

**PROPOSAL:**

- **Development Variance Permit**

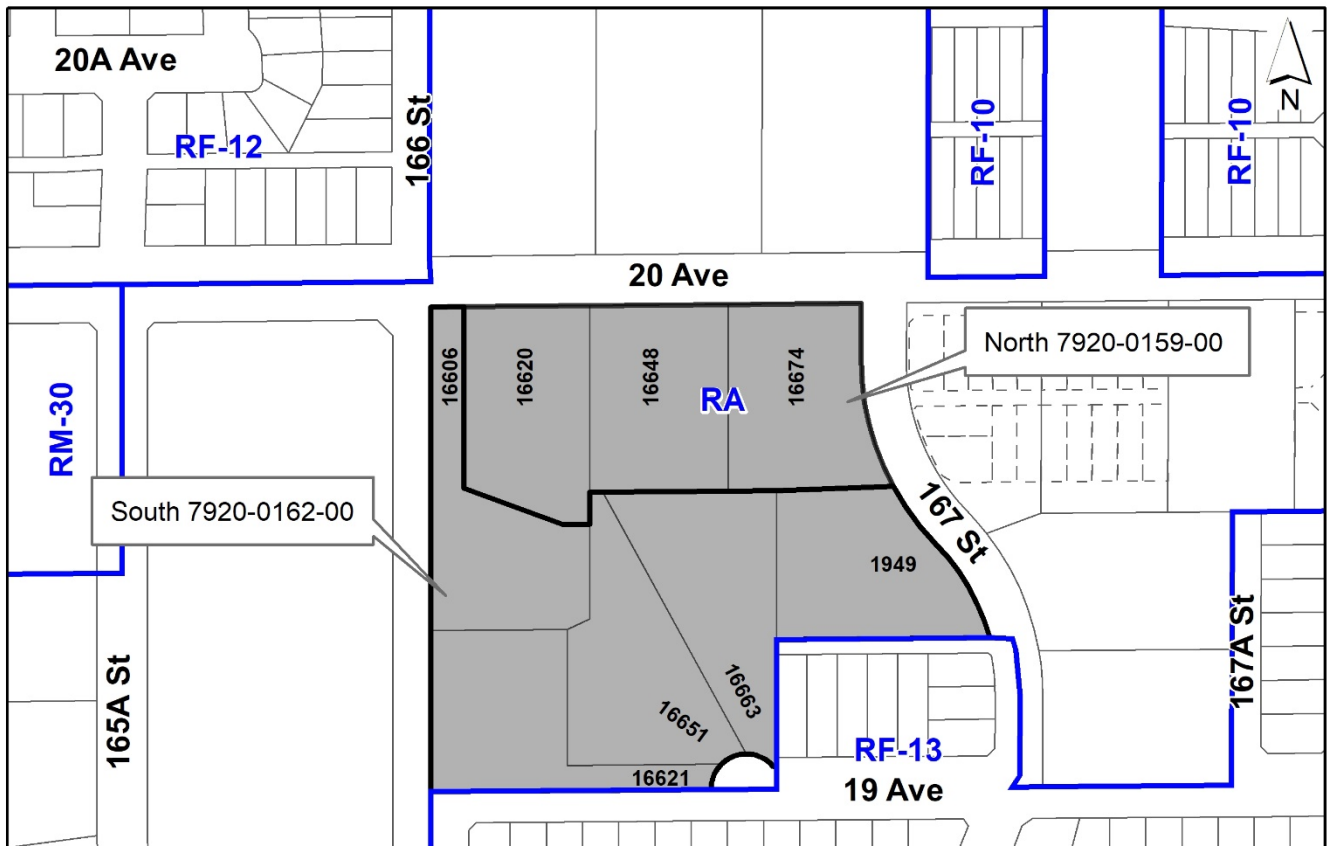
to vary the percentage of back-to-back units permitted in a 104-unit townhouse development and the outdoor amenity space requirements

**LOCATION:** 16674, 16648, 16620, 16606 – 20 Avenue  
 1949 – 167 Street  
 16663, 16651, 16621 – 19 Avenue

**ZONING:** RA

**OCP DESIGNATION:** Urban

**NCP DESIGNATION:** Cluster Residential 6-10 u.p.a.,  
 Drainage Corridor 5m, and Low Density Residential 6-10 u.p.a.



## RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary the percentage of permitted back-to-back units within the “Multiple Residential 30 Zone (RM-30)” and the required amount of outdoor amenity space for back-to-back townhouse units.

## RATIONALE OF RECOMMENDATION

- The proposal received Third Reading to the amended Rezoning Bylaw at the October 30, 2023 Regular Council – Public Hearing meeting and Approval to Draft at the April 17, 2023 Regular Council – Land Use meeting. The development proposes a total of 104 townhouse units and includes an NCP Amendment from “Cluster Residential 6-10 u.p.a.”, “Drainage Corridor 5m” and “Low Density Residential 6-10 u.p.a.” to “Multiple Residential 15-25 u.p.a.” and “Drainage Corridor 5 m” and for changes to the local road network, and rezoning from “One Acre Residential Zone (RA)” to “Multiple Residential 30 Zone (RM-30)” and “Single Family Residential (13) Zone (RF-13)” for one single-detached lot.
- On October 16, 2023, Council received Corporate Report No. R161 introducing changes to the Zoning Bylaw, which include limiting the number of back-to-back units to a maximum of 20% for the RM-30 Zone, and to increase the required amount of outdoor amenity space for back-to-back units from 3 square metres per unit, to 6.0 square metres per unit. It was anticipated that some in-stream applications would be affected.
- The proposed changes to the RM-30 Zone were adopted on November 20, 2023 and a variance is required to the subject application to permit a higher percentage of back-to-back units in the proposed development. The subject application proposes 28 back-to-back units out of 104 total units (26.9% of the proposed units), which exceeds the maximum 20% in the RM-30 Zone. The applicant also proposes a total of 272 square metres of outdoor amenity space, which is less than the combined total of 396 square metres of outdoor amenity space required, inclusive of the additional area required for back-to-back units under the new Zoning Bylaw.
- Given the application was supported by Council prior to endorsing the Zoning Bylaw changes limiting back-to-back townhouse units in the RM-30 Zone and the associated increase in outdoor amenity area, staff supports the previously submitted plans, and it is recommended that the proposed variances be supported.

**RECOMMENDATION**

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7920-0162-02 (Appendix I) varying the following, to proceed to Public Notification:
  - (a) to vary the Zoning By-law to increase the maximum percentage of back-to-back townhouse units permitted within the “Multiple Residential 30 Zone (RM-30)” from 20% to 27%; and
  - (b) to vary the minimum required outdoor amenity space for the back-to-back townhouse units from 6.0 square metres to 3.0 square metres, per unit.
2. Council instruct staff to resolve the following issues prior to final approval:
  - (a) all conditions of approval outlined in the Additional Planning Comments Report No. 7920-0162-02 dated October 30, 2023, the Additional Planning Comments Report No. 7920-0162-01 dated May 15, 2023, and the Initial Planning Report No. 7920-0162-00 dated April 17, 2023 (Appendix II).

## SITE CONTEXT & BACKGROUND

### Context & Background

- The proposal received Third Reading to the amended Rezoning Bylaw at the October 30, 2023 Regular Council – Public Hearing meeting and Approval to Draft at the April 17, 2023 Regular Council – Land Use meeting. The development proposes a total of 104 townhouse units and includes an NCP Amendment from “Cluster Residential 6-10 u.p.a.,” “Drainage Corridor 5 m,” and “Low Density Residential 6-10 u.p.a.” to “Multiple Residential 15-25 u.p.a.” and Drainage Corridor 5 m” and for changes to the local road network, and rezoning from “One Acre Residential Zone (RA)” to “Multiple Residential 30 Zone (RM-30)” and “Single Family Residential (13) Zone (RF-13)” for one single-detached lot.
- On October 16, 2023, Council received Corporate Report No. R161 introducing changes to the Zoning Bylaw, which include limiting the percentage of back-to-back units to a maximum of 20% for the RM-30 Zone, and to increase the required amount of outdoor amenity space for back-to-back units from 3.0 square metres per unit, to 6.0 square metres per unit. It was anticipated that some in-stream applications would be affected.
- The proposed changes to the RM-30 Zone were adopted on November 20, 2023 and a variance is required to the subject application to permit a higher percentage of back-to-back units in the proposed development. The subject application proposes 26 back-to-back units out of 104 total units (26.9% of the proposed units), which exceeds the maximum 20% in the RM-30 Zone. The applicant also proposes a total of 272 square metres of outdoor amenity space, which is less than the combined total of 396 square metres of outdoor amenity space required, inclusive of the additional area required for back-to-back units under the new Zoning Bylaw.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The original application proposed the following to permit the development of 104 townhouse units:
  - an amendment to the Sunnyside Heights Neighbourhood Concept Plan (NCP) from “Cluster Residential 6-10 u.p.a.,” “Drainage Corridor 5m” and “Low Density Residential 6-10 u.p.a.” to “Multiple Residential 15-25 u.p.a.” and “Drainage Corridor 5 m” and for changes to the local road network;
  - rezoning of a portion of the site “One Acre Residential Zone (RA) to “Multiple Residential 30 Zone (RM-30)” and of a separate portion of the site from “One Acre Residential Zone (RA)” to “Single Family Residential (13) Zone (RF-13)”;
  - to consolidate the properties into a single townhouse development lot;
  - Development Permit for Form and Character; and
  - a Development Variance Permit.

- The subject report is for consideration of an additional Development Variance Permit that is required due to recent amendments to the Zoning Bylaw related to back-to-back townhouse units.

## Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in the Initial Planning Report No. 7920-0162-00 (Appendix II).

## Zoning By-law

### Proposed Variance

- The applicant is requesting the following variances:
  - (a) to vary the Zoning Bylaw to increase the maximum percentage of back-to-back townhouse units permitted on a lot within the “Multiple Residential 30 Zone (RM-30)” from 20% to 27%; and
  - (b) to vary the Zoning Bylaw to reduce the amount of outdoor amenity space for the back-to-back townhouse units within the “Multiple Residential 30 Zone (RM-30)” from 6.0 square metres to 3.0 square metres, per unit.
- On October 16, 2023, Council received Corporate Report No. R161, introducing changes to the Zoning By-law, which include limiting the percentage of back-to-back townhouse units to a maximum of 20% of the total units for development under the RM-30 Zone and increasing the required outdoor amenity space required for back-to-back units from 3.0 square metres to 6.0 square metres, per unit. The proposed changes to the RM-30 Zone were subsequently adopted on November 20, 2023.
- A variance is now required for the subject site, as it proposes 28 back-to-back units out of 104 total units (26.9% of the proposed units). Similarly, only 272 square metres of outdoor amenity space is being provided, which is less than the new required combined total of 396-square metres, inclusive of the additional area required for the 28 back-to-back units.
- The variance would increase the maximum percentage of back-to-back units that are permitted from 20% to 27% and reduce the required outdoor amenity space for back-to-back units from 6.0 square metres to 3.0 square metres, per unit. Any shortfall in outdoor amenity area based on 3.0 square metres per unit would be satisfied through cash-in-lieu.
- Given that the proposal has not changed and is identical to the proposal that was originally considered and supported by Council, staff recommends that the variances be supported.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

- Appendix I. Development Variance Permit No. 7920-0162-02
- Appendix II. Additional Planning Comments Report No. 7920-0162-02, dated October 30, 2023, Additional Planning Comments Report No. 7920-0162-01, dated May 15, 2023, and Initial Planning Report No. 7920-0162-00, dated April 17, 2023

*approved by Shawn Low*

Don Luymes  
General Manager  
Planning and Development

KS/ar

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7920-0162-02

Issued To:

Address of Owner:

Issued To:

Address of Owner:

Issued To:

Address of Owner:

Issued To:

Address of Owner:

Issued To:

Address of Owner:

Issued To:

Address of Owner:

(the "Owners")

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-577-811

Lot 42 Section 13 Township 1 New Westminster District Plan 57371

16674 - 20 Avenue

Parcel Identifier: 005-577-845  
Lot 47 Section 13 Township 1 New Westminster District Plan 57371  
1949 - 167 Street

Parcel Identifier: 003-862-470  
Lot 55 Section 13 Township 1 New Westminster District Plan 58054  
16663 - 19 Avenue

Parcel Identifier: 005-650-585  
Lot 56 Section 13 Township 1 New Westminster District Plan 58054  
16651 - 19 Avenue

Parcel Identifier: 005-650-593  
Lot 57 Section 13 Township 1 New Westminster District Plan 58054  
16621 - 19 Avenue

Parcel Identifier: 003-766-357  
Lot 60 Section 13 Township 1 New Westminster District Plan 66460  
16620 - 20 Avenue

Parcel Identifier: 003-766-471  
Lot 61 Section 13 Township 1 New Westminster District Plan 66460  
16606 - 20 Avenue

Parcel Identifier: 005-577-829  
Lot 43 Section 13 Township 1 New Westminster District Plan 57371  
16648 - 20 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

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- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
- 

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
- (a) In Part 22, Section J.4 of the “Multiple Residential 30 Zone (RM-30)”, the maximum permitted percentage of back-to-back townhouse units on a lot is increased from 20% to 27%; and
  - (b) In Part 22, Section J.1(a), the minimum required outdoor amenity space for the back-to-back townhouse units is reduced from 6.0 square metres to 3.0 square metres, per unit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

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Mayor – Brenda Locke

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City Clerk – Jennifer Ficocelli

# SCHEDULE A



Kasian Architecture  
Interior Design  
and Planning Ltd

1500 West George Street, Suite 1005  
Vancouver, BC, Canada V6G 2R8  
T 604 683 4141 F 604 683 2627  
www.kasian.com



APR 11 2023

| NO.  | DATE       | REVISION                      |
|------|------------|-------------------------------|
| 10   | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9    | 2023-01-30 | ISSUED FOR DP REVISION        |
| 8    | 2023-01-11 | ISSUED FOR DP REVISION        |
| 7    | 2022-12-09 | ISSUED FOR DP REVISION        |
| 6    | 2022-11-19 | ISSUED FOR DP REVISION        |
| 5    | 2022-09-24 | ISSUED FOR DP REVISION        |
| 4    | 2022-08-24 | ISSUED FOR DP REVISION        |
| 3    | 2021-12-03 | ISSUED FOR DP REVISION        |
| 2    | 2021-08-24 | ISSUED FOR DP SUBMISSION      |
| 1    | 2020-02-06 | ISSUED FOR PRELIMINARY DESIGN |
| REV. | 1111111111 | REVISION / DRAWING ISSUE      |

CONSULTANT

PROJECT STAMP

SCALE

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THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD. FOR ADJUSTMENT.

PROJECT

16651- 20 AVE TOWNHOUSES  
16620, 16648 & 16674, 20 AVE, 1949-167TH ST,  
16663, 16651 & 16621-19 AVE,  
16606-20AVE, SURREY, B.C

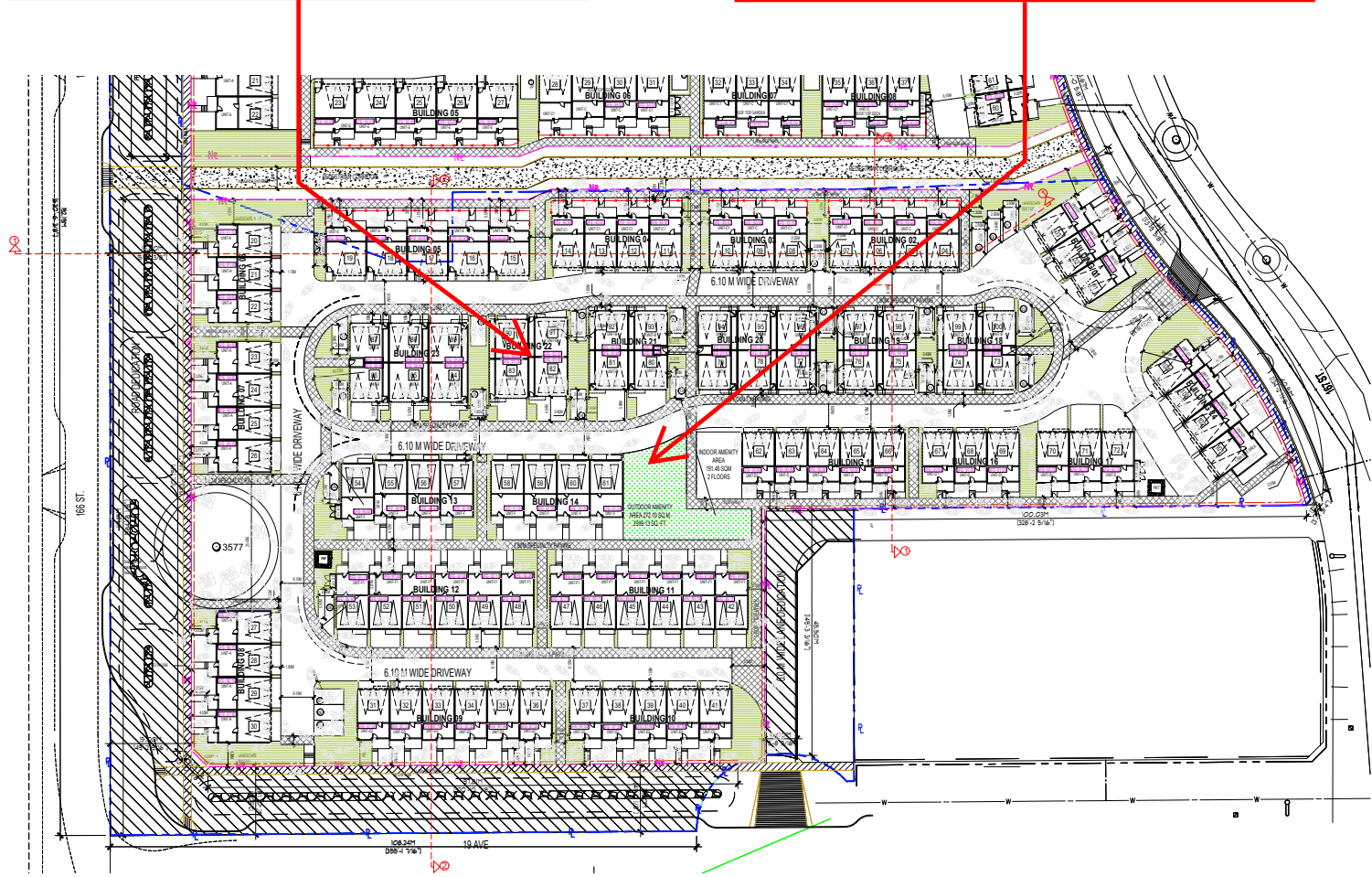
DRAWING TITLE  
**SITE PLAN  
SITE - B (SOUTH)**

DRAWING ISSUE  
**ISSUED FOR DP REVISION**

| PROJECT NO. | PLAT DATE    | DRAWN    |
|-------------|--------------|----------|
| 722009      | 2023-04-11   | AD       |
| DRAWING NO. | SCALE        | REVISION |
| DP-211      | AS INDICATED | CY       |
|             |              | REVISION |
|             |              | 09       |

In Part 22, Section J.4 of the "Multiple Residential 30 Zone (RM-30)", the maximum permitted percentage of back-to-back townhouse units on a lot is increased from 20% to 27%.

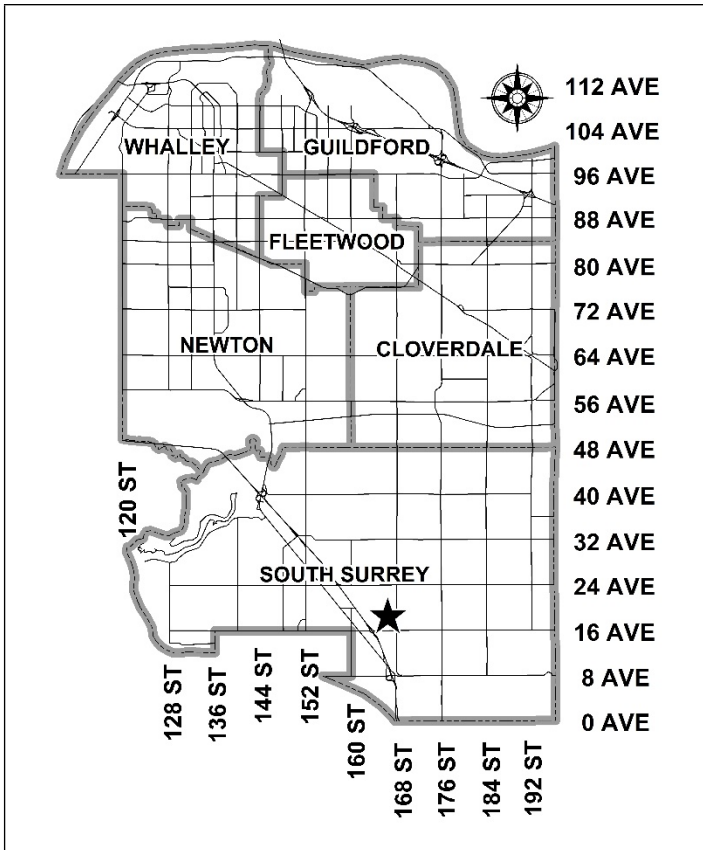
In Part 22, Section J.1(a), the minimum required outdoor amenity space for the back-to-back townhouse units is reduced from 6.0 square metres to 3.0 square metres, per unit.



**City of Surrey  
ADDITIONAL PLANNING COMMENTS**

Application No.: 7920-0162-02

Planning Report Date: October 30, 2023



**PROPOSAL:**

- **Reconsideration of previously supported Rezoning Bylaw and NCP Amendment**

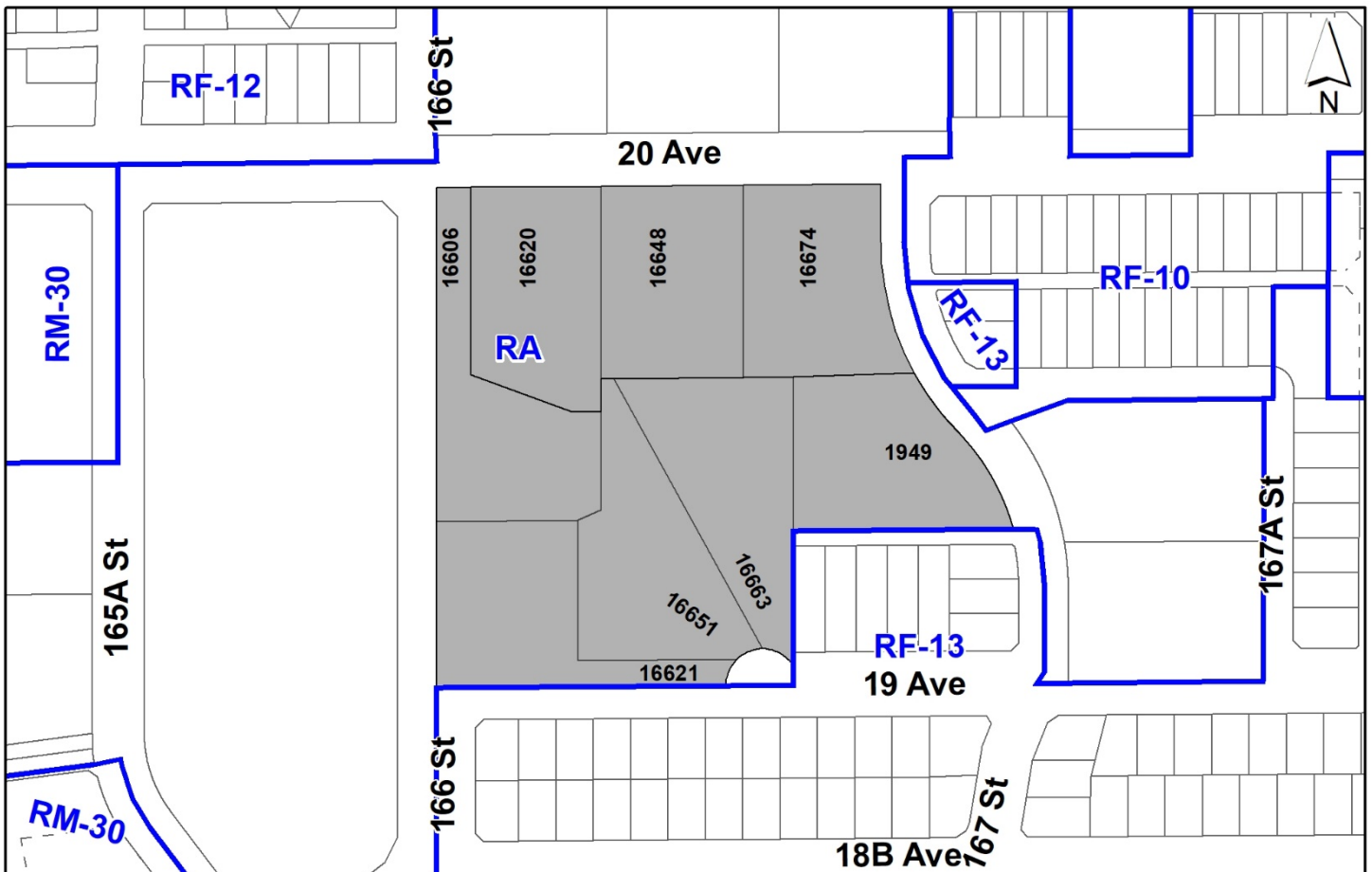
to permit the development of 104 townhouse units and 1 single-detached small lot.

**LOCATION:** 16674, 16648, 16620, 16606 – 20 Avenue  
1949 – 167 Street  
16663, 16651, 16621 – 19 Avenue

**ZONING:** RA

**OCP DESIGNATION:** Urban

**NCP DESIGNATION:** Cluster Residential 6-10 u.p.a.,  
Drainage Corridor 5m, and Low Density Residential 6-10 u.p.a.



## RECOMMENDATION SUMMARY

- Rescind the resolution granting Third Reading to Rezoning Bylaw No. 20925 (R.23-900) at the May 1, 2023 Regular Council – Public Hearing meeting.
- Amend the lands under consideration of Rezoning By-law No. 20925 in accordance with the revised Block Plan (Appendix I) and grant Third Reading to the revised Rezoning Bylaw No. 20925.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Sunnyside Heights Neighbourhood Concept Plan (NCP) Amendment from “Cluster Residential 6-10 u.p.a.”, “Drainage Corridor 5m” and “Low Density Residential 6-10 u.p.a.” to “Multiple Residential 15-25 u.p.a.” and “Drainage Corridor 5 m” and for changes to the local road network.
- Proposing to reduce the building setback requirements of the “Multiple Residential 30 Zone (RM-30)” and the lot width requirements of the “Single Family Residential (13) Zone (RF-13)”.

## RATIONALE OF RECOMMENDATION

- Development Application Nos. 7920-0159-00 (to the north) and 7920-0162-00 (the subject application) were running in conjunction and were considered under a single report and a single CD By-law that was granted Third Reading at the May 1, 2023 Regular Council – Public Hearing meeting. The single rezoning by-law required that both projects be completed at the same time. This has created challenges for the applicant in delivering all 166 units (62 units under Development Application No. 7920-0159-00 and 104 units under Development Application No. 7920-0162-00, the subject application) at one time.
- To accommodate both proposals moving forward, it is proposed to separate the two applications into two separate rezoning by-laws, which will allow each application to proceed independently, while still delivering a centralized walkway that bisects the two sites.
- There are no changes to the proposed developments that were considered by Council at the May 1, 2023, Regular Council – Public Hearing meeting.
- The proposal complies with the Urban designation in the Official Community Plan (OCP).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed amendment to the Sunnyside Heights NCP will improve the variety of housing types in this neighbourhood that are more affordable than the larger single detached dwellings that were anticipated under the NCP.
- The proposed density and building form are appropriate for this part of Sunnyside Heights.

- 
- The proposal generally complies with the Development Permit requirements in the OCP for Form and Character.
  - The proposed building setbacks achieve a more urban, pedestrian streetscape in compliance with the Sunnyside Heights Neighbourhood Concept Plan (NCP) and in accordance with the Development Permit (Form and Character) design guidelines in the OCP and will facilitate additional visitor parking stalls.
  - Some area residents have raised objections to the proposal. In response, the applicant held a Public Information Meeting (PIM) to solicit feedback from area residents. The applicant amended the proposal by reducing the number of overall units.
  - The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.
  - The proposed buildings achieve an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council rescind Third Reading of Rezoning Bylaw No. 20925, granted by Resolution Res. R.23-900 at the May 1, 2023 Regular Council – Public Hearing meeting.
2. Council amend the lands under consideration for Rezoning Bylaw No. 20925 in accordance with Block B and C of the revised Survey Plan (Appendix I) and grant Third Reading to the amended Bylaw.
3. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (g) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
  - (h) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-30 Zone, at the rate in effect at the time of Final Adoption
  - (i) the applicant adequately address the impact of reduced indoor and outdoor amenity space;
  - (j) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (k) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services; and

4. Council pass a resolution to amend the Sunnyside Heights Neighbourhood Concept Plan (NCP) from “Cluster Residential 6-10 u.p.a.”, “Drainage Corridor 5m” and “Low Density Residential 6-10 u.p.a.” to “Multiple Residential 15-25 u.p.a.” and “Drainage Corridor 5 m” and for changes to the local road network, when the project is considered for final adoption.

## SITE CONTEXT & BACKGROUND

| Direction                 | Existing Use   | NCP Designation  | Existing Zone |
|---------------------------|--|--|---------------|
| Subject Site              | Single-detached homes on acreage lots.   | Cluster Residential 6-10 u.p.a, Drainage Corridor 5m, and Low Density Residential 6-10 u.p.a | RA            |
| North:                    | Single-detached homes on acreage lots. A portion of the lands to the north are under Development Application No. 7920-0159-00, which proposes to rezone the subject lots to RM-30 to permit the development of 62 townhouse units. | Cluster Residential 6-10 u.p.a, Drainage Corridor 5m, and Low Density Residential 6-10 u.p.a | RA            |
| East (Across 167 Street): | Single-detached homes on acreage lots. Development Application No. 7921-0080-00 for rezoning to RF-10 and RF-13 to allow subdivision into 19 single family small lots, received Third Reading on February 14, 2022.                | Drainage Corridor 5m, and Low Density Residential 6-10 u.p.a                                 | RA            |
| South (Across 19 Avenue): | Single family small lots.  | Medium Density Residential 10-15 u.p.a.  | RF-13         |
| West (Across 166 Street): | New elementary school (Ta'talu Elementary) under construction.   | School   | RA            |

### Context & Background

- Development Application Nos. 7920-0159-00 and 7920-0162-00 were running in conjunction and were considered under a single report and a single CD By-law (Rezoning Bylaw No. 20925) as they function as one larger development of several properties in Sunnyside Heights bounded by 20 Avenue to the north, 19 Avenue to the south, 167 Street to the east, and future 166 Street to the west.

- Rezoning Bylaw No. 20295 was granted Third Reading at the May 1, 2023 Regular Council – Public Hearing meeting. Since that time, the applicant has expressed a desire to see the applications separated to allow each application to proceed independently. Doing so will allow for a more efficient phased delivery of the 166 townhouse units and one single-detached small lot across both development applications.
- As the previous Rezoning Bylaw (No. 20295) was considered for all of the lands under both applications, the development applications cannot be separated without bringing a second bylaw forward (i.e., one rezoning by-law for each application).
- The applicant wishes to advance the subject application (Development Application No. 7920-0162-00) first and as such, staff are requesting that Third Reading of Rezoning Bylaw No. 20295 be rescinded, the lands under consideration for that bylaw be amended by eliminating the portion of the lands under consideration for the northern Development Application No. 7920-0159-00, and Third Reading be granted to the amended bylaw.
- Given this process would eliminate the portion of the lands under Development Application No. 7920-0159-00 being considered for rezoning, a new rezoning bylaw must be brought forward for those lands under a separate report.
- At the April 17, 2023 Regular Council – Land Use meeting, Council authorized staff to draft the Development Permit for Development Application No. 7920-0162-00 (the subject application). No changes to the proposed development permit are being proposed and therefore, no further action with regards to the proposed Development Permit is required.
- At the May 1, 2023 and June 5, 2023 Regular Council – Public Hearing meetings, following public notification, Council supported Development Variance Permit No. 7920-0162-00 and Development Variance Permit No. 7920-0162-01, respectively, for the subject application. No changes to the proposed development variance permit are being proposed and therefore, no further action with regards to the proposed Development Variance Permit is required.
- The subject site consists of eight properties situated along 20 Avenue, 167 Street, and 19 Avenue, and is located in Sunnyside Heights.
- The subject site is designated “Cluster Residential 6-10 u.p.a”, “Drainage Corridor 5m”, and “Low Density Residential 6-10 u.p.a” in the Sunnyside Heights Neighbourhood Concept Plan and zoned “One-Acre Residential Zone (RA)”.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant proposes the following to permit the development of 104 townhouse units:
  - an amendment to the Sunnyside Heights Neighbourhood Concept Plan (NCP) from “Cluster Residential 6-10 u.p.a”, “Drainage Corridor 5m” and “Low Density Residential 6-10 u.p.a.” to “Multiple Residential 15-25 u.p.a.” and “Drainage Corridor 5 m” and for changes to the local road network;



- rezoning a portion of the site as identified as Block B on the Survey Plan attached as Appendix I, from “One Acre Residential Zone (RA) to “Multiple Residential 30 Zone (RM-30)” and a portion of the site as identified as Block C on the Survey Plan from “One Acre Residential Zone (RA)” to “Single Family Residential (13) Zone (RF-13)”;
  - to consolidate the properties into a single townhouse development lot;
  - Development Permit for Form and Character; and
  - a Development Variance Permit.
- The subject application will deliver the full 8-metre width of the central walkway through the subject application. This includes dedication of the lands and construction of the walkway and boulevard.

### Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

## POLICY & BY-LAW CONSIDERATIONS

### Secondary Plans

#### Land Use Designation

- The applicant proposes an amendment to the Sunnyside Heights Neighbourhood Concept Plan (NCP) from “Cluster Residential 6-10 u.p.a.”, “Drainage Corridor 5m” and “Low Density Residential 6-10 u.p.a.” to “Multiple Residential 15-25 u.p.a.” and “Drainage Corridor 5 m” and for changes to the local road network (Appendix IV).
- The Initial Planning Report No. 7920-0159-00/7920-0162-00, dated April 17, 2023 (Appendix V) noted the proposed land use plan amendment, which incorrectly included an amendment to the “Multiple Residential 20-25 u.p.a.” designation. The correct amendment should read “Multiple Residential 15-25 u.p.a.” as noted above.

### Zoning By-law

- The applicant proposes to rezone a portion of the subject site from “One-Acre Residential Zone (RA)” to “Multiple Residential 30 Zone (RM-30),” depicted as Block B on the attached Survey Plan (Appendix I) and to “Single Family Residential (13) Zone (RF-13)” for Block C.
- The attached Survey Plan includes additional lands from three of the properties under consideration of Development Application No. 7920-0159-00; however, the proposed net site area remains the same as was previously considered under the Initial Planning Report, dated April 17, 2023 (Appendix V).

- There is no change to the proposed density and therefore, no new public hearing is required.

### Setback Variances

- The applicant is requesting the following variances:
  - (a) to reduce the minimum east front yard setback of the RM-30 Zone for Building 1 from 4.5 metres to 4.4 metres to a portion of the principal building face and to 3.8 metres to a portion of the principal building face for Building 24;
  - (b) to reduce the minimum west front yard setback of the RM-30 Zone for Building 8 from 4.5 metres to 4.4 metres to a portion of the principal building face;
  - (c) to reduce the minimum north side yard on a flanking street setback of the RM-30 Zone from 4.5 metres to 2.0 metres for visitor parking stall 1 and to 3.8 metres for visitor parking stall 2;
  - (d) to reduce the minimum south side yard on a flanking street setback of the RM-30 Zone for Building 10 from 4.5 metres to 4.2 metres for a portion of the principal building face and from 4.5 metres to 4.4 metres to Building 9 for a portion of the principal building face;
  - (e) to reduce the minimum south side yard setback of the RM-30 Zone from 4.5 metres to 4.3 metres to Building 16 and to 4.2 metres to Building 17;
  - (f) to reduce the minimum east rear yard setback of the RM-30 Zone from 6.0 metres to 3.0 metres to Building 11; and
  - (g) to reduce the minimum lot width of the RF-13 Zone for a Type 1 Interior Lot from 12 metres to 10.5 metres for proposed Lot 3.
- The proposed Development Variance Permit Nos. 7920-0162-00 and 7920-0162-01, were supported by Council at the May 1, 2023 and June 5, 2023 Regular Council – Public Hearing meetings, respectively, following public notification. No changes to the proposed variances are requested and therefore, no further action is required to the subject Development Variance Permits.

### **PUBLIC ENGAGEMENT**

- Pre-notification letters were sent on January 25, 2022 and the Development Proposal Signs were installed on February 11, 2022. Staff received 65 responses from neighbouring residents. In addition, a Public Information Meeting was held by the applicant on August 17, 2022.
- These concerns included the potential for increased traffic, overcapacity at surrounding schools, the lack of amenities within the neighbourhood, and a desire to see additional tree retention. For a record of public comments and staff responses, see the Initial Planning Report for Development Application Nos. 7920-0159-00/7920-0162-00, dated April 17, 2023 (Appendix V).

## DEVELOPMENT PERMITS

### Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Sunnyside Heights Neighbourhood Concept Plan (NCP).
- The proposed development partially complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Sunnyside Heights Neighbourhood Concept Plan (NCP).
- At the April 17, 2023 Regular Council – Land Use meeting, Council authorized staff to draft the Development Permit for the subject application. As there are no proposed changes to the form and character as part of Development Application No. 7920-0159-00, no further action to the proposed development permit is required. For a detailed description of the proposed design, see the Initial Planning Report for Development Application Nos. 7920-0159-00/7920-0162-00, dated April 17, 2023 (Appendix V)

### Land Use Designation

- The applicant proposes an amendment to the Sunnyside Heights Neighbourhood Concept Plan (NCP) from “Cluster Residential 6-10 u.p.a.”, “Drainage Corridor 5m” and “Low Density Residential 6-10 u.p.a.” to “Multiple Residential 15-25 u.p.a.” and “Drainage Corridor 5 m” and for changes to the local road network.
- The Initial Planning Report No. 7920-0159-00/7920-0162-00, dated April 17, 2023 noted the proposed land use plan amendment, which incorrectly included an amendment to the “Multiple Residential 20-25 u.p.a.” designation. The correct amendment should read “Multiple Residential 15-25 u.p.a.” as noted above.

## TREES

- There are no changes to the proposed tree retention and removal that was previously presented to Council in the Initial Planning Report No. 7920-0159-00/7920-0162-00, dated April 17, 2023 (Appendix V).

## INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

|               |   |
|---------------|---|
| Appendix I.   | Revised Block Plan  |
| Appendix II.  | Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective                    |
| Appendix III. | Engineering Summary   |
| Appendix IV   | NCP Plan  |
| Appendix V.   | Bylaw No. 20925 Red Lined Version   |
| Appendix VI.  | Initial Planning Report Nos. 7920-0159-00/7920-0162-00 and 7920-0162-01, dated April 17, 2023 and May 15, 2023. |

*approved by Shawn Low*

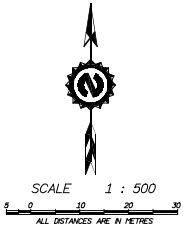
Don Luymes  
General Manager  
Planning and Development

KS/ar

SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW  
 No. \_\_\_\_\_ OF: LOTS 55, 56 AND 57 PLAN 58054,  
 PART OF LOTS 60 & 61 PLAN 66460  
 AND PART OF LOTS 42, 43, & 47 PLAN 57371  
 ALL OF SECTION 13 TOWNSHIP 1 NWD

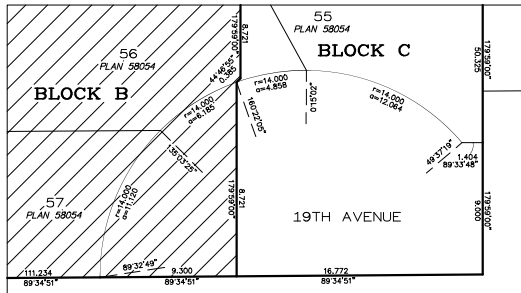
FOR REZONING PURPOSES

LEGEND  
 ha DENOTES HECTARES  
 m<sup>2</sup> DENOTES SQUARE METRES



The intended plot size of this plan is 864mm in width and 560mm in height (A size) when plotted at a scale of 1:500.

DETAIL: NOT TO SCALE



Property boundary dimensions shown hereon  
 are derived from field survey.  
 CERTIFIED CORRECT  
 DATED THE 8th DAY OF OCTOBER, 2021.

B.C.L.S.

H. Adam Fullerton



TARGET  
 LAND SURVEYING  
 6120-20178 96TH AVE  
 LANSLEY BC  
 604-583-6181  
 FILE: 9485-BLOCK PLAN-I

# 16651-19 AVE TOWNHOUSES

1949 - 167 ST., 16663, 16651, & 16621 - 19 AVE, 16606 - 20 AVE,  
SURREY, BC. CANADA

## APPENDIX II



**Kasian Architecture**  
Interior Design  
and Planning Ltd

1600 West Georgia Street, Suite 1086  
Vancouver, BC, Canada V6Z 2Z2  
T 604 854 4141 F 604 853 2627  
www.kasian.com



APR 11 2023

### DATA SHEET

|  |  |                 |                           |
|--|--|-----------------|---------------------------|
| TOWNHOUSES   |  | 11-Apr-23       |                           |
| PROJECT NAME:  | 16651-19 AVE TOWNHOUSES  |                 |                           |
| ADDRESS:   | 1949-167TH STREET, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, BC. CANADA. |                 |                           |
| LEGAL DESCRIPTION  |  |                 |                           |
| ACTUAL SITE AREA   | 216479.24  | SFT of 20111.58 | SQM of 4.97 Acres         |
| AREA RECEIVED FROM 16620 SITE (NORTH SITE)                                 | 10335.00   | SFT of 980.1529 | SQM of 0.24 Acres         |
| GROSS SITE AREA  | 226814.24  | SFT of 21071.73 | SQM of 5.21 Acres         |
| ROAD DEDICATION  | 42250.27   | SFT of 3925.179 | SQM of 0.97 Acres         |
| LANE DEDICATION  | 3760.19  | SFT of 349.3331 | SQM of 0.09 Acres         |
| PEDESTARIAN CORRIDOR DEDICATION  | 7850.00  | SFT of 727.2889 | SQM of 0.18 Acres         |
| NET SITE AREA  | 172953.78  | SFT of 16067.93 | SQM of 3.97 Acres         |
| FLOOR AREA RATIO:  |  |                 |                           |
| F.A.R. = NET AREA (EXCLUDING GARAGE & ROOF GARDEN AREAS) / NET SITE AREA   | 149937.00  | /               | 172953.78 <b>0.87</b> FSR |
| F.A.R. = NET AREA (EXCLUDING GARAGE & ROOF GARDEN AREAS) / GROSS SITE AREA | 149937.00  | /               | 226814.24 <b>0.66</b> FSR |
| LOT COVERAGE = LOWER FLOOR AREA / NET SITE AREA                            |  |                 |                           |
|  | 63513.00   | /               | 172953.78 <b>37%</b>      |
| BUILDING 1 (03 UNITS)  | -  | 5488.00 SFT     | 509.85 SQM                |
| BUILDING 2 (04 UNITS)  | -  | 7228.00 SFT     | 671.50 SQM                |
| BUILDING 3 (03 UNITS)  | -  | 5432.00 SFT     | 504.85 SQM                |
| BUILDING 4 (04 UNITS)  | -  | 7228.00 SFT     | 671.50 SQM                |
| BUILDING 5 (05 UNITS)  | -  | 10890.00 SFT    | 1011.71 SQM               |
| BUILDING 6 (03 UNITS)  | -  | 8195.00 SFT     | 775.53 SQM                |
| BUILDING 7 (04 UNITS)  | -  | 8280.00 SFT     | 767.38 SQM                |
| BUILDING 8 (04 UNITS)  | -  | 8280.00 SFT     | 767.38 SQM                |
| BUILDING 9 (06 UNITS)  | -  | 10936.00 SFT    | 1015.99 SQM               |
| BUILDING 10 (05 UNITS)   | -  | 9121.00 SFT     | 847.37 SQM                |
| BUILDING 11 (06 UNITS)   | -  | 12582.00 SFT    | 1168.91 SQM               |
| BUILDING 12 (06 UNITS)   | -  | 12582.00 SFT    | 1168.91 SQM               |
| BUILDING 13 (04 UNITS)   | -  | 8388.00 SFT     | 779.27 SQM                |
| BUILDING 14 (04 UNITS)   | -  | 8388.00 SFT     | 779.27 SQM                |
| BUILDING 15 (05 UNITS)   | -  | 9116.00 SFT     | 846.90 SQM                |
| BUILDING 16 (03 UNITS)   | -  | 5488.00 SFT     | 509.85 SQM                |
| BUILDING 17 (03 UNITS)   | -  | 5488.00 SFT     | 509.85 SQM                |
| BUILDING 18 TO 23 (28 UNITS)   | -  | 48844.00 SFT    | 4351.95 SQM               |
| BUILDING 24 (04 UNITS)   | -  | 5488.00 SFT     | 509.85 SQM                |
| TOTAL AREA   | -  | 193402.00 SFT   | 17967.83 SQM              |

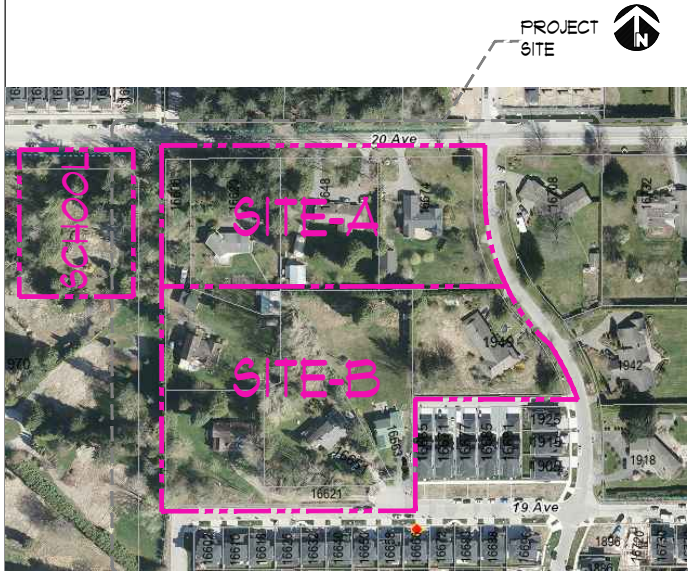
| TOWNHOUSES AREAS |                           | AREAS     |        |       |                           |       |              |       |             |       |             |        |   |         |                                      |          |
|------------------|---------------------------|-----------|--------|-------|---------------------------|-------|--------------|-------|-------------|-------|-------------|--------|---|---------|--------------------------------------|----------|
| S.NO             | TYPE                      | NO. UNITS | GARAGE |       | MAIN FLOOR (EXCL. GARAGE) |       | SECOND FLOOR |       | THIRD FLOOR |       | ROOF GARDEN |        | TOTAL UNIT AREA (EXCL. GARAGE / ROOF GRDN.) |         | FAR AREA (EXCL. GARAGE / ROOF GRDN.) |          |
|                  |                           |           | SFT    | SQM   | SFT                       | SQM   | SFT          | SQM   | SFT         | SQM   | SFT         | SQM    | SFT   | SQM     | SFT                                  | SQM      |
| 1                | UNIT-A                    | 11        | 417.00 | 38.74 | 263                       | 24.43 | 680          | 63.17 | 705.00      | 65.50 | 1648        | 153.16 | 18128.00                                    | 164.15  | 3113.74                              |          |
| 2                | UNIT-B (ROOF TOP GARDEN)  | 28        | 476.00 | 44.22 |                           |       | 598.00       | 55.56 | 598.00      | 55.65 | 506.60      | 47.34  | 1197.00                                     | 111.20  | 33516.00                             | 3113.74  |
| 3                | UNIT-C (ROOF TOP GARDEN)  | 8         | 408.00 | 37.72 | 201.00                    | 18.87 | 571.00       | 53.05 | 618.00      | 57.41 | 544.00      | 50.54  | 1390.00                                     | 129.14  | 11120.00                             | 1033.08  |
| 4                | UNIT-C1 (ROOF TOP GARDEN) | 10        | 411.00 | 38.18 | 203.00                    | 18.86 | 578.00       | 53.70 | 626.00      | 58.16 | 544.00      | 50.54  | 1407.00                                     | 130.71  | 14070.00                             | 1307.15  |
| 5                | UNIT-D                    | 5         | 410.00 | 38.08 | 203.00                    | 18.86 | 577.00       | 53.61 | 624.00      | 57.97 | 1404.00     | 130.44 | 1407.00                                     | 130.44  | 7020.00                              | 652.18   |
| 6                | UNIT-D1                   | 6         | 415.00 | 38.55 | 205.00                    | 19.05 | 585.00       | 54.35 | 632.00      | 58.71 | 1422.00     | 132.11 | 1422.00                                     | 132.11  | 8532.00                              | 792.65   |
| 7                | UNIT-D2                   | 4         | 416.00 | 38.65 | 205.00                    | 18.70 | 585.00       | 54.35 | 632.00      | 58.71 | 1422.00     | 132.11 | 1422.00                                     | 132.11  | 5688.00                              | 528.43   |
| 8                | UNIT-D3                   | 7         | 411.00 | 38.18 | 202.00                    | 18.77 | 577.00       | 53.61 | 625.00      | 58.06 | 1404.00     | 130.44 | 1404.00                                     | 130.44  | 9828.00                              | 913.05   |
| 9                | UNIT-E (ROOF TOP GARDEN)  | 5         | 483.00 | 43.01 | 254.00                    | 23.60 | 727.00       | 67.54 | 734.00      | 68.19 | 649.00      | 60.29  | 1715.00                                     | 159.33  | 8575.00                              | 796.64   |
| 10               | UNIT-F                    | 8         | 424.00 | 39.39 | 278.00                    | 25.83 | 675.00       | 62.71 | 720.00      | 66.89 | 1673.00     | 155.43 | 13394.00                                    | 1243.41 |                                      |          |
| 11               | UNIT-F1                   | 12        | 424.00 | 39.39 | 278.00                    | 25.83 | 675.00       | 62.71 | 720.00      | 66.89 | 1673.00     | 155.43 | 20076.00                                    | 1865.12 |                                      |          |
| TOTAL UNITS      |                           | 104       |        |       |                           |       |              |       |             |       |             |        | TOTAL TOWNHOUSES FAR AREA                   |         | 149937                               | 10821.07 |

| TOWNHOUSES AREAS                              |                                | AREAS  |                |
|---|--------------------------------|--------|----------------|
| TOTAL NUMBER OF UNITS PROPOSED                |                                | 104    | Nos            |
| NUMBER OF UNITS PER ACRE (NET SITE AREA)      |                                | 26     | Nos            |
| NUMBER OF UNITS PER ACRE (GROSS SITE AREA)    |                                | 20     | Nos            |
| NUMBER OF UNITS PER HECTARE (NET SITE AREA)   |                                | 65     | Nos            |
| NUMBER OF UNITS PER HECTARE (GROSS SITE AREA) |                                | 49     | Nos            |
| <b>AMENITY AREA REQUIRED</b>                  |                                |        |                |
| AMENITY AREA (OUTDOOR AREA)                   | NO. OF UNITS * 3 SQ.M PER UNIT | 312.00 | 3358.34 SQM    |
| AMENITY AREA (INDOOR AREA)                    | NO. OF UNITS * 3 SQ.M PER UNIT | 312.00 | 3358.34 SQM    |
| <b>AMENITY AREA PROVIDED</b>                  |                                |        |                |
| AMENITY AREA (OUTDOOR AREA)                   |                                | 272.10 | 2928.86 SQM    |
| AMENITY AREA (INDOOR AREA, 2 STOREY)          |                                | 191.46 | 2060.88 SQM    |
| <b>TOWNHOUSES PARKING</b>                     |                                |        |                |
| UNITS PARKING REQUIRED (2 PER UNIT)           |                                | 104    | *2 208 STALLS  |
| UNITS PARKING PROVIDED                        |                                |        | 208 STALLS     |
| VISITOR PARKING REQUIRED                      |                                | 104    | *0.2 21 STALLS |
| VISITOR PARKING PROVIDED                      |                                |        | 23 STALLS      |
| TOTAL STALLS                                  |                                |        | 231            |

