

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7921-0307-00

Planning Report Date: August 8, 2022

PROPOSAL:

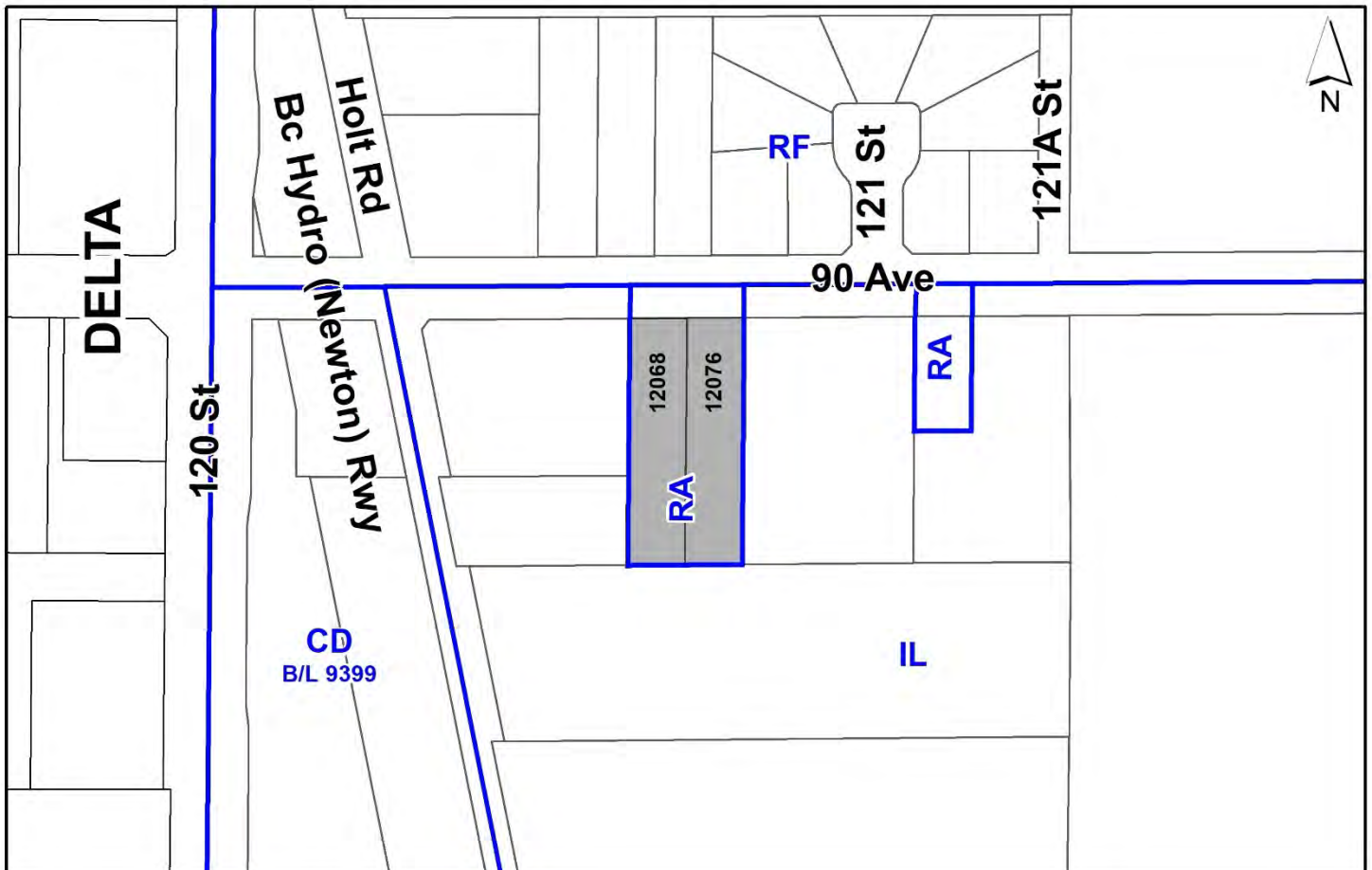
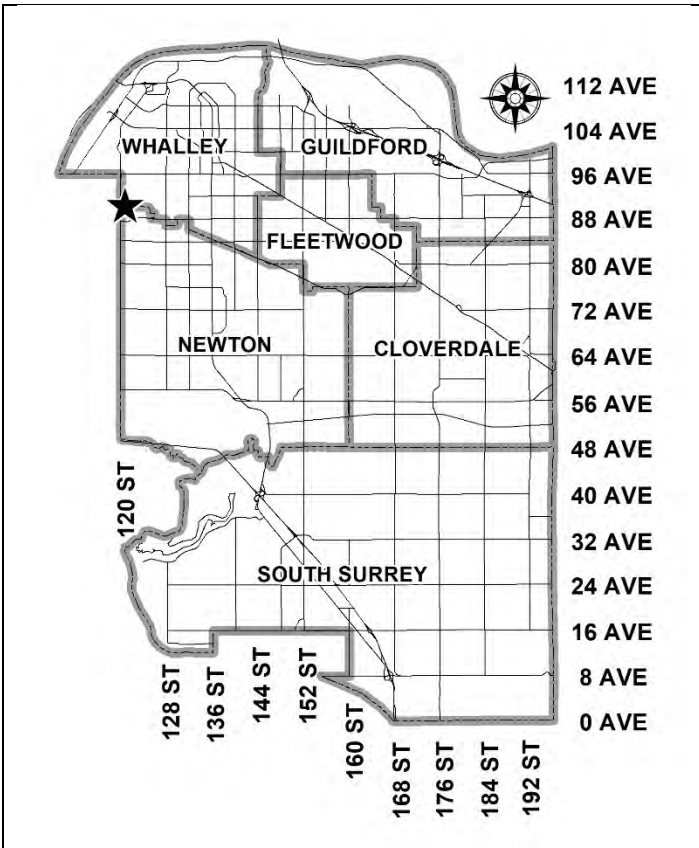
- **Rezoning** from RA to IL
- **Development Permit**
- **Development Variance Permit**

to permit the development of a 1,867 square metre multi-tenant industrial building.

LOCATION: 12068 - 90 Avenue
 12076 - 90 Avenue

ZONING: RA

OCP DESIGNATION: Industrial



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to reduce the minimum rear yard and side yard setback requirements of the IL Zone.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Industrial designation in the Official Community Plan (OCP).
- The proposal complies with the Industrial designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials, and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed signage has been comprehensively designed to be integrated with the design of the building and provides a comprehensive look for the development.
- The reduced rear (south) and side (west) yard setbacks are consistent with the industrial development pattern south of 90 Avenue. The reduced setbacks are proposed to help accommodate turning movements for larger trucks accessing the proposed building loading bays.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Light Impact Industrial Zone (IL)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7921-0307-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix I).
3. Council approve Development Variance Permit No. 7921-0307-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum rear yard setback of the IL Zone from 7.5 metres to 0.0 metres to the principal building face; and
 - (b) to reduce the minimum west side yard setback of the IL Zone from 7.5 metres to 0.0 metres to the principal building face.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) registration of a right-of-way for public rights-of-passage for the area between the building face and the street edges;
 - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's need with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and

- (j) registration of a Section 219 Restrictive Covenant to restrict the maximum amount of mezzanine space.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Single Family Residential; Vacant	Industrial	RA
North (Across 90 Avenue):	Single Family Residential	Urban	RF
East, South, and West:	Industrial	Industrial	IL

Context & Background

- The subject 0.28 hectare site is located in northwest Newton on the south side of 90 Avenue, east of 120 Street.
- The subject site is comprised of two properties, 12076 – 90 Avenue and 12068 – 90 Avenue. Both properties are designated “Industrial” in the Official Community Plan (OCP) and are currently zoned “One Acre Residential Zone (RA)”. 12068 – 90 Avenue is occupied by a single family dwelling, while 12076 – 90 Avenue is vacant.
- To the east of the subject site, Development Application Nos. 7912-0150-00 received final adoption at the June 10, 2019, Regular Council – Land Use Meeting and 7911-0151-00 received final approval at the May 27, 2013 Regular Council – Land Use Meeting to permit the development of multi-tenant industrial buildings.
- The subject site abuts industrial development on three sides, with multi- and single-tenant industrial buildings present to the east, west and south. Lands across 90 Avenue, north of the subject site, are occupied by single family dwellings and are zoned for residential development.
- There is a ditch of unknown classification fronting the subject site along the south side of 90 Avenue. The ditch was confirmed by the Ministry of Forests, Lands Natural Resource Operations and Rural Development to not meet the definition of a *Water Sustainability Act* Stream. The ditch is proposed to be infilled as part of frontage works with the development proposal discussed below.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to rezone the subject site from "One-Acre Residential Zone (RA)" to "Light Impact Industrial Zone (IL)", a Development Permit for Form and Character, consolidation of two lots into one, and a Development Variance Permit to reduce setback for a principal building in order to permit the development of a multi-tenant industrial building.

	Proposed
Lot Area	
Gross Site Area:	2,889 square metres
Number of Lots:	1
Building Height:	8.4 metres
Floor Area Ratio (FAR):	0.65
Floor Area	
Retail (Showroom):	153.8 square metres
Industrial:	1,252.9 square metres
Office:	379.5 square metres
Stairs & Access:	80.8 square metres
Total:	1,867 square metres

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Parks, Recreation & Culture:	The closest active park is Kennedy Park and is 106 metres away, across 90 Avenue, northeast from the subject property. The closest natural area is Inouye Park, which is located 1,180 metres away to the east of the subject site.
Surrey Fire Department:	The Fire Department has no concerns with the proposal in principle. The proposal will be reviewed in further detail during the Building Permit application.

Transportation Considerations

- Vehicle access is proposed as a right-in/right-out access to 90 Avenue to the north.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- The applicant has provided a high-albedo roof, with an SRI value of 0.75 to reduce the development's impact on the urban heat island.
- The applicant is proposing to include vehicle charging infrastructure for 12 parking spaces.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the 'Industrial' designation in the Regional Growth Strategy (RGS).

Official Community Plan

Land Use Designation

- The proposal complies with the 'Industrial' designation in the Official Community Plan (OCP).

Themes/Policies

The proposed development is supported by the following policies of the OCP.

- Policy E1.6 – Support the infill and redevelopment of under-utilized properties within Commercial, Mixed Employment and Industrial land designations.

(The applicant proposes to develop industrial designated land that is currently vacant and used for low-density residential land uses. The proposal is an appropriate industrial infill development of under-utilized land.)

- Policy E1.8 – Ensure a positive interface between employment lands and accompanying industrial activities and surrounding uses.

(The proposed development includes a wide landscape buffer, cantilevered-building form, and decorative screening to help buffer the on-site industrial operations from adjacent residential uses to the north. The proposed building is also oriented towards 90 Avenue with a significant amount of glazing along the north elevation.)

Zoning By-law

- The applicant proposes to rezone the subject site from "One-Acre Residential Zone (RA)" to "Light Impact Industrial Zone (IL)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Light Impact Industrial Zone (IL)" and parking requirements.

IL Zone (Part 48)	Permitted and/or Required	Proposed
Floor Area Ratio:	1.0	0.65
Lot Coverage:	60%	57%
Yards and Setbacks		
Front (North):	7.5 metres	7.5 metres
Side (East):	7.5 metres or 0 metres	0 metres
Rear (South):	7.5 metres	0.1 metres*
Side (West):	7.5 metres	0.04 metres*
Height of Buildings		
Principal buildings:	18 metres	8.38 metres
Accessory buildings:	6 metres	3.05 metres
Parking (Part 5)		
Number of Stalls		
Industrial:	12	12
Office:	9	9
Accessory Retail (Showroom):	5	5
Total	26	26
Accessible:	1	2
Small car:	10 max (35%)	6 (21%)
Bicycle Spaces		
Visitor:	0 bicycle parking spaces	6 bicycle parking spaces

*DVP Proposal. Additional information available in the section of the Report titled 'Setback Variance'.

Setback Variance

- The applicant is requesting the following variances:
 - to reduce the minimum rear yard setback of the IL Zone from 7.5 metres to 0.0 metres to the principal building face; and
 - to reduce the minimum west side yard setback of the IL Zone from 7.5 metres to 0.0 metres to the principal building face.
- The proposed setbacks are consistent with the development pattern for industrial land on the south side of 90 Avenue.
- Development Application Nos. 7912-0150-00 and 7911-0151-00, to the east, both received approval for Development Variance Permits to reduce the rear (south) and side (west) yard setbacks of the IL Zone from 7.5 metres to 0.0 metres for proposed multi-tenant industrial buildings.
- The proposed 0.0 metre setback along the south property line will have no interface issues, as the building will directly abut the existing industrial building to the south, which also has a 0.0 metre setback.
- There will be minimal impact on the interface to the west, as the proposed 0.0 metre setback is only for a portion of the west property line, which is also adjacent to an industrial property.

- The reduced setbacks are proposed to help accommodate turning movements for larger trucks accessing the proposed building loading bays.
- Staff support the requested variances to proceed for consideration.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on February 2, 2022, and the Development Proposal Signs were installed on January 21, 2022. Staff received 1 request for information on the proposal from the public.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The proposal consists of a single two-storey industrial building with an office component on the second floor.
- The applicant has worked with staff to address the interface to the north with residential land uses and incorporated several siting and design elements to enhance the building's relationship to the public realm 90 Avenue street frontage, including:
 - Cantilevering the second storey of the building over the eastern parking row in order to increase the portion of building fronting the street;
 - A decorative trellis at the first storey will help screen the eastern parking row from residential uses across the street;
 - A 5.0 metre wide landscape buffer is provided along 90 avenue to buffer on-site industrial uses from residential uses across the street;
 - Loading bays have been located away from the public realm;
 - The building has been sited at the minimum front yard setback to reinforce the street edge;
 - The building has been designed with a significant amount of glazing on the north building elevation, facing 90 Avenue.

- The applicant is proposing two industrial units on the first floor, approximately 806 square metres and 447 square metres in size, and one office unit on the second floor, approximately 380 square metres in size.
- The industrial building is proposed as tilt-up concrete construction. The north portion of the building, which faces 90 Avenue, features a significant amount of tinted glazing on both the first and second floors. The first floor also includes a decorative trellis under a cantilevered portion of the building to screen a row of parking from residential land uses across the street. The glazing is accented with light grey, medium gray, and dark grey concrete panels.
- Fascia signs are proposed on the north and west building facades, above the main lobby entrance to the building and above the main entrances for the first floor units. A fascia sign noting the building address is proposed above the second floor on the north façade.

