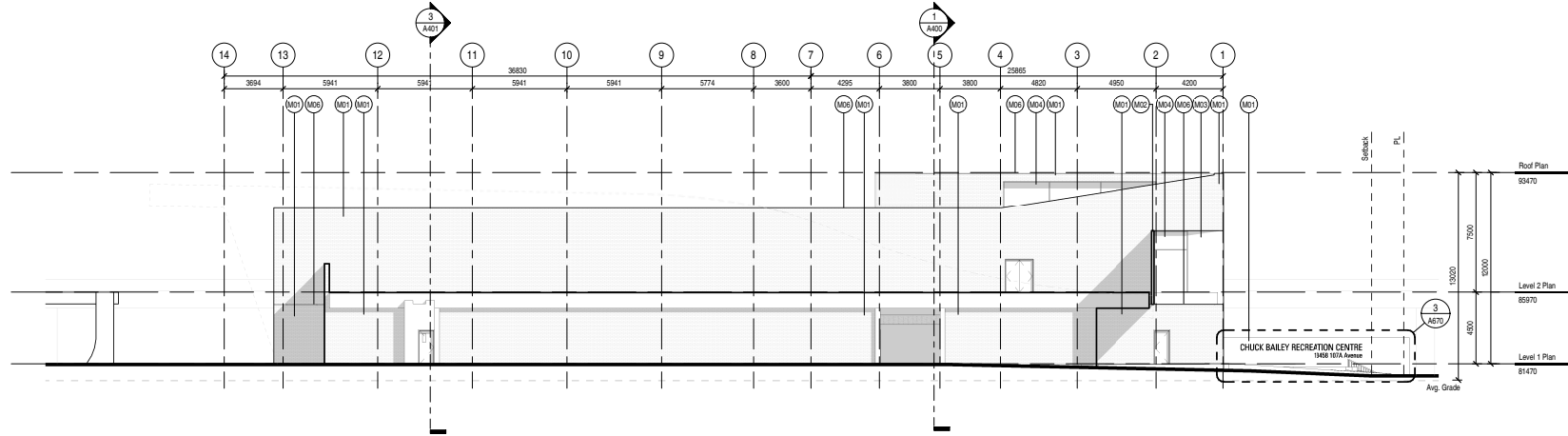
CHUCK BAILEY RECREATION CENTRE EXPANSION

13458 107a Ave, Surrey, BC V3T 0G4

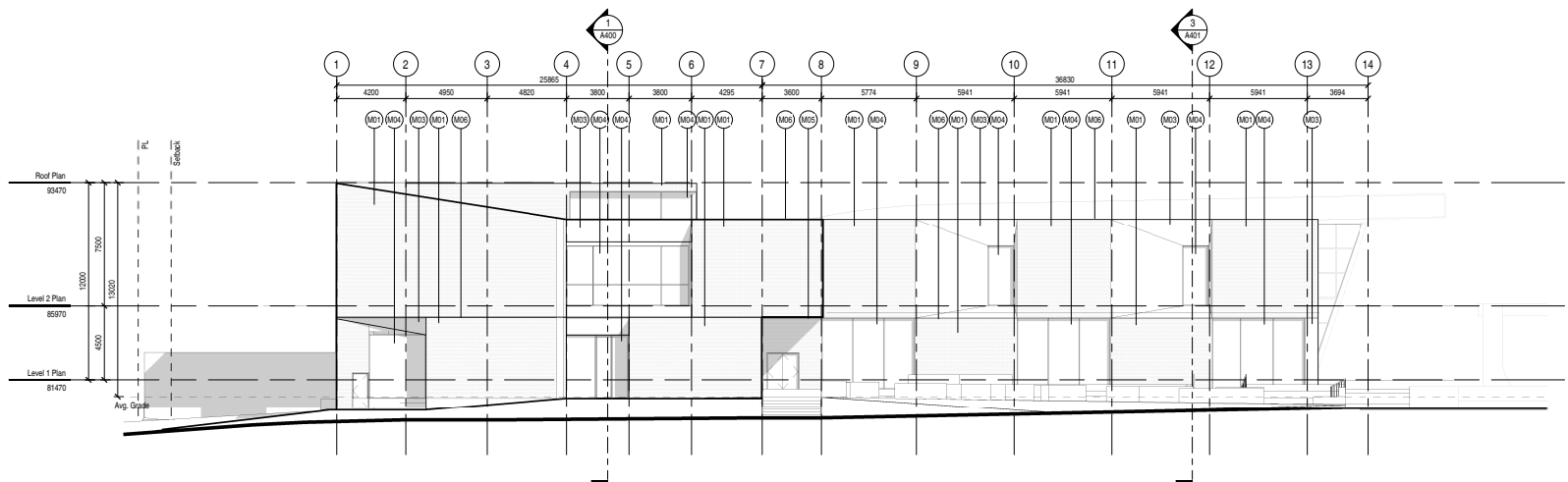
Submission to ADP (Sept. 8) 22-0205

BUILDING ELEVATIONS

DATE 31 August 2022
 DRAWN BY AG/WC
 CHECKED BY LK/AS
 SCALE 1 : 150
 JOB NUMBER 2106



1 East Elevation
 1 : 150



2 West Elevation
 1 : 150

Exterior Elevation Legend

- M1 WHITE BRICK
- M2 WHITE PERFORATED ALUMINUM SCREEN
- M3 WHITE GLASSFIBRE REINFORCED CONCRETE PANELS
- M4 SSG GLAZING WITH BRONZE ALUMINUM FRAMES
- M5 WOOD SLAT SOFFIT
- M6 WHITE METAL FLASHING
- M7 WHITE PAINTED STEEL

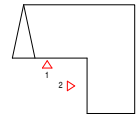


A301

STAMP

NOTES

NO DESCRIPTION



REVISIONS

NO	DESCRIPTION	DATE
4	Issued for Development Permit	220821
6	Issued for ADP (Sept. 8) Checklist V.1	220815
7	Submission to ADP (Sept. 8) 22-0205	220825

CHUCK BAILEY RECREATION CENTRE EXPANSION

13458 107a Ave, Surrey, BC V3T 0G4

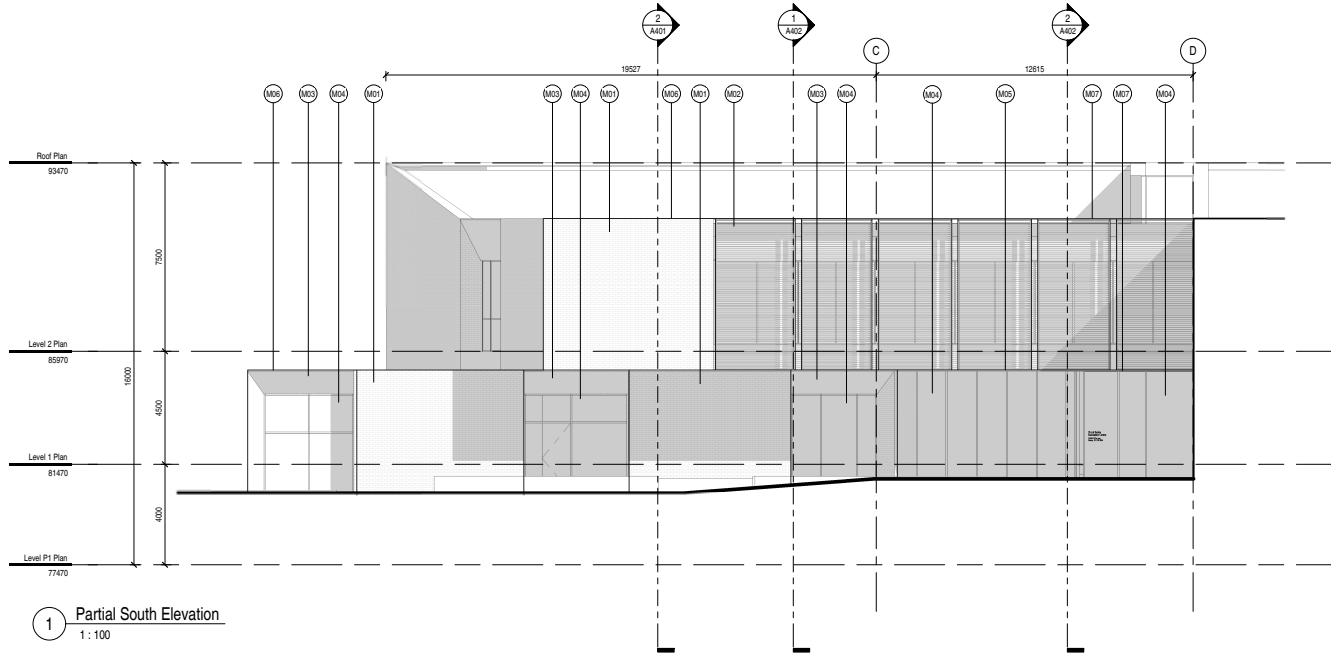
Submission to ADP (Sept. 8) 22-0205

BUILDING ELEVATIONS

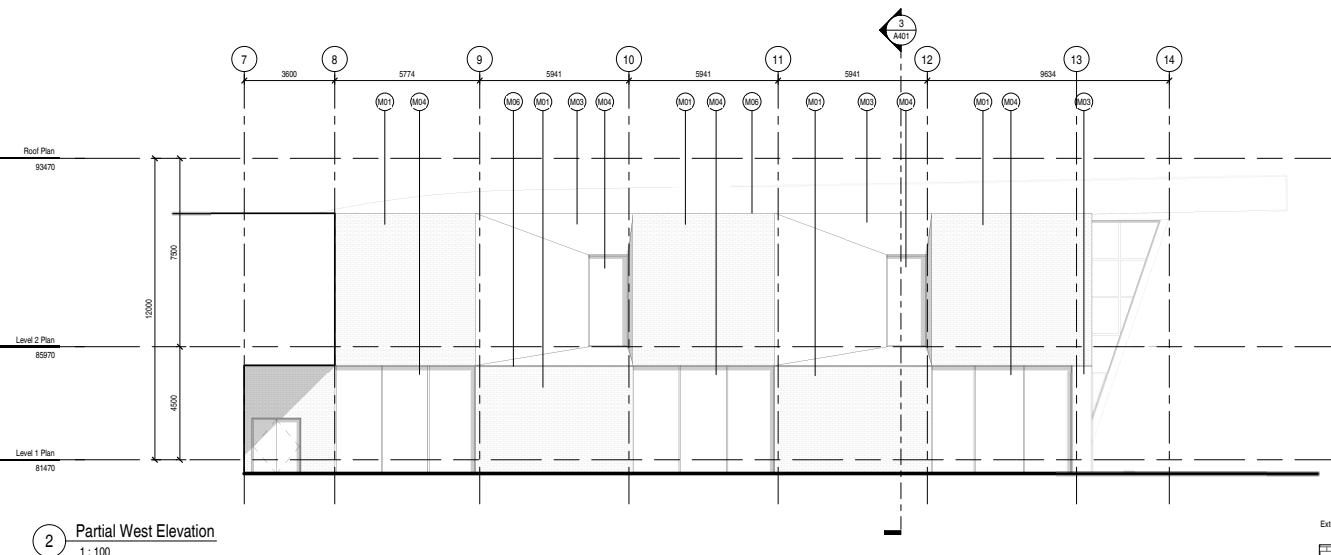
DATE 31 August 2022
 DRAWN BY AG/WC
 CHECKED BY LK/AS
 SCALE As indicated

JOB NUMBER 2106

A302



1 Partial South Elevation
1:100



2 Partial West Elevation
1:100

Exterior Elevation Legend

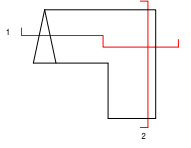
- M31 WHITE BRICK
- M32 WHITE PERFORATED ALUMINUM SCREEN
- M33 WHITE GLASSFIBRE REINFORCED CONCRETE PANELS
- M34 SSG GLAZING WITH BRONZE ALUMINUM FRAMES
- M35 WOOD SLAT SOFFIT
- M36 WHITE METAL FLASHING
- M37 WHITE PAINTED STEEL



STAMP

NOTES

NO DESCRIPTION



REVISIONS

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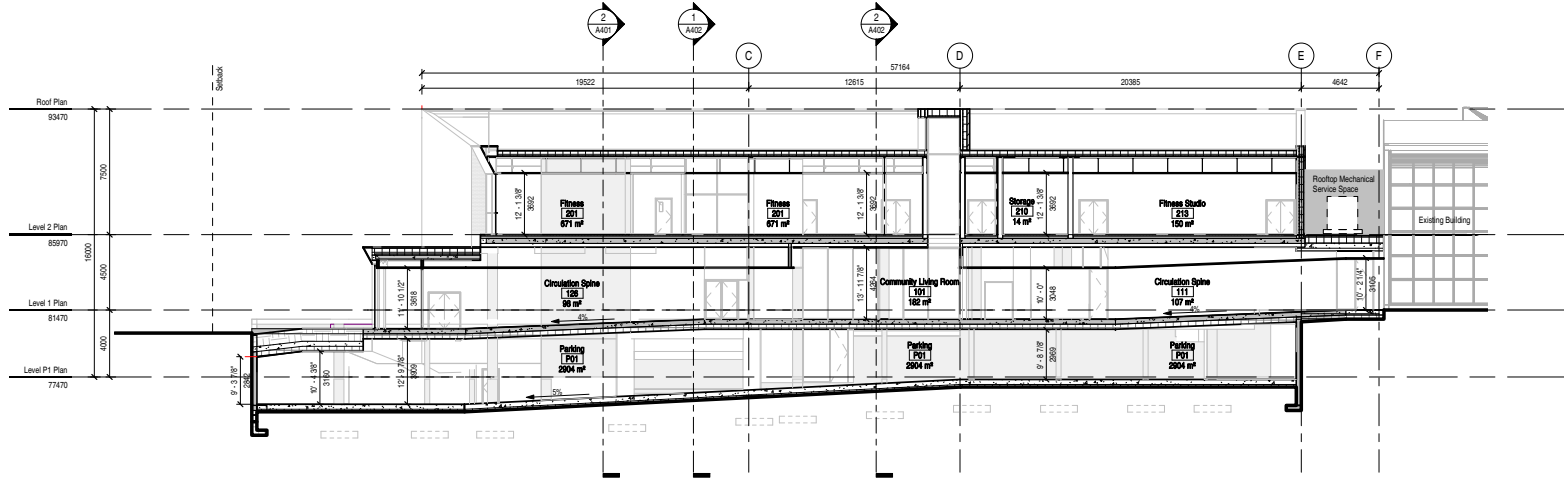
**CHUCK BAILEY
 RECREATION CENTRE
 EXPANSION**

13458 107a Ave, Surrey, BC V3T 0G4

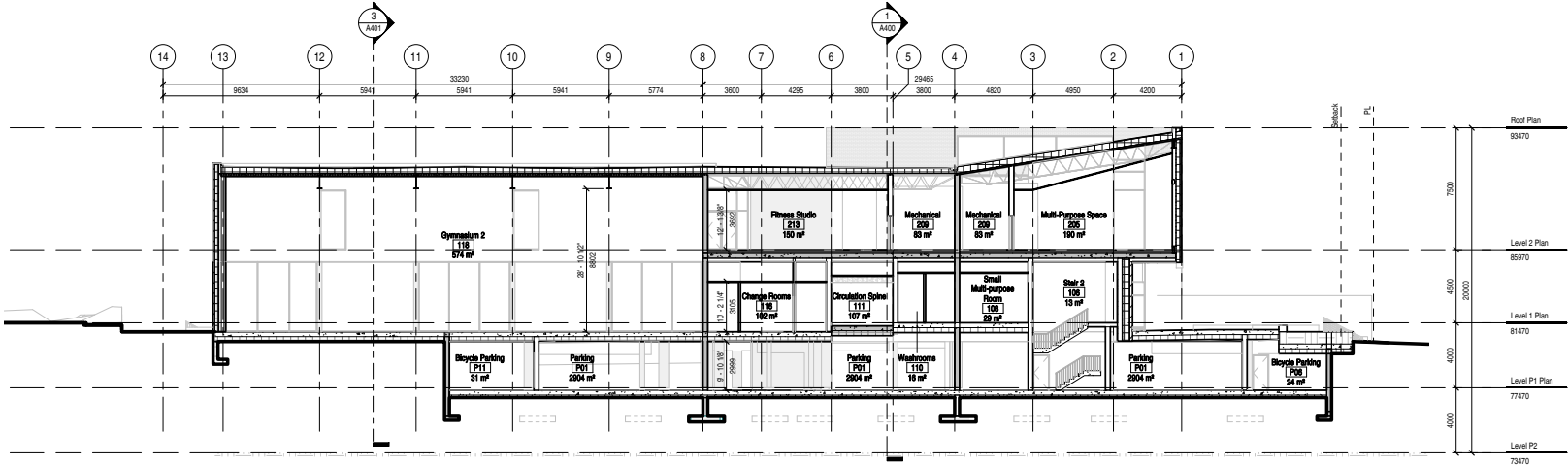
Submission to ADP (Sept. 8) 22-0205

BUILDING SECTIONS

DATE	31 August 2022
DRAWN BY	AG/WC
CHECKED BY	LK/AS
SCALE	1:150
JOB NUMBER	2106



1 Building Section Through Corridor
 1:150



2 Building Section Through Gymnasium + Multipurpose
 1:150

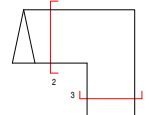


A400

STAMP

NOTES

NO DESCRIPTION



REVISIONS

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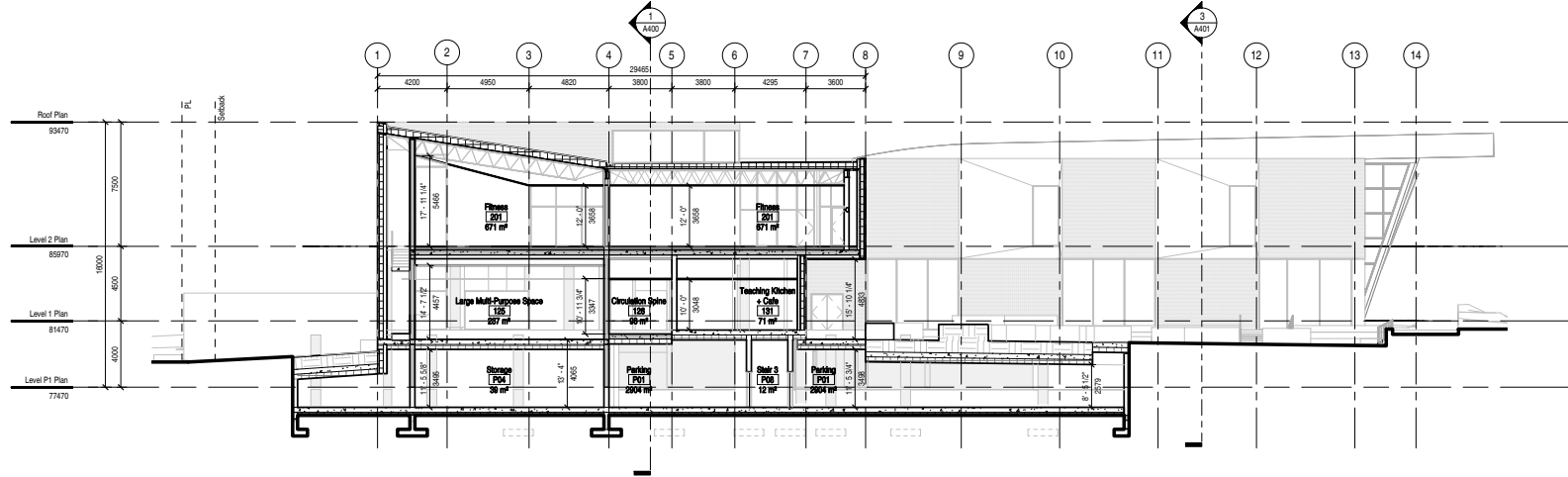
CHUCK BAILEY RECREATION CENTRE EXPANSION

13458 107a Ave, Surrey, BC V3T 0G4

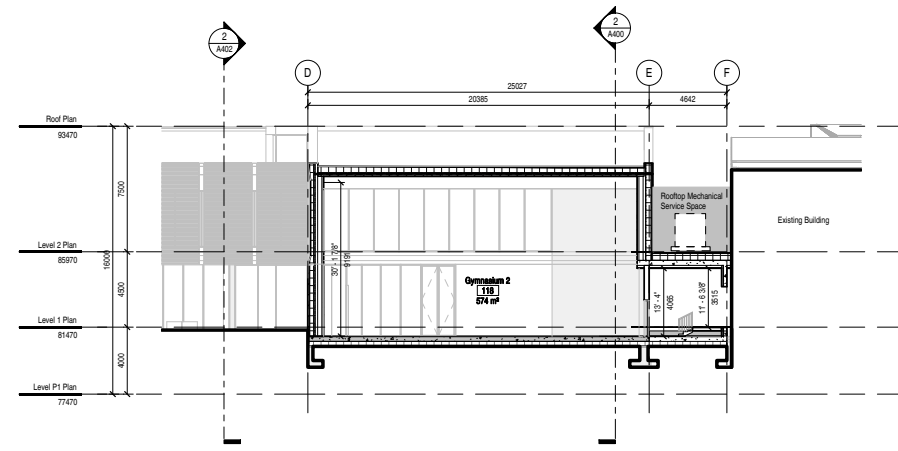
Submission to ADP (Sept. 8) 22-0205

BUILDING SECTIONS

DATE	31 August 2022
DRAWN BY	AG/WC
CHECKED BY	LK/VAS
SCALE	1:150
JOB NUMBER	2106



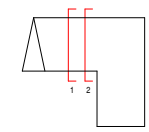
2 Building Section Through Fitness + Multipurpose + Teaching Kitchen
 1:150



