

**PROPOSAL:**

- **LAP Amendment** to reduce the size of the “Commercial” node and increase the amount of “Business Park” area.
- **Rezoning** from A-2 to CD (based on IB-1 and C-8)
- **Development Permit**
- **Development Variance Permit**

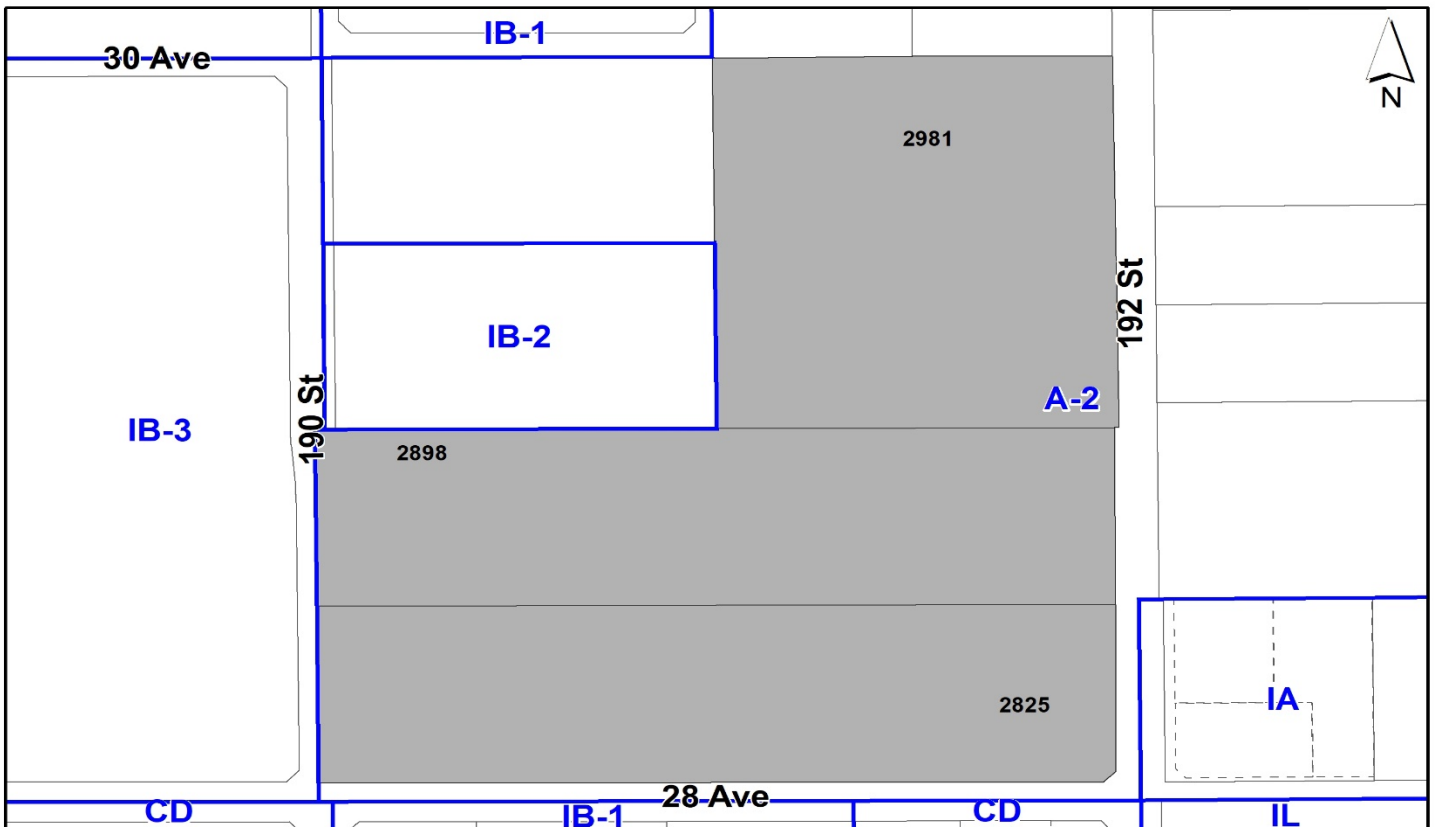
to permit the development of two multi-tenant light-impact industrial buildings with an ancillary commercial node with a total floor area of 22,607 square metres and 44,795 square metres, respectively

**LOCATION:** 2981 – 192 Street  
 2898 – 190 Street  
 2825 – 192 Street

**ZONING:** A-2

**OCP DESIGNATION:** Mixed Employment

**LAP DESIGNATION:** “Business Park”, “Business Park (Office)”, “Landscaping Strips”, and “Commercial”



## RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Campbell Heights Local Area Plan (LAP) to reduce the size of the “Commercial” node and increase the amount of “Business Park” area.
- Proposing to reduce the industrial parking rate to allow for a reduced number of parking stalls on-site.

## RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal generally complies with the “Business Park”, “Business Park (Office)”, “Landscaping Strips”, and “Commercial”, land use designations in the Campbell Heights Local Area Plan (LAP); however, the applicant proposes to reduce the size of the “Commercial” Node.
- The proposed reduced commercial area will allow for greater floor area dedicated to light-impact industrial business park uses. While the reduced area allocated to commercial uses is a departure from the Campbell Heights LAP, the intent of providing local commercial services for employees in the area will be met with the provision of a minimum of 1,999 square metres of commercial floor area.
- The proposal complies with the Mixed Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal generally complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality materials and contemporary lines. The street interface, including the featured commercial node, has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The applicant is proposing to provide a total of 787 stalls on site, equating to a 11-stall (1%) reduction. The proposed reduction is considered minimal and is supported by registration of a restrictive covenant on title to limit the maximum amount of mezzanine floor area that would be permitted to be constructed.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone a portion of the subject site shown as Block A on the attached Survey Plan (Appendix I) from "Intensive Agriculture Zone (A-2)" to "Comprehensive Development Zone (CD)" [based on "Business Park 1 Zone (IB-1)"], and Block B on the attached Survey Plan from "Intensive Agriculture Zone (A-2)" to "Comprehensive Development Zone (CD)" [based on "Business Park 1 Zone (IB-1)" and "Community Commercial Zone (C-8)"], and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7922-0191-00 generally in accordance with the attached drawings (Appendix II).
3. Council approve Development Variance Permit No. 7922-0191-00 (Appendix V) varying the following, to proceed to Public Notification:
  - (a) to reduce the industrial parking rate from 1.0 parking spaces per 100 square metres to 0.983 parking spaces per 100 square metres.
4. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a finalized Transportation Impact Analysis report;
  - (c) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (h) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of City staff;
  - (i) registration of a Section 219 Restrictive Covenant to prohibit any use that require a Metro Vancouver air quality permit from locating on the site;

- (j) registration of a Section 219 Restrictive Covenant to adequately address the City’s needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
  - (k) registration of a Section 219 Restrictive Covenant to prohibit the conversion of the commercial area into light-impact industrial space; and
  - (l) registration of a Section 219 Restrictive Covenant to limit the amount of mezzanine floor area based on the current floor area proposed.
5. Council pass a resolution to amend the Campbell Heights Local Area Plan (LAP) to reduce the size of the “Commercial” node and increase the amount of “Business Park” area when the project is considered for final adoption.

**SITE CONTEXT & BACKGROUND**

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Underutilized Acreage agricultural lots with single family residences	“Business Park”, “Business Park (Office)”, “Landscaping Strips”, and “Commercial”	A-2
North:	Agricultural uses and a lot with an approved multi-tenant light-impact industrial building under Development Application No. 7919-0045-00 that was granted Final Adoption at the March 8, 2021 Regular Council – Land Use meeting.	Business Park”, “Business Park (Office)”, “Landscaping Strips”,	A-2, IB-2

Direction	Existing Use	LAP Designation	Existing Zone
East (Across 192 Street):	<p>Acreage agricultural lots under various development applications for proposed multi-tenant light-impact industrial buildings (7920-0321-00);</p> <p>A temporary truck and equipment storage facility approved under Development Application No. 7920-0106-00, which expired in November 2021. A subsequent TUP extension under Development Application No. 7921-0345-00 was conditionally supported by Council at the November 14, 2022 Regular Council – Public Hearing meeting; several unpermitted truck parking facilities with current Temporary Use Permit applications under Development Application Nos. 7922-0259-00 and 7922-0373-00;</p> <p>And a commercial development including a gas station, drive-through restaurant, and commercial office building that was approved under Development Application No. 7917-0411-00, which received Final Adoption at the November 14, 2022 Regular Council – Land Use meeting.</p>	“Business Park”, “Landscaping Strips”, and “Commercial”	CD (By-law No. 20305) and A-2
South (Across 28 Avenue):	Multi-tenant light-impact industrial buildings and a commercial retail plaza	“Technology Park or Business Park”, “Landscaping Strips”, and “Commercial”	CD (By-law No. 16180) and IB-1
West (Across 190 Street):	Light-impact industrial warehouses and a vacant property with an approved Development Permit for a 10,222 square metre multi-tenant light-impact industrial building under Development Application No. 7919-0045-00.	Business Park”, “Business Park (Office)”, “Landscaping Strips”,	A-2, IB-2, and IB-3

### Context & Background

- The subject site is approximately 11.4 hectares in size and is located in the Campbell Heights Business Park along the major truck transportation route of 192 Street. The site is designated “Mixed Employment” in the Official Community Plan (OCP) and “Business Park”, “Business Park (Office)”, “Landscaping Strips”, and “Commercial” in the Campbell Heights Local Area Plan (LAP). The property is zoned “Intensive Agriculture Zone (A-2)”.

- The “Commercial” designation is for a small portion of the subject site at its southeast corner. The “Commercial” designation on this property, together with “Commercial” designations on two other corners of the intersection of 192 Street and 28 Avenue form the main commercial node in Campbell Heights. The commercial node is intended to provide local serving amenities to employees of Campbell Heights Business Park.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant proposes to rezone the site from “Intensive Agriculture Zone (A-2)” to “Comprehensive Development Zone (CD)” based on “Business Park Zone (IB-1)” and “Community Commercial Zone (C-8)”; a Development Permit for Form and Character; Development Variance Permit to reduce the number of required parking spaces; and consolidation into a single property to permit the development of two multi-tenant light-impact industrial buildings with an ancillary commercial node with a total floor area of 22,607 square metres and 44,795 square metres, respectively.
- The applicant also proposes an Amendment to the Campbell Heights LAP to reduce the size of the “Commercial” node and increase the amount of “Business Park” area.
- Further discussion for the proposed LAP Amendment is provided in the Policy and By-law Considerations section.
- Further discussion for the proposed parking variance is provided in the Transportation Considerations section.

Proposed		
<b>Lot Area</b>		
Gross Site Area:	11.4 hectares	
Road Dedication:	1.0 hectare	
Undevelopable Area:	n/a	
Net Site Area:	10.4 hectares	
<b>Number of Lots:</b>	1	
<b>Building Height:</b>	<b>Building 1 (Block A)</b> 17.2 metres	<b>Building 2 (Block B)</b> 17.3 metres
<b>Floor Area Ratio (FAR):</b>	0.64	
<b>Floor Area</b>		
Industrial:	<b>Building 1</b> 20,636 sq. m.	<b>Building 2</b> 39,199.5 sq. m.
Office:	1,971 sq. m.	3,596 sq. m.
Commercial:	n/a	1,999 sq. m.
<b>Total:</b>	<b>22,607 sq. m.</b>	<b>44,795 sq. m.</b>

## Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
Parks, Recreation & Culture:	No concerns.  The closest active park is Latimer Park, with amenities including, a recreational trail network, and contains natural area. The park is Across the street from the development.
Surrey Fire Department:	No concerns.
Advisory Design Panel:	The application was not referred to the ADP but was reviewed by staff and found satisfactory.

## Transportation Considerations

### Road Network and Infrastructure

- The applicant will be required to provide the following improvements:
  - Dedication and construction of 30 Avenue along the northern property line. 30 Avenue is ultimately planned as a continuous connection between 188 Street and 194 Street and will provide full-movement ability for the block via a future signalized intersection at 192 Street;
  - Dedication and construction of the east side of 190 Street;
  - Dedication and construction of the north side of 28 Avenue; and
  - Dedication of the west side of 192 Street to protect for future arterial road widening.

### Traffic Impacts

- A transportation impact analysis (“TIA”) was provided for the subject proposal. Based on the TIA, the site is anticipated to generate approximately 323 vehicle trips in the peak hour (equating to five to six vehicles per minute).
- According to the TIA, the surrounding road network and intersections were found to operate at acceptable levels with implementation of mitigation measures. The applicant will be contributing towards future mitigation measures, including intersection improvements, as part of the subject proposal.

### Access

- The subject site is proposed to be accessed via several driveways to 30 Avenue, 192 Street, and 190 Street, and 28 Avenue.

- Staff worked with the applicant to ensure efficient and functional access management to the surrounding road network, in consideration of the long site frontages, existing and future signalization, and need for adequate access to support the proposed commercial uses at the southeast corner of the subject site.
- The applicant is required to construct a new 4-metre-wide multi-use pathway along the north side of 28 Avenue to accommodate pedestrian and cycling activity, boulevards with lighting, curb and gutter, and pavement widening.
- An accessible bus stop is located both east and south of the site at the corner of 192 Street and 28 Avenue. TransLink's Bus Route No. 531 serves the site, connecting to White Rock to the west and Willowbrook to the east.

### Parking

- According to the Zoning Bylaw, 798 stalls are required to be provided on site.
- The applicant is proposing to provide a total of 787 stalls on site, equating to a 11-stall (1%) reduction. The proposed reduction is considered minimal and is supported by registration of a restrictive covenant on title to limit the maximum amount of mezzanine floor area that would be permitted to be constructed.

### **Sustainability Considerations**

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following additional sustainable features:
  - The applicant proposes to provide a high-albedo roof with a minimum Solar Reflectance Index value of 75 for the non-parking area of the roof. The non-parking area equates to approximately 72% of the rooftop area of Building 1 (Block A) and 71% of the rooftop area of Building 2 (Block B).
- The applicant proposes additional parking on the rooftop of each building thereby increasing the available land to develop. However, in place of treed landscape islands every six stalls in the rooftop parking, the applicant proposes a number of landscape planters with shrubs spaced greater than every six stalls.
- The applicant suggests the cost and survivability of trees within rooftop landscape islands renders this option unviable given the scale of the buildings.

### **POLICY & BY-LAW CONSIDERATIONS**

#### **Regional Growth Strategy**

- The proposal complies with the "Mixed Employment" land use designation in the Metro Vancouver Regional Growth Strategy (RGS).



## Official Community Plan

### Land Use Designation

- The proposal complies with the “Mixed Employment” land use designation in the Official Community Plan.

### Themes/Policies

- B6.6 – Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces.

*(The proposed building is anchored to the northwest corner of 192 Street and 28 Avenue with extensive glazing and a large publicly accessible plaza leading from the intersection into the site.)*

- E1.5 – Encourage the full utilization and efficient use of industrial and other employment lands in order to maximize jobs and economic activity per hectare.

*(The proposal includes a significant number rooftop parking stalls to ensure the site is efficiently utilized.)*

- E1.20 – Encourage the continued expansion of high-tech, research and development and light manufacturing to locate within Mixed Employment areas that are accessible to major transportation corridors and/or frequent transit services.

*(The proposed development is compatible with the Mixed Employment designation and adds a significant number of employment opportunities in Campbell Heights. The subject site is also located at the corner of major arterial transportation corridors of 192 Street and 28 Avenue, which provide important transportation connections into and out of Campbell Heights.)*

## Secondary Plans

### Land Use Designation

- The proposal requires a Local Area Plan Amendment to reduce the size of the “Commercial” node and increase the amount of “Business Park” area. Otherwise, the proposal complies with the “Business Park”, “Business Park (Office)”, “Landscaping Strips”, and “Commercial” land use designations.

### Amendment Rationale

- The proposed reduced “Commercial Area” will allow for greater floor area dedicated to light-impact industrial business park uses. While the reduced area allocated to commercial uses is a departure from the Campbell Heights LAP, the intent of providing local commercial services for employees in the area will be met with the provision of a minimum of 1,999 square metres of commercial floor area.

### Themes/Objectives

- The proposed development is supported by the following guidelines in the Campbell Heights Local Area Plan:
- 6.5.1.4 – Design Guidelines – Business Park – The use of glass and high-quality materials and finishes is required of buildings facing the street. Blank walls should be avoided.

*(The proposed development incorporates store-front glazing over two-storeys with the commercial node at the corner of 192 Street and 28 Avenue serving as an architectural focal point. Each industrial unit is delineated with detailed storefront glazing and coloured concrete tilt-up panels along with variation in tilt-up panel height to differentiate the unit entrances from the remainder of the building.)*

- 6.5.1.4 – Design Guidelines – Business Park – The exterior of buildings should be coordinated in the design on all elevations with regard to colour, materials, architectural form, and detailing to achieve design harmony and continuity.

*(The proposed buildings are architecturally coordinated with a modern appearance that promotes harmony through the use of consistent cladding materials, glazing, and landscaping.)*

- 6.5.1.8 – Design Guidelines – Commercial Node – Commercial areas should be designed to cater to pedestrians by creating a pleasant outdoor commercial environment.

*(The proposed commercial node is oriented towards the intersection corner of 192 Street and 28 Avenue with expansive storefront glazing. The node caters to pedestrians through its raised surface connection through the parking area and expansive under-canopy patio area that can be utilized by future tenants of the commercial space.)*

### **CD By-law**

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate two proposed multi-tenant light impact industrial buildings, including one building with a commercial space, on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Business Park 1 Zone (IB-1)" and the "Community Commercial Zone (C-8)".
- The proposal includes a Block Plan where the site is divided into Block A and Block B. A "Building Location Plan" is also appended to the CD By-law, which differentiates the "light-impact industrial" use from the "commercial area" on Block B. The Building Location Plan is intended to identify the location and extent of the commercial area on Block B, which is to be delivered generally in keeping with the "Commercial" land use designation in the LAP.
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the IB-1 Zone, C-8 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	IB-1 Zone (Part 47A)	C-8 Zone (Part 36)	Proposed CD Zone
<b>Floor Area Ratio:</b>	1.0	0.80	1.0
<b>Lot Coverage:</b>	60%	50%	63%
<b>Yards and Setbacks</b>	Front yard: 16.0 m Rear yard: 7.5 m Side yard: 7.5 m Side yard on flanking street: 9.0 m	Front yard: 7.5 m Rear yard: 7.5 m Side yard: 7.5 m Side yard on flanking street: 7.5 m	Front yard: 16.0 m* Rear yard: 7.5 m Side yard: 7.5 m Side yard on flanking street: 9.0 m *the front yard setback (north) for Block A may be reduced to 4.6 metres
<b>Principal Building Height:</b>	14 metres	12 metres	Block A: 17.2 metres Block B: 17.3 metres
<b>Permitted Uses:</b>	<u>Principal Uses</u> <ul style="list-style-type: none"> <li>• Light impact industry</li> <li>• Warehouse uses</li> <li>• Distribution centres</li> <li>• Office uses (with exclusions)</li> </ul> <u>Accessory Uses</u> <ul style="list-style-type: none"> <li>• General service uses</li> <li>• Eating establishments</li> <li>• Community services</li> <li>• Child care centres</li> <li>• Caretaker unit</li> </ul>	<u>Principal Uses</u> <ul style="list-style-type: none"> <li>• Retail stores</li> <li>• Personal service uses</li> <li>• General service uses</li> <li>• Beverage container return centre</li> <li>• Eating establishment</li> <li>• Neighbourhood pubs</li> <li>• Liquor store</li> <li>• Office uses</li> <li>• Parking facilities</li> <li>• Automotive service uses</li> <li>• Indoor recreational facilities</li> <li>• Entertainment uses</li> <li>• Assembly halls</li> </ul> <u>Accessory Uses</u> <ul style="list-style-type: none"> <li>• Caretaker unit</li> </ul>	<u><b>Block A and Block B – Excluding Commercial Area</b></u> <ul style="list-style-type: none"> <li>• Same uses as in IB-1 Zone</li> </ul> <u><b>Block B – Commercial Area</b></u> <u>Principal Uses</u> <ul style="list-style-type: none"> <li>• Retail stores</li> <li>• Personal service uses</li> <li>• General service uses</li> <li>• Beverage container return centre</li> <li>• Eating establishments</li> <li>• Neighbourhood pubs</li> <li>• Liquor store</li> <li>• Office uses</li> <li>• Liquor manufacturing</li> <li>• And other uses in C-8 Zone.</li> </ul> <u>Accessory Uses</u> <ul style="list-style-type: none"> <li>• Caretaker unit</li> </ul>
	<b>Parking (Part 5)</b>	<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls</b>			
Commercial:		60.00	
Industrial:		598.34	
Office:		139.18	
<b>Total:</b>		<b>798</b>	<b>787</b>

- The CD By-law for Block A retains the majority of the same provisions as outlined in the “Business Park 1 Zone (IB-1)” with the exception of the following:

- Increased lot coverage from 60% to 63%; and
- Reduced setbacks to the north property line from 7.5 metres to 4.6 metres.
- Increased building height from 14 metres to 17.2 metres for Building 1 (Block A) and 17.3 metres for Building 2 (Block B).
- The increased lot coverage and reduced building setback on the north property line are sought to accommodate a jog in 30 Avenue that is required to provide the minimum interim “half-road” width as a result of an inability to secure off-site permission for either road dedication or a statutory right-of-way from the properties to the north.
- The CD By-law for Block B is divided into two sections: “Block B: Excluding Commercial Area” and “Block B: Commercial Area”.
- Block B: Excluding Commercial Area allows the same increase to lot coverage as in Block A but retains the remaining provisions as in the IB-1 Zone.
- Block B: Excluding Commercial Area also includes a provision that the light-impact industrial uses on Block B are only permitted provided a minimum of 1,999 square metres of floor area with commercial uses in the “Commercial Area” are provided. This provision will ensure that the “Commercial Area” is retained for commercial uses in keeping with the intent of the Campbell Heights LAP.
- Block B: Commercial Area has uses based on the “Community Commercial Zone (C-8)”, which include retail stores, personal service uses, general service uses, eating establishments, and liquor store. Liquor manufacturing with an associated liquor tasting lounge is also a permitted use in this area. The commercial uses are open to the public and provide local serving amenities to employees in the Campbell Heights Business Park.

### Parking Variance

- The applicant is requesting the following variances:
  - (a) to reduce the industrial parking rate from 1.0 parking spaces per 100 square metres to 0.983 parking spaces per 100 square metres.
- Discussion of the proposed parking variance is noted in the Transportation Considerations section.
- Staff support the requested variances to proceed for consideration.

### **Public Art Policy**

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City’s needs with respect to public art, in accordance with the City’s Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

## **PUBLIC ENGAGEMENT**

- Pre-notification letters were sent on January 3, 2023 and the Development Proposal Signs were installed on January 12, 2023. Staff received one response from the Little Campbell Watershed Society seeking clarification on tree retention and whether air quality permits would be sought by future users on the site. Staff provided comments to the Little Campbell Watershed Society for clarification. Tree removal and retention information is noted in the “Trees” section of the report. The applicant will be required to register a restrictive covenant on title, restricting future businesses from seeking an air quality permit from Metro Vancouver.

## **DEVELOPMENT PERMITS**

### **Form and Character Development Permit Requirement**

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).
- The applicant has worked with staff to provide a commercially-viable, prominent focal point, and attractive commercial node at the corner of 192 Street and 28 Avenue to support meeting the intent of the “Commercial” land use designation in the Campbell Heights LAP. While the proposed commercial node is not situated at the minimum setbacks along 192 Street and 28 Avenue, the design does include an expansive semi-public outdoor seating area, large outdoor commercial patios, a raised, visually demarcated connection to the intersection of 192 Street and 28 Avenue, and a large publicly accessible plaza near the intersection.
- The site consists of two multi-tenant light impact industrial buildings, one of which is oriented towards 192 Street and the other towards 28 Avenue. The buildings are surrounded by surface parking for passenger vehicles and a shared loading court area in the centre of the site. Rooftop-parking ramps are located on the south façade of Building 1 (Block A - north) and west façade of Building 2 (Block B - south). The parking ramps are architecturally integrated with the rest of the building through the use of coloured concrete tilt-up panels.
- The buildings are proposed to be constructed of concrete tilt-up panels in shades of grey, brown, and cream with brown metal canopies. Architectural emphasis is placed along the building facades of 192 Street and 28 Avenue by utilizing building articulation, variation in building heights, and expansive storefront glazing.
- The commercial space is visually anchored to the corner of 192 Street and 28 Avenue through the use of a large black aluminum canopy panel, extensive storefront glazing that wraps the full extent of the commercial floor on both facades, and an extended plaza canopy feature that is intended to connect to the publicly accessible plaza at the intersection. The articulation and architectural features create a strong architectural edge that reinforces an attractive pedestrian environment while retaining vehicular access for visitors to the commercial units.
- The loading bays will be screened from public view with a 3.0 metre tall architectural screen wall along 192 Street, 190 Street, and 30 Avenue.

- Employee amenity areas are located throughout the site for each building. Building 1 (Block A) contains employee amenity areas at the south and north end of the building along 192 Street, including additional amenity in the publicly accessible open space at the intersection of 30 Avenue and 192 Street. Building 2 (Block B) contains an employee amenity at the southwest corner of the site. Additional amenity space is located adjacent to the commercial retail units where expansive outdoor patio seating (subject to future tenants) and plaza seating is proposed.

### Landscaping

- The proposed landscaping consists of a 6.0 metre-wide landscape buffer on 192 Street, 28 Avenue, 190 Street, and 30 Avenue.
- The proposed landscaping consists of a variety of trees, including Norway Maple, Purple Leaf Beech, Western Red Cedar, Persian Ironwood, and Freeman Maple. The tree plantings are complemented by a variety of shrubs and groundcover.
- In addition, the applicant proposes a series of landscape planters in the rooftop parking area for both buildings. The rooftop planter landscaping will consist of a variety of shrubs and perennials.

### Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
  - Increasing the articulation depth of the street fronting façades;
  - Clarifying the roofing material, which is to be a high-albedo material with a minimum Solar Reflectance Index value of 75; and
  - Minor drawing clarifications and coordination.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

### **TREES**

- Andrew Briggs, ISA Certified Arborist of 818 Studio prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder	1	1	0
Cottonwood	8	8	0

<b>Deciduous Trees</b> (excluding Alder and Cottonwood Trees)			
Apple	2	2	0
Cherry	6	6	0
Trembling Aspen	18	18	0
Dogwood	3	3	0
Common Fig	1	1	0
Hawthorne	2	2	0
Japanese Maple	2	2	0
Plum	2	2	0
<b>Coniferous Trees</b>			
Douglas Fir	7	7	0
Austrian Pine	5	5	0
Shore Pine	5	5	0
Sitka Spruce	2	2	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>55</b>	<b>55</b>	<b>0</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>181</b>	
<b>Total Retained and Replacement Trees</b>		<b>181</b>	
<b>Contribution to the Green City Program</b>		<b>\$0</b>	

- The Arborist Assessment states that there are a total of fifty-five mature trees on the site, excluding Alder and Cottonwood trees. Nine (9) existing trees, approximately 14% of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 119 replacement trees on the site. The applicant is proposing 181 replacement trees, exceeding City requirements.
- There are no existing City trees proposed for removal. There are trees located within future road dedication that are required to be removed to facilitate future road widening on 192 Street, 190 Street, and 28 Avenue.
- The new trees on the site will consist of a variety of trees including Purple Leaf Beech, Freeman Maple, Norway Maple, and Western Red-Cedar
- In summary, a total of 181 trees are proposed to be retained or replaced on the site.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

- Appendix I. Block Plan & Building Location Plan
- Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix III. Engineering Summary
- Appendix IV. Summary of Tree Survey and Tree Preservation
- Appendix V. Development Variance Permit
- Appendix VI. LAP Plan

*approved by Shawn Low*

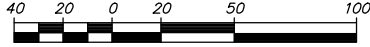
Jeff Arason  
Acting General Manager  
Planning and Development

KS/ar



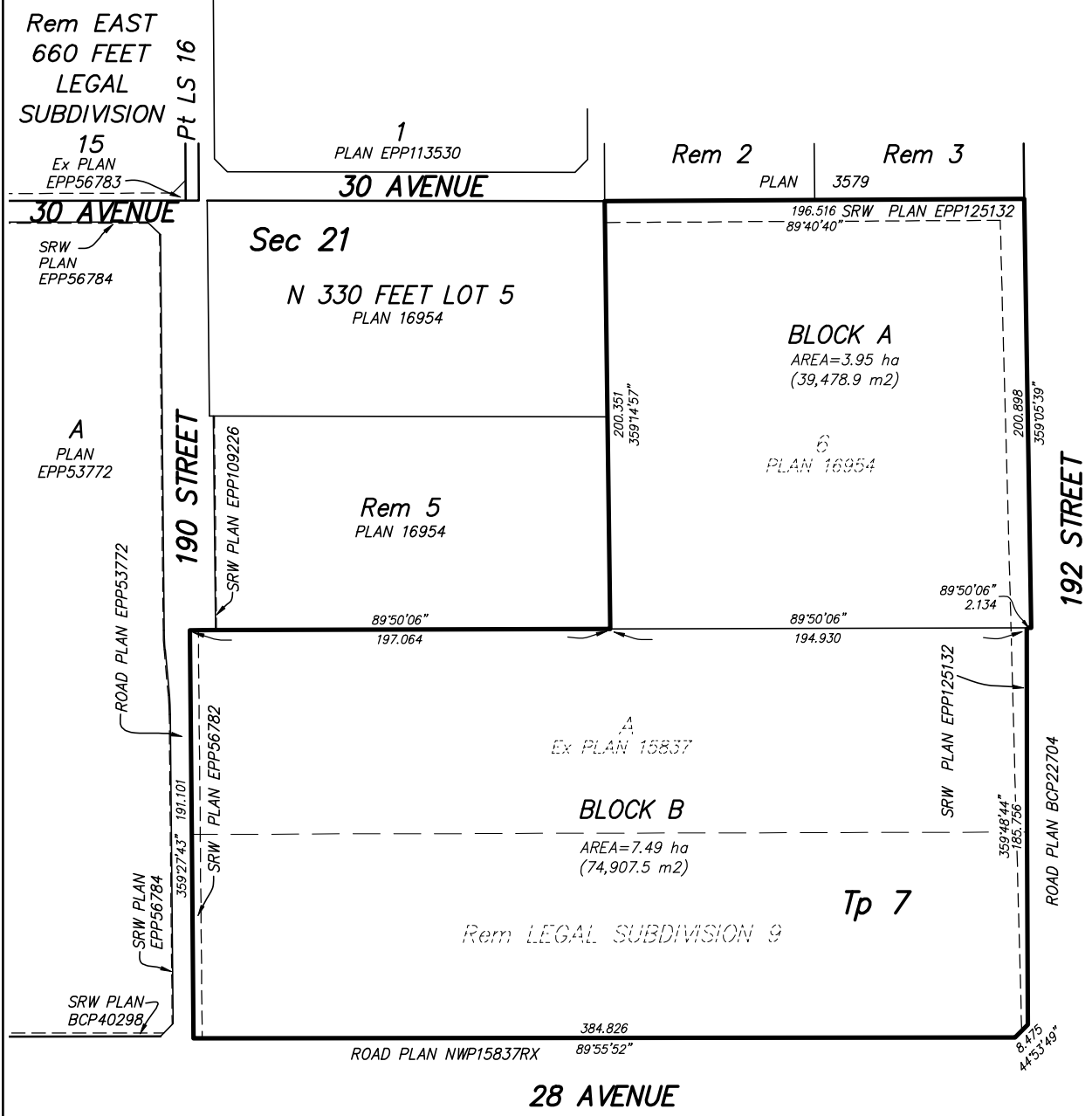
SURVEY PLAN TO ACCOMPANY CITY OF SURREY ZONING BYLAW LOT 6 PLAN 16954; PARCEL 'A' (EXPLANATORY PLAN 15837) LEGAL SUBDIVISION 9; LEGAL SUBDIVISION 9 EXCEPT: FIRSTLY: SOUTH 33 FEET SECONDLY: PART SUBDIVIDED BY PLAN 16954 THIRDLY: PARCEL "A" AND ROAD (EXPLANATORY PLAN 15837), FOURTHLY: PART DEDICATED ROAD ON PLAN BCP22704 ALL OF SECTION 21 TOWNSHIP 7 NEW WESTMINSTER DISTRICT

