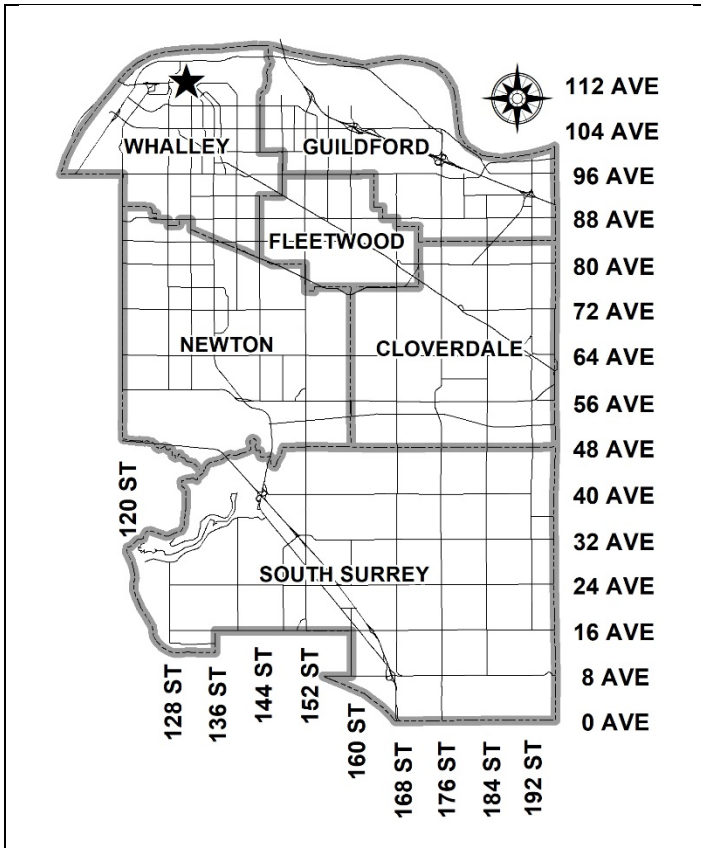


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7922-0014-00

Planning Report Date: May 30, 2022



PROPOSAL:

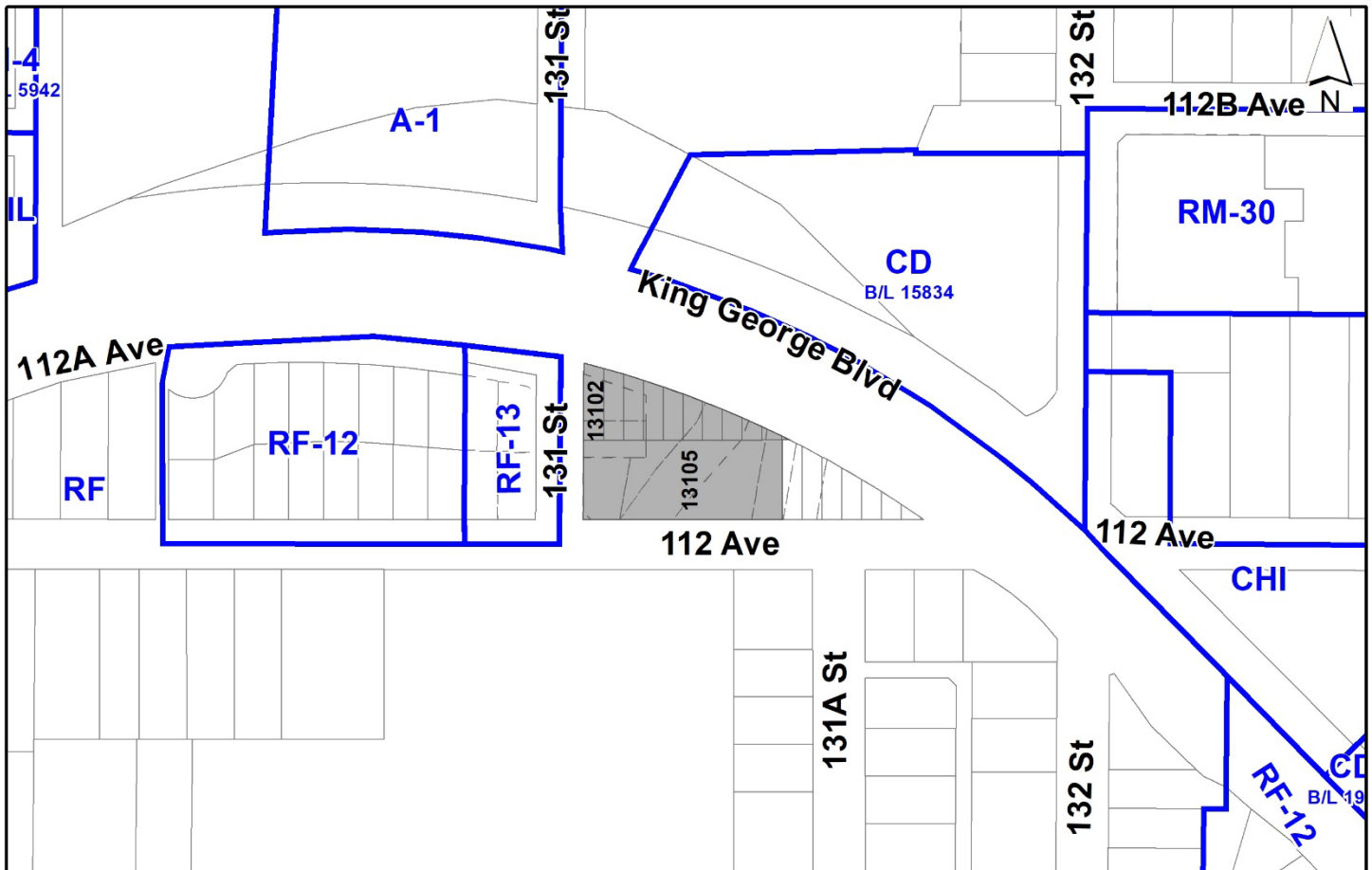
- **OCP Amendment** of a portion from Urban to Multiple Residential
- **Rezoning** of a portion from RF to CD (based on RM-45 and RMS-1)
- **Development Permit**

to permit the development of a 4-storey modular apartment building with 30 supportive housing units for youth, and ancillary support services.

LOCATION: 13102 - 112A Avenue
 13105 - 112 Avenue

ZONING: RF

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- File Rezoning Bylaw No. 20370.
- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment for a portion; and
 - Rezoning for a portion.
- Approval to draft Development Permit for Hazard Lands, Sensitive Ecosystems and Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) from Urban to Multiple Residential for a portion of the site.

RATIONALE OF RECOMMENDATION

- The proposed supportive housing units will provide a significant community benefit to the area and will allow for the rapid delivery of urgent housing under the Rapid Housing Initiative (RHI).
- The proposal is consistent with a number of City policies, including the Sustainability Charter 2.0 (Inclusion Theme), Surrey's Plan for the Social Well-being of Surrey Residents, OCP Section F3 (Affordable Housing), and the Master Plan for Housing the Homeless in Surrey.
- The subject site backs onto the BC Parkway Greenway and is located within close proximity of the City Centre Plan area and its future services, amenities, and transit.
- The proposal complies with the Development Permit requirements in the OCP for Sensitive Ecosystems for Streamside Areas and Green Infrastructure Areas.
- The proposal complies with the Development Permit requirements in the OCP for Hazard Lands for Steep Slopes.
- The proposal partially complies with the Development Permit requirements in the OCP for Form and Character.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council file By-law No. 20370 and close Land Development Project No. 7916-0442-00 and all applications associated with this project.
2. A By-law be introduced to amend the OCP Figure 3: General Land Use Designations for a portion of the subject site (Appendix IV) from Urban to Multiple Residential and a date for Public Hearing be set.
3. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
4. A By-law be introduced to rezone a portion of the subject site as shown as Block A on the attached Survey Plan (Appendix I) from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
5. Council authorize staff to draft Development Permit No. 7922-0014-00 generally in accordance with the attached drawings (Appendix I) and the finalized Ecosystem Development Plan and geotechnical report.
6. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) submission of a finalized Ecosystem Development Plan to the satisfaction of City staff;
 - (h) conveyance of riparian areas and Biodiversity Conservation Strategy areas to the City; and
 - (i) submission of a finalized Geotechnical Report to the satisfaction of City staff.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Vacant lots, including a Class B stream (ditch) .	Urban	RF
North and Northeast (Across King George Boulevard, BC Parkway Greenway and SkyTrain):	Vacant city-owned land, and townhouses.	Multiple Residential and Urban	CD (By-law No. 15834) and RF
East:	Vacant city-owned lots under Application No. 7916-0442-00, to be closed	Urban	RF
South (Across 112 Avenue):	Poplar Park and single family dwellings.	Urban	RF
West (Across 131 Street):	Single family dwelling to be removed to complete rezoning and subdivision (under Application No. 7916-0234-00, at Third Reading).	Urban	RF (Application No. 7916-0234-00 to rezone from RF to RF-13 received Third Reading on November 7, 2016.)

Context & BackgroundRapid Housing Initiative

- In October of 2020, the Government of Canada, through the Canadian Mortgage and Housing Corporation (CMHC), launched the Rapid Housing Initiative (RHI) to help address the urgent housing needs of vulnerable people through the rapid construction of affordable housing.
- In November of 2020, CMHC awarded the City of Surrey \$16.2 million to develop a 44-unit modular supportive housing project in Newton for women experiencing homelessness. This project, which will be operated by Atira Women's Resource Society Housing Society, is slated for completion in May of 2020.
- On October 29, 2021, CMHC awarded the City of Surrey a second RHI grant for \$13.8 million to develop the subject 30-unit modular supportive housing project for youth transitioning out of government care. The housing is proposed to be located on a portion of City properties located at 13102 – 112A Avenue and 13105 – 112 Avenue (subject site) and is slated to be completed by December 2022.

- These RHI projects respond to two of the four priority population groups (women and youth) identified as being in need of supportive housing in the Master Plan for Housing the Homeless in Surrey.

Youth Housing in Surrey

- Research shows that vulnerable youth, especially those who have been raised in government care, are at risk of becoming homeless as they age out of the care system and transition into adulthood. For example, the 2020 Metro Vancouver Homeless Count reported that 32% of homeless people in the region had previously been or were at the time of the homeless count, in government care.
- Currently, Surrey has a limited supply of supportive youth housing. Pacific Community Resources Society (PCRS) has two houses, located in Guildford and Fleetwood, that provide a total of ten beds for youth aged 16 to 19 years. The SOS Children's Village in Newton has 3 "transition to adulthood" suites for youth aged 16 to 24 years.