3 Building Section Through the Gymnasium
 1:150



A401



REVISIONS

NO	DESCRIPTION	DATE
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CHUCK BAILEY RECREATION CENTRE EXPANSION

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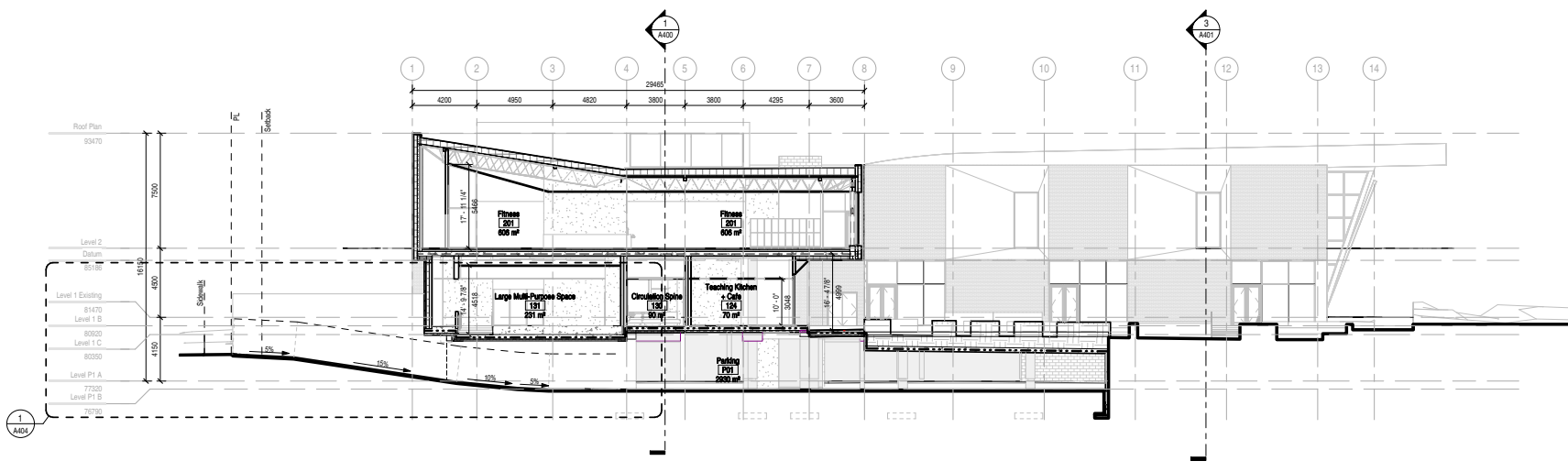
Submission to ADP (Sept. 8) 22-0205

BUILDING SECTIONS

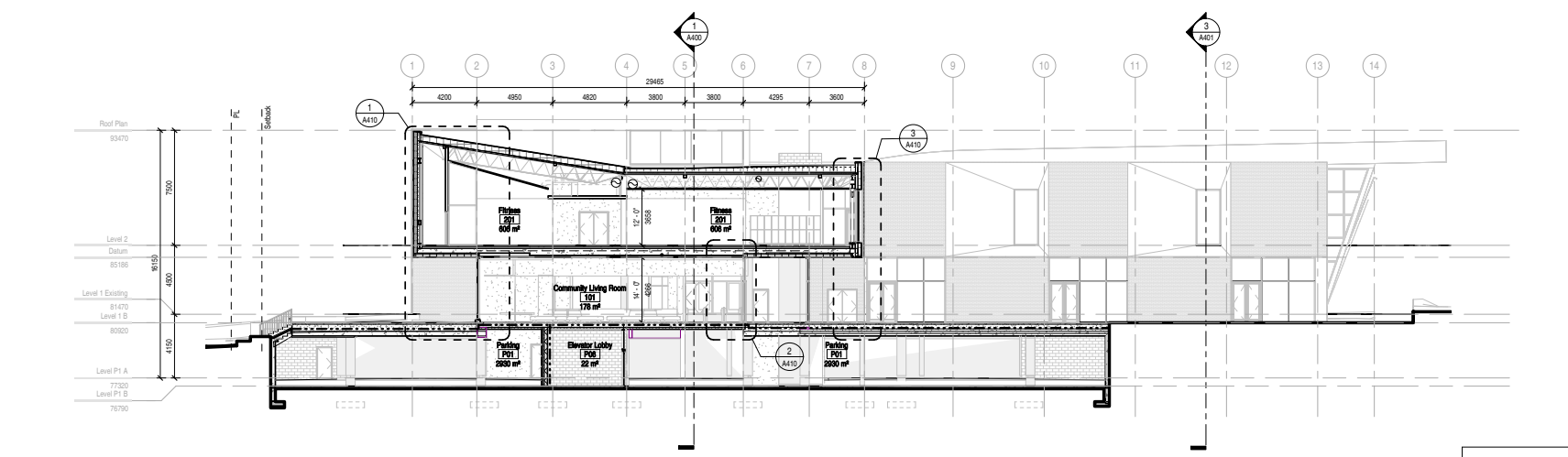
DATE	31 August 2022
DRAWN BY	AG/WC
CHECKED BY	LK/AS
SCALE	As indicated
JOB NUMBER	2106

FIRE RESISTANCE RATINGS

---	0.75 HOUR FRR
- - - -	1 HOUR FRR
— — — —	1.5 HOUR FRR
————	2 HOUR FRR



1 Building Section Through Multi-purpose Space + Parkade Ramp
 1:150 Ref: 1/A200



2 Building Section Through Fitness + Community Living Room
 1:150 Ref: 1/A200



A402

STAMP

NOTES

NO	DESCRIPTION

REVISIONS

NO	DESCRIPTION	DATE
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7	Submission to ADP (Sept. 8) 22-0205	220825

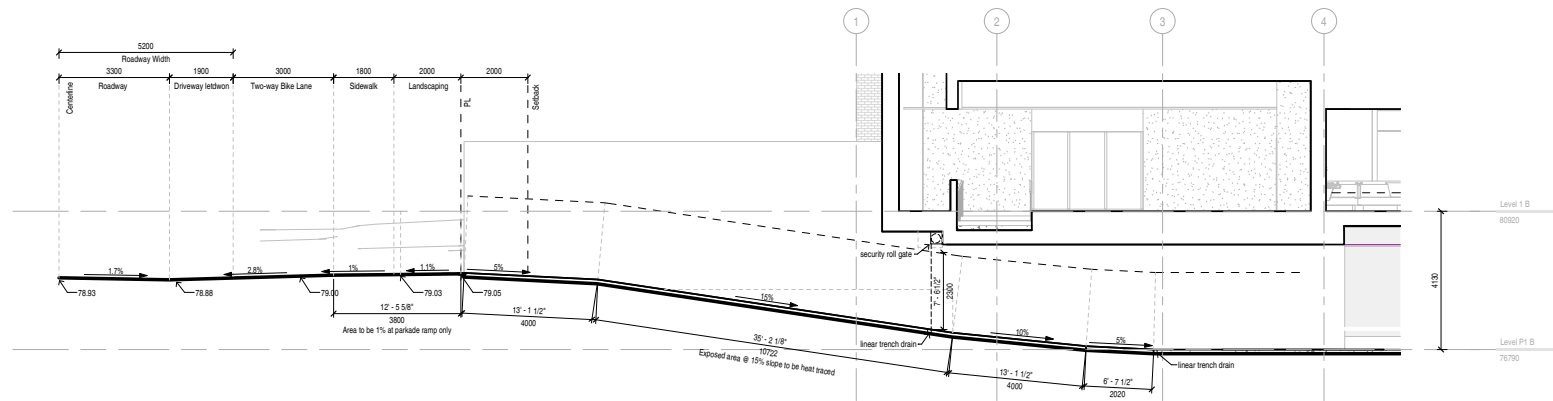
**CHUCK BAILEY
 RECREATION CENTRE
 EXPANSION**

13458 107a Ave, Surrey, BC V3T 0G4

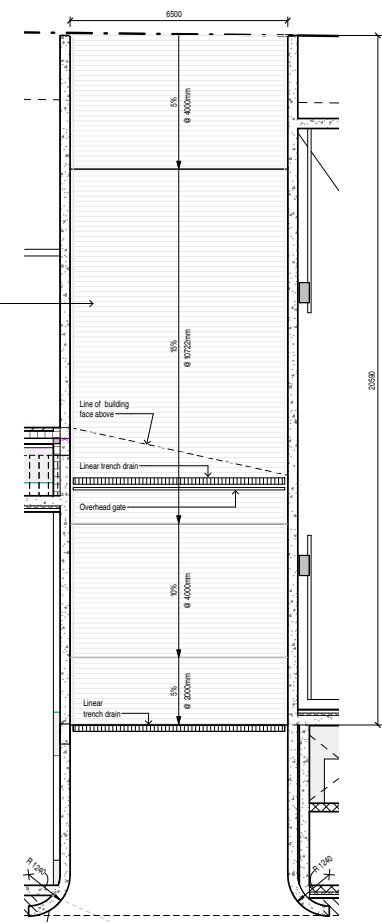
Submission to ADP (Sept. 8) 22-0205

**PARKADE RAMP PLAN +
 SECTION**

DATE	31 August 2022
DRAWN BY	AG/WC
CHECKED BY	LK/AS
SCALE	1 : 75
JOB NUMBER	2106



1 Enlarged Building Section @ Parkade Ramp
 1 : 75



2 Level P1 - Enlarged Parking Ramp Plan
 1 : 75



A404

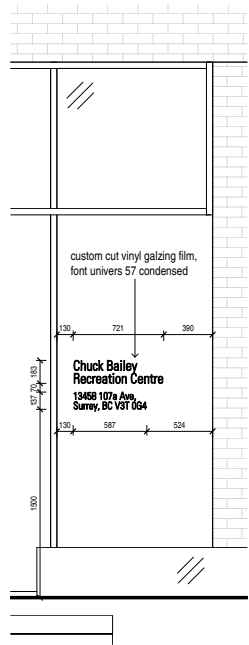
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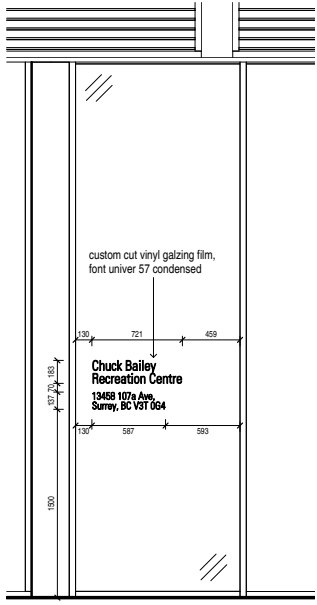
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REVISIONS

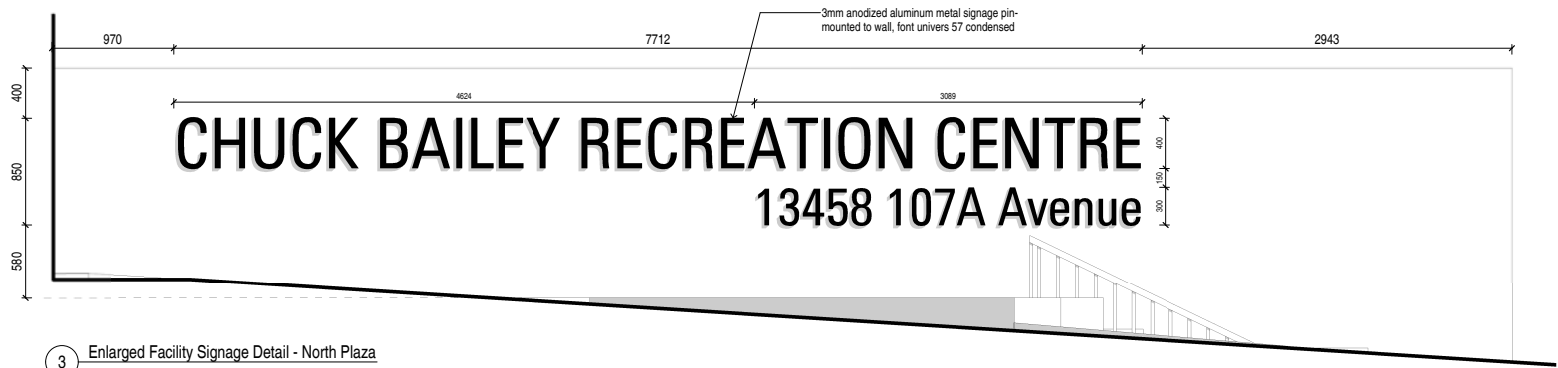
NO	DESCRIPTION	DATE
4	Issued for Development Permit	220821
6	Issued for ADP (Sept. 8) Checklist V.1	220815
7	Submission to ADP (Sept. 8) 22-0205	220823



1 Enlarged Facility Signage Detail - North Entrance
1:20



2 Enlarged Facility Signage Detail - South Entrance
1:20



3 Enlarged Facility Signage Detail - North Plaza
1:20

CHUCK BAILEY RECREATION CENTRE EXPANSION

13458 107a Ave, Surrey, BC V3T 0G4

Submission to ADP (Sept. 8) 22-0205

SIGNAGE DETAILS

DATE	31 August 2022
DRAWN BY	AG/WC
CHECKED BY	LK/AS
SCALE	1:20
JOB NUMBER	2106

CHUCK BAILEY RECREATION CENTRE EXPANSION

Submission to ADP (Sept. 8) 22-0205

CITY OF SURREY // CLIENT

SHAPE ARCHITECTURE // ARCHITECT

Loretta Kong
l.kong@shapearchitecture.ca
778.735.1337

Alec Smith
a.smith@shapearchitecture.ca
778.735.1372

LOCI LANDSCAPE ARCHITECTURE + URBAN DESIGN // LANDSCAPE ARCHITECT

Mike Enns, BCCLA CSLA // Principal
mike@locidesign.ca
604.763.2886

David Stein // Project Coordinator
david@locidesign.ca
778.237.8484

Chloé Brown // Landscape Designer
chloe@locidesign.ca
519.288.1153

LANDSCAPE DRAWING INDEX PERMIT

Sheet No.	Sheet Name
L0.0	COVER SHEET
L0.1	TREE MANAGEMENT PLAN
L0.2	OVERALL LANDSCAPE SITE PLAN
L1.0	LANDSCAPE MATERIALS PLAN - AREA 01
L1.1	LANDSCAPE MATERIALS PLAN - AREA 02
L2.0	GRADING PLAN - AREA 01
L2.1	GRADING PLAN - AREA 02
L3.0	PLANTING PLAN - AREA 01
L3.1	PLANTING PLAN - AREA 02
L4.0	LIGHTING SCHEMATIC PLAN - AREA 01
L4.1	LIGHTING SCHEMATIC PLAN - AREA 02
L5.0	PLANT LIST + IMAGES
L6.0	GROUND LEVEL PRECEDENT IMAGES
L6.1	DAYCARE PRECEDENTS IMAGES
L7.0	OVERALL ROOF CONCEPT PLAN
L8.0	SECTIONS
L8.1	SECTIONS
L8.2	SECTIONS
L9.0	RENDERINGS
L9.1	RENDERINGS
L9.2	RENDERINGS
L10.0	DETAILS - GROUND LEVEL
L10.1	DETAILS - GROUND LEVEL
L10.2	DETAILS - GROUND LEVEL
L10.3	DETAILS - GROUND LEVEL
L10.4	DETAILS - GROUND LEVEL
L10.5	DETAILS - GROUND LEVEL
L10.6	DETAILS - GROUND LEVEL
L10.7	DETAILS - GROUND LEVEL

GENERAL NOTES

- ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION.
- ALL PLANTING AREAS TO RECEIVE AUTOMATIC DRIP IRRIGATION, WITH TIME CLOCK AND RAIN SENSOR
- ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS, DETAILS, SPECIFICATIONS, AND ANY OTHER CORRESPONDENCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
- IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.
- ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.
- THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE CONSULTANT TEAM. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.
- LAYOUT OF PAVING, WALLS, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER LANDSCAPE MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL DIMENSIONS AND ELEVATIONS ARE IN FEET UNLESS OTHERWISE NOTED. VERIFY ALL ELEVATIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT TEAM FOR REVIEW AND RESPONSE.
- ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
- PROTECT ALL EXISTING STRUCTURES
- ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.
- FINAL PLANT SPACING, QUANTITY AND TREE PLACEMENT HAS BEEN REVIEWED TO THE SATISFACTION OF GENERAL MANAGER OF ENGINEERING SERVICES.
- ALL WORKS ON CITY OF SURREY PROPERTY TO BE AS PER THE CITY OF SURREY STREET RESTORATION MANUAL.
- LOCI LANDSCAPE ARCHITECTURE + URBAN DESIGN DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES OR CONCEALED STRUCTURES AT THE PROJECT SITE.

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LANDSCAPE ARCHITECTURE + URBAN DESIGN
1738 KINGSWAY
VANCOUVER, BC CANADA
V6N 2S3
TEL: (604) 684-0053
WEB: www.locidesign.ca

SHAPE

Architecture Inc.

1462 WEST 7TH AVENUE
VANCOUVER, BC CANADA
V6H 1C1
TEL: (604) 687-4457
EMAIL: info@shapearchitecture.ca
WEB: www.shapearchitecture.ca

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NOTES

NO	DESCRIPTION
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CHUCK BAILEY RECREATION CENTRE EXPANSION

13458 107a Ave, Surrey, BC V3T 0G4

SUBMISSION TO ADP (SEPT. 8) 22-0205

COVER SHEET

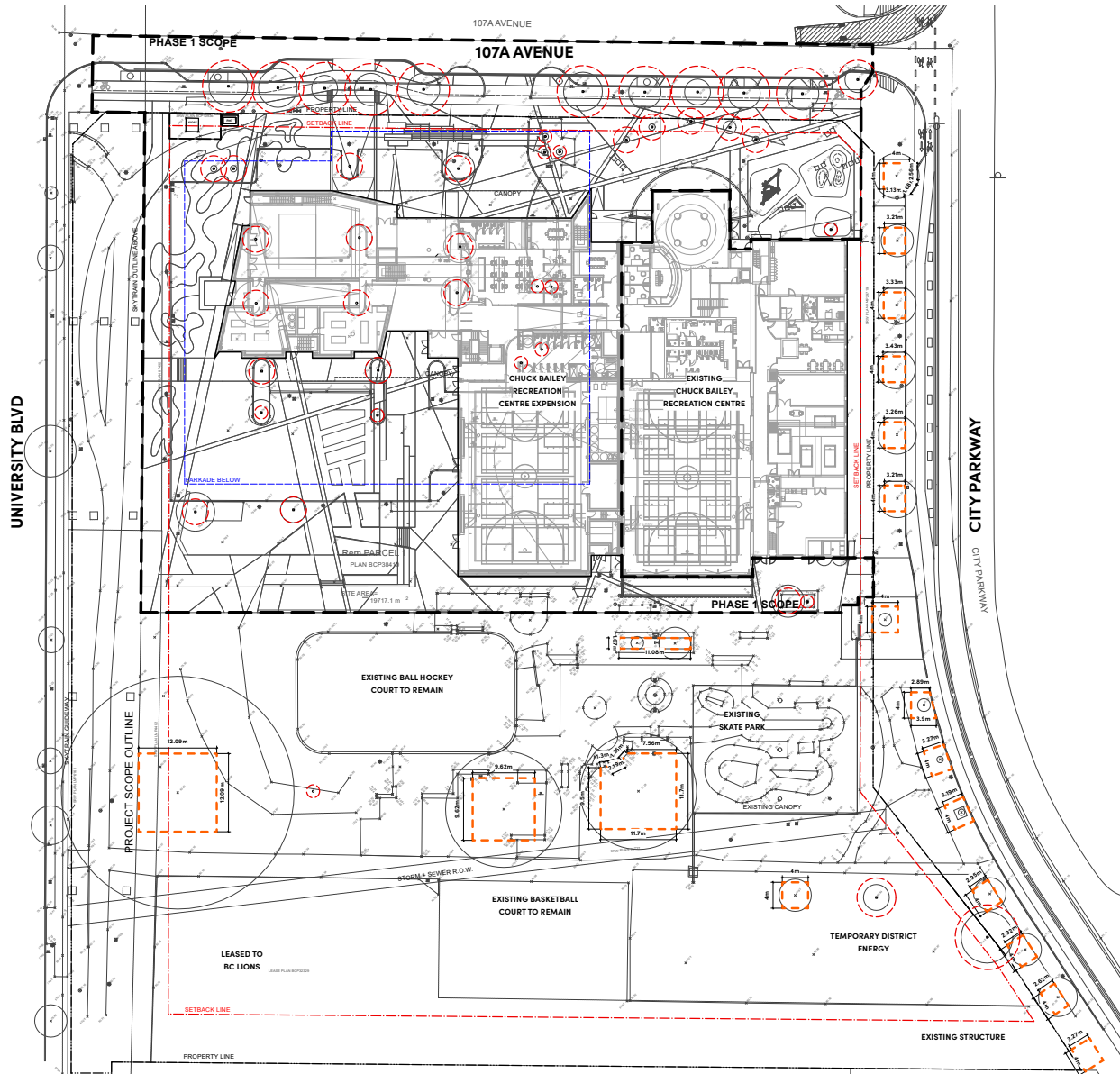
DATE	26 JULY 2022
DRAWN BY	DS/CB
CHECKED BY	ME
SCALE	
JOB NUMBER	21064

L0.0

GENERAL TREE PROTECTION FENCING TYP NOTES:

