

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7921-0189-00

Planning Report Date: October 3, 2022

PROPOSAL:

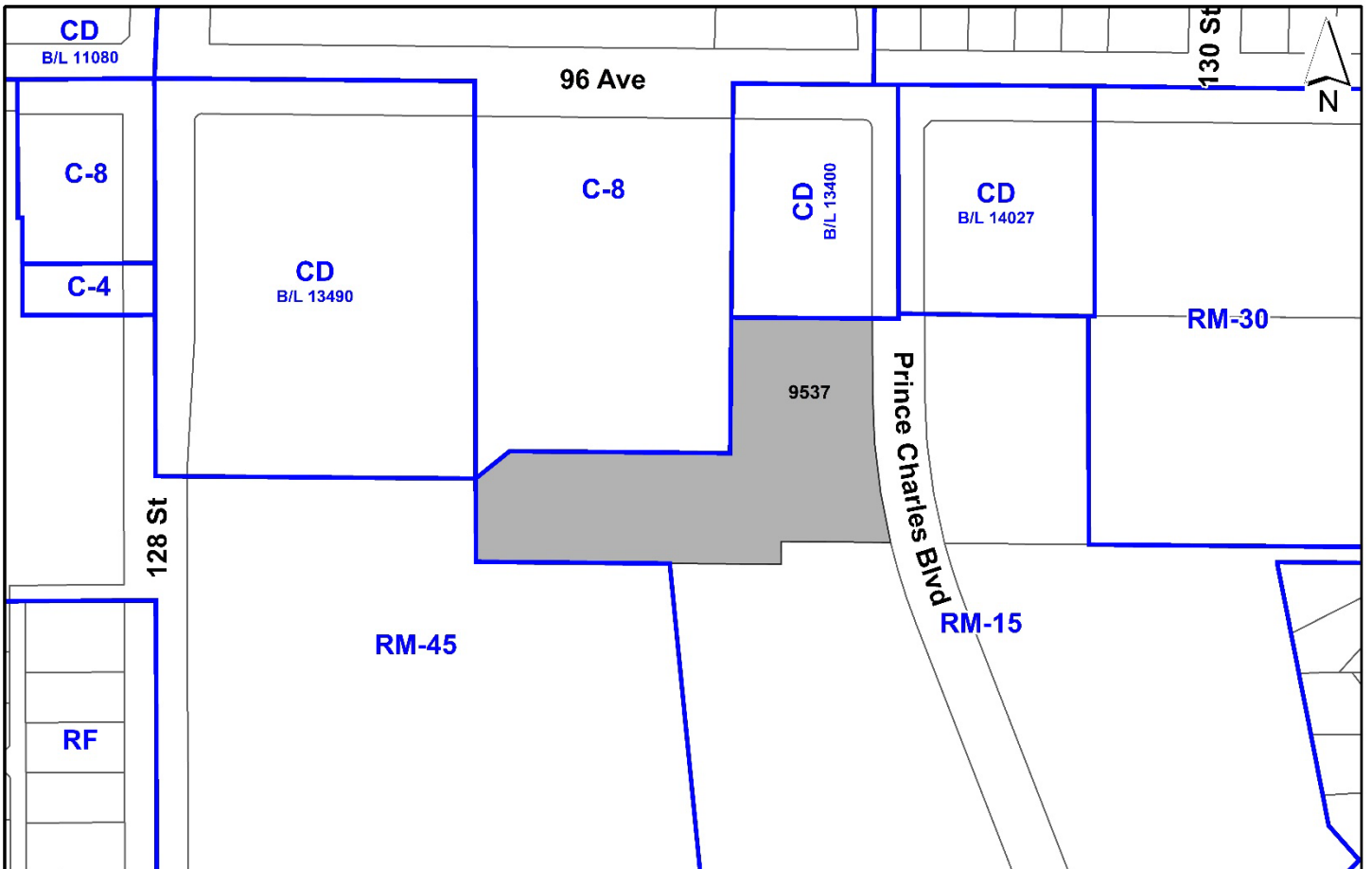
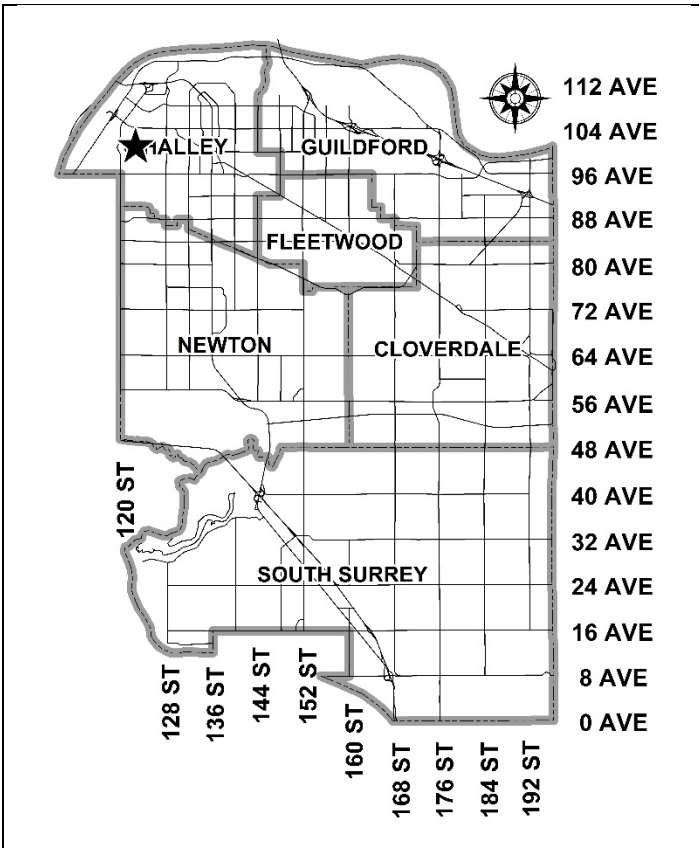
- **OCP Text Amendment** to increase the maximum density permitted under the Multiple Residential designation
- **Rezoning** from RM-15 to CD
- **Development Permit**
- **Housing Agreement**

to permit the development of two residential buildings of 5- and 6-storeys and one 6-storey mixed-use building containing approximately 175 affordable rental dwelling units for people of Indigenous ancestry.

LOCATION: 9537 - Prince Charles Boulevard

ZONING: RM-15

OCP DESIGNATION: Multiple Residential



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Text Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Form and Character.
- By-law Introduction, First, Second and Third Reading for a Housing Agreement.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) to increase the density permitted in the Multiple Residential designation from 1.5 FAR to 1.7 FAR.
- Proposing to reduce the minimum residential parking rates within the proposed CD By-law to the following:
 - 0.9 parking spaces per dwelling unit for new rental units; and
 - 0.04 parking spaces per dwelling unit for visitor parking.

RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal to construct 175 non-market rental units in three buildings of 5- and 6-storeys complies with Policy O-61 (Rental Housing Redevelopment: Rental Replacement and Tenant Relocation Assistance). Thirty-one (31) existing rental housing units on site are proposed to be replaced in two phases with a higher than 1:1 replacement ratio. One-hundred and six (106) of the 175 replacement rental units will be offered at below-market rental rates and will be secured with a Housing Agreement for a period of 20 years.
- The proposal does not comply with the Multiple Residential designation in the Official Community Plan (OCP), which permits densities up to 1.5 FAR, therefore, the applicant is proposing an amendment to the OCP to allow up to 1.7 FAR.
- The proposed density and building form are appropriate for this part of Whalley, given the surrounding context of adjacent commercial uses and the proximity to existing transit routes. The higher density proposed will help to support 96 Avenue being included as part of TransLink's Transport 2050 Reliable and Fast Transit (RAFT) Network.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.

- The proposed buildings achieve an attractive architectural built form, which utilize high quality, natural materials, and contemporary lines. The street interface along Prince Charles Boulevard has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed reduction to the minimum parking requirements is supportable based on the proposed 100% rental tenure, the current parking utilization for the existing residential buildings, and the sites' location in proximity to existing transit and the RAFT Network.

RECOMMENDATION

The Planning & Development Department recommends that:

1. An OCP By-law be introduced to amend Table 7a: Land Use Designation Exceptions by adding the following site specific notation and a date for Public Hearing be set:

"Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
Bylaw # xxxxx	Multiple Residential	9537 Prince Charles Boulevard (Lot 577 Except Part Subdivided by Plan 63835; Section 32 Township 2 New Westminster District Plan 50869)	Density permitted up to 1.70 FAR"

2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone the subject site from "Multiple Residential 15 Zone (RM-15)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. A By-law be introduced to enter into a Housing Agreement and be given First, Second and Third Reading.
5. Council authorize staff to draft Development Permit No. 7921-0189-00 generally in accordance with the attached drawings (Appendix I).
6. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant enter into a Housing Agreement with the City to restrict all 175 dwelling units on the subject site to rental housing for a period of 20 years;

- (g) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption;
- (h) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
- (i) registration of access easements to ensure access to the proposed shared parking, internal drive aisle, and amenity facilities within the development; and
- (j) registration of a Section 219 Restrictive Covenant requiring the applicant to pay all deferred financial contributions for Public Art, Affordable Housing, and/or Capital Projects Community Amenity Contributions for the development should the project be converted from rental housing to market units at any point in the future, after expiry of the Housing Agreement.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Non-market townhouses	Multiple Residential	RM-15
North:	Commercial shopping centre (Cedar Hills Plaza) and McDonald's	Commercial	C-8 and CD (Bylaw No. 13400)
East (Across Prince Charles Blvd):	Townhouses	Multiple Residential	RM-15
South:	Townhouses and Low Rise Apartments	Multiple Residential	RM-15 and RM-45
West:	Commercial shopping centre (Cedar Hills Plaza) and Low Rise Apartments	Commercial and Multiple Residential	C-8 and RM-45

Context & Background

- The subject site is approximately 9,100 square metres in size and is comprised of one lot fronting Prince Charles Boulevard. The site is presently occupied by eight buildings consisting of 31 townhouse units and an indoor amenity building, constructed in the late 1980s.
- The subject property is designated Multiple Residential in the Official Community Plan (OCP) and is zoned Multiple Residential 15 Zone (RM-15).
- The site is owned by Kekinow Native Housing Society (KNHS), a non-profit organization that provides subsidized, affordable, long-term rental accommodation for people of Indigenous ancestry throughout the Lower Mainland.

- KNHS is proposing to redevelop the subject site in two phases in order to provide additional housing for their tenant base. In Phase 1, 20 of the existing townhouse units are proposed to be replaced with one 5-storey and one 6-storey rental apartment buildings, containing 106 dwelling units. In Phase 2, the remaining 11 existing townhouse units are proposed to be replaced with a 6-storey mixed-use building with commercial at ground level and 5-storeys of residential apartments above, containing 69 dwelling units.
- In conjunction with the proposal to redevelop the subject site, the applicant has provided a Tenant Relocation Plan in consideration of City Policy No. O-61. In addition to consideration of City Policy No. O-61, the applicant must comply with any provincially mandated requirements under the Residential Tenancy Act.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit the development of two residential buildings of 5- and 6-storeys and one 6-storey mixed-use building containing approximately 175 affordable rental dwelling units for people of Indigenous ancestry, the applicant has proposed the following:
 - Official Community Plan (OCP) Text Amendment to increase the density permitted in the Multiple Residential designation from 1.5 FAR to 1.7 FAR;
 - Rezoning the subject site from Multiple Residential 15 Zone (RM-15) to Comprehensive Development Zone (CD) (based on RM-70 and C-8);
 - Subdivision from one lot into two lots; and
 - Development Permit for Form and Character for the two new rental apartment buildings and one mixed-use building.
- Development details are provided in the following table:

	Proposed		
Lot Area			
Gross Site Area:	9,130 square metres		
Road Dedication:	630 square metres		
Net Site Area:	8,500 square metres		
Number of Lots:	2		
Building Height:	18.3 metres to 21.4 metres (5- to 6-storeys)		
Floor Area Ratio (FAR):	1.7		
Floor Area			
Residential:	13,870 square metres		
Commercial:	575 square metres		
Total:	14,445 square metres		
Residential Units:			
	<u>Phase 1</u>	<u>Phase 2</u>	<u>Total</u>
1-Bedroom:	49	34	83
2-Bedroom:	46	35	81
3-Bedroom:	11	0	11
Total:	106	69	175

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 45 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

19 Elementary students at Betty Huff Elementary School
19 Secondary students at Queen Elizabeth Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by July 2026.

Parks, Recreation & Culture: No concerns.

The closest active park is Betty Huff Park and is 450 metres away, and the closest natural area is Bog Park and is 500 metres away. Future parkland is proposed within 1.9 kilometres of the subject site as part of the Surrey City Centre Plan.

Surrey Fire Department: Road over parkade must be designed to support a fire truck of 80,000 lbs. Addressing is to reflect the primary response location of each building individually.

Advisory Design Panel: The proposal was considered at the ADP meeting on June 23, 2022 and was supported. The applicant has resolved most of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the Rezoning By-law, to the satisfaction of the Planning and Development Department.

Transportation Considerations

Transit

- There is existing transit service on 96 Avenue approximately 150 metres from the subject site, served by Routes #314 (Surrey Central / Sunbury) and #329 (Surrey Central Station / Scottsdale). TransLink's Transport 2050 Strategy identifies this segment of 96 Avenue as part of a future Rapid Transit Network route.

- There is additional transit service on 128 Street, less than 500 metres from the subject site, served by Routes #323/393 (Newton Exchange / Surrey Central Station). Route #323 is one of the top five busiest transit routes in TransLink's Southeast Region and pre-COVID-19 was a top 50 transit route in the region. As a result, it is being planned for inclusion into TransLink's Frequent Transit Network (FTN) where service is provided 15 minutes or better 16 hours a day, 7 days a week.

Traffic Impacts

- This proposal did not meet the Surrey Design Criteria Manual threshold of generating 100 trips during the peak hour for requiring a Traffic Impact Analysis (TIA).

Road Network and Infrastructure

- The site is located on Prince Charles Boulevard (Local Road) approximately 250 m southeast of the intersection of 128 Street and 96 Avenue (both Arterial Roads).
- The existing driveway letdown to the site on Prince Charles Boulevard will be re-constructed to current standards, with continuous concrete sidewalk and curb extensions to improve traffic safety.
- The applicant is dedicating 11.5 metres towards half of a new east-west road along the north property line of the site ("95A Avenue"), as well as a 3.0 metre by 3.0 metre corner cut at the intersection with Prince Charles Boulevard.
- The applicant will be required to construct the new 95A Avenue half-road with at least 6.0 m pavement, landscaped boulevard with streetlights/street trees as well as 1.5 m wide concrete sidewalk on the south side adjacent the property line.

Access

- Vehicle access to Phase 1 (Buildings 1 and 2) will be via a private east-west drive aisle accessible from Prince Charles Boulevard and will include a sidewalk adjacent to the drive aisle to connect to the primary access points to the buildings. The access to the underground parking garage for Phase 1 is proposed to be located off a cul-de-sac at the west end of this drive aisle under proposed Building 2.
- Vehicle access to Phase 3 (Building 3) will be via the new 95A Avenue east-west road at the north end of the site, with one access to the underground parking garage and a second access to a surface parking lot primarily intended to serve the commercial uses and visitor parking.

Parking

- The 175 proposed rental dwelling units across 3 buildings require a total of 281 parking spaces to be provided on site for residential and visitor parking, as per the existing Zoning Bylaw. In addition, the proposed commercial use requires an additional 17 parking spaces.

- Buildings 1 & 2 share an underground parkade that consists of 92 parking spaces, while Building 3 has 73 spaces within a separate enclosed underground parkade for the purposes of the rental residential and visitor parking requirements. Building 3 also proposes to have 18 parking spaces provided on the surface for the purposes of residential visitor and commercial parking (including 1 accessible space).
- The applicant is proposing a variance from the Zoning Bylaw rates given that the development is non-market rental housing that will be enforced through a Housing Agreement and provided a Parking Study that indicated:
 - Proposed residential parking rate of 0.9/unit exceeds the observed demand for the subject site and another similar property in Surrey operated by the applicant (Kekinow Native Housing Society).
 - Non-market rental housing has historically lower parking demand compared to market housing and market rental sites across the region.
 - Commercial component of subject site is planned to be a wellness centre mainly for the residents of the development and thus not expected to generate significant vehicle traffic.
- Additionally, the subject site is well served by transit with stops on 96 Avenue and 128 Street, both of which are identified by TransLink as future Frequent Transit Network routes.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following additional sustainable features:
 - Designed to meet the BCBC Step Code 3; and
 - Mechanical systems and building envelope will be designed to meet both BCBC and the more stringent requirements of the BC Housing Design Guidelines and Construction Standards.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject property is designated General Urban in the Regional Growth Strategy (RGS).
- The proposed development complies with the General Urban RGS designation.

Official Community Plan

Land Use Designation

- The subject site is designated Multiple Residential in the Official Community Plan (OCP).
- The proposal does not comply with the Multiple Residential designation in the Official Community Plan (OCP), which permits densities up to 1.5 FAR, therefore, the applicant is proposing an amendment to the OCP to allow up to 1.7 FAR.

Amendment Rationale

- The proposed increase in density is appropriate for this part of Whalley, given the surrounding context of adjacent commercial uses and the proximity to existing transit routes. The higher density proposed will also help to support 96 Avenue being included as part of TransLink's Transport 2050 Reliable and Fast Transit (RAFT) Network.
- The proposed increased density will also contribute much needed additional affordable rental housing units for Surrey's indigenous population.
- As the residential portion of the development is proposed to be 100% purpose-built rental with a Housing Agreement, the application will not be subject to Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as per Schedule G of the Zoning Bylaw.

Public Consultation for Proposed OCP Text Amendment

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Growth Management
 - Growth Priorities: Support compact and efficient land development that is consistent with the Metro Vancouver Regional Growth Strategy (RGS).
 - Growth Priorities: After City Centre, Town Centre, Urban Centre, FTDA, and Skytrain Corridor Planning Areas, accommodate urban land development in vacant or under-developed commercial, mixed-use, and multi-family locations in existing urban areas, particularly along transit corridors and areas well-served by existing community amenities and infrastructure.
 - Centres, Corridors and Neighbourhoods
 - Transit Corridors: Support higher-density residential, commercial, and mixed-use development in appropriate locations along existing and planned Frequent Transit Corridors and Skytrain Corridor Planning Areas outside of Surrey's Town Centres.
 - Healthy Neighbourhoods: Plan and design urban neighbourhoods with sufficient densities to support a high-quality transit system that is accessible to most residents.
 - Society and Culture
 - Affordable Housing: Work with government agencies, community groups and private developers to accommodate a full range of affordable and accessible housing that meets the needs of Surrey's diverse population.
 - Affordable Housing: Support non-market housing for a diversity of low-income households, including mental health and addictions, youth, seniors, people with disabilities, women, low-income singles, families with children, urban Aboriginals, and refugees.

- Affordable Housing: Ensure an adequate supply of rental housing units in all areas of the city.
- Affordable Housing: Encourage and support the development of new purpose-built rental apartments through such actions as expedited development application and reduced parking requirements, where appropriate.

Rental Housing Redevelopment Policy (City Policy No. o-61)

- On April 9, 2018, Council approved Corporate Report No. Ro66, which outlines City Policy No. O-61 (Rental Housing Redevelopment: Rental Replacement and Tenant Relocation Assistance Policy) as part of Surrey's Affordable Housing Strategy: A Focus on Rental Housing.
- The Surrey Affordable Housing Strategy includes specific strategies to prevent the loss of purpose-built rental housing and strengthen protection for tenants. The Rental Housing Redevelopment Policy (City Policy No. O-61) sets out requirements for the redevelopment of purpose-built rental housing and provision of assistance to tenants when redevelopment occurs.
- The following illustrates the rental replacement requirements and the applicant's responses (staff comments in italics):

- Redevelopment of a purpose-built rental site requires replacement of the existing rental units within the new development.

- The applicant is proposing to construct on site two new rental residential buildings of 5- and 6-storeys and one new 6-storey mixed-use building with rental units.

(The proposed apartment buildings will provide a total of 175 new rental units on the subject site, in place of 31 existing units. A minimum of 106 of the proposed units will be at below-market rental rates.)

- Replacement of purpose-built rental units shall include, at a minimum, the same number of total bedrooms as in the original development.

- The applicant is proposing to replace 10 two-bedroom townhouse units and 10 three-bedroom townhouse units, totaling 50 bedrooms in Phase 1 with two purpose-built rental buildings of 5- and 6-storeys. The proposed new buildings in Phase 1 will provide 106 rental units with a total of 174 bedrooms.

- In Phase 2, the applicant is proposing to replace eight (8) two-bedroom townhouse units and three (3) three-bedroom townhouse units, totaling 25 bedrooms with one 6-storey mixed-use building with 69 rental units with a total of 104 bedrooms.

(The applicant is exceeding the 1:1 replacement requirement under City Policy No. O-61.)

- Replacement units are required to be "affordable rental" for low to moderate income households, rented as a maximum of 10% below current Canadian Market and Housing Corporation (CMHC) average rents for the applicable unit size in the City of Surrey. Current average rental rates for Surrey are provided in CMHC's Rental Market Report: Vancouver CMA, which is released annually in the fall.
 - All of the proposed 106 rental units in Phase 1 will be "affordable rental" and will be rented at a minimum of 10% below average market rents determined by a market rent appraisal of similar units within the City.
 - The 69 units in Phase 2 will also be rental units, but are not secured as "affordable rental" at this time.
 - The above approach to provide a minimum of 106 units as "affordable rental" and the remaining 69 units as rental for a period of 20 years is detailed in the Housing Agreement attached to this report as Appendix VI.

(The applicant has met the requirement to provide the 31 replacement units as "affordable rental" and has provided an additional 76 units at the same affordable rates, for a total of 106 affordable rental units.)

- Affordable rental replacement units shall be secured as rental with a Housing Agreement. In addition to tenure, the Housing Agreement shall specifically target households (low to moderate income households, with reference to BC Housing's Housing Income Limits), rental rates, and administration and management of the units, and the requirement of annual reporting to the City on the operations of the affordable rental replacement units.
 - The 175 proposed replacement rental units will be secured with a Housing Agreement for a term of 20 years.
 - The Housing Agreement specifically targets the housing units for people of Indigenous ancestry with low incomes.
- (The Housing Agreement is attached to this report as Appendix VI.)*
- The affordable rental replacement units must be managed by a non-profit organization, or a non-profit/social enterprise property management firm as approved by the City.
 - The affordable rental replacement units will be operated by Kekinow Native Housing Society, a non-profit society and housing provider.
 - Replacement rental units shall be located on the same development site as the original units. In special cases, replacement units off-site may be considered, at a location in the same neighbourhood.
 - The replacement rental units are proposed to be located on the same development site as the original 31 rental units that are proposed to be demolished at 9537 Prince Charles Boulevard (i.e. Kechi-o-wekowin).

- A proposal acceptable to the City shall be provided by the Proponent with the development application. The proposal shall outline how the Proponent's application meets the rental replacement requirements of the Policy.
 - The rental replacement proposal exceeds the rental replacement requirements of Policy O-61 in terms of number of replacement units and bedrooms and meets the Policy in relation to provision of affordable units secured with a Housing Agreement managed by a non-profit organization.
- In accordance with the Tenant Relocation Assistance requirements of Policy No. O-61, the applicant has taken the following actions:
 - Provided a Current Occupancy Summary that includes the number of units proposed to be replaced, the unit size and number of bedrooms for each unit, the rental rates, the number of vacant units, demographic profiles, and length of tenancy;
 - Provided a Communications Plan detailing how and when residents are notified of the application process and opportunities to provide input;
 - Appointed a Tenant Relocation Coordinator to facilitate communications with the tenants throughout the development proposal process; and
 - Provided a Tenant Relocation Plan that outlines tenant eligibility, financial compensation, relocation assistance, and right of first refusal.
- Of the 20 units to be demolished to accommodate Phase 1 (Buildings 1 and 2) of the proposed development, the applicant has confirmed that currently only one of the units is vacant, while the remaining 19 units are still occupied by tenants eligible for financial compensation, relocation assistance, and the right of first refusal. The applicant's Tenant Relocation Coordinator will work with the remaining eligible tenants on their individualized relocation plan to find suitable alternate accommodations either within another of Kekinow Native Housing Society's other complexes or with another affordable housing provider.
- The tenants within the remaining 11 units to be demolished to accommodate Phase 2 (Building 3) will be relocated after the completion of Phase 1.
- The applicant has adhered to the requirements in City Policy No. O-61, including providing a Tenant Relocation Plan for the existing residents and exceeding the 1:1 rental replacement requirement. The required replacement units provided on site generally meet the definition of affordable rental as outlined in City Policy No. O-61. The affordable rental units are being provided at a minimum of 10% below average market rents determined by a market rent appraisal of similar units within the City.
- The proposal is deemed to comply with City Policy No. O-61 and, therefore, staff are supportive of the proposal proceeding to Public Hearing.

Housing Agreement

- Section 483 of the Local Government Act authorizes local governments to enter into Housing Agreements, for terms and conditions agreed to by the owner and the local government, that pertain to the occupancy of the housing units.
- The proposed Housing Agreement will regulate the 175 dwelling units in the proposed 5- and 6-storey apartment buildings in Phase 1 and the 6-storey mixed-use building in Phase 2.
- The attached Housing Agreement (Appendix VI) will be adopted by Bylaw and registered on title of the property. The agreement will restrict all 175 units to rental tenure for a period of 20 years, while also guaranteeing that a minimum of 106 of the units will be rented to low income households at rents that are a minimum of 10% below average market rents.
- The City may from time to time require that the owner of the building provide written proof of compliance with the Housing Agreement.
- The Housing Agreement Bylaw will be brought forward for final adoption concurrently with final adoption of the associated OCP Amendment and Rezoning Bylaws and the issuance of the Development Permit, once all of the outstanding conditions associated with the application are fulfilled.

CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate two proposed residential buildings of 5- and 6-storeys and one 6-storey mixed-use building for people of Indigenous ancestry on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 70 Zone (RM-70)" and the "Community Commercial Zone (C-8)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and C-8 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	C-8 Zone (Part 36)	Proposed CD Zone
Floor Area Ratio:	1.50	0.80	Block A: 2.41 Block B: 1.41
Lot Coverage:	33%	50%	Block A: 44% Block B: 27%
Yards and Setbacks	7.5 m to all lot lines	7.5 m to all lot lines	<u>Block A:</u> North: 3.0 m South: 3.0 m East: 4.5 m West: 3.0 m <u>Block B:</u> North: 9.0 m South: 6.0 m East: 4.5 m West: 8.0 m
Principal Building Height:	50.0 m	12.0 m	18.3 m to 21.4 m
Permitted Uses:	<ul style="list-style-type: none"> Multiple unit residential buildings Ground-oriented multiple unit residential buildings Child care centres 	<ul style="list-style-type: none"> Retail stores Personal service uses General service uses Beverage container return centres Eating establishments Neighbourhood pubs Liquor store Office uses Parking facilities Automotive service uses Indoor recreational facilities Entertainment uses Assembly halls Community services Child care centres One dwelling unit Cultural uses 	<u>Block A</u> <ul style="list-style-type: none"> Multiple unit residential buildings Ground-oriented multiple unit residential buildings Retail stores Personal service uses General service uses Office uses Community services Cultural uses <u>Block B</u> <ul style="list-style-type: none"> Multiple unit residential buildings Ground-oriented multiple unit residential buildings

Amenity Space			
Indoor Amenity:	<ul style="list-style-type: none"> • 3.0 sq. m. per dwelling unit • 1.0 sq. m. per lock-off suite • 4.0 sq. m. per micro unit 	<ul style="list-style-type: none"> • N/A 	The proposed 288 m ² [+ CIL of \$197,500] meets the Zoning By-law requirement.
Outdoor Amenity:	<ul style="list-style-type: none"> • 3.0 sq. m. per dwelling unit • 1.0 sq. m. per lock-off suite • 4.0 sq. m. per micro unit 	<ul style="list-style-type: none"> • N/A 	The proposed 542 m ² meets the Zoning By-law requirement.
Parking (Part 5)		Required	Proposed
Number of Stalls			
Commercial:		17	18*
Residential:		246	158
Residential Visitor:		35	7
Total:		298	183
Bicycle Spaces			
Residential Secure Parking:		210	216
Residential Visitor:		18	18

* Commercial and Residential Visitor parking proposed to be shared.

- The proposed CD Bylaw will incorporate similar uses as the RM-70 Zone for the residential component, while the proposed commercial component will incorporate a limited selection of uses from the C-8 Zone to accommodate the applicant's plans for a future indigenous wellness centre, while allowing some flexibility to provide other typical community commercial uses.
- The floor area ratio (FAR) has been increased from 1.50 in the RM-70 Zone to 2.41 for Block A and to 1.41 and for Block B.
- The maximum lot coverage has been increased from 33% in the RM-70 Zone to 44% for Block A and to 27% for Block B, which is generally consistent with other similar 6-storey apartment developments.
- Both the RM-70 and C-8 Zones require setbacks of 7.5 metres to all lot lines. The proposed setbacks to the road frontage along Prince Charles Boulevard have been reduced to 4.5 metres to provide for a more urban streetscape, while the other setbacks range from 3.0 metres to 9.0 metres to ensure adequate building separation between the proposed buildings and the existing neighbouring buildings.

Parking

- The 175 proposed affordable rental dwelling units require 281 parking spaces to be provided on site for residential and visitor parking, as per the existing Zoning Bylaw. In addition, the proposed commercial component in Building 3 requires an additional 17 parking spaces.

- The applicant is proposing to provide 183 parking spaces on site, equivalent to:
 - 0.9 parking spaces per dwelling unit for new affordable rental units. This is consistent with Council approved rate reductions for rental housing in rapid transit areas approved in June 2021;
 - 0.04 parking spaces per dwelling unit for visitor parking; and
 - 3 spaces per 100 square metres of commercial parking. This is based on an anticipated commercial floor area of 575 square metres and could also be utilized as visitor parking after business hours.
- 165 parking spaces are to be supplied in underground parking for the purposes of the rental residential parking requirements and 18 parking spaces are to be provided on the surface for the purposes of commercial parking requirements.
- The applicant engaged a Transportation Consultant to prepare a parking study for the subject site, which provided rationale for the proposed reduced parking rates.
- The proposed parking reduction is supportable based on demonstrated lower parking demand for non-market rental residential units and the site's proximity to 96 Avenue, which is proposed to be included as part of TransLink's Transport 2050 Reliable and Fast Transit (RAFT) Network.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will not be subject to the Tier 1 or Tier 2 Capital Plan Project CACs, as the proposal includes 100% market rental residential units. A Restrictive Covenant will be registered making CAC payable if there is a future change in tenure.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- As a rental project, the subject proposal is exempt from the provision of this policy. The applicant will be required to register a Section 219 Restrictive Covenant, making the fees payable if there is a future change in tenure from the market rental, to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The Public Art contribution will be required only for the commercial portion of the site and will not be applicable to the residential portion unless there is a future change in tenure from the proposed market rental residential units.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on February 17, 2022, and the Development Proposal Signs were installed on April 4, 2022. Staff received one response from a neighbouring resident (*staff comments in italics*):
 - The resident raised concerns about traffic congestion, crowded streets, and schools without capacity to accommodate students.

(Transportation staff have confirmed that the proposed development does not meet the Surrey Design Criteria Manual threshold of 100 trips during the peak hour for requiring a Traffic Impact Analysis (TIA). The applicant has also provided a parking study demonstrating that vehicle ownership rates are anticipated to be lower than in similar market rental or strata developments.

The School District has indicated that both Betty Huff Elementary School and Queen Elizabeth Secondary School are both currently operating below capacity. The proposed development is not anticipated to have a significant impact on enrollment.)

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The applicant is proposing one 5-storey apartment building (Building 2) and one 6-storey apartment building (Building 1), containing a total of 106 affordable rental units as the first phase of development. The second phase of the development is a proposed 6-storey mixed-use building (Building 3), containing a total of 69 rental dwelling units with approximately 575 square metres of ground floor commercial.
- The three buildings will consist of 83 one-bedroom units, 81 two-bedroom units, and 11 three-bedroom units.
- Buildings 1 and 3 are proposed to front onto Prince Charles Boulevard, while Building 2 is proposed to the west of Building 1, to be accessed off an internal drive aisle.
- The lobbies for Buildings 1 and 2 front onto the cul-de-sac portion of the proposed internal drive aisle, which will have a sidewalk on the south side and function as a pedestrian connection to the interior of the site. The lobbies will be connected by a covered walkway.

- The residential lobby for Building 3 is proposed off of the new east-west road at the north end of the site.
- The applicant has worked with staff to develop a design that incorporates OCP design guidelines and addresses staff and ADP comments. The ADP recommended further development of the residential entries to improve their visibility and to provide rain protection between Buildings 1 and 2, which the applicant has addressed.
- The proposed development reflects a contemporary design and incorporates indigenous references into the materials and components of the building. The northeast corner of Building 1 and the southeast corner of Building 3, which flank the entry into the site, incorporate an artistic and dynamic pattern of red, yellow, black, and white which is borrowed from the Indigenous Medicine Wheel symbol.

Landscaping

- The proposed landscaping for the site includes a mix of trees, shrubs, vines, groundcovers, perennials, grasses, and ferns, along with hardscaping, site furnishings, fencing, and lighting.
- The landscaping concept for Phase 1 follows a pathway that wraps around Buildings 1 and 2 in a figure eight pattern, providing a continuous walking path around the site with several feature areas for sitting, gathering, and children's play.
- The Phase 2 landscaping concept centres on the area outside the proposed commercial unit along the south and east sides of Building 3. In addition, there is an outdoor amenity space adjacent to the indoor amenity on the second level of Building 3.
- At grade units have patio spaces that are landscaped to create semi-private outdoor spaces for residents.

Indoor Amenity

- The required indoor amenity space for the proposed buildings is 525 square metres, while the applicant is proposing to provide 288 square metres of indoor amenity within the three buildings, requiring cash-in-lieu for the shortfall in accordance with City Policy No. O-48.
- The primary indoor amenity space for the development will be located on the ground floor of Building 2 at the southeast portion of the building. This will allow flexibility to plan larger events for tenants in this space. The programming will consist of a kitchen, tables and chairs, and several lounge seating areas, as well as a washroom.
- Additional indoor amenity spaces in Buildings 1 and 2 consist of small office/workspaces.

- Building 3 is proposed to have an additional indoor amenity space on the second level with a kitchen, table and chairs, and lounge seating.
- The indoor amenity spaces are proposed to be shared throughout the site. This will require the applicant to register an access easement across the site to ensure access to the proposed shared amenity facilities within the development for all residents.

Outdoor Amenity

- The required outdoor amenity space for the site is 525 square metres. The applicant is proposing 542 square metres of outdoor amenity, meeting the minimum requirement.
- The at grade outdoor amenity space consists of several focal points throughout the site with areas for sitting and gathering.
- The primary outdoor amenity area is located adjacent to the indoor amenity area in Building 2 and consists of an outdoor kitchen with a barbeque and dining tables, as well as lounge seating.
- Two children's play areas are incorporated on the south side of Buildings 1 and 2, one intended for children 1 to 5 years old and the other for children 6 and above.
- The southwest corner of the site has a number of garden plots, as well as a fire pit encircled with cedar benches.
- A sweat lodge is also proposed to the north of Building 2. It will be a temporary structure that will be set up and taken down with each use, but with cedar benches, stone pavers, and a fire pit provided as part of the site landscaping.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - Further design development of the covered walkway between Buildings 1 and 2, the lobby canopies, and entry experience;
 - Detailed development of the public realm, particularly the property line interfaces, the site grading, retaining walls, further design development of the surface parking area; and
 - Additional detailed information on the material character.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Jori Porter, ISA Certified Arborist of McElhanney Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry	2	2	0
Japanese Maple	1	1	0
Red Oak	9	3	6
Paper Birch	5	5	0
Coniferous Trees			
Excelsa Cedar	5	5	0
Austrian Pine	7	6	1
Douglas Fir	1	1	0
Total (excluding Alder and Cottonwood Trees)	30	23	7
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		46	
Total Retained and Replacement Trees		53	
Contribution to the Green City Program		N/A	

- The Arborist Assessment states that there are a total of 30 mature trees on the site, excluding Alder and Cottonwood trees. None of the existing trees on the site are Alder and Cottonwood trees. It was determined that seven (7) trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 46 replacement trees on the site. The applicant is proposing 46 replacement trees, meeting City requirements.
- The new trees on the site will consist of a variety of trees including Vine Maple, Paperbark Maple, Red Maple, Bigleaf Maple, Weeping Yellow Cedar, Hanoki Cypress, Eddies White Wonder Dogwood, Starlight Dogwood, Apple, Vanderwolf's Pyramid Pine, Serbian Spruce, Choke Cherry, and Western Red Cedar.
- In summary, a total of 53 trees are proposed to be retained or replaced on the site with no contribution to the Green City Program required.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey and Tree Preservation
- Appendix V. ADP Comments and Response
- Appendix VI. Proposed Housing Agreement

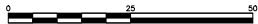
approved by Ron Gill

Jeff Arason
Acting General Manager
Planning and Development

CB/cm

SUBDIVISION PLAN OF
 - LOT 557 EXCEPT PART SUBDIVIDED BY PLAN 63835; PLAN 50869,
 - PARCEL "E" (BYLAW PLAN 41748) OF PARCEL "A" (REFERENCE PLAN 2132),
 - PARCEL "D" (BYLAW PLAN 41748) OF LOT 3 PLAN 15748
ALL OF SECTION 32 TOWNSHIP 2 NEW WESTMINSTER DISTRICT

BOS 920.016



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF

THE INTENDED PLOT SIZE OF THIS PLAN IS 864mm IN WIDTH

BY 568mm IN HEIGHT (D SIZE) WHEN PLOTTED AT A SCALE OF 1:500

THIS PLAN LIES WITHIN INTEGRATED SURVEY AREA NO. 1, CITY OF SURREY, NAD83(CRS)4.0.0.BC.1.MW90

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN GEODETIC CONTROL MONUMENTS 5310 AND 8658 AND ARE REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 10.

THE UTM COORDINATES AND ABSOLUTE ACCURACY ACHIEVED ARE DERIVED FROM THE MOST PUBLISHED COORDINATES AND STANDARD DEVIATIONS FOR GEODETIC CONTROL MONUMENTS 5310 AND 8658.

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES, UNLESS OTHERWISE SPECIFIED, TO COMPUTE GRID DISTANCES. MULTIPLY GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF 0.9995908. THE AVERAGE COMBINED FACTOR HAS BEEN DETERMINED BASED ON GEODETIC CONTROL MONUMENTS 5310 AND 8658.

UTM ZONE TO COORDINATES (DATUM: NAD83(CRS) 4.0.0.BC.1.MW90; NORTHING: 5447654.47; EASTING: 509238.098; POINT COMBINED FACTOR: 0.9995904; ABSOLUTE ACCURACY: 0.02)

UTM ZONE TO COORDINATES (DATUM: NAD83(CRS) 4.0.0.BC.1.MW90; NORTHING: 5447654.47; EASTING: 509238.098; POINT COMBINED FACTOR: 0.9995912; ABSOLUTE ACCURACY: 0.02)

LEGEND

FOUND PLACED

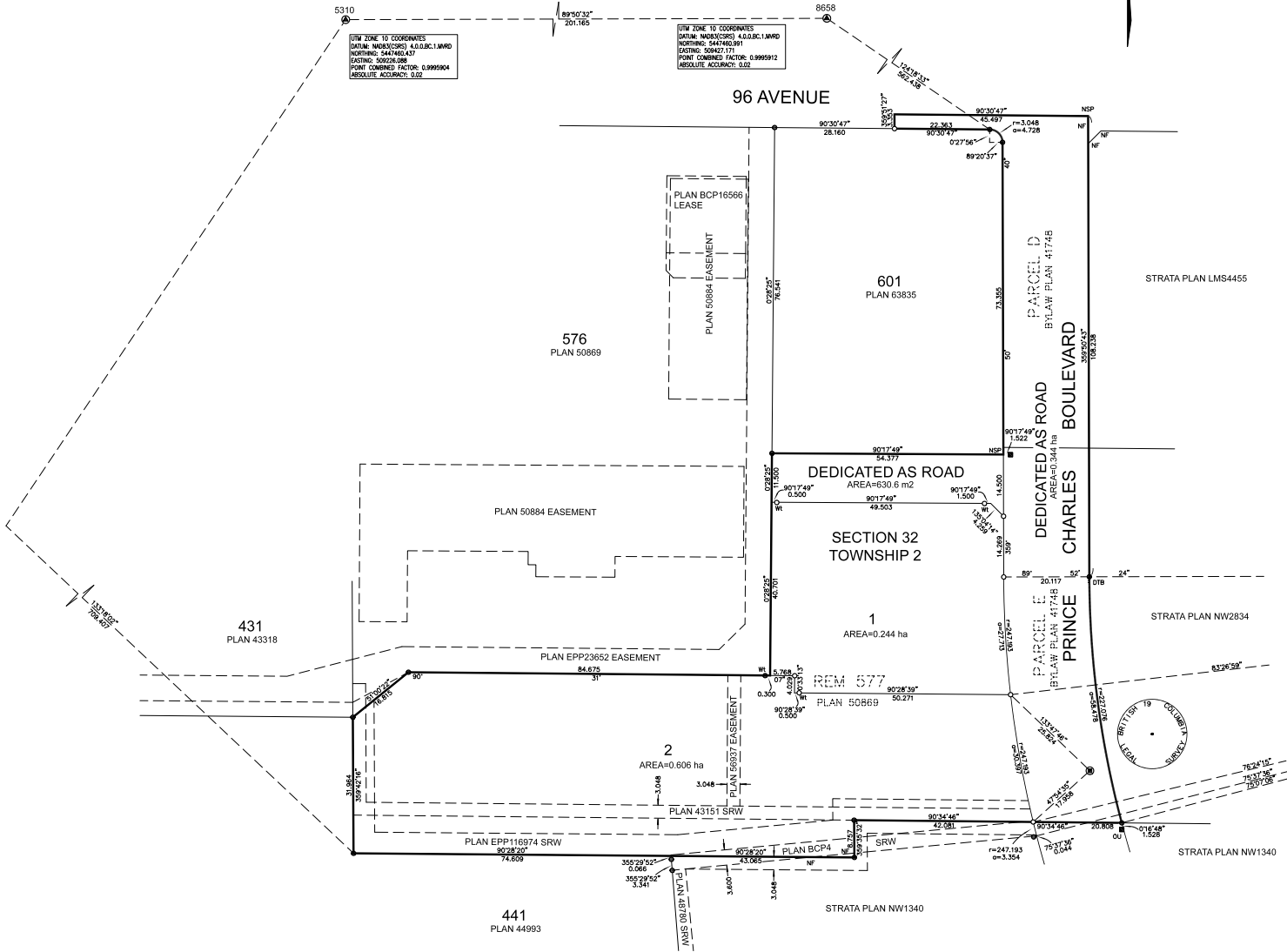
- ⊙ CONTROL MONUMENT
- ⊙ STANDARD ROCK POST
- ⊙ STANDARD IRON POST
- LEAD PLUG
- DENOTES ARC
- r DENOTES RADIUS
- ha DENOTES HECTARE
- m2 DENOTES SQUARE METRE(S)
- REM DENOTES REMAINDER
- NF DENOTES NOTHING FOUND
- W DENOTES WITNESS
- OU DENOTES ORIGIN UNKNOWN
- DTB DENOTES DISTURBED TIED BASE
- NSP DENOTES NOT SUITABLE TO POST

NOTE: THIS PLAN SHOWS ONE OR MORE WITNESS POSTS WHICH ARE NOT SET ON THE TRUE CORNERS.

THIS PLAN LIES WITHIN THE JURISDICTION OF THE APPROVING OFFICER FOR THE CITY OF SURREY

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED ON THE 11TH DAY OF JANUARY, 2022. JASON G. HAMEL, B.S. 621

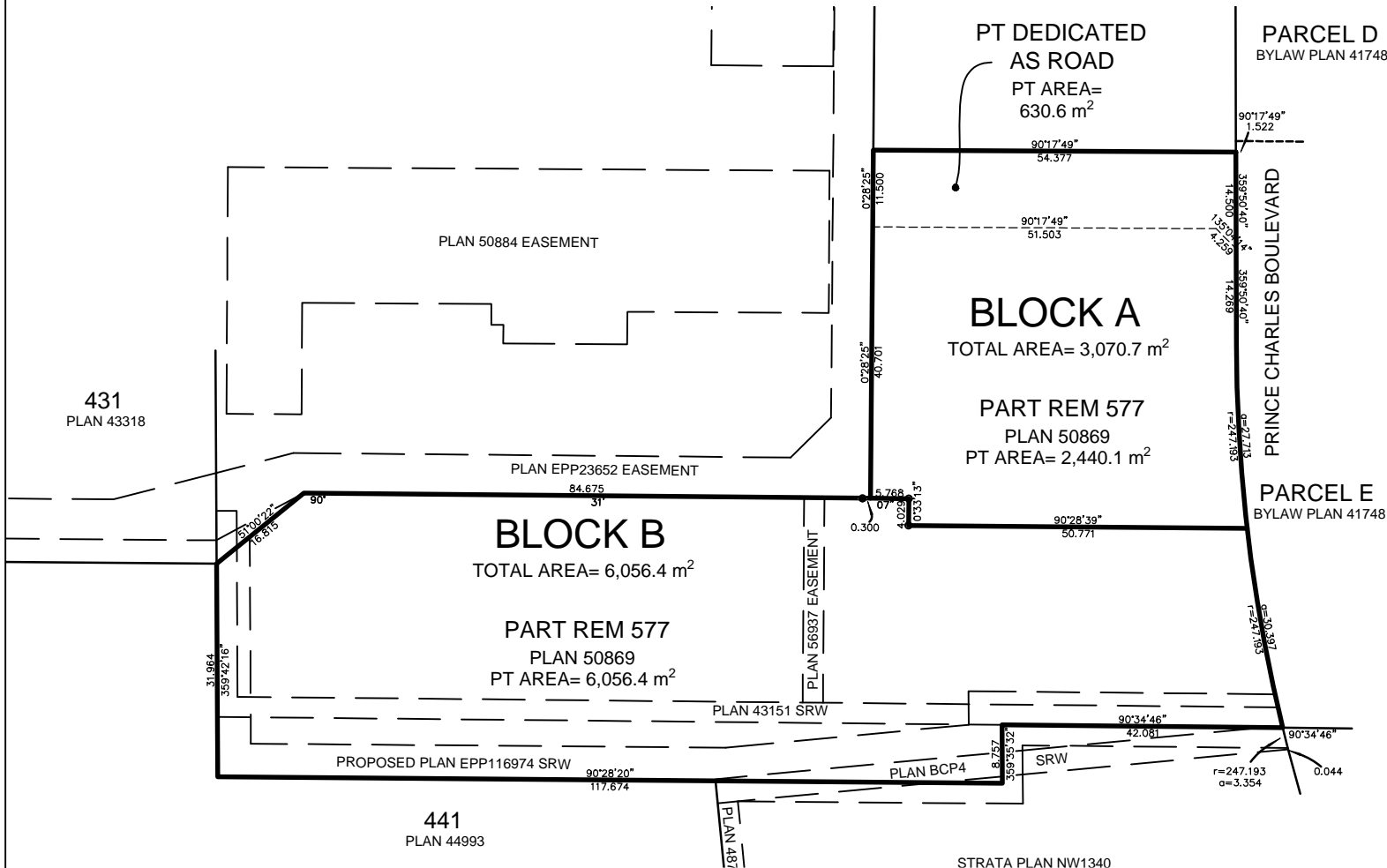
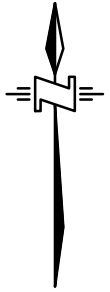
THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT



MELHAYNE ASSOCIATES LAND SURVEYING LTD.
 SUITE 100, 8657 301 STREET
 LANGLEY, BC V3Y 0C8
 TEL: 604-586-0381
 TEL: 212-3899-516
 EPP DATE: 2022-01-12

SURVEY PLAN TO ACCOMPANY CITY OF SURREY BYLAW No: _____
 OVER LOT 577 EXCEPT PART SUBDIVIDED BY PLAN 63835; SECTION 32 TOWNSHIP 2
 NEW WESTMINSTER DISTRICT PLAN 30076

BCGS 92G.016
 SCALE: 1:1000



CERTIFIED CORRECT ACCORDING TO
 SURVEY DATED THIS 6TH DAY OF
 JANUARY, 2022

 JASON G. HAMEL, BCLS, CLS

THIS PLAN LIES WITHIN THE METRO VANCOUVER
 REGIONAL DISTRICT - CITY OF SURREY

BLOCK A FROM RM-15 TO CD
 AREA = 2,440.1 m2

BLOCK B FROM RM-15 TO CD
 AREA = 6,056.4 m2

McELHANNEY ASSOCIATES
 LAND SURVEYING LTD.
 Suite 100
 8837 201 Street
 Langley BC
 V2Y 0C8
 Tel 604 596 0391
 FILE NO. 2111-08999-0-V-02

Kechi-o-Wekowin

9537 Prince Charles Boulevard

CONTEXT PLAN



PROJECT STATISTICS (PHASE 1 & 2)

Building	Floor	Gross Floor Area (sq.m.)	Residential	Commercial	Net Floor Area (sq.m.)	Residential	Commercial
Building 1	1	859.1 sq.m.	0.0 sq.m.	859.1 sq.m.	0.0 sq.m.		
	2	859.3 sq.m.	0.0 sq.m.	859.3 sq.m.	0.0 sq.m.		
	3	851.7 sq.m.	0.0 sq.m.	851.7 sq.m.	0.0 sq.m.		
	4	859.3 sq.m.	0.0 sq.m.	859.3 sq.m.	0.0 sq.m.		
	5	851.7 sq.m.	0.0 sq.m.	851.7 sq.m.	0.0 sq.m.		
	6	851.7 sq.m.	0.0 sq.m.	851.7 sq.m.	0.0 sq.m.		
Subtotal		5130.7 sq.m.	0.0 sq.m.	5130.7 sq.m.	0.0 sq.m.		
Building 2	1	628.9 sq.m.	0.0 sq.m.	628.9 sq.m.	0.0 sq.m.		
	2	749.9 sq.m.	0.0 sq.m.	749.9 sq.m.	0.0 sq.m.		
	3	749.9 sq.m.	0.0 sq.m.	749.9 sq.m.	0.0 sq.m.		
	4	749.9 sq.m.	0.0 sq.m.	749.9 sq.m.	0.0 sq.m.		
	5	749.9 sq.m.	0.0 sq.m.	749.9 sq.m.	0.0 sq.m.		
Subtotal		3625.6 sq.m.	0.0 sq.m.	3625.6 sq.m.	0.0 sq.m.		
Phase 1		8756.3 sq.m.	0.0 sq.m.	8756.3 sq.m.	0.0 sq.m.		
	1	123.9 sq.m.	574.9 sq.m.	698.8 sq.m.	574.9 sq.m.		
	2	749.9 sq.m.	0.0 sq.m.	749.9 sq.m.	0.0 sq.m.		
	3	1048.0 sq.m.	0.0 sq.m.	1048.0 sq.m.	0.0 sq.m.		
	4	1048.0 sq.m.	0.0 sq.m.	1048.0 sq.m.	0.0 sq.m.		
	5	1048.0 sq.m.	0.0 sq.m.	1048.0 sq.m.	0.0 sq.m.		
Subtotal		5364.4 sq.m.	574.9 sq.m.	5939.3 sq.m.	574.9 sq.m.		
Phase 2		5364.4 sq.m.	574.9 sq.m.	5939.3 sq.m.	574.9 sq.m.		
	1	123.9 sq.m.	574.9 sq.m.	698.8 sq.m.	574.9 sq.m.		
	2	749.9 sq.m.	0.0 sq.m.	749.9 sq.m.	0.0 sq.m.		
	3	1048.0 sq.m.	0.0 sq.m.	1048.0 sq.m.	0.0 sq.m.		
	4	1048.0 sq.m.	0.0 sq.m.	1048.0 sq.m.	0.0 sq.m.		
	5	1048.0 sq.m.	0.0 sq.m.	1048.0 sq.m.	0.0 sq.m.		
Subtotal		5364.4 sq.m.	574.9 sq.m.	5939.3 sq.m.	574.9 sq.m.		
TOTAL		14116.66 sq.m.	574.90 sq.m.	13641.76 sq.m.	574.90 sq.m.		

Unit Type	Building 1	Building 2	Building 3	TOTALS
Level 1	0	0	0	0
Level 2-6	30	30	30	90
Total	30	30	30	90
1 Bedroom	6	6	6	18
2 Bedroom Accessible	1	1	1	3
2 Bedroom	3	3	3	9
3 Bedroom	3	3	3	9
Totals	11	11	11	33

Parking	Required	Provided	Buildings 1 & 2	Building 3
Residential				
Regular	120	60	60	0
Small	21	21	21	0
Tandem	0	0	0	0
Accessible	5	3	3	2
Totals	146	84	84	2
Visitors				
Regular	0	0	0	0
Small	37	0	0	0
Accessible	1	0	0	0
Totals	38	0	0	0
Commercial				
Regular	17	17	17	0
Small	7	0	0	0
Accessible	0	1	1	0
Totals	24	18	18	0
Bicycle				
Visitor	18	214	12	6
Resident	216	214	12	62
Totals	234	428	24	68
Scoter				
Resident	18	7	0	0

DESIGN RATIONALE

Introduction

Kekowin Native Housing Society is a non-profit organization that provides affordable, long-term rental accommodation for people of Indigenous ancestry. The society currently operates five townhouse / apartment complexes in the Lower Mainland. With the growing demand for affordable housing, Kekowin is undertaking several redevelopments of its existing sites to better serve their tenant group. They have recently completed the first phase of redevelopment on their facility at 145th Street (178 units) and phase 2 (104 units) is currently under construction. With this application, Kekowin is proposing to redevelop their existing property at Prince Charles Boulevard to provide additional housing for their tenant base.

