

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7921-0334-00

Planning Report Date: May 9, 2022

PROPOSAL:

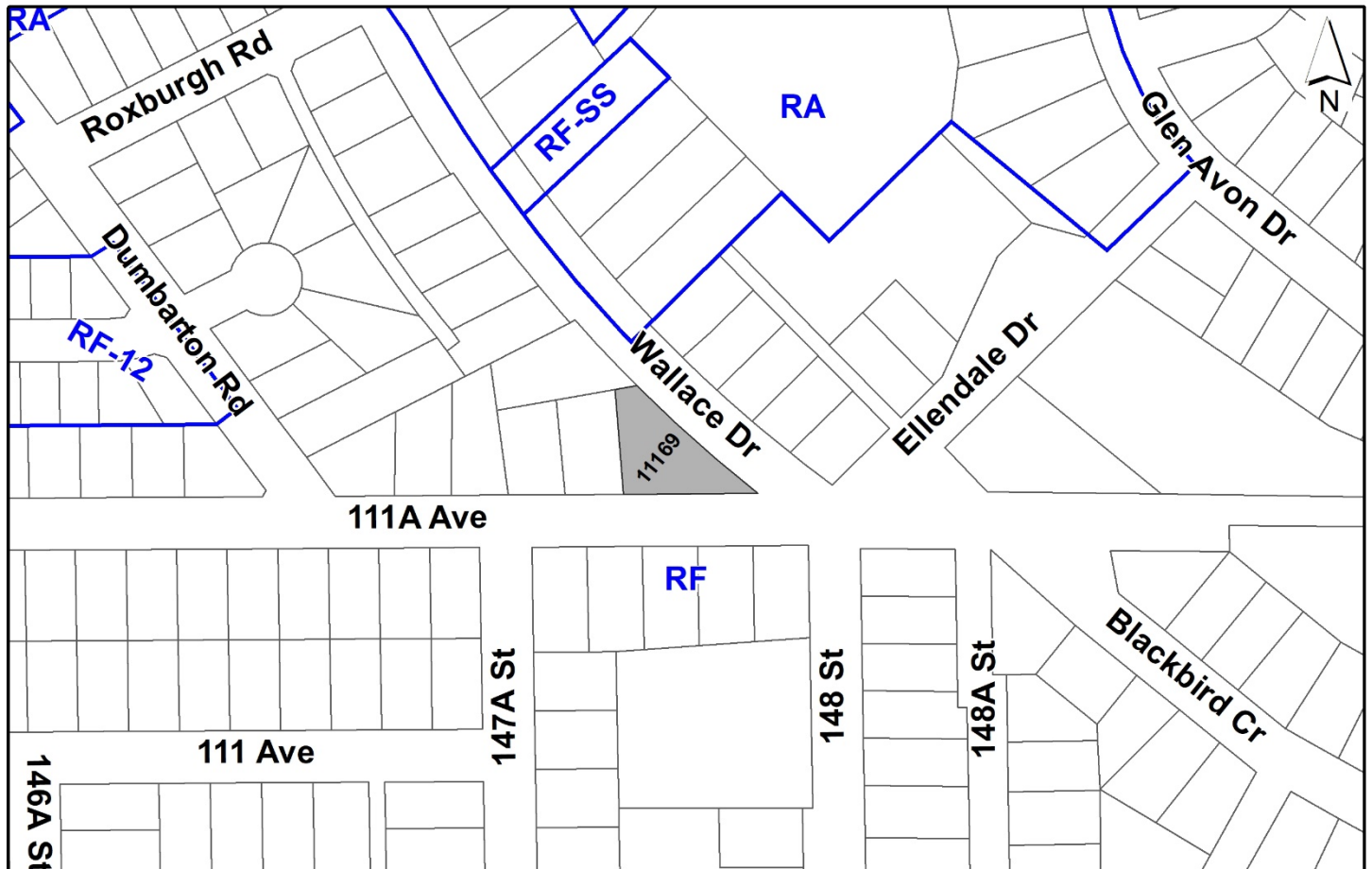
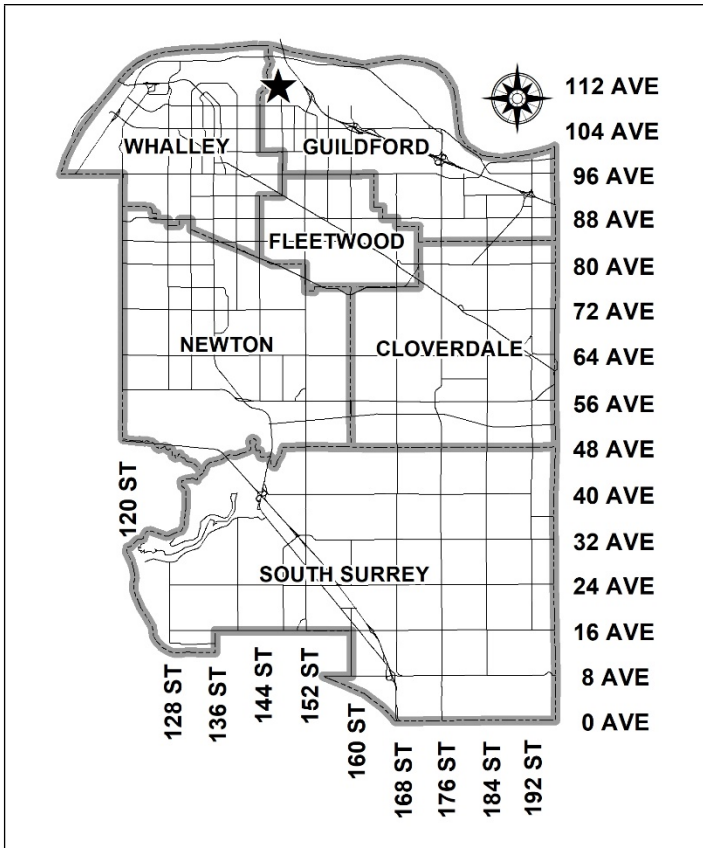
- **Development Variance Permit**