1. ALL COMPONENTS AND WORKMANSHIP TO CONFORM TO BC LNA STANDARDS TYPICAL.
2. POSITION TREE STAKES INTO DIRECTION OF PREVAILING WINDS IF MINIMUM UTILITY SETBACKS PERMIT.
3. ALL TREE STAKES TO HAVE A MINIMUM 1.0m CLEARANCE FROM ALL U/G POWER, TELEPHONE AND GAS ALIGNMENTS.
4. ALL ROOTBALL HOLES TO BE DUG BY HAND WHEN CLOSER TO 1.0M (40") TO U/G POWER, TELEPHONE AND GAS ALIGNMENTS. FOR TREES WITH DRIPLINES FROM FROM 3M - 5M (9' - 15') FROM CONSTRUCTION ACTIVITY.
5. PLACE STANDARD 'SAFETY ORANGE' SNOWFENCE MIN. OF 4.5M (14'8") FROM TREE TRUNK. EXACT SIZE/SHAPE TO BE DETERMINED ON SITE.
6. FOR EXCAVATION WITHIN 1-3M (3' - 9') OF ANY TREE'S DRIPLINE, ROOT PRUNING REQUIRED TO A DEPTH OF 500MM (20"). IMMEDIATELY AFTER EXCAVATION, PRUNE ALL EXPOSED ROOTS FLUSH WITH THE EXCAVATION WALL.
7. A MAXIMUM OF 25% OF ANY TREE'S ROOTS AT THE DRIPLINE SHOULD BE IMPACTED BY EXCAVATION IF THE TREE IS EXPECTED TO SURVIVE.
8. INSTALL AND MAINTAIN HOARDING IN CLEAN AND SAFE CONDITION THROUGHOUT CONSTRUCTION PROCESS.
9. HOARDING REQUIREMENTS ARE ON ALL EXISTING TREES THROUGHOUT CONSTRUCTION. ALL EQUIPMENT, SOIL, BUILDING MATERIAL AND OTHER DEBRIS SHALL BE KEPT OUTSIDE THE HOARDING.
10. IF HOARDING IS PUNCTURED AND DAMAGE OCCURS TO HOARDED TREE(S), NOTIFY CONSULTANT TEAM.
11. THE BEST METHOD TO AVOID SOIL COMPACTION IS TO KEEP OFF. THIS INCLUDES RESTRICTING ALL TRAFFIC BOTH VEHICULAR AND PEDESTRIAN FROM CROSSING OVER THE ROOT ZONES, AND RESTRICTING EVEN TEMPORARY MATERIAL STORAGE UNDER TREES.
12. EXCAVATION AROUND TREES WITHIN DRIP LINE OF TREES ONLY WHERE INDICATED ON PLANS AND AS DIRECTED BY THE CONSULTANT.
13. DURING ANY EXCAVATION WITHIN THE DRIP LINE OF A TREE THE CONTRACTOR SHALL EXCAVATE AROUND TREE ROOTS AS DIRECTED BY THE CONSULTANT. DO NOT CUT TREE ROOTS UNLESS DIRECTED BY THE CONSULTANT.
14. TREES AND OTHER DESIRABLE VEGETATION TO BE TOTALLY FENCED. FENCING TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.
15. EXCAVATION FOR NEW CONSTRUCTION WITHIN THE DRIPLINES OF TREES: HAND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS.
16. USE NARROW TINE SPADING FORKS TO PROBE AND COMB SOIL TO EXPOSE ROOTS.
17. RELOCATE ROOTS INTO BACKFILL AREAS WHENEVER POSSIBLE. IF LARGE MAIN LATERAL ROOTS ARE ENCOUNTERED, EXPOSE BEYOND EXCAVATION LIMITS AS REQUIRED TO BEND AND RELOCATE WITHOUT BREAKING.
18. UTILITY TRENCHING WITHIN THE DRIPLINES OF TREES: TUNNEL UNDER AND AROUND ROOTS BY HAND DIGGING.
19. DO NOT CUT MAIN LATERAL ROOTS.
20. CUTTING OF SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK SHALL BE DONE WITH CLEAN SHARP TREE PRUNING TOOLS.
21. ROOTS THAT ARE ENCOUNTERED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT 150MM (6") BACK FROM NEW CONSTRUCTION. USE CLEAN SHARP TREE PRUNING TOOLS.
22. PROTECTION OF EXPOSED ROOTS: DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACEMENT OF PERMANENT COVER.
23. PROVIDE ONE OF THE FOLLOWING TEMPORARY REMEDIAL MEASURES:
 - A. PROVIDE TEMPORARY EARTH COVER, MAINTAIN MOISTURE.
 - B. PACK WITH WET PEAT MOSS. MAINTAIN MOISTURE.
 - C. PACK WITH FOUR LAYERS OF WET UNTREATED BURLAP. MAINTAIN MOISTURE.
24. TEMPORARILY SUPPORT AND PROTECT EXPOSED ROOTS FROM DAMAGE UNTIL PERMANENTLY RELOCATED AND COVERED WITH BACKFILL.
25. WATER PUDDLE BACKFILL AROUND ROOTS TO ELIMINATE VOIDS AND AIR POCKETS.
26. REMOVAL OF STREET TREES TO THE SATISFACTION OF THE GENERAL MANAGER OF ENGINEERING SERVICES.

NOTE: FOR REFERENCE ONLY REFER TO ARBORIST TREE MANAGEMENT PLAN + REPORT



TREE MANAGEMENT PLAN

SYMBOL DESCRIPTION

- TREE PROTECTION BARRIER FENCE
Refer to Tree Protection Notes for Requirements
- EXISTING TREE TO BE REMOVED
Refer to Arborist Report
- EXISTING TREE TO BE RETAINED
Refer to Arborist Report

1 TREE MANAGEMENT PLAN
Scale: 1:350

ARBORIST NOTES:

1. THE LOCATION OF UN-SURVEYED TREES ON THIS PLAN IS APPROXIMATE. THEIR LOCATION AND OWNERSHIP CANNOT BE CONFIRMED WITHOUT BEING SURVEYED BY A REGISTERED BC LAND SURVEYOR.
2. ALL TREE PROTECTION FENCING MUST BE BUILT TO THE RELEVANT MUNICIPAL BYLAW SPECIFICATIONS. THE DIMENSIONS SHOWN ARE FROM THE OUTER EDGE OF THE STEM OF THE TREE.
3. THE TREE PROTECTION ZONE SHOWN IS A GRAPHICAL REPRESENTATION OF THE CRITICAL ROOT ZONE, MEASURED FROM THE OUTER EDGE OF THE STEM OF THE TREE. (1/2 THE TREE DIAMETER WAS ADDED TO THE GRAPHICAL TREE PROTECTION CIRCLES TO ACCOMMODATE THE SURVEY POINT BEING IN THE CENTER OF THE TREE)
4. ANY CONSTRUCTION ACTIVITIES OR GRADE CHANGES WITHIN THE ROOT PROTECTION ZONE MUST BE APPROVED BY THE PROJECT ARBORIST.
5. THIS PLAN IS BASED ON A TOPOGRAPHIC AND TREE LOCATION SURVEY PROVIDED BY THE OWNERS' REGISTERED BRITISH COLUMBIA LAND SURVEYOR (BCLS) AND LAYOUT DRAWINGS PROVIDED BY THE OWNERS' ENGINEER (P.ENG).
6. THIS PLAN IS PROVIDED FOR CONTEXT ONLY, AND IS NOT CERTIFIED AS TO THE ACCURACY OF THE LOCATION OF FEATURES OR DIMENSIONS THAT ARE SHOWN ON THIS PLAN. PLEASE REFER TO THE ORIGINAL SURVEY PLAN AND ENGINEERING PLANS.
7. REFERENCE ARBORIST REPORT BY DIAMOND HEAD CONSULTING LTD., CONSOLIDATED ON 2022-05-25

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LANDSCAPE ARCHITECTURE + URBAN DESIGN
1738 KINGSWAY
VANCOUVER, BC CANADA
V6N 2S3
TEL: (604) 694-0053
WEB: www.locidesign.ca

SHAPE
Architecture Inc.

1462 WEST 7TH AVENUE
VANCOUVER, BC CANADA
V6H 1C1
TEL: (604) 687-4457
EMAIL: info@shapearchitecture.ca
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		22-02-05

CHUCK BAILEY RECREATION CENTRE EXPANSION

13458 107a Ave, Surrey, BC V3T 0G4

SUBMISSION TO ADP (SEPT. 8) 22-0205

TREE MANAGEMENT PLAN

DATE 26 JULY 2022
DRAWN BY DS/CB
CHECKED BY ME
SCALE
JOB NUMBER 21064

L0.1

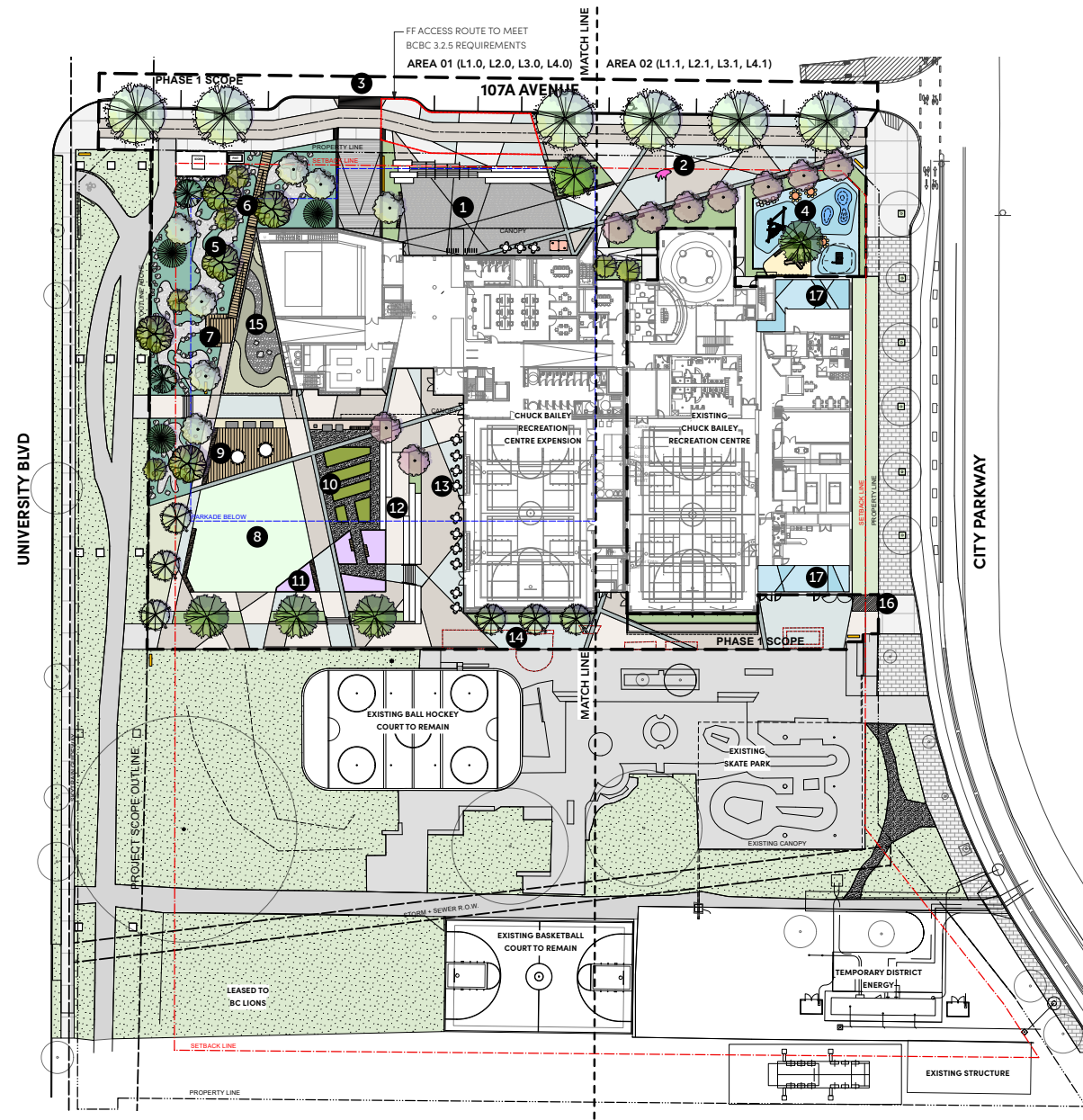
DESIGN RATIONALE

THE OVERALL DESIGN INTENT FOR THE GROUND LEVEL IS TO CREATE A SERIES OF WELCOMING AND ACTIVATED PUBLIC SPACES THAT CATER TO A RANGE OF ACTIVITIES, PROGRAMMES, AGES AND ABILITIES. SIMILARLY, CPTED PRINCIPLES HAVE BEEN CONSIDERED TO MAXIMIZE SAFETY, WANDERING, AND VISUAL POROSITY THROUGHOUT THE SITE. THE LANDSCAPE LAYOUT AND GEOMETRY IS INSPIRED BY THE STRONG ANGULAR FORMS OF THE PROPOSED NEW BUILDING, PROVIDING A FRAMEWORK ONTO WHICH THE VARIOUS OUTDOOR SPACES HAVE BEEN INTEGRATED INTO A COHESIVE PALETTE OF FORMS AND MATERIALS THROUGHOUT.

MORE SPECIFICALLY, THE NEW PLAZA AT THE MAIN ENTRY PROVIDES A LARGE ACTIVATED GATHERING SPACE, FLEXIBLE TO HOST A RANGE OF ACTIVITIES WHILE PROVIDING ABUNDANT SEATING, FEATURE PAVING AND SIGNAGE. THIS CONCEPT EXTENDS EASTWARD TO THE REFURBISHED EXISTING PLAZA, USING THE STRONG FORMS OF THE BUILDING TO DICTATE PAVING PATTERNS AND EMBEDDED INTERPRETIVE ELEMENTS AND PUBLIC ART. AT THE NORTHEAST CORNER OF THE EXISTING BUILDING, A PROPOSED NEW OUTDOOR DAYCARE SPACE FOR 3-5 YEAR OLD CHILDREN ANCHORS THE CORNER, AND IS BUFFERED BY LAYERED PLANTINGS AND A SECURITY FENCE/SCREEN. ON THE WEST SIDE OF THE SITE, AN INTERACTIVE AND 'EXPLORABLE' RAIN GARDEN, WITH NATIVE SHRUBS, SCULPTURAL TREES, RIVER ROCK AND BOULDER GROUPINGS, CREATES A MORE NATURALIZED FEATURE AGAINST THE NEW BUILDING, AND TAKES ADVANTAGE OF THE SITE'S PREVAILING GRADES TO FUNCTION AS A SURFACE RAINWATER DETENTION FACILITY. AS WITH ELSEWHERE ON THE SITE, AN ACCESSIBLE PATH OF TRAVEL CUTS THROUGH THE RAIN GARDEN TO ENSURE ACCESS TO ALL PORTIONS OF THE SITE FOR ALL ABILITIES. AT THE SOUTH-FACING INNER COURTYARD, THE 'SOCIAL HEART' OF THE PROJECT'S OUTDOOR SPACES WILL BE A HIVE OF ACTIVITY THAT RESPONDS TO THE BUILDING'S INTERIOR PROGRAMMING, WHILE REFLECTING THE DESIRED OUTDOOR PROGRAMME ELEMENTS EXPRESSED DURING THE PUBLIC ENGAGEMENT PROCESS: A CENTRAL FLEX-LAWN AREA FOR EVENTS, OUTDOOR COOKING FACILITIES, COMMUNITY GARDENS AND POLLINATOR/SENSORY PLOTS, AND A VARIETY OF SEATING AND GATHERING SPACES TO ENCOURAGE SOCIAL INTERACTION. THE SOUTHERN EDGE OF THE PROJECT'S SCOPE WILL CAREFULLY 'STITCH' THE PROPOSED NEW PROGRAMME ELEMENTS INTO THE EXISTING SPORTS FACILITIES AND GRASSES WHILE ENSURING A STRONG EAST-WEST COMMUNITY PATH THAT CONNECTS UNIVERSITY BOULEVARD TO THE CITY PARKWAY.

KEY LEGEND

- 1 NEW BUILDING ENTRY PLAZA WITH SEATING + STEPS + SIGNAGE+ FEATURE PAVING + MOVABLE GAMES AND FURNITURE
- 2 REFURBISHED EXISTING PLAZA: BENCHES + PLANTING + CIP CONCRETE PAVING + PUBLIC ART
- 3 107A AVE IMPROVEMENTS: DROPOFF + BIKE LANE + PARKADE ENTRY + STREET TREES
- 4 PROPOSED NEW OUTDOOR DAYCARE SPACE (250m²)
- 5 FEATURE RAIN GARDEN/ DRY RVIER BED TO HELP SCREEN PMT AND SKYTRAIN GUIDEWAY CAN SERVE AS A PLACE TO WALK AROUND
- 6 ADA COMPLIANT PEDESTRIAN PATH
- 7 ACCESS DECK OVERLOOKING RAIN GARDEN
- 8 FLEX TURF AREA
- 9 OUTDOOR KITCHEN WITH COOKING SLABS
- 10 RAISED GARDEN BEDS + MIXING TABLES
- 11 POLLINATOR/SENSORY GARDENS
- 12 ACCESSIBLE PATH + STAIRS + SEAT STEPS
- 13 BUILDING INTERFACE: MULTI-COLOURED CONCRETE PAVING WITH MOVABLE FURNISHINGS
- 14 REFURBISHED EAST+WEST PEDESTRIAN CORRIDOR WITH PLANTERS AND REMOVAL OF CONFLICTING SKATE FEATURES
- 15 LEVEL 2 SEDUM GREEN ROOF WITH LANDSCAPE BOULDERS
- 16 GARBAGE ENCLOSURE
- 17 LEVEL 2 DAY CARE OUTDOOR PLAY AREA



1 OVERALL LANDSCAPE PLAN - GROUND LEVEL
Scale: 1:350

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LANDSCAPE ARCHITECTURE + URBAN DESIGN
1738 KINGSWAY
VANCOUVER, BC CANADA
V6N 2S3
TEL: (604) 694-0053
WEB: www.locidesign.ca

SHAPE

Architecture Inc.

1462 WEST 7TH AVENUE
VANCOUVER, BC CANADA
V6N 1C1
TEL: (604) 687-4457
EMAIL: info@shapearchitecture.ca
WEB: www.shapearchitecture.ca

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CHUCK BAILEY RECREATION CENTRE EXPANSION
13458 107a Ave, Surrey, BC V3T 0G4

SUBMISSION TO ADP (SEPT. 8) 22-0205

OVERALL LANDSCAPE SITE PLAN

DATE 26 JULY 2022
DRAWN BY DS/CB
CHECKED BY ME
SCALE
JOB NUMBER 21064

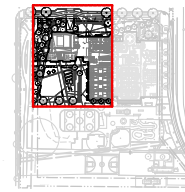
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MATERIALS LEGEND - LEVEL 1

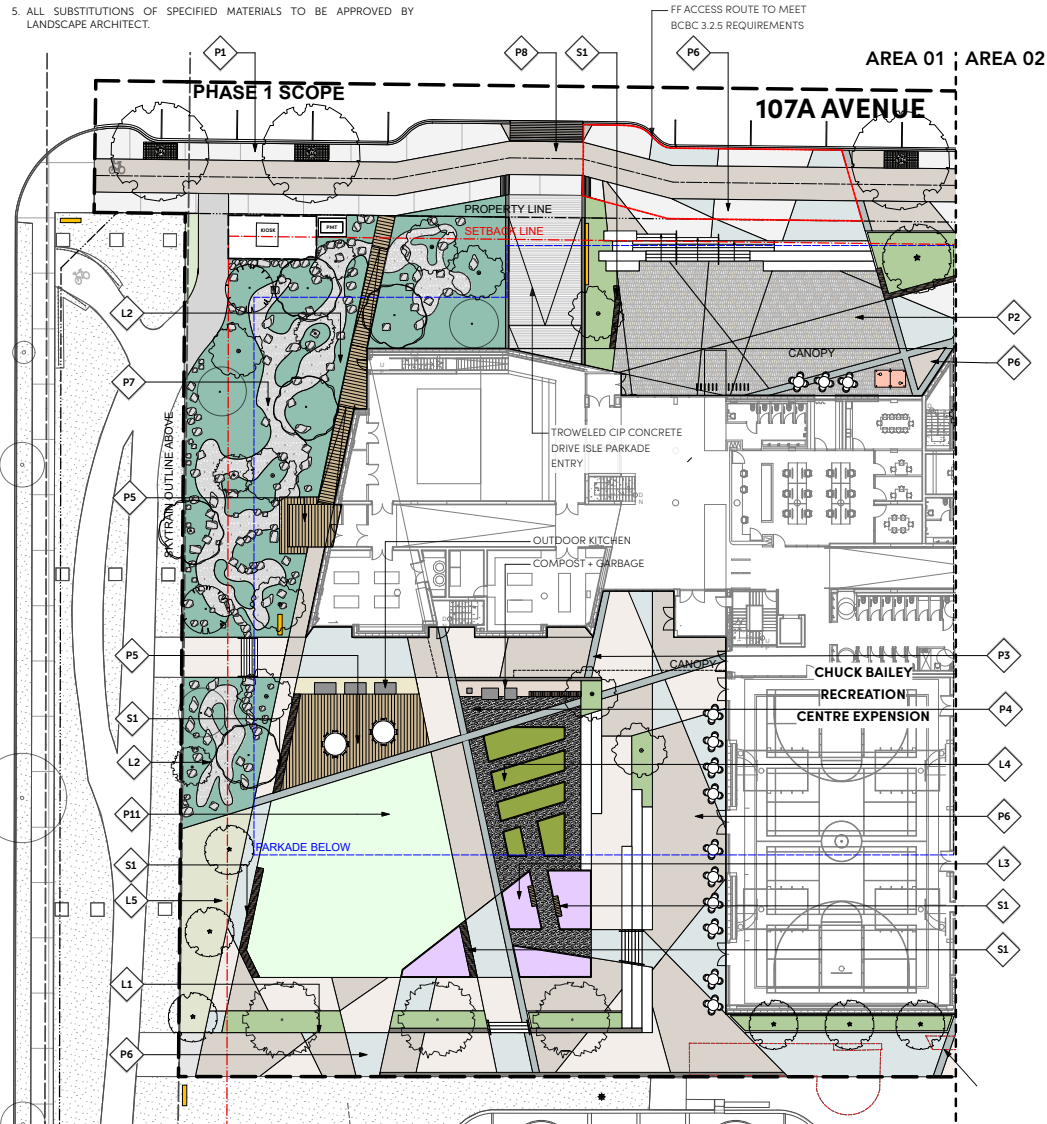
SYMBOL	KEY	DESCRIPTION	DETAIL
	P1	PAVING TYPE 1: OFFSITE SIDEWALK CIP Concrete paving as per C.O.S. standards. By Civil.	1 L10.0
	P2	PAVING TYPE 2: FEATURE PAVING Belgard Trapeze Paver Colours: 80% Natural + 10% Ash + 10% Sterling	2 L10.0
	P3	PAVING TYPE 3: FEATURE STONE PAVING Stone Paver bands or Equivalent. Possible sandblasted sterils.	3 4 5 6 L10.0 L10.0 L10.0 L10.0
	P4	PAVING TYPE 4: GRAVEL PATHWAY 4" Granular Base with 2" of 20mm Crushed Stone on top	1 L10.1
	P5	PAVING TYPE 5: WOOD DECKING Thermally Treated Wood Decking on concrete footings	2 2 L10.1 L10.7
	P6	PAVING TYPE 6: ONSITE CIP CONCRETE PAVING CIP Concrete with Saw Cut Joints, 3 Color Tones, TBD.	3 4 L10.1 L10.1
	P7	PAVING TYPE 7: RIVER ROCK + BOULDERS 2'-6" - 10" depth Washed River Rock on Filter Fabric with basalt boulder clusters.	1 2 L10.2 L10.2
	P8	PAVING TYPE 8: BIKE LANE Painted Asphalt Surface, By Civil.	5 L10.1
	P9	PAVING TYPE 9: PIP RUBBER SURFACING Poured In Place Rubber Surfacing - 2 colour tones TBD	6 L10.1
	P10	PAVING TYPE 10: PLAY AREA SAND Sand Play Area - 12" depth. River pump sand.	3 L10.2
	P11	PAVING TYPE 11: ARTIFICIAL TURF On 12" Base Gravel, Drain Layer, Shock Pad	4 L10.3
	L1	PLANTING TYPE 1 Shrubs, Perennials, Grasses and Trees 24-36" Soil Depth.	1 2 3 4 L10.4 L10.4 L10.4 L10.4
	L2	PLANTING TYPE 2 Raining garden w/ Boulders (Repurposed from excavation) - 24" soil depth for shrubs, 36" for trees.	4 5 L10.5 L10.5
	L3	PLANTING TYPE 3 Mixed Wildflower/ Pollinator Plants 24" Soil Depth in Cor/Ten Steel planter boxes.	1 L10.5
	L4	PLANTING TYPE 4: URBAN AGRICULTURE Metal Raised Planters, 30" Height, ADA Compliant.	1 L10.5
	L5	PLANTING TYPE 5 Sodded Lawn on Grade	2 L10.5
		P.L.P. RUBBER PLAY MOUNDS	
		CONCRETE STAIRS W/ Handrail + Arch finish.	1 L10.3
		CONCRETE SEAT STEPS Average 18" x 18" + Arch finish.	2 L10.3
		CONCRETE RETAINING WALL Arch finish - Anti-skateboard reveals, Max 24" HT	3 L10.3
		WOOD RAMP Wood Ramp on slab.	
	S1	SEATING TYPE 1: WOOD BENCHES Thermally Treated Wood Top Bench. On Concrete Base.	6 L10.5
		SITE FURNISHINGS Mixed Site Furnishing By Tenant/COS.	
		PROPOSED PUBLIC ART TBD By others/COS.	
		CONCRETE PING PONG TABLES By Sanderson Concrete	
		WAYFINDING SIGNAGE Materials, dimensions, content - By others.	
		BIKE RACKS Ring bike racks.	
		LEARNING TABLES Group Learning Tables. TBD.	
		PLAY STRUCTURES Log play structure By Kinsol	1 L10.7
		TREE GRATE CoS Standard with Subsurface Structural Soil / Soil Cell	

GENERAL LAYOUT + MATERIALS NOTES:

- ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW AND RESPONSE.
- ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
- UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
- THE LAYOUT OF ALL HARDSCAPE ITEMS, SITE FURNISHINGS, BOULDERS, LANDSCAPE LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.