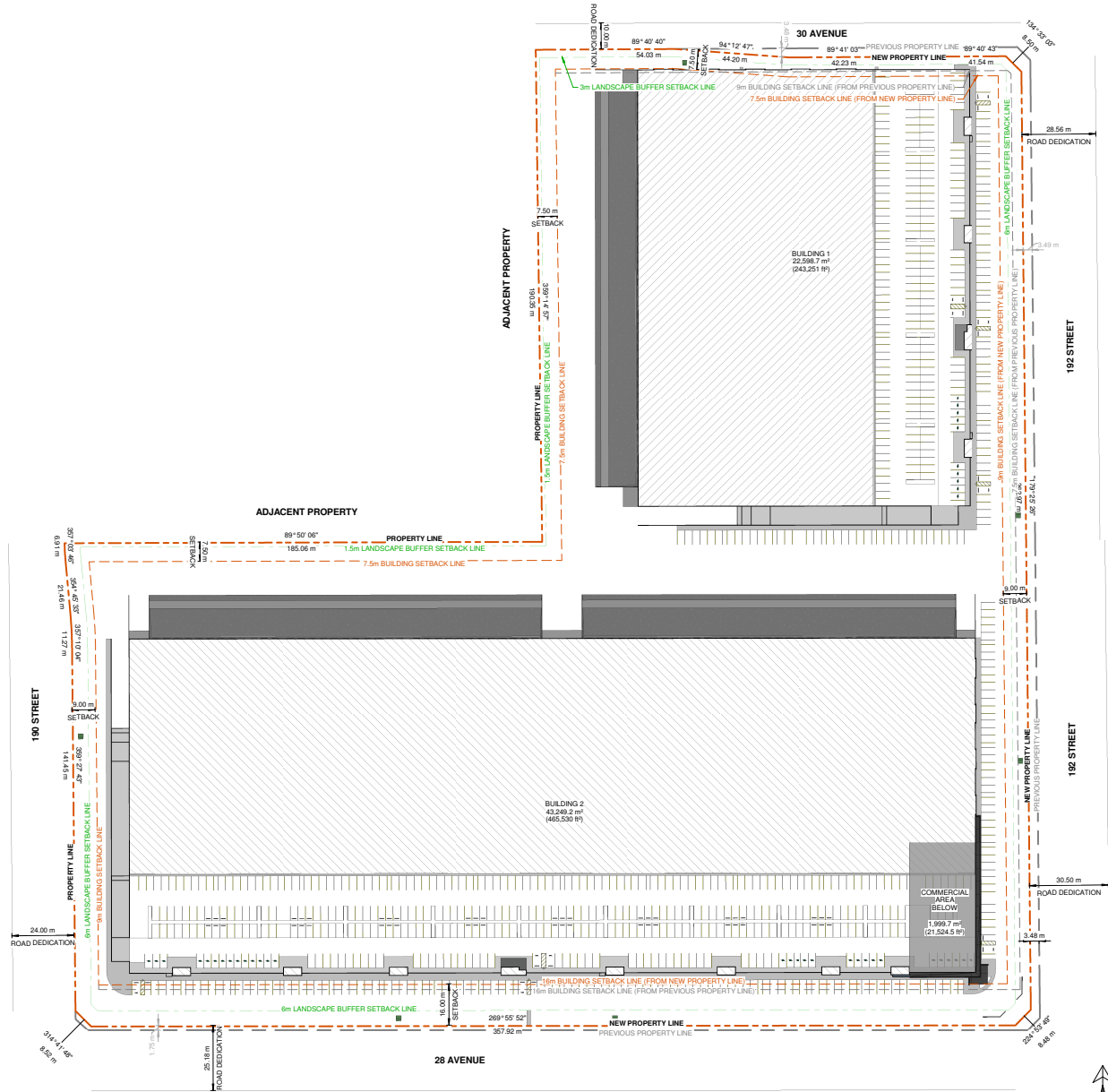
BCGS 926.007



SCALE 1:2000 ALL DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 280mm IN WIDTH BY 432mm IN HEIGHT (B SIZE) WHEN PLOTTED AT A SCALE OF 1:2000





**190th Street Heppell Property**  
**Office & Warehouse & CRU**  
 2898 190 Street and 2981 & 2825 192 Street  
 Surrey, British Columbia

NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-05-24
2	RESUBMITTED FOR DEVELOPMENT PERMIT	2023-06-01
3	ISSUED FOR REVIEW	2023-06-01
4	ISSUED FOR REVIEW	2023-10-10
5	RESUBMITTED FOR DEVELOPMENT PERMIT	2023-12-07
6	ISSUED FOR REVIEW	2023-12-07

Project No: 821028  
 Date: 2023-02-01 15:22:20 PM  
 Drawn by: AQ/EA/LH  
 Checked by: DE, LB, RO, OB  
 Sheet Name:

Building  
 Location Plan

Sheet No:  
**A104**

1 Base Site Plan  
 A104 1:800





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**APPENDIX II**  
**APLIN MARTIN**  
ENGINEERING ARCHITECTURE PLANNING SURVEYING

**908 Engineering INCORPORATED**  
**EIGHT ONE EIGHT STUDIO**  
PLANNING + DESIGN COLLABORATIVE



# 190th Street Heppell Property



Surrey, British Columbia

Office Warehouse & CRU's

### SYMBOL LEGEND

CONSTRUCTION REFERENCE	CONSTRUCTION TAG
FINISH REFERENCE	EXTERIOR FINISH TAG
GRID NUMBER	GRID BUBBLE
DOOR REFERENCE	DOOR TAG
ROOM NUMBER	ROOM TAG
DESCRIPTION	ELEVATION DATUM
ELEVATION	ELEVATION TAG
DRAWING NUMBER	WALL SECTION CALLOUT
SHEET NUMBER	BUILDING SECTION CALLOUT
DRAWING NUMBER	ELEVATION CALLOUT
SHEET NUMBER	ELEVATION TAG
WINDOW REFERENCE	WINDOW TAG
ELEVATION	ELEVATION TAG
DRAWING TITLE	DRAWING TITLE
DRAWING NUMBER	DRAWING TITLE
SHEET NUMBER	DRAWING TITLE
SHEET NUMBER	DRAWING TITLE

### DRAWING INDEX

Sheet Number	Sheet Name	Current Revision
A000	Index	S
A003	Building Areas - Building 1	S
A004	Building Areas - Building 2	S
A101	Site Plan Overall	S
A102	Enlarged Site Plan	S
A103	Enlarged Site Plan	S
A104	Building Location Plan	S
A105	Signage Plan & Elevations	S
A106	Signage Plan & Elevations	S
A107	Site Details	S
A108	Site Details	S
A109	Site Details	S
A110	Site Details	S
A111	Site Details	S
A112	Site Study	S
A201	Floor Plan Overall - Building 1	S
A202	Rooftop Parking & 2nd Floor Plan - Building 1	S
A203	Floor Plan Overall - Building 1	S
A204	Floor Plan Overall - Building 2	S
A205	Enlarged Floor Plan - West - Building 2	S
A206	Enlarged Floor Plan - East - Building 2	S
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A208	Rooftop Parking Plan - Building 2	S
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A301	Elevations - Building 1	S
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A303	Elevations - Building 2	S
A304	Elevations - Building 2	S
A305	Elevations - Building 2	S
A401	Building Sections - Building 1	S
A402	Building Sections - Building 1	S
A403	Building Sections - Building 2	S
A404	Building Sections - Building 2	S
A501	Typical Canopy Details	S
A502	Canopy Details	S
A801	Exterior Render - Building 1	S
A802	Exterior Render - Building 2	S

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**EAGLE BUILDERS**  
THE PRECAST CONCRETE CONNECTION  
1403 885-5325 P.O. BOX 1690  
BLACKFALDS, AB, T0M 0J0

190th Street Heppell Property  
Office Warehouse & CRU's  
2898 190 Street and 2981 & 2825 192 Street  
Surrey, British Columbia

NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2022-05-10
2	REVISION FOR REVIEW	2022-06-01
3	ISSUED FOR REVIEW	2022-06-01
4	REVISION FOR REVIEW	2022-10-10
5	ISSUED FOR REVIEW	2022-11-30
6	REVISION FOR DEVELOPMENT PERMIT	2022-12-05

Project No: B21028  
Date: 2023-02-07 8:49:00 AM  
Drawn by: AQ/EA/LH  
Checked by: DE, LB, RO, OB  
Sheet Name:

Index

Sheet No:  
**A000**

Floor Areas		
EXIT CORRIDOR	25.08 m <sup>2</sup>	270 m <sup>2</sup>
OFFICE	1,021.28 m <sup>2</sup>	10,992.97 m <sup>2</sup>
RAMP	279.64 m <sup>2</sup>	3,010 m <sup>2</sup>
SHARED AREA	116.07 m <sup>2</sup>	1,349.41 m <sup>2</sup>
SHARED SERVICES	80.27 m <sup>2</sup>	864 m <sup>2</sup>
STORAGE	448.32 m <sup>2</sup>	4,746 m <sup>2</sup>
WAREHOUSE	20,635.45 m <sup>2</sup>	222,118.14 m <sup>2</sup>
	22,598.71 m <sup>2</sup>	243,250.51 m <sup>2</sup>
OFFICE	950.33 m <sup>2</sup>	10,229.28 m <sup>2</sup>
SHARED AREA	109.91 m <sup>2</sup>	1,183.09 m <sup>2</sup>
	1,060.24 m <sup>2</sup>	11,412.38 m <sup>2</sup>
PARKING AREA	6,060.85 m <sup>2</sup>	65,238.45 m <sup>2</sup>
SHARED AREA	105.91 m <sup>2</sup>	1,129.59 m <sup>2</sup>
	6,166.76 m <sup>2</sup>	66,378.45 m <sup>2</sup>
Grand total	29,825.72 m <sup>2</sup>	321,041.33 m <sup>2</sup>



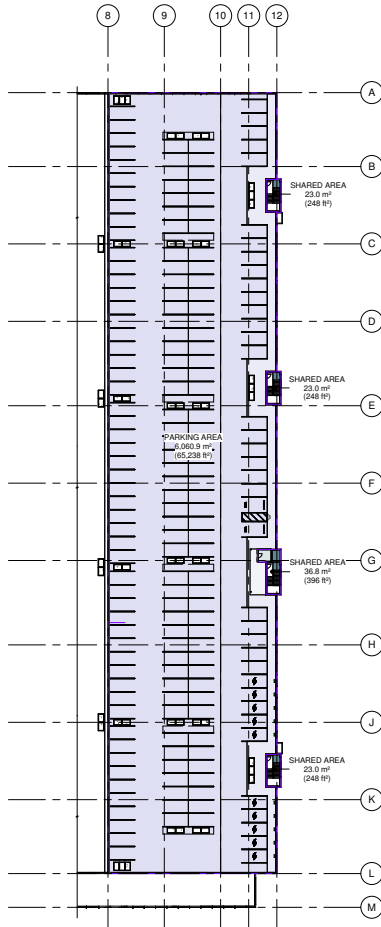
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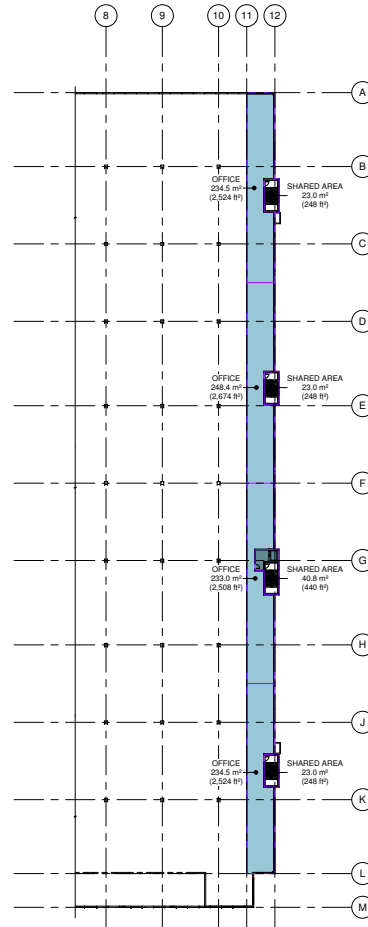
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design studio ltd.



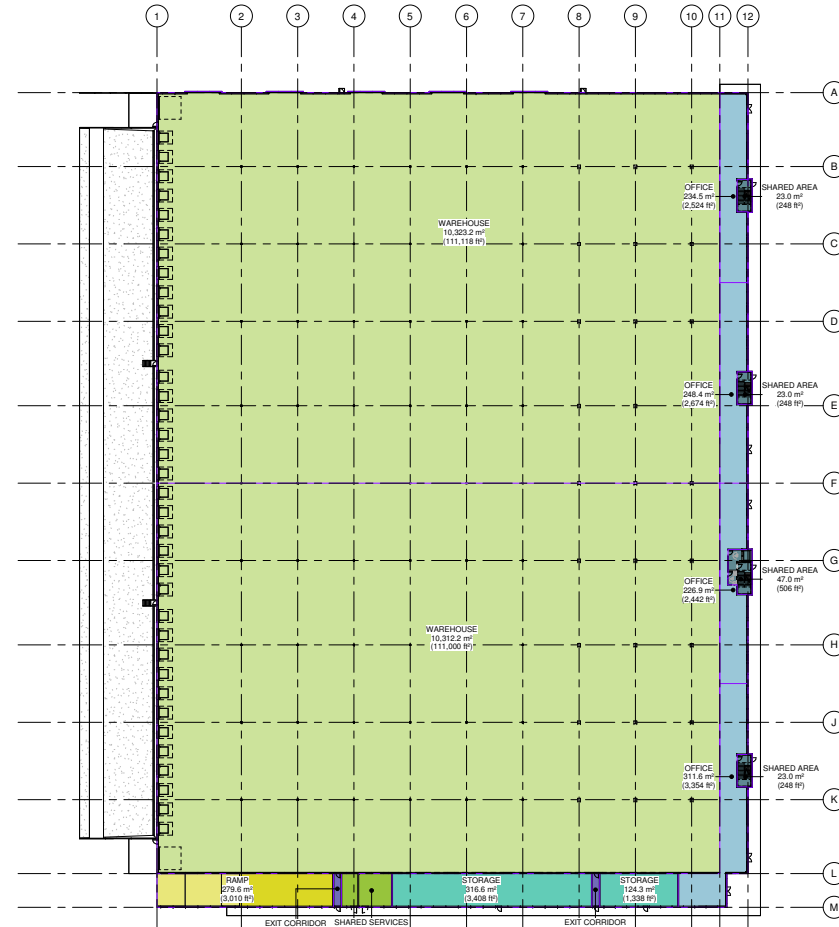
THE PRECAST CONCRETE CONNECTION  
1603 885-5325 P.O. BOX 1690  
BLACKFALDS, AB, T0M 0J0



3 Rooftop Parking Area Plan  
A003 1:500



2 Second Floor Area Plan  
A002 1:500



1 Main Floor Area Plan  
A001 1:500

190th Street Heppell Property  
Office Warehouse & CRU's  
2898 190 Street and 2981 & 2825 192 Street  
Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2022-05-27	ISSUED FOR DEVELOPMENT PERMIT
2	2022-07-07	REVISED FOR DEVELOPMENT PERMIT
3	2022-07-07	REVISED FOR DEVELOPMENT PERMIT
4	2022-02-05	REVISED FOR DEVELOPMENT PERMIT

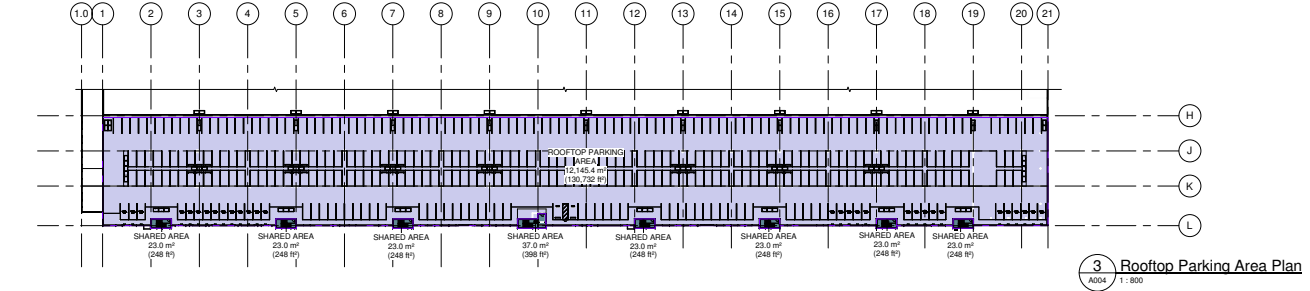
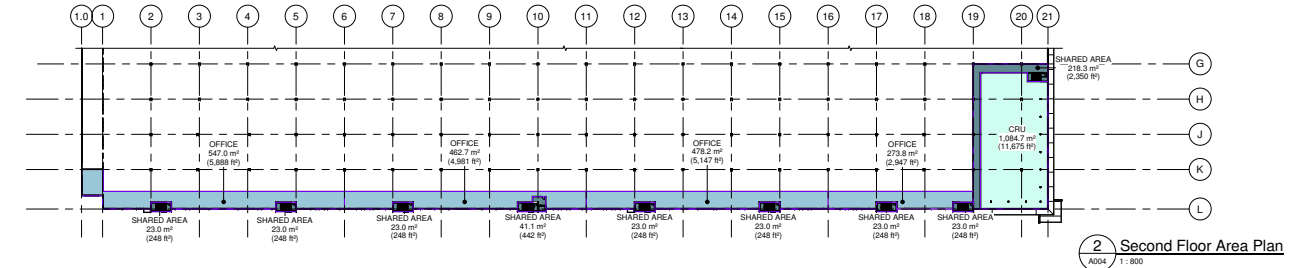
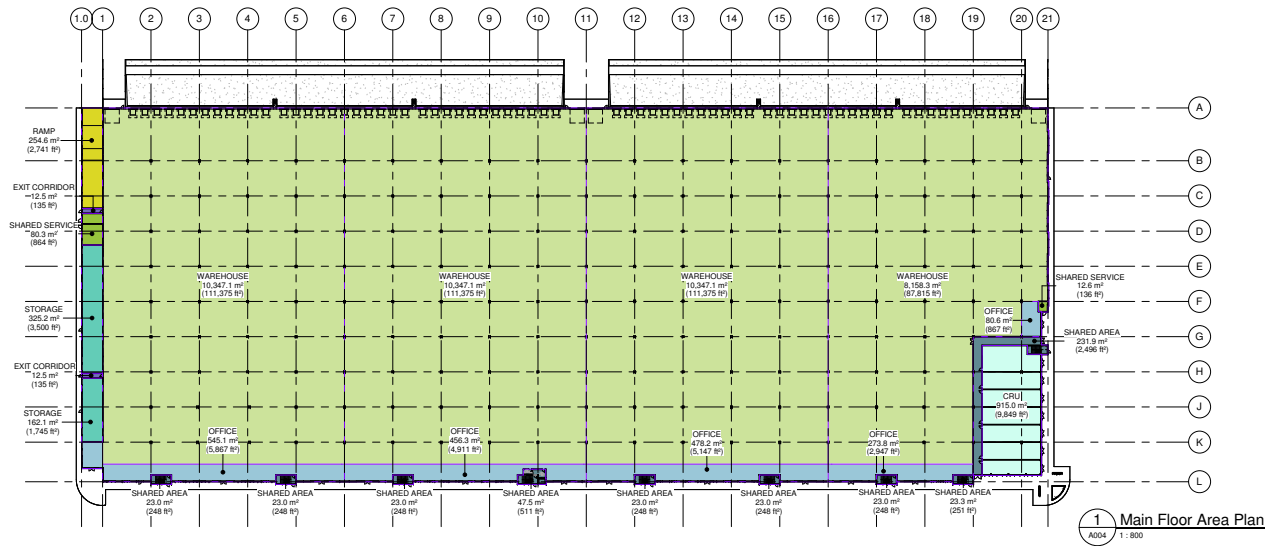
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Drawn by: AQ, LH  
Checked by: DE, LB, RO, OB  
Sheet Name:

Building Area -  
Building 1

Sheet No:  
**A003**



Floor Areas	
CRU	915 m <sup>2</sup> 9,848.96 ft <sup>2</sup>
EXIT CORRIDOR	25.6 m <sup>2</sup> 270 ft <sup>2</sup>
OFFICE	1,833.84 m <sup>2</sup> 19,740.26 ft <sup>2</sup>
RAMP	254.65 m <sup>2</sup> 2,741 ft <sup>2</sup>
SHARED AREA	440.89 m <sup>2</sup> 4,745.75 ft <sup>2</sup>
SHARED SERVICE	92.88 m <sup>2</sup> 999.7 ft <sup>2</sup>
STORAGE	487.28 m <sup>2</sup> 5,245 ft <sup>2</sup>
WAREHOUSE	39,199.48 m <sup>2</sup> 421,509.7 ft <sup>2</sup>
	43,249.19 m <sup>2</sup> 463,530.45 ft <sup>2</sup>
CRU	1,084.69 m <sup>2</sup> 11,675.49 ft <sup>2</sup>
OFFICE	1,761.77 m <sup>2</sup> 18,963.55 ft <sup>2</sup>
SHARED AREA	420.51 m <sup>2</sup> 4,526.29 ft <sup>2</sup>
	3,266.97 m <sup>2</sup> 35,165.33 ft <sup>2</sup>
ROOFTOP PARKING AREA	12,145.41 m <sup>2</sup> 130,732.08 ft <sup>2</sup>
SHARED AREA	198.19 m <sup>2</sup> 2,133.28 ft <sup>2</sup>
	12,343.6 m <sup>2</sup> 132,865.36 ft <sup>2</sup>
Grand total	58,859.76 m <sup>2</sup> 633,561.15 ft <sup>2</sup>



**190th Street Heppell Property**  
**Office Warehouse & CRU's**  
 2898 190 Street and 2981 & 2825 192 Street  
 Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2022-05-10	ISSUED FOR DEVELOPMENT PERMIT
2	2022-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
3	2022-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2022-08-05	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 821028  
 Date: 2023-02-06 5:29:12 PM  
 Drawn by: AQ, KL, LH  
 Checked by: DE, LB, RO, OB  
 Sheet Name:

Building Areas -  
 Building 2

Sheet No:  
**A004**





**NOTES CONCERNING BUILDING LOCATION**

- THIS SITE PLAN IS BASED ON INFORMATION PROVIDED BY THE OWNER, AND NOT A SURVEY OR ACTUAL SITE MEASUREMENTS. ENGINEER IS TO BE ADVISED BEFORE START OF CONSTRUCTION OF ANY UNKNOWN FEATURES ON THIS OR THE ADJACENT SITES THAT MIGHT IMPACT ON THE PROJECT EITHER DURING CONSTRUCTION OR FUTURE USE.
- THE "NORTH" ORIENTATION REFERS TO NOMINAL NORTH RATHER THAN TRUE OR MAGNETIC NORTH.
- ANY DIMENSIONS THAT SHOW THE LOCATION OF EXISTING FEATURES ARE APPROXIMATE ONLY, AND ARE TO BE CONFIRMED BEFORE CONSTRUCTION START AS REQUIRED BY A CERTIFIED ALBERTA LAND SURVEYOR.

<https://bit.ly/3aert55o>



**BYLAW INFORMATION**

**ZONING:**  
 PRESENT ZONING: A-2 INDUSTRIAL AGRICULTURAL ZONE  
 PROPOSED ZONING: CD COMPREHENSIVE DEVELOPMENT ZONE

**SETBACKS:**  
 FRONT YARD (S): PROVIDED: 19.4 m, REQUIRED: 16.0 m  
 REAR YARD (N): PROVIDED: 4.6 m, REQUIRED: 7.5 m  
 SIDE YARD (E): PROVIDED: 19.4 m, REQUIRED: 9.0 m  
 SIDE YARD (W): PROVIDED: 13.8 m, REQUIRED: 9.0 m

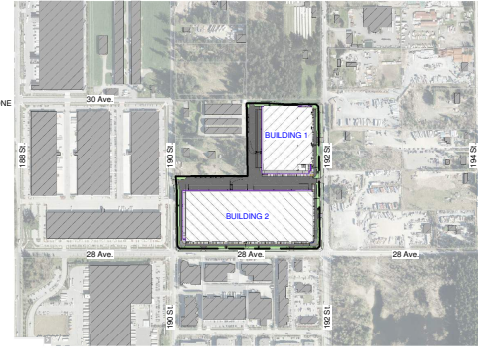
**SITE SIZE:**  
 104,627.38 m<sup>2</sup> (1,126,199.72 ft<sup>2</sup>/25.9 acre)

**BUILDING AREAS:**  
 BUILDING 1: 22,598.7 m<sup>2</sup>  
 BUILDING 2: 43,249.2 m<sup>2</sup>  
 TOTAL: 65,847.9 m<sup>2</sup>

**SITE COVERAGE:**  
 PROVIDED: 62.9%  
 MAX: 60%

**BUILDING HEIGHT:**  
 PROVIDED: 13.32m (43' 8 1/4")  
 MAX: 14m (46 ft)

**LOADING DOORS:**  
 BUILDING 1: 36  
 BUILDING 2: 68



**2 Context Plan**  
 A101 1: 6000

**PARKING CALCULATION**

BUILDING	USE	AREA		PARKING BY GROSS FLOOR AREA	
		ft <sup>2</sup>	m <sup>2</sup>	REQUIREMENT	REQUIRED
BUILDING 1	MAIN OFFICE	10,992.97	1,021.3	2.5 STALL PER 100 m <sup>2</sup>	25.53
	2nd FLOOR OFFICE	22,218.14	20,635.5	1 STALL PER 100 m <sup>2</sup>	206.35
				2.5 STALL PER 100 m <sup>2</sup>	256.64
BUILDING 2	MAIN OFFICE	19,740.35	1,833.9	2.5 STALL PER 100 m <sup>2</sup>	45.85
	MAIN RETAIL	9,846.96	915.0	3 STALL PER 100 m <sup>2</sup>	27.45
BUILDING 2	MAIN WAREHOUSE	421,937.90	39,199.5	1 STALL PER 100 m <sup>2</sup>	391.99
	2nd FLOOR RETAIL	11,675.49	1,084.7	3 STALL PER 100 m <sup>2</sup>	32.54
				2.5 STALL PER 100 m <sup>2</sup>	44.04
<b>SUBTOTAL</b>				<b>725,508.44</b>	<b>67,401.9</b>
				<b>TOTAL PARKING STALLS REQUIRED</b>	<b>797.52</b>

**SITE SCHEDULE**

**ON SITE**

APRON	18,976.53 ft <sup>2</sup>	1,763.0 m <sup>2</sup>
DECORATIVE PAVING	10,476.57 ft <sup>2</sup>	1,010.5 m <sup>2</sup>
HARD LANDSCAPING	598.12 ft <sup>2</sup>	55.2 m <sup>2</sup>
HEAVY DUTY ASPHALT	242,748.16 ft <sup>2</sup>	22,521.2 m <sup>2</sup>
LANDSCAPING	67,717.89 ft <sup>2</sup>	6,291.2 m <sup>2</sup>
LIGHT DUTY ASPHALT	39,533.01 ft <sup>2</sup>	3,644.9 m <sup>2</sup>
MULCH	4,396.57 ft <sup>2</sup>	408.5 m <sup>2</sup>
SIDEWALK	28,544.45 ft <sup>2</sup>	2,651.9 m <sup>2</sup>
	413,262.52 ft <sup>2</sup>	38,366.2 m <sup>2</sup>

**OFF SITE**

HEAVY DUTY ASPHALT - BOULEVARD	8,399.85 ft <sup>2</sup>	780.4 m <sup>2</sup>
LANDSCAPING - BOULEVARD	48,070.97 ft <sup>2</sup>	4,465.9 m <sup>2</sup>
SIDEWALK - BOULEVARD	37,466.08 ft <sup>2</sup>	3,499.3 m <sup>2</sup>
	94,136.89 ft <sup>2</sup>	8,745.6 m <sup>2</sup>
<b>Grand total</b>	<b>507,419.21 ft<sup>2</sup></b>	<b>47,140.8 m<sup>2</sup></b>

**ACCESSIBLE PARKING STALL REQUIREMENTS**

STANDARD STALLS	REQUIREMENT	REQUIRED
797.52	2%	15.95
<b>TOTAL VEHICLE PARKING STALLS REQUIRED: 798</b>		

**PARKING SCHEDULE**

BUILDING 1	BARRIER FREE PARKING STALL	GROUND PARKING	6
BUILDING 1	STANDARD PARKING STALL	GROUND PARKING	53
BUILDING 1	BARRIER FREE PARKING STALL	ROOF PARKING	2
BUILDING 1	EV PARKING STALL	ROOF PARKING	10
BUILDING 1	STANDARD PARKING STALL	ROOF PARKING	174
<b>BUILDING 1: 245</b>			
BUILDING 2	BARRIER FREE PARKING STALL	GROUND PARKING	6
BUILDING 2	STANDARD PARKING STALL	GROUND PARKING	139
BUILDING 2	BARRIER FREE PARKING STALL	ROOF PARKING	2
BUILDING 2	EV PARKING STALL	ROOF PARKING	30
BUILDING 2	STANDARD PARKING STALL	ROOF PARKING	345
<b>BUILDING 2: 522</b>			
<b>GRAND TOTAL: 787</b>			

**BICYCLE PARKING REQUIREMENTS**

BUILDING	TYPE OF STALL	AREA		PARKING BY GROSS FLOOR AREA	
		ft <sup>2</sup>	m <sup>2</sup>	REQUIREMENT	REQUIRED
GENERAL SERVICE USE AND EATING ESTABLISHMENT	SECURE BIKE STALLS	725,508.44	67,401.9	0.06 SPACE PER 100 m <sup>2</sup>	40.44
	VISITOR BIKE STALLS	725,508.44	67,401.9	0.06 SPACE PER 100 m <sup>2</sup>	40.44
				<b>TOTAL BIKE SPACES REQUIRED</b>	<b>81</b>

SECURE BIKE STALLS TO BE PROVIDED IN FUTURE TENANT IMPROVEMENT STAGE.