Phasing

The site which currently has 20 townhouse units is currently owned and operated by the Society. They are looking to rezone the property to allow 175 units within 3 separate buildings. We are proposing to complete this project in two separate phases.

First phase would be the south edge of the site. There is an existing driveway which will be kept in order to provide access to the townhouses which will be remaining until phase 2 is developed. Two buildings would be built in phase 1 of the project providing a total of 106 units. These 2 buildings would be 6 and 5 stories respectively above a single level of underground parking. Funding has been secured through BC Housing for this first phase of the project.

Phase 2 will be northern piece of the site along Prince Charles Boulevard, inclusive of the dedication for the new road along the north edge. This piece will be a 6 storey building with 2 levels of below grade parking, a single commercial space at grade and surface parking for the commercial component. The timeline for phase 2 is undetermined at this time as there is no funding in place to proceed.

Orientation

A brief orientation of the site. As noted previously, phase 1 proposes 106 units distributed between two separate buildings along the south property line. Access will be via the existing driveway which will need to be kept in operation to allow access to the remaining units in phase 2 as well as to facilitate fire truck access.

Building 1 is setback from Prince Charles Boulevard for several reasons. There is an existing sewer right of way cutting thru the middle of the site which services the adjacent commercial property. We will be relocating it to run along the south edge of the site and turning north along the western edge of the property. The new SRW requires 6m in width which creates a pinch point at the SE corner of the site. Building 1 is therefore squeezed between the SRW and the limiting distances from the remaining townhouses to the north.

Second limiting factor is the maximum length allowed for fire fighting which determines where the entrances for building 1 and 2 are to be located. The fire truck turnaround serves double duty as a drop off for residents as well as entry to underground parking.

Kekowin has asked that the amenity for the first phase be consolidated in a single location to allow a larger space that would be able to accommodate events for their entire community. This has been located at the entrance to building 2 so as to allow convenient access for residents of both buildings. Outdoor amenity has been located adjacent the indoor amenity space and 178 m diameter, our landscape architect design those spaces. Kekowin does not have formalized programs but tends to use their spaces more for resident events so these will likely be set up as multipurpose rooms for different events throughout the year as well as for the residents to book for personal parties.

Building 3 is slightly different programatically. The intent for this building is to provide a single commercial space at the base of the building to accommodate an Indigenous wellness centre. We have located the primary entrance to this space at the intersection of the new road and Prince Charles Boulevard. This allows access from Prince Charles as well as the parking area behind the building. We are proposing that access to the commercial parking as well as the residential parking for building 3 be located off the new road to limit amount of traffic on the internal driveway and to not mix the residential traffic with commercial use.

Design

So these are the site constraints and program requirements. The buildings themselves... are simple geometric forms with generous balconies for private outdoor space and shading. We are proposing a simple palette of materials to break up the overall massing with punctuation at the entry details. The entrance from Prince Charles allowed us an opportunity to incorporate a graphic element using the colours borrowed from an Indigenous Medicine wheel. Other indigenous references that we are hoping to incorporate are vertical surfaces / privacy screens that are either laser cut or 3d printed with indigenous motifs. This element has yet to be further developed.

ZONING ANALYSIS

Legal Description

PID 002-226-120
 LOT 577 SECTION 32 TOWNSHIP 2 PLAN W9P0869 NWD
 PART NW 1/4, EXCEPT PLAN 6835

Civic Address

9537 Prince Charles Blvd, Surrey, BC

Zoning

Current: RM-15
 Proposed: CD

Uses

Permitted: Multiple Residential and Commercial

Lot Area

Overall Total: 11938 sq.m. (0.913 ha)
 Road Widening Area: 4292.5 sq.m. (0.499 ha)
 Phase 1: 6056.4 sq.m.
 Phase 2: 2440.1 sq.m. (after dedication)

Lot Coverage¹

Phase 1: 1442.9 sq.m.
 Buildings and Structures: 2037.3 sq.m.
 Paved and Hard Surfaces: 440.2 sq.m. (57.9%)
 Total Phase 1: 2477.5 sq.m.
 Phase 2: 708.8 sq.m.
 Buildings and Structures: 1337.7 sq.m.
 Paved and Hard Surfaces: 2043.3 sq.m. (83.7% *after dedication)

Setbacks (metres)

	Phase 1	Phase 2	
Building 1	Building 2	Building 3	
East/Front	4.0	8.0	3.0
West/Rear	4.0	9.0	3.0
South	9.40	9.00	3.00
North	6.00	5.00	3.00
Building Height	6 storeys	5 storeys	6 storeys
Proposed Height	21.350 m	18.200 m	21.350 m
Base Surface	85.200 m		

Density

units/floor (net) 206 (Proposed)

Floor Area Ratio

Phase	Residential	Commercial	FAR 1-41	FAR 2-17
Phase 1	856.0 sq.m.	520.0 sq.m.	5.20	5.20
Phase 2	520.0 sq.m.	520.0 sq.m.	5.20	5.20
Overall Phase 2	520.0 sq.m.	520.0 sq.m.	5.20	5.20

Indoor Amenity

Required: 520.0 sq.m. Provided: 381.3 sq.m.

Outdoor Amenity

Required: 520.0 sq.m. Provided: 541.8 sq.m.

Notes

1. Not total lot area divided by the above horizontal area including covered entries, balconies and roof overhangs.

CLIENT

Kekowin Native Housing Society
 1014 - 7445 130th Street
 Surrey, BC V3W 1J8

CONSULTANT LIST

Architectural
 NSDA Architects
 201 - 134 Abbott Street
 Vancouver, BC V6B 2K4

Development Consultant
 Lumina Development Management
 1848 Commercial Drive
 Vancouver, BC V6M 4A5

Funding Authority
 BC Housing
 1700 - 4555 Kingsway
 Burnaby, BC V3H 4V8

Civil
 Birnie
 300-4840 Canada Way
 Burnaby, BC V5G 4K6

Landscape
 Groundswell Landscape Architecture
 2705 Main Street
 Vancouver, BC V5T 3E9

Code
 LMCC
 4th Floor, 780 Beatty Street
 Vancouver, BC V6B 0M1

Geotechnical
 Geospecific
 1775 W 76th Ave.
 Vancouver, BC V6P 6P2

Structural
 Koe Structural
 515 Burrard St #501
 Vancouver, BC V6C 3A8

Electrical
 AES Engineering
 505 Burrard Street, Suite 950
 Vancouver, BC V7X 1M4

Mechanical
 Smith and Anderson
 8400 Roberts St #900
 Burnaby, BC V5G 4C9

Envelope
 BC Building Science
 611 Bent Ct
 New Westminster, BC V3M 1V3

Energy Modeler
 BC Building Science
 611 Bent Ct
 New Westminster, BC V3M 1V3

Survey
 McElhenny
 8837 201 St
 Langley City, BC V2Y 0C8

Arborist
 McElhenny
 8837 201 St
 Langley City, BC V2Y 0C8

DRAWING LIST

A-001	Cover Sheet	A-605	Partial Landscape Section
A-001	Survey	A-606	Garbage and Mechanical Screen Details
A-002	Context Plan	A-701	Typical Unit Plans
A-003	Site Plan	A-702	Typical Unit Plans
A-004	Site Plan - Phase 1		
A-004-2	Site Plan - Phase 2	FSR-000	Cover Sheet
A-005	Street Photos	FSR-101	Parking Level 2 Plan - FSR Calculations
A-006	Shadow Study	FSR-102	Parking Level 1 Plan - FSR Calculations
A-007	Residential	FSR-103	Level 1 Plan - FSR Calculations
A-008	Perspectives	FSR-104	Level 2 Plan - FSR Calculations
		FSR-105	Level 3 Plan - FSR Calculations
A-101	Parking Level 2 Plan	FSR-106	Level 4 Plan - FSR Calculations
A-102	Parking Level 1 Plan	FSR-107	Level 5 Plan - FSR Calculations
A-103	Parking Level 1 Plan - Building 1	FSR-108	Level 6 Plan - FSR Calculations
A-104	Parking Level 1 Plan - Building 2	FSR-109	Roof Plan - FSR Calculations
A-105	Parking Level 1 Plan - Building 3	FSR-110	Outdoor Amenity - Level 1 Plan
A-106	Level 1 Plan	FSR-111	Outdoor Amenity - Level 2 Plan
A-107	Level 2-5 Plan		
A-108	Level 6 Plan		
A-109	Roof Plan	L-01	Landscape Legends
A-110	Level 1 Plan - Building 1	L-1	Building 1 - Ground Floor Landscape Materials
A-111	Level 1 Plan - Building 2	L-2	Building 2 - Ground Floor Landscape Materials
A-112	Level 2-5 Plan - Building 1	L-3	Building 3 - Ground Floor Landscape Materials
A-113	Level 2-5 Plan - Building 2	L-4	Building 4 - Ground Floor Landscape Materials
A-114	Level 6 Plan - Building 1	L-5	Building 5 - Ground Floor Landscape Materials
A-115	Roof Plan - Building 1	L-6	Roof Plan - Ground Floor Landscape Materials
A-116	Roof Plan - Building 2	L-7	Building 2 - Ground Floor Landscape Materials
A-117	Level 1 Plan - Building 3	L-8	Building 3 - Ground Floor Landscape Materials
A-118	Level 2 Plan - Building 3	L-9	Landscape Sections
A-119	Level 3 Plan - Building 3	L-10	Landscape Details
A-120	Level 6 Plan - Building 3	L-11	Landscape Details
A-121	Roof Plan - Building 3	L-12	Landscape Details
A-201	Sections	L-6.4	Landscape Details
A-202	Sections		
A-203	Sections		
A-301	Elevations		
A-302	Elevations		
A-303	Elevations		
A-304	Elevations		
A-305	Elevations		
A-306	Elevations		
A-307	Elevations		
A-308	Elevations		
A-309	Elevations		
A-310	Elevations		
A-311	Elevations		
A-312	Elevations		



Scale



NSDA ARCHITECTS

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 Canada V6B 2K4
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 F: 604.682.2141
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GENERAL NOTES

Mechanical Equipment

Mechanical equipment (ventilators, generators, exhaust systems) will be designed and located to minimize noise and air quality impacts on the occupants and neighbourhood and to comply with the City of Surrey's Noise Control By-Law No. 7044.

Parking Structure

Underground parking to be adequately ventilated to prevent build-up of noxious gases and to minimize its impact on public open space.

The design of the parking structure regarding Safety and Security Measures shall be in accordance with the Surrey Parking By-Law.

Minimum Parking Stall Dimensions shall be:
 Standard Car Space: 2750mm W x 5500mm L x 2100mm H
 Small Car Space: 2700mm W x 4800mm L x 2100mm H
 Accessible Car Space: 3700mm W x 5500mm L x 2300mm H

Provide minimum 2100mm vertical clearance in parking garage under all overhead obstructions. Provide minimum 2300mm vertical clearance in parking garage under all overhead obstructions from the top of the parking ramp to the furthest Accessible Car Space.

Bicycle Location

Design of the bicycle spaces (including bicycle rooms, compounds and lockers and/or racks) regarding safety and security measures shall be in accordance with the relevant provisions of the Surrey Parking By-Law.

Thermal & Air-Tightness

Contractor and sub-trades to assure all building envelope and internal building compartment assemblies are constructed to meet or exceed the required performance standards set out by the BCBC, the BC Step Code and BC Housing. All thermal and air-tightness requirements are subject to third party verification and approval.

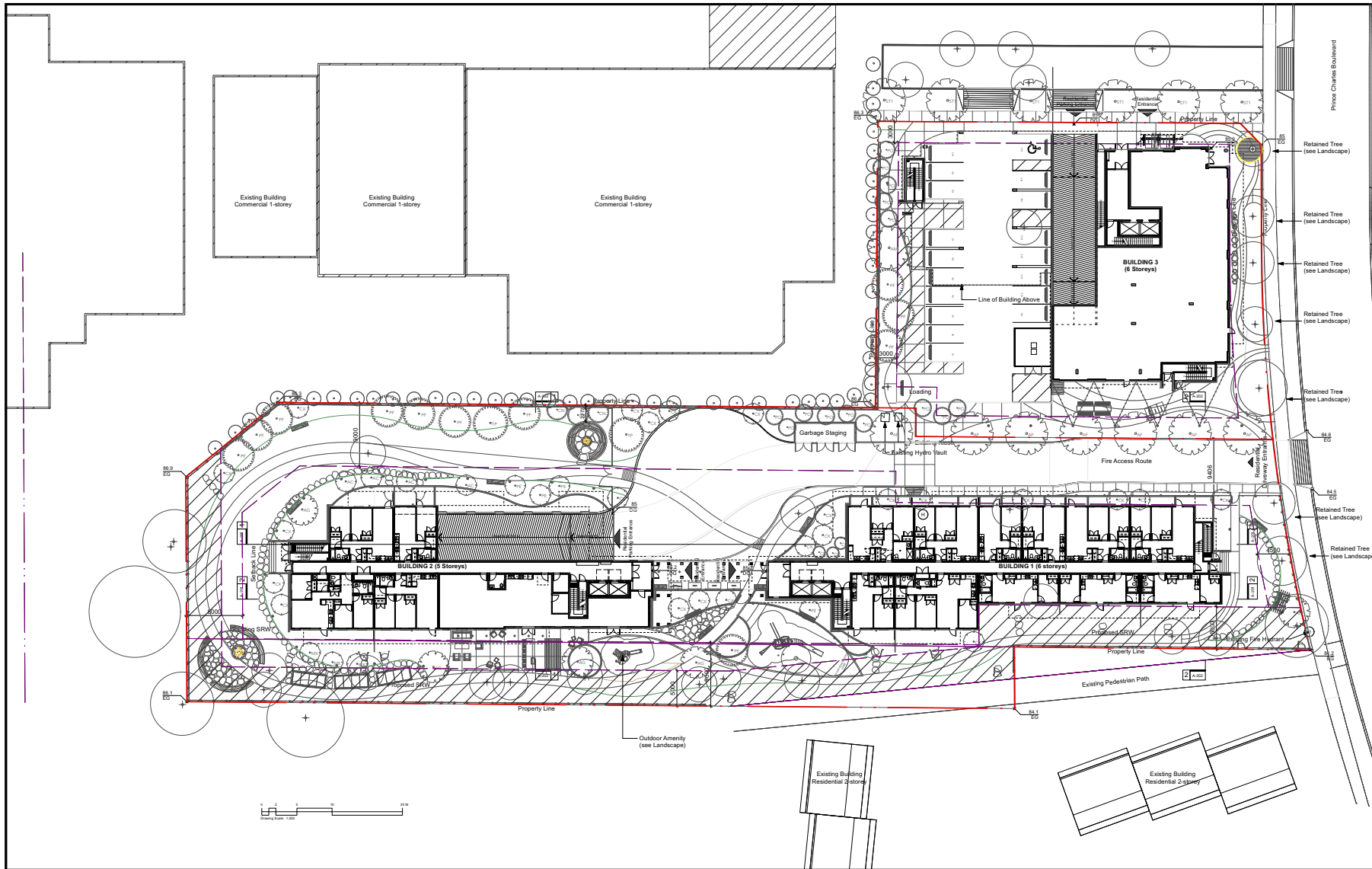
Project

Kechi-o-Wekowin
 9537 Prince Charles Blvd
 Surrey, BC



Kekich-o-Wekowin Native Housing Society
1014-7445 132nd Street
Surrey, BC V3W 1L8

Date	Issue / Revision
2021 09 27	Issued for Reasoning
2022 04 12	Re-issued for Reasoning
2022 08 09	Re-issued for Reasoning
2022 08 23	Re-issued for Reasoning
2022 09 12	Re-issued for Reasoning
2022 09 13	Re-issued for Reasoning



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Project
Kechi-o-Wekowin
9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Site Plan
Phase 1 and 2

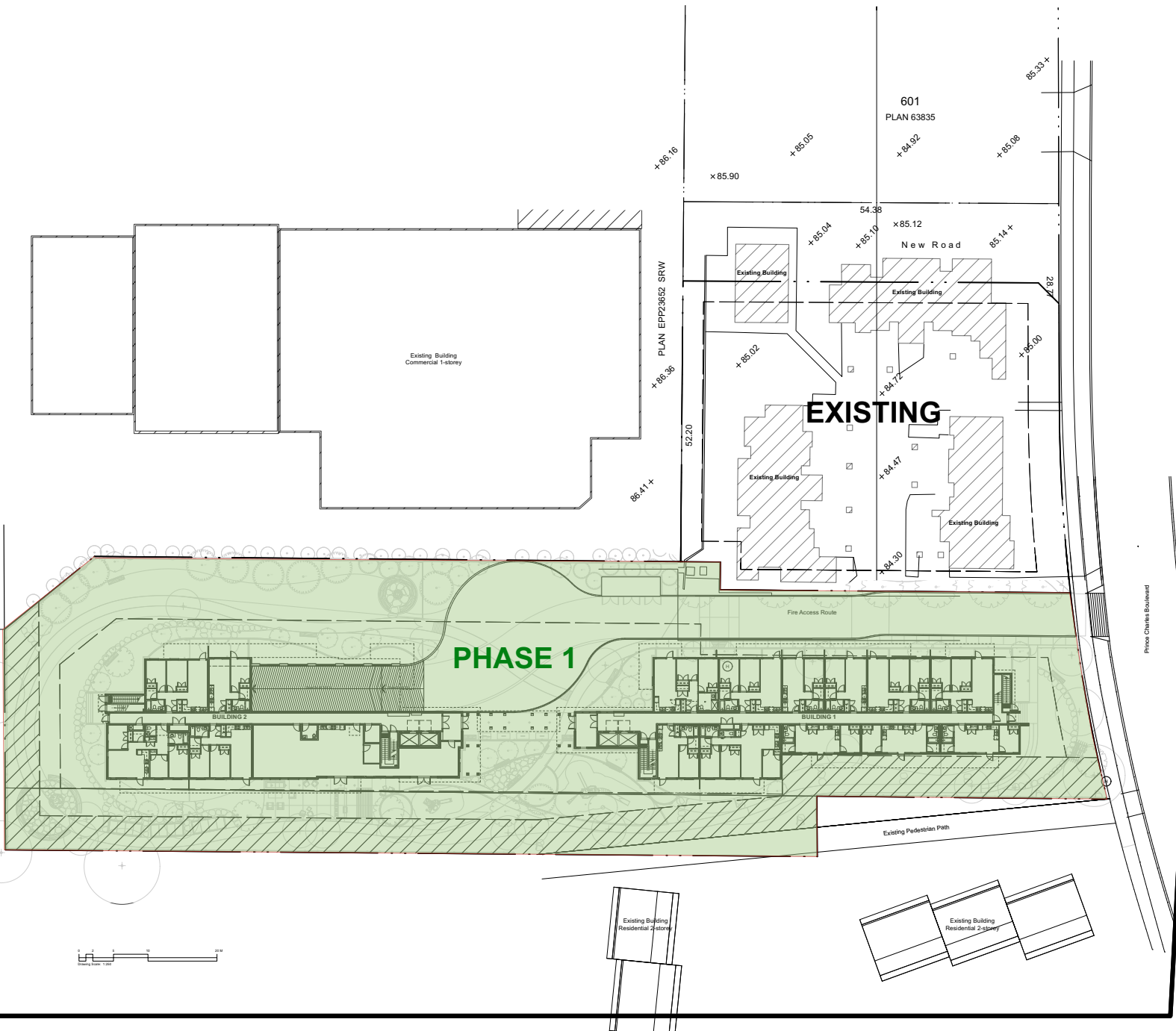
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Scale
1:250
Sheet Number
A-004

Consultants



Kekino Native Housing Society
1014-7445 132nd Street
Surrey, BC V2W 1J8

Date	Issue / Revision
2021 09 27	Issued for Reasoning
2022 04 12	Revised for Reasoning
2022 08 09	Revised for Reasoning
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2022 09 12	Re-issued for Reasoning
2022 09 13	Re-issued for Reasoning



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I warrant that the plan and drawings are true and correct to the best of my knowledge and belief.

Project
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Surrey, BC

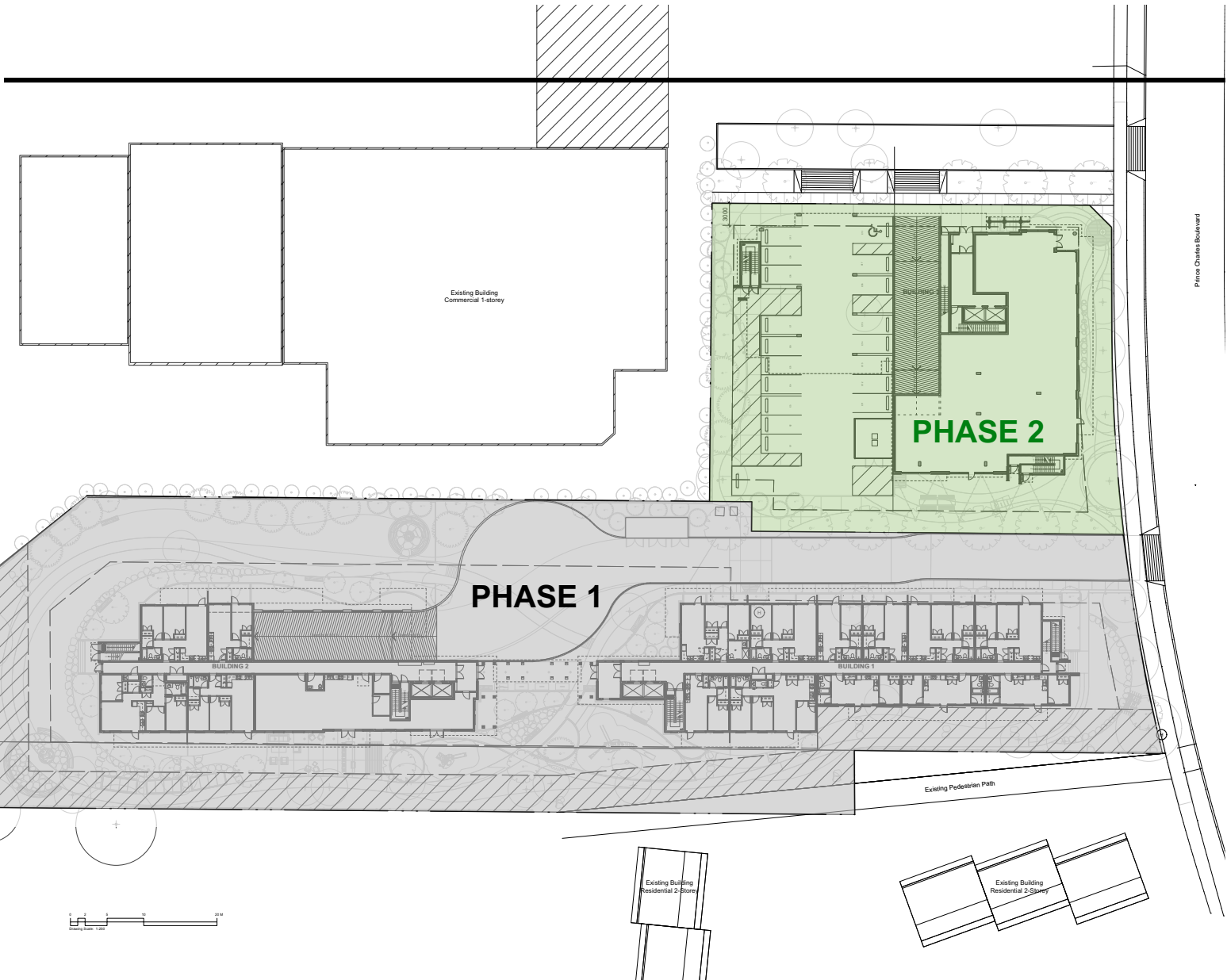
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Site Plan - Phase 1

Project Number
18042
Scale
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Sheet Number
A-004.1



Kekino Native Housing Society
1014-7445 132nd Street
Surrey, BC V3W 1J8

Date	Issue / Revision
2021 09 27	Issued for Reasoning
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2022 08 09	Revised for Reasoning
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2022 09 12	Re-issued for Reasoning
2022 09 13	Re-issued for Reasoning



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Project
Kechi-o-Wekowin
9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Site Plan - Phase 2

Project Number
18042
Scale
1:250
Sheet Number
A-004.2



Date	Issue / Revision
2021 09 27	Issued for Reasoning
2022 04 12	Revised for Reasoning
2022 08 23	Revised for Reasoning
2022 08 23	Re-issued for Reasoning
2022 09 12	Re-issued for Reasoning
2022 09 12	Re-issued for Reasoning



1 March 21 / 10:00 AM
Scale: 1:500



2 March 21 / 12:00 PM
Scale: 1:500



3 March 21 / 3:00 PM
Scale: 1:500



4 September 21 / 10:00 AM
Scale: 1:500



5 September 21 / 12:00 PM
Scale: 1:500



6 September 21 / 3:00 PM
Scale: 1:500



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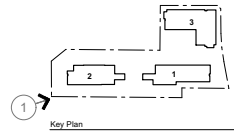
Project
Kechi-o-Wekowin
9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Shadow Study

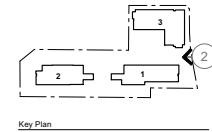
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Sheet Number
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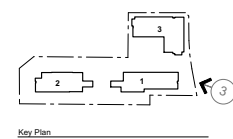
1 Buildings 1, 2 & 3 from Above



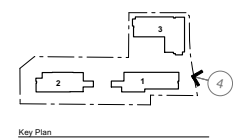
2 Building 1 from Prince Charles Blvd.