### SHEET INDEX

| SHEET NO.   | ARCHITECTURAL               |
|-------------|-----------------------------|
| DP-0 SERIES | DATA SHEET                  |
| DP-2 SERIES | SITE PLANS                  |
| DP-3 SERIES | FLOOR PLANS                 |
| DP-4 SERIES | SITE SECTIONS               |
| DP-5 SERIES | BUILDING ELEVATIONS         |
| DP-6 SERIES | BUILDING COLORED ELEVATIONS |
| DP-7 SERIES | SIGNAGE DETAILS             |

CONTEXT MAP N.T.S



1 CONTEXT MAP N.T.S

FORMAT STAMP

SCALE

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PROJECT

**16651- 20 AVE TOWNHOUSES**  
16620, 16648 & 16674, 20 AVE, 1949-167TH ST,  
16663, 16651 & 16621-19 AVE,  
16606-20AVE, SURREY, B.C

DRAWING TITLE

**DATA SHEET**  
SITE - B (SOUTH)

DRAWING ISSUE

**ISSUED FOR DP REVISION**

|             |        |       |              |          |           |
|-------------|--------|-------|--------------|----------|-----------|
| PROJECT NO. | 722009 | DATE  | 2023-04-11   | DRAWN    | AD        |
| DRAWING NO. | DP-001 | SCALE | AS INDICATED | REVISION | CY        |
|             |        |       |              |          | REVISION  |
|             |        |       |              |          | <b>09</b> |



APR 11 2023

| NO.  | DATE       | DESCRIPTION                   |
|------|------------|-------------------------------|
| 10   | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9    | 2023-01-30 | ISSUED FOR DP REVISION        |
| 8    | 2023-02-11 | ISSUED FOR DP REVISION        |
| 7    | 2022-12-09 | ISSUED FOR DP REVISION        |
| 6    | 2023-01-19 | ISSUED FOR DP REVISION        |
| 5    | 2022-09-24 | ISSUED FOR DP REVISION        |
| 4    | 2023-02-04 | ISSUED FOR DP REVISION        |
| 3    | 2021-12-03 | ISSUED FOR DP REVISION        |
| 2    | 2021-08-24 | ISSUED FOR DP SUBMISSION      |
| 1    | 2020-02-08 | ISSUED FOR PRELIMINARY DESIGN |
| REV. | 11/17/2022 | REVISION / DRAWING ISSUE      |

CONSULTANT

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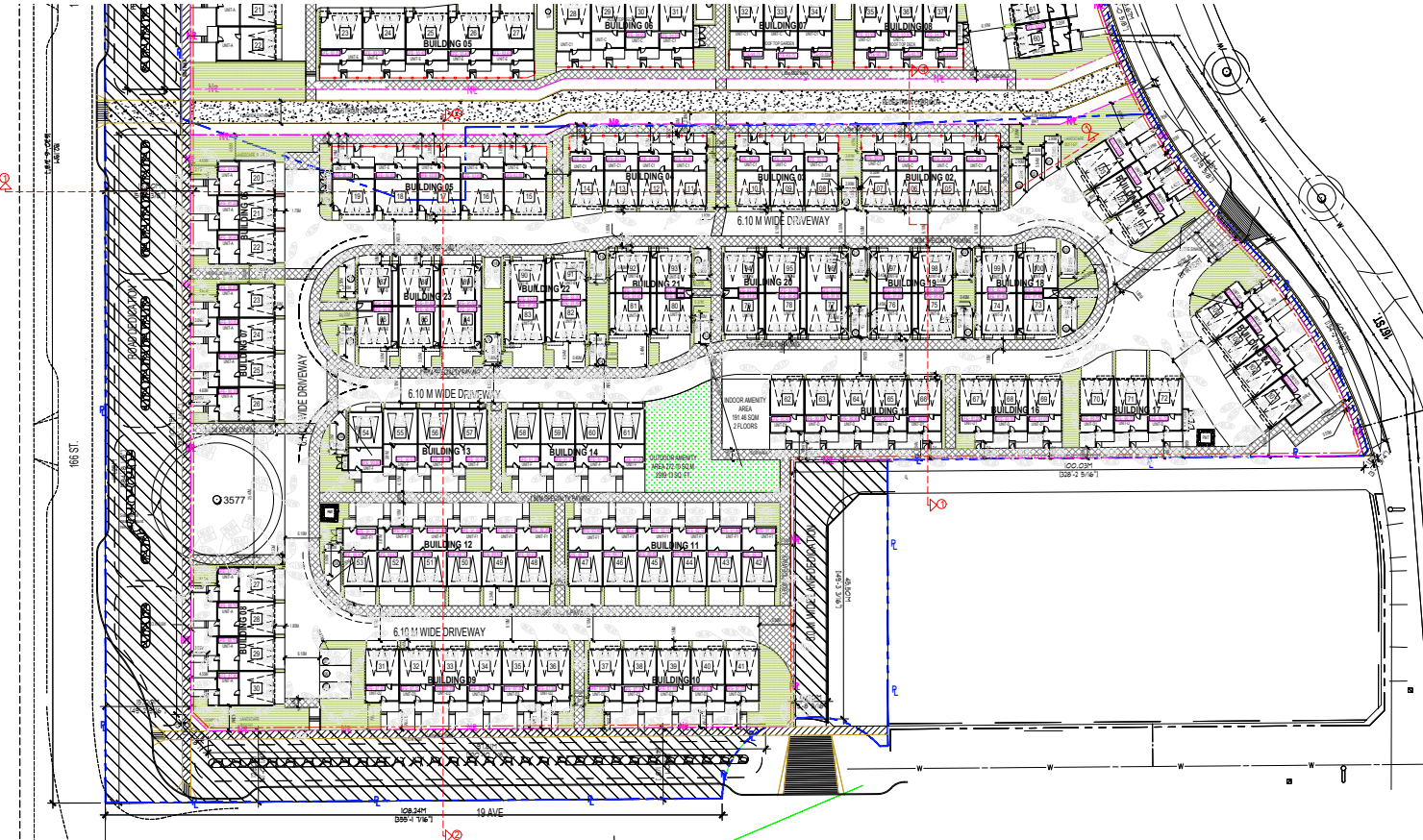
PROJECT

**16651- 20 AVE TOWNHOUSES**  
16620, 16648 & 16674, 20 AVE, 1949-167TH ST,  
16663, 16651 & 16621-19 AVE,  
16606-20AVE, SURREY, B.C

DRAWING TITLE  
**SITE PLAN**  
**SITE - B (SOUTH)**

DRAWING ISSUE  
**ISSUED FOR DP REVISION**

| PROJECT NO. | PLAT DATE    | DRAWN    |
|-------------|--------------|----------|
| 722009      | 2023-04-11   | AD       |
| DRAWING NO. | SCALE        | REVISION |
| DP-211      | AS INDICATED | CY       |
|             |              | REVISION |
|             |              | 09       |









APR 11 2023

|    |            |                               |
|----|------------|-------------------------------|
| 10 | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9  | 2023-03-08 | ISSUED FOR DP REVISION        |
| 8  | 2023-01-11 | ISSUED FOR DP REVISION        |
| 7  | 2023-12-09 | ISSUED FOR DP REVISION        |
| 6  | 2023-11-03 | ISSUED FOR DP REVISION        |
| 5  | 2023-09-24 | ISSUED FOR DP REVISION        |
| 4  | 2023-09-24 | ISSUED FOR DP REVISION        |
| 3  | 2021-12-03 | ISSUED FOR DP REVISION        |
| 2  | 2021-06-04 | ISSUED FOR DP REVISION        |
| 1  | 2020-02-04 | ISSUED FOR PRELIMINARY DESIGN |

FILE: 17177-000-00 REVIEW: DRAWINGS ISSUE REVIEW

CONSULTANT: REVIEW

FORMAT STAMP

SCALE

PROJECT

16620 & 16651 - 20 AVE  
TOWNHOUSES

SURREY, B.C

DRAWING TITLE

STREET SCAPE VIEW - 166 ST.

DRAWING ISSUE

ISSUED FOR DP REVISION

PROJECT NO. 722009

PLOT DATE 11-04-2023

DRAWN BY SS

DRAWING NO. DP 2.15B

SCALE 1" = 1'-20"

REVIEWED BY CY

10



① STREET SCAPE VIEW - 166 ST.  
1" = 1'-20"



PROJECT NO. 722009

PLOT DATE 11-04-2023

DRAWN BY SS

DRAWING NO. DP 2.15B

SCALE 1" = 1'-20"

REVIEWED BY CY

10



APR 11 2023

|    |            |                               |
|----|------------|-------------------------------|
| 10 | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9  | 2023-03-08 | ISSUED FOR DP REVISION        |
| 8  | 2023-01-11 | ISSUED FOR DP REVISION        |
| 7  | 2022-12-09 | ISSUED FOR DP REVISION        |
| 6  | 2022-11-10 | ISSUED FOR DP REVISION        |
| 5  | 2022-09-24 | ISSUED FOR DP REVISION        |
| 4  | 2022-09-24 | ISSUED FOR DP REVISION        |
| 3  | 2021-12-03 | ISSUED FOR DP REVISION        |
| 2  | 2021-06-04 | ISSUED FOR DP REVISION        |
| 1  | 2022-02-08 | ISSUED FOR PRELIMINARY DESIGN |

FILE: 16620\_16651\_20\_AVE\_TOWNHOUSE\_PRELIMINARY DRAWINGS ISSUE REVIEW

CONSULTANT: REVIEW

FORMAT STAMP

SCALE

PROJECT

16620 & 16651 - 20 AVE  
TOWNHOUSES

SURREY, B.C

DRAWING TITLE

STREET SCAPE VIEW - 166 ST.

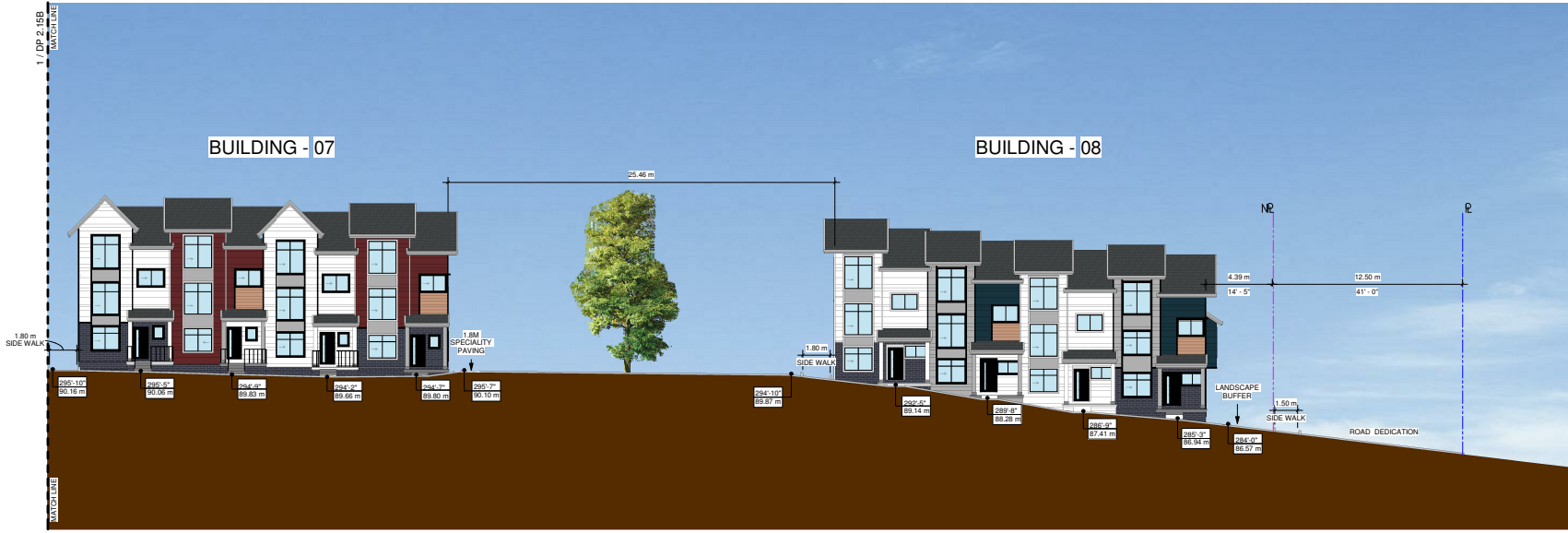
DRAWING ISSUE

ISSUED FOR DP REVISION

PROJECT NO. PLOT DATE 11-04-2023 DRAWN BY SS

722009 SCALE 1" = 1'-20" REVIEWED BY CY

DRAWING NO. DP 2.15C REVISION 10



1 STREET SCAPE VIEW - 166 ST  
1" = 1'-20"





APR 11 2023

| NO. | DATE       | DESCRIPTION                   | BY | CHKD. |
|-----|------------|-------------------------------|----|-------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |    |       |
| 9   | 2023-03-07 | ISSUED FOR DP REVISION        |    |       |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |    |       |
| 7   | 2022-12-09 | ISSUED FOR DP REVISION        |    |       |
| 6   | 2022-11-10 | ISSUED FOR DP REVISION        |    |       |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |    |       |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |    |       |
| 3   | 2021-12-03 | ISSUED FOR DP REVISION        |    |       |
| 2   | 2021-06-04 | ISSUED FOR DP REVISION        |    |       |
| 1   | 2022-02-08 | ISSUED FOR PRELIMINARY DESIGN |    |       |

FILE: 17777-08M-000 REVIEW: REVISION - DRAWINGS ISSUE REVIEW

CONSULTANT:

FORMAT STAMP:

SCALE:

PROJECT:

16620 & 16651 - 20 AVE  
TOWNHOUSES

SURREY.B.C

DRAWING TITLE:

STREET SCAPE VIEW - 167 ST.

DRAWING ISSUE:

ISSUED FOR DP REVISION

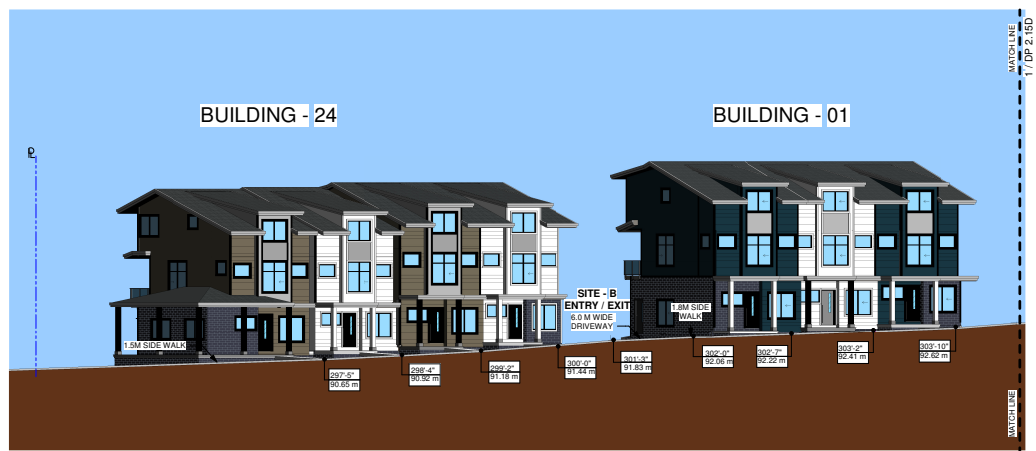
PROJECT NO: 722009 PLOT DATE: 11-04-2023 DRAWN: SS

SCALE: 1" = 1'-20" REVIEWED: CY

DRAWING NO: DP 2.15D REVISION: 10



① STREET SCAPE VIEW - 167 ST. - SITE A  
1" = 1'-20"



② STREET SCAPE VIEW - 167 ST. - SITE B  
1" = 1'-20"





APR 11 2023

|    |            |                               |
|----|------------|-------------------------------|
| 10 | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9  | 2023-03-07 | ISSUED FOR DP REVISION        |
| 8  | 2023-01-11 | ISSUED FOR DP REVISION        |
| 7  | 2023-12-09 | ISSUED FOR DP REVISION        |
| 6  | 2023-11-10 | ISSUED FOR DP REVISION        |
| 5  | 2022-09-24 | ISSUED FOR DP REVISION        |
| 4  | 2022-09-24 | ISSUED FOR DP REVISION        |
| 3  | 2021-12-03 | ISSUED FOR DP REVISION        |
| 2  | 2021-06-04 | ISSUED FOR DP REVISION        |
| 1  | 2022-02-28 | ISSUED FOR PRELIMINARY DESIGN |

REV: 11/17/2023  
REVISION: DRAWINGS ISSUE

CONSULTANT: REVIEW

FORMIT STAMP

SCALE

PROJECT

16620 & 16651 - 20 AVE  
TOWNHOUSES

SURREY, B.C

DRAWING TITLE

STREET SCAPE VIEW  
-PEDESTRIAN CORRIDOR

DRAWING ISSUE

ISSUED FOR DP REVISION

|              |          |            |             |           |         |
|--------------|----------|------------|-------------|-----------|---------|
| PROJECT NO:  | 722009   | PLOT DATE: | 11-04-2023  | DRAWN:    | Author  |
| DRAWING NO.: | DP 2.15F | SCALE:     | 1" = 1'-20" | REVIEWED: | Checker |

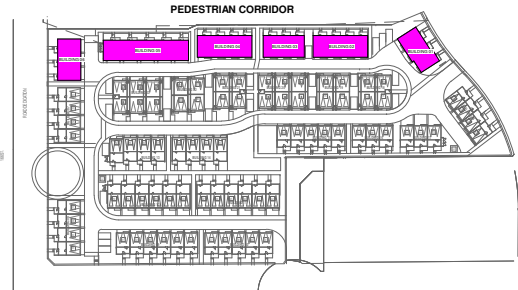
10



STREET SCAPE VIEW - PEDESTRIAN  
CORRIDOR - 1  
1" = 1'-20"



STREET SCAPE VIEW - PEDESTRIAN  
CORRIDOR - 2  
1" = 1'-20"



KEY PLAN





APR 11 2023

|    |            |                               |
|----|------------|-------------------------------|
| 10 | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9  | 2023-03-07 | ISSUED FOR DP REVISION        |
| 8  | 2023-01-11 | ISSUED FOR DP REVISION        |
| 7  | 2022-12-09 | ISSUED FOR DP REVISION        |
| 6  | 2022-11-10 | ISSUED FOR DP REVISION        |
| 5  | 2022-09-24 | ISSUED FOR DP REVISION        |
| 4  | 2022-09-24 | ISSUED FOR DP REVISION        |
| 3  | 2021-12-03 | ISSUED FOR DP REVISION        |
| 2  | 2021-06-04 | ISSUED FOR DP REVISION        |
| 1  | 2020-02-26 | ISSUED FOR PRELIMINARY DESIGN |

FILE: 17177-000-00 REVIEW: PREVISION - DRAWINGS ISSUE: REVIEW

CONSULTANT:

FORMAT STAMP:

SCALE:

PROJECT:

16620 - 20 AVE TOWNHOUSES

SURREY.B.C

DRAWING TITLE:

BUILDING SCHEME MAP

DRAWING ISSUE:

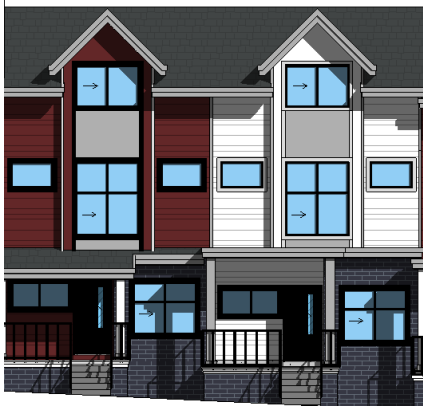
ISSUED FOR DP REVISION

|             |          |            |            |           |    |
|-------------|----------|------------|------------|-----------|----|
| PROJECT NO: | 722009   | PLOT DATE: | 11-04-2023 | DRAWN:    | AD |
| DRAWING NO: | DP 2.16B | SCALE:     | 6" = 1'-0" | REVIEWED: | CY |

10



COLOUR SCHEME - A



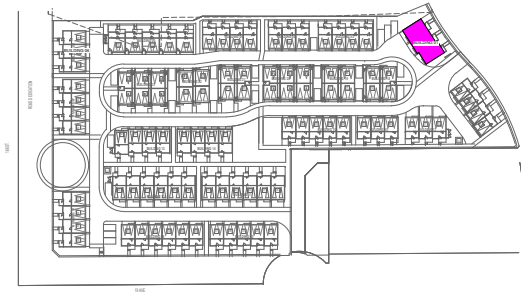
COLOUR SCHEME - B



COLOUR SCHEME - C



APR 11 2023



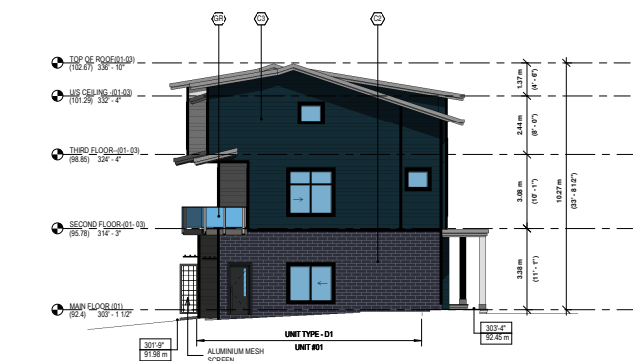
KEY PLAN



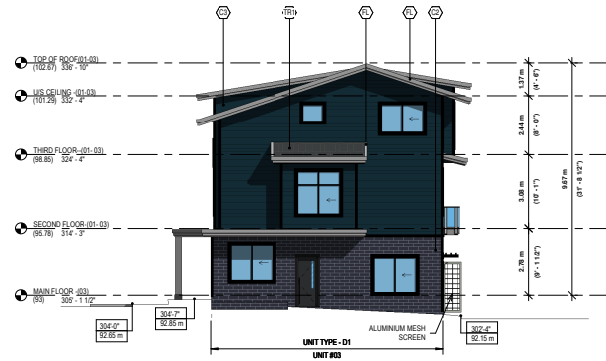
1 EAST ELEVATION (167 ST)  
DP-6.11 1/8" = 1'-0"



2 WEST ELEVATION  
DP-6.11 1/8" = 1'-0"



3 SOUTH ELEVATION (PEDESTRIAN CORRIDOR)  
DP-6.11 1/8" = 1'-0"



4 NORTH ELEVATION  
DP-6.11 1/8" = 1'-0"

**MATERIAL LEGEND:**

| MATERIAL         | COLOR        |  |
|------------------|--------------|--|
| FL FLASHING      | LIGHT GREY   |  |
| GR RAILING       | RAILING      |  |
| TR1 TRIM         | BLACK        |  |
| TR2 TRIM         | LIGHT GREY   |  |
| FA FASCIA        | LIGHT GREY   |  |
| C1 HARD SIDING   | WHITE        |  |
| C2 HARD BRICKS   | DARK GREY    |  |
| C3 HARD SIDING   | EVENING BLUE |  |
| C4 HARD SIDING   | DARK GREY    |  |
| C5 HARD PANEL    | DARK GREY    |  |
| F WINDOWS        | BLACK        |  |
| D DOORS          | BLACK        |  |
| RD1 ROLL-UP DOOR | DARK GREY    |  |
| RD2 ROLL-UP DOOR | WHITE        |  |
| RS ROOF SHINGLE  | DARK GREY    |  |

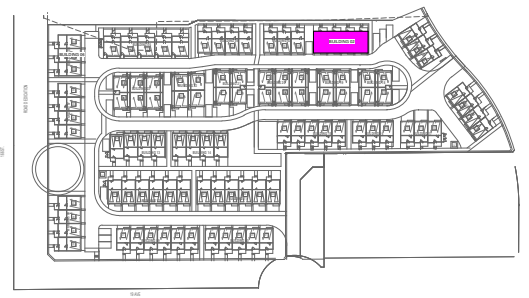
NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

|                                   |           |
|-----------------------------------|-----------|
| AVERAGE EXISTING GRADE            |           |
| 92.81M + 92.28M + 92.07M + 92.13M | = 92.31M  |
| 4                                 |           |
| MAXIMUM BUILDING HEIGHT           |           |
| 92.31M + 13M                      | = 105.31M |

|   |  |                               |          |
|---|--|-------------------------------|----------|
| 10  | 2023-04-11   | ISSUED FOR DP REVISION        |          |
| 9   | 2023-03-09   | ISSUED FOR DP REVISION        |          |
| 8   | 2023-01-11   | ISSUED FOR DP REVISION        |          |
| 7   | 2023-12-09   | ISSUED FOR DP REVISION        |          |
| 6   | 2023-11-03   | ISSUED FOR DP REVISION        |          |
| 5   | 2023-09-24   | ISSUED FOR DP REVISION        |          |
| 4   | 2023-09-24   | ISSUED FOR DP REVISION        |          |
| 3   | 2023-12-03   | ISSUED FOR DP REVISION        |          |
| 2   | 2023-06-14   | ISSUED FOR DP REVISION        |          |
| 1   | 2023-02-28   | ISSUED FOR PRELIMINARY DESIGN |          |
| DATE  | 11/11/2023   | REVISION - DRAWING ISSUE      | REVIEW   |
| CONSULTANT  |  |                               |          |
| FORMIT STAMP  |  |                               |          |
| SCALE   |  |                               |          |
| THIS DRAWING AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTIONS ARE ALLOWED WITHOUT THE PERMISSION OF KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD AND WHEN MADE MUST BEAR THIS MARK. THE DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND CHECK NOTED HEREIN WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD FOR ADJUSTMENT. |  |                               |          |
| PROJECT   | 16651-19 AVE TOWNHOUSES  |                               |          |
|   | 16620, 16648 & 16674-20 AVE, 1949-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C |                               |          |
| DRAWING TITLE   | BUILDING-01 (SITE-B) ELEVATIONS (UNIT-C & C1)  |                               |          |
| DRAWING ISSUE   | ISSUED FOR DP REVISION   |                               |          |
| PROJECT NO.   | 11-04-2023   | DRAWN                         | SS       |
| Project Number  | SCALE  | 1/8" = 1'-0"                  | REVIEWED |
| DRAWING NO.   | DP-6.11  |                               | 10       |



APR 11 2023



KEY PLAN

MATERIAL LEGEND

| MATERIAL           | COLOR           |  |
|--------------------|-----------------|--|
| (FL) FLASHING      | LIGHT GREY      |  |
| (RA) RAILING       | RAILING         |  |
| (TR) TRIM          | BLACK           |  |
| (TR2) TRIM         | LIGHT GREY      |  |
| (FA) FASCIA        | LIGHT GREY      |  |
| (C1) HARDI SIDING  | WHITE           |  |
| (C2) HARDI BRICKS  | DARK GREY       |  |
| (C3) HARDI SIDING  | COUNTRYLANE RED |  |
| (W) WINDOWS        | BLACK           |  |
| (D) DOORS          | BLACK           |  |
| (RD1) ROLL-UP DOOR | DARK GREY       |  |
| (RD2) ROLL-UP DOOR | WHITE           |  |

NOTE: COLUMNS FROM SHERWIN WILLIAMS UNLESS NOTED

AVERAGE EXISTING GRADE  
 $\frac{92.30M + 92.30M + 91.87M + 91.87M}{4} = 92.24M$

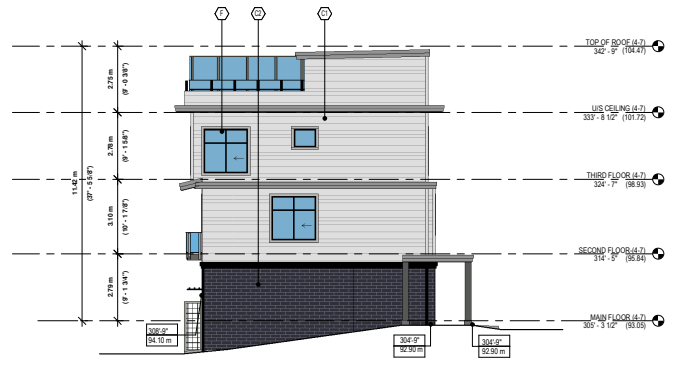
MAXIMUM BUILDING HEIGHT  
 $92.24M + 13M = 105.24M$



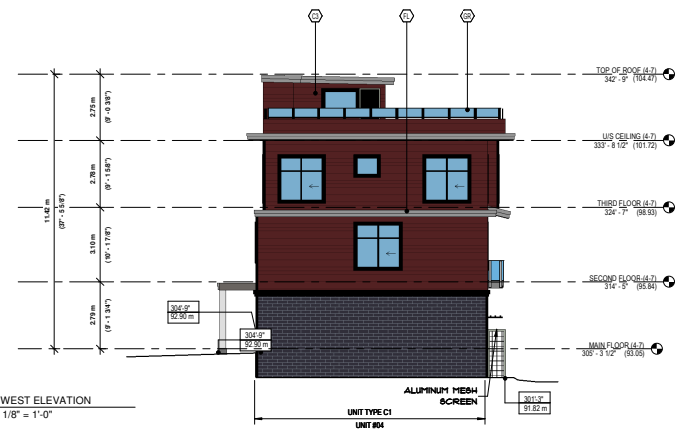
1 NORTH ELEVATION (PEDESTRIAN CORRIDOR)  
DP-6.21 1/8" = 1'-0"



2 SOUTH ELEVATION  
DP-6.21 1/8" = 1'-0"



3 EAST ELEVATION  
DP-6.21 1/8" = 1'-0"



4 WEST ELEVATION  
DP-6.21 1/8" = 1'-0"

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PROJECT  
**16651-19AVE TOWNHOUSES**  
 16620, 16648 & 16674-20 AVE, 1949-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE  
**BUILDING-02 (SITE-B)  
 ELEVATIONS (UNIT-C & C1)**

DRAWING SCALE  
**ISSUED FOR DP REVISION**

|                        |                         |             |                |
|------------------------|-------------------------|-------------|----------------|
| PROJECT NO.<br>722009  | PLAT DATE<br>11-04-2023 | DRAWN<br>SS | REVISION<br>CY |
| DRAWING NO.<br>DP-6.21 | SCALE<br>1/8" = 1'-0"   | REVIEWED    | 10             |

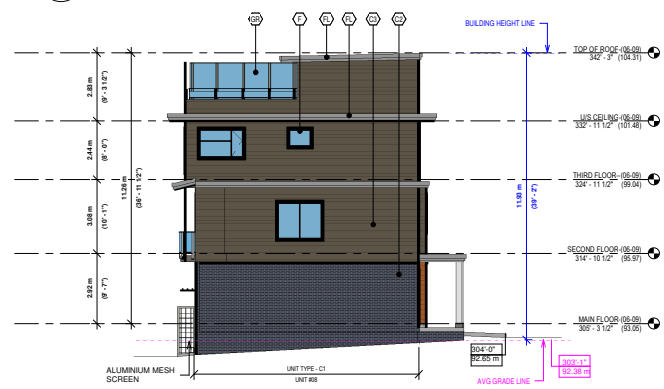




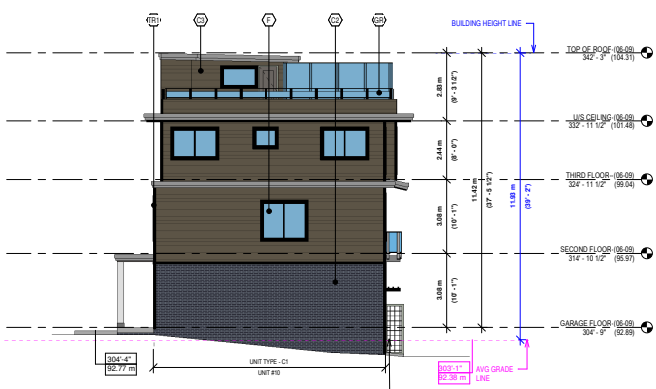
1 NORTH ELEVATION (PEDESTRIAN CORRIDOR)  
DP-6.31 1/8" = 1'-0"



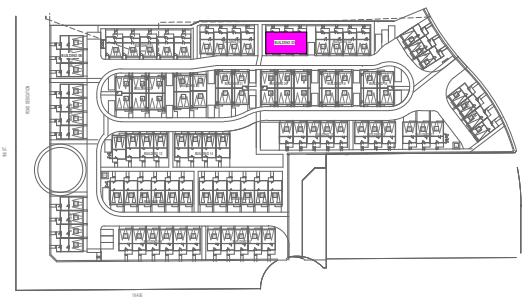
2 SOUTH ELEVATION  
DP-6.31 1/8" = 1'-0"



3 EAST ELEVATION  
DP-6.31 1/8" = 1'-0"



4 WEST ELEVATION  
DP-6.31 1/8" = 1'-0"



KEY PLAN

MATERIAL LEGEND :

| MATERIAL           | COLOR           |          |
|--------------------|-----------------|----------|
| (FL) FLASHING      | LIGHT GREY      | [Symbol] |
| (GR) RAILING       | RAILING         | [Symbol] |
| (TR) TRIM          | BLACK           | [Symbol] |
| (TRC) TRIM         | LIGHT GREY      | [Symbol] |
| (FA) FASCIA        | LIGHT GREY      | [Symbol] |
| (C1) HARDI SIDING  | WHITE           | [Symbol] |
| (C2) HARDI BRICKS  | DARK GREY       | [Symbol] |
| (C3) HARDI SIDING  | WOODSTOCK BROWN | [Symbol] |
| (F) WINDOWS        | BLACK           | [Symbol] |
| (D) DOORS          | BLACK           | [Symbol] |
| (RD1) ROLL-UP DOOR | DARK GREY       | [Symbol] |
| (RD2) ROLL-UP DOOR | WHITE           | [Symbol] |
| (RS) ROOF SHINGLE  | DARK GREY       | [Symbol] |

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

AVERAGE EXISTING GRADE  
 $92.91M + 92.91M + 91.89M + 91.86M = 92.38M$   
 MAXIMUM BUILDING HEIGHT  
 $92.38M + 13M = 105.38M$



MAY 24, 2022

| NO. | DATE       | REVISION                      |
|-----|------------|-------------------------------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9   | 2023-03-07 | ISSUED FOR DP REVISION        |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |
| 7   | 2022-12-09 | ISSUED FOR DP REVISION        |
| 6   | 2022-11-10 | ISSUED FOR DP REVISION        |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |
| 3   | 2021-12-03 | ISSUED FOR DP REVISION        |
| 2   | 2021-08-04 | ISSUED FOR DP REVISION        |
| 1   | 2022-02-04 | ISSUED FOR PRELIMINARY DESIGN |

REV: 10/11/2020 CD REVISION - DRAWING ISSUE REVIEW

CONSULTANT

FORMAT STAMP

SCALE

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PROJECT  
**16651-19 AVE TOWNHOUSES**  
 16620, 16648 & 16674-20 AVE, 1949-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

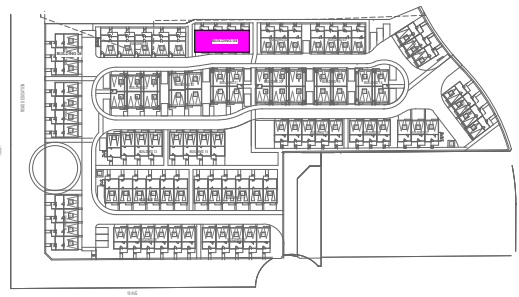
DRAWING TITLE  
**BUILDING-3 (SITE-B)  
 ELEVATIONS (UNIT-C & C1)**

DRAWING ISSUE  
**ISSUED FOR DP REVISION**

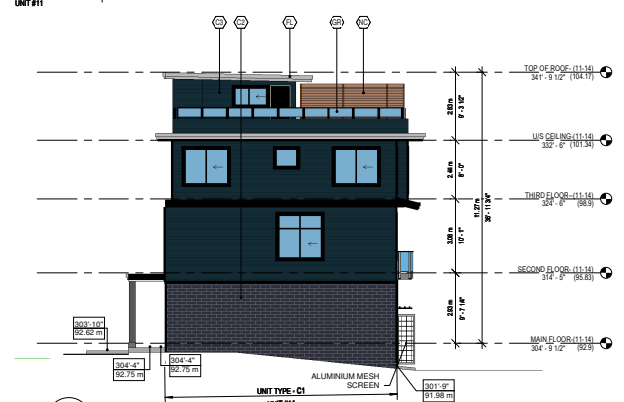
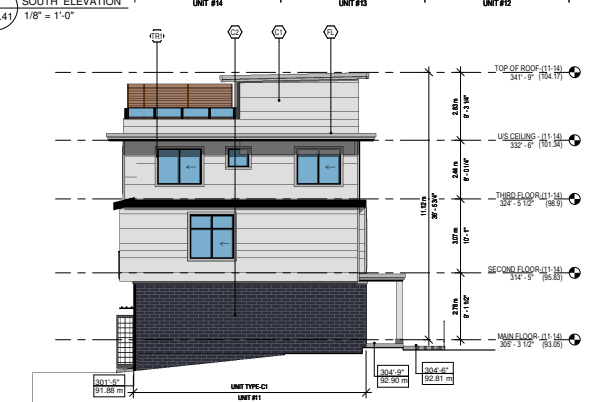
| PROJECT NO.    | PLLOT DATE     | DRAWN        | SS       |
|----------------|----------------|--------------|----------|
| Project Number | SCALE          | As indicated | REVIEWED |
| DRAWING NO.    | <b>DP-6.31</b> |              | 10       |



MAY 24, 2023



KEY PLAN



| AVERAGE EXISTING GRADE            |           |
|-----------------------------------|-----------|
| 92.75M + 92.50M + 91.86M + 92.90M | = 92.35M  |
| MAXIMUM BUILDING HEIGHT           |           |
| 92.35M + 13M                      | = 105.35M |

| MATERIAL LEGEND:    |               |  |
|---------------------|---------------|--|
| MATERIAL            | COLOR         |  |
| (FL) FLASHING       | LIGHT GREY    |  |
| (RA) RAILING        | RAILING       |  |
| (TR1) TRIM          | BLACK         |  |
| (TR2) TRIM          | LIGHT GREY    |  |
| (FA) FASCIA         | LIGHT GREY    |  |
| (C1) HARDI SIDING   | WHITE         |  |
| (C2) HARDI BRICKS   | DARK GREY     |  |
| (C3) HARDI SIDING   | EVENING BLUE  |  |
| (W) WINDOWS         | BLACK         |  |
| (D) DOORS           | BLACK         |  |
| (RD1) ROLL-UP DOOR  | DARK GREY     |  |
| (RD2) ROLL-UP DOOR  | WHITE         |  |
| (NS) PRIVACY SCREEN | NATURAL CEDER |  |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

|   |            |                               |              |
|---|------------|-------------------------------|--------------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |              |
| 9   | 2023-03-07 | ISSUED FOR DP REVISION        |              |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |              |
| 7   | 2022-12-09 | ISSUED FOR DP REVISION        |              |
| 6   | 2022-11-10 | ISSUED FOR DP REVISION        |              |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |              |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |              |
| 3   | 2022-12-03 | ISSUED FOR DP REVISION        |              |
| 2   | 2022-06-04 | ISSUED FOR DP REVISION        |              |
| 1   | 2022-02-04 | ISSUED FOR PRELIMINARY DESIGN |              |
| FILE: 16651-19AVE-03  |            | REVISION - DRAWING ISSUE      | REVIEW       |
| CONSULTANT  |            |                               |              |
| FORMIT STAMP  |            |                               |              |
| SCALE   |            |                               |              |
| PROJECT   |            |                               |              |
| 16651-19AVE TOWNHOUSES  |            |                               |              |
| 16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C |            |                               |              |
| DRAWING TITLE   |            |                               |              |
| BUILDING-04 (SITE-B)<br>ELEVATIONS (UNIT-C & C1)  |            |                               |              |
| DRAWING ISSUE   |            |                               |              |
| ISSUED FOR DP REVISION  |            |                               |              |
| PROJECT NO:   | 722009     | PLLOT DATE:                   | 11-04-2023   |
| DRAWING NO.:  | DP-6.41    | SCALE:                        | 1/8" = 1'-0" |
|   |            | DRAWN:                        | VS           |
|   |            | REVIEWED:                     | CY           |
|   |            |                               | 10           |



APR 11 2023

MATERIAL LEGEND :

| MATERIAL         | COLOR           |
|------------------|-----------------|
| FL FLASHING      | LIGHT GREY      |
| GR RAILING       | RAILING         |
| TR1 TRIM         | BLACK           |
| TR2 TRIM         | LIGHT GREY      |
| FA FASCIA        | LIGHT GREY      |
| C1 HARDI SIDING  | WHITE           |
| C2 HARDI BRICKS  | DARK GREY       |
| C3 HARDI SIDING  | COUNTRYLANE RED |
| C4 HARDI PANEL   | DARK GREY       |
| C5 HARDI SIDING  | GREY            |
| C7 HARDI SIDING  | GREY            |
| F WINDOWS        | BLACK           |
| D DOORS          | BLACK           |
| RD1 ROLL-UP DOOR | DARK GREY       |
| RD2 ROLL-UP DOOR | WHITE           |

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

AVERAGE EXISTING GARDE  
92.15 + 92.70 + 92.10 + 91.70 / 4 = 92.15M  
MAX BUILDING HEIGHT  
92.15 + 13 = 105.15M

| NO. | DATE       | ISSUED FOR                    | REVISION |
|-----|------------|-------------------------------|----------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |          |
| 9   | 2023-03-08 | ISSUED FOR DP REVISION        |          |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |          |
| 7   | 2022-11-20 | ISSUED FOR DP REVISION        |          |
| 6   | 2022-11-10 | ISSUED FOR DP REVISION        |          |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |          |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |          |
| 3   | 2021-12-03 | ISSUED FOR DP REVISION        |          |
| 2   | 2021-08-24 | ISSUED FOR DP REVISION        |          |
| 1   | 2022-02-04 | ISSUED FOR PRELIMINARY DESIGN |          |

DATE: 11/11/2022 09:00 AM:00 REVISION: DRAWING: ISSUE REVIEW

CONTRACTOR: REVIEW

FORMIT STAMP:

SCALE:

PROJECT:

16651-19 AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

DRAWING TITLE:

BUILDING- 05 (SITE-B)  
ELEVATIONS (UNIT - E)

DRAWING ISSUE:

ISSUED FOR DP REVISION

PROJECT NO: 722009

PLLOT DATE: 11-04-2023

SCALE: 1/8" = 1'-0"

REVISION: VS

DP-6.51

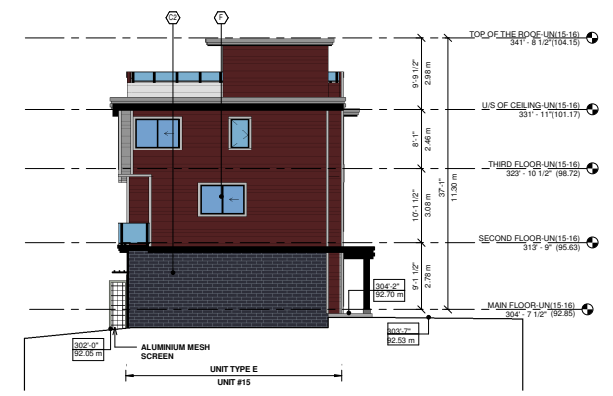
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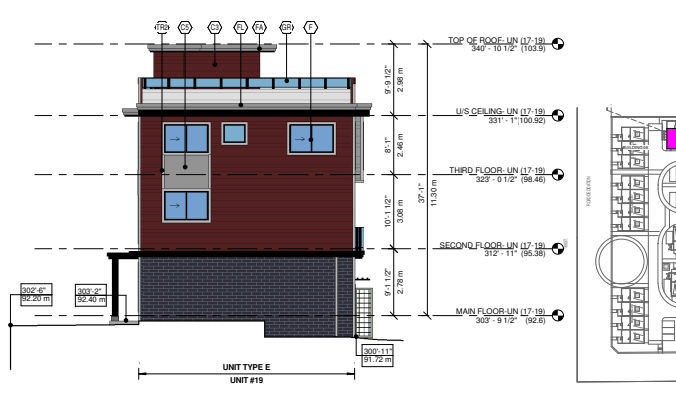
1 NORTH ELEVATION/PEDESTRIAN CORRIDOR  
DP-6.51 1/8" = 1'-0"



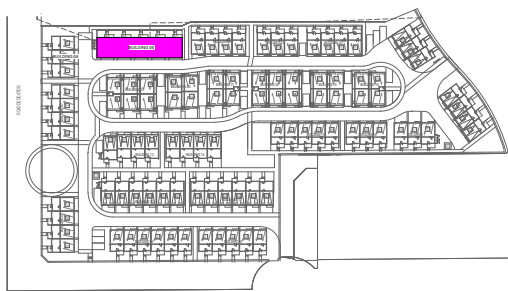
2 SOUTH ELEVATION  
DP-6.51 1/8" = 1'-0"



3 EAST ELEVATION  
DP-6.51 1/8" = 1'-0"



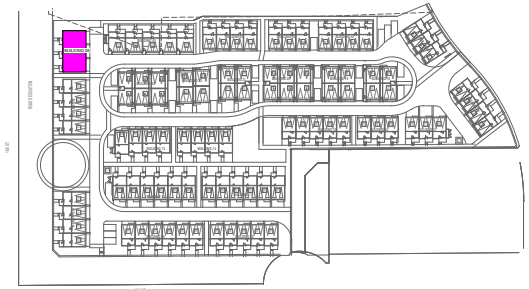
4 WEST ELEVATION  
DP-6.51 1/8" = 1'-0"



KEY PLAN



APR 11 2023



MATERIAL LEGEND:

| MATERIAL         | COLOR           |  |
|------------------|-----------------|--|
| FL FLASHING      | LIGHT GREY      |  |
| GR RAILING       | RAILING         |  |
| TR1 TRIM         | BLACK           |  |
| FA FASCIA        | LIGHT GREY      |  |
| C1 HARD SIDING   | WHITE           |  |
| C2 HARD BRICKS   | DARK GREY       |  |
| C3 HARD SIDING   | WOODSTOCK BROWN |  |
| C4 HARD SIDING   | WOODSTOCK BROWN |  |
| C5 HARD PANEL    | DARK GREY       |  |
| NC NATURAL CEDAR | CEDAR           |  |
| F WINDOWS        | BLACK           |  |
| D DOORS          | BLACK           |  |
| RD1 ROLL-UP DOOR | DARK GREY       |  |
| RD2 ROLL-UP DOOR | WHITE           |  |
| RS ROOF SHINGLE  | DARK GREY       |  |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

AVERAGE EXISTING GRADE  
 $91.10M + 91.91M + 91.39M + 90.41M = 91.19M$

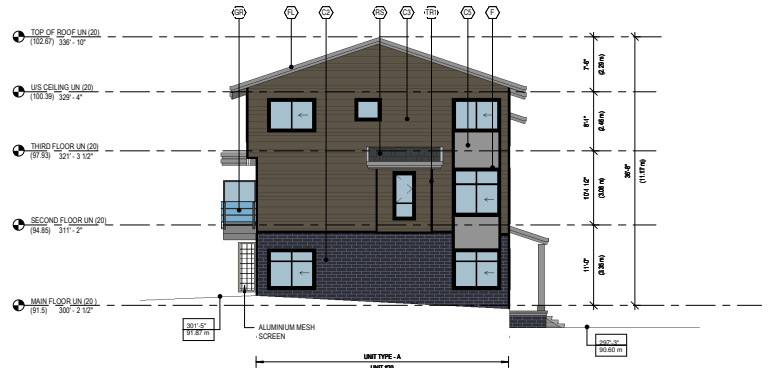
MAXIMUM BUILDING HEIGHT  
 $91.19M + 13M = 104.19M$