Landscaping

- The applicant has provided a 5.0 metre wide landscaping buffer along the front yard containing a variety of trees and shrubs, including evergreen species to maintain the buffer's effectiveness throughout the year. A landscape buffer along the west side yard has also been provided adjacent to a row of off-site trees being protected with the proposed development.
- Landscaping generally consists of trees, shrubs, and ground cover, including Hick's Yew, Japanese Skimmia, and Western Sword Fern.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Tim Vandenberg, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	3	3	0
Cottonwood	4	4	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Big Leaf Maple	1	1	0

Coniferous Trees			
Douglas Fir	5	5	0
Blue Spruce	1	1	0
Western Red Cedar	6	6	0
Total (excluding Alder and Cottonwood Trees)	13	13	0
<hr/>			
Total Replacement Trees Proposed (excluding Boulevard Street Trees)	33		
Total Retained and Replacement Trees	33		
Contribution to the Green City Program	\$0		

- The Arborist Assessment states that there are a total of 13 mature trees on the site, excluding Alder and Cottonwood trees. Seven (7) existing trees, approximately 35 % of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 33 replacement trees on the site. The applicant is proposing 33 replacement trees, meeting City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 90 Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Paperbark Maple, Nootka Cypress and Japanese Stewartia.
- In summary, a total of 33 trees are proposed to be retained or replaced on the site.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. Summary of Tree Survey and Tree Preservation
- Appendix IV. Development Variance Permit No. 7921-0307-00

approved by Shawn Low

Jeff Arason
Acting General Manager
Planning and Development

EM/cm

PROPOSED MIXED USE INDUSTRIAL DEVELOPMENT

12068, 12076 - 90TH AVENUE ,SURREY, BRITISH COLUMBIA



CONTEXT PLAN



STREETSCAPE

NOTES :

2022-07-29	E	DP RESUBMISSION
2022-07-15	D	DP RESUBMISSION
2022-02-29	C	DP RESUBMISSION
2021-10-12	B	DP APPLICATION
2021-09-17	A	PRELIMINARY SUBMISSION



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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT

12068, 12076 - 90TH AVENUE
SURREY, BC

CLIENT:
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DATE: JULY 2022	
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PROJECT INFO

LEGAL DESCRIPTION:

LOT 6 SECTION 31 TOWNSHIP 2 PLAN NWP13861 NWD, LOT 7 SECTION 31 TOWNSHIP 2 PLAN NWP 13861 NWD PART SW 1/4

CIVIC ADDRESS:

12068, 12076 - 90 AVENUE, SURREY
BRITISH COLUMBIA

ZONING INFORMATION:

ZONE:

EXISTING: RA
PROPOSED: IL

LOT AREA:

GROSS SITE AREA	-	0.71 AC. / 2887.4 SQM
DEDICATIONS	-	0.00 AC. / 0.0 SQM
NET SITE AREA	-	0.71 AC. / 2887.4 SQM

PROJECT DIRECTORY

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ARCHITECTURAL

SHEET NO. SHEET NAME

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	A-101	SITE PLAN (FIRE DEPT.)	
	A-201	FLOOR PLAN (LEVEL-1)	
	A-202	FLOOR PLAN (LEVEL-2)	
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BUILDING PLANS	A-301	ELEVATIONS	
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	A-404	CANOPY CONCEPT	
	ELEVATIONS & SECTIONS		

COVER PAGE

NOTES :

PROJECT DATA

CIVIC ADDRESS :	12068, 12076 - 90 AVE, SURREY, BC
LEGAL DESCRIPTION :	LOT 6 SECTION 31 TOWNSHIP 2 PLAN NWP13861 NWD, LOT 7 SECTION 31 TOWNSHIP 2 PLAN NWP13861 NWD PART SW 1/4

LOT INFO		
TOTAL LOT AREA	31092.1 SQFT	2888.5 SQM
DEDICATIONS		
NET AREA	31092.1 SQFT	2888.5 SQM

ZONING	
EXISTING	RA
PROPOSED	IL
NCP	
OCP	

SETBACKS		
	ALLOWED	PROPOSED
NORTH (90th AVE)	7.5 m	7.51 m
SOUTH	7.5 m	0.10 m
EAST	0/7.5 m	0.00 m
WEST	0/7.5 m	0.04m/13.89m

HEIGHT		
	ALLOWED	PROPOSED
	18.00 M	8.38 M

SITE COVERAGE		
	ALLOWED	PROPOSED
SQFT.	18655.26 SF	17743.77 m
PERCENTAGE	60.0%	57.0%

FAR CALCULATIONS

LEVEL	GROSS AREA(SQFT.)	GROSS AREA(SQM.)
FIRST FLOOR (SHOWROOM)	1655.22	153.8 SQM
FIRST FLOOR (INDUSTRIAL)	13485.73	1252.9 SQM
FIRST FLOOR (STAIRS+ACCESS)	869.60	80.8 SQM
LEVEL-2 (OFFICES)	4084.66	379.5 SQM
TOTAL	20095.21	1866.9 SQM

FAR ALLOWED	1.00
FAR PROPOSED	0.65

OFF STREET PARKING

OCCUPANCY TYPE	AREA (SQM) LESS LOADING, MECH, STAIRS & ELEC	CARS PER 100SQM	NO. OF CARS	SAY
FIRST FLOOR (INDUSTRIAL USES)	1151.7 SQM	1	11.5	12
FIRST FLOOR (SHOWROOM)	153.8 SQM	3	4.6	5
SECOND FLOOR (OFFICE)	345.1 SQM	2.5	8.6	9
TOTAL NO. OF PARKING REQUIRED				26
SURFACE PARKING PROVIDED				26
TOTAL NO. OF PARKING PROVIDED				26
NO OF SMALL CAR SPACES				3
PARKING SPACES FOR PERSON WITH DISABILITIES				12%
				REQUIRED 1
				PROVIDED 2
BICYCLE SPACES		NO. OF BICYCLES		
REQUIRED		0		
PROVIDED		6		

2022-07-29	E	DP RESUBMISSION
2022-07-15	D	DP RESUBMISSION
2022-02-29	C	DP RESUBMISSION
2021-10-12	B	DP APPLICATION
2021-09-17	A	PRELIMINARY SUBMISSION



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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT

12068, 12076 - 90TH AVENUE SURREY, BC

CLIENT:
1322699 BC LTD. #203-12732 80 AVENUE, SURREY, BC V3W3A7

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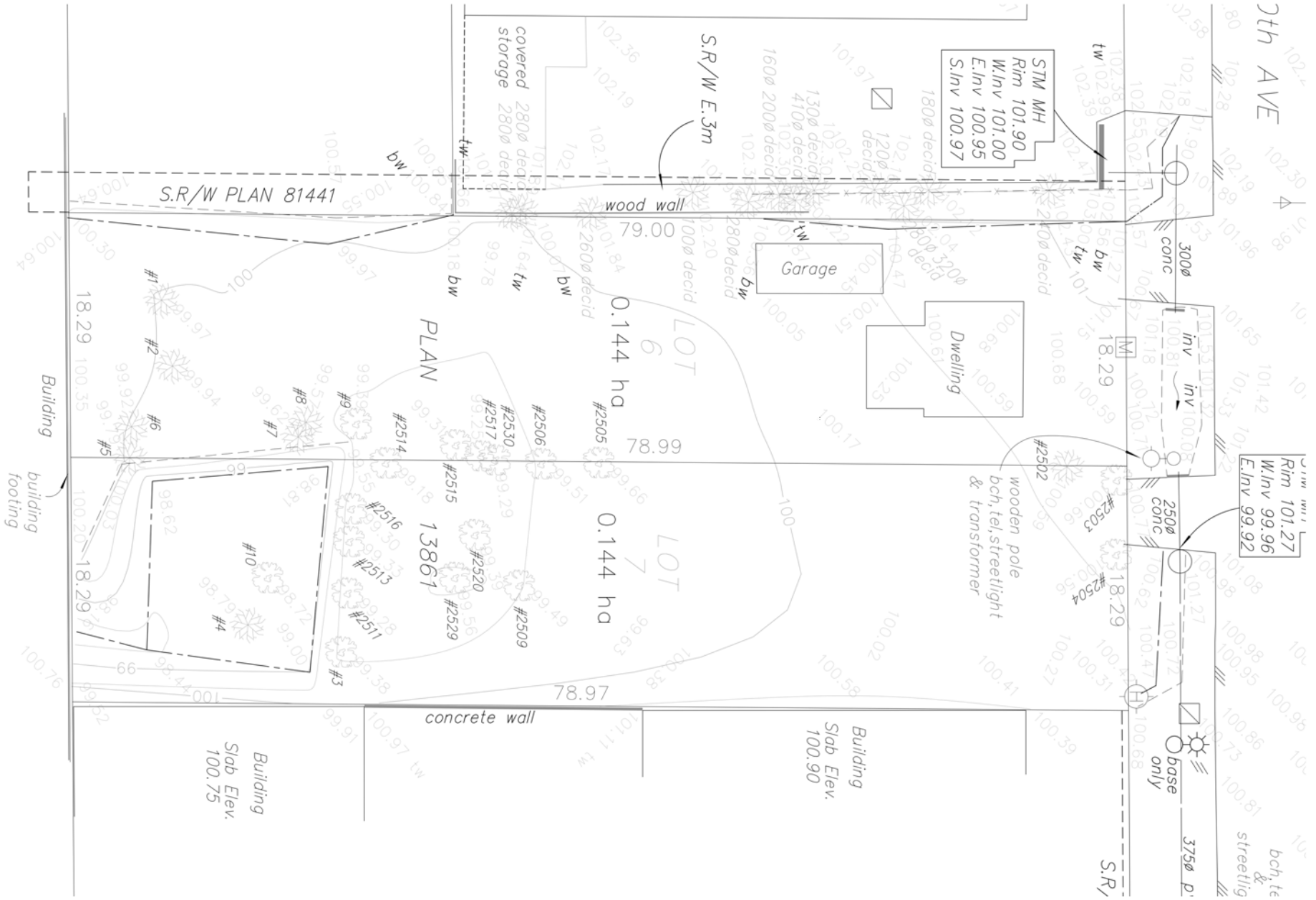
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DEVELOPMENT DATA

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2021-10-12	B	DP APPLICATION
2021-09-17	A	PRELIMINARY SUBMISSION



PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
12068, 12076 - 90TH AVENUE SURREY, BC

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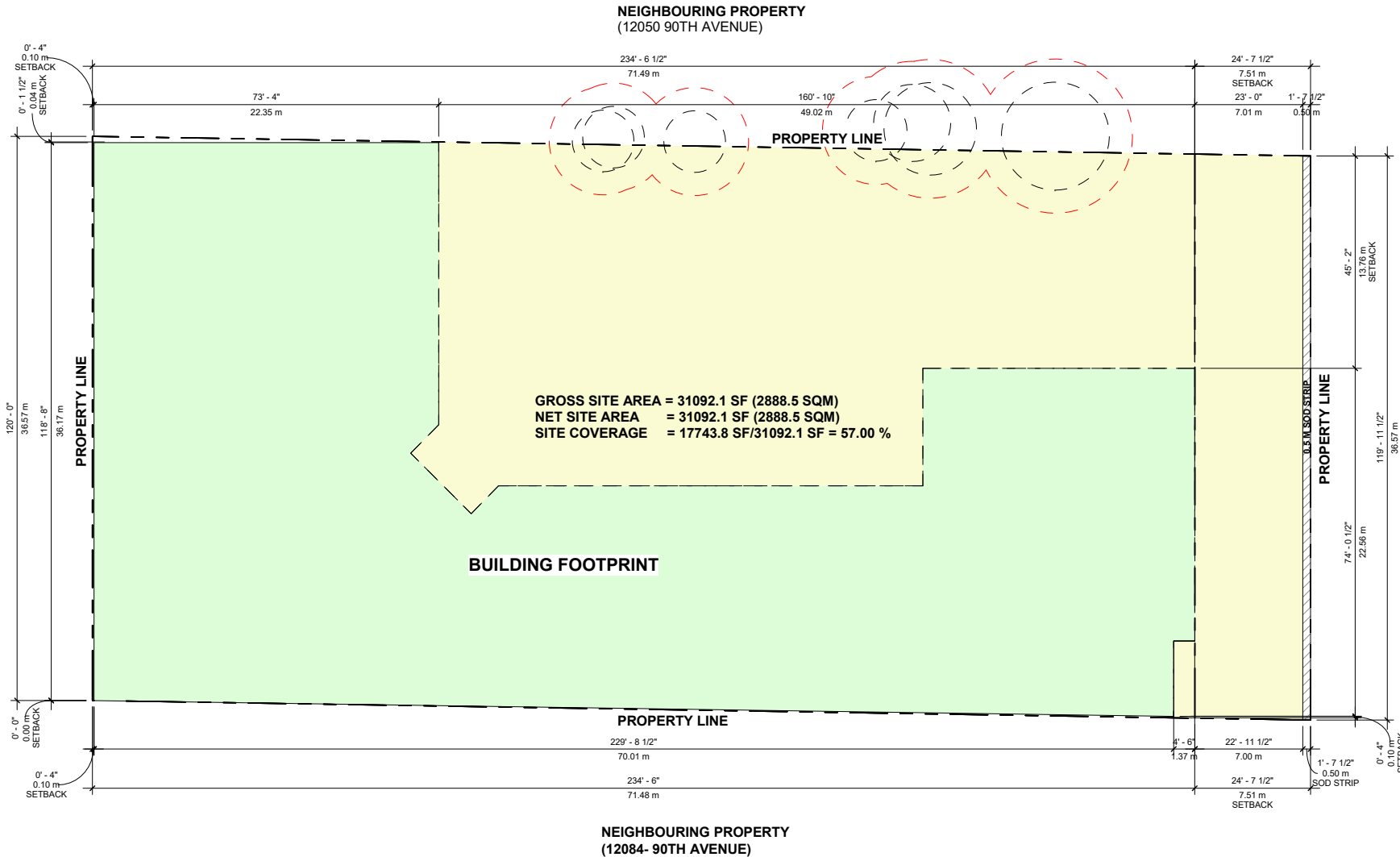
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SURVEY PLAN

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NOTES :



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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT

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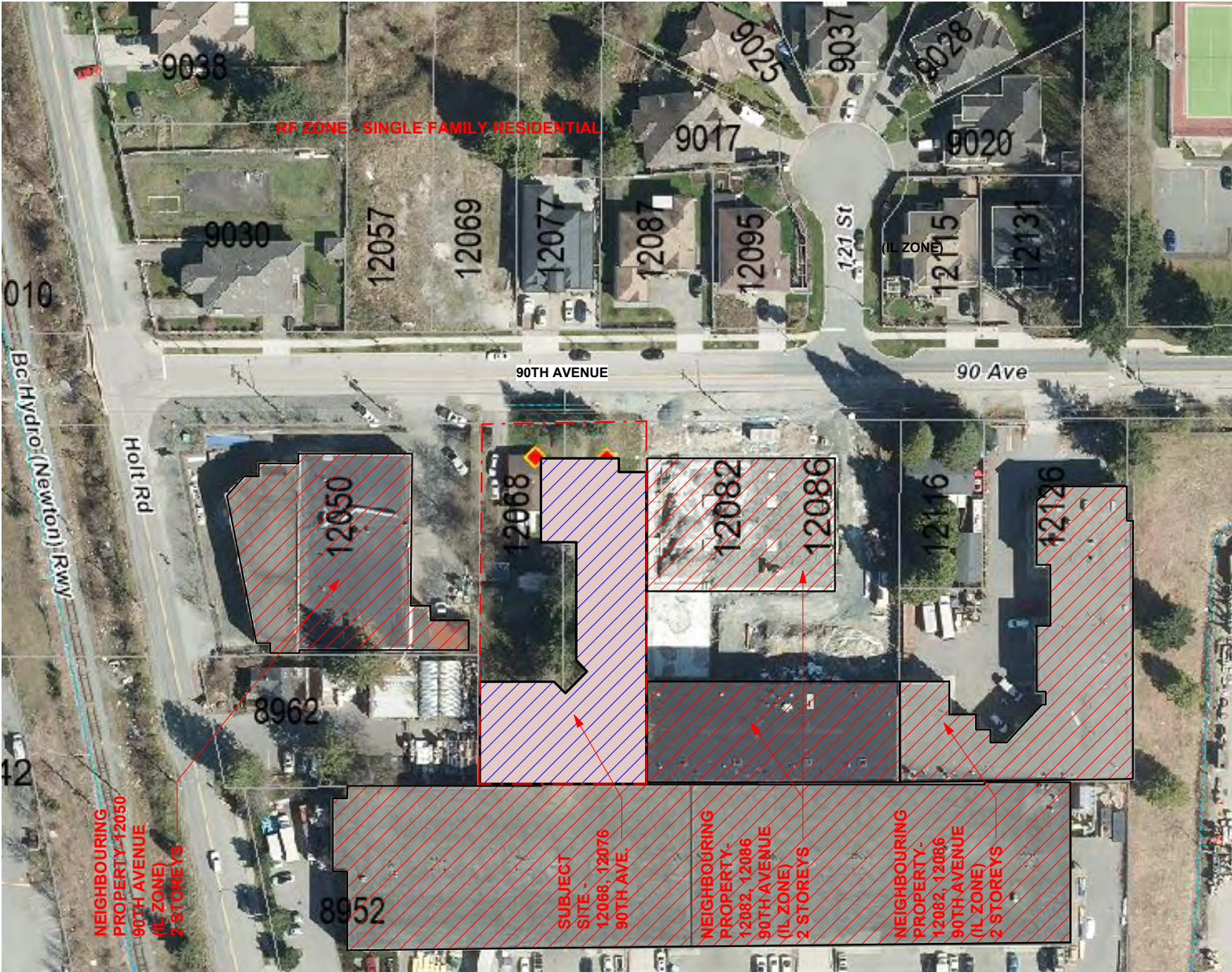
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BASE PLAN
 3/8" = 1'-0"