KEY PLAN



1 LANDSCAPE MATERIALS PLAN - AREA 01
Scale: 1:225

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LANDSCAPE ARCHITECTURE + URBAN DESIGN
1738 KINGSWAY
VANCOUVER, BC CANADA
V6N 2E3
TEL: (604) 694-0053
WEB: www.locidesign.ca

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LANDSCAPE MATERIALS PLAN - AREA 01

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DRAWN BY	DS/CB
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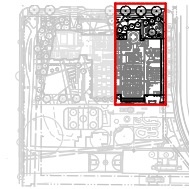
L1.0

MATERIALS LEGEND - LEVEL 1

SYMBOL	KEY	DESCRIPTION	DETAIL
	P1	PAVING TYPE 1: OFFSITE SIDEWALK CIP Concrete paving as per C.O.S. standards. By Civil.	1 L10.0
	P2	PAVING TYPE 2: FEATURE PAVING 15 x 9.9(9.4) x 4". Concrete unit pavers. Belgard Trapeze Paver. Colours: 80% Natural + 10% Ash + 10% Sterling	2 L10.0
	P3	PAVING TYPE 3: FEATURE STONE PAVING Stone Paver bands or Equivalent. Possible sandblasted steels.	3 4 5 6 L10.0 L10.0 L10.0 L10.0
	P4	PAVING TYPE 4: GRAVEL PATHWAY 4" Granular Base with 2" of 20mm Crushed Stone on top	1 L10.1
	P5	PAVING TYPE 5: WOOD DECKING Thermally Treated Wood Decking on concrete footings	2 2 L10.1 L10.7
	P6	PAVING TYPE 6: ONSITE CIP CONCRETE PAVING CIP Concrete with Saw Cut Joints, 3 Color Tones, TBD.	3 4 L10.1 L10.1
	P7	PAVING TYPE 7: RIVER ROCK + BOULDERS 2-6", 10" depth Washed River Rock on Filter Fabric with basalt boulder clusters.	1 2 L10.2 L10.2
	P8	PAVING TYPE 8: BIKE LANE Painted Asphalt Surface, By Civil.	5 L10.1
	P9	PAVING TYPE 9: PIP RUBBER SURFACING Poured In Place Rubber Surfacing - 2 colour tones TBD	6 L10.1
	P10	PAVING TYPE 10: PLAY AREA SAND Sand Play Area - 12" depth. River pump sand.	3 2 L10.2
	P11	PAVING TYPE 11: ARTIFICIAL TURF On 12" Base Gravel, Drain Layer, Shock Pad	4 L10.3
	L1	PLANTING TYPE 1 Shrubs, Perennials, Grasses and Trees 24-36" Soil Depth.	1 2 3 4 L10.4 L10.4 L10.4 L10.4
	L2	PLANTING TYPE 2 Raising garden w/ Boulders (Repurposed from excavation) - 24" soil depth for shrubs, 36" for trees.	4 5 L10.5 L10.5
	L3	PLANTING TYPE 3 Mixed Wildflower/ Pollinator Plants 24" Soil Depth in Cor/Ten Steel planter boxes.	1 L10.5
	L4	PLANTING TYPE 4: URBAN AGRICULTURE Metal Raised Planters, 30" Height, ADA Compliant.	1 L10.5
	L5	PLANTING TYPE 5 Sodded Lawn on Grade	2 L10.5
		P.I.P. RUBBER PLAY MOUNDS	
		CONCRETE STAIRS W/ Handrail + Arch finish.	1 L10.3
		CONCRETE SEAT STEPS Average 18" x 18" + Arch finish.	2 L10.3
		CONCRETE RETAINING WALL Arch finish - Anti-skateboard reveals, Max 24" HT	3 L10.3
		WOOD RAMP Wood Ramp on slab.	
	S1	SEATING TYPE 1: WOOD BENCHES Thermally Treated Wood Top Bench. On Concrete Base.	6 L10.5
		SITE FURNISHINGS Mixed Site Furnishing By Tenant/COS.	
		PROPOSED PUBLIC ART TBD By others/COS.	
		CONCRETE PING PONG TABLES By Sanderson Concrete	
		WAYFINDING SIGNAGE Materials, dimensions, content - By others.	
		BIKE RACKS Ring bike racks.	
		LEARNING TABLES Group Learning Tables. TBD.	
		PLAY STRUCTURES Log play structure By Kinsof	1 L10.7
		TREE GRATE CoS Standard with Subsurface Structural Soil / Soil Cell	

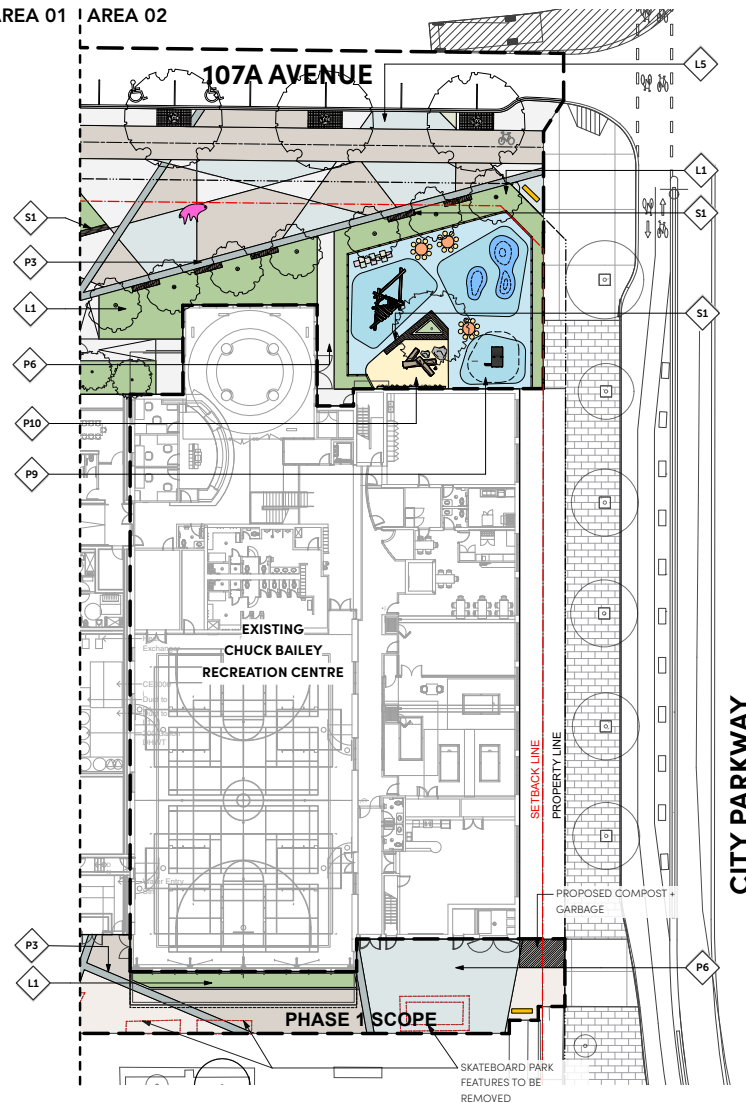
GENERAL LAYOUT + MATERIALS NOTES:

1. ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW AND RESPONSE.
2. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
3. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
4. THE LAYOUT OF ALL HARDSCAPE ITEMS, SITE FURNISHINGS, BOULDERS, LANDSCAPE LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.



KEY PLAN

AREA 01 | AREA 02



1 LANDSCAPE MATERIALS PLAN - AREA 02
Scale: 1:225

loci
LANDSCAPE ARCHITECTURE + URBAN DESIGN

1738 KINGSWAY
VANCOUVER, BC CANADA
V6N 2B3
TEL: (604) 694-0053
WEB: www.locidesign.ca

SHAPE
Architecture Inc.

1462 WEST 7TH AVENUE
VANCOUVER, BC CANADA
V6B 1C1
TEL: (604) 687-4457
EMAIL: info@shapearchitecture.ca
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REGISTERED PROFESSIONAL LANDSCAPE ARCHITECTS
BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS
MEMBER
MICHAEL N. ENNS
395

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NOTES

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CHUCK BAILEY RECREATION CENTRE EXPANSION
13458 107a Ave, Surrey, BC V3T 0G4

SUBMISSION TO ADP (SEPT. 8) 22-0205

LANDSCAPE MATERIALS PLAN - AREA 02

DATE	26 JULY 2022
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CHECKED BY	ME
SCALE	
JOB NUMBER	21064

L1.1

GRADING LEGEND

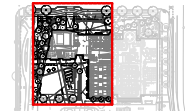
SYMBOL	DESCRIPTION
FFE 0.00	FINISHED FLOOR ELEVATION (BY ARCH)
CIV 0.00	PROPOSED CIVIL ELEVATION
0.00	EXISTING ELEVATION
EL 0.00	PROPOSED ELEVATION
TW 0.00	TOP OF WALL ELEVATION
BW 0.00	BOTTOM OF WALL ELEVATION
TS 0.00	TOP OF STAIRS ELEVATION
BS 0.00	BOTTOM OF STAIRS ELEVATION
BB 0.00	BOTTOM OF BENCH ELEVATION
TB 0.00	TOP OF BENCH ELEVATION
AD 104.7	AREA DRAIN (COORDINATE WITH MECHANICAL)
STRIP DRAIN	STRIP DRAIN (COORDINATE WITH MECHANICAL)
PLANTER DRAIN	PLANTER DRAIN (COORDINATE WITH MECHANICAL)
2%	SLOPE AND DIRECTION

SOIL DEPTH LEGEND

SYMBOL	DESCRIPTION
SHRUB PLANTING	SHRUB PLANTING 24" Minimum Soil Depth + 4" Drainage Layer Refer to Planting Detail
TREE + SHRUB PLANTING	TREE + SHRUB PLANTING 36" Minimum Soil Depth 36" + 4" Drainage Layer Refer to Planting Detail
SOD TURF / BOULEVARD STRIP	SOD TURF / BOULEVARD STRIP 12" Minimum Soil Depth
ARTIFICIAL TURF	ARTIFICIAL TURF On 12" Base Gravel, Drain Layer, Shock Pad

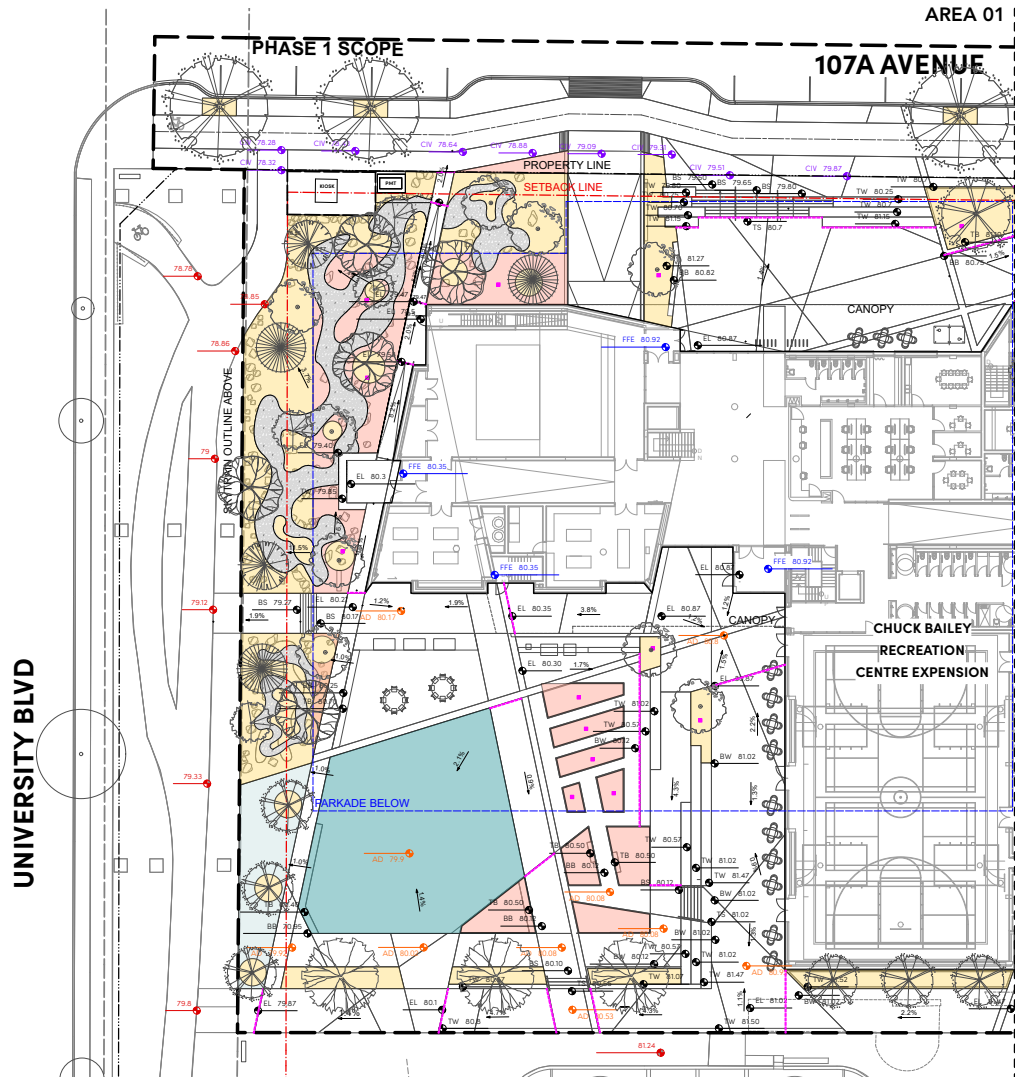
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- ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.
- REFER TO CIVIL FOR EXCAVATION DEPTHS, BACKFILL, AND BASE MATERIAL FOR ALL LANDSCAPE ITEMS SHOWN ON PLAN.
- SLOPE SHALL MATCH EXISTING GRADE ALONG ALL PROPERTY LINES.
- REFER TO CIVIL ENGINEER'S PRECISE GRADING PLANS FOR SITE GRADING PLANS FOR SITE GRADING, DRAINAGE, AND UTILITY LOCATIONS. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE LANDSCAPE ARCHITECT'S PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION AND ELEVATION IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
- ALL PROPOSED GRADES ARE TO MEET AND BLEND IN WITH EXISTING GRADING AT PROJECT LIMITS, GRADING LIMITS, AND EXISTING SIDEWALK. PRECISE ELEVATIONS INDICATED ON PLANS TO BE VERIFIED IN FIELD TO AS-BUILT CONDITION.
- THE DEBRIS CREATED BY LANDSCAPE GRADING OPERATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF LEGALLY OFF SITE.
- FINAL GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION OF PLANTING.



KEY PLAN

AREA 01 | AREA 02



UNIVERSITY BLVD

1 LANDSCAPE GRADING PLAN - AREA 01
Scale: 1:225



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1738 KINGSWAY
VANCOUVER, BC CANADA
V6N 2S3

SHAPE
Architecture Inc.

1462 WEST 7TH AVENUE
VANCOUVER, BC CANADA
V6H 1C1

TEL: (604) 687-4457
EMAIL: info@shapearchitecture.ca
WEB: www.shapearchitecture.ca

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13458 107a Ave, Surrey, BC V3T 0G4

SUBMISSION TO ADP (SEPT. 8) 22-0205

GRADING PLAN - AREA 01

DATE	26 JULY 2022
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CHECKED BY	ME
SCALE	
JOB NUMBER	21064

L2.0

GRADING LEGEND

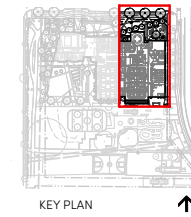
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2%	SLOPE AND DIRECTION

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SYMBOL	DESCRIPTION
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Sod Turf / Boulevard Strip Symbol	SOD TURF / BOULEVARD STRIP 12" Minimum Soil Depth
Artificial Turf Symbol	ARTIFICIAL TURF On 12" Base Gravel, Drain Layer, Shock Pad

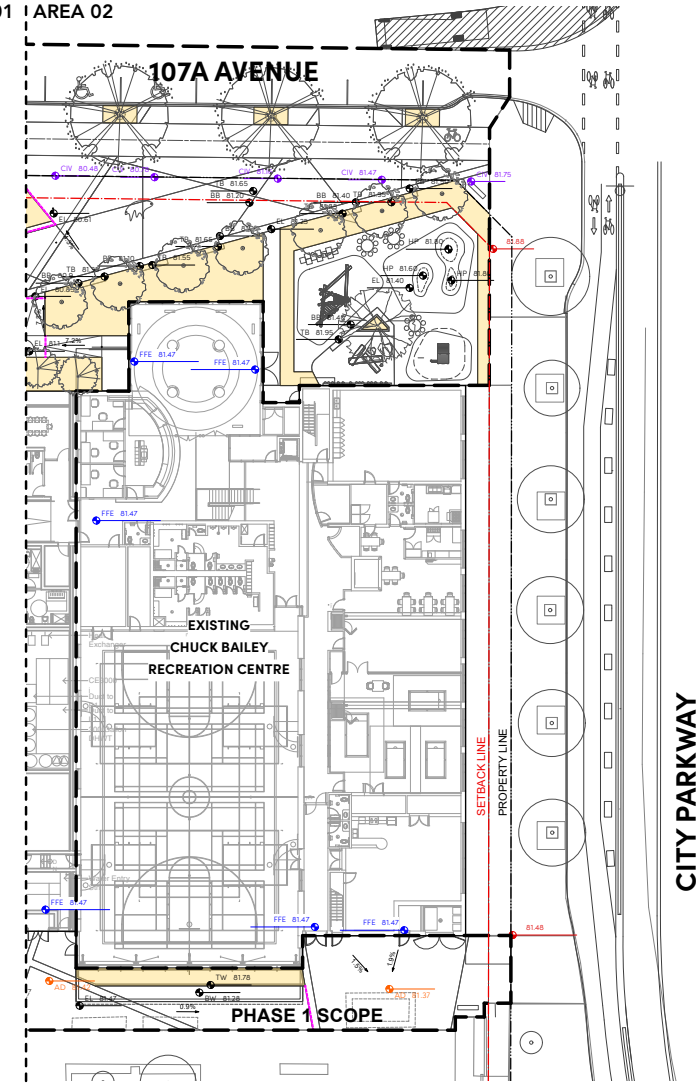
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KEY PLAN

AREA 01 | AREA 02



1 LANDSCAPE GRADING PLAN - AREA 02
Scale: 1:225

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LANDSCAPE ARCHITECTURE + URBAN DESIGN

1738 KINGSWAY
VANCOUVER, BC CANADA
V6N 2S3

TEL: (604) 694-0053
WEB: www.locidesign.ca

SHAPE

Architecture Inc.

1462 WEST 7TH AVENUE
VANCOUVER, BC CANADA
V6H 1C1

TEL: (604) 687-4457
EMAIL: info@shapearchitecture.ca
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	22-0205	

CHUCK BAILEY RECREATION CENTRE EXPANSION

13458 107a Ave, Surrey, BC V3T 0G4

SUBMISSION TO ADP (SEPT. 8) 22-0205

GRADING PLAN - AREA 02

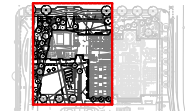
DATE	26 JULY 2022
DRAWN BY	DS/CB
CHECKED BY	ME
SCALE	
JOB NUMBER	21064

L2.1

GENERAL PLANTING NOTES:

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION
2. ALL TREE AND SHRUB AREAS TO BE MULCHED WITH 50MM (2") OF MEDIUM FINE MULCH, LESS THAN 50MM (2") DIAMETER.
3. ROOTZONE TO REST ON TAMPED PLANTING SOIL
4. SHRUBS: PREPARE PLANTING HOLES AS SPECIFIED. PLANT AT THE SAME GRADE AS NURSERY. WATER AND FERTILIZE AS SPECIFIED. ENSURE POSITIVE DRAINAGE THROUGHOUT PLANTING BED
5. TREE SIZE AND SPACING TO BE AS PER CITY OF VANCOUVER ARBORIST
6. TREE: PREPARE PLANTING HOLES AS SPECIFIED. INSTALL TOP OF ROOTZONE 6" ABOVE FINISHED GRADE OF GROWING MEDIUM. WATER AND FERTILIZE AS SPECIFIED BY NURSERY.
7. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION SPACING TO BE APPROVED BY LANDSCAPE ARCHITECTS IN THE FIELD PRIOR TO INSTALLATION
8. IN CASE OF A DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
9. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD
10. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY OF VANCOUVER STANDARDS. INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.
11. FINAL PLANT SPACING, QUANTITY AND TREE PLACEMENT TO BE REVIEWED TO THE SATISFACTION OF GENERAL MANAGER OF ENGINEERING SERVICES
12. ALL PLANTING BEDS TO RECEIVE AUTOMATIC DRIP IRRIGATION

NOTE FINAL TREE REPLACEMENT QUANTITIES, LOCATIONS, AND CALIPER SIZE TO BE REVIEWED AND COORDINATED WITH CITY STAFF DURING DEVELOPMENT PERMIT REVIEW.



