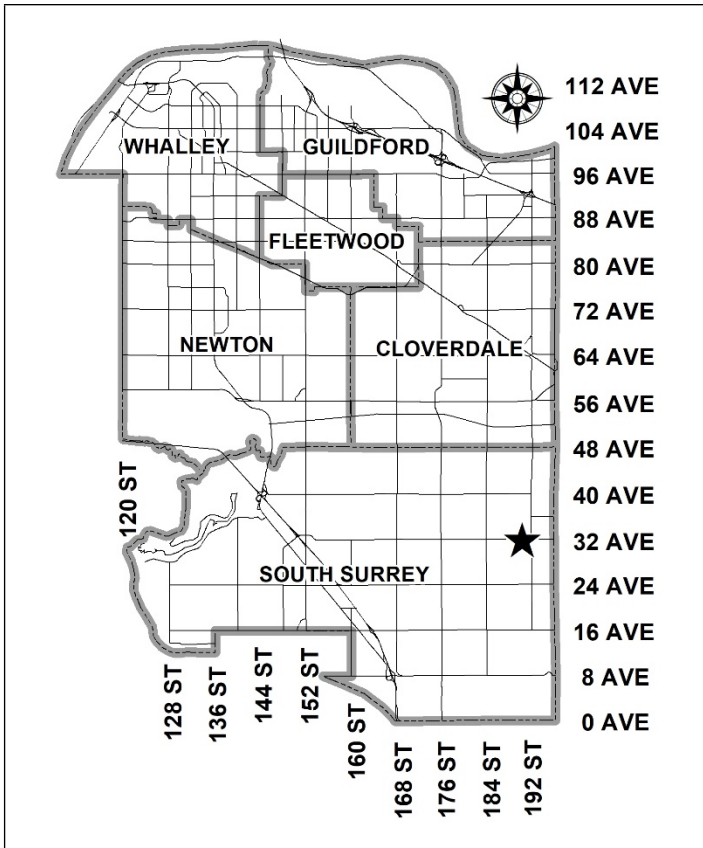


City of Surrey
PLANNING & DEVELOPMENT REPORT
 Application No.: 7922-0080-00
 Planning Report Date: September 11, 2023

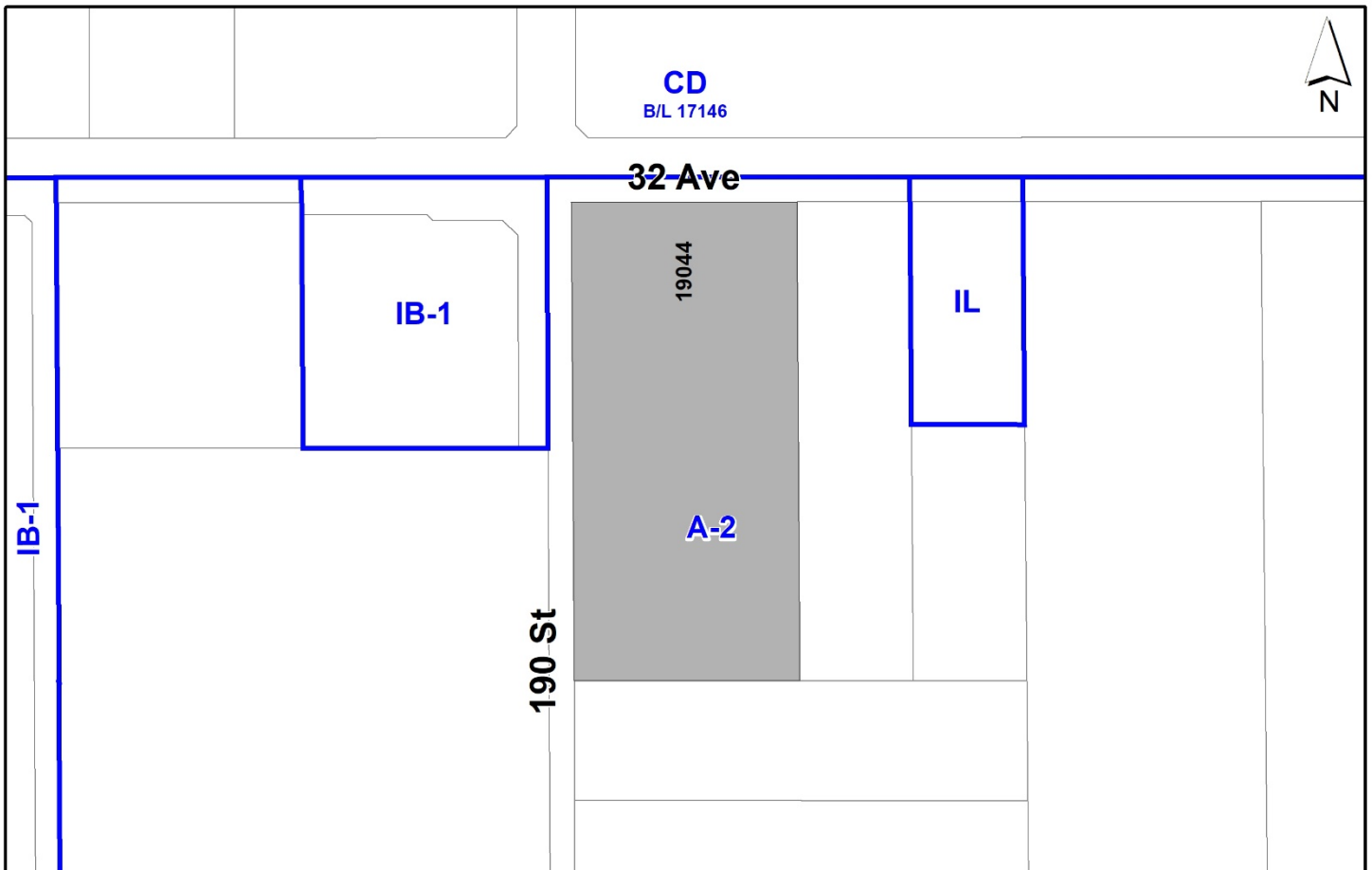


PROPOSAL:

- **Rezoning** from A-2 to IB-1
- **Development Permit**
- **Development Variance Permit**

to permit the development of a 9,976-square-metre multi-tenant industrial building.

LOCATION: 19044 - 32 Avenue
ZONING: A-2
OCP DESIGNATION: Mixed Employment
LAP DESIGNATION: Business Park, Business Park (Office) and Landscaping Strips



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing a reduction in the side yard (east) setback of the IB-1 Zone from 7.5 metres to 0.0 metres, and to reduce the landscape buffer on 32 Avenue from 6 metres to 2.2 metres, to accommodate tree retention.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal complies with the Business Park, Business Park (Office) and Landscaping Strips designation in the Campbell Heights Local Area Plan (LAP)
- The proposal complies with the Mixed Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Campbell Heights.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed sign has been comprehensively designed to be integrated with the design of the building and provides a comprehensive look for the development.
- There are two industrial buildings proposed. The proposed east building setback reduction for both buildings is consistent with other industrial sites where one of the setbacks adjacent to other industrial land can be reduced to 0.0 metres. The developed property to the east is also designated Mixed Employment in the Official Community Plan (OCP), and Business Park, Business Park (Office) and Landscaping Strips in the Campbell Heights Local Area Plan (LAP).
- The landscape strip reduction on 32 Avenue is for a small area, and is to accommodate additional road dedication required to meander the sidewalk and retain a large tree on 32 Avenue.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Intensive Agriculture Zone (A-2)" to "Business Park 1 Zone (IB-1)" and a date be set for Public Hearing
2. Council authorize staff to draft Development Permit No. 7922-0080-00 generally in accordance with the attached drawings (Appendix I).
3. Council approve Development Variance Permit No. 7922-0080-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum side yard (east) setback of the IB-1 Zone from 3.6 metres to 0.0 metres to the principal building face; and
 - (b) to reduce the minimum landscape strip requirement of the IB-1 Zone along 32 Avenue (arterial road) from 6 metres to 2.4 metres.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
 - (i) registration of a Section 219 Restrictive Covenant to prohibit any use that require a Metro Vancouver air quality permit from locating on the site.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Landscape Mart	Business Park, Business Park (Office) and Landscaping Strips	A-2
North (Across 32 Avenue):	Curtis International (warehouse)	Business Park and Landscaping Strips	CD (By-law Nos. 17146 and 17934)
East:	White Rock Roofing	Business Park, Business Park (Office) and Landscaping Strips	A-2
South:	Western Wind Equipment Rental and single family dwelling (Development Application No. 7923-0196-00 for business park)	Business Park	A-2
West (Across 190 Street):	Matcom Westcoast and greenhouses (Development Application No. 7920-0088 for business park)	Business Park, Business Park (Office) and Landscaping Strips	IB-1 and A-2

Context & Background

- The subject 1.82 hectares (4.5 acres) site is designated "Mixed Employment" in the Official Community Plan (OCP), "Business Park", "Business Park-Office" and "Landscape Strips" in the Campbell Heights Local Area Plan (LAP) and zoned "Intensive Agricultural Zone (A-2)".
- The site currently has a landscape business operation and is mainly flat with minimal slope.

DEVELOPMENT PROPOSAL**Planning Considerations**

- The applicant is proposing to rezone the site from "Intensive Agricultural Zone (A-2)" to "Business Park Zone (IB-1)" and a Development Permit for Form and Character to permit the development of an industrial business park with two buildings, and a gross floor area of 9,977 square metres (FAR 0.58). With a gross site area of 18,177.5 square metres and a road dedication of 847.4 square metres, the total net site area is 17,330.1 square metres.
- The two buildings proposed are multi-tenant industrial buildings.
- The application requires road dedication along the north for 32 Avenue, and the west, for 190 Street.

Proposed	
Lot Area	
Gross Site Area:	18,177.5 square metres
Road Dedication:	906.8 square metres
Undevelopable Area:	n/a
Net Site Area:	17,270.7 square metres
Number of Lots:	1
Building Height:	11.9 metres
Unit Density:	n/a
Floor Area Ratio (FAR):	0.58
Floor Area	
Industrial:	8,379 square metres
Commercial:	1,597 square metres
Total:	9,976 square metres

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Parks, Recreation & Culture:	Latimer Park is the closest active park with amenities including, walking trails, a future dog off-leash area, and is 1,350 metres walking distance from the development. Campbell Heights Biodiversity Preserve is the closest park with natural area and is 1,050 metres walking distance from the development.
Surrey Fire Department:	No concerns.
Advisory Design Panel:	The application was not subject to review by the ADP but was reviewed by staff and found satisfactory.

Transportation Considerations

- The application requires road dedication along the north and west property lines, for widening of 32 Avenue and 190 Street. There is some additional dedication proposed along 32 Avenue to accommodate a meandering sidewalk for tree retention. The applicant is dedicating an additional 3.6 metres for approximately 20 metres. This will require a variance to the landscape strip, and it is discussed later in this report.
- The site will be accessed via three driveways, one on 32 Avenue (right-in/right-out) and two on 190 Street. The 32 Ave. access is for passenger vehicles, whereas the northern 190 Street access provides truck/loading access to both buildings and the southern access is for passenger vehicles. The driveway on 32 Avenue at the northeast corner will have an easement registered on it, allowing the site to the east to share the same access.

- The proposed truck loading bays accessed from 190 Street are located between the two buildings and are screened from 32 Avenue by the northern building, and from 190 Street by landscaping and screening walls.
- There are bike routes on 32 Avenue, adjacent to the site and the closest transit route is approximately 300 metres east, at 192 Street and 32 Avenue (Route # 531 White Rock Centre/ Willowbrook).

Sustainability Considerations

- The applicant has met the majority of the sustainable development criteria, as indicated in the Sustainable Development Checklist; however, the applicant does not propose to meet the Climate Adaptation Strategy policy for a green roof or a high-albedo roof, which is typically considered to have a Solar Radiance Index (SRI) value of 75.
- The purpose of a high-albedo roof is to reduce the internal building temperatures by reflecting the sun and also to contribute to a lower overall heat island effect, which is an increase in the overall temperature of a developed area.
- Instead, the applicant proposes an EPDM roof system with light grey washed river worn rock, with a Solar Radiance Index value between 50 and 65.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "Mixed Employment" land use designation in the Metro Vancouver Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the "Mixed Employment" land use designation in the Official Community Plan.

Themes/Policies

- B6.6 – Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces.

(The northern façade facing 32 Avenue has special treatment, with expansive two-level spandrel glazing at the corner. The façade on 190 Street also has a curtain wall glass).

- B6.9 – Create opportunities for interactive and enjoyable public plazas by using furniture, banners, signs, interactive public art, heritage interpretation, paving patterns, vibrant colours and other "placemaking" design elements.

(The proposed development includes a plaza at the northwest corner, with benches and an amenity space).

- C2.38 – Ensure the loading and on-site access of goods delivery vehicles is considered in conjunction with overall urban development site design.

(Loading bays are accessible from 190 Street to the west, with the building screening the view from 32 Avenue, and landscaping and walls screening from 190 Street).

- E1.20 – Encourage the continued expansion of high-tech, research and development and light manufacturing to locate within Mixed Employment areas that are accessible to major transportation corridors and/or frequent transit services.

(The proposed development is compatible with the Mixed Employment designation and builds upon the employment lands in Campbell Heights. The subject site is also located near the major transportation corridors of 36 Avenue, Highway 15, 192 Street and international border crossings).

Secondary Plans

Land Use Designation

- The proposal complies with the Business Park, Business Park-Office and Landscape Strips designation in the Campbell Heights Local Areas Plan (LAP) as follows:

Themes/Objectives

- 6.5.1.4 – Design Guidelines: Business Park – The use of glass and high quality materials and finishes is required of buildings facing the street. Blank walls should be avoided.

(The northern façade facing 32 Avenue has special treatment, with expansive two-level spandrel glazing at the corner. The façade on 190 Street has a curtain wall glass also.).

- 6.5.1.4 – Design Guidelines: Business Park – Variations in massing and changes in height and horizontal planes are encouraged.

(The proposed development incorporates a variation in building height at the unit entrances, and the corner has a detail with spandrel glass).

- 6.5.1.4 – Design Guidelines: Business Park – The exterior of buildings should be coordinated in the design on all elevations with regard to colour, materials, architectural form, and detailing to achieve design harmony and continuity.

(The proposed building is architecturally coordinated with a modern appearance that promotes harmony by using consistent cladding materials, glazing, and landscaping).

Zoning By-law

- The applicant proposes to rezone the subject site from "Intensive Agriculture Zone (A-2)" to "Business Park 1 Zone (IB-1)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Business Park 1 Zone (IB-1)", streamside setbacks and parking requirements.

IB-1 Zone (Part 47A)	Permitted and/or Required	Proposed
Unit Density:	n/a	n/a
Floor Area Ratio:	1.00	0.58
Lot Coverage:	60%	48%
Yards and Setbacks		
North:	7.5 metres	25 metres
East:	7.5 metres / 3.6 metres	0.0 metres (DVP)
South:	7.5 metres	21 metres
West:	7.5 metres	7.5 metres
Height of Buildings		
Principal buildings:	14 metres	11.9 metres
Accessory buildings:	6 metres	n/a
Parking (Part 5)		
	Required	Proposed
Number of Stalls		
Commercial:	52	52
Industrial:	79	79
Total:	131	131

Setback Variance

- The applicant is requesting the following variances:
 - a reduction in the side yard (east) setback of the IB-1 Zone from 7.5 metres to 0.0 metres.
 - a reduction to the minimum landscape strip requirement of the IB-1 Zone along 32 Avenue (arterial road) from 6 metres to 2.4 metres.
- Under the proposed IB-1 Zone, one side yard can be reduced from 7.5 metres to 3.6 metres if adjacent to Mixed Employment or Industrial lands. The site is adjacent to Mixed Employment lands, but the applicant is requesting a further reduction from 3.6 metres to 0.0 metres.
- In other business parks zones one side yard is allowed at 0.0 metres, but the IB-1 only allows the reduction to 3.6 metres. This is not anticipated to negatively affect the adjacent site.
- Given the context of the site, a reduction to 0.0 metres along the east setback is appropriate and provides a more efficient site plan.

- The reduction in the landscape strip along 32 Avenue is required to accommodate a larger road dedication to allow for the meandering of the sidewalk for tree retention. The reduction is required for approximately 20 metres in length, from 6 metres to 2.4 metres.
- Staff support the requested variances to proceed for consideration.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on June 19, 2023, and the Development Proposal Signs were installed on June 26, 2023. Staff have received no responses .

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).
- The applicant has worked with staff to include a plaza with amenities at the northwest corner, to provide building articulation, and to increase screening from 190 Street.
- Two buildings are proposed, with the loading area located between the two buildings.
- The general site design consists of two large industrial building with a 7.5-metre landscape buffer along the west property line, passenger vehicle parking lots along the north and south areas, with a 6 metres wide landscape buffer on the north, and a 1.5-metre wide landscape buffer on the south.
- Vehicular access is proposed on 32 Avenue, to be shared with the neighbour to the east, and on the south end from 190 Street. Truck/loading access is proposed on 190 Street, and the loading area is shared between the two proposed buildings. The loading area will be screened from public view along 32 Avenue by the northern building, and from 190 Street by screening and landscaping.

- Fascia signs are proposed, one sign per unit is proposed, all facing the northern façade. All signage is to be in individual channel letters, complying with the Sign By-law. One upper storey sign is proposed for each building, for the main occupant. No free-standing sign is proposed.