to reduce building setbacks, lot depth and to allow basement wells in a front yard in order to allow subdivision into two (2) single family lots.

LOCATION: 11169 - Wallace Drive

ZONING: RF

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing a variance to reduce building setbacks, lot depth and to allow basement wells in the front (north) yard of the RF Zone for a proposed 2-lot subdivision.

RATIONALE OF RECOMMENDATION

- Proposed Lots 1 and 2 comply with the minimum lot area and lot width requirements of the RF Zone (with a 10% allowable reduction to lot area for proposed Lot 2).
- The proposed subdivision to create two RF-Zoned lots, with proposed variances addressing setbacks, lot depth and allowing basement wells in the front yard of the RF Zone, allows for construction of typical RF Zone type housing.
- The proposed variances facilitate subdivision of an irregular shaped lot while also staying consistent with the established neighborhood character (RF lots).
- The proposed lot configuration allows for 6-metre-long driveway accesses for vehicle parking, along with adequate front and rear yard space on both proposed lots.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7921-0334-00 (Appendix V) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum south front yard setback of the RF Zone from 7.5 metres to 6.0 metres to the principal building face on proposed Lots 1 and 2;
 - (b) to reduce the minimum northeast front yard setback of the RF Zone from 7.5 metres to 2.4 metres to the principal building face on proposed Lot 2;
 - (c) to reduce the minimum west side yard setback of the RF Zone from 1.8 metres to 1.2 metres to the principal building face on proposed Lot 2;
 - (d) to reduce the minimum lot depth of the RF Zone from 28 metres to 16.9 metres for proposed Lot 2; and
 - (e) to vary the RF Zone to allow a basement access well and staircase to be located between the principal building and the front (north) lot line on proposed Lots 1 and 2.
2. Council instruct staff to resolve the following issues prior to issuance:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (e) the applicant adequately address the City's needs with respect to the City's Affordable Housing Strategy, to the satisfaction of the General Manager, Planning & Development Services;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
 - (g) registration of a Section 219 Restrictive Covenant for tree retention on proposed Lot 1.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Single family dwelling	Urban	RF
North (Across Wallace Drive):	Single family dwellings under Application No's 19-0025 and 19-0049 which received 3 rd Reading on June 15, 2020.	Urban	RA
East (Across Wallace Drive):	Single family dwellings	Urban	RF
South (Across 111A Avenue):	Single family dwellings	Urban	RF
West:	Single family dwellings	Urban	RF