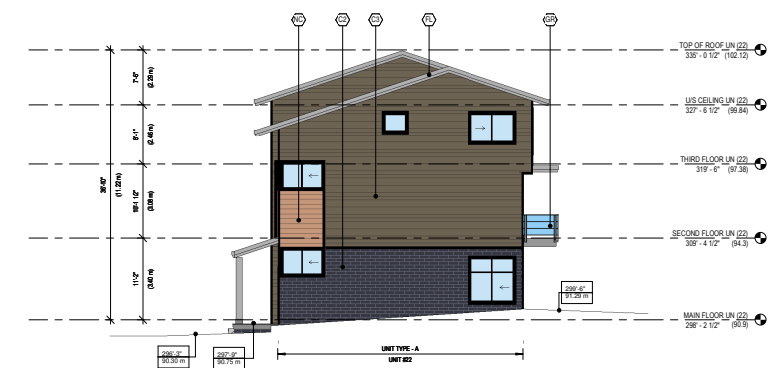
1 EAST ELEVATION  
DP-6.61 1/8" = 1'-0"



2 WEST ELEVATION (166 ST)  
DP-6.61 1/8" = 1'-0"



3 NORTH ELEVATION PEDESTRIAN (CORRIDOR)  
DP-6.61 1/8" = 1'-0"



4 SOUTH ELEVATION  
DP-6.61 1/8" = 1'-0"

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PROJECT  
**16651-19AVE TOWNHOUSES**  
16620, 16648 & 16674-20 AVE, 1949-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

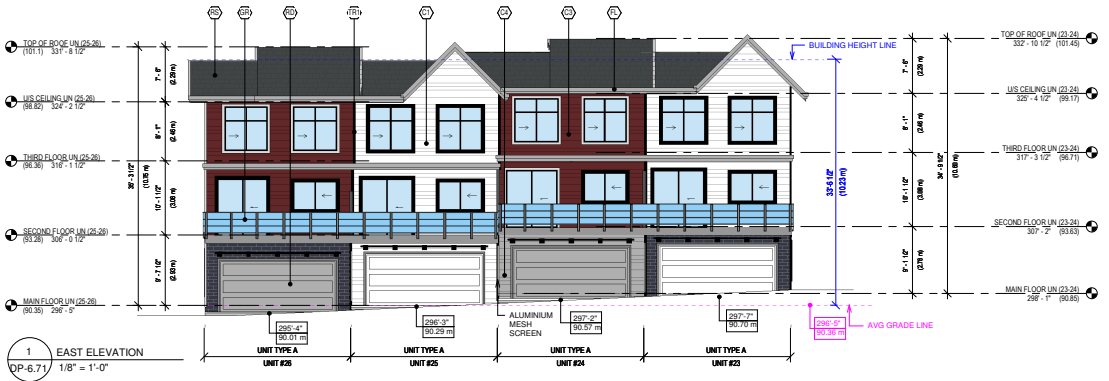
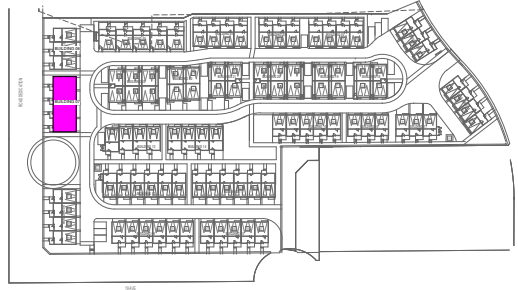
DRAWING TITLE  
**BUILDING- 6 (SITE-B)  
ELEVATIONS (UNIT-A)**

DRAWING ISSUE  
**ISSUED FOR DP REVISION**

|                        |                         |                |
|------------------------|-------------------------|----------------|
| PROJECT NO.<br>722009  | PLOT DATE<br>11-04-2023 | DRAWN<br>SS    |
| DRAWING NO.<br>DP-6.61 | SCALE<br>1/8" = 1'-0"   | REVISION<br>CY |
|                        |                         | 10             |



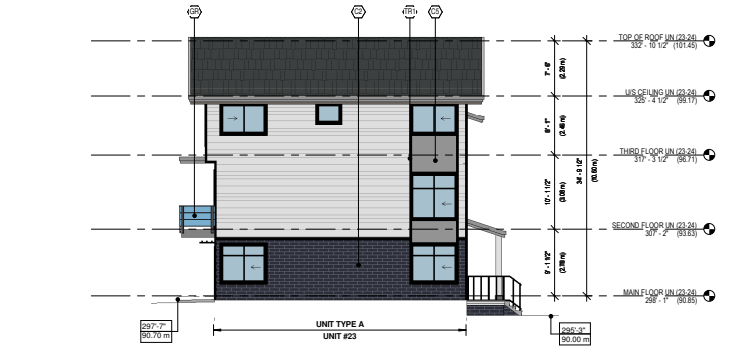
APR 11 2023



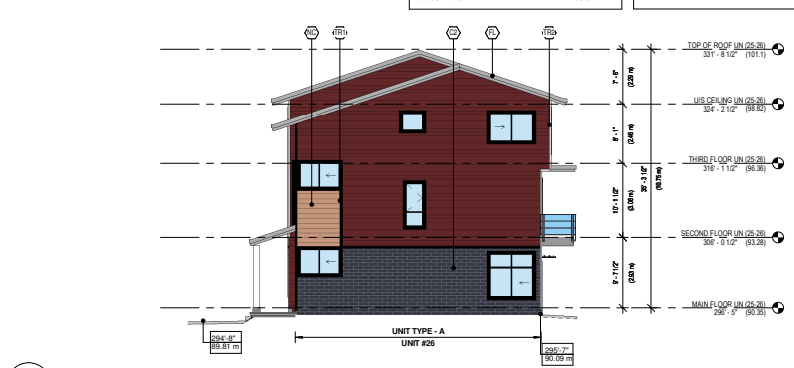
1 EAST ELEVATION  
DP-6.71 1/8" = 1'-0"



2 WEST ELEVATION (166 ST.)  
DP-6.71 1/8" = 1'-0"



3 NORTH ELEVATION  
DP-6.71 1/8" = 1'-0"



4 SOUTH ELEVATION  
DP-6.71 1/8" = 1'-0"

MATERIAL LEGEND :

| MATERIAL          | COLOR           |  |
|-------------------|-----------------|--|
| FL FLASHING       | LIGHT GREY      |  |
| GR RAILING        | RAILING         |  |
| TR1 TRIM          | BLACK           |  |
| TR2 TRIM          | LIGHT GREY      |  |
| FA FASCIA         | LIGHT GREY      |  |
| C1 HARD SIDING    | WHITE           |  |
| C2 HARD BRICKS    | DARK GREY       |  |
| C3 HARD SIDING    | COUNTRYLANE RED |  |
| C4 HARD SIDING    | DARK GREY       |  |
| C5 HARD PANEL     | DARK GREY       |  |
| NC NATURAL CEDAR  | CEDAR           |  |
| W WINDOWS         | BLACK           |  |
| P DOORS           | BLACK           |  |
| DD1H ROLL-UP DOOR | DARK GREY       |  |
| DD2H ROLL-UP DOOR | WHITE           |  |
| RS ROOF SHINGLE   | DARK GREY       |  |

AVERAGE EXISTING GRADE  
90.41M + 90.91M + 90.07M + 90.05M  
4  
= 90.36M  
MAXIMUM BUILDING HEIGHT  
90.36M + 13M  
= 103.36M

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

| NO | DATE       | ISSUED FOR                    | REVISION |
|----|------------|-------------------------------|----------|
| 10 | 2023-04-11 | ISSUED FOR DP REVISION        |          |
| 9  | 2023-03-28 | ISSUED FOR DP REVISION        |          |
| 8  | 2023-01-11 | ISSUED FOR DP REVISION        |          |
| 7  | 2023-12-08 | ISSUED FOR DP REVISION        |          |
| 6  | 2023-11-10 | ISSUED FOR DP REVISION        |          |
| 5  | 2022-09-24 | ISSUED FOR DP REVISION        |          |
| 4  | 2022-09-24 | ISSUED FOR DP REVISION        |          |
| 3  | 2021-12-03 | ISSUED FOR DP REVISION        |          |
| 2  | 2021-06-04 | ISSUED FOR DP REVISION        |          |
| 1  | 2020-02-08 | ISSUED FOR PRELIMINARY DESIGN |          |

DATE: 2023-04-11 REVISION: 00000000000000000000 REVIEW

CONSULTANT

FORMAT STAMP

SCALE

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PROJECT

16651-19AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1949-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE

BUILDING- 7 (SITE-B)  
ELEVATIONS (UNIT-A)

DRAWING SCALE

ISSUED FOR DP REVISION

| PROJECT NO. | PLAT DATE  | DRAWN        | SS       |
|-------------|------------|--------------|----------|
| 722009      | 11-04-2023 |              |          |
| DRAWING NO. | SCALE      | 1/8" = 1'-0" | REVIEWED |
|             |            |              | CY       |

| REVISION | NO |
|----------|----|
| DP-6.71  | 10 |

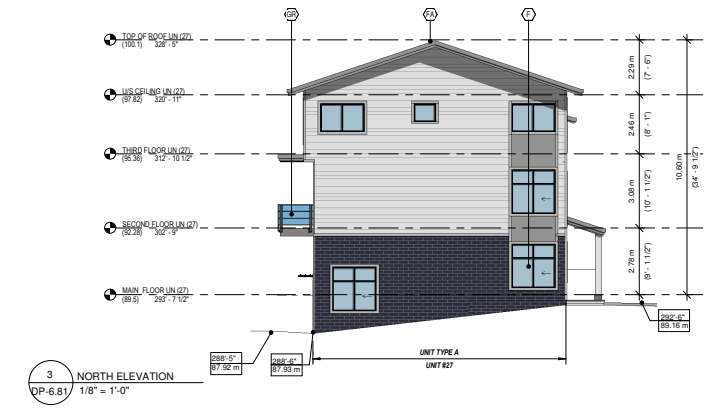


1 EAST ELEVATION  
DP-6.81 1/8" = 1'-0"

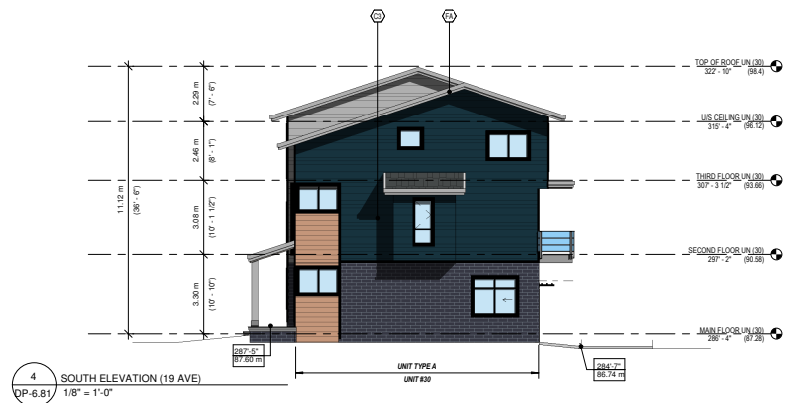
AVERAGE EXISTING GRADE  
 $\frac{86.94M + 87.92M + 89.45M + 86.94M}{4} = 87.81M$   
 MAXIMUM BUILDING HEIGHT  
 $87.81M + 13M = 100.81M$



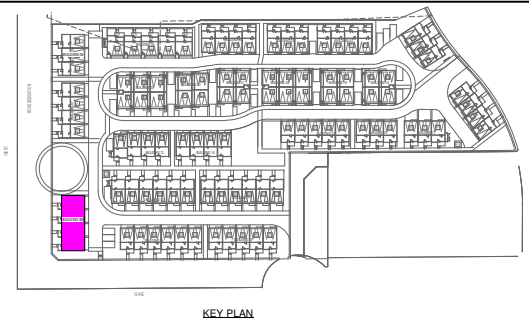
2 WEST ELEVATION (166 ST.)  
DP-6.81 1/8" = 1'-0"



3 NORTH ELEVATION  
DP-6.81 1/8" = 1'-0"



4 SOUTH ELEVATION (19 AVE)  
DP-6.81 1/8" = 1'-0"



KEY PLAN

MATERIAL LEGEND :

| MATERIAL             | COLOR        |  |
|----------------------|--------------|--|
| (FL) FLASHING        | LIGHT GREY   |  |
| (GR) RAILING         | RAILING      |  |
| (TR) TRIM            | BLACK        |  |
| (TR2) TRIM           | LIGHT GREY   |  |
| (FA) FASCIA          | LIGHT GREY   |  |
| (C1) HARDI SIDING    | WHITE        |  |
| (C2) HARDI BRICKS    | DARK GREY    |  |
| (C3) HARDI SIDING    | EVENING BLUE |  |
| (C4) HARDI SIDING    | DARK GREY    |  |
| (C5) HARDI PANEL     | DARK GREY    |  |
| (WC) 6" HARDI SIDING | CEDAR        |  |
| (F) WINDOWS          | BLACK        |  |
| (D) DOORS            | BLACK        |  |
| (RD) ROLL-UP DOOR    | DARK GREY    |  |
| (RD2) ROLL-UP DOOR   | WHITE        |  |
| (RS) ROOF SHINGLE    | DARK GREY    |  |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



Kasian Architecture  
Interior Design  
and Planning Ltd

1500 West Georgia Street, Suite 1005  
Vancouver, BC Canada V6G 2Z6  
T 604 683 4146 F 604 683 2627  
www.kasian.com



APR 11 2023

| NO | DATE       | DESCRIPTION                   | BY | CHKD |
|----|------------|-------------------------------|----|------|
| 10 | 2023-04-11 | ISSUED FOR DP REVISION        |    |      |
| 9  | 2023-03-08 | ISSUED FOR DP REVISION        |    |      |
| 8  | 2023-01-11 | ISSUED FOR DP REVISION        |    |      |
| 7  | 2023-12-08 | ISSUED FOR DP REVISION        |    |      |
| 6  | 2023-11-10 | ISSUED FOR DP REVISION        |    |      |
| 5  | 2022-09-24 | ISSUED FOR DP REVISION        |    |      |
| 4  | 2022-09-24 | ISSUED FOR DP REVISION        |    |      |
| 3  | 2021-12-03 | ISSUED FOR DP REVISION        |    |      |
| 2  | 2021-08-04 | ISSUED FOR DP REVISION        |    |      |
| 1  | 2020-02-08 | ISSUED FOR PRELIMINARY DESIGN |    |      |

DATE: 2023-03-08 REVISION: 03-08-2023 REVIEW

CONSULTANT: TERRY KEMPO REVISION: 03-08-2023 REVIEW

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PROJECT

16651-19 AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1949-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

DRAWING TITLE

BUILDING- 8 (SITE-B)  
ELEVATIONS (UNIT-A)

DRAWING SCALE

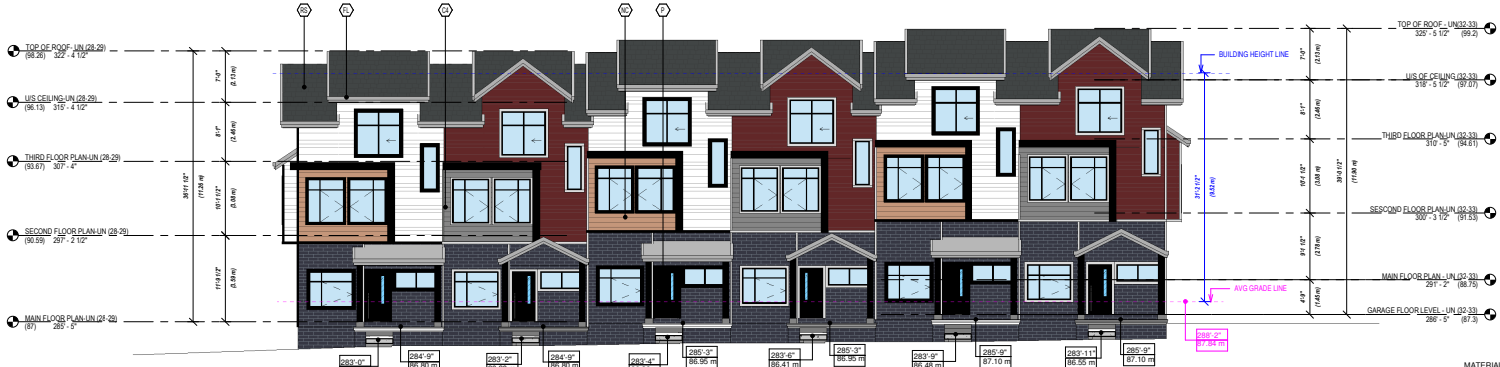
ISSUED FOR DP REVISION

| PROJECT NO. | PLAT DATE                | DRAWN    | SS |
|-------------|--------------------------|----------|----|
| 722009      | 11-04-2023               |          |    |
| DRAWING NO. | SCALE                    | REVISION | CY |
|             | 20:57:15<br>1/8" = 1'-0" |          |    |

DP-6.81 10



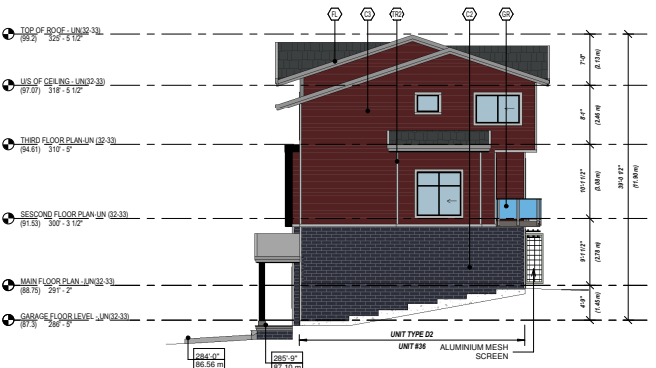
APR 1 2023



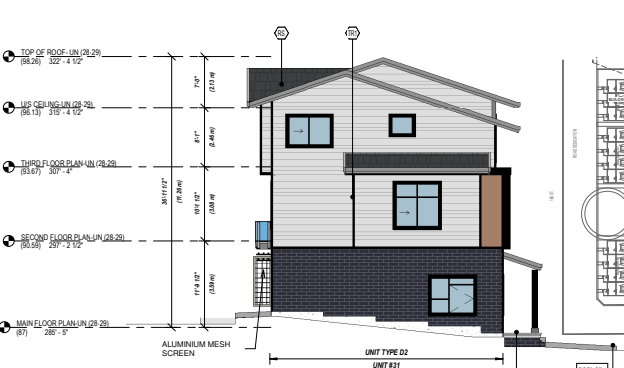
1 SOUTH ELEVATION (19TH AVENUE)  
DP-6.91 1/8" = 1'-0"



2 NORTH ELEVATION  
DP-6.91 1/8" = 1'-0"



3 EAST ELEVATION  
DP-6.91 1/8" = 1'-0"



4 WEST ELEVATION  
DP-6.91 1/8" = 1'-0"

**AVERAGE EXISTING GRADE**

$$\frac{87.90M + 87.21M + 87.15M + 89.10M}{4} = 87.84M$$

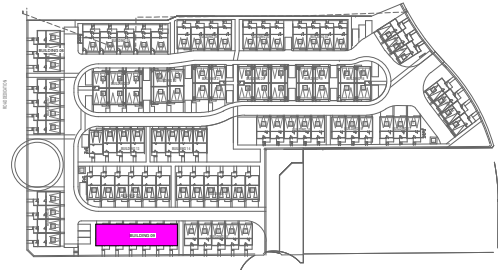
**MAXIMUM BUILDING HEIGHT**

$$87.84M + 13M = 100.84M$$

**MATERIAL LEGEND :**

| MATERIAL         | COLOR           |
|------------------|-----------------|
| FL FLASHING      | LIGHT GREY      |
| GR RAILING       | RAILING         |
| TR1 TRIM         | BLACK           |
| TR2 TRIM         | LIGHT GREY      |
| FA FASCIA        | LIGHT GREY      |
| C1 HARDI SIDING  | WHITE           |
| C2 HARDI BRICKS  | DARK GREY       |
| C3 HARDI SIDING  | COUNTRYLANE RED |
| C4 HARDI SIDING  | DARK GREY       |
| C5 HARDI PANEL   | DARK GREY       |
| NC NATURAL CEDAR | CEDAR           |
| E WINDOWS        | BLACK           |
| P DOORS          | BLACK           |
| RD1 ROLL-UP DOOR | DARK GREY       |
| RD2 ROLL-UP DOOR | WHITE           |
| RS ROOF SHINGLE  | DARK GREY       |

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



**16651-19AVE TOWNHOUSES**

16620, 16648 & 16674-20 AVE, 1949-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

**BUILDING-9 (SITE-B)  
ELEVATIONS (UNIT-D2 & D3)**

ISSUED FOR DP REVISION

|             |            |              |          |
|-------------|------------|--------------|----------|
| PROJECT NO. | 11-04-2023 | DRAWN        | SS       |
| 722009      | SCALE      | 20:49:36     | REVIEWED |
|             |            | 1/8" = 1'-0" | CY       |

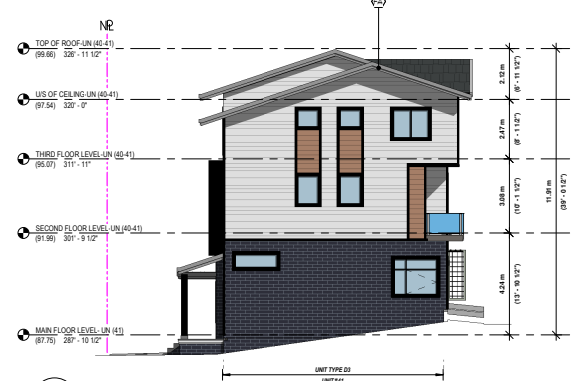
DP-6.91 10



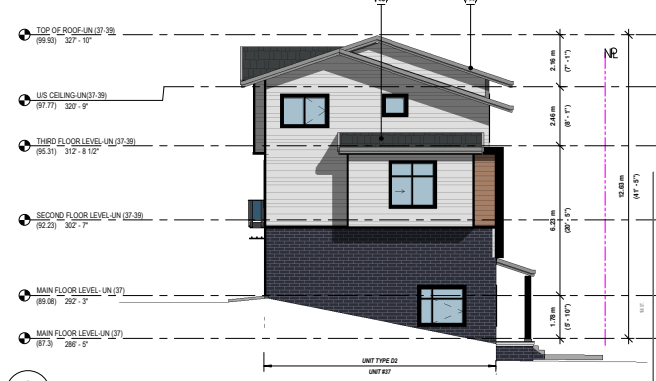
1 SOUTH ELEVATION (19TH AVENUE)  
DP-6.10 1/8" = 1'-0"



2 NORTH ELEVATION  
DP-6.10 1/8" = 1'-0"



3 EAST ELEVATION  
DP-6.10 1/8" = 1'-0"



4 WEST ELEVATION  
DP-6.10 1/8" = 1'-0"

MATERIAL LEGEND :

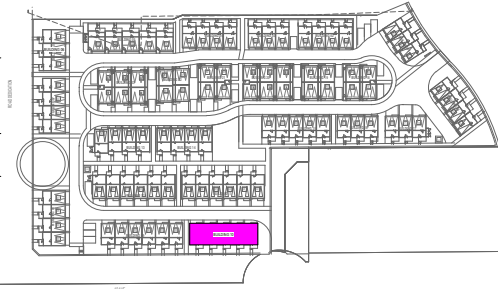
| MATERIAL          | COLOR        |
|-------------------|--------------|
| FL FLASHING       | LIGHT GREY   |
| RAILING           | RAILING      |
| TR1 TRIM          | BLACK        |
| TR2 TRIM          | LIGHT GREY   |
| FA FASCIA         | LIGHT GREY   |
| C1 HARD SIDING    | WHITE        |
| C2 HARD BRICKS    | DARK GREY    |
| C3 HARD SIDING    | EVENING BLUE |
| C4 HARD SIDING    | DARK GREY    |
| WD 6" HARD SIDING | CEDAR        |
| W WINDOWS         | BLACK        |
| D DOORS           | BLACK        |
| DD1 ROLL-UP DOOR  | DARK GREY    |
| DD2 ROLL-UP DOOR  | WHITE        |
| RS ROOF SHINGLE   | DARK GREY    |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED.

AVERAGE EXISTING GRADE

$$\frac{89.04 + 87.15 + 88.35 + 87.10}{4} = 87.91M$$

MAXIMUM BUILDING HEIGHT

$$87.91M + 1.3M = 100.91M$$


KEY PLAN



Kasian Architecture  
Interior Design  
and Planning Ltd



APR 11 2023

| NO | DATE       | ISSUED FOR                    | REVISION |
|----|------------|-------------------------------|----------|
| 10 | 2023-04-11 | ISSUED FOR DP REVISION        |          |
| 9  | 2023-03-09 | ISSUED FOR DP REVISION        |          |
| 8  | 2023-01-11 | ISSUED FOR DP REVISION        |          |
| 7  | 2023-12-08 | ISSUED FOR DP REVISION        |          |
| 6  | 2023-11-10 | ISSUED FOR DP REVISION        |          |
| 5  | 2022-09-24 | ISSUED FOR DP REVISION        |          |
| 4  | 2022-09-24 | ISSUED FOR DP REVISION        |          |
| 3  | 2021-12-03 | ISSUED FOR DP REVISION        |          |
| 2  | 2021-10-04 | ISSUED FOR DP REVISION        |          |
| 1  | 2020-03-08 | ISSUED FOR PRELIMINARY DESIGN |          |

| CONSULTANT | REVISION/ORDINATE SCALE | REVIEW |
|------------|-------------------------|--------|
|            |                         |        |

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PROJECT

**16651-19AVE TOWNHOUSES**

16620, 16648 & 16674-20 AVE, 1949-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE

**BUILDING-10 (SITE-B)  
ELEVATIONS (UNIT-D2 & D3)**

DRAWING ISSUE

**ISSUED FOR DP REVISION**

| PROJECT NO. | PLAT DATE  | DRAWN    | SS       |
|-------------|------------|----------|----------|
| 722009      | 11-04-2023 | 20:59:52 | REVIEWED |

DRAWING NO. **DP-6.101** REVISION **10**





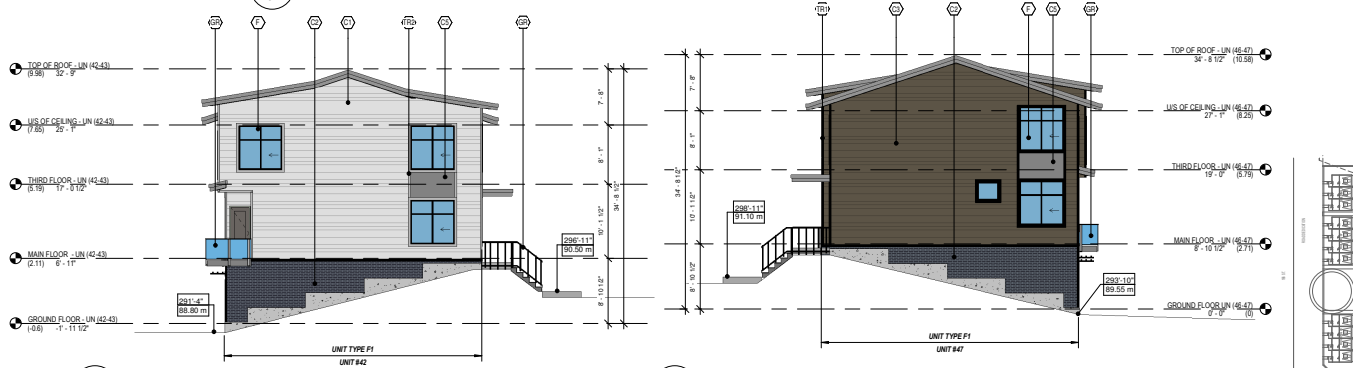
APR 11 2023



1 NORTH ELEVATION  
RP-6.111 1/8" = 1'-0"



2 SOUTH ELEVATION  
RP-6.111 1/8" = 1'-0"



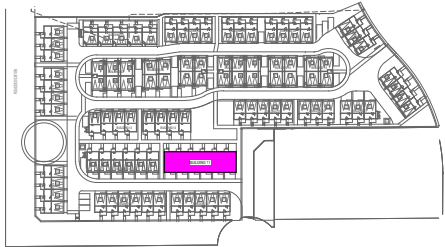
3 EAST ELEVATION  
RP-6.111 1/8" = 1'-0"

4 WEST ELEVATION  
RP-6.111 1/8" = 1'-0"

MATERIAL LEGEND :

| MATERIAL          | COLOR           |
|-------------------|-----------------|
| FL FLASHING       | LIGHT GREY      |
| GR RAILING        | RAILING         |
| TR1 TRIM          | BLACK           |
| TR2 TRIM          | LIGHT GREY      |
| FA FASCIA         | LIGHT GREY      |
| C1 HARDI SIDING   | WHITE           |
| C2 HARDI BRICKS   | DARK GREY       |
| C3 HARDI SIDING   | WOODSTOCK BROWN |
| C4 HARDI SIDING   | DARK GREY       |
| C5 HARDI PANEL    | DARK GREY       |
| F WINDOWS         | BLACK           |
| P DOORS           | BLACK           |
| RD1+ ROLL-UP DOOR | DARK GREY       |
| RD2+ ROLL-UP DOOR | WHITE           |
| RS ROOF SHINGLE   | DARK GREY       |

NOTE :  
COLOURS FROM SHERWIN WILLIAMS  
UNLESS NOTED



KEY PLAN

| NO. | DATE       | DESCRIPTION                   | BY | CHKD. |
|-----|------------|-------------------------------|----|-------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |    |       |
| 9   | 2023-03-09 | ISSUED FOR DP REVISION        |    |       |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |    |       |
| 7   | 2022-12-09 | ISSUED FOR DP REVISION        |    |       |
| 6   | 2022-11-10 | ISSUED FOR DP REVISION        |    |       |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |    |       |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |    |       |
| 3   | 2021-12-08 | ISSUED FOR DP REVISION        |    |       |
| 2   | 2021-06-04 | ISSUED FOR DP REVISION        |    |       |
| 1   | 2022-02-28 | ISSUED FOR PRELIMINARY DESIGN |    |       |

FILE: 16651-19AVE-03 REV: 000 - REVISION - DRAWING ISSUE REVIEW

CONSULTANT

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PROJECT

16651-19AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE

BUILDING-11 (SITE-B)  
ELEVATIONS (UNIT-F1)

DRAWING ISSUE

ISSUED FOR DP REVISION

| PROJECT NO. | PLLOT DATE | DRAWN    | Author |
|-------------|------------|----------|--------|
| 722009      | 11-04-2023 | 20:38:55 |        |

SCALE 1/8" = 1'-0"

REVIEWED

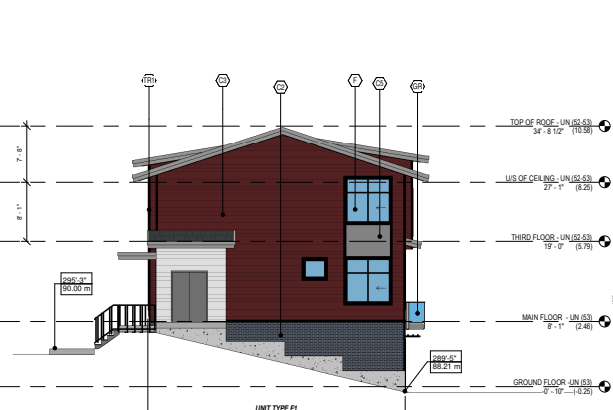
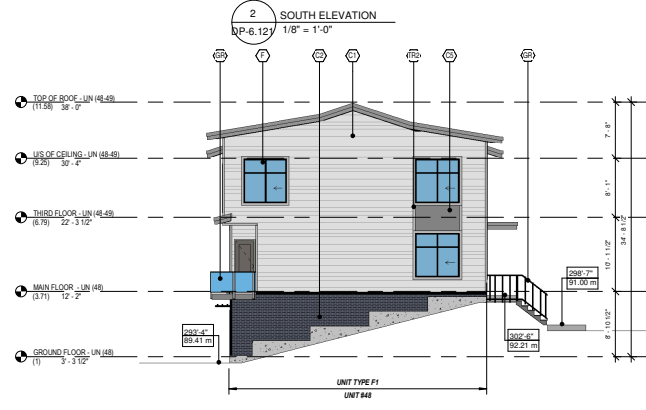
REVISION

10

DP-6.111



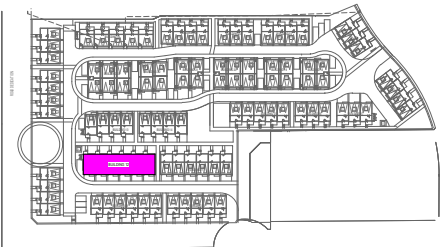
APR 11 2023



MATERIAL LEGEND :

| MATERIAL          | COLOR            |
|-------------------|------------------|
| FL FLASHING       | LIGHT GREY       |
| GR RAILING        | RAILING          |
| TRM TRIM          | BLACK            |
| TRD TRIM          | LIGHT GREY       |
| FA FASCIA         | LIGHT GREY       |
| C1 HARDI SIDING   | WHITE            |
| C2 HARDI BRICKS   | DARK GREY        |
| C3 HARDI SIDING   | COUNTRYPLANE RED |
| C4 HARDI SIDING   | DARK GREY        |
| C5 HARDI PANEL    | DARK GREY        |
| F WINDOWS         | BLACK            |
| P DOORS           | BLACK            |
| RD1+ ROLL-UP DOOR | DARK GREY        |
| RD2+ ROLL-UP DOOR | WHITE            |
| RS ROOF SHINGLE   | DARK GREY        |

NOTE :  
COLOURS FROM SHERWIN WILLIAMS  
UNLESS NOTED



| NO. | DATE       | DESCRIPTION                   | BY | CHKD. | REVIEW |
|-----|------------|-------------------------------|----|-------|--------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |    |       |        |
| 9   | 2023-03-08 | ISSUED FOR DP REVISION        |    |       |        |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |    |       |        |
| 7   | 2023-12-09 | ISSUED FOR DP REVISION        |    |       |        |
| 6   | 2023-11-10 | ISSUED FOR DP REVISION        |    |       |        |
| 5   | 2023-09-24 | ISSUED FOR DP REVISION        |    |       |        |
| 4   | 2023-09-24 | ISSUED FOR DP REVISION        |    |       |        |
| 3   | 2023-12-09 | ISSUED FOR DP REVISION        |    |       |        |
| 2   | 2023-04-11 | ISSUED FOR PRELIMINARY DESIGN |    |       |        |
| 1   | 2023-02-08 | ISSUED FOR PRELIMINARY DESIGN |    |       |        |

CONTRACT

| NO. | DATE       | DESCRIPTION                   | BY | CHKD. | REVIEW |
|-----|------------|-------------------------------|----|-------|--------|
| 1   | 2023-04-11 | ISSUED FOR PRELIMINARY DESIGN |    |       |        |
| 2   | 2023-02-08 | ISSUED FOR PRELIMINARY DESIGN |    |       |        |

FORMAT STAMP

| NO. | DATE       | DESCRIPTION                   | BY | CHKD. | REVIEW |
|-----|------------|-------------------------------|----|-------|--------|
| 1   | 2023-04-11 | ISSUED FOR PRELIMINARY DESIGN |    |       |        |
| 2   | 2023-02-08 | ISSUED FOR PRELIMINARY DESIGN |    |       |        |

SCALE

| NO. | DATE       | DESCRIPTION                   | BY | CHKD. | REVIEW |
|-----|------------|-------------------------------|----|-------|--------|
| 1   | 2023-04-11 | ISSUED FOR PRELIMINARY DESIGN |    |       |        |
| 2   | 2023-02-08 | ISSUED FOR PRELIMINARY DESIGN |    |       |        |

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16651-19 AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

BUILDING-12 (SITE-B)  
ELEVATIONS (UNIT-F1)

ISSUED FOR DP REVISION

| PROJECT NO. | 11-04-2023 | SCALE        | 20:34:54 | REVISION | 10 |
|-------------|------------|--------------|----------|----------|----|
| 722009      |            | 1/8" = 1'-0" |          |          |    |

DP-6.121



APR 11 2023

| NO. | DATE       | DESCRIPTION            | BY | CHKD. |
|-----|------------|------------------------|----|-------|
| 1   | 2022-02-08 | ISSUED FOR DP REVISION |    |       |
| 2   | 2022-02-08 | ISSUED FOR DP REVISION |    |       |
| 3   | 2022-02-08 | ISSUED FOR DP REVISION |    |       |
| 4   | 2022-02-08 | ISSUED FOR DP REVISION |    |       |
| 5   | 2022-02-08 | ISSUED FOR DP REVISION |    |       |
| 6   | 2022-02-08 | ISSUED FOR DP REVISION |    |       |
| 7   | 2022-02-08 | ISSUED FOR DP REVISION |    |       |
| 8   | 2022-02-08 | ISSUED FOR DP REVISION |    |       |
| 9   | 2022-02-08 | ISSUED FOR DP REVISION |    |       |
| 10  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 11  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 12  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 13  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 14  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 15  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 16  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 17  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 18  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 19  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 20  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |

REVISED FOR PRELIMINARY DESIGN

DATE: 11/07/2022

REVISION: DRAWING ISSUE

CONSULTANT

FORMIT STAMP

SCALE

PROJECT

16651-19AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1949-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE

BUILDING-13 (SITE-B) ELEVATIONS (UNIT-F)

DRAWING ISSUE

ISSUED FOR DP REVISION

PROJECT NO: 722009

PLLOT DATE: 11-04-2023

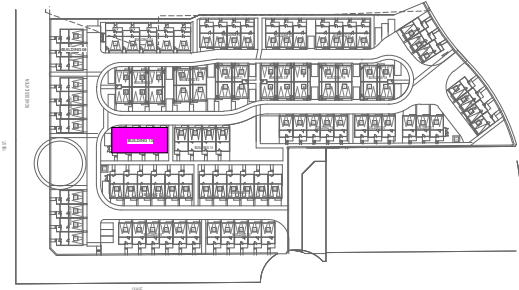
SCALE: 20:26:45

DRAWN: 1/8" = 1'-0"

REVIEWED: Author

DRAWING NO: DP-6.131

REVISION: 10



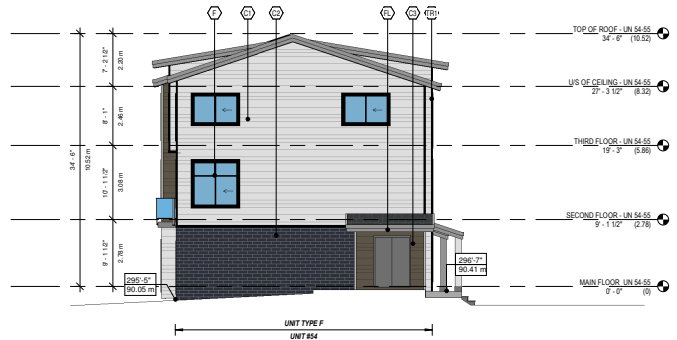
KEY PLAN



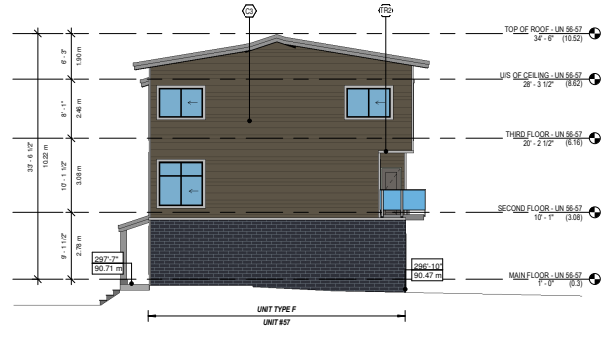
1 SOUTH ELEVATION  
DP-6.131 / 1/8" = 1'-0"



2 NORTH ELEVATION  
DP-6.131 / 1/8" = 1'-0"



3 WEST ELEVATION  
DP-6.131 / 1/8" = 1'-0"



4 EAST ELEVATION  
DP-6.131 / 1/8" = 1'-0"

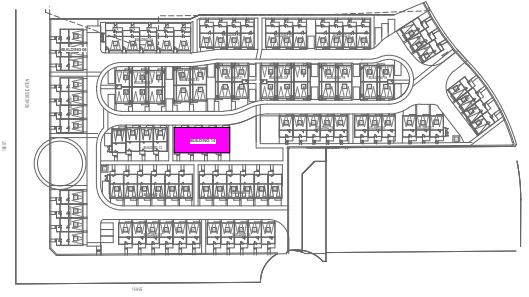
| AVERAGE EXISTING GRADE            |           |
|-----------------------------------|-----------|
| 90.03M + 90.17M + 91.24M + 90.50M | = 90.48M  |
| MAXIMUM BUILDING HEIGHT           |           |
| 90.48M + 13M                      | = 103.48M |

| MATERIAL LEGEND : |                 |  |
|-------------------|-----------------|--|
| MATERIAL          | COLOR           |  |
| FL FLASHING       | LIGHT GREY      |  |
| RAILING           | RAILING         |  |
| TRIM              | BLACK           |  |
| TRIM              | LIGHT GREY      |  |
| FASCIA            | LIGHT GREY      |  |
| HARDI SIDING      | WHITE           |  |
| HARDI BRICKS      | DARK GREY       |  |
| HARDI SIDING      | WOODSTOCK BROWN |  |
| WINDOWS           | BLACK           |  |
| DOORS             | BLACK           |  |
| ROLL-UP DOOR      | DARK GREY       |  |
| ROLL-UP DOOR      | WHITE           |  |
| ROOF SHINGLE      | DARK GREY       |  |

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



APR 11 2023



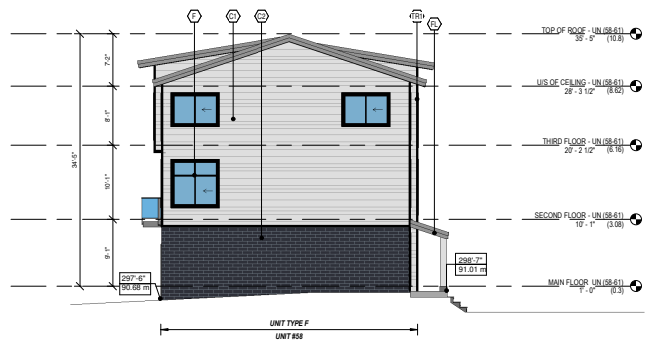
KEY PLAN



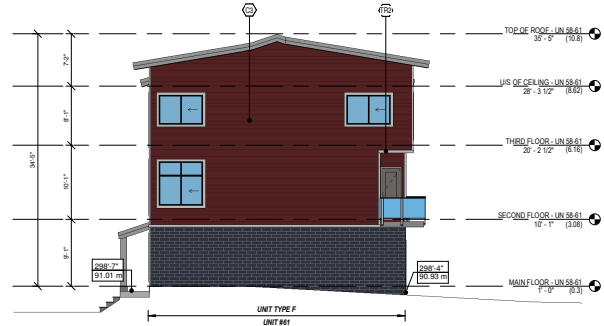
1 SOUTH ELEVATION  
DP-6.141 1/8" = 1'-0"



2 NORTH ELEVATION  
DP-6.141 1/8" = 1'-0"



3 WEST ELEVATION  
DP-6.141 1/8" = 1'-0"



4 EAST ELEVATION  
DP-6.141 1/8" = 1'-0"

| AVERAGE EXISTING GRADE            |           |
|-----------------------------------|-----------|
| 91.24M + 90.91M + 90.40M + 90.50M | = 90.76M  |
| MAXIMUM BUILDING HEIGHT           |           |
| 90.76M + 13M                      | = 103.76M |

| MATERIAL LEGEND : |                 |  |
|-------------------|-----------------|--|
| MATERIAL          | COLOR           |  |
| FL FLASHING       | LIGHT GREY      |  |
| RAILING           | RAILING         |  |
| TRIM              | BLACK           |  |
| TRIM              | LIGHT GREY      |  |
| FASCIA            | LIGHT GREY      |  |
| HARDI SIDING      | WHITE           |  |
| HARDI BRICKS      | DARK GREY       |  |
| HARDI SIDING      | COUNTRYLANE RED |  |
| HARDI SIDING      | COUNTRYLANE RED |  |
| WINDOWS           | BLACK           |  |
| DOORS             | BLACK           |  |
| ROLL-UP DOOR      | DARK GREY       |  |
| ROLL-UP DOOR      | WHITE           |  |
| ROOF SHINGLE      | DARK GREY       |  |

NOTE : COLOURS FROM SHERWIN WILLIAMS  
UNLESS NOTED

| NO. | DATE       | ISSUED FOR                    | REVISION / DRAWING ISSUE | REVIEW |
|-----|------------|-------------------------------|--------------------------|--------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |                          |        |
| 9   | 2023-03-09 | ISSUED FOR DP REVISION        |                          |        |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |                          |        |
| 7   | 2022-12-09 | ISSUED FOR DP REVISION        |                          |        |
| 6   | 2022-11-10 | ISSUED FOR DP REVISION        |                          |        |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |                          |        |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |                          |        |
| 3   | 2022-12-09 | ISSUED FOR DP REVISION        |                          |        |
| 2   | 2022-06-04 | ISSUED FOR DP REVISION        |                          |        |
| 1   | 2022-02-28 | ISSUED FOR PRELIMINARY DESIGN |                          |        |

| NO. | DATE       | ISSUED FOR                    | REVISION / DRAWING ISSUE | REVIEW |
|-----|------------|-------------------------------|--------------------------|--------|
| 1   | 2022-02-28 | ISSUED FOR PRELIMINARY DESIGN |                          |        |

| CONSULTANT | REVISION / DRAWING ISSUE | REVIEW |
|------------|--------------------------|--------|
|            |                          |        |

FORMIT STAMP

SCALE

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PROJECT  
**16651-19 AVE TOWNHOUSES**  
16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

DRAWING TITLE  
**BUILDING-14 (SITE-B)  
ELEVATIONS (UNIT-F)**

DRAWING ISSUE  
**ISSUED FOR DP REVISION**

| PROJECT NO. | PLT DATE   | DRAWN    | Author |
|-------------|------------|----------|--------|
| 722009      | 11-04-2023 | 20:28:50 |        |

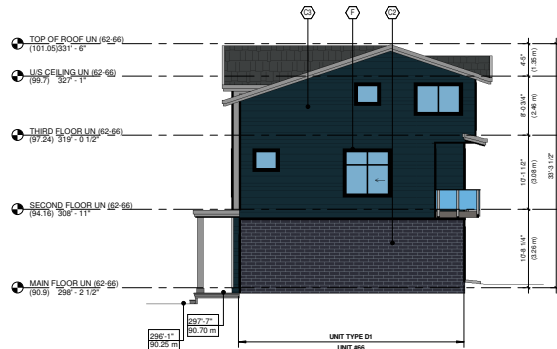
| DRAWING NO. | SCALE        | REVIEWED | Checker |
|-------------|--------------|----------|---------|
| DP-6.141    | 1/8" = 1'-0" |          |         |



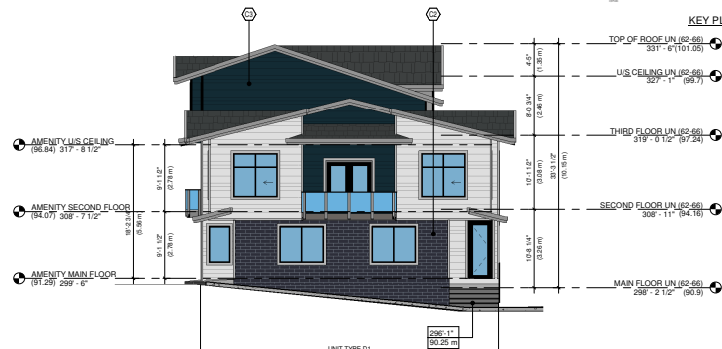
1 SOUTH ELEVATION  
DP-6.15 1/8" = 1'-0"



2 NORTH ELEVATION  
DP-6.15 1/8" = 1'-0"



3 EAST ELEVATION  
DP-6.15 1/8" = 1'-0"



4 WEST ELEVATION  
DP-6.15 1/8" = 1'-0"

**MATERIAL LEGEND :**

| MATERIAL     | COLOR        |
|--------------|--------------|
| FL FLASHING  | LIGHT GREY   |
| RAILING      | RAILING      |
| TRIM         | BLACK        |
| TRIM         | LIGHT GREY   |
| FASCIA       | LIGHT GREY   |
| HARDI SIDING | WHITE        |
| HARDI BRICKS | DARK GREY    |
| HARDI SIDING | EVENING BLUE |
| HARDI SIDING | DARK GREY    |
| HARDI PANEL  | DARK GREY    |
| WINDOWS      | BLACK        |
| DOORS        | BLACK        |
| ROLL-UP DOOR | DARK GREY    |
| ROLL-UP DOOR | WHITE        |
| ROOF SHINGLE | DARK GREY    |

**NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED**



**KEY PLAN**

**AVERAGE EXISTING GRADE**

$$\frac{91.24M + 91.24M + 90.10M + 90.25M}{4} = 90.70M$$

**MAXIMUM BUILDING HEIGHT**

$$90.70M + 15M = 105.70M$$

**Kasian Architecture**  
Interior Design  
and Planning Ltd

1500 West Georgia Street, Suite 1605  
Vancouver, BC Canada V6G 2G2  
T 604 683 4146 F 604 683 2627  
www.kasian.com

APR 11 2023

| NO. | DATE       | DESCRIPTION                   | BY | CHKD. | REVISED |
|-----|------------|-------------------------------|----|-------|---------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |    |       |         |
| 9   | 2023-03-08 | ISSUED FOR DP REVISION        |    |       |         |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |    |       |         |
| 7   | 2022-12-09 | ISSUED FOR DP REVISION        |    |       |         |
| 6   | 2022-11-10 | ISSUED FOR DP REVISION        |    |       |         |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |    |       |         |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |    |       |         |
| 3   | 2021-12-03 | ISSUED FOR DP REVISION        |    |       |         |
| 2   | 2021-08-04 | ISSUED FOR DP REVISION        |    |       |         |
| 1   | 2022-02-04 | ISSUED FOR PRELIMINARY DESIGN |    |       |         |