Landscaping

- The proposed landscaping consists of a 7.5-metre landscape buffer along the west (190 Street), a 6-metre landscape buffer along the north (32 Avenue), and a 1.5-metre landscape buffer along the south and east, adjacent to parking.
- The new trees on the site will consist of a variety of trees including Oregon White Oak, Manna Ash, Toba Hawthorn, English Walnut, Freeman Maple, Japanese Hornbeam, Little Leaf Linden, Columnar English Oak, Whitebeam, Noble Fir and Serbian Spruce and a variety of shrubs and grasses.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include minor changes to landscaping.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Alexander Groenewold, ISA Certified Arborist of KD Planning & Design Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bif Leaf Maple	2	2	0
Norway Maple	1	1	0
European Horse Chestnut	3	3	0
Common Pear	1	1	0
Paper Birch	1	1	0
Bitter Cherry	2	2	0
Coniferous Trees			
Douglas Fir	35	34	1
Western Red Cedar	7	7	0
Total (excluding Alder and Cottonwood Trees)	52	51	1

Total Replacement Trees Proposed (excluding Boulevard Street Trees)	76
Total Retained and Replacement Trees Proposed	77
Estimated Contribution to the Green City Program	\$14,300

- The Arborist Assessment states that there are a total of 52 mature trees on the site, with no Alder and Cottonwood trees. The applicant proposes to retain 1 tree as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a proposed total of 102 replacement trees on the site. There are 76 replacement trees proposed to be accommodated on the site, with the proposed deficit of 26 replacement trees requiring an estimated cash-in-lieu payment of \$14,300, representing \$550 per tree, to the Green City Program, in accordance with the City’s Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including Oregon White Oak, Manna Ash, Toba Hawthorn, English Walnut, Freeman Maple, Japanese Hornbeam, Little Leaf Linden, Columnar English Oak, Whitebeam, Noble Fir and Serbian Spruce and a variety of shrubs and grasses.
- In summary, a total of 77 trees are proposed to be retained or replaced on the site with an estimated contribution of \$14,300 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Survey Plan, Proposed Road Dedication Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix IV. Development Variance Permit No. 7922-0080-00

approved by Shawn Low

Don Luymes
 General Manager
 Planning and Development

LM/ar

PROPOSED INDUSTRIAL BUILDINGS FOR:

Q·R·D 190

ADDRESS: 19044 32 AVE, SURREY, B.C.

FOR



ARCHITECTURE PANEL INC.
 8001 WESTERN AVENUE SUITE 1000, VANCOUVER, BC V6P 3C9
 TEL: (604) 276-1111 FAX: (604) 276-1112
 WWW.ARCHITECTUREPANEL.COM

IN ASSOCIATION WITH



D.FORCE
 1000 WESTERN AVENUE SUITE 1000, VANCOUVER, BC V6P 3C9
 TEL: (604) 276-1111 FAX: (604) 276-1112
 WWW.DFORCE.COM

ARCHITECTURAL DRAWING LIST

COVER SHEET	A-00
OVERALL SITE PLAN	A-10
BASE PLAN	A-11
SITE DETAILS	A-12
FIRE ACCESS PLAN	A-13
BUILDING 100 MAIN FLOOR PLAN	A-20
BUILDING 100 MEZZANINE PLAN	A-21
BUILDING 100 ROOF PLAN	A-22
BUILDING 100 ELEVATIONS	A-23
BUILDING 100 SECTIONS	A-24
BUILDING 200 MAIN FLOOR PLAN	A-30
BUILDING 200 MEZZANINE PLAN	A-31
BUILDING 200 ROOF PLAN	A-32
BUILDING 200 ELEVATIONS	A-33
BUILDING 200 SECTIONS	A-34



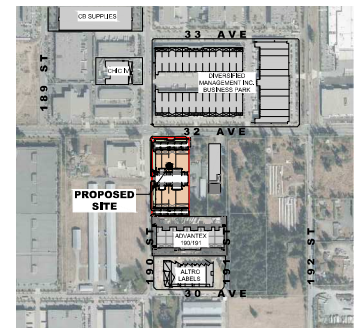
BUILDING 100



BUILDING 200



BIRD'S EYE FROM CORNER OF 32 AVE & 190 ST



CONTEXT PLAN



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2	JAN/20/20	REBILLED FOR EIP
1	JAN/20/20	ISSUED FOR EIP

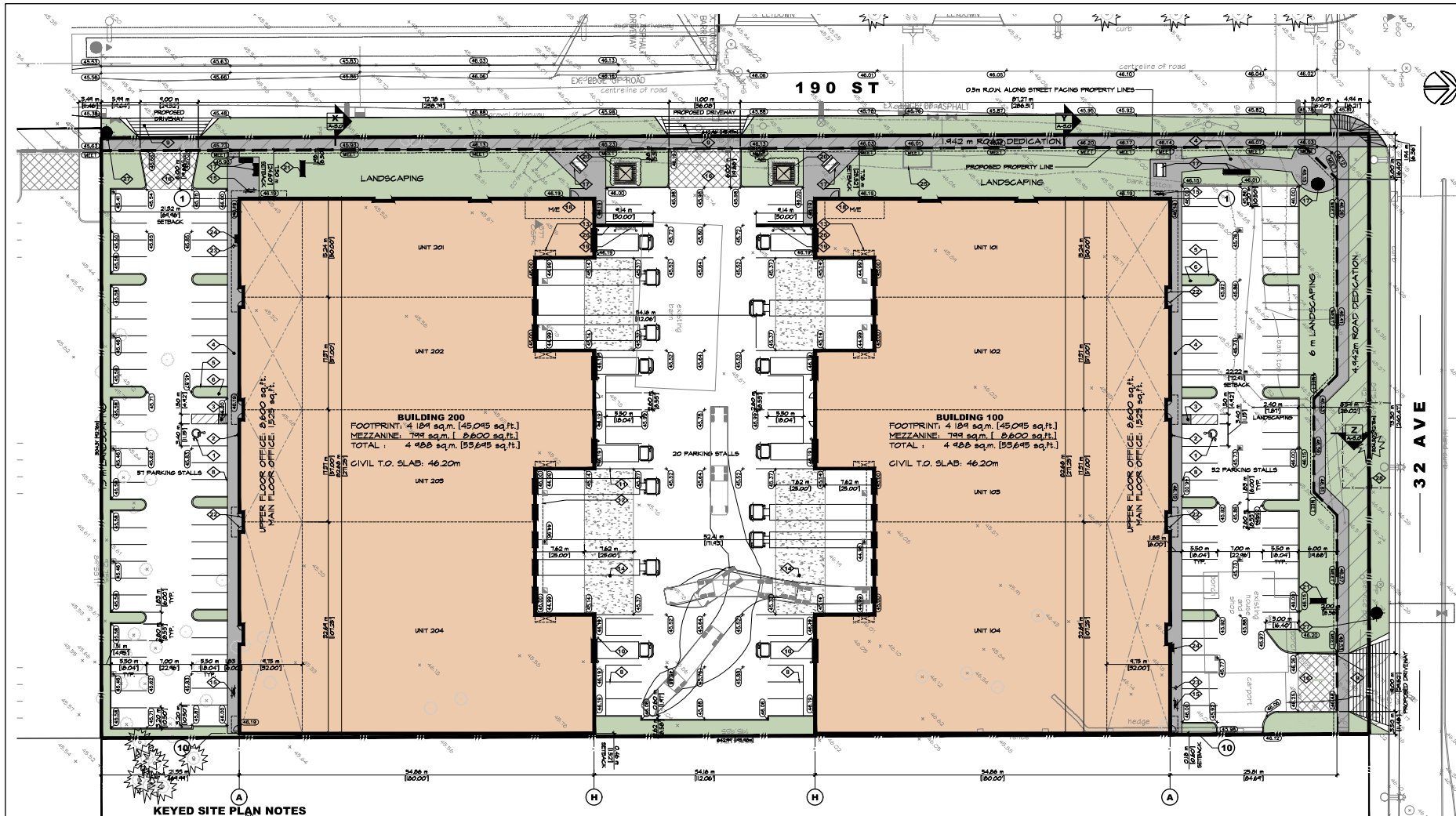
PROJECT MANAGERS / CONTRACTORS

ORION CONSTRUCTION
 UNIT 105 19023 80A AVE
 LANGLEY, BC V3V 0Z2
 PHONE: (804) 362-2994

PROJECT: PROPOSED INDUSTRIAL DEVELOPMENT FOR
Q·R·D 190
 ADDRESS: 19044 32 AVE, SURREY, B.C.
 DRAWINGS

COVER SHEET

SEAL	JOB NO.	DRAWN	BY
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	CHECKED	DATE	
		R/D	
	PLDT DATE		AUG/20/20
PROJECT / DRAWING NUMBER		REV.	
A-0.0			3



KEYED SITE PLAN NOTES

<ul style="list-style-type: none"> ◊ INTERNATIONAL SYMBOL OF ACCESS PAINTED ON ASPHALT ◊ HALL MOUNTED H.C. SIGN PER DETAIL 8/A-1.2 ◊ 3/8" SCHEDULE 40S PIPE PROVIDE MINIMUM 3/8" SEE DETAIL 1/A-1.2 ◊ CONCRETE SIDEWALK: 8" ABOVE ADJACENT ASPHALT. LIGHT BROOM FINISH ◊ 6" AIR ENTRAINED CONCRETE CURB TYPICAL AT EDGE OF LANDSCAPING PER LANDSCAPE ARCHITECT'S DRAWINGS ◊ PAINT ON ASPHALT ◊ 4" PAINT STRIPE, TYPICAL ◊ ASPHALT CROSSING TO MANGALIFE OFFICE ◊ 6" AIR LIFT TRICAL CONCRETE FILLED STEEL ROLLER BARRED REINFORCED TYPICAL FOR DEVIATION AT EACH SIDE OF GRADE LEVEL. SEE TYPICAL DETAIL 1/A-1.2 ◊ RETAINING WALL UNPAINTED CON. AT FIRE GUARDRAIL. SHALL BE MINIMUM 3" ABOVE GRADE. SEE DETAIL 1/A-1.2 FOR RETAINING WALL ◊ LINE OF CANOPY ABOVE, SEE PLANS AND DETAILS FOR MORE INFORMATION ◊ BARBARE LOCATION INSIDE BUILDING, TYPICAL. SEE DETAIL 2/A-1.2 ◊ CONCRETE DOLLY PAD ◊ BICYCLE PARKING PER DETAIL 8/A-1.2 	<ul style="list-style-type: none"> ◊ BANDJOINT CONCRETE ◊ SITE FURNITURE PER LANDSCAPE ARCHITECT ◊ ELECTRICAL & MECHANICAL ROOMS / EQUIPMENT ◊ 6" AIR NETS PER MECHANICAL DRAWINGS ◊ 8" AIR NETS PER MECHANICAL DRAWINGS AND PROTECTOR AS REQUIRED BY BC HYDRO AND MUNICIPALITY. SEE DETAIL 8/A-1.2 ◊ ELECTRICAL NOISE, SEE ELECTRICAL DRAWINGS, SEE DETAIL 1/A-1.2 ◊ FREE STANDING SIGNAGE, LOCATED MIN. 3.0M FROM FL. SEE DETAIL 10/A-1.2 ◊ TYPICAL ACCESSIBLE ENTRANCE ◊ FIRE DEPARTMENT CONNECTION, SEE MECHANICAL DRAWINGS ◊ ANNUNCIATOR PANEL, SEE ELECTRICAL DRAWINGS ◊ WATER ENTRY CHAMBER (3m x 2.5m) SEE CIVIL DWGS FOR DETAILS ◊ BOREN HALL ◊ FIRE HYDRANT ◊ TREE PROTECTION FENCING PER ARBORIST REPORT
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SITE PLAN
SCALE: 1" = 30'

SITE DATA - BUILDING 100 & 200

CIVIC ADDRESS: 10044 82 AVE. SURREY, B.C.
LEGAL DESCRIPTION: LOT 1 BLOCK 1 SECTION 21 TOWNSHIP 14 S. R. 24 E. M. 20
EXISTING ZONING: R-1C
PROPOSED ZONING: R-1C

GROSS LOT AREA: 18,173 sq.m. / 182 ha. [18,666 sq.ft. / 4.34 Ac.]
NET LOT AREA: 17,207 sq.m. / 178 ha. [18,501 sq.ft. / 4.21 Ac.]
BLDG A BUILDING AREA (FOOTPRINT): 4,184 sq.m. [50,025 sq.ft.]
BLDG B BUILDING AREA (FOOTPRINT): 4,184 sq.m. [50,025 sq.ft.]
TOTAL BUILDING AREA (FOOTPRINT): 8,368 sq.m. [100,050 sq.ft.]
NET SITE COVERAGE: 60% MAX. 10,910 / 18,173 = 59.5%
NET P.A.R.: (12) MAX. 10,140 / 17,207 / 58.9% = 0.58

SITE DATA - BUILDING 100

SETBACKS: MIN. PROPOSED
FRONT (NORTH): 6.2m [20.34'] 0.24m [0.78'] VARIANCE REQ'D
SIDE (EAST): 7.5m [24.60'] 2.13m [6.96']
SIDE (WEST): 7.5m [24.60']
REAR (SOUTH): 2.13m [6.96']
HEIGHT: 45' [14m] MAX. 34' [10.4m]

PARKING REQUIRED:
MANEUVERABLE 1 STALL PER 1076 S.F.
OFFICE 1 STALL PER 451 S.F.

1ST FLR. INDUSTRIAL: 45,970 / 1076 = 40.9
1ST FLR. OFFICE: 1,525 / 451 = 3.4
MEZZANINE OFFICE: 8,600 / 451 = 19.1
TOTAL REQUIRED: 84 [85.4]
PARKING PROVIDED: 84

ACCESSIBLE PARKING REQUIRED: 2% OR 1.2%
ACCESSIBLE PARKING PROVIDED: 3% OR 2.2%
SMALL CAR PARKING ALLOWED: 5% OR 2.2%
SMALL CAR PARKING PROVIDED: 5% OR 2.2%
BICYCLE PARKING PROVIDED: 2 RACKS

SITE DATA - BUILDING 200

SETBACKS: MIN. PROPOSED
FRONT (NORTH): 6.2m [20.34'] 0.24m [0.78'] VARIANCE REQ'D
SIDE (EAST): 7.5m [24.60'] 2.13m [6.96']
SIDE (WEST): 7.5m [24.60']
REAR (SOUTH): 2.13m [6.96']
HEIGHT: 45' [14m] MAX. 34' [10.4m]

PARKING REQUIRED:
MANEUVERABLE 1 STALL PER 1076 S.F.
OFFICE 1 STALL PER 451 S.F.

1ST FLR. INDUSTRIAL: 45,970 / 1076 = 40.9
1ST FLR. OFFICE: 1,525 / 451 = 3.4
MEZZANINE OFFICE: 8,600 / 451 = 19.1
TOTAL REQUIRED: 84 [85.4]
PARKING PROVIDED: 84

ACCESSIBLE PARKING REQUIRED: 2% OR 1.2%
ACCESSIBLE PARKING PROVIDED: 3% OR 2.2%
SMALL CAR PARKING ALLOWED: 5% OR 2.2%
SMALL CAR PARKING PROVIDED: 5% OR 2.2%
BICYCLE PARKING PROVIDED: 2 RACKS

SITE DATA - BUILDING 100

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FRONT (NORTH): 6.2m [20.34'] 0.24m [0.78'] VARIANCE REQ'D
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SIDE (WEST): 7.5m [24.60']
REAR (SOUTH): 2.13m [6.96']
HEIGHT: 45' [14m] MAX. 34' [10.4m]

PARKING REQUIRED:
MANEUVERABLE 1 STALL PER 1076 S.F.
OFFICE 1 STALL PER 451 S.F.

1ST FLR. INDUSTRIAL: 45,970 / 1076 = 40.9
1ST FLR. OFFICE: 1,525 / 451 = 3.4
MEZZANINE OFFICE: 8,600 / 451 = 19.1
TOTAL REQUIRED: 84 [85.4]
PARKING PROVIDED: 84

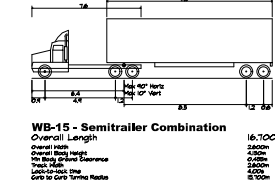
ACCESSIBLE PARKING REQUIRED: 2% OR 1.2%
ACCESSIBLE PARKING PROVIDED: 3% OR 2.2%
SMALL CAR PARKING ALLOWED: 5% OR 2.2%
SMALL CAR PARKING PROVIDED: 5% OR 2.2%
BICYCLE PARKING PROVIDED: 2 RACKS

Building 100

Unit Number	Main floor (Sq.Ft./ Meters)	Upper floor (Sq.Ft./ Meters)
Unit 101	83.0 / 7.71	159.0 / 14.73
Unit 102	94.00 / 8.67	182.0 / 16.89
Unit 103	94.00 / 8.67	182.0 / 16.89
Unit 104	1785.0 / 163.71	3420.0 / 315.47
Total	4305.0 / 398.46	8620.0 / 796.96

Building 200

Unit Number	Main floor (Sq.Ft./ Meters)	Upper floor (Sq.Ft./ Meters)
Unit 201	83.0 / 7.71	159.0 / 14.73
Unit 202	94.00 / 8.67	182.0 / 16.89
Unit 203	94.00 / 8.67	182.0 / 16.89
Unit 204	1785.0 / 163.71	3420.0 / 315.47
Total	4305.0 / 398.46	8620.0 / 796.96



ARCHITECTURE PANEL INC.
PROFESSIONAL LANDSCAPE ARCHITECTS, LANDSCAPE ARCHITECTS (REGISTERED)
100-1000 BURNABY STREET, VANCOUVER, B.C. V5A 1S4
TEL: 604-273-8888 FAX: 604-273-8889
WWW.ARCHITECTUREPANEL.COM

D.FORCE **DESIGN FORCE**
PROFESSIONAL ENGINEERS, ARCHITECTS, PLANNERS
100-1000 BURNABY STREET, VANCOUVER, B.C. V5A 1S4
TEL: 604-273-8888 FAX: 604-273-8889
WWW.DESIGNFORCE.COM

Q-R-D **QUARRY ROCE DEVELOPMENT**
100-1000 BURNABY STREET, VANCOUVER, B.C. V5A 1S4
TEL: 604-273-8888 FAX: 604-273-8889
WWW.QRD.COM

HORION **CONSTRUCTION**
100-1000 BURNABY STREET, VANCOUVER, B.C. V5A 1S4
TEL: 604-273-8888 FAX: 604-273-8889
WWW.HORIONCONSTRUCTION.COM