BASE PLAN

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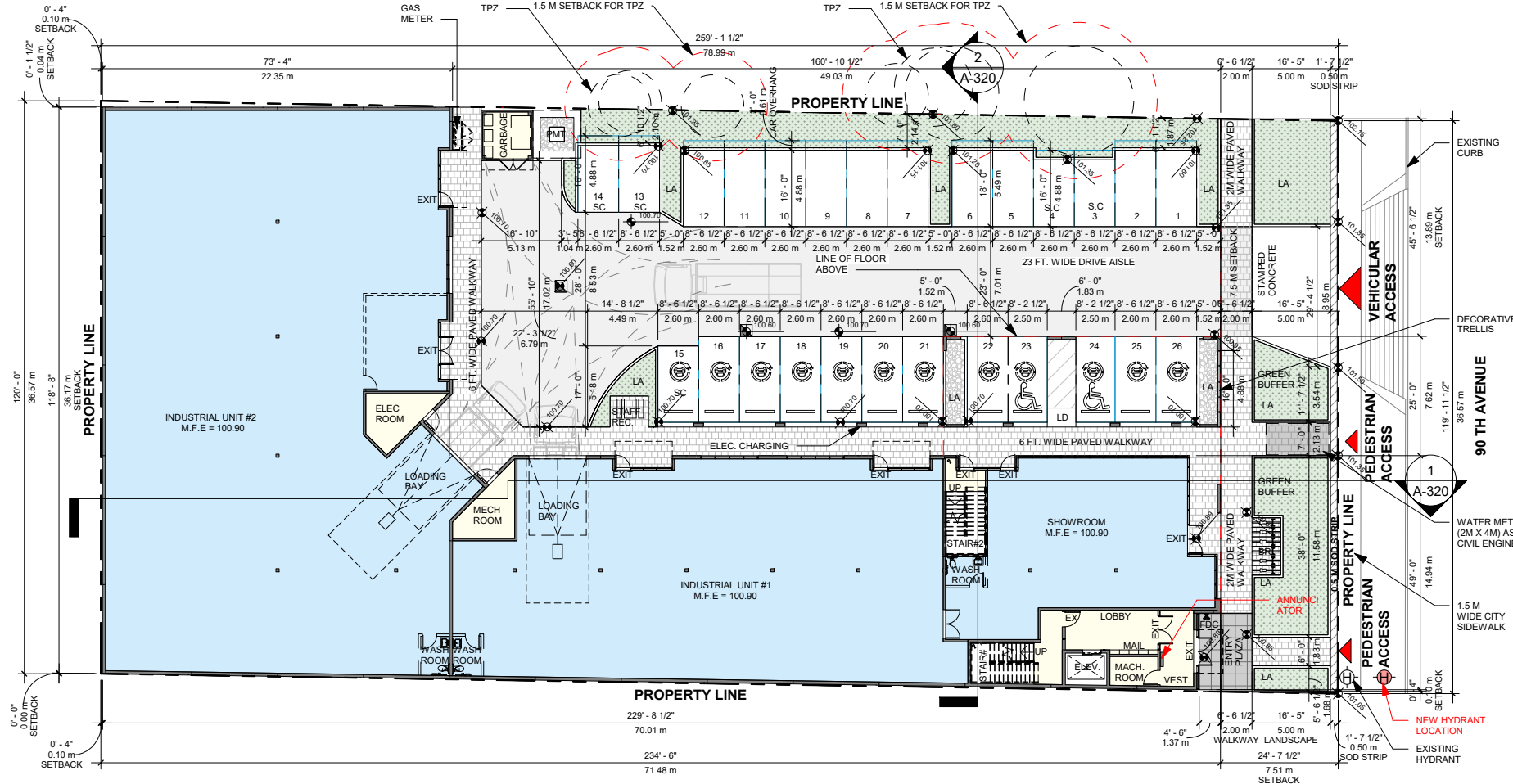
CONTEXT PLAN

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CONTEXT PLAN
3/32" = 1'-0"



1 SITE PLAN
3/64" = 1'-0"

LEGEND :
 CHARACTER AND COLOR OF CONCRETE PAVERS REF. TO LANDSCAPE DRAWINGS.
 ALL PLANTING MATERIAL AND LANDSCAPE DESIGN AREA REF. TO LANDSCAPE DRAWINGS.
 ALL GRADING, LOCATION OF CATCH BASIN, CURB ALIGNMENT, PEDESTRIAN CROSSING REF. TO CIVIL DRAWINGS.

LEGEND :
 LA - LANDSCAPE
 BR - BIKE RACK
 TPZ - TREE PROTECTION ZONE
 SC - SMALL CAR

2022-07-29	I	DP RESUBMISSION
2022-07-19	D	DP RESUBMISSION
2022-02-25	C	DP RESUBMISSION
2021-10-12	B	DP APPLICATION
2021-09-17	A	PRELIMINARY SUBMISSION



PROPOSED INDUSTRIAL DEVELOPMENT
 12068, 12076 - 90TH AVENUE
 SURREY, BC

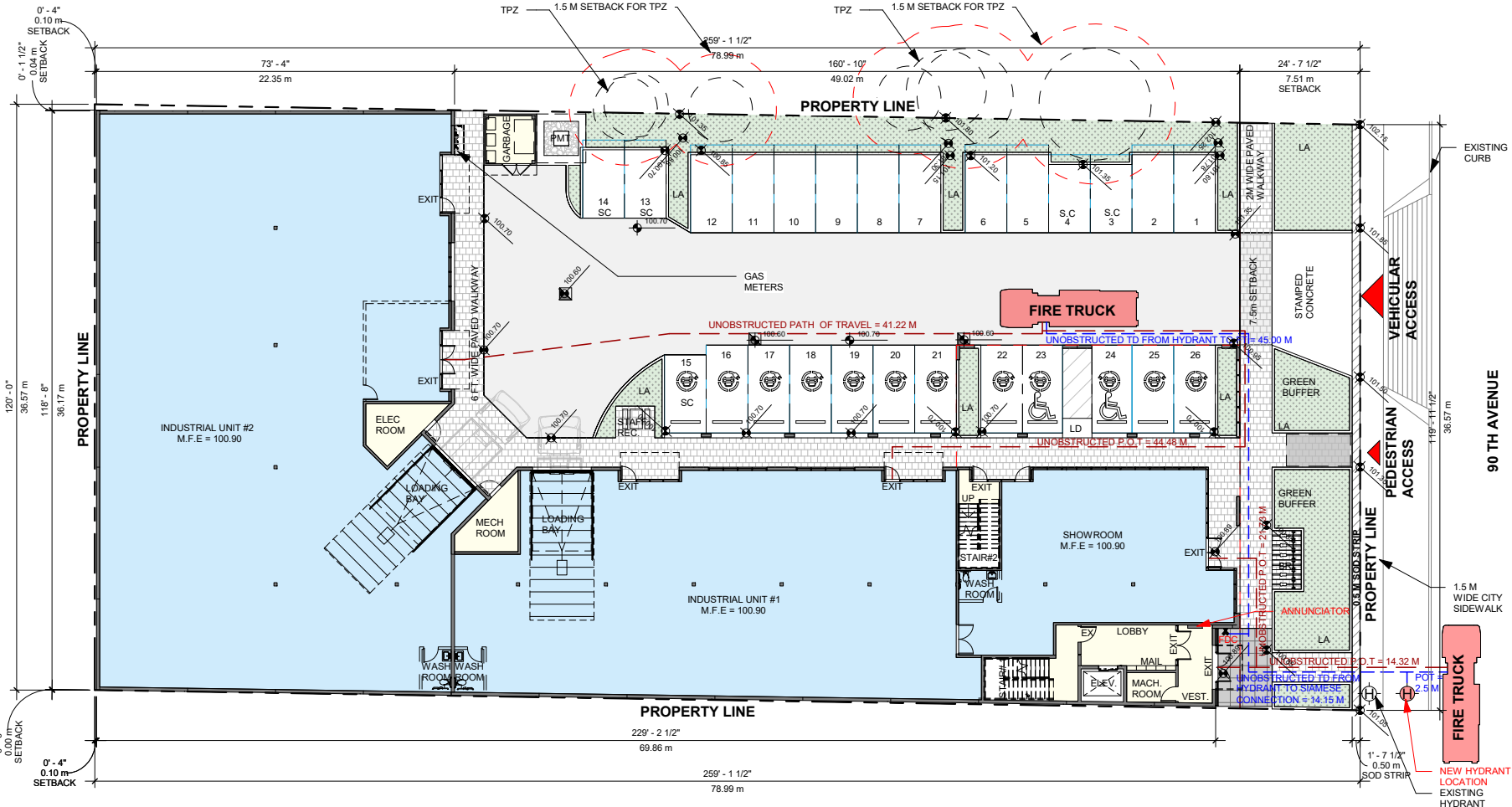
CLIENT:
1322699 BC LTD. #203-12732 80 AVENUE, SURREY, BC V3W3A7

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DRAWN:	PS
CHECKED:	YA
SCALE:	3/64" = 1'-0"
JOB NO.:	SUR-153
DATE:	AUG 2022
SHEET TITLE:	

SITE PLAN

NOTES :



2022-07-29	E	DP RESUBMISSION
2022-07-15	D	DP RESUBMISSION
2022-02-29	C	DP RESUBMISSION
2021-10-12	B	DP APPLICATION
2021-09-17	A	PRELIMINARY SUBMISSION



PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
 12068, 12076 - 90TH AVENUE
 SURREY, BC

CLIENT:
1322699 BC LTD. #203-12732 80 AVENUE, SURREY, BC V3W3A7

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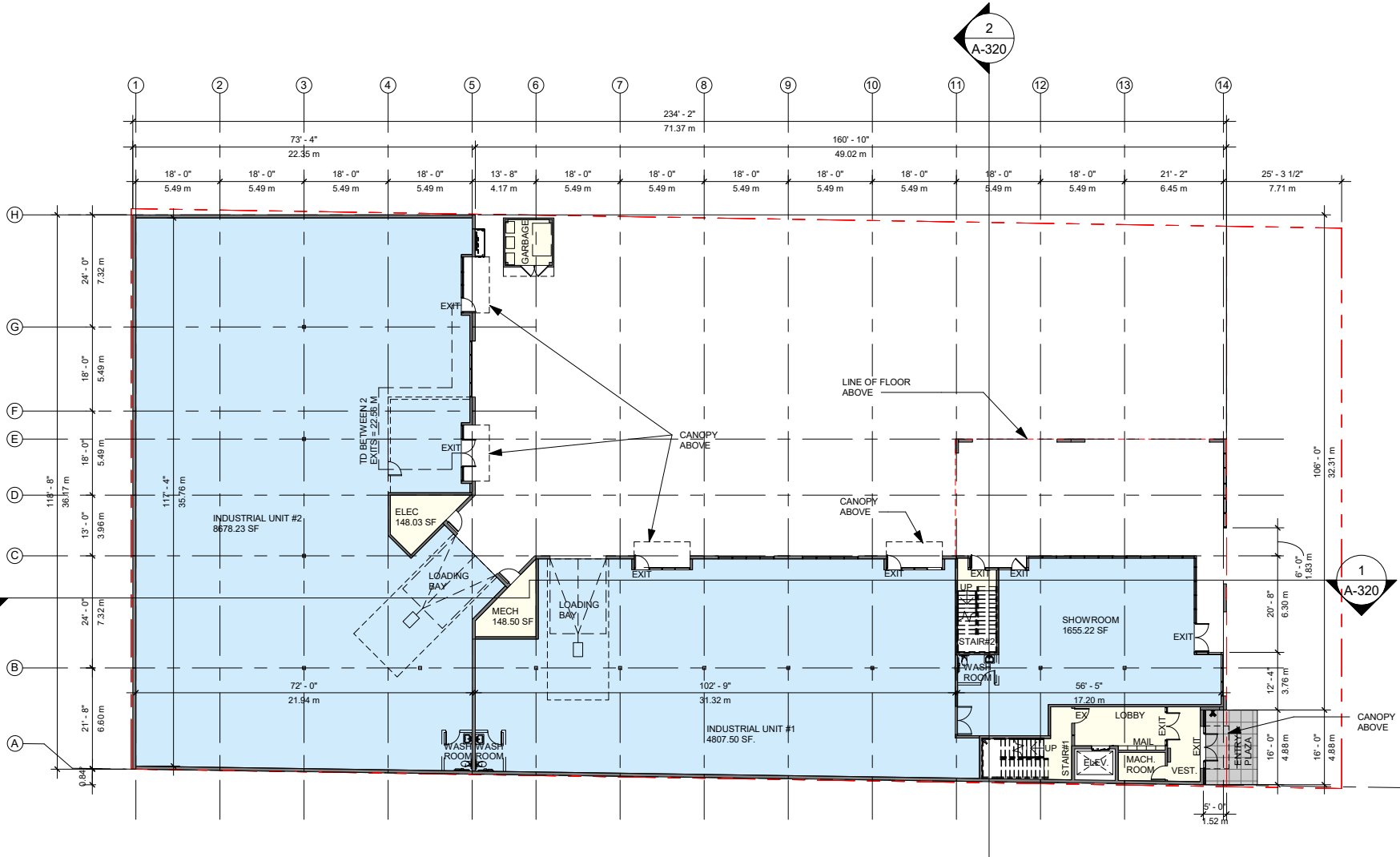
DRAWN:	PS
CHECKED:	YA
SCALE:	3/64" = 1'-0"
JOB NO.:	SUR-153
DATE:	JULY 2022
SHEET TITLE:	

SITE PLAN (FIRE DEPT.)

1
A-101 **SITE PLAN (FIRE DEPT.)**
 3/64" = 1'-0"

DRAWING No.
A-101 **E**

NOTES :



REVISION	DATE	DESCRIPTION
2022-07-29	E	DP RESUBMISSION
2022-07-15	D	DP RESUBMISSION
2022-02-25	C	DP RESUBMISSION
2021-10-12	B	DP APPLICATION
2021-09-17	A	PRELIMINARY SUBMISSION



PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
 12068, 12076 - 90TH AVENUE
 SURREY, BC

CLIENT:
1322699 BC LTD. #203-12732 80 AVENUE, SURREY, BC V3W3A7

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DRAWN: PS
CHECKED: YA
SCALE: 3/8" = 1'-0"
JOB NO.: SUR-153
DATE: JULY 2022
SHEET TITLE:

1 MAIN FLOOR
 A-201 3/8" = 1'-0"

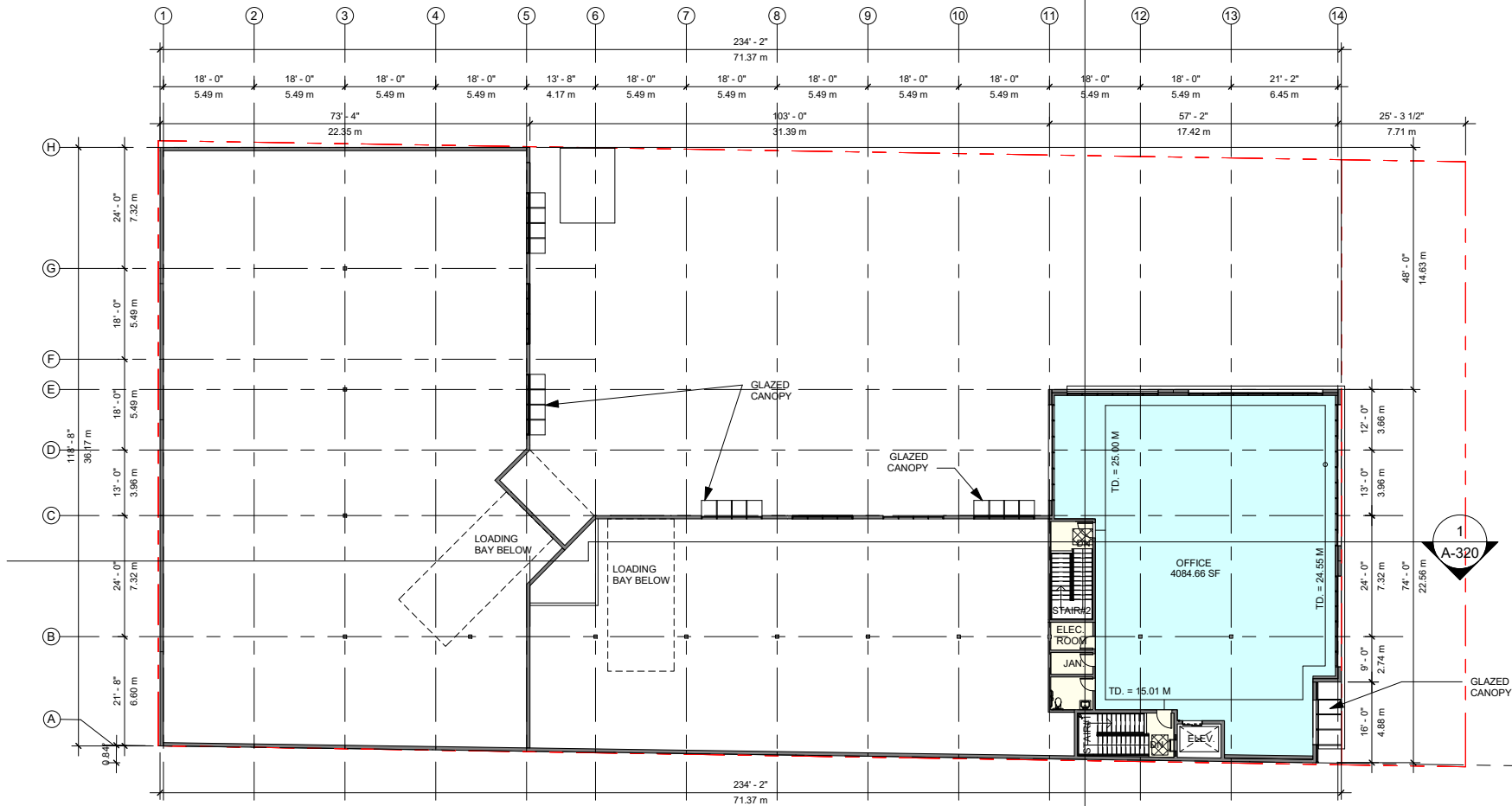
FLOOR PLAN (LEVEL-1)

DRAWING No.
A-201 E

NOTES :



2
A-320



REVISION	DATE	DESCRIPTION
E	2022-07-29	DP RESUBMISSION
D	2022-07-15	DP RESUBMISSION
C	2022-02-25	DP RESUBMISSION
B	2021-10-12	DP APPLICATION
A	2021-09-17	PRELIMINARY SUBMISSION



350-10851 SHELLBRIDGE WAY
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info@dfarchitecture.ca

PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT

12068, 12076 - 90TH AVENUE SURREY, BC

CLIENT:
1322699 BC LTD. #203-12732 80 AVENUE, SURREY, BC V3W3A7

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SCALE:	3/8" = 1'-0"
JOB NO.:	SUR-153
DATE:	JULY 2022
SHEET TITLE:	

FLOOR PLAN (LEVEL-2)

DRAWING No.	A-202	E
-------------	--------------	----------

1
A-202
LEVEL 2
3/8" = 1'-0"

NOTES :



LEGEND :

OF - OVERFLOW DRAIN
RD - ROOF DRAIN

2022-07-29	E	DP RESUBMISSION
2022-07-15	D	DP RESUBMISSION
2022-02-25	C	DP RESUBMISSION
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2021-09-17	A	PRELIMINARY SUBMISSION



PROJECT:

PROPOSED INDUSTRIAL DEVELOPMENT

**12068, 12076 - 90TH AVENUE
SURREY, BC**

CLIENT:

**1322699 BC LTD. #203-12732 80
AVENUE, SURREY, BC V3W3A7**

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DRAWN:	PS
CHECKED:	YA
SCALE:	As Indicated
JOB NO.:	SUR-153
DATE:	JULY 2022
SHEET TITLE:	

ROOF PLAN

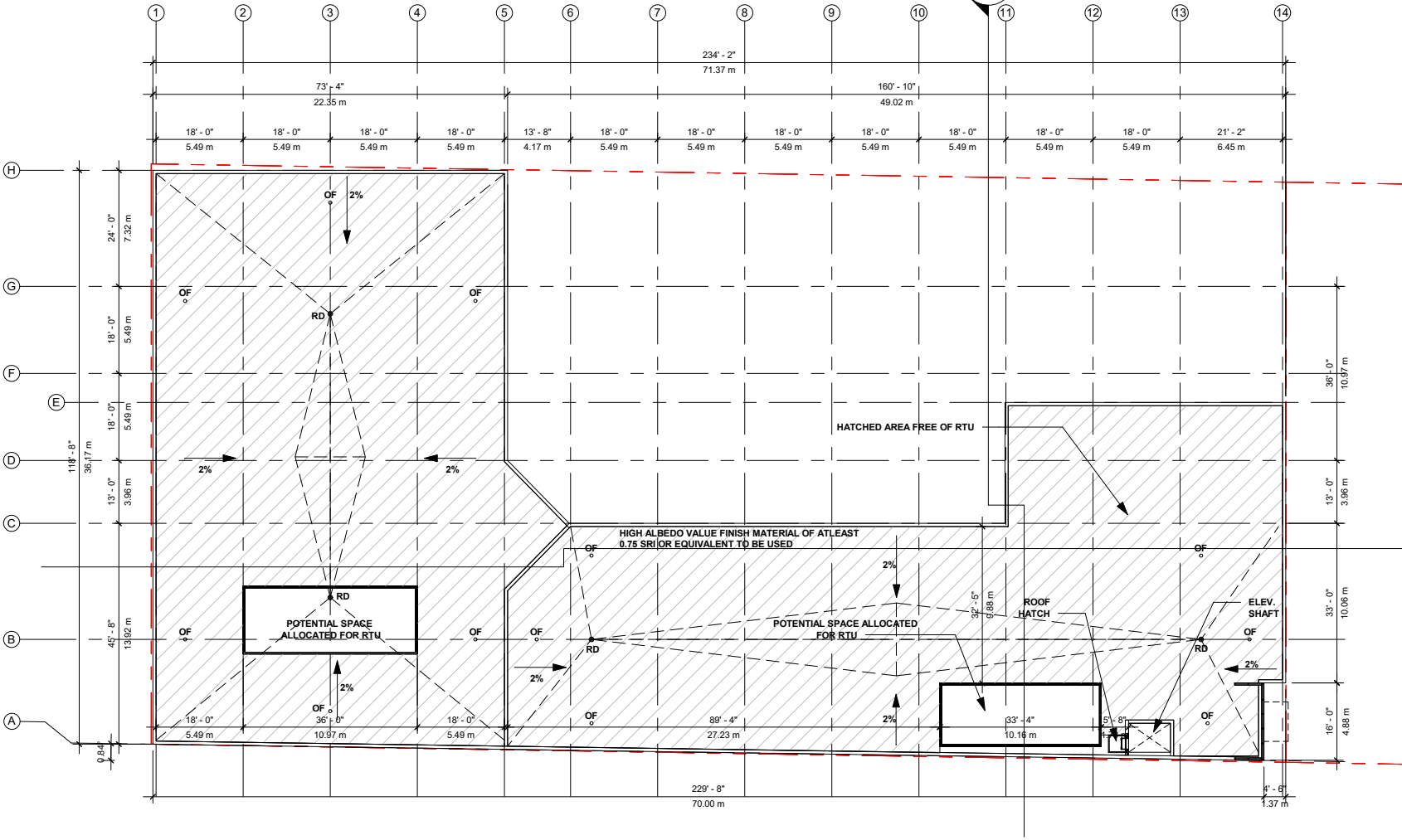
DRAWING No.

A-203

E

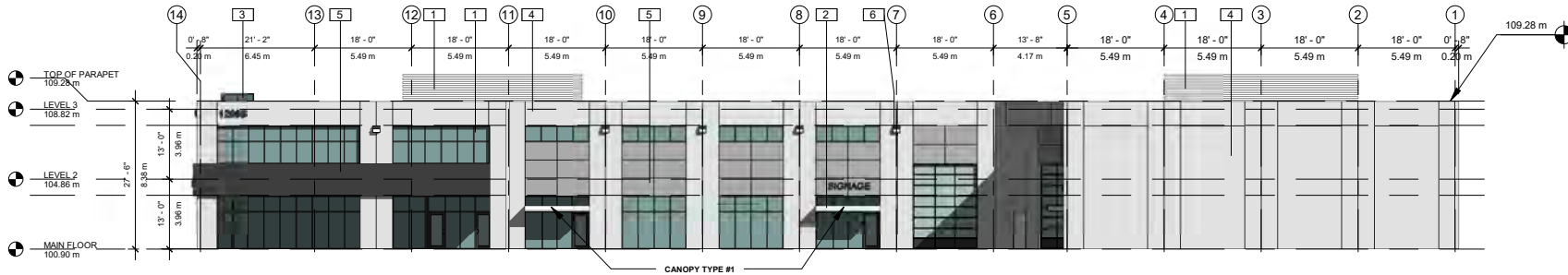
2
A-320

1
A-320

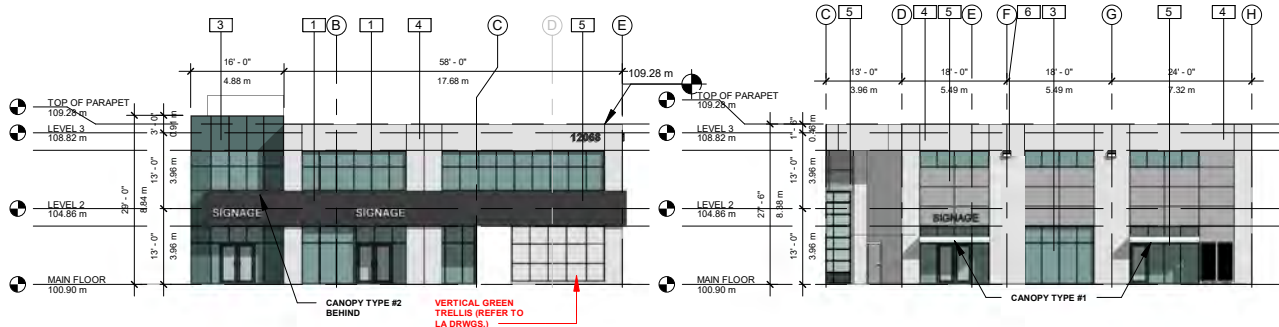


1
A-203
ROOF PLAN
3/64" = 1'-0"

NOTES :

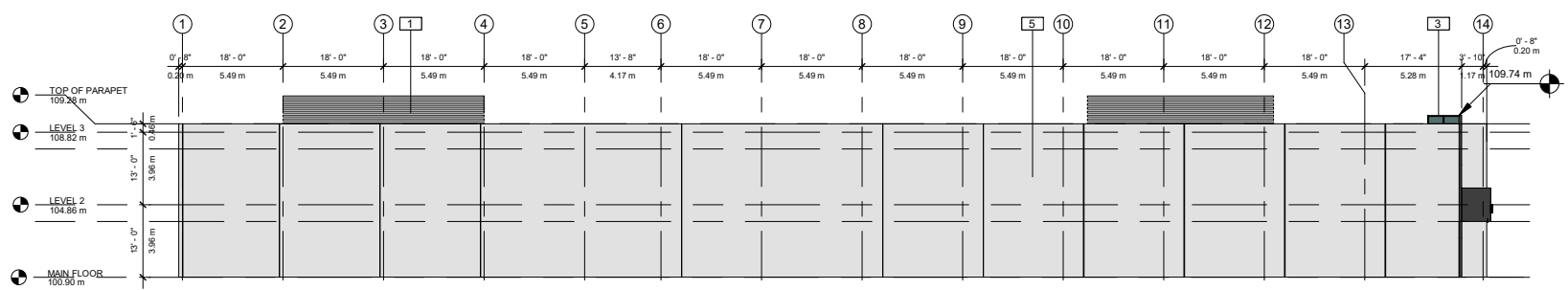


1 WEST
A-301 3/64" = 1'-0"



3 NORTH (90TH AVE.)
A-301 3/64" = 1'-0"

4 NORTH (B/W GRID C&H)
A-301 3/64" = 1'-0"



5 EAST
A-301 3/64" = 1'-0"

SCHEDULE OF FINISHES:

- 1. COLOR : SW 7075 WEB GRAY
 - ARCHITECTURAL CONCRETE PAINTED.
 - REVEALS COLOR TO MATCH
 - PAINTED ALUMINUM WINDOWS WITH SAFETY GLASS
 - DOUBLE GLAZED & THERMALLY BROKEN
 - POWDER COATED ALUMINUM GAS METER SCREEN
 - POWDER COATED ALUMINUM RTU SCREEN
- 2. COLOR : SW 7757 HIGH REFLECTIVE WHITE
 - ARCHITECTURAL CONCRETE PAINTED
- 3. ALUMINUM CURTAIN WALL SYSTEM - ICD TO MATCH SW 6471 HAZEL
 - TINTED GLASS & SPANDREL PANEL.
- 4. COLOR : 2133- 70 TUNDRA (BENJAMIN MOORE)
 - ARCHITECTURAL FINISH CONCRETE PANELS PAINTED
 - REVEALS COLOR TO MATCH
- 5. COLOR : 2112 - 50 STORMY MONDAY (BENJAMIN MOORE)
 - ARCHITECTURAL FINISH CONCRETE PANELS PAINTED
 - REVEALS COLOR TO MATCH
- 6. COLOR : DARK GREY (BRAND: WARELIGHT)
 - LED WALL PACK, G2, 60 WATT, 8800 LUMENS
 - COLOR TEMP. : 4000K-5000K

2022-07-29	E	DP RESUBMISSION
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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT

12068, 12076 - 90TH AVENUE SURREY, BC

CLIENT:
1322699 BC LTD. #203-12732 80 AVENUE, SURREY, BC V3W3A7

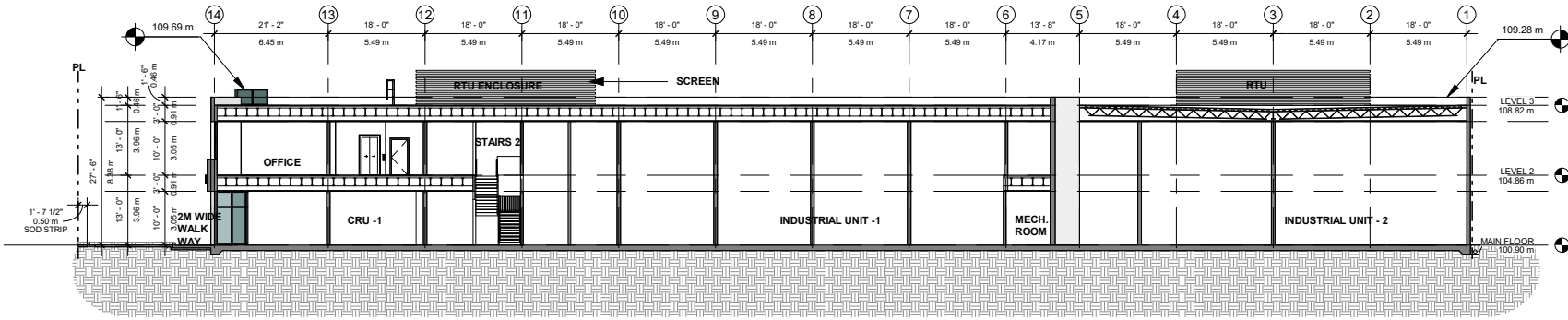
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DRAWN:	PS
CHECKED:	YA
SCALE:	3/64" = 1'-0"
JOB NO.:	SUR-153
DATE:	JULY 2022
SHEET TITLE:	