KEY PLAN

AREA 01 AREA 02



1 LANDSCAPE PLANTING PLAN - AREA 01
Scale: 1:25



loci

LANDSCAPE ARCHITECTURE + URBAN DESIGN
1738 KINGSWAY
VANCOUVER, BC CANADA
V6N 2S3
TEL: (604) 684-0053
WEB: www.locidesign.ca

SHAPE

Architecture Inc.

1462 WEST 7TH AVENUE
VANCOUVER, BC CANADA
V6H 1C1
TEL: (604) 687-4457
EMAIL: info@shapearchitecture.ca
WEB: www.shapearchitecture.ca

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PLANTING PLAN - AREA 01

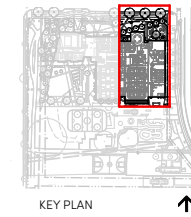
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L3.0

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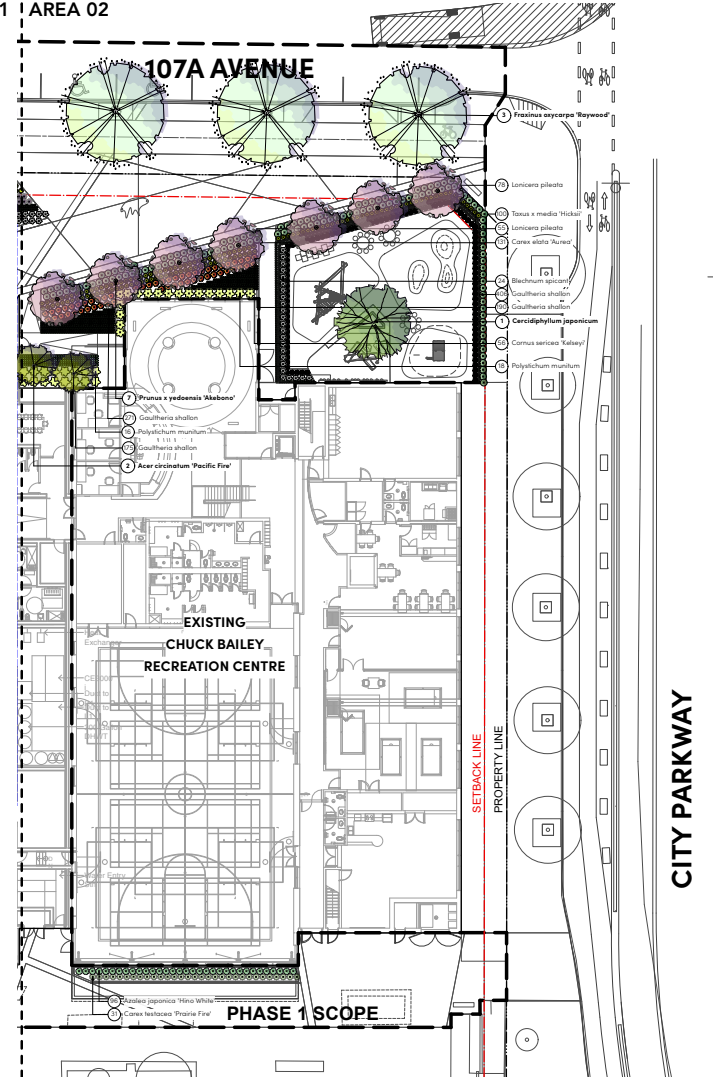
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KEY PLAN

AREA 01 | AREA 02



1 LANDSCAPE PLANTING PLAN - AREA 02
Scale: 1:225



CITY PARKWAY

loci
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1738 KINGSWAY
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V6N 2S3
TEL: (604) 694-0053
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SHAPE
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SUBMISSION TO ADP (SEPT. 8) 22-02-05

PLANTING PLAN - AREA 02
DATE: 26 JULY 2022
DRAWN BY: DS/CB
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SCALE:
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L3.1

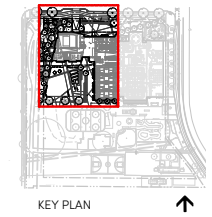
LIGHTING LEGEND

LIGHT TYPE	TYPE	MANUFACTURER	DESCRIPTION	DETAIL
LIGHT TYPE A	Tree Uplight - Tall	BK Lighting	Floodlight Model # #DELED-TR-X123-FL-BLP-9-11-B-ELV-120 -- Mounting Stake #: #FP-512-BLP-B-120-SF	1 L10.7
LIGHT TYPE B	Pole Light	Nove Pole	Decorative Tandem Style Aluminum Pole (NDTAHD)	4 L10.7
LIGHT TYPE C	Bench + Stair Striplight	Diffusion Lighting	Tapelight Model #: #SL3COUT-LENGTH-24V-3000K -- Extrusion #: #SL4025-XX -- Remote driver: Multi-driver, Class 2	2 L10.7
LIGHT TYPE D	Railing Striplight	Wagner	Wagner lumenlinear handrail striplight	3 L10.7

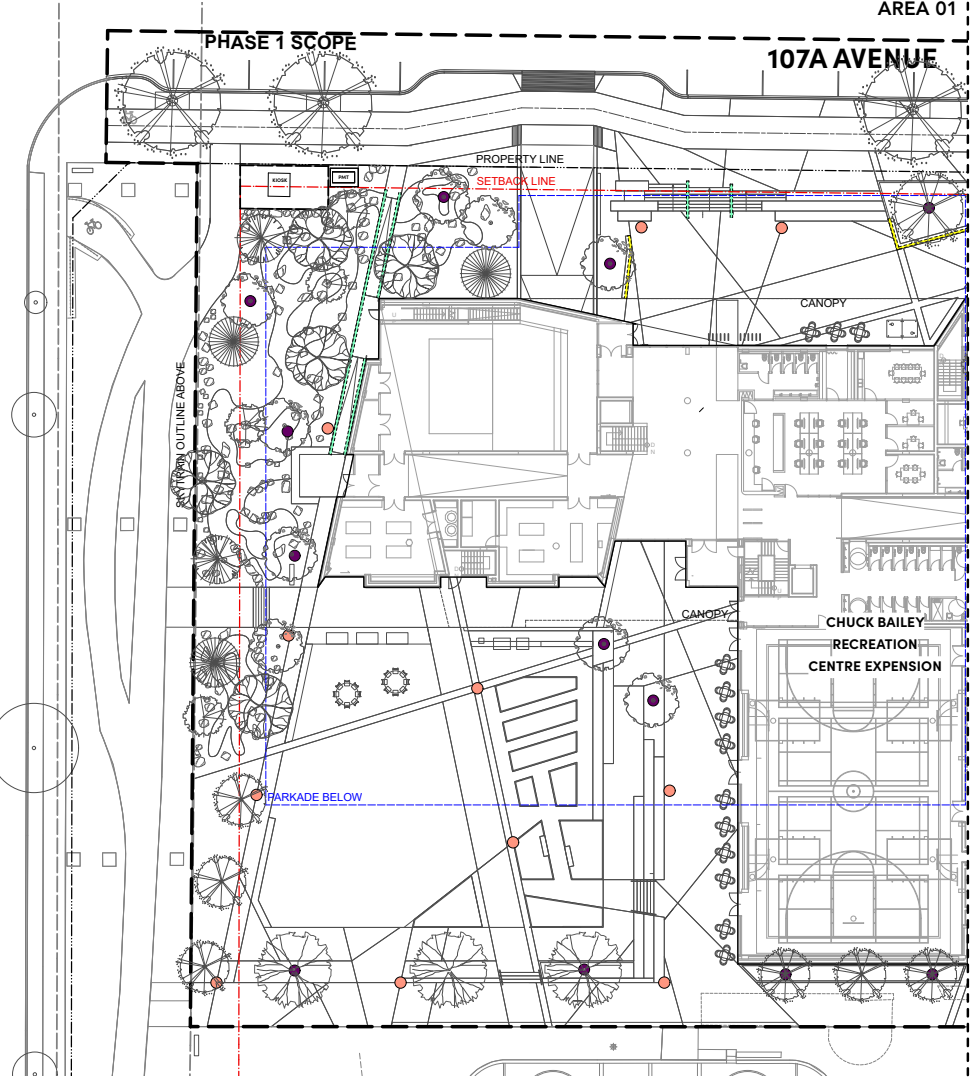


GENERAL LIGHTING NOTES:

1. THE ELECTRICAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL ELECTRICAL WORK FOR THE LANDSCAPE ARCHITECT'S APPROVAL. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY LICENSED ELECTRICAL ENGINEER, OR MASTER ELECTRICIAN. PRIOR TO WORK COMMENCING/INSTALLATION.
2. ALL FIXTURE TYPES, SPACING, AND QUANTITIES TO BE CONFIRMED.
3. PRICE BASED ON LED LIGHT SOURCE FOR APPLICABLE LUMINAIRES
4. REFER TO ELECTRICAL ENGINEER FOR SERVICING REQUIREMENTS
5. THE LIGHTING CONTRACTOR IS OBLIGATED TO REFER TO THE LANDSCAPE PLANS AND DETAILS FOR LOCATIONS OF FIXTURES RELATIVE TO THE PROPOSED HARDSCAPE AND PLANTING PLANS. NOTED DIMENSIONS ARE APPROXIMATE. REFER TO NOTE OR ENLARGEMENT, FOR FINAL PLACEMENT. CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION, IF NEEDED.
6. THE LANDSCAPE ARCHITECT OR CLIENT'S REPRESENTATIVE SHALL APPROVE THE PLACEMENT OF SLEEVES PRIOR TO PAVING. SLEEVE MATERIAL SHALL BE TRENCHING AND/OR FOUNDATION PREPARATION.
7. THE ELECTRICAL/LIGHTING CONTRACTOR IS RESPONSIBLE TO COORDINATE THE PLACEMENT OF SLEEVES PRIOR TO PAVING. SLEEVE MATERIAL SHALL BE SCHEDULE 40 AND AT A MINIMUM DEPTH TO MEET ALL ELECTRICAL CODES.
8. THE ELECTRICAL/LIGHTING CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, LICENSES, AND ASSOCIATED FEES REQUIRED TO INSTALL THE SYSTEM(S) INCLUDING ALL ELECTRICAL CONDUIT, LIGHT FIXTURES, WIRE, PANELS, JUNCTION BOXES AND NECESSARY EQUIPMENT FOR THE COMPLETION OF THE WORK.
9. THE ELECTRICAL/LIGHTING CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES, COMMUNICATIONS PROVIDERS AND OTHERS TO IDENTIFY AND MARK LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN THE SCOPE OF WORK. KNOWN UTILITIES WHICH MAY BE ENCOUNTERED INCLUDE: ELECTRICAL, STORM SEWER, WATER, AND SANITARY SEWER.
10. VERIFY IN FIELD. ALL LOCATIONS OF FIXTURES, ELECTRICAL LINES OR OTHER LIGHTING SYSTEM ELEMENTS WITHIN THE DRIP LINE OF ANY EXISTING TREES. NOTIFY LANDSCAPE ARCHITECT OF SUCH OCCURRENCES PRIOR TO COMMENCEMENT OF WORK. HAND EXCAVATE WITHIN THE DRIP LINE OF ANY TREE, REFER TO SPECIFICATIONS.
11. ELECTRICAL CONDUIT LAYOUT IS DIAGRAMMATIC ON DOCUMENTS. ADJUST LOCATIONS ON SITE TO ACCOMMODATE EXISTING JOB CONDITIONS AND TO ACHIEVE MINIMAL IMPACT TO IN PLACE AND FUTURE ELEMENTS. AVOID INSTALLATIONS UNDER TREES.
12. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING ELECTRIC POWER, AND PROPOSED CONNECTIONS AND METERS IN THE FIELD FOR APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
13. THE CONTRACTOR SHALL PROVIDE CIRCUIT BREAKERS, AND PHOTO CELL CONTACTORS FOR ACTIVATION OF LIGHTING CIRCUITS.
14. THE CONTRACTOR SHALL PROVIDE CIRCUIT BREAKERS AND ASTRONOMIC TIME CLOCK FOR DE-ACTIVATION ON LIGHTING CIRCUITS.
15. THE LIGHTING SYSTEM SHALL BE PHOTOCCELL ON, TIMER OFF.



AREA 01 | AREA 02



1 LANDSCAPE LIGHTING PLAN - AREA 01
Scale: 1:225



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1738 KINGSWAY
VANCOUVER, BC CANADA
V6N 2S3
TEL: (604) 694-0053
WEB: www.locidesign.ca

SHAPE
Architecture Inc.

1462 WEST 7TH AVENUE
VANCOUVER, BC CANADA
V6H 1C1
TEL: (604) 687-4457
EMAIL: info@shapearchitecture.ca
WEB: www.shapearchitecture.ca

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LIGHTING SCHEMATIC PLAN - AREA 01

DATE	26 JULY 2022
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JOB NUMBER	21064

L4.0

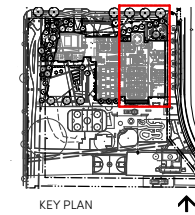
LIGHTING LEGEND

LIGHT TYPE	TYPE	MANUFACTURER	DESCRIPTION	DETAIL
LIGHT TYPE A	Tree Uplight - Tall	BK Lighting	Floodlight Model # #DELED-TR-X123-FL-BLP-9-11-B-ELV-120 -- Mounting Stake #: #FP-512-BLP-B-120-SF	1 L10.7
LIGHT TYPE B	Pole Light	Nove Pole	Decorative Tandem Style Aluminum Pole (NDTAHD)	4 L10.7
LIGHT TYPE C	Bench + Stair Striplight	Diffusion Lighting	Tapelight Model #: #SL3COUT-LENGTH-24V-3000K -- Extrusion #: #SLC425-XX -- Remote driver: Multi-driver, Class 2	2 L10.7
LIGHT TYPE D	Railing Striplight	Wagner	Wagner lumenlinear handrail striplight	3 L10.7

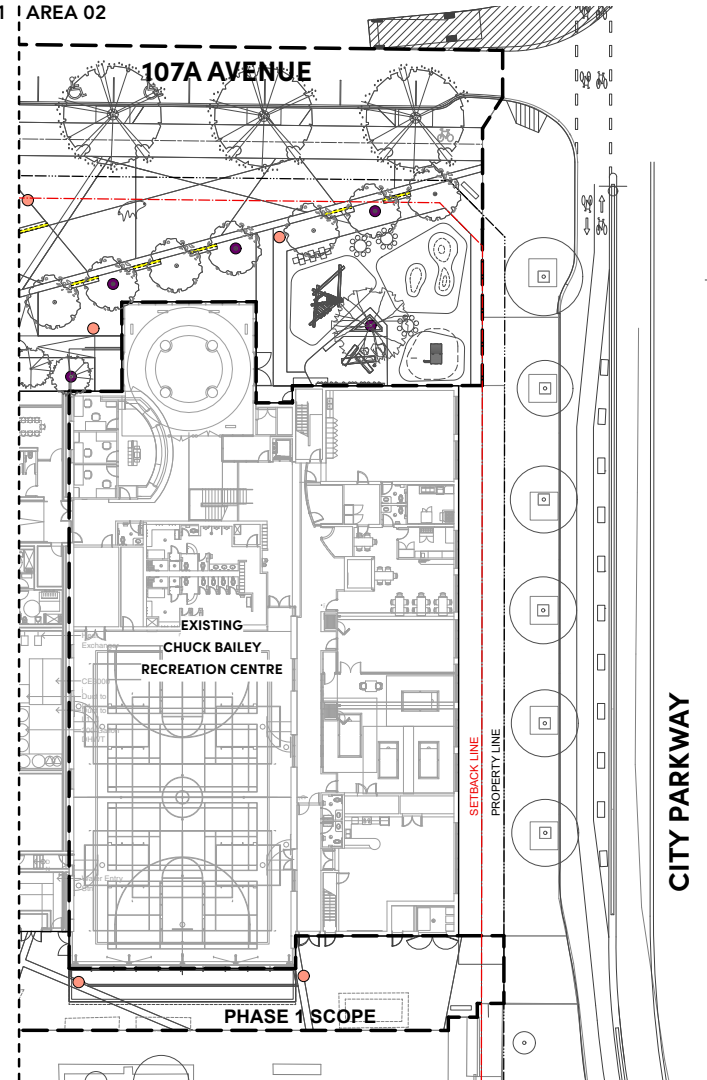


GENERAL LIGHTING NOTES:

1. THE ELECTRICAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL ELECTRICAL WORK FOR THE LANDSCAPE ARCHITECT'S APPROVAL. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY LICENSED ELECTRICAL ENGINEER, OR MASTER ELECTRICIAN. PRIOR TO WORK COMMENCING/INSTALLATION.
2. ALL FIXTURE TYPES, SPACING, AND QUANTITIES TO BE CONFIRMED.
3. PRICE BASED ON LED LIGHT SOURCE FOR APPLICABLE LUMINAIRES
4. REFER TO ELECTRICAL ENGINEER FOR SERVICING REQUIREMENTS
5. THE LIGHTING CONTRACTOR IS OBLIGATED TO REFER TO THE LANDSCAPE PLANS AND DETAILS FOR LOCATIONS RELATIVE TO THE PROPOSED HARDSCAPE AND PLANTING PLANS. NOTED DIMENSIONS ARE APPROXIMATE. REFER TO NOTE OR ENLARGEMENT, FOR FINAL PLACEMENT. CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION, IF NEEDED.
6. THE LANDSCAPE ARCHITECT OR CLIENT'S REPRESENTATIVE SHALL APPROVE THE FLAGGED LAYOUT OF THE FIXTURES AND ELECTRICAL SYSTEM PRIOR TO TRENCHING AND/OR FOUNDATION PREPARATION.
7. THE ELECTRICAL/LIGHTING CONTRACTOR IS RESPONSIBLE TO COORDINATE THE PLACEMENT OF SLEEVES PRIOR TO PAVING. SLEEVE MATERIAL SHALL BE SCHEDULE 40 AND AT A MINIMUM DEPTH TO MEET ALL ELECTRICAL CODES.
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15. THE LIGHTING SYSTEM SHALL BE PHOTOCELL ON, TIMER OFF.



AREA 01 | AREA 02



1 LANDSCAPE LIGHTING PLAN - AREA 02
Scale: 1:225



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V6N 2S3

SHAPE
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1462 WEST 7TH AVENUE
VANCOUVER, BC CANADA
V6H 1C1

TEL: (604) 687-4457
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LIGHTING SCHEMATIC PLAN - AREA 02

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OVERALL PLANT LIST

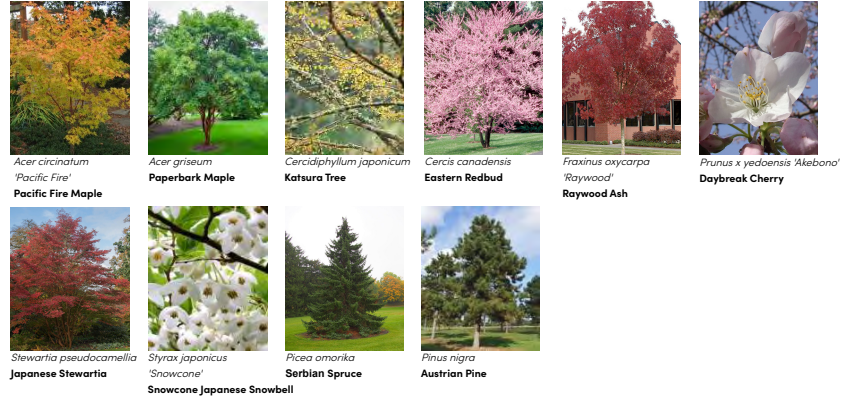
Symbol	Quantity	Botanical Name	Common Name	Scheduled Size	Spacing	Notes
DECIDUOUS TREES:						
	6	<i>Acer circinatum</i> 'Pacific Fire'	Pacific Fire Vine Maple	5cm cal.	As Shown	B&B, Multistem
	5	<i>Acer griseum</i>	Paperbark Maple	6cm cal.	As Shown	B&B
	4	<i>Cercidiphyllum japonicum</i>	Katsura Tree	5cm cal.	As Shown	B&B
	7	<i>Cercis canadensis</i>	Eastern Redbud	6cm cal.	As Shown	B&B
	2	<i>Cercis occidentalis</i>	Western Redbud	5cm cal.	As Shown	B&B
	6	<i>Fraxinus oxycarpa</i> 'Raywood'	Raywood Ash	7cm Cal.	As Shown	B&B
	2	<i>Magnolia</i> 'Galaxy'	Galaxy Magnolia	6cm cal.	As Shown	B&B
	9	<i>Prunus x yedoensis</i> 'Akebono'	Daybreak Cherry	6cm cal.	As Shown	B&B
	1	<i>Stewartia pseudocamellia</i>	Japanese Stewartia	10cm cal.	As Shown	B&B Specimen
	6	<i>Styra japonicus</i> 'Snowcone'	Snowcone Japanese Snowbell	6cm cal.	As Shown	B&B
CONIFERS:						
	2	<i>Picea omorika</i>	Serbian Spruce	6cm cal.	As Shown	B&B
	3	<i>Pinus nigra</i>	Austrian Pine	6cm cal.	As Shown	B&B
SHRUBS:						
	188	<i>Azalea japonica</i> 'Hino White'	Hino White Azalea	#2 pot	0.6 o.c.	
	73	<i>Cornus sericea</i> 'Kelsey'	Kelsey's Dwarf Red-Osier Dogwood	#2 Pot	0.61 o.c.	
	2862	<i>Gaultheria shallon</i>	Salal	10cm pot	0.2 o.c.	
	239	<i>Lonicera pileata</i>	Box-leaf Honeysuckle	#2 Pot	0.61 o.c.	
	37	<i>Rhododendron impeditum</i>	Dwarf Purple Rhododendron	#2 Pot	0.46 o.c.	
	43	<i>Rosa nutkana</i>	Nootka Rose	#5 Pot	1.22 o.c.	
	11	<i>Rosmarinus officinalis</i>	Rosemary	#2 Pot	0.75 o.c.	
	100	<i>Taxus x media</i> 'Hicksii'	Hick's Yew	1.25m. ht.	0.46 o.c.	
	608	<i>Vaccinium ovatum</i>	Evergreen Huckleberry	#1 Pot	0.3 o.c.	
PERENNIALS, GRASSES, GROUND COVER:						
	118	<i>Carex densa</i>	Dense Sedge	#1 Pot	0.45 o.c.	
	199	<i>Carex elata</i> 'Aurea'	Bowles Golden Sedge	#1 pot	0.46 o.c.	
	106	<i>Carex testacea</i> 'Prairie Fire'	Orange New Zealand Sedge	#2 pot	0.61 o.c.	
	713	<i>Iris versicolor</i>	Purple Iris	#1 Pot	0.3 o.c.	
	387	<i>Juncus effusus</i>	Soft Common Rush	#1 Pot	0.45 o.c.	
	91	<i>Nepeta faassenii</i>	'Cat's Meow' Catmint	#1 Pot	0.75 o.c.	
	38	<i>Pennisetum alopecuroides</i> 'Hameln'	Dwarf Fountain Grass	#3 Pot	0.61 o.c.	
	204	<i>Polystichum munitum</i>	Western sword fern	#3 Pot	0.91 o.c.	
	43	<i>Rudbeckia fulgida</i> 'Goldstrum'	Black-Eyed Susan	#2 Pot	0.46 o.c.	
	35	<i>Sedum</i> 'Autumn Joy'	Autumn Joy Stonecrop	#2 Pot	0.46 o.c.	