Context & Background

- The 1,223 square metre subject property is located at 11169 – Wallace Drive in Bolivar Heights. The irregular shaped lot is approximately 51.7 metres in width and 40.5 metres in depth at its deepest point.
- The subject site is designated as “Urban” in the Official Community Plan (OCP) and is zoned “Single Family Residential Zone (RF)”.
- The surrounding neighborhood is characterized by RF and RA zoned single family residential lots.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposed to subdivide the subject property from one (1) lot into two (2) lots under the Single-Family Residential Zone (RF).
- The proposed subdivision has merit as it meets the intent of the RF zone and is consistent with the surrounding residential neighborhood character.
- A Development Variance Permit is also requested to reduce setbacks, lot depth and to allow basement wells in the front (north) yard of the RF Zone to facilitate the proposed 2-lot subdivision (see By-law Variances section).

Themes/Policies

- The proposed single family residential subdivision is supported by the following OCP policy:
 - A3.5 – Support infill development that is appropriate in scale and density to its neighbourhood context that uses compatible design to reinforce neighbourhood character.
 - *The proposed RF lots offers an appropriate transition to the RF zoned lots to the immediate west.*

Zoning By-law

- The subject property is zoned RF.
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Single Family Residential Zone (RF)" and parking requirements.

RF Zone (Part 16)	Permitted and/or Required	Proposed
Yards and Setbacks (RF Zone)		
Lot 1		
(South) Front Yard:	7.5 metres	6.0 metres*
(West) Side Yard:	1.8 metres	1.8 metres
(East) Side Yard:	1.8 metres	1.8 metres
(North) Front Yard:	7.5 metres	7.5 metres
Lot 2		
(South) Front Yard:	7.5 metres	6.0 metres*
(West) Side Yard:	1.8 metres	1.2 metres
(Northeast) Front Yard:	7.5 metres	2.4 metres*
Lot Size (RF Zone)		
Lot 1		
Lot Size:	560 square metres	581 square metres
Lot Width:	15 metres	15.1 metres*
Lot Depth:	28 metres	31.9 – 40.6 metres
Lot 2		
Lot Size:	560 square metres	516 square metres**
Lot Width:	15 metres	30.6 metres
Lot Depth:	28 metres	16.9 – 31.9 metres
Parking (Part 5)		
Number of Spaces	Required	Proposed
	3	3

* Variance requested (see Variances Section).

** Where the land being subdivided is such that only one lot to be created does not have the required minimum lot area, the subdivision may be approved provided that the area of this lot is not less than 90% of the minimum lot area requirement prescribed in the Zone.