Site Context

- The subject site is located at 13102 - 112A Avenue and 13105- 112 Avenue in Whalley at the northeast corner of 131 Street and 112 Avenue, southeast of King George Boulevard and the Skytrain guideway.
- The subject site is designated Urban in the Official Community Plan (OCP).
- The site is approximately 3,642 square metres in combined area and currently vacant with existing single family homes to the south and west.
- The site is located within Development Permit Areas for Steep Slopes and Sensitive Ecosystems (Streamside and Green Infrastructure Areas), both of which form part of the application.
- Development Application No. 7916-0442-00 received Third Reading on June 28, 2021, which proposed to rezone the subject site from "Single Family Residential Zone (RF)" to "Residential 13 Zone (RF-13)" in order to allow subdivision into three (3) single family small lots and 1 large open space lot. Application No. 7916-0442-00 is proposed to be closed and replaced with the subject application.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant has submitted a development application that would permit supportive youth housing units to be located on a portion of the subject site (proposed Lot 1) within a modular apartment building, along with additional support services.

- The applicant proposes the following in order to accommodate 30 supportive housing units on 1 lot (proposed Lot 1), and 1 lot (proposed Lot 2) to be conveyed to the City for conservation purposes:
 - OCP amendment to redesignate a portion of the site from "Urban" to "Multiple Residential";
 - Rezoning a portion of the site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" (based on "Multiple Residential 45 Zone (RM-45)") and "Special Care Housing 1 Zone (RMS-1)";
 - Subdivision into 2 lots; and
 - Development Permit for Form and Character, Hazard Lands (Steep Slopes) and Sensitive Ecosystems (Streamside and Green Infrastructure Areas).

- The following table provides specific details of the proposal:

	Proposed
Lot Area	
Gross Site Area:	3,642 square metres
Road Dedication:	4.5 square metres
Undevelopable Area:	2,081.5 square metres
Net Site Area:	1,556 square metres
Number of Lots:	2
Building Height:	4 storeys (15 metres)
Unit Density:	193 units per hectare
Floor Area Ratio (FAR):	1.34
Floor Area:	2,088 square metres
Residential Units:	
Studio:	30
Total:	30

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
Parks, Recreation & Culture:	The Parks, Recreation & Culture Department has no concerns.
Surrey Fire Department:	The Surrey Fire Department has no concerns but has identified items to be addressed with the submission of the Building Permit.
MOTI	MOTI has no concerns.

Residents and Programming

- The youth housing project will provide 30 units of safe, supportive, and affordable housing for young people up to the age of 24 years, many of whom will be transitioning from government care. The goal is to ensure that vulnerable and marginalized young people are given opportunities to succeed.
- The building is designed to support young residents and includes 30 self-contained studio apartments, as well as a commercial kitchen and dining room, communal laundry room, tenant support room, staff offices, recreation space and resident lounges.
- While all of the units will be allocated to vulnerable and homeless youth, PCRS has identified that approximately 25% of the units will be allocated to the following youth populations: Indigenous youth, LGBTQ2S+ youth, young women experiencing violence, and newcomer/refugee youth.
- Specialized workers will be assigned to each resident and individual goal plans will be created with each young person. This could include developing life skills, accessing employment or education opportunities, and/or connecting to counselling or substance use programming. The housing will also provide many opportunities for residents to come together for meals, recreational programming, house meetings, planning for holidays, volunteer work and ensuring the homes and property are maintained.

Transportation Considerations

- The applicant will dedicate a 3.0-metre x 3.0-metre corner cut at 131 Street and 112 Avenue.
- The subject site is approximately 1 km from Gateway Skytrain Station and backs onto the BC Parkway Greenway which is a multi-use pathway that connects Gateway Skytrain and Scott Road Skytrain Stations.
- The principal pedestrian access to the site will be from 131 Street.
- Loading and garbage access will be from a drive aisle on 131 Street.

Natural Area Considerations

- Parks, Recreation and Culture will accept the conveyance of the riparian area and Green Infrastructure Network area (Lot 2) as a City lot for conservation purposes.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "General Urban" designation of the subject site under the Metro Vancouver Regional Growth Strategy (RGS).

Official Community Plan

Land Use Designation

- The subject site is designated Urban in the OCP, and the applicant proposes to redesignate a portion of the site to Multiple Residential.

Amendment Rationale

- The proposed supportive housing units will provide a significant community benefit to the area and will allow for the rapid delivery of urgent housing under the Rapid Housing Initiative (RHI).
- Social housing and non-market affordable housing units are exempt from the Tier 2 Capital Plan Project CACs.
- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The proposal is consistent with a number of City policies, including the Sustainability Charter 2.0 (Inclusion Theme), Surrey's Plan for the Social Well-being of Surrey Residents, OCP Section F3 (Affordable Housing), and the Master Plan for Housing the Homeless in Surrey.

CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed 4-storey supportive modular housing building on proposed Lot 1 of the subject site. The proposed CD By-law for the development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 45 Zone (RM-45)" and the "Special Care Housing 1 Zone (RMS-1)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-45 Zone, RMS-1 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-45 Zone (Part 23)	RMS-1 Zone (Part 28)	Proposed CD Zone
Unit Density:	111 uph	n/a	195 uph
Floor Area Ratio:	1.30	0.5	1.35
Lot Coverage:	45%	25%	40%
Yards and Setbacks	7.5 metres	7.5 metres	East: 4.5 metres West: 2.0 metres South: 14.0 metres North: 2.8 metres
Principal Building Height:	15 metres	9 metres	15 metres
Permitted Uses:	Multiple unit residential buildings	Care facilities; personal service uses limited to barbershops and hair salons; child care centres; offices; eating establishment; and, convenience store	Multiple unit residential buildings, care facilities, community services and offices.
Parking (Part 5)		Required	Proposed
Number of Stalls			
Office:			0
Residential:		39	0
Residential Visitor:		6	0
Total:		45	0
Bicycle Spaces			
Residential Secure Parking:		36	12
Residential Visitor:		6	6

- The proposed uses are appropriate for the site as they reflect the services that will be required to support the residents in the proposed new modular apartment building.
- The proposed floor area ratio (FAR) of the development will be 1.35, which will exceed the density permitted in the RM-45 and RMS-1 Zones. However, the proposed density is appropriate for the proposed supportive housing development and responds to the site context.

- The variances to setbacks and lot coverage are proposed in order to maximize the efficiency of the building and accommodate the modular construction on the heavily constrained lot.
- The applicant is proposing no off-street parking stalls which constitutes a significant reduction from the 39 stalls that would be required under the Zoning Bylaw. The Zoning Bylaw does not specify a parking rate for this type of supportive housing use. Instead, the applicable rate is 1.3 stalls per unit for residents and 0.2 stalls per unit for visitors, which is the standard rate for studio apartment units throughout the City.
- Off-street parking on the subject site is not possible due to significant site constraints, including the location of the riparian area, site geometry and existing grades.
- It is anticipated that some of the youth who will reside at the proposed facility will own vehicles. The proximity of the site to King George Boulevard means that it would be reasonable for some residents to rely on public transportation.
- In lieu of providing on-site parking, the applicant has agreed to construct frontage upgrades along 131 Street and 112 Avenue to provide on-street parking opportunities, as well as a pedestrian connection to the BC Parkway Greenway.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The development will not be required to pay Community Amenity Contributions as they are not required for non-market housing.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The proposal supports the objectives of the Affordable Housing Strategy by providing a housing option for individuals who are among those most in need.
- An additional financial Affordable Housing Contribution is not required as this type of housing use does not require a contribution.

Public Art Policy

- Since the application is a non-market housing proposal, no public art contribution will be required.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on April 8, 2022, and the Development Proposal Signs were installed on March 10, 2022. Staff received one response from neighbouring (*staff comments in italics*):
 - The respondent expressed concern regarding the increase in traffic and parking issues that the proposed development would bring to the community.

(The applicant will be constructing improvements along the 131 Street and 112 Avenue frontages to provide on-street parking opportunities, as well as a pedestrian connection to the BC Parkway Greenway.

While it is anticipated that some of the youth who will reside at the subject site will own vehicles, the proximity of the site to King George Boulevard means that it would be reasonable for many of the residents to rely on public transportation.)

DEVELOPMENT PERMITS

Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of existing Class B (yellow-coded) ditches. The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class B (yellow-coded) ditch requires a minimum streamside setback of 7 metres, as measured from the top of bank. The proposed setbacks comply with the requirements outlined in the Zoning By-law.
- The riparian area is proposed to be conveyed to the City as a lot for conservation purposes as a condition of rezoning approval, in compliance with the OCP.
- An Ecosystem Development Plan, prepared by Rolf Sickmuller, R.P. Bio., of Envirowest Consultants Ltd. and dated May 2, 2022, was reviewed by staff and found to be generally acceptable. The finalized report and recommendations will be incorporated into the Development Permit.

Sensitive Ecosystems (Green Infrastructure Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems DPA for Green Infrastructure Areas in the OCP, given the location of a Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) Corridor located through the middle of the site. The Sensitive Ecosystems (Green Infrastructure Areas) Development Permit is required to protect environmentally sensitive and/or unique natural areas from the impacts of development.

- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Regional BCS Corridor within the subject site, in the Newton BCS management area, with a Medium ecological value.
- The BCS further identifies the GIN area of the subject site as having a Moderate habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target Corridor width of 50 meters.
- The development proposal conserves 2,081.5 square meters of the subject site through Parkland Conveyance which is 57% of the total gross area of subject site. This method of GIN retention/enhancement will assist in the long-term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.
- An Ecosystem Development Plan, prepared by Rolf Sickmuller, *R.P. Bio.*, of Envirowest Consultants Ltd. and dated May 2, 2022, was reviewed by staff, and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Hazard Lands (Steep Slope) Development Permit Requirement

- The subject property falls within the Hazard Lands (Steep Slope) Development Permit Area (DPA) in the OCP, given that the site contains steep slopes in excess of 20% gradient. The Hazard Land (Steep Slope) Development Permit is required to protect developments from hazardous conditions.
- There is a steep portion of the site within the southeast portion which is not suitable for construction. This area is within the riparian setback area and will be conveyed to the City for conservation purposes.
- A geotechnical report was prepared by Yaodong Yu, *P. Eng.*, of Metro Testing and Engineering and dated May 27, 2021, for the previous single family Development Application No. 7916-0442-00. The report was peer reviewed by Percy Villa Yabar, *P. Eng.*, of Metro Testing and Engineering and found to be generally acceptable by the peer reviewer. The report and peer review were reviewed by staff and found to conform to the OCP Development Permit guidelines for Hazard Lands. The finalized geotechnical report will be incorporated into the Development Permit.

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The applicant has worked with staff to develop a site plan that appropriately responds to the challenges of this heavily constrained site.

- The siting, massing and architecture of the proposed 4-storey building are well-designed and articulated.
- The applicant and staff will continue to work on improving the screening of the rooftop mechanical units and coordinating site grading and edge conditions prior to final adoption.
- The proposed, new modular building will be 4 storeys (15 metres) in height, and will consist of the following:
 - 2,088 square metres of gross floor area;
 - Approximately 30 self-contained residential suites;
 - Offices and meeting rooms;
 - Lounge, dining, and associated kitchen facilities; and
 - Other spaces associated with the operation of the supportive housing facility.
- The proposed building is comprised of prefabricated modular buildings, which are constructed off site and assembled on the subject site.
- The proposed building is clad with black corrugated metal panels, white fibre cement panels and cedartone fibre cement planks and accent materials.