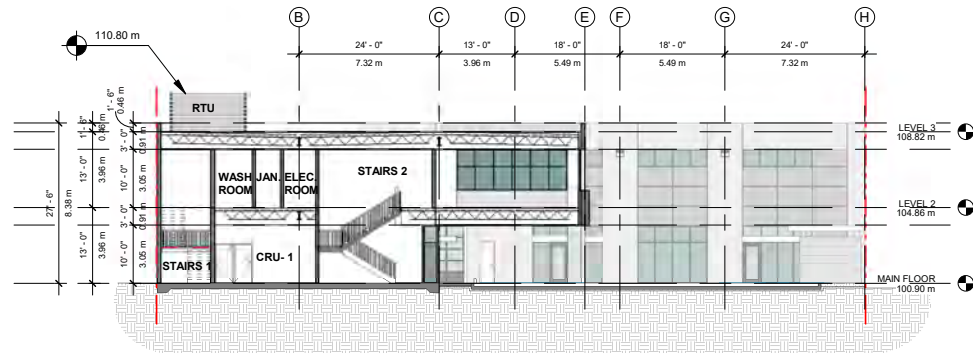
ELEVATIONS

DRAWING No.	A-301	E
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NOTES :



1 Section 1
A-320 3/64" = 1'-0"



2 Section 2
A-320 3/64" = 1'-0"

2022-07-29	E	DP RESUBMISSION
2022-07-15	D	DP RESUBMISSION
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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
12068, 12076 - 90TH AVENUE SURREY, BC

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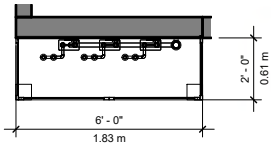
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CHECKED:	YA
SCALE:	3/64" = 1'-0"
JOB NO.:	SUR-153
DATE:	JULY 2022

SHEET TITLE:

BUILDING SECTIONS

DRAWING No.	A-320	E
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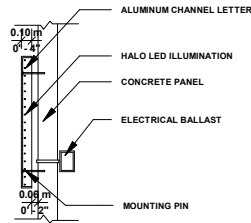
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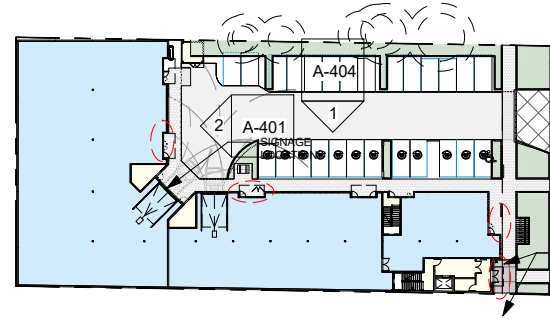
1 GAS METER PLAN
1/4" = 1'-0"



REFERENCE IMAGE

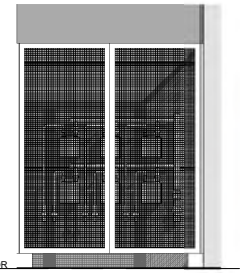


5 SIGNAGE MOUNTING DETAIL
1/4" = 1'-0"



SIGNAGE LOCATION

4 SIGNAGE LOCATION PLAN
1" = 60'-0"



2 GAS METER ELEVATION
1/4" = 1'-0"



REFERENCE IMAGE FOR EXTERIOR WALL MOUNTED LIGHT:
BRAND: WARELIGHT
LED WALL PACK, G2, 60 WATT, 8800 LUMENS, 4000K
PHOTOCCELL: 120 - 277V OPTION



SAMPLE SIGNAGE 1
PIN MOUNTED 1/4" BRUSHED ALUMINUM WITH SATIN CLEAR COAT



SAMPLE SIGNAGE 2
1/4" SATIN BRUSHED ALUMINUM LETTERS WITH SATIN CLEARCOAT & BACKLIT WITH 3/4" PINNED OFFSET

2022-07-29	E	DP RESUBMISSION
2022-07-15	D	DP RESUBMISSION
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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT

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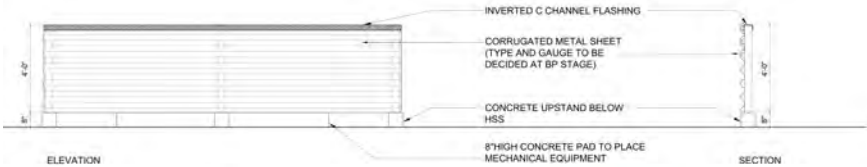
DRAWN:	PS
CHECKED:	YA
SCALE:	
JOB NO.:	SUR-153
DATE:	JULY 2022
SHEET TITLE:	

DETAILS

DRAWING No.

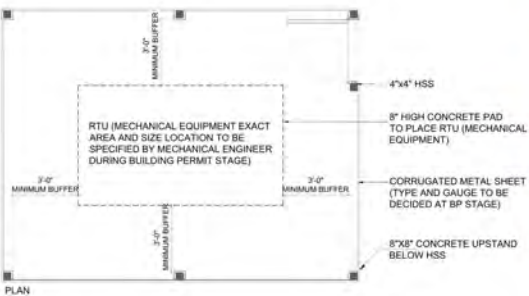
A-401

E



ELEVATION

SECTION

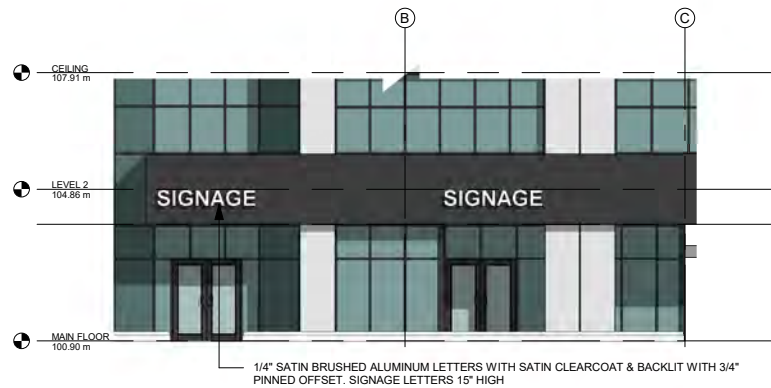


PLAN



REFERENCE IMAGE

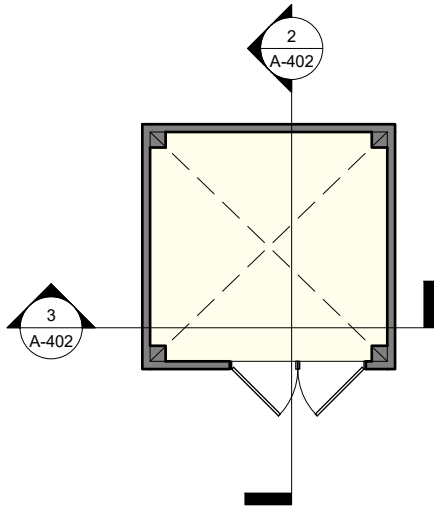
3 RTU SCREEN DETAIL
1/4" = 1'-0"



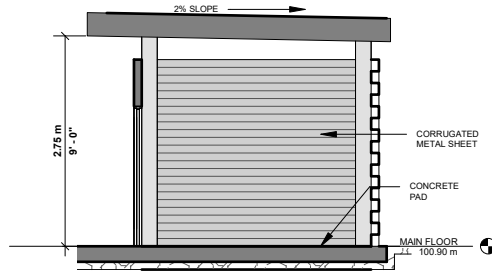
1/4" SATIN BRUSHED ALUMINUM LETTERS WITH SATIN CLEARCOAT & BACKLIT WITH 3/4" PINNED OFFSET. SIGNAGE LETTERS 15" HIGH

6 SIGNAGE ELEVATION
3/32" = 1'-0"

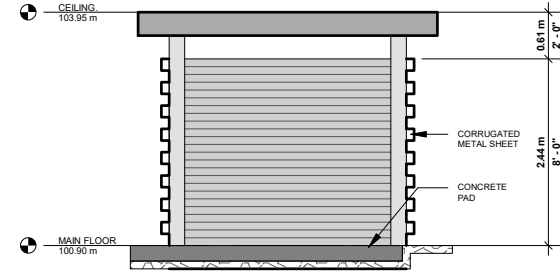
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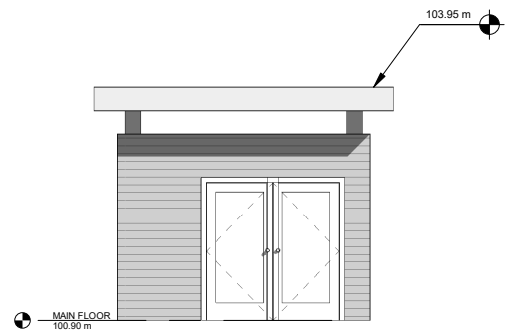
1
A-402 **GARBAGE ROOM PLAN**
3/16" = 1'-0"



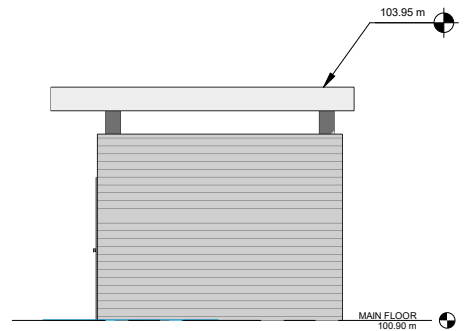
2
A-402 **GARBAGE RM. SECTION**
3/16" = 1'-0"



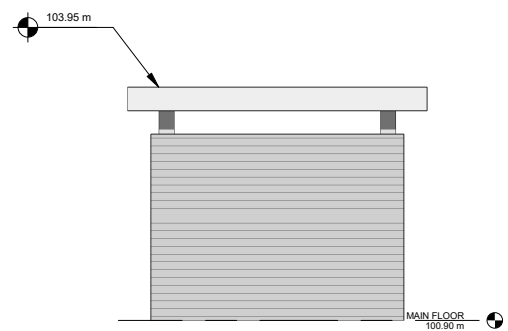
3
A-402 **GARBAGE RM. SECTION 2**
3/16" = 1'-0"



4
A-402 **GARBAGE ROOM (EAST)**
3/16" = 1'-0"



5
A-402 **GARBAGE ROOM (NORTH)**
3/16" = 1'-0"



6
A-402 **GARBAGE ROOM (WEST)**
3/16" = 1'-0"

2022-07-29	E	DP RESUBMISSION
2022-07-15	D	DP RESUBMISSION
2022-02-25	C	DP RESUBMISSION
2021-10-12	B	DP APPLICATION
2021-09-17	A	PRELIMINARY SUBMISSION



PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
12068, 12076 - 90TH AVENUE SURREY, BC

CLIENT:
1322699 BC LTD. #203-12732 80 AVENUE, SURREY, BC V3W3A7

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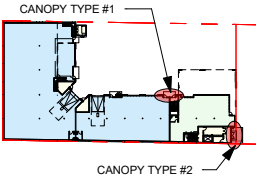
DRAWN:	PS
CHECKED:	YA
SCALE:	3/16" = 1'-0"
JOB NO.:	SUR-153
DATE:	JULY 2022

SHEET TITLE:

GARBAGE ENCLOSURE

DRAWING No.	A-402
	E

NOTES :



KEY PLAN

2022-07-15	D	DP RESUBMISSION
2022-02-29	C	DP RESUBMISSION
2021-10-12	B	DP APPLICATION
2021-09-17	A	PRELIMINARY SUBMISSION
	REV	



PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
12068, 12076 - 90TH AVENUE SURREY, BC

CLIENT:
1322699 BC LTD. #203-12732 80 AVENUE, SURREY, BC V3W3A7

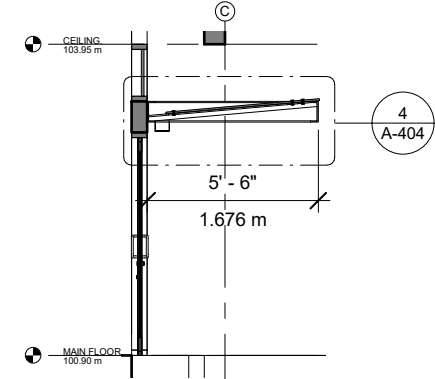
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DRAWN:	PS
CHECKED:	YA
SCALE:	As indicated
JOB NO.:	SUR-153
DATE:	JULY 2022
SHEET TITLE:	

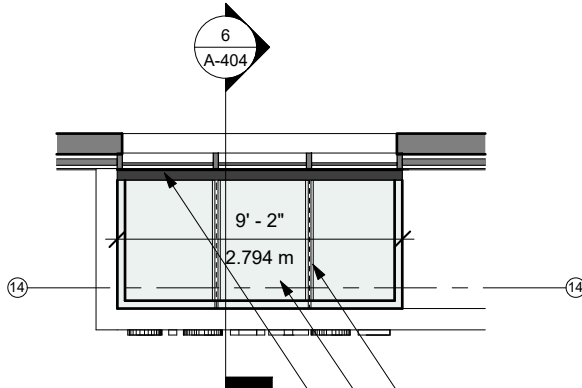
CANOPY CONCEPT

DRAWING No.
A-404

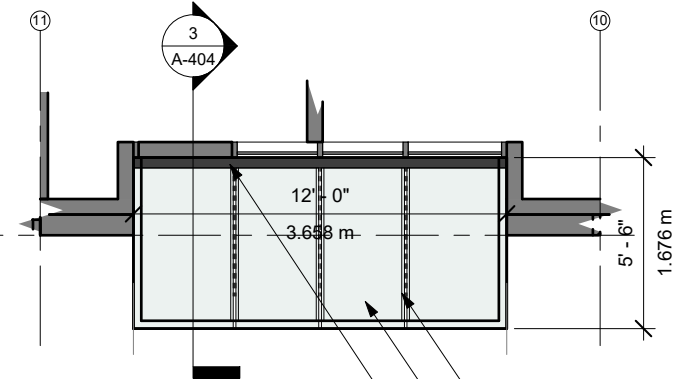
E



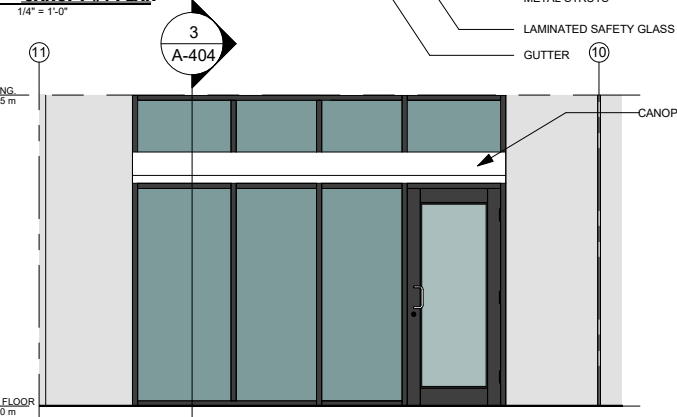
3 CANOPY #1 SECTION
A-404 1/4" = 1'-0"



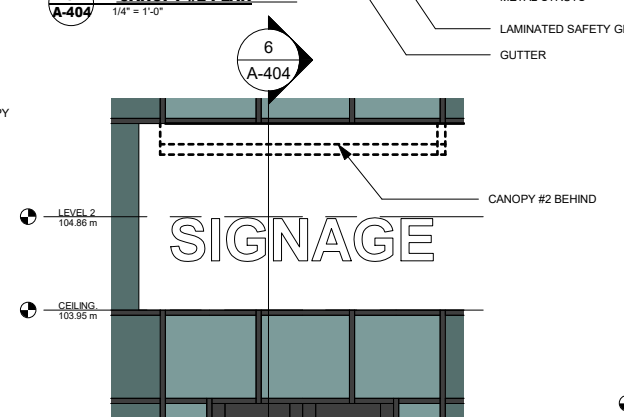
5 CANOPY #2 PLAN
A-404 1/4" = 1'-0"



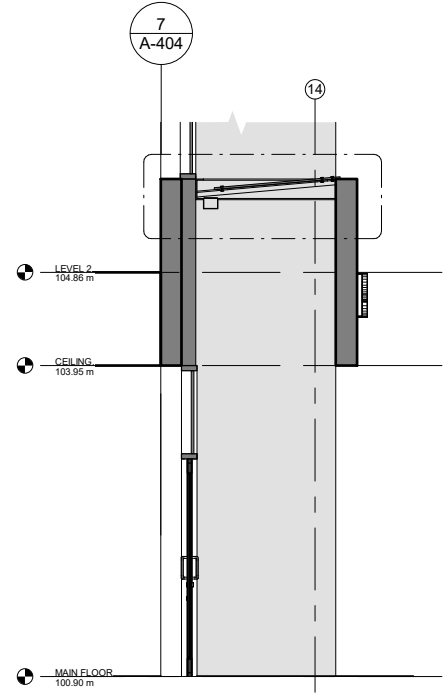
1 CANOPY #1 PLAN
A-404 1/4" = 1'-0"