Q-R-D 190
ADDRESS: 10044 82 AVE. SURREY, B.C.
DRAWING: **SITE PLAN**

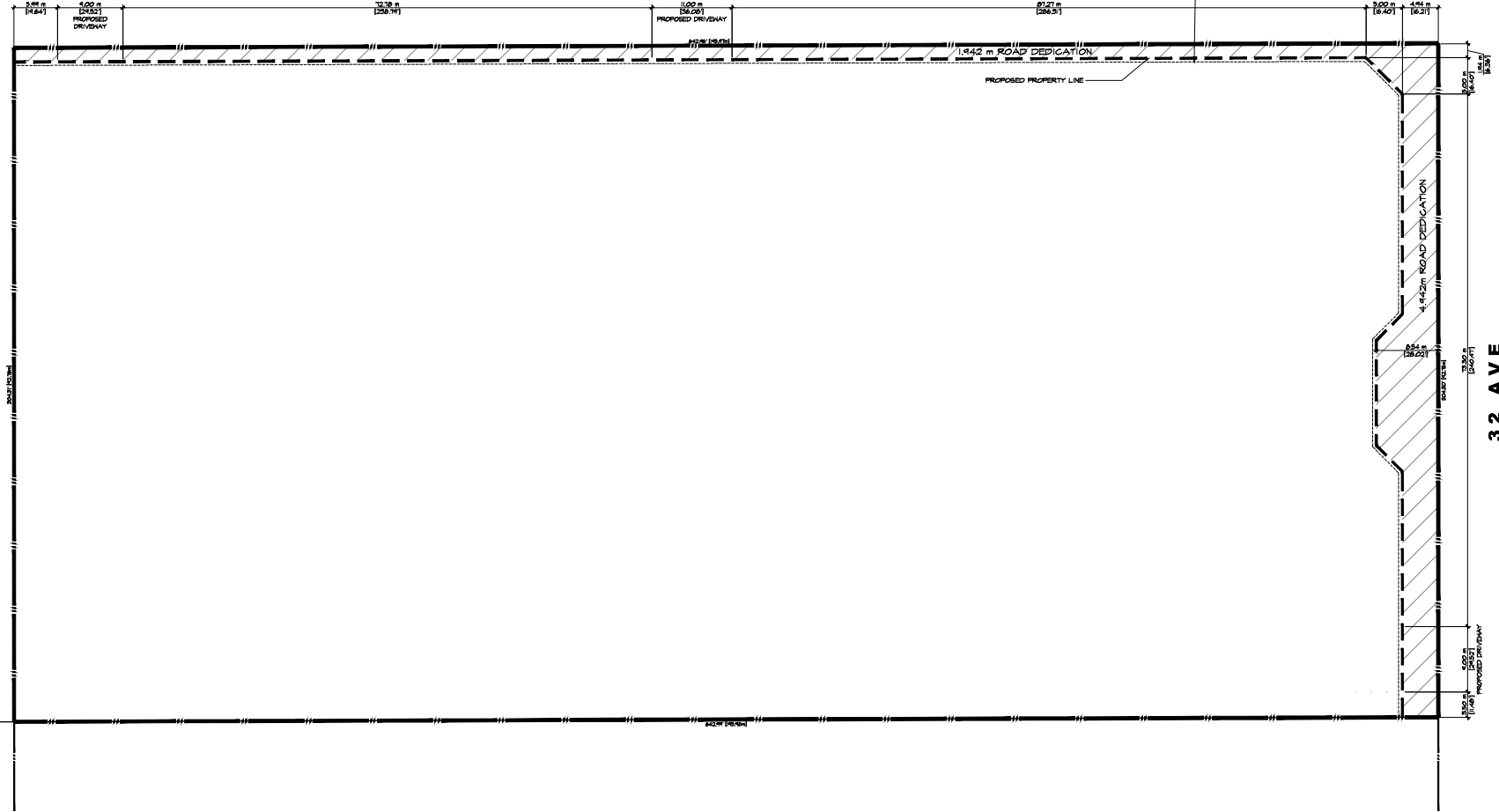
DATE	DESCRIPTION	BY	CHKD	APP'D
2024-01-15	ISSUED FOR PERMIT	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 01	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 02	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 03	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 04	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 05	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 06	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 07	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 08	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 09	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 10	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 11	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 12	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 13	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 14	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 15	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 16	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 17	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 18	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 19	J. SMITH	M. JONES	D. FORCE
2024-01-15	REVISION 20	J. SMITH	M. JONES	D. FORCE

PROJECT: PROPOSED INDUSTRIAL DEVELOPMENT FOR
100-1000 BURNABY STREET, VANCOUVER, B.C. V5A 1S4
PHONE: (604) 273-8888

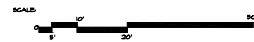
PROJECT DRAWING NUMBER: **A-1.0** REV: **5**

190 ST

0.5m ROW ALONG STREET FACING PROPERTY LINES



1 BASE PLAN
A-1.1 SCALE: 1" = 20'-0"



ARCHITECTURE PANEL INC.
ARCHITECTURE, LANDSCAPE ARCHITECTURE, URBAN DESIGN
1075 HWY 102 EAST, SUITE 100, LANGLEY, BC V3A 2K4
604 363 3900 | WWW.ARCHITECTUREPANEL.COM

IN ASSOCIATION WITH
D.FORCE ENGINEERING

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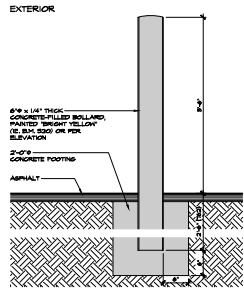
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ORION CONSTRUCTION
ORION CONSTRUCTION
UNIT 105 19023 80A AVE
LANGLEY, BC V3Y 0E2
PHONE: (604) 363-0384

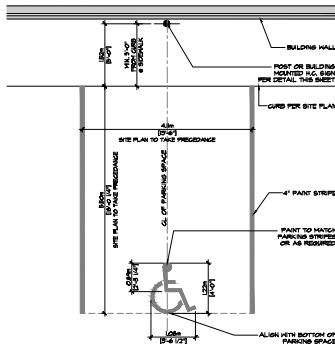
PROJECT: PROPOSED INDUSTRIAL DEVELOPMENT FOR
Q-R-D 190

ADDRESS: 1904 32 AVE, SURREY, B.C.
DRAWING:

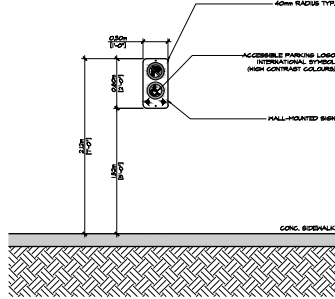
BASE PLAN		
DESIGNED	DATE	BY
CHECKED	DATE	BY
PROJECT DRAINAGE NUMBER	REV.	
A-1.1	3	



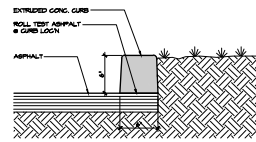
3 TYP. BOLLARD DETAIL
SCALE: 1" = 1'-0"



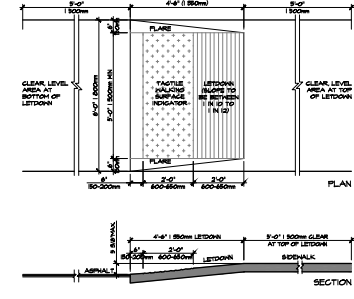
4 HANDICAP PARKING STALL DETAIL
SCALE: 1/4" = 1'-0"



5 HANDICAP PARKING SIGN DETAIL
SCALE: 1/4" = 1'-0"

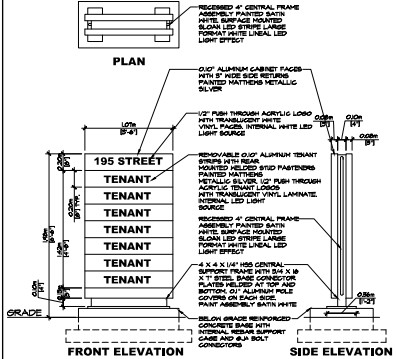


2 CURB DETAIL
SCALE: 1/2" = 1'-0"

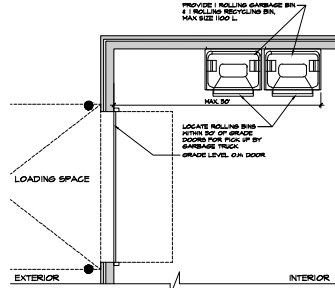


1 LETDOWN DETAIL
SCALE: 1/2" = 1'-0"

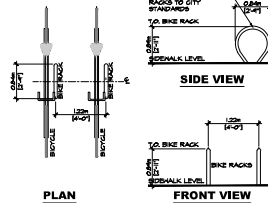
SIGN SUPPLIER TO PROVIDE SEALED ENGINEERED SHOP DRAWINGS FOR ALL ASPECTS OF SIGNAGE INCLUDING FOOTINGS



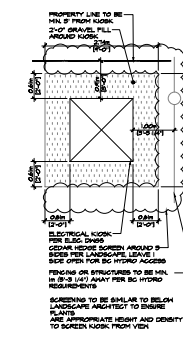
10 FREE-STANDING SIGNAGE DETAIL
SCALE: 1/2" = 1'-0"



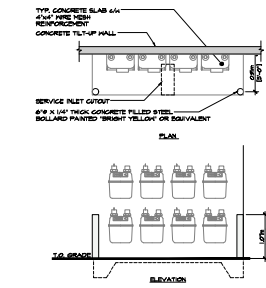
9 INTERIOR GARBAGE DETAIL
SCALE: 1/4" = 1'-0"



8 BIKE RACK DETAIL
SCALE: 1/4" = 1'-0"



7 ELECTRICAL KIOSK DETAIL
SCALE: 1/4" = 1'-0"



6 GAS METER DETAIL
SCALE: 1/4" = 1'-0"



ARCHITECTURE PANEL INC.
11000 110TH AVE, SUITE 100, BURNABY, BC V5A 4G9
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WWW.ARCHITECTUREPANEL.COM

IN ASSOCIATION WITH
D.FORCE
DESIGN TEAM
2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100



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PROJECT MANAGERS / CONTRACTORS
DORION CONSTRUCTION
ORION CONSTRUCTION
UNIT 105 19623 80A AVE
LANGLEY, BC V0Y 1E2
PHONE: (604) 562-2994

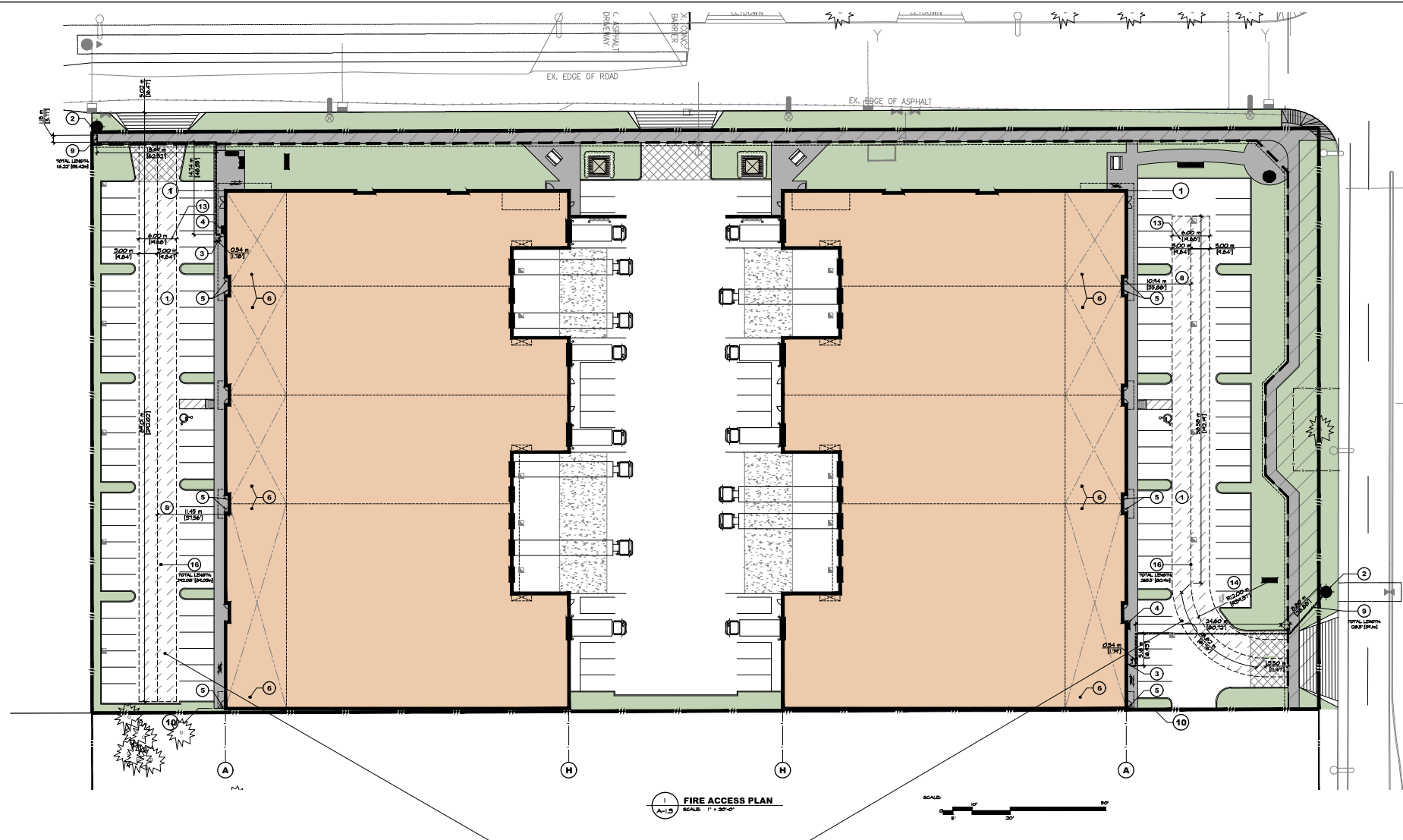
PROJECT / PROPOSED INDUSTRIAL DEVELOPMENT FOR
Q.R.D. 190

ADDRESS: 1904 31 AVE, SURREY, BC
DRAWING

NO.	DATE	DESCRIPTION
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PROJECT / DRAWING NUMBER
A-1.2

REV. **3**



1 FIRE ACCESS PLAN
 A-1.3 SCALE: 1"=30'-0"

KEYED FIRE RESPONSE PLAN NOTES

1	A CLEARLY IDENTIFIED OR HIGHLIGHTED ACCESS ROUTE.
2	THE LOCATION OF NEW AND EXISTING FIRE HYDRANTS.
3	THE LOCATION OF THE FIRE DEPARTMENT CONNECTIONS.
4	THE LOCATION OF THE FIRE ALARM ANNUNCIATOR PANELS.
5	THE LOCATION OF THE PRIMARY ENTRANCE TO THE BUILDING AND ANY PRIMARY ENTRANCES TO WALK NOT CONNECTED TO THE BUILDING THROUGH AN INTERNAL CORRIDOR.
6	THE LOCATION OF ENTRANCES THAT PROVIDE ACCESS TO ABOVE GROUND AND BELOW GROUND LEVELS TO THE BUILDING AND ANY ACCESS TO ALL ABOVE GROUND AND BELOW GROUND LEVELS IS TO BE PROVIDED AT THE PRIMARY RESPONSE POINT.
7	THE LOCATION OF ALL ENTRANCES AND EXITS FROM THE UNDERGROUND PARKING AREA.
8	THE DIMENSIONED DISTANCE FROM THE PRINCIPAL ENTRANCE TO THE CLOSEST PORTION OF THE ACCESS ROUTE. (B.C.G. 8.2.3.8.)
9	THE DIMENSIONED UNOBSTRUCTED DISTANCE BETWEEN THE FIRE HYDRANT AND THE FIRE DEPARTMENT CONNECTIONS. (B.C.G. 8.2.3.9.)

N/A	10	IF THE BUILDING IS NOT PROVIDED WITH A FIRE DEPARTMENT CONNECTION, THE DIMENSIONED DISTANCE FROM THE FIRE HYDRANT TO THE DEPARTMENT NUMBER VALVE TO THE NEAREST PORTION OF THE BUILDING FOR THE UNOBSTRUCTED PATH OF TRAVEL. (B.C.G. 8.2.3.5.)
N/A	11	THE DIMENSIONED DISTANCE OF PATH OF TRAVEL FROM ALL BUILDINGS AND UNDERGROUND PARKING AREAS TO THE NEAREST PORTION OF THE BUILDING FOR THE UNOBSTRUCTED PATH OF TRAVEL. (B.C.G. 8.2.3.5.)
N/A	12	THE ACCESS ROUTE THAT MUST BE DESIGNED TO SUPPORT A MINIMUM HEIGHT OF 89,281 KG (200,000 LBS). (B.C.G. 8.2.3.6.)
N/A	13	THE DIMENSIONED WIDTH OF THE ACCESS ROUTE. (B.C.G. 8.2.3.8.)
N/A	14	THE DIMENSIONED CENTRE-LINE RADIUS OF THE ACCESS ROUTE. (B.C.G. 8.2.3.8.)
N/A	15	IDENTIFY ANY PORTIONS OF THE ACCESS ROUTE THAT WILL HAVE AN OBSTRUCTED CLEARANCE OF LESS THAN 5' (1.524 M). (B.C.G. 8.2.3.8.)
N/A	16	THE DIMENSIONED DISTANCE FOR ANY DEAD-END PORTION OF THE ACCESS ROUTE. (B.C.G. 8.2.3.8.)
N/A	17	IDENTIFY ANY PORTIONS OF THE ACCESS ROUTE THAT WILL HAVE A CHANGE OF GRADE OR SLOPE MORE THAN 1 IN 125 OVER A MINIMUM DISTANCE OF 3'-0" (0.914 M). (B.C.G. 8.2.3.8.)