Landscaping

- The landscaping is designed to be durable and simple with a balance of hard and soft landscape materials that are universally accessible.
- Grass areas have been minimized with a strategic use of plantings for seasonal interest using a variety of plant types and scale.
- Walkways provide access into and around the site, including to the proposed outdoor amenity area at the rear of the property.
- The outdoor amenity area includes a gazebo with seating, grassed areas, and gardening beds for residents.

Indoor Amenity

- Programmed indoor amenity areas for the residents include a dining area and lounge on the ground floor level.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include improving rooftop screening and enhancing the pedestrian experience.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Nick McMahon, ISA Certified Arborist of Arbortech prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	13	13	0
Cottonwood	4	4	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bigleaf Maple	6	5	1
Norway Maple	3	3	0
Total (excluding Alder and Cottonwood Trees)	9	8	1
Additional Estimated Trees in the proposed Riparian Area	163	19	144
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		23	
Total Retained and Replacement Trees		24	
Contribution to the Green City Program		\$5,500	

- The Arborist Assessment states that there are a total of 9 mature trees on the site, excluding Alder and Cottonwood trees. Seventeen existing trees, approximately 65% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 1 tree can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- Table 1 includes an additional 163 protected trees that are located within the proposed riparian area. The trees within the proposed riparian area will be retained, except where removal is required due to hazardous conditions. This will be determined at a later time, in consultation with the Parks, Recreation and Culture Department.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 33 replacement trees on the site. Since only 23 replacement trees can be accommodated on the site, the deficit of 10 replacement trees will require a cash-in-lieu payment of \$5,500, representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.

- In addition to the replacement trees, boulevard street trees will be planted on 131 Street. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Red Maples, Black Hawthorn, Yellow Cedar, and Kwanzen Flowering Cherry.
- In summary, a total of 24 trees are proposed to be retained or replaced on the site with a contribution of \$5,500 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	Summary of Tree Survey and Tree Preservation
Appendix IV.	OCP Redesignation Map
Appendix V.	Aerial Photos
Appendix VI.	Riparian Setback Drawing

approved by Ron Gill

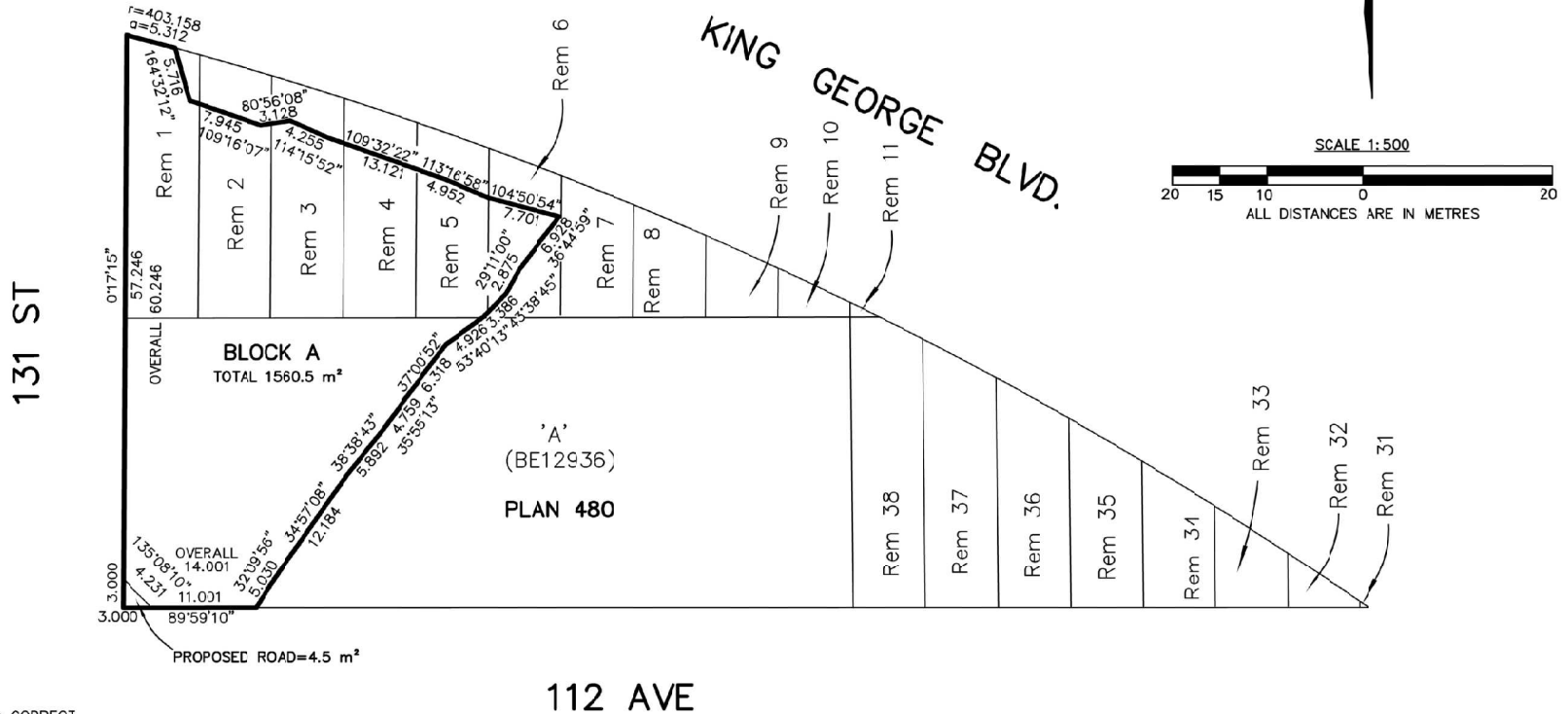
Jeff Arason
Acting General Manager
Planning and Development

LM/cm

SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW NO. _____ OF PART OF SECTION 9 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT BEING,

PART OF LOT 'A' (BE12935) BLOCK 31 SECTION 9 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT PLAN 480; PART OF LOTS 1,2,3,4,5,6 EXCEPT: PART ON HIGHWAY PLAN 5719, BLOCK 31 SECTION 9 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT PLAN 480

CIVIC ADDRESS No. 13100 Block 112 Ave/ King George Blvd



CERTIFIED CORRECT
THIS 24TH DAY OF MAY, 2022

Peng Zhao
7F2UFI
Digitally signed by Peng Zhao 7F2UFI
Date: 2022.05.24 15:15:43 -07'00'

P (STEVEN) ZHAO B.C.L.S.

UNREGISTERED INTERESTS HAVE NOT BEEN INCLUDED OR CONSIDERED.
PROPOSED LOT AREA AND DIMENSIONS ARE SUBJECT TO APPROVAL AND FINAL FIELD SURVEY AND MAY VARY ON FINAL SUBDIVISION PLAN.



13450 - 104 AVENUE
SURREY, BC V3T 1V8
TEL (604) 591-4253

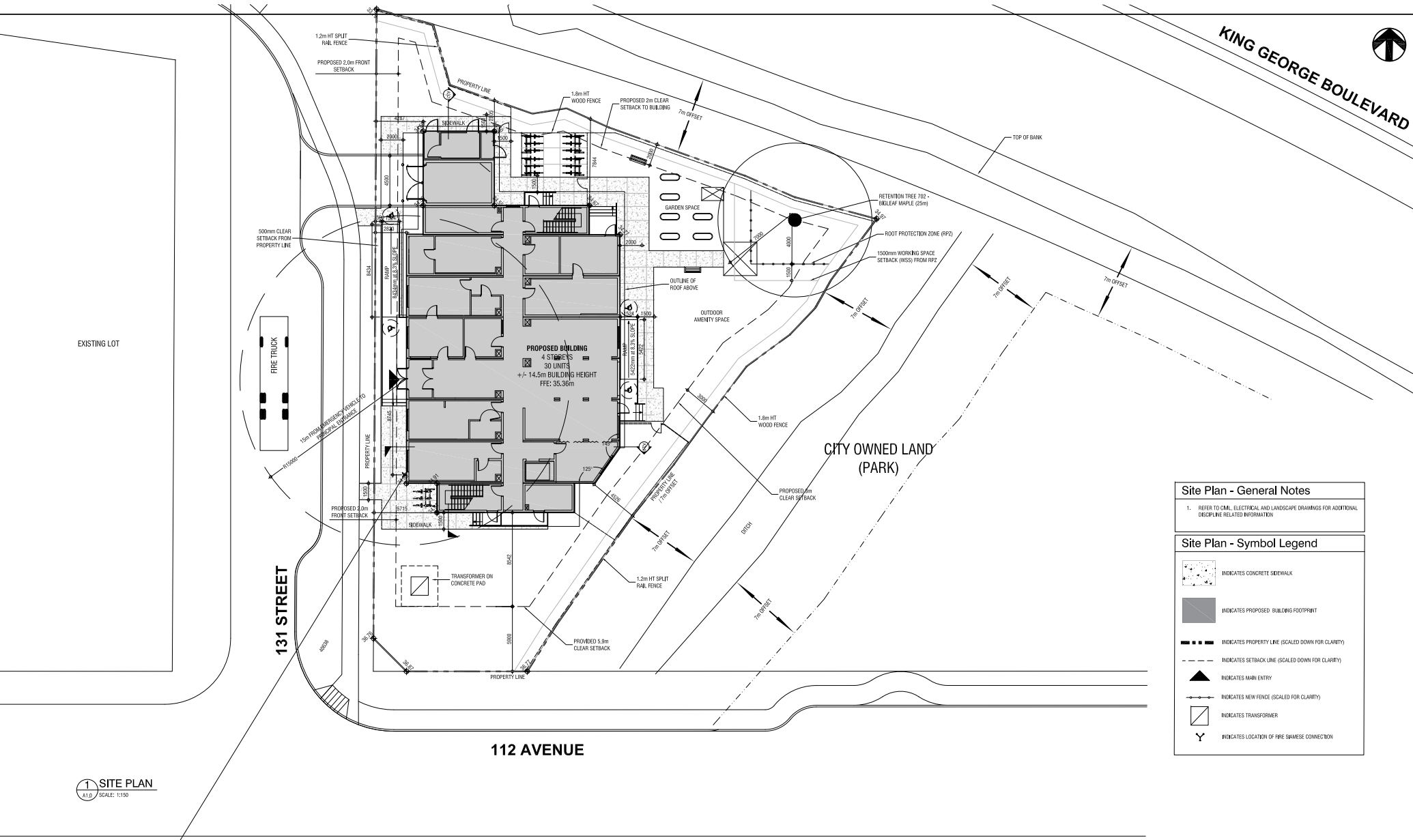


KING GEORGE BOULEVARD

131 STREET

112 AVENUE

CITY OWNED LAND (PARK)



Site Plan - General Notes
1. REFER TO CML, ELECTRICAL AND LANDSCAPE DRAWINGS FOR ADDITIONAL DISCIPLINE RELATED INFORMATION.