**EV PARKING STALL REQUIREMENTS**

COMMERCIAL AREA (OFFICE & RETAIL)	BUILDING	COMMERCIAL STALLS	REQUIREMENT	REQUIRED	
	BUILDING 1	49.29	20%	9.86	
	BUILDING 2	149.88	20%	29.98	
				<b>TOTAL EV STALLS REQUIRED</b>	<b>40</b>

**BICYCLE PARKING**

STALL TYPE	BIKE CAPACITY
VISITOR BIKE STALL	46

**SITE PLAN LEGEND**

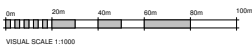
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RIGHT OF WAY LINE	---
RIGHT OF WAY HATCH	---
PROPOSED BUILDING	---
FENCE	---
MAIN DOOR	---
OVERHEAD DOOR	---
BARRIER FREE ENTRANCE	---

**SITE MATERIAL LEGEND**

APRON	MULCH
SIDEWALK	LANDSCAPING
LIGHT DUTY ASPHALT	HARD LANDSCAPING
HEAVY DUTY ASPHALT	DECORATIVE PAVING

**LOADING DOORS**

SIZE	TYPE	COUNT
9'x10' OHD	Deck Door	104
18'x16' OHD	Grate Door	6



**1 Site Plan**  
 A101 1: 1,000



190th Street Heppell Property  
 Office Warehouse & CRU's  
 2898 190 Street and 2981 & 2825 192 Street  
 Surrey, British Columbia

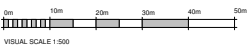
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2	2022-05-05	ISSUED FOR REVIEW
3	2022-10-10	ISSUED FOR REVIEW
4	2022-11-10	RESUBMITTED FOR REVIEW
5	2022-11-10	RESUBMITTED FOR DEVELOPMENT PERMIT
6	2022-02-02	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 821028  
 Date: 2023-02-07  
 8:49:59 AM  
 Drawn by: AQ/EA/LH  
 Checked by: DE, LB, RO, OB  
 Sheet Name:

Site Plan  
 Overall

Sheet No:

**A101**



1 Enlarged Site Plan - Building 1  
A101 1:500



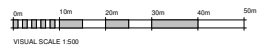
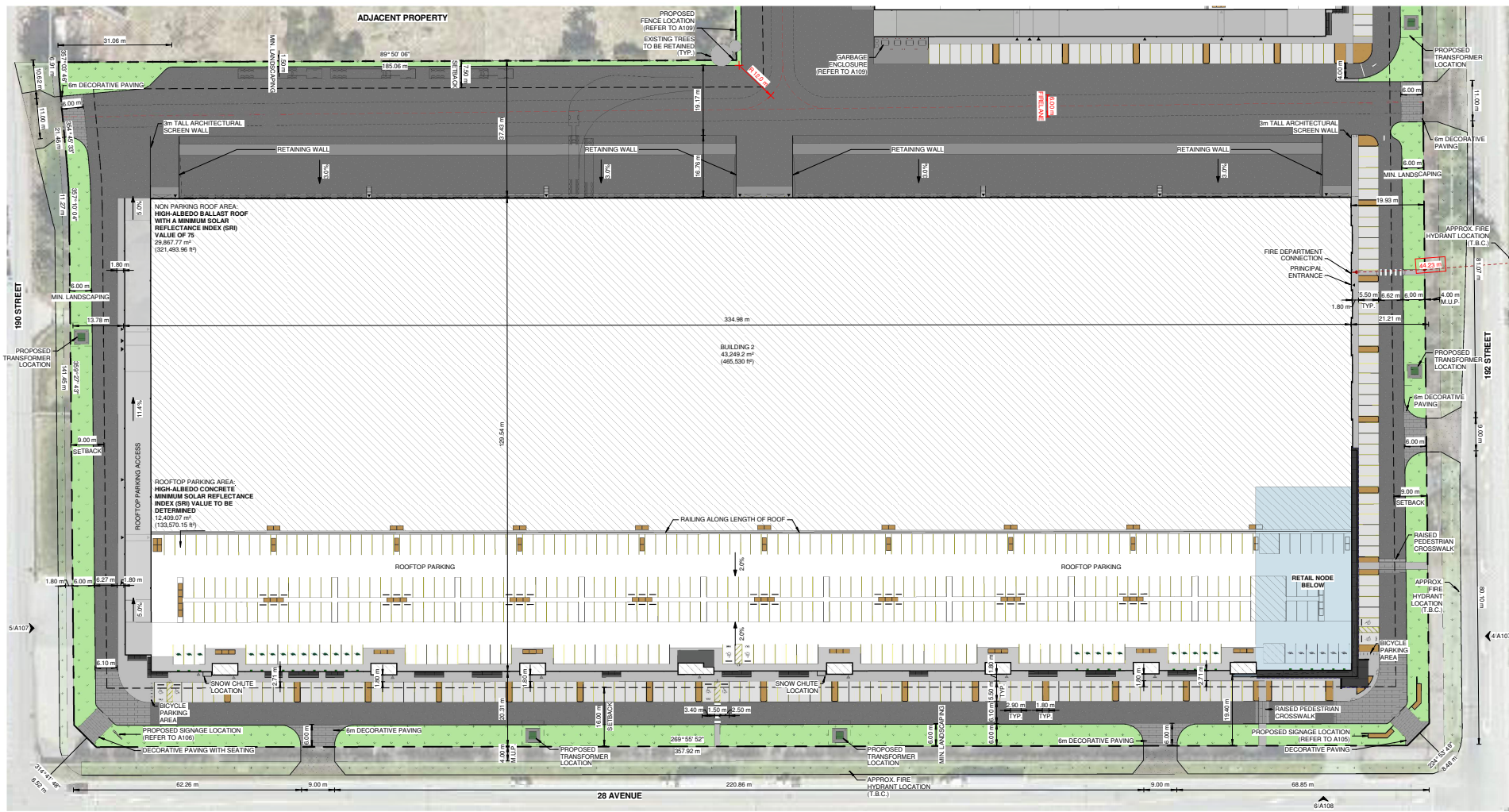
**190th Street Heppell Property**  
**Office Warehouse & CRU's**  
2898 190 Street and 2981 & 2825 192 Street  
Surrey, British Columbia

NO.	DESCRIPTION	DATE
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2.	ISSUED FOR REVIEW	2022-06-01
3.	ISSUED FOR REVIEW	2022-11-20
4.	RECEIVED FOR DEVELOPMENT PERMIT	2022-11-20
5.	RECEIVED FOR DEVELOPMENT PERMIT	2022-12-02

Project No: 821028  
Date: 2023-02-07  
8:49:12 AM  
Drawn by: AQ/EA/LH  
Checked by: DE, LB, RB, OB  
Sheet Name:

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**190th Street Heppell Property**  
**Office Warehouse & CRU's**  
 2898 190 Street and 2981 & 2825 192 Street  
 Surrey, British Columbia



**1 Enlarged Site Plan - Building 2**  
 A101 1:500



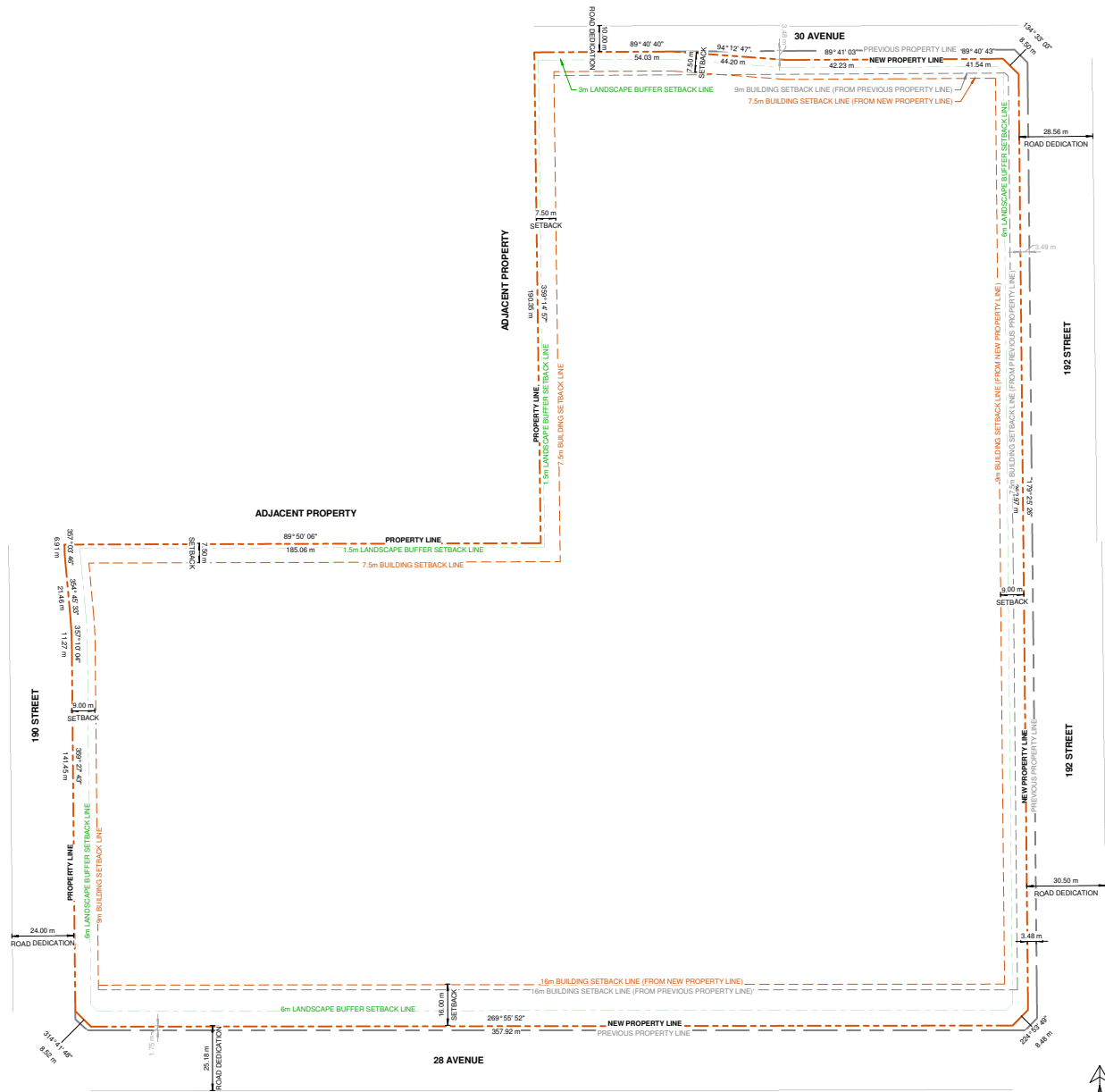
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5	2022-11-30	ISSUED FOR REVIEW
6	2023-02-07	ISSUED FOR REVIEW
7	2023-02-07	ISSUED FOR DEVELOPMENT PERMIT

Project No: 821028  
 Date: 2023-02-07  
 8:49:15 AM  
 Drawn by: AQC/EA/LH  
 Checked by: DE, LB, RO, OB  
 Sheet Name:

Enlarged Site  
 Plan

Sheet No:  
**A103**





1 Base Site Plan  
A104 1:800



aggregate  
design studio ltd.  
**EAGLE BUILDERS**  
THE PRECAST CONCRETE CONNECTION  
1603 885-5325 P.O. BOX 1690  
BLACKFALDS, AB, T0M 0J0

# 190th Street Heppell Property Office Warehouse & CRU's

2898 190 Street and 2981 & 2825 192 Street  
Surrey, British Columbia

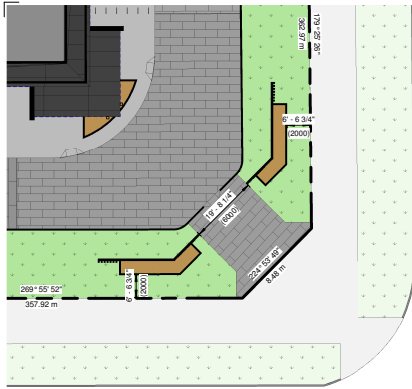
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3	ISSUED FOR REVIEW	2023-06-01
4	REVISION FOR DEVELOPMENT PERMIT	2023-10-10
5	REVISION FOR DEVELOPMENT PERMIT	2023-11-02
6	REVISION FOR DEVELOPMENT PERMIT	2023-12-01

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Date: 2023-02-07  
8:49:19 AM  
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Checked by: DE, LB, RO, OB  
Sheet Name:

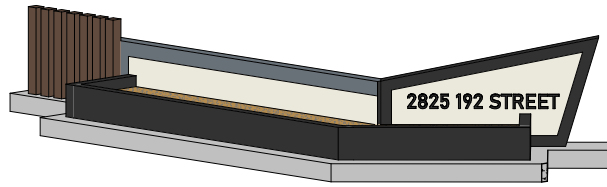
Building  
Location Plan

Sheet No:  
**A104**

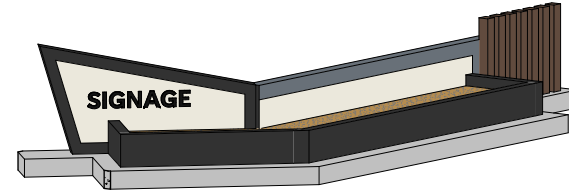
10 NOT SCALE DRAWING - VERIFY ALL DIMENSIONAL DATA AND LEVELS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE ARCHITECT IMMEDIATELY. ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES. THIS IS A COPYRIGHT DRAWING AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT OF THE CONSULTANT.



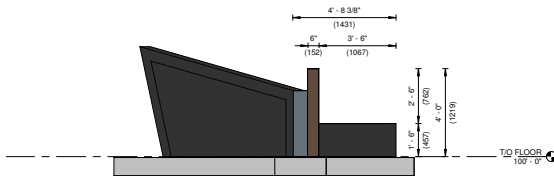
**Southeast Signage Location**  
1:200



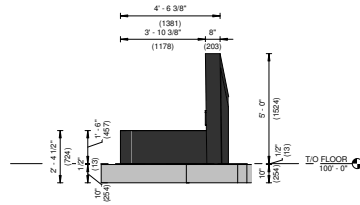
**Southwest Corner Sign (Left)**



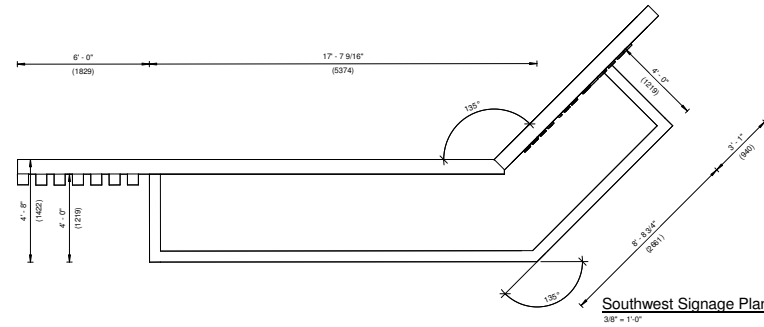
**Southwest Corner Sign (Right)**



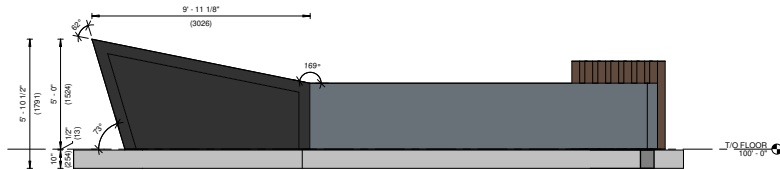
**Southwest Sign Left**  
3'8" x 1'0"



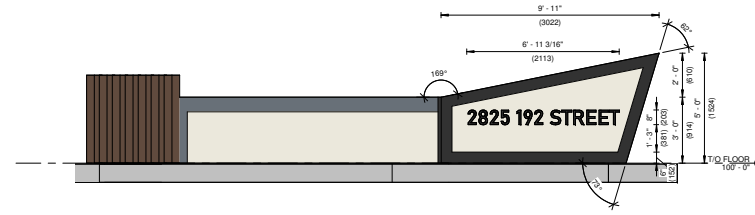
**Southwest Sign Right**  
3'8" x 1'0"



**Southwest Signage Plan**  
3'8" x 1'0"

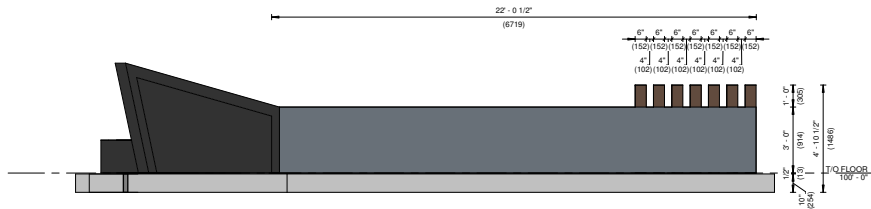


**Southwest Sign Back #1**  
3'8" x 1'0"

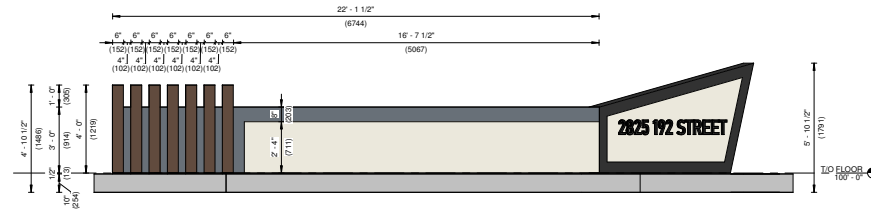


**Southwest Sign Front #1**  
3'8" x 1'0"

SIGNAGE FONT: BAHNSCHRIFT  
NOTE: SIGN SURFACE AREA = 4%



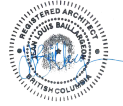
**Southwest Sign Back #2**  
3'8" x 1'0"



**Southwest Sign Front #2**  
3'8" x 1'0"

SIGNAGE FONT: BAHNSCHRIFT  
NOTE: SIGN SURFACE AREA = 4%

Stamp:



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**EAGLE BUILDERS**  
THE PRECAST CONCRETE CONNECTION  
1403 BBS-5325 P.O. BOX 1690  
BLACKFALDS, AB, T0M 0J0

**190th Street Heppell Property**  
**Office Warehouse & CRU's**  
2898 190 Street and 2825 192 Street  
Surrey, British Columbia

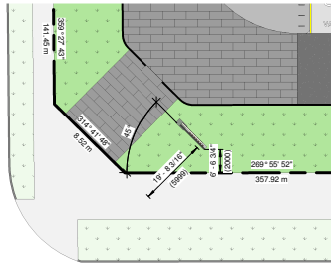
NO.	DATE	DESCRIPTION
1	2023-02-07	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 821028  
Date: 2023-02-07  
8:49:21 AM  
Drawn by: AQ/EA/LH  
Checked by: DE, LB, RO, OB  
Sheet Name:

Signage Plan & Elevations

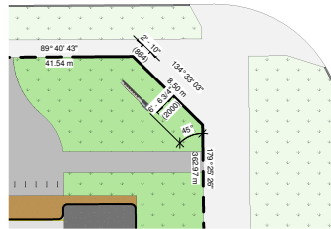
Sheet No:

**A105**



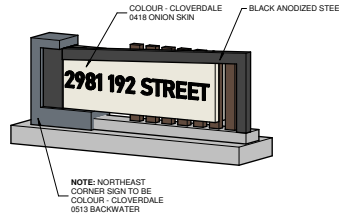
**Southwest Signage Location**

1:200

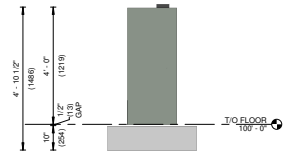


**Northeast Signage Location**

1:200

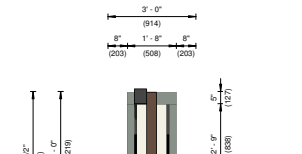


**Northeast Corner Sign**



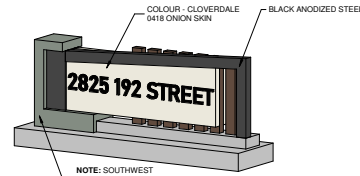
**Left Elevation**

1/2" = 1'-0"

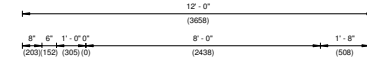


**Right Elevation**

1/2" = 1'-0"



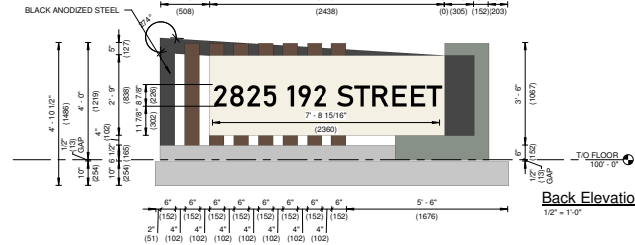
**Southwest Corner Sign**



**Front Elevation**

1/2" = 1'-0"

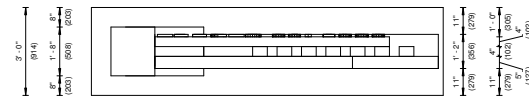
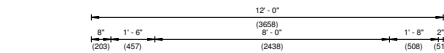
SIGNAGE FONT: BAHNSCHRIFT  
NOTE: SIGN SURFACE AREA = 13%



**Back Elevation**

1/2" = 1'-0"

SIGNAGE FONT: BAHNSCHRIFT  
NOTE: SIGN SURFACE AREA = 13%



**Signage Plan**

1/2" = 1'-0"

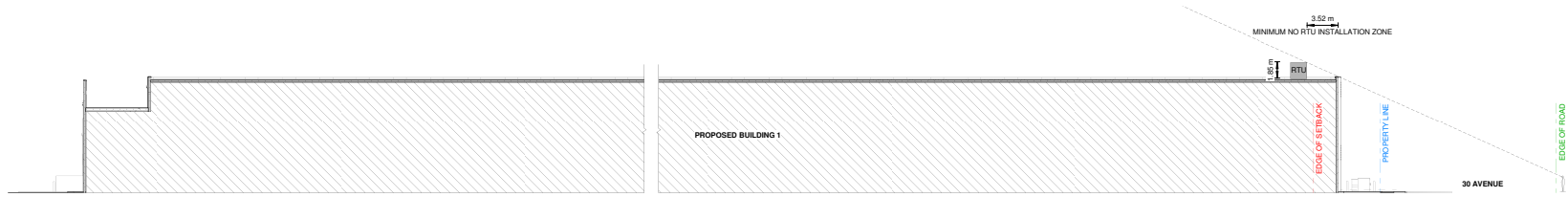
NO.	DATE	DESCRIPTION
1	2023-02-07	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 821028  
Date: 2023-02-07  
8:49:25 AM  
Drawn by: AQ/EA/LH  
Checked by: DE, LB, RO, OB  
Sheet Name:

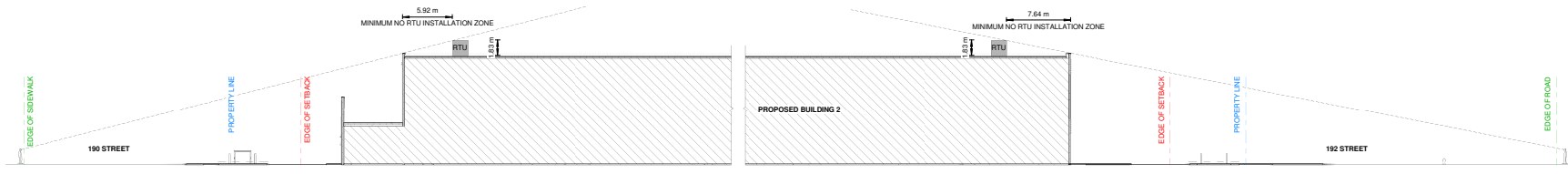
Signage Plan & Elevations

Sheet No:

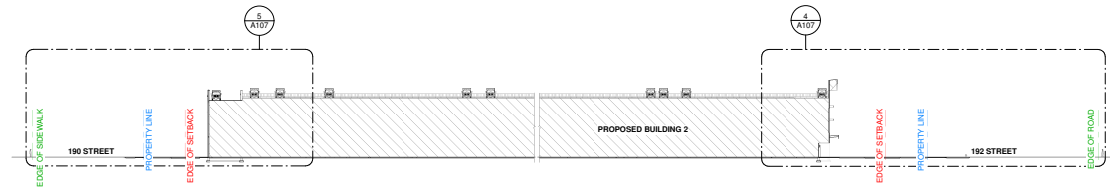
**A106**



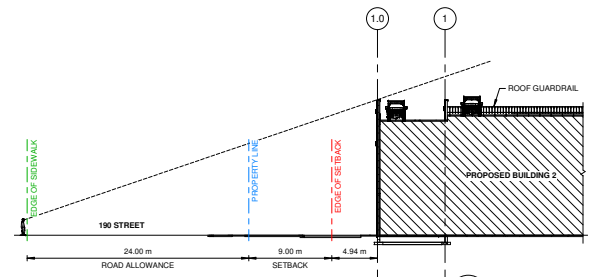
**1 Building 1 Rooftop Unit Sight Line**  
A107 1:250



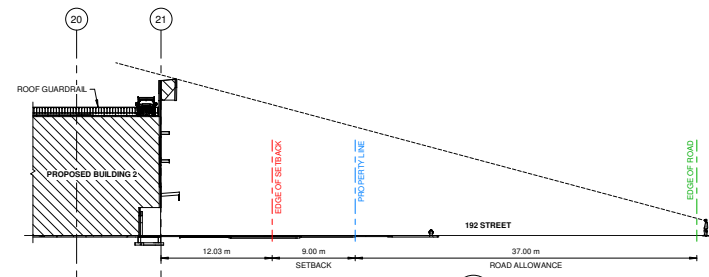
**2 Building 2 Rooftop Unit Sight Lines**  
A107 1:250



**3 Building 2 Rooftop Parking Sight Lines**  
A107 1:500



**5 Building 2 190 Street Sight Line**  
A107 1:250



**4 Building 2 192 Street Sight Line**  
A107 1:250

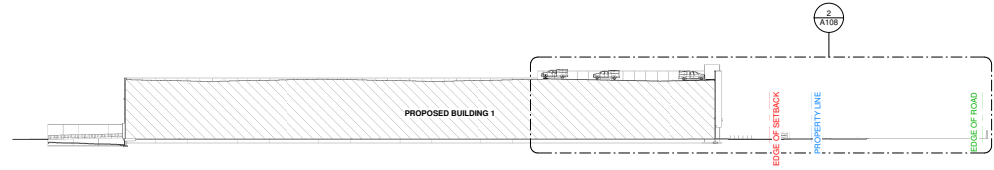
NO.	DATE	DESCRIPTION
1	2022-05-27	ISSUED FOR DEVELOPMENT PERMIT
2	2022-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
3	2022-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2022-02-05	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: B21028  
Date: 2023-02-07  
8:49:32 AM  
Drawn by: AQ/EA/LH  
Checked by: DE, LB, RO, OB  
Sheet Name:

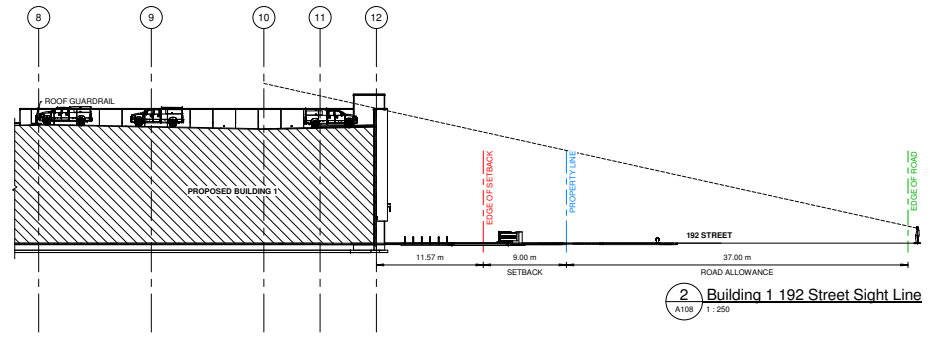
Site Details

Sheet No:  
**A107**

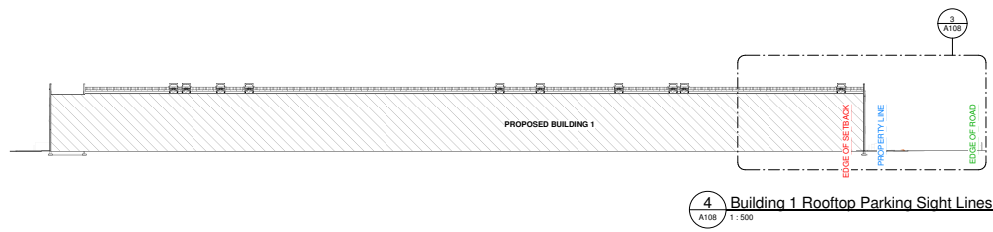
**190th Street Heppell Property  
 Office Warehouse & CRU's**  
 2898 190 Street and 2981 & 2825 192 Street  
 Surrey, British Columbia



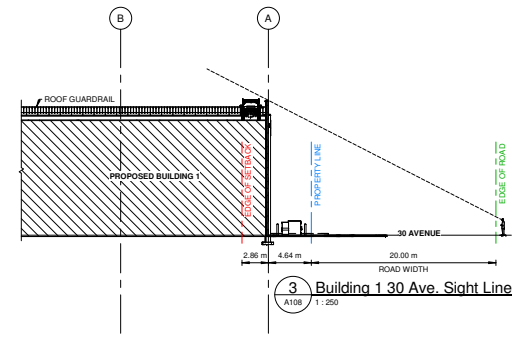
**1 Building 1 Rooftop Parking Sight Line**  
 A108 1:500



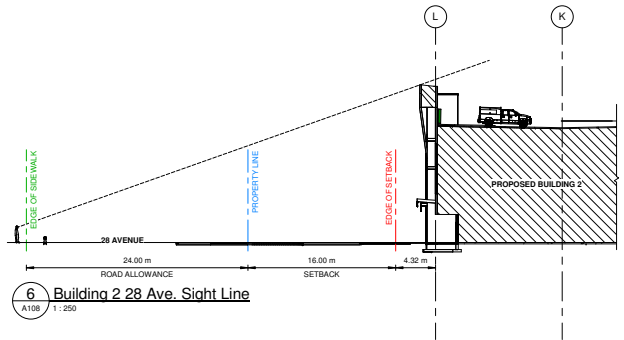
**2 Building 1 192 Street Sight Line**  
 A108 1:250



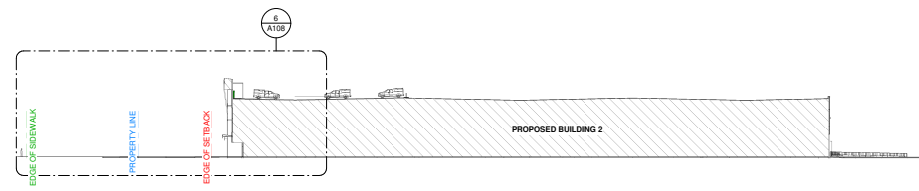
**4 Building 1 Rooftop Parking Sight Lines**  
 A108 1:500



**3 Building 1 30 Ave. Sight Line**  
 A108 1:250



**6 Building 2 28 Ave. Sight Line**  
 A108 1:250



**5 Building 2 Rooftop Parking Sight Line**  
 A108 1:500

NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-05-10
2	RESOLVED FOR DEVELOPMENT PERMIT	2023-07-07
3	RESOLVED FOR DEVELOPMENT PERMIT	2023-08-05

Project No: B21028  
 Date: 2023-02-07  
 8:49:40 AM  
 Drawn by: AQ/EA/LH  
 Checked by: DE, LB, RO, OB  
 Sheet Name:

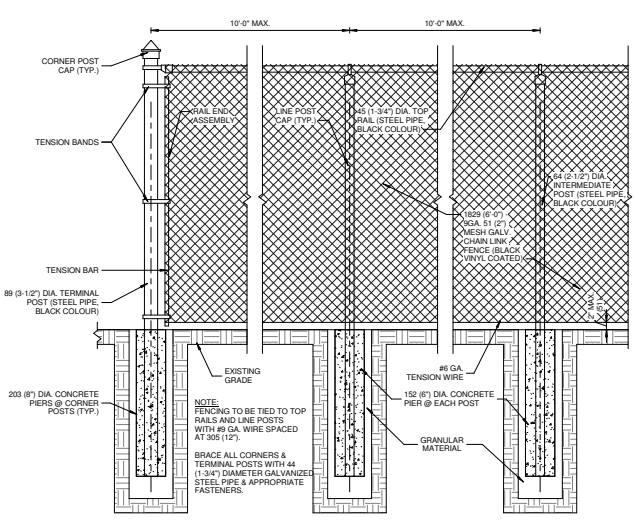
Site Details

Sheet No:

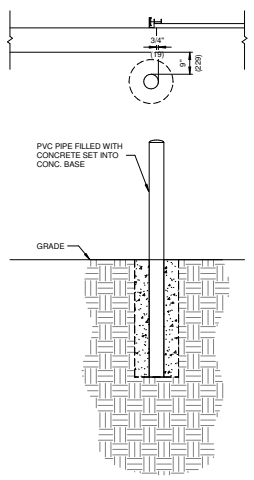
**A108**

NO.	DATE	DESCRIPTION
1	2022-05-21	ISSUED FOR DEVELOPMENT PERMIT
2	2022-07-17	REVISED FOR DEVELOPMENT PERMIT
3	2022-12-07	REVISED FOR DEVELOPMENT PERMIT
4	2023-02-05	REVISED FOR DEVELOPMENT PERMIT

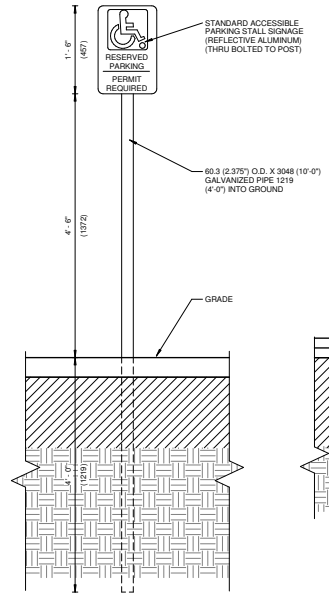
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Date: 2023-02-07  
8:49:41 AM  
Drawn by: AQ/EA/LH  
Checked by: DE, LB, RO, OB  
Sheet Name:



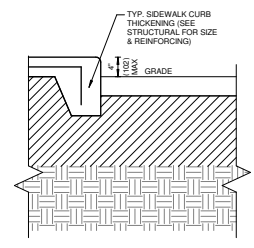
5 Wire Fence Detail  
A109 3/4" = 1'-0"



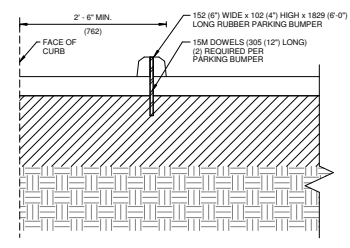
4 Bollard Detail  
A109 1/2" = 1'-0"



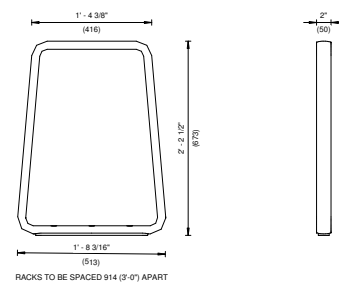
3 Barrier Free Sign  
A109 1" = 1'-0"



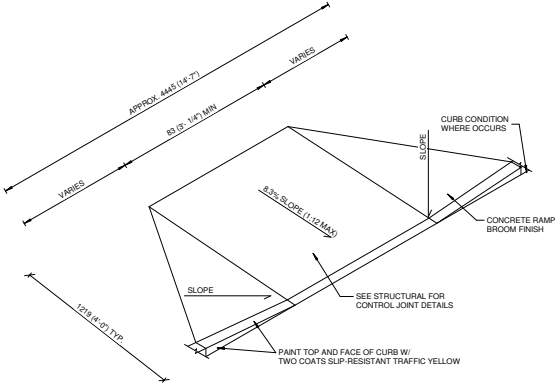
2 Curb Detail  
A109 1" = 1'-0"



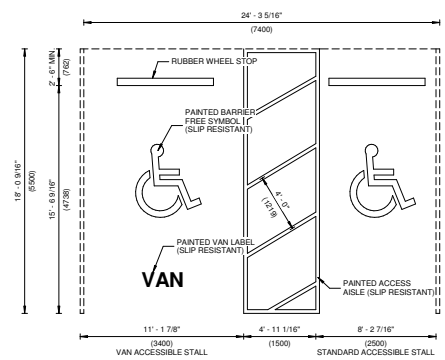
1 Wheel Stop Detail  
A109 1" = 1'-0"



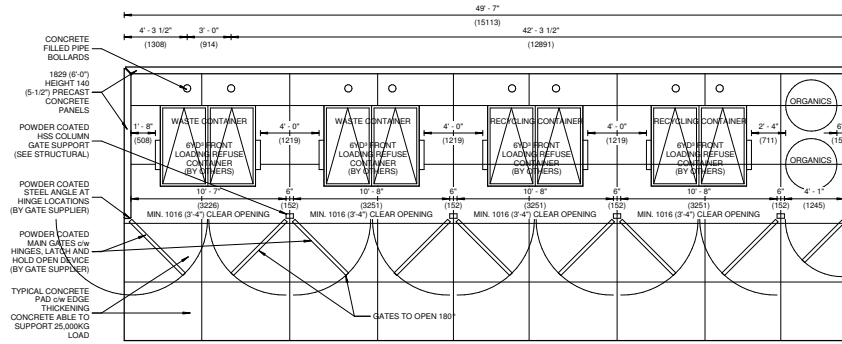
8 Maqin Bike Rack  
A109 1 1/2" = 1'-0"