3 View from Prince Charles Blvd, Facing West



4 View from Prince Charles Blvd, Facing West



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Kekikow Native Housing Society
1014-7445 132nd Street
Surrey, BC V3W 1J8

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2021 09 27	Issued for Reasoning
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2022 08 10	Revised for Reasoning
2022 08 23	Re-issued for Reasoning
2022 09 13	Re-issued for Reasoning

Note: Rendered perspectives to show building massing only. Refer to plans for site and landscape conditions

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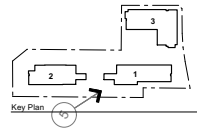
Project
Kechi-o-Wekowin
9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Perspectives

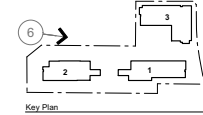
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18042
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As noted
Sheet Number
A-007



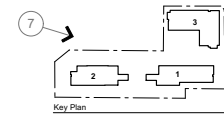
5 Building 1 View



6 Building 1, 2 & 3 East View



7 Building 1, 2 & 3 East View



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Kekikow Native Housing Society
1014-7445 132nd Street
Surrey, BC V3W 1A8

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Kechi-o-Wekowin
9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Perspectives

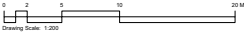
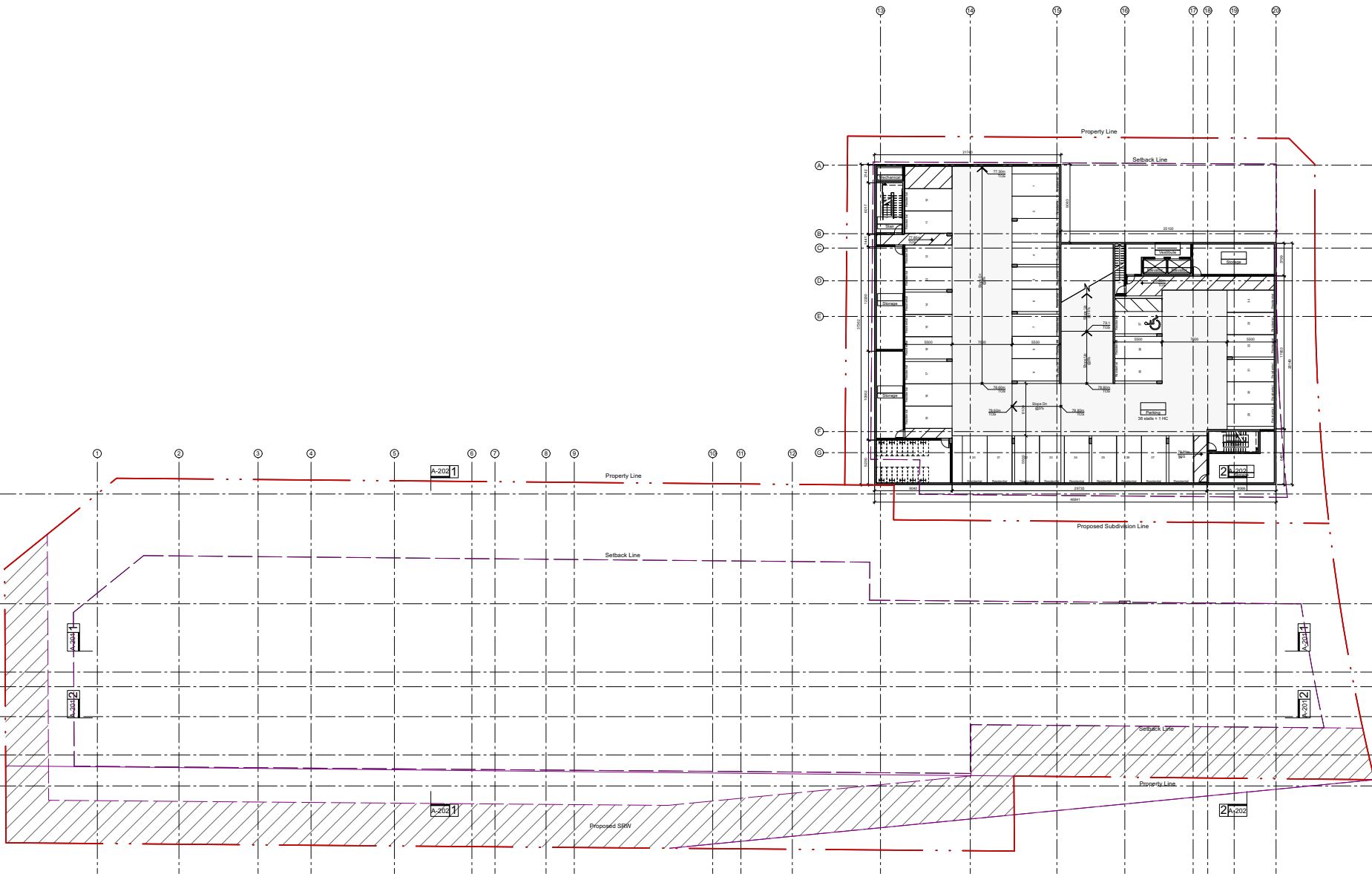
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Scale
As noted
Sheet Number
A-008

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Kekinow Native Housing Society
1014-7445 132nd Street
Surrey, BC V3W 1J8

Date	Issue / Revisions
2021 09 27	Issued for Reasoning
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2022 09 13	Re-issued for Reasoning



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Project
Kechi-o-Wekowin
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Sheet Title
P2 Parking Plan

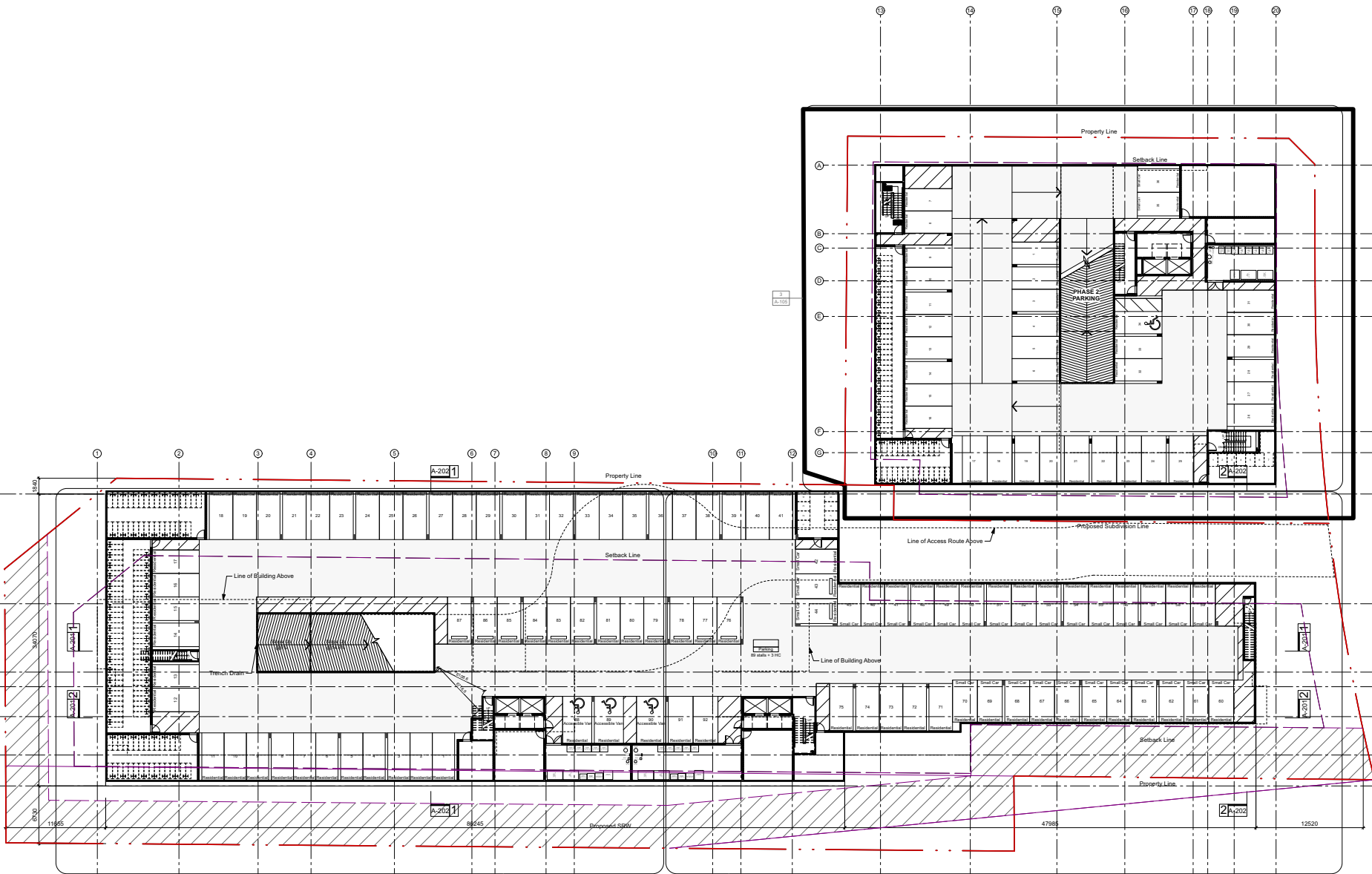
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Sheet Number
A-101



Date	Issue / Revisions
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2022 04 12	Revised for Reasoning
2022 08 09	Revised for Reasoning
2022 08 23	Re-issued for Reasoning
2022 09 12	Re-issued for Reasoning
2022 09 13	Re-issued for Reasoning



CPTED Notes

- Paint the underground parking walls and columns white.
- Install hard wired video surveillance equipment in underground parking.
- Avoid hidden corners and install convex mirrors as needed in underground parking and stairwells.
- Provide vision panels in all doors in underground parking leading to publicly accessible areas.
- Elevator lobby in underground parking area should be glazed to permit natural surveillance.
- Ensure adequate lighting throughout the underground parking.
- Provide rough surface finish on ramps to deter skateboarders.

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Project
Kechi-o-Wekowin
9537 Prince Charles Blvd
Surrey, BC

Sheet Title
P1 Parking Plan

Project Number
18042
Scale
1:200
Sheet Number
A-102



Kekwino Native Housing Society
1014-7445 132nd Street
Surrey, BC V2W 1A8

Date	Issue / Revision
2021 09 27	Issued for Reasoning
2022 04 12	Revised for Reasoning
2022 08 09	Revised for Reasoning
2022 08 23	Re-issued for Reasoning
2022 09 12	Re-issued for Reasoning
2022 09 13	Re-issued for Reasoning

- 1 Bedroom
- 2 Bedroom
- 2 Bedroom Accessible
- 3 Bedroom
- Amenity
- Commercial
- Service
- Circulation



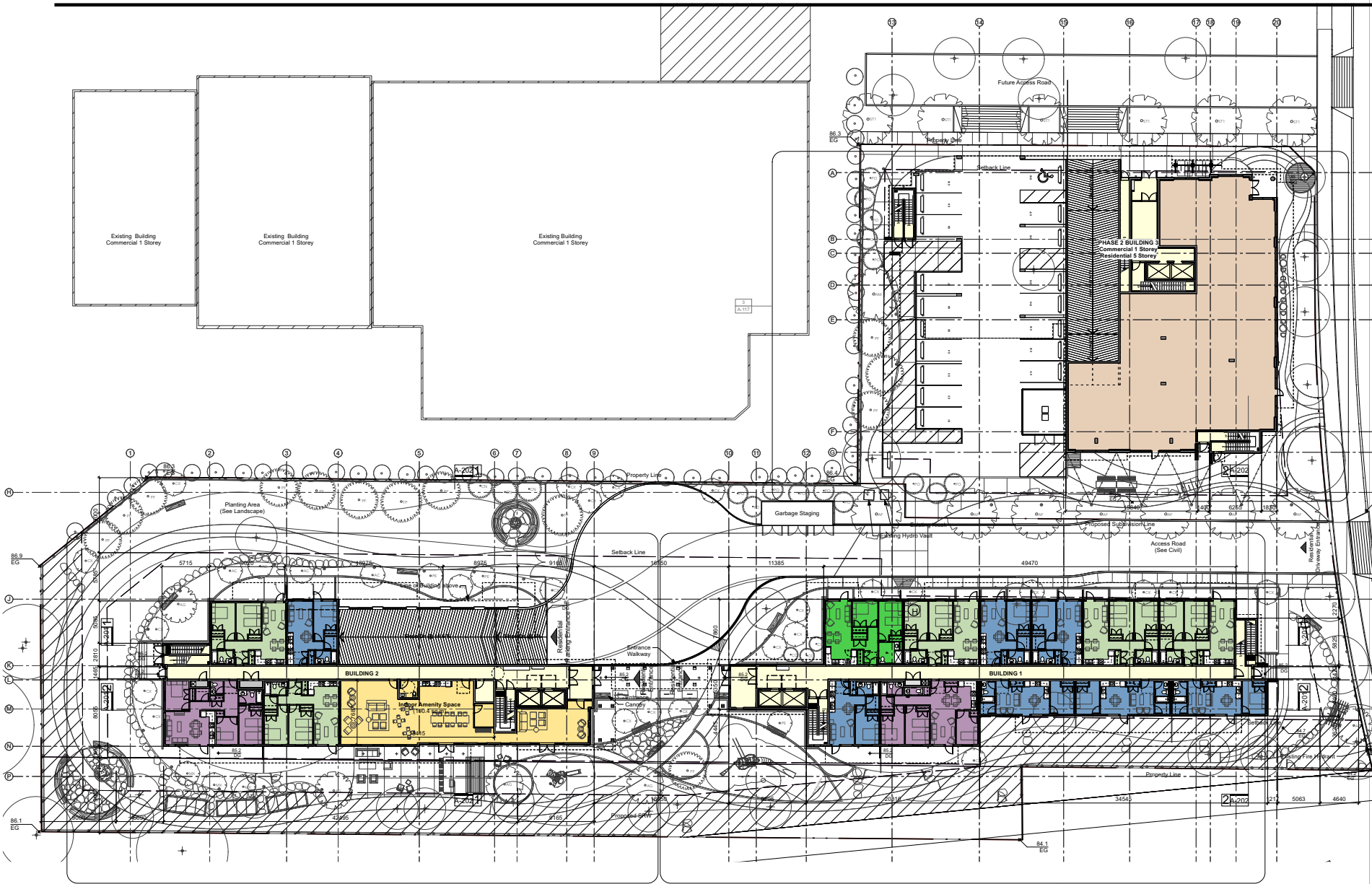
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Project
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Sheet Title
Level 1 Plan

Project Number
18042
Scale
1:200
Sheet Number
A-106



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Surrey, BC V3W 1J8

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2021 09 27	Issued for Reasoning
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2022 08 09	Revised for Reasoning
2022 08 23	Re-issued for Reasoning
2022 09 12	Re-issued for Reasoning
2022 09 13	Re-issued for Reasoning

- 1 Bedroom
- 2 Bedroom
- 2 Bedroom Accessible
- 3 Bedroom
- Amenity
- Commercial
- Service
- Circulation



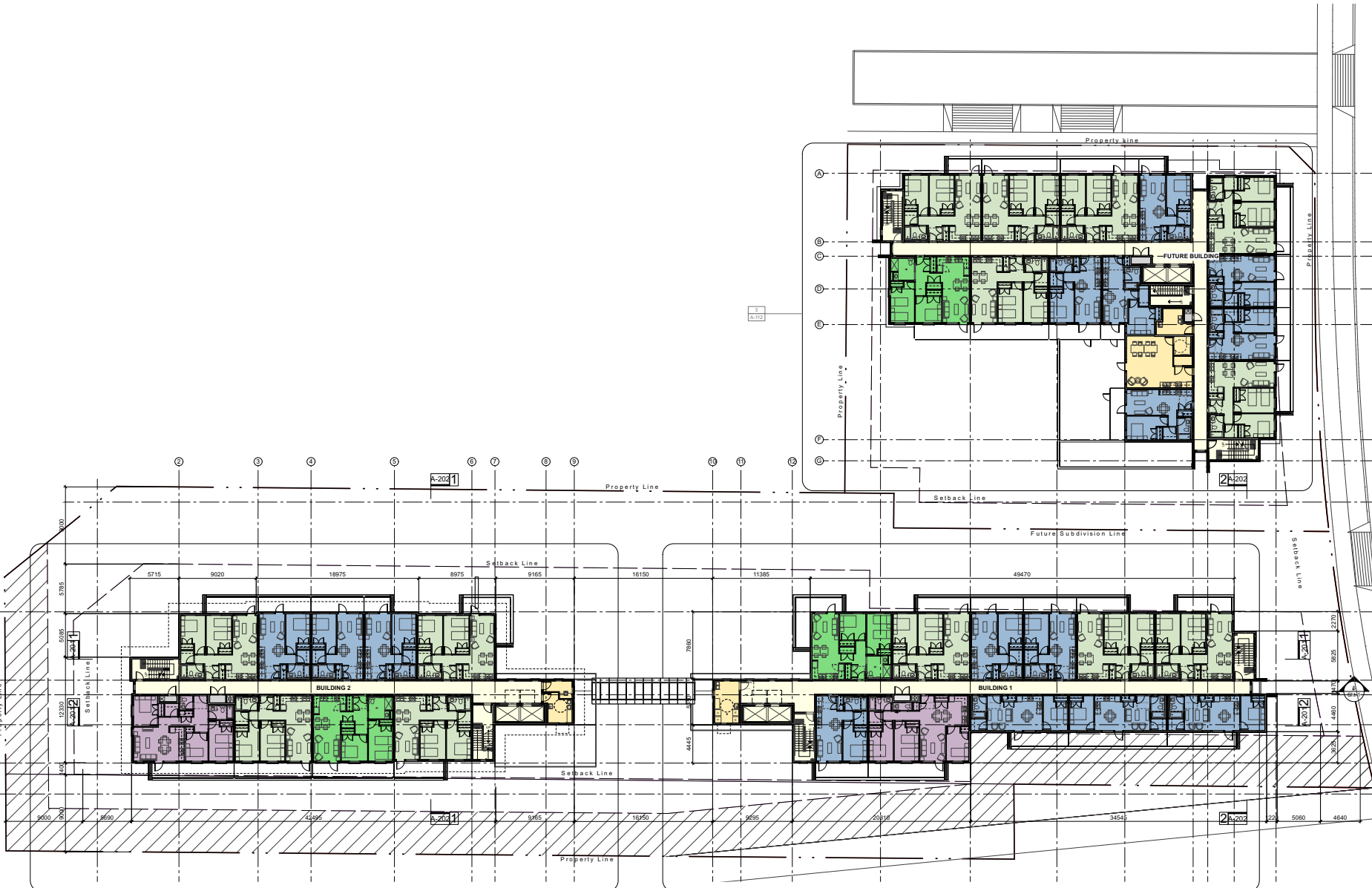
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Project
Kechi-o-Wekowin
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Sheet Title
Levels 2 - 5 Plan

Project Number
18042
Scale
1:200
Sheet Number
A-107



A-107

A-107

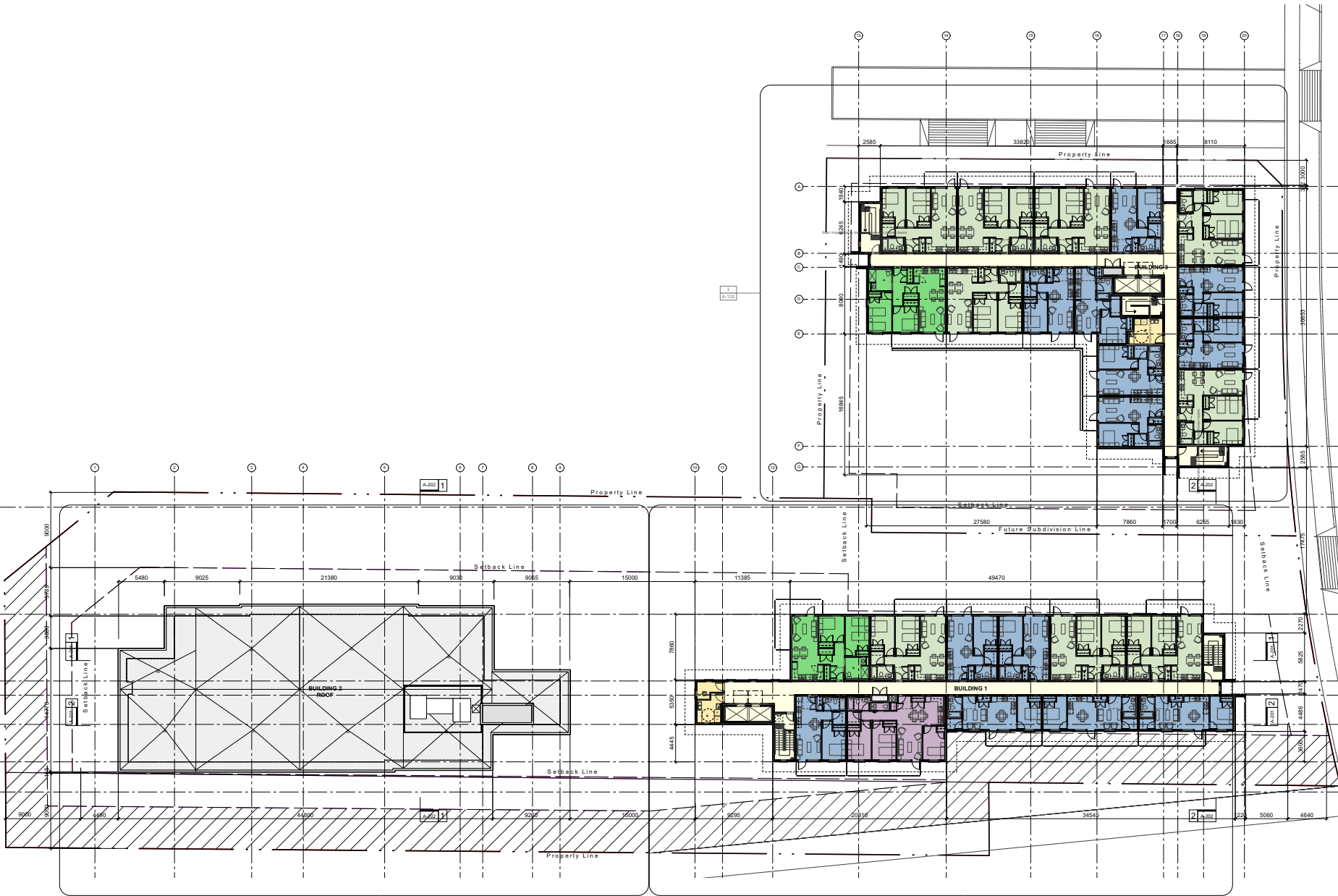
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Kekikow Native Housing Society
1014-7445 132nd Street
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Date	Issue / Revision
2021 05 27	Issued for Reasoning
2022 04 12	Revised for Reasoning
2022 08 09	Revised for Reasoning
2022 08 23	Re-issued for Reasoning
2022 09 12	Re-issued for Reasoning
2022 09 13	Re-issued for Reasoning

- 1 Bedroom
- 2 Bedroom
- 2 Bedroom Accessible
- 3 Bedroom
- Amenity
- Commercial
- Service
- Circulation



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Project
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Surrey, BC

Sheet Title
Level 6 Plan

Project Number
18042
Scale
1:200
Sheet Number
A-108

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Kekikow Native Housing Society
1014-7445 132nd Street
Surrey, BC V3V 1J8

Date	Issue / Revisions
2021 09 27	Issued for Reasoning
2022 04 12	Revised for Reasoning
2022 08 09	Revised for Reasoning
2022 08 23	Re-issued for Reasoning
2022 09 12	Re-issued for Reasoning
2022 09 13	Re-issued for Reasoning

Note: High albedo finish material minimum 0.75 SRI.
See BC Housing specifications.