Site Plan - Symbol Legend

- INDICATES CONCRETE SIDEWALK
- INDICATES PROPOSED BUILDING FOOTPRINT
- INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
- INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
- INDICATES MAIN ENTRY
- INDICATES NEW FENCE (SCALED FOR CLARITY)
- INDICATES TRANSFORMER
- INDICATES LOCATION OF FIRE SHAMESE CONNECTION

1 SITE PLAN
A1.0 SCALE: 1:150

THESE DRAWINGS AND DESIGNS ARE THE SOLE PROPERTY OF HORIZON NORTH AND MAY NOT BE REPRODUCED OR SUBMITTED TO OUTSIDE PARTIES WITHOUT THE EXPRESSED WRITTEN CONSENT OF HORIZON NORTH				
1.	2022.05.18	REISSUED FOR DEVELOPMENT PERMIT	CP	CZ
No.	Y	M/D	REVISION	BY
				CHKD



Pacific Community Resources Society







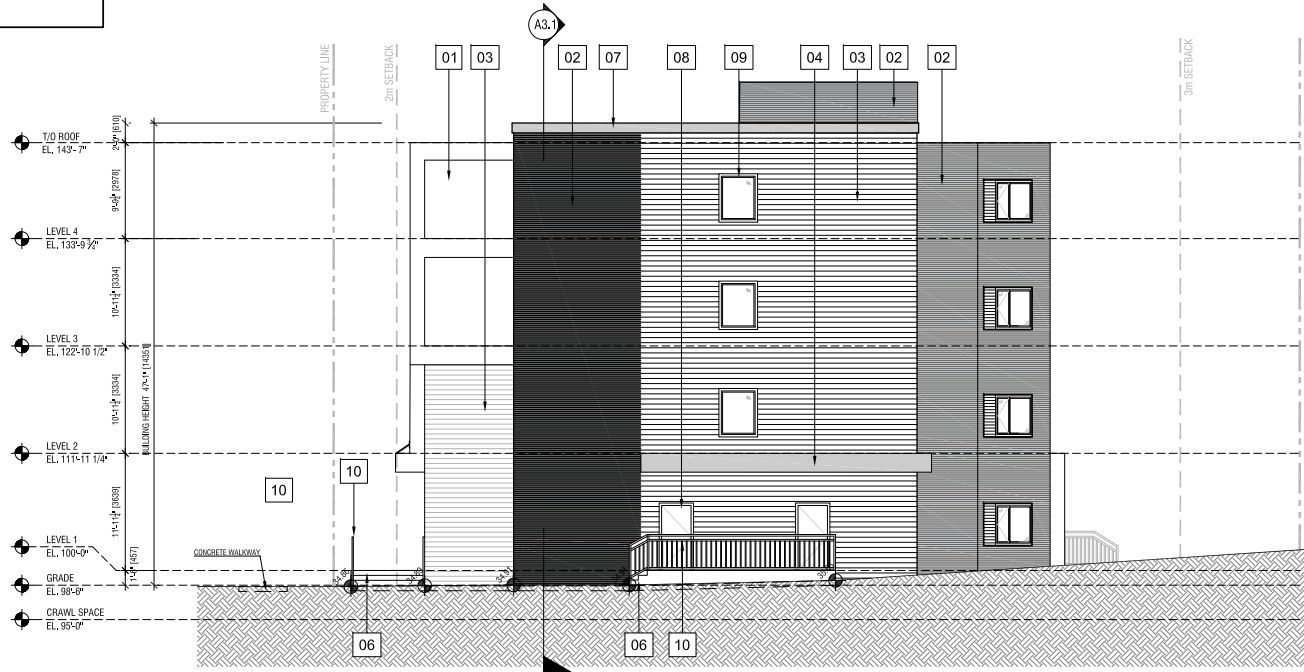
PROJ # :	221253
TN # :	
SCALE :	
DRAWN BY :	CP
CHECKED :	CZ

PACIFIC COMMUNITY RESOURCES SOCIETY
13102 112TH AVENUE, SURREY, BRITISH COLUMBIA

DWG No.:
A1.0

SITE PLAN

Finishes		Elevations Keynotes	
	01 ARCTIC WHITE	01	FIBRE CEMENT PANEL - ARCTIC WHITE
	02 7/8\" CORRUGATED - BLACK	02	CORRUGATED METAL SIDING - BLACK
	03 CEDARTONE	03	FIBRE CEMENT PLANK SIDING - CEDARTONE
	04 IRON GRAY	04	FIBRE CEMENT PANEL SIDING - IRON GRAY
		05	P.T. WOOD RAMP
		06	P.T WOOD STAIRS/LANDING
		07	FLASHING - IRON GRAY
		08	STEEL DOORS - BLACK
		09	PVC WINDOW - BLACK
		10	METAL HANDRAIL/GUARD - BLACK
		11	DOWNSPOUT GUTTER - WHITE
		12	DOWNSPOUT GUTTER - BLACK



1 SOUTH ELEVATION
A4.1 / SCALE: 1/25

THESE DRAWINGS AND DESIGNS ARE THE SOLE PROPERTY OF HORIZON NORTH AND MAY NOT BE REPRODUCED OR SUBMITTED TO OUTSIDE PARTIES WITHOUT THE EXPRESSED WRITTEN CONSENT OF HORIZON NORTH				
1.	2022.05.18	REISSUED FOR DEVELOPMENT PERMIT	CP	CZ
No.	Y	M/D	REVISION	BY
				CHKD



PROJ # :	221253
TN # :	
SCALE :	
DRAWN BY :	CP
CHECKED :	CZ

PACIFIC COMMUNITY RESOURCES SOCIETY
13102 112TH AVENUE, SURREY, BRITISH COLUMBIA
SOUTH ELEVATION

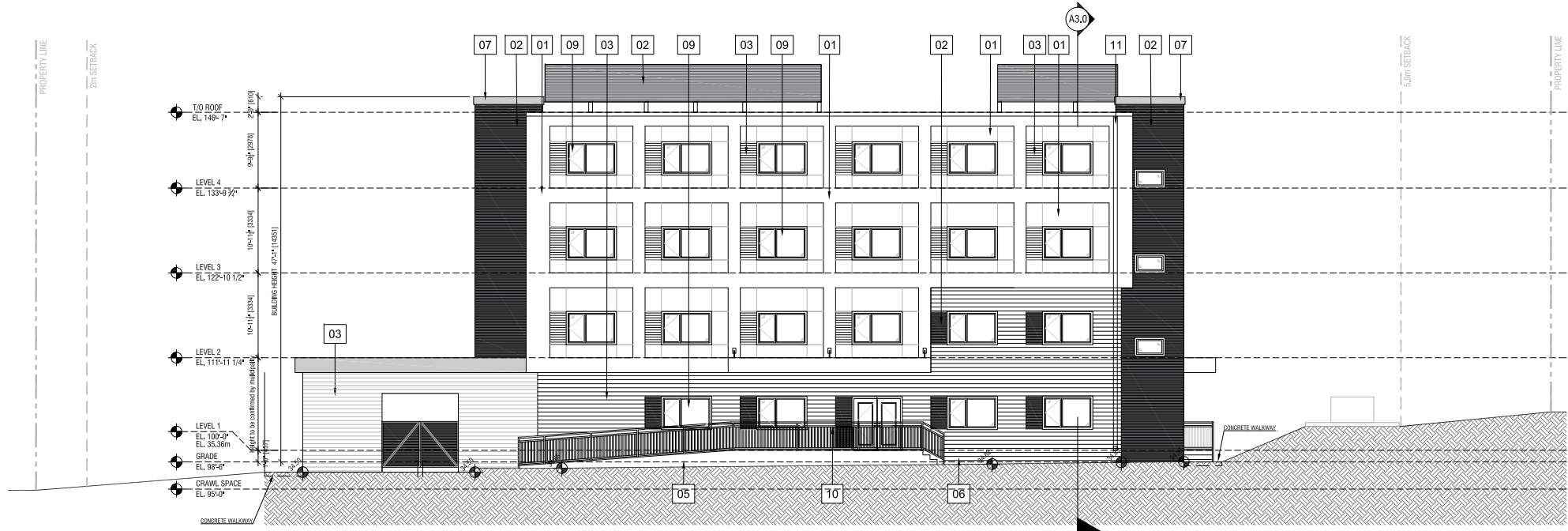
DWG No.:
A4.1

Finishes



Elevations Keynotes

- 01 FIBRE CEMENT PANEL - ARCTIC WHITE
- 02 CORRUGATED METAL SIDING - BLACK
- 03 FIBRE CEMENT PLANK SIDING - CEDARTONE
- 04 FIBRE CEMENT PANEL SIDING - IRON GRAY
- 05 P.T. WOOD RAMP
- 06 P.T WOOD STAIRSLANDING
- 07 FLASHING - IRON GRAY
- 08 STEEL DOORS - BLACK
- 09 PVC WINDOW - BLACK
- 10 METAL HANDRAIL/GUARD - BLACK
- 11 DOWNSPOUT GUTTER - WHITE
- 12 DOWNSPOUT GUTTER - BLACK



1 WEST ELEVATION
SCALE: 1/8\"/>

THESE DRAWINGS AND DESIGNS ARE THE SOLE PROPERTY OF HORIZON NORTH AND MAY NOT BE REPRODUCED OR SUBMITTED TO OUTSIDE PARTIES WITHOUT THE EXPRESSED WRITTEN CONSENT OF HORIZON NORTH				
1.	2022.05.18	REISSUED FOR DEVELOPMENT PERMIT	CP	CZ
No.	Y	M/D	REVISION	BY
				CHKD



PROJ # :	221253
TN # :	
SCALE :	
DRAWN BY :	CP
CHECKED :	CZ

PACIFIC COMMUNITY RESOURCES SOCIETY
13102 112TH AVENUE, SURREY, BRITISH COLUMBIA
WEST ELEVATION

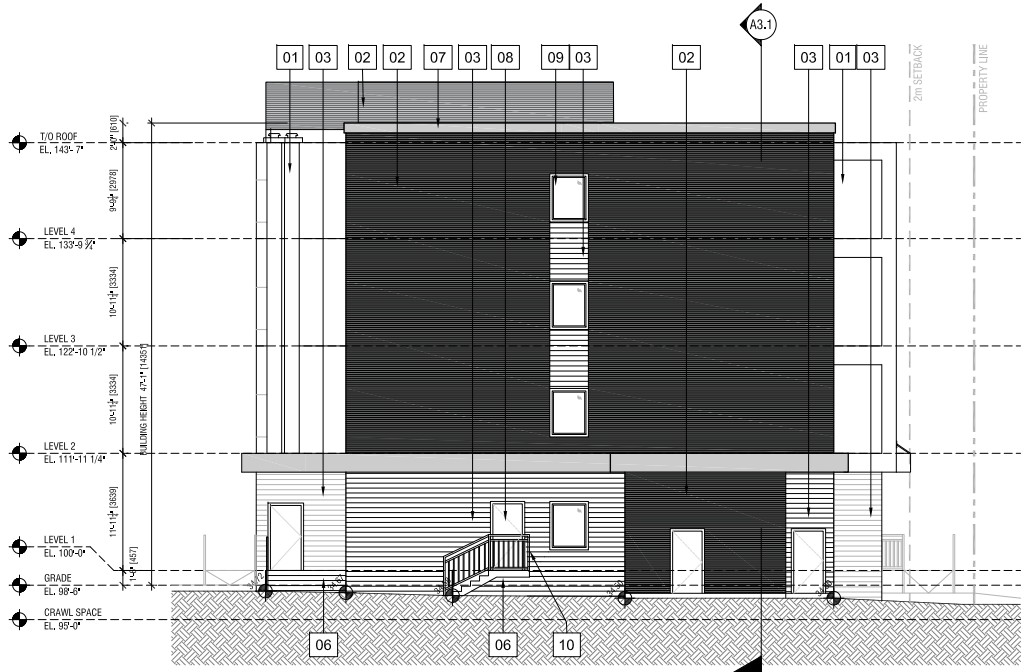
DWG No.: **A4.2**

Finishes



Elevations Keynotes

- 01 FIBRE CEMENT PANEL - ARCTIC WHITE
- 02 CORRUGATED METAL SIDING - BLACK
- 03 FIBRE CEMENT PLANK SIDING - CEDARTONE
- 04 FIBRE CEMENT PANEL SIDING - IRON GRAY
- 05 P.T. WOOD RAMP
- 06 P.T WOOD STAIRS/LANDING
- 07 FLASHING - IRON GRAY
- 08 STEEL DOORS - BLACK
- 09 PVC WINDOW - BLACK
- 10 METAL HANDRAIL/GUARD - BLACK
- 11 DOWNSPOUT GUTTER - WHITE
- 12 DOWNSPOUT GUTTER - BLACK