PLANT LIST NOTES:

- ALL PLANT MATERIAL AND LANDSCAPING PRACTICES SHALL BE COMPLIANT WITH THE LATEST EDITION OF THE BCLNA AND CLNA NURSERY STANDARDS.
- IN CASE OF DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
- FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION AND SPACING TO BE APPROVED BY LANDSCAPE ARCHITECT ON SITE PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF WARRANTY PERIOD.
- INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY STANDARDS, INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.
- NEW TREE MUST BE OF GOOD STANDARD, MINIMUM OF 6CM CALIPER (OR OTHERWISE NOTED) AND INSTALLED WITH APPROVED ROOT BARRIERS, TREE GUARDS, AND APPROPRIATE SOIL, AS SPECIFIED.

PLANT IMAGES

TREES:



SHRUBS:



PERENNIALS, GRASSES, GROUNDCOVERS:



RAIN GARDEN PLANTS



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VANCOUVER, BC CANADA
V6N 2S3

SHAPE

Architecture Inc.

1462 WEST 7TH AVENUE
VANCOUVER, BC CANADA
V6H 1C1

TEL: (604) 684-0053
TEL: (604) 687-4457
EMAIL: info@shapearchitecture.ca
WEB: www.shapearchitecture.ca

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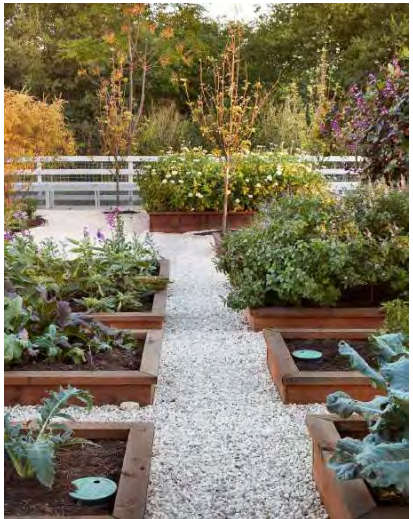
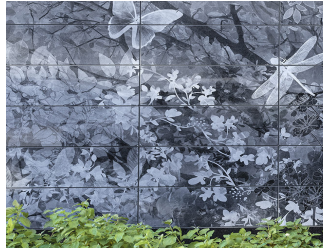
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PLANT LIST + IMAGES

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 WEB: www.locidesign.ca

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Architecture Inc.

1462 WEST 7TH AVENUE
 VANCOUVER, BC CANADA
 V6H 1C1
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GROUND LEVEL PRECEDENT IMAGES

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V6H 1C1

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DAYCARE PRECEDENTS IMAGES

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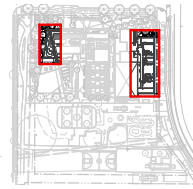
L6.1

MATERIALS LEGEND - LEVEL 2

SYMBOL	KEY	DESCRIPTION	DETAIL
	L6	PLANTING TYPE 6: LEVEL 2 GREEN ROOF Sedum Green Roof with 100mm Soil Depth	
	P12	PAVING TYPE 12: GRAVEL SURFACE+ BOULDERS 4" depth Gravel Ballast with Basalt Boulder Clusters	
	P9	PAVING TYPE 9: PIP RUBBER SURFACING Poured In Place Rubber Surfacing - 2 Colour Tones TBD	

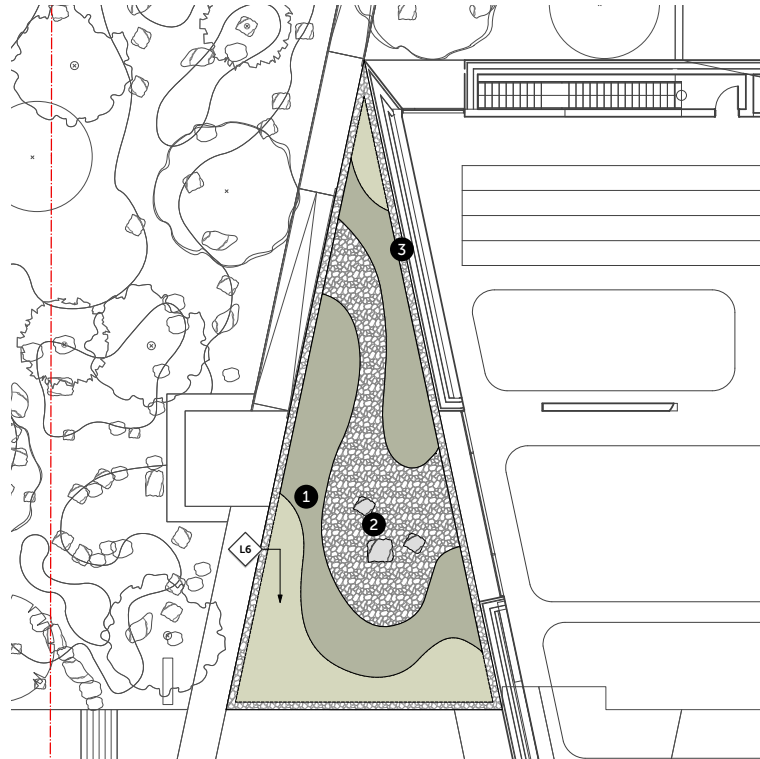
KEY LEGEND

- 1 EXTENSIVE SEDUM GREEN ROOF
- 2 SMALL BOULDERS
- 3 RIVER ROCK PERIMETER BALLAST
- 4 PIP RUBBER SURFACING (DESIGN TBD)

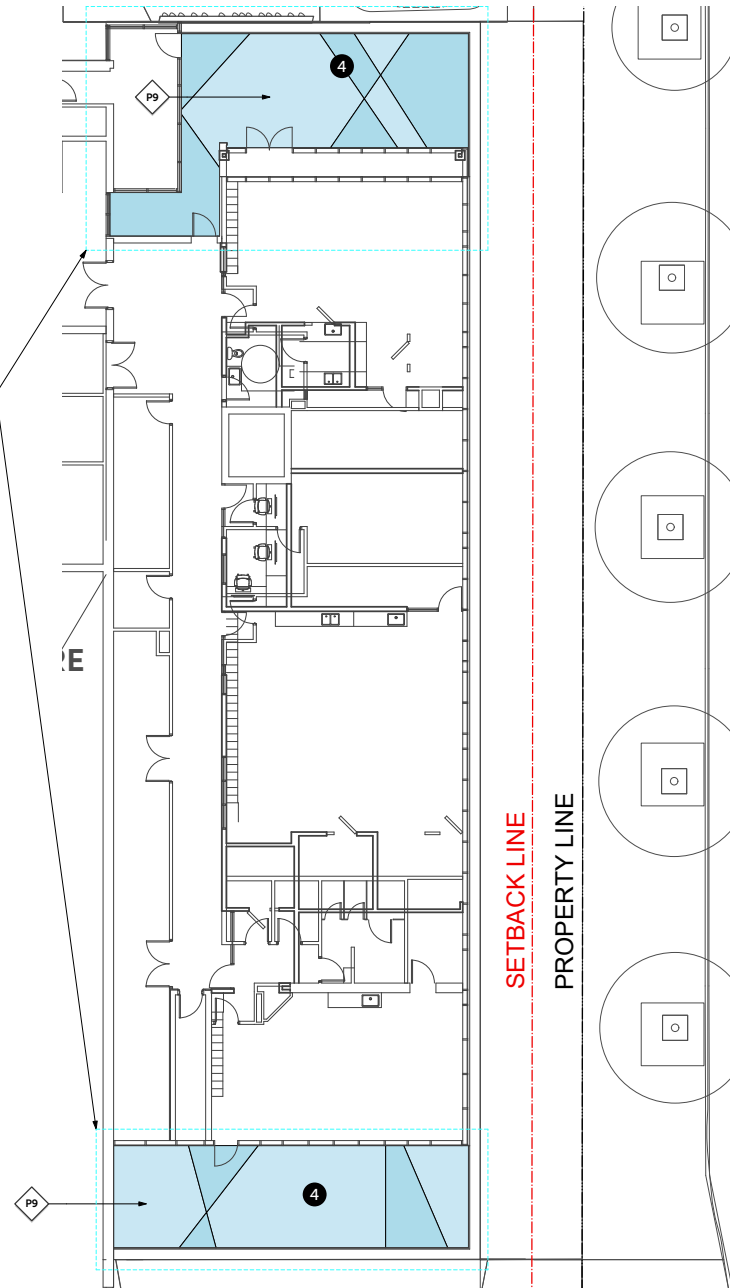


KEY PLAN ↑

PIP SURFACING /PLAY EQUIPMENT /FINAL DESIGN TO BE DETERMINED. \$250-\$300 PER SQ.METER COST FOR THE DAY CARE OUTDOOR PLAY AREA.



1 GREEN ROOF LEVEL 2 CONCEPT PLAN
Scale: 1:100



2 DAYCARE LEVEL 2 CONCEPT PLAN
Scale: 1:100



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VANCOUVER, BC CANADA
V6N 2S3

SHAPE
Architecture Inc.

1462 WEST 7TH AVENUE
VANCOUVER, BC CANADA
V6B 1C1

TEL: (604) 687-4457
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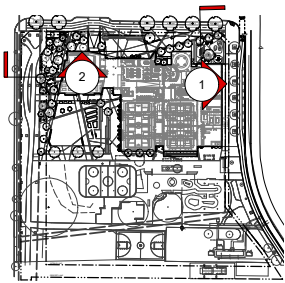
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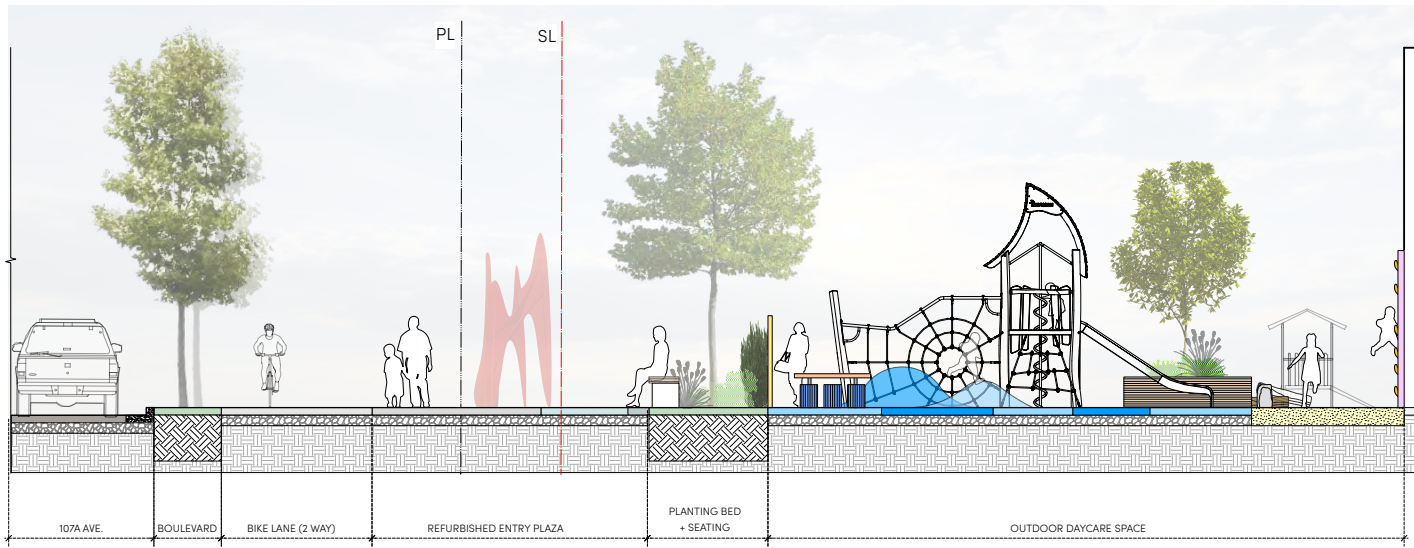
OVERALL ROOF CONCEPT PLAN

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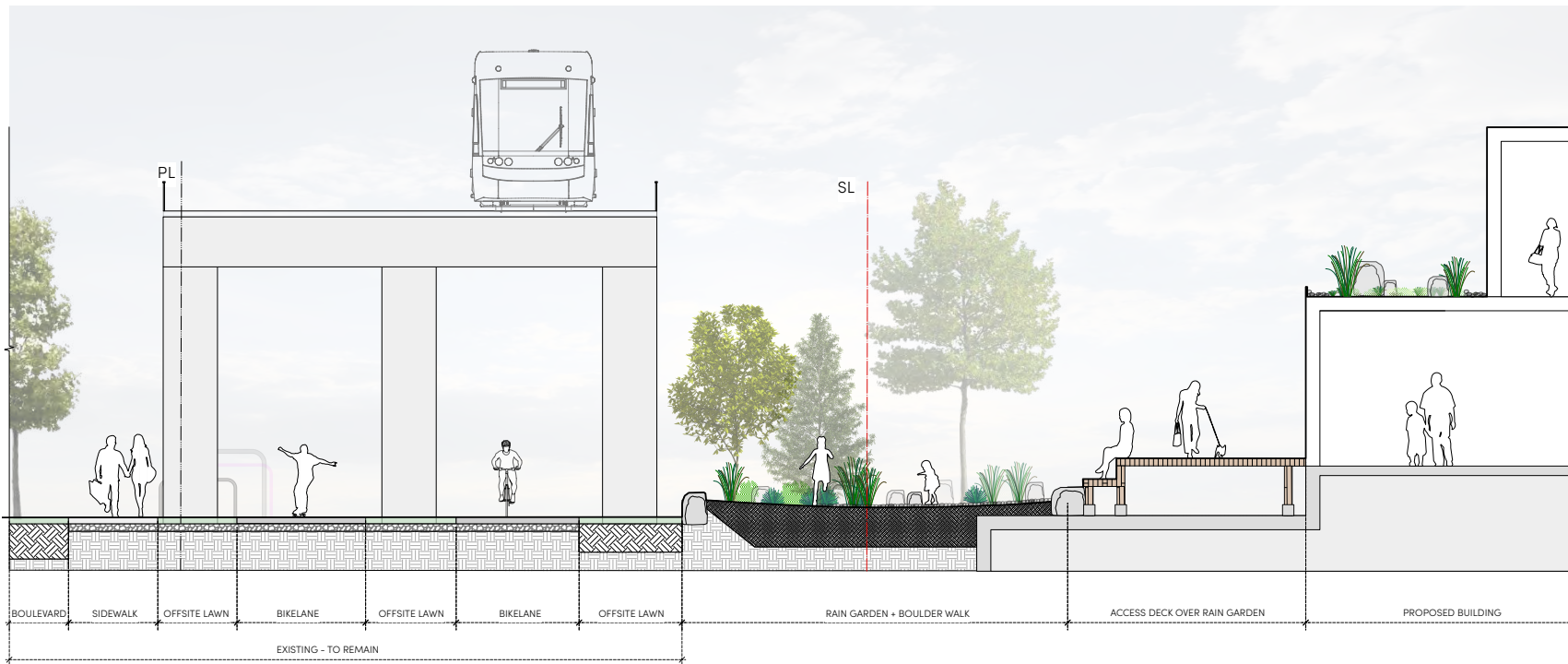
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KEY PLAN
Scale: 1:1500



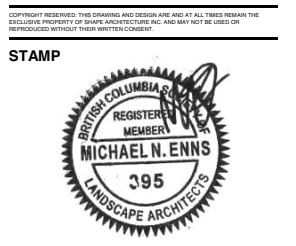
1 SECTION 1 - REFURBISHED ENTRY PLAZA ALONG 107A AVE.
Scale: 1:50



2 SECTION 2 - WEST EDGE CONDITION ALONG UNIVERSITY BLVD
Scale: 1:50

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V6N 2E3
TEL: (604) 694-0053
WEB: www.locidesign.ca

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1462 WEST 7TH AVENUE
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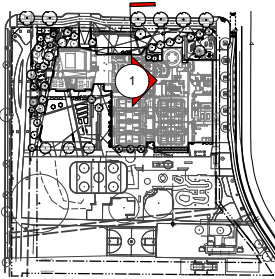
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SECTIONS

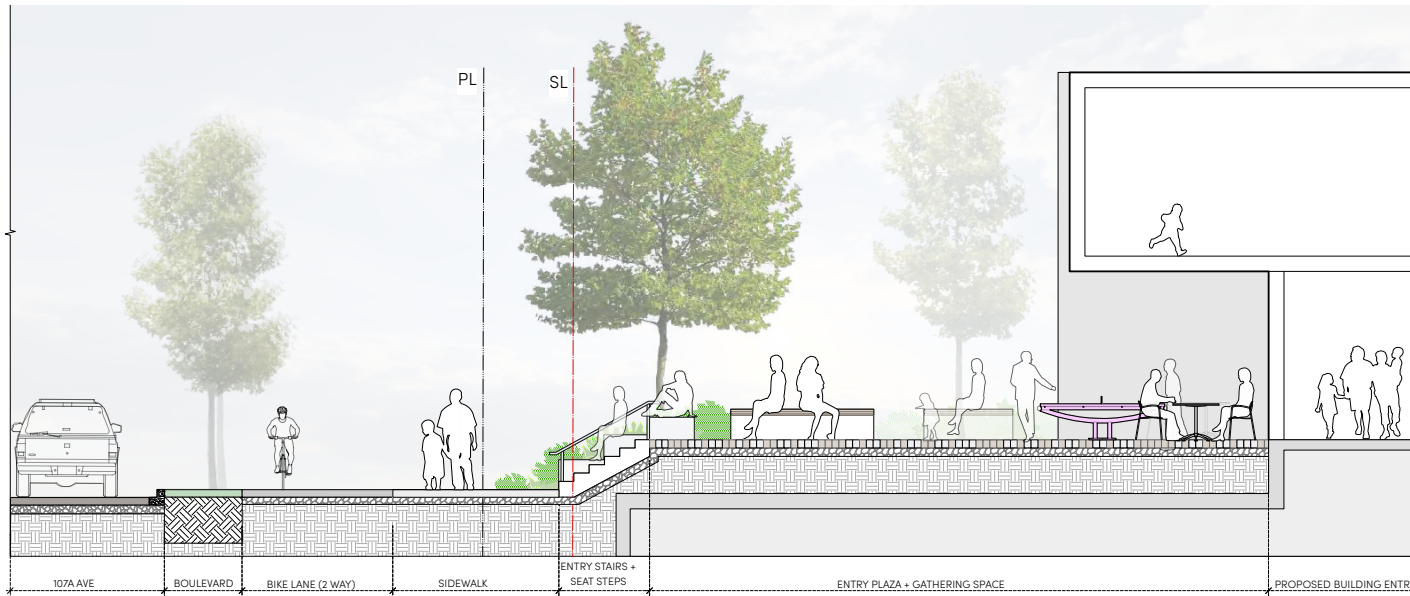
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KEY PLAN

Scale:



1 SECTION 3 - ENTRY PLAZA
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VANCOUVER, BC CANADA
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	22-0205	