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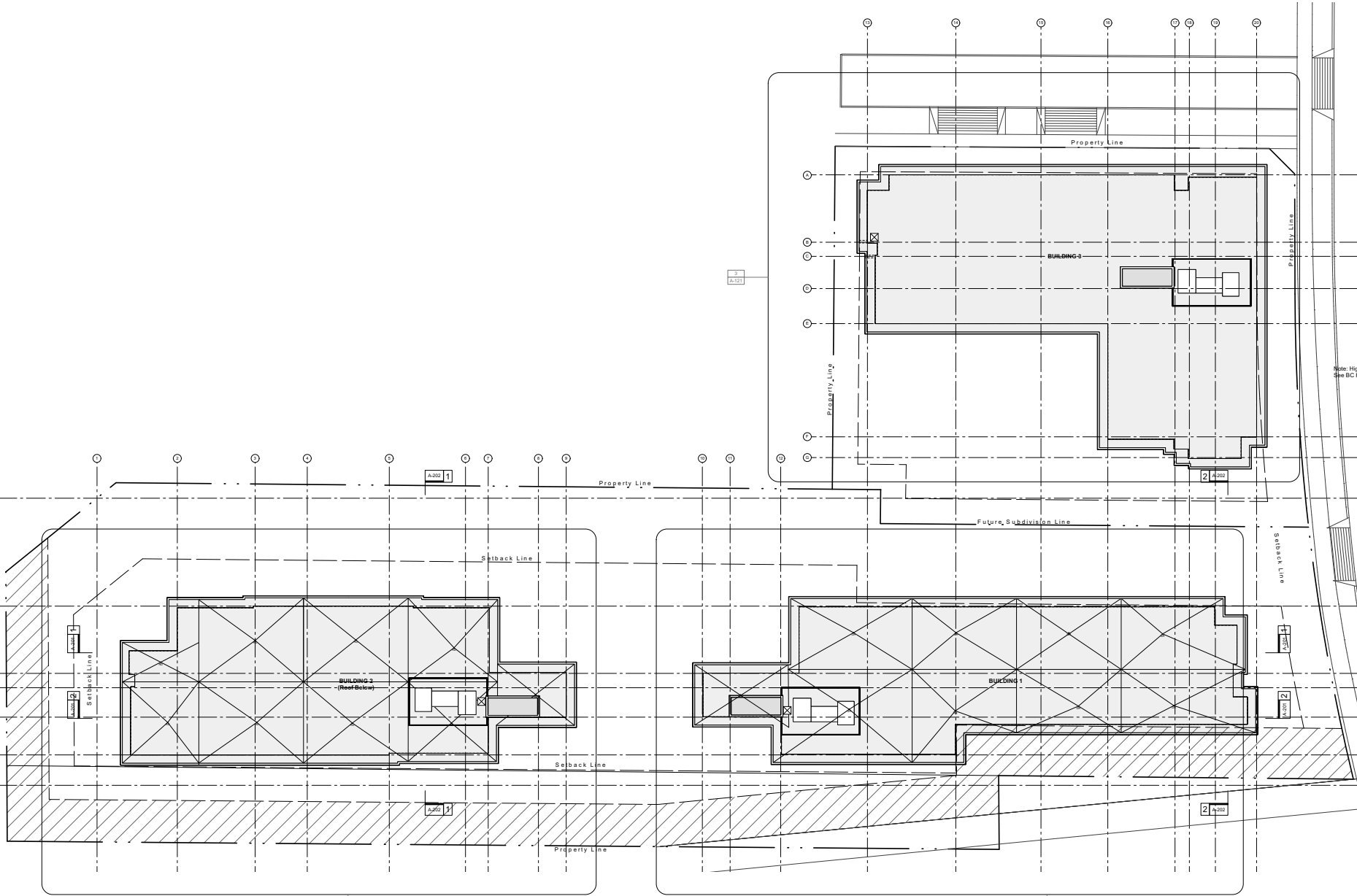
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9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Roof Plan

Project Number
18042
Scale
1:200
Sheet Number
A-109





Kechi-o-Wekowin Native Housing Society
 1014-7445 132nd Street
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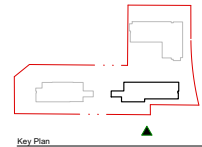
Date	Issue / Revision
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2022 04 12	Revised for Reasoning
2022 08 10	Revised for Reasoning
2022 08 23	Re-issued for Reasoning
2022 09 12	Re-issued for Reasoning
2022 09 13	Re-issued for Reasoning

Materials Legend

- ① Fiber Cement Lap Siding (Off White) 4" Exposure/Smooth Finish. Colour: Linen (Allura)
- ② Fiber Cement Vertical Panel (Light Gray) Smooth Finish. Colour: Sterling Gray (Allura) with Colour Matched Joints
- ③ Clear Glazing in Vinyl Frames. Colour: White
- ④ Glass Guard Rail with Alum. Frames. Colour: Gray
- ⑤ Glass Privacy Screen with Alum. Frames. Colour: Gray
- ⑥ Fiber Cement Accent Colour Painted Panel. Colour: Moroccan Red 1309 (Benjamin Moore) with Colour Matched Joints
- ⑦ Fiber Cement Accent Colour Painted Panel. Colour: Banana Yellow 2022-40 (Benjamin Moore) with Colour Matched Joints
- ⑧ Fiber Cement Accent Colour Painted Panel. Colour: Iron Mountain 2134-30 (Benjamin Moore) with Colour Matched Joints
- ⑨ Fiber Cement Accent Colour Painted Panel. Colour: Ultra White CC-10 (Benjamin Moore) with Colour Matched Joints
- ⑩ Vertical Trim Painted and Compatible W/Elevation Finish
- ⑪ Patterned Vertical Sunshade in Painted Alum. Frame
- ⑫ Painted Concrete. Colour: Clarksville Gray HC-102 (Benjamin Moore)
- ⑬ Stained Wood Trellis on Concrete Base
- ⑭ Fiber Cement Lap Siding (Gray) 4" Exposure/Smooth Finish. Colour: Sterling Gray (Allura)
- ⑮ Fiber Cement Lap Siding (Red) 4" Exposure/Smooth Finish. Colour: Red Rock Falls (Allura)
- ⑯ Storefront Window/Door. Colour: Black
- ⑰ Stained Wood Slats on Concrete Base



1 Building 1 South Elevation
 Scale: 1:100



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Project
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Sheet Title
Building 1 South Elevation

Project Number
 18042
 Scale
 As noted
 Sheet Number
A-301



Kekiow Native Housing Society
1014-7445 132nd Street
Surrey, BC V3W 1J8

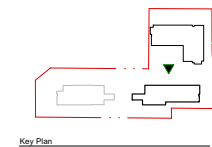
Date	Issue / Revision
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2022 08 10	Revised for Reasoning
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- ⑫ Painted Concrete. Colour: Clarksville Gray HC-102 (Benjamin Moore)
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- ⑯ Storefront Window/Door. Colour: Black
- ⑰ Stained Wood Slats on Concrete Base



① Building 1 North Elevation
Scale: 1:100



Key Plan

Seal



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Project
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9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Building 1 North Elevation

Project Number
18042
Scale
As noted
Sheet Number
A-302



Kekinow Native Housing Society
1014-7445 132nd Street
Surrey, BC V3W 1J8

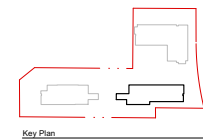
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- ⑯ Storefront Window/Door. Colour: Black
- ⑰ Stained Wood Slats on Concrete Base



1 Building 1 East Elevation (Prince Charles Blvd)
Scale: 1:100



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Project
Kechi-o-Wekowin
9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Building 1 East Elevation

Project Number
18042
Scale
As noted
Sheet Number
A-303



Kekiow Native Housing Society
1014-7445 122nd Street
Surrey, BC V3W 1J8

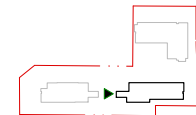
Date	Issue / Revision
2021 09 27	Issued for Reasoning
2022 04 12	Revised for Reasoning
2022 08 10	Revised for Reasoning
2022 08 23	Re-issued for Reasoning
2022 09 12	Re-issued for Reasoning
2022 09 13	Re-issued for Reasoning

Materials Legend

- ① Fiber Cement Lap Siding (Off White) 4" Exposure/Smooth Finish. Colour: Linen (Allura)
- ② Fiber Cement Vertical Panel (Light Gray) Smooth Finish. Colour: Sterling Gray (Allura) with Colour Matched Joints
- ③ Clear Glazing in Vinyl Frames. Colour: White
- ④ Glass Guard Rail with Alum. Frames. Colour: Gray
- ⑤ Glass Privacy Screen with Alum. Frames. Colour: Gray
- ⑥ Fiber Cement Accent Colour Painted Panel. Colour: Moroccan Red 1309 (Benjamin Moore) with Colour Matched Joints
- ⑦ Fiber Cement Accent Colour Painted Panel. Colour: Banana Yellow 2022-40 (Benjamin Moore) with Colour Matched Joints
- ⑧ Fiber Cement Accent Colour Painted Panel. Colour: Iron Mountain 2134-30 (Benjamin Moore) with Colour Matched Joints
- ⑨ Fiber Cement Accent Colour Painted Panel. Colour: Ultra White CC-10 (Benjamin Moore) with Colour Matched Joints
- ⑩ Vertical Trim Painted and Compatible W/Elevation Finish
- ⑪ Patterned Vertical Sunshade in Painted Alum. Frame
- ⑫ Painted Concrete. Colour: Clarksville Gray HC-102 (Benjamin Moore)
- ⑬ Stained Wood Trellis on Concrete Base
- ⑭ Fiber Cement Lap Siding (Gray) 4" Exposure/Smooth Finish. Colour: Sterling Gray (Allura)
- ⑮ Fiber Cement Lap Siding (Red) 4" Exposure/Smooth Finish. Colour: Red Rock Falls (Allura)
- ⑯ Storefront Window/Door. Colour: Black
- ⑰ Stained Wood Slats on Concrete Base



1 Building 1 West Elevation
Scale: 1:100



Key Plan

Seal



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Project
Kechi-o-Wekowin
9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Building 1 West Elevation

Project Number
18042
Scale
As noted
Sheet Number
A-304

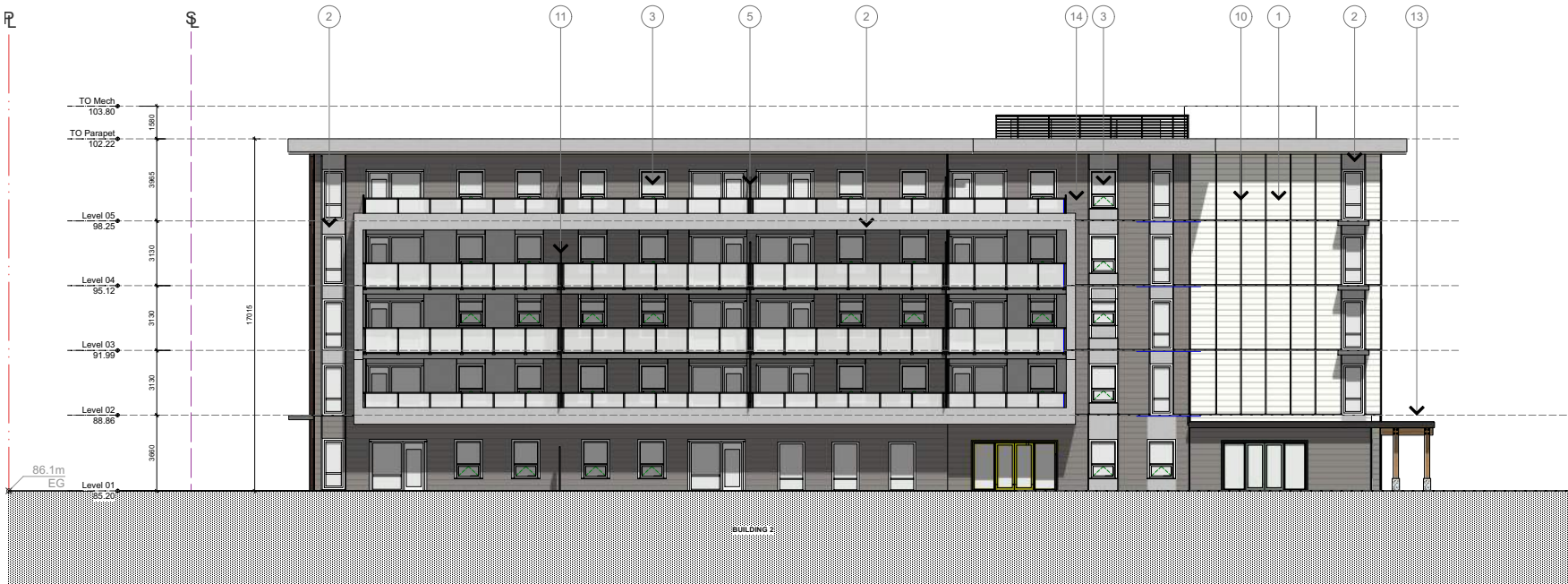


Kekikow Native Housing Society
1014-7445 132nd Street
Surrey, BC V3W 1J8

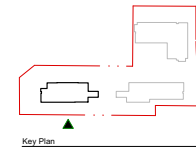
Date	Issue / Revision
2021-09-27	Issued for Reasoning
2022-04-12	Revised for Reasoning
2022-08-10	Revised for Reasoning
2022-09-23	Re-issued for Reasoning
2022-09-12	Re-issued for Reasoning
2022-09-13	Re-issued for Reasoning

Materials Legend

- ① Fiber Cement Lap Siding (Off White) 4" Exposure/Smooth Finish. Colour: Linen (Allura)
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- ⑪ Patterned Vertical Sunshade in Painted Alum. Frame
- ⑫ Painted Concrete. Colour: Clarksville Gray HC-102 (Benjamin Moore)
- ⑬ Stained Wood Trellis on Concrete Base
- ⑭ Fiber Cement Lap Siding (Gray) 4" Exposure/Smooth Finish. Colour: Sterling Gray (Allura)
- ⑮ Fiber Cement Lap Siding (Red) 4" Exposure/Smooth Finish. Colour: Red Rock Falls (Allura)
- ⑯ Storefront Window/Door. Colour: Black
- ⑰ Stained Wood Slats on Concrete Base



1 Building 2 South Elevation
Scale: 1:100



Key Plan

Seal



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Project
Kechi-o-Wekowin
9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Building 2 South Elevation

Project Number
18042
Scale
As noted
Sheet Number
A-305



Kekikow Native Housing Society
1014-7445 132nd Street
Surrey, BC V3W 1J8

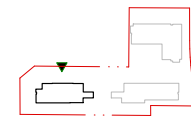
Date	Issue / Revisions
2021 09 27	Issued for Reasoning
2022 04 12	Revised for Reasoning
2022 08 10	Revised for Reasoning
2022 08 23	Re-issued for Reasoning
2022 09 12	Re-issued for Reasoning
2022 09 13	Re-issued for Reasoning

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- ⑮ Fiber Cement Lap Siding (Red) 4" Exposure/Smooth Finish. Colour: Red Rock Falls (Allura)
- ⑯ Storefront Window/Door. Colour: Black
- ⑰ Stained Wood Slats on Concrete Base



1 Building 2 North Elevation
Scale: 1:100



Key Plan



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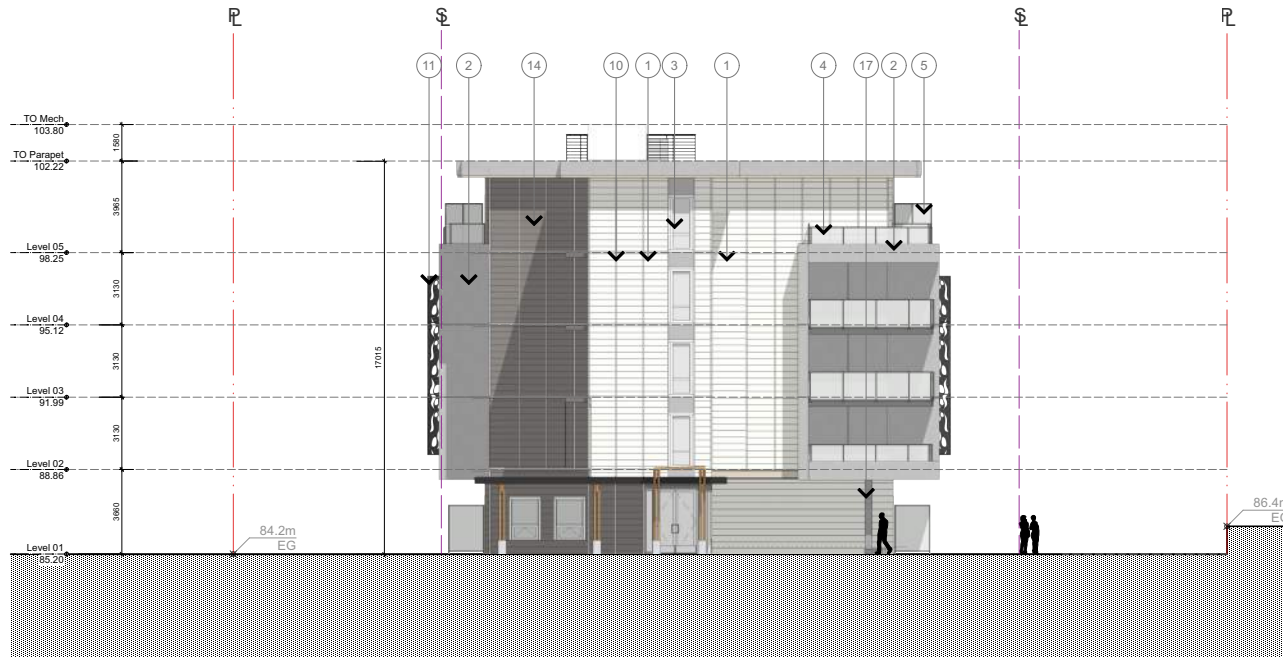
Project
Kechi-o-Wekowin
9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Building 2 North Elevation

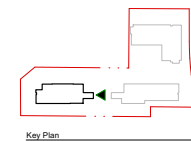
Project Number
18042
Scale
As noted
Sheet Number
A-306

Materials Legend

- ① Fiber Cement Lap Siding (Off White) 4" Exposure/Smooth Finish. Colour: Linen (Allura)
- ② Fiber Cement Vertical Panel (Light Gray) Smooth Finish. Colour: Sterling Gray (Allura) with Colour Matched Joints
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- ⑮ Fiber Cement Lap Siding (Red) 4" Exposure/Smooth Finish. Colour: Red Rock Falls (Allura)
- ⑯ Storefront Window/Door. Colour: Black
- ⑰ Stained Wood Slats on Concrete Base



1 Building 2 East Elevation
Scale: 1:100



Consultants



Kekikow Native Housing Society
1014-7445 132nd Street
Surrey, BC V3W 1J8

Date	Issue / Revision
2021 09 27	Issued for Reasoning
2022 04 12	Revised for Reasoning
2022 08 10	Revised for Reasoning
2022 09 23	Re-issued for Reasoning
2022 09 12	Re-issued for Reasoning
2022 09 13	Re-issued for Reasoning

Seal



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Project
Kechi-o-Wekowin
9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Building 2 East Elevation

Project Number
18042
Scale
As noted
Sheet Number
A-307

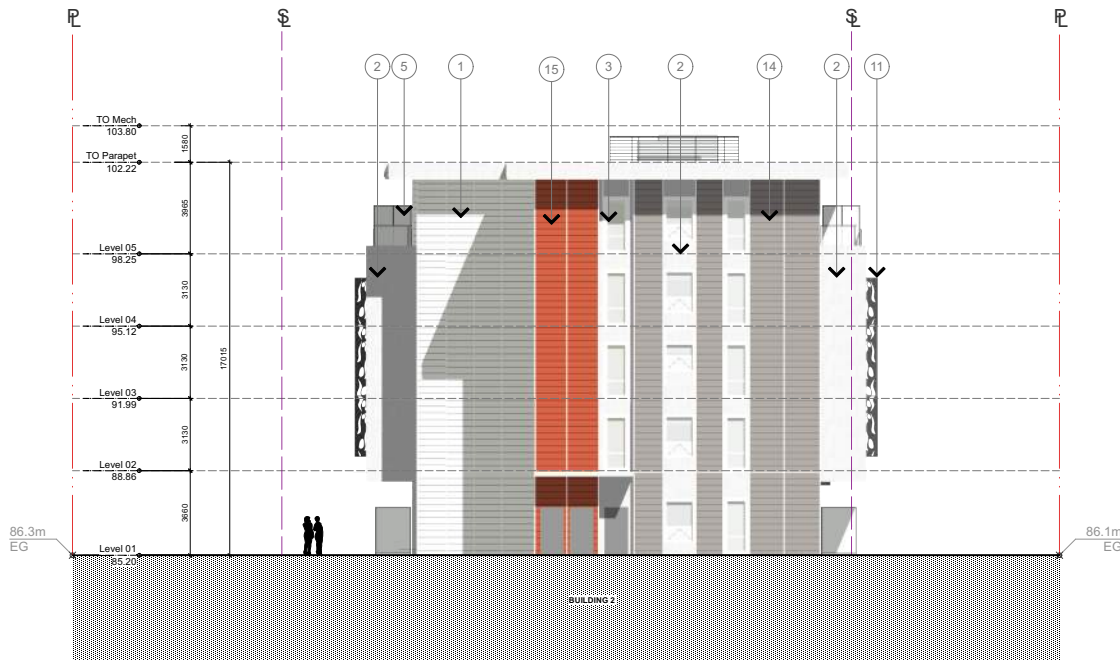


Kekikow Native Housing Society
1014-7445 132nd Street
Surrey, BC V2W 1J8

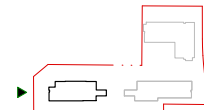
Date	Issue / Revision
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2022-08-10	Revised for Reasoning
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Materials Legend

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- ⑪ Patterned Vertical Sunshade in Painted Alum. Frame
- ⑫ Painted Concrete. Colour: Clarksville Gray HC-102 (Benjamin Moore)
- ⑬ Stained Wood Trellis on Concrete Base
- ⑭ Fiber Cement Lap Siding (Gray) 4" Exposure/Smooth Finish. Colour: Sterling Gray (Allura)
- ⑮ Fiber Cement Lap Siding (Red) 4" Exposure/Smooth Finish. Colour: Red Rock Falls (Allura)
- ⑯ Storefront Window/Door. Colour: Black
- ⑰ Stained Wood Slats on Concrete Base



1 Building 2 West Elevation
Scale: 1:100



Key Plan

Seal



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Project
Kechi-o-Wekowin
9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Building 2 West Elevation

Project Number
18042
Scale
As noted
Sheet Number
A-308

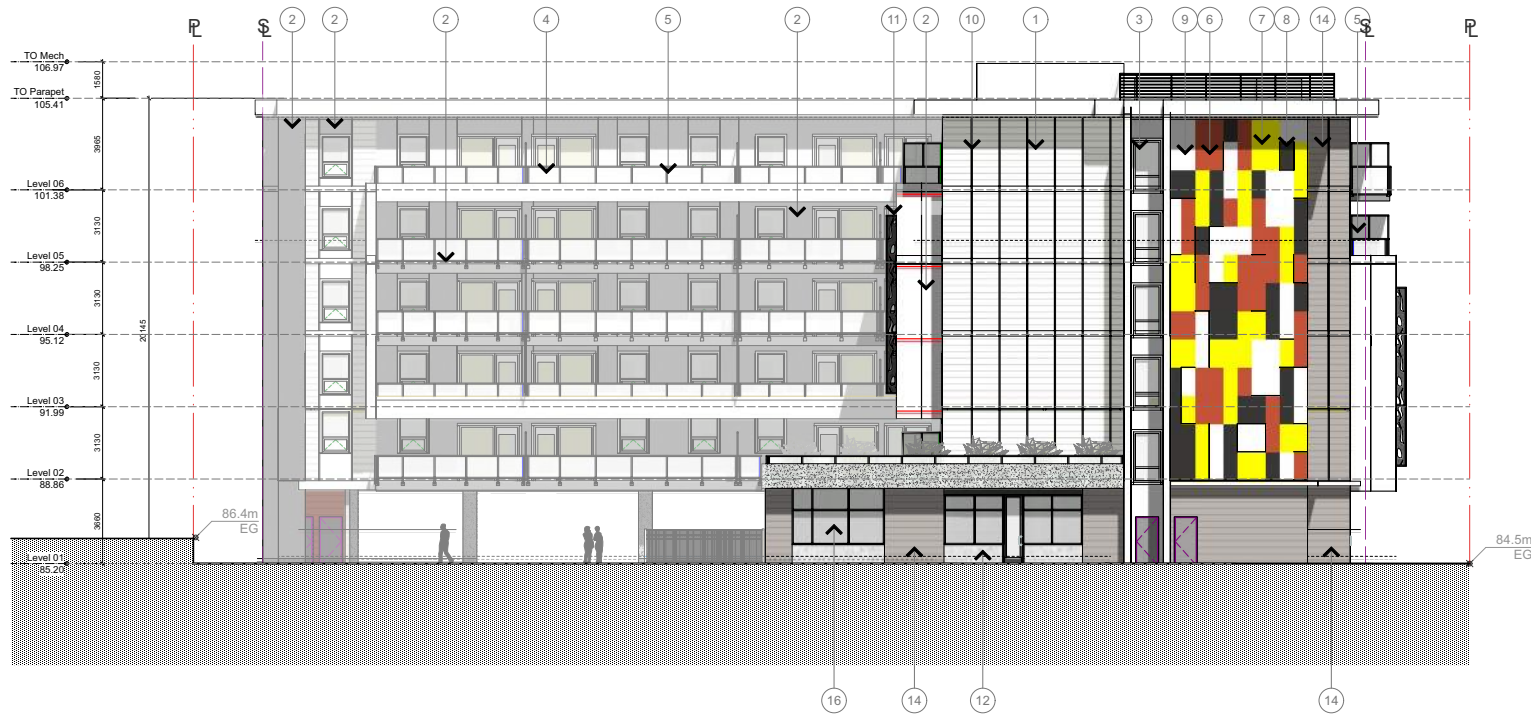


Kechi-o-Wekowin Native Housing Society
1014-7445 132nd Street
Surrey, BC V3W 1J8

Date	Issue / Revision
2021 09 27	Issued for Reasoning
2022 04 12	Revised for Reasoning
2022 08 10	Revised for Reasoning
2022 08 23	Re-issued for Reasoning
2022 09 12	Re-issued for Reasoning
2022 09 13	Re-issued for Reasoning

Materials Legend

- ① Fiber Cement Lap Siding (Off White) 4" Exposure/Smooth Finish. Colour: Linen (Allura)
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- ⑨ Fiber Cement Accent Colour Painted Panel. Colour: Ultra White CC-10 (Benjamin Moore) with Colour Matched Joints
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- ⑪ Patterned Vertical Sunshade in Painted Alum. Frame
- ⑫ Painted Concrete. Colour: Clarksville Gray HC-102 (Benjamin Moore)
- ⑬ Stained Wood Trellis on Concrete Base
- ⑭ Fiber Cement Lap Siding (Gray) 4" Exposure/Smooth Finish. Colour: Sterling Gray (Allura)
- ⑮ Fiber Cement Lap Siding (Red) 4" Exposure/Smooth Finish. Colour: Red Rock Falls (Allura)
- ⑯ Storefront Window/Door. Colour: Black
- ⑰ Stained Wood Slats on Concrete Base



1 Building 3 South Elevation
Scale: 1:100



Key Plan

Seal



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Project
Kechi-o-Wekowin
9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Building 3 South Elevation

Project Number
18042
Scale
As noted
Sheet Number
A-309



Kekikow Native Housing Society
1014-7445 132nd Street
Surrey, BC V3W 1J8

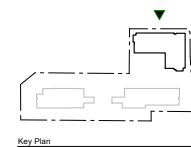
Date	Issue / Revisions
2021 09 27	Issued for Reasoning
2022 04 12	Revised for Reasoning
2022 08 10	Revised for Reasoning
2022 08 23	Re-issued for Reasoning
2022 09 12	Re-issued for Reasoning
2022 09 13	Re-issued for Reasoning

Materials Legend

- | | | |
|---|---|--|
| ① Fiber Cement Lap Siding (Off White) 4" Exposure/Smooth Finish. Colour: Linen (Allura) | ⑦ Fiber Cement Accent Colour Painted Panel. Colour: Banana Yellow 2022-40 (Benjamin Moore) with Colour Matched Joints | ⑬ Stained Wood Trellis on Concrete Base |
| ② Fiber Cement Vertical Panel (Light Gray) Smooth Finish. Colour: Sterling Gray (Allura) with Colour Matched Joints | ⑧ Fiber Cement Accent Colour Painted Panel. Colour: Iron Mountain 2134-30 (Benjamin Moore) with Colour Matched Joints | ⑭ Fiber Cement Lap Siding (Gray) 4" Exposure/Smooth Finish. Colour: Sterling Gray (Allura) |
| ③ Clear Glazing in Vinyl Frames. Colour: White | ⑨ Fiber Cement Accent Colour Painted Panel. Colour: Ultra White CC-10 (Benjamin Moore) with Colour Matched Joints | ⑮ Fiber Cement Lap Siding (Red) 4" Exposure/Smooth Finish. Colour: Red Rock Falls (Allura) |
| ④ Glass Guard Rail with Alum. Frames. Colour: Gray | ⑩ Vertical Trim Painted and Compatible W/Elevation Finish | ⑯ Storefront Window/Door. Colour: Black |
| ⑤ Glass Privacy Screen with Alum. Frames. Colour: Gray | ⑪ Patterned Vertical Sunshade in Painted Alum. Frame | ⑰ Stained Wood Slats on Concrete Base |
| ⑥ Fiber Cement Accent Colour Painted Panel. Colour: Moroccan Red 1309 (Benjamin Moore) with Colour Matched Joints | ⑫ Painted Concrete. Colour: Clarksville Gray HC-102 (Benjamin Moore) | |



1 Building 3 North Elevation
Scale: 1:100



Key Plan

Seal



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Project
Kechi-o-Wekowin
9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Building 3 North Elevation