FILE: 16651-19AVE.DWG REVISION: DRAWING ISSUE REVIEW

CONSULTANT

FORMIT STAMP

SCALE

PROJECT: 16651-19AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE: BUILDING-15 (SITE-B) ELEVATIONS (UNIT-D & D1)

DRAWING ISSUE: ISSUED FOR DP REVISION

|              |                     |           |    |
|--------------|---------------------|-----------|----|
| PROJECT NO:  | 11-04-2023          | DRAWN:    | SS |
| 722009       | SCALE: 1/8" = 1'-0" | REVIEWED: | CY |
| DRAWING NO.: | DP-6.15             | REVISION: | 10 |



APR 11 2023

MATERIAL LEGEND:

| MATERIAL          | COLOR           |  |
|-------------------|-----------------|--|
| (FL) FLASHING     | LIGHT GREY      |  |
| (GR) RAILING      | RAILING         |  |
| (TR) TRIM         | BLACK           |  |
| (TR2) TRIM        | LIGHT GREY      |  |
| (FA) FASCIA       | LIGHT GREY      |  |
| (CS) HARDI SIDING | WHITE           |  |
| (CB) HARDI BRICKS | DARK GREY       |  |
| (CC) HARDI SIDING | WOODSTOCK BROWN |  |
| (CA) HARDI PANEL  | DARK GREY       |  |
| (F) WINDOWS       | BLACK           |  |
| (D) DOORS         | BLACK           |  |
| (RD) ROLL-UP DOOR | DARK GREY       |  |
| (RS) ROOF SHINGLE | DARK GREY       |  |

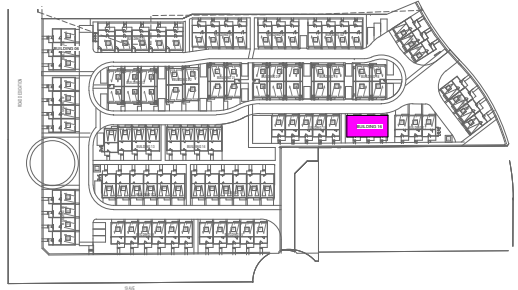
NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



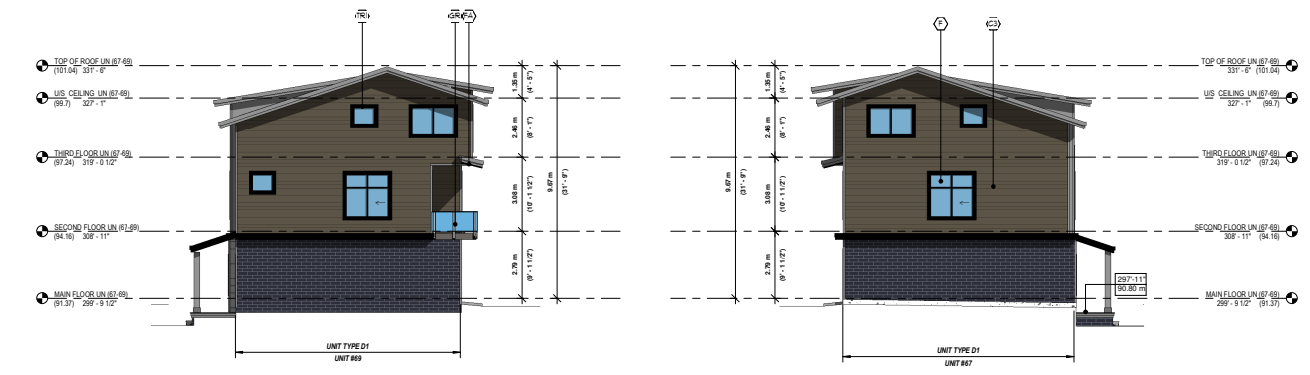
1 SOUTH ELEVATION  
DP-6.16V 1/8" = 1'-0"



2 NORTH ELEVATION  
DP-6.16V 1/8" = 1'-0"



KEY PLAN



3 EAST ELEVATION  
DP-6.16V 1/8" = 1'-0"

4 WEST ELEVATION (PEDESTRIAN CORRIDOR)  
DP-6.16V 1/8" = 1'-0"

AVERAGE EXISTING GRADE

$$\frac{91.24M + 91.24M + 90.50M + 90.38M}{4} = 90.84M$$

MAXIMUM BUILDING HEIGHT

$$90.84M + 1.3M = 103.84M$$

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PROJECT  
**16651-19 AVE TOWNHOUSES**  
16620, 16648 & 16674-20 AVE, 1949-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE  
**BUILDING-16 (SITE-B) ELEVATIONS (UNIT-D & D1)**

DRAWING ISSUE  
**ISSUED FOR DP REVISION**

| PROJECT NO. | PLOT DATE | 11-04-2023 | DRAWN    | SS       |
|-------------|-----------|------------|----------|----------|
| 722009      | SCALE     | 20:06:01   | REVIEWED | CY       |
| DRAWING NO. |           |            |          | REVISION |

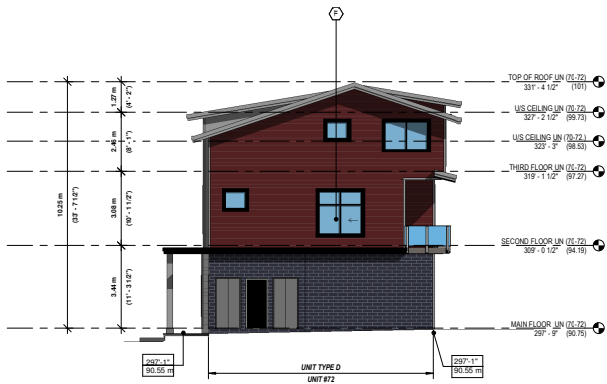
**DP-6.161** 10



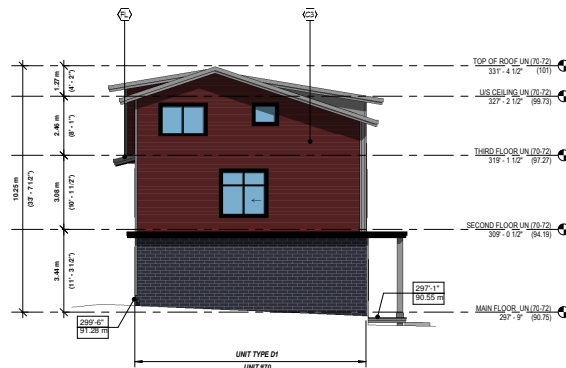
1 SOUTH ELEVATION  
DP-6.171 1/8" = 1'-0"



2 NORTH ELEVATION  
DP-6.171 1/8" = 1'-0"



3 EAST ELEVATION  
DP-6.171 1/8" = 1'-0"



4 WEST ELEVATION  
DP-6.171 1/8" = 1'-0"

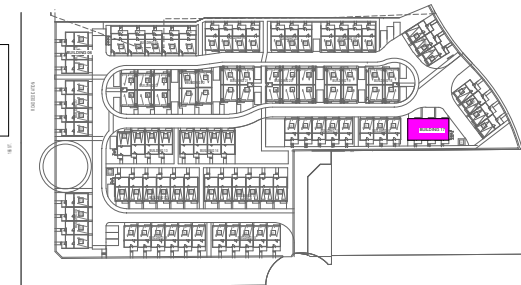
MATERIAL LEGEND:

| MATERIAL          | COLOR           |
|-------------------|-----------------|
| (FL) FLASHING     | LIGHT GREY      |
| (RA) RAILING      | RAILING         |
| (TR) TRIM         | BLACK           |
| (TR2) TRIM        | LIGHT GREY      |
| (FA) FASCIA       | LIGHT GREY      |
| (CS) HARDI SIDING | WHITE           |
| (CB) HARDI BRICKS | DARK GREY       |
| (CS) HARDI SIDING | COUNTRYLANE RED |
| (W) WINDOWS       | BLACK           |
| (D) DOORS         | BLACK           |
| (RD) ROLL-UP DOOR | DARK GREY       |
| (RS) ROOF SHINGLE | DARK GREY       |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

AVERAGE EXISTING GRADE

|                                     |            |
|-------------------------------------|------------|
| $91.26M + 91.12M + 90.42M + 90.42M$ | $= 90.8M$  |
| $4$                                 |            |
| <b>MAXIMUM BUILDING HEIGHT</b>      |            |
| $90.8M + 1.9M$                      | $= 103.8M$ |



KEY PLAN



Kasian Architecture  
Interior Design  
and Planning Ltd

1550 West Georgia Street, Suite 1005  
Vancouver, BC Canada V6G 2Z6  
T 604 683 4146 F 604 683 2627  
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APR 11 2023

| NO. | DATE       | ISSUED FOR                       | REVISION |
|-----|------------|----------------------------------|----------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION           |          |
| 9   | 2023-03-08 | ISSUED FOR DP REVISION           |          |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION           |          |
| 7   | 2023-12-08 | ISSUED FOR DP REVISION           |          |
| 6   | 2023-11-10 | ISSUED FOR DP REVISION           |          |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION           |          |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION           |          |
| 3   | 2021-12-03 | ISSUED FOR DP REVISION           |          |
| 2   | 2021-08-04 | ISSUED FOR DP PRELIMINARY DESIGN |          |
| 1   | 2020-02-08 | ISSUED FOR PRELIMINARY DESIGN    |          |

REVISION: "CORRECT ISSUE" REVIEW

CONSULTANT

FORMAT STAMP

SCALE

PROJECT

16651-19 AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1949-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

DRAWING TITLE

BUILDING-17 (SITE-B)  
ELEVATIONS (UNIT-D & D1)

DRAWING SCALE

ISSUED FOR DP REVISION

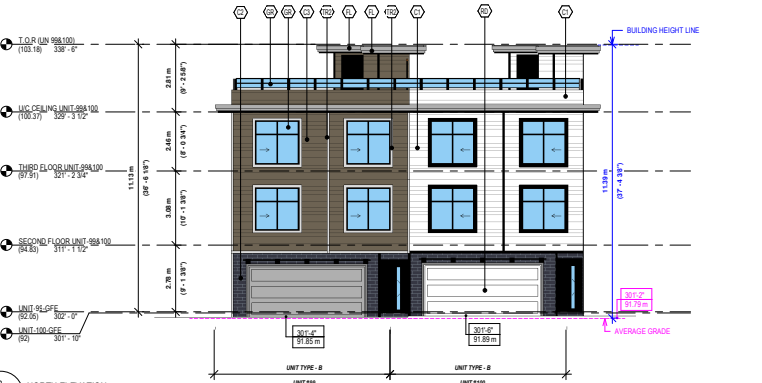
| PROJECT NO. | PLAT DATE    | DRAWN    | SS |
|-------------|--------------|----------|----|
| 722009      | 11-04-2023   |          |    |
| SCALE       | 20:12:43     | REVIEWED | CY |
|             | 1/8" = 1'-0" |          |    |

DRAWING NO. DP-6.171

REVISION 10



1 SOUTH ELEVATION  
DP-6.181 1/8" = 1'-0"



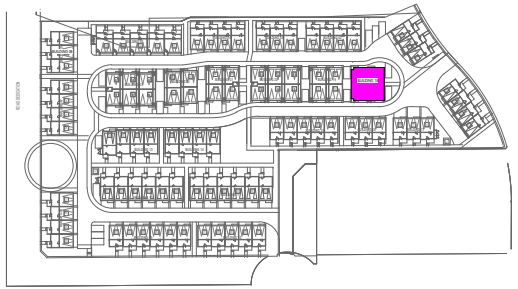
2 NORTH ELEVATION  
DP-6.181 1/8" = 1'-0"



3 EAST ELEVATION  
DP-6.181 1/8" = 1'-0"



4 WEST ELEVATION  
DP-6.181 1/8" = 1'-0"



KEY PLAN

MATERIAL LEGEND :

| MATERIAL          | COLOR           |  |
|-------------------|-----------------|--|
| FL FLASHING       | LIGHT GREY      |  |
| GR RAILING        | RAILING         |  |
| TR1 TRIM          | BLACK           |  |
| TR2 TRIM          | LIGHT GREY      |  |
| FA FASCIA         | LIGHT GREY      |  |
| C1 HARDI SIDING   | WHITE           |  |
| C2 HARDI BRICKS   | DARK GREY       |  |
| C3 HARDI SIDING   | WOODSTOCK BROWN |  |
| F WINDOWS         | BLACK           |  |
| D DOORS           | BLACK           |  |
| RD1 ROLL-UP DOOR  | DARK GREY       |  |
| RD2 ROLL-UP DOOR  | WHITE           |  |
| NC PRIVACY SCREEN | NATURAL CEDAR   |  |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

AVERAGE EXISTING GRADE  
91.23M + 92.24M + 91.87M + 91.83M = 91.79M  
4

MAXIMUM BUILDING HEIGHT  
91.79M + 13M = 104.79M



APR 11 2023

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16620-20 AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1949-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

BUILDING-18 (SITE-B)  
ELEVATIONS (UNIT-B)

ISSUED FOR DP REVISION

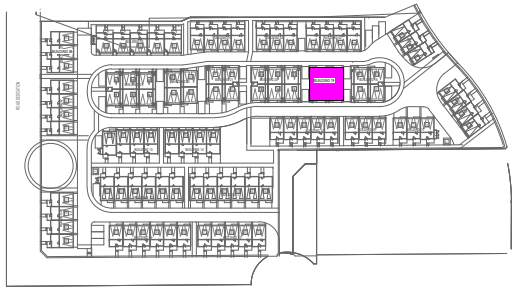
|             |        |            |              |          |    |
|-------------|--------|------------|--------------|----------|----|
| PROJECT NO. | 722009 | PLANT DATE | 11-04-2023   | DRAWN    | SS |
| REVISION    |        | SCALE      | 1/8" = 1'-0" | REVIEWED | CY |

DP-6.181 10

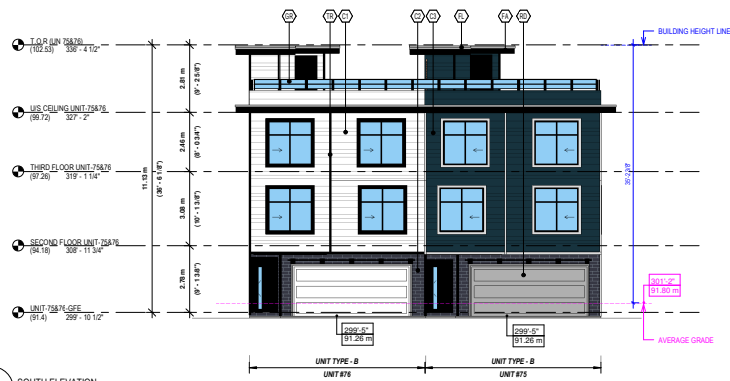




APR 11 2023



KEY PLAN



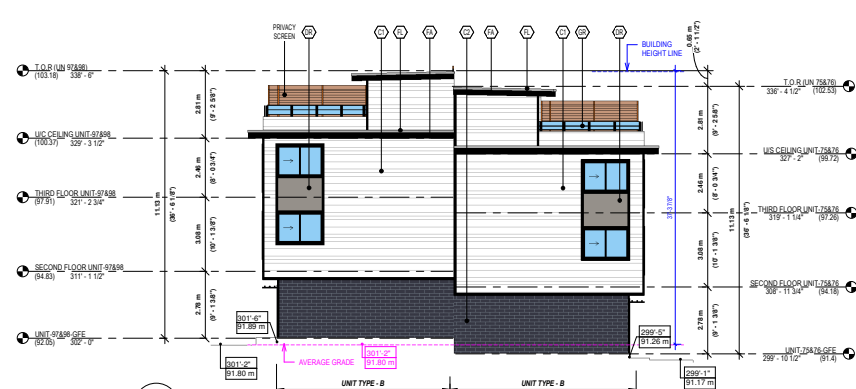
1 SOUTH ELEVATION  
DP-6.191 1/8" = 1'-0"



2 NORTH ELEVATION  
DP-6.191 1/8" = 1'-0"



3 WEST ELEVATION  
DP-6.191 1/8" = 1'-0"



4 EAST ELEVATION  
DP-6.191 1/8" = 1'-0"

AVERAGE EXISTING GRADE  
 $\frac{91.24M + 92.24M + 91.87M + 91.87M}{4} = 91.80M$   
MAXIMUM BUILDING HEIGHT  
 $91.80M + 1.3M = 104.80M$

| MATERIAL LEGEND : |              |  |
|-------------------|--------------|--|
| MATERIAL          | COLOR        |  |
| FL FLASHING       | LIGHT GREY   |  |
| RAILING           | RAILING      |  |
| TRIM              | BLACK        |  |
| TRIM              | LIGHT GREY   |  |
| FASCIA            | LIGHT GREY   |  |
| HARDI SIDING      | WHITE        |  |
| HARDI BRICKS      | DARK GREY    |  |
| HARDI SIDING      | EVENING BLUE |  |
| HARDI SIDING      | DARK GREY    |  |
| HARDI PANEL       | DARK GREY    |  |
| WINDOWS           | BLACK        |  |
| DOORS             | BLACK        |  |
| ROLL-UP DOOR      | DARK GREY    |  |
| ROLL-UP DOOR      | WHITE        |  |
| ROOF SHINGLE      | DARK GREY    |  |

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

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16620-20AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1949-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

BUILDING-19 (SITE-B)  
ELEVATIONS (UNIT-B)

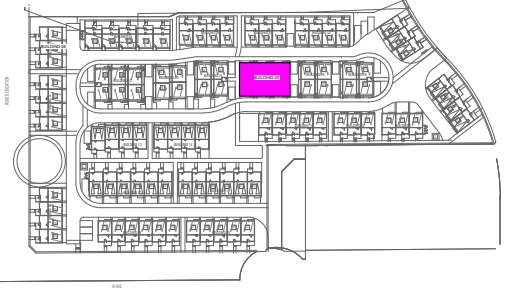
ISSUED FOR DP REVISION

|             |          |           |            |          |    |
|-------------|----------|-----------|------------|----------|----|
| PROJECT NO. | 722009   | PLAT DATE | 11-04-2023 | DRAWN    | SS |
| SCALE       | 19/44/33 | REVISION  |            | REVIEWED | CY |
| REVISION    |          |           |            |          |    |

DP-6.191 10



APR 11 2023



KEY PLAN

MATERIAL LEGEND:

| MATERIAL     | COLOR           |  |
|--------------|-----------------|--|
| FL FLASHING  | LIGHT GREY      |  |
| RAILING      | RAILING         |  |
| TRIM         | BLACK           |  |
| TRIM         | LIGHT GREY      |  |
| FASCIA       | LIGHT GREY      |  |
| HARDI SIDING | WHITE           |  |
| HARDI BRICKS | DARK GREY       |  |
| HARDI SIDING | COUNTRYLANE RED |  |
| WINDOWS      | BLACK           |  |
| DOORS        | BLACK           |  |
| ROLL-UP DOOR | DARK GREY       |  |
| ROLL-UP DOOR | WHITE           |  |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

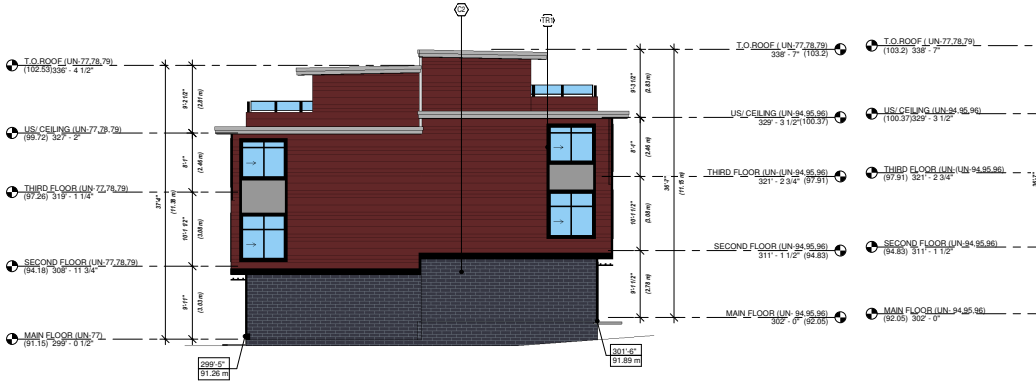
AVERAGE EXISTING GRADE  
 $91.87M + 91.87M + 91.24M + 91.24M = 91.55M$   
 $4$   
 MAXIMUM BUILDING HEIGHT  
 $91.55M + 13M = 104.55M$



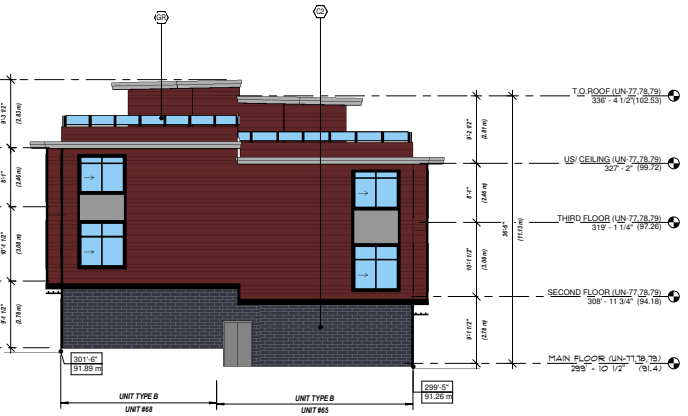
1 SOUTH ELEVATION  
DP-6.201 1/8" = 1'-0"



2 NORTH ELEVATION  
DP-6.201 1/8" = 1'-0"



3 EAST ELEVATION  
DP-6.201 1/8" = 1'-0"



4 WEST ELEVATION  
DP-6.201 1/8" = 1'-0"

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16651-19 AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1949-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

BUILDING-20 (SITE-B)  
ELEVATIONS

DRAWING TITLE

ISSUED FOR DP REVISION

|             |                |          |    |
|-------------|----------------|----------|----|
| PROJECT NO. | 11-04-2023     | DRAWN    | SS |
| 722009      | SCALE 19:27:40 | REVIEWED | CY |
| DRAWING NO. |                | REVISION |    |

DP-6.201 10



1 SOUTH ELEVATION  
 DP-6.23 1/8" = 1'-0"



2 NORTH ELEVATION  
 DP-6.23 1/8" = 1'-0"

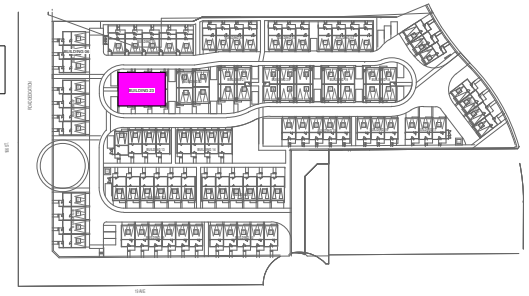


3 EAST ELEVATION  
 DP-6.23 1/8" = 1'-0"



4 WEST ELEVATION  
 DP-6.23 1/8" = 1'-0"

AVERAGE EXISTING GRADE  
 FIN. FLOOR = 300.75 ± @ ± 91.14 M  
 MAX. BUILDING HEIGHT = +104.14 M  
 341.44 ± 1.5



KEY PLAN

MATERIAL LEGEND:

| MATERIAL          | COLOR        |
|-------------------|--------------|
| FL FLASHING       | LIGHT GREY   |
| RAILING           | RAILING      |
| TRIM              | BLACK        |
| TRIM              | LIGHT GREY   |
| FA FASCIA         | LIGHT GREY   |
| C1 HARD SIDING    | WHITE        |
| C2 HARD BRICKS    | DARK GREY    |
| C3 HARD SIDING    | EVENING BLUE |
| C4 HARD PANEL     | DARK GREY    |
| F WINDOWS         | BLACK        |
| D DOORS           | BLACK        |
| RD1H ROLL-UP DOOR | DARK GREY    |
| RD1S ROLL-UP DOOR | WHITE        |
| RS ROOF SHINGLE   | DARK GREY    |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



Kasian Architecture  
 Interior Design  
 and Planning Ltd

1500 West Georgia Street, Suite 1665  
 Vancouver, BC Canada V6G 2Y9  
 T 604 683 4146 F 604 683 2627  
 www.kasian.com



APR 11 2023

| NO. | DATE       | DESCRIPTION            | BY | CHKD. |
|-----|------------|------------------------|----|-------|
| 1   | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 2   | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 3   | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 4   | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 5   | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 6   | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 7   | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 8   | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 9   | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 10  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 11  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 12  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 13  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 14  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 15  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 16  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 17  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 18  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 19  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |
| 20  | 2023-04-11 | ISSUED FOR DP REVISION |    |       |

DATE: 11/11/2023  
 REVISION: DRAWING ISSUE REVIEW

CONSULTANT

FORMIT STAMP

SCALE

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PROJECT  
 16651-19 AVE TOWNHOUSES  
 16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

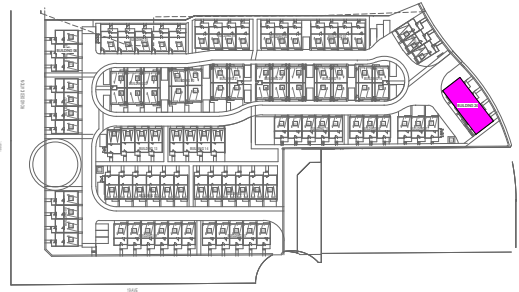
DRAWING TITLE  
 BUILDING-23 (SITE-B)  
 ELEVATIONS

DRAWING ISSUE  
 ISSUED FOR DP REVISION

| PROJECT NO. | PLT DATE     | DRAWN    | SS |
|-------------|--------------|----------|----|
| 722009      | 11-04-2023   |          |    |
| SCALE       | 1/8" = 1'-0" | REVIEWED | CY |
|             |              |          |    |
| DRAWING NO. | DP-6.231     | REVISION | 10 |



APR 11 2023



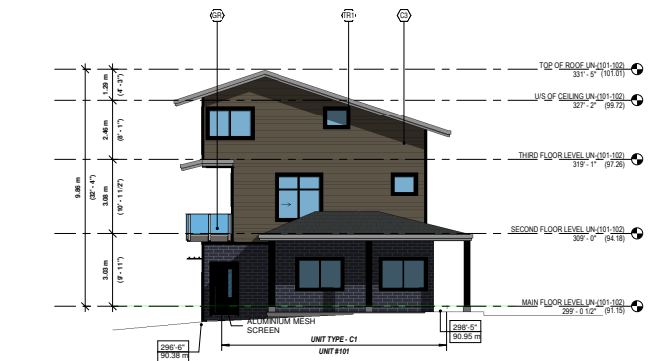
KEY PLAN



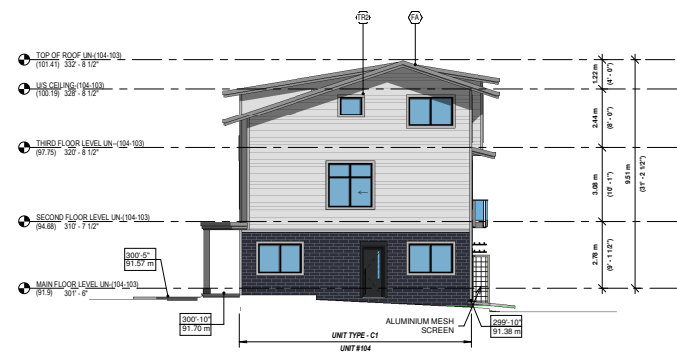
1 EAST ELEVATION (167 ST.)  
DP-6.24/ 1/8" = 1'-0"



2 WEST ELEVATION  
DP-6.24/ 1/8" = 1'-0"



3 SOUTH ELEVATION  
DP-6.24/ 1/8" = 1'-0"



4 NORTH ELEVATION  
DP-6.24/ 1/8" = 1'-0"

MATERIAL LEGEND:

| MATERIAL         | COLOR           |          |
|------------------|-----------------|----------|
| FL FLASHING      | LIGHT GREY      | [Symbol] |
| GR RAILING       | RAILING         | [Symbol] |
| TR1 TRIM         | BLACK           | [Symbol] |
| TR2 TRIM         | LIGHT GREY      | [Symbol] |
| FA FASCIA        | LIGHT GREY      | [Symbol] |
| C1 HARD SIDING   | WHITE           | [Symbol] |
| C2 HARD BRICKS   | DARK GREY       | [Symbol] |
| C3 HARD SIDING   | WOODSTOCK BROWN | [Symbol] |
| C4 HARD SIDING   | DARK GREY       | [Symbol] |
| C5 HARDI PANEL   | DARK GREY       | [Symbol] |
| F WINDOWS        | BLACK           | [Symbol] |
| D DOORS          | BLACK           | [Symbol] |
| RD1 ROLL-UP DOOR | DARK GREY       | [Symbol] |
| RD2 ROLL-UP DOOR | WHITE           | [Symbol] |
| RS ROOF SHINGLE  | DARK GREY       | [Symbol] |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

AVERAGE EXISTING GRADE

90.70M + 90.20M + 91.34M + 91.63M = 90.98M

MAXIMUM BUILDING HEIGHT

90.98M + 13M = 103.98M

| NO. | DATE       | DESCRIPTION                   | BY | CHKD | APPD |
|-----|------------|-------------------------------|----|------|------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |    |      |      |
| 9   | 2023-03-07 | ISSUED FOR DP REVISION        |    |      |      |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |    |      |      |
| 7   | 2023-12-29 | ISSUED FOR DP REVISION        |    |      |      |
| 6   | 2023-11-10 | ISSUED FOR DP REVISION        |    |      |      |
| 5   | 2023-09-24 | ISSUED FOR DP REVISION        |    |      |      |
| 4   | 2023-09-24 | ISSUED FOR DP REVISION        |    |      |      |
| 3   | 2023-12-03 | ISSUED FOR DP REVISION        |    |      |      |
| 2   | 2023-06-04 | ISSUED FOR DP REVISION        |    |      |      |
| 1   | 2023-02-04 | ISSUED FOR PRELIMINARY DESIGN |    |      |      |

FILE: 16651-19AVE-020 REV: 000 - REVISION - DRAWING ISSUE REVIEW

CONSULTANT

FORMIT STAMP

SCALE

PROJECT

16651-19AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE

BUILDING-24 (SITE-B)  
ELEVATIONS (UNIT-C & C1)

DRAWING ISSUE

ISSUED FOR DP REVISION

| PROJECT NO.    | PLAT DATE | DRAWN        | SS       |
|----------------|-----------|--------------|----------|
| Project Number | SCALE     | 18:53:59     | REVIEWED |
| DRAWING NO.    | SCALE     | 1/8" = 1'-0" | REVISION |

DP-6.24/ 10

SEAL:

| NO. | DATE      | REVISION DESCRIPTION            | DR. |
|-----|-----------|---------------------------------|-----|
| 10  | 23 APR 04 | NEW SITE PLAN                   | EO  |
| 9   | 23 JAN 05 | REV. PUBLIC PLAN MATERIALS PLAN | EO  |
| 8   | 23 JAN 04 | NEW SITE PLAN                   | EO  |
| 7   | 22 NOV 03 | NEW SITE PLAN                   | EO  |
| 6   | 22 SEP 03 | NEW SITE CITY COMMENTS          | EO  |
| 5   | 22 AUG 03 | NEW SITE PLAN / CITY COMMENTS   | EO  |
| 4   | 22 MAY 03 | NEW SITE PLAN / CITY COMMENTS   | EO  |
| 3   | 26 OCT 02 | NEW SITE PLAN / CITY COMMENTS   | EO  |
| 2   | 25 JUL 03 | NEW SITE PLAN                   | EO  |
| 1   | 21 APR 03 | NEW SITE PLAN                   | EO  |

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

**TOWNHOUSE DEVELOPMENT SITE B**

16651 19TH AVENUE  
SURREY, BC

SURVEY FILE NO. 20-0162

DRAWING TITLE:

**LANDSCAPE PLAN**

DATE: 20 SEP 18 DRAWING NUMBER:

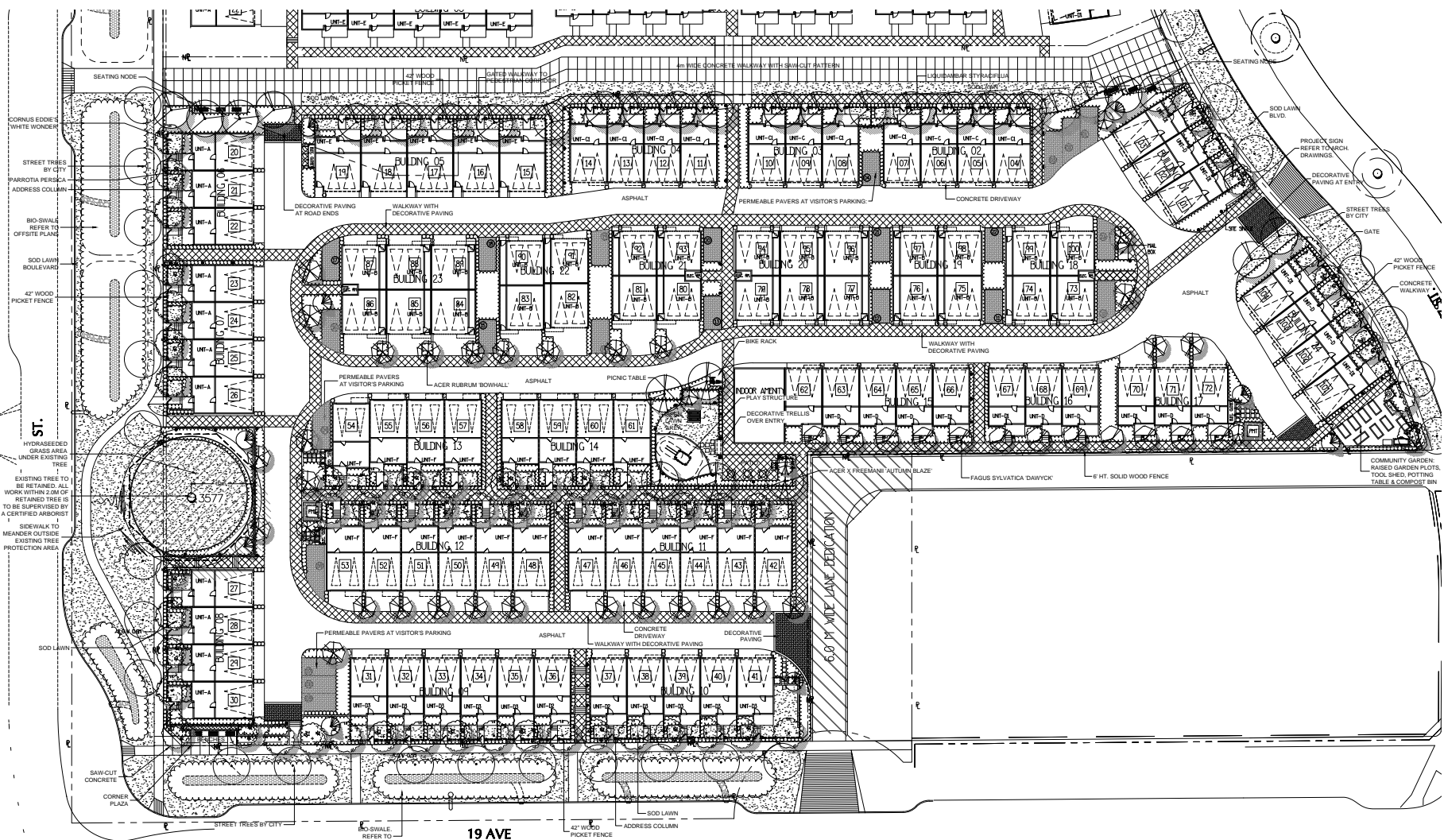
SCALE: 1:300

DRAWN: DO

DESIGN: DO

CHKD: MCV OF 8

PMG PROJECT NUMBER: 20-103

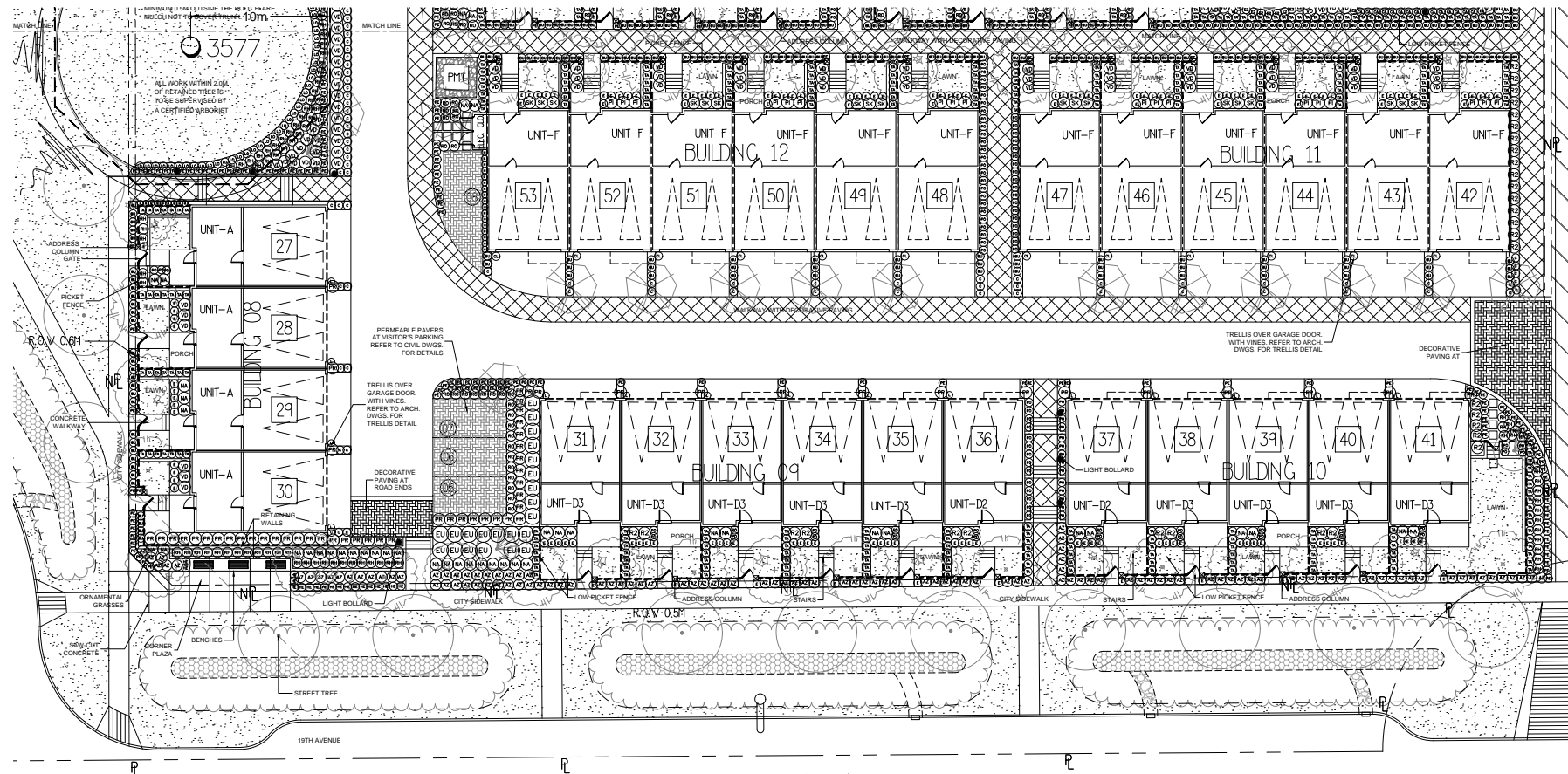


| PLANT SCHEDULE |     |                                   |                              | PMG PROJECT NUMBER: 20-103 |
|----------------|-----|-----------------------------------|------------------------------|----------------------------|
| KEY            | QTY | BOTANICAL NAME                    | COMMON NAME                  | PLANTED SIZE / REMARKS     |
| 30             |     | ACER RUBRUM 'BOWHALL'             | COLLARIAN BOWHALL MAPLE      | 6CM CAL. 2M STD. B&B       |
| 1              |     | ACER X FREEMANII 'AUTUMN BLAZE'   | AUTUMN BLAZE MAPLE           | 6CM CAL. 1.8M STD. B&B     |
| 2              |     | CHAMAECYPARUS NODOSATUS 'PENDULA' | WEeping HOOTIA CYPRESS       | 3M HT. B&B                 |
| 28             |     | CORNUS EDDIE'S WHITE WONDER       | EDDIE'S WHITE WONDER DOGWOOD | 6CM CAL. STD. FORM. B&B    |
| 12             |     | FAGUS SYLVATICA DAWYCK            | DAWYCK BEECH                 | 6CM CAL. B&B               |
| 26             |     | LIQUIDAMBAR STRYACIFLUA           | SWEET GUM                    | 6CM CAL. 2M STD. B&B       |
| 29             |     | PARROTIA PERISCA                  | PERSIAN BOWNWOOD             | 6CM CAL. 1.8M STD. B&B     |
| 3              |     | PICEA OROCEA                      | SERBIAN SPRUCE               | 3M HT. B&B                 |

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED ARE PER CSA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \*\* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \*\*\* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. \*\*\*\* USE OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \*\*\*\*\* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BC SOILS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



SEAL:



| NO. | DATE      | REVISION DESCRIPTION             | DR. |
|-----|-----------|----------------------------------|-----|
| 10  | 23 APR 04 | NEW SITE PLAN                    | ED  |
| 9   | 23 JAN 02 | REV. PUBLIC PLAZA MATERIALS PLAN | ED  |
| 8   | 23 JAN 04 | NEW SITE PLAN                    | ED  |
| 7   | 22 NOV 08 | NEW SITE PLAN                    | ED  |
| 6   | 22 SEP 02 | NEW SITE CITY COMMENTS           | ED  |
| 5   | 22 AUG 03 | NEW SITE PLAN / CITY COMMENTS    | ED  |
| 4   | 22 MAY 02 | NEW SITE PLAN / CITY COMMENTS    | ED  |
| 3   | 21 OCT 02 | NEW SITE PLAN / CITY COMMENTS    | ED  |
| 2   | 21 JUN 02 | NEW SITE PLAN                    | ED  |
| 1   | 21 APR 02 | NEW SITE PLAN                    | ED  |

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

| KEY          | QTY | BOTANICAL NAME                           | COMMON NAME                 | PMG PROJECT NUMBER: 20-103 | PLANTED SIZE / REMARKS |
|--------------|-----|--|-----------------------------|----------------------------|------------------------|
| <b>SHRUB</b> |     |  |                             |                            |                        |
| 176          |     | AZALEA JAPONICA 'HINO CRIMSON'           | AZALEA, SINGLE DEEP CRIMSON | #2 POT, 25CM               |                        |
| 503          |     | BOLUS MICROPHYLLA 'WINTER GEM'           | LITTLE LEAF BOX             | #2 POT, 25CM               |                        |
| 6            |     | CORNUS SERICEA 'KELSEY'                  | DWARF KELSEY DOGWOOD        | #2 POT, 50CM               |                        |
| 84           |     | EUONYMUS ALATA 'COMPACTUS'               | COMPACT WINGED BURNING BUSH | #3 POT, 50CM               |                        |
| 37           |     | HYDRANGEA ARBORESCENS 'NANA BELLE'       | HYDRANGEA                   | #2 POT, 80CM               |                        |
| 52           |     | HYDRANGEA MACROPHYLLA 'NIKKO BLUE'       | BIG LEAF HYDRANGEA, BLUE    | #3 POT, 80CM               |                        |
| 125          |     | MANDARINA DOMESTICA                      | HEAVENLY BAMBOO             | #3 POT, 50CM               |                        |
| 89           |     | PIERIS JAPONICA 'TAWANENSIS' 'SNOWDRIFT' | JAPANESE ANDROMEDA          | #3 POT, 50CM               |                        |
| 133          |     | PRUNUS LAUROCARPUS 'OTTO LUYKEN'         | OTTO LUYKEN LAUREL          | #2 POT, 30CM               |                        |
| 99           |     | RHOODENDRON 'ANAH KRUSCHKE'              | RHOODENDRON, BLUE           | #3 POT, 50CM               |                        |
| 181          |     | RHOODENDRON 'BOY BELLE'                  | RHOODENDRON, PINK           | #2 POT, 20CM               |                        |
| 275          |     | ROSA 'NOASON'                            | CARPET ROSE, YELLOW         | #2 POT, 40CM               |                        |
| 116          |     | SORBARIA JAPONICA (10% MALE)             | JAPANESE SHRIMMA            | #2 POT, 30CM               |                        |
| 084          |     | TAXUS X MEDIA 'HOKET'                    | HOKET YEW                   | 10" B&B                    |                        |
| 193          |     | VIBURNUM DAVIDII                         | DAVID'S VIBURNUM            | #3 POT, 50CM               |                        |
| 59           |     | VIBURNUM TINSPIR 'SPRING BOUQUET'        | DWARF VIBURNUM              | #3 POT, 50CM               |                        |
| <b>GRASS</b> |     |  |                             |                            |                        |
| 15           |     | CALAMAGRODONTIS ACUTIFLORA 'OVERDAM'     | FEATHER REED GRASS          | #2 POT                     |                        |
| 330          |     | CAREX OSHIBENENSIS 'EVERGOLD'            | EVERGOLD JAPANESE SEDGE     | #1 POT                     |                        |
| 389          |     | PENNISSETUM ALPECELOIDES 'HAMELIN'       | DWARF FOUNTAIN GRASS        | #1 POT                     |                        |

| KEY              | QTY | BOTANICAL NAME                     | COMMON NAME                            | PMG PROJECT NUMBER: 20-103 | PLANTED SIZE / REMARKS |
|------------------|-----|------------------------------------|--|----------------------------|------------------------|
| <b>VINE</b>      |     |                                    |  |                            |                        |
| 42               |     | CLEMATIS JACKMANII 'RUBRA'         | CLEMATIS, CRIMSON                      | #3 POT, 75CM, STAKED       |                        |
| 52               |     | LONICERA JAPONICA 'PURPUREA'       | PURPLE-LEAF HONEYSUCKLE                | #3 POT, 75CM, STAKED       |                        |
| <b>PERENNIAL</b> |     |                                    |  |                            |                        |
| 19               |     | HEMEROCALLIS 'RED MAGIC'           | DAFFILY, RED AND YELLOW                | #1 POT, 1:2 FAN            |                        |
| 71               |     | HOSTA 'FORTUNE' 'FRANCEE'          | HOSTA, GREEN AND WHITE VARIEGATED      | #1 POT, 1 EYE              |                        |
| 143              |     | LAVENDULA ANGSTUFOLIA 'MUNSTAD'    | ENGLISH LAVENDER, COMPACT, VIOLET-BLUE | #1 POT                     |                        |
| <b>GO</b>        |     |                                    |  |                            |                        |
| 380              |     | ERICA CARNEA 'SPRINGWOOD PINK'     | WINTER HEATH, PINK                     | #1 POT                     |                        |
| 31               |     | ERICA X DARLEYENSIS 'KRAMER'S RED' | WINTER HEATH, RED                      | #1 POT                     |                        |
| 389              |     | GAILTHERIA SHALLOM                 | SALAL                                  | #1 POT, 20CM               |                        |
| 425              |     | LONICERA PILEATA                   | PIRETE'S HONEYSUCKLE                   | #1 POT, 25CM               |                        |
| 445              |     | POLYSTICHUM MUNITUM                | WESTERN SWORD FERN                     | #1 POT, 25CM               |                        |

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MADE. PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. \* DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

PROJECT:

**TOWNHOUSE DEVELOPMENT SITE B**

16651 19TH AVENUE  
SURREY, BC

SURREY FILE NO. 20-0162

DRAWING TITLE:

**LANDSCAPE SHRUB PLAN**

DATE: 20 SEP 18 DRAWING NUMBER:

SCALE: 1:50

DRAWN: DO

DESIGN: DO

CHKD: MCV

**L5**

PMG PROJECT NUMBER: 20-103



SCALE:

| NO. | DATE      | REVISION DESCRIPTION            | DR. |
|-----|-----------|---------------------------------|-----|
| 10  | 23 APR 04 | NEW SITE PLAN                   | ED  |
| 9   | 22 JAN 03 | REV. PUBLIC PLAN MATERIALS PLAN | ED  |
| 8   | 23 JAN 04 | NEW SITE PLAN                   | ED  |
| 7   | 22 NOV 08 | NEW SITE PLAN                   | ED  |
| 6   | 22 SEP 07 | NEW SITE CITY COMMENTS          | ED  |
| 5   | 22 AUG 03 | NEW SITE PLAN / CITY COMMENTS   | ED  |
| 4   | 22 MAY 03 | NEW SITE PLAN / CITY COMMENTS   | ED  |
| 3   | 26 OCT 03 | NEW SITE PLAN / CITY COMMENTS   | ED  |
| 2   | 25 JUN 03 | NEW SITE PLAN                   | ED  |
| 1   | 21 APR 03 | NEW SITE PLAN                   | ED  |