CHUCK BAILEY RECREATION CENTRE EXPANSION

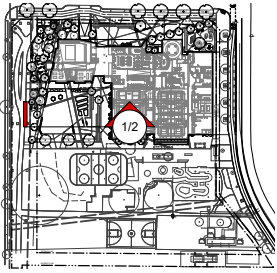
13458 107a Ave, Surrey, BC V3T 0G4

SUBMISSION TO ADP (SEPT. 8) 22-0205

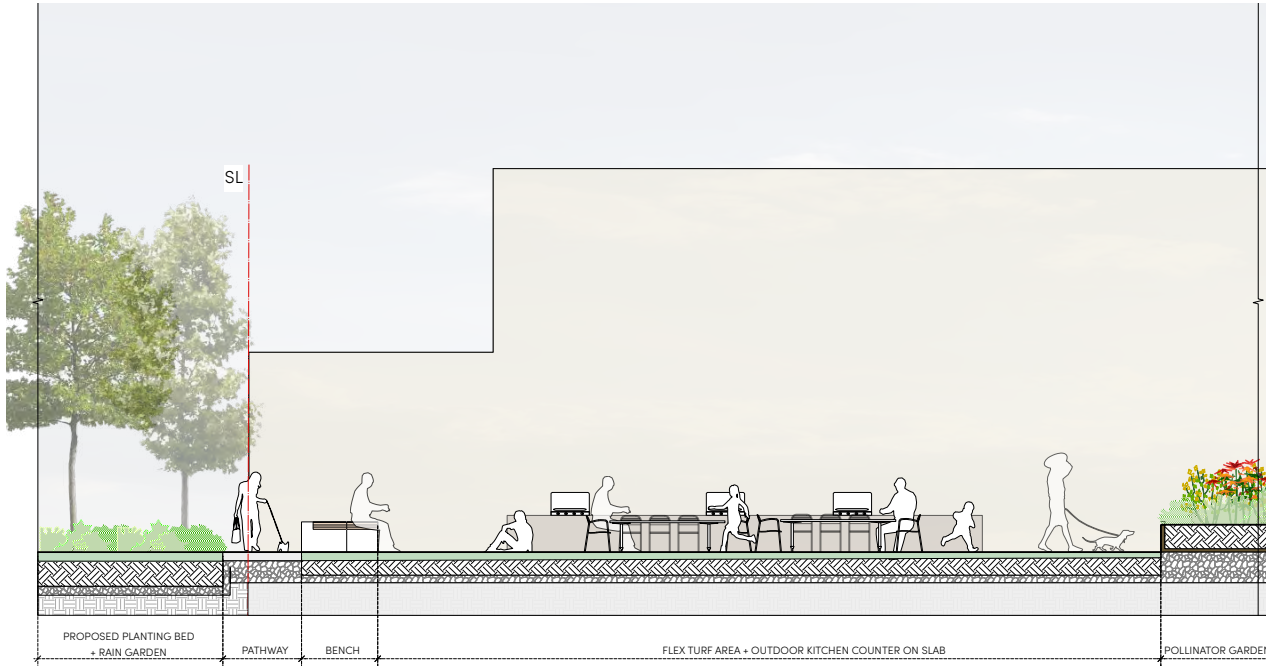
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DATE	26 JULY 2022
DRAWN BY	DS/CB
CHECKED BY	ME
SCALE	
JOB NUMBER	21064

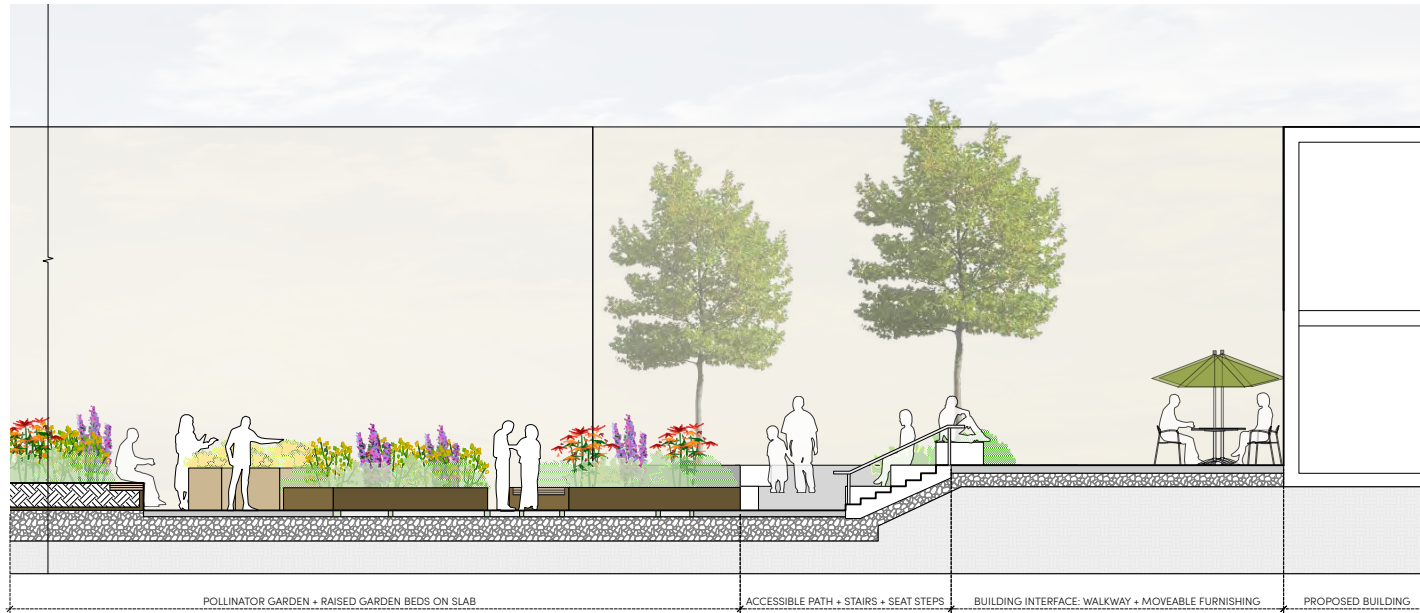
L8.1



KEY PLAN
Scale: ↑



1 SECTION 4 - "SOCIAL HEART" COMMON AREA - WEST
Scale: 1:50



2 SECTION 4 - "SOCIAL HEART" COMMON AREA - EAST
Scale: 1:50

loci

LANDSCAPE ARCHITECTURE + URBAN DESIGN
1738 KINGSWAY
VANCOUVER, BC CANADA
V6N 2E3
TEL: (604) 694-0053
WEB: www.locidesign.ca

SHAPE

Architecture Inc.

1462 WEST 7TH AVENUE
VANCOUVER, BC CANADA
V6B 1C1
TEL: (604) 687-4457
EMAIL: info@shapearchitecture.ca
WEB: www.shapearchitecture.ca

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STAMP



NOTES

NO DESCRIPTION

REVISIONS

NO	DESCRIPTION	DATE
H	Issued for Class B Costing Coordination	22-07-15
I	Issued for Class B Costing	22-07-26
J	Issued for ADP (Sept. 8) Checklist V.1	22-08-15
K	Submission to ADP (Sept. 8)	22-08-25

CHUCK BAILEY RECREATION CENTRE EXPANSION

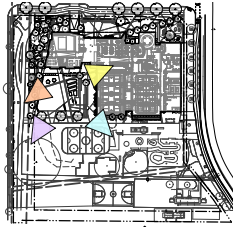
13458 107a Ave, Surrey, BC V3T 0G4

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SECTIONS

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JOB NUMBER	21064

L8.2



1 KEY PLAN
Scale: ↑



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VANCOUVER, BC CANADA
V6N 2E3
TEL: (604) 694-0053
WWW.LOCIDESIGN.CA

SHAPE

Architecture Inc.

1462 WEST 7TH AVENUE
VANCOUVER, BC CANADA
V6H 1C1
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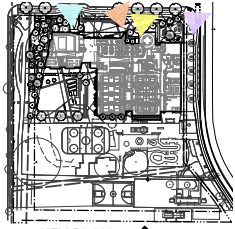
13458 107a Ave, Surrey, BC V3T 0G4

SUBMISSION TO ADP (SEPT. 8) 22-0205

RENDERINGS

DATE	26 JULY 2022
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CHECKED BY	ME
SCALE	
JOB NUMBER	21064

L9.0



1 KEY PLAN
Scale: ↑



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VANCOUVER, BC CANADA
V6N 2E3

SHAPE

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1462 WEST 7TH AVENUE
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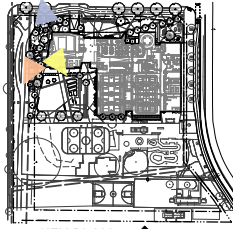
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SUBMISSION TO ADP (SEPT. 8) 22-0205

RENDERINGS

DATE	26 JULY 2022
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CHECKED BY	ME
SCALE	
JOB NUMBER	21064

L9.1



1 KEY PLAN
Scale: ↑



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1738 KINGSWAY
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REVISIONS

NO	DESCRIPTION	DATE
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**CHUCK BAILEY
RECREATION CENTRE
EXPANSION**

13458 107a Ave, Surrey, BC V3T 0G4

SUBMISSION TO ADP (SEPT. 8) 22-0205

RENDERINGS

DATE	26 JULY 2022
DRAWN BY	DS/CB
CHECKED BY	ME
SCALE	
JOB NUMBER	21064

L9.2

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **September 12, 2022** PROJECT FILE: **7822-0205-00**

RE: **Engineering Requirements (Recreation Facility)
Location: 13458 107A Avenue**

DEVELOPMENT PERMIT

The following conditions are associated with the Development Permit but can be addressed through Building Permit Process prior to issuance of the Building Permit.

Property and Right-of-Way Requirements

- Provide approximately 1.3m wide statutory rights-of-way (SRW) along University Drive for ultimate 27.0m road allowance.
- Provide SRW for required corner cut.
- Provide 0.5m wide SRW along City Parkway and 107A Avenue for IC and sidewalk maintenance.

Works and Services

- Construct road works along University Drive, 107A Avenue, and City Parkway.
- Implement the recommendations of geotechnical report and the arborist.
- Complete drainage catchment analysis to determine existing capacities. Resolve downstream constraints, as identified.
- Construct 250mm water main along University Drive if not constructed by 7817-0517-00.
- Provide water, storm and sanitary service connections to service the development, and abandon all existing connections.
- Register applicable legal documents as determined through detailed design.
- Pay amenity charge for undergrounding the existing third party utilities.

A Servicing Agreement is required prior to issuance of the Building Permit.

DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit beyond those noted above.



Jeff Pang, P.Eng.
Development Services Manager
HB4

4.0 Tree Preservation Summary

Table 2: City of Surrey tree preservation summary table for on-site and off-site trees, including the number of replacement trees proposed.

Surrey Project Number

Site Address

Chuck Bailey Recreation Centre Expansion, Tom Binnie Park

Registered Arborist

Cody Laschowski

On-Site Trees	Number of Trees
Protected Trees Identified (On-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	73
Protected Trees to be Removed	44
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	29
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\qquad \qquad \qquad \text{X one (1) = 0}$ - All other Trees Requiring 2 to 1 Replacement Ratio $44 \quad \text{X two (2) = 88}$	88
Replacement Trees Proposed	52
Replacement Trees in Deficit	36
Protected Trees to be Retained in Proposed Open Space / Riparian Areas	0

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\qquad \qquad \qquad \text{X one (1) = 0}$ - All other Trees Requiring 2 to 1 Replacement Ratio $\qquad \qquad \qquad \text{X two (2) = 0}$	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

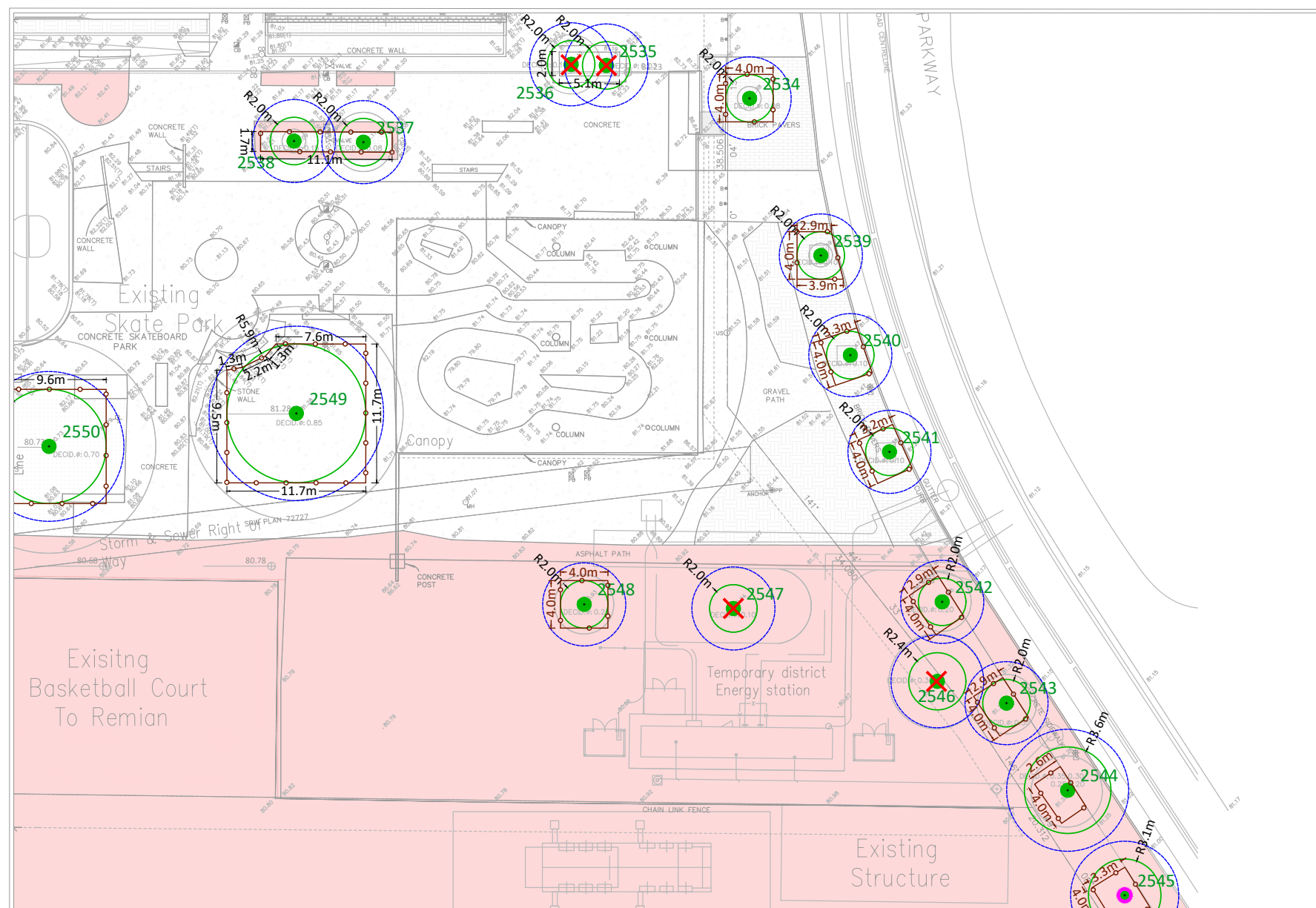
Summary, report and plan prepared and submitted by



Signature of Arborist

May 25, 2022

Date

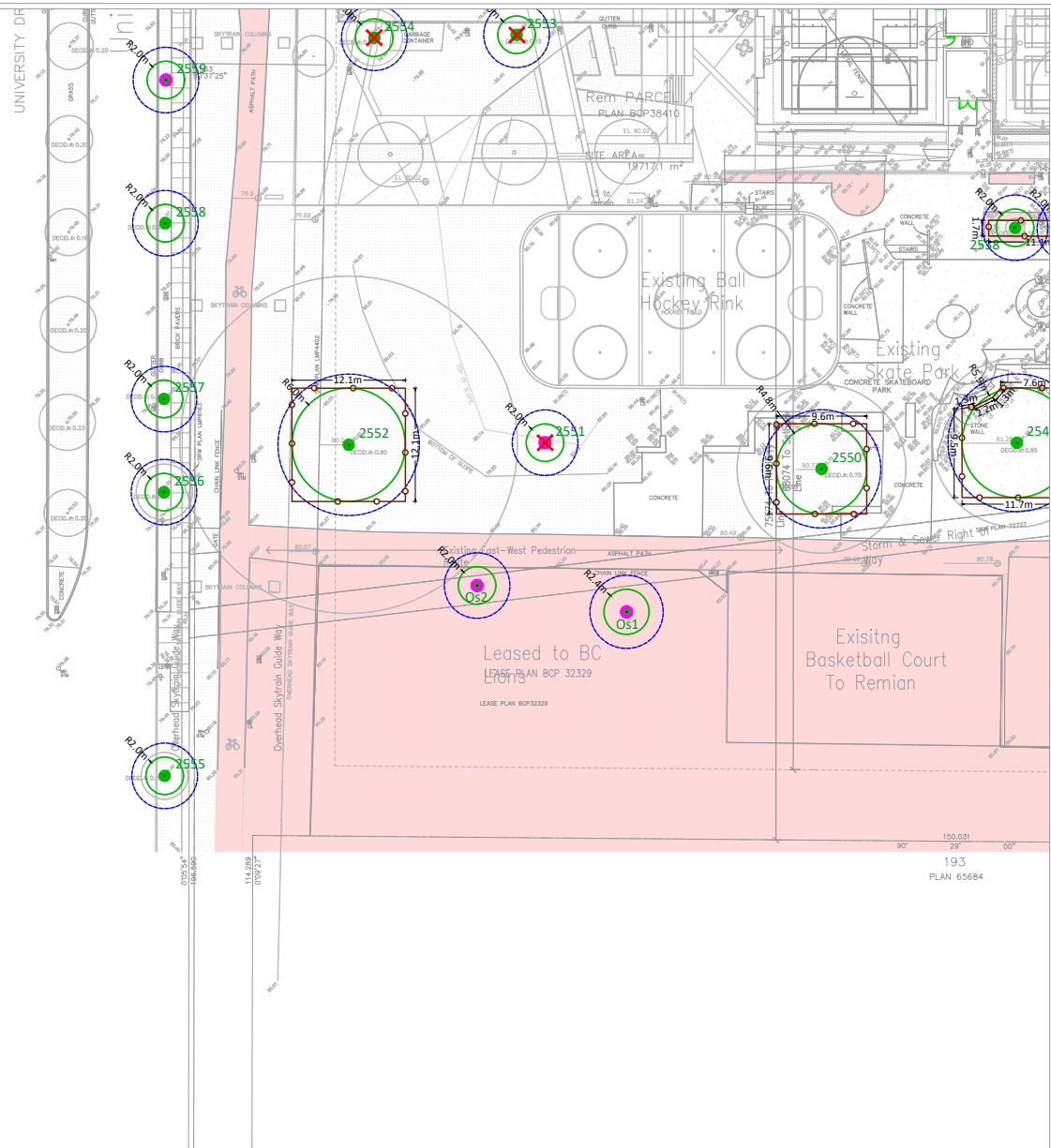


LEGEND

—	TREE PROTECTION ZONE
—	NO-BUILD ZONE
—	TREE PROTECTION FENCE
●	TREE TO BE RETAINED
●	UN-SURVEYED TREE
✕	TREE TO BE REMOVED

- NOTES**
- The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
 - All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
 - The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (If the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
 - Any construction activities or grade changes within the Root Protection Zone must be approved by the project arborist.
 - This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
 - This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

- REFERENCE DRAWINGS**
- Base Survey by: Matson Peck & Topliss Surveyors and Engineers dated August 9, 2021



LEGEND

	TREE PROTECTION ZONE
	NO-BUILD ZONE
	TREE PROTECTION FENCE
	TREE TO BE RETAINED
	UN-SURVEYED TREE
	TREE TO BE REMOVED

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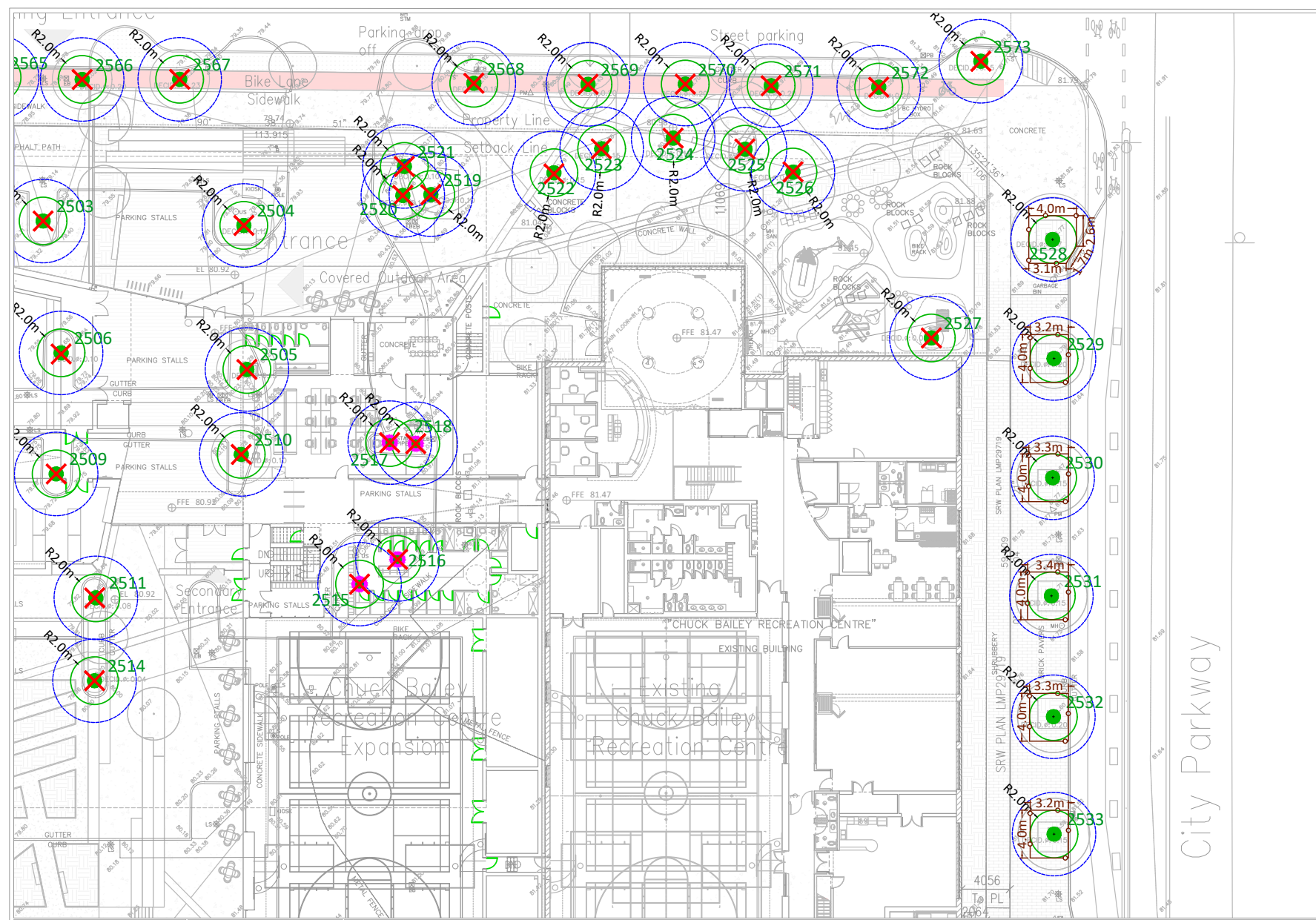