Variances

- The applicant is requesting the following variances:
 - to reduce the minimum south front yard setback of the RF Zone from 7.5 metres to 6.0 metres to the principal building face on proposed Lots 1 and 2;
 - to reduce the minimum northeast front yard setback of the RF Zone from 7.5 metres to 2.4 metres to the principal building face on proposed Lot 2;
 - to reduce the minimum west side yard setback of the RF Zone from 1.8 metres to 1.2 metres to the principal building face on proposed Lot 2;
 - to reduce the minimum lot depth of the RF Zone from 28 metres to 16.9 metres for proposed Lot 2; and
 - to vary the RF Zone to allow a basement access well and staircase to be located between the principal building and the front (north) lot line on proposed Lots 1 and 2.
- The subject site has an unconventional triangular shape and fronts onto two roads (Wallace Drive and 111A Avenue. The lot configurations results in both Lots 1 and 2 being categorized as “through lots” with both the north and south property lines being considered “front” lot lines. The requested variances are necessary to facilitate subdivision of this unconventional property.
- The requested variance to reduce the minimum front yard setback for proposed Lots 1 and 2 is not anticipated to have a negative impact on the streetscape along 111A Avenue. The configuration will allow for a 6-metre-long driveway access for vehicle parking and adequate front and rear yard space for both proposed lots.
- The requested variance to reduce the minimum lot depth of the RF Zone for proposed Lot 2 is supportable given that the proposed lot greatly exceeds the 15 metre lot width requirement and is triangular in shape and accommodates yard space in both the northwest and southeast corners of the lot.
- The requested variance to allow the basement access well in a front yard is necessary as the proposed lots, being categorized as “through lots” in the Zoning By-law, do not have a rear yard. The north front yard of both lots is considered the appropriate yard to locate the basement access as it will effectively function as the rear yard on both lots.
- The proposed basement access well provides an exit from the basement and a separate entrance for a secondary suite.
- Staff support the requested variances to proceed for consideration.

Lot Grading and Building Scheme

- The applicant retained Tejeshwar Singh of Simplex Consultants Ltd., as the Design Consultant. The Design Consultant conducted a character study of the surrounding homes and based on the findings of the study, proposed a set of building design guidelines (Appendix III).
- The Character Study involved reviewing a number of existing homes in the neighborhood in order to establish suitable design guidelines for the proposed subdivision. The study found that the only a few homes in the area could be considered acceptable architectural context for the subject site. These homes have mid-scale massing characteristic standards and various roof pitches from 5:12 up to 8:12 slope roofs with one to two street facing feature projections. The Design Consultant has proposed a set of building design guidelines that recommends "West Coast Modern" as the preferred style of home, with a variation of wall cladding materials for a wide range of selection.
- A preliminary lot grading plan, submitted by GurSimer Design and Management Inc, and dated September 7, 2021, has been reviewed by staff and found to be generally acceptable. The applicant does propose in-ground basements. The feasibility of in-ground basements will be confirmed once the City's Engineering Department has reviewed and accepted the applicant's final engineering drawings.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$4,000 per new lot.
- The proposed development will not be subject to the Tier 2 Capital Plan Project CACs as the proposal complies with the densities in the OCP designation.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to contribute \$1,000 per new lot to support the development of new affordable housing.

PUBLIC ENGAGEMENT

- Development Proposal Signs were installed on February 26, 2022. Staff received two responses from neighbouring properties were received (*staff comments in italics*):
- Two residents expressed concerns about development impact to existing trees located on the property.
 - *The applicant has demonstrated through an arborist report and tree retention plan that two existing onsite trees can be retained.*

TREES

- Francis Klimo, ISA Certified Arborist of Klimo & Associates Ltd., prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Common Holly	1	1	0
Coniferous Trees			
Lawson Cypress	1	0	1
Western Red Cedar	4	2	2
Total (excluding Alder and Cottonwood Trees)	6	3	3
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		5	
Total Retained and Replacement Trees		8	
Contribution to the Green City Program		\$550	

- The Arborist Assessment states that there are a total of 6 mature trees on the site. There are no Alder or Cottonwood trees. It was determined that 3 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 6 replacement trees on the site. Since only 5 replacement trees can be accommodated on the site, the deficit of 1 replacement tree will require a cash-in-lieu payment of \$550, representing \$550 per tree to the Green City Program, in accordance with the City's Tree Protection By-law.
- In summary, a total of 8 trees are proposed to be retained or replaced on the site with a contribution of \$550 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