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

**TOWNHOUSE DEVELOPMENT  
SITE B**

16651 19TH AVENUE  
SURREY, BC

SURVEY FILE NO. 20-0162

DRAWING TITLE:  
**LANDSCAPE  
SHRUB PLAN**

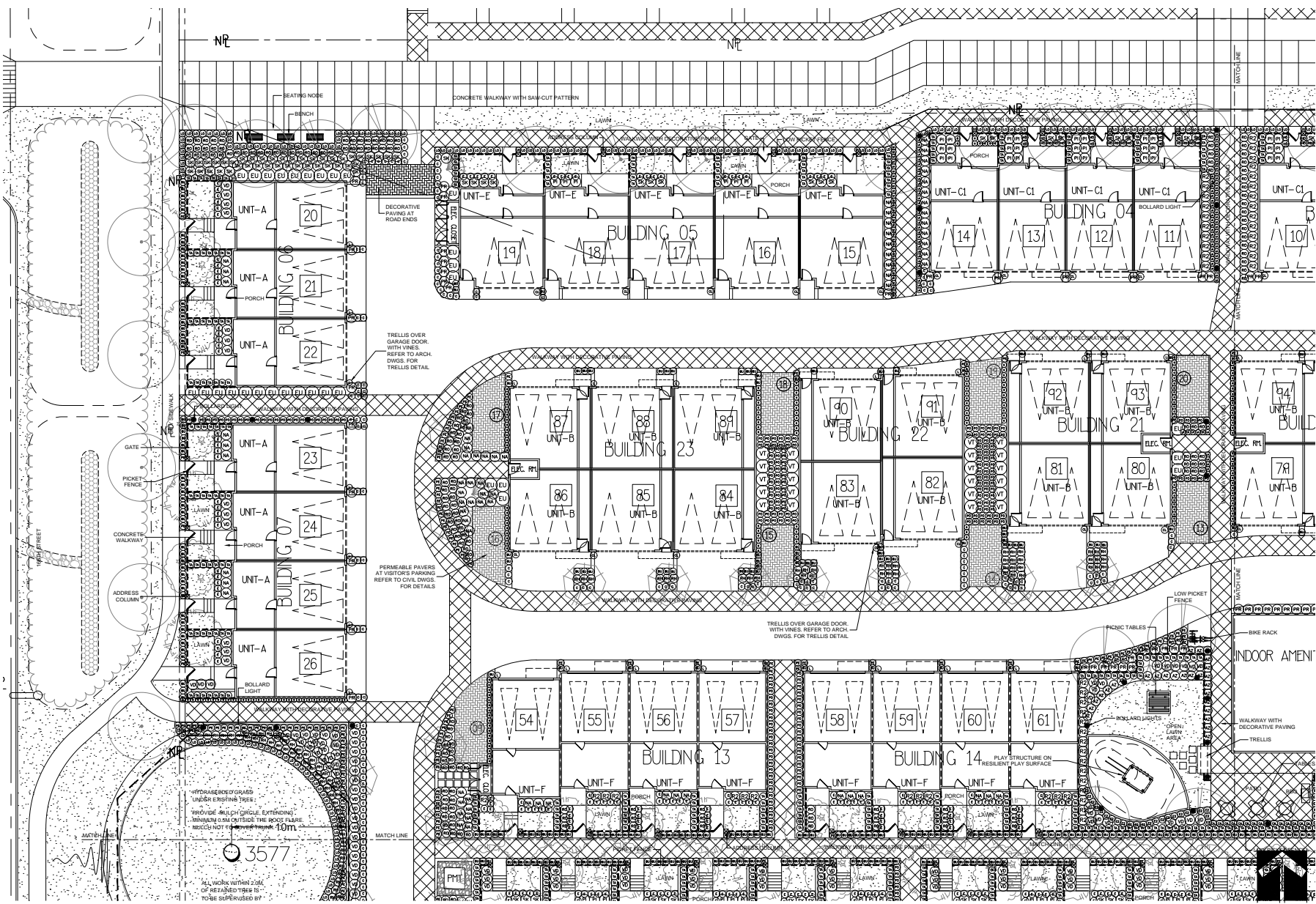
DATE: 20 SEP 18 DRAWING NUMBER:

SCALE: 1:150

DRAWN: DO

DESIGN: DO

CHKD: MCV OF 8



SEAL:

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|----|-----------|---------------------------------|----|
| 10 | 23 APR 04 | NEW SITE PLAN                   | ED |
| 11 | 23 JAN 05 | REV. PAVING PLAN MATERIALS PLAN | DO |
| 8  | 23 JAN 04 | NEW SITE PLAN                   | DO |
| 7  | 22 NOV 03 | NEW SITE PLAN                   | DO |
| 6  | 22 SEP 03 | NEW SITE CITY COMMENTS          | DO |
| 5  | 22 AUG 03 | NEW SITE PLAN / CITY COMMENTS   | DO |
| 4  | 22 MAY 03 | NEW SITE PLAN / CITY COMMENTS   | DO |
| 3  | 26 OCT 02 | NEW SITE PLAN / CITY COMMENTS   | DO |
| 2  | 25 JUN 02 | NEW SITE PLAN                   | DO |
| 1  | 21 APR 02 | NEW SITE PLAN                   | DO |

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

**TOWNHOUSE DEVELOPMENT SITE B**

16651 19TH AVENUE  
SURREY, BC

SURREY FILE NO. 20-0162

DRAWING TITLE:

**LANDSCAPE SHRUB PLAN**

DATE: 20 SEP 18 DRAWING NUMBER:

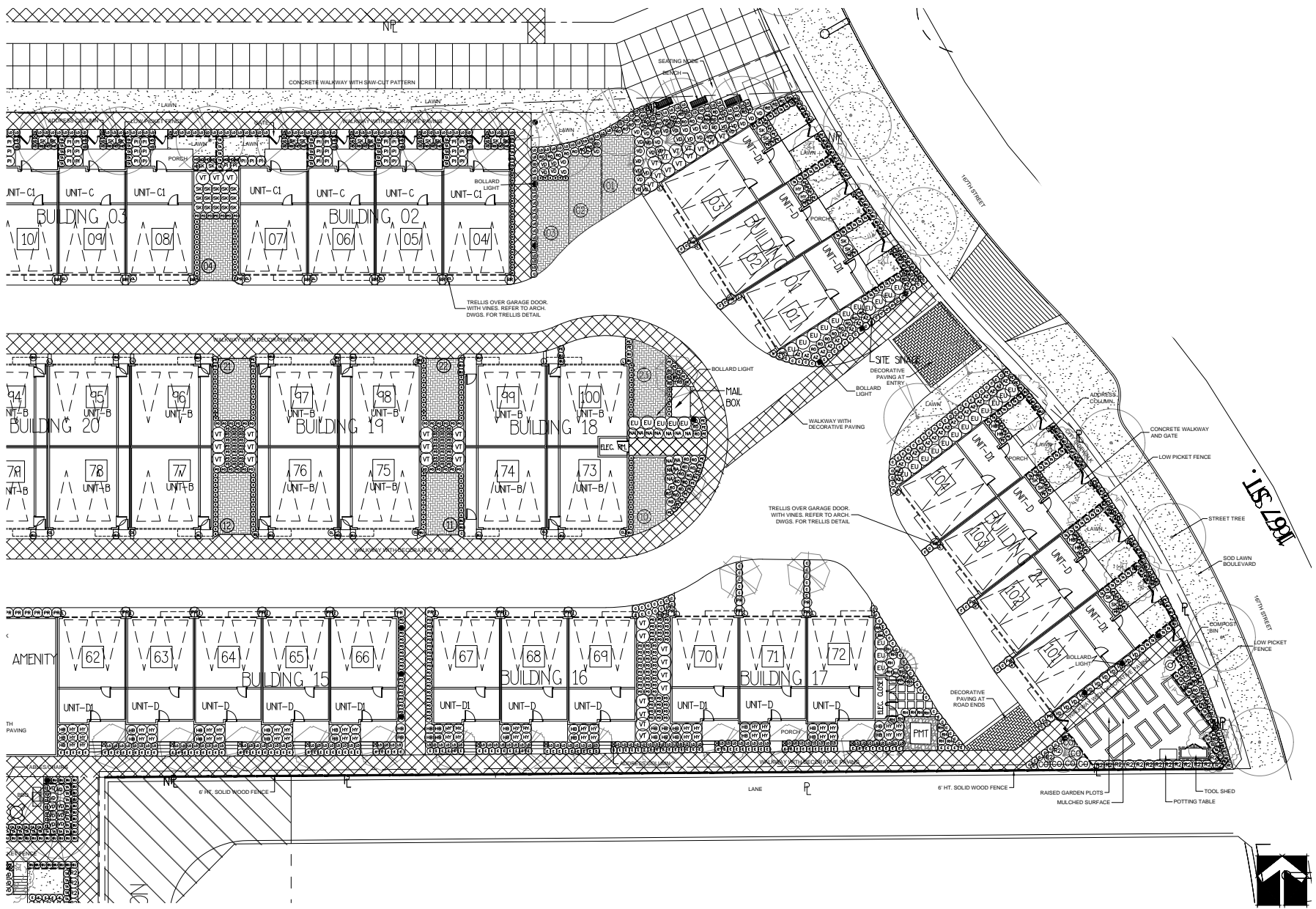
SCALE: 1:150

DRAWN: DO

DESIGN: DO

CHKD: MCV

**L7**  
OF 8





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TO: **Director, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Acting Development Support Manager, Engineering  
Department**

DATE: **October 23, 2023** PROJECT FILE: **7820-0162-02**

---

RE: **Engineering Requirements  
Location: 16621, 16651 & 16663 - 19 Ave; 16606 - 20 Avenue; 1949 - 167 Street**

### OCP AMENDMENT/NCP AMENDMENT

The following issues are to be addressed as a condition of the NCP Amendment:

- The applicant is required to complete a sanitary sewer capacity analysis downstream of the subject application due to the proposed Land use plan amendment which will result in increased population and subsequent sanitary demand. The applicant will be required to resolve any downstream pipe capacity constraints.

### REZONE/SUBDIVISION

#### *Property and Right-of-Way Requirements*


- Dedicate 1.0 m on 167 Street.
- Dedicate 13.269 - 15.0 m on 166 Street.
- Register 1.734 m statutory right-of-way (SRW) along 166 Street to achieve 15.0 m width.
- Dedicate 12.5 m on 19 Avenue.
- Dedicate 6.0 m for residential lane.
- Dedicate 8.0 m for walkway.
- Dedicate required corner cuts.
- Register 0.5 m SRW at property line along all road frontages.

#### *Works and Services*

- Construct west side of 167 Street.
- Construct east side of 166 Street.
- Construct north side of 19 Avenue.
- Construct residential lane.
- Construct concrete walkway.
- Construct frontage water, sanitary and storm mains to service the site and road drainage.
- Construct downstream sanitary and storm mains as required through catchment analyses.
- Construct water, sanitary and storm service connections to service each lot.

### DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

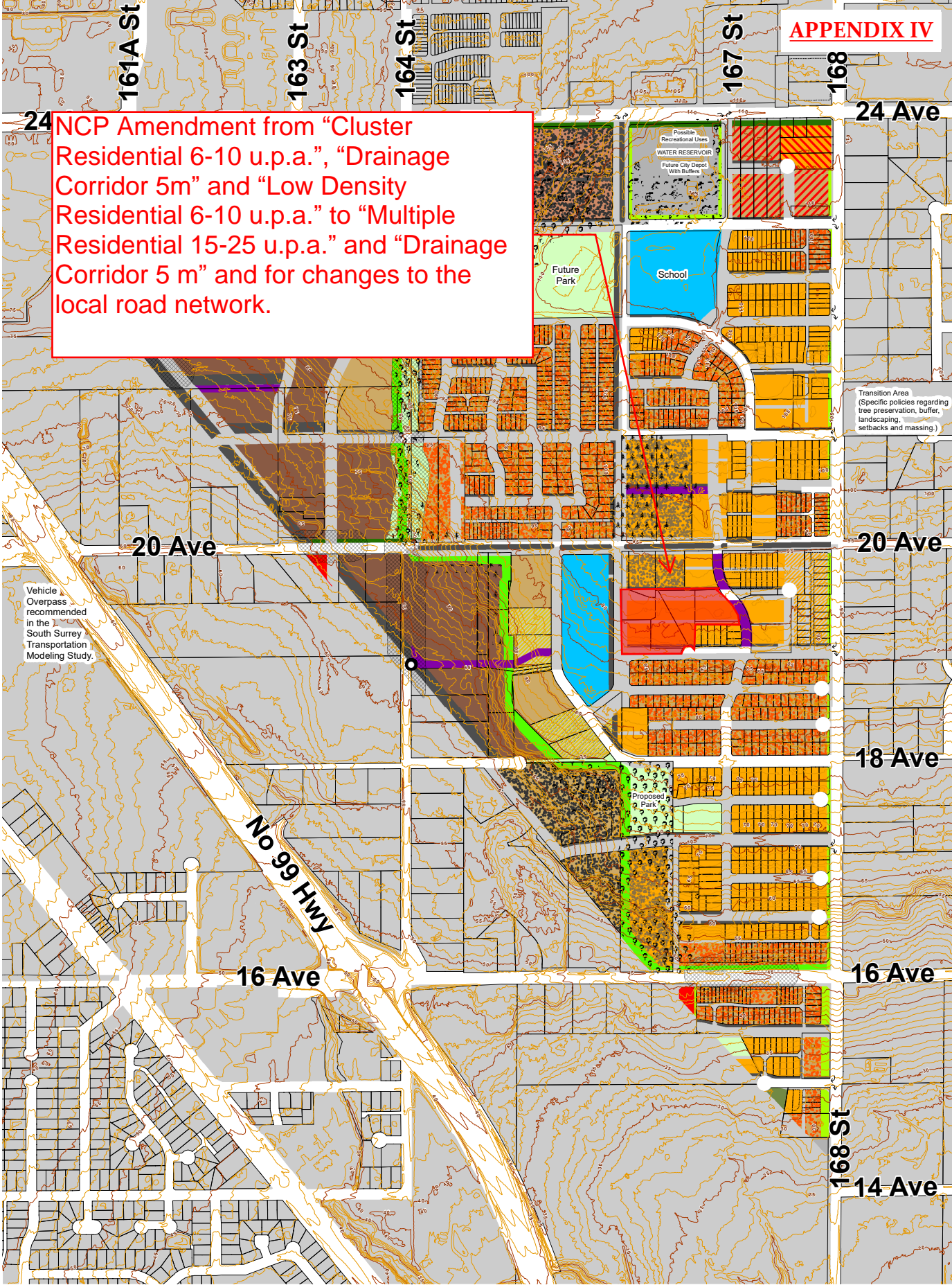
There are no engineering requirements relative to issuance of the Development Permit/  
Development Variance Permit.



Daniel Sohn, P.Eng.  
Acting Development Support Manager  
RH

NOTE: Detailed Land Development Engineering Review available on file

24 NCP Amendment from "Cluster Residential 6-10 u.p.a.", "Drainage Corridor 5m" and "Low Density Residential 6-10 u.p.a." to "Multiple Residential 15-25 u.p.a." and "Drainage Corridor 5 m" and for changes to the local road network.



Vehicle Overpass recommended in the South Surrey Transportation Modeling Study.

Transition Area (Specific policies regarding tree preservation, buffer, landscaping, setbacks and massing.)

CITY OF SURREY

BYLAW NO. 20925

A bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended.  
.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015, c.1, as amended, by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule A under Part 3 of Surrey Zoning By-law, 1993, No. 12000, as amended, as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)  
TO: MULTIPLE RESIDENTIAL 30 ZONE (RM-30)

PID: 005-577-845  
Lot 47 Section 13 Township 1 New Westminster District Plan 57371  
(1949 – 167 Avenue)

PID: 005-650-593  
Lot 57 Section 13 Township 1 New Westminster District Plan 58054  
(16621 – 19 Avenue)

Portion of PID: 005-650-585  
Lot 56 Section 13 Township 1 New Westminster District Plan 58054  
(Portion of 16651 – 19 Avenue)

Portion of PID: 003-862-470  
Lot 55 Section 13 Township 1 New Westminster District Plan 58054  
(Portion of 16663 – 19 Avenue)

PID: 003-766-471  
Lot 61 Section 13 Township 1 New Westminster District Plan 66460  
(16606 – 20 Avenue)

PID: 003-766-357  
Lot 60 Section 13 Township 1 New Westminster District Plan 66460  
(16620 – 20 Avenue)

PID: 005-577-829  
Lot 43 Section 13 Township 1 New Westminster District Plan 57371  
(16648 – 20 Avenue)

PID: 005-577-811  
Lot 42 Section 13 Township 1 New Westminster District Plan 57371  
(16674 – 20 Avenue)

Shown on the Survey Plan labeled ~~Block A, containing 1.222 ha and labeled~~  
Block B, containing ~~1.993~~ 2.156 ha, attached as Schedule A, certified correct by  
M. Adam Fulkerson, B.C.L.S. on the 6th day of ~~April~~ October, 2023.

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)  
TO: SINGLE FAMILY RESIDENTIAL (13) ZONE (RF-13)

Portion of PID: 005-650-585  
Lot 56 Section 13 Township 1 New Westminster District Plan 58054  
(Portion of 16651 – 19 Avenue )

Portion of PID: 003-862-470  
Lot 55 Section 13 Township 1 New Westminster District Plan 58054  
(Portion of 16663 – 19 Avenue )

Shown on the Survey Plan labeled Block C, containing 982.5 square metres,  
attached as Schedule A, certified correct by M. Adam Fulkerson, B.C.L.S. on the  
6th day of ~~April~~ October, 2023

2. This Bylaw shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment Bylaw, 2023, No. 20925".

PASSED FIRST READING on the 17th day of April, 2023.

PASSED SECOND READING on the 17th day of April, 2023.

PUBLIC HEARING HELD thereon on the 1st day of May, 2023.

PASSED THIRD READING on the 1st day of May, 2023.

RECEIVED APPROVAL FROM THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE  
on the 19th day of May, 2023.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the  
Corporate Seal on the    th day of       , 20   .

\_\_\_\_\_MAYOR

\_\_\_\_\_CLERK

SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW  
 No: 20925 OF: LOTS 60 & 61 PLAN 66460  
 LOTS 55, 56 AND 57 PLAN 58054  
 AND LOTS 42, 43, & 47 PLAN 57371  
 ALL OF SECTION 13 TOWNSHIP 1 NWD

FOR REZONING PURPOSES

LEGEND

NO DIMOTES RECTANGLES  
 M<sup>2</sup> DIMOTES SQUARE METRES

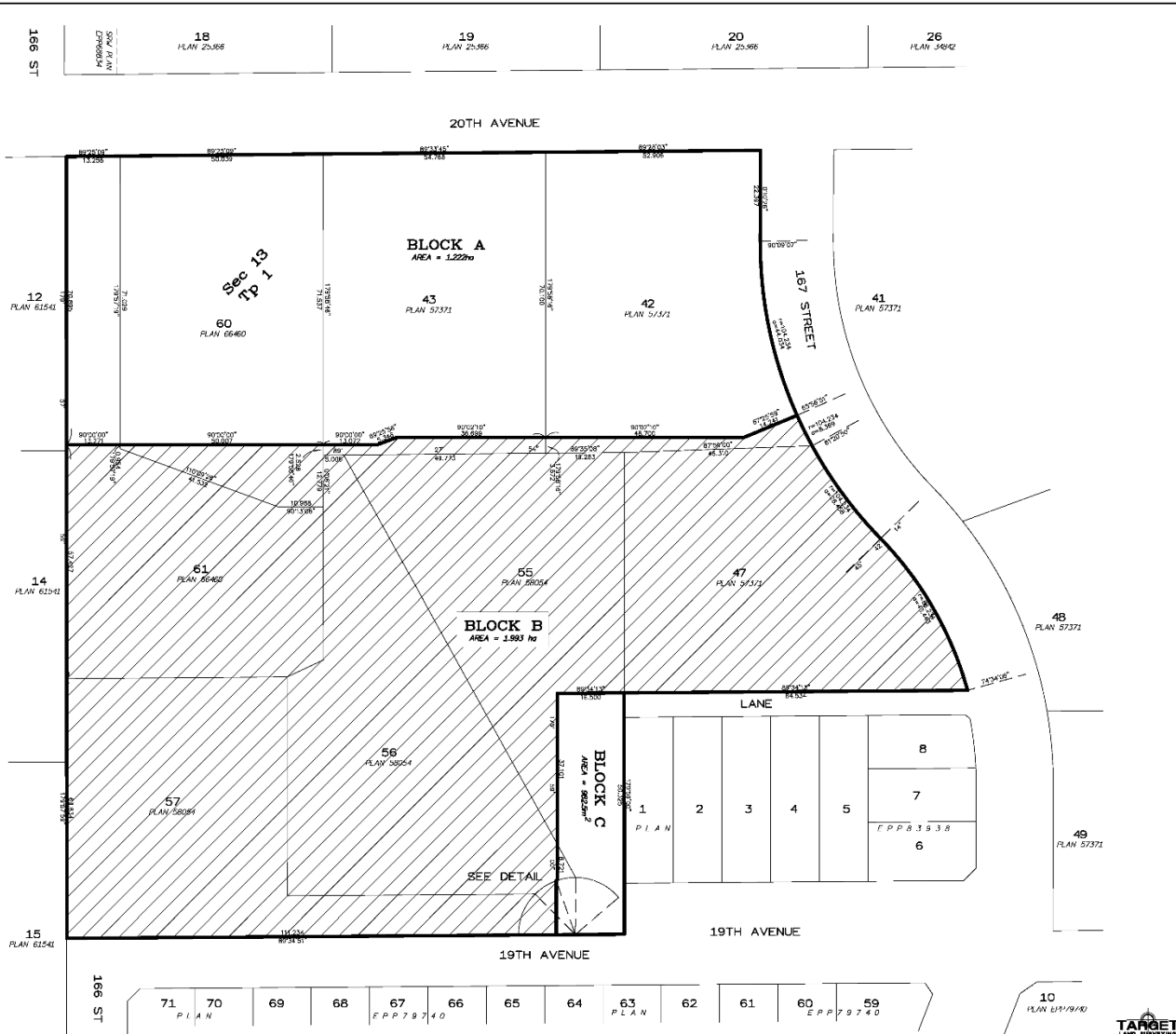
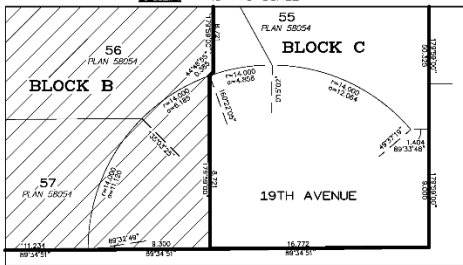


SCALE 1 : 500

ALL DISTANCES ARE IN METRES

The intended plot size of this plan is 864mm x 460mm and  
 300mm in height to appear when printed at a scale of 1:500.

DETAIL: 1/40" TO SCALE



Property boundary dimensions shown herein  
 are derived from field survey.

CHANGING CORNER  
 DATED THIS 6th DAY OF APRIL, 2023.

*[Signature]*  
 R.C.L.C.

R. Adam Falkner

THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT



1141-2078 167th Ave  
 Surrey, BC  
 V3R 1Y2  
 TEL: 604-591-2100  
 FAX: 604-591-0009

# Schedule A

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW  
No. 20925 OF: LOTS 55, 56 AND 57 PLAN 58054,  
PART OF LOTS 60 & 61 PLAN 66460  
AND PART OF LOTS 42, 43, & 47 PLAN 57371  
ALL OF SECTION 13 TOWNSHIP 1 NWD**

FOR REZONING PURPOSES

**LEGEND**

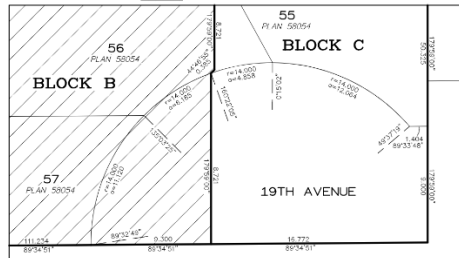
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- m<sup>2</sup> DENOTES SQUARE METRES



SCALE 1 : 500

ALL DIMENSIONS ARE IN METRES  
The extended plot size of this plan is 854m in width and 500m in height @ size when plotted at a scale of 1:500.

DETAIL: NOT TO SCALE



Property boundary dimensions shown herein are derived from field surveys.  
CERTIFIED CORRECT  
ON BEHALF OF THE CITY OF SURREY, 2023.  
T. Aden Fiskelson  
BC1.5

THIS PLAN LIES WITHIN THE FRUITO VANCOUVER REGIONAL DISTRICT



TARGET LAND SURVEYING  
4220-121ST STREET, SUITE 101  
SURREY, BC  
S4W 0S1  
FILE 9483-BLOCK PLAN 1

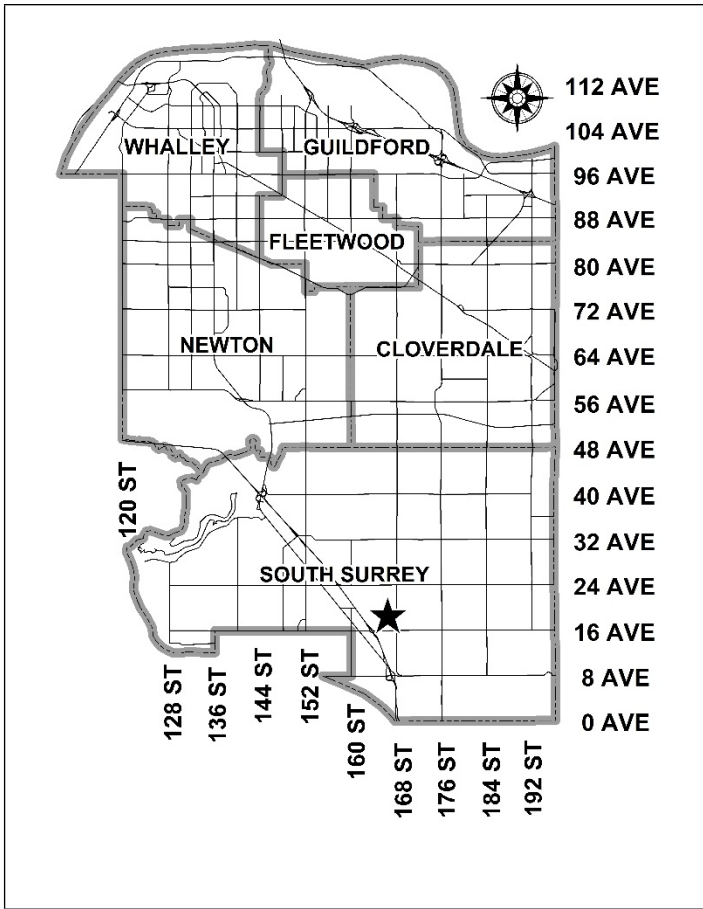
**APPENDIX VI**

City of Surrey

**ADDITIONAL PLANNING COMMENTS**

Application No.: 7920-0162-01

Planning Report Date: May 15, 2023



**PROPOSAL:**

- **Development Variance Permit**

to allow subdivision into one single family small lot.

**LOCATION:**

- 16674 - 20 Avenue
- 1949 - 167 Street
- 16663 - 19 Avenue
- 16651 - 19 Avenue
- 16621 - 19 Avenue
- 16620 - 20 Avenue
- 16606 - 20 Avenue

**ZONING:**

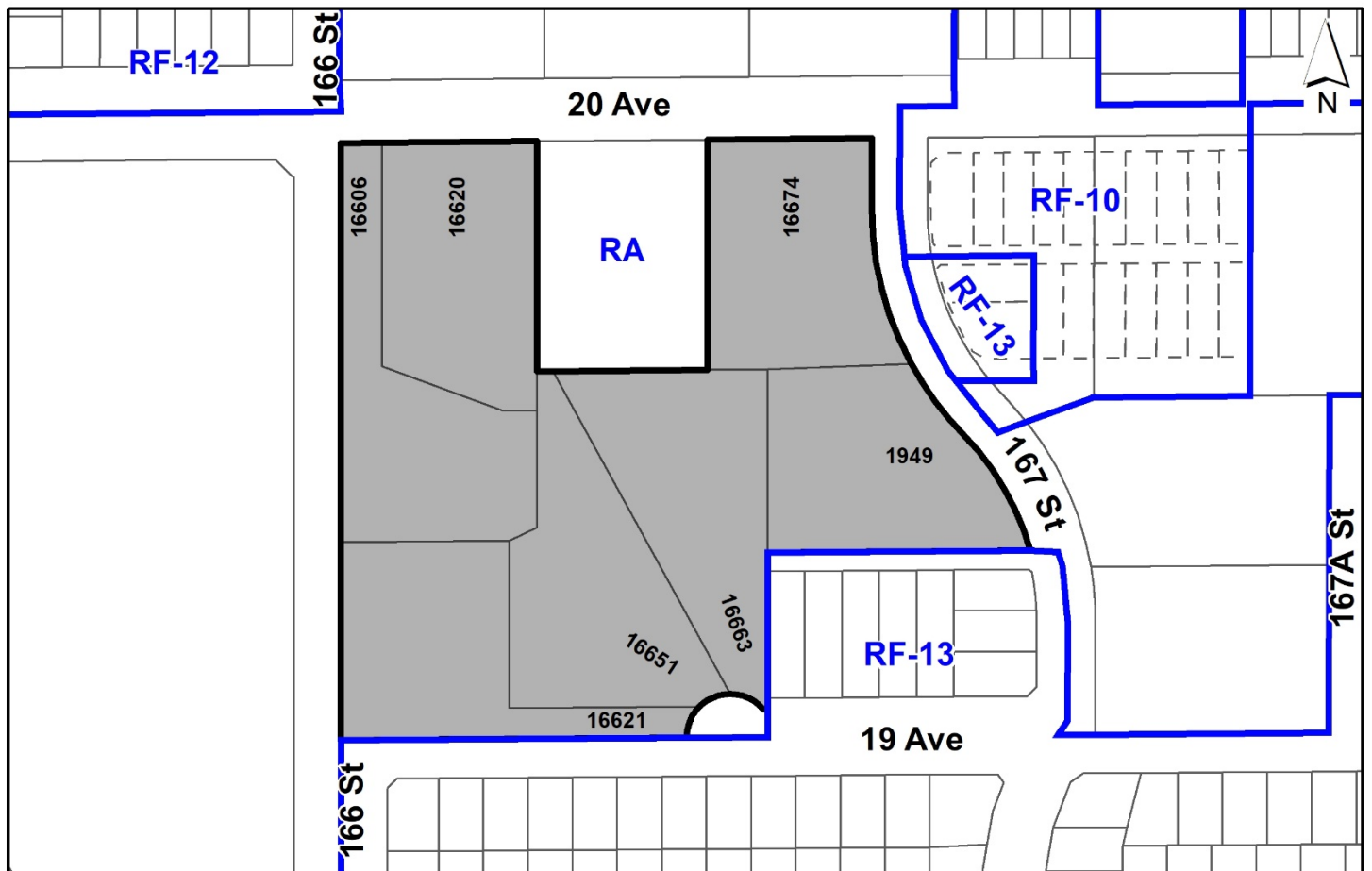
RA

**OCP DESIGNATION:**

Urban

**NCP DESIGNATION:**

Cluster Residential 6-10 u.p.a.,  
Drainage Corridor 5m, and Low  
Density Residential 6-10 u.p.a.



**RECOMMENDATION SUMMARY**

- Approval for Development Variance Permit to proceed to Public Notification.

**DEVIATION FROM PLANS, POLICIES OR REGULATIONS**

- The applicant is seeking a variance to reduce the minimum lot width of the "Single Family Residential (13) Zone (RF-13)" Type I Interior lot.

**RATIONALE OF RECOMMENDATION**

- Development Application No. 7920-0162-00 was presented in conjunction with Development Application No. 7920-0159-00 under a joint report to Council (7920-0159-00 & 7920-0162-00) at the April 3, 2023, Regular Council – Land Use Meeting. The projects subsequently were granted Third Reading at the April 17, 2023, Regular Council - Public Hearing meeting.
- Subsequent to granting Third Reading it was discovered that the proposed variance to reduce the lot width of the single family small lot was inadvertently excluded from the Development Variance Permit No. 7920-0162-00. Therefore, staff are bringing back a single application for a Development Variance Permit under 7920-0162-01, for Council's consideration.
- The applicant proposes a reduction to the minimum required lot width for the single family lot (Lot 3) from 12 metres to 10.5 metres to allow the larger subject property to be subdivided to create the single family small lot.
- The proposed reduced lot width is considered reasonable and the applicant has demonstrated that a dwelling can be constructed on the lot without additional variances.



## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7920-0162-01 (Appendix I) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum lot width of the RF-13 Zone from 12 metres to 10.5 metres for proposed Lot 3.
2. Council instruct staff to resolve the following issues prior to final approval:
  - (a) Completion of all requirements under Development Application Nos. 7920-0159-00 and 7920-162-00.

## SITE CONTEXT & BACKGROUND

| Direction                 | Existing Use   | NCP Designation  | Existing Zone |
|---------------------------|--|--|---------------|
| Subject Site              | Single family homes on acreage lots.   | Cluster Residential 6-10 u.p.a, Drainage Corridor 5m, and Low Density Residential 6-10 u.p.a | RA            |
| North:                    | Vacant acreage lots under Development Application No. 7920-0159-00, which proposes rezoning to RM-30 to permit development of 62 townhouse units, which was granted Conditional Approval at the April 23, 2023 Regular Council – Public Hearing meeting. | Cluster Residential 6-10 u.p.a, Drainage Corridor 5m, and Low Density Residential 6-10 u.p.a | RA            |
| East (Across 167 Street): | Single family homes on acreage lots. Development Application No. 7921-0080-00 for rezoning to RF-10 and RF-13 to allow subdivision into 19 single family small lots, received Third Reading on February 14, 2022.  | Drainage Corridor 5m, and Low Density Residential 6-10 u.p.a                                 | RA            |
| South (Across 19 Avenue): | Single family small lots.  | Medium Density Residential 10-15 u.p.a.  | RF-13         |
| West (Across 166 Street): | New elementary school (Ta'talu Elementary) under construction.   | School   | RA            |

## Context & Background

- The subject site is located on the north side of 19 Avenue, west of 167 Street in the Sunnyside Heights area. The site is designated "Urban" in the Official Community Plan (OCP) and "Cluster Residential 6-10 u.p.a", "Drainage Corridor 5m", and "Low Density Residential 6-10 u.p.a" in the Sunnyside Heights Neighbourhood Concept Plan and zoned "One-Acre Residential Zone (RA)".
- The Rezoning By-law that is associated with the subject development application was granted Third Reading at the April 17, 2023 Regular Council – Public Hearing meeting to allow for the development of 62 townhouse units under the associated Development Application No. 7920-0159-00 and 104 townhouse units under the associated Development Application No. 7920-0162-00 on the subject site, as well as one "Single Family Residential (13) Zone (RF-13)" lot (Lot 3).
- Following Third Reading of the associated rezoning bylaw at the April 17, 2023 Regular Council – Public Hearing meeting, it was noted that the required variance to reduce the lot width of the single family lot (Lot 3) had inadvertently been omitted from the Planning Report for consideration by Council.
- Therefore, this report is intended to seek Council's support for the proposed development variance permit associated with Lot 3.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant is proposing a Development Variance Permit (DVP) to reduce the minimum required lot width of the "Single Family Residential (13) Zone (RF-13)" from 12 metres to 10.5 metres for proposed Lot 3.

### Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in the Planning Report for Application Nos. No7920-0159-00 & 7920-0162-00 Appendix II.

## POLICY & BY-LAW CONSIDERATIONS

### Zoning By-law

- The applicant is requesting the following variance:
  - to reduce the minimum lot width of the RF-13 Zone for a Type 1 Interior Lot from 12 metres to 10.5 metres for proposed Lot 3.
- Proposed Lot 3 has a greater depth than the minimum 28 metres required for new Type 1 Interior lots in the RF-13 Zone, at approximately 40.8 metres, and still meet the minimum lot area of 336 square metres under the RF-13 Zone. Therefore, while the proposed lot width is less than the RF-13 Zone, the lot itself is oversized.
- The applicant provided a building envelope analysis demonstrating that the future dwelling on Lot 3 can be accommodated without future variances, and the reduced lot width will not negatively impact the adjacent existing single family residences.
- The proposed lot is to be accessed via a rear lane that is to be extended from the existing rear lane, outletting onto 19 Avenue.

## PUBLIC ENGAGEMENT

- The applicant originally erected a Development Proposal sign along 167 Street and 19 Avenue under the existing Development Application No. 7920-0162-00 six lot proposal in February 2022. A summary of the comments received and subsequent Public Information Meeting, including staff's comments can be found in the original Planning Report No. 7920-0159-00 & 7920-0162-00 (Appendix II). The comments received in relation to these applications generally did not pertain to the proposed single family lot and associated lot width variance.

## INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- |              |   |
|--------------|---|
| Appendix I.  | Development Variance Permit No. 7920-0162-01                                  |
| Appendix II. | Initial Planning Report No. 7920-0159-00 & 7920-0162-00, dated April 17, 2023 |

*approved by Shawn Low*

Don Luymes  
General Manager  
Planning and Development

KS/ar

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7920-0162-01

Issued To:

Address of Owner:

Issued To:

Address of Owner:

Issued To:

Address of Owner:

Issued To:

Address of Owner:

Issued To:

Address of Owner:

Issued To:

Address of Owner:

(the "Owners")

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
  
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-577-811  
Lot 42 Section 13 Township 1 New Westminster District Plan 57371  
16674 - 20 Avenue

Parcel Identifier: 005-577-845  
Lot 47 Section 13 Township 1 New Westminster District Plan 57371  
1949 - 167 Street

Parcel Identifier: 003-862-470  
Lot 55 Section 13 Township 1 New Westminster District Plan 58054  
16663 - 19 Avenue

Parcel Identifier: 005-650-585  
Lot 56 Section 13 Township 1 New Westminster District Plan 58054  
16651 - 19 Avenue

Parcel Identifier: 005-650-593  
Lot 57 Section 13 Township 1 New Westminster District Plan 58054  
16621 - 19 Avenue

Parcel Identifier: 003-766-357  
Lot 60 Section 13 Township 1 New Westminster District Plan 66460  
16620 - 20 Avenue

Parcel Identifier: 003-766-471  
Lot 61 Section 13 Township 1 New Westminster District Plan 66460  
16606 - 20 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

---

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

---

- 4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Section K. Subdivision of Part 16B Single Family Residential (13) Zone (RF-13), the minimum lot width for a Type I Interior Lot is reduced from 12 metres to 10.5 metres for proposed Lot 3.
- 5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
- 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
- 7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A, which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
- 8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
- 9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

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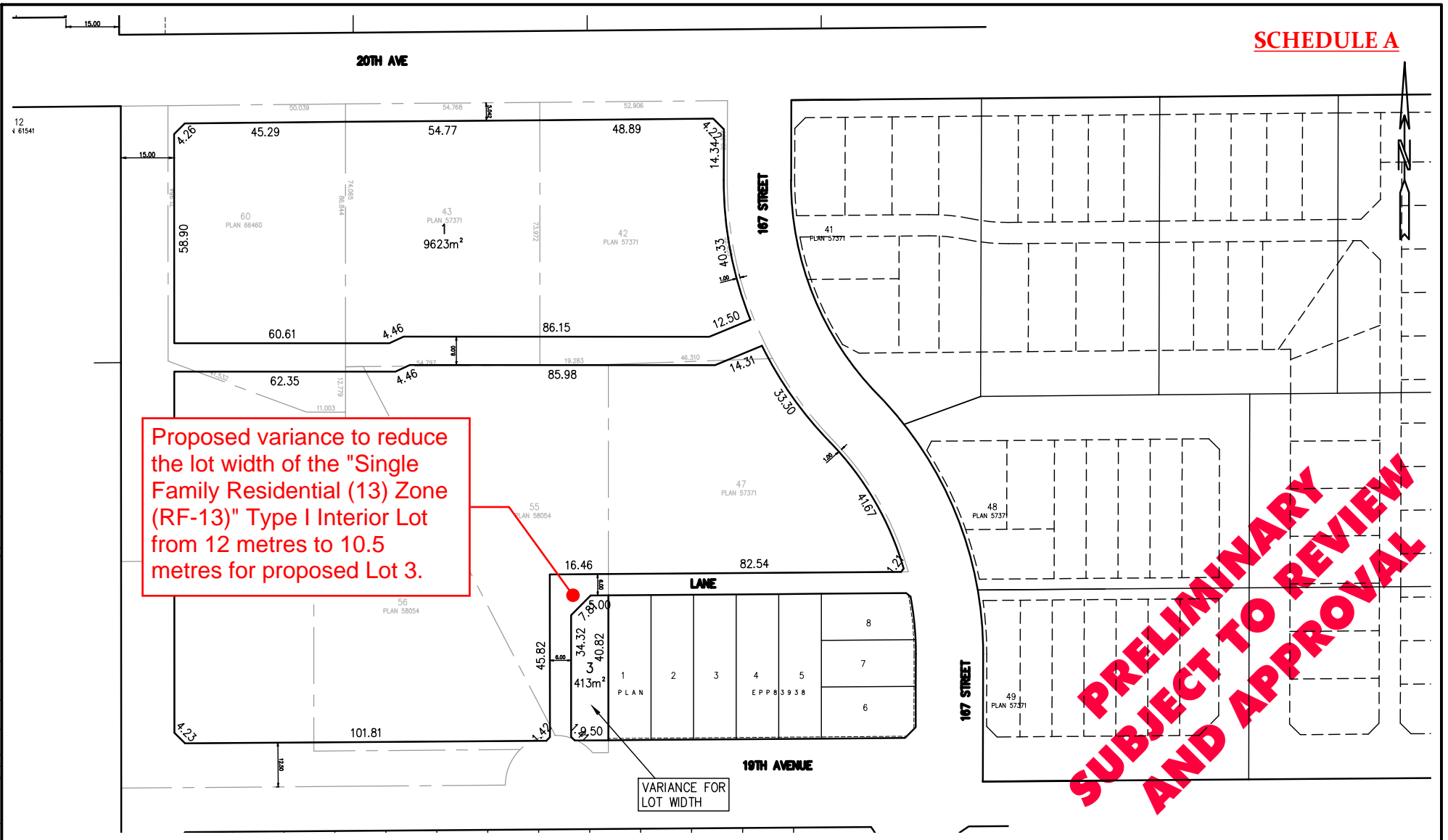
Mayor – Brenda Locke

---

City Clerk – Jennifer Ficocelli

**SCHEDULE A**

G:\Projects\20009\09\_01\Drawings\Layouts\Lot Layout - Op 13 - 2022-07-18.dwg [Lot Layout: 11x17] 7/19/2022 9:47AM



Proposed variance to reduce the lot width of the "Single Family Residential (13) Zone (RF-13)" Type I Interior Lot from 12 metres to 10.5 metres for proposed Lot 3.

VARIANCE FOR LOT WIDTH

|  |                |  |               |                        |  |
|--|----------------|--|---------------|------------------------|--|
| CLIENT:  |                | PROJECT: 167 STREET AND 20 AVE, SURREY |               |                        |  |
| DRAWING TITLE: SUBDIVISION   |                |  |               |                        |  |
| PROJECT No. 20009  | DATE: JUL 2022 | LEGAL:                                 | SCALE: 1:1000 | MUNICIPAL PROJECT No.: |  |
| PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES |                |  |               |                        |  |

**Hub Engineering Inc.**  
 Engineering and Development Consultants

Member  
**PACIFIC LAND GROUP**

Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6  
 tel: 604-572-4328 | fax: 604-501-1625 | mail@hub-inc.com | www.hub-inc.com





City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application Nos.: 7920-0159-00/  
 7920-0162-00

Planning Report Date: April 17, 2023

**PROPOSAL:**

- **NCP Amendment** from “Cluster Residential 6-10 u.p.a.”, “Drainage Corridor 5 m” and “Low Density Residential 6-10 u.p.a.” to “Multiple Residential 20-25 u.p.a.” and “Drainage Corridor 5 m” and for changes to the local road network.
- **Rezoning** from RA to RM-30 and RF-13
- **Development Permit**
- **Development Variance Permit**

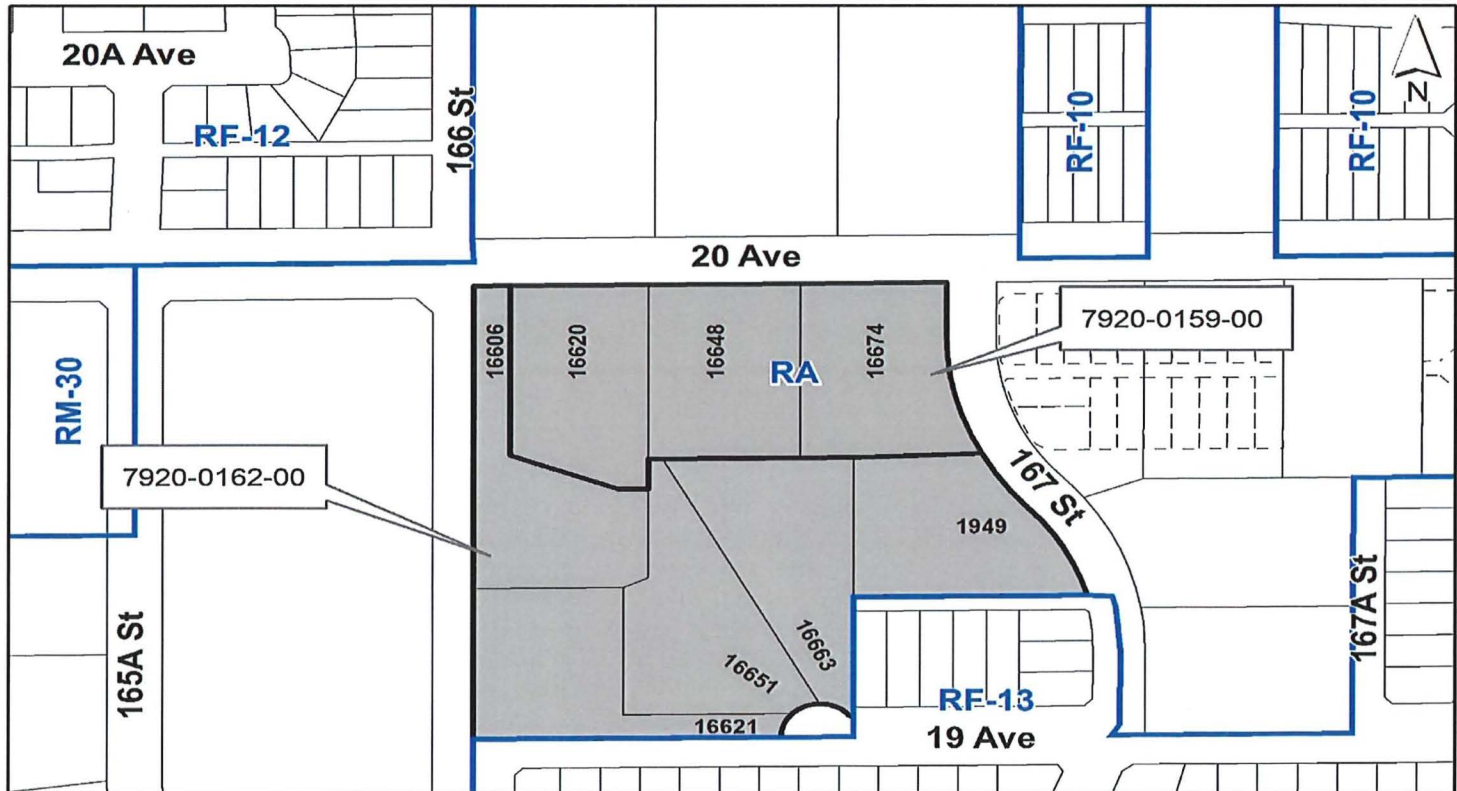
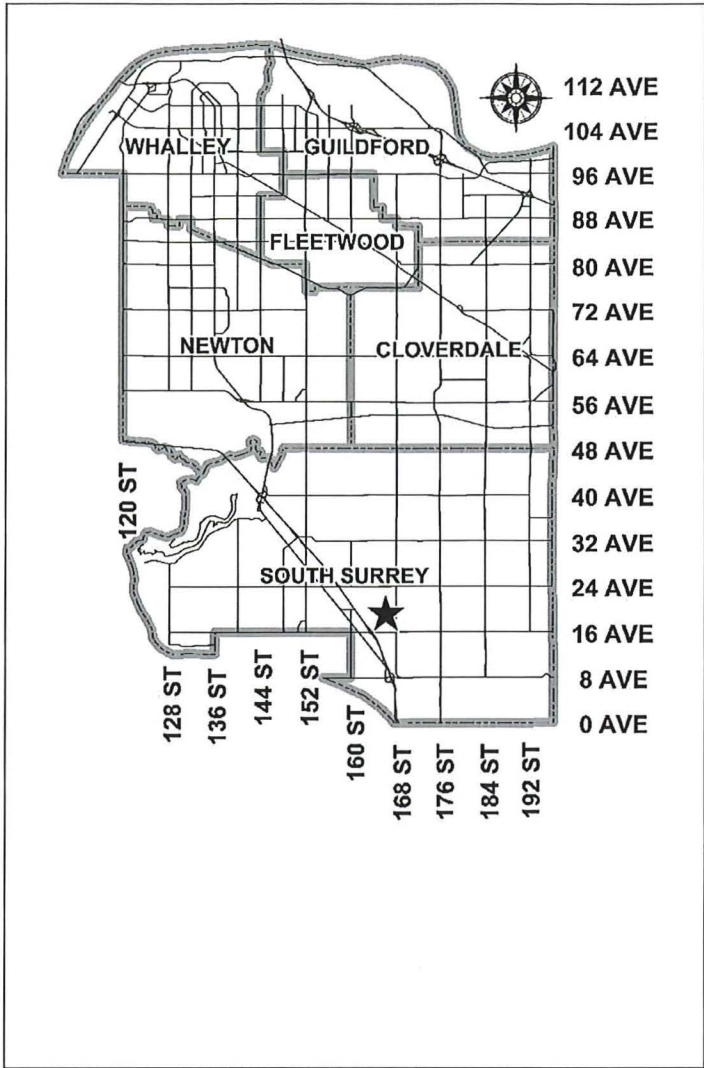
to permit the development of 166 townhouse units and 1 single family small lot.