7 Sidewalk Ramp  
A109 3/16" = 1'-0"

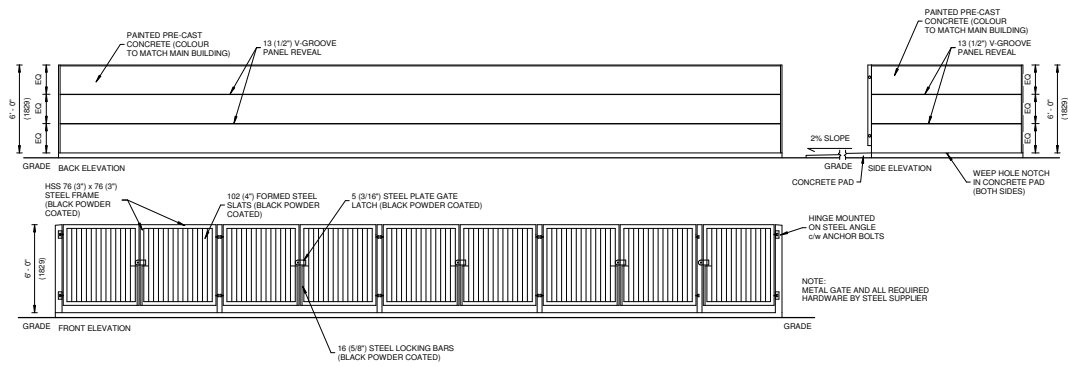


6 Barrier Free Parking Stalls  
A109 1/4" = 1'-0"

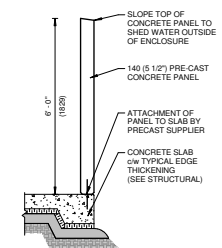


**WASTE AND RECYCLING PROTOCOL:**  
 - THIS ENCLOSURE IS INTENDED FOR TYPICAL COMMERCIAL/ INDUSTRIAL GENERATED WASTE ONLY.  
 - CONFIRM MINIMUM 6'01\"/>

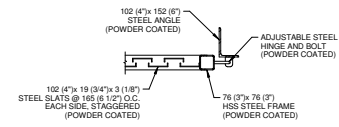
**1 Garbage Enclosure Plan**  
 A110 1/4" = 1'-0"



**2 Garbage Enclosure Elevation**  
 A110 1/4" = 1'-0"



**4 Enclosure Section**  
 A110 1/2" = 1'-0"



**3 Enclosure Gate Construction**  
 A110 1" = 1'-0"



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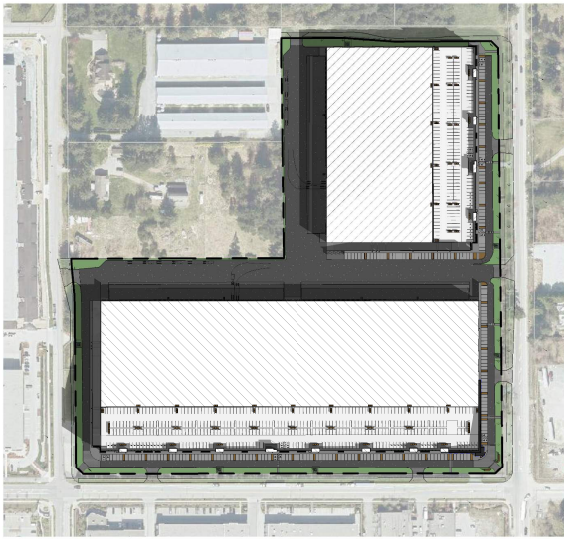
**190th Street Heppell Property**  
**Office Warehouse & CRU's**  
 2898 190 Street and 2981 & 2825 192 Street  
 Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2022-05-21	ISSUED FOR DEVELOPMENT PERMIT
2	2022-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
3	2022-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2022-02-05	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 821028  
 Date: 2023-02-07 8:49:42 AM  
 Drawn by: AQ/EA/LH  
 Checked by: DE, LB, RO, OB  
 Sheet Name:

Site Details

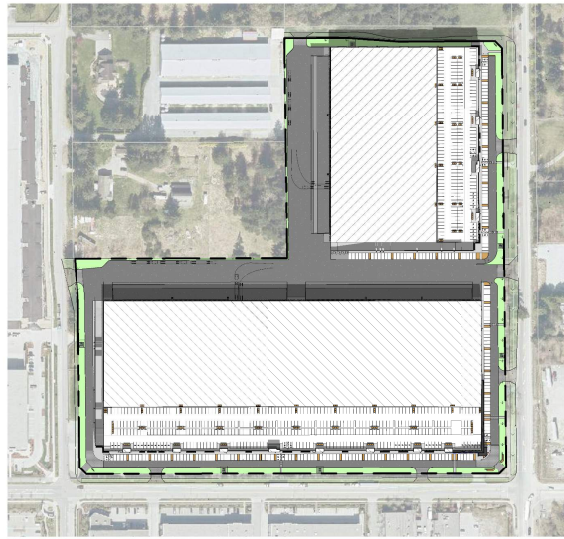
Sheet No:  
**A110**



1 Sun Study - Spring 9am  
A111 1:2000



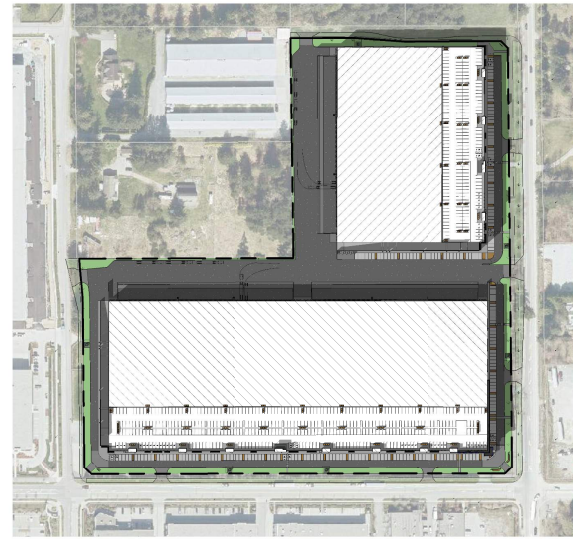
NOTES:  
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES  
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



2 Sun Study - Spring 12pm  
A111 1:2000



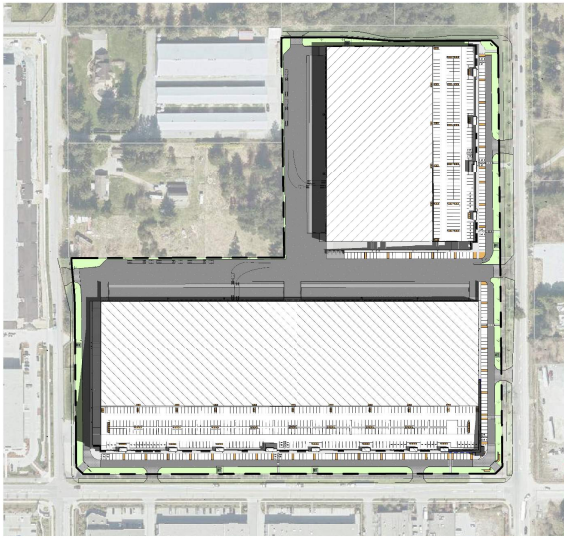
NOTES:  
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES  
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



3 Sun Study - Spring 3pm  
A111 1:2000



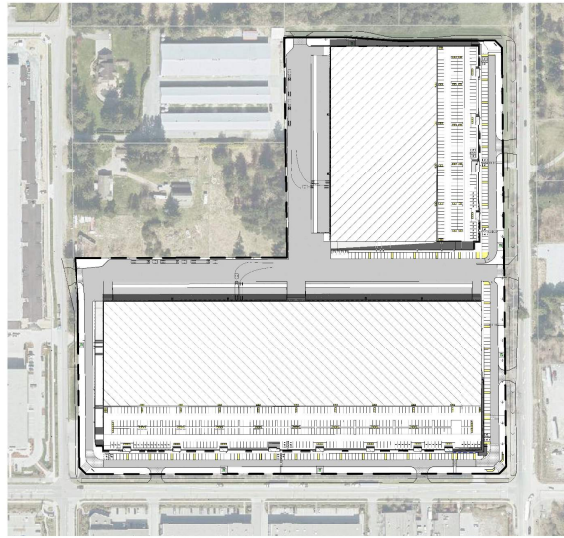
NOTES:  
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES  
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



4 Sun Study - Summer 9am  
A111 1:2000



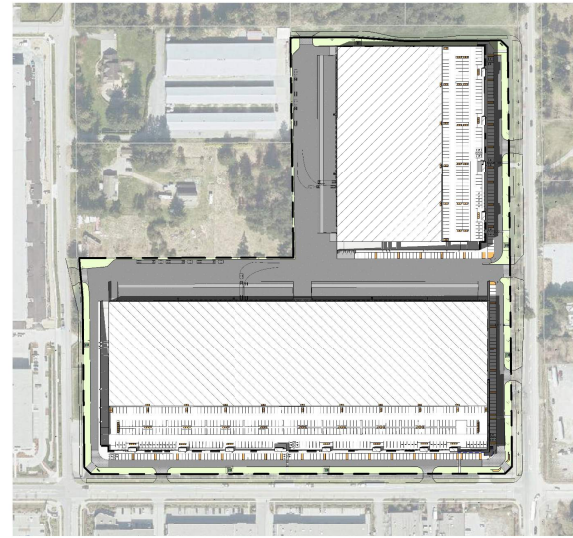
NOTES:  
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES  
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



5 Sun Study - Summer 12pm  
A111 1:2000



NOTES:  
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES  
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



6 Sun Study - Summer 3pm  
A111 1:2000



NOTES:  
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES  
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS

Architect:



Stamp:



aggregate  
design studio ltd.



THE PRECAST CONCRETE CONNECTION  
1403 885-5325 P.O. BOX 1690  
BLACKFALDS, AB, T0M 0J0

190th Street Heppell Property  
Office Warehouse & CRU's  
2898 190 Street and 2981 & 2825 192 Street  
Surrey, British Columbia

NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-05-20
2	ISSUED FOR REVIEW	2023-06-01
3	RESUBMITTED FOR DEVELOPMENT PERMIT	2023-12-07
4	RESUBMITTED FOR DEVELOPMENT PERMIT	2023-02-06

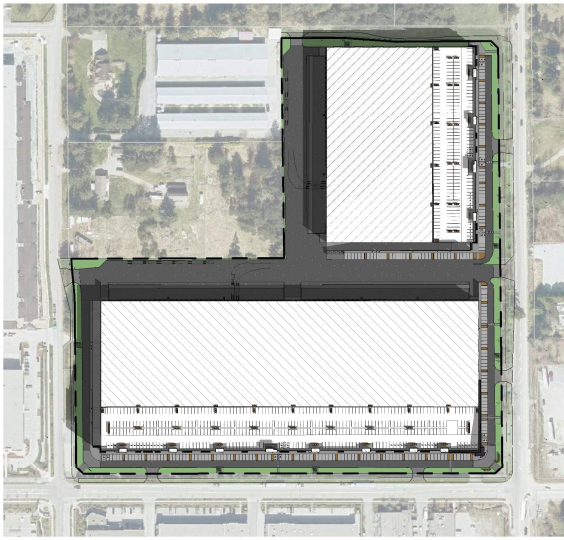
Project No: 621028  
Date: 2023-02-07 8:50:28 AM  
Drawn by: AQ/EA/LH  
Checked by: DE, LB, RO, OB  
Sheet Name:

Sun Study

Sheet No:

A111

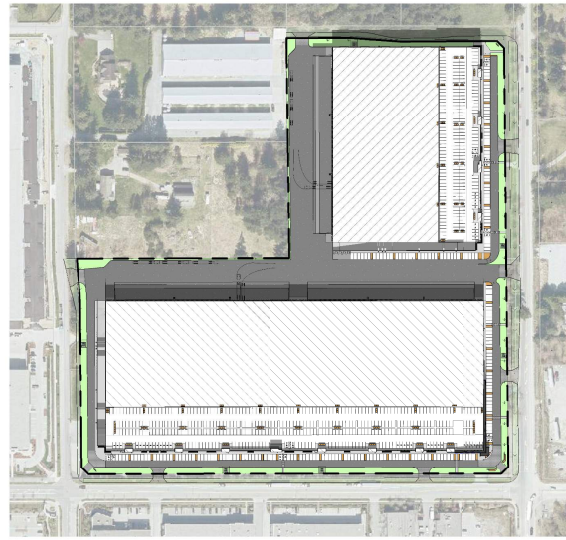




**1 Sun Study - Fall 9am**  
A112 1:2000



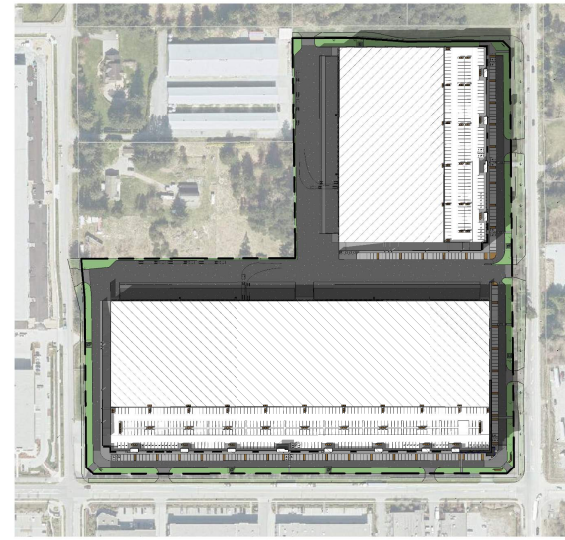
NOTES:  
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES  
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



**2 Sun Study - Fall 12pm**  
A112 1:2000



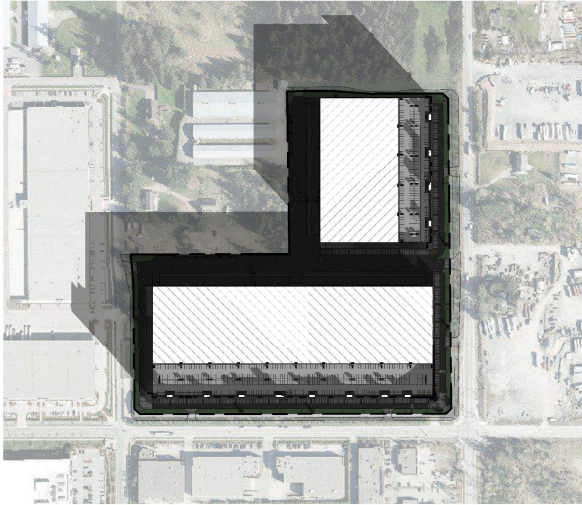
NOTES:  
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES  
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



**3 Sun Study - Fall 3pm**  
A112 1:2000



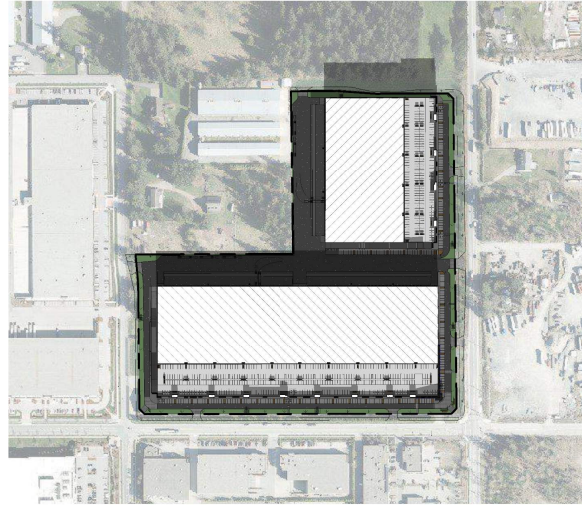
NOTES:  
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES  
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



**4 Sun Study - Winter 9am**  
A112 1:2700



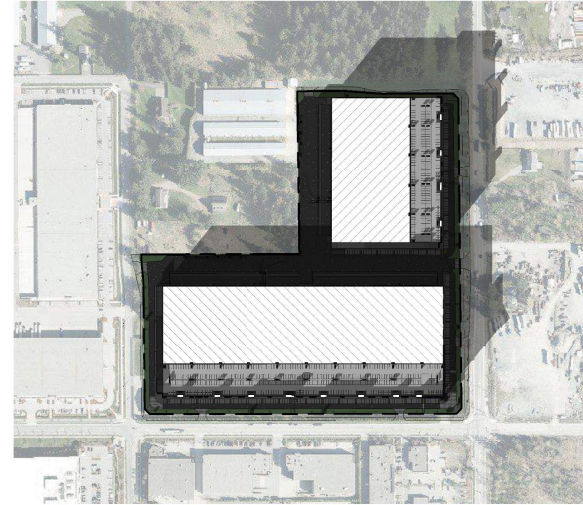
NOTES:  
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES  
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



**5 Sun Study - Winter 12pm**  
A112 1:2700



NOTES:  
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES  
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS



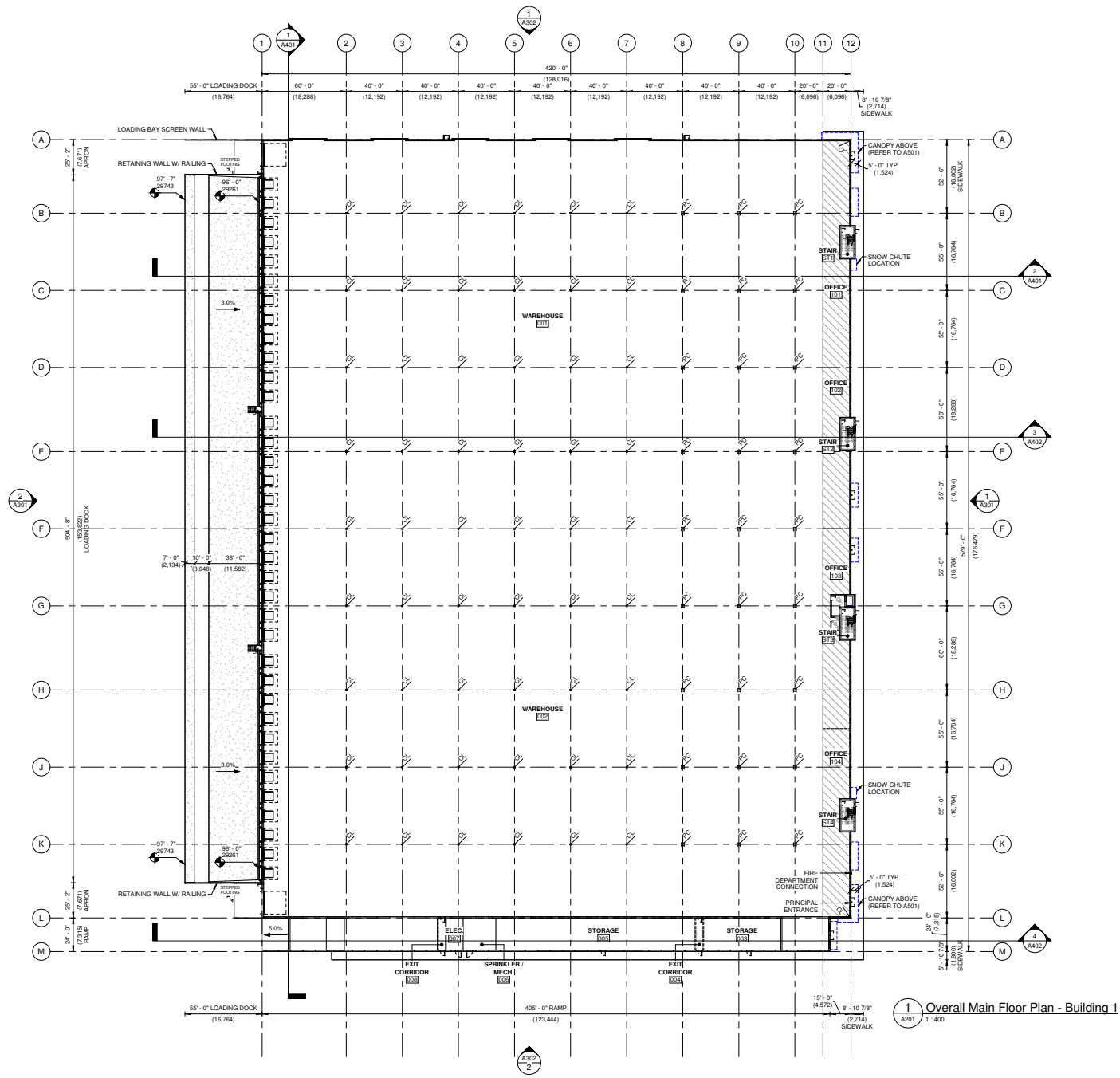
**6 Sun Study - Winter 3pm**  
A112 1:2700



NOTES:  
- SHADOW DIAGRAMS BASED ON THE YEARLY SOLSTICES & EQUINOXES  
- SCALE OF DIAGRAM VARIES BASED ON EXTENT OF SHADOWS

NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-05-20
2	ISSUED FOR REVIEW	2023-06-01
3	RESUBMITTED FOR DEVELOPMENT PERMIT	2023-12-07
4	RESUBMITTED FOR DEVELOPMENT PERMIT	2023-02-06

Project No: B21028  
Date: 2023-02-07 8:51:20 AM  
Drawn by: AQ/EA/LH  
Checked by: DE, LB, RO, OB  
Sheet Name:



1 Overall Main Floor Plan - Building 1  
A201 1:400



190th Street Heppell Property  
 Office Warehouse & CRU's  
 2898 190 Street and 2981 & 2825 192 Street  
 Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2022-05-20	ISSUED FOR DEVELOPMENT PERMIT
2	2022-11-20	ISSUED FOR REVIEW
3	2022-11-20	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2022-12-02	RESUBMITTED FOR DEVELOPMENT PERMIT
5	2023-02-06	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 621028  
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 Checked by: DE, LB, RO, OB  
 Sheet Name:

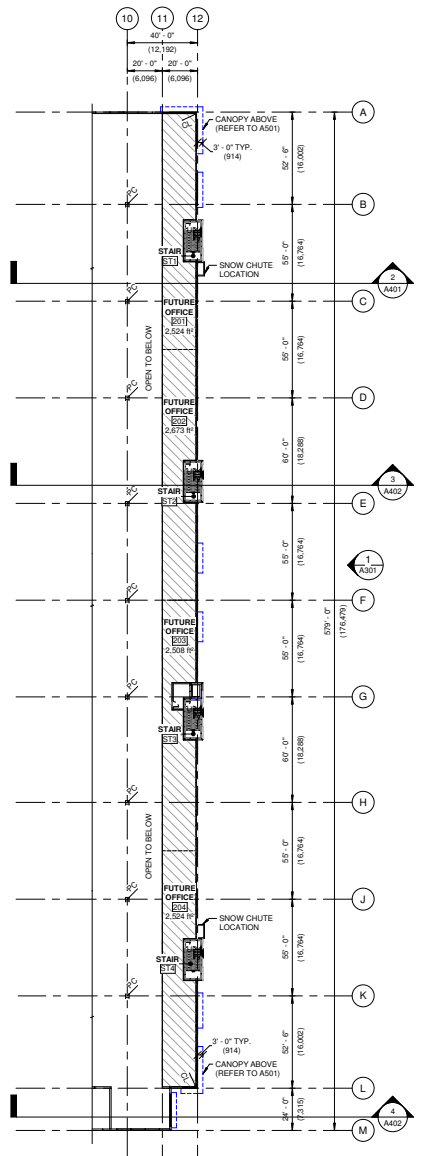
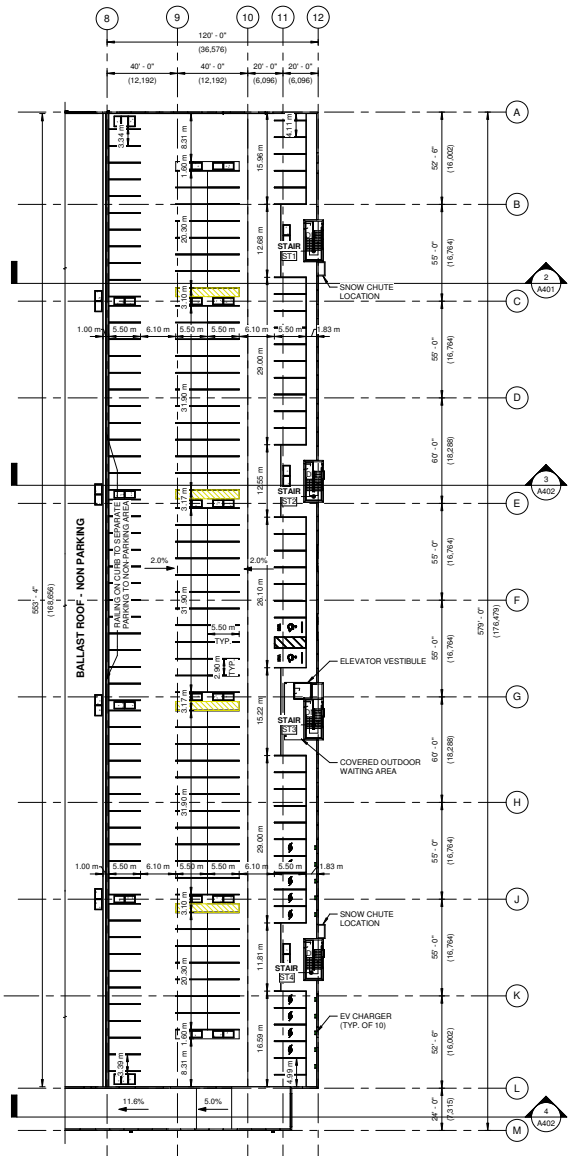
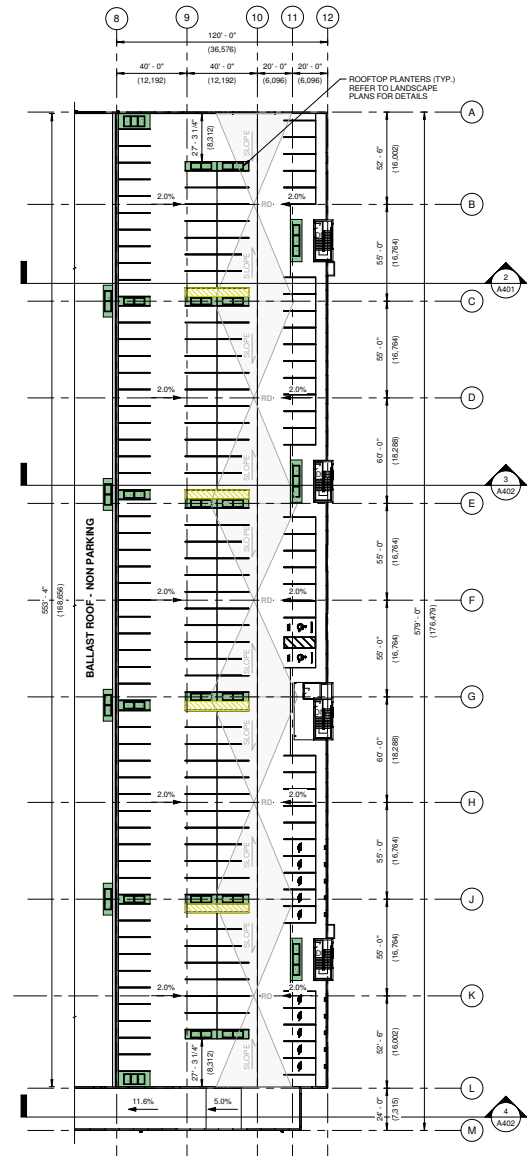
DO NOT SCALE DRAWING - VERIFY ALL DIMENSIONS, DATINGS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE ARCHITECT IMMEDIATELY. ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ANY OTHER COVERING AUTHORITIES. THIS IS A COPYRIGHT DRAWING AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT OF THE COPYRIGHT HOLDER.

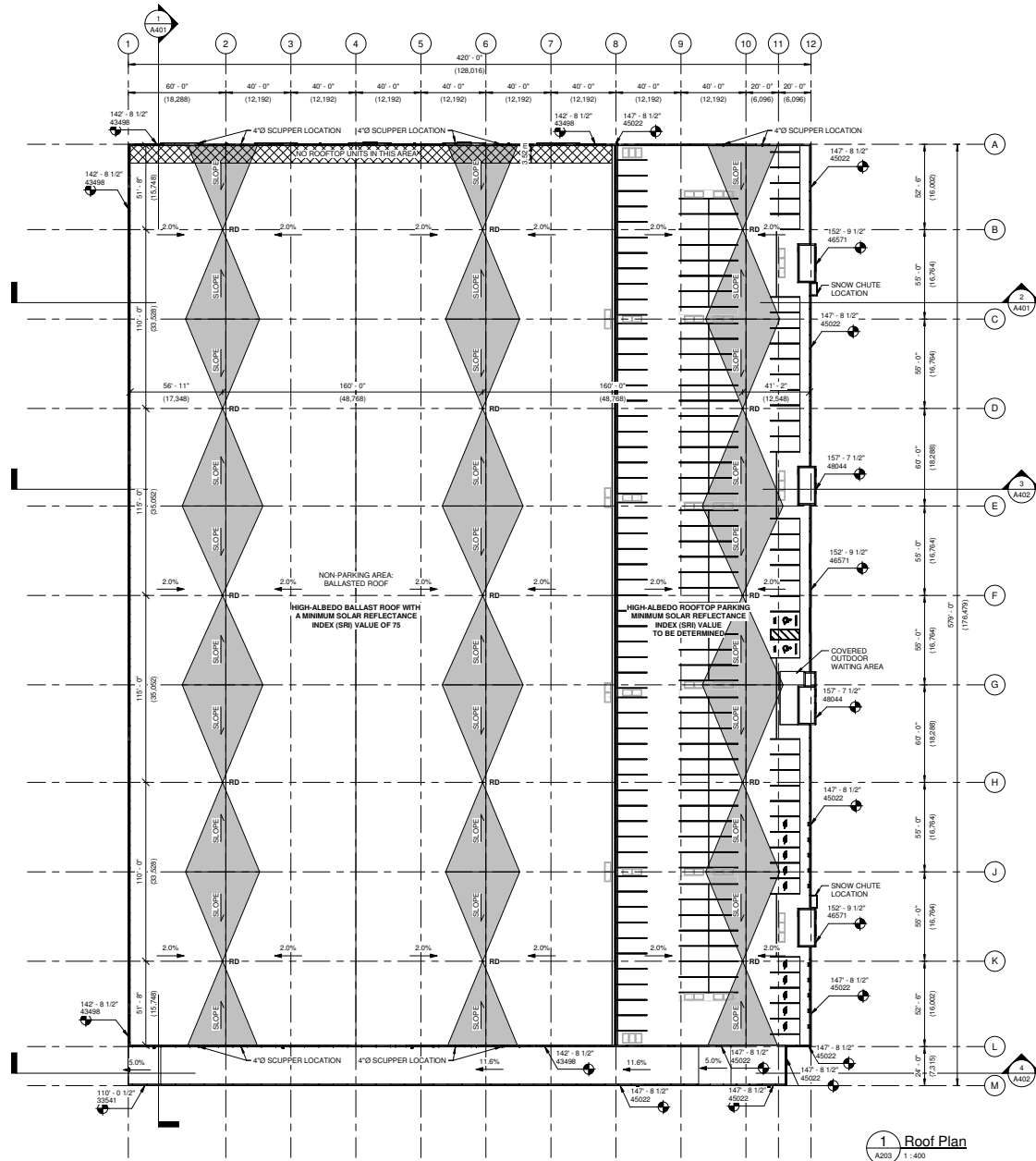
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2	2022-07-27	RESUBMITTED FOR DEVELOPMENT PERMIT
3	2022-10-07	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2022-10-05	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 621028  
 Date: 2023-02-07  
 8:50:32 AM  
 Drawn by: AQ, LH  
 Checked by: DE, LB, RO, OB  
 Sheet Name:

Rooftop Parking  
 & 2nd Floor Plan  
 - Building 1

Sheet No:  
**A202**





1 Roof Plan  
A203 1:400



Architect:

Stamp:

aggregate  
design studio ltd.