1 NORTH ELEVATION
SCALE: 1/8"

THESE DRAWINGS AND DESIGNS ARE THE SOLE PROPERTY OF HORIZON NORTH AND MAY NOT BE REPRODUCED OR SUBMITTED TO OUTSIDE PARTIES WITHOUT THE EXPRESSED WRITTEN CONSENT OF HORIZON NORTH				
1.	2022.05.18	REISSUED FOR DEVELOPMENT PERMIT	CP	CZ
No.	Y	M	D	REVISION BY
				CHKD



PROJ # :	221253
TN # :	
SCALE :	
DRAWN BY :	CP
CHECKED :	CZ

PACIFIC COMMUNITY RESOURCES SOCIETY
13102 112TH AVENUE, SURREY, BRITISH COLUMBIA
NORTH ELEVATION

DWG No.: **A4.3**



1 NW VIEW
SCALE: NTS



2 SW VIEW
SCALE: NTS



3 SE VIEW
SCALE: NTS

*RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY.
FOR FURTHER INFORMATION REFER TO ELEVATIONS.

THESE DRAWINGS AND DESIGNS ARE THE SOLE PROPERTY OF HORIZON NORTH AND MAY NOT BE REPRODUCED OR SUBMITTED TO OUTSIDE PARTIES WITHOUT THE EXPRESSED WRITTEN CONSENT OF HORIZON NORTH

No.	Y	M	D	REVISION	BY	CHKD
1.	2022	05	18	REISSUED FOR DEVELOPMENT PERMIT	CP	CZ



Pacific Community Resources Society



PROJ # :	221253
TN # :	
SCALE :	
DRAWN BY :	CP
CHECKED :	CZ

PACIFIC COMMUNITY RESOURCES SOCIETY
13102 112TH AVENUE, SURREY, BRITISH COLUMBIA
RENDERINGS

DWG No.: **A5.0**



SOFTSCAPE LEGEND			
	<table border="1"> <tr> <td>2</td> <td>L-04</td> </tr> </table> <p>PROPOSED TREES Minimum 500mm depth growing medium, complete with mulch. Refer to details. Installed as per Canadian Landscape Standards.</p>	2	L-04
2	L-04		
	<table border="1"> <tr> <td>3 & 5</td> <td>L-04</td> </tr> </table> <p>SHRUB PLANTING Minimum 450mm depth import growing medium complete with mulch. Refer to details. Installed as per Canadian Landscape Standards.</p>	3 & 5	L-04
3 & 5	L-04		
	<table border="1"> <tr> <td>5</td> <td>L-04</td> </tr> </table> <p>HYDROSEED Minimum 150mm depth import growing medium. Refer to details.</p>	5	L-04
5	L-04		

HARDSCAPE LEGEND			
	<table border="1"> <tr> <td>1</td> <td>L-05</td> </tr> </table> <p>CONCRETE Pedestrian rated access - 100mm thick</p>	1	L-05
1	L-05		
	<table border="1"> <tr> <td>2</td> <td>L-05</td> </tr> </table> <p>GRAVEL Refer to detail for aggregates size and thickness.</p>	2	L-05
2	L-05		
	<p>WOOD CHIPS At 100mm depth with filter fabric</p>		

SITE FURNISHING LEGEND			
	<table border="1"> <tr> <td>7</td> <td>L-05</td> </tr> </table> <p>BAYVIEW PARK BENCH OR EQUIVALENT Type: BV-6 Size: 72"W x 25"D x 33"H Colour: Black textured frame, walnut slats Supplier: Wishbone Site Furnishings Installation: Bolt mounted, install as per manufacturer's specifications.</p>	7	L-05
7	L-05		
	<table border="1"> <tr> <td>6</td> <td>L-05</td> </tr> </table> <p>RUTHERFORD PICNIC TABLE OR EQUIVALENT Type: RPTN-C, wheelchair accessible Size: 72"W x 59.25"D x 30"H Colour: Cardinal textured black frame, walnut slats Supplier: Wishbone Site Furnishings Installation: Bolt mounted, install as per manufacturer's specifications.</p>	6	L-05
6	L-05		
	<table border="1"> <tr> <td>8</td> <td>L-05</td> </tr> </table> <p>BIKE RACK Type: Campus Rack or equivalent Mount: Surface Colour: Black Supplier: Habitat Systems</p>	8	L-05
8	L-05		
	<table border="1"> <tr> <td>5</td> <td>L-05</td> </tr> </table> <p>TROUGH GARDEN PLANTER MODEL: 50130048 SIZE: 24"X24"X18" SUPPLIER: BEHEN COUNTRY</p>	5	L-05
5	L-05		
	<table border="1"> <tr> <td>1</td> <td>L-06</td> </tr> </table> <p>PROPOSED 1.8m HT WOOD FENCE AND GATE. Provide shop drawing of fence prior to fabrication. Refer to detail.</p>	1	L-06
1	L-06		
	<table border="1"> <tr> <td>2</td> <td>L-06</td> </tr> </table> <p>PROPOSED 1.2m HT SPLIT RAIL FENCE AND GATE. Provide shop drawing of fence prior to fabrication. Refer to detail.</p>	2	L-06
2	L-06		
	<table border="1"> <tr> <td>9</td> <td>L-05</td> </tr> </table> <p>GAZEBO / GARDEN SHED Refer to detail for product specifications and sizes.</p>	9	L-05
9	L-05		

- 1 L-06 1.8m HT WOOD FENCE
- 7 L-05 NEW FLOWERING TREE TYP.
- 7 L-05 BENCH
- GARDEN SHED
- 5 L-05 TROUGH PLANTER
- 6 L-05 PICNIC TABLE
- 9 L-05 GAZEBO
- NEW FLOWERING TREE TYP.
- 7 L-05 BENCH
- 1 L-06 1.8m HT WOOD FENCE
- 2 L-05 HYDROSEED
- 2 L-05 GRAVEL
- EXISTING STREAM
- 1 L-06 PLANTING ON THE SLOPE
- 2 L-06 1.2m HT SPLIT RAIL FENCE
- 1.5M WIDTH PLANTING

- 2 L-06 1.2m HT SPLIT RAIL FENCE
- NEW CONIFEROUS TREE TYP.
- 8 L-05 BIKE RACK
- 131 STREET
- NEW SIDEWALK BY OTHERS
- BOULEVARD TREE TYP.
- 8 L-05 BIKE RACK
- 1 L-05 CONCRETE PAVING
- TRANSFORMER ON CONCRETE PAD

112 AVENUE

LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING
1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

PROJECT PACIFIC COMMUNITY RESOURCES SOCIETY		ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")	
CLIENT NIR MODULAR SOLUTIONS	DESIGN BY MH	5 2022/05/08 RE-ISSUED FOR DP	AP
CONSULTANT WSP CANADA INC.	DRAWN BY AP	4 2022/05/03 ISSUED FOR 50% BP REVIEW	AP
	CHECKED BY MH	3 2022/04/29 ISSUED FOR BP	AP
	PROJECT #	2 2022/04/22 ISSUED FOR REVIEW	AP
	SCALE		
		NO. DATE DESCRIPTION BY	

SEALED	DESIGN BY MH	SHEET TITLE LAYOUT AND MATERIAL PLAN
	DRAWN BY AP	SHEET NO.
	CHECKED BY MH	
	PROJECT #	
	SCALE	
		1:50

L-02



TREE SCHEDULE					
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	8	<i>Acer rubrum 'Red Sunset'</i>	Red maple tree	B&B, 8cm cal., 1.8m ht standard	As shown
	5	<i>Crategeus douglasii</i>	Black Hawthorn	B&B, 8cm cal., 1.8m ht standard	As shown
	12	<i>Chamaecyparis nootkatensis</i>	Yellow cedar	B&B, 3m HT.	As shown
	4	<i>Prunus serrulata 'Kwanzan'</i>	Kwanzen flowering cherry	B&B, 8cm cal., 1.8m ht standard	As shown

SHRUB SCHEDULE					
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
AI	33	<i>Arctostaphylos uva-ursi</i>	Kinnikinnik	#2 Pot, full	100 mm o.c.
EG	30	<i>Buxus 'Green Velvet'</i>	Green velvet boxwood	#2 Pot, full	100mm o.c.
CI	33	<i>Cornus sanguinea 'Midwinter Fire'</i>	Bloodtwig dogwood	#2 pot, full	1000 mm o.c.
HA	5	<i>Hakonechloa macra 'Aureola'</i>	Japanese forest grass	#2 Pot, full	1200 mm o.c.
LA	36	<i>Lavandula angustifolia 'munsiead'</i>	English lavender	#2 Pot, full	600mm o.c.
FJ	19	<i>Pieris japonica 'Brouwer's Beauty'</i>	Brouwer's Beauty Japanese andromeda	#2 Pot, full	1000 mm o.c.
FL	16	<i>Prunus laurocerasus 'Genolia'</i>	Genolia English Laurel	#2 Pot, full	1000 mm o.c.
SP	21	<i>Spiraea x bumalda 'Firelight'</i>	Firelight spiraea	#2 Pot, full	900mm o.c.