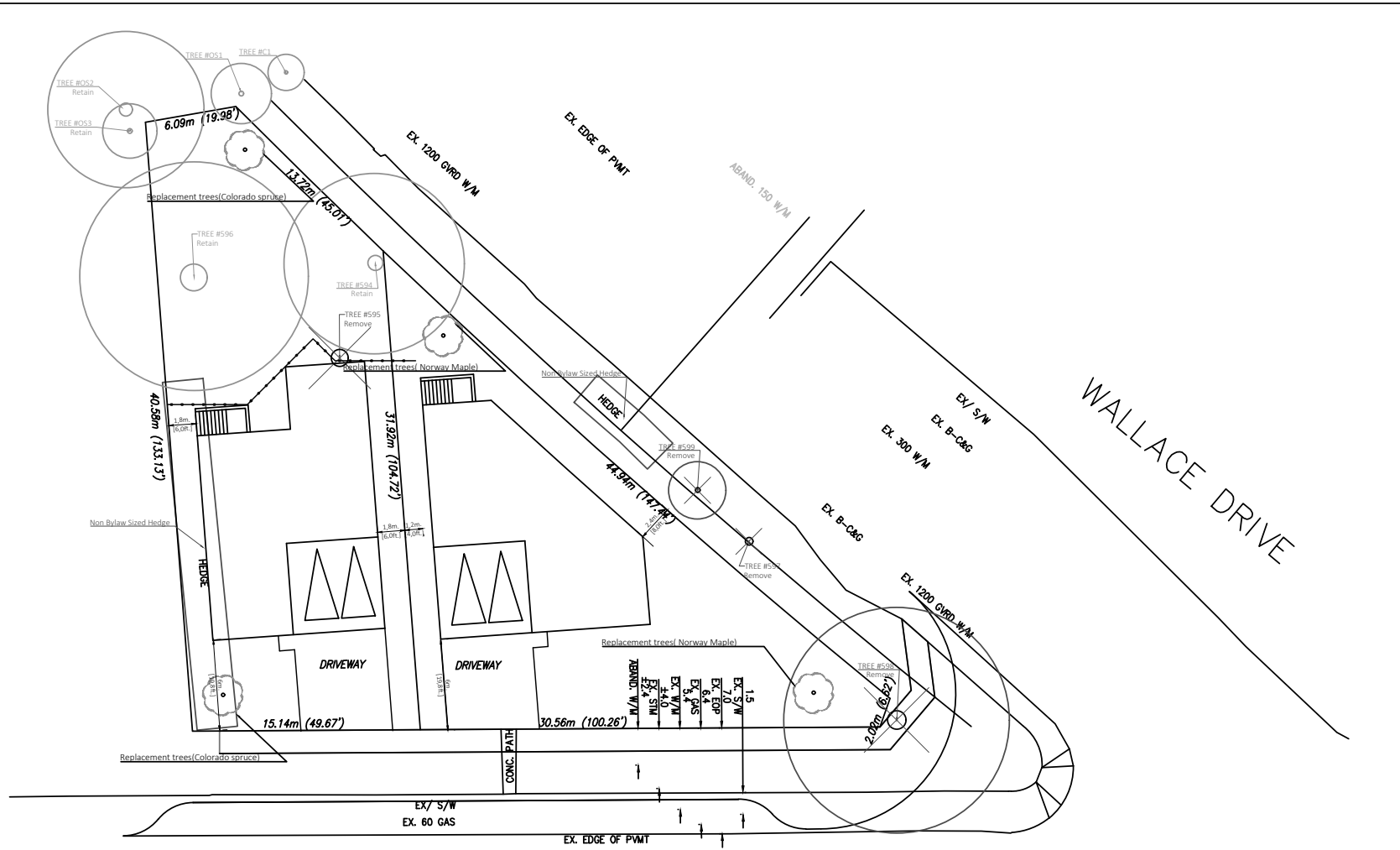
- Appendix I. Proposed Subdivision Layout
- Appendix II. Engineering Summary
- Appendix III. Building Design Guidelines Summary
- Appendix IV. Summary of Tree Survey and Tree Preservation
- Appendix V. Development Variance Permit No. 7921-0334-00

approved by Ron Gill

Jeff Arason
Acting General Manager
Planning and Development

ELM/cm

PROPOSED RESIDENCE for ASH TRIPATHI ON
11169 WALLACE Dr, SURREY, BC



LOT 1	
MAX LOT COVERAGE PERMITTED (38%)	= 2376.00 SF
LOT COVERAGE PROPOSED	= 2037.60 SF
MAX FSR PERMITTED	= 3688.00 SF
FSR PROPOSED	= 3667.08 SF
PROPOSED GARAGE	= 420.00 SF