**LOCATION:** 16674, 16648, 16620, 16606 – 20 Avenue  
 1949 – 167 Street  
 16663, 16651, 16621 – 19 Avenue

**ZONING:** RA

**OCP DESIGNATION:** Urban

**NCP DESIGNATION:** Cluster Residential 6-10 u.p.a.,  
 Drainage Corridor 5m, and Low Density Residential 6-10 u.p.a.

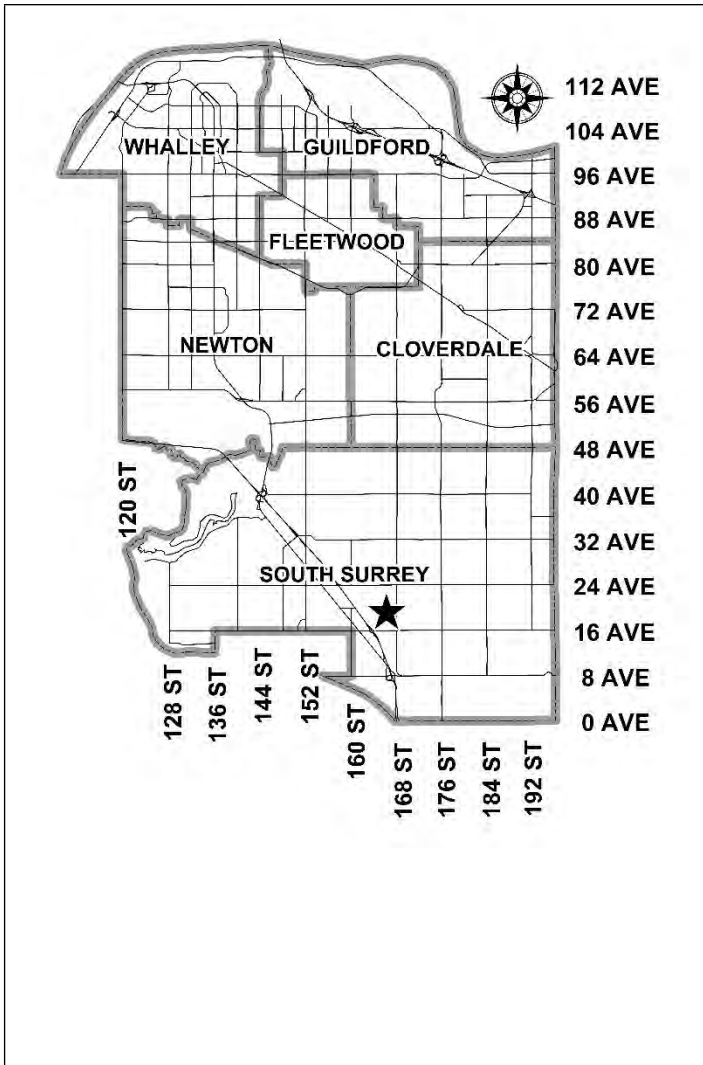


**APPENDIX II**

**City of Surrey  
PLANNING & DEVELOPMENT REPORT**

Application Nos.: 7920-0159-00/  
7920-0162-00

Planning Report Date: April 17, 2023



**PROPOSAL:**

- **NCP Amendment** from “Cluster Residential 6-10 u.p.a.”, “Drainage Corridor 5 m” and “Low Density Residential 6-10 u.p.a.” to “Multiple Residential 20-25 u.p.a.” and “Drainage Corridor 5 m” and for changes to the local road network.
- **Rezoning** from RA to RM-30
- **Development Permit**
- **Development Variance Permit**

to permit the development of 166 townhouse units and 1 single family small lot.

**LOCATION:**

16674, 16648, 16620, 16606 – 20 Avenue  
1949 – 167 Street  
16663, 16651, 16621 – 19 Avenue

**ZONING:**

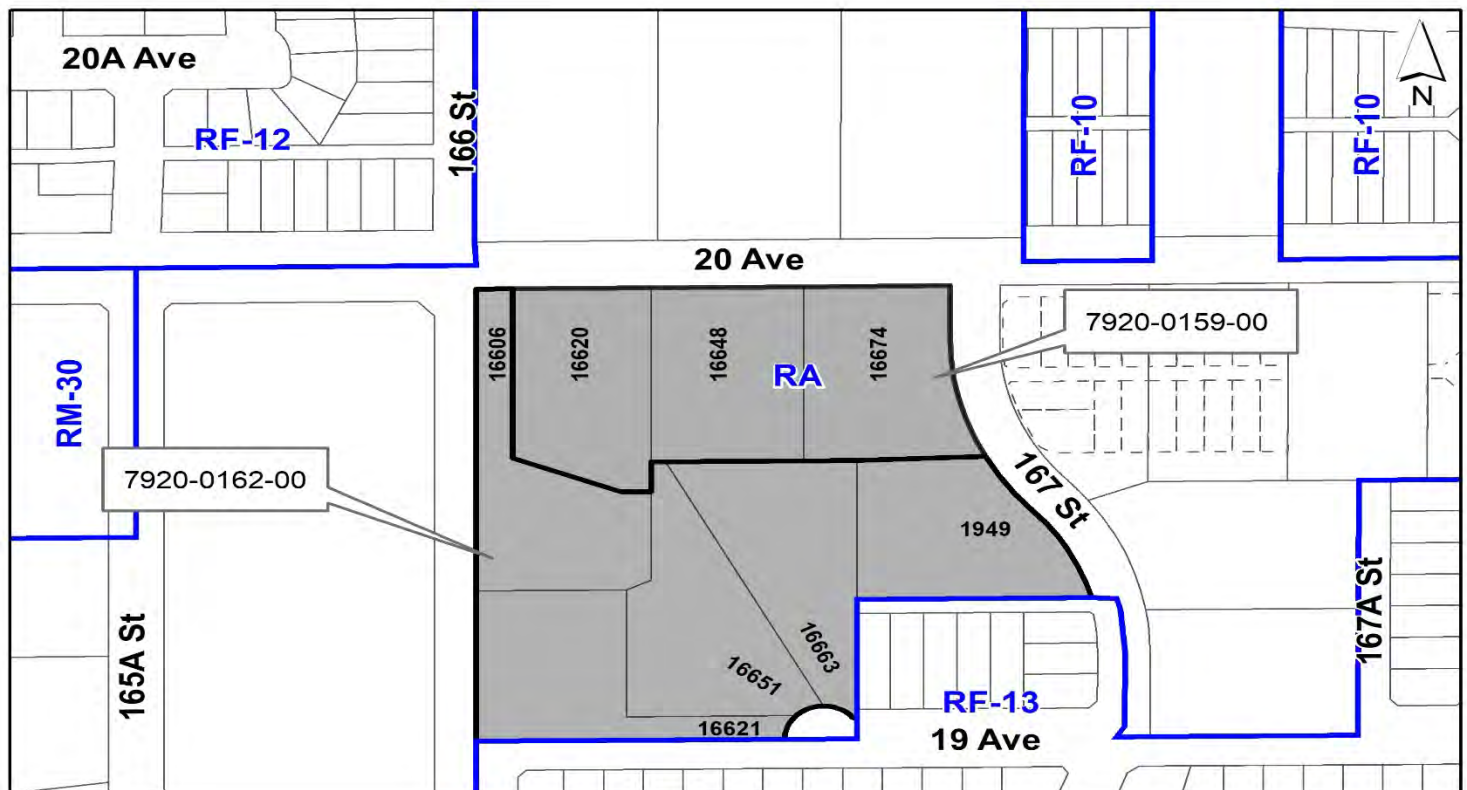
RA

**OCF DESIGNATION:**

Urban

**NCP DESIGNATION:**

Cluster Residential 6-10 u.p.a.,  
Drainage Corridor 5m, and Low  
Density Residential 6-10 u.p.a.



## RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Sunnyside Heights Neighbourhood Concept Plan (NCP) Amendment from “Cluster Residential 6-10 u.p.a.”, “Drainage Corridor 5m” and “Low Density Residential 6-10 u.p.a.” to “Multiple Residential 20-25 u.p.a.” and “Drainage Corridor 5 m” and for changes to the local road network.
- Proposing to reduce the setback requirements of the Multiple Residential 30 Zone (RM-30) and the General Provisions.

## RATIONALE OF RECOMMENDATION

- The proposal complies with the Urban designation in the Official Community Plan (OCP).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed amendment to the Sunnyside Heights NCP will facilitate a variety of housing types in this neighbourhood that are more affordable than the larger single family dwellings that were anticipated under the NCP.
- The proposed density and building form are appropriate for this part of Sunnyside Heights.
- The proposal partially complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Sunnyside Heights Neighbourhood Concept Plan (NCP) and in accordance with the Development Permit (Form and Character) design guidelines in the OCP and will facilitate additional visitor parking stalls.
- Some area residents have raised objections to the proposal. In response, the applicant held a Public Information Meeting to solicit feedback from area residents. The applicant amended the proposal by reducing the number of overall units and reducing the number of units within a row along the rear lane at the southern boundary of the subject site to reduce the overall impact on the adjacent single family lots along 19 Avenue.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.

- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- Development Application Nos. 7920-0159-00 and 7920-0162-00 are running in conjunction and are being considered under a single report and a single CD By-law as they function as one larger development of underdeveloped properties in Sunnyside Heights bounded by 20 Avenue to the north, 19 Avenue to the south, 167 Street to the east, and future 166 Street to the west.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone a portion of the subject site as shown as Block A on the attached Survey Plan (Appendix I) from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)", and Block B on the attached Survey Plan from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)", and Block C from "One-Acre Residential Zone (RA)" to "Single Family Residential (13) Zone (RF-13)" and a date be set for Public Hearing.
2. Council approve the applicant's request to reduce the amount of required indoor amenity space for Development Application No. 7920-0159-00.
3. Council authorize staff to draft Development Permit Nos. 7920-0159-00 and 7920-0162-00 generally in accordance with the attached drawings (Appendix II).
4. Council approve Development Variance Permit No. 7920-0159-00 (Appendix VII) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum west front yard setback of the RM-30 Zone for Building 4 from 4.5 metres to 4.2 metres for a portion of the principal building face;
  - (b) to reduce the minimum south side yard on a flanking street setback of the RM-30 Zone for Building 5 from 4.5 metres to 4.3 metres to a portion of the principal building face and for Building 14 from 4.5 metres to 3.0 metres;
  - (c) to reduce the minimum north side yard on a flanking street setback of the RM-30 Zone for the indoor amenity building from 4.5 metres to 4.3 metres; and
  - (d) to vary Part 4 of the General Provisions to permit stairs with more than 3 risers to be located in the setback for Buildings 2, 3, and 4.
5. Council approve Development Variance Permit No. 7920-0162-00 (Appendix VII) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum east front yard setback of the RM-30 Zone for Building 1 from 4.5 metres to 4.4 metres to a portion of the principal building face and to 3.8 metres to a portion of the principal building face for Building 24;
  - (b) to reduce the minimum west front yard setback of the RM-30 Zone for Building 8 from 4.5 metres to 4.4 metres to a portion of the principal building face;
  - (c) to reduce the minimum north side yard on a flanking street setback of the RM-30 Zone from 4.5 metres to 2.0 metres for visitor parking stall 1 and to 3.8 metres for visitor parking stall 2;
  - (d) to reduce the minimum south side yard on a flanking street setback of the RM-30 Zone for Building 10 from 4.5 metres to 4.2 metres for a portion of the principal building face and from 4.5 metres to 4.4 metres to Building 9 for a portion of the principal building face;

- (e) to reduce the minimum south side yard setback of the RM-30 Zone from 4.5 metres to 4.3 metres to Building 16 and to 4.2 metres to Building 17; and
  - (f) to reduce the minimum east rear yard setback of the RM-30 Zone from 6.0 metres to 3.0 metres to Building 11.
6. Council instruct staff to resolve the following issues prior to final adoption:
- (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) approval from the Ministry of Transportation & Infrastructure
  - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (h) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
  - (i) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-30 Zone, at the rate in effect at the time of Final Adoption
  - (j) the applicant adequately address the impact of reduced indoor and outdoor amenity space;
  - (k) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
  - (l) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services.
7. Council pass a resolution to amend the Sunnyside Heights Neighbourhood Concept Plan (NCP) from "Cluster Residential 6-10 u.p.a.", "Drainage Corridor 5m" and "Low Density Residential 6-10 u.p.a." to "Multiple Residential 20-25 u.p.a." and "Drainage Corridor 5 m"

and for changes to the local road network, when the project is considered for final adoption.

## SITE CONTEXT & BACKGROUND

| Direction                 | Existing Use  | NCP Designation   | Existing Zone |
|---------------------------|---|---|---------------|
| Subject Site              | Single family homes on acreage lots.  | Cluster Residential 6-10 u.p.a,<br>Drainage Corridor 5m, and Low Density Residential 6-10 u.p.a | RA            |
| North (Across 20 Avenue): | Vacant acreage lots under Development Application No. 7922-0149-00, which proposes rezoning to RM-30 and RF-10 to permit development of 171 townhouse units and 2 single family small lots.                       | Cluster Residential 6-10 u.p.a,<br>Drainage Corridor 5m, and Low Density Residential 6-10 u.p.a | RA            |
| East (Across 167 Street): | Single family homes on acreage lots. Development Application No. 7921-0080-00 for rezoning to RF-10 and RF-13 to allow subdivision into 19 single family small lots, received Third Reading on February 14, 2022. | Drainage Corridor 5m, and Low Density Residential 6-10 u.p.a                                    | RA            |
| South (Across 19 Avenue): | Single family small lots.   | Medium Density Residential 10-15 u.p.a.   | RF-13         |
| West (Across 166 Street): | New elementary school (Ta'talu Elementary) under construction.  | School  | RA            |

### Context & Background

- Development Application Nos. 7920-0159-00 and 7920-0162-00 are running in conjunction and are being considered under a single report and a single CD By-law as they function as one larger development of underdeveloped properties in Sunnyside Heights bounded by 20 Avenue to the north, 19 Avenue to the south, 167 Street to the east, and future 166 Street to the west. Staff requested the applicant propose a single development application, however, the applicant decided to proceed with two separate development applications.
- The 2.6-hectare subject site consists of eight properties situated along 20 Avenue, 167 Street, and 19 Avenue (16606, 16620, 16648, and 16674 – 20 Avenue, 1949 – 167 Street, and 16621, 16651, 16663 – 19 Avenue) and is located in Sunnyside Heights.

- Due to the unique existing property lines, several properties are under both development applications. The properties involved in each development application are as follows:
  - **7920-0159-00:** 16620, 16648, 16674 – 20 Avenue
  - **7920-0162-00:** 16606, 16620, 16674 – 20 Avenue, 16621, 16651, 16663 – 19 Avenue, 1949 – 167 Street
- Throughout this report, the northern Development Application No. 7920-0159-00 is referred to as “Site A” and southern Development Application No. 7920-0162-00 is referred to as “Site B”. Collectively they are also referred to as the “subject site” or “subject development”.
- The subject site is designated “Cluster Residential 6-10 u.p.a”, “Drainage Corridor 5m”, and “Low Density Residential 6-10 u.p.a” in the Sunnyside Heights Neighbourhood Concept Plan and zoned “One-Acre Residential Zone (RA)”.
- Previous Development Application No. 7918-0357-00 on one of the subject properties of Site A (16674 – 20 Avenue), proposed a rezoning from “One-Acre Residential Zone (RA)” to “Single Family Residential (13) Zone (RF-13)” and “Single Family Residential (10) Zone (RF-10)” to allow subdivision into eight single family small lots. Development Application No. 7918-0357-00 was in initial review when the subject development applications were submitted and therefore, the application will be closed.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant proposes the following:
  - an amendment to the Sunnyside Heights Neighbourhood Concept Plan (NCP) to introduce “Multiple Residential 25-30 u.p.a.” as a new land use designation; to amend the designation for the site from “Cluster Residential 6-10 u.p.a.”, “Drainage Corridor 5m” and “Low Density Residential 6-10 u.p.a.” to “Multiple Residential 25-30 u.p.a.” and “Drainage Corridor 5 m” and for changes to the local road network, when the project is considered for final adoption.;
  - Rezoning a portion of the site identified as Block A and Block B on the Survey Plan, attached as Appendix I, from “One Acre Residential Zone (RA)” to “Multiple Residential Zone (RM-30)” and a portion of the site identified as Block C on the Survey Plan from “One Acre Residential Zone (RA)” to “Single Family Residential (13) Zone (RF-13)”;
  - to consolidate the properties into two separate townhouse lots (Site A and Site B) and one single family lot;
  - Development Permit for Form and Character; and
  - Development Variance Permit to permit the development of 166 townhouse units and one single family small lot.



- The “cluster” designation in the Sunnyside Heights NCP was identified for areas where high value tree stand locations existed. The NCP called for these areas to be preserved for open space with the remaining land developed at a higher density. The designation calls for approximately 30-40% of area in the designation on a property to be preserved for open space/tree retention. The cluster designation covers two properties of Development Application No. 7920-0159-00. Of this, the applicant proposes to retain approximately 12% of the cluster designated area, below the targeted 30-40%.
- The proposed density is 62 units per hectare (uph) (25 units per acre [upa]) for Site A and 65 units per hectare (uph) (26 units per acre [upa]) for Site B.
- A shortfall of outdoor amenity is proposed for Site B. 312 square metres of outdoor amenity is required based on 3 square metres/unit, and the applicant proposes to provide 191 square metres. Cash-in-lieu will be provided for the space shortfall, in accordance with the Zoning By-law.
- Staff worked with the applicant on a proposed change in land use from single-family to townhouses and provided several conditions for support, including:
  - To support the removal of 19A Avenue (east west local road shown in the NCP) and its associated on-street parking, the provision of an adequate amount of excess visitor parking;
  - To support the removal of 19A Avenue and its potential as an east-west connection and public realm infrastructure, a sufficient pathway dedication that can achieve the public realm and pedestrian/cycling functions that 19A Avenue would have provided;
  - Significant tree retention on-site in accordance with the NCP cluster designation;
  - Limit the increase in the number of projected students; and
  - Designing a sensitive interface to the existing single-family neighbourhood.
- Staff worked with the applicant to achieve these conditions, however, the current proposal only meets some of the parameters provided to support the change in land use:
  - In place of the 25 metre wide 19A Avenue public road right-of-way, the applicant proposes an 8-metre wide pedestrian corridor. Staff had requested a 10-metre wide corridor, as is standard for walkways. 10 metres would provide sufficient width for the corridor to achieve a 4 metre-wide walkway and 3 metre flanking landscape buffers inclusive of lighting, seating and other recreational opportunities. The proposed 8-metre wide corridor is undesirable from a Crime Prevention Through Environmental Design (CPTED) perspective as it reduces the walkway to a narrow tunnel-like walkway without sufficient separation between the buildings and walkway.

- The proposed increase in density has resulted in several other urban design issues that create undesirable conditions and reduced livability on the site. These issues are noted below:
  - The proposal does not include trees along internal drive-aisles, or at the front of each individual or shared back-to-back townhouse unit entryway as noted by Form and Character Development Permit design guideline DP1.1 48. The lack of inclusion of trees along drive aisles reduces greenery and the aesthetic appearance of the development.
  - Form and Character Development Permit design guideline DP1.1 107 calls for ground floor habitable rooms with a minimum depth of 3 metres to provide an active ground floor. Some of the buildings are proposed with smaller ground floor rooms such that they are no longer considered habitable rooms (2.0 to 2.5 metres in depth).
- Further discussion of the form and character and design issues are presented in the Development Permit section of the report.
- The proposed single family small lot exceeds the minimum lot area and lot depth of the RF-13 Zone, however, the applicant proposes a variance to reduce the lot width from 12 metres to 10.8 metres.
- The proposed lot area for the single family lot is significantly larger (413 square metres) than required for a Type I RF-13 Interior lot (336 square metres). Similarly, the lot depth of 40.8 metres far exceeds the minimum 28 metres in the RF-13 Zone.
- The applicant has provided a building envelope analysis demonstrating that a dwelling can be constructed on the narrower lot. No variances will be supported to reduce building setbacks on this lot should they be requested in the future.

|                                | <b>Proposed</b>                             |  |
|--------------------------------|---|--|
| <b>Lot Area</b>                | <b>Site A</b>                               | <b>Site B</b>                                  |
| Gross Site Area:               | 12,213 square metres                        | 20,111 square metres                           |
| Road Dedication:               | 1,230 square metres                         | 5,003 square metres                            |
| Undevelopable Area:            | 960 square metres                           | 960 square metres                              |
| Net Site Area:                 | 10,023 square metres                        | 16,068 square metres                           |
|                                | <b>Site A</b>                               | <b>Site B</b>                                  |
| <b>Number of Lots:</b>         | 1 townhouse lot                             | 1 townhouse lot plus 1 single family small lot |
| <b>Building Height:</b>        | 8.7 metres -13.0 metres                     | 9.2 metres - 13.0 metres                       |
| <b>Unit Density:</b>           | 62 units per hectare<br>(25 units per acre) | 65 units per hectare<br>(26 units per acre)    |
| <b>Floor Area Ratio (FAR):</b> | 0.80  | 0.88   |
| <b>Floor Area</b>              |   |  |
| Residential:                   | 7,987 square metres                         | 10,821 square metres                           |
| Total:                         | 7,987 square metres                         | 10,821 square metres                           |
| <b>Residential Units:</b>      |   |  |
| 3-Bedroom:                     | 62  | 104  |
| Total:                         | 62  | 104  |

**Referrals**

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: The School District has advised that there will be approximately 142 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

78 Elementary students at Edgewood Elementary School  
40 Secondary students at Grandview Heights Secondary School

(Appendix IV)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy between Fall 2024 and Spring 2025.

\*A new elementary school (Ta'atalu Elementary School) is being constructed to the immediate west and is scheduled to open in fall 2025.

\*\*A new secondary school opened in Fall 2021 in the Grandview neighbourhood (Grandview Heights Secondary). Due to the continued development of this area the school boundaries are still being reviewed.

|   |   |
|---|---|
| Parks, Recreation & Culture:                        | <p>Should this application be supported by Council, Parks, Recreation and Culture will accept a voluntary amenity contribution in the amount of \$30,000 by the applicant in response to residents' concerns about increased density over what was planned for the neighbourhood. The voluntary contribution will be used for park amenities in the Sunnyside Heights neighbourhood.</p> <p>The closest active park/playground is 125G Neighbourhood Park, which will be fully constructed in consultation with area residents upon acquisition of lands associated with Development Application No. 7917-0506-00. The park has temporary amenities including play structures and open space and is 350 metres walking distance from the development. The closest natural area is Darts Hill Garden Park and is 620 metres walking distance from the development.</p> |
| Ministry of Transportation & Infrastructure (MOTI): | No concerns.  |
| Surrey Fire Department:                             | No concerns.  |
| Advisory Design Panel:                              | The application was not referred to the ADP but was reviewed by staff and found satisfactory.   |

## Transportation Considerations

### Road Network & Infrastructure

- The applicant is required to provide road improvements to support the proposal along the site frontages of 19 Avenue, 20 Avenue, 166 Street, 167 Street, and a lane connection.
- The applicant is proposing an amendment to the NCP road network by replacing 19A Avenue between 166 Street and 167 Street with a pedestrian walkway. In support of the removal of 19A Avenue, the applicant is proposing to provide additional on-site visitor parking to exceed the minimum Zoning Bylaw parking requirements.
- A traffic circle is planned for 20 Avenue and 166 Street.

### Traffic Impacts

- Due to the proposed number of units and change in land use, the applicant was required to conduct a Transportation Impact Analysis ("TIA"). Based on the TIA, using industry standard rates, the subject proposal is anticipated to generate approximately 103 trips during peak hour (one to two vehicles every minute). Compared to the density as per the current NCP designation, the proposal is anticipated to generate approximately 20 additional vehicle trips in the peak hour (one additional vehicle every three minutes).
- Based on the transportation impact assessment findings, the applicant is required to provide improvements at the intersection of 16 Avenue and 168 Street.

### Access

- The subject site is proposed to be accessed via three entrances: 167 Street, 19 Avenue, and the rear lane.
- In response to concerns expressed by area residents, the proposed site access locations and lane configuration have been designed to minimize additional traffic to the existing lane.

### Transit & Cycling

- The closest bus stop is located at 24 Avenue and 166 Street, approximately one kilometre from the subject site. The bus stop is serviced by TransLink Bus Route No. 531 with connections between White Rock and Willowbrook.
- The subject site is located along Sunnyside Greenway on 20 Avenue and approximately 220 metres from the Grandview Ridge Trail, a multi-use pathway that connects Sunnyside Heights to the commercial node at 24 Avenue and 160 Street.

### **Parkland and/or Natural Area Considerations**

- As part of the community consultation process, residents in the neighbourhood sought additional amenities in the temporary portion of 125G Neighbourhood Park.
- Parks currently has all the temporary amenities they can provide in 125G Neighbourhood Park. Upon acquiring all lands associated with this neighbourhood park, Parks staff will undertake community engagement to determine the appropriate permanent amenities to be included in the park.
- Should this application be supported by Council, the applicant agreed to provide a cash-contribution to the City for park amenities in the amount of \$30,000.
- The cash contribution provided by the applicant, should this application proceed, would be directed towards park amenities within the Sunnyside Heights NCP, which may include the future build-out of 125G Neighbourhood Park or other parks identified within the Sunnyside Heights NCP.

### **Sustainability Considerations**

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist. The applicant will amend the roof top patios to include a high albedo roof with a SRI value of 75 for those buildings with rooftop patios/flat roofs.
- To further reduce the urban heat island effect and provide thermal comfort for future residents, and in accordance with the Development Permit guidelines for Form and Character, staff requested the applicant provide trees within drive-aisles. The applicant proposes trees to be planted only in a small portion of two drive-aisles of Site B. The applicant proposes not to provide trees in the drive-aisle for the majority of the subject site.

## School Capacity Considerations

- The School District has advised that this development will generate the following students:

### Site A (north):

- approximately 53 school-age children, 44 of which are projected to attend schools in the Surrey School District.

### Site B (south):

- approximately 89 school-age children, 74 of which are projected to attend schools in the Surrey School District.

- Together, these developments will generate 142 school-age children, 118 of which are projected to attend schools in the Surrey School District.
- At the time this application was first submitted staff worked with the School District to determine the number of projected students under the existing single family land use designation for this site. Under the existing single family land use designation a total of approximately 69 single family lots could be achieved. At that time, the School District advised that 69 single family lots would generate approximately 78 elementary students and 31 secondary students, which was relatively similar to the proposed townhouse applications.
- Staff are supportive of the change in land use to townhouses, however, it should be noted that the proposed townhouse developments represent a marginal increase to the expected student yields when this application was first considered by staff. The current proposal results in 78 elementary students and 40 secondary students as opposed to 78 elementary students and 31 secondary students under the single family scenario at that time. Staff had requested the density be slightly reduced (fewer townhomes) to lessen the impact of the increase in density on school capacity in the neighbourhood. The applicant has elected not to reduce the density beyond what is currently proposed.

## POLICY & BY-LAW CONSIDERATIONS

### Regional Growth Strategy

- The subject site is designated “General Urban” in the Regional Growth Strategy (RGS) and the proposal complies with this designation.

### Official Community Plan

#### Land Use Designation

- The subject site is designated “Urban” in the Official Community Plan (OCP) and the proposed townhouses comply with this designation provided Council supports an amendment to the Sunnyside Heights Neighbourhood Concept Plan.

### Themes/Policies

- Staff support the change in land use from single family to townhouses to accommodate a variety of housing types in the Sunnyside Heights neighbourhood in accordance with OCP policies B4.2 and B4.5, which seek to plan and design new neighbourhoods to accommodate a wide range of diverse households through a diversity of housing types and sizes.
- Despite staff's general support for a change in land use to townhouses, staff have reservations about the proposed density at this location due to the impact on student enrollment and site planning issues.
- The applicant proposes a significant increase in density from the existing land use designation that permits 6-10 units per acre. The applicant proposes 25 units per acre for Site A and 26 units per acre for Site B, which directly abuts the existing single family residences.
- A4 Efficient New Neighbourhoods (General): Plan and develop new neighbourhoods with an emphasis on compact forms of development that effectively utilize land, public infrastructure, and City resources; enhance neighbourhood quality; and reduce development pressures on agricultural and environmentally sensitive lands. Encourage the full and efficient build-out of existing planned urban areas in order to achieve planned capacities, use infrastructure efficiently, provide housing options, and provide amenities to residents.
  - *The proposed townhouse development will increase the variety of housing types within this part of the Sunnyside Heights plan area.*
- B4 Healthy Neighbourhoods (Streets & Walkways)/C2 Transportation (General): Design local streets to allow multiple modes of travel and enhanced pedestrian and cycling opportunities; and support easy, fluid, unobstructed movement of pedestrians throughout urban areas by planning local street networks using a finer-grained, modified grid pattern.
  - *The subject development contributes to a finer grain transportation network by providing a pedestrian corridor bisecting Site A and B, which will provide multi-modal transportation connections from 167 Street to 166 Street, connecting with the future elementary school to the west.*
- B5 Memorable Features: retain and enhance memorable natural and built features and places.
  - *The subject development proposes to retain 24 trees total across two development sites, including a significant stand of on-site trees at the northwest corner of the site and along 20 Avenue, maintaining some of the existing natural heritage.*

### **Secondary Plans**

#### Land Use Designation

- The subject site is designated Cluster Residential 6-10 u.p.a, Drainage Corridor 5m, and Low Density Residential 6-10 u.p.a in the Sunnyside Heights Neighbourhood Concept Plan.

- The applicant proposes an amendment to the Sunnyside Heights Neighbourhood Concept Plan (NCP) from “Cluster Residential 6-10 u.p.a.”, “Drainage Corridor 5m” and “Low Density Residential 6-10 u.p.a.” to “Multiple Residential 20-25 u.p.a.” and “Drainage Corridor 5 m” and for changes to the local road network.

### Amendment Rationale

#### *Rationale for Land-Use Redesignation*

- The “cluster” designation in the Sunnyside Heights NCP were used in areas where significant tree coverage was observed with the intention that larger tree retention areas (30-40% of the “cluster development” sites) could be incorporated into the new neighbourhood.
- The proposed density for Site A is 25 units per acre and 26 units per acre for Site B. The proposed density meets the intent of the “Multiple Residential 20-25 u.p.a.” in the Sunnyside Heights NCP.
- The applicant’s proposal for a greater number of smaller and higher-density units will create a more affordable housing product than the single family homes and larger townhomes that could be built under the existing designation. It will allow for a mix of housing types within this neighbourhood.
- The developer suggests that the prices for larger homes would make it uneconomical to develop this site under a 6-10 upa scenario. The applicant’s proposal is generally consistent with current market trends, which have seen larger and more expensive homes decline in attainability in this area since the NCP was finalized in 2010.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.
- The applicant will be required to provide the per unit rate for the number of units above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.

#### *Rationale for Elimination of 19A Avenue*

- City staff considered the proposed removal of 19A Avenue provided the following conditions were met:
  - No tandem units were proposed to better accommodate all resident parking on-site;
  - Sufficient visitor parking that meets or exceeds the Zoning By-law requirement;
  - Substantial tree protection;
  - Dedication for a pedestrian and cycling walking, inclusive of landscape buffers.
- The applicant has demonstrated that the above conditions were met on the site.



- The proposed 8-metre wide corridor to be dedicated for public access is less than the requested 10 metres, however, the dedicated corridor retains its function as providing a finer-grained transportation network to provide pedestrian/cycling connections throughout the neighbourhood.

### Themes/Objectives

- Staff support the change in land use from single family to townhouses to accommodate a variety of housing types in the Sunnyside Heights neighbourhood, however, staff have some reservations with the proposed density and several design elements.
- The cluster designation is intended to facilitate tree retention through development. In this case the NCP requires that 30-40% of the cluster designated area be preserved for open space and tree preservation purposes and conveyed to the City. Outside of this open space, the rest of the site may support higher-density development, with a maximum permitted density of 6-10 units per acre averaged over the entire area.
- The applicant is proposing to retain approximately 826 square metres of the cluster designated area for tree retention and outdoor amenity area for the development. This represents a total of 12% of the cluster designated area which is not proposed to be conveyed to the City. Therefore, the proposed increase in density for the site *includes* the tree retention/open space area, contrary to the intent of this designation in the NCP.
- The applicant's proposal for a greater number of smaller and higher-density units will create a more affordable housing product than the single-family homes that could be built under the existing designation.
- The smaller, more dense townhouse units are supportable from a land use perspective and are appropriate for the area.
- Multiple residential densities for townhouses in Sunnyside Heights have varied from 20-25 units per acre. The information below presents an overview of the densities approved for "Urban" designated in the OCP, multiple residential townhouse applications in Sunnyside Heights. All applications noted below were designated for townhouses:
  - 7912-0224-00 – 24.4 units per acre
  - 7913-0065-00 – 22 units per acre
  - 7914-0280-00 – 22.4 units per acre
  - 7915-0087-00 – 20 units per acre
  - 7918-0062-00 – 25 units per acre
  - 7919-0057-00 – 25 units per acre
  - 7919-0116-00 – 21.4 units per acre
- In contrast, the subject application is designated for single family and proposes to exceed the densities achieved for other sites in Sunnyside Heights that were already designated for townhouse developments in the NCP.
- The proposed road network change to remove 19 Avenue and the associated drainage corridor at this location is considered appropriate given the dedication of an 8 metre wide pedestrian

and cycling corridor bisecting the sites. Additional visitor parking is also provided on each site to accommodate the on-street parking that 19 Avenue would have provided.

**Zoning By-law**

- The applicant proposes to rezone a portion of the subject site from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)" for Block A and Block B (Appendix I) and from "One-Acre Residential Zone (RA)" to "Single Family Residential (13) Zone (RF-13)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Multiple Residential 30 Zone (RM-30)", and parking requirements.

| RM-30 Zone (Part 22)       | Permitted and/or Required                              | Proposed  |  |
|----------------------------|--|---|--|
|                            |  | Site A  | Site B   |
| <b>Unit Density:</b>       | 75 uph   | 62 units per hectare (25 units per acre)  | 65 units per hectare (26 units per acre)   |
| <b>Floor Area Ratio:</b>   | 1.0  | 0.80  | 0.88   |
| <b>Lot Coverage:</b>       | 60%  | 35%   | 40%  |
| <b>Yards and Setbacks</b>  |  |   |  |
| North:                     | Site A/B: 4.5 m  | 4.5 m<br>*variance to 4.3 m for indoor amenity building                                 | 4.5 m<br>*variance to 2.0 m for visitor parking stalls                                   |
| East:                      | Site A/B: 4.5 m  | 4.5 m   | 4.5 m<br>*variance to 4.4 m for Building 1 and 3.8 m for Building 24                     |
| South:                     | Site A/B: 4.5 m  | 4.5 m<br>*variance to 4.3 m to Building 5 and 3.0 m for Building 14                     | 4.5 m<br>*variance to 4.2 m for Building 10 and 4.4 m for Building 9                     |
| West:                      | Site A/B: 4.5 m  | 4.5 m<br>*variance to 4.2 m for Building 4  | 4.5 m<br>*variance to 4.4 m for Building 8   |
| <b>Height of Buildings</b> |  |   |  |
| Principal buildings:       | 13 m   | 8.7 – 13.0 metres   | 9.2 – 13.0 metres  |
| Indoor Amenity:            | 11 m   | 9.5 metres  | 7.5 metres   |
| <b>Amenity Space</b>       |  |   |  |
| Indoor Amenity:            | Site A: 186 square metres<br>Site B: 312 square metres | The proposed 144 m <sup>2</sup> [+ CIL of \$21,00] meets the Zoning By-law requirement. | The proposed 191 m <sup>2</sup> [+ CIL of \$60,000] meets the Zoning By-law requirement. |

| RM-30 Zone (Part 22)        | Permitted and/or Required                              | Proposed   |  |
|-----------------------------|--|--|--|
|                             |  | Site A   | Site B   |
| Outdoor Amenity:            | Site A: 186 square metres<br>Site B: 312 square metres | The proposed 342 m <sup>2</sup> meets the Zoning By-law requirement. | The proposed 272 m <sup>2</sup> [+ CIL of \$32,000] meets the Zoning By-law requirement. |
| <b>Parking (Part 5)</b>     | <b>Required</b>  | <b>Proposed</b>  |  |
| <b>Number of Stalls</b>     |  |  |  |
| Residential:                | Site A: 124<br>Site B: 208                             | Site A: 124  | Site B: 208  |
| Residential Visitor:        | Site A: 12<br>Site B: 21                               | Site A: 14   | Site B: 23   |
| Total:                      | Site A: 136<br>Site B: 229                             | Site A: 138  | Site B: 231  |
| <b>Bicycle Spaces</b>       |  |  |  |
| Residential Secure Parking: | n/a  | n/a  | n/a  |
| Residential Visitor:        | 12   | 12   | 4  |

### Setback Variances

- The applicant is requesting the following variances for Site A (north site):
  - (a) to reduce the minimum west front yard setback of the RM-30 Zone for Building 4 from 4.5 metres to 4.2 metres for a portion of the principal building face;
  - (b) to reduce the minimum south side yard on a flanking street setback of the RM-30 Zone for Building 5 from 4.5 metres to 4.3 metres to a portion of the principal building face and for Building 14 from 4.5 metres to 3.0 metres;
  - (c) to reduce the minimum north side yard on a flanking street setback of the RM-30 Zone for the indoor amenity building from 4.5 metres to 4.3 metres; and
  - (d) to vary Part 4 of the General Provisions to permit stairs with more than 3 risers to be located in the setback for Buildings 2, 3, and 4.
- The applicant is requesting the following variances for Site B (south site):
  - (a) to reduce the minimum east front yard setback of the RM-30 Zone for Building 1 from 4.5 metres to 4.4 metres to a portion of the principal building face and to 3.8 metres to a portion of the principal building face for Building 24;
  - (b) to reduce the minimum west front yard setback of the RM-30 Zone for Building 8 from 4.5 metres to 4.4 metres to a portion of the principal building face;

- (c) to reduce the minimum north side yard on a flanking street setback of the RM-30 Zone from 4.5 metres to 2.0 metres for visitor parking stall 1 and to 3.8 metres for visitor parking stall 2;
  - (d) to reduce the minimum south side yard on a flanking street setback of the RM-30 Zone for Building 10 from 4.5 metres to 4.2 metres for a portion of the principal building face and from 4.5 metres to 4.4 metres to Building 9 for a portion of the principal building face;
  - (e) to reduce the minimum south side yard setback of the RM-30 Zone from 4.5 metres to 4.3 metres to Building 16 and to 4.2 metres to Building 17; and
  - (f) to reduce the minimum east rear yard setback of the RM-30 Zone from 6.0 metres to 3.0 metres to Building 11.
- The reduced front yard and street side yard setbacks for portions of the principal building face will facilitate usable and habitable ground floor rooms that provide improved activation of the ground floor. The small reduction is considered reasonable given it is only for a portion of the principal building face.
  - The reduced setback to the indoor amenity building is considered reasonable given its location amongst the retained trees and its connection to both the outdoor amenity area and publicly accessible open space at the intersection of 20 Avenue and 166 Street.
  - The increase to the number of permitted risers in the setback is needed to accommodate the grades of the sloping site and the minimal grading work proposed fronting units along 20 Avenue to retain the boulevard trees. The risers and exposed foundation are proposed to be closed and cladded with hardie brick to create an attractive front entry.
  - The reduced setback to Building 14 is the result of the meandering pedestrian corridor and will have minimal impact on the walkway.
  - On Site B, the proposed number of visitor parking stalls meets the minimum required under the Zoning By-law. Staff requested additional visitor parking stalls to accommodate the loss of on-street parking with the removal of 19A Avenue. The reduced setback to two of the visitor parking stalls will facilitate two additional visitor parking spaces. These stalls will be buffered from the pedestrian corridor with landscaping ensuring they have minimal impact on the public realm.
  - Staff support the requested variances to proceed for consideration.

### **Capital Projects Community Amenity Contributions (CACs)**

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide

additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.

- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,000 per new unit.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Sunnyside Heights NCP designation.
- The applicant will be required to provide the per unit flat rate for the number of units above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption, The current fee for South Surrey is \$20,000 per unit for townhouses.

### **Affordable Housing Strategy**

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

### **Public Art Policy**

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

### **PUBLIC ENGAGEMENT**

- Pre-notification letters were sent on January 25, 2022 and the Development Proposal Signs were installed on February 11, 2022. Staff received 65 responses from neighbouring residents (*staff comments in italics*):
- The subject development application was also reviewed by the Grandview Heights Stewardship Association and the Little Campbell Watershed Society but no comments were provided.

### **Summary of Concerns Received via Phone and Email**

| Topic | Summary of Comments | Number of comments |
|-------|---------------------|--------------------|
|-------|---------------------|--------------------|

| Topic                                 | Summary of Comments                                  | Number of comments |
|---------------------------------------|--|--------------------|
| Traffic                               | Increased Traffic<br>Parking                         | 45<br>42           |
| Density                               | Number of units too high for the area<br>Livability  | 57<br>10           |
| Schools                               | Over Capacity  | 3                  |
| Interface/Context/Design              | Not consistent with surrounding<br>context           | 10                 |
| Community<br>Amenities/Infrastructure | Lack of amenities in neighbourhood<br>Infrastructure | 5<br>4             |
| Trees                                 | Lack of tree retention/open space                    | 9                  |
| Safety                                | Crime<br>Impact on property values                   | 1<br>2             |

- Many responses to staff included concerns about traffic volumes and safety, and the ability of existing road infrastructure to accommodate the increase in traffic brought about by a higher-density development.
  - *Due to the proposed number of units and change in land use, staff requested the applicant undertake a Transportation Impact Analysis (TIA) to determine the potential impact on traffic and parking in the area. Based on the TIA, using industry standard rates, the subject proposal is anticipated to generate approximately 103 trips during peak hour (one to two vehicles every minute). Compared to the density as per the current NCP designation, the proposal is anticipated to generate approximately 20 additional vehicle trips in the peak hour (one additional vehicle every three minutes). As a result, some improvements to the arterial network will be required, including the extension of the eastbound left turn bay storage to 90 metres at 16 Avenue and 168 Street, and the provision of cash-in-lieu for future relocation of the northwest signal pole at 16 Avenue and 168 Street, to support future intersection improvements.*
  - *The townhouse developments will have primary access from 167 Street and Site B will have a secondary access via the residential lane, which will help to disperse traffic from future residents and not impact the existing single family residences to the southeast.*
- Lack of street parking in the neighbourhood was a complaint that was raised by residents who are concerned that more development will exacerbate the problem.
  - *The applicant proposes to eliminate the east-west road (19A Avenue) bisecting the site that is shown in the Sunnyside Heights NCP. This road would have provided some on-street parking which would be a benefit to area residents. To address this, the applicant proposes additional visitor parking stalls on Site A and Site B. In addition, all townhouse units will have side-by-side garage parking spaces, complying with the minimum Zoning By-law requirement.*
- Many neighbours believe that the proposed development is too dense.
  - *The properties are designated “Urban” in the Official Community Plan and “Cluster Residential (6-10 upa)” and “Low Density Residential (6-10 upa)” in the Sunnyside Heights NCP. The Cluster Residential designation is meant to allow for preservation of a significant stand of trees at the corner of 20 Avenue and future 166 Street. Due to the desired retention, a cluster residential designation was identified which would result in*

- higher densities on the “developable” portion of the site, leading to densities in the range of 15-25 units per acre. Given this density, it was expected to some extent, that a form of higher density residential would be developed at this corner.*
- *The proposed density is generally in keeping with similar townhouse developments in the neighbourhood, however, staff have expressed concerns about the form and character of the proposal that result in lower livability. Staff had requested a 10 metre wide pedestrian corridor to provide sufficient physical separation between each site and allow for a wider landscape buffer. The applicant instead proposes an 8 metre wide pedestrian corridor. Similarly, staff had requested trees to be planted in the drive-aisles, in accordance with the OCP Form and Character Design Guidelines, which is intended to lessen the impact of the urban heat island effect, contribute to carbon sequestration, and provide aesthetic value. The applicant has not been able to achieve sufficient width between the townhouse buildings and drive-aisle to accommodate trees in the drive-aisle, other than fronting several buildings on Site B.*
  - School capacity is a concern that was raised by many residents who oppose the proposed development. Edgewood Elementary School opened in January 2021 and was at 100% capacity. Portable classrooms are required to accommodate the existing students. Residents are concerned about potential strain on the school system that could be brought on by this development and others in the area.
    - *Insufficient school capacity has been a longstanding concern in the Sunnyside Heights neighbourhood. In 2017, through Corporate Report No. 129, Council put in place a six month moratorium on any development applications proposing NCP amendments until a new school site could be established. The new school, Edgewood Elementary, opened in January 2021 but as of September 2022, the school is operating overcapacity. To further support enrollment pressures in Sunnyside Heights, a new elementary school was identified, which is adjacent to the subject site. Ta'talu Elementary school is targeted to open in the fall of 2025. Until then, the School District will rely on portables to make up the seat shortfall and possible boundary changes.*
    - *Similarly, to relieve enrollment pressure at Earl Mariott Secondary school, a new 1,500 capacity high school, Grandview Heights Secondary, opened in September 2021. The school is operating marginally overcapacity, though enrollment is projected to grow in the next 10 years putting additional pressure on the School District to fund portables.*
    - *The School District conducted a detailed review of this proposal prior to a formal development application being submitted. At that time, they determined that, based on the existing single family designation a total of 78 elementary students and 31 secondary students could be expected. Under the existing proposal, the combined developments would result in 78 elementary students and 40 secondary students representing a marginal increase above the expected student yields at the time.*
    - *While the projected school enrollment from this development exceeds the capacities outlined by the School District, the proposal retains merit for its need to generate additional family-oriented housing that is more affordable the single family housing. The proposed development will not be constructed and occupied until the anticipated opening of the future Ta'talu Elementary School, west of the subject site.*
    - *Ta'talu Elementary School is anticipated to open in January 2025 with a capacity of 612 students.*
  - Some neighbours are concerned about a lack of privacy and an increase in noise that may be caused by the townhouse development. Others expressed concern about the building height and interface between a townhouse development and existing single family residences.
    - *The proposed townhouses along the residential lane on Site B are setback approximately 4.5 metres from the new property line. This is less than the approximate 6 to 7.5 m setback required for a single family development. The proposed building height of these*

- units is approximately 9.6 metres, which is only slightly taller than the maximum height permitted for a single family dwelling (9 metres).
- *The applicant worked with staff to reduce the number of units along the residential lane by breaking up the buildings into a maximum of 3 to 4 units. Two of the buildings directly behind the existing single family dwellings contain 3 units while the westerly building abutting the proposed single family lot contains 4 units. Staff had suggested that the applicant consider reducing the upper storey massing to reflect a single family residence (i.e., the upper storeys to be a maximum of 80% of the ground floor area), however, the applicant has elected not to accommodate this because it would significantly reduce the functionality and available bedrooms for these units.*
  - Staff received several comments from residents who are concerned about community resources being stretched, including health care resources and community centres, in addition to schools which are mentioned separately above.
    - *Some residents expressed concerns regarding infrastructure and community amenities for the neighbourhood. The proposed developments will provide both indoor and outdoor amenity areas for use by the residents of the separate stratas. A new neighbourhood park (125G Neighbourhood Park) has been secured by the City at 167 Street and 17B Avenue. A portion of lands directly to the west will be acquired and added to this park in the future. In the interim, the City implemented temporary amenities in the existing park to help serve the growing neighbourhood. 125G Neighbourhood Park is approximately 350 metres walking distance from the subject site. The subject site is also directly across (166 Street) from the new elementary school, which is planned to have playground, sports court, and sports field amenities. As part of Development Application No. 7922-0149-00 to the north of the subject site (across 20 Avenue), a 0.31 hectare park is to be conveyed to the City for the creation of a new neighbourhood park.*
    - *The applicant has also committed to providing a voluntary cash contribution in the amount of \$30,000 to the City to fund future park amenities in the neighbourhood.*
    - *Health care resources are managed by the Province, and while population increases do need to be met with corresponding increases in services, the City has no control over the allocation of health care resources.*
    - *Payment of CACs is required for all new residential units in the City. CACs are put towards libraries, parks, cultural facilities, recreational facilities, and police and fire services, among other things.*
  - Residents are concerned about the number of trees that are proposed for removal, considering the site's current designation for cluster development.
    - *The Sunnyside Heights NCP requires under the Cluster Residential designation that 30-40% of the site area be set aside for open space and tree preservation. The Cluster Residential designation is contained in the northwest corner of Site A. The applicant proposes to retain trees representing approximately 12% of the area designated for Cluster Residential. In addition, the applicant proposes to utilize the tree retention area with the existing cluster designation as the outdoor amenity area on Site A.*
    - *Staff have sought additional tree retention and/or outdoor amenity area to compensate for the impact that using tree preservation areas for outdoor amenity will have, however, the applicant does not propose additional tree preservation and/or outdoor amenity area for Site A. Having said that, the total proposed outdoor amenity area on Site A, excluding the tree preservation areas, does exceed the total required outdoor amenity area.*
    - *The majority of the higher value trees for retention are located either in the proposed for retention stand, or more central to the site where their retention would significantly impact the viability of the proposal. Therefore, staff worked with the applicant to retain a*



*significant number of on-site and City boulevard trees along 20 Avenue. 21 trees are proposed for retention on Site A while 3 trees are proposed for retention on Site B. While the proposed retention is less than targeted by the Sunnyside Heights NCP, the proposal still preserves a significant number of trees.*

- Some residents who oppose the applications fear that townhouse development could bring crime to the neighbourhood and decrease property values. Some residents also expressed concern regarding the perimeter on-site walkway along the residential lane.
  - *There is no evidence that townhouse development, compared to single family development, is associated with increased crime.*
  - *The proposed perimeter on-site walkway along the residential lane provides added surveillance over the lane and in conjunction with the ground floor habitable rooms of the lane fronting units, will increase the eyes on the street.*

### **Public Information Meeting**

- The applicant held a Public Information Meeting (PIM) for the proposed townhouse development. Notifications for the PIM were mailed on July 28, 2022. The notification was mailed to approximately 398 addresses to residents within 200 metres of the subject site.
- The virtual PIM was held via a Zoom Webinar platform on August 17, 2022 from 6:00pm to 7:30pm. A concurrent website was created to provide the same information presented at the PIM for those who were unable to attend the PIM.
- Approximately 27 people attended the virtual meeting, excluding panel members. The webinar included a presentation from the applicant's consultant team followed by a question-and-answer period. City Planning and Transportation staff were also in attendance to observe and answer any questions.
- 91 questions and comments were received during the PIM session. In addition, 17 emails and 15 comment forms were received via the website following the PIM session.