THE PRECAST CONCRETE CONNECTION  
1403 885-5325 P.O. BOX 1690  
BLACKFALDS, AB, T0M 0J0

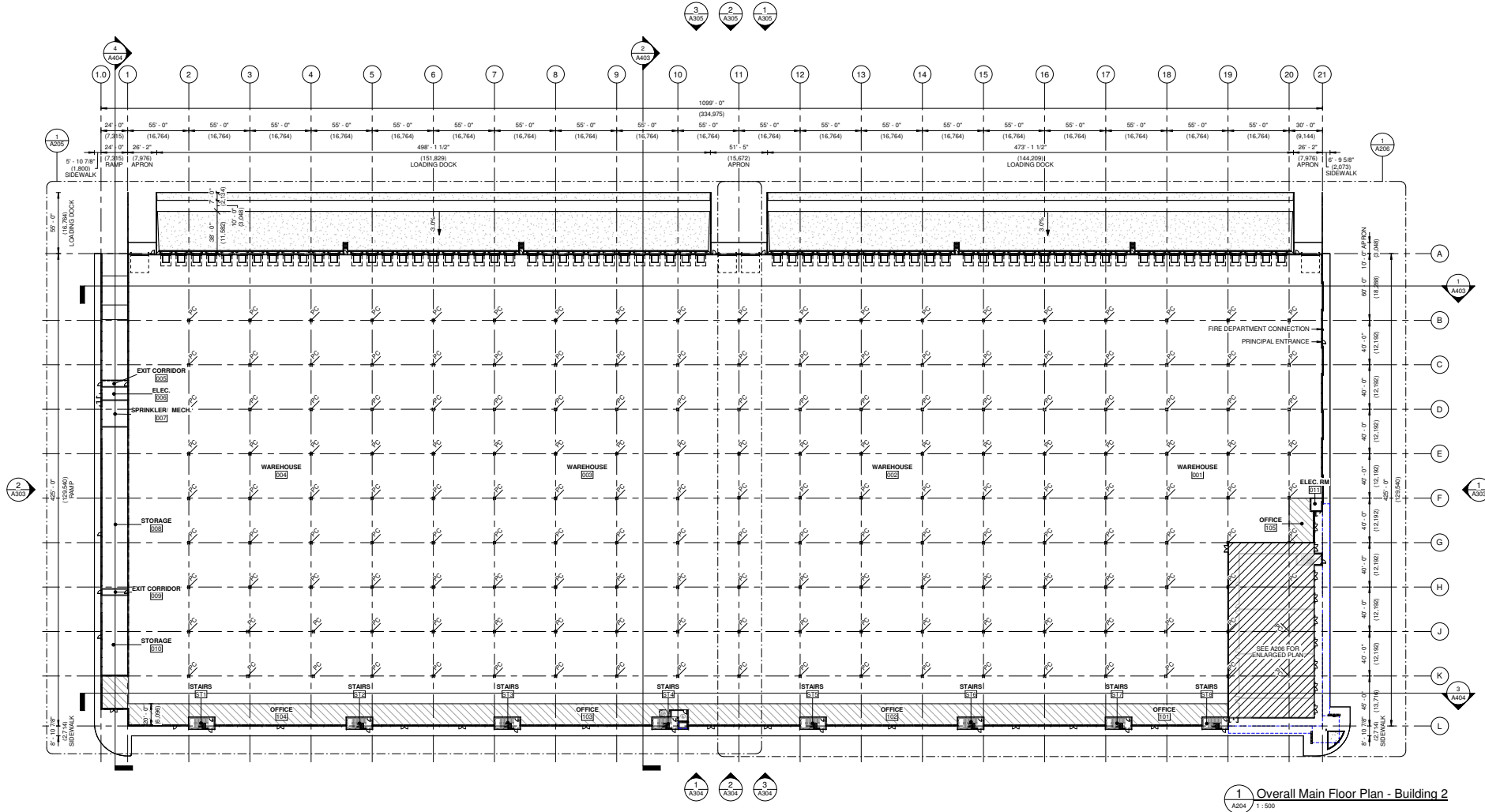
190th Street Heppell Property  
Office Warehouse & CRU's  
2898 190 Street and 2981 & 2825 192 Street  
Surrey, British Columbia

NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-05-20
2	RESOLVED FOR DEVELOPMENT PERMIT	2023-07-07
3	RESOLVED FOR DEVELOPMENT PERMIT	2023-08-05

Project No: 821028  
Date: 2023-02-07  
8:50:34 AM  
Drawn by: AE, LB, RB, OB  
Checked by: DE, LB, RB, OB  
Sheet Name:

Roof Plan  
Overall -  
Building 1  
Sheet No:  
**A203**

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1 Overall Main Floor Plan - Building 2  
 A204 1:500

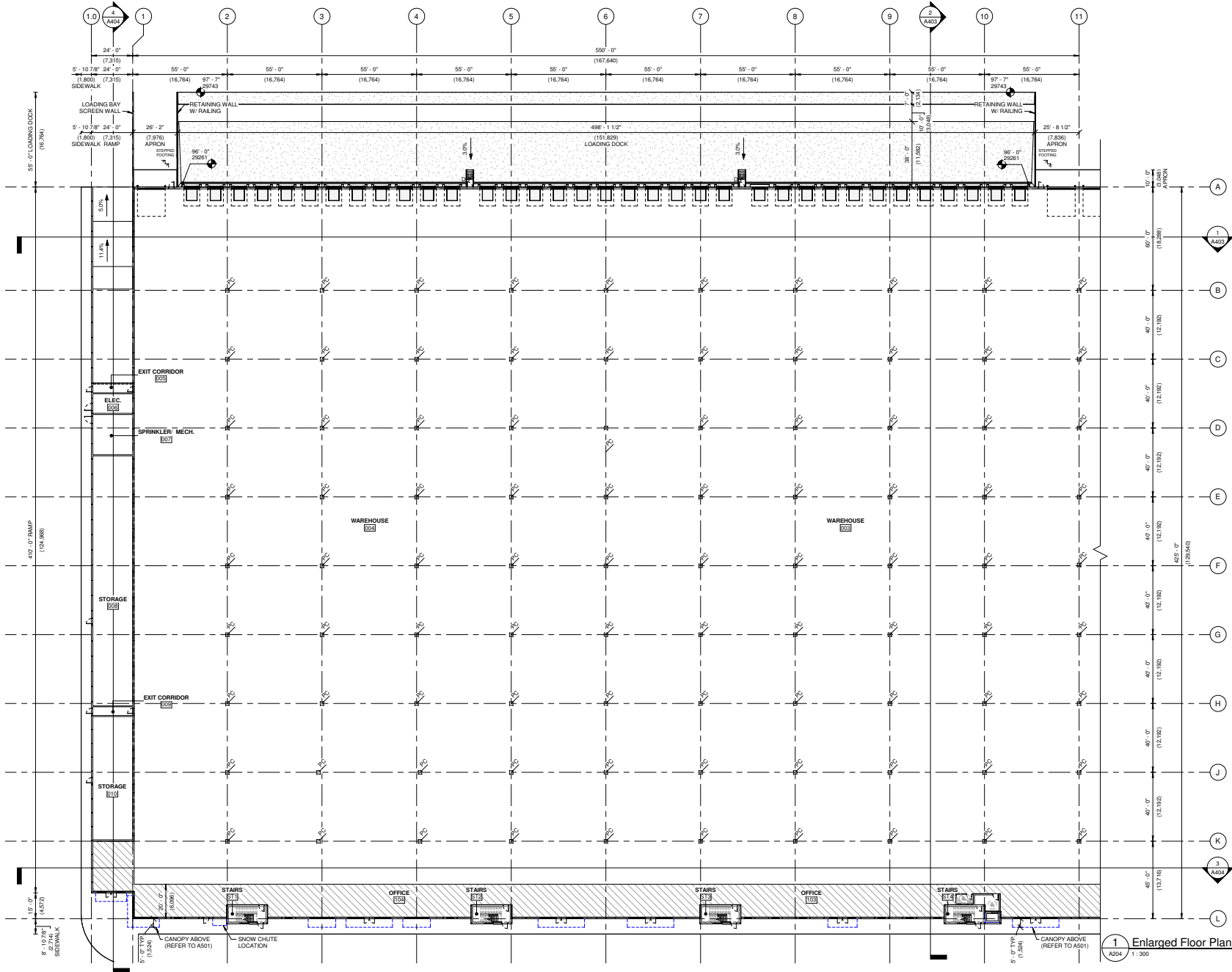
190th Street Heppell Property  
 Office Warehouse & CRU's  
 2898 190 Street and 2981 & 2825 192 Street  
 Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2022-05-10	ISSUED FOR DEVELOPMENT PERMIT
2	2022-07-07	REVISED FOR DEVELOPMENT PERMIT
3	2022-07-07	REVISED FOR DEVELOPMENT PERMIT
4	2022-02-06	REVISED FOR DEVELOPMENT PERMIT

Project No: 821028  
 Date: 2023-02-06  
 5:29:14 PM  
 Drawn by: AQ, KL, LH  
 Checked by: DE, LB, RO, OB  
 Sheet Name:

Floor Plan  
 Overall -  
 Building 2

Sheet No:  
**A204**



1 Enlarged Floor Plan - West  
A204 1:300



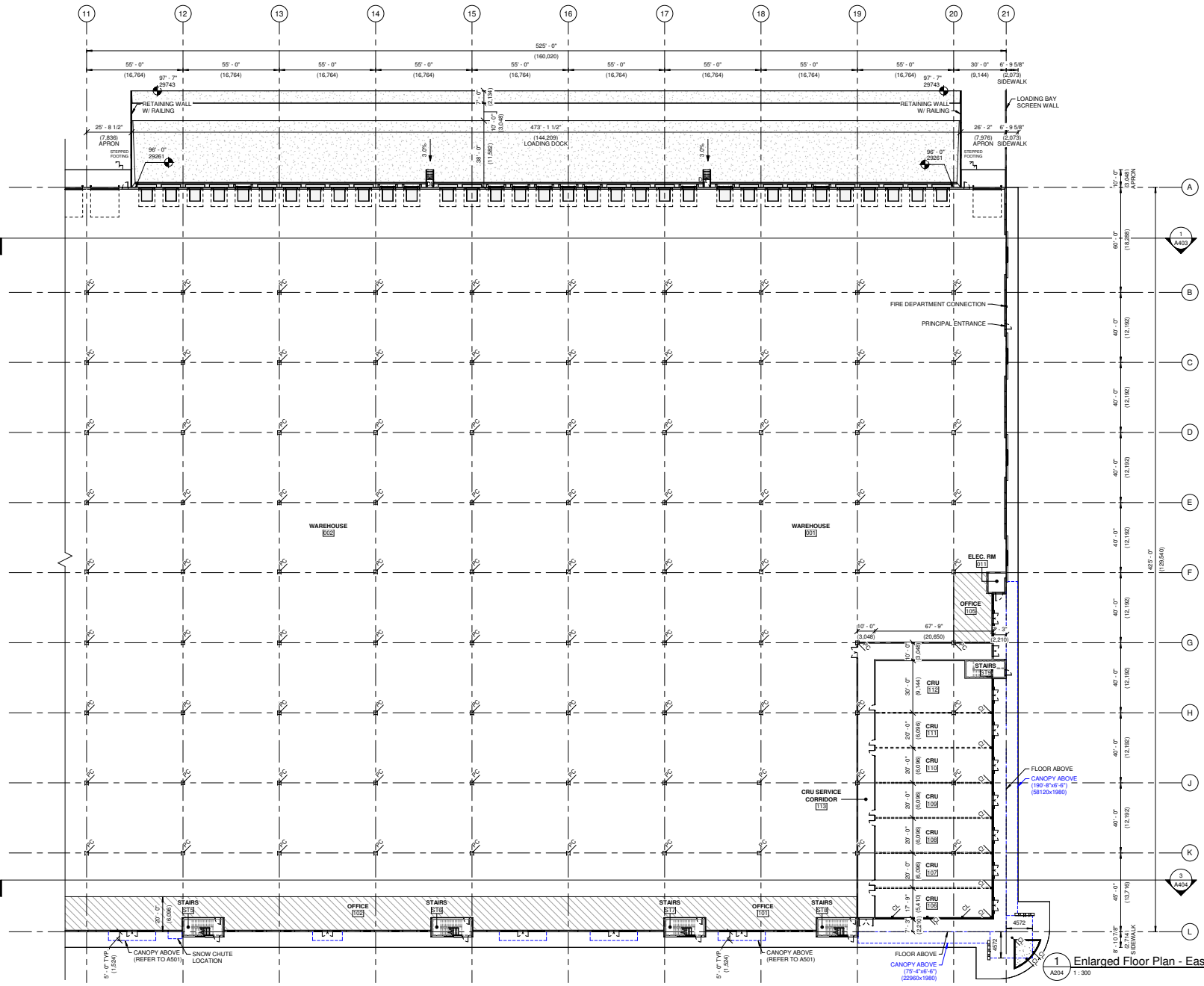
**190th Street Heppell Property**  
**Office Warehouse & CRU's**  
 2898 190 Street and 2981 & 2825 192 Street  
 Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2022-05-20	ISSUED FOR DEVELOPMENT PERMIT
2	2022-11-20	ISSUED FOR REVIEW
3	2022-12-02	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2023-02-06	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: B21028  
 Date: 2023-02-06  
 5:29:15 PM  
 Drawn by: AQ, KL, LH  
 Checked by: DE, LB, RO, OB  
 Sheet Name:

Enlarged Floor  
Plan - West -  
Building 2

DO NOT SCALE DRAWING - VERIFY ALL DIMENSIONS, DATAS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE ARCHITECT IMMEDIATELY. ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ANY OTHER COVERING AUTHORITIES. THIS IS A COPYRIGHT DRAWING AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT OF THE CONSULTANT.



1 Enlarged Floor Plan - East  
A204 1:200

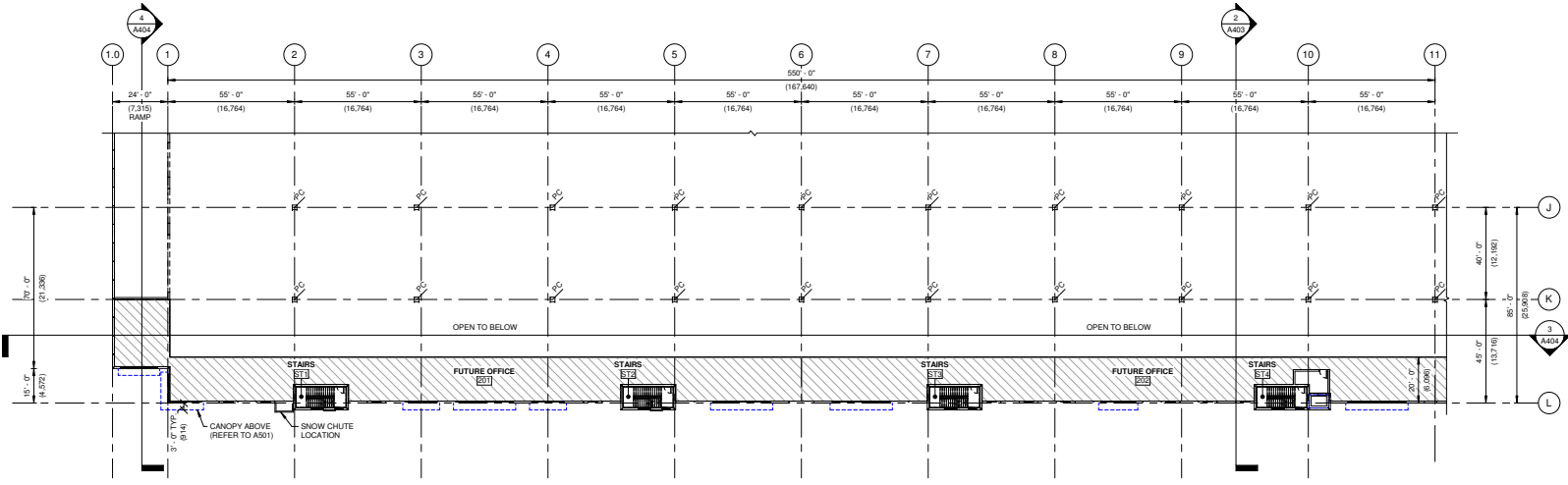
190th Street Heppell Property  
 Office Warehouse & CRU's  
 2898 190 Street and 2981 & 2825 192 Street  
 Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2022-05-20	ISSUED FOR DEVELOPMENT PERMIT
2	2022-11-20	ISSUED FOR REVIEW
3	2022-12-02	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2023-02-06	RESUBMITTED FOR DEVELOPMENT PERMIT

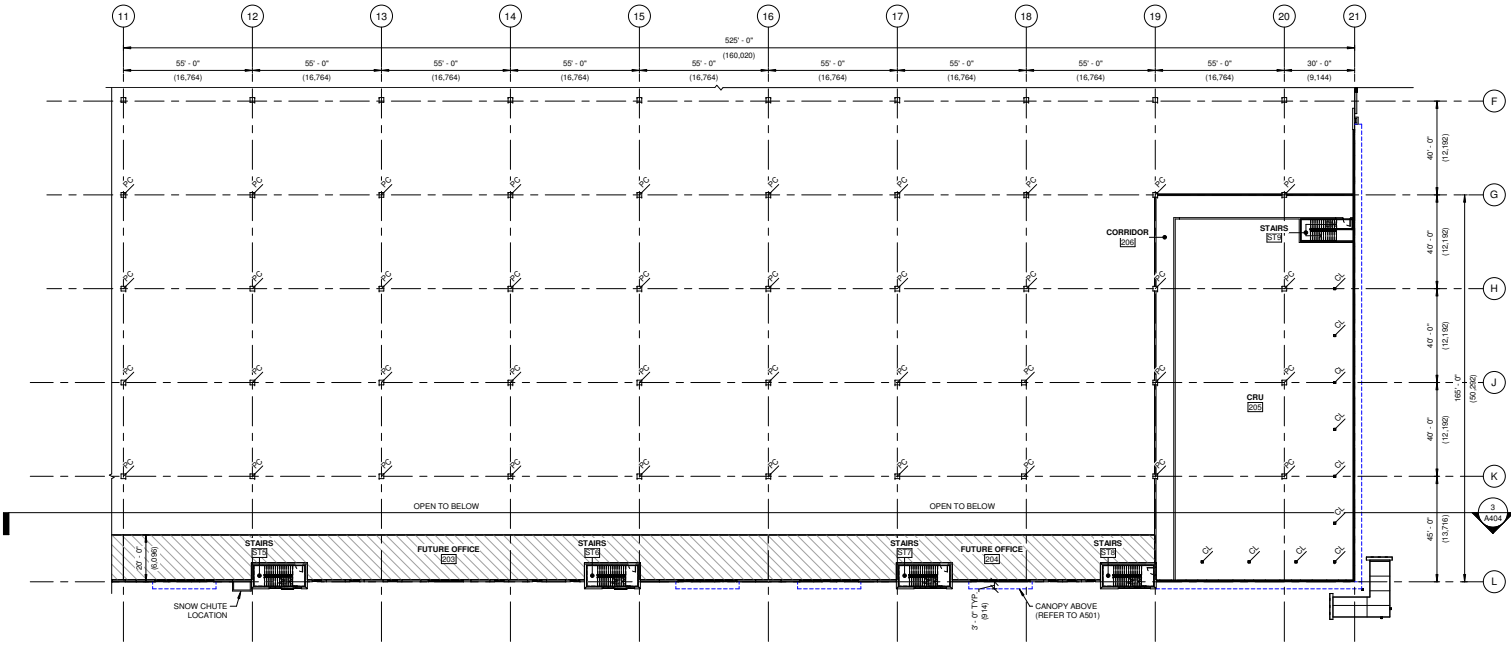
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 Drawn by: AQ, KL, LH  
 Checked by: DE, LB, RO, OB  
 Sheet Name:

Enlarged Floor Plan - East - Building 2

DO NOT SCALE DRAWING - VERIFY ALL DIMENSIONS, DATAS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE ARCHITECT IMMEDIATELY. ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES. THIS IS A COPYRIGHT DRAWING AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT OF THE CONSULTANT.



**1 Enlarged Second Floor Office Plan - West**  
A207 1:300



**2 Enlarged Second Floor Office Plan - East**  
A207 1:300

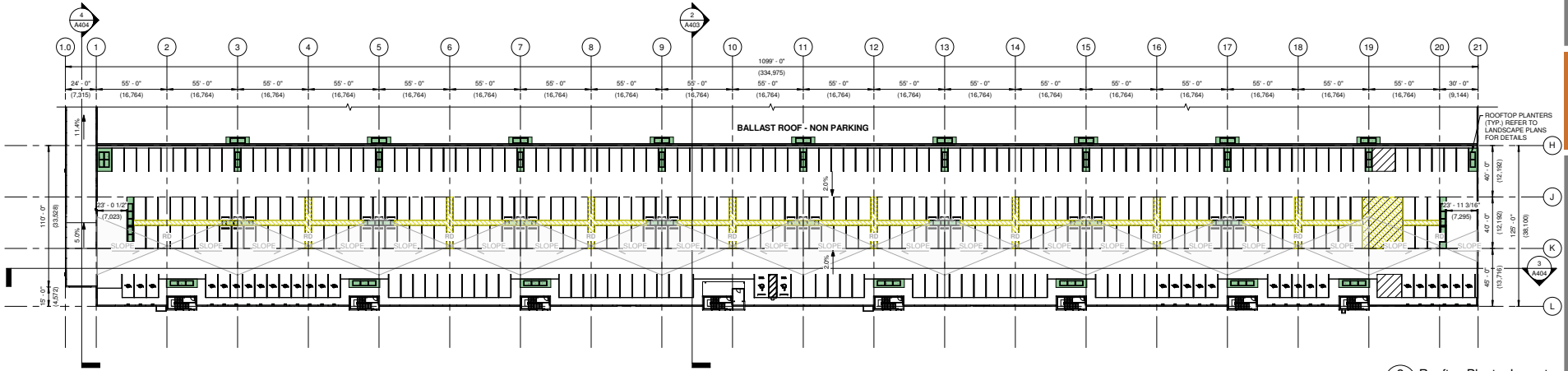


NO.	DATE	DESCRIPTION
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2	2022-07-27	RESUBMITTED FOR DEVELOPMENT PERMIT
3	2022-12-07	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2023-02-06	RESUBMITTED FOR DEVELOPMENT PERMIT

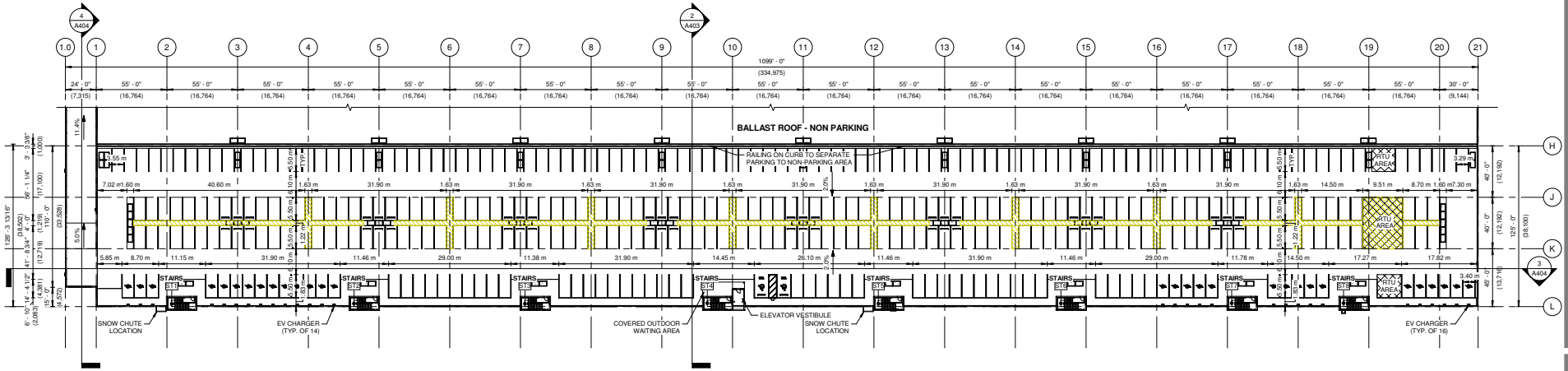
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Date: 2023-02-06  
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Drawn by: AQ, KL, LH  
Checked by: DE, LB, RO, OB  
Sheet Name:

Enlarged Second Floor Office - Building 2





**2 Rooftop Planter Layout**  
 A208 1:450



**1 Rooftop Parking Plan**  
 A208 1:450

**190th Street Heppell Property**  
**Office Warehouse & CRU's**  
 2898 190 Street and 2981 & 2825 192 Street  
 Surrey, British Columbia

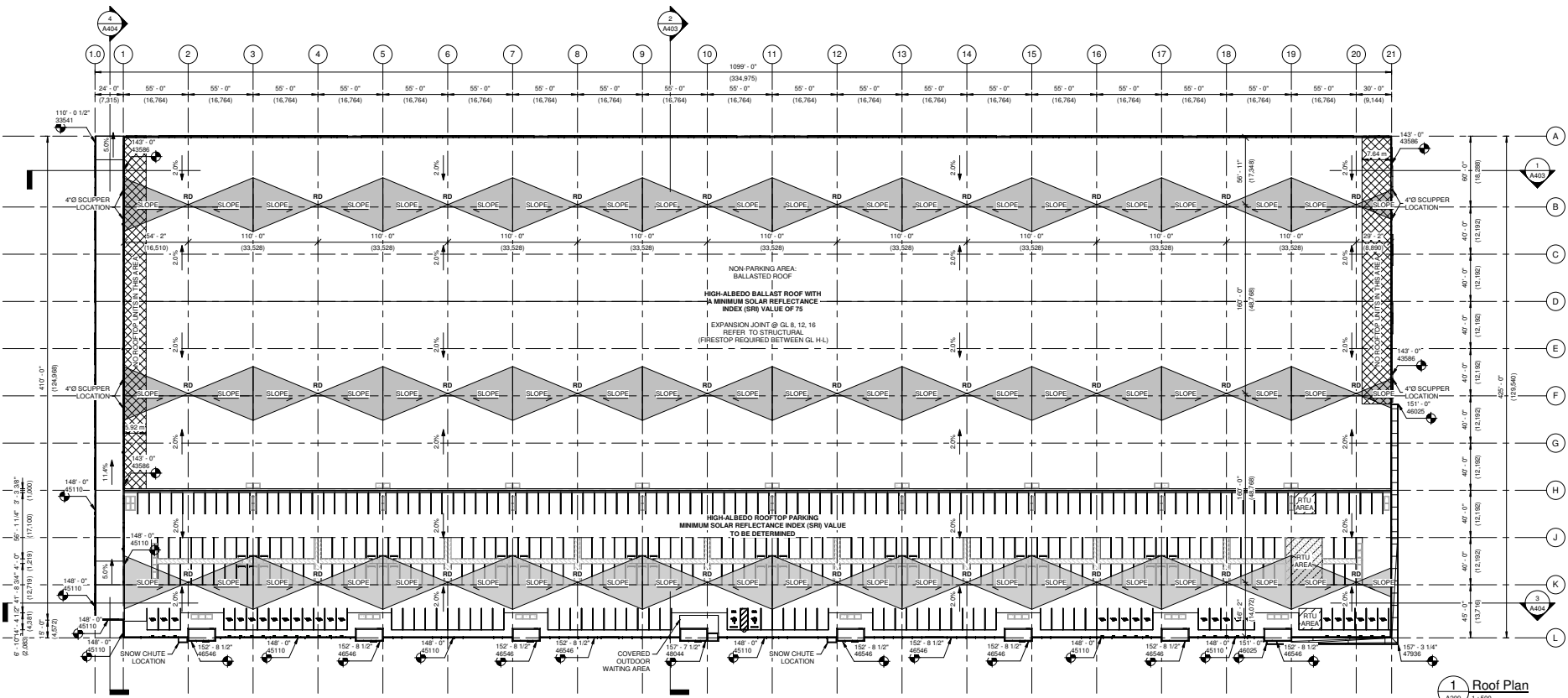
NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2022-05-10
2	ISSUED FOR DEVELOPMENT PERMIT	2022-07-14
3	RESUBMITTED FOR DEVELOPMENT PERMIT	2022-07-14
4	RESUBMITTED FOR DEVELOPMENT PERMIT	2022-07-14

Project No: 821028  
 Date: 2023-02-06  
 5:29:23 PM  
 Drawn by: AQ, KL, LH  
 Checked by: DE, LB, RO, OB  
 Sheet Name:

Rooftop Parking  
 Plan - Building 2

Sheet No:  
**A208**





1 Roof Plan  
 A209 1:500

190th Street Heppell Property  
 Office Warehouse & CRU's  
 2898 190 Street and 2981 & 2825 192 Street  
 Surrey, British Columbia

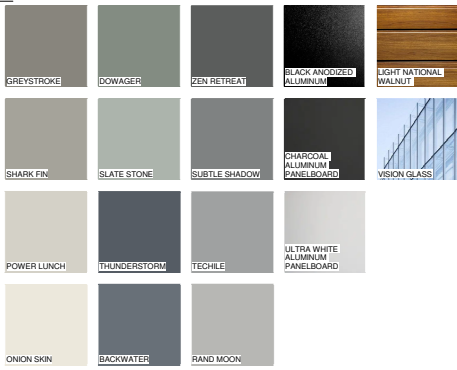
NO.	DATE	DESCRIPTION
1	2022-05-10	ISSUED FOR DEVELOPMENT PERMIT
2	2022-02-07	REVISED FOR DEVELOPMENT PERMIT
3	2022-02-05	REVISED FOR DEVELOPMENT PERMIT

Project No: B21028  
 Date: 2023-02-06  
 5:29:33 PM  
 Drawn by: AQ, KL, LH  
 Checked by: DE, LB, RO, OB  
 Sheet Name:

Roof Plan  
 Overall -  
 Building 2

Sheet No:  
**A209**



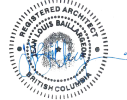
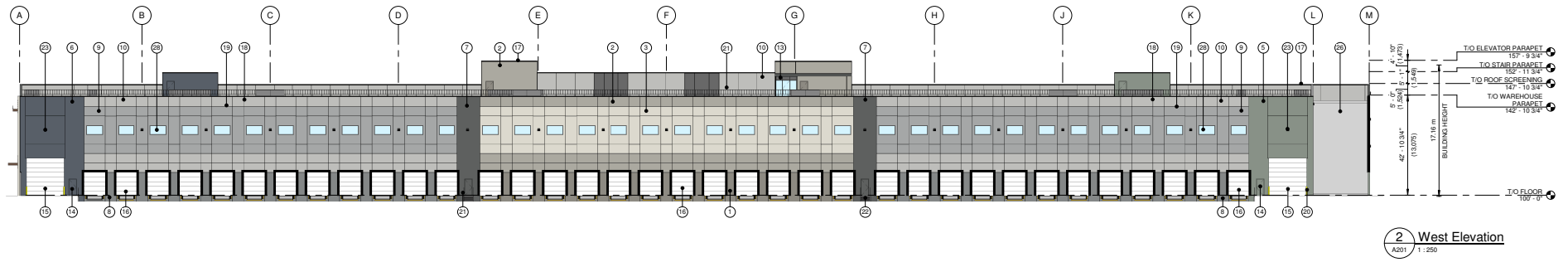


**MATERIAL LEGEND**

- ① PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0575 GREYSTROKE - SMOOTH FINISH)
- ② PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0574 SHARK FIN - SMOOTH FINISH)
- ③ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0572 POWER LUNCH - SMOOTH FINISH)
- ④ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0418 ONION SKIN - SMOOTH FINISH)
- ⑤ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0442 DOWAGER - SMOOTH FINISH)
- ⑥ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0514 THUNDERSTORM - SMOOTH FINISH)
- ⑦ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0535 ZEN RETREAT - SMOOTH FINISH)
- ⑧ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0534 SUBTLE SHADOW - SMOOTH FINISH)
- ⑨ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0533 TECHILE - SMOOTH FINISH)
- ⑩ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0532 RAND MOON - SMOOTH FINISH)
- ⑪ LONGBOARD 6" LINK & LOCK FINS (FINISH - LIGHT NATIONAL WALNUT)
- ⑫ PRE-FINISHED ALUMINUM WINDOW / DOOR FRAME (BLACK ANODIZED ALUMINUM)
- ⑬ PRE-FINISHED METAL SPANDREL PANEL (COLOUR - BLACK)
- ⑭ PRIMED AND PAINTED INSULATED METAL-FRAMED DOOR (COLOUR TO MATCH WALL)

**MATERIAL LEGEND**

- ⑮ PRE-FINISHED INSULATED METAL OVERHEAD DOOR (COLOUR - WHITE)
- ⑯ PRE-FINISHED INSULATED METAL DOCK DOOR (COLOUR - WHITE)
- ⑰ PRE-FINISHED METAL PARAPET FLASHING (COLOUR - BLACK)
- ⑱ PRECAST CONCRETE PANEL JOINT
- ⑲ PRECAST CONCRETE REVEAL
- ⑳ CONCRETE FILLED BOLLARDS (COLOUR - SAFETY YELLOW)
- ㉑ PRIMED AND PAINTED METAL GUARDRAIL (COLOUR - GREY)
- ㉒ PRIMED AND PAINTED METAL STAIRS (COLOUR - BLACK)
- ㉓ WALL MOUNTED EXTERIOR LIGHTS (SEE ELECTRICAL)
- ㉔ METAL CANOPY (FINISH - LONGBOARD LIGHT NATIONAL WALNUT) (BY SUPPLIER)
- ㉕ METAL CANOPY W/ LOUVERS (FINISH - LONGBOARD LIGHT NATIONAL WALNUT) (BY SUPPLIER)
- ㉖ EXTERIOR CONCRETE RAMP
- ㉗ SNOW CHUTE - PAINTED PRECAST CONCRETE
- ㉘ PRE-FINISHED ALUMINUM WINDOW