LOT 2	
MAX LOT COVERAGE PERMITTED (38%)	= 2110.00 SF
LOT COVERAGE PROPOSED	= 1840.63 SF
MAX FSR PERMITTED	= 3332.00 SF
FSR PROPOSED	= 3313.13 SF
PROPOSED GARAGE	= 420.00 SF

DVP REQUIRED FOR SETBACK		
	PERMITTED	PROPOSED
FRONT	7.6m	6.0m
SIDE	1.8m	1.2m
FLANK	3.5m	2.4m

PLAN: 13B-7921-0334-00

DRAWN: JL

SCALE:

DATE: JANUARY 4, 2022



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INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **May 02, 2022** PROJECT FILE: **7821-0334-00**

RE: **Engineering Requirements
Location: 11169 Wallace Dr**

SUBDIVISION***Property and Right-of-Way Requirements***

- Dedicate 1.942m on Wallace Dr.
- Register 0.5m statutory right of way along Wallace Dr.
- Register 0.5m statutory right of way along 111A Ave.

Works and Services

- Construct the sidewalk on Wallace Dr.
- Construct the north side of 111A Ave.
- Construct driveway letdowns to each lot.
- Remove existing access on Wallace Dr.
- Provide storm, sanitary and water service connections to each lot.
- Provide on-site stormwater mitigation features.

A Servicing Agreement is required prior to Subdivision.

DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.

Jeff Pang, P.Eng.
Development Services Manager

IJ

NOTE: Detailed Land Development Engineering Review available on file

BUILDING GUIDELINES SUMMARY

Surrey Project #: 7921-0334-00
 Project Location: 11169 Wallace Drive, Surrey, BC
 Design Consultant: Simplex Consultants Ltd., (Tejeshwar Singh, b.t.arch, AScT, CRD, at.aibc)

This building scheme draft is proposed for the above noted project and has been filed with the City Clerk. Below is the Residential Character Study and the Design Guidelines summary which highlights the important features and forms the basis of the draft Building Scheme.

1. Residential Character

1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

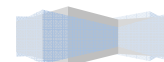
The area surrounding the subject property consists of a majority of homes built approximately 25-30 years ago along with only a handful of newer homes built about 2-5 years ago. The style of the homes in the area "traditional west coast" and "west coast modern" which range from 1200sf up to 3000 sf.

Homes in the neighborhood include the following:

- There are only a handful of homes surrounding the property which are approximately 2-5 years old "west coast modern" style homes with mid-scale massing characteristics. These homes have various roof pitches from 5:12 up to 8:12 slope roofs with one to two street facing feature projections. Roof surfaces are either "shake profile" concrete tiles or asphalt shingles and the cladding is primarily stucco or hardi with stone or brick accents. These newer homes can be used as context homes.
- The majority of homes are approximately 25-30 year old "Ranchers" under 1200 sf., comprised of simple rectangular shapes with low-slope common gable roofs, covered with interlocking tab type asphalt shingle roof surfaces. These homes are clad with mainly siding or stucco.

1.2 Features of the Existing and Surrounding Dwelling Homes Significant to the Proposed Building Scheme:

- 1) Context styles of homes for the proposed building scheme are "West Coast Modern".
- 2) All context homes are 2 or 3 storey homes.
- 3) Front entrances are 1 storey in height.
- 4) Massing: Old homes are mostly west coast modern context.



- 5) Exterior cladding: variation of wall cladding materials allows for a wide range of selection for cladding.
- 6) Roof surface: variation of roofing materials allows for a wide range of selection for roofing.
- 7) Roof pitch is a minimum 4:12 for the newer context homes.