12 ANCHORED AREA INDICATED FIRE TRUCK ACCESS ROUTE DESIGN REQUIREMENTS FOR 125,000 LBS. CLEAR WIDTH NOT LESS THAN 10' CLEAR HEIGHT NOT LESS THAN 10' HAVE A CENTERLINE RADIUS NOT LESS THAN 10' HAVE AN OBSTRUCTED CLEARANCE NOT LESS THAN 5' HAVE A CHANGE OF GRADE OF NOT MORE THAN 1 IN 125 OVER A 10' MINIMUM DISTANCE TO ALL PRIMARY FIRE TRUCK LOADINGS OF 89,281 KG (200,000 LBS) OR GREATER HAVE OBSTRUCTED CLEARANCE FOR ANY DEAD-END PORTION OF THE ACCESS ROUTE MORE THAN 5' MIN. LONG BE CONNECTED WITH A PUBLIC THROUGHWAY



ARCHITECTURE PANEL INC.
 ARCHITECTURAL, LANDSCAPE ARCHITECTURE, URBAN DESIGN
 4075 BRIDGE STREET, VANCOUVER, BC, CANADA
 604 303 3901 | WWW.ARCHITECTUREPANEL.COM

IN ASSOCIATION WITH
D.FORCE
 CIVIL/STRUCTURAL ENGINEERING

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DEVELOPER:
Q-R-D QUARRY ROCE DEVELOPMENT

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ORION CONSTRUCTION
 ORION CONSTRUCTION
 UNIT 105 1923 80A AVE
 LANGLEY, BC V2Y 0E2
 PHONE: (604) 366-0264

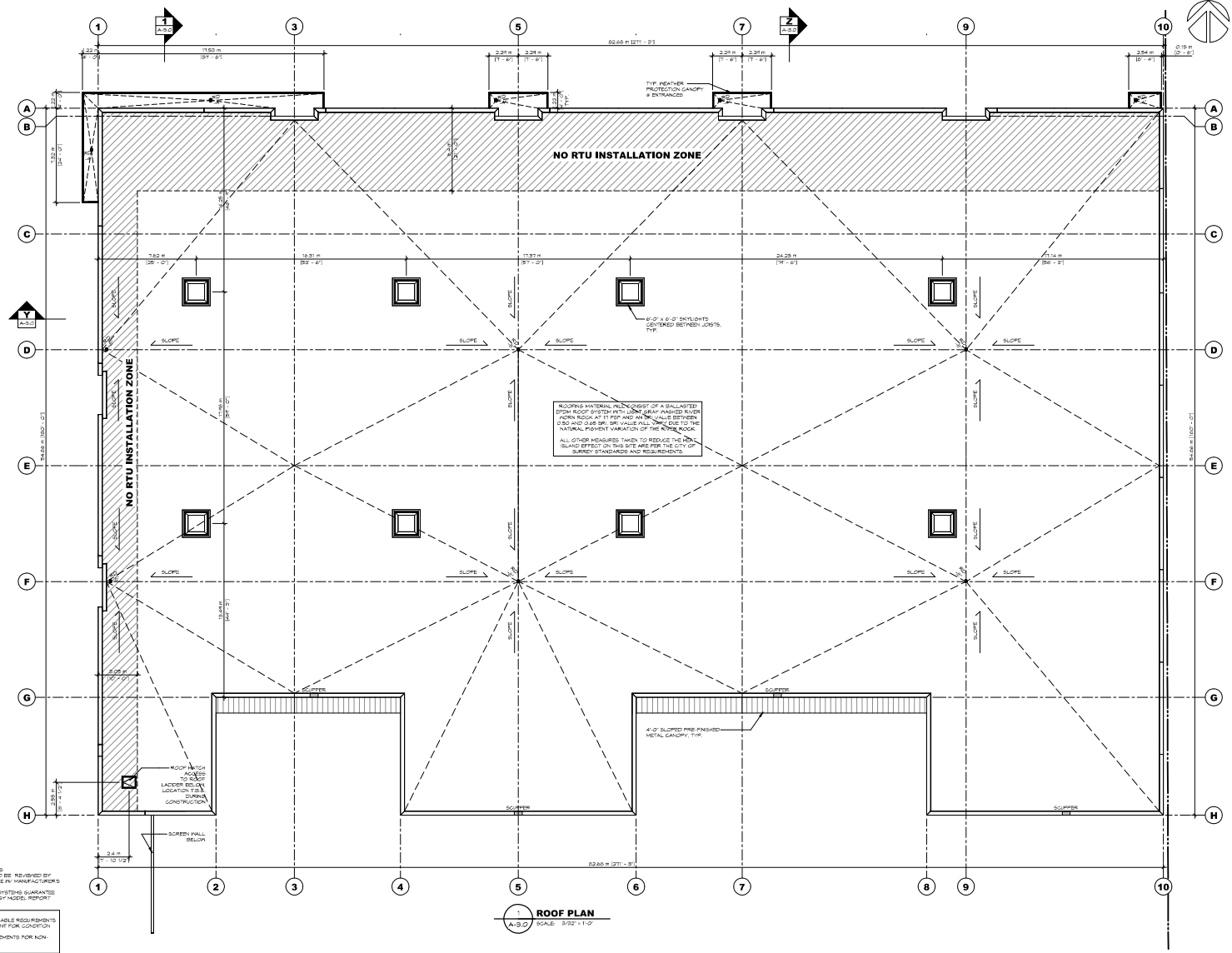
PROJECT:
 PROPOSED INDUSTRIAL DEVELOPMENT FOR

Q-R-D 190

ADDRESS: 1904 31 AVE. SURREY, B.C.

FIRE ACCESS PLAN

DATE:	JOB NO.:	DRAWN BY:
DESIGNED BY:	21401	STWPC
CHECKED BY:		
DATE:		
PROJECT/DRAWING NUMBER:		REV.:
A-1.3		3

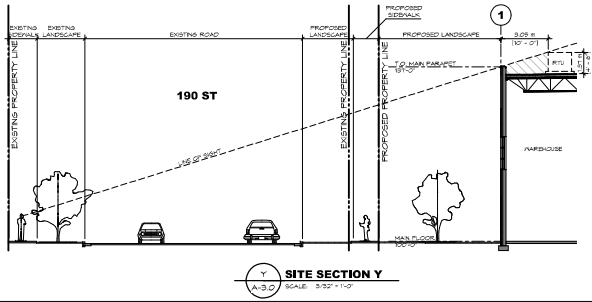


ROOF NOTES

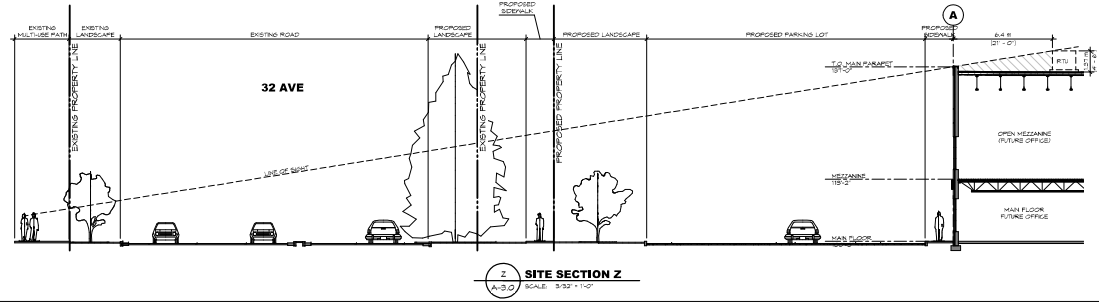
- SEE STRUCTURAL DRAWING FOR FINAL STEEL ELEVATIONS
 ALL ASPECTS OF ROOF DESIGN INCLUDING DETAILS TO BE REVIEWED BY QUALIFIED ROOFING CONTRACTOR TO ENSURE COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.
 PROVIDE 20 YEAR WEATHER GUARANTEE & 15 YEAR SYSTEMS GUARANTEE.
 15" TYPE I EPS RIGID INSULATION R30 UNLESS ENERGY MODEL REPORT PROVIDED.

IMPORTANT NOTE:
 ROOF INSULATION TO FULLY COMPLY WITH ALL APPLICABLE REQUIREMENTS OF ASHRAE 90.1 2018 PREScriptive METHOD. COMPLIANT FOR CONDOMINIUM SPACE.
 ROOF TO BE COMPLIANT TO ALL APPLICABLE REQUIREMENTS FOR NON-CONDOMINIUM CONSTRUCTION PER 9 C.S.R. 2018.

ROOF PLAN
 A-3.0 SCALE: 3/32" = 1'-0"



SITE SECTION Y
 A-3.0 SCALE: 3/32" = 1'-0"



SITE SECTION Z
 A-3.0 SCALE: 3/32" = 1'-0"



ARCHITECTURE PANEL INC.
 ARCHITECTURE LANDSCAPE ARCHITECTURE INTERIORS
 1125 200 STREET WEST SUITE 1000 CALGARY, CANADA
 T2C 0A8 (403) 243-1111

IN ASSOCIATION WITH
D.FORCE DESIGN GROUP
 2000 10TH AVENUE WEST SUITE 1000 CALGARY, CANADA
 T2C 0A8 (403) 243-1111

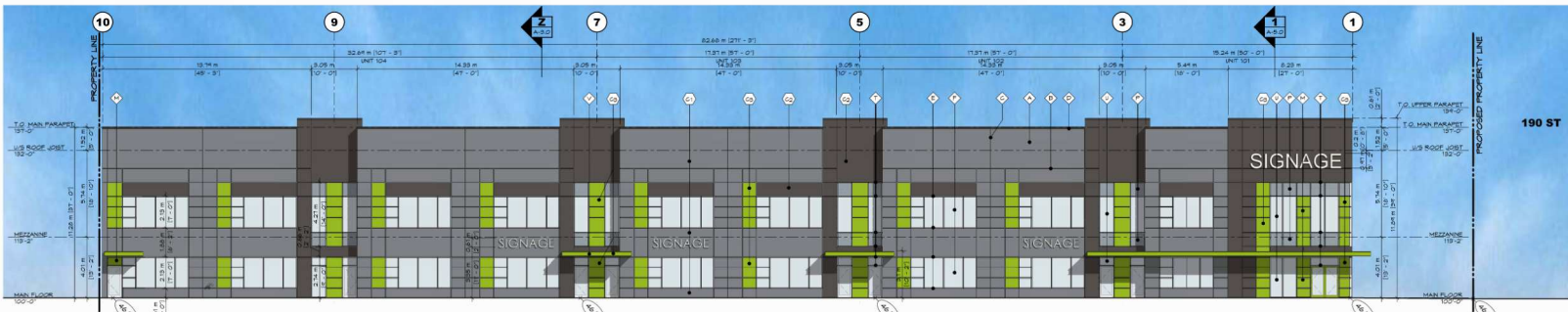


ORION CONSTRUCTION
 1000 10TH AVENUE WEST SUITE 1000 CALGARY, CANADA
 T2C 0A8 (403) 243-1111

Q-R-D 190
 ADDRESS: 1600 19th Avenue S.E. CALGARY, ALBERTA
 LANTLEY INC. 001 002
 PHONE: (403) 362-2994

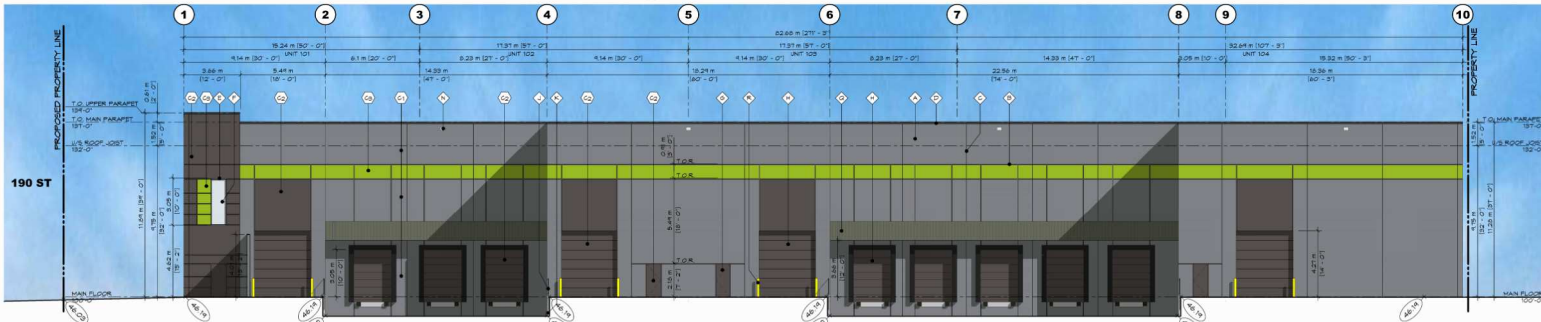
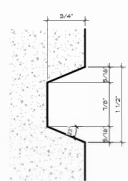
BUILDING 100 ROOF PLAN

DATE:	DATE:	DATE:
DESIGNED BY:	DRAWN BY:	SCALE:
CHECKED BY:	DATE:	PROJECT:
REVISIONS:	NO.	DATE:
PROJECT: Q-R-D 190 - BUILDING 100		REV: 3

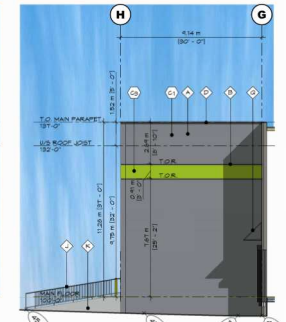


1 NORTH ELEVATION (FACING 32 AVE)
SCALE: 3/32" = 1'-0"

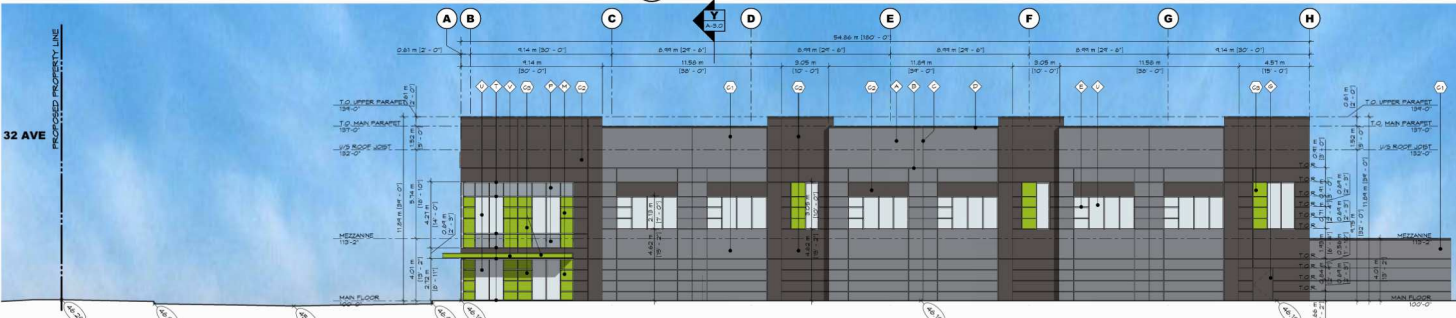
5 TYP. REVEAL DETAIL
SCALE: 12" = 1'-0"



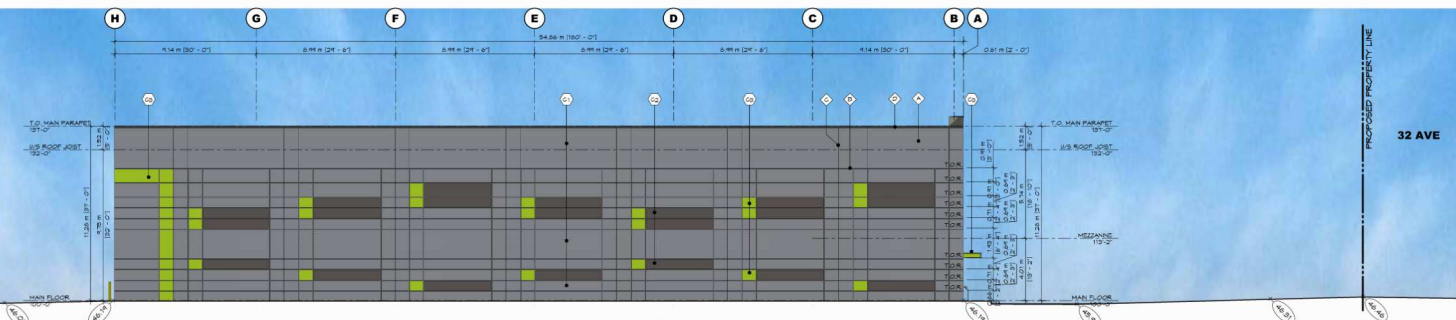
2 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



3 ELEVATION @ GRID 2 & 6 OPP. 4 & 8
SCALE: 3/32" = 1'-0"



4 WEST ELEVATION (FACING 190 ST)
SCALE: 3/32" = 1'-0"



5 EAST ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL LEGEND

- CONCRETE TILT-UP PANEL TYP. - PAINTED
- REVEAL IN CONCRETE - PAINTED
- PANEL JOINT
- PRE-FINISHED METAL CAP FLASHING
- STOREFRONT FRAMES - CLEAR ANODIZED ALUMINUM
- STOREFRONT GLASS - CLEAR
- STEEL HANDDOORS - PAINTED
- STEEL SECTIONAL OVERHEAD DOORS
- STEEL GUARDRAILS - PAINTED
- CONCRETE RETAINING WALLS - PAINTED TYP.
- LIGHT FIXTURES - SEE ELECTRICAL DWGS
- SPANDREL GLAZING (OBSCURE, COLOURED)
- SCUPPER
- SPANDREL GLAZING (OBSCURE TO MATCH VISION GLASS)
- METAL GLAD CANOPY
- STEEL BOLLARD - PAINTED
- CONCRETE CURB UNDER PAINTED
- CURTAIN WALL FRAMES - CLEAR ANODIZED ALUMINUM
- CURTAIN WALL GLASS - CLEAR
- G-CANAL, STEEL FRAMED CANOPY - PAINTED

PROJECT COLOURS

- ALL PAINT COLOURS TO BE SHERWIN WILLIAMS V.O.C.
- (1) MAIN FIELD COLOUR 1: SOFTWARE (SW 1074)
 - (2) FIELD ACCENT COLOUR 1: URBAN BRONZE (SW 7048)
 - (3) FIELD ACCENT COLOUR 2: ELECTRIC LINE (SW #42U)
 - (4) FIELD ACCENT COLOUR 3: URBAN BRONZE (SW 7048)
 - (5) FIELD ACCENT COLOUR 4: BLACK
- STEEL HANDDOOR COLOUR: URBAN BRONZE (SW 7048)
EXTERIOR GUARDRAILS: BLACK
- ALUMINUM STOREFRONT MULLIONS: CLEAR ANODIZED TYPICAL GLAZING
TYPICAL GLAZING: CLEAR (LOW E AND LOW IR ADHESIVE)
ACCENT SPANDREL GLAZING COLOUR: GREY REFLECTIVE
TYPICAL METAL CAP FLASHING: STOCK METAL CHARCOAL GREY



ARCHITECTURE PANEL INC.
ARCHITECTURE LANDSCAPE ARCHITECTURE URBAN DESIGN
UNIT 201, 1285 RIVER STREET, WEST BURLINGTON, VERMONT
802.885.8001 | INFO@ARCHITECTUREPANEL.COM

IN ASSOCIATION WITH
D.FORCE DESIGN INC.
2828A ALABAMA ROAD, ABERDEEN, ME 04930
441.868.9070 | WWW.DFORCEDESIGN.COM

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DRAWING USER ACCEPT THE ARCHITECT'S OFFER
OF PROFESSIONAL SERVICES AND THE CONTRACTOR'S OBLIGATION
TO THE PROJECT OWNER. THESE DRAWINGS
DO NOT CONSTITUTE A CONTRACT.