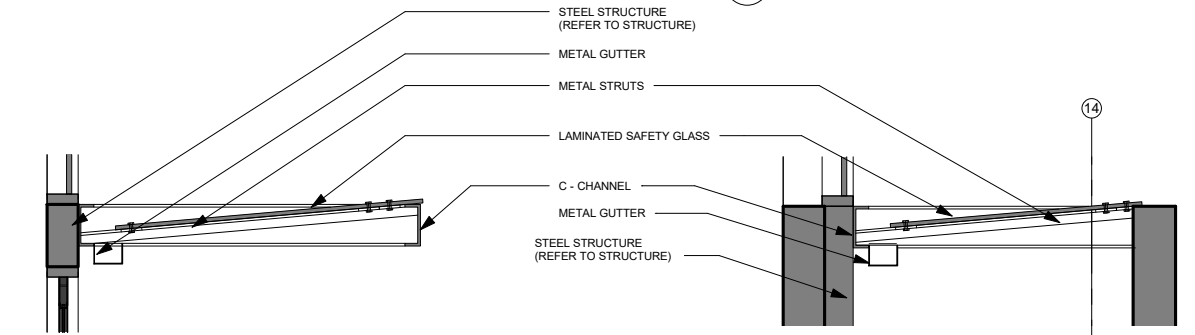
2 CANOPY #1 ELEVATION
A-404 1/4" = 1'-0"



8 CANOPY #2 ELEVATION
A-404 1/4" = 1'-0"



6 CANOPY #2 SECTION
A-404 1/4" = 1'-0"



4 CANOPY #1 DETAIL
A-404 1/2" = 1'-0"

7 CANOPY #2 DETAIL
A-404 1/2" = 1'-0"

33 REPLACEMENT TREES IS REQUIRED

PLANT SCHEDULE		M2 JOB NUMBER: 21 071	
KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE			
3	ACER GRISEBUM	PAPERBARK MAPLE	6CM CAL 1.2M STD; B4B
4	CHAMAECYPARIS NOOTKATENSIS	NOOKA CYPRESS	3.0M HT; B4B
2	GINKGO BILOBA FASTIGIATA	MAIDENHAIR TREE	6CM CAL 1.2M STD; B4B
16	LIQUIDAMBAR STYRACIFILIA SLENDER SILLOUTTE	SWEET GUM SLENDER SILLOUTTE	6CM CAL; 2M STD; B4B
3	STERNARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	6CM CAL 1.2M STD B4B

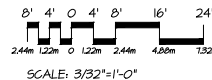
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

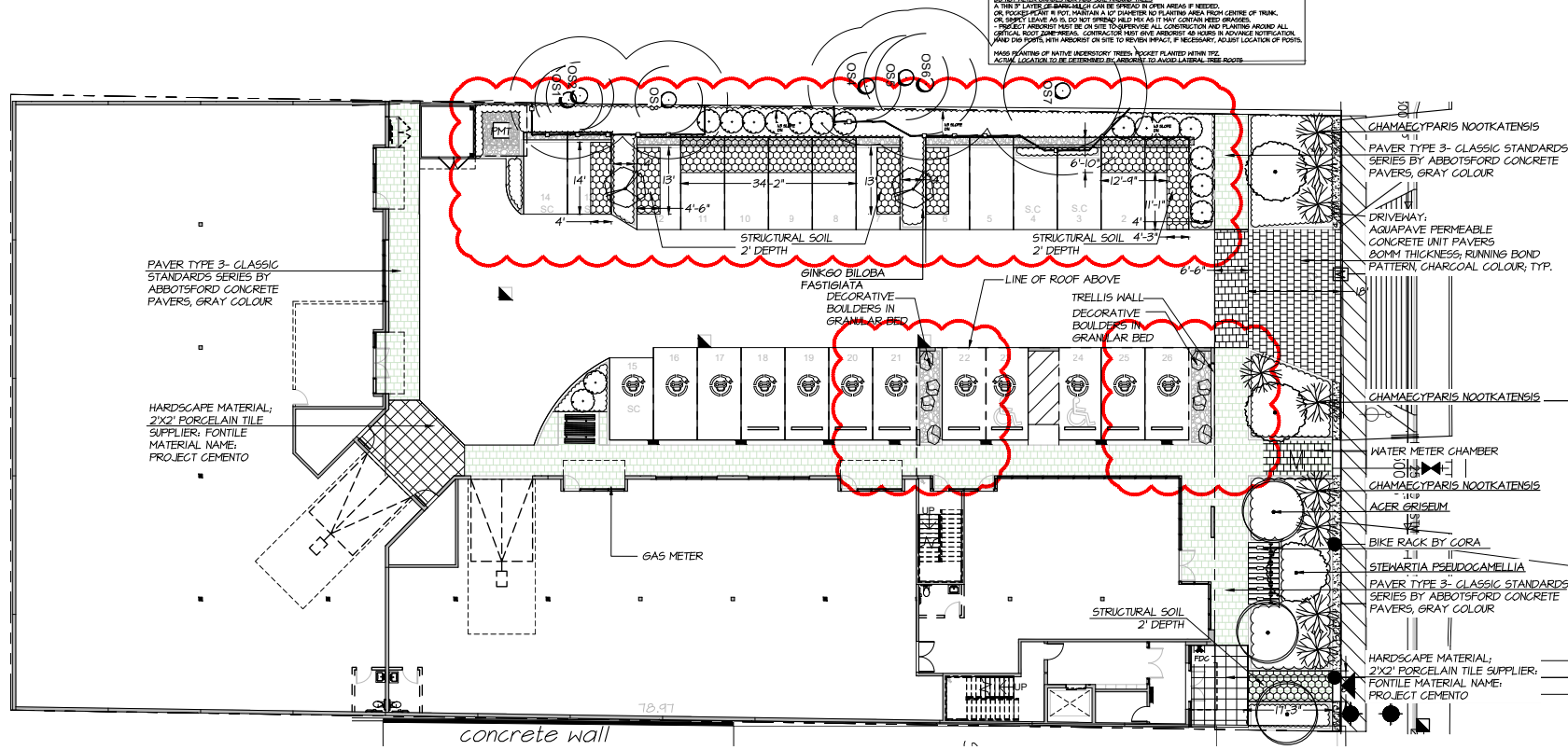
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Fax: 604.553.0045
Email: office@m2la.com



NOTE:
- LANDSCAPE PREPARATORY WORK AND CONSTRUCTION WITHIN AND IN DIRECTLY ADJACENT TO ANY SITE ALL REQUIRE LOW IMPACT METHODS AND MATERIALS TO BE USED TO MITIGATE ROOT AND SOIL IMPACTS. ALL ROOT WORKS ARE TO BE COORDINATED WITH THE PROJECT ARCHITECT IN ADVANCE OF COMMENCING THEM AND SUPERVISED AT THE DISCRETION OF THE PROJECT ARCHITECT IN ACCORDANCE WITH APPLICABLE BEST MANAGEMENT PRACTICES. MINIMUM 48 HOURS IN ADVANCE NOTICES FOR SITE VISIT.
- CONTACT LANDSCAPE ARCHITECT AND ARBORIST IN ORDER TO REVIEW THE SOIL DEPTHS FOR PLANTING WITHIN THE 120\"/>



90 AVENUE

NO.	DATE	REVISION DESCRIPTION	DR.
8	AUG 02 2022	REV AS PER CITY COMMENTS	BN
7	JULY 20 2022	NEW SITE PLAN CITY COMMENTS	BN
6	JULY 19 2022	REV AS PER NEW SITE PLAN	BN
5	JULY 19 2022	REVISION OF DP	CE
4	FEB 22 2022	REV AS PER ARCH COMMENTS	DP
3	FEB 22 2022	REV AS PER CIVIL INFORMATION	BN
2	FEB 22 2022	ISSUED FOR CIP	BN
1	FEB 22 2022	PRELIMINARY DRAWING	BN

NO.	DATE	REVISION DESCRIPTION	DR.

PROJECT:
**12068 & 12076
90TH AVENUE,
SURREY, BC**

DRAWING TITLE:
**TREE
PLAN**

DATE: 24 SEP 2022	DRAWING NUMBER:
SCALE: 3/32"=1'-0"	L1
DRAWN: BN	
DESIGN: BN	
CHECK: MTLM	
M2LA PROJECT NUMBER:	21-071

PLANT SCHEDULE

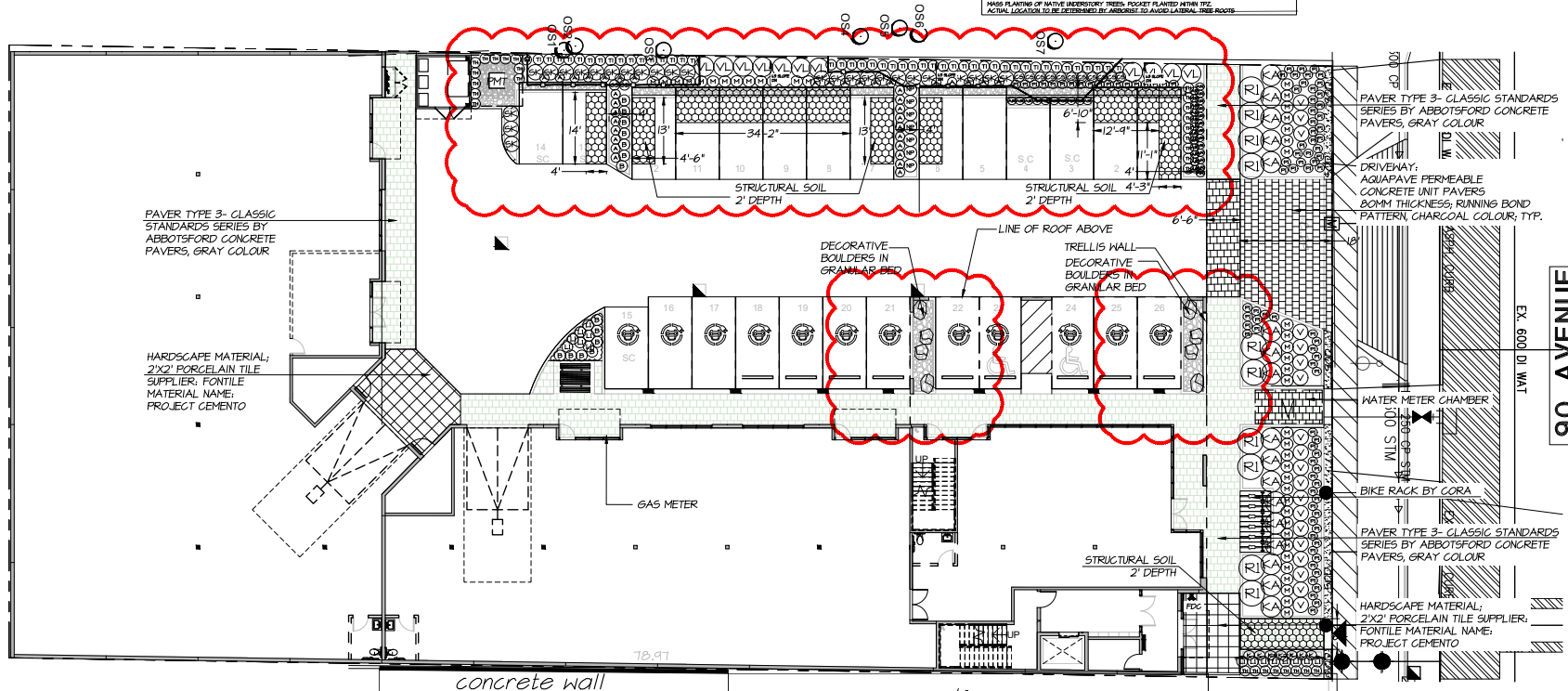
M2 JOB NUMBER: 21 071

KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SRUBS			
11	CEANOTHUS THYRSIFLORUS 'VICTORIA'	VICTORIA CALIFORNIA LILAC	#1 POT
45	TAXUS X MEDIA 'HICKSII'	HICK'S YEN	#1 POT; 50CM
14	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#2 POT; 25CM
17	CORNUS STOLONIFERA	DOGWOOD	#2 POT; 50CM
44	MAKONIA AQUIFOLIUM	OREGON GRAPE HOLLY	#2 POT; 50CM
7	NANDINA DOMESTICA 'FIREPOWER'	FIREPOWER NANDINA	#2 POT; 50CM
10	RUBUS PARVIFLORUS	THIMBLEBERRY	#1 POT
7	RUDBECKIA FULGIDA VAR SULLIVANTII 'GOLDDILOCKSBUDBECKIA'	JAPANESE SKIMMIA	#1 POT
27	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#1 POT
24	TAXUS X MEDIA 'HICKSII'	HICK'S YEN	1.2M B4B
19	VIBURNUM DAVIDII	DAVID'S VIBURNUM	#3 POT
GRASSES			
13	HAKONEGLA MACRA 'ALL GOLD'	JAPANESE FOREST GRASS	#1 POT
PERENNIAL			
36	ANEMONE 'HONORNE JOBERT'	HINDFLOWER	15CM POT
15	LAVENDULA ANGSTIFOLIA	ENGLISH LAVENDER	#1 POT
35	ARCTOSTAPHYLOS UVA-URSI 'VANCOUVER JADE'	KINKINNICK	#1 POT; 20CM
45	POLYSTICHUM MINUTUM	WESTERN SWORD FERN	#1 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

NOTE:
 - LANDSCAPE PREPARATORY WORK AND CONSTRUCTION WITHIN AND IMMEDIATELY ADJACENT TO ANY TREE WILL REQUIRE LOW IMPACT METHODS AND MATERIALS TO BE USED TO MITIGATE ROOT AND SOIL IMPACTS. ALL WORK HEREIN MUST BE COORDINATED WITH THE PROJECT ARBORIST IN ADVANCE OF COMMENCING THEM AND SUPERVISED AT THE DISCRETION OF THE PROJECT ARBORIST IN ACCORDANCE WITH ARBORICULTURAL BEST MANAGEMENT PRACTICES. MINIMUM 48 HOUR NOTICE FOR SITE VISIT.
 - CONTACT LANDSCAPE ARCHITECT AND ARBORIST IN ORDER TO REVIEW THE SOIL DEPTHS FOR PLANTING WITHIN THE TREE PROJECTIONS TO FLAGGED OR BROWNE HEDGES.
 - DO NOT ALTER GRADE OR ADD SOIL AROUND TREES.
 - A TREE IS DEFINED AS EITHER BELL-CANOPY (SHRUB) OR OPEN MESA (IF NEEDED).
 - ON POCKET PLANT #1 POT, MAINTAIN A 10" DIAMETER NO PLANTING AREA FROM CENTRE OF TRUNK OR TRUNK LEAVE AS IS. DO NOT SPREAD MULCH OR ANY OTHER MULCH MATERIALS.
 - PROJECT ARBORIST MUST BE ON SITE TO SUPERVISE ALL CONSTRUCTION AND PLANTING AROUND ALL CRITICAL ROOT ZONE AREAS. COORDINATOR MUST ADVISE ARBORIST 48 HOURS IN ADVANCE NOTIFICATION. HAND DIG POSTS WITH ARBORIST ON SITE TO REVIEW IMPACT. IF NECESSARY, ADJUST LOCATION OF POSTS.
 - MASS PLANTING OF WATER UNDERSTORY TREES: POCKET PLANTED WITHIN TREE. ACTUAL LOCATION TO BE DETERMINED BY ARBORIST TO AVOID LATERAL TREE ROOTS.



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NO.	DATE	REVISION DESCRIPTION	DR.
1	19/02/2023	REV AS PER CITY COMMENTS	BN
2	15/03/2023	NEW SITE PLAN CITY COMMENTS	BN
3	15/03/2023	REV AS PER NEW SITE PLAN	BN/SL
4	15/03/2023	PERMISSION OF CP	SL
5	15/03/2023	REV AS PER ARCH COMMENTS/CP	BN
6	15/03/2023	REV AS PER CIVIL INFORMATION	BN
7	15/03/2023	ISSUED FOR CP	BN
8	15/03/2023	PRELIMINARY DRAWING	BN

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.