Project Number
18042
Scale
As noted
Sheet Number
A-310

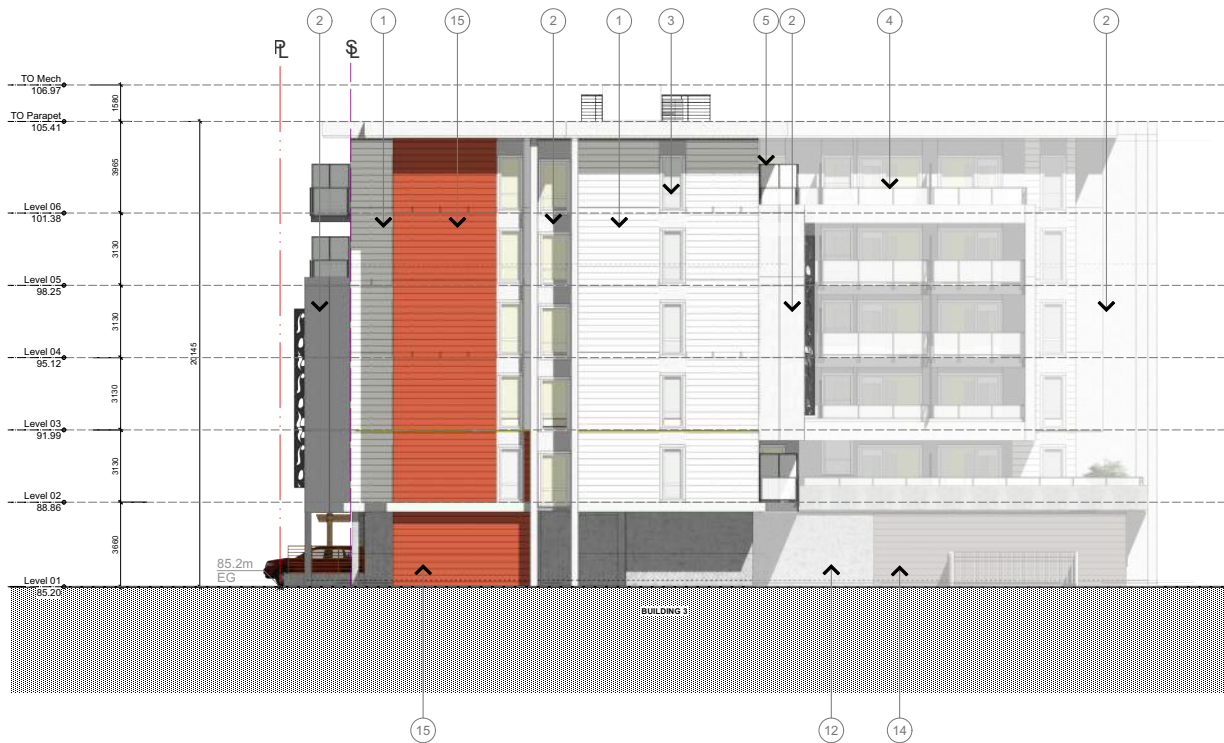


Kekino Native Housing Society
1014-7445 132nd Street
Surrey, BC V3W 1J8

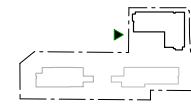
Date	Issue / Revision
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Materials Legend

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| ⑤ Glass Privacy Screen with Alum. Frames. Colour: Gray | ⑪ Patterned Vertical Sunshade in Painted Alum. Frame | ⑰ Stained Wood Slats on Concrete Base |
| ⑥ Fiber Cement Accent Colour Painted Panel. Colour: Moroccan Red 1309 (Benjamin Moore) with Colour Matched Joints | ⑫ Painted Concrete. Colour: Clarksville Gray HC-102 (Benjamin Moore) | |



1 Building 3 West Elevation
Scale: 1:100



Key Plan

Seal



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Project
Kechi-o-Wekowin
9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Building 3 West Elevation

Project Number
18042
Scale
As noted
Sheet Number
A-311

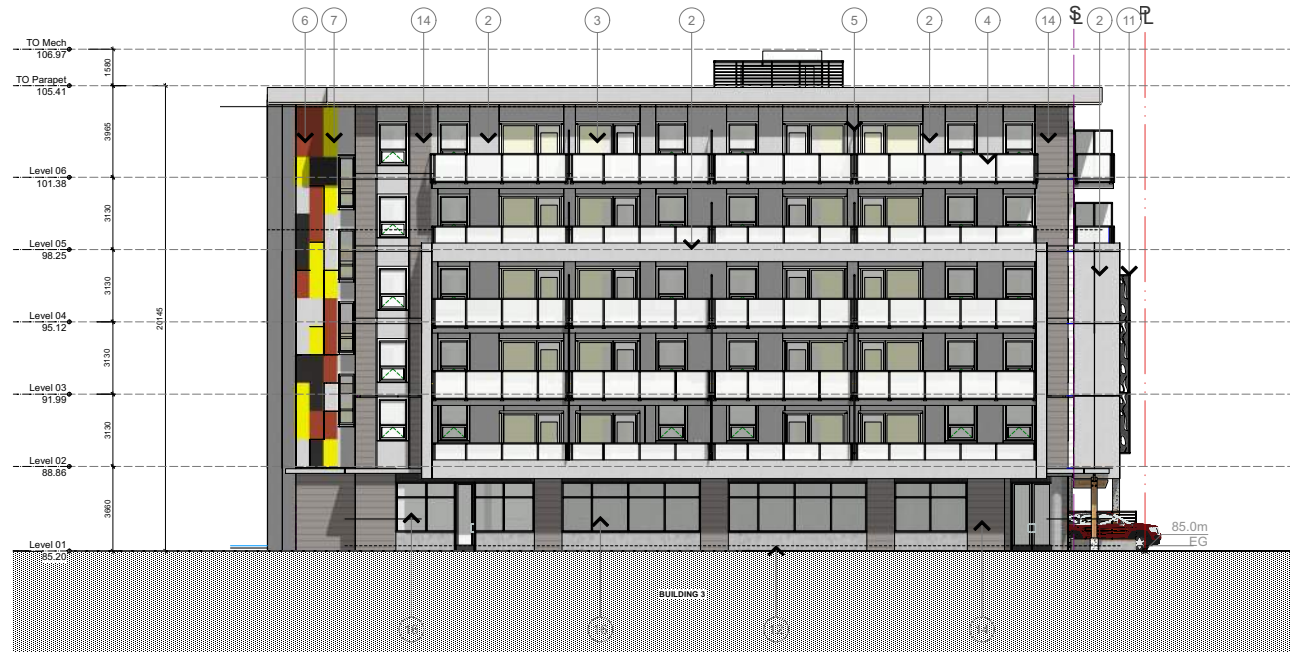


Kechi-o-Wekowin Native Housing Society
1014-7445 132nd Street
Surrey, BC V3W 1J8

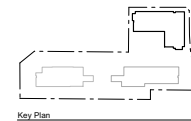
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- ⑭ Fiber Cement Lap Siding (Gray) 4" Exposure/Smooth Finish. Colour: Sterling Gray (Allura)
- ⑮ Fiber Cement Lap Siding (Red) 4" Exposure/Smooth Finish. Colour: Red Rock Falls (Allura)
- ⑯ Storefront Window/Door. Colour: Black
- ⑰ Stained Wood Slats on Concrete Base



1 Building 3 East Elevation (Prince Charles Blvd)
Scale: 1:100



Seal



NSDA
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Project
Kechi-o-Wekowin
9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Building 3 East Elevation

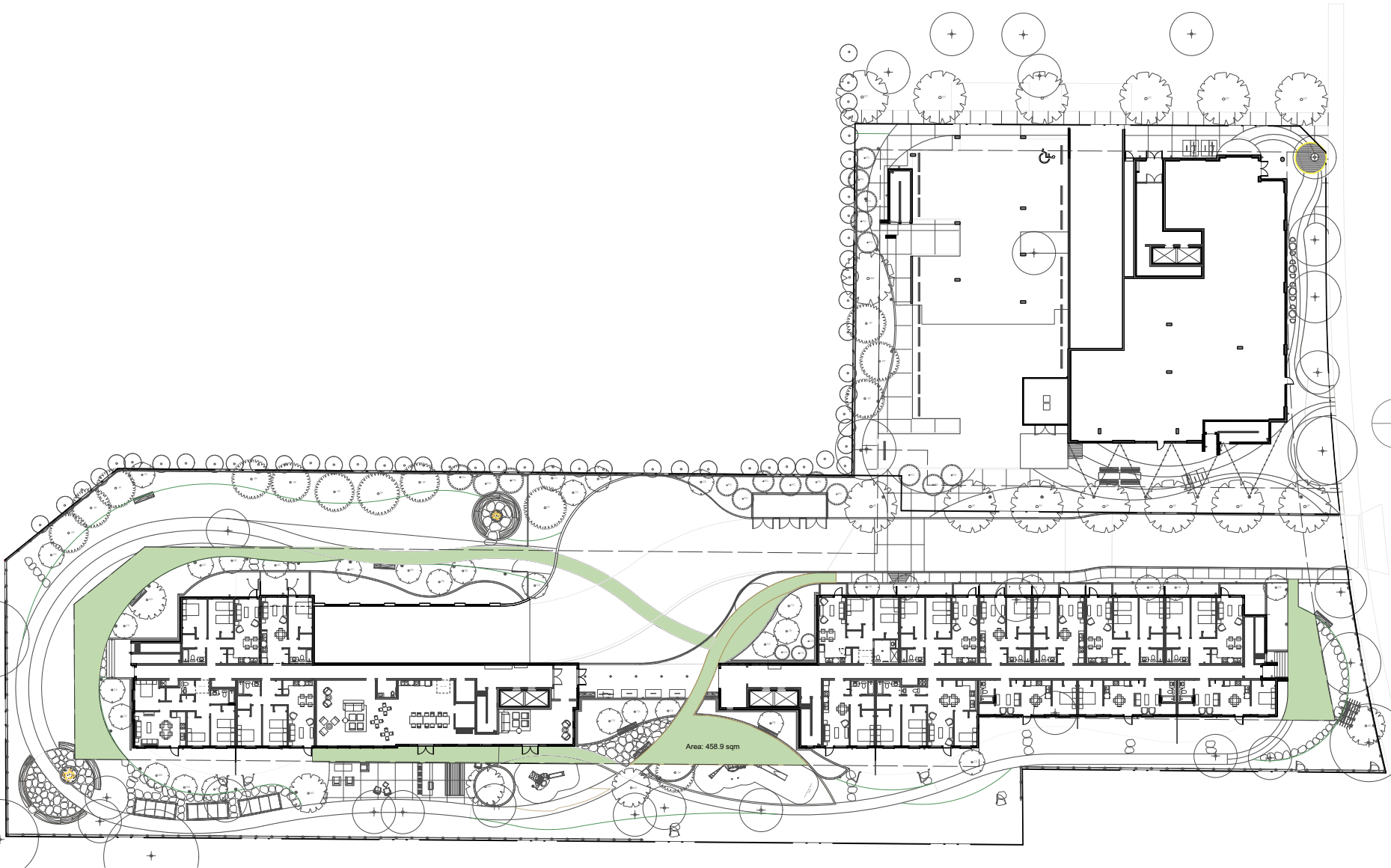
Project Number
18042
Scale
As noted
Sheet Number
A-312

Consultants



Kekikow Native Housing Society
1014-7445 132nd Street
Surrey, BC V3W 1J8

Date	Issue / Revision
2021 09 27	Issued for Reasoning
2022 04 12	Revised for Reasoning
2022 09 29	Re-issued for Reasoning
2022 09 12	Re-issued for Reasoning
2022 09 13	Re-issued for Reasoning



Seal



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Project
Kechi-o-Wekowin
9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Outdoor Amenity
Level 1 Plan

Project Number
18042

Scale
1:200

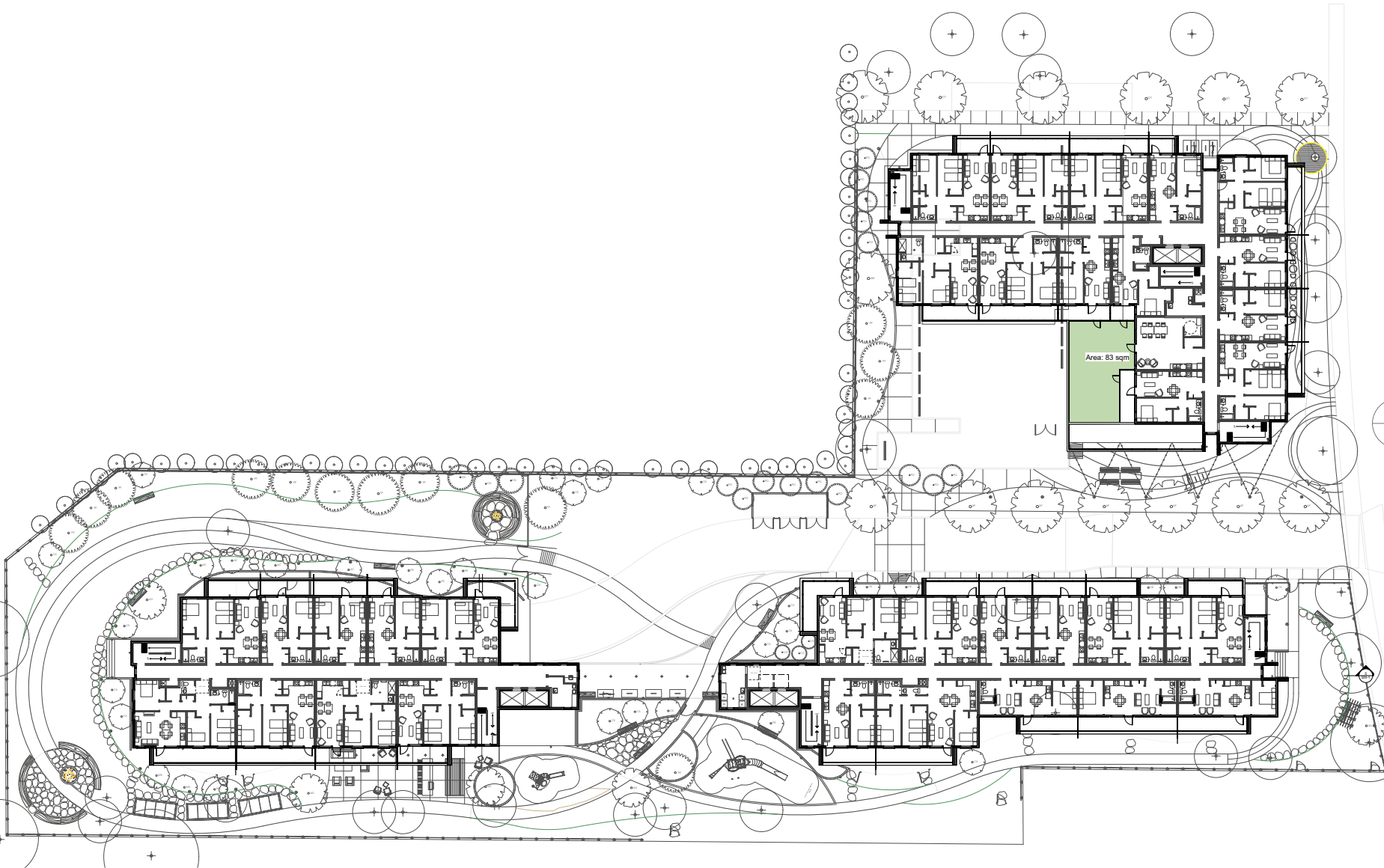
Sheet Number
FSR-110

Consultants



Kekikow Native Housing Society
1014-7445 132nd Street
Surrey, BC V3W 1J8

Date	Issue / Revision
2021 05 27	Issued for Reasoning
2022 04 12	Revised for Reasoning
2022 08 25	Re-issued for Reasoning
2022 09 12	Re-issued for Reasoning
2022 09 13	Re-issued for Reasoning



Seal



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Project
Kechi-o-Wekowin
9537 Prince Charles Blvd
Surrey, BC

Sheet Title
Outdoor Amenity
Level 2 Plan

Project Number
18042

Scale
1:200

Sheet Number
FSR-111

Surface Materials

- Cast in Place Saw Cut Broom Finished Concrete
100mm thick - pedestrian, 150mm thick - vehicular
- Unit Concrete Pavers
Old Dominion Pavers - Cascade + Summit Blends
Refer by Mutual Materials
- Asphalt Paving
Refer to Civil Drawings
- Patio Paving Slabs
Vancouver Bay Pavers 300 x 600mm, Gray
by Mutual Materials
- Basalt Pavers
300 x 600mm Flame Finish
supplied by Bedrock Granite
- Decorative River Rock
50 - 100mm Ø
- Fiber (Wood Chip) Surfacing
300mm depth
- Basalt Flagstone
50mm" thick as supplied by Northwest Landscape Supply
- Structural Grass
Grasspave 2 by Invisible Structures
- Seeded Sand Based Lawn
on 150mm depth growing medium
- Shrub and Groundcover Planting
on 450 - 600mm growing medium

Landscape Lighting

- Wall Cast Downlight
- Sconce Light
- Soffit Light
- Linear Rope Light
- Catenary Lighting + Poles
- Bollard (max 750mm/30" ht.)

Irrigation & Hose Bibs

- Frost Free Hose Bib - refer to Mechanical Drawings
- Stubout/Point of Connection: Refer to Mechanical Dwgs
- Typical Sleeving: Schedule 40 PVC Sleeves sized to receive the required irrigation pipe. Install through walls and under paving where required to suit on site pipe layout.

Grading + Drainage

- + BS 10.00m bottom of stair
- + TS 10.00m top of stair
- + BW 10.00m bottom of wall
- + TW 10.00m top of wall
- + TC 10.00m top of curb
- + BC 10.00m bottom of curb
- + BB 10.00m top of bank
- + TB 10.00m bottom of bank
- + 10.00m spot elevation
- + FG 10.00m finished grade
- direction/percent slope
- break in slope
- direction/number of risers down
- existing elevation (as per survey)
- RIM 10.00m + Drain Elevation

Furniture

- Stainless Steel Bike Rack
model: Circle Rack, Embedded Mount CR2-02-EM-SF
finish: Stainless Steel
supplier: Sitescapes
<https://www.sitescapesonline.com/circle-rack-bike-rack-drawings.asp>
- Custom Cedar Seating Platform
on CIP Concrete Base
- Harvest Table with Cedar Benches
supplier: Sanderson Concrete
- Cedar Bench
on CIP Concrete Wall or Metal Base
- Precast Concrete Wheel Stop
supplier: Sanderson Concrete
- Communal Table + Benches
- Polished Concrete Countertop c/w Barbecue + Bar Stools
- Cast in Place Fire/Cook Pit c/w River Rock Base
- Sweat Lodge c/w Cedar Benches, Stone Pavers and Fire Pit
- Cedar Planter Boxes planted with Temporary Edible Planting

Fencing

- Perimeter Fence + SRW Access Gates
1.8m ht. Cedar Fence
- Internal Fences + Gates
1.2m ht. Cedar Fence
- Internal Fences + Gates
1.2m ht. Aluminum Fence
- powdercoated to match architectural metalworks

Plant List

key	qty.	Botanical Name	Common Name	Size and Spacing
Trees				
AC	4	Acer circinatum	Vine Maple	88B, 3m ht. multistem
AG	5	Acer griseum	Paperbark Maple	88B, 7cm calliper, 1.8m ht. Std. Uniform Crown/Habit
AF	7	Acer x fr. 'Autumn Brilliance'	Red Maple	88B, 7cm calliper, 1.8m ht. Std.
AM	1	Acer macrophyllum	Bigleaf Maple	88B, 8cm calliper, 1.8m ht. Std.
CH	3	Chamaecyparis 'Nerland'	Weeping Yellow Cedar	88B, 3m ht.
CO	3	Chamaecyparis o 'Gracilis'	Hanko Cypress	88B, 3m ht.
CK	17	Cornus 'Eddies White Wonder'	Eddies White Wonder Dogwood	88B, 5cm calliper, 1.2m ht. Std.
CL	6	Cornus 'Louisa Starlight'	Starlight Dogwood	88B, 5cm calliper, 1.2m ht. Std.
MX	3	Malus - multi variety	Multi - variety Apple	88B, 5cm calliper
PF	11	Pinus f 'Vanderwal's Pyramid'	Vanderwal's Pyramid Pine	88B, 3m ht.
PO	14	Picea omorika 'Burnt'	Sarban Spruce	88B, 3m ht.
PE	4	Prunus emarginata	Choke Cherry	88B, 5cm calliper, 1.2m ht. Std.
ST1	6	Street Tree - new north road	Species to be determined	88B, 7cm calliper, 1.8m ht. Std.
TP	2	Thuja plicata	Western Red Cedar	88B, 3m ht.
Shrubs				
Ca	198	Cornus s. 'Kaleayi'®	Dwarf Redstem Dogwood	#2 pot
Ea	10	Eucryphia s. 'Compacta'	Dwarf Burning Bush	#7 pot
Fg	39	Fothergilla s. 'Blue Mist'	Coastal Fothergilla	#5 pot
Lp	56	Lonicera pileata	Borewood Honeysuckle	#5 pot
Pt	20	Potentilla fr. 'Lundy Yellow'	Cinqufoil	#5 pot
Pa	166	Potentilla f. 'Abbotswood'®	White Potentilla	#3 pot
Rh	94	Rhododendron macrophyllum	Pacific Rhododendron	#3 pot
Rg	102	Rosa gymnocarpa	Balding Rose	#3 pot
Rn	36	Rosa nutkana	Nootka Rose	#3 pot
Sp	10	Salix purpurea 'Nana'	Dwarf Arctic Willow	#3 pot
Sa	50	Symphoricarpos albus	Snowberry	#3 pot
To	245	Thuja o. 'Smargdy'	Cedar Hedging	1.2m/1 ht.
Vc	199	Vaccinium s. 'Northcountry'	Dwarf Blueberry	#5 pot
Vo	58	Vaccinium o. 'Thunderbird'®	Evergreen Blueberry	#5 pot
Vines				
-	2	Actinidia kolomita	Variiegated Kiwi Vine	#2 pot, staked
-	2	Akalia quinata	Chocolate Vine	#2 pot, staked
North/Shade Groundcover Mix				
-	140	Alarum caudatum	Wild Ginger	10cm pot
-	140	Blechnum spicant	Dwarf Fern	#1 pot
-	140	Cornus canadensis	Bunchberry	10cm pot
-	140	Galium odoratum	Sweet Bedstraw	10cm pot
-	140	Gaultheria procumbens	Wintergreen	10cm pot
-	140	Mahonia repens	Creeeping Oregon Grape	#1 pot
South/Sun Low Height Plant Mix				
-	23	Achillea millefolium	Yarrow	10cm pot
-	123	Aquilegia formosa	Calandine	10cm pot
-	23	Cassiope mertensiana	White Heather	10cm pot
-	23	Escallonia 'Newport Dwarf'	Dwarf Escallonia	#1 pot
-	23	Fragaria chiloensis	Coastal Strawberry	10cm pot
-	23	Geum triflorum	Prairie Smoke	10cm pot
-	23	Pauciflora myrsinitas	Falabac	#1 pot
-	23	Philadelphus 'Miniature Snowflake'	Dwarf Mock Orange	#1 pot
-	23	Rosa 'Morden Sunrise'	Morden Sunrise Rose	#1 pot
-	23	Spiraea betulifolia	Briarleaf Spirea	#1 pot
South/Sun Plant Mix Building 3				
-	55	Arctostaphylos uva-ursi	Kinnikinnick	#1pot
-	55	Caenothus velutinus	Strawbush	#5 pot
-	55	Cornus sericea 'Kaleayi'	Redwing Dogwood	#3 pot
-	55	Fragaria chiloensis	Coastal Strawberry	#1 pot
-	55	Gaultheria shallon	Salal	#1 pot
-	55	Mahonia nervosa	Oregon Grape	#1 pot
-	55	Pauciflora myrsinitas	Falabac	#1 pot
-	55	Philadelphus 'Miniature Snowflake'	Dwarf Mock Orange	#1 pot
-	55	Rosa 'Morden Sunrise'	Morden Sunrise Rose	#1 pot
-	55	Rosa nutkana	Nootka Rose	#3 pot
-	55	Rubus parviflorus	Thimbleberry	#3 pot
-	55	Rubus spectabilis	Salmoberry	#3 pot
-	55	Spiraea betulifolia	Briarleaf Spirea	#3 pot
-	55	Vaccinium parvifolium	Huckleberry	#5 pot
-	55	Viola adianum	Early Blue Violet	10cm pot
-	55	Zenobia pulverulenta	Honeycup	#2 pot
Groundcovers, Perennials, Grasses and Ferns				
a	118	Arctostaphylos uva-ursi	Kinnikinnick	#1pot
c	51	Carex 'Evergold'	Evergold Sedge	#1 pot
f	183	Fragaria chiloensis	Coastal Strawberry	#1 pot
g	619	Gaultheria shallon	Salal	#1 pot
ps	240	Musa reginae 'Alba'	Creeeping Musa	10cm pot
ps	191	Polystichum munium	Western Sword Fern	#2 pot
ps	178	Schizachyrium scoparium	Little Blue Stem	#1 pot
Garden Plot Temporary Planting				
-	33	Fragaria - everbearing	Strawberry	#1 pot
-	33	Vaccinium 'Northland'	Dwarf Blueberry	#3 pot
-	33	Various herbs	Rosemary, Thyme, Oregono	#1 pot
Groundcover Pocket Planting under Existing Trees				
-	90	Cornus canadensis	Bunchberry	10cm pot
-	90	Galium odoratum	Sweet Bedstraw	10cm pot
-	90	Gaultheria procumbens	Wintergreen	10cm pot
-	90	Pachysandra 'Green Sheen'	Japanese Surge	10cm pot
-	90	Vaccinium vitis-idaea	Foxberry	10cm pot

General Planting Notes:

- All work shall meet or exceed the requirements as outlined in the Current Edition of the B.C. Landscape Standard.
- Plant sizes and related container classes as specified according to the B.C. Landscape Standard Current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list call for #5 class containers these shall be as defined in the BCNTA (ANSI) Standard.
- Soil to be sand based turf and mesh free. No substitutes.
- All soft landscape area are to be irrigated using a high efficiency drip system, complete with rain sensor. All work to IABC standards.
- Attach vines to trellis posts using non-chafing garden twine.