NO.	DATE	DESCRIPTION
1	JUN 23	ISSUED FOR SP
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99	JUN 23	ISSUED FOR SP
100	JUN 23	ISSUED FOR SP



ORION CONSTRUCTION
UNIT 105 1923 BOVA AVE
LANSELY, ME 04758
PHONE: (604) 362-2994

PROPOSED INDUSTRIAL BUILDING FOR:

Q-R-D 190

ADDRESS: 188A S AVE SURVEY # 10

BUILDING 100 ELEVATIONS

DESIGN	FOR NO.	DATE	BY
DESIGNED	21-001	2021	UCF
CHECKED			R.D.
IN CHARGE			

PROJECT - DRAWING NUMBER: **A-4.0**

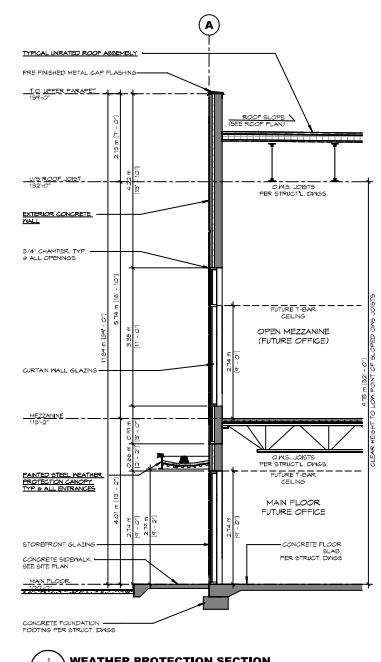
REV: **4**



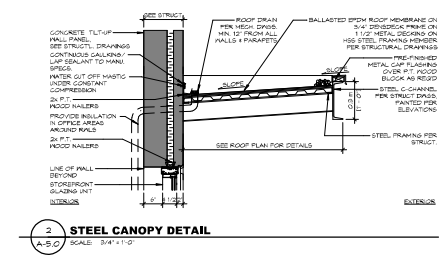
ARCHITECTURE PANEL, INC.
 ARCHITECTURE, INTERIOR DESIGN, INTERIORS, SITE WORK, DESIGN-BUILD, INTERIOR DESIGN, SIGNAGE, GRAPHIC DESIGN, PROJECT MANAGEMENT

IN ASSOCIATION WITH
D.FORCE DESIGN INC.
 ARCHITECTURE, INTERIOR DESIGN, PROJECT MANAGEMENT, INTERIORS, GRAPHIC DESIGN, PROJECT MANAGEMENT

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1 WEATHER PROTECTION SECTION
 SCALE: 1/4"=1'-0"



2 STEEL CANOPY DETAIL
 SCALE: 3/4"=1'-0"



NO.	DESCRIPTION	DATE	BY	APP'D.

NO. OF SHEETS	DESIGNED BY
NO. OF SHEETS	CHECKED BY
NO. OF SHEETS	DATE
NO. OF SHEETS	SCALE
NO. OF SHEETS	DRAWN BY

PROJECT MANAGER/CONTRACTOR



ORION CONSTRUCTION
 UNIT 105 1922 80A AVE
 LANLEY BC V0Y 0E2
 PHONE: (604) 362-2954

PROPOSED INDUSTRIAL BUILDING FOR

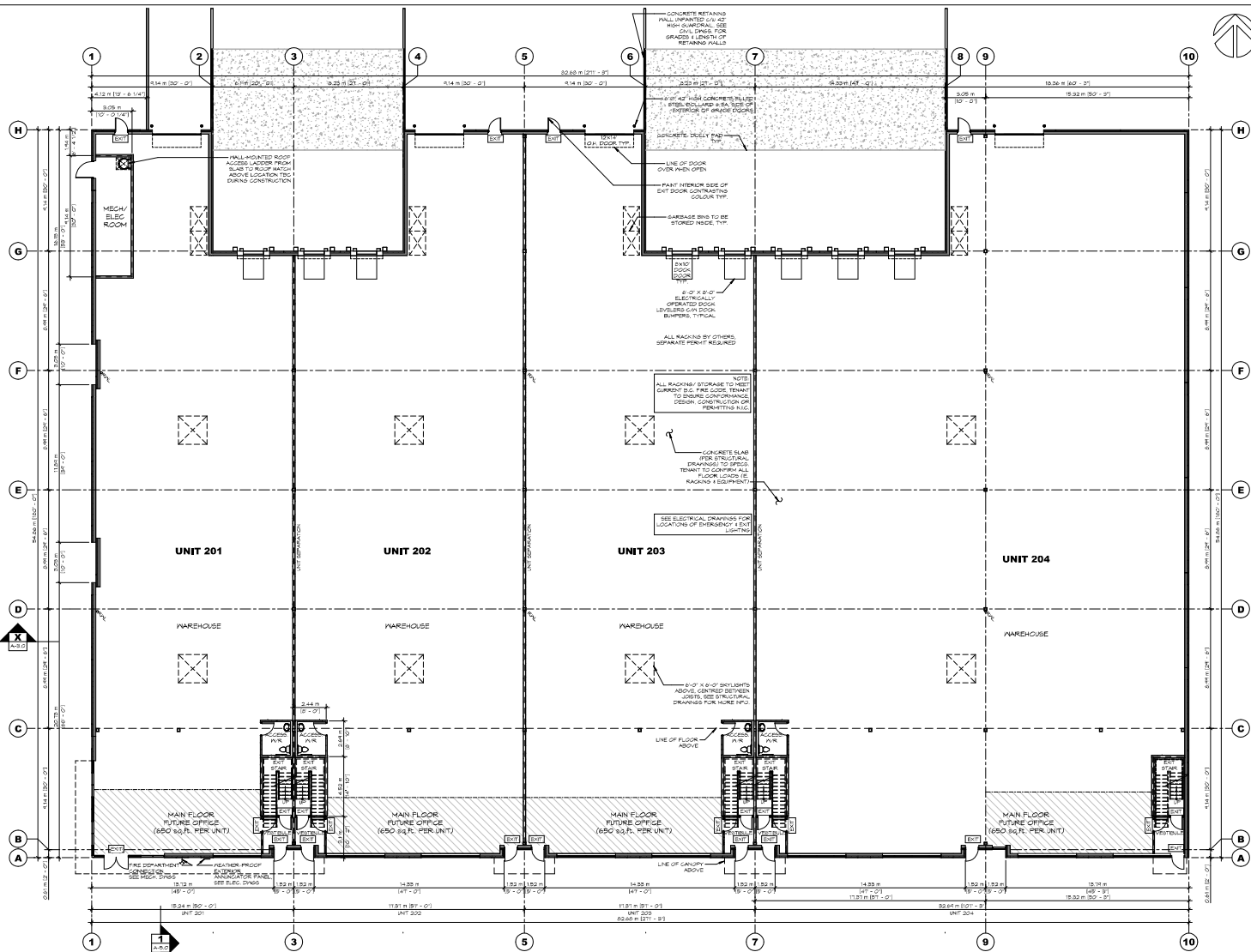
Q-R-D 190

ADDRESS: 1900 1915 80A AVE, B.C.

DRAWING
BUILDING 100
SECTIONS

DATE	DESIGNED	DRAWN

PROJECT #20040401-DRA500-0
A-5.0
 3



1 MAIN FLOOR PLAN
 A-2.0 SCALE: 3/32" = 1'-0"



ARCHITECTURE PANEL INC.
 ARCHITECTS
 1125 W. 10TH STREET, SUITE 100, DENVER, CO 80202
 TEL: 303.733.1111 FAX: 303.733.1112

D.FORCE DESIGN INC.
 ENGINEERS
 1125 W. 10TH STREET, SUITE 100, DENVER, CO 80202
 TEL: 303.733.1111 FAX: 303.733.1112

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/15/2024
2	ISSUED FOR PERMIT	10/15/2024
3	ISSUED FOR PERMIT	10/15/2024
4	ISSUED FOR PERMIT	10/15/2024
5	ISSUED FOR PERMIT	10/15/2024
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10	ISSUED FOR PERMIT	10/15/2024



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9	ISSUED FOR PERMIT	10/15/2024
10	ISSUED FOR PERMIT	10/15/2024

ORION CONSTRUCTION
 UNIT 105 19222 204 AVE
 LANTLEY, GA 30046
 PHONE: (678) 362-2994

Q-R-D 190

PROJECT MANAGER/CONTRACTOR	
ORION CONSTRUCTION	
UNIT 105 19222 204 AVE LANTLEY, GA 30046 PHONE: (678) 362-2994	
PROPOSED INDUSTRIAL BUILDING FOR	
Q-R-D 190	
ADDRESS: 1600 S W 45th STREET, I-64	
DRAWING	
BUILDING 200	
MAIN FLOOR PLAN	
DATE: 10/15/2024	DRAWN: VCF
CHECKED: [Signature]	DATE: 10/15/2024
PROJECT: 100000000000000000	REV: 3

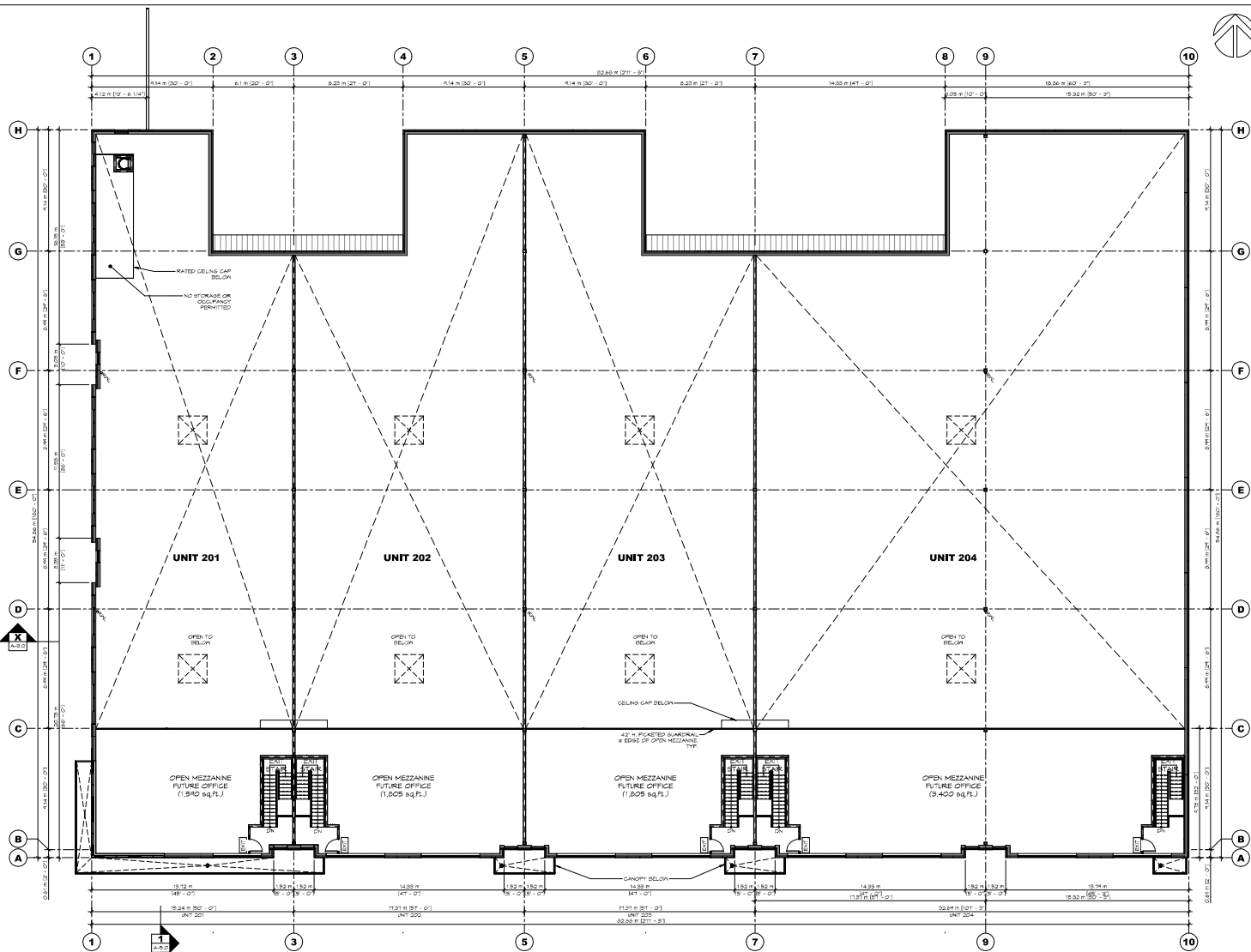


ARCHITECTURE PANEL INC.
 ARCHITECTURE • INTERIORS • EXTERIORS
 1121 20th Street, Suite 200 • Denver, CO 80202
 303.733.4600 • www.architecturepanel.com

IN ASSOCIATION WITH

D.FORCE DESIGN, INC.
 5450 S. W. 12th St., Suite 100 • Miami, FL 33155
 305.444.1234 • www.dforce.com

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1 MEZZANINE FLOOR PLAN
 SCALE: 3/32" = 1'-0"



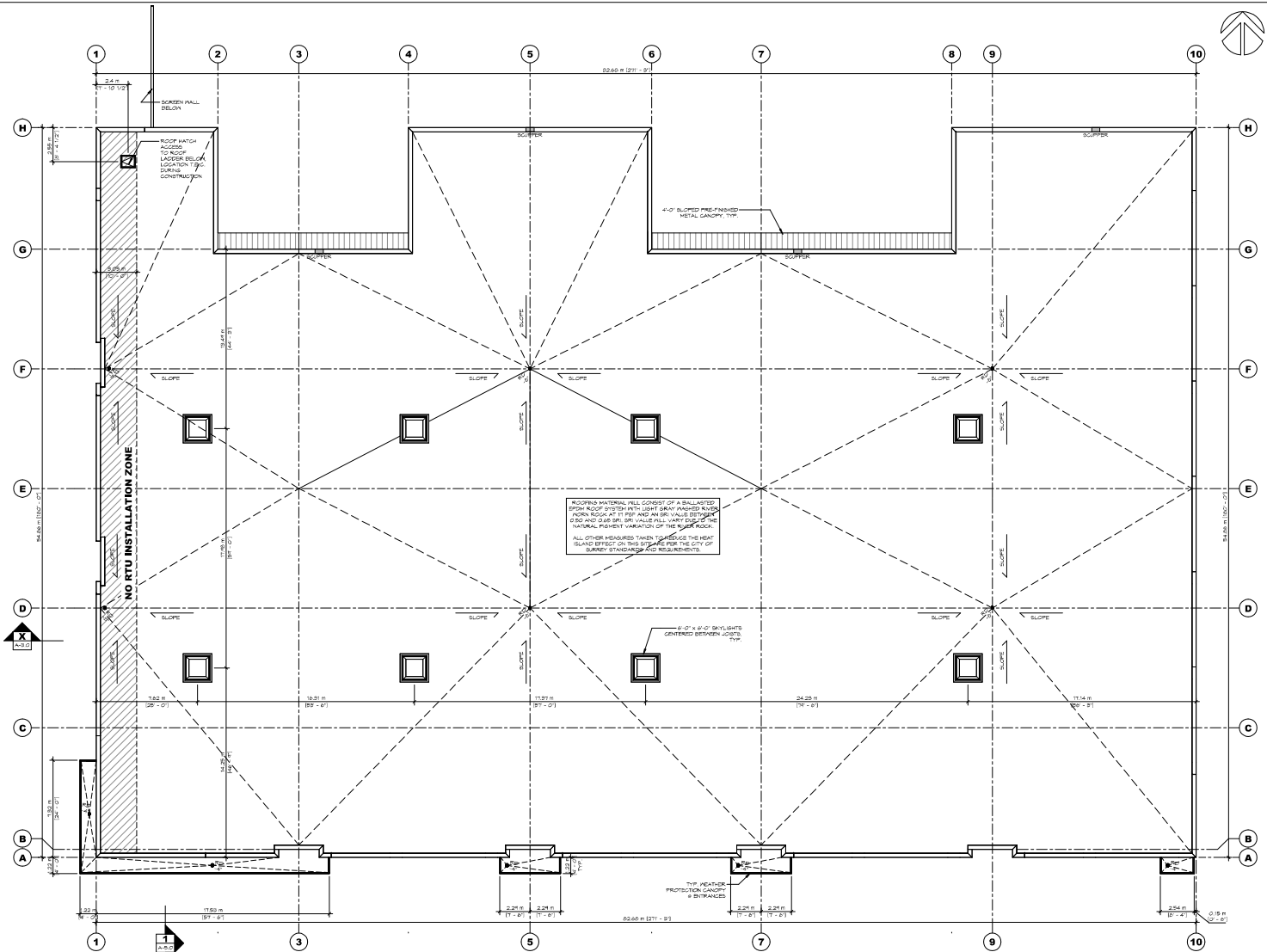
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NO. 108	DATE 10/11/20
NO. 109	DATE 10/11/20
NO. 110	DATE 10/11/20