- PLANTING NOTES:**
- All work of the contractor shall meet or exceed all standards and specifications established in the latest edition of the Canadian Landscape Standard.
 - All plant material must be certified to be free of sudden oak death (*Phytophthora ramorum*), according to the Canadian Food Inspecter Agency (C.F.I.A.), or C.S.L.A. standards, plant material to be made available for optional inspection by the Contract Administrator at source of supply.
 - The contractor shall provide a (1) year replacement warranty on all plant material to the owner from the date of substantial completion.
 - The quantities shown on the plan shall take precedence over the quantities shown on the plant list. The contractor shall notify the Contract Administrator of any discrepancies prior to ordering and installing plant material.
 - The contractor shall not substitute plant material or products without written consent of the Contract Administrator. The contractor shall be responsible for the removal and replacement of any unapproved substitutions.
 - Arrange plants in containers for consultant's review and approval of placement prior to installation.
 - All trees are to be planted with trunk flare at finished grade to match original nursery grade, contractor to obtain consultant's approval of final tree depth prior to placement of finished material. Trees planted at improper depth and without final approval may be subject to removal at contractor's expense.
 - Growing medium shall meet the following Canadian Landscape Standards:
 Planting beds: "2P"
 The contractor shall provide a soil sample and test to the contract administrator demonstrating that the growing medium meets these specifications prior to delivery to the site. The contractor will be responsible for the removal and replacement of any untested / non specification growing medium at their own expense.
 Placement - the contractor shall place the growing medium at the following minimum depths
 Trees: 900mm
 Planting beds : 650mm
 - Contractor shall supply and place composted bark mulch 50mm deep. Mulch is not to bury tree trunk flare. Accommodate for mulch depth when planting trees. Sample of mulch to be provided to consultant for approval prior to placement.

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **May 24, 2022** PROJECT FILE: **7822-0014-00**

RE: **Engineering Requirements
Location: 13102 112A Ave**

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- 3.0-metre x 3.0-metre corner cut at 131 Street and 112 Avenue intersection: and
- Register 0.50-metre statutory right-of-way (SRW) along 112A Avenue.

Works and Services

- Construct east side of 131 Street.
- Construct north side of 112 Avenue.
- Construct min. 250mm storm sewer on 112 Avenue for road drainage.
- Construct minimum 250mm sanitary main along 112 Avenue up to their East PL.
- Upsize the existing 150mm main located on east side of 12993 KGB to 300mm.
- Construct a new 300mm water main on 131 Street; and
- Construct storm, sanitary, and water service connections to service the site.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.



Jeff Pang, P.Eng.
Development Services Manager

BD



APPENDIX F: CITY OF SURREY SUMMARY FORM

Surrey Project No.: **16 0442 00**
 Project Address: **131 Street at 121 Avenue, Surrey, BC**
 Consulting Arborist: **Nick McMahon**

ON-SITE TREES:	QUANTITY OF TREES
Total Bylaw Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, excluding Park and ESA dedications)	26
Bylaw Protected Trees to be Removed	25
Bylaw Protected Trees to be Retained (excludes trees in Park dedication areas and ESA's)	1
Replacement Trees Required: Alder and Cottonwood at 1:1 ratio: 17 times 1 = 17 All Other Bylaw Protected Trees at 2:1 ratio: 8 times 2 = 16 TOTAL:	33
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees Retained in Proposed Open Space/ Riparian Areas	144

OFF-SITE TREES:	QUANTITY OF TREES
Bylaw Protected Off-Site Trees to be Removed	0
Replacement Trees Required: Alder and Cottonwood at 1:1 ratio: 0 times 1 = 0 All Other Bylaw Protected Trees at 2:1 ratio: 0 times 2 = 0 TOTAL:	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

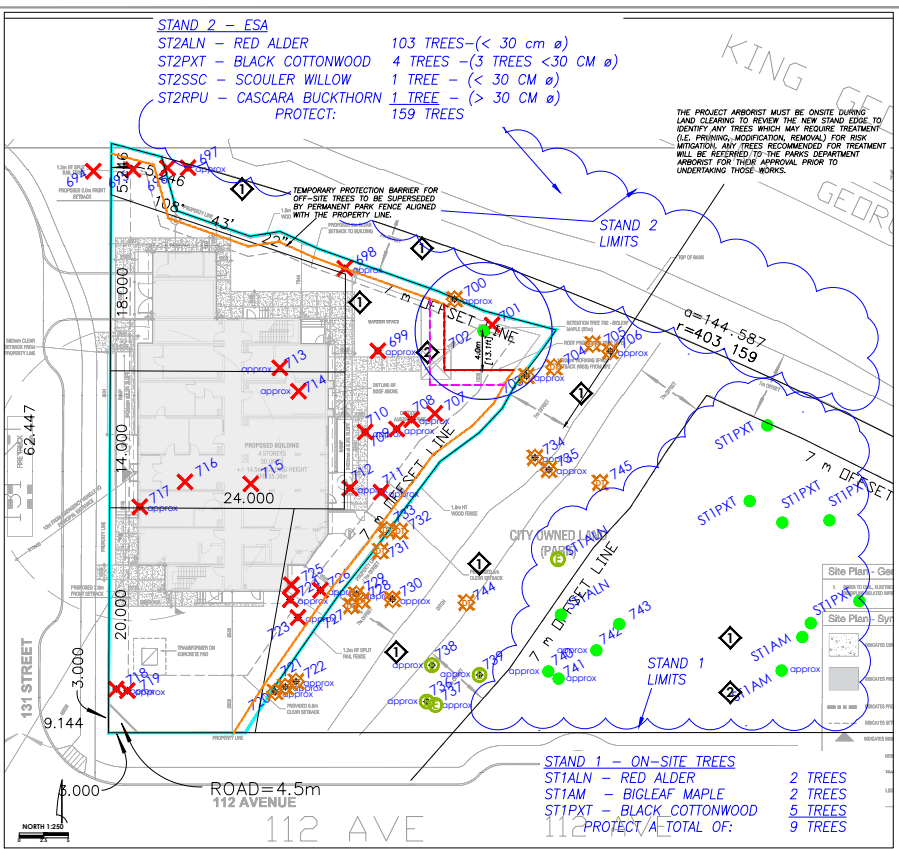
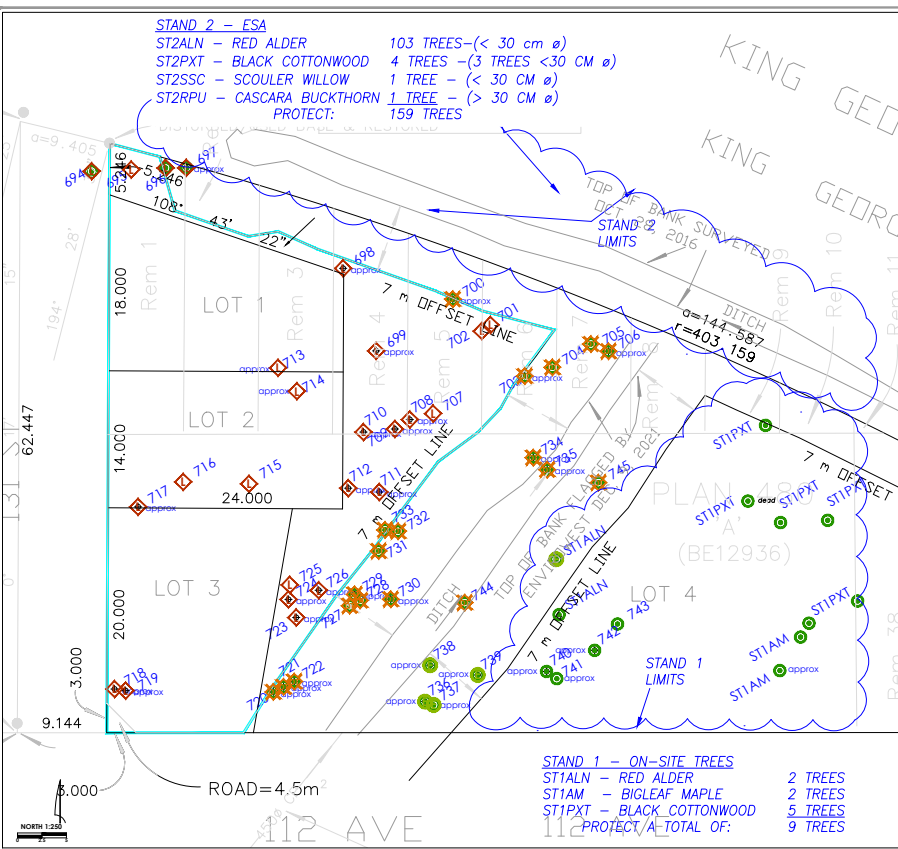
N/A denotes information "Not Available" at this time.

This summary and the referenced documents are prepared and submitted by:

Nick McMahon, Senior Consulting Arborist

Dated: May 17, 2022

Direct: 604 812 2986
 Email: nick@aclgroup.ca



TREE ASSESSMENT DETAIL - TOPOGRAPHIC BASE PLAN
HEALTH AND STRUCTURE CONDITION OF EXISTING TREES - FOR INFORMATION ONLY

TREE RETENTION AND PROTECTION DETAIL - PROJECT DESIGN BASE
PRESCRIPTION FOR EXISTING TREES RELATED TO THE PROPOSED DEVELOPMENT

LEGEND - TREE ASSESSMENT:

XXX	INDICATES UNKNOWN - I OR REFERENCE
XXXX	INDICATES KNOWN - I OR REFERENCE
O	INDICATES APPROXIMATE LOCATION - I OR REFERENCE
1	INDICATES TREE CONDITION - I OR REFERENCE
2	INDICATES TREE CONDITION - I OR REFERENCE
3	INDICATES TREE CONDITION - I OR REFERENCE
4	INDICATES TREE CONDITION - I OR REFERENCE
5	INDICATES TREE CONDITION - I OR REFERENCE
6	INDICATES TREE CONDITION - I OR REFERENCE
7	INDICATES TREE CONDITION - I OR REFERENCE
8	INDICATES TREE CONDITION - I OR REFERENCE
9	INDICATES TREE CONDITION - I OR REFERENCE

LEGEND - TREE PROTECTION:

STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE

DRAWING SIZE AND COORDINATES:

This drawing is intended to be used for information only. It is not intended to be used as a legal document. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall also be responsible for protecting existing trees and structures during construction. The contractor shall also be responsible for removing any trees that are not shown on this drawing. The contractor shall also be responsible for restoring any areas that have been disturbed during construction. The contractor shall also be responsible for maintaining accurate records of all work done on this project. The contractor shall also be responsible for providing a copy of this drawing to the client upon completion of the project.

LEGEND - TREE PROTECTION:

STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE
STAMP	INDICATES TREE PROTECTION STATUS - I OR REFERENCE

LEGEND - ENVIRONMENTAL PROTECTION AREA (EPA):

STAMP	INDICATES ENVIRONMENTAL PROTECTION AREA - I OR REFERENCE
STAMP	INDICATES ENVIRONMENTAL PROTECTION AREA - I OR REFERENCE
STAMP	INDICATES ENVIRONMENTAL PROTECTION AREA - I OR REFERENCE
STAMP	INDICATES ENVIRONMENTAL PROTECTION AREA - I OR REFERENCE
STAMP	INDICATES ENVIRONMENTAL PROTECTION AREA - I OR REFERENCE
STAMP	INDICATES ENVIRONMENTAL PROTECTION AREA - I OR REFERENCE
STAMP	INDICATES ENVIRONMENTAL PROTECTION AREA - I OR REFERENCE
STAMP	INDICATES ENVIRONMENTAL PROTECTION AREA - I OR REFERENCE
STAMP	INDICATES ENVIRONMENTAL PROTECTION AREA - I OR REFERENCE
STAMP	INDICATES ENVIRONMENTAL PROTECTION AREA - I OR REFERENCE

DRAWING SIZE AND COORDINATES:

This drawing is intended to be used for information only. It is not intended to be used as a legal document. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall also be responsible for protecting existing trees and structures during construction. The contractor shall also be responsible for removing any trees that are not shown on this drawing. The contractor shall also be responsible for restoring any areas that have been disturbed during construction. The contractor shall also be responsible for maintaining accurate records of all work done on this project. The contractor shall also be responsible for providing a copy of this drawing to the client upon completion of the project.