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THE PRECAST CONCRETE CONNECTION  
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BLACKFALDS, AB, T0M 0J0

**190th Street Heppell Property**  
**Office Warehouse & CRU's**  
2898 190 Street and 2981 & 2825 192 Street  
Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2022-05-23	ISSUED FOR DEVELOPMENT PERMIT
2	2022-11-30	ISSUED FOR PERROW
3	2022-12-02	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2023-02-06	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 621028  
Date: 2023-02-07  
8:50:42 AM  
AQ, LH, AQ, LH, RO, OB  
Checked by: DE, LB, RO, OB  
Sheet Name:

Elevations -  
Building 1

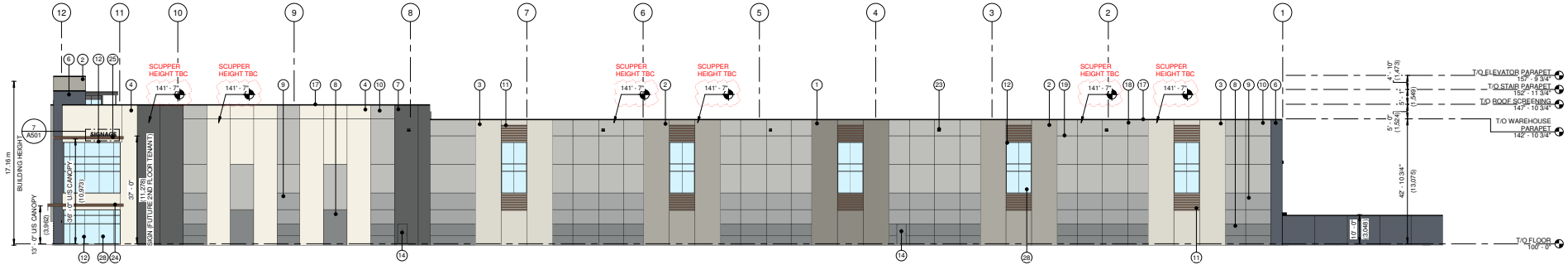
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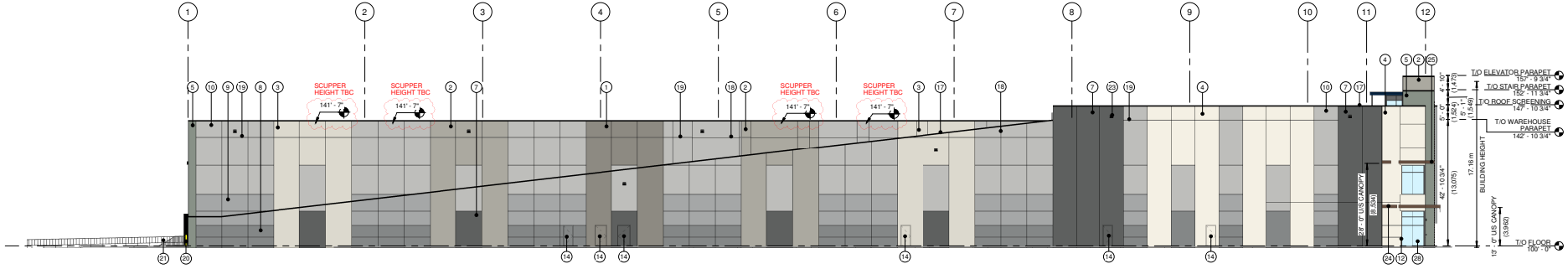
- ① PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0575 GREYSTROKE - SMOOTH FINISH)
- ② PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0574 SHARK FIN - SMOOTH FINISH)
- ③ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0572 POWER LUNCH - SMOOTH FINISH)
- ④ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0418 ONION SKIN - SMOOTH FINISH)
- ⑤ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0442 DOWAGER - SMOOTH FINISH)
- ⑥ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0514 THUNDERSTORM - SMOOTH FINISH)
- ⑦ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0535 ZEN RETREAT - SMOOTH FINISH)
- ⑧ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0534 SUBTLE SHADOW - SMOOTH FINISH)
- ⑨ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0533 TECHILE - SMOOTH FINISH)
- ⑩ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0532 RAND MOON - SMOOTH FINISH)
- ⑪ LONGBOARD 6" LINK & LOCK FINS (FINISH - LIGHT NATIONAL WALNUT)
- ⑫ PRE-FINISHED ALUMINUM WINDOW/ DOOR FRAME (BLACK ANODIZED ALUMINUM)
- ⑬ PRE-FINISHED METAL SPANDREL PANEL (COLOUR - BLACK)
- ⑭ PRIMED AND PAINTED INSULATED METAL-FRAMED DOOR (COLOUR TO MATCH WALL)

**MATERIAL LEGEND**

- ⑮ PRE-FINISHED INSULATED METAL OVERHEAD DOOR (COLOUR - WHITE)
- ⑯ PRE-FINISHED INSULATED METAL DOCK DOOR (COLOUR - WHITE)
- ⑰ PRE-FINISHED METAL PARAPET FLASHING (COLOUR - BLACK)
- ⑱ PRECAST CONCRETE PANEL JOINT
- ⑲ PRECAST CONCRETE REVEAL
- ⑳ CONCRETE FILLED BOLLARDS (COLOUR - SAFETY YELLOW)
- ㉑ PRIMED AND PAINTED METAL GUARDRAIL (COLOUR - GREY)
- ㉒ PRIMED AND PAINTED METAL STAIRS (COLOUR - BLACK)
- ㉓ WALL MOUNTED EXTERIOR LIGHTS (SEE ELECTRICAL)
- ㉔ METAL CANOPY (FINISH - LONGBOARD LIGHT NATIONAL WALNUT)(BY SUPPLIER)
- ㉕ METAL CANOPY W/ LOUVERS (FINISH - LONGBOARD LIGHT NATIONAL WALNUT)(BY SUPPLIER)
- ㉖ EXTERIOR CONCRETE RAMP
- ㉗ SNOW CHUTE - PAINTED PRECAST CONCRETE
- ㉘ PRE-FINISHED ALUMINUM WINDOW



1 North Elevation (30 Ave.)  
A201 1:200



2 South Elevation  
A201 1:200



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190th Street Heppell Property  
Office Warehouse & CRU's  
2898 190 Street and 2981 & 2825 192 Street  
Surrey, British Columbia

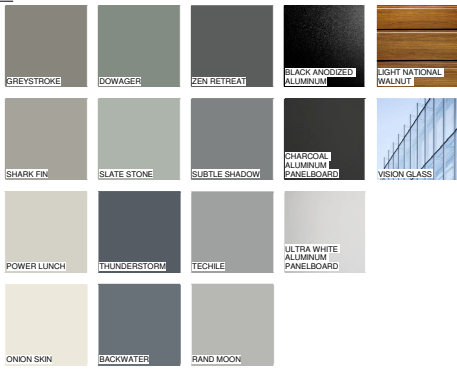
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2.	2022-05-20	ISSUED FOR PERMIT
3.	2022-11-13	ISSUED FOR PERMIT
4.	2022-11-13	RESUBMITTED FOR DEVELOPMENT PERMIT
5.	2022-12-07	RESUBMITTED FOR DEVELOPMENT PERMIT
6.	2023-02-06	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 821028  
Date: 2023-02-07  
8:50:45 AM  
AQ, LH  
Drawn by:  
Checked by: DE, LB, RO, OB  
Sheet Name:

Elevations -  
Building 1

Sheet No:  
**A302**

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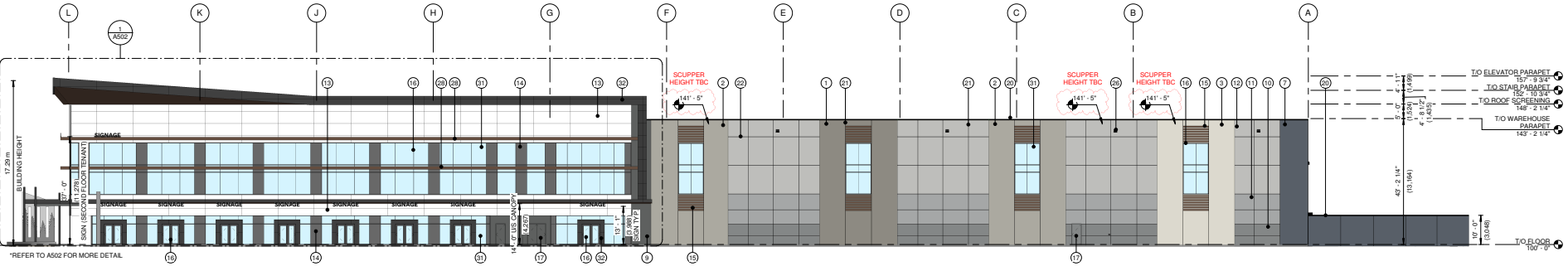
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- 3 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0572 POWER LUNCH - SMOOTH FINISH)
- 4 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0418 ONION SKIN - SMOOTH FINISH)
- 5 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0442 DOWAGER - SMOOTH FINISH)
- 6 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0441 SLATE STONE - SMOOTH FINISH)
- 7 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0514 THUNDERSTORM - SMOOTH FINISH)
- 8 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0513 BACKWATER - SMOOTH FINISH)
- 9 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0535 ZEN RETREAT - SMOOTH FINISH)
- 10 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0534 SUBTLE SHADOW - SMOOTH FINISH)
- 11 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0533 TECHILE - SMOOTH FINISH)

**MATERIAL LEGEND**

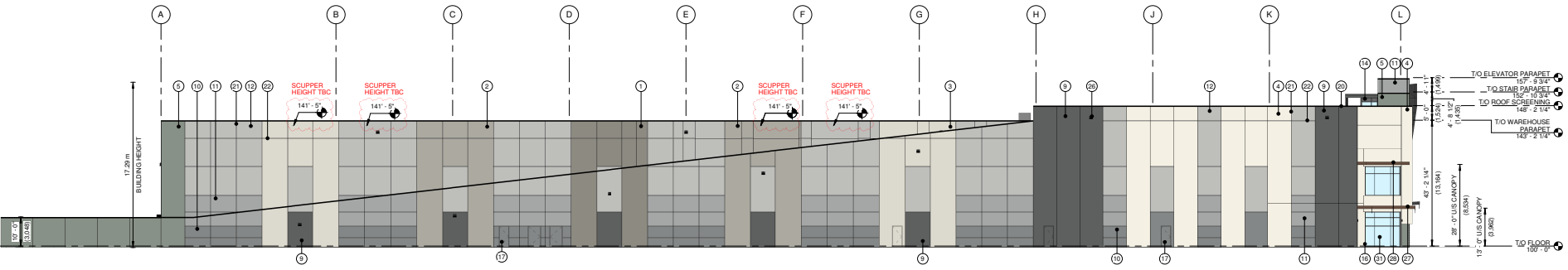
- 12 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0532 RAND MOON - SMOOTH FINISH)
- 13 PRE-FINISHED ALUMINUM PANELBOARD (COLOUR - ULTRA WHITE)
- 14 PRE-FINISHED METAL SPANDEL PANEL (COLOUR - BLACK)
- 15 LONGBOARD 6" LINK & LOCK FINS (FINISH - LIGHT NATIONAL WALNUT)
- 16 PRE-FINISHED ALUMINUM WINDOW/DOOR FRAME (BLACK ANNOXIDIZED ALUMINUM)
- 17 PRIMED AND PAINTED INSULATED METAL-FRAMED DOOR (COLOUR TO MATCH WALL)
- 18 PRE-FINISHED INSULATED METAL OVERHEAD DOOR (COLOUR - WHITE)
- 19 PRE-FINISHED INSULATED METAL DOCK DOOR (COLOUR - WHITE)
- 20 PRE-FINISHED METAL PARAPET FLASHING (COLOUR - BLACK)
- 21 PRECAST CONCRETE PANEL JOINT
- 22 PRECAST CONCRETE REVEAL

**MATERIAL LEGEND**

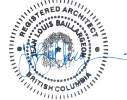
- 23 CONCRETE FILLED BOLLARDS (COLOUR - SAFETY YELLOW)
- 24 PRIMED AND PAINTED METAL GUARDRAIL (COLOUR - GREY)
- 25 PRIMED AND PAINTED METAL STAIRS (COLOUR - BLACK)
- 26 WALL MOUNTED EXTERIOR LIGHTS (SEE ELECTRICAL)
- 27 METAL CANOPY (FINISH - LONGBOARD LIGHT NATIONAL WALNUT)(BY SUPPLIER)
- 28 METAL CANOPY W/ LOUVERS (FINISH - LONGBOARD LIGHT NATIONAL WALNUT)(BY SUPPLIER)
- 29 EXTERIOR CONCRETE RAMP
- 30 SNOW CHUTE - PAINTED PRECAST CONCRETE
- 31 PRE-FINISHED ALUMINUM WINDOW
- 32 PRE-FINISHED ALUMINUM PANELBOARD (COLOUR - CHARCOAL)



1 East Elevation (192 St.)  
A204 1:200



2 West Elevation (190 St.)  
A204 1:200



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THE PRECAST CONCRETE CONNECTION  
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BLACKFALDS, AB, T0M 0J0

190th Street Heppell Property  
Office Warehouse & CRU's  
2898 190 Street and 2981 & 2825 192 Street  
Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2023-05-20	ISSUED FOR DEVELOPMENT PERMIT
2	2023-11-20	ISSUED FOR REVIEW
3	2023-12-02	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2023-12-02	RESUBMITTED FOR DEVELOPMENT PERMIT
5	2023-02-06	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 821028  
Date: 2023-02-06 5:29:39 PM  
Drawn by: AQ, KL, LH  
Checked by: DE, LB, RO, OB  
Sheet Name:

Elevations - Building 2

Sheet No:  
**A303**

**MATERIAL LEGEND**

- 1 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0575 GREYSTROKE - SMOOTH FINISH)
- 2 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0574 SHARK FIN - SMOOTH FINISH)
- 3 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0572 POWER LUNCH - SMOOTH FINISH)
- 4 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0418 ONION SKIN - SMOOTH FINISH)
- 5 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0442 DOWAGER - SMOOTH FINISH)
- 6 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0441 SLATE STONE - SMOOTH FINISH)
- 7 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0514 THUNDERSTORM - SMOOTH FINISH)
- 8 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0513 BACKWATER - SMOOTH FINISH)
- 9 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0535 ZEN RETREAT - SMOOTH FINISH)
- 10 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0534 SUBTLE SHADOW - SMOOTH FINISH)
- 11 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0533 TECHILE - SMOOTH FINISH)

**MATERIAL LEGEND**

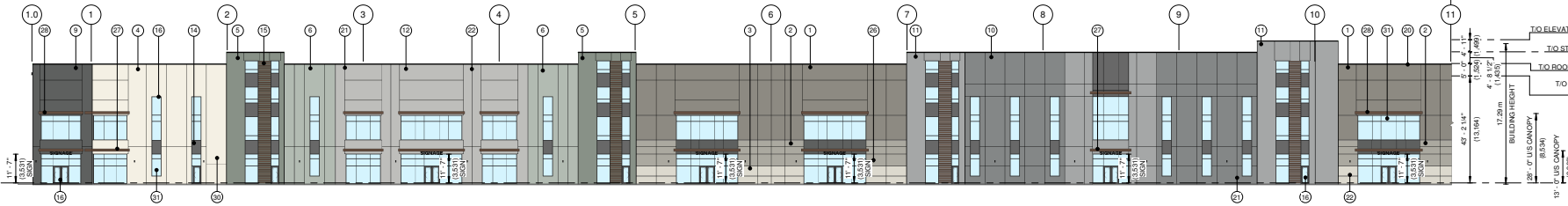
- 12 PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0532 RAND MOON - SMOOTH FINISH)
- 13 PRE-FINISHED ALUMINUM PANELBOARD (COLOUR - ULTRA WHITE)
- 14 PRE-FINISHED METAL SPANDREL PANEL (COLOUR - BLACK)
- 15 LONGBOARD 6" LINK & LOCK FINS (FINISH - LIGHT NATIONAL WALNUT)
- 16 PRE-FINISHED ALUMINUM WINDOW DOOR FRAME (BLACK ANODIZED ALUMINUM)
- 17 PRIMED AND PAINTED INSULATED METAL-FRAMED DOOR (COLOUR TO MATCH WALL)
- 18 PRE-FINISHED INSULATED METAL OVERHEAD DOOR (COLOUR - WHITE)
- 19 PRE-FINISHED INSULATED METAL DOOR DOOR (COLOUR - WHITE)
- 20 PRE-FINISHED METAL PARAPET FLASHING (COLOUR - BLACK)
- 21 PRECAST CONCRETE PANEL JOINT
- 22 PRECAST CONCRETE REVEAL

**MATERIAL LEGEND**

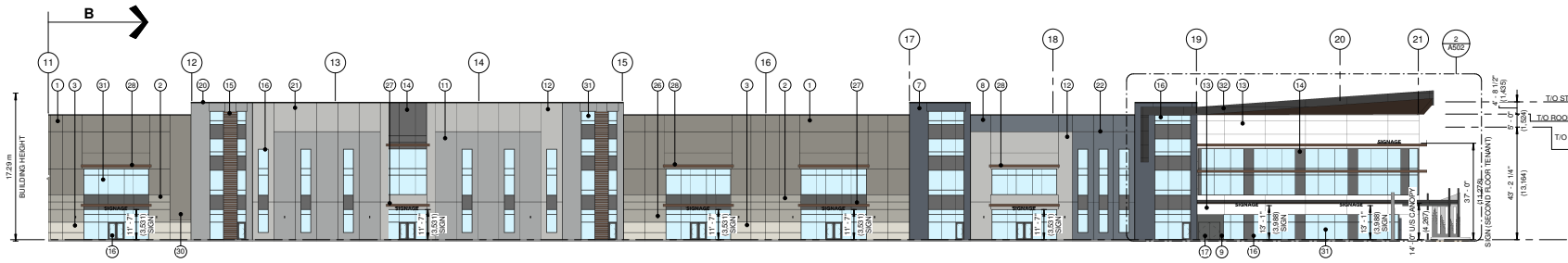
- 23 CONCRETE FILLED BOLLARDS (COLOUR - SAFETY YELLOW)
- 24 PRIMED AND PAINTED METAL GUARDRAIL (COLOUR - GREY)
- 25 PRIMED AND PAINTED METAL STAIRS (COLOUR - BLACK)
- 26 WALL MOUNTED EXTERIOR LIGHTS (SEE ELECTRICAL)
- 27 METAL CANOPY (FINISH - LONGBOARD LIGHT NATIONAL WALNUT) (BY SUPPLIER)
- 28 METAL CANOPY W/ LOUVERS (FINISH - LONGBOARD LIGHT NATIONAL WALNUT) (BY SUPPLIER)
- 29 EXTERIOR CONCRETE RAMP
- 30 SNOW CHUTE - PAINTED PRECAST CONCRETE
- 31 PRE-FINISHED ALUMINUM WINDOW
- 32 PRE-FINISHED ALUMINUM PANELBOARD (COLOUR - CHARCOAL)



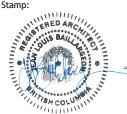
**1 South Elevation (28 Ave.)**  
A204 1:450



**2 South Elevation A (28 Ave.)**  
A204 1:250



**3 South Elevation B (28 Ave.)**  
A204 1:250



aggregate design studio ltd.



THE PRECAST CONCRETE CONNECTION  
1403 885-5325 P.O. BOX 1690  
BLACKFALDS, AB, T0M 0J0

**190th Street Heppell Property**  
**Office Warehouse & CRU's**  
2898 190 Street and 2981 & 2825 192 Street  
Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2023-05-23	ISSUED FOR DEVELOPMENT PERMIT
2	2023-05-23	ISSUED FOR REVIEW
3	2023-05-23	ISSUED FOR REVIEW
4	2023-05-23	ISSUED FOR REVIEW
5	2023-05-23	ISSUED FOR REVIEW

Project No: 821028  
Date: 2023-02-06  
5:29:46 PM  
Drawn by: AQ, KL, LH  
Checked by: DE, LB, RO, OB  
Sheet Name:

Elevations - Building 2

Sheet No:  
**A304**

DO NOT SCALE DRAWING - VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE ARCHITECT IMMEDIATELY. ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ANY OTHER COVERING AUTHORITIES. THIS IS A COPYRIGHT DRAWING AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT OF THE CONSULTANT.

**MATERIAL LEGEND**

- ① PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0575 GREYSTROKE - SMOOTH FINISH)
- ② PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0574 SHARK FIN - SMOOTH FINISH)
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- ⑨ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0535 ZEN RETREAT - SMOOTH FINISH)
- ⑩ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0534 SUBTLE SHADOW - SMOOTH FINISH)
- ⑪ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0533 TECHILE - SMOOTH FINISH)

**MATERIAL LEGEND**

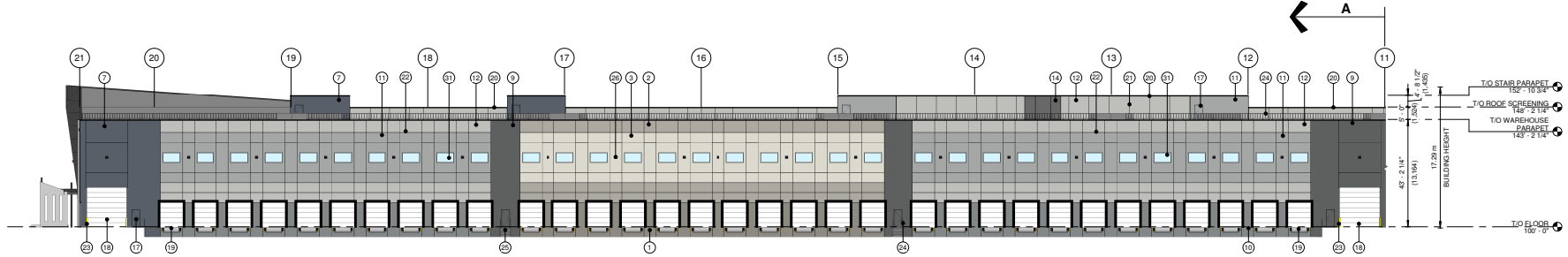
- ⑫ PRECAST CONCRETE PANEL (COLOUR - CLOVERDALE 0532 RAND MOON - SMOOTH FINISH)
- ⑬ PRE-FINISHED ALUMINUM PANELBOARD (COLOUR - ULTRA WHITE)
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- ⑳ PRE-FINISHED METAL PARAPET FLASHING (COLOUR - BLACK)
- ㉑ PRECAST CONCRETE PANEL JOINT
- ㉒ PRECAST CONCRETE REVEAL

**MATERIAL LEGEND**

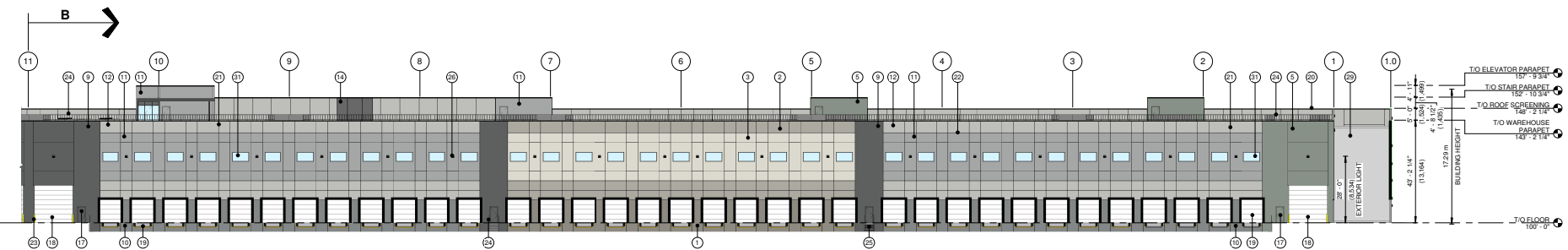
- ㉓ CONCRETE FILLED BOLLARDS (COLOUR - SAFETY YELLOW)
- ㉔ PRIMED AND PAINTED METAL GUARDRAIL (COLOUR - GREY)
- ㉕ PRIMED AND PAINTED METAL STAIRS (COLOUR - BLACK)
- ㉖ WALL MOUNTED EXTERIOR LIGHTS (SEE ELECTRICAL)
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- ㉛ PRE-FINISHED ALUMINUM WINDOW
- ㉜ PRE-FINISHED ALUMINUM PANELBOARD (COLOUR - CHARCOAL)



1 North Elevation  
A304 1:450



2 North Elevation A  
A304 1:250



3 North Elevation B  
A304 1:250

NO.	DATE	DESCRIPTION
1	2022-05-20	ISSUED FOR DEVELOPMENT PERMIT
2	2022-11-20	ISSUED FOR REVIEW
3	2022-12-02	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2023-02-06	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 821028  
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5:30:25 PM  
Drawn by: AQ, KL, LH  
Checked by: DE, LB, RO, OB  
Sheet Name:

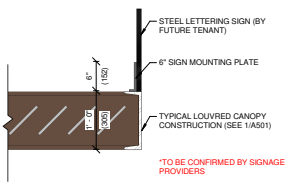
Elevations -  
Building 2

NO.	DATE	DESCRIPTION
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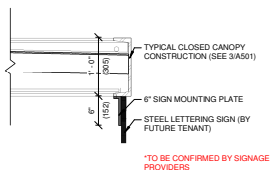
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 Date: 2023-02-07  
 8:50:49 AM  
 Drawn by: AQ, LH  
 Checked by: DE, LB, RO, OB  
 Sheet Name:

Typical Canopy  
 Details

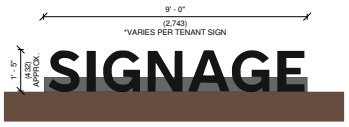
Sheet No:  
**A501**



8 Second Floor Canopy Sign Section  
 A501 1" = 1'-0"

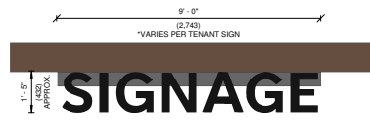


6 First Floor Canopy Sign Section  
 A501 1" = 1'-0"



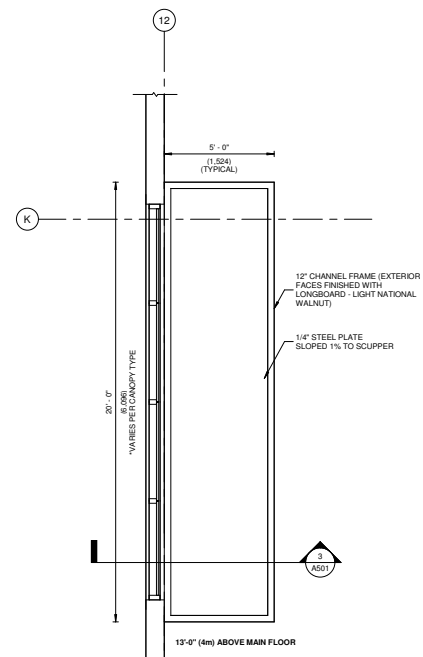
FUTURE PROPOSED TENANT SIGNAGE  
 - STEEL LETTERING  
 - MOUNTED UNDERSIDE OF CANOPY  
 - COLOURS AND FINISHES TO BE APPROVED BY TENANT  
 \*TO BE CONFIRMED BY SIGNAGE PROVIDERS

7 Second Floor Canopy Sign  
 A501 1/2" = 1'-0"

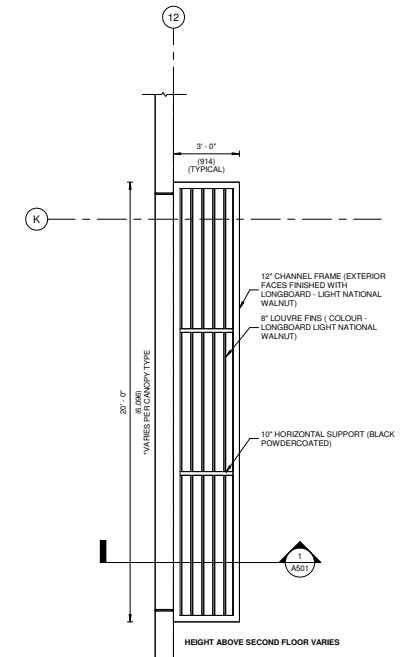


FUTURE PROPOSED TENANT SIGNAGE  
 - STEEL LETTERING  
 - MOUNTED UNDERSIDE OF CANOPY  
 - COLOURS AND FINISHES TO BE APPROVED BY TENANT  
 \*TO BE CONFIRMED BY SIGNAGE PROVIDERS

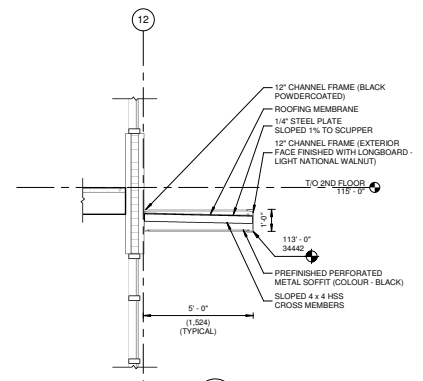
5 First Floor Canopy Sign  
 A501 1/2" = 1'-0"



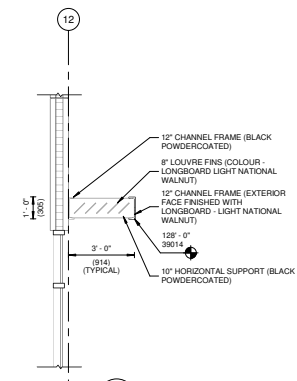
4 Closed Canopy Plan  
 A501 3/8" = 1'-0"



2 Louvred Canopy Plan  
 A501 3/8" = 1'-0"



3 Closed Canopy Section  
 A501 3/8" = 1'-0"



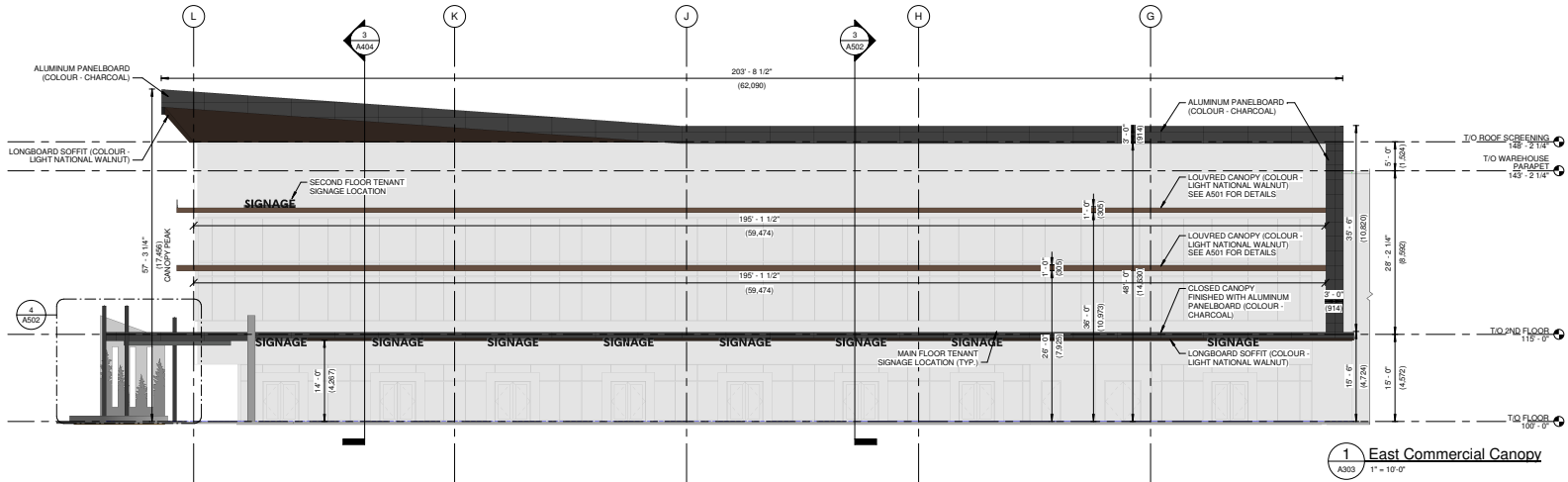
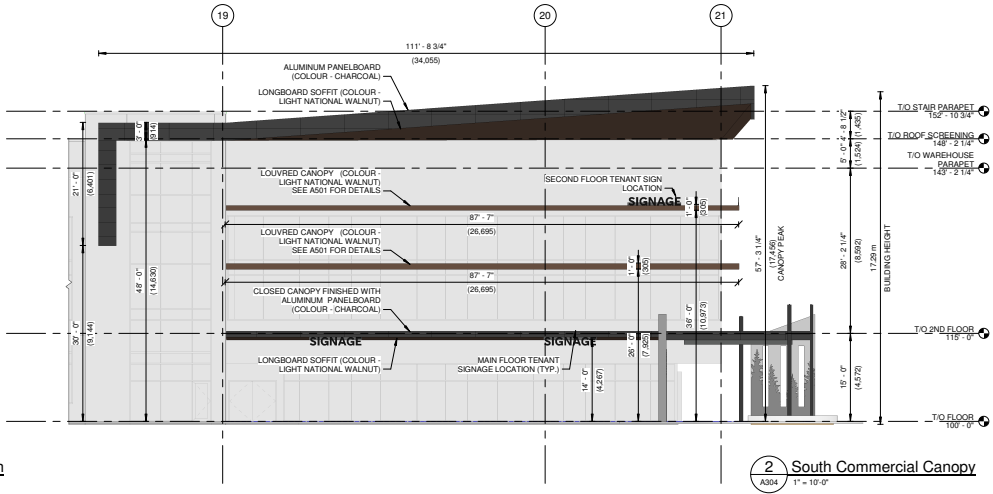
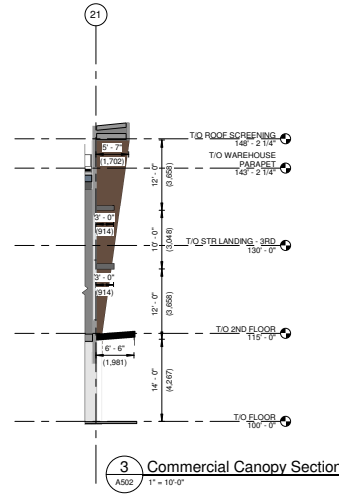
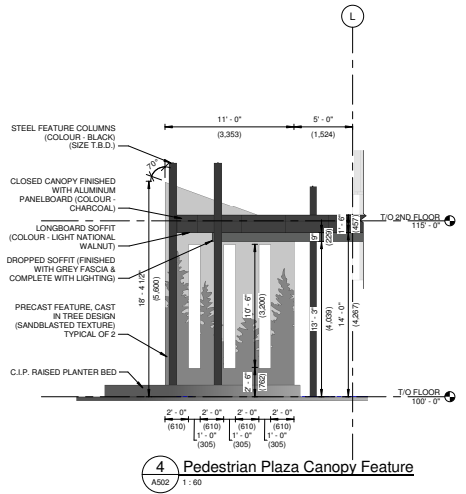
1 Louvred Canopy Section  
 A501 3/8" = 1'-0"







**5 Commercial Node**  
 A502



**1900 Street Heppell Property**  
**Office Warehouse & CRU's**  
 2898 190 Street and 2981 & 2825 192 Street  
 Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2023-02-06	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: 821028  
 Date: 2023-02-06 5:30:40 PM  
 Drawn by: AQ, KL, LH  
 Checked by: DE, LB, RO, OB  
 Sheet Name:

Canopy Details

Sheet No:  
**A502**



Stamp:



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THE PRECAST CONCRETE CONNECTION  
14031 885-5325 P.O. BOX 1690  
BLACKFALDS, AB, T0M 0J0

**190th Street Heppell Property  
Office Warehouse & CRU's**  
2898 190 Street and 2981 & 2825 192 Street  
Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2023-05-20	ISSUED FOR DEVELOPMENT PERMIT
2	2023-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
3	2023-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2023-08-08	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: B21028  
Date: 2023-02-07  
8:50:50 AM  
Drawn by: AQ, LH  
Checked by: DE, LB, RO, OB  
Sheet Name:

Exterior Render  
- Building 1

Sheet No:  
**A801**



Stamp:



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design studio ltd.