PROJECT MANAGER/ CONTRACTOR
ORION CONSTRUCTION
 ORION CONSTRUCTION
 UNIT 105 19222 30th AVE
 LANTANA, FL 33462
 PHONE: (561) 362-2964

PROPOSED INDUSTRIAL BUILDING FOR
Q-R-D 190

ADDRESS: 1644 31st AVE SW, SUITE 100, ALBANY, GA 31706
 DRAWING: **BUILDING 200 MEZZANINE FLOOR PLAN**

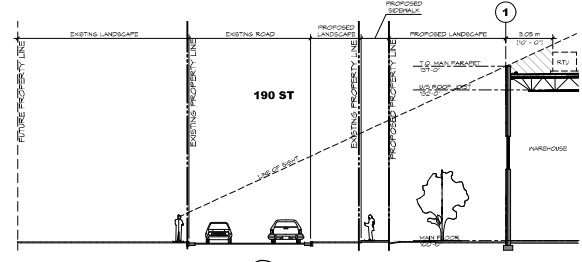
DATE:	SCALE:	DRAWN:
DISTRICT:		VCF
CHECKED:		
PROJECT DATE:		
PROJECT:		



ROOFING MATERIAL WILL CONSIST OF A BALLASTED SPON ROOF SYSTEM WITH LIGHT GRAY PAINTED RUBBER FLOOR AS PER 11.01 AND AN 8% SLOPE DRAINAGE. 1/2\"/>

THE WEATHER PROTECTION GANTRY @ ENTRANCES

ROOF PLAN
SCALE: 1/8\"/>



SITE SECTION X
SCALE: 1/8\"/>

ROOF NOTES

- SEE STRUCTURAL SHOP FOR FINAL STEEL ELEVATIONS
- ALL ASPECTS OF ROOF DESIGN INCLUDING DETAILS TO BE REVIEWED BY QUALIFIED ROOFING CONTRACTOR TO OBTAIN MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.
- PROVIDE 22 YEAR MEMBRANE WARRANTY & 4 YEAR WEATHER GUARANTEE
- 1\"/>

IMPORTANT NOTE:
ROOF ISolation TO FULLY COMPLY WITH ALL APPLICABLE REQUIREMENTS OF ASHRAE 90.1-2019 PREScriptive METHOD, COMPLIANT FOR CLIMATE ZONE 4. ROOF TO BE COMPLIANT TO ALL APPLICABLE REQUIREMENTS FOR NON-COMBUSTIBLE CONSTRUCTION PER I.C.C. 2018



ARCHITECTURE PANEL INC.
ARCHITECTURE LANDSCAPE ARCHITECTURE INTERIORS
1127 20th STREET SUITE 1000 WILMINGTON, DELAWARE 19801
919.383.8800 (LOCAL) 919.383.8800 (TOLL FREE)

IN ASSOCIATION WITH
D.FORCE DESIGN INC.
ARCHITECTURE LANDSCAPE ARCHITECTURE INTERIORS
2000 N. GREENWOOD AVENUE SUITE 1000 WILMINGTON, DELAWARE 19801
302.441.1111 (LOCAL) 800.441.1111 (TOLL FREE)



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/15/23
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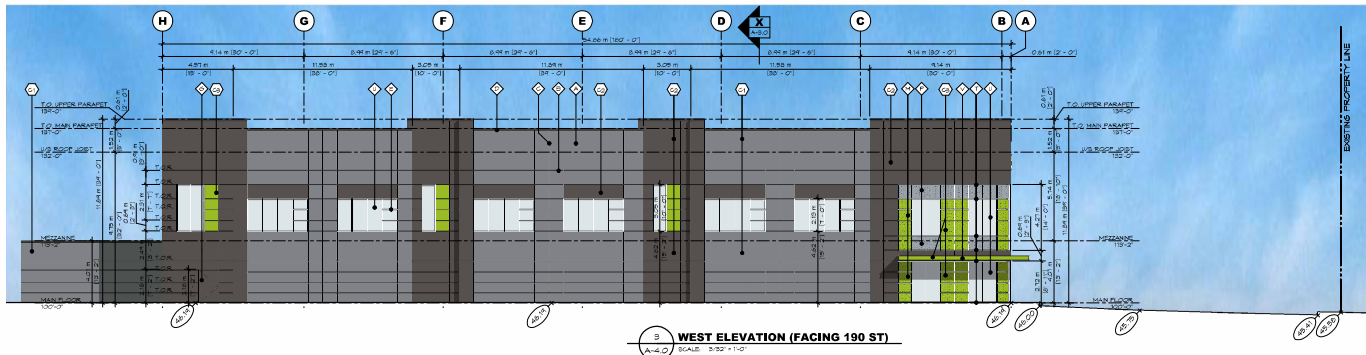
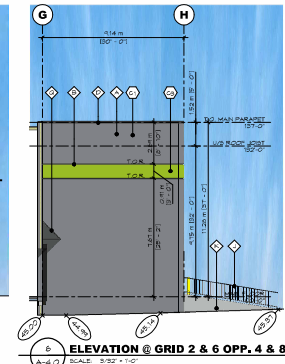
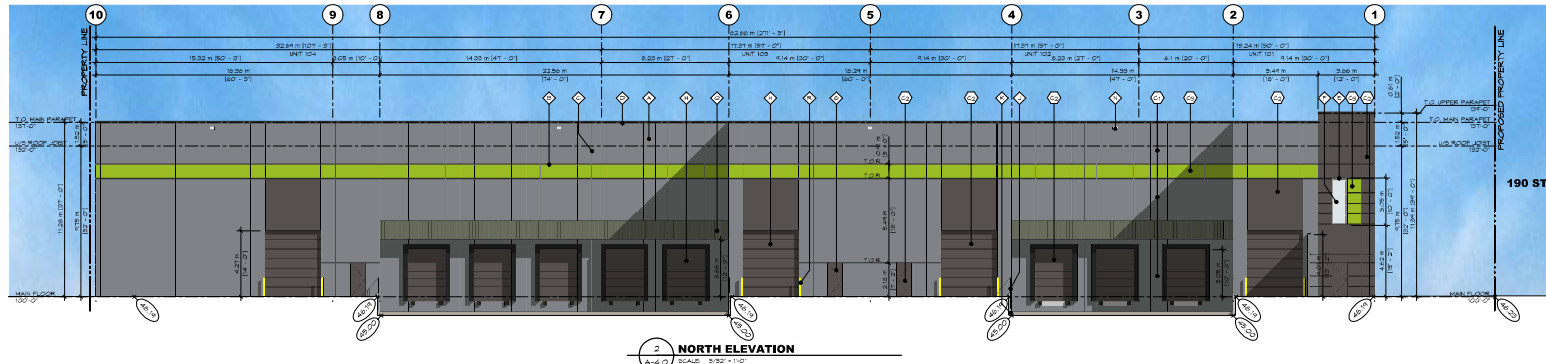
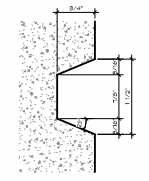
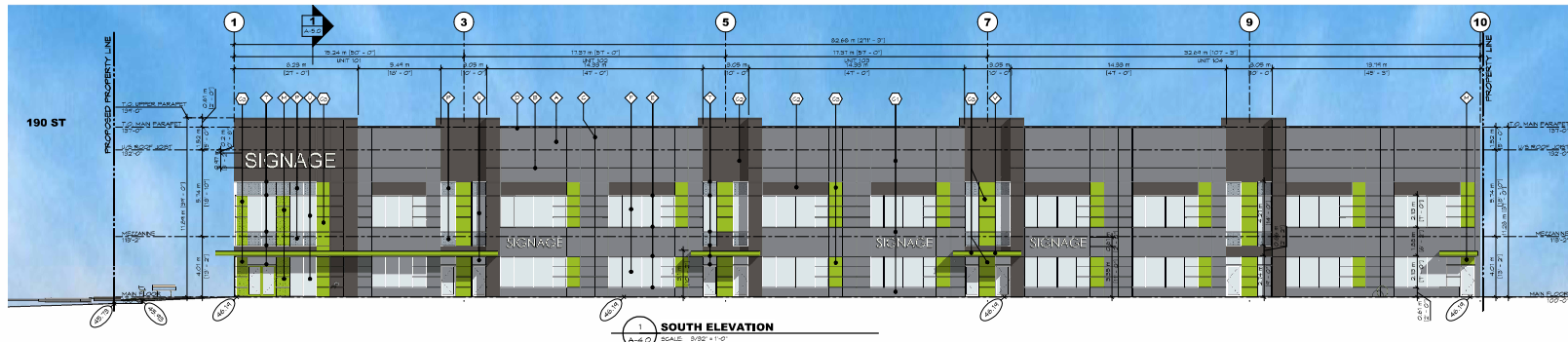
ORION CONSTRUCTION
ORION CONSTRUCTION
UNIT 105 1920 20A AVE
LANEYVILLE, KY 40342
PHONE: (502) 362-2994

PROPOSED INDUSTRIAL BUILDING FOR
Q-R-D 190

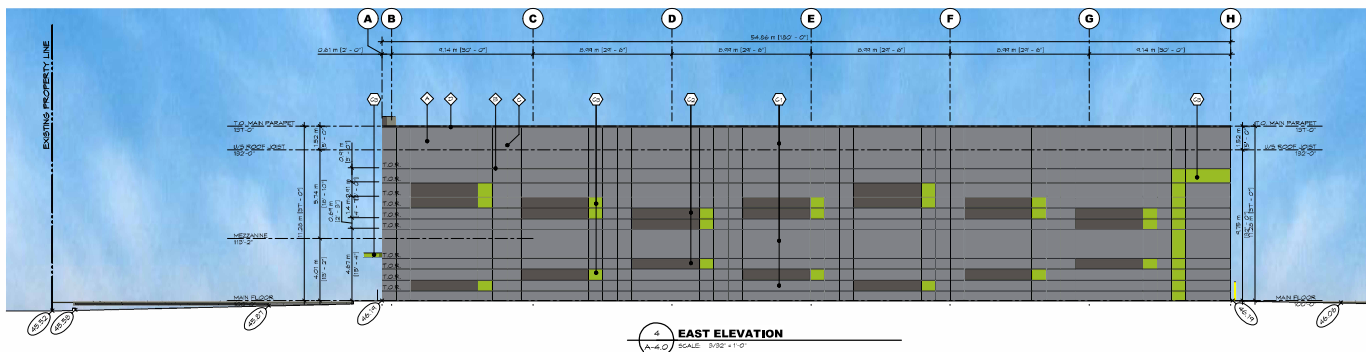
ADDRESS: 1600 N. W. 5th STREET, A.C.
DRAWING:
BUILDING 200
ROOF PLAN

NO.	DATE	BY	CHKD.
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50	11/15/23	WVF	WVF

PROJECT: 2300040-0000000
A-3.0 3



- MATERIAL LEGEND**
- CONCRETE TILT-UP WALL - PAINTED
 - REVEAL IN CONCRETE - PAINTED
 - PANEL JOINT
 - PRE-FINISHED METAL CAP FLASHING
 - STOREFRONT FRAMES - CLEAR ANODIZED ALUMINUM
 - STOREFRONT GLASS - CLEAR
 - STEEL WINDOWS - PAINTED
 - STEEL SECTIONAL OVERHEAD DOORS
 - STEEL GUARDRAILS - PAINTED
 - CONCRETE RETAINING WALLS - PAINTED TYP.
 - LIGHT FIXTURE - SEE ELECTRICAL DWGS
 - SPANDREL GLAZING (OBSCURE, COLOURED)
 - COPPER
 - SPANDREL GLAZING (OPAQUE TO MATCH VISION GLASS)
 - METAL CLAD CANOPY
 - STEEL BOLLARD - PAINTED
 - CONCRETE CURB UNDER - PAINTED
 - CURTAIN WALL FRAMES - CLEAR ANODIZED ALUMINUM
 - CURTAIN WALL GLASS - CLEAR
 - G-CHANNEL STEEL FRAMED CANOPY - PAINTED
- NOTE: NOT ALL MATERIALS INDICATED ARE APPLICABLE.



- PROJECT COLOURS**
- MAIN FIELD COLOUR 1: SOFTWARE (SW 1014)
 - FIELD ACCENT COLOUR 1: URBAN BRONZE (SW 7048)
 - FIELD ACCENT COLOUR 2: ELECTRIC LINE (SW 6421)
 - FIELD ACCENT COLOUR 3: URBAN BRONZE (SW 7048)
 - FIELD ACCENT COLOUR 4: BLACK
- STEEL WINDOWS, EXTERIOR GUARDRAILS: URBAN BRONZE (SW 7048)
- ALUMINUM STOREFRONT MULLIONS: CLEAR ANODIZED TYPICAL GLAZING
- CLEAR (LOW E AND LOW IR ADHESIVE) SPANDREL GLAZING COLOUR: SILVER REFLECTIVE (MATCH TO MATCH CS)
- TYPICAL METAL CAP FLASHING: STOCK METAL CHARGED, GREY

ARCHITECTURE PANEL INC.
 9473 135 AVE, SUITE 100, MISSISSAUGA, ONTARIO L4W 3K6
 TEL: (905) 603-0888 FAX: (905) 603-0889
 WWW.ARCHITECTUREPANEL.COM

D.FORCE DESIGN INC.
 3200 WILSON AVENUE, SUITE 200, MISSISSAUGA, ONTARIO L4X 1L5
 TEL: (905) 876-8800 FAX: (905) 876-8801
 WWW.DFORCEDESIGN.COM


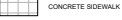









ORION CONSTRUCTION
 UNIT 105, 1922 30A AVE
 LANSEY, ONTARIO
 PHONE: (904) 362-2994

Q-R-D 190
 ADDRESS: 190 190 ST MISSISSAUGA, ONTARIO
 DRAWING: **BUILDING 200 ELEVATIONS**
 SHEET: **A-4.0**

DESIGNED BY	DATE	SCALE
CHECKED BY	DATE	SCALE
APPROVED BY	DATE	SCALE

PROJECT: 190-190 ST MISSISSAUGA, ONTARIO
 SHEET: **A-4.0** OF 4

LEGEND

-  SOD
-  CONCRETE SIDEWALK
-  UNIT PAVERS
-  COLOURED CONCRETE
-  PROPERTY LINE
-  SAW CUT DRIVEWAY
-  RESEED AND REPAIR
-  GRAVEL
-  STRUCTURAL SOIL
-  EXISTING TREE TO REMAIN
-  TREE PROTECTION FENCE

1	230901	ISSUED FOR COMMENT RESPONSE
2	230609	ISSUED FOR DP
3	230605	ISSUED FOR COORDINATION
NO. DATE (Y/M/D) DESCRIPTION		
ISSUES & REVISIONS		
SEAL		



PROJECT NAME:
QRD 190

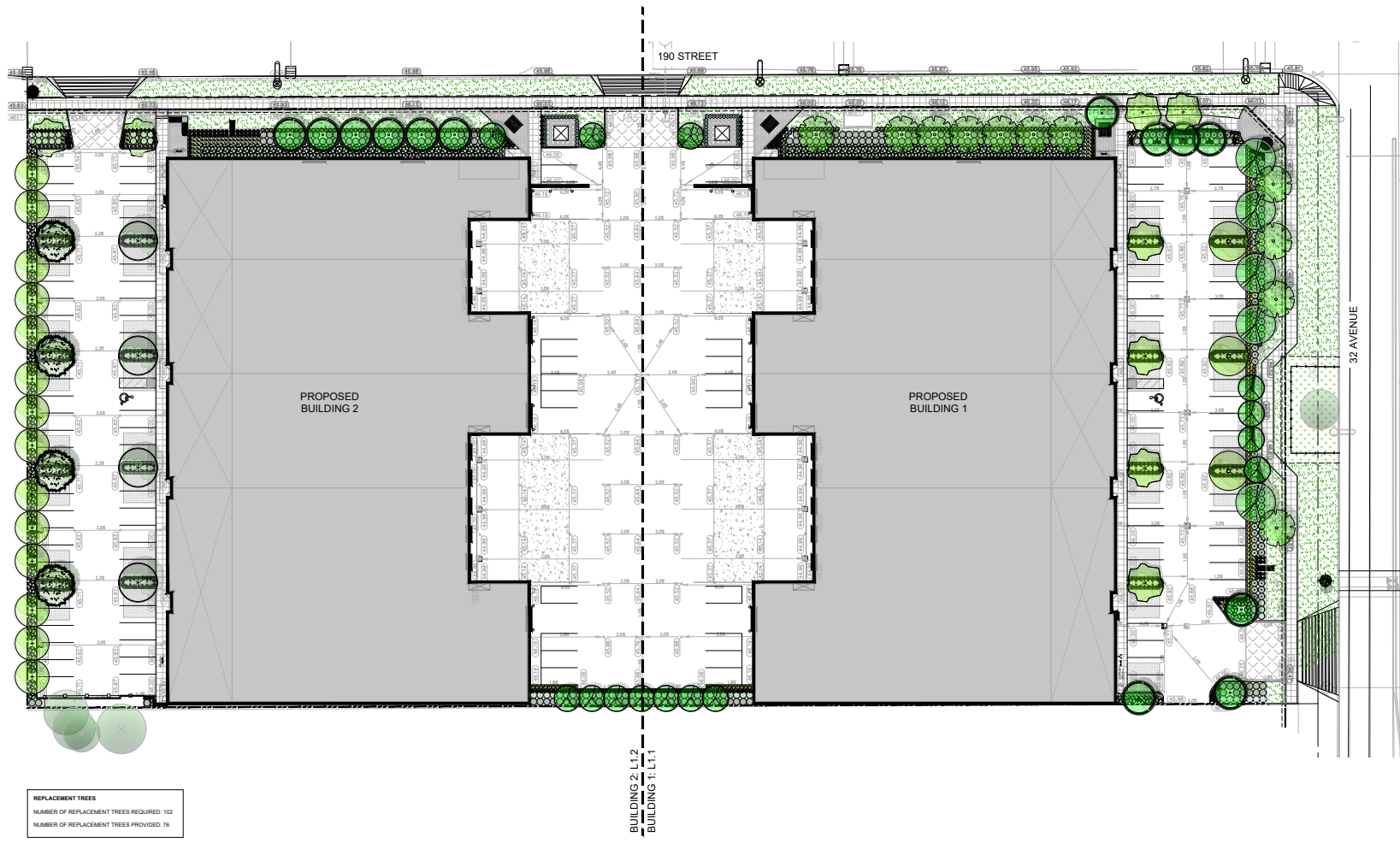
PROJECT ADDRESS:
**19044 32 AVE
SURREY, BC**