PROJECT:
**12068 & 12076
 90TH AVENUE,
 SURREY, BC**


DRAWING TITLE:
**SHRUB
 PLAN**

DATE: 21SEP2023 DRAWING NUMBER:
 SCALE: 3/32"=1'-0"
 DRAWN: BN
 DESIGN: BN
 CHECK: MTLM
 M2LA PROJECT NUMBER: 21-071-03

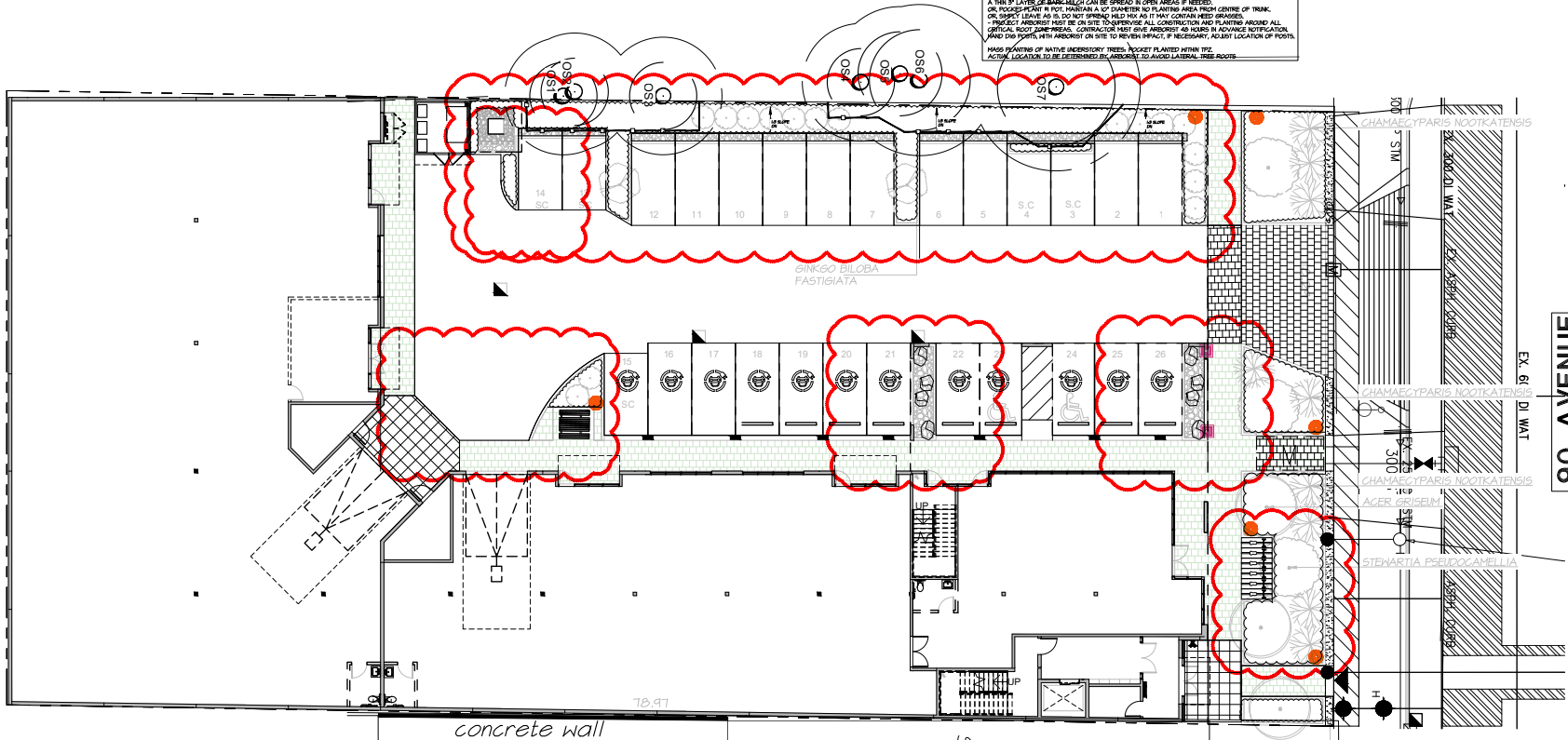
L2
 OF 8
 21-071-03

LEGEND

 WALL RECESSED LIGHTING BY MAC LIGHTING
 (MODEL RWL-LED140 - 120 VAC)
 COLOUR: BLACK
 AMOUNT: 2

 BOLLARD LIGHTING BY MAC LIGHTING
 (MODEL R6691 - 4-15 VAC)
 COLOUR: BLACK
 AMOUNT: 1

NOTE:
 1. LANDSCAPE PREPARATORY WORK AND CONSTRUCTION WITHIN AND IN CLOSELY ADJACENT TO ANY SITE SHALL REQUIRE LOW IMPACT METHODS AND MATERIALS TO BE USED TO MITIGATE ROOT AND SOIL IMPACTS. ALL ROOT BARRIERS ARE TO BE COORDINATED WITH THE PROJECT ARCHITECT IN ADVANCE OF COMMENCING THEM AND SUPERVISED AT THE DISCRETION OF THE PROJECT ARCHITECT IN ACCORDANCE WITH ARBORICULTURAL BEST MANAGEMENT PRACTICES (BMP) AS A GUIDE FOR USE FOR THIS SITE.
 2. CONTACT LANDSCAPE ARCHITECT AND ARBORIST IN ORDER TO REVEAL THE SOIL DEPTHS FOR PLANTING WITHIN THE TREE PRIOR TO PLACEMENT OF GROUND BEAMS.
 3. DO NOT ALTER GRADE, NOR ADD SOIL AROUND TREES.
 4. A 10" P LAYER OF GRANULAR MEDIA CAN BE SPREAD IN OPEN AREAS IF NEEDED.
 5. ON POCOCK PLANT IN POT, MAINTAIN A 10" DIAMETER NO PLANTING AREA FROM CENTRE OF TRUNK OR SUPPORT LEAVE AS IS. DO NOT SPREAD MEDIA TO AS IT MAY CONTAIN WEED SEEDS.
 6. PROJECT ARCHITECT MUST BE ON SITE TO SUPERVISE ALL CONSTRUCTION AND PLANTING AROUND ALL CRITICAL ROOT ZONES/BEAMS. CONTRACTOR MUST GIVE ARBORIST 48 HOURS IN ADVANCE NOTIFICATION, AND DO NOT WORK WITH ARBORIST ON SITE TO REVEAL IMPACT, IF NECESSARY, ADJUST LOCATION OF POSTS.
 7. MAINT PLANTING OF NATIVE UNDERSTOREY TREES, POCKET PLANTED WITHIN THE ACTIVE LOCATION TO BE RETAINED BY ARBORIST TO AVOID LATERAL TREE ROOTS.

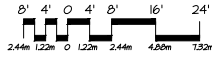


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SCALE: 3/32"=1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
0	MAR23,2022	REV AS PER CITY COMMENTS	BN
1	JULY28,2022	NEW SITE PLAN CITY COMMENTS	BN
2	JULY28,2022	REV AS PER NEW SITE PLANS	BN
3	AUG10,2022	RETURNED FOR DP	BN
4	FEB23,2022	REV AS PER ARCHA COMMENT DP	BN
5	MAR23,2022	REV AS PER CIVIL INFORMATION	BN
6	MAR23,2022	ISSUED FOR DP	BN
7	MAR23,2022	PRELIMINARY DRAWING	BN

NO. DATE REVISION DESCRIPTION DR.

NO.	DATE	REVISION DESCRIPTION	DR.

PROJECT:
**12068 & 12076
 90TH AVENUE,
 SURREY, BC**

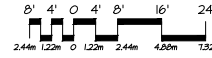
DRAWING TITLE:
LIGHTING PLAN

DATE: 21SEP2022	DRAWING NUMBER:
SCALE: 3/32"=1'-0"	L3
DRAWN: BN	
DESIGN: BN	
CHECK: HTLM	



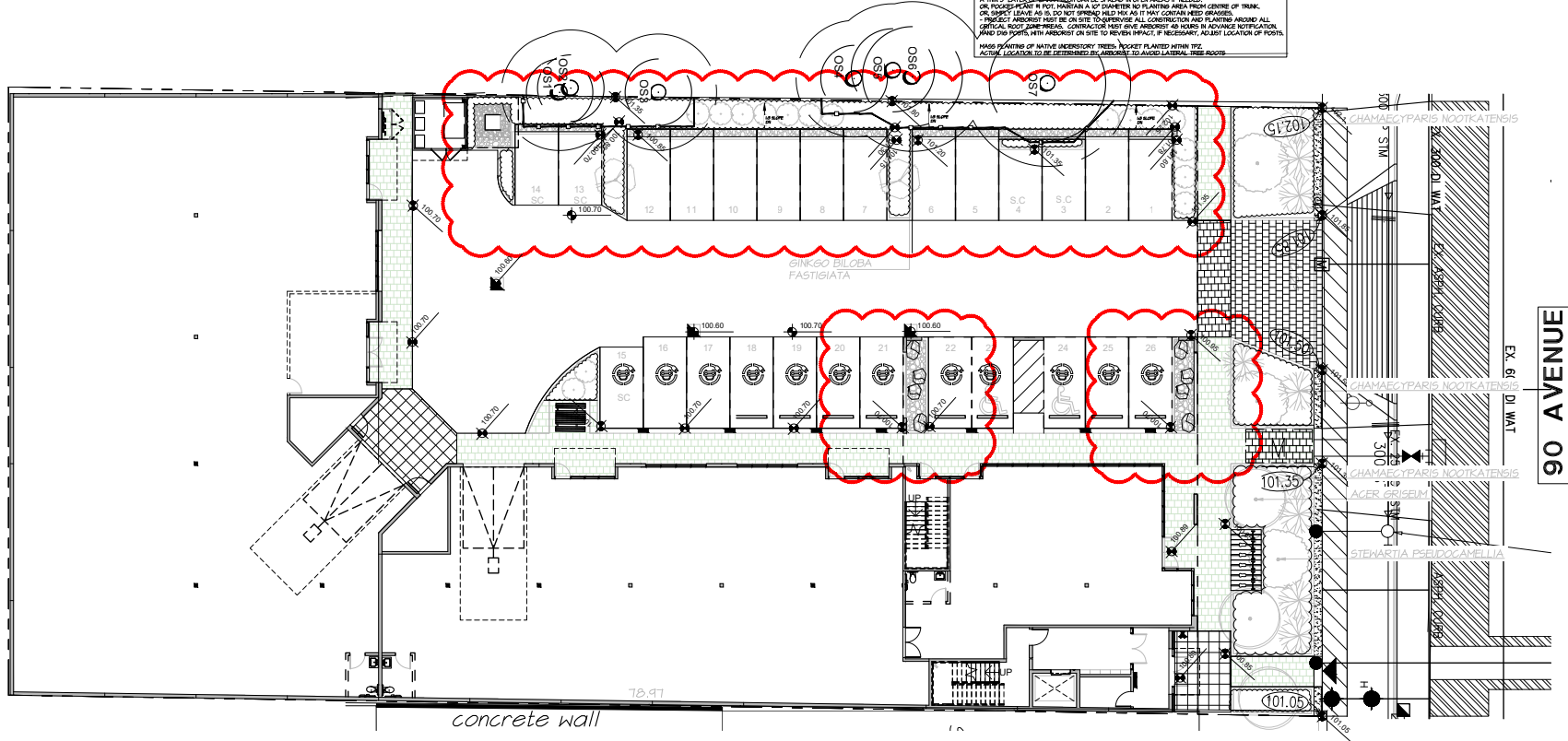
LANDSCAPE ARCHITECTURE

#220 - 26 Lorne Mews
 New Westminster, British Columbia
 V3M 3L7
 Tel: 604.553.0044
 Fax: 604.553.0045
 Email: office@m2la.com



SCALE: 3/32"=1'-0"

NOTE:
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 CONTACT LANDSCAPE ARCHITECT AND ARBORIST IN ORDER TO REVEAL THE SOIL DEPTHS FOR PLANTING WITHIN THE TREE PRIOR TO PLACEMENT OF GROUND BEAMS.
 DO NOT ALTER GRADE OR ADD SOIL AROUND TREES.
 A 10" P LAYER OF SAND-BLENDED CAN BE SPREAD IN OPEN AREAS IF NEEDED.
 OR, PROTECT PLANT IN POT, MAINTAIN A 10" DIAMETER NO PLANTING AREA FROM CENTRE OF TRUNK, OR, SPREAD LEAVES AS IS, DO NOT SPREAD MULCH TO AS IT MAY CONTAIN WEED SEEDS.
 PROJECT ARBORIST MUST BE ON SITE TO SUPERVISE ALL CONSTRUCTION AND PLANTING AROUND ALL CRITICAL ROOT ZONES/SPREADS. CONTRACTOR MUST GIVE ARBORIST 48 HOURS IN ADVANCE NOTIFICATION, MAINTAIN ROOTS WITH ARBORIST ON SITE TO REVEAL IMPACT, IF NECESSARY, ADJUST LOCATION OF POSTS.
 MASS PLANTING OF NATIVE INDICATIVE TREES, PROTECT PLANTED WITHIN TREE, ACTUAL LOCATION TO BE DETERMINED BY ARBORIST TO AVOID LATERAL TREE ROOTS.



NO.	DATE	REVISION DESCRIPTION	DR.
0	MAR23,2022	REV AS PER CITY COMMENTS	BN
1	JULY,2022	NEW SITE PLAN CITY COMMENTS	BN
2	JULY,2022	REV AS PER NEW SITE PLANS	BN
3	FEB,2022	RETURNED FOR DP	BN
4	FEB,2022	REV AS PER ARBA COMMENT DP	BN
5	MAR,2022	REV AS PER CIVIL INFORMATION	BN
6	MAR,2022	ISSUED FOR DP	BN
7	MAR,2022	PRELIMINARY DRAWING	BN

NO.	DATE	REVISION DESCRIPTION	DR.

PROJECT:
**12068 & 12076
 90TH AVENUE,
 SURREY, BC**

DRAWING TITLE:
**GRADING
 PLAN**

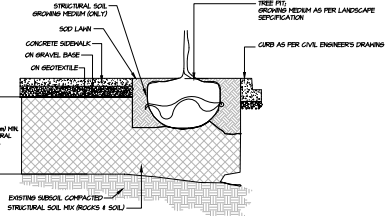
DATE: 21SEP2022
 SCALE: 3/32"=1'-0"
 DRAWN: BN
 DESIGN: BN
 CHECKED: HTLM
 M2LA PROJECT NUMBER:
L4
 OF 8
 21-071

90 AVENUE

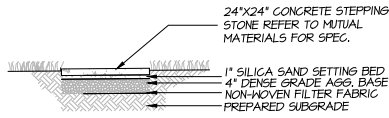
concrete wall

EX. 61 DI. VMT

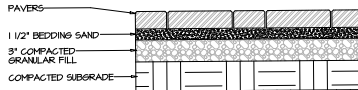
NOTES:
VERIFY LOCATION OF ANY UNDERGROUND SERVICES OR OBSTRUCTIONS PRIOR TO CONSTRUCTION.