### **Summary of Concerns**

| <b>Topic</b>             | <b>Summary of Comments</b>              | <b>Number of comments</b> |
|--------------------------|---|---------------------------|
| Traffic                  | Increased Traffic                       | 7                         |
|                          | Access flow & Congestion                | 2                         |
|                          | Safety                                  | 1                         |
|                          | Parking                                 | 3                         |
| Density                  | Number of units too high for the area   | 4                         |
| Schools                  | Over Capacity                           | 3                         |
| Interface/Context/Design | Not consistent with surrounding context | 6                         |
| Community Amenities      | Lack of amenities in neighbourhood      | 2                         |
| Safety                   | Crime                                   | 2                         |

### **Summary of Support**

- A number of residents wrote in to register their support for the development. Of the 17 emails received following the PIM, 14 were in support. Of the 15 comment forms, 10 were in support. A summary of the comments registering support for the proposal are noted below:

| Topic                    | Summary of Comments   | Number of comments |
|--------------------------|---|--------------------|
| Affordability            | Smaller affordable homes<br>Diversity in housing type/size<br>(particularly for families) | 14<br>11           |
| Traffic                  | Pedestrian circulation  | 3                  |
| Interface/Context/Design | Townhouses are well designed  | 3                  |
| No reason given          | No reason given   | 2                  |

- Given the concerns expressed by attendees were similar to those expressed via correspondence with the City previously, those concerns and staff responses will not be replicated below.

## DEVELOPMENT PERMITS

### Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Sunnyside Heights Neighbourhood Concept Plan (NCP).
- The proposed development partially complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Sunnyside Heights Neighbourhood Concept Plan (NCP).
- There are several ways in which the proposal does not meet the Form and Character design guidelines of the OCP:
  - In most instances, buildings do not meet the 10-metre separation guideline between building faces;
  - Landscaping (trees) has not been proposed within all internal drive-aisles;
  - For the units fronting the pedestrian corridor, habitable rooms are proposed to be 2.4 metres in depth, not meeting the intent of 3 metres to be considered a habitable room.
- The applicant has worked with staff to resolve the following issues:
  - Improving the livability of townhouse units by reducing the number of back-to-back units, creating increased separation between units to allow for an increase in natural light, and providing ground floor habitable rooms, the majority of which have sufficient depth;
  - designing townhomes that are compatible with, and sensitive to, the existing single family neighbourhood character;

- revising on-site grading to facilitate the retention of City boulevard trees along 20 Avenue; and
  - achieving a marginal amount of landscaping (trees) in the drive-aisles.
- The proposed townhouse development for Site A consists of 62 units across fourteen separate buildings. Buildings 9 through 13 are proposed to be back-to-back units, the majority of which have side of unit natural light. The back-to-back units are limited to the interior of the site.
- A single vehicular access is proposed from 167 Street for Site A.
- The proposed townhouse development for Site B consists of 104 units across fourteen separate buildings. Buildings 18 through 23 are proposed to be back-to-back units, the majority of which have side of unit natural light. The back-to-back units are limited to the interior of the site.
- Site B is to be accessed via a main vehicular access from 167 Street. A secondary access is located via the residential lane at the southern end of the site. The access to the lane was shifted further south to limit the number of vehicles utilizing the east-west portion of the residential lane, thereby limiting the impact to existing single family residences.
- The buildings front onto all public roads, including the pedestrian corridor with front doors and habitable rooms lining the street frontage. With the exception of the units fronting the pedestrian corridor, the public fronting units meet the minimum 3.0 metre room depth to be considered a habitable room. The presence of a front door and habitable room will increase the street presence of these units.
- Access to Buildings 5, 6, 7, and 8 on Site A, and Buildings 2, 3, 4, and 5 on Site B is provided via a 1.5 metre on-site walkway adjacent to the 8 metre-wide pedestrian corridor.
- All units are proposed with double side-by-side garages and 3-bedrooms. The units range in size from 111 square metres to 167 square metres. The back-to-back units are proposed to have roof-top decks whereas all other units have front yards.
- The proposed indoor amenity building for Site A is located at the northwest corner of the site. Staff are typically unsupportive of locating amenity buildings along street frontages due to the inactivity of these buildings outside of their uses. In this context, staff were supportive of its location along the street frontage due to the constraints of the proposed tree retention and the ability to connect the indoor and outdoor amenity areas. Further design work is encouraged to enhance the activity and safety of the adjacent public streets and to provide connection and interest to this building.
- The buildings are proposed with three separate, yet coordinated colour schemes that provide variety and synergy across both sites. The buildings are proposed to have a modern appearance with oversized windows and a variety of roof types including gable, shed, and flat roofs for the back-to-back units. Building materials include hardie siding (in a variety of colours, including dark grey, white, dark red, brown, and dark blue), hardie bricks (in dark grey), and dark grey shingled roofs.

### Landscaping

- The landscaping includes a mix of trees, shrubs and ground cover.
- On Site A, 61 replacement trees are proposed to be planted within the project, including a mixture of Sweet Gum, Persian Ironwood, and Wonder Dogwood.
- On Site B, 143 replacement trees are proposed to be planted within the project, including a mixture of Sweet Gum, Persian Ironwood, Columnar Bowhall Maple, and Wonder Dogwood.
- Other plantings include a variety of shrubs, grasses, and ground covers that are used to soften the hard surfaces on the site and help define the transitions between private and semi-private spaces.
- Decorative pavers are proposed at the driveway entrance as well as along all pedestrian crossings over the drive-aisle in order to delineate pedestrian movements on the site.

### Indoor Amenity

#### *Site A*

- The RM-30 Zone requires that 186 square metres of indoor amenity space be provided, based on a requirement of 3 square metres for each dwelling unit. The applicant proposes 144 square metres with \$21,000 of cash-in-lieu to address the shortfall in amenity space, in accordance with the General Provisions of the Zoning By-law. This fee has been calculated according to current By-law rates and is subject to change.
- The proposed indoor amenity building will be two-storeys with an additional outdoor amenity deck on the roof. The applicant has not confirmed the programming of the indoor amenity building at this time. Staff will work with the applicant to confirm the programming for the indoor amenity building.

#### *Site B*

- The RM-30 Zone requires that 312 square metres of indoor amenity space be provided, based on a requirement of 3 square metres for each dwelling unit. The applicant proposes 354 square metres, exceeding the Zoning By-law requirement.
- The proposed indoor amenity building will be two-storeys. Staff will work with the applicant to refine the programming of the indoor amenity building.

### Outdoor Amenity

#### *Site A*

- The RM-30 Zone requires that 186 square metres of outdoor amenity space be provided, based on a requirement of 3 square metres for each dwelling unit. The applicant proposes 342 square metres, exceeding the Zoning By-law requirement.
- The proposed outdoor amenity area is located adjacent to the indoor amenity building at the northwest corner of the site. The amenity area includes a stand of trees proposed to be retained. This area contains a natural play area with stepping logs and bench and picnic seating. There is additional amenity area provided on the west side of the indoor amenity building where a barbeque, tables, and chairs are provided. The indoor amenity building also has a rooftop deck where that provides additional amenity for residents.

#### *Site B*

- The RM-30 Zone requires that 312 square metres of outdoor amenity space be provided, based on a requirement of 3 square metres for each dwelling unit. The applicant proposes 191 square metres with \$60,000 of cash-in-lieu to address the shortfall in amenity space, in accordance with the General Provisions of the Zoning By-law. This fee has been calculated according to current By-law rates and is subject to change.
- The proposed outdoor amenity area is located adjacent to the indoor amenity building in the centre of the site. This area contains a play structure, a barbeque area with seating and tables, and landscaping. An additional amenity area is provided on the eastern boundary of the site adjacent to Building 24 and includes a small community garden with raised garden plots and a tool shed.

#### Outstanding Items

- The applicant is required to resolve all outstanding urban design and landscaping issues, as follows:
  - Resolution of urban design issues resulting from detailed coordination with architectural, landscape and civil designs.
  - Refinement to the public realm frontages, including the publicly accessible open space areas to facilitate pedestrian permeability.
  - Refinement to the massing and materiality of the units fronting the pedestrian corridor.
  - Provision of a high albedo roof for units that propose a rooftop patio.
- The applicant has provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

#### **TREES**

- Tim Vandenberg, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The tables below provides a summary of the tree

retention and removal by tree species for both Development Application No. 7920-0159-00 (Table 1) and 7920-0162-00 (Table 2):

**Table 1: Summary of Tree Preservation by Tree Species for Site A (7920-0159-00):**

| Tree Species   | Existing  | Remove          | Retain    |
|--|-----------|-----------------|-----------|
| <b>Alder and Cottonwood Trees</b>  |           |                 |           |
| Alder/Cottonwood   | 3         | 3               | 0         |
| <b>Deciduous Trees<br/>(excluding Alder and Cottonwood Trees)</b>              |           |                 |           |
| Apple  | 1         | 1               | 0         |
| Cherry   | 3         | 3               | 0         |
| Bitter Cherry  | 1         | 1               | 0         |
| Paperback Birch  | 4         | 4               | 0         |
| Common Fig   | 1         | 1               | 0         |
| Honey Locust   | 3         | 1               | 2         |
| Red Maple  | 4         | 0               | 4         |
| Bigleaf Maple  | 2         | 2               | 0         |
| Japanese Maple   | 1         | 1               | 0         |
| Norway Maple   | 1         | 1               | 0         |
| Plum   | 1         | 1               | 0         |
| <b>Coniferous Trees</b>  |           |                 |           |
| Deodar Cedar   | 2         | 2               | 0         |
| Douglas Fir  | 25        | 10              | 15        |
| Emerald Cedar  | 2         | 2               | 0         |
| Norway Spruce  | 2         | 2               | 0         |
| Shore Pine   | 1         | 1               | 0         |
| Western Red Cedar  | 11        | 11              | 0         |
| <b>Total (excluding Alder and Cottonwood Trees)</b>                            | <b>65</b> | <b>44</b>       | <b>21</b> |
| <b>Total Replacement Trees Proposed<br/>(excluding Boulevard Street Trees)</b> |           | <b>59</b>       |           |
| <b>Total Retained and Replacement Trees</b>                                    |           | <b>80</b>       |           |
| <b>Contribution to the Green City Program</b>                                  |           | <b>\$12,800</b> |           |

- The Arborist Assessment states that there are a total of 65 mature trees on the site, excluding Alder and Cottonwood trees. Three existing trees, approximately 4% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 21 trees can be retained as part of this development proposal. This includes seven City boulevard trees along 20 Avenue. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- The proposed 20 Avenue off-site road works and services was altered in order to maximize tree preservation on the site and for City boulevard trees on 20 Avenue. This will require further detailed refinement in consultation with Parks staff and Engineering staff and supervision by an arborist during construction.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 91 replacement trees on the site. Since only 59 replacement trees can be accommodated on the site, the deficit of 32 replacement trees will require a cash-in-lieu payment of \$12,800, representing \$400 per tree to the Green City Program, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including Sweet Gum, Persian Ironwood, and Wonder Dogwood.
- In summary, a total of 80 trees are proposed to be retained or replaced on the site with a contribution of \$12,800 to the Green City Program.

**Table 2: Summary of Tree Preservation by Tree Species for Site B (7920-0162-00):**

| Tree Species   | Existing   | Remove          | Retain   |
|--|------------|-----------------|----------|
| <b>Alder and Cottonwood Trees</b>  |            |                 |          |
| Alder/Cottonwood   | 21         | 21              | 0        |
| <b>Deciduous Trees<br/>(excluding Alder and Cottonwood Trees)</b>              |            |                 |          |
| Apple  | 3          | 3               | 0        |
| Maidenhair   | 1          | 1               | 0        |
| Paperbark Birch  | 7          | 7               | 0        |
| Cherry   | 2          | 2               | 0        |
| Cotoneaster  | 1          | 1               | 0        |
| Honey Locust   | 4          | 2               | 2        |
| Norway Maple   | 3          | 3               | 0        |
| Pine   | 1          | 1               | 0        |
| Scots Pine   | 1          | 1               | 0        |
| Plum   | 2          | 2               | 0        |
| <b>Coniferous Trees</b>  |            |                 |          |
| Deodar Cedar   | 4          | 4               | 0        |
| Douglas Fir  | 2          | 2               | 0        |
| Threadleaf Cypress   | 1          | 1               | 0        |
| Giant Sequoia  | 1          | 0               | 1        |
| Norway Spruce  | 3          | 3               | 0        |
| Western Red Cedar  | 54         | 54              | 0        |
| <b>Total (excluding Alder and Cottonwood Trees)</b>                            | <b>113</b> | <b>110</b>      | <b>3</b> |
| <b>Total Replacement Trees Proposed<br/>(excluding Boulevard Street Trees)</b> |            | <b>143</b>      |          |
| <b>Total Retained and Replacement Trees</b>                                    |            | <b>146</b>      |          |
| <b>Contribution to the Green City Program</b>                                  |            | <b>\$39,200</b> |          |

- The Arborist Assessment states that there are a total of 113 mature trees on the site, excluding Alder and Cottonwood trees. 21 existing trees, approximately 16% of the total trees on the site,

are Alder and Cottonwood trees. It was determined that 3 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 241 replacement trees on the site. Since only 123 replacement trees can be accommodated on the site, the deficit of 98 replacement trees will require a cash-in-lieu payment of \$39,200, representing \$400 per tree to the Green City Program, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including Sweet Gum, Persian Ironwood, Columnar Bowhall Maple, and Wonder Dogwood.
- In summary, a total of 146 trees are proposed to be retained or replaced on the site with a contribution of \$39,200 to the Green City Program.

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

|               |  |
|---------------|--|
| Appendix I.   | Block Plan   |
| Appendix II.  | Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective |
| Appendix III. | Engineering Summary  |
| Appendix IV.  | School District Comments   |
| Appendix V.   | Summary of Tree Survey and Tree Preservation   |
| Appendix VI.  | NCP Plan   |
| Appendix VII. | Development Variance Permit Nos. 7920-0159-00/7920-0162-00                                   |

*approved by Shawn Low*

Don Luymes  
General Manager  
Planning and Development

KS/ar

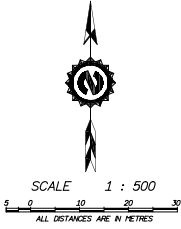


SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW  
 No: \_\_\_\_\_ OF: LOTS 60 & 61 PLAN 66460  
 LOTS 55, 56 AND 57 PLAN 58054  
 AND LOTS 42, 43, & 47 PLAN 57371  
 ALL OF SECTION 13 TOWNSHIP 1 NWD

FOR REZONING PURPOSES

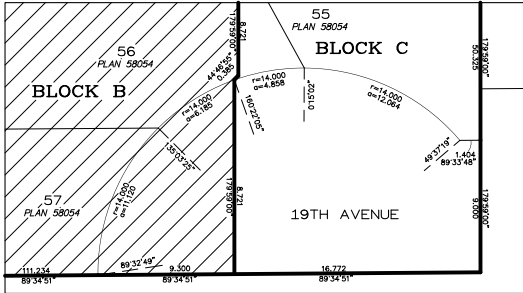
**LEGEND**

ha DENOTES HECTARES  
 m<sup>2</sup> DENOTES SQUARE METRES



The intended plot size of this plan is 864mm in width and 562mm in height (A size) when plotted at a scale of 1:500.

DETAIL: NOT TO SCALE



Property boundary dimensions shown hereon are derived from field survey.

CERTIFIED CORRECT  
 DATED THIS 6th DAY OF APRIL, 2023.

*[Signature]*

B.C.L.S.

H. Adam Fullerton



THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT





# 16620-20 AVE TOWNHOUSES

16620, 16648 & 16674 - 20 AVE, SURREY, BC. CANADA



**Kasian Architecture  
Interior Design  
and Planning Ltd**  
1600 West George Street, Suite 1085  
Vancouver, BC, Canada V6Z 2R8  
T 604 885 4145 F 604 883 2627  
www.kasian.com



### DATA SHEET

|   |                           |  |  |
|---|---------------------------|--|--|
| TOWN HOUSES   |                           | 11-Apr-23                                      |  |
| PROJECT NAME:   |                           | 16620-20 AVE TOWNHOUSES                        |  |
| ADDRESS:  |                           | 16620,16648 & 16674-20 AVE, SURREY, BC. CANADA |  |
| LEGAL DESCRIPTION   |                           |  |  |
| <b>ACTUAL SITE AREA</b>   |                           |  |  |
|   | 131467.92                 | SFT or 12213.77                                | SQM or 3.02 Acres                                |
| <b>AREA TRANSFERRED TO 16651(SOUTH SITE)</b>                              | 10335.00                  | SFT or 960.1529                                | SQM or 0.24 Acres                                |
| <b>GROSS SITE AREA</b>  | 121132.92                 | SFT or 11253.62                                | SQM or 2.78 Acres                                |
| <b>ROAD DEDICATION</b>  | 9775.37                   | SFT or 908.1616                                | SQM or 0.22 Acres                                |
| <b>PEDESTARIAN CORRIDOR DEDICATION</b>                                    | 3467.00                   | SFT or 322.0948                                | SQM or 0.08 Acres                                |
| <b>NET SITE AREA</b>  | 107890.55                 | SFT or 10023.36                                | SQM or 2.48 Acres                                |
| FLOOR AREA RATIO:   |                           |  |  |
| F A R = NET AREA (EXCLUDING GARAGE & ROOF GARDEN AREAS) / NET SITE AREA   |                           |  |  |
|   | 85981.00                  | /  | 107890.55 <b>0.80</b> FSR                        |
| F A R = NET AREA (EXCLUDING GARAGE & ROOF GARDEN AREAS) / GROSS SITE AREA |                           |  |  |
|   | 85981.00                  | /  | 121132.92 <b>0.71</b> FSR                        |
| LOT COVERAGE = LOWER FLOOR AREA / NET SITE AREA                           |                           |  |  |
|   | 37770.00                  | /  | 107890.55 <b>35%</b>                             |
| BUILDING 1 (04 UNITS)   | 7302.00                   | SFT  | 678.38 SQM                                       |
| BUILDING 2 (06 UNITS)   | 10914.00                  | SFT  | 1013.94 SQM                                      |
| BUILDING 3 (06 UNITS)   | 10914.00                  | SFT  | 1013.94 SQM                                      |
| BUILDING 4 (06 UNITS)   | 11285.00                  | SFT  | 1048.41 SQM                                      |
| BUILDING 5 (05 UNITS)   | 10555.00                  | SFT  | 980.59 SQM                                       |
| BUILDING 6 (04 UNITS)   | 7226.00                   | SFT  | 671.50 SQM                                       |
| BUILDING 7 & 8 (06 UNITS)   | 10864.00                  | SFT  | 1009.30 SQM                                      |
| BUILDING 9 (04 UNITS)   | 7088.00                   | SFT  | 658.50 SQM                                       |
| BUILDING 10 (04 UNITS)  | 7088.00                   | SFT  | 658.50 SQM                                       |
| BUILDING 11 (06 UNITS)  | 10632.00                  | SFT  | 987.75 SQM                                       |
| BUILDING 12 (04 UNITS)  | 7088.00                   | SFT  | 658.50 SQM                                       |
| BUILDING 13 (04 UNITS)  | 7088.00                   | SFT  | 658.50 SQM                                       |
| BUILDING 14 (03 UNITS)  | 5488.00                   | SFT  | 509.85 SQM                                       |
| TOTAL AREA  | 113534.00                 | SFT  | 8855.33 SQM                                      |
| <b>TOWN HOUSES AREAS</b>  |                           |  |  |
|   |                           | <b>AREAS</b>                                   |  |
| S.NO  | TYPE                      | NO UNITS                                       |  |
|   |                           | <b>GARAGE</b>                                  | <b>MAIN FLOOR (EXCL GARAGE)</b>                  |
|   |                           | <b>SECOND FLOOR</b>                            | <b>THRD FLOOR</b>                                |
|   |                           | <b>ROOF GARDEN</b>                             | <b>TOTAL UNIT AREA (EXCL GARAGE / ROOF GRDN)</b> |
|   |                           | <b>FAR AREA (EXCL GARAGE / ROOF GRDN)</b>      |  |
| 1   | UNIT-A                    | 2  | 417  |
| 2   | UNIT-B (ROOF TOP GARDEN)  | 22   | 495.00   |
| 3   | UNIT-C (ROOF TOP GARDEN)  | 4  | 406.00   |
| 4   | UNIT-C1 (ROOF TOP GARDEN) | 6  | 411.00   |
| 5   | UNIT-D                    | 6  | 410.00   |
| 6   | UNIT-D1                   | 9  | 415.00   |
| 7   | UNIT-D2                   | 4  | 410.00   |
| 8   | UNIT-D3                   | 8  | 413.00   |
| 9   | UNIT-E (ROOF TOP GARDEN)  | 5  | 452.00   |
|   |                           | <b>TOTAL UNITS</b>                             | <b>62</b>  |
|   |                           | <b>TOTAL TOWN HOUSES FAR AREA</b>              | <b>85981</b>                                     |
|   |                           | <b>TOTAL TOWN HOUSES SQM</b>                   | <b>7987.90</b>                                   |
| <b>TOTAL NUMBER OF UNITS PROPOSED</b>                                     |                           | 62   | Nos  |
| <b>NUMBER OF UNITS PER ACRE (NET SITE AREA)</b>                           |                           | 25   | Nos  |
| <b>NUMBER OF UNITS PER ACRE (GROSS SITE AREA)</b>                         |                           | 22   | Nos  |
| <b>NUMBER OF UNITS PER HECTARE (GROSS SITE AREA)</b>                      |                           | 55   | Nos  |
| <b>NUMBER OF UNITS PER HECTARE (NET SITE AREA)</b>                        |                           | 62   | Nos  |
| <b>AMENITY AREA REQUIRED</b>  |                           |  |  |
| <b>AMENITY AREA (OUTDOOR AREA)</b>  |                           | NO.  |  |
| OF UNITS *3 SQ M PER UNIT   |                           | 186.00   | 2002.09  |
| <b>AMENITY AREA (INDOOR AREA)</b>   |                           | NO.  |  |
| OF UNITS *3 SQ M PER UNIT   |                           | 186.00   | 2002.09  |
| <b>AMENITY AREA PROVIDED</b>  |                           |  |  |
| <b>AMENITY AREA (OUTDOOR AREA)</b>  |                           | SQM  | SFT  |
| AMENITY AREA (INDOOR AREA, 2 STORY)                                       |                           | 342.12   | 3682.55  |
|   |                           | 117.44   | 1264.11  |
| <b>TOWN HOUSES REQUIRED PARKING</b>                                       |                           |  |  |
| <b>UNITS PARKING REQUIRED (2 PER UNIT)</b>                                |                           | 62   | *2   |
| <b>UNITS PARKING PROVIDED</b>   |                           |  | 124 STALLS                                       |
| <b>VISITOR PARKING REQUIRED (0.2 PER UNIT)</b>                            |                           | 62   | *0.2   |
| <b>VISITOR PARKING PROVIDED</b>   |                           |  | 12 STALLS  |
|   |                           |  | 14 STALLS  |
| <b>TOTAL STALLS</b>   |                           |  | 136  |

### SHEET INDEX

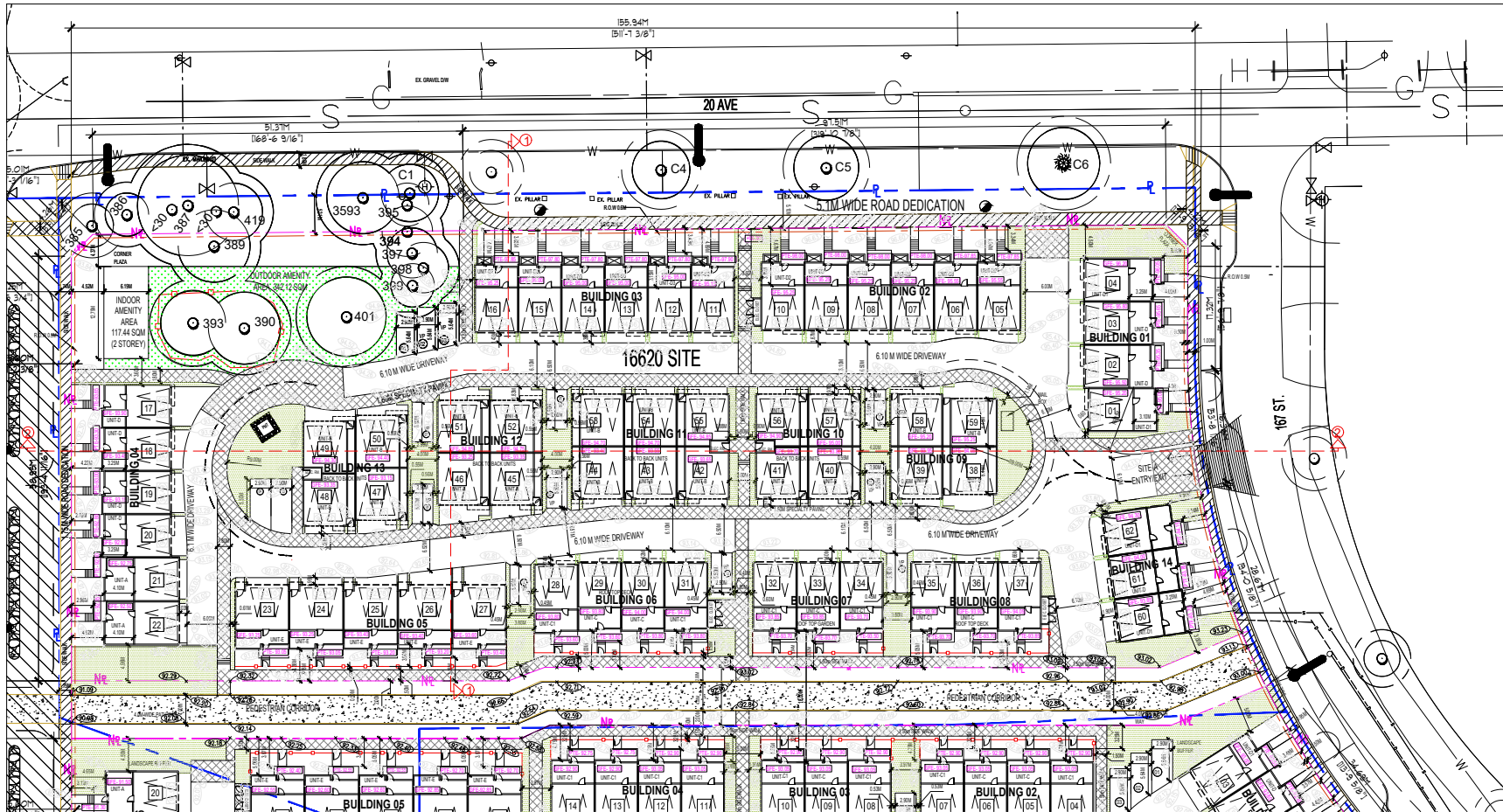
### CONTEXT MAP N.T.S



1 CONTEXT MAP  
N.T.S

|                 |        |   |              |
|-----------------|--------|---|--------------|
| PROJECT NAME    |        | 16620 - 20 AVE TOWNHOUSES   |              |
| PROJECT ADDRESS |        | 16620, 16648 & 16674, 20 AVE, 1948-167TH ST,<br>16663, 16651 & 16621-19 AVE,<br>16606-20 AVE, SURREY, B.C |              |
| DRAWING TITLE   |        | <b>DATA SHEET<br/>SITE - A (NORTH)</b>  |              |
| DRAWING ISSUE   |        | <b>ISSUED FOR DP REVISION</b>   |              |
| PROJECT NO      | 722009 | PLAT DATE   | 2023-04-11   |
| DRAWING NO      | DP-01  | SCALE   | AS INDICATED |
| REVISION        | AD     | REVISION  | CY           |
|                 |        | <b>09</b>   |              |





APR 11 2023

| NO.  | DATE       | DESCRIPTION                   |
|------|------------|-------------------------------|
| 10   | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9    | 2023-01-30 | ISSUED FOR DP REVISION        |
| 8    | 2023-01-11 | ISSUED FOR DP REVISION        |
| 7    | 2023-12-09 | ISSUED FOR DP REVISION        |
| 6    | 2023-11-10 | ISSUED FOR DP REVISION        |
| 5    | 2023-08-24 | ISSUED FOR DP REVISION        |
| 4    | 2023-08-04 | ISSUED FOR DP REVISION        |
| 3    | 2021-12-03 | ISSUED FOR DP REVISION        |
| 2    | 2021-08-24 | ISSUED FOR SUBMISSION         |
| 1    | 2020-02-08 | ISSUED FOR PRELIMINARY DESIGN |
| REV. | 11111-0002 | REVISION / DRAWING ISSUE      |

PROJECT STAMP

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PROJECT

**16620 - 20 AVE TOWNHOUSES**  
16620, 16648 & 16674, 20 AVE, 1949-167TH ST,  
16663, 16651 & 16621-19 AVE,  
16606-20 AVE, SURREY, B.C.

DRAWING TITLE

**SITE PLAN**  
**SITE - A (NORTH)**

DRAWING ISSUE

**ISSUED FOR DP REVISION**

| PROJECT NO. | PLAT DATE    | DRAWN    | AD |
|-------------|--------------|----------|----|
| 722009      | 2023-04-11   |          |    |
| SCALE       | AS INDICATED | REVIEWED | CY |

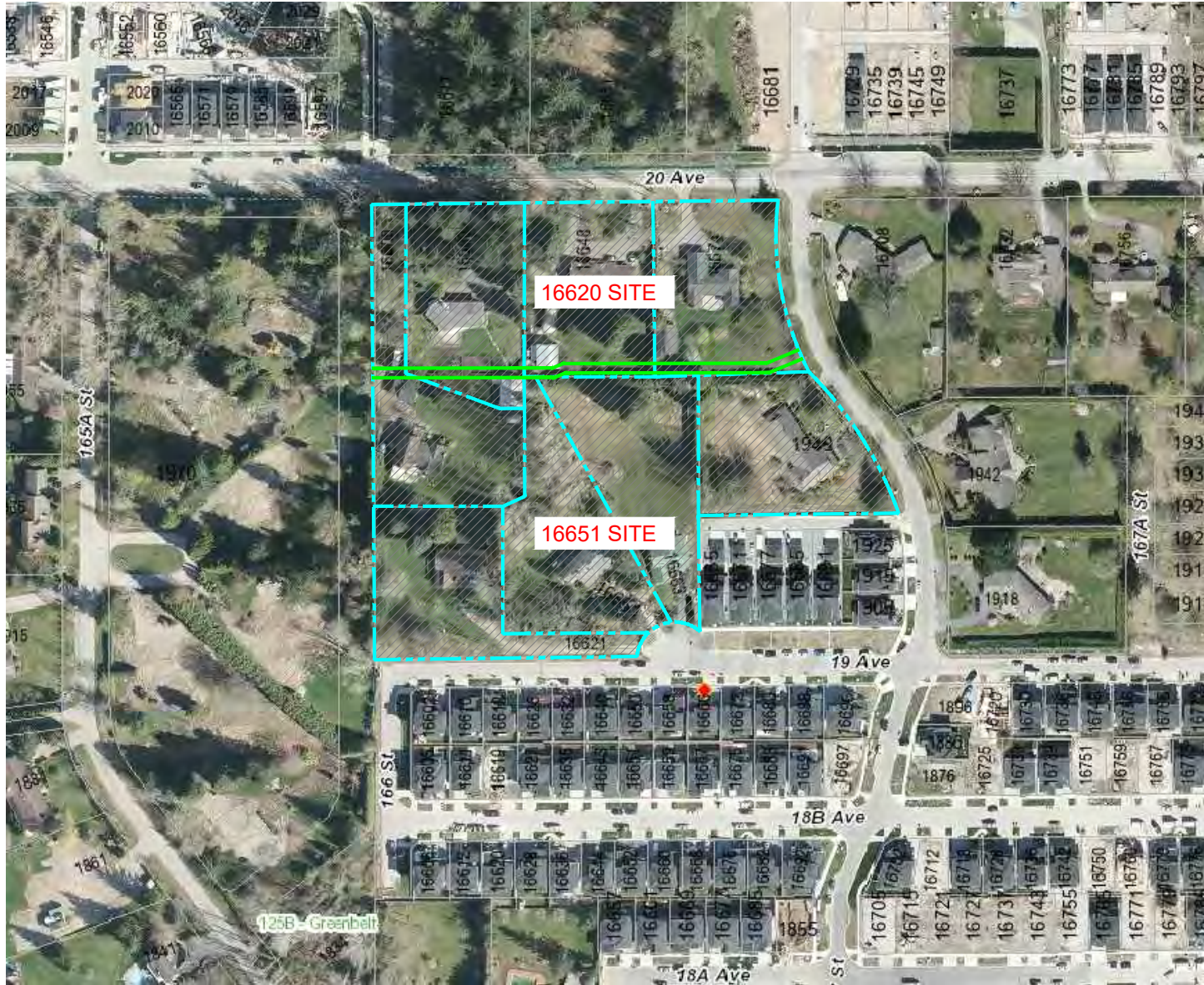
DRAWING NO.

DP-2.11

REVISION

**09**

**1** **SITE PLAN**  
DP-2.11 1/24" = 1'-0"



1  
DP-2.12

# CONTEXT SHEET

N.T.S.



**Kasian Architecture  
Interior Design  
and Planning Ltd**

1600 West Georgia Street, Suite 1085  
Vancouver, BC, Canada V6G 2B6  
T 604 683 4143 F 604 683 2627  
www.kasian.com



APR 11 2023

| NO.  | DATE       | DESCRIPTION                   |
|------|------------|-------------------------------|
| 10   | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9    | 2023-01-30 | ISSUED FOR DP REVISION        |
| 8    | 2023-01-11 | ISSUED FOR DP REVISION        |
| 7    | 2023-12-09 | ISSUED FOR DP REVISION        |
| 6    | 2023-11-19 | ISSUED FOR DP REVISION        |
| 5    | 2023-08-24 | ISSUED FOR DP REVISION        |
| 4    | 2023-05-04 | ISSUED FOR DP REVISION        |
| 3    | 2021-12-03 | ISSUED FOR DP REVISION        |
| 2    | 2021-08-24 | ISSUED FOR DP REVISION        |
| 1    | 2020-02-06 | ISSUED FOR PRELIMINARY DESIGN |
| REV. | 1111111111 | REVISION / DRAWING ISSUE      |

CONTRACT

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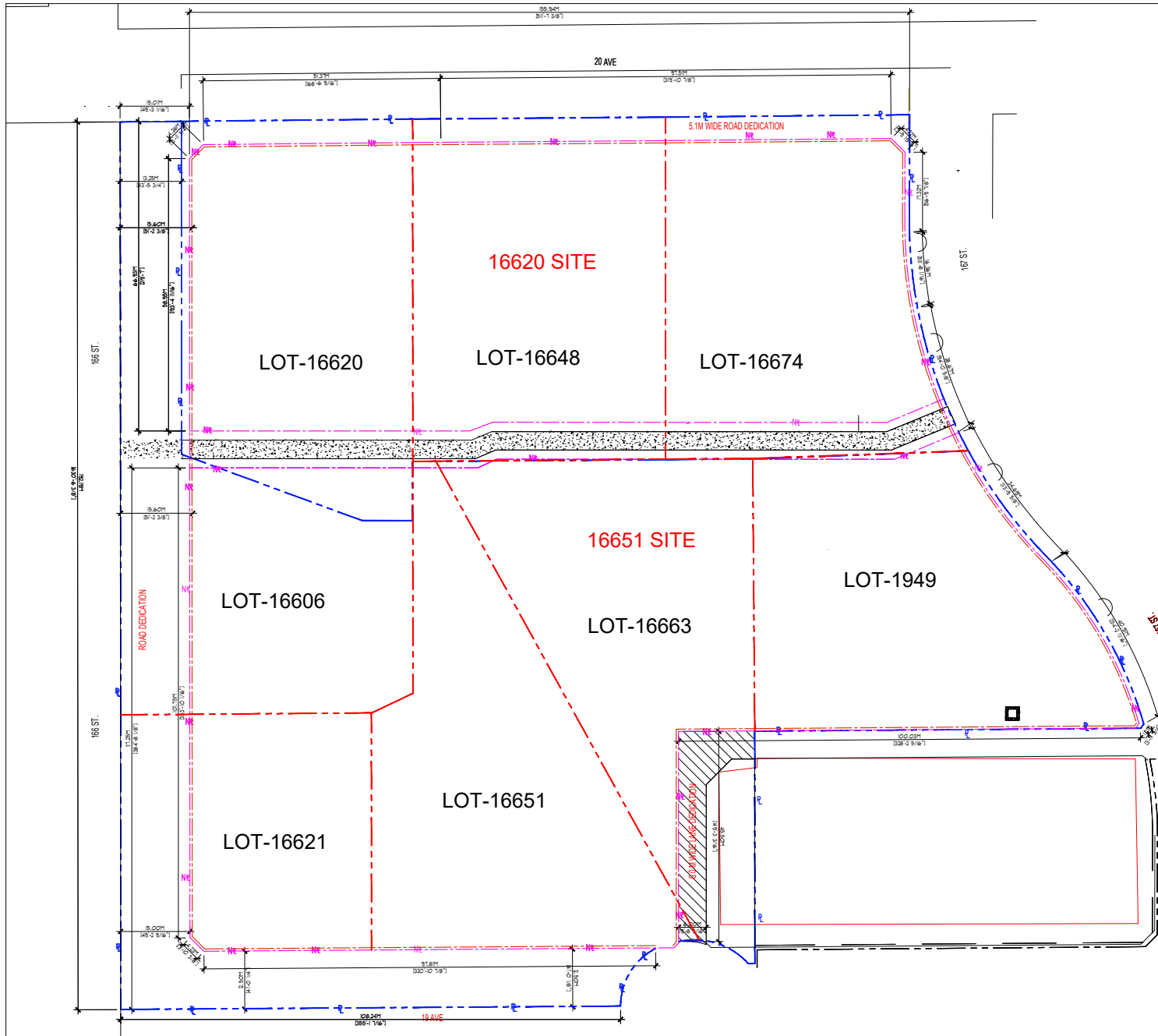
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PROJECT  
16651-19 AVE AND 16620-20 AVE  
TOWNHOUSES  
16620, 16648 & 16674, 20 AVE, 1949-1677TH ST,  
16663, 16651 & 16621-19 AVE,  
16606-20AVE, SURREY, B.C

DRAWING TITLE  
CONTEXT SHEET  
SITE-A & B

DRAWING ISSUE  
ISSUED FOR DP REVISION

| PROJECT NO. | PLAT DATE    | DRAWN    | AUTHOR  |
|-------------|--------------|----------|---------|
| 722009      | 2023-04-11   |          |         |
| DRAWING NO. | SCALE        | REVISION | CHECKER |
| DP-2.12     | AS INDICATED |          |         |



1 BASE PLAN  
 1/32" = 1'-0"



**Kasian Architecture  
 Interior Design  
 and Planning Ltd**  
 1600 West Georgia Street, Suite 1085  
 Vancouver, BC, Canada V6Z 2B8  
 T 604 485 4145 F 604 483 2627  
 www.kasian.com



APR 11 2023

| NO.                        | DATE       | DESCRIPTION                   | BY | CHKD.  |
|----------------------------|------------|-------------------------------|----|--------|
| 10                         | 2023-04-11 | ISSUED FOR DP REVISION        |    |        |
| 9                          | 2023-01-30 | ISSUED FOR DP REVISION        |    |        |
| 8                          | 2023-01-11 | ISSUED FOR DP REVISION        |    |        |
| 7                          | 2022-12-09 | ISSUED FOR DP REVISION        |    |        |
| 6                          | 2023-11-10 | ISSUED FOR DP REVISION        |    |        |
| 5                          | 2022-08-24 | ISSUED FOR DP REVISION        |    |        |
| 4                          | 2023-05-04 | ISSUED FOR DP REVISION        |    |        |
| 3                          | 2021-12-03 | ISSUED FOR DP REVISION        |    |        |
| 2                          | 2021-08-24 | ISSUED FOR DP SUBMISSION      |    |        |
| 1                          | 2020-02-08 | ISSUED FOR PRELIMINARY DESIGN |    |        |
| TBLD: 11111111111111111111 |            | REVISION / DRAWING ISSUE      |    | REVIEW |

CONSULTANT

PERMIT STAMP

SEAL

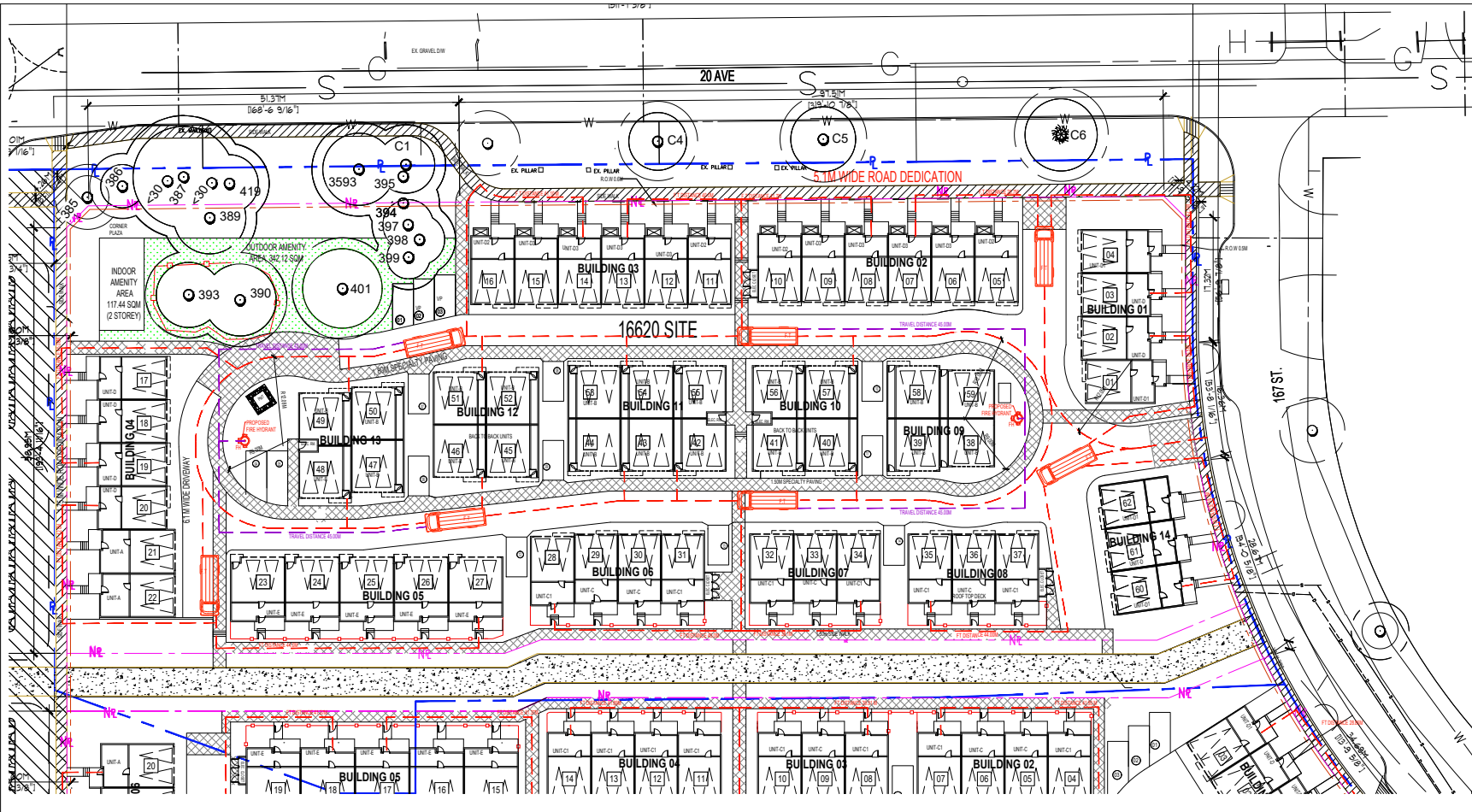
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PROJECT  
 16651-19 AVE AND 16620-20 AVE TOWNHOUSES  
 16620, 16648 & 16674, 20 AVE, 1949-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

DRAWING TITLE  
 BASE PLAN  
 SITE A (NORTH) & B(SOUTH)

DRAWING ISSUE  
 ISSUED FOR DP REVISION

| PROJECT NO. | PLLOT DATE   | DRAWN    | AD       |
|-------------|--------------|----------|----------|
| 722009      | 2023-04-11   |          |          |
| DRAWING NO. | SCALE        | REVIEWED | REVISION |
| DP-2.13     | AS INDICATED |          | 09       |



| NO.  | DATE        | DESCRIPTION                   |
|------|-------------|-------------------------------|
| 10   | 2023-04-11  | ISSUED FOR DP REVISION        |
| 9    | 2023-01-30  | ISSUED FOR DP REVISION        |
| 8    | 2023-01-11  | ISSUED FOR DP REVISION        |
| 7    | 2023-12-09  | ISSUED FOR DP REVISION        |
| 6    | 2023-11-19  | ISSUED FOR DP REVISION        |
| 5    | 2023-08-24  | ISSUED FOR DP REVISION        |
| 4    | 2023-05-04  | ISSUED FOR DP REVISION        |
| 3    | 2021-12-03  | ISSUED FOR DP REVISION        |
| 2    | 2021-08-24  | ISSUED FOR DP SUBMISSION      |
| 1    | 2020-02-08  | ISSUED FOR PRELIMINARY DESIGN |
| REV. | 151117-0002 | REVISION / DRAWING ISSUE      |

CONTRACT NO. \_\_\_\_\_  
PROJECT NAME \_\_\_\_\_  
PROJECT START \_\_\_\_\_  
SCALE \_\_\_\_\_

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PROJECT  
**16620 - 20 AVE TOWNHOUSES**  
16620, 16648 & 16674, 20 AVE, 1949-167TH ST,  
16663, 16651 & 16621-19 AVE,  
16606-20AVE, SURREY, B.C

DRAWING TITLE  
**SITE - A (NORTH)**  
**FIRE TRUCK ACCESS ROUTE**

DRAWING ISSUE  
**ISSUED FOR DP REVISION**

| PROJECT NO. | PLAT DATE    | DRAWN    | AD |
|-------------|--------------|----------|----|
| 722009      | 2023-04-11   |          |    |
| DRAWING NO. | SCALE        | REVISION | CY |
|             | AS INDICATED |          |    |

DRAWING NO. **DP-2.14A** REVISION **09**

**1** FIRE TRUCK ACCESS ROUTE  
DP-2.14 1/24" = 1'-0"









APR 11 2023

| NO. | DATE       | DESCRIPTION                   | BY | CHKD. |
|-----|------------|-------------------------------|----|-------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |    |       |
| 9   | 2023-03-09 | ISSUED FOR DP REVISION        |    |       |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |    |       |
| 7   | 2023-12-09 | ISSUED FOR DP REVISION        |    |       |
| 6   | 2023-11-03 | ISSUED FOR DP REVISION        |    |       |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |    |       |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |    |       |
| 3   | 2021-12-03 | ISSUED FOR DP REVISION        |    |       |
| 2   | 2021-06-04 | ISSUED FOR DP SUBMISSION      |    |       |
| 1   | 2020-02-09 | ISSUED FOR PRELIMINARY DESIGN |    |       |

DATE: 11/17/2023 REVISION: DRAWING ISSUE REVIEW

CONSULTANT: REVIEW

FORMAT STAMP

SCALE

PROJECT

16620 & 16651 - 20 AVE  
TOWNHOUSES

SURREY, B.C.

DRAWING TITLE

STREET SCAPE VIEW - 166 ST.

DRAWING ISSUE

ISSUED FOR DP REVISION

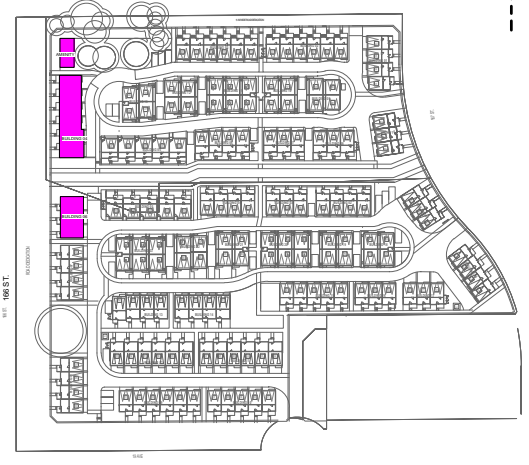
PROJECT NO. PLOT DATE 11-04-2023 DRAWN BY SS

722009 SCALE 1" = 1'-20" REVIEWED BY CY

DRAWING NO. DP 2.15B REVISION 10



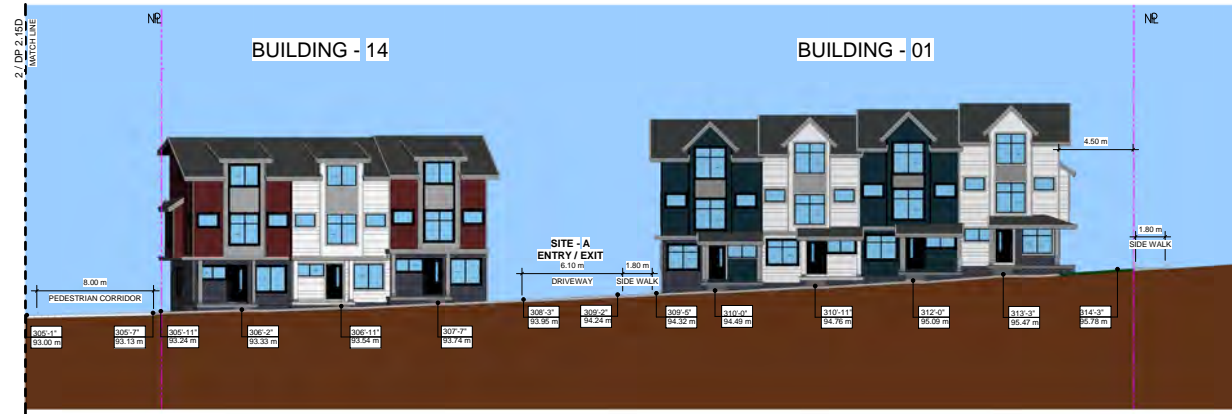
1 STREET SCAPE VIEW - 166 ST.  
1" = 1'-20"







APR 11 2023



① STREET SCAPE VIEW - 167 ST. - SITE A  
1" = 1'-20"



② STREET SCAPE VIEW - 167 ST. - SITE B  
1" = 1'-20"



PROJECT  
16620 & 16651 - 20 AVE  
TOWNHOUSES

SURREY, B.C.