Dwelling Types/Locations: 2 or 3 storey split levels.

Exterior Treatment /Materials: Context homes are clad in stucco, or vinyl siding, and have a stone or brick accent veneer.

Roof Pitch and Materials: A variety of roofing products have been used, and a variety could be permitted.

Window/Door Details: Rectangle or arched.

Streetscape: The neighborhood is fairly new with a similar character within each dwelling. Homes include West Coast Modern style 2 and 3 storey homes that meet modern massing design, modern trim and detailing standards, and modern roofing and construction materials standards. Landscapes range from "modest old urban" to "moderate modern urban".

2. Proposed Design Guidelines

2.1 Proposed Design Solutions:

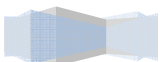
Dwelling Types/Location: 2 storey or 3 storey split levels.

Interfacing Treatment with existing dwellings Strong relationship with neighboring "context homes" including new homes will be of a similar home type and size. Similar massing characteristics, roof types, roof pitches, roofing materials, and siding materials.

Restrictions on Dwellings No basement entry homes permitted.

Exterior Materials: Stucco, Vinyl, Hardiplank, Brick, and Stone.

Colours: "Natural" colours such as browns, greens, clays, and other earth-tones, and "Neutral" colors such as grey, white, and cream are permitted. "Primary" colors in subdued tones such as navy blue, or forest green can



be considered as approved by the consultant. Colours such as pink, rose, peach, salmon are not permitted.

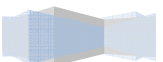
- Roof Pitch:** Minimum roof pitch must be 4:12 and maximum of 12:12.
- Roof Materials:** Shake profile concrete roof tiles, and shake profile asphalt shingles with a raised ridge caps are permitted in Grey, Brown, or Black.
- In-ground basements:** Permitted subject to determination that service invert locations are sufficiently below grade. Basements will appear underground from the front.
- Landscaping:** Landscaping: Moderate modern urban standard: Tree planting as specified on Tree Replacement Plan plus minimum 15 shrubs of a minimum 2 gallon pot size. Sod from street to face of home. Driveways: exposed aggregate, interlocking masonry pavers, stamped concrete, or "broom" or "brush-finished" concrete.
- Tree Planting Deposit:** **\$1,000** (to developer)
– 50% will be refunded after inspection by developer
- Remaining 50% one year after completion of construction
- Compliance Deposit:** **\$5,000** (to developer)

Summary prepared and submitted by: Simplex Consultants Ltd.

Date: January 5, 2022

Reviewed and Approved by: Tejeshwar Singh, b.t.arch, ASCT, CRD, at.aibc

Date: January 5, 2022



(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0334-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-332-715
Lot 8 Block 117 New Westminster District Plan 18087

11169 - Wallace Drive

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F of Part 16 "Single Family Residential Zone (RF)", the minimum south front yard setback is reduced from 7.5 metres to 6.0 metres for principal buildings on proposed Lots 1 and 2;
 - (b) In Section F of Part 16 "Single Family Residential Zone (RF)", the minimum northeast front yard setback is reduced from 7.5 metres to 2.4 metres for principal buildings on proposed Lot 2;
 - (c) In Section F of Part 16 "Single Family Residential Zone (RF)", the west side yard setback is reduced from 1.8 metres to 1.2 metres for principal buildings on proposed Lot 2;
 - (d) In Section K of Part 16 "Single Family Residential Zone (RF)", the minimum lot depth is reduced from 28 metres to 16.9 metres for proposed Lot 2; and
 - (e) In Subsection J.3. of Part 16 "Single Family Residential Zone (RF)", a basement access and basement well with staircase is permitted to be located between the principal building and the front (north) lot line on proposed Lots 1 and 2.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.