**OVERALL
LANDSCAPE PLAN**

SCALE: **1:300**
DRAWN: **RMK**
CHECKED: **JT**
PROJECT NO: **220797-4**

DRAWING NO: **L1**

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REPLACEMENT TREES
NUMBER OF REPLACEMENT TREES REQUIRED: 102
NUMBER OF REPLACEMENT TREES PROVIDED: 76



LEGEND

- SOI
- CONCRETE SIDEWALK
- UNIT PAVERS
- COLOURED CONCRETE
- PROPERTY LINE
- SAW CUT DRIVEWAY
- RESEED AND REPAIR
- GRAVEL
- STRUCTURAL SOIL
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE

1	230981	ISSUED FOR COMMENT RESPONSE
2	230989	ISSUED FOR DP
3	230985	ISSUED FOR COORDINATION
NO.	DATE	WHY (DESCRIPTION)
ISSUES & REVISIONS		

SCALE

NORTH ARROW



PROJECT NAME

QRD 190

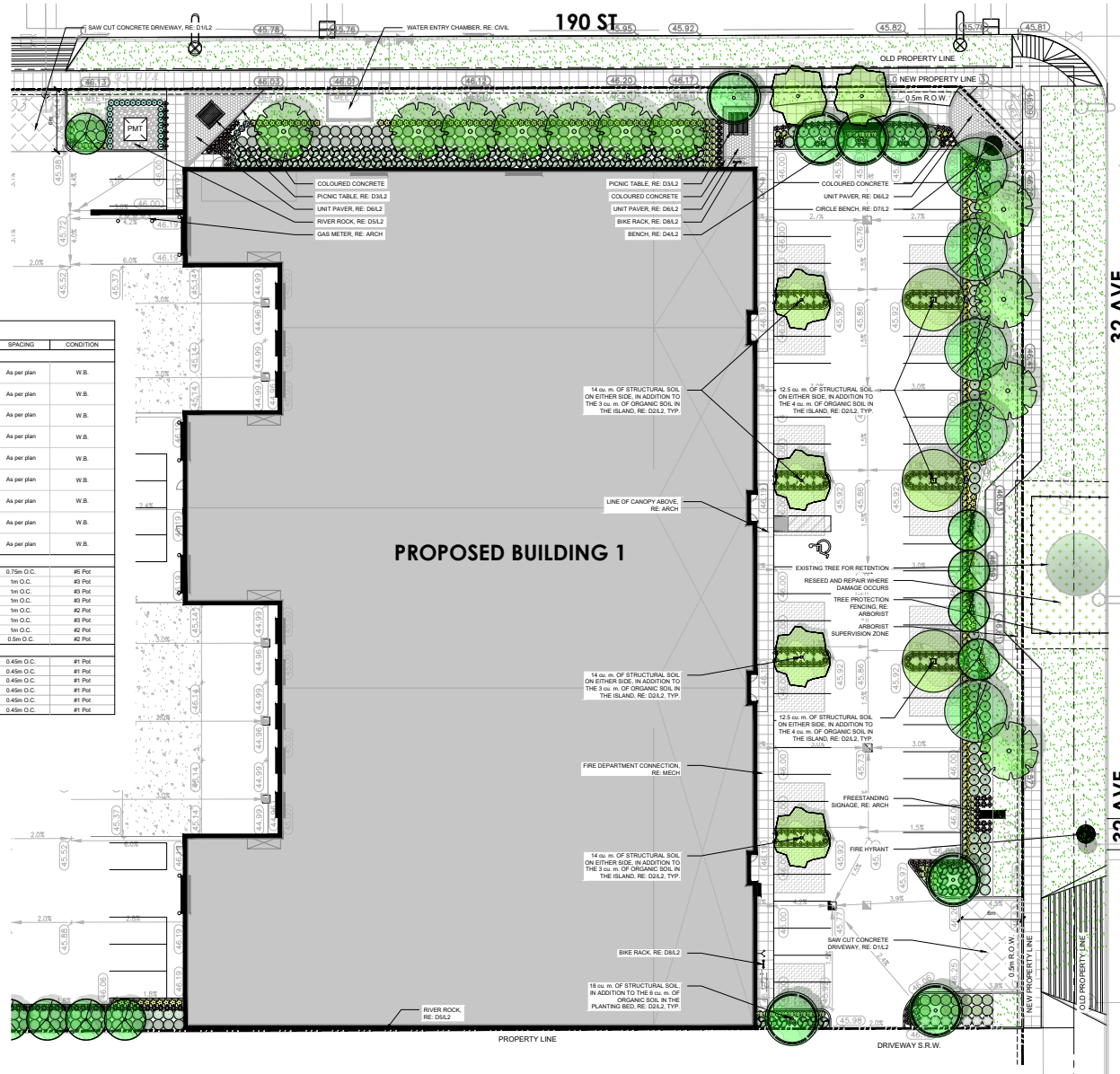
PROJECT ADDRESS
 19044 32 AVE
 SURREY, BC

DRAWING TITLE
**BUILDING 1
 LANDSCAPE PLAN**

SCALE: 1:200
 DRAWN: RMK
 CHECKED: JT
 PROJECT NO: 220797-4
 DRAWING NO:

L1.1

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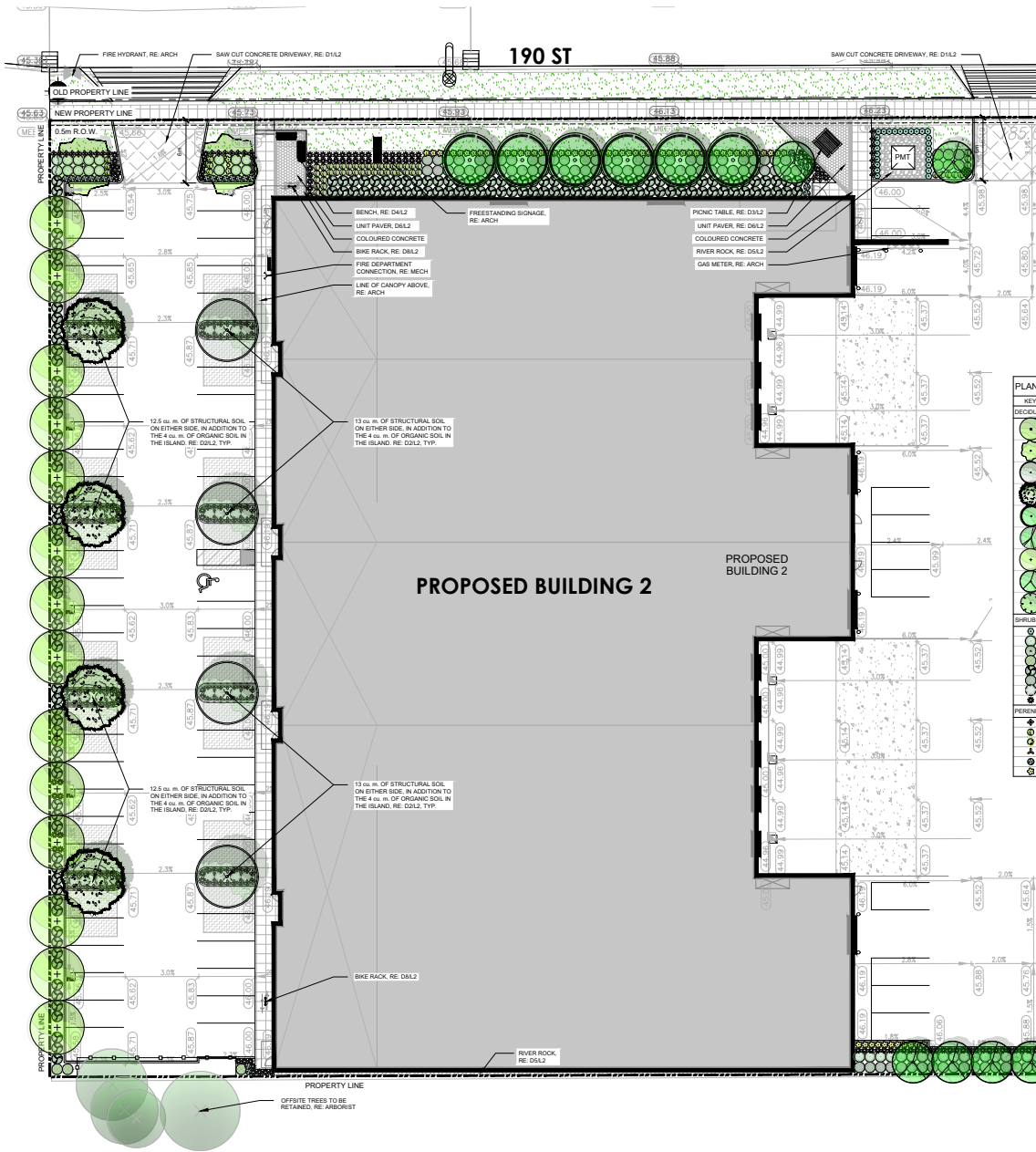
PROPOSED BUILDING 1



PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	3	<i>Quercus garryana</i>	Oregon white oak	60m cal.	As per plan	W.B.
	8	<i>Fraxinus omnis</i>	Manna ash	60m cal.	As per plan	W.B.
	4	<i>Cotoneaster x nortoniae 'Tobal'</i>	Toba hawthorn	60m cal.	As per plan	W.B.
	4	<i>Juglans regia</i>	English walnut	60m cal.	As per plan	W.B.
	13	<i>Acer x freemanii</i>	Freeman maple	60m cal.	As per plan	W.B.
	5	<i>Carpinus japonica</i>	Japanese hornbeam	60m cal.	As per plan	W.B.
	14	<i>Tilia cordata</i>	Little-leaf linden	60m cal.	As per plan	W.B.
	14	<i>Quercus robur 'Fastigiata'</i>	Columnar English oak	60m cal.	As per plan	W.B.
	11	<i>Sorbus aria</i>	Whitebeam	60m cal.	As per plan	W.B.
SHRUBS						
	52	<i>Taxus x media 'Tautoni'</i>	Tautoni yew	1.5m Ht.	0.75m O.C.	#5 Pkt
	68	<i>Juniperus communis 'Gold Cone'</i>	Common juniper	45cm Ht.	1m O.C.	#3 Pkt
	100	<i>Rubus saxifraga</i>	Thimbleberry	45cm Ht.	1m O.C.	#3 Pkt
	28	<i>Philadelphus lewisii</i>	Mock orange	45cm Ht.	1m O.C.	#3 Pkt
	283	<i>Rosa rubra</i>	North rose	45cm Ht.	1m O.C.	#2 Pkt
	104	<i>Myrica gale</i>	Sweet gale	45cm Ht.	1m O.C.	#2 Pkt
	67	<i>Beachydris sunshina</i>	Daisy bush	45cm Ht.	1m O.C.	#2 Pkt
	203	<i>Potentilla fruticosa</i>	Strubby cinquefoil	45cm Ht.	0.5m O.C.	#2 Pkt
PERENNIALS, GROUND COVERS, AND GRASSES						
	347	<i>Cotoneaster japonicus</i>	Purple cotoneaster		0.45m O.C.	#1 Pkt
	113	<i>Aristolochia vasa-ursi</i>	Beauregard		0.45m O.C.	#1 Pkt
	123	<i>Calluna vulgaris 'Spring Tangle'</i>	Heather		0.45m O.C.	#1 Pkt
	9	<i>Fragaria vesicaria</i>	Crater strawberry		0.45m O.C.	#1 Pkt
	48	<i>Calamagrostis x acutiflora</i>	Karl Foerster feather grass		0.45m O.C.	#1 Pkt
	152	<i>Thymus praecox/abundans</i>	Woody thyme		0.45m O.C.	#1 Pkt

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LEGEND

- SOIL
- CONCRETE SIDEWALK
- UNIT PAVEMENT
- COLOURED CONCRETE
- PROPERTY LINE
- SAW CUT DRIVEWAY
- RESEED AND REPAIR
- GRAVEL
- STRUCTURAL SOIL
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	3	<i>Quercus garryana</i>	Oregon white oak	60m cal.	As per plan	W.B.
	8	<i>Fraxinus omnis</i>	Manna ash	60m cal.	As per plan	W.B.
	4	<i>Crataegus x mondensis 'Toba'</i>	Toba hawthorn	60m cal.	As per plan	W.B.
	4	<i>Juglans regia</i>	English walnut	60m cal.	As per plan	W.B.
	13	<i>Acer x freemanii</i>	Freeman maple	60m cal.	As per plan	W.B.
	5	<i>Carpinus japonica</i>	Japanese hornbeam	60m cal.	As per plan	W.B.
	14	<i>Quercus robur 'Fastigiata'</i>	Columnar English oak	60m cal.	As per plan	W.B.
	11	<i>Sorbus sika</i>	Whitebeam	60m cal.	As per plan	W.B.
SHRUBS						
	52	<i>Taxus x media 'Tautoni'</i>	Tautoni yew	1.5m ht.	0.75m O.C.	#1 Pot
	68	<i>Juniperus communis 'Gold Cone'</i>	Common juniper	45cm ht.	1m O.C.	#3 Pot
	100	<i>Rubus javanicus</i>	Thimbleberry	45cm ht.	1m O.C.	#3 Pot
	28	<i>Philadelphus lewisii</i>	Mock orange	45cm ht.	1m O.C.	#3 Pot
	263	<i>Rosa nutkana</i>	Nodosa rose	45cm ht.	1m O.C.	#2 Pot
	184	<i>Myrica gale</i>	Sweet gale	45cm ht.	1m O.C.	#3 Pot
	67	<i>Brachyglottis sunshine</i>	Daisy bush	45cm ht.	1m O.C.	#2 Pot
	203	<i>Potentilla fruticosa</i>	Shrubby cinquefoil	45cm ht.	0.5m O.C.	#2 Pot
PERENNIALS, GROUND COVERS, AND GRASSES						
	147	<i>Erigeron japonicus</i>	Purple coneflower		0.45m O.C.	#1 Pot
	113	<i>Arctostaphylos uva-ursi</i>	Bearberry		0.45m O.C.	#1 Pot
	123	<i>Calluna vulgaris 'Spring Torch'</i>	Heather		0.45m O.C.	#1 Pot
	9	<i>Fragaria chiloensis</i>	Coastal strawberry		0.45m O.C.	#1 Pot
	48	<i>Calamagrostis x acutiflora</i>	Karl Foerster feather grass		0.45m O.C.	#1 Pot
	152	<i>Thymus pseudolanuginosus</i>	Woolly Thyme		0.45m O.C.	#1 Pot

230901 ISSUED FOR COMMENT RESPONSE
230909 ISSUED FOR DP
230905 ISSUED FOR COORDINATION
NO. DATE (MM/DD) DESCRIPTION
ISSUES & REVISIONS
SEAL



PROJECT NAME
QRD 190

PROJECT ADDRESS
**19044 32 AVE
SURREY, BC**

DRAWING TITLE
**BUILDING 2
LANDSCAPE PLAN**

SCALE
1:200

DRAWN
RMK

CHECKED
JT

PROJECT NO.
22079-L

DRAWING NO.

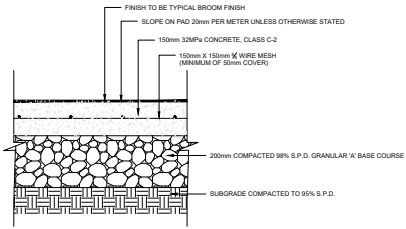


L1.2

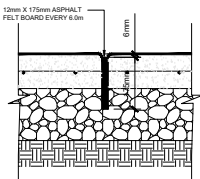
NOTES:

- CONCRETE TO BE 32MPa, CLASS C-2 AT 28 DAYS WITH 8% AIR (ENTRAINED)
- CONCRETE TO HAVE BROOM FINISH PERPENDICULAR TO THE LENGTH OF THE SIDEWALK
- EXPANSION JOINTS TO BE LOCATED AT EVERY 6m AND WHERE CONCRETE PAVING ABUTS OTHER STRUCTURES OR BUILDINGS
- SAWCUT JOINTS TO BE LOCATED AT INTERVALS OF 0.6m
- CONCRETE TO BE SPRAWLED WITH WHITE PIGMENT CURING COMPOUND
- ALL DIMENSIONS ARE IN MILLIMETRES

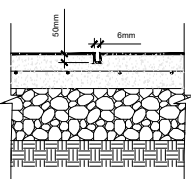
D1 SAW CUT CONCRETE SPECIFICATIONS PATTERN



EXPANSION JOINT DETAIL SECTION



SAW CUT DETAIL SECTION

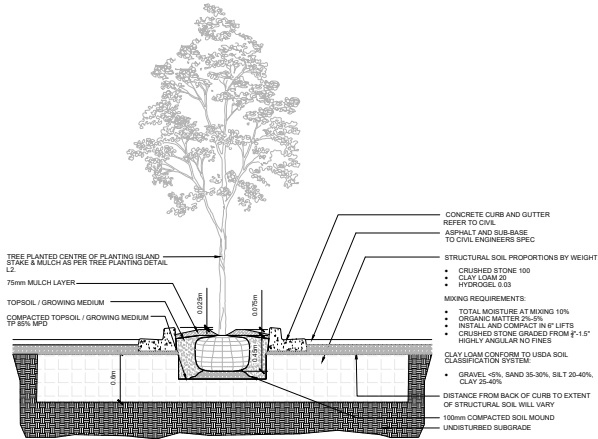


D1 SAW CUT CONCRETE DRIVEWAY

N.T.S.