DRAWING TITLE  
STREET SCAPE VIEW - 167 ST.

DRAWING ISSUE  
ISSUED FOR DP REVISION

|             |             |          |            |          |    |
|-------------|-------------|----------|------------|----------|----|
| PROJECT NO. | 722009      | DATE     | 11-04-2023 | DRAWN    | SS |
| SCALE       | 1" = 1'-20" | REVIEWED |            | REVISION | CY |

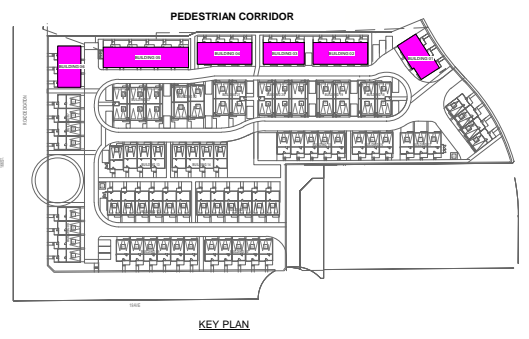
DRAWING NO. **DP 2.15D**      10



STREET SCAPE VIEW - PEDESTRIAN  
CORRIDOR - 1  
1" = 1'-20"



STREET SCAPE VIEW - PEDESTRIAN  
CORRIDOR - 2  
1" = 1'-20"



| NO. | DATE       | DESCRIPTION                   |
|-----|------------|-------------------------------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9   | 2023-03-07 | ISSUED FOR DP REVISION        |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |
| 7   | 2022-12-09 | ISSUED FOR DP REVISION        |
| 6   | 2022-11-10 | ISSUED FOR DP REVISION        |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |
| 3   | 2021-12-03 | ISSUED FOR DP REVISION        |
| 2   | 2021-08-04 | ISSUED FOR DP SUBMISSION      |
| 1   | 2022-02-08 | ISSUED FOR PRELIMINARY DESIGN |

DATE: 11-04-2023 REVISION: DRAWING ISSUE REVIEW

CONSULTANT: REVIEWER: DRAWING ISSUE REVIEW

FORMAT STAMP

SCALE

PROJECT

16620 & 16651 - 20 AVE  
TOWNHOUSES

SURREY, B.C

DRAWING TITLE

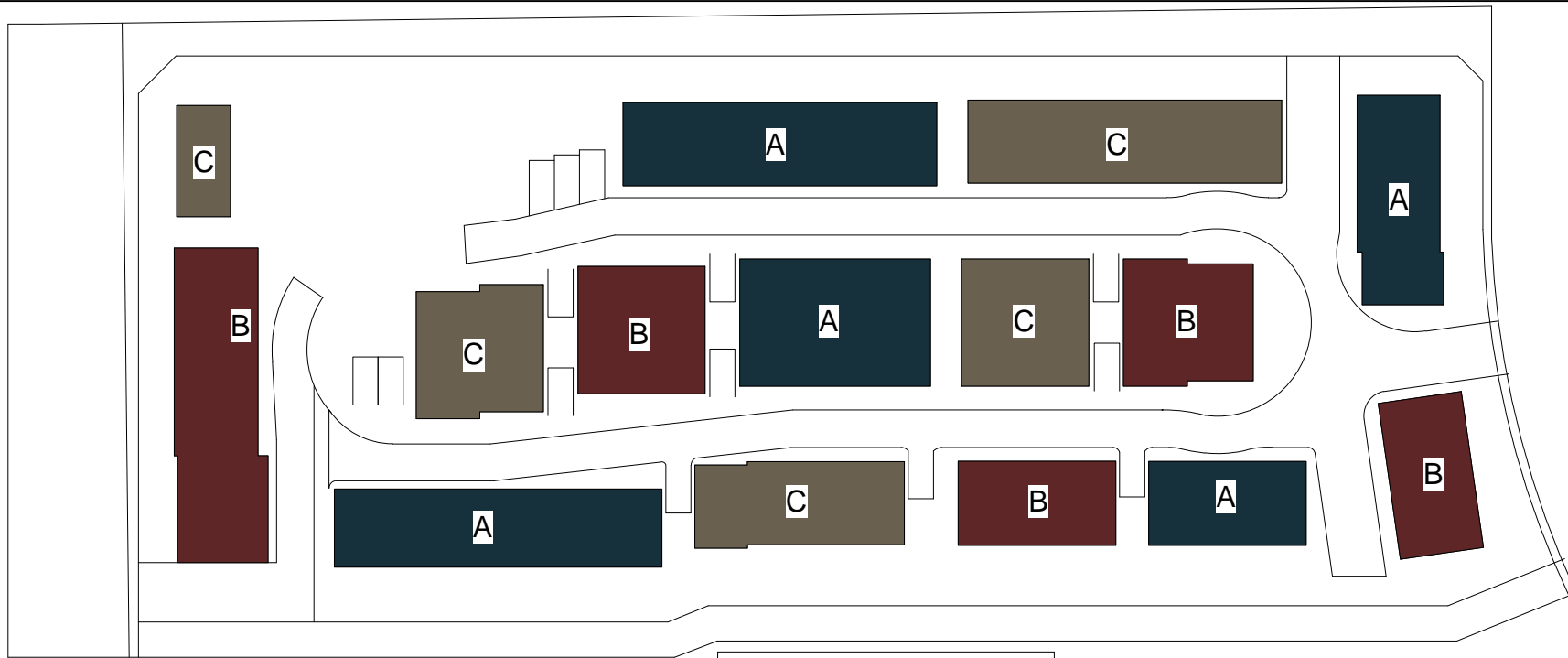
STREET SCAPE VIEW  
-PEDESTRIAN CORRIDOR

DRAWING ISSUE

ISSUED FOR DP REVISION

| PROJECT NO. | PLOT DATE  | DRAWN | AUTHOR |
|-------------|------------|-------|--------|
| 722009      | 11-04-2023 |       |        |

| DRAWING NO. | SCALE       | REVIEWED | CHECKER | REVISION |
|-------------|-------------|----------|---------|----------|
| DP 2.15F    | 1" = 1'-20" |          |         | 10       |



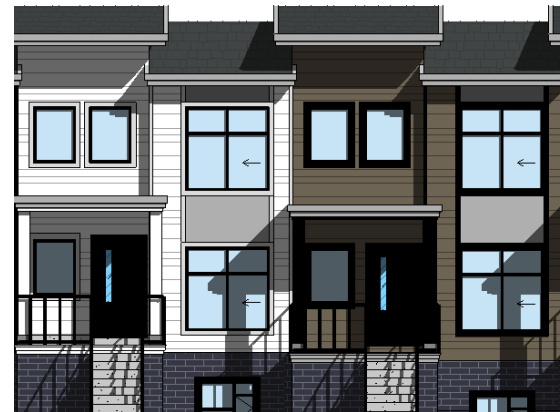
SITE COLOUR ALLOCATION LAYOUT



COLOUR SCHEME - A



COLOUR SCHEME - B



COLOUR SCHEME - C



APR 11 2023

| NO | DATE       | DESCRIPTION                   |
|----|------------|-------------------------------|
| 10 | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9  | 2023-03-09 | ISSUED FOR DP REVISION        |
| 8  | 2023-01-11 | ISSUED FOR DP REVISION        |
| 7  | 2022-12-09 | ISSUED FOR DP REVISION        |
| 6  | 2022-11-10 | ISSUED FOR DP REVISION        |
| 5  | 2022-09-24 | ISSUED FOR DP REVISION        |
| 4  | 2022-09-24 | ISSUED FOR DP REVISION        |
| 3  | 2021-12-03 | ISSUED FOR DP REVISION        |
| 2  | 2021-06-04 | ISSUED FOR DP SUBMISSION      |
| 1  | 2020-02-26 | ISSUED FOR PRELIMINARY DESIGN |

REV: 11/17/2020 03 REVISION - DRAWING ISSUE REVIEW

CONSULTANT

FORMAT STAMP

SCALE

PROJECT

16620 - 20 AVE TOWNHOUSES

SURREY, B.C.

DRAWING TITLE

BUILDING SCHEME MAP

DRAWING ISSUE

ISSUED FOR DP REVISION

PROJECT NO: 722009

PLLOT DATE: 11-04-2023

SCALE: 1/2" = 1'-0"

DRAWING NO: DP 2.16A

AD

CY

REVISION

10





| NO | DATE       | ISSUED FOR                          |
|----|------------|-------------------------------------|
| 10 | 2023-04-11 | ISSUED FOR DP REVISION              |
| 9  | 2023-03-09 | ISSUED FOR DP REVISION              |
| 8  | 2023-01-11 | ISSUED FOR 1 <sup>ST</sup> REVISION |
| 7  | 2022-12-09 | ISSUED FOR DP REVISION              |
| 6  | 2022-11-10 | ISSUED FOR DP REVISION              |
| 5  | 2022-09-24 | ISSUED FOR DP REVISION              |
| 4  | 2022-09-24 | ISSUED FOR DP REVISION              |
| 3  | 2021-12-03 | ISSUED FOR DP REVISION              |
| 2  | 2021-06-04 | ISSUED FOR 1 <sup>ST</sup> REVISION |
| 1  | 2020-02-09 | ISSUED FOR PRELIMINARY DESIGN       |

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PROJECT

**16620-20AVE TOWNHOUSES**

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE

**AMENITY BUILDING (SITE-A)  
ELEVATIONS**

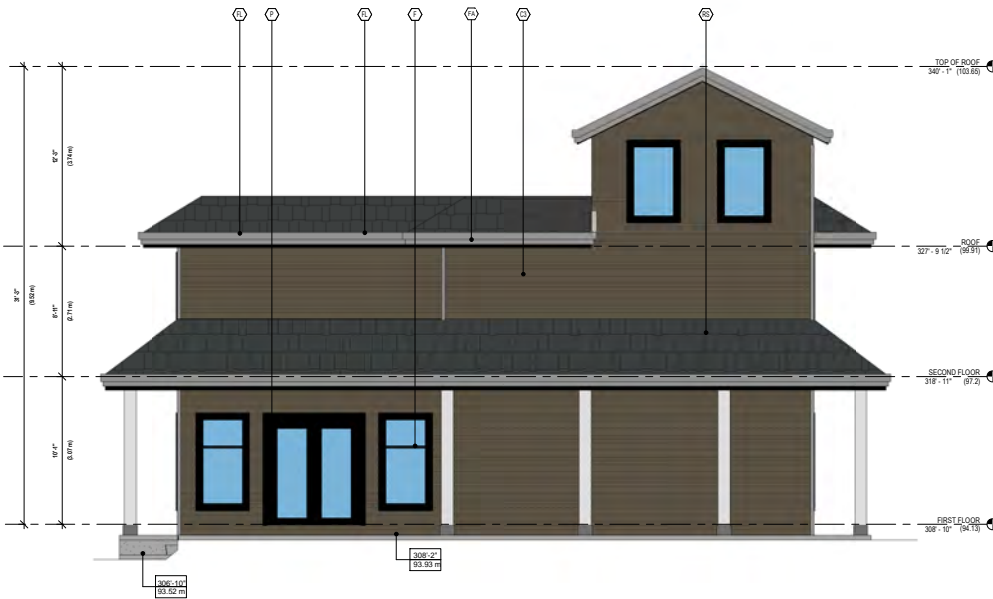
DRAWING ISSUE

**ISSUED FOR DP REVISION**

| PROJECT NO. | PLLOT DATE | DRAWN | SS |
|-------------|------------|-------|----|
| 722009      | 11-04-2023 |       |    |

| SCALE        | REVIEWED | CY |
|--------------|----------|----|
| As indicated |          |    |

| DRAWING NO. | REVISION |
|-------------|----------|
| DP-6.01     | 10       |

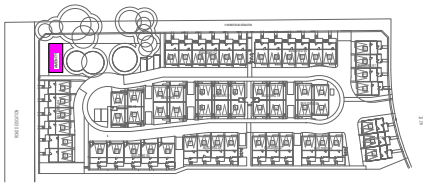


MATERIAL LEGEND :

| MATERIAL          | COLOR           |  |
|-------------------|-----------------|--|
| (FL) FLASHING     | LIGHT GREY      |  |
| (TR1) TRIM        | LIGHT GREY      |  |
| (FA) FASCIA       | LIGHT GREY      |  |
| (CS) HARDI SIDING | WOODSTOCK BROWN |  |
| (W) WINDOWS       | BLACK           |  |
| (D) DOORS         | BLACK           |  |
| (RS) ROOF SHINGLE | DARK GREY       |  |

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

**1 EAST ELEVATION**  
DP-6.01 1/4" = 1'-0"



**KEY PLAN**



**2 WEST ELEVATION**  
DP-6.01 1/4" = 1'-0"





| NO | DATE       | REVISION                              |
|----|------------|---------------------------------------|
| 10 | 2023-04-11 | ISSUED FOR DP REVISION                |
| 9  | 2023-03-07 | ISSUED FOR DP REVISION                |
| 8  | 2023-01-11 | ISSUED FOR 1 <sup>ST</sup> REVISION   |
| 7  | 2022-12-09 | ISSUED FOR DP REVISION                |
| 6  | 2022-11-10 | ISSUED FOR DP REVISION                |
| 5  | 2022-09-24 | ISSUED FOR DP REVISION                |
| 4  | 2022-09-24 | ISSUED FOR DP REVISION                |
| 3  | 2021-12-03 | ISSUED FOR DP REVISION                |
| 2  | 2021-06-04 | ISSUED FOR 1 <sup>ST</sup> SUBMISSION |
| 1  | 2020-02-09 | ISSUED FOR PRELIMINARY DESIGN         |

SCALE: 1/4" = 1'-0" REVISION: DRAWING ISSUE REVIEW

CONSULTANT:

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PROJECT

**16620-20AVE TOWNHOUSES**

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16665  
& 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE

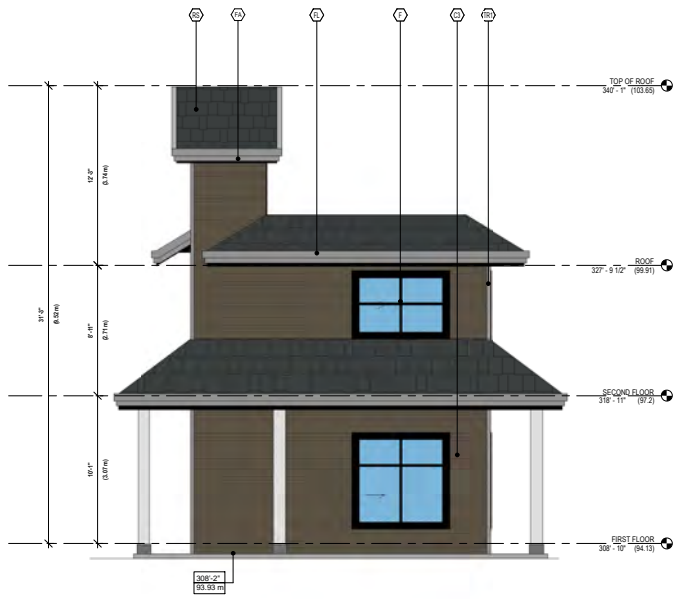
**AMENITY BUILDING (SITE-A)  
ELEVATIONS**

DRAWING ISSUE

**ISSUED FOR DP REVISION**

|             |              |           |            |        |    |
|-------------|--------------|-----------|------------|--------|----|
| PROJECT NO: | 722009       | DATE:     | 11-04-2023 | DRAWN: | SS |
| SCALE:      | As indicated | REVIEWED: |            | CY     |    |

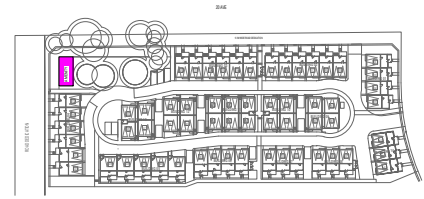
|             |                |           |           |
|-------------|----------------|-----------|-----------|
| DRAWING NO: | <b>DP-6.02</b> | REVISION: | <b>10</b> |
|-------------|----------------|-----------|-----------|



**1** NORTH ELEVATION  
DP-6.02/ 1/4" = 1'-0"



**2** SOUTH ELEVATION  
DP-6.02/ 1/4" = 1'-0"



**KEY PLAN**

MATERIAL LEGEND:

| MATERIAL          | COLOR           |
|-------------------|-----------------|
| (FL) FLASHING     | LIGHT GREY      |
| (TR) TRIM         | LIGHT GREY      |
| (FA) FASCIA       | LIGHT GREY      |
| (CS) HARDY SIDING | WOODSTOCK BROWN |
| (W) WINDOWS       | BLACK           |
| (D) DOORS         | BLACK           |
| (RS) ROOF SHINGLE | DARK GREY       |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED





AP# 11 923

| NO | DATE       | ISSUED FOR                    | BY | REVIEW |
|----|------------|-------------------------------|----|--------|
| 10 | 2023-04-11 | ISSUED FOR DP REVISION        |    |        |
| 9  | 2023-03-08 | ISSUED FOR DP REVISION        |    |        |
| 8  | 2023-01-11 | ISSUED FOR DP REVISION        |    |        |
| 7  | 2022-12-08 | ISSUED FOR DP REVISION        |    |        |
| 6  | 2023-11-10 | ISSUED FOR DP REVISION        |    |        |
| 5  | 2022-09-24 | ISSUED FOR DP REVISION        |    |        |
| 4  | 2022-09-24 | ISSUED FOR DP REVISION        |    |        |
| 3  | 2021-12-03 | ISSUED FOR DP REVISION        |    |        |
| 2  | 2021-09-04 | ISSUED FOR DP REVISION        |    |        |
| 1  | 2020-02-08 | ISSUED FOR PRELIMINARY DESIGN |    |        |
|    | 2020-02-08 | ISSUED FOR PRELIMINARY DESIGN |    |        |

REVISION/ORDINANCE ISSUE

CONSULTANT

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PROJECT

**16620-20AVE TOWNHOUSES**

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE

**BUILDING-02 (SITE-A)  
ELEVATIONS (UNIT-D2 & D3)**

DRAWING SCALE

**ISSUED FOR DP REVISION**

| PROJECT NO. | PLOT DATE | DRAWN | VS |
|-------------|-----------|-------|----|
| 722009      | 4/11/2023 |       |    |

| SCALE | 1/8" = 1'-0" | REVIEWED | CY |
|-------|--------------|----------|----|
|       |              |          |    |

REVISION: **DP-6.21** 10

MATERIAL LEGEND:

| MATERIAL         | COLOR           |
|------------------|-----------------|
| FL FLASHING      | LIGHT GREY      |
| GR RAILING       | RAILING         |
| TR3 TRIM         | BLACK           |
| TR2 TRIM         | LIGHT GREY      |
| FA FASCIA        | LIGHT GREY      |
| C1 HARDI SIDING  | WHITE           |
| C2 HARDI BRICKS  | DARK GREY       |
| C3 HARDI SIDING  | WOODSTOCK BROWN |
| C4 HARDI SIDING  | DARK GREY       |
| C5 HARDI PANEL   | DARK GREY       |
| F WINDOWS        | BLACK           |
| D DOORS          | BLACK           |
| RD1 ROLL-UP DOOR | DARK GREY       |
| RD2 ROLL-UP DOOR | WHITE           |
| RS ROOF SHINGLE  | DARK GREY       |

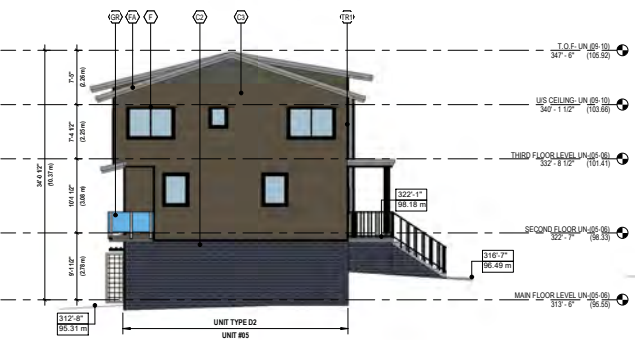
NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



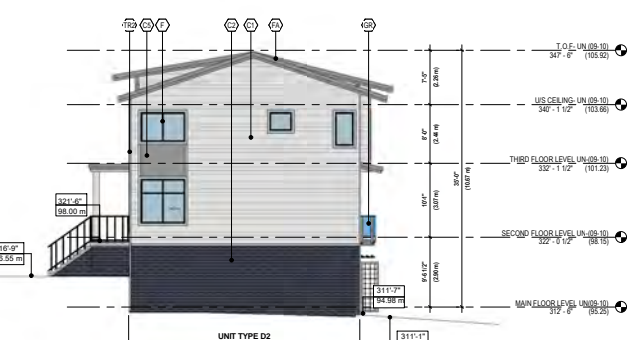
**1 NORTH ELEVATION (20th AVENUE)**  
DP-6.21 1/8" = 1'-0"



**2 SOUTH ELEVATION**  
DP-6.21 1/8" = 1'-0"

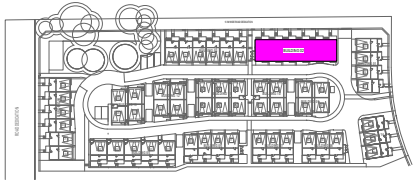


**3 EAST ELEVATION**  
DP-6.21 1/8" = 1'-0"



**4 WEST ELEVATION**  
DP-6.21 1/8" = 1'-0"

AVERAGE EXISTING GARDE  
95.38 + 64.56 + 56.56 + 56.12 = 95.75  
4  
MAX BUILDING HEIGHT  
95.75 + 13 = 108.75



KEY PLAN



APR 11 2023

| NO | DATE       | ISSUED FOR | REVISION    |
|----|------------|------------|-------------|
| 1  | 2023-03-28 | ISSUED FOR | DP REVISION |
| 2  | 2023-05-11 | ISSUED FOR | DP REVISION |
| 3  | 2023-05-11 | ISSUED FOR | DP REVISION |
| 4  | 2023-05-11 | ISSUED FOR | DP REVISION |
| 5  | 2023-05-11 | ISSUED FOR | DP REVISION |
| 6  | 2023-05-11 | ISSUED FOR | DP REVISION |
| 7  | 2023-05-11 | ISSUED FOR | DP REVISION |
| 8  | 2023-05-11 | ISSUED FOR | DP REVISION |
| 9  | 2023-05-11 | ISSUED FOR | DP REVISION |
| 10 | 2023-04-11 | ISSUED FOR | DP REVISION |
| 11 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 12 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 13 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 14 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 15 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 16 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 17 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 18 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 19 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 20 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 21 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 22 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 23 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 24 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 25 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 26 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 27 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 28 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 29 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 30 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 31 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 32 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 33 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 34 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 35 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 36 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 37 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 38 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 39 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 40 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 41 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 42 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 43 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 44 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 45 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 46 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 47 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 48 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 49 | 2023-03-28 | ISSUED FOR | DP REVISION |
| 50 | 2023-03-28 | ISSUED FOR | DP REVISION |

CONSULTANT

COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

FORMAT STAMP

SEAL

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PROJECT

**16620-20AVE TOWNHOUSES**

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE

**BUILDING-03 (SITE-A)  
ELEVATIONS (UNIT-D2 & D3)**

DRAWING SCALE

**ISSUED FOR DP REVISION**

PROJECT NO. 722009

PLAT DATE 11-04-2023

SCALE 1/8" = 1'-0"

DRAWING NO. DP-6.31

DRAWN VS

REVIEWED CY

REVISION 10

MATERIAL LEGEND:

| MATERIAL         | COLOR        |  |
|------------------|--------------|--|
| FL FLASHING      | LIGHT GREY   |  |
| GR RAILING       | RAILING      |  |
| TR1 TRIM         | BLACK        |  |
| TR2 TRIM         | LIGHT GREY   |  |
| FA FASCIA        | LIGHT GREY   |  |
| C1 HARDI SIDING  | WHITE        |  |
| C2 HARDI BRICKS  | DARK GREY    |  |
| C3 HARDI SIDING  | EVENING BLUE |  |
| C4 HARDI SIDING  | DARK GREY    |  |
| C5 HARDI PANEL   | DARK GREY    |  |
| E WINDOWS        | BLACK        |  |
| P DOORS          | BLACK        |  |
| RD1 ROLL-UP DOOR | DARK GREY    |  |
| RD2 ROLL-UP DOOR | WHITE        |  |
| RS ROOF SHINGLE  | DARK GREY    |  |

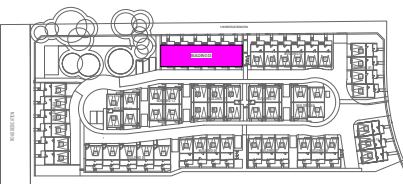
NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



AVERAGE EXISTING GARDE

$$\frac{84.82 + 96.33 + 96.56 + 94.82}{4} = 95.63$$

MAX BUILDING HEIGHT

$$95.75 + 13 = 108.63$$


KEY PLAN



APR 11 2023

| NO | DATE       | ISSUED FOR                    | BY |
|----|------------|-------------------------------|----|
| 1  | 2023-03-28 | ISSUED FOR DP REVISION        |    |
| 2  | 2023-04-11 | ISSUED FOR DP REVISION        |    |
| 3  | 2023-05-11 | ISSUED FOR DP REVISION        |    |
| 4  | 2023-05-11 | ISSUED FOR DP REVISION        |    |
| 5  | 2023-05-24 | ISSUED FOR DP REVISION        |    |
| 6  | 2023-05-24 | ISSUED FOR DP REVISION        |    |
| 7  | 2023-05-24 | ISSUED FOR DP REVISION        |    |
| 8  | 2023-05-24 | ISSUED FOR DP REVISION        |    |
| 9  | 2023-05-24 | ISSUED FOR DP REVISION        |    |
| 10 | 2023-05-24 | ISSUED FOR PRELIMINARY DESIGN |    |
| 11 | 2023-05-24 | ISSUED FOR PRELIMINARY DESIGN |    |
| 12 | 2023-05-24 | ISSUED FOR PRELIMINARY DESIGN |    |

REVISION/CHANGING ISSUE REVISION

CONSULTANT

FORMAT STAMP

SCALE

DATE

PROJECT

DESCRIPTION

ISSUED FOR

BY

DATE

REVISION

BY

DATE

REVISION

BY

DATE

REVISION

BY

DATE

REVISION

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DATE

MATERIAL LEGEND :

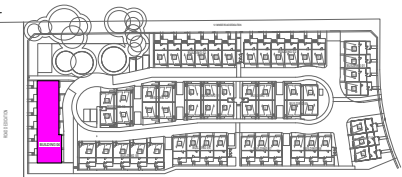
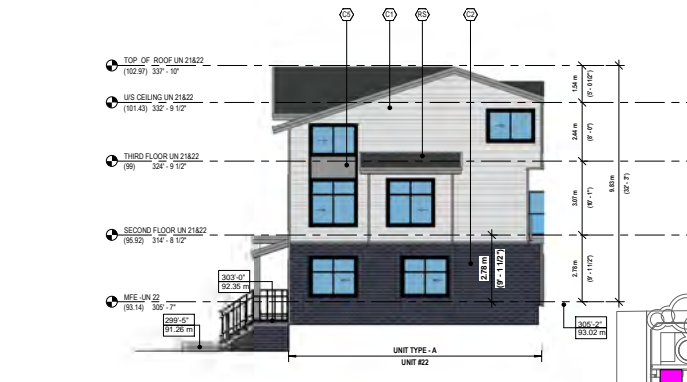
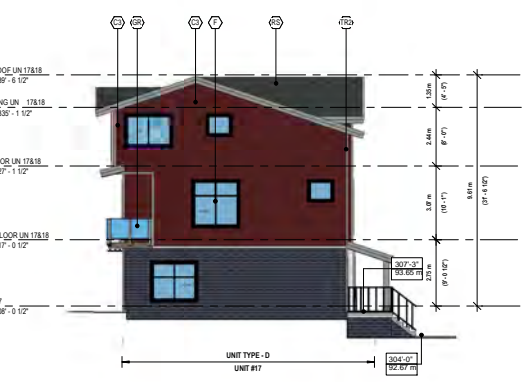
| MATERIAL         | COLOR           |
|------------------|-----------------|
| FL FLASHING      | LIGHT GREY      |
| GR RAILING       | RAILING         |
| TR1 TRIM         | BLACK           |
| TR2 TRIM         | LIGHT GREY      |
| CA FASCIA        | LIGHT GREY      |
| C1 HARD SIDING   | WHITE           |
| C2 HARD BRICKS   | DARK GREY       |
| C3 HARD SIDING   | COUNTRYLANE RED |
| C4 HARD SIDING   | DARK GREY       |
| C5 HARD SIDING   | DARK GREY       |
| HA HARD PANEL    | DARK GREY       |
| F WINDOWS        | BLACK           |
| D DOORS          | BLACK           |
| RD1 ROLL-UP DOOR | DARK GREY       |
| RD2 ROLL-UP DOOR | WHITE           |
| RS ROOF SHINGLE  | DARK GREY       |

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

AVERAGE EXISTING GARDE

$$\frac{93.11 + 93.74 + 93.00 + 91.65}{4} = 92.87$$

MAX BUILDING HEIGHT

$$95.75 + 13 = 108.87$$


**16620-20AVE TOWNHOUSES**

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

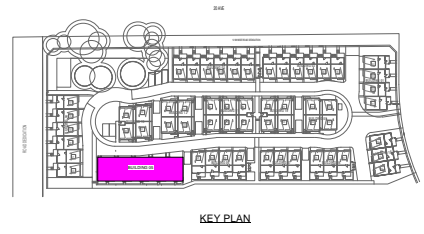
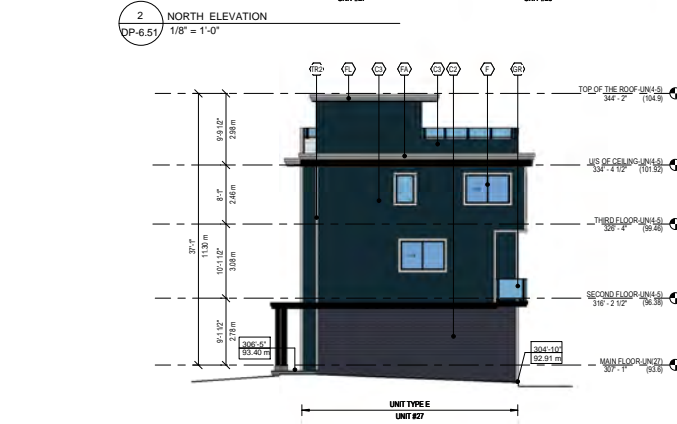
**BUILDING-4 (SITE-A) ELEVATIONS (UNIT-D & A)**

ISSUED FOR DP REVISION

PROJECT NO: 722009  
PLOT DATE: 11-04-2023  
SCALE: 1/8" = 1'-0"  
DRAWING NO: DP-6.41

ISSUED FOR DP REVISION

REVISION: 10



| NO. | DATE       | DESCRIPTION                   | BY | CHKD. |
|-----|------------|-------------------------------|----|-------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |    |       |
| 9   | 2023-03-09 | ISSUED FOR DP REVISION        |    |       |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |    |       |
| 7   | 2023-11-30 | ISSUED FOR DP REVISION        |    |       |
| 6   | 2023-11-10 | ISSUED FOR DP REVISION        |    |       |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |    |       |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |    |       |
| 3   | 2021-12-03 | ISSUED FOR DP REVISION        |    |       |
| 2   | 2021-06-04 | ISSUED FOR DP REVISION        |    |       |
| 1   | 2020-02-09 | ISSUED FOR PRELIMINARY DESIGN |    |       |

|  |
|--|
| <b>AVERAGE EXISTING GARDE</b>          |
| 93.11 + 92.44 + 92.82 + 92.89 = 92.81M |
| 4                                      |
| <b>MAX BUILDING HEIGHT</b>             |
| 92.89 + 13 = 105.81M                   |

| MATERIAL | COLOR        |              |
|----------|--------------|--------------|
| FL       | FLASHING     | LIGHT GREY   |
| GR       | RAILING      | RAILING      |
| TR1      | TRIM         | BLACK        |
| TR2      | TRIM         | LIGHT GREY   |
| FA       | FASCIA       | LIGHT GREY   |
| C1       | HARDI SIDING | WHITE        |
| C2       | HARDI BRICKS | DARK GREY    |
| C3       | HARDI SIDING | EVENING BLUE |
| C4       | HARDI PANEL  | DARK GREY    |
| C5       | HARDI SIDING | GREY         |
| C7       | HARDI SIDING | GREY         |
| F        | WINDOWS      | BLACK        |
| D        | DOORS        | BLACK        |
| RD1      | ROLL-UP DOOR | DARK GREY    |
| RD2      | ROLL-UP DOOR | WHITE        |

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**16620-20AVE TOWNHOUSES**

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

**BUILDING-05 (SITE-A) ELEVATIONS (UNIT-E)**

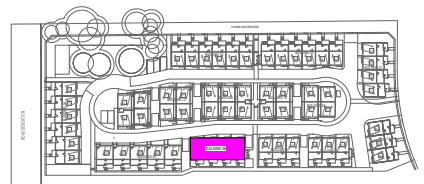
**ISSUED FOR DP REVISION**

|             |              |            |            |           |    |
|-------------|--------------|------------|------------|-----------|----|
| PROJECT NO: | 722009       | PLOT DATE: | 11-04-2023 | DRAWN:    | VS |
| SCALE:      | 1/8" = 1'-0" | REVIEWED:  |            | REVISION: | CY |

**DP-6.51**



APR 11 2023



KEY PLAN



1 SOUTH ELEVATION (PEDESTRIAN CORRIDOR)  
DP-6.61 1/8" = 1'-0"



2 NORTH ELEVATION  
DP-6.61 1/8" = 1'-0"



3 EAST ELEVATION  
DP-6.61 1/8" = 1'-0"



4 WEST ELEVATION  
DP-6.61 1/8" = 1'-0"

MATERIAL LEGEND:

| MATERIAL         | COLOR           |  |
|------------------|-----------------|--|
| FL FLASHING      | LIGHT GREY      |  |
| GR RAILING       | RAILING         |  |
| TR1 TRIM         | BLACK           |  |
| TR2 TRIM         | LIGHT GREY      |  |
| FA FASCIA        | LIGHT GREY      |  |
| C1 HARD SIDING   | WHITE           |  |
| C2 HARD BRICKS   | DARK GREY       |  |
| C3 HARD SIDING   | WOODSTOCK BROWN |  |
| F WINDOWS        | BLACK           |  |
| P DOORS          | BLACK           |  |
| RD1 ROLL-UP DOOR | DARK GREY       |  |
| RD2 ROLL-UP DOOR | WHITE           |  |
| RS ROOF SHINGLE  | DARK GREY       |  |

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16651-19AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

BUILDING-06 (SITE-A)  
ELEVATIONS (UNIT-C & C1)

ISSUED FOR DP REVISION

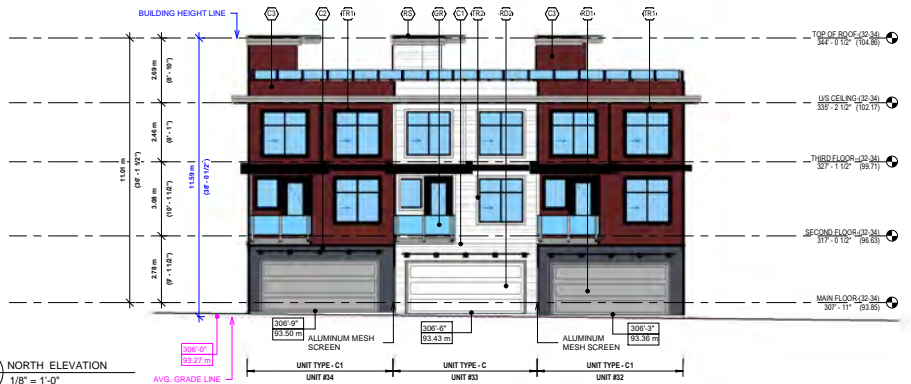
|             |              |          |            |        |    |
|-------------|--------------|----------|------------|--------|----|
| PROJECT NO. | 722009       | DATE     | 11-04-2023 | DESIGN | SS |
| SCALE       | 1/8" = 1'-0" | REVISION | CY         |        |    |

PROJECT NO. 722009  
SCALE 1/8" = 1'-0"  
REVISION CY

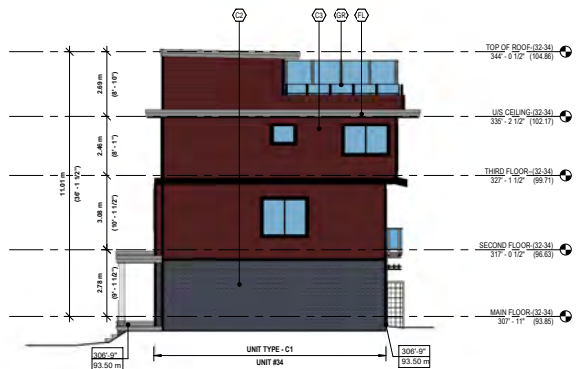
DP-6.61 10



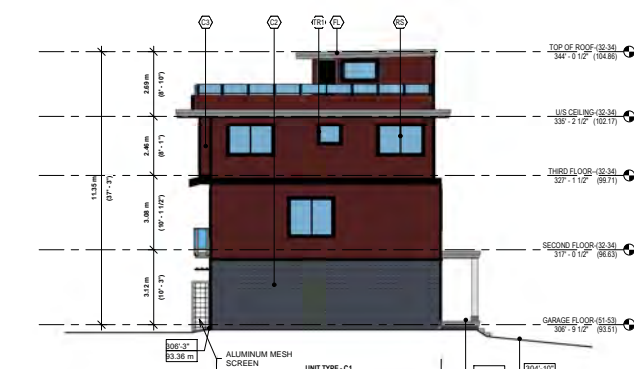
1 SOUTH ELEVATION (PEDESTRIAN CORRIDOR)  
DP-6.71 1/8" = 1'-0"



2 NORTH ELEVATION  
DP-6.71 1/8" = 1'-0"



3 EAST ELEVATION  
DP-6.71 1/8" = 1'-0"



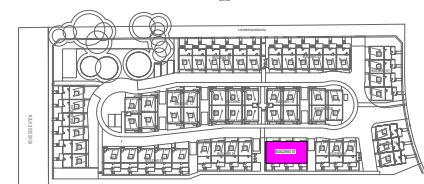
4 WEST ELEVATION  
DP-6.71 1/8" = 1'-0"

MATERIAL LEGEND:

| MATERIAL         | COLOR           |  |
|------------------|-----------------|--|
| FL FLASHING      | LIGHT GREY      |  |
| GR RAILING       | RAILING         |  |
| TR1 TRIM         | BLACK           |  |
| TR2 TRIM         | LIGHT GREY      |  |
| FA FASCIA        | LIGHT GREY      |  |
| C1 HARDI SIDING  | WHITE           |  |
| C2 HARDI BRICKS  | DARK GREY       |  |
| C3 HARDI SIDING  | COUNTRYLANE RED |  |
| E WINDOWS        | BLACK           |  |
| P DOORS          | BLACK           |  |
| RD1 ROLL-UP DOOR | DARK GREY       |  |
| RD2 ROLL-UP DOOR | WHITE           |  |
| RS ROOF SHINGLE  | DARK GREY       |  |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

AVERAGE EXISTING GARDE  
 $93.34 + 93.48 + 93.07 + 93.21 = 93.27$   
 4  
 MAX BUILDING HEIGHT  
 $93.27 + 13 = 106.27$



KEY PLAN



Kasian Architecture  
Interior Design  
and Planning Ltd



1500 West Georgia Street, Suite 1005  
Vancouver, BC Canada V6G 2Z6  
T 604 683 4146 F 604 683 2627  
www.kasian.com

| NO | DATE       | ISSUED FOR DP REVISION        | REVISION/ORDINARY ISSUE | REVIEW |
|----|------------|-------------------------------|-------------------------|--------|
| 10 | 2023-04-11 | ISSUED FOR DP REVISION        |                         |        |
| 9  | 2023-03-09 | ISSUED FOR DP REVISION        |                         |        |
| 8  | 2023-01-11 | ISSUED FOR DP REVISION        |                         |        |
| 7  | 2022-12-08 | ISSUED FOR DP REVISION        |                         |        |
| 6  | 2022-11-10 | ISSUED FOR DP REVISION        |                         |        |
| 5  | 2022-09-24 | ISSUED FOR DP REVISION        |                         |        |
| 4  | 2022-08-24 | ISSUED FOR DP REVISION        |                         |        |
| 3  | 2021-12-03 | ISSUED FOR DP REVISION        |                         |        |
| 2  | 2021-08-04 | ISSUED FOR DP REVISION        |                         |        |
| 1  | 2020-06-02 | ISSUED FOR PRELIMINARY DESIGN |                         |        |

CONSULTANT

FORMAT STAMP

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PROJECT  
16651-19AVE TOWNHOUSES  
16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE  
BUILDING-07 (SITE-A)  
ELEVATIONS (UNIT-C & C1)

DRAWING ISSUE  
ISSUED FOR DP REVISION

| PROJECT NO. | DATE       | SCALE        | ISSUED FOR DP REVISION | REVISION/ORDINARY ISSUE | REVIEW |
|-------------|------------|--------------|------------------------|-------------------------|--------|
| 722009      | 11-04-2023 | 1/8" = 1'-0" |                        |                         | SS     |
|             |            |              |                        |                         | CY     |

DRAWING NO. DP-6.71 REVISION 10





APR 11 2023

| NO. | DATE       | ISSUED FOR             | REVISION |
|-----|------------|------------------------|----------|
| 1   | 2023-03-08 | ISSUED FOR DP REVISION |          |
| 2   | 2023-03-11 | ISSUED FOR DP REVISION |          |
| 3   | 2023-03-11 | ISSUED FOR DP REVISION |          |
| 4   | 2023-03-11 | ISSUED FOR DP REVISION |          |
| 5   | 2023-03-24 | ISSUED FOR DP REVISION |          |
| 6   | 2023-03-24 | ISSUED FOR DP REVISION |          |
| 7   | 2023-03-24 | ISSUED FOR DP REVISION |          |
| 8   | 2023-03-24 | ISSUED FOR DP REVISION |          |
| 9   | 2023-03-24 | ISSUED FOR DP REVISION |          |
| 10  | 2023-04-11 | ISSUED FOR DP REVISION |          |

| AVERAGE EXISTING GRADE              |             |
|-------------------------------------|-------------|
| $93.58M + 93.07M + 93.72M + 92.91M$ | $= 93.32M$  |
| $4$                                 |             |
| MAXIMUM BUILDING HEIGHT             |             |
| $93.32M + 13M$                      | $= 106.32M$ |

MATERIAL LEGEND :

| MATERIAL         | COLOR        |
|------------------|--------------|
| FL FLASHING      | LIGHT GREY   |
| GR RAILING       | RAILING      |
| TR1 TRIM         | BLACK        |
| TR2 TRIM         | LIGHT GREY   |
| FA FASCIA        | LIGHT GREY   |
| C1 HARDI SIDING  | WHITE        |
| C2 HARDI BRICKS  | DARK GREY    |
| C3 HARDI SIDING  | EVENING BLUE |
| F WINDOWS        | BLACK        |
| P DOORS          | BLACK        |
| RD1 ROLL-UP DOOR | DARK GREY    |
| RD2 ROLL-UP DOOR | WHITE        |

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PROJECT  
**16651-19AVE TOWNHOUSES**  
16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE  
**BUILDING-08 (SITE-A)  
ELEVATIONS (UNIT-C & C1)**

DRAWING ISSUE  
**ISSUED FOR DP REVISION**

| PROJECT NO. | DATE       | SCALE        | ISSUED FOR             | REVISION |
|-------------|------------|--------------|------------------------|----------|
| 722009      | 11-04-2023 | 1/8" = 1'-0" | ISSUED FOR DP REVISION | SS       |
|             |            |              |                        | CY       |

REVISION  
**DP-6.81**  
10



1 SOUTH ELEVATION (PEDESTRIAN CORRIDOR)  
DP-6.81 1/8" = 1'-0"



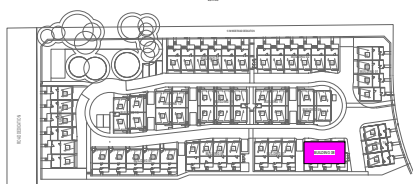
2 NORTH ELEVATION  
DP-6.81 1/8" = 1'-0"



3 EAST ELEVATION  
DP-6.81 1/8" = 1'-0"



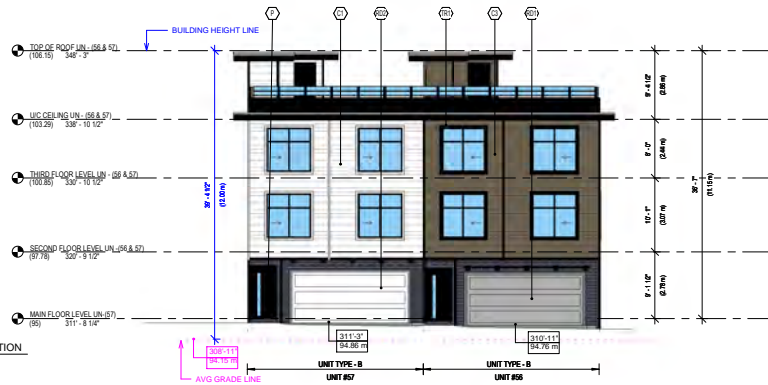
4 WEST ELEVATION  
DP-6.81 1/8" = 1'-0"



KEY PLAN



1 SOUTH ELEVATION  
DP-6.10/ 1/8" = 1'-0"



2 NORTH ELEVATION  
DP-6.10/ 1/8" = 1'-0"

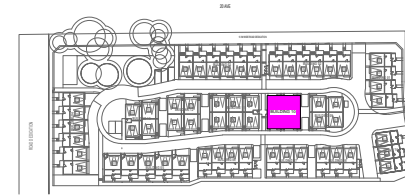


3 WEST ELEVATION  
DP-6.10/ 1/8" = 1'-0"



4 EAST ELEVATION  
DP-6.10/ 1/8" = 1'-0"

AVERAGE EXISTING GARDE  
 $94.74 + 94.86 + 93.53 + 93.47$   
 4  
 = 94.15M  
 MAX BUILDING HEIGHT  
 94.15 - 13 = 107.15M



KEY PLAN

MATERIAL LEGEND:

| MATERIAL          | COLOR           |  |
|-------------------|-----------------|--|
| FL FLASHING       | LIGHT GREY      |  |
| GR RAILING        | RAILING         |  |
| TR1 TRIM          | BLACK           |  |
| TR2 TRIM          | LIGHT GREY      |  |
| FA FASCIA         | LIGHT GREY      |  |
| C1 HARDI SIDING   | WHITE           |  |
| C2 HARDI BRICKS   | DARK GREY       |  |
| C3 HARDI SIDING   | WOODSTOCK BROWN |  |
| C4 HARDI PANEL    | DARK GREY       |  |
| F WINDOWS         | BLACK           |  |
| D DOORS           | BLACK           |  |
| RD1 ROLL-UP DOOR  | DARK GREY       |  |
| RD2 ROLL-UP DOOR  | WHITE           |  |
| MC PRIVACY SCREEN | NATURAL CEDAR   |  |

NOTE: COLOURS FROM SHERWIN WILLIAMS  
NOTE: UNLESS NOTED



APR 11 2023

| NO. | DATE       | ISSUED FOR             | REVISION | BY |
|-----|------------|------------------------|----------|----|
| 1   | 2023-01-09 | ISSUED FOR DP REVISION |          |    |
| 2   | 2023-01-11 | ISSUED FOR DP REVISION |          |    |
| 3   | 2023-01-11 | ISSUED FOR DP REVISION |          |    |
| 4   | 2023-01-11 | ISSUED FOR DP REVISION |          |    |
| 5   | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 6   | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 7   | 2023-12-03 | ISSUED FOR DP REVISION |          |    |
| 8   | 2023-12-03 | ISSUED FOR DP REVISION |          |    |
| 9   | 2023-12-03 | ISSUED FOR DP REVISION |          |    |
| 10  | 2023-04-11 | ISSUED FOR DP REVISION |          |    |
| 11  | 2023-01-09 | ISSUED FOR DP REVISION |          |    |
| 12  | 2023-01-11 | ISSUED FOR DP REVISION |          |    |
| 13  | 2023-01-11 | ISSUED FOR DP REVISION |          |    |
| 14  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 15  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 16  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 17  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 18  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 19  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 20  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 21  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 22  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 23  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 24  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 25  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 26  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 27  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 28  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 29  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 30  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 31  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 32  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 33  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 34  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 35  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 36  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 37  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 38  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 39  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 40  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 41  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 42  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 43  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 44  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 45  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 46  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 47  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 48  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 49  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 50  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 51  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 52  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 53  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 54  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 55  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 56  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 57  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 58  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 59  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 60  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 61  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 62  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 63  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 64  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 65  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 66  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 67  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 68  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 69  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 70  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 71  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 72  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 73  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 74  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 75  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 76  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 77  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 78  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 79  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 80  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 81  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
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| 86  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 87  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 88  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 89  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 90  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 91  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 92  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 93  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 94  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 95  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 96  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 97  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 98  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 99  | 2023-09-24 | ISSUED FOR DP REVISION |          |    |
| 100 | 2023-09-24 | ISSUED FOR DP REVISION |          |    |

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PROJECT  
**16620-20AVE TOWNHOUSES**  
16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE  
**BUILDING-10 (SITE-A)  
ELEVATIONS (UNIT-B)**

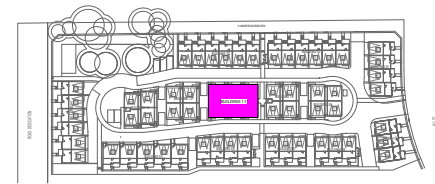
DRAWING ISSUE  
**ISSUED FOR DP REVISION**

PROJECT NO. 722009  
SCALE 1/