THE PRECAST CONCRETE CONNECTION  
14031 885-5325 P.O. BOX 1690  
BLACKFALDS, AB, T0M 0J0

190th Street Heppell Property  
Office Warehouse & CRU's  
2898 190 Street and 2981 & 2825 192 Street  
Surrey, British Columbia

NO.	DATE	DESCRIPTION
1	2023-05-20	ISSUED FOR DEVELOPMENT PERMIT
2	2023-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
3	2023-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT
4	2023-07-07	RESUBMITTED FOR DEVELOPMENT PERMIT

Project No: B21028  
Date: 2023-02-06 5:30:40 PM  
Drawn by: AQ, KL, LH  
Checked by: DE, LB, RO, OB  
Sheet Name:

Exterior Render  
- Building 2

Sheet No:  
**A802**



2 overall landscape plan  
1:800



1 context plan  
1:8000

**soil preparation and placement notes**

- All growing medium placed on project to meet or exceed BCNFA and BC Landscape Standards latest edition.
- Submit soil analysis by an approved independent soil testing laboratory for each type of growing medium being used on the project PRIOR to placement for review and approval. Clearly identify source and type for each. Resubmit as required until growing medium is approved. Provide one composite sample of each type of proposed growing medium for each different application within the project. Minimum 1 litre physical sample.
- Substrate shall be made at least seven (7) days before
- Contractor shall not move or work growing medium or additives when they are excessively wet, extremely dry, frozen or in any manner which is adversely affect growing structure. Growing medium whose structure has been destroyed by handling under these conditions will be rejected. Growing medium, except structure to required high grades and minimum depths as detailed, unless otherwise shown.
- Structural soil under parking stalls in max. 300mm (12") thick compacted to 90% MFD. Supplied by Inverec Soils to a depth of 1.0m (3'7"). soil area dimensions to provide 20m<sup>2</sup> per each tree.

**irrigation notes**

- All "soft" landscape areas are to be irrigated with high efficiency design/build irrigation system to IMBC Standards, complete with Rain and Wind Sensors.
- The irrigation system design and installation should be in accordance with the Irrigation Industry of BC Standards and Guidelines and City of Surrey Sdfr.
- System design and installation to take into account/evaluation differences, sun orientation and other factors affecting zoning and operation of the system to minimized evapotranspiration and wind loss.
- System design shall provide for uniform complete head to head coverage of all trees and planted areas.
- Contractor shall be responsible to provide SHOP-DRAWINGS a minimum of 3 weeks prior to installation of any irrigation for review and approval.
- Should the contractor proceed without approval, any additional modifications to the irrigation systems, as directed by the Landscape Architect shall be at the contractors cost.
- PRIOR to Substantial Performance, contractor shall provide a maintenance DATA AND OPERATION instruction manual containing operational information for all operating components, cleaning and lubrication schedules, overhaul/adjustment schedule.
- Solenoid valves shall be first quality, compatible with the controller selected.
- Valve boxes shall be reinforced plastic boxes manufactured specifically for landscape irrigation, complete withhatch lock bolt cover, sized to suit valves and other components with adequate room for operation and maintenance.

**NOT FOR CONSTRUCTION**  
for review and coordination only

**notes**

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- Do not scale drawings.
- Refer to CIVIL drawings for all grading information.
- The assessment of the trees presented in this plan have been made using accepted arboricultural techniques. These include a visual examination of each tree for structural defects, scars, external indications of decay such as fungal fruiting bodies, evidence of insect attack, discoloration, foliage, the condition of any visible root structures, the degree and direction of lean or any other general condition of the tree(s) in the surrounding site, and the proximity of property and people. Except where specifically noted, none of the trees examined were diseased, correct, pruned, or climbed, and detailed root crown examinations involving excavation were not undertaken.
- While reasonable efforts have been made to determine that the trees recommended for retention are healthy, no guarantees are offered, or implied, that these trees, or parts of them, will remain standing and alive. It is impossible to predict with absolute certainty the behaviour of any single tree or group of trees, or their component parts in all future circumstances. Inevitably any standing tree will pose some risk. In accordance with standard practice, the assessment presented in this plan is valid at the time it was undertaken. B18 Studio accepts no responsibility for subsequent damage or deterioration.
- The findings and opinions expressed in this plan are representative of the conditions found on the day of the review (2022-04-08) only. Any trees retained should be reviewed on a regular basis. The root crown, and overall structure, of all of the trees to be retained must be reviewed immediately following land clearing, grade disturbance, significant weather events and prior to site usage changes.

**EIGHT ONE EIGHT STUDIO**  
PLANNING + DESIGN COLLABORATIVE

number	revision	date	by	approved
6	revised base plan	2022-12-06	ab	hw
5	revised base plan	2022-12-06	ab	hw
4	revised base plan	2022-11-21	ab	hw
3	revised site plan	2022-10-10	ab	hw
2	revised site plan	2022-09-24	ab	hw
1	revised site plan	2022-06-16	ab	hw
6	issue for dp- re-submission 2	2022-02-02		
5	issue for dp- re-submission 1	2022-12-06		
4	issue for dp- re-submission 1	2022-11-24		
3	issue for client review	2022-10-03		
2	issue for dp	2022-09-26		
1	issue for client review	2022-04-29		

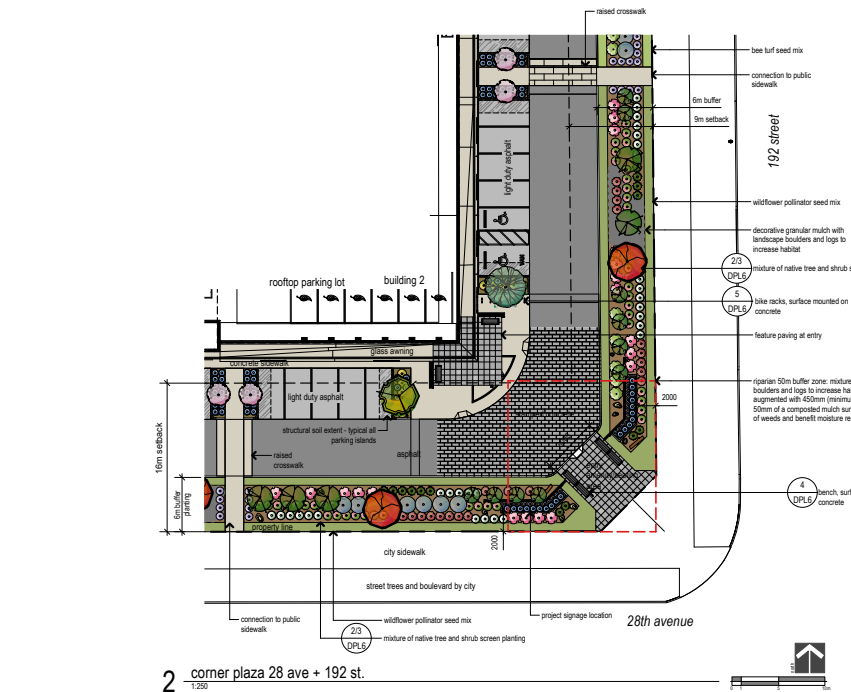
project  
**190th St. Heppell Project**  
2898 - 190 Street,  
2825/2981 - 192 Street,  
Surrey BC

drawing  
overall landscape plan

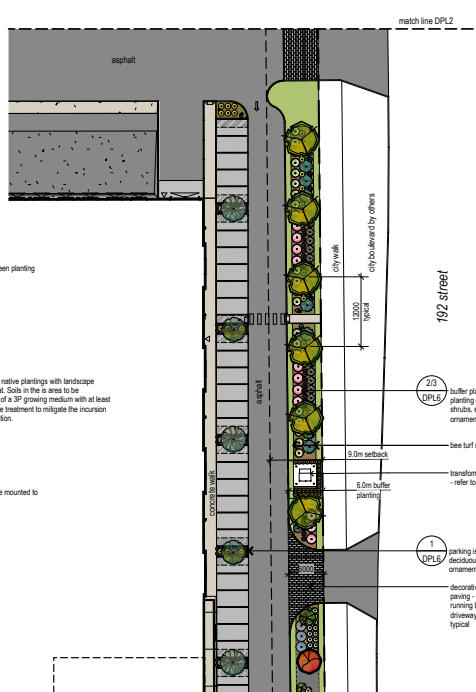
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ab	ab
checked	project number
ab	1210.12
date	date
22.04.08	
scale	
as noted	

**DPL1**



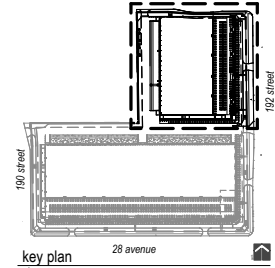


2 corner plaza 28 ave + 192 st.  
1:250



**legend**

- bee turf seed mix - West Coast Seeds on 100mm depth topsoil
- shrub bed, 100mm chip mulch topping
- wildflower/pollinator seed mix - West Coast Seeds on 100mm depth topsoil
- decorative granular, 3/4" diameter
- feature paving at entry 600mm x 600mm x 50mm salt - pepper hydropressed pavers, pattern random.
- heavy duty asphalt - refer to civil drawings
- light duty asphalt parking aisle - refer to civil drawings
- concrete paving
- stamped concrete, running bond pattern
- partially buried logs to encourage habitat and diversity
- landscape boulders to encourage habitat and diversity



**plant schedule - southeast**

**trees**

tree	botanical name	common name	size	spacing	notes
1	Asar canadensis 'Pacific Sunset'	Pacific Sunset Puyallup Maple	60mm caliper min.	labelled + bushpotted	
2	Banquet hawthorn tree	Banquet Hawthorn	#10 pot	ret. in 3-yr plant	
3	Flora ostrya 'Dorsett's'	Dorsett's Paper Leaf Birch	60mm caliper min.	labelled + bushpotted, 2.0m ht. spec.	
4	Waka Spring Snow	Spring Snow Camellia	60mm caliper min.	labelled + bushpotted	
5	Waka Sassa	Pacific Camellia	#10 pot	ret. in 3-yr container	
6	Parrotia persica 'Triple H' Pink	Triple H Parrotia	60mm caliper min.	labelled + bushpotted	
7	Pinus sargentii	Silver Cherry	60mm caliper min.	labelled + bushpotted	
8	Quercus parviflora	Pine Oak	60mm caliper min.	labelled + bushpotted	
9	Thuja plicata	Western Red Cedar	3.0m minimum height	labelled + bushpotted	

**shrubs**

shrub	botanical name	common name	size	spacing	notes
10	Ribes sanguineum	Red Flowering Currant	#2 pot	400mm min. height	
11	Ceanothus velutinus	Seabloom	#2 pot	200mm min. height	
12	Ceanothus divaricatus	Bushberry Currant	#2 container	200mm min. height	
13	Coronilla alba	Winged Burning Bush	#2 pot	600mm min. height	
14	Coronilla canadensis	Osage	#2 pot	400mm min. height	
15	Prunella alba 'Holland'	Bark Nook Spice	#2 container	600mm min. height	
16	Prunella japonica 'Proctoriana'	Proctoriana Spice	#2 container	600mm min. height	
17	Rosa rugosissima	Baldy Rose	#2 pot	400mm min. height	
18	Rosa holboellii	Holboell Rose	#2 pot	400mm min. height	
19	Rosa blanda	Harbush	#2 pot	400mm min. height	
20	Spiraea salicifolia	Salicoides Spiraea	#2 pot	400mm min. height	
21	Vaccinium canadense	Canadian Huckleberry	#2 pot	600mm min. height	

**perennials**

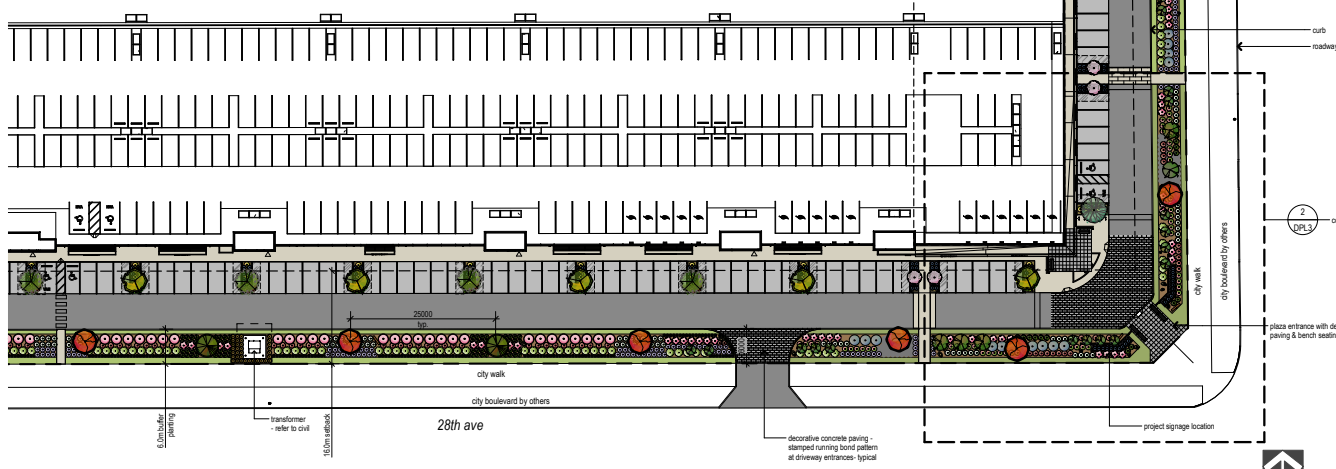
perennial	botanical name	common name	size	spacing	notes
22	Phacelia chilensis	Coastal Strawberry	15 cm		
23	Hebe x exoniensis	Sea-Dart Clover	#2 container		
24	Laricina angustata	English Lavender	15 cm	200mm min. height	

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**EIGHT ONE EIGHT STUDIO**  
PLANNING + DESIGN COLLABORATIVE

number	revision	date	by	approved
6	issue for dp - re-submission 2	2022-02-02	hsl	hsl
5	issue for dp - re-submission 1	2022-12-06	hsl	hsl
4	issue for dp - re-submission 1	2022-11-24	hsl	hsl
3	issue for client review	2022-10-03	hsl	hsl
2	issue for dp	2022-05-24	hsl	hsl
1	issue for client review	2022-05-29	hsl	hsl

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2	issue for dp	2022-05-24	hsl	hsl
1	issue for client review	2022-05-29	hsl	hsl



1 landscape plan - southeast  
1:400

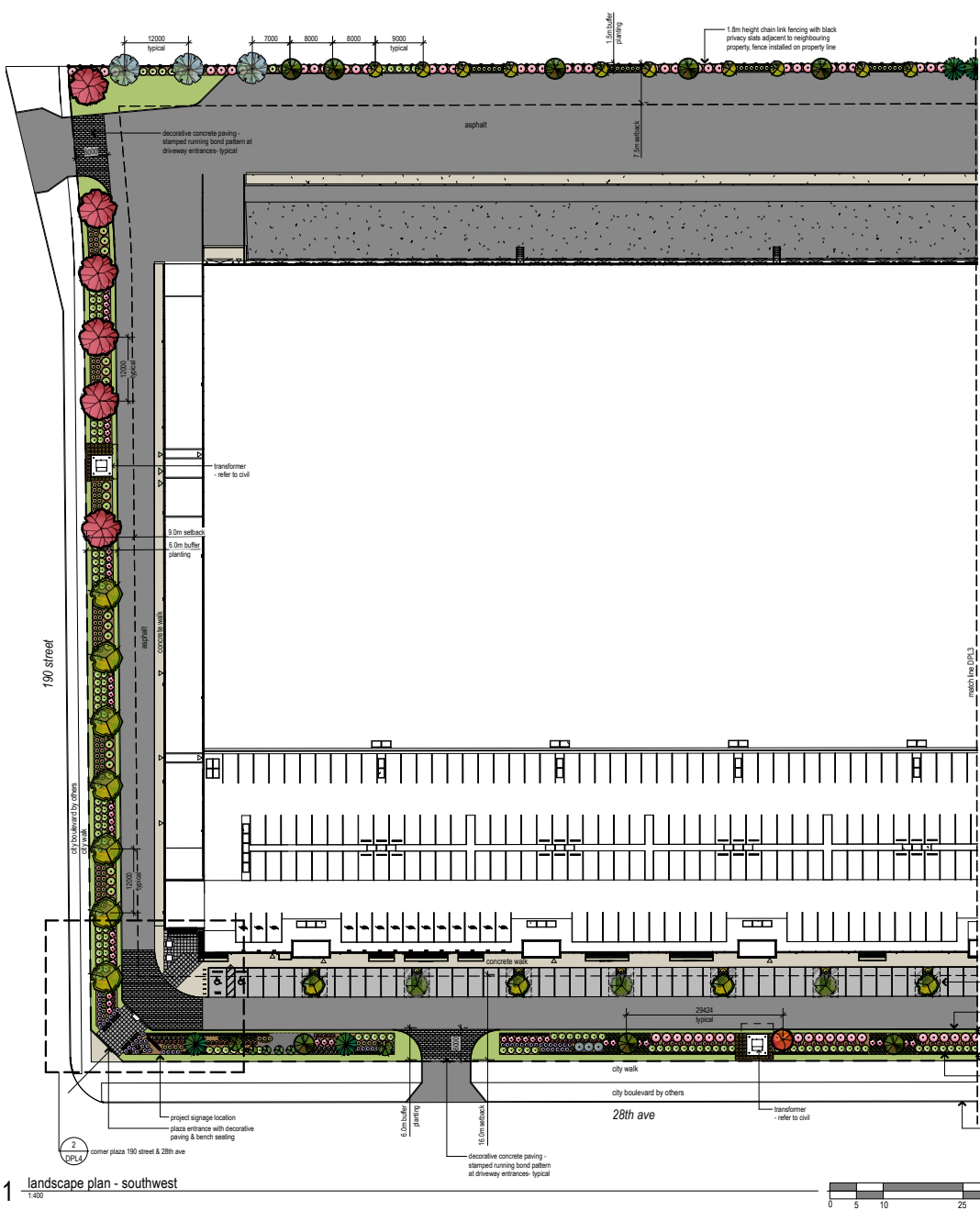


**project**  
190th St. Heppell Project  
2898 - 190 Street,  
2825-2981 - 192 Street,  
Surrey BC

**drawing**  
midwest - overall landscape plan

drawn	checked	date	approved
hsl	hsl	1210.12	hsl

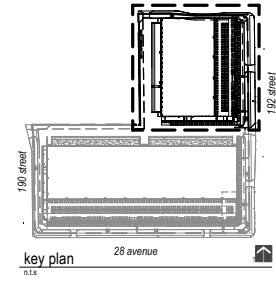
**DPL3**



- legend**
- bee turf seed mix - West Coast Seeds on 100mm depth topsoil
  - shrub bed, 100mm chip mulch topping
  - wildflower/pollinator seed mix - West Coast Seeds on 100mm depth topsoil
  - decorative granular, 3/4" diameter
  - feature paving at entry 610mm x 610mm x 50mm salt + pepper hydragressed pavers, pattern random.
  - heavy duty asphalt - refer to civil drawings
  - light duty asphalt parking aisle - refer to civil drawings
  - concrete paving
  - stamped concrete, running bond pattern
  - partially buried logs to encourage habitat and diversity
  - landscape boulders to encourage habitat and diversity

**plant schedule - southwest**

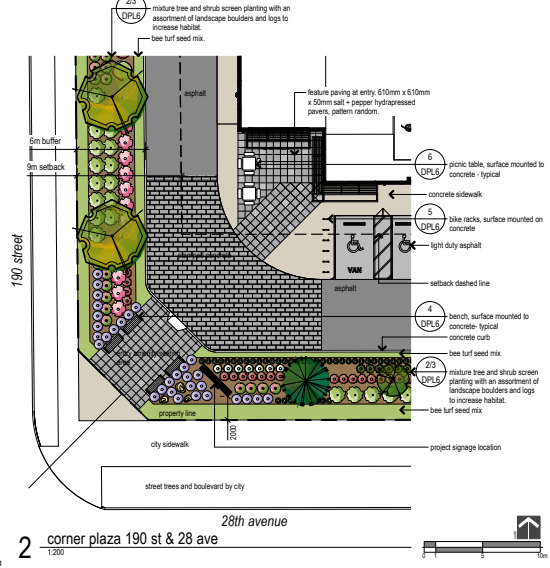
tree	no.	botanical name	common name	size	comments
1	3	Alnus 'Frisian' 'Stromberg'	Fraser's Alder	80cm caliper min.	shaded - full sun
2	4	Shaded hazelnut tree	Shaded Hazelnut	#12 pot	in tree court
3	11	Papua sylvatica 'Duyfhuys'	Papuan Tree Fern	80cm caliper min.	shaded - full sun
4	10	Shrubber 'Tropaeol' 'Shrubber'	Shrubber	200cm min. height	shaded - full sun
5	1	Pinus banksiana	Jack Pine	3.5m height min.	shaded - full sun
6	1	Pinus strobus	White Pine	80cm caliper min.	shaded - full sun
7	1	Thuja occidentalis	Western Red Cedar	3.5m height min.	shaded - full sun
8	10	Shrubber 'Tropaeol' 'Shrubber'	Shrubber	200cm min. height	shaded - full sun
9	10	Shrubber 'Tropaeol' 'Shrubber'	Shrubber	200cm min. height	shaded - full sun
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**EIGHT ONE EIGHT STUDIO**  
PLANNING + DESIGN COLLABORATIVE

no.	description	date	by	approved
6	issue for dp- re-submission 2	2022-12-02	hwl	
5	issue for dp- re-submission 1	2022-11-24	hwl	
4	issue for dp- re-submission 1	2022-11-24	hwl	
3	issue for client review	2022-10-03	hwl	
2	issue for dp	2022-05-26	hwl	
1	issue for client review	2022-04-29	hwl	



no.	description	date	by	approved
6	issue for dp- re-submission 2	2023-02-02	hwl	
5	issue for dp- re-submission 1	2022-12-06	hwl	
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3	issue for client review	2022-10-03	hwl	
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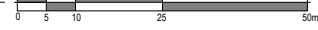
**project**  
190th St. Heppell Project  
2898 - 190 Street,  
2825-2981 - 192 Street,  
Surrey BC

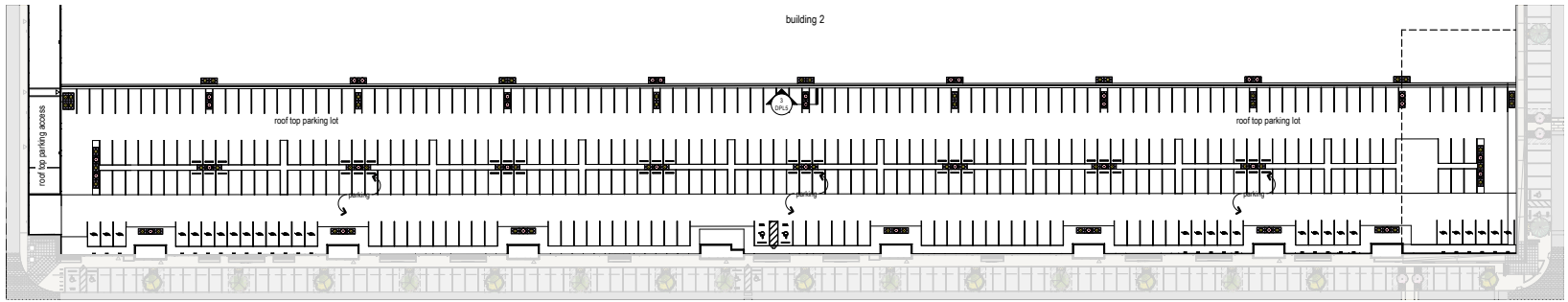
**sheet**  
south - overall landscape plan

drawn	checked	date	scale	project number	sheet number
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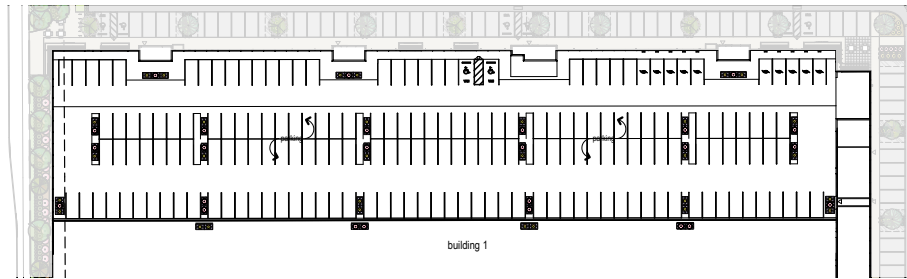
1 landscape plan - southwest  
1:400

2 corner plaza 190 st & 28 ave  
1:200





1 rooftop planting plan - building 2  
1:500



2 rooftop planting plan - building 1  
1:500

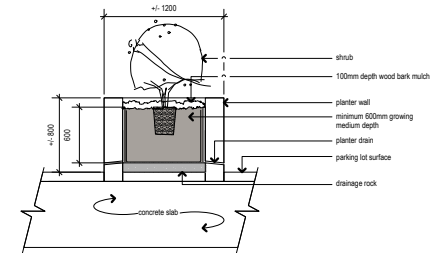
rooftop planting - overall

shrubs

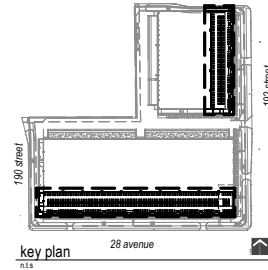
symbol	quantity	botanical name	common name	size	comments	spacing
	48	<i>Euonymus alatus</i> "Compact"	Winged Burning Bush	#3 pot	600mm min. height	+1000
	85	<i>Spirea Goldmound</i>	Goldmound Spirea	#2 pot	400mm min. height	+675

perennials

symbol	quantity	botanical name	common name	size	comments	spacing
	532	<i>Lavandula angustifolia</i>	English Lavender	15 cm	300mm min. height	+650



3 planter section - typ.  
1:25



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PLANNING + DESIGN COLLABORATIVE

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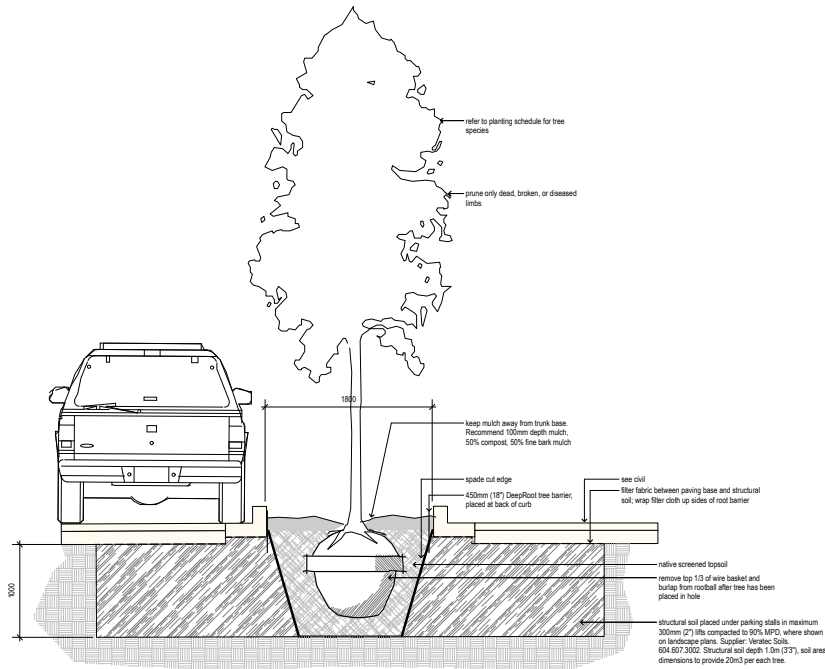
project  
**190th St. Heppell Project**  
2898 - 190 Street,  
2825/2981 - 192 Street,  
Surrey BC

drawing  
rooftop planting plan

drawn	approved
ab	ab
checked	project number
ab	1210.12
date	drawn
22.04.08	ab
scale	as noted

**DPL5**

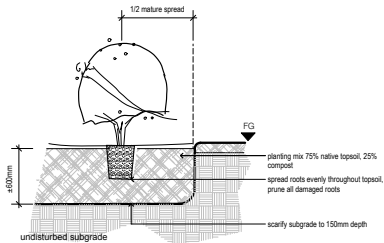




**notes**

1. Dig all holes by hand when tree pit is closer than one meter from edge of pit to the staked utility line.
2. All plant material shall meet the horticultural standards and practices of the Canadian Nursery Landscape Association.
3. Sites with heavy clay shall have a larger than normal hole and equal mix of soil from hole, organic matter and sand.
4. Avoid glazing the sides of the hole when digging tree pit. Sides of the hole shall be scarified prior to planting.

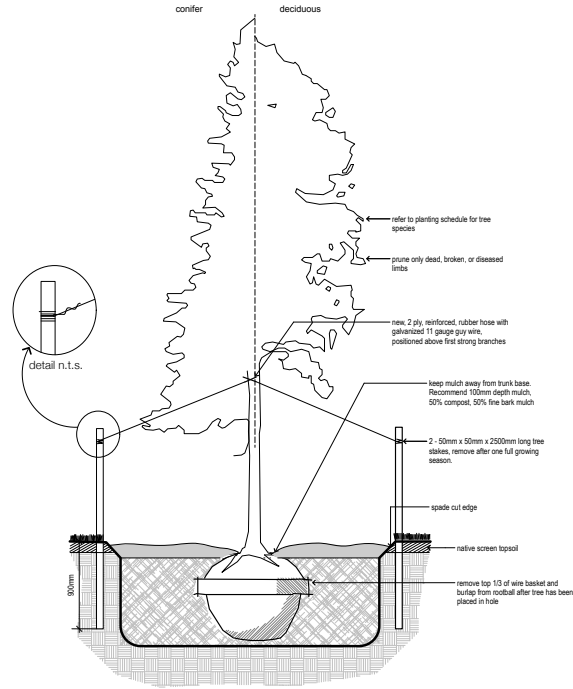
**1 structural soil - at grade parking lot, typical**  
1:25



**notes**

1. Do not place mulch within 50mm from shrub base.
2. Prune all dead or damaged roots and branches.
3. All plant material shall meet the horticultural standards and practices of the Canadian Nursery Landscape Association.