7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

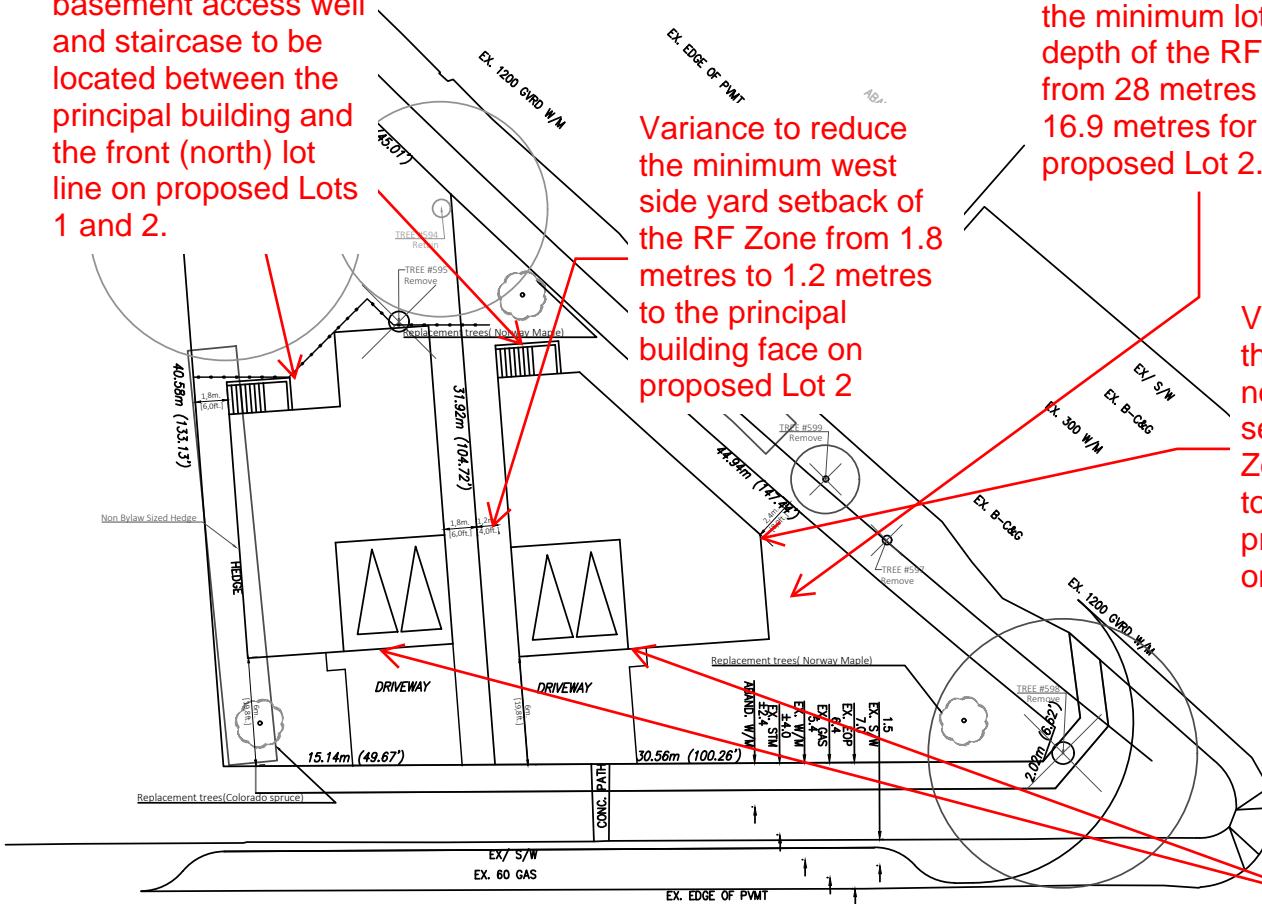
Variance to vary the RF Zone to allow a basement access well and staircase to be located between the principal building and the front (north) lot line on proposed Lots 1 and 2.

Variance to reduce the minimum west side yard setback of the RF Zone from 1.8 metres to 1.2 metres to the principal building face on proposed Lot 2

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PLAN: 13B-7921-0334-00

DRAWN: JL

SCALE:

DATE: JANUARY 4, 2022



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