APPENDIX C: TREE MANAGEMENT DRAWING

TREE PROTECTION STANDARDS MEASURES:

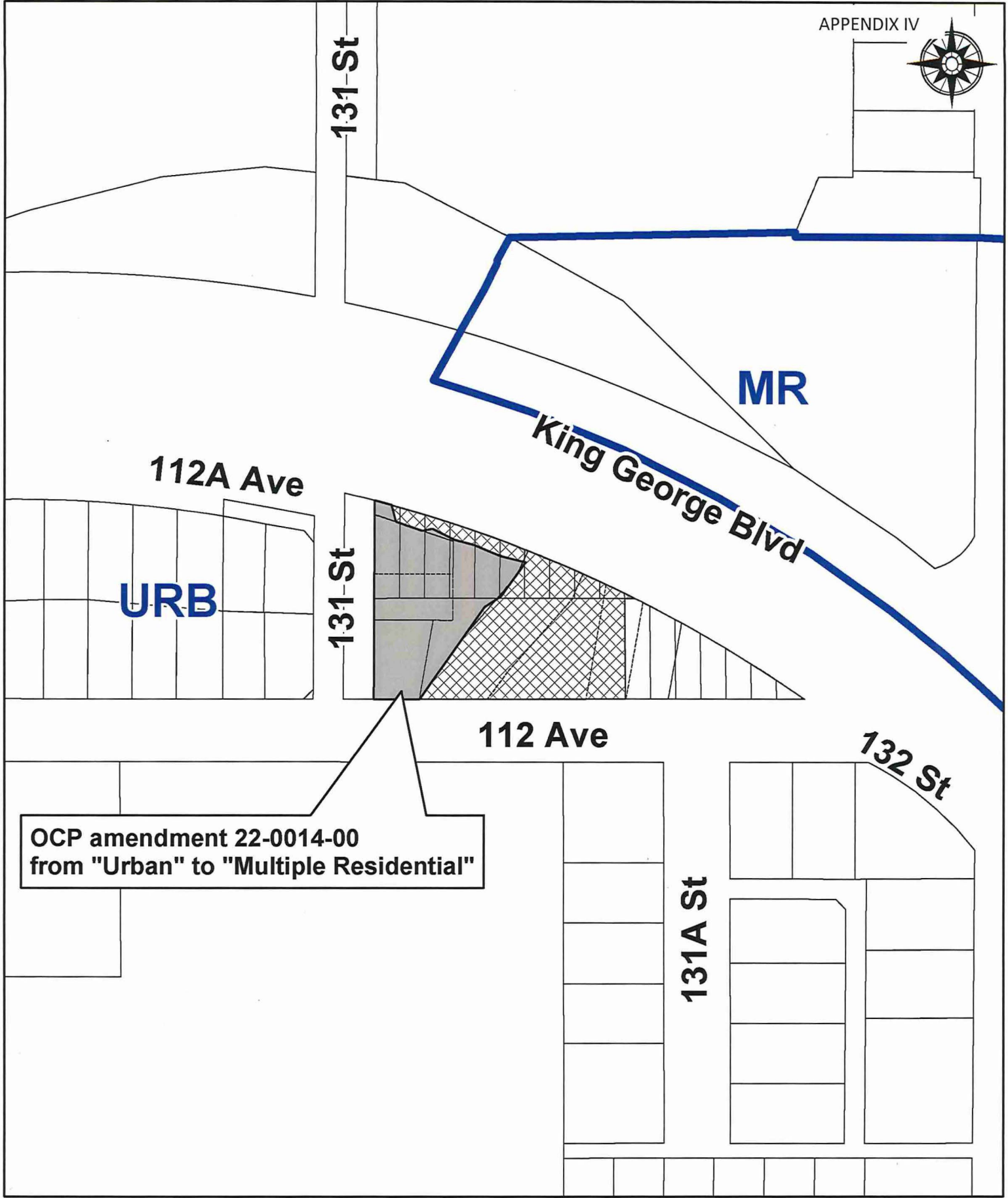
- As a general product contract to the (SO) the Client is required to maintain compliance with The Protection Specifications (see Appendix C in the reference documents). Keep the PA delineated at all times and as shown, and as it is revised or altered due to the following: correct, re-define and/or give an updated work order advice on the site as follows:
 - Update and improve the tree protection barrier installation and provide barrier sign-off report
 - Update and improve the tree protection barrier installation and provide barrier sign-off report
 - Update and improve the tree protection barrier installation and provide barrier sign-off report
- Update and improve the tree protection barrier installation and provide barrier sign-off report
- Update and improve the tree protection barrier installation and provide barrier sign-off report

TREE PROTECTION SPECIAL MEASURES:

- Update and improve the tree protection barrier installation and provide barrier sign-off report
- Update and improve the tree protection barrier installation and provide barrier sign-off report
- Update and improve the tree protection barrier installation and provide barrier sign-off report

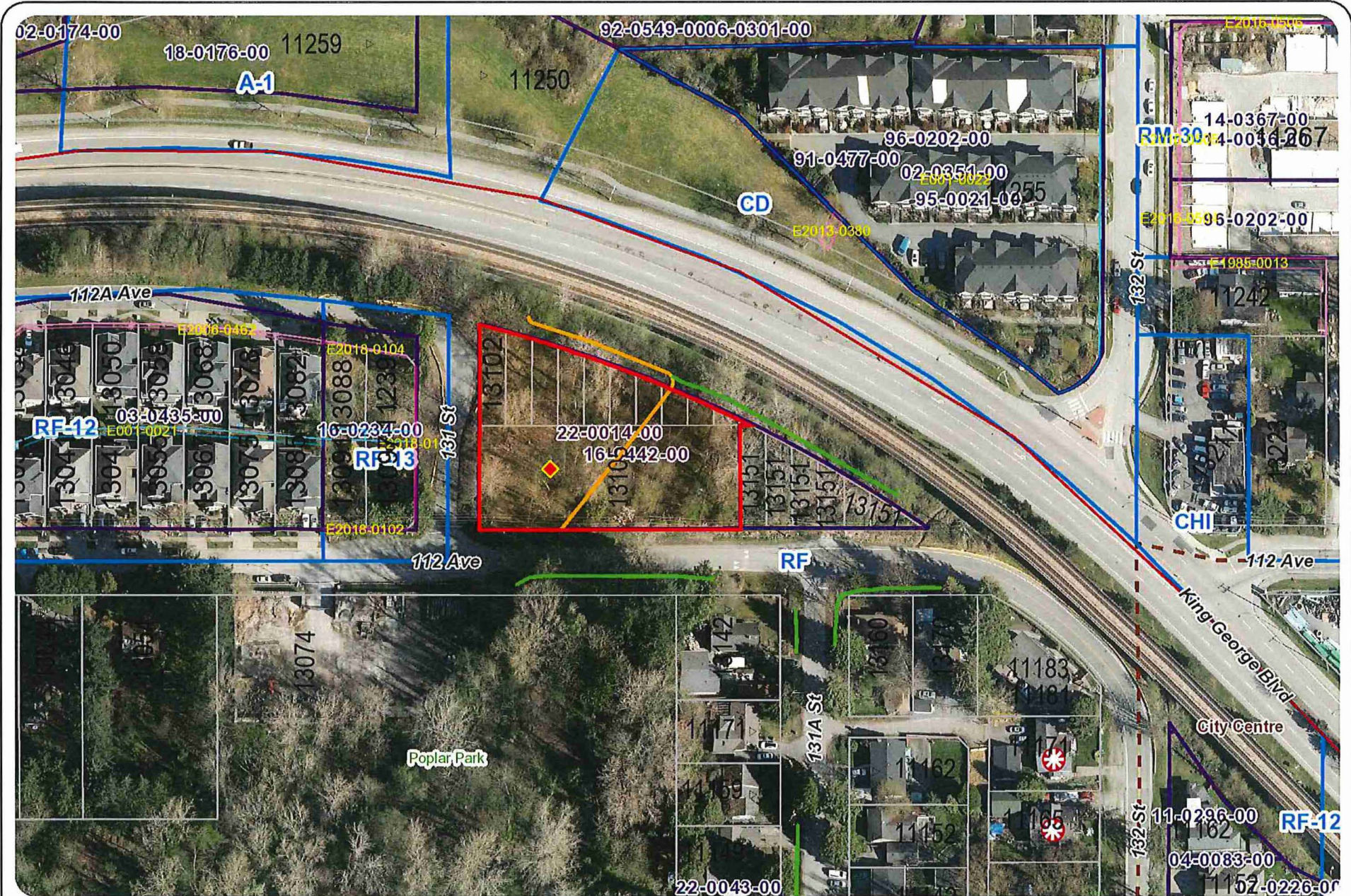
PROJECT PROPOSED DEVELOPMENT
CLIENT: 131 STREET AT 112 AVENUE, SURREY
CITY REF: [REDACTED] [REDACTED]
CLIENT: CITY OF SURREY
PROJECT NO: 221434 REV: 11 DATE: MAY 17, 2022

ARBORTECH
 104-12201 HORSBURY WAY, RICHMOND, BC V6X 4Y4 TEL: 604-272-3440



OCP amendment 22-0014-00
 from "Urban" to "Multiple Residential"