Existing Trees

- Existing Tree to be protected and retained
- refer to Arborist Report and Tree Management Drawing
- Tree Protection Fencing -
refer to Arborist Report
- Existing Tree to be removed
- refer to Arborist Report and Tree Management Drawing



Seal

3	2022.08.22	issued for DP
2	2022.06.23	issued for ADP
1	2022.04.07	issued for rezoning/DP
-	2021.05.27	issued for rezoning
no.	date	item
Revisions		

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Project No. 21-05 Drawn js

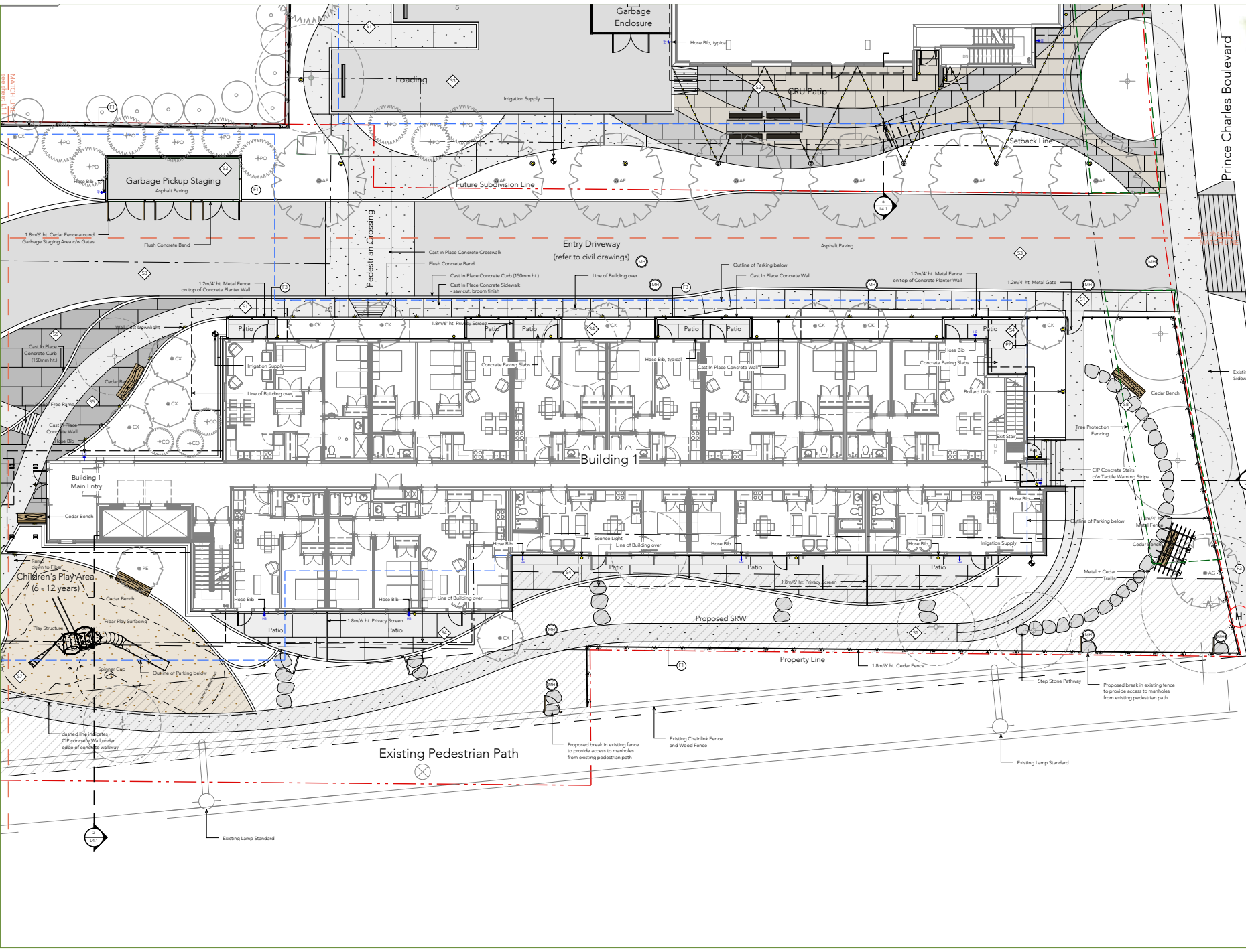
Scale - Reviewed js

Drawing Title

Landscape Legends

Sheet No.

L0.1



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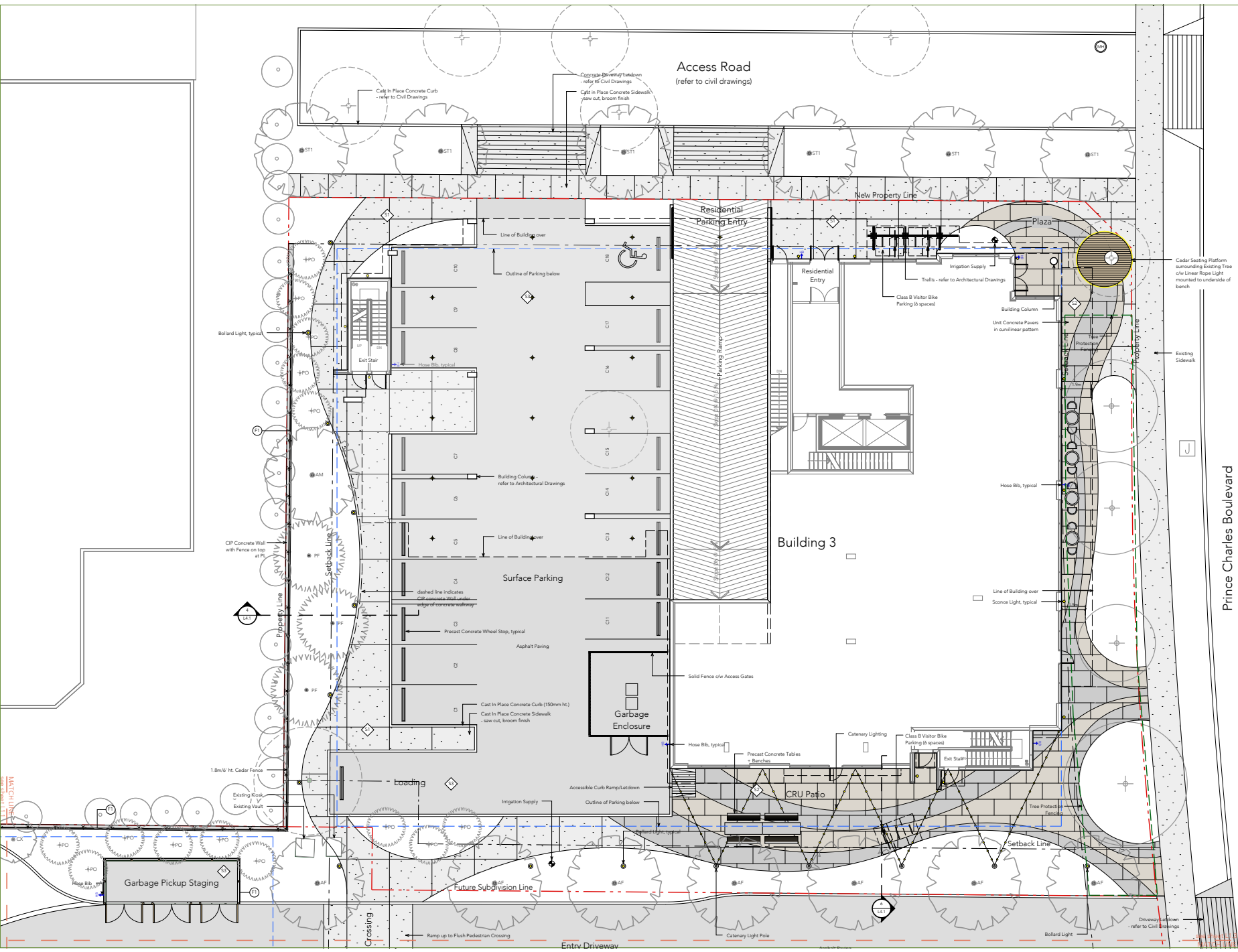
Kechi-o-Wekowin
 9537 Prince Charles Boulevard
 Surrey BC

Project No. 21-05 Drawn js
 Scale 1:100 Reviewed js

Drawing Title
Building 1
 Ground Floor Landscape Plan
 Materials
 Sheet No.

L1.1

Seal



no.	date	item
3	2022.08.22	issued for DP
2	2022.06.23	issued for ADP
1	2022.04.07	issued for rezoning/DP
-	2021.05.27	issued for rezoning

Revisions

Prince Charles Boulevard



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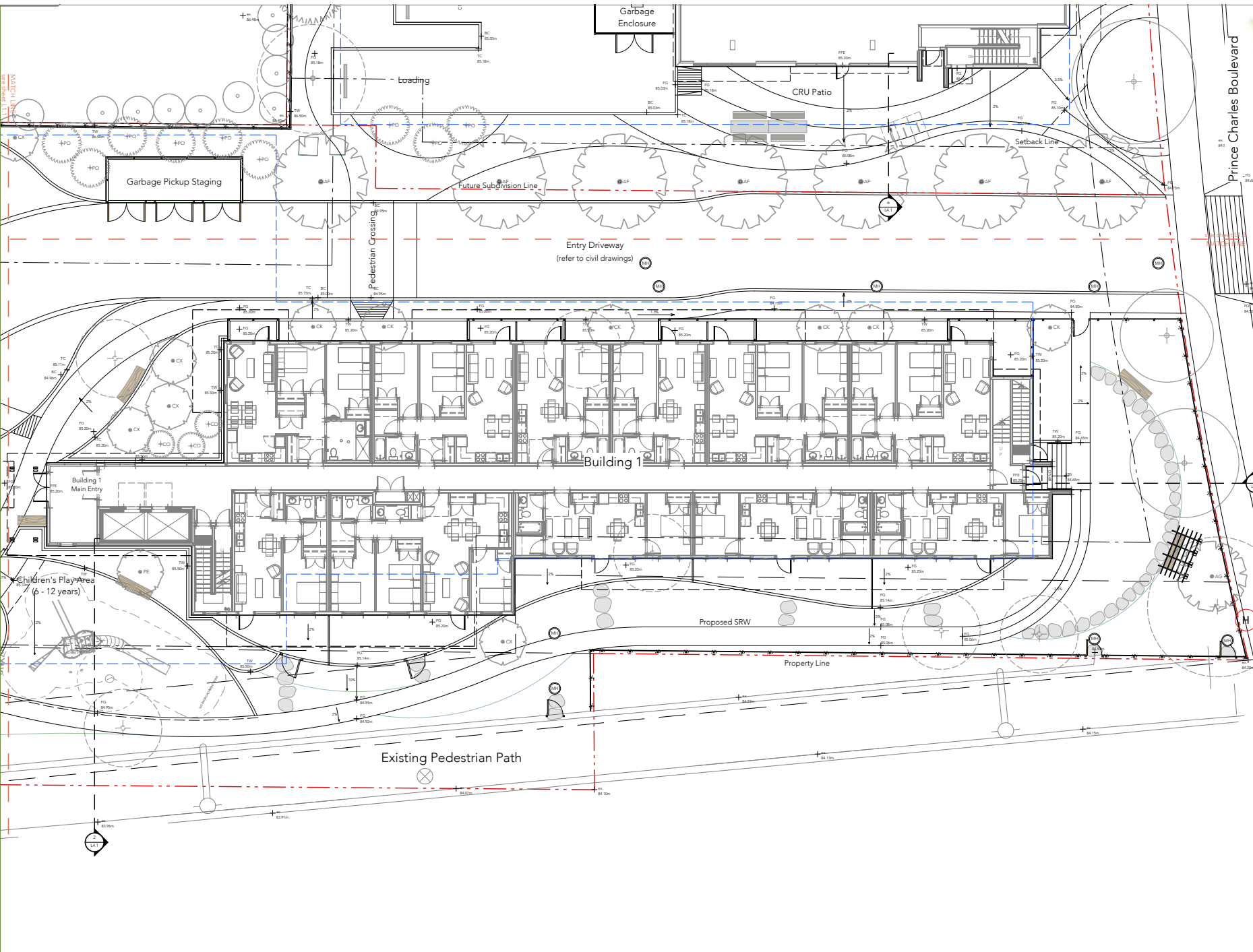
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Scale 1:100 Reviewed js

Drawing Title

Building 3
Ground Floor Landscape Plan
Materials

Sheet No.

L1.3



Seal

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2	2022.06.23	issued for ADP
1	2022.04.07	issued for rezoning/DP
-	2021.05.27	issued for rezoning item

Revisions

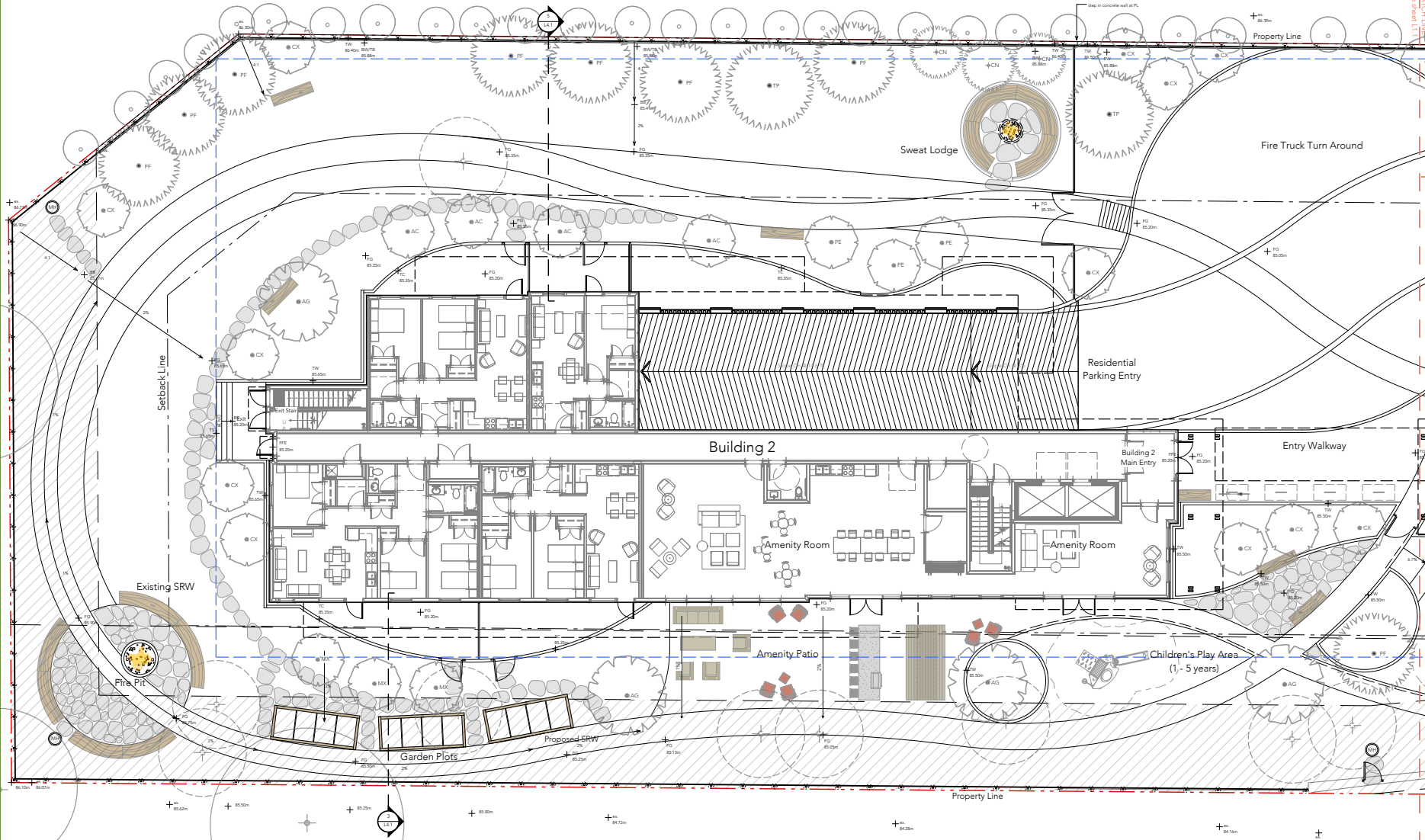
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Kechi-o-Wekowin
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 Surrey BC

Project No. 21-05 Drawn js
 Scale 1:100 Reviewed js

Drawing Title
 Building 1
 Ground Floor Landscape Plan
 Grading + Drainage
 Sheet No.

L2.1



Seal

Revisions

3	2022.08.22	issued for DP
2	2022.06.23	issued for ADP
1	2022.04.07	issued for rezoning/DP
-	2021.05.27	issued for rezoning
RD.	date	item

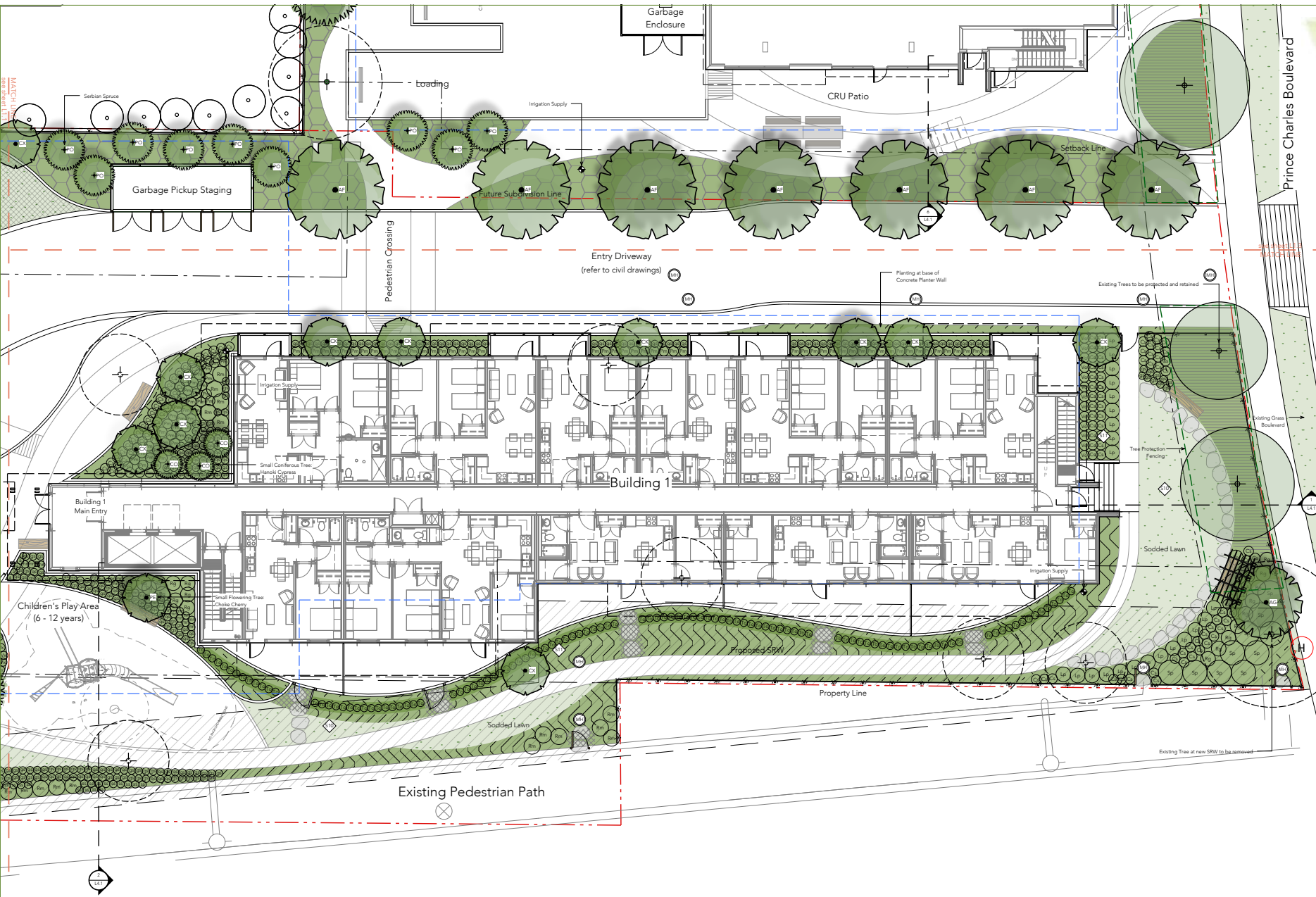
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Project No. 21-05 Drawn js
Scale 1:100 Reviewed js
Drawing Title

Building 2
Ground Floor Landscape Plan
Grading + Drainage
Sheet No.

L2.2



Seal

no.	date	item
3	2022.08.22	issued for DP
2	2022.06.23	issued for ADP
1	2022.04.07	issued for rezoning/DP
-	2021.05.27	issued for rezoning item

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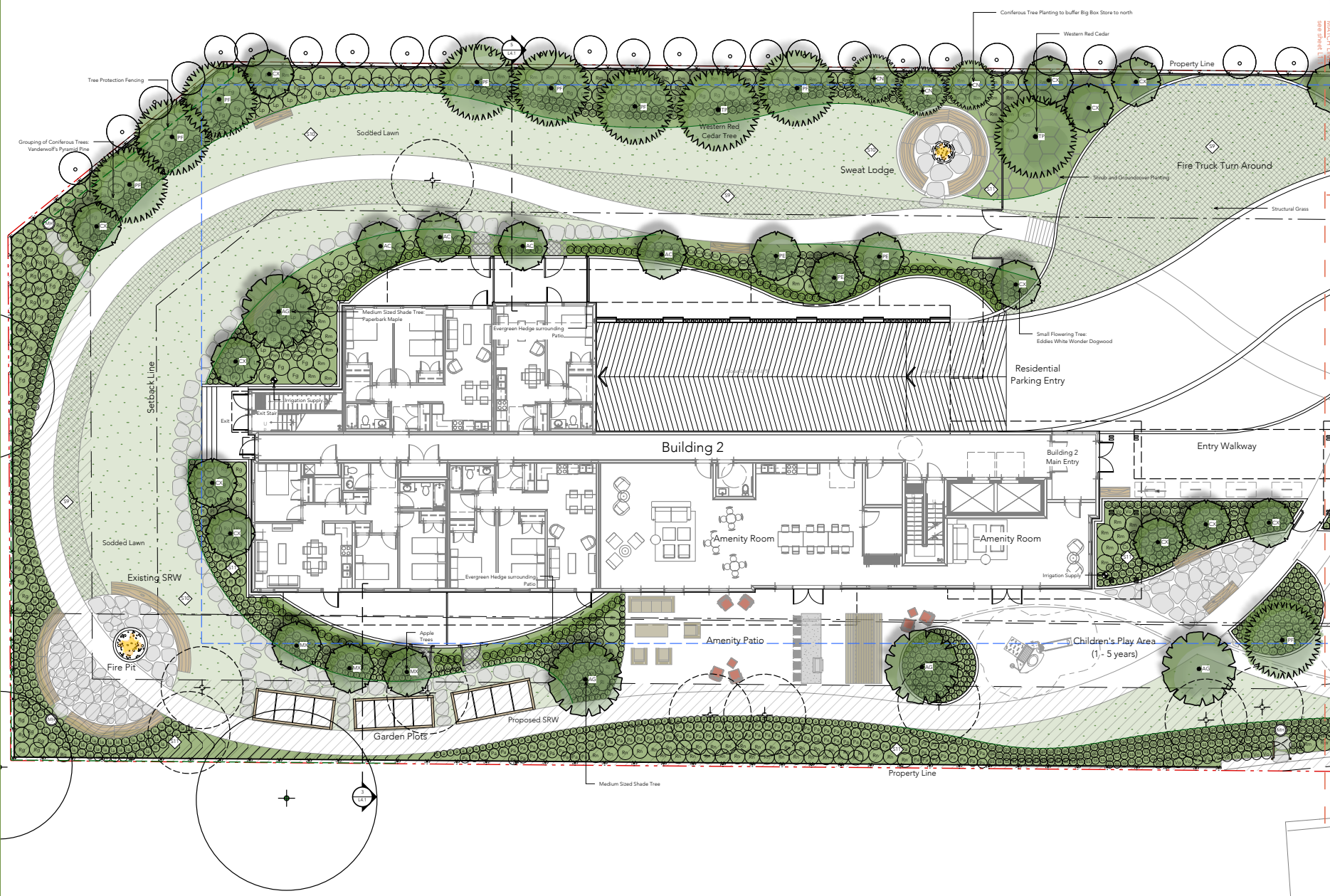
Project No. 21-05 Drawn js
 Scale 1:100 Reviewed js
 Drawing Title

Building 1
 Ground Floor Landscape Plan
 Planting

Sheet No.

L3.1





MATCH LINE TO SHEET L3.1

Seal

no.	date	item
3	2022.08.22	issued for DP
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Kechi-o-Wekowin
9537 Prince Charles Boulevard
Surrey BC

Project No. 21-05 Drawn js
Scale 1:100 Reviewed js

Drawing Title
Building 2
Ground Floor Landscape Plan
Planting
Sheet No.

L3.2



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **September 13, 2022** PROJECT FILE: **7821-0189-00**

RE: **Engineering Requirements
Location: 9537 Prince Charles Blvd**

REZONE/SUBDIVISION***Property and Right-of-Way Requirements***

- Register 0.50 m Statutory Right-of-Way (SRW) along Prince Charles Blvd frontage and proposed 95A Ave.
- Dedicate 11.5 m to achieve half road standard of ultimate 20.0 m road allowance along the north property line for proposed 95A Ave.
- Dedicate 3 m x 3 m corner cut at Prince Charles Boulevard and 95A Ave.

Works and Services

- Construct south side of 95A Ave.
- Construct 250mm storm sewer along 95A Ave at the site frontage.
- Construct 250mm sanitary sewer along Prince Charles Blvd at the site frontage.
- Construct 200mm sanitary in the proposed sanitary SRW.
- Construct 300mm watermain along Prince Charles Blvd from 96 Ave up to the site frontage.
- Construct storm, sanitary and water service connections to each lot.
- Register applicable legal documents as determined through detailed design.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.

Jeff Pang, P.Eng.
Development Services Manager

BD

NOTE: Detailed Land Development Engineering Review available on file



August 9, 2022

Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 21 0189 00

SUMMARY

The proposed 175 lowrise units are estimated to have the following impact on the following schools:

Projected enrolment at Surrey School District for this development:

Elementary Students:	19
Secondary Students:	19

September 2021 Enrolment/School Capacity

Betty Huff Elementary	
Enrolment (K/1-7):	39 K + 315
Operating Capacity (K/1-7)	38 K + 466
Queen Elizabeth Secondary	
Enrolment (8-12):	1474
Capacity (8-12):	1600

Projected population of school-age children for this development:	45
--	----

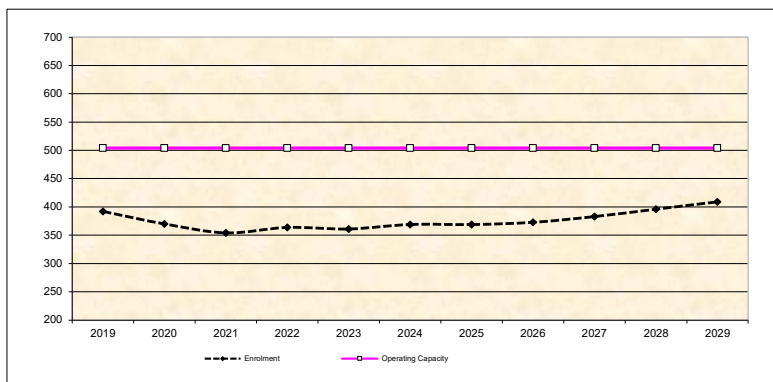
Population: The projected population of children aged 0-19 impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.