D2 STRUCTURAL SOIL

N.T.S.

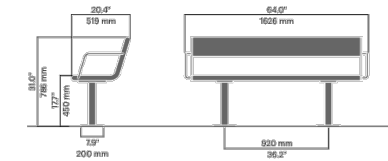


- CONCRETE CURB AND GUTTER REFER TO CIVIL
- ASPHALT AND SUB-BASE TO CIVIL ENGINEERS SPEC
- STRUCTURAL SOIL PROPORTIONS BY WEIGHT:
- CRUSHED STONE 100
 - CLAY LOAM 20
 - HYDROCEL 0.03
- MIXING REQUIREMENTS:
- TOTAL MOISTURE AT MIXING 10%
 - ORGANIC MATTER 2%-5%
 - INSTALL AND COMPACT IN 6" LIFTS
 - CRUSHED STONE GRADED FROM #1-1 1/2"
 - HIGHLY ANGULAR NO FINES
- CLAY LOAM CONFORM TO USDA SOIL CLASSIFICATION SYSTEM
- GRAVEL -5%, SAND 35-30%, SILT 20-40%, CLAY 25-40%
- DISTANCE FROM BACK OF CURB TO EXTENT OF STRUCTURAL SOIL WILL VARY
- 100mm COMPACTED SOIL MOUND UNDISTURBED SUBGRADE

D3 PICNIC TABLE

MANUFACTURER: VESTRE
 MODEL: APRIL PICNIC TABLE 753-992 GROUND MOUNT
 COLOUR: RAL 6021
 QUANTITY: 5

OR APPROVED EQUAL

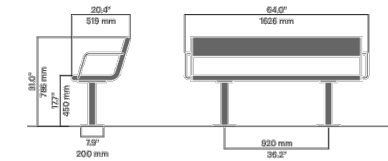


N.T.S.

D4 BENCH

MANUFACTURER: VESTRE
 MODEL: APRIL SEAT TYPE A-BASE/PLATE
 COLOUR: RAL 6021
 QUANTITY: 7

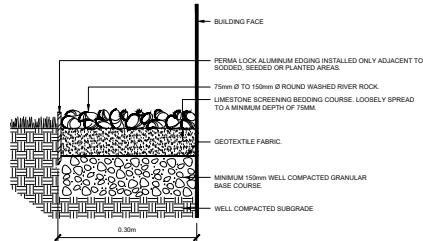
OR APPROVED EQUAL



N.T.S.

NOTES:

- RIVER ROCK SHALL BE FREE FROM CRACKS AND FISSURES AND SHALL BE FREE FROM SAND, CLAY AND OTHER DELETERIOUS MATERIAL
- RIVER ROCK SHALL BE PLACED OVER THE SCREENINGS COURSE SUCH THAT AN OVERALL LEVEL APPEARANCE IS ACHIEVED WITHOUT VOID
- RIVER ROCK TO BE LIGHTLY COMPACTED TO EMBED INTO BEDDING COURSES

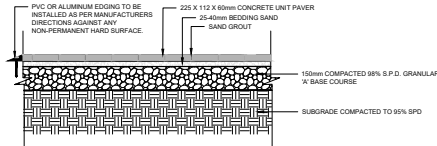


D5 RIVER ROCK

N.T.S.

NOTES:

- INSTALL ALL COMPONENTS AS PER MANUFACTURERS SPECIFICATIONS



UNIT PAVER SPECIFICATIONS
 PATTERN: RUNNING BOND
 MODEL: HEDACON
 SIZE: 300 x 300 x 60mm
 COLOUR: TORNADO GRAY
 SUPPLIER: BELGARD®
 WEBSITE: belgard.com

D6 UNIT PAVERS

N.T.S.

D7 CIRCLE BENCH

MANUFACTURER: VESTRE
 MODEL: SPRING BENCH 3610 GROUND MOUNT
 COLOUR: RAL 6021
 QUANTITY: 1

OR APPROVED EQUAL



N.T.S.

D8 BIKE RACK

MANUFACTURER: ULINE
 MODEL: CIRCLE BIKE RACK H-827
 INSTALLATION SURFACE MOUNT
 COLOUR: GRONBLUE
 QUANTITY: 4

OR APPROVED EQUAL



3	230901	ISSUED FOR COMMENT RESPONSE
2	230909	ISSUED FOR DP
1	230905	ISSUED FOR COORDINATION
NO. DATE (YYYY) DESCRIPTION		
ISSUES & REVISIONS		
SEAL		

NORTH ARROW

PROJECT NAME:

QRD 190

PROJECT ADDRESS:
**1904 32 AVE
 SURREY, BC**

DRAWING TITLE:

DETAILS

SCALE: **AS NOTED**

DRAWN: **RMK**

CHECKED: **JT**

PROJECT NO: **22079-L**

DRAWING NO:

L2

NOTES

GENERAL NOTES

- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
- CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
- CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
- CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
- OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
- PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
- UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE. DURING THE PERIOD OF WORKS, PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

PLANTING NOTES

- PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
- PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
- ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
- TREE PROTECTION:** PER THE MUNICIPAL DETAIL IF REQUIRED.
- ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
- SOIL DEPTH IN ALL PLANTING AREAS TO BE MINIMUM 450mm
- SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTING MEDIUM TO MEET CANADIAN LANDSCAPE STANDARD FOR LEVEL 1.
- ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
- PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE

REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.

- REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (I.S.A.) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
- PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
 - Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of written request by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or holdback and otherwise recovered from the Contractor.
 - Maintenance and additional installation of mulch
 - Weed removal
 - Disease control

SODDING NOTES

- SODDED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOD, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
 - 40% BLEND OF (3) VARIETIES OF KENTUCKY BLUEGRASS
 - 40% CREEPING RED FESCUE
 - 20% PERENNIAL RyEGRASS
 - USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE
- AREAS TO BE SODDED SHALL HAVE A MINIMUM 150MM TOPSOIL BASE.
- LOOSEN SOIL SURFACE PRIOR TO SODDING. ELIMINATE BUMPS AND HOLLOW. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
- PRIOR TO SODDING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
- DELIVER SOD TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOD FROM DRYING, AND WATER SOD AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOD WILL BE REJECTED.
- LAY SOD DURING GROWING SEASON. LAY SOD IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
- WATER SOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SODDED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

IRRIGATION NOTES

- IRRIGATION TO BE PROVIDED FOR ALL 'SOFT LANDSCAPE AREAS' SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
- IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE STUB OUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
- THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
- ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
- USE POP-UP SPRINKLER HEADS.
- DO NOT SPRAY WATER ONTO TREE TRUNKS.

SEEDING NOTES

- AREAS DESIGNATED FOR SEED WILL FOLLOW THESE GUIDELINES.
 - REMOVE ALL DEBRIS INCLUDING BUT NOT LIMITED TO ALL GRANULAR STONE, CONCRETE, WOOD AND METAL. SCARIFY ALL DISTURBED AREAS TO ELIMINATE COMPACTION OF TOPSOIL.
 - TO PREPARE AREAS FOR SEEDING, SPREAD, LOOSEN AND FINE GRADE TOPSOIL. GRADE FOR POSITIVE DRAINAGE. DEPTH OF TOPSOIL TO BE MIN. 150MM.
 - TO ENSURE ACCEPTANCE OF THE COMPLETED WORK, THE CONTRACTOR SHALL NOT COMMENCE SEEDING UNTIL THE PROJECT MANAGER HAS APPROVED FINE GRADES.
 - SEEDING OPERATIONS SHALL BE COMPLETED BETWEEN SPRING THAW AND JUNE 15TH FOR SPRING WORK, OR BETWEEN AUGUST 15TH AND OCTOBER 15TH FOR FALL WORK.
 - SEED APPLICATION METHOD: HYDROSEEDING BY APPROVED CONTRACTOR.
 - CONTRACTOR TO ENSURE ADEQUATE SEED MIX CATCH. SEEDDED AREAS WILL BE ACCEPTED PROVIDED THAT A SUFFICIENT AMOUNT OF THE SEED HAS GERMINATED AND BECOME ESTABLISHED IN THE OPINION OF THE PROJECT MANAGER.
 - MAINTENANCE FOR SEEDDED AREAS SHALL BEGIN IMMEDIATELY AFTER INSTALLATION AND SHALL CONTINUE UNTIL ACCEPTANCE BY THE PROJECT MANAGER.
- SEED MIX TO BE AS FOLLOWS:
PREMIER PACIFIC SEEDS COASTAL REVEGETATION MIX AT A SEEDING RATE OF 100 KG/HECTARE OR APPROVED EQUAL AT SEEDING RATE OF 100KG/HECTARE.

1	23/09/21	ISSUED FOR COMMENT RESPONSE
2	23/09/20	ISSUED FOR DP
1	23/09/05	ISSUED FOR COORDINATION
NO. DATE (Y/M/D) DESCRIPTION		
ISSUES & REVISIONS		
SEAL		

NORTH ARROW

PROJECT NAME

QRD 190

PROJECT ADDRESS

1904 32 AVE
SURREY, BC

DRAWING TITLE

NOTES & DETAILS

SCALE AS NOTED

DRAWN: RMK

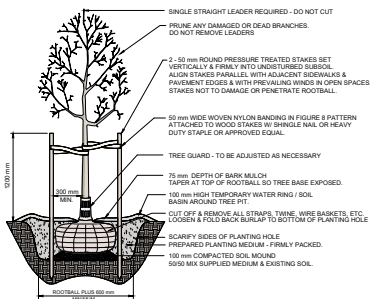
CHECKED: JT

PROJECT NO. 22079-L

DRAWING NO.

L4

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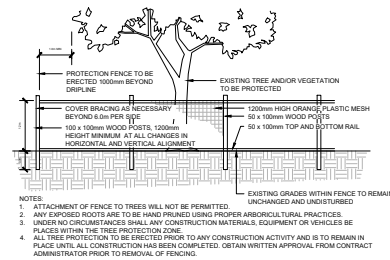
DECIDUOUS TREE

N.T.S.



SHRUB AND PERENNIAL PLANTING DETAIL

N.T.S.



TREE PROTECTION DETAIL

N.T.S.

INTER-OFFICE MEMO

TO: **Director, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **September 04, 2023** PROJECT FILE: **7822-0080-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 19044 32 Ave**

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment for density increase.

REZONE

Property and Right-of-Way Requirements

- Dedicate approximately 4.942 m for 32 Avenue.
- Dedicate 1.942 m~3.442m for 190 Street.
- Dedicate 5 m x 5 m corner cut at intersection of 190 Street and 32 Avenue.
- Register 0.5 m SRW along all road frontages.

Works and Services

- Construct south side of 32 Avenue.
- Construct east side of 190 Street.
- Construct water main along 190 Street.
- Construct storm sewer along 190 Street.
- Provide sanitary and water service connections to support the development.
- Provide on-site stormwater mitigation, biofiltration, and water quality features.
- Register applicable legal documents as determined through detailed design.

A Servicing Agreement is required prior to Rezone.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.



Jeff Pang, P.Eng.
Development Services Manager
BD

NOTE: Detailed Land Development Engineering Review available on file

Tree Preservation Summary

Surrey Project No: 22-0080

Address: 19044 32 Avenue, Surrey, BC

Registered Arborist: Alexander Groenewold

On-Site Trees	Number of Trees
Protected Trees Identified (On-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	52
Protected Trees to be Removed	51
Protected Trees to be Retained (Excluding trees within proposed open space or riparian areas)	1
Total Replacement Trees Required: <ul style="list-style-type: none"> • Alder & Cottonwood Trees requiring 1 to 1 Replacement Ratio _____ x 1 = • All other Trees requiring 2 to 1 Replacement Ratio __51__ x 2 = 102 	102
Replacement Trees Proposed	76
Replacement Trees in Deficit	26
Protected Trees to be Retained in Proposed Open Space / Riparian Areas	

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed:	0
Total Replacement Trees Required: <ul style="list-style-type: none"> • Alder & Cottonwood Trees requiring 1 to 1 Replacement Ratio _____ x 1 = • All other Trees requiring 2 to 1 Replacement Ratio _____ x 2 = 	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

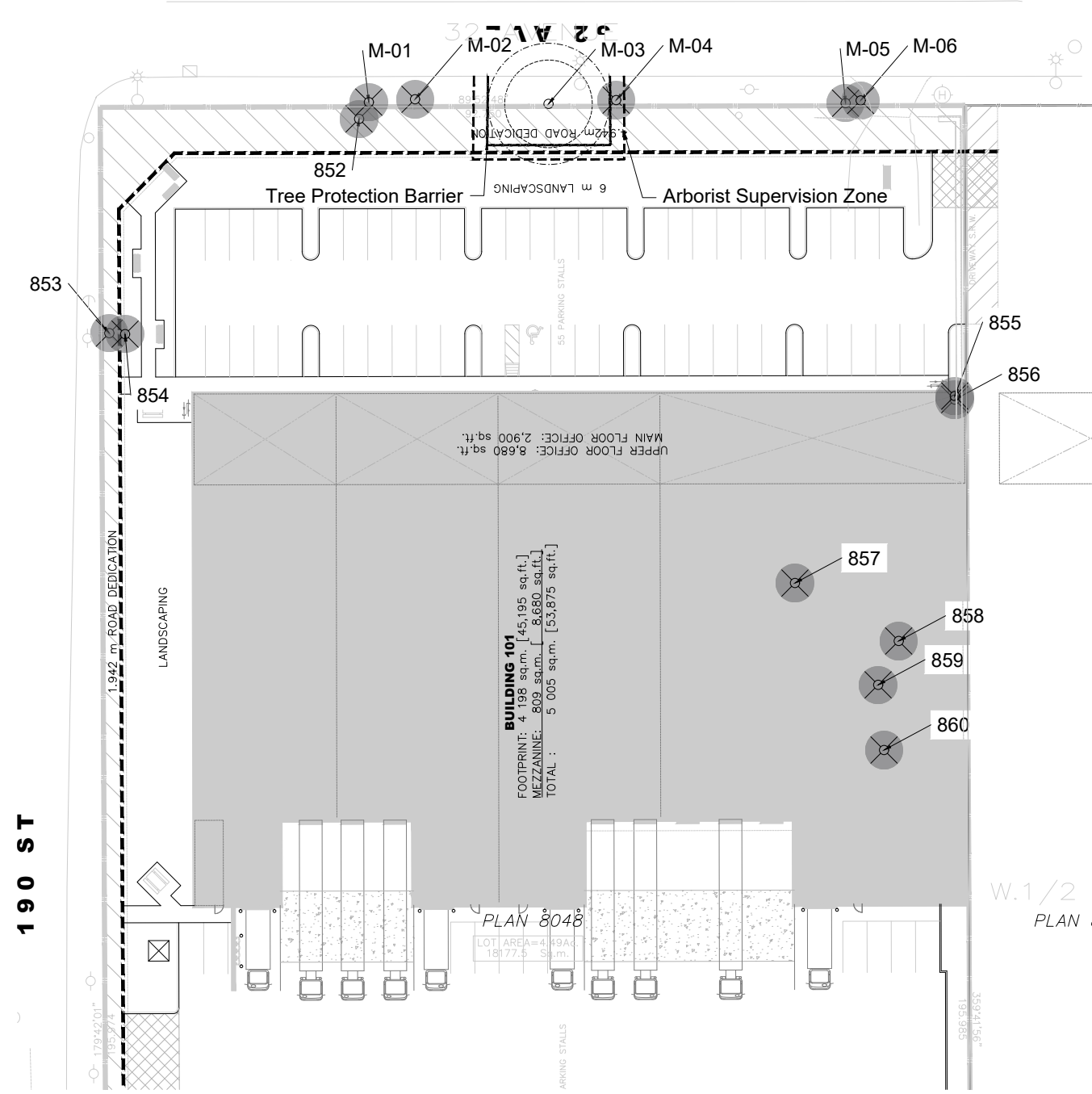
Summary, Report and Plan prepared and submitted by:



(Signature of Arborist)

August 31, 2023

Date:



LEGEND

- EXISTING TREE PROPOSED FOR REMOVAL
- EXISTING TREE TO BE RETAINED
- UNDERSIZE TREE
- TREE PROTECTION FENCING
- ARBORIST SUPERVISION ZONE
- TREE TAG NO. 19
- CRITICAL ROOT ZONE
- TREE PROTECTION ZONE (LARGER OF CRZ OR DRIPLINE)

Assessment Done Feb 7th 2023
By Alexander Greenewald,
I.S.A. TRAQ



PROJECT NAME:

QRD

PROJECT ADDRESS:
19044 32nd Av.
Surrey, BC

DRAWING TITLE:
**TREE MANAGEMENT
PLAN - ENLARGEMENT
NORTH**

SCALE: X:XXX AT ARCH C SIZE

DRAWN: AG

CHECKED: N/A

PROJECT NO.: 220797-L

DRAWING NO.:

T1.1

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0080-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 008-042-403
Lot 1 Section 21 Township 7 New Westminster District Plan 8048

19044 - 32 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Part 47A Section F. Yards and Setbacks of the “Business Park 1 Zone (IB-1)” the minimum side yard setback (east) is reduced from 3.6 metres to 0.0 metres to the principal building face; and
 - (b) In Part 47A Section I. Landscaping and Screening of the “Business Park 1 Zone (IB-1)” the minimum landscaping strip fronting 32 Avenue is reduced from 6 metres to 2.4 metres.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