**3 shrub planting, typical**  
1:25



**notes**

1. If minimum utility setbacks permit, position tree stakes in direction of prevailing winds.
2. All trees to maintain a minimum clearance from all utilities as set out in the City of Surrey land use bylaws.
3. Dig all holes by hand when tree pit is closer than one meter from edge of pit to the staked utility line.
4. Trees larger than 80mm caliper or 3.0 meters height require 3 tree stakes.
5. All plant material shall meet the horticultural standards and practices of the Canadian Nursery Landscape Association.
6. Sites with heavy clay shall have a larger than normal hole and equal mix of soil from hole, organic matter and sand.
7. Avoid glazing the sides of the hole when digging tree pit. Sides of the hole shall be scarified prior to planting.

**2 tree planting, typical (excludes 1.8m wide parking islands)**  
1:25



model: MBR-2000-PCC Bench  
supplier: magin  
colour: silver 14  
materials: bench ends are made from solid cast aluminum.  
The seat employs High Density Paper Composite (HDPC). Charcoal colour.  
installation: surface mount as per manufacturer's specification

**4 site furnishing - bench**  
n.t.s.



model: MBR-2000-0001 bike rack  
supplier: magin  
colour: silver 14  
materials: the bike rack frame is made from solid cast aluminum.  
Tamper resistant fasteners are stainless steel.  
installation: surface mount as per manufacturer's specification

**5 site furnishing - bicycle rack**  
n.t.s.



model: MTS-0000-00020 bike rack  
supplier: magin  
colour: silver 14  
materials: The frame is H.S. steel tube and flat bar. Table top and seats are manufactured using recycled plastic slats - Grey color.  
installation: surface mount as per manufacturer's specification

**6 site furnishing - picnic table**  
n.t.s.

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5. While reasonable efforts have been made to determine that the trees recommended for retention are healthy, no guarantees are offered, or implied, that these trees, or parts of them, will remain standing and whole. It is impossible to predict with absolute certainty the behaviour of any single tree or group of trees, or their component parts, in all future circumstances. Inevitably any standing tree will pose some risk. In accordance with standard practice, the assessment presented in this plan is valid at the time it was undertaken. B18 Studio accepts no responsibility for subsequent damage or deterioration.
6. The findings and opinions expressed in this plan are representative of the conditions found on the day of the review (2022-04-08) only. Any trees retained should be reviewed on a regular basis. The root crown, and overall structure, of all of the trees to be retained must be reviewed immediately following land clearing, grade disturbance, significant weather events and prior to site usage changes.

**EIGHT ONE EIGHT STUDIO**  
PLANNING + DESIGN COLLABORATIVE

number	revision	date	by	approved
6	revised base plan	2022-12-06	ab	twf
5	revised base plan	2022-12-06	ab	twf
4	revised base plan	2022-11-31	twf	mag
3	revise site plan	2022-10-03	ab	ab
2	revise site plan/planting	2022-09-29	twf	ab
1	revised site plan	2022-06-16	ab	ab

6	issue for dp- re-submission 2	2023-12-02
5	issue for dp- re-submission 1	2022-12-06
4	issue for dp- re-submission 1	2022-11-24
3	issue for client review	2022-10-03
2	issue for dp	2022-09-29
1	issue for client review	2022-04-29

issued by: abh by: twf

project  
**190th St. Heppell Project**  
2898 - 190 Street,  
2825/2981 - 192 Street,  
Surrey BC

**drawing**

**details**

drawn	ab	approved	ab
checked	ab	project number	1210.12
date	22.04.08	sheet	
scale	as noted		

**DPL6**

---

TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **February 02, 2023** PROJECT FILE: **7822-0191-00**

---

RE: **Engineering Requirements (Commercial/Industrial)  
Location: 2898 190 St**

**REZONE/SUBDIVISION**

***Property and Right-of-Way Requirements***

- Dedicate approximately 4.142 m towards 28 Avenue.
- Dedicate 10 m to 13.5 m towards 30 Avenue.
- Dedicate 14.5 m towards 190 Street.
- Dedicate 6.308 m to 8.442 m to 192 Street.
- Dedicate required corner cuts.
- Register 0.5 m SRW along all road frontages.

***Works and Services***

- Construct multi-use pathway on 192 Street.
- Construct the east side of 190 Street.
- Construct the north side of 28 Avenue.
- Construct the south side of 30 Avenue.
- Construct water mains along 30 Avenue.
- Construct sanitary main, as required.
- Construct storm mains along 28 Avenue, 192 Street, and 30 Avenue.
- Complete sanitary and storm catchment analysis to determine existing capacities. Resolve downstream constraints, as identified.
- Provide on-site stormwater mitigation, biofiltration, and water quality features.
- Register applicable legal documents as determined through detailed design.

A Servicing Agreement is required prior to Rezone/Subdivision.

**DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT**

There are no engineering requirements relative to issuance of the Development Permit/  
Development Variance Permit.



Jeff Pang, P.Eng.  
Development Services Manager

NOTE: Detailed Land Development Engineering Review available on file

## Tree Preservation Summary

**Surrey Project No:** 7922-01910-00

**Address:** 2898 - 190 Street, 2981/2825 - 192 Street, Surrey, BC

**Registered Arborist:** Catherine Dowdell CA# PR5221-A

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	64
<b>Protected Trees to be Removed</b>	64
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	0
<b>Total Replacement Trees Required:</b>  - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u>   9   </u> X one (1) = 9  - All other Trees Requiring 2 to 1 Replacement Ratio <u>  55  </u> X two (2) = 110	<b>119</b>
<b>Replacement Trees Proposed</b>	181
<b>Replacement Trees in Deficit</b>	<b>0</b>
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	n/a

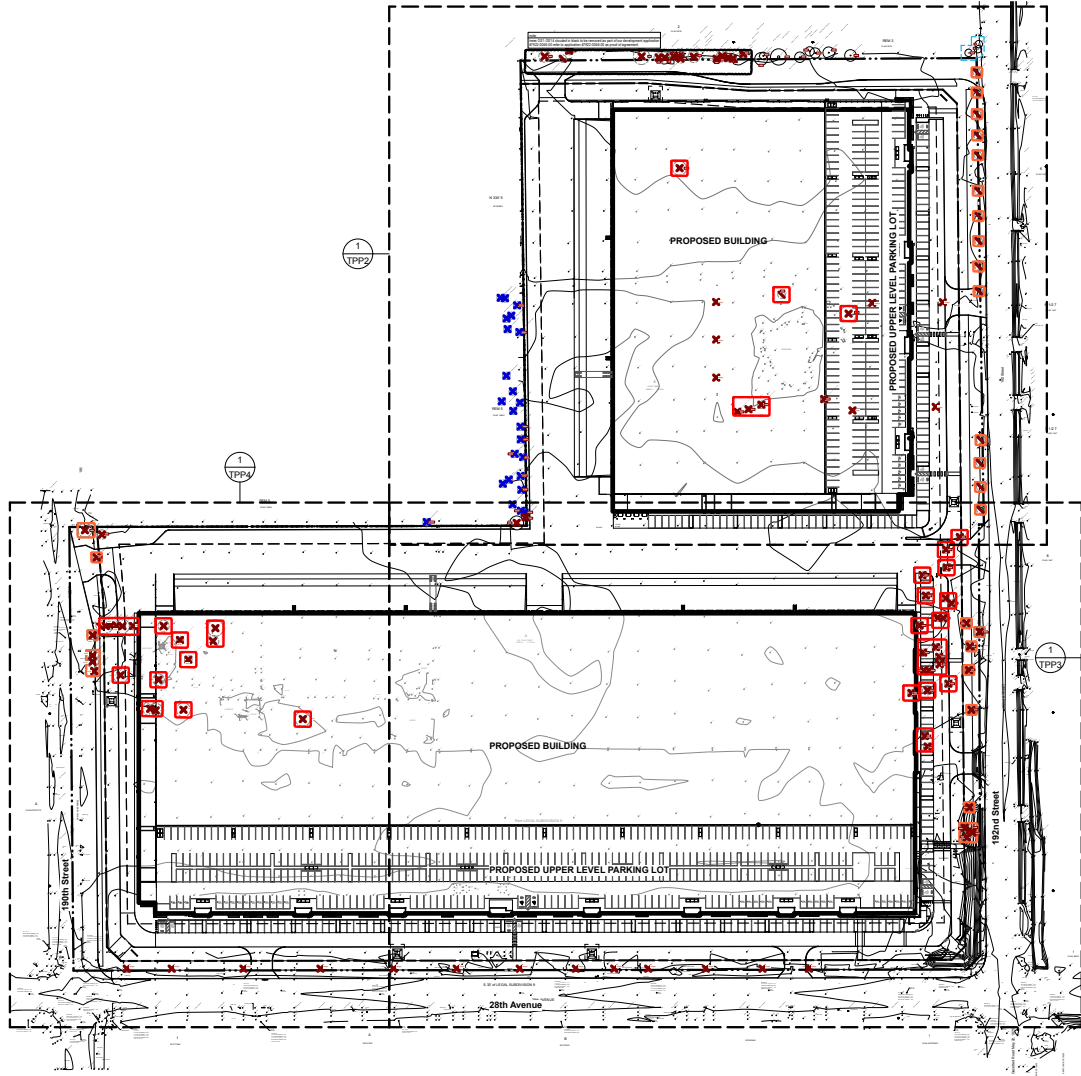
Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	17
<b>Total Replacement Trees Required:</b>  - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u>   1   </u> X one (1) = 1  - All other Trees Requiring 2 to 1 Replacement Ratio <u>  16  </u> X two (2) = 32	<b>33</b>
<b>Replacement Trees Proposed</b>	0
<b>Replacement Trees in Deficit</b>	<b>33</b>

Summary, report and plan prepared and submitted by: Harrison Luethe

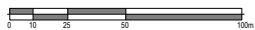
Summary, report and plan reviewed and approved by: Catherine Dowdell CA# PR5221-A

  
 \_\_\_\_\_  
 (Signature of Arborist)

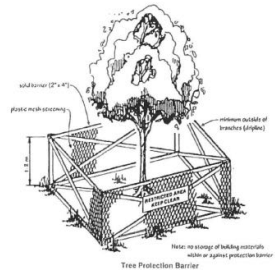
2023/02/03  
 \_\_\_\_\_  
 Date



1 tree preservation and removal plan  
1:1000



- legend
- to be removed
  - removed
  - non-by-law to be removed
  - to be retained
  - tree id tag
  - tree protection fencing
  - on site trees requiring removal
  - boulevard trees, removal pending parks review



Tree Protection Distance Table

Trunk Diameter (mm)	Minimum Protection Fencing Around Tree (distance from trunk in metres)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5.4
100	6.0

tree protection notes

- Tree protection fencing to be installed as per detail.
- Prior to commencement of any site activity such as site alteration, demolition or construction, the tree protection measures specified must be installed.
- Tree protection fencing as per Bylaw 2006 No. 16100. For more information contact the City of Surrey.
- Refer to civil for existing utility lines call 3-1-1 before you dig.
- Removal of trees to be done outside of nesting season (February through to August), a bird survey may be required.
- Once all tree protection fencing has been installed, City of Surrey Arborist must be contacted to arrange for an inspection.
- Tree protection must remain in place and in good condition throughout site demolition and construction and must not be altered, moved or removed until authorized by City of Surrey Arborist.
- Minimum impact to tree root systems during construction. Any tree root systems impacted during construction activities will need to be addressed through proper pruning techniques.
- It is not anticipated that tree pruning is required, however if pruning is required it is recommended that a certified arborist or qualified professional with extensive tree knowledge perform all tree pruning.
- Any branches broken or significantly damaged as a result of construction shall be pruned.
- If clearance pruning of public trees is required, City of Surrey Arborist must be notified (minimum two business days notice) and an approved contractor must be used at the applicants expense. Please contact City of Surrey Arborist at 311 for more information.
- All pruning to be done by a certified arborist or approved equivalent.
- All maintenance to be done by a certified horticultural technician or landscape journeyman.
- All remaining trees to be regularly maintained for a minimum of the growing season after construction completion.
- Contractor to arrange for watering as needed (minimum of weekly visit - more during temperate weeks) of existing trees during development period. Trees to be watered manually from a water truck.
- Contractor to add 75-100mm of new bark mulch to be added to tree protection zones.
- Absolutely no work to be carried out inside the tree protection zone. If access is required, contact City of Surrey Arborist. Provide ethics notice for response.
- No stockpiling or dumping of construction materials is permitted on the adjacent soccer fields, open spaces or boulevard.

2 tree protection barrier detail  
Actual Size

**NOT FOR CONSTRUCTION**  
for review and coordination only

- notes
- This drawing is copyright © 818 studio ltd, and shall not be reproduced, revised, transmitted and/or altered by any third party outside of the Owner without written permission from 818 studio ltd.
  - Do not scale drawings.
  - Refer to Civil drawings for all grading information.
  - The assessment of the trees presented in this plan have been made using accepted arboricultural techniques. These include a visual examination of each tree for structural defects, scars, external indicators of decay such as fungal fruiting bodies, evidence of insect attack, discoloration, foliage, the condition of any visible root structures, the degree and direction of lean or any other general condition of the tree(s) in the surrounding site, and the proximity of property and people. Except where specifically noted, none of the trees examined were diseased, correct, pruned, or cleared, and detailed root crown examinations involving excavation were not undertaken.
  - While reasonable efforts have been made to determine that the trees recommended for retention are healthy no guarantees are offered, or implied, that these trees, or parts of them, will remain standing and alive. It is responsible to predict with absolute certainty the behaviour of any single tree or group of trees, or their component parts at all future circumstances. Inevitably any standing tree will pose some risk. In accordance with standard practice, the assessment presented in this plan is valid at the time it was undertaken. 818 Studio accepts no responsibility for subsequent damage or deterioration.
  - The findings and opinions expressed in this plan are representative of the conditions found on the day of the review (2022-04-08) only. Any trees retained should be reviewed on a regular basis. The root crowns, and overall structure, of all of the trees to be retained must be reviewed immediately following hard clearing, grade disturbance, significant weather events and prior to site usage changes.

**EIGHT ONE EIGHT STUDIO**  
PLANNING + DESIGN COLLABORATIVE

number	revision	date	by	approved
3	site base updates	2023-02-02	hsl	hsl
2	review site plan	2022-10-05	ab	ab
1	premise tables	2022-05-05	ab	ab
4	development permit resubmission	2023-02-03		
3	issue for dp	2022-05-25		
2	issue for client review	2022-05-13		
1	issue for client review	2022-04-28		

190th Street Heppell Property  
2898 - 190 Street,  
2825-2981 - 192 Street,  
Surrey BC

tree preservation plan

drawn	checked	approved
ab	ab	ab
date	project number	
2022-04-08	1210_12	
as noted		

TPP1

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0191-00

Issued To:

(the "Owner")

Address of Owner:

Issued To:

(the "Owner")

Address of Owner:

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-273-581

Lot 6 Section 21 Township 7 New Westminster District Plan 16954

2981 - 192 Street

Parcel Identifier: 004-536-495

Parcel "A" (Explanatory Plan 15837) Legal Subdivision 9 Section 21 Township 7 New Westminster District

2898 - 190 Street

Parcel Identifier: 002-176-947  
Legal Subdivision 9 Section 21 Township 7 Except: Firstly: South 33 Feet Secondly: Part  
Subdivided By Plan 16954 Thirdly: Parcel "A" And Road (Explanatory Plan 15837), Fourthly:  
Part Dedicated Road On Plan Bcp22704 New Westminster District

2825 - 192 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

---

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

---

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
- (a) In Table D.1 of Part 5, Off-Street Parking and Loading/Unloading, the industrial parking rate is reduced from 1.0 parking spaces per 100 square metres to 0.983 parking spaces per 100 square metres.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

---

Mayor – Brenda Locke

---

City Clerk – Jennifer Ficocelli



**NOTES CONCERNING BUILDING LOCATION**

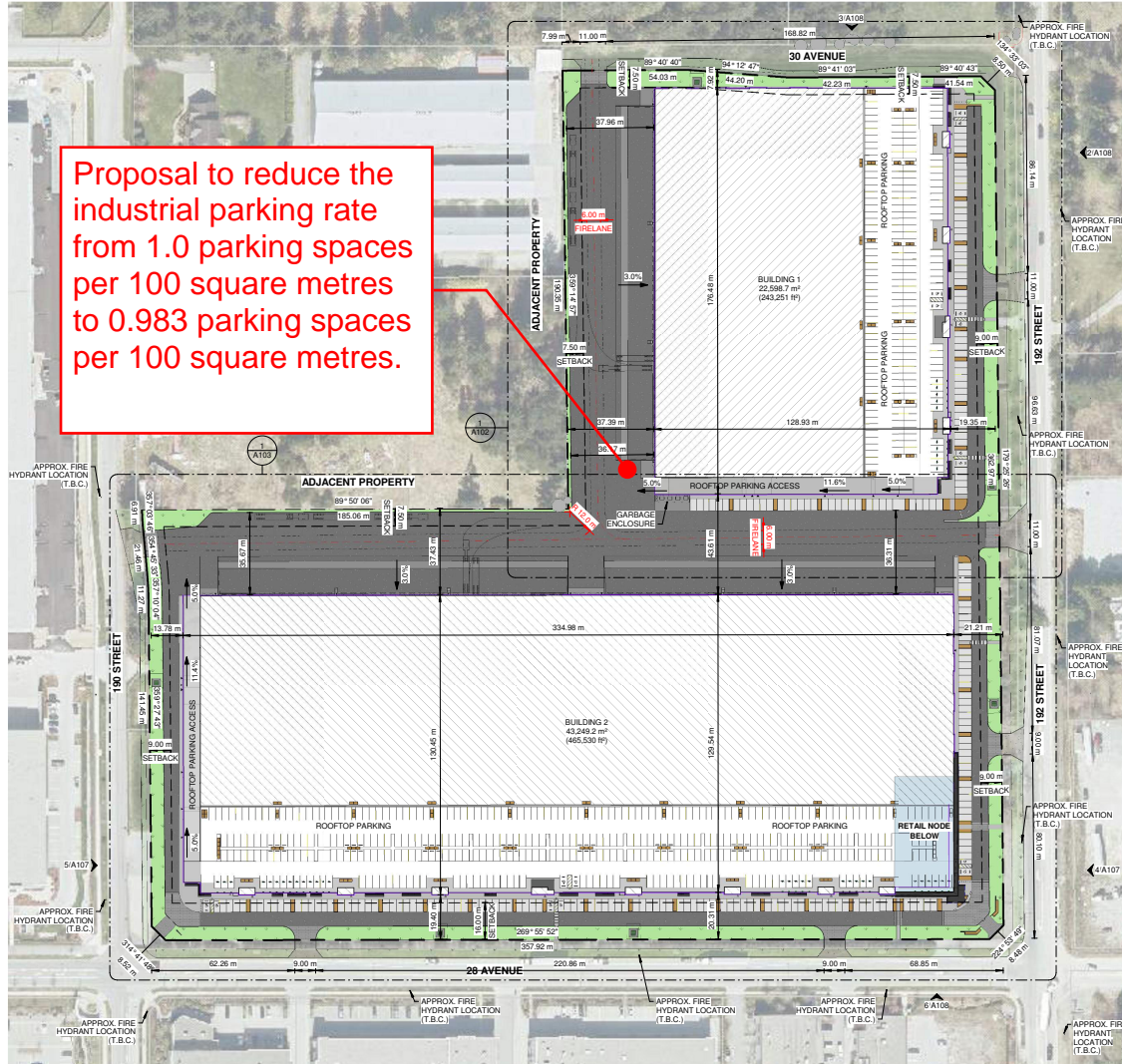
- THIS SITE PLAN IS BASED ON INFORMATION PROVIDED BY THE OWNER, AND NOT A SURVEY OR ACTUAL SITE MEASUREMENTS. ENGINEER IS TO BE ADVISED BEFORE START OF CONSTRUCTION OF ANY UNKNOWN FEATURES ON THIS OR THE ADJACENT SITES THAT MIGHT IMPACT ON THE PROJECT EITHER DURING CONSTRUCTION OR FUTURE USE.
- THE "NORTH" ORIENTATION REFERS TO NOMINAL NORTH RATHER THAN TRUE OR MAGNETIC NORTH.
- ANY DIMENSIONS THAT SHOW THE LOCATION OF EXISTING FEATURES ARE APPROXIMATE ONLY, AND ARE TO BE CONFIRMED BEFORE CONSTRUCTION START AS REQUIRED BY A CERTIFIED ALBERTA LAND SURVEYOR.

**SCHEDULE A**



aggregate  
design studio ltd.  
**EAGLE BUILDERS**  
THE PRECAST CONCRETE CONNECTION  
403-885-5325 P.O. BOX 1690  
BLACKFALDS, AB, T0M 0J0

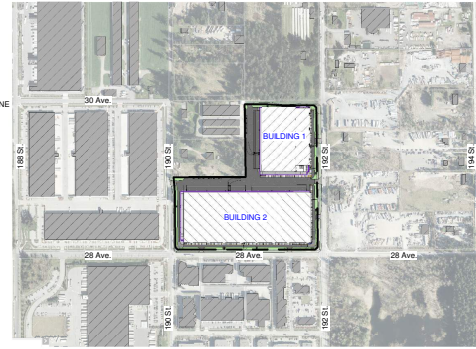
Proposal to reduce the industrial parking rate from 1.0 parking spaces per 100 square metres to 0.983 parking spaces per 100 square metres.



**BYLAW INFORMATION**  
ZONING:  
PRESENT ZONING: A-2 INDUSTRIAL AGRICULTURAL ZONE  
PROPOSED ZONING: CD COMPREHENSIVE DEVELOPMENT ZONE

**SETBACKS**  
FRONT YARD (S): PROVIDED: 19.4 m REQUIRED: 16.0 m  
REAR YARD (N): PROVIDED: 4.6 m REQUIRED: 7.5 m  
SIDE YARD (E): PROVIDED: 19.4 m REQUIRED: 9.0 m  
SIDE YARD (W): PROVIDED: 13.8 m REQUIRED: 9.0 m

**SITE SIZE:** 104,627.38 m<sup>2</sup> (1,126,199.72 sq/25.9 acre)  
**BUILDING AREAS:** BUILDING 1: 22,598.7 m<sup>2</sup>; BUILDING 2: 43,292.2 m<sup>2</sup>; TOTAL: 65,890.9 m<sup>2</sup>  
**SITE COVERAGE:** PROVIDED: 62.9%  
**BUILDING HEIGHT:** PROVIDED: 13.32m (43' 8 1/4")  
**LOADING DOORS:** BUILDING 1: 36; BUILDING 2: 68



**2 Context Plan**  
A101 1: 6000

**PARKING CALCULATION**

BUILDING	USE	AREA		PARKING BY GROSS FLOOR AREA	
		ft <sup>2</sup>	m <sup>2</sup>	REQUIREMENT	REQUIRED
BUILDING 1	MAIN OFFICE	10,992.97	1,021.3	2.5 STALL PER 100 m <sup>2</sup>	25.53
	2nd FLOOR OFFICE	22,218.14	20,635.5	1 STALL PER 100 m <sup>2</sup>	206.35
					<b>256.84</b>
BUILDING 2	MAIN OFFICE	19,740.35	1,833.9	2.5 STALL PER 100 m <sup>2</sup>	45.85
	2nd FLOOR OFFICE	9,846.96	915.0	3 STALL PER 100 m <sup>2</sup>	27.45
BUILDING 2	MAIN WAREHOUSE	421,937.90	39,199.5	1 STALL PER 100 m <sup>2</sup>	391.99
	2nd FLOOR RETAIL	11,675.49	1,084.7	3 STALL PER 100 m <sup>2</sup>	32.54
					<b>541.88</b>
<b>SUBTOTAL</b>				<b>725,508.44</b>	<b>67,401.9</b>
				<b>TOTAL PARKING STALLS REQUIRED</b>	<b>797.52</b>

**SITE SCHEDULE**

**ON SITE**

APRON	18,976.53 ft <sup>2</sup>	1,763.0 m <sup>2</sup>
DECORATIVE PAVING	10,476.57 ft <sup>2</sup>	1,010.5 m <sup>2</sup>
HARD LANDSCAPING	7.98 ft <sup>2</sup>	0.73 m <sup>2</sup>
HEAVY DUTY ASPHALT	242,748.16 ft <sup>2</sup>	22,521.2 m <sup>2</sup>
LANDSCAPING	67,717.89 ft <sup>2</sup>	6,291.2 m <sup>2</sup>
LIGHT DUTY ASPHALT	39,533.01 ft <sup>2</sup>	3,644.9 m <sup>2</sup>
MULCH	4,396.57 ft <sup>2</sup>	408.5 m <sup>2</sup>
SIDEWALK	28,544.43 ft <sup>2</sup>	2,651.9 m <sup>2</sup>
	413,262.52 ft <sup>2</sup>	38,369.2 m <sup>2</sup>

**OFF SITE**

HEAVY DUTY ASPHALT - BOULEVARD	8,399.85 ft <sup>2</sup>	780.4 m <sup>2</sup>
LANDSCAPING - BOULEVARD	48,070.97 ft <sup>2</sup>	4,465.9 m <sup>2</sup>
SIDEWALK - BOULEVARD	37,466.08 ft <sup>2</sup>	3,499.3 m <sup>2</sup>
	94,136.89 ft <sup>2</sup>	8,745.6 m <sup>2</sup>
<b>Grand total</b>	<b>507,419.21 ft<sup>2</sup></b>	<b>47,114.8 m<sup>2</sup></b>

**ACCESSIBLE PARKING STALL REQUIREMENTS**

STANDARD STALLS	REQUIREMENT	REQUIRED
797.52	2%	15.95
<b>TOTAL VEHICLE PARKING STALLS REQUIRED: 798</b>		

**PARKING SCHEDULE**

BUILDING	STALL TYPE	COUNT
BUILDING 1	BARRIER FREE PARKING STALL	6
	STANDARD PARKING STALL	53
BUILDING 2	BARRIER FREE PARKING STALL	10
	STANDARD PARKING STALL	104
<b>GRAND TOTAL: 798</b>		

**BICYCLE PARKING REQUIREMENTS**

BUILDING	TYPE OF STALL	AREA		PARKING BY GROSS FLOOR AREA	
		ft <sup>2</sup>	m <sup>2</sup>	REQUIREMENT	REQUIRED
GENERAL SERVICE USE AND EATING ESTABLISHMENT	SECURE BIKE STALLS	725,508.44	67,401.9	0.06 SPACE PER 100 m <sup>2</sup>	40.44
	VISITOR BIKE STALLS	725,508.44	67,401.9	0.06 SPACE PER 100 m <sup>2</sup>	40.44
					<b>TOTAL BIKE SPACES REQUIRED: 81</b>

SECURE BIKE STALLS TO BE PROVIDED IN FUTURE TENANT IMPROVEMENT STAGE.

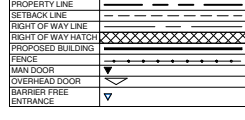
**EV PARKING STALL REQUIREMENTS**

COMMERCIAL AREA (OFFICE & RETAIL)	BUILDING	COMMERCIAL STALLS	REQUIREMENT	REQUIRED
				COUNT
	BUILDING 1	49.29	20%	9.86
	BUILDING 2	149.88	20%	29.98
				<b>TOTAL EV STALLS REQUIRED: 40</b>

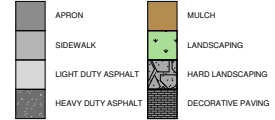
**BICYCLE PARKING**

STALL TYPE	BIKE CAPACITY
VISITOR BIKE STALL	46

**SITE PLAN LEGEND**

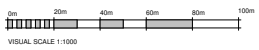


**SITE MATERIAL LEGEND**



**LOADING DOORS**

SIZE	TYPE	COUNT
9'x10' OHD	Deck Door	104
18'x16' OHD	Grate Door	6



**1 Site Plan**  
A101 1: 1,000



190th Street Heppell Property  
Office Warehouse & CRU's  
2898 190 Street and 2981 & 2825 192 Street  
Surrey, British Columbia

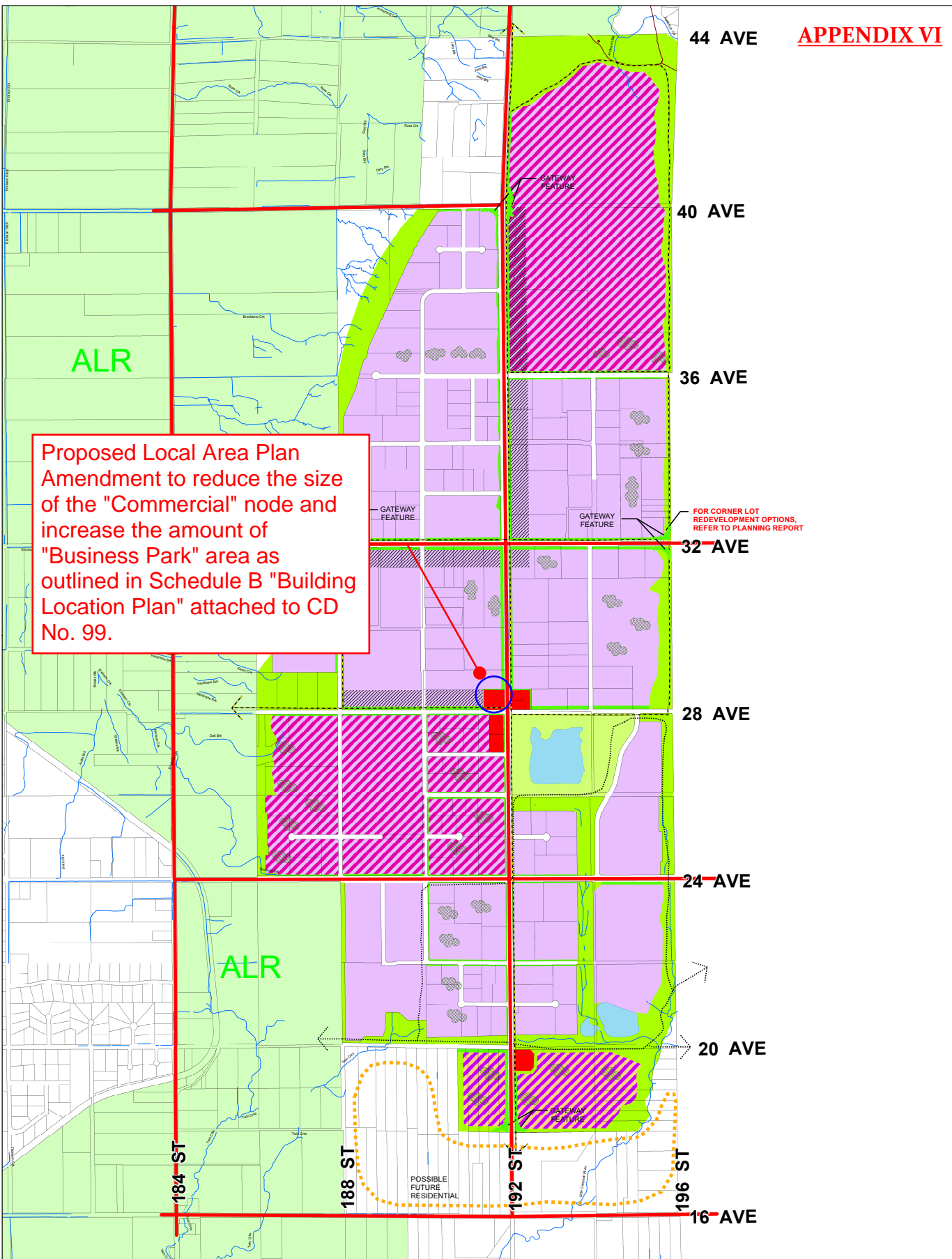
NO.	DATE	DESCRIPTION
1	2022-05-05	ISSUED FOR DEVELOPMENT PERMIT
2	2022-05-05	ISSUED FOR REVIEW
3	2022-11-10	ISSUED FOR REVIEW
4	2022-11-10	RECEIVED FOR REVIEW
5	2022-02-05	RECEIVED FOR DEVELOPMENT PERMIT

Project No: 821028  
Date: 2023-02-07  
8:49:59 AM  
Drawn by: AQ/EA/LH  
Checked by: DE, LB, RO, OB  
Sheet Name:

Sheet No:  
**A101**

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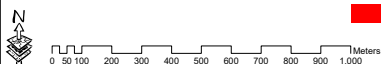


Proposed Local Area Plan Amendment to reduce the size of the "Commercial" node and increase the amount of "Business Park" area as outlined in Schedule B "Building Location Plan" attached to CD No. 99.

FOR CORNER LOT REDEVELOPMENT OPTIONS, REFER TO PLANNING REPORT

**CAMPBELL HEIGHTS LAND USE PLAN**  
 City of Surrey Planning & Development Department

- Legend**
- Campbell Heights Local Area Plan
  - Business Park (Office)
  - Business Park
  - Technology Park or Business Park
  - Business Park or Live/Work in Cluster Housing Form
  - Commercial
  - Campbell Heights Local Area Plan, City Park
  - Open Space Corridors/Buffers
  - Landscaping Strips
  - Stormwater Management Facilities
  - Creeks and Rivers
  - ALR Boundary
  - Tree Preservation Opportunities
  - Multi-Use Trail (Walking, Cycling and Horseback Riding)
  - Walking and Cycling Pathways
  - Arterial Roads



Approved by Council: December 11, 2000  
 Amended 20 October 2022

This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.