School Enrolment Projections and Planning Update:
 The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

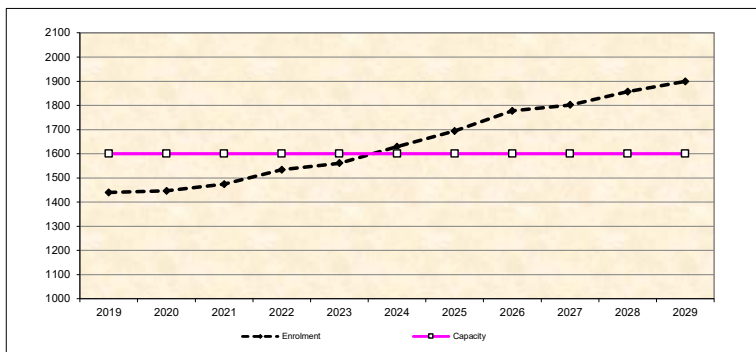
Betty Huff Elementary serves established neighbourhoods. The 10-year projection shows that the school continues to maintain existing enrolment levels. This projection is conservative and will likely change as higher density projects are approved and constructed at and around the intersection of 96th Ave and King George. There are no current plans to expand this existing school; and based on this projection, the proposed development will not have an impact on these projections..

Queen Elizabeth Secondary operates below existing school capacity. Over the next 10 years, the enrolment growth trend will take on a stronger upwards trend line post 2023. Like the elementary school, the proposed new higher density development anticipated around King George Boulevard and 96th Avenue will also fuel secondary growth in the catchment. There are no current plans to expand the existing secondary school, but enrolment will be monitored over the next several years.

Betty Huff Elementary



Queen Elizabeth Secondary




* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
 Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

Appendix B: Tree Preservation Summary

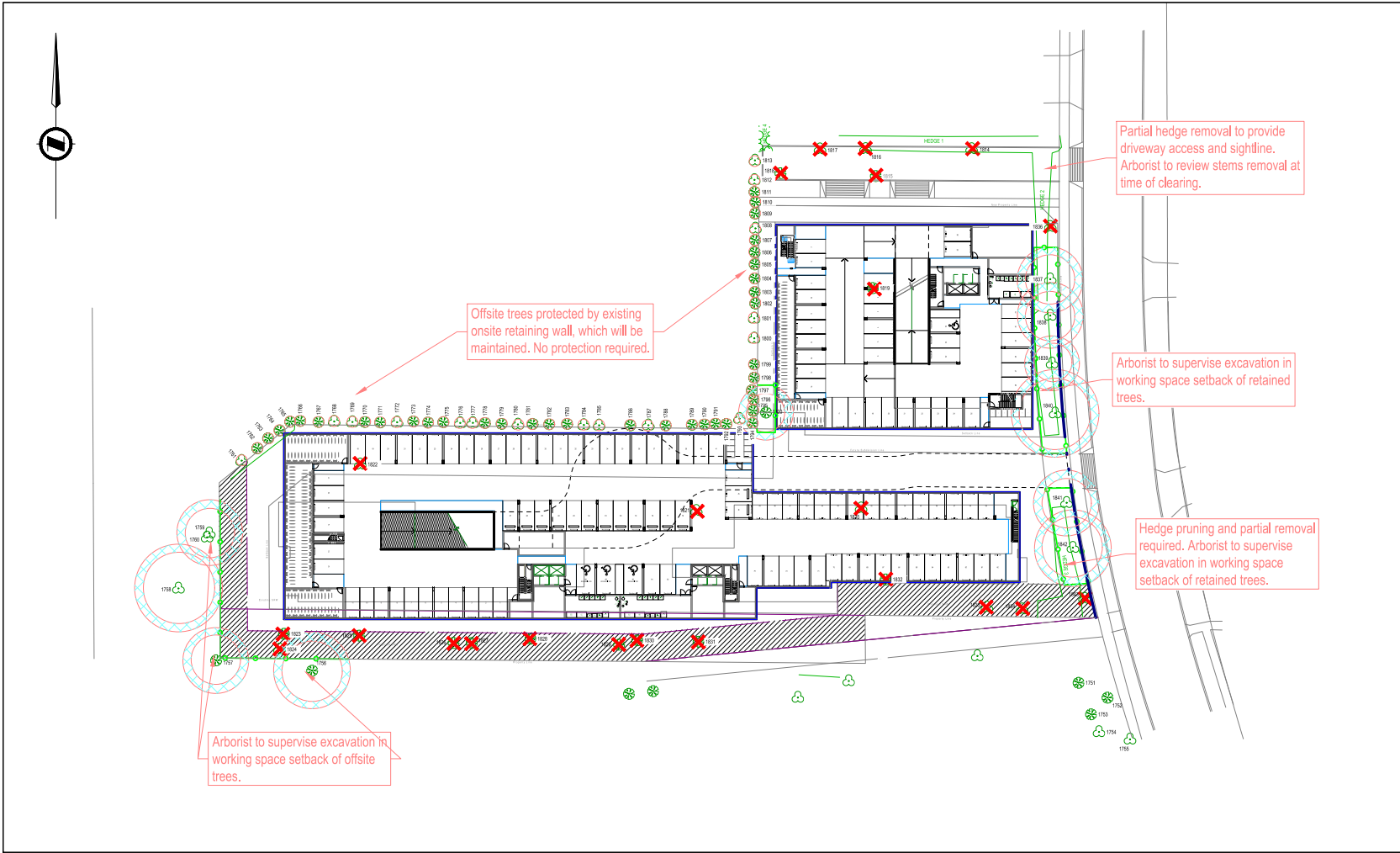
Surrey Project No: 21-0189

Address: 9537 Prince Charles Boulevard

Registered Arborist: Jori Porter, TFT, ISA Certified Arborist PN 8854A, Tree Risk Assessment Qualified

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas).	30
Protected Trees to be Removed	23
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	7
Total Replacement Trees Required Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio X one (1) = 0 All other Trees Requiring 2 to 1 Replacement Ratio <u>23</u> X two(2) = 46	46
Replacement Trees Proposed	46
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed (Open Space/Riparian Areas)	n/a
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Retained	8
Protected City Trees to be Removed (for City road dedication)	0
Total Replacement Trees Required Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u>0</u> X one (1) = 0 All other Trees Requiring 2 to 1 Replacement Ratio <u>0</u> X two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0
Summary prepared and submitted by Jori Porter, Arborist	Date: April 21, 2022
	





LEGEND

- Root protection zone (RPZ)
- # Deciduous tree w/Tag No.
- # Coniferous tree w/Tag No.
- ✗ Tree to be removed
- Tree protection barrier
- Working setback 1.5m
- ⬮ Hazardous tree
- Excavation Boundary (proposed)

IMPACT MITIGATION

Tree Protection Barrier: The areas, surrounding the trees to be retained, should be isolated from the construction activity by erecting protective barrier fencing. Where possible, the fencing should be erected at the perimeter of the tree protection zones. The barrier fencing to be erected must be a minimum of 1200mm in height, of solid frame construction that is attached to wooden or metal posts. A solid board or rail must run between the posts at the top and the bottom of the fencing. This solid frame can then be covered with plywood, or flexible snow fencing. The fencing must be erected prior to the start of any construction activity on site (i.e. demolition, excavation, construction), and remain in place through completion of the project. Signs should be posted around the protection zones to declare it off limits to all construction related activity. The project arborist must be consulted before this fencing is removed or moved for any purpose.

Excavation: We recommend that no excavation occur within tree protection zones of trees that are to be retained. Any excavation that is necessary, within the working space setback of trees to be retained must be completed under the direction of the project arborist. If it is found, at the time of excavation, that the excavation cannot be completed without severing roots that are critical to the trees health or stability it may be necessary to remove additional trees.

Demolition: If tree removal is proposed to be undertaken in conjunction with demolition operations, tree removal permits may be necessary. Note that some municipalities may

not approve tree removal at this phase. If the municipality relaxes the requirement for barrier fencing installations prior to demolition (subject to onsite arborist supervision during demolition operations) a Letter of Undertaking may be required by the municipality. The project arborist must be onsite to supervise/monitor demolition/house relocation activities during the specific instances listed below:

- 19648 80 Avenue - The project arborist must be onsite to supervise the removal of the portions of the existing residence and outbuilding structures and foundations that encroach within the critical root zones of bylaw protected trees located within the Riparian area.
- 19678 80 Avenue - The existing residence is proposed to be moved to a new location at the Northeast corner of the subject property. The project arborist must be onsite to supervise any excavation required within critical root zones of bylaw protected trees to facilitate the relocation of the Heritage residence.
- 7661 197 Street - The existing residence and outdoor pool are proposed to be removed. The project arborist must be onsite to supervise the removal of the portions of the existing outdoor pool/retaining walls that encroach within the critical root zones of bylaw protected trees to be retained/tag #'s 638, 643.

Material storage: Areas must be designated for material storage and staging during the construction process. Ideally these areas will be located outside of the tree protection

areas that will be isolated by barrier fencing. Should it be necessary to store material temporarily within any of the tree protection areas, the project arborist must be consulted.

Mulch layer or plywood over heavy traffic areas: Should it be necessary to access tree protection areas during the construction phase of the project, and heavy foot traffic or vehicular encroachment is required, we recommend that a layer of wood chip horticultural mulch or plywood be installed to reduce compaction. This project arborist must be consulted prior to removing or moving the protection barrier for this purpose.

Pruning:

- Once tree clearing has taken place we recommend that trees to be retained be pruned to remove deadwood, and to address any structural flaws.
- We recommend that any pruning of bylaw-protected trees be performed to ANSI A300 standards and Best Management Practices.

Stump removal: We recommend that, if stumps require removal, they are removed under arborist supervision, or ground using a stump grinder to avoid disturbing root systems of trees in close proximity, that are shown on the tree management drawing to be retained.

Windthrow: Where forest edge trees are proposed to be removed, we recommend that trees that may experience an increase in wind exposure, be re-examined, once tree clearing has taken place, to ensure that they are structurally stable, and suitable for retention as leading edge trees.

Paved areas over critical root zones of trees to be retained: Where paved areas cannot avoid encroachment within critical root zones of trees to be retained, construction techniques, such as floating permeable paving, may be required. (specifications can be provided by the project arborist, in consultation with the design consultant).

Landscaping: Any proposed landscaping within the critical root zones of trees to be retained must be reviewed with the project arborist.

Arborists Role: It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:

- Locating the barrier fencing.
- Reviewing the report with the project foreman or site supervisor.
- Locating work zones and machine access corridors where required.
- Supervising excavation for any areas within the critical root zones of trees to be retained including any proposed retaining wall footings and review any proposed fill areas near trees to be retained.

SKETCH T 1 Tree Management Plan 9537 Prince Charles Boulevard Surrey, BC

DATE: April 20, 2022
PREPARED FOR: NSDA Architecture
SCALE: 1:750 @ 11" X 17"
MCSL PROJECT: 2110-00210-00
MUN. PROJECT: TBD

McElhanney
Suite 2300 13450 - 102 Avenue Surrey BC Canada V3T 5X3
Tel 604 596 0391 - Fax 604 594 5050

DATE: 2022-04-20 12:48 FILE: C:\320\PROJECT\2110\00210\MCSL\NSDA\2022\PRINCE CHARLES BLDG\ENVIRONMENTAL_SERV\MCSL20220310_T0P.dwg

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August 23, 2022

Christa Brown, Planner
Planning & Development | Area Planning - North Division
City of Surrey
13450 140 Avenue
Surrey, BC V3T 1V8

Dear Christa,

Re: 9537 Prince Charles Blvd (21-0189): Advisory Design Panel Minutes

Please see our responses to the meeting minutes from Advisory Design Panel dated June 23, 2022.

- Generally, the building form and character are quite thoughtful and reasonable
- Consider further development of residential entries, and improve the visibility
Residential entries have been revised to incorporate more glazing for visibility. See elevations drawing A-302, A-304, A-306, and A-307.
- Consider additional cultural measures to the design to reflect the community values.
Landscape response: a majority of the plant material are local species, cedar benches are used throughout the site
- Consider developing a more organic shape to the patios at grade.
Landscape response: The patios have been reshaped to match the curvilinear design.
- Consider providing rain protection between buildings 1 and 2.
Canopy element has been relocated to provide a covered walkway between buildings 1 and 2.
- Consider the material of the turnaround; the grass grid may shift with the movement of vehicles
Landscape response: The turn around materiality has been broken up into 3 types – structural grass, asphalt and basalt pavers.
- Consider ethnobotany when further developing the landscaping planting strategy.
Landscape response: a majority of the plant material are local species and are significant to First Nations.
- Consider providing rooftop outdoor amenities.
Building 3 has outdoor amenity space located at the level 2 deck above the commercial space.

- Consider providing seating at the building entries.
Landscape response: cedar benches are added at each entry.
- Consider providing adaptive and Accessible equipment at the outdoor amenity areas.
Landscape response: we will work with the client to identify play equipment that meets the needs of the residents.
- Consider using energy and thermal comfort modelling to inform your design development.
Energy modelling will be incorporated during design development.
- Use future climate files (2050/2080) to best understand the impact of shock events and the overall resiliency of the project.
Noted.

Site

- Suggest more activation of/eyes on the street on the Prince Charles St frontage, Building 1.
Units have been designed to meet BC Housing spatial requirements and the BC Building Code. There are limited opportunities to provide larger areas of glazing at building 1 east elevation.
- Reconsider the at grade residential entries and the wayfinding; they could also be more inviting.
Entrances at building 1 and 2 have been revised. See elevations.

Form and Character

- Review the north side patios on the southeast building comparing to those on the south side. Consider widening those patios.
Landscape response: the patios have been reduced in width and the planting between the patios has been expanded. Metal + opaque glass fences/railings surround these patios to ensure privacy.
- Recommend shifting the indoor amenity more to the center to allow easier access for the east building.
Indoor amenity is located at the entrance to building 2.
- Recommend exploring more architectural and landscape elements that can celebrate indigenous cultural values.
The entrance from Prince Charles allowed us an opportunity to incorporate a graphic element using the colours borrowed from an Indigenous Medicine wheel. Other indigenous references that we are hoping to incorporate are vertical sunshades / privacy screens that are either laser cut or 3d printed with Indigenous motifs. This element has yet to be further developed. (See also landscape response above regarding ethnobotany.
-

- Consider a more identifiable entry & presence of entry on both buildings 1 & 2 (Phase 1), both internally and from Prince Charles.
Entrances to buildings 1 and 2 have been revised for visibility.
- Consider relocating laundry/office at Building 2 main floor to allow for a more inviting entry, with space to sit while awaiting pick up/drop off.
Office / laundry removed from entrance to building 2 and relocated.

Landscape

- Indoor and outdoor relationship of the amenity spaces is positive.
- Overall, the landscape area and concept are very well resolved
- Consider rooftop amenity for residents.
Outdoor amenity for building 3 is provided at podium level above the commercial ground level.

CPTED

- No specific issues were identified.

Sustainability

- Energy Modeling should be used as a design tool to support in cost effectively meeting energy codes, consider utilizing future climate files and responding to those needs, response to climate resiliency and consider future shock events and understanding how building responds to cooling / heating being turned off.
Noted.

Accessibility

- Consider increasing Accessibility at public entrances particularly the amenities and incorporating more wayfinding/signage that incorporates cultural aspects
All amenity spaces will be accessible. We will work with the client to develop appropriate wayfinding / signage.
- Consider incorporating Accessible/universal design features in playground areas.
See landscape response above regarding adaptive and accessible equipment at the outdoor amenity areas.

Regards,



Molly Chan, Architect AIBC, AAA, LEED® AP
Managing Principal

CITY OF SURREY
HOUSING AGREEMENT
(Mixed-Use)

THIS HOUSING AGREEMENT made the 9th day of September, 2022.

BETWEEN:

CITY OF SURREY, a municipal corporation having its offices at 13450 – 104 Avenue, Surrey, B.C. V3T 1V8

(the “**City**”)

OF THE FIRST PART

AND:

KEKINOW NATIVE HOUSING SOCIETY, a non-profit housing society having its offices at 7445 132 Avenue, Unit 1014, Surrey, B.C. V3W 1J8

(the “**Owner**”)

OF THE SECOND PART

WHEREAS:

- A. The Owner is the legal and beneficial owner of those certain lands and premises located in the City of Surrey, in the Province of British Columbia, legally described as:

Parcel Identifier: 002-226-120
Lot 577 Except Part Subdivided by Plan 63835; Section 32 Township 2
New Westminster District Plan 50869

(the “**Lands**”);

- B. The Owner proposes to use the Lands for two residential buildings and one mixed-use building with a total of 175 Dwelling Units (the “**Development**”);
- C. The Owner has voluntarily agreed to enter into a housing agreement pursuant to Section 483 of the *Local Government Act*, R.S.B.C. 2015, Chapter 1, as amended, to ensure that the Rental Units are rented in accordance with this Agreement.

NOW THEREFORE in consideration of the premises herein and of the mutual covenants and agreements hereinafter set forth and contained herein and \$1.00 now paid by the City to the Owner (the receipt of which is hereby acknowledged), the parties hereto covenant and agree each with the other as follows:

1. DEFINED TERMS

1.1 In and for the purpose of this Agreement, in addition to the definitions on the first page of this document, the following terms shall have the following meanings:

- (a) **“Agreement”** means this housing agreement and any amendments to or modifications of the same;
- (b) **“City”** means the City of Surrey and any person authorized by the City of Surrey, including assigns of whole or partial interest in this Agreement or of any of the rights conferred upon the City of Surrey by this Agreement;
- (c) **“City Personnel”** means all of the City’s elected and appointed officials, officers, employees, agents, nominees, delegates, permittees, contractors, subcontractors, invitees and the Approving Officer;
- (d) **“Claims and Expenses”** means all actions, causes of actions, suits, judgments, proceedings, demands, and claims, whether at law or in equity, losses, damages, expenses and costs (including legal fees and disbursements on an indemnity basis) of any kind or nature whatsoever, at law or in equity, for any damages, losses, injuries or death;
- (e) **“Development”** means as defined in Recital B;
- (f) **“Dwelling Unit”** means each of the 175 self-contained residential units constructed within the Development;
- (g) **“Lands”** means the parcel of land situated in the City of Surrey, British Columbia and legally described in Recital A, and includes any parcel into which such land is consolidated or further subdivided (including a subdivision pursuant to the *Land Title Act* and a subdivision pursuant to the *Strata Property Act* of British Columbia);
- (h) **“Owner”** means the person named on the first page of this Agreement and the legal and beneficial owner at any given time and any successors in title of the Lands and, without limitation, if the Lands are subdivided by way of a strata plan under the *Strata Property Act* of British Columbia, then “Owner” includes the strata corporation thereby created;

- (i) **“Rental Units”** means the 175 Dwelling Units within the Development, which must be made available by the Owner on an arms length basis for use as residential rental accommodation on a month-to-month or longer basis in accordance with all applicable laws including, without limitation, the *Residential Tenancy Act*, S.B.C. 2002, Chapter 78, as amended, and any regulations pursuant thereto.;
- (j) **“Term”** means 20 years, commencing on the first day of the month after the City issues an occupancy permit for the Development.

2. RESTRICTION ON OCCUPANCY OF DWELLING UNITS

- 2.1 During the Term the Rental Units must be made available for rent in accordance with this Agreement and with the Owner’s purpose of providing housing to Indigenous persons provided that a minimum of 106 Rental Units shall be occupied by households in accordance with the criteria established by the Owner and rent for each will be a minimum of 10% below the average market rent rate. The average market rent rate is determined by a market rent appraisal of similar units within the City of Surrey.
- 2.2 The City may, from time to time, during the Term request the Owner to provide written proof of compliance with section 2.1 and the Owner agrees to provide, or cause an operator of the Lands to provide, the City with such proof in a form reasonably satisfactory to the City.
- 2.3 All of the Rental Units within the Development must be owned by the same Owner(s) during the Term.
- 2.4 Throughout the Term, the Owner shall not sell or transfer the beneficial or registered title or any interest in and to the Rental Units, unless the Owner obtains from the transferee an agreement in writing from the transferee to assume and perform all of the obligations of the Owner arising under this Agreement.

3. LIABILITY

- 3.1 **Indemnity.** The Owner shall indemnify and save harmless the City and City Personnel from all Claims and Expenses which the City and City Personnel may suffer, or incur, or be put to, arising out of or in connection with any breach or default of any covenants or agreements on the part of the Owner contained in this Agreement, or arising out of, or in connection with the Development or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.2 **Release.** The Owner does hereby remise, release and forever discharge the City and City Personnel from all Claims and Expenses which the Owner may have against the City and City Personnel, which the Owner now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by and affected by this Agreement.

- 3.3 **Obligations Continue.** The Owner covenants and agrees that the indemnity and release in Sections 3.1 and 3.2 will remain effective and survive the expiration or termination of this Agreement whether by fulfilment of the covenants contained in this Agreement or otherwise.

4. **NOTICE**

- 4.1 Any notices or other documents to be given or delivered pursuant to this Agreement will be addressed to the proper party as follows:

- (a) As to the City:

City of Surrey
13450 – 104 Avenue
Surrey, BC V3T 1V8

Attention: General Manager, Planning and Development Department

- (b) As to the Owner:

Kekinow Native Housing Society
7445 132 Street, Unit 1014
Surrey, BC V3W 1J8

Attention: Chief Executive Officer, Rupinder Cheema

or such other address as such party may direct. Any notice or other documents to be given or delivered pursuant to this Agreement will be sufficiently given or delivered if delivered to the particular party as its address set out or determined in accordance with this section and shall be deemed complete two (2) days after the day of delivery.

- 4.2 It is specifically agreed that for any notice or document to be validly given or delivered pursuant to this Agreement, such notice or document must be delivered and not mailed.

5. **GENERAL**

- 5.1 **Joint and Several.** Where the Owner consists of more than one person, each such person will be jointly and severally liable to perform the Owner's obligations under this Agreement.

- 5.2 **Assignment by City.** This Agreement or any of the rights conferred by this Agreement upon the City may be assigned in whole or in part by the City without the consent of the Owner.

- 5.3 **City's Other Rights Unaffected.** Nothing contained or implied herein will derogate from the obligations of the Owner under any other agreement with the City or, if the City so elects, prejudice or affect the City's rights, powers, duties or obligations in the exercise of its functions pursuant to the *Local Government Act* and the *Community Charter*, as amended from time to time and the rights, powers, duties and obligations of the City under all public and private statutes, by-laws, orders and regulations, which may be, if the City so elects, as fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner and the City.
- 5.4 **Agreement for Benefit of City.** The Owner and the City hereby acknowledge, agree and declare that this Agreement is entered into for the sole purpose of benefitting the City and, in particular, acknowledge, agree and declare that this Agreement is not designed to protect or promote the interests of the Owner or any mortgagee of the Owner, or any future owner or occupier of the Lands and any improvements on the Lands or any other person and the City may, at its sole option, execute a release of this Agreement at any time without liability to any person for so doing.
- 5.5 **No Waiver.** The Owner acknowledges and agrees that no failure on the part of the City to exercise and no delay in exercising any right under this Agreement will operate as a waiver thereof, nor will any single or partial exercise by the City of any right under this Agreement preclude any other or future exercise thereof of the exercise of any other right.
- 5.6 **City Not Required to Prosecute.** The Owner agrees that the City is not required or is under no obligation in law or equity to prosecute or enforce this Agreement in any way whatsoever.
- 5.7 **Remedies.** The remedies provided for in this Agreement will be cumulative and not exclusive of any other remedies provided by law or in equity. In addition to any remedies which are available under this Agreement or at law, the City will be entitled to all equitable remedies, including, without limitation, specific performance, injunction and declaratory relief, or any combination thereof, to enforce its rights under this Agreement. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy for a default by the Owner under this Agreement.
- 5.8 **Severability.** All the obligations and covenants in this Agreement are severable, so that if any one or more of the obligations or covenants are declared by a court of competent jurisdiction to be void and unenforceable, the balance of the obligations and covenants will remain and be binding.
- 5.9 **City Court Costs.** In an action to enforce this Agreement in respect of which the court determines that the position of the City will prevail, the City will be entitled to court costs on a solicitor-client basis.

- 5.10 **Subdivision/Consolidation.** If the Lands are subdivided or consolidated at any time hereafter either under the provisions of the *Land Title Act* or under the *Strata Property Act*, then upon the deposit of a plan of subdivision, strata plan, consolidation plan or similar plan or application as the case may be the rights, benefits, burdens, obligations, and covenants contained in this Agreement will continue to charge each of the new parcels, lots, or other subdivided or consolidated parcels and areas so created.
- 5.11 **Subdivision by Strata Plan.** If the Lands, or any portion thereof, are subdivided by a strata plan, this Agreement will charge title to the strata lots and the common property comprising such strata plan and:
- (a) this Agreement will be registered against each individual strata lot and noted on the common property sheet;
 - (b) the strata corporation or the strata corporations created will perform and observe the Owner's covenants in this Agreement, solely at the expense of the strata lot owners; and
 - (c) the liability of each strata lot owner for the performance and observance of the Owner's covenants herein will be in proportion to the unit entitlement of his, her or its strata lot as established by the strata plan.
- 5.12 **Personal Representatives and Successors.** This Agreement shall enure to the benefit of and be binding upon the parties hereto and their personal representatives, respective heirs, executors, administrators, successors, and assigns.
- 5.13 **Governing Law.** This Agreement will be governed by and construed in accordance with the laws of the Province of British Columbia and the laws of Canada applicable in British Columbia.
- 5.14 **Priority.** The Owner shall at the sole expense of the Owner, do or cause to be done all acts reasonably necessary to grant priority to this Agreement over all charges and encumbrances which may have been registered against the title to the Lands at the Land Title Office save and except those specifically approved in writing by the City.
- 5.15 **Further Assurances.** The Owner shall do, or cause to be done, all things and execute or cause to be executed all documents and give such further and other assurances which may be reasonably necessary to give proper effect to the intent of this Agreement.
- 5.16 **Counterparts.** This Agreement may be executed in any number of counterparts and delivered via facsimile or e-mail, each of which will be deemed to be an original and all of which taken together will be deemed to constitute one and the same instrument.

5.17 **Entire Agreement.** This Agreement represents the entire agreement between the City and the Owner regarding the matters set out in this Agreement and supersedes all prior agreements, letters of intent or understandings about these matters.

IN WITNESS WHEREOF the City of Surrey and the Owner have executed this Agreement under seal of their duly authorized officers as of the references of this Agreement.

CITY OF SURREY

By:

Authorized Signatory
Doug McCallum, Mayor
City of Surrey

By:

Authorized Signatory
Jennifer Ficocelli, City Clerk
City of Surrey

OWNER NAME

By:

Authorized Signatory
Rupinder S. Cheema, Chief Executive Officer
Kekino Native Housing Society