3559 COMMERCIAL STREET
VANCOUVER BC | V5N 4E8
T 604.733.4886 | F 604.733.4879

Drawing title: Tree Retention and Removal Plan, Southwest
Project address: Chuck Bailey Recreation Center Expansion, Tom Binnie Park
Client: City of Surrey

Drawing No: 001
Date: 2022/05/25
Drawn by: CL
Page Size: TABLOID 11"x17"

Page #
2 of 4



LEGEND

	TREE PROTECTION ZONE
	NO-BUILD ZONE
	TREE PROTECTION FENCE
	TREE TO BE RETAINED
	UN-SURVEYED TREE
	TREE TO BE REMOVED

NOTES

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REFERENCE DRAWINGS

1. Base Survey by: Matson Peck & Topliss Surveyors and Engineers dated August 9, 2021



3559 COMMERCIAL STREET
VANCOUVER BC | V5N 4E8
T 604.733.4886 | F 604.733.4879

Drawing title: Tree Retention and Removal Plan, Northeast
Project address: Chuck Bailey Recreation Center Expansion, Tom Binie Park
Client: City of Surrey

Drawing No: 001
Date: 2022/05/25
Drawn by: CL
Page Size: TABLOID 11"x17"

Page #
3 of 4

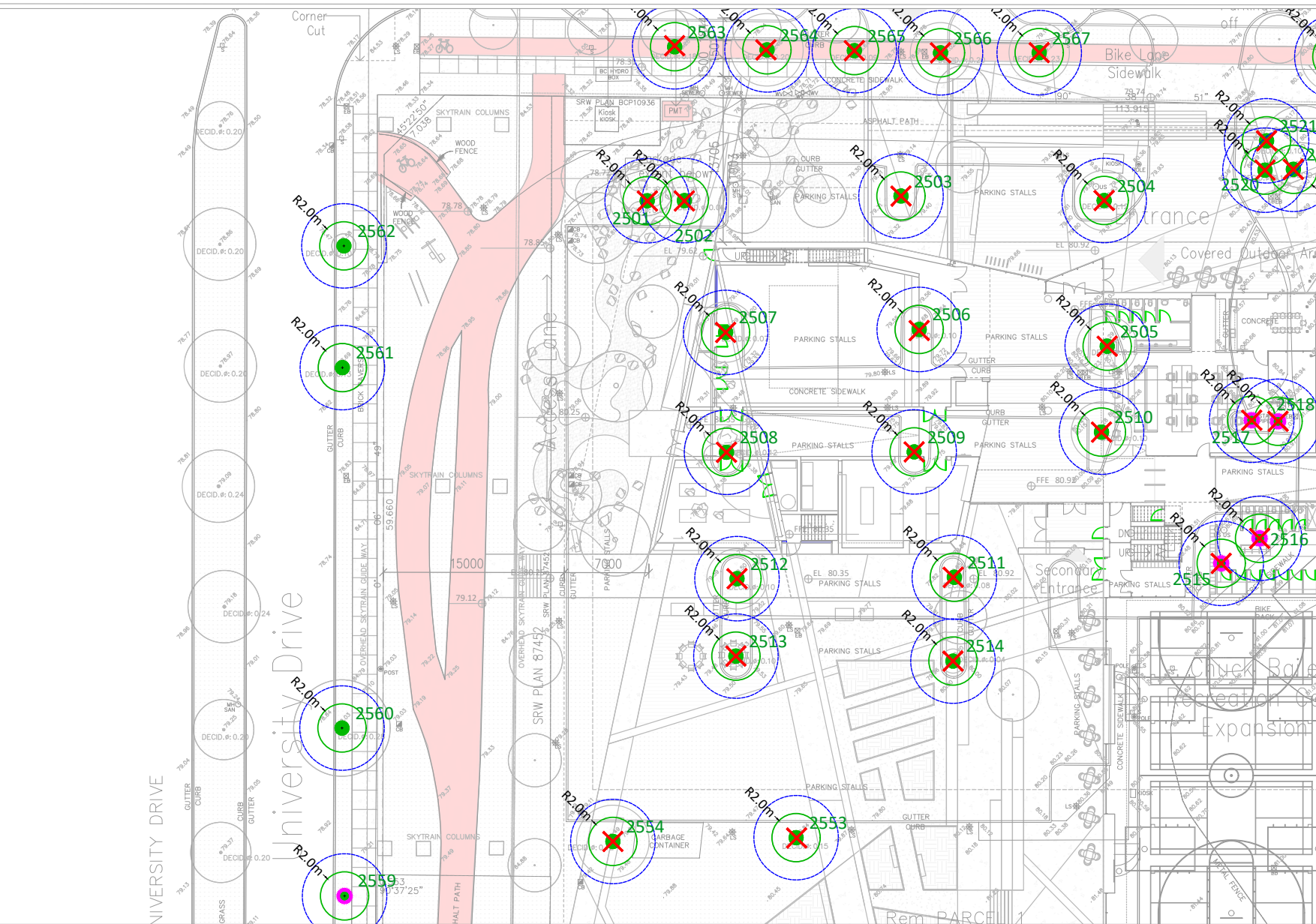


3559 COMMERCIAL STREET
VANCOUVER BC | V5N 4E8
T 604.733.4886 | F 604.733.4879

Drawing title: Tree Retention and Removal Plan, Northwest
Project address: Chuck Bailey Recreation Center Expansion, Tom Binnie Park
Client: City of Surrey

Drawing No: 001
Date: 2022/05/25
Drawn by: CL
Page Size: TABLOID 11"x17"

Page #
4 of 4



- LEGEND**
- TREE PROTECTION ZONE
 - NO-BUILD ZONE
 - TREE PROTECTION FENCE
 - TREE TO BE RETAINED
 - UN-SURVEYED TREE
 - ✗ TREE TO BE REMOVED

- NOTES**
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- REFERENCE DRAWINGS**
1. Base Survey by: Matson Peck & Topliss Surveyors and Engineers dated August 9, 2021



DRAFT Advisory Design Panel Minutes

Location: Virtual
THURSDAY, SEPTEMBER 8, 2022
Time: 4:00 p.m.

Present:PanelMembers:

R. Drew, Chair
J. Azizi
M. Cheung
G. Brumpton

Guests:

Loretta Kong, Shape Architecture Inc.
Mike Enns, Loci Landscape Architecture + Urban Design
Jessie Arora, DF Architecture Inc.
Zubin Billimoria, DF Architecture Inc.
David Jerke, VDZ + Associates
Mike Kompter, HUB Engineering
Kyla Bryant-Milne, Pacific Land Group

Staff Present:

A. McLean, City Architect
N. Chow, Urban Design Planner
S. Maleknia, Urban Design Planner
L. Blake, Assistant City Clerk

NOTE: these are draft minutes that have not been adopted by the Panel.

B. NEW SUBMISSIONS**1. Time: 4:05 p.m.**

File: 7922-0205-00
New or Resubmit: New
Last Submission Date: N/A
Description: Development Permit for Form and Character and Development Variance Permit to allow the expansion of the Chuck Bailey Recreation Centre in City Centre and to reduce the minimum off-street parking requirement from approximately 160 to 95 stalls within one (1) level of underground parking.
Address: 13458 – 107A Avenue
Developer: City of Surrey
Architect: Loretta Kong, Architect AIBC, Shape Architecture Inc.
Landscape Architect: Mike Enns, Loci Landscape Architecture + Urban Design
Planner: Christopher Lumsden
Urban Design Planner: Sam Maleknia

The Urban Design Planner advised that City of Surrey is expanding Chuck Bailey Recreation Centre in the Surrey's growing downtown community.

To meet the current and future needs of the City Centre and surrounding Whalley neighbourhood, the expansion will include:

- an expanded range of recreation, and sports programming;
- arts and culture programming; and
- new indoor and outdoor amenities; and enhanced learning and social opportunities.

The Urban Design Planner noted that the proposal generally complies with recreation centre requirements and vision in City Center and that staff generally support the project.

The Panel was asked to comment on the architectural expression, massing, overall design language, the relationship to the existing building, landscape concept, and public realm interfaces.

The Project Architect presented an overview of the site planning, streetscapes, building concept, and 3D Views.

The Landscape Architect presented an overview of the general concept for the Landscape design.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by M. Cheung
Seconded by R. Drew
That the Advisory Design Panel (ADP)
SUPPORT the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department.

Recommend that the landscaping submission return to staff for further development.

Defeated
With J. Azizi and G. Brumpton opposed.

It was Moved by G. Brumpton
Seconded by M. Cheung
That the Advisory Design Panel (ADP) is in
CONDITIONAL support of the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department and, at the discretion of Planning staff, resubmit the project to the ADP for review.

Carried
With J. Azizi opposed.

The Panel noted that this project continues the great legacy of strong institutional buildings in Surrey.

Key Points

- Consider developing a direct connection between the indoor and outdoor childcare spaces.
- Consider providing more underground parking spaces.
- Consider revealing more of the existing building on the west elevation or consider different ways of concealing it.
- Consider further development of the detailing at the window "recesses" and parapet and carefully manage the flashings.

- Consider relocating the mechanical rooms to the parkade to provide a larger contiguous indoor gathering space.
- Consider reducing the scale of the building signage wall along the north elevation to create a stronger visual connection of the lobby from the northwest corner of the site.
- Consider connecting with Fraser Health as early as possible to confirm the design of the childcare amenities.
- Consider developing a fence or wall solution at the childcare amenity that more strongly borrows from the design vocabulary of the addition.
- Consider allowing for a more direct, Accessible connection to the building entries. Review the proposed stairs, and grading.
- Consider adding more trees to the outdoor amenity and the north entry Plaza
- Consider locating the Accessible stalls closer to the elevator.

Site

- There is a good balance between indoor and outdoor spaces. The southwest corner is an ideal location for outdoor facilities with great sun exposure.
- The public realm interface is well considered.
- Reconsider the outdoor space adjacent to the gym facilities. Consider adding trees and subdividing it into smaller spaces to help with the scale.

Form and Character

- The building materials, massing and programming are all generally positive.
- Further review the connection of the existing building to the expansion, retaining the architectural expression of the existing building, e.g. the wooden curvature, and articulating the components of the expansion.
- Review if the clean edge character with the selected materials can be easily achieved the way it is shown in the 3D images to avoid the loss of the “design intent”.
- Address the detailing of materials and architectural feature transitions to achieve a practical solution, e.g. at the interface of brick and the window recess.
- Consider increasing the fenestration on the north façade to allow visibility into the exercise space to animate the façade, and increase the amount of light brought into the lobby space and make the massing more friendly.
- Ensure there is adequate solar access to the children's play area at the northeast corner.
- Encourage an acoustic study to address SkyTrain noise.
- Explore an alternate location for the north entry to reflect the prominence of the proposed plaza.
- Consider relocating the washrooms in front of the north plaza.
- The solid, elevated architectural mass of the north façade with the slit window, and the offset placement of the main entry does not appear to be creating a welcoming, inclusive, legible, people-focused entry experience. Appreciate the bold architectural statement and agree that the design of public buildings must be exceptional and iconic, but this can be done while creating a public building that everyone in the community feels comfortable entering.

Landscape

- The landscape program is rich, well considered, and relates well to the interior spaces.
- Moveable furniture sounds great and will add a lot to the experience of the site. Ensure security requirements are considered with the operations team, especially the effort to secure at night and space for storage.

CPTED

- Consider visibility to the outdoor childcare space, as there is a disconnect that could create safety concerns. In addition, that area is located near two major streets.

Sustainability

- The overall building form appears to be energy efficient.

Accessibility

- The grading has been well handled, but ensure that the pedestrian ramps stays less than 5% throughout the site.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0205-00

Issued To: **CITY OF SURREY**

("the Owner")

Address of Owner: 13450 104 AVE
SURREY BC V3T 1V8

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 027-660-770
Parcel 1 Section 22 Block 5 North Range 2 West New Westminster District Plan Bcp38410
Except Part On Plan Bcp40423
13458 - 107A Avenue

(the "Land")
4. Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 2008, No. 16767 is varied as follows:
 - (a) In Section H. Off-Street Parking, the minimum number of required off-street parking spaces is reduced from 160 to 95.
5. This development variance permit applies to only the that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

STAMP

NOTES

NO	DESCRIPTION

REVISIONS

NO	DESCRIPTION	DATE
4	Issued for Development Permit	220821
6	Issued for ADP (Sept. 8) Checklist V.1	220815
7	Submission to ADP (Sept. 8) 22-0205	220825

CHUCK BAILEY RECREATION CENTRE EXPANSION

13458 107a Ave, Surrey, BC V3T 0G4

Submission to ADP (Sept. 8) 22-0205

SITE PLAN

DATE	31 August 2022
DRAWN BY	AG/WC
CHECKED BY	LK/AS
SCALE	As indicated
JOB NUMBER	2106

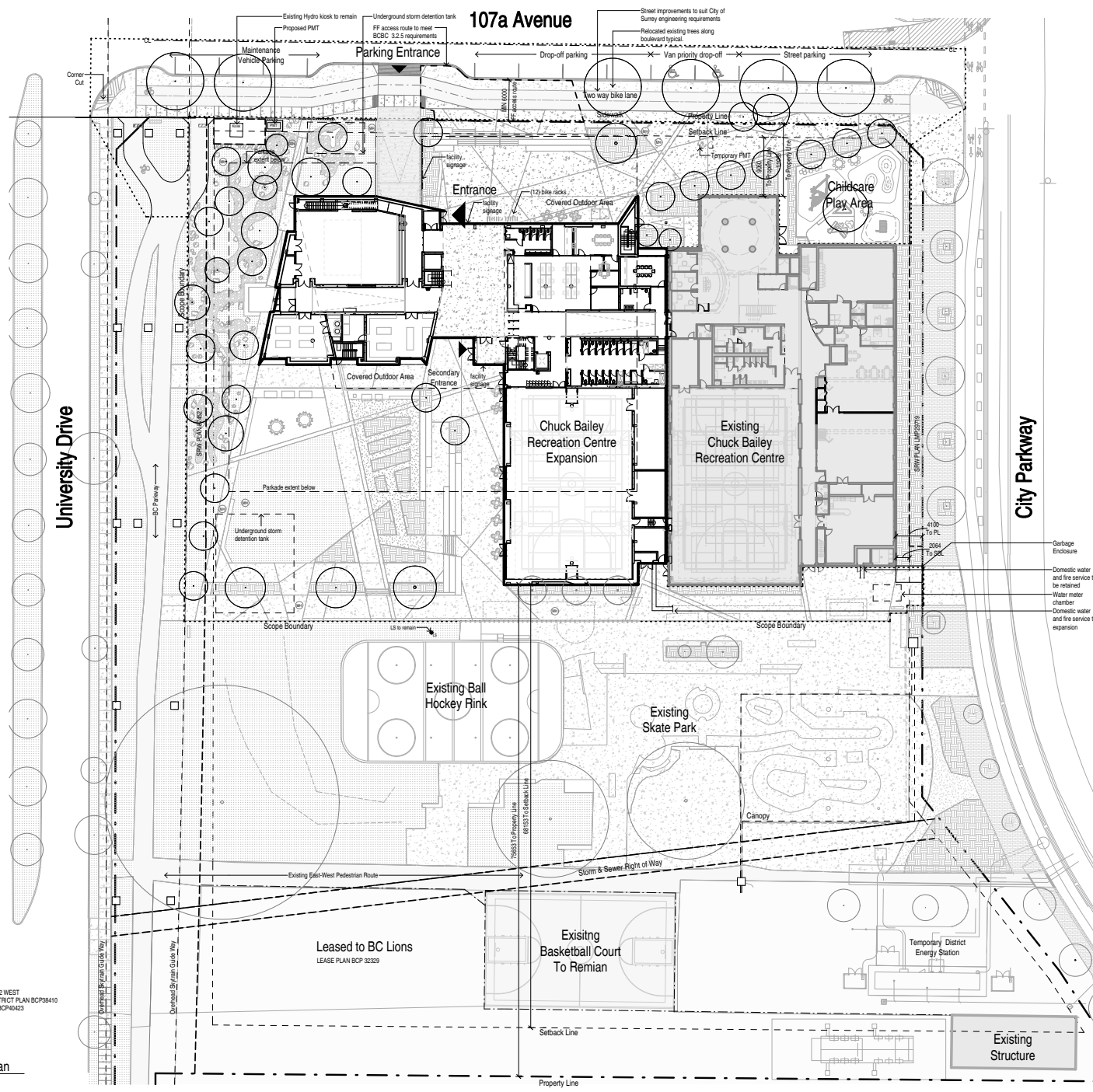
A013

GENERAL NOTES

- FOR BITE SURVEY INFORMATION REFER TO SURVEY PLAN OF PARCEL 1 SECTION 22 BLOCK 5 NORTH RANGE 3 WEST NEW WESTMINSTER DISTRICT PLAN BCP38410 EXCEPT PART ON PLAN SOPS483 BY MATSON PECK & TOPLESS SURVEYORS & ENGINEERS

SITE LEGEND

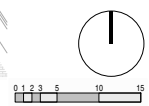
- PROPOSED BUILDING
- EXISTING BUILDING
- PROPERTY LINE
- SETBACK LINE
- SRW LINE
- SCOPE BOUNDARY LINE
- FF ACCESS ROUTE
- OVERHEAD LINE
- SUB-GRADE SERVICES
- AT GRADE SERVICES
- LANDSCAPE LINES BUILDING ENTRANCE
- ACCESSIBLE STALL
- CYCLING ROUTE
- NEW TREES
- EXISTING TREES
- SOD
- ASPHALT
- PAVEMENT
- GRAVEL
- PLANTER
- BRICK



PARCEL 1 SECTION 22
 BLOCK 5 NORTH RANGE 3 WEST
 NEW WESTMINSTER DISTRICT PLAN BCP38410
 EXCEPT PART ON PLAN BCP40423

CIVIC ADDRESS
 #13458- 107A AVENUE
 SURREY, BC

1 Site Plan
 1:300



STAMP

NOTES

NO	DESCRIPTION

REVISIONS

NO	DESCRIPTION	DATE
4	Issued for Development Permit	220821
6	Issued for ADP (Sept. 8) Checklist V.1	220815
7	Submission to ADP (Sept. 8) 22-0205	220825
8	Submission to ADP (Sept. 8) 22-0205	220831

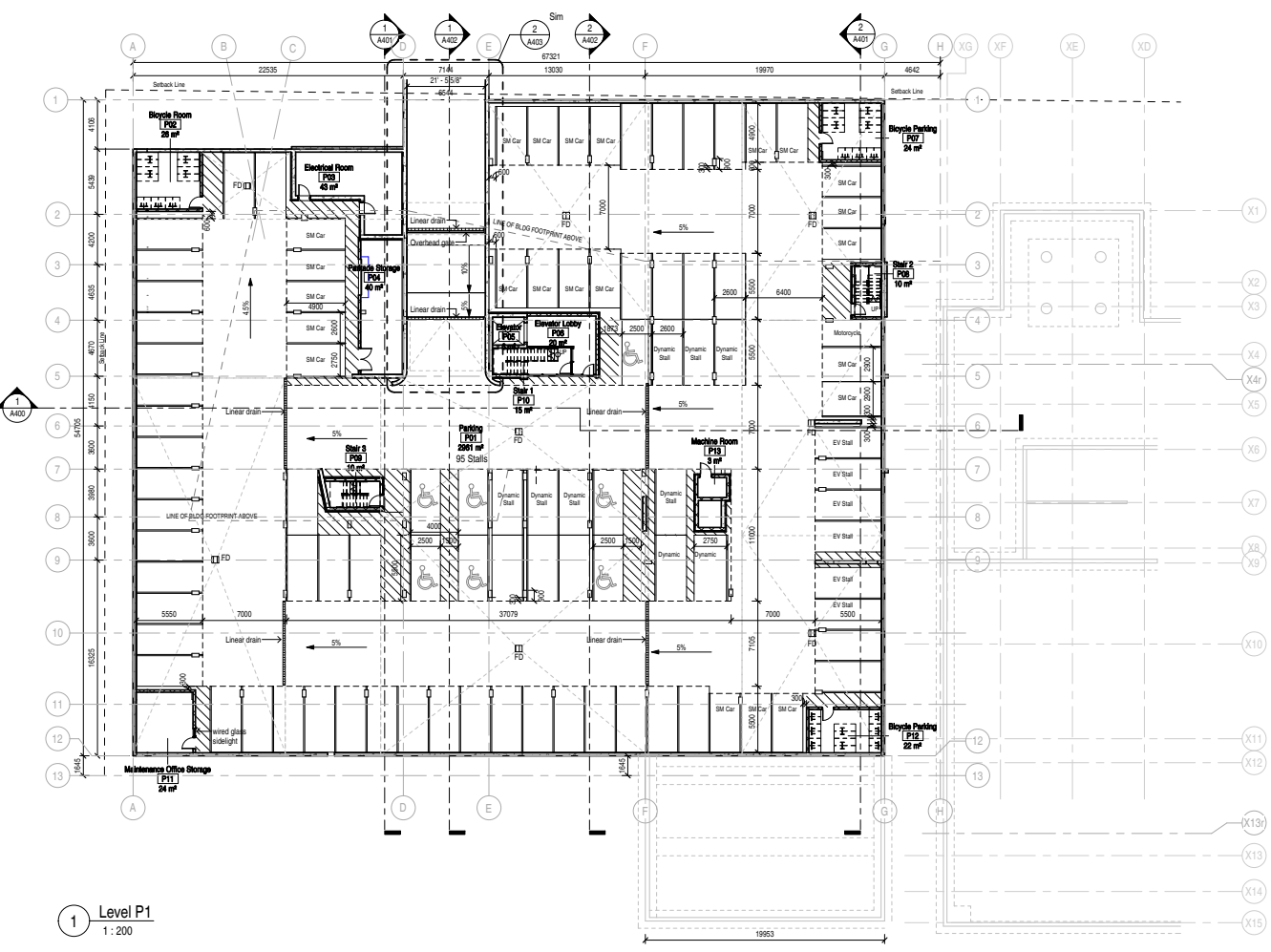
CHUCK BAILEY RECREATION CENTRE EXPANSION

13458 107a Ave. Surrey, BC V3T 0G4

Submission to ADP (Sept. 8) 22-0205

LEVEL P PLAN

DATE	31 August 2022
DRAWN BY	AG/WC
CHECKED BY	LK/AS
SCALE	1:200
JOB NUMBER	2106



To reduce the required off-street parking requirement from 160 to 95 stalls.