1 STRUCTURAL SOIL
L6 SCALE: 1/2" = 1'-0"

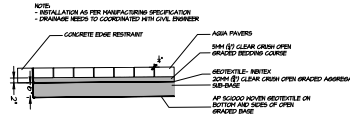


2 24\"/>

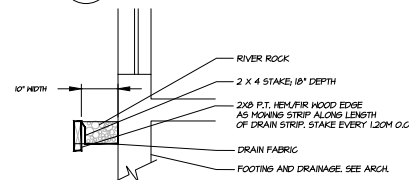


NOTE:
PAVERS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS USE HOLLAND PAVERS-COLOR TO BE SELECTED BY OWNER
ALL COMPACTION TO 98% PROCTOR DENSITY

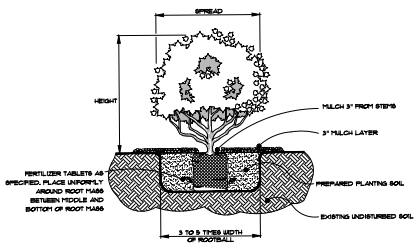
3 CONCRETE UNIT PAVERS ON GRADE
L6 SCALE: 1-1/2" = 1'-0"



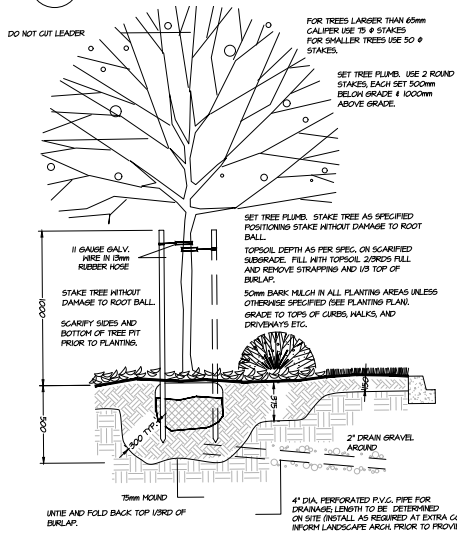
4 PERMEABLE PAVER @ ENTRANCE
L6 SCALE: 1/2" = 1'-0"



5 DRAIN STRIP
L6 SCALE: 3/4" = 1'-0"



6 SHRUB PLANTING DETAIL
L6 NTS



7 TREE PLANTING DETAIL
L6 NTS

WAC LIGHTING

WL4LED140
Tong And Wall Light

Product Description:
WAC Lighting has a long history of providing high-quality outdoor lighting solutions for residential and commercial applications. The WL4LED140 is a modern, sleek outdoor wall light that is perfect for illuminating patios, walkways, and entryways. It features a durable, weather-resistant design and is easy to install.

Specifications:
Material: Aluminum
Finish: Black
Light Source: LED
Voltage: 120V
Wattage: 140W
Dimensions: 14\"/>

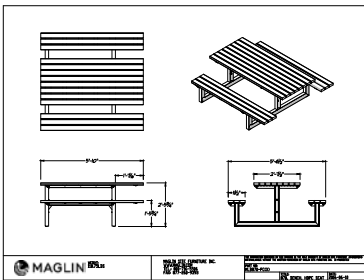
WAC LANDSCAPE LIGHTING

GATE LED BOLLARD/PATH 6651

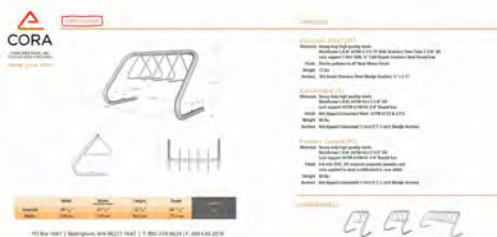
Product Description:
The GATE LED Bollard/Path is a modern, sleek outdoor lighting fixture that is perfect for illuminating walkways, patios, and entryways. It features a durable, weather-resistant design and is easy to install.

Specifications:
Material: Aluminum
Finish: Black
Light Source: LED
Voltage: 120V
Wattage: 60W
Dimensions: 6\"/>

8 LIGHTING SPECS
L6 CONFIRMATION & COORDINATION TO BE MADE BY ELECTRICAL ENGINEER PIRO TO INSTALLATION



9 PICNIC TABLE
L6 BY MAGLIN



10 BIKE RACK
L6 BY CORA - MODEL #EXPO #503 CAPACITY OF 6

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LANDSCAPE ARCHITECTURE

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NO.	DATE	REVISION DESCRIPTION	DR.
1	21 SEP 2021	REV AS PER CITY COMMENTS	BN
2	21 SEP 2021	REV AS PER CITY COMMENTS	BN
3	21 SEP 2021	REV AS PER CITY COMMENTS	BN
4	21 SEP 2021	REV AS PER CITY COMMENTS	BN
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98	21 SEP 2021	REV AS PER CITY COMMENTS	BN
99	21 SEP 2021	REV AS PER CITY COMMENTS	BN
100	21 SEP 2021	REV AS PER CITY COMMENTS	BN

NO. DATE REVISION DESCRIPTION DR.

SEAL:

PROJECT:
**12068 & 12076
90TH AVENUE,
SURREY, BC**

DRAWING TITLE:
**LANDSCAPE
DETAILS**

DATE: 21 SEP 2021 DRAWING NUMBER:
SCALE:
DRAWN: BN
DESIGN: BN
CHK'D: MTLM
M2LA PROJECT NUMBER:
L6

21-07-04-10 OF 8 21-07

INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **April 08, 2022** PROJECT FILE: **7821-0307-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 12068 90 Ave**

REZONE AND SUBDIVISION

Property and Right-of-Way Requirements

- Register 0.5m SRW along the south side of 90 Ave.

Works and Services

- Construct the south side of 90 Ave.
- Construct driveway letdown.
- Extend 375mm drainage main along 90 Ave.
- Construct on-site stormwater mitigation features.
- Provide cash-in-lieu to upsize the sanitary main on 90 Ave.
- Provide storm, sanitary and water service connections.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT AND DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit and Development Variance Permit.



Jeff Pang, P.Eng.
Development Services Manager

IJ

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 21-0307-00

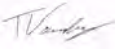
Address: 12068 12076 – 90 Avenue

Registered Arborist: Tim Vandenberg

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	20
Protected Trees to be Removed	20
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 7 X one (1) = <u>7</u> - All other Trees Requiring 2 to 1 Replacement Ratio 13 X two (2) = <u>26</u> 	33
Replacement Trees Proposed	33
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 	0
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 

Date: August 2, 2022



Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302



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V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Email: mfadum@fadum.ca

CLIENT

FILE NO.

PROJECT TITLE
TREE PRESERVATION AND PROTECTION PLAN

12068 12076 - 90th AVENUE
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	JUL19/22	MK	SITE PLAN
2	AUG02/22	MK	SITE PLAN

GENERAL NOTES:

- NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS.
- PROPOSED PERIMETER CEDAR FENCE, NO EXCAVATION AND HAND DIG POSTS IF INSIDE TREE PROTECTION ZONE.
- TREE PROTECTION FENCING SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.
- REASSESS TREES WITH LOT GRADING PLANS.
- REPLACEMENT TREES SHALL CONFORM TO BCSLA/BCCLNA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.

SHEET TITLE

T2 - TREE PROTECTION PLAN

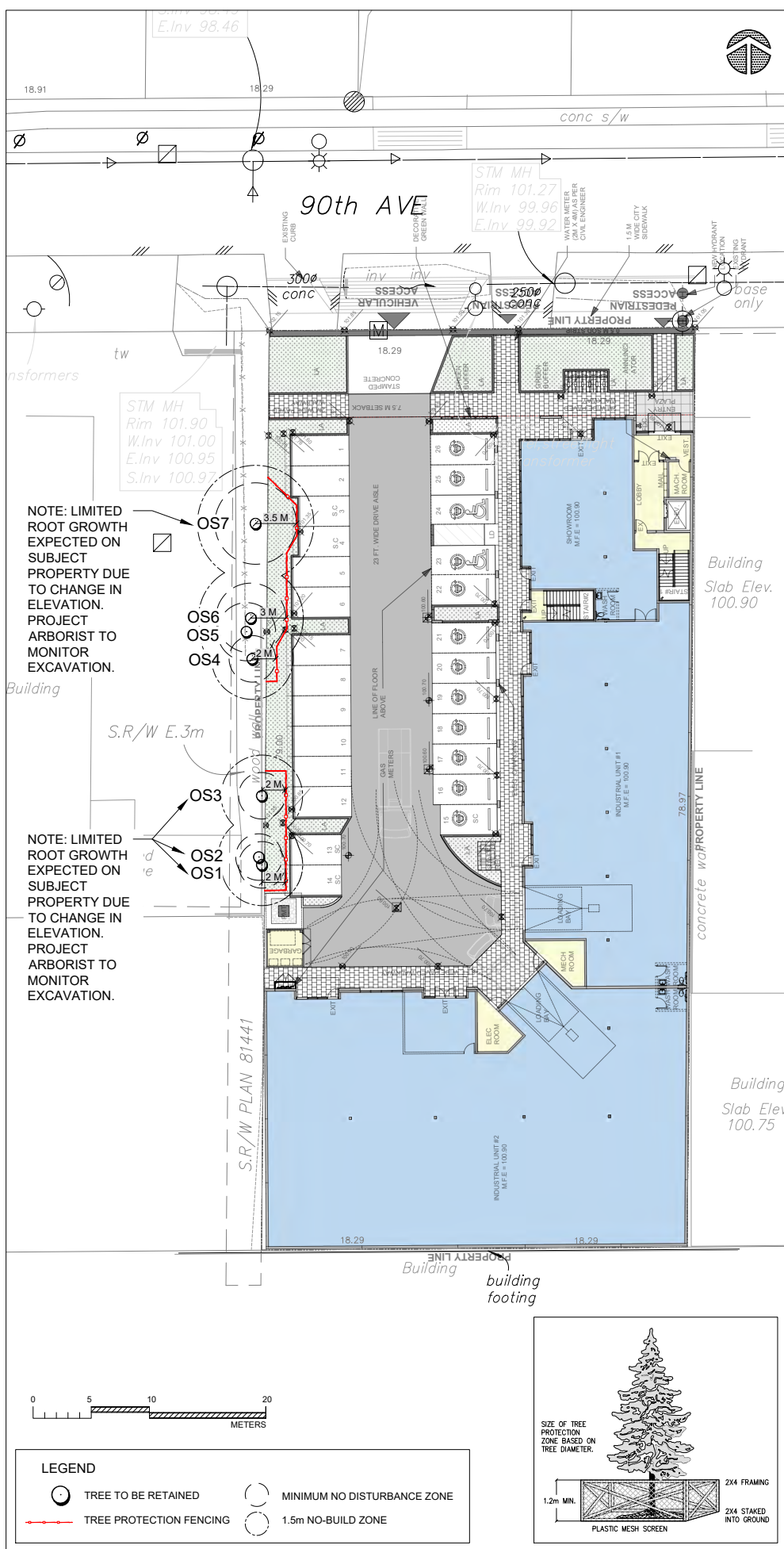
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DRAWN
MK

SCALE
AS SHOWN

DATE
AUGUST 05, 2021

T-2
SHEET 2 OF 2



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0307-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 009-893-610
 Lot 6 Section 31 Township 2 New Westminster District Plan 13861

12068 - 90 Avenue

Parcel Identifier: 007-722-494
 Lot 7 Section 31 Township 2 New Westminster District Plan 13861

12076 - 90 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F. "Yards and Setbacks" of Part 48 "Light Impact Industrial Zone (IL)" the rear yard setback for a principal building is reduced from 7.5 metres to 0.0 metres.
 - (b) In Section F. "Yards and Setbacks" of Part 48 "Light Impact Industrial Zone (IL)" the west side yard setback for a principal building is reduced from 7.5 metres to 0.0 metres.
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

DRAWINGS.
ALL PLANTING MATERIAL AND LANDSCAPE DESIGN AREA REF. TO LANDSCAPE DRAWINGS.
ALL GRADING, LOCATION OF CATCH BASIN, CURB ALIGNMENT, PEDESTRIAN CROSSING REF. TO CIVIL DRAWINGS.

LEGEND :
LA - LANDSCAPE
BR - BIKE RACK
TPZ - TREE PROTECTION ZONE
SC - SMALL CAR

2022-07-29	I	D/P RESUBMISSION
2022-07-19	D	D/P RESUBMISSION
2022-02-25	D	D/P RESUBMISSION
2021-10-12	B	D/P APPLICATION
2021-09-17	A	PRELIMINARY SUBMISSION



350-10851 SHELLBRIDGE WAY
RICHMOND, BRITISH COLUMBIA, CANADA, V6X 2W9
T (604)286-9134 F (604)284-9131
info@dfarchitecture.ca

PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT

12068, 12076 - 90TH AVENUE
SURREY, BC

CLIENT:
1322699 BC LTD. #203-12732 80 AVENUE, SURREY, BC V3W3A7

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DRAWN:	PS
CHECKED:	YA
SCALE:	3/64" = 1'-0"
JOB NO.:	SUR-153
DATE:	AUG 2022
SHEET TITLE:	

SITE PLAN

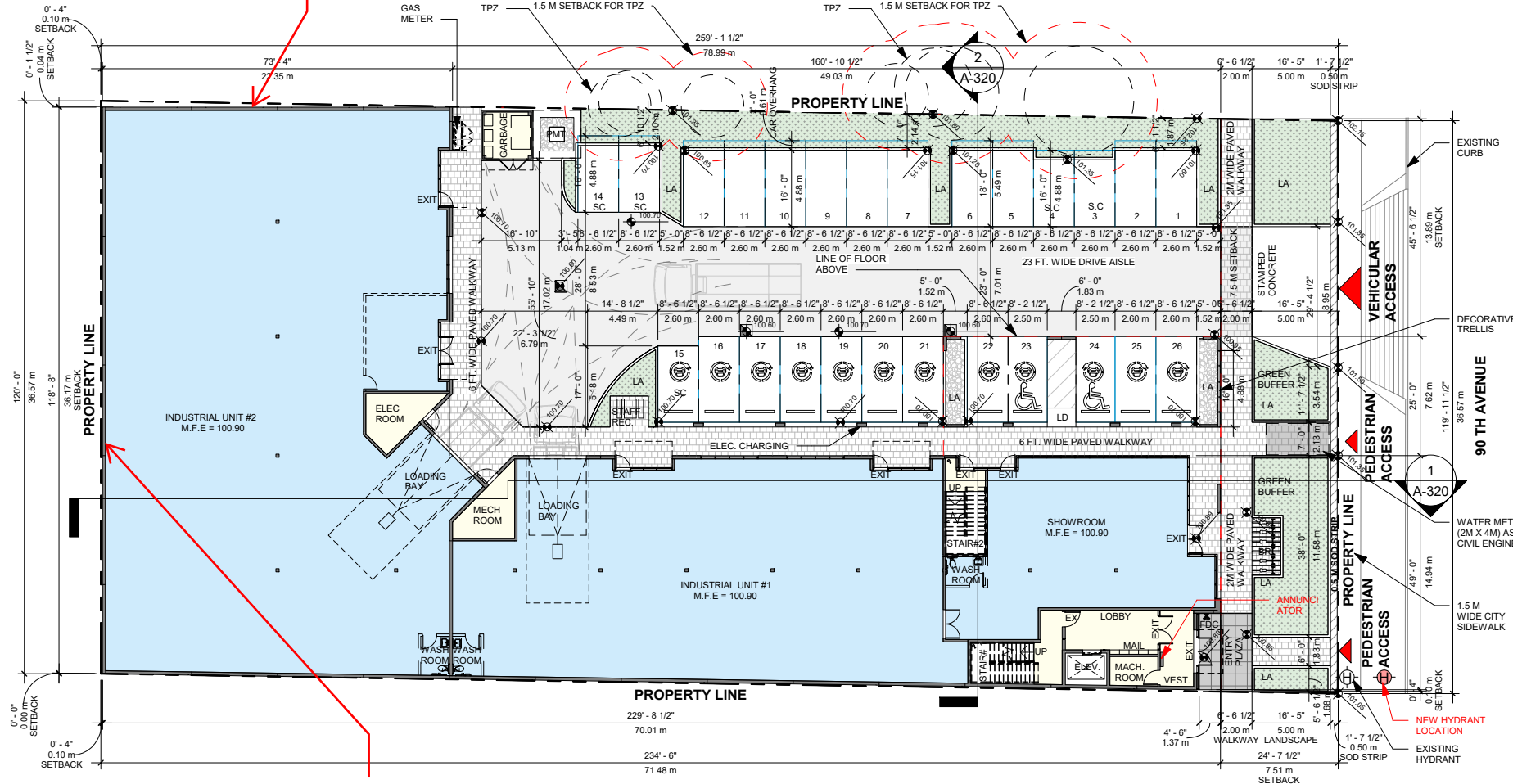
DRAWING No.

A-100

E

Reduce west side yard setback from 7.5m to 0.0m

Reduce rear yard setback from 7.5m to 0.0 m



1 A-100 SITE PLAN 3/64" = 1'-0"