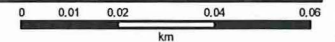




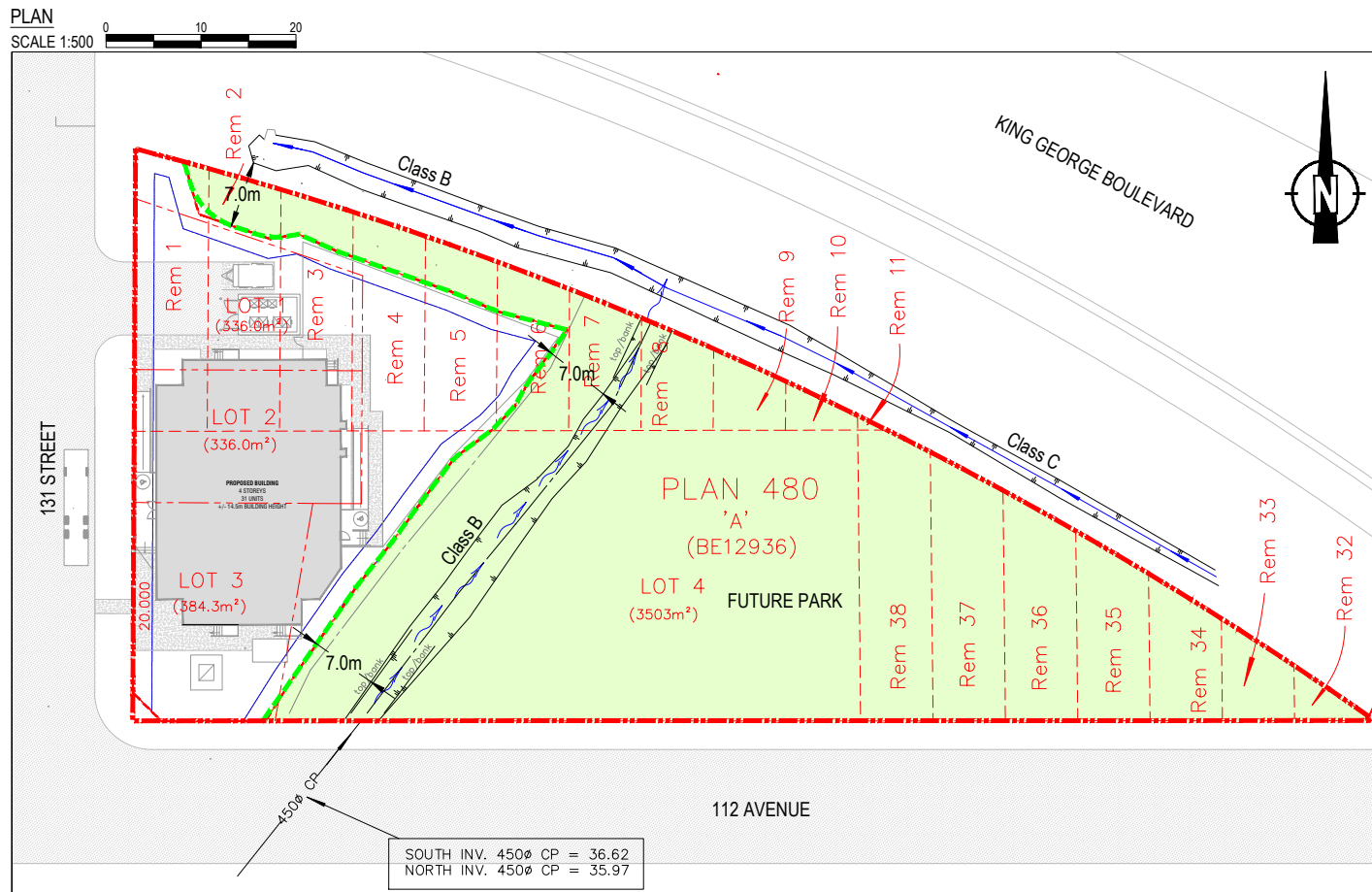
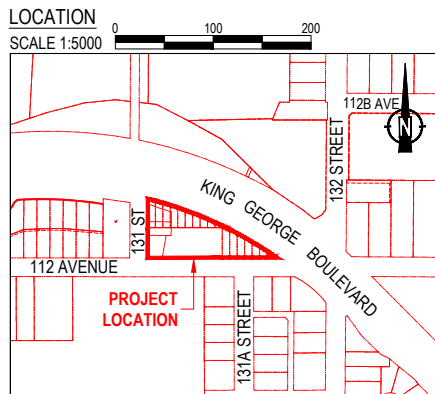
Enter Map Description

Scale: 1:1,500

The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at cosmos.surrey.ca



Map created on: 2022-05-17



LEGEND

- Property Boundary
- Bylaw Setback

REFERENCE DRAWINGS

1. File: S2787G_WATERCOURSE. "Sketch Showing Top of Bank of Ditches on a Portion of Section 9 Block 5 North Range 2 West New Westminster District". December 15, 2021. City of Surrey.
2. Drawing No. A1.0. "Site Plan". Dexterra Group Inc.
3. File: S2787G_rev5. "Subdivision Plan of Portions of Section 9 Block 5 North Range 2 West Being: New Westminster District BCGS 92G.026". May 18, 2021. City of Surrey.
4. File: S2787G_preliminary6.dwg. Received April 18, 2018; City of Surrey.
5. File: S2787G_Topo.dwg. "Topographic Survey Plan Over a Portion of Section 9 Block 5 North Range 2 West New Westminster District". October 28, 2016. City of Surrey.
6. 2018 Legal Base from City of Surrey.

CITY OF SURREY

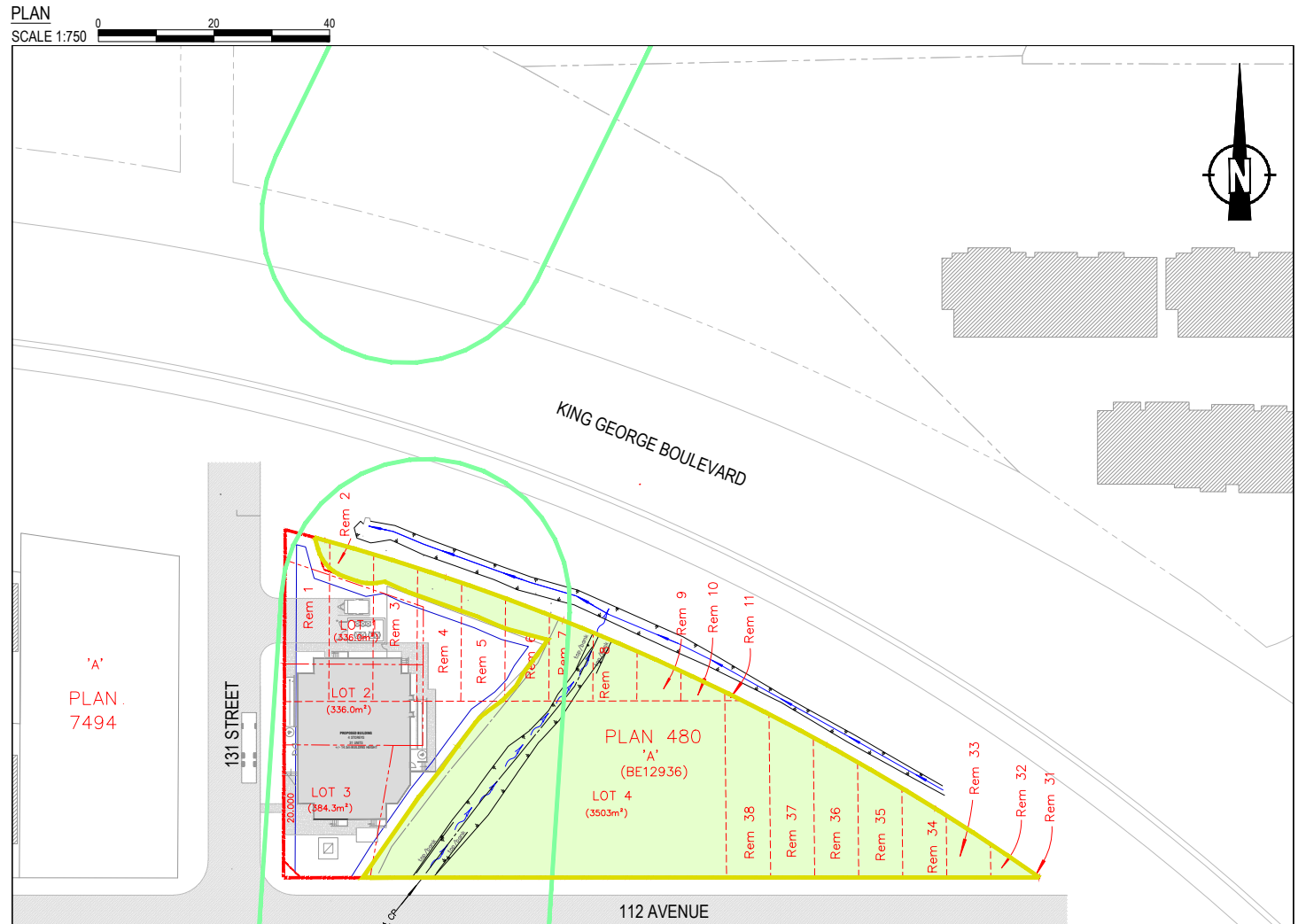
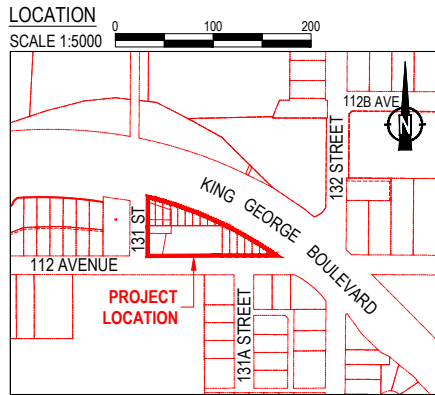
13102 KING GEORGE BOULEVARD
Surrey, BC

www.enviowest.ca

2000 Hartley Avenue
Coquitlam, British Columbia
Canada V3K 6W5

office: 604-944-0502
facsimile: 604-944-0507
saper@vedere@enviowest.ca

SETBACKS			
DESIGN: RWS	DRAWN: CEV/SDJ	CHECKED: RWS	REVISION: 03
SCALE: As Shown	PROJECT NUMBER: 111-343	REVISION DATE: May 02, 2022	
DATE: April 25, 2018	DRAWING NUMBER: 111-343-01		



LEGEND

	Property Boundary
	Existing GIN
	Proposed GIN

REFERENCE DRAWINGS

1. File: S2787G_WATERCOURSE. "Sketch Showing Top of Bank of Ditches on a Portion of Section 9 Block 5 North Range 2 West New Westminster District". December 15, 2021. City of Surrey.
2. Drawing No. A1.0. "Site Plan". Dexterra Group Inc.
3. File: S2787G_rev5. "Subdivision Plan of Portions of Section 9 Block 5 North Range 2 West Being: New Westminster District BCGS 92G.026". May 18, 2021. City of Surrey.
4. File: S2787G_preliminary6.dwg. Received April 18, 2018; City of Surrey.
5. File: S2787G_Topo.dwg. "Topographic Survey Plan Over a Portion of Section 9 Block 5 North Range 2 West New Westminster District". October 28, 2016. City of Surrey.
6. 2018 Legal Base from City of Surrey.

CITY OF SURREY

13102 KING GEORGE BOULEVARD
Surrey, BC

envirowest
www.envirowest.ca

envirowest consultants inc.

2000 Hartley Avenue
Coquitlam, British Columbia
Canada V3K 6W5

office: 604-944-0502
facsimile: 604-944-0507
sapev@envirowest.ca

GREEN INFRASTRUCTURE NETWORK (GIN)			
DESIGN: RWS	DRAWN: CEV/SDJ	CHECKED: RWS	REVISION: 02
SCALE: As Shown	PROJECT NUMBER: 111-343	REVISION DATE: May 02, 2022	
DATE: April 25, 2018	DRAWING NUMBER: 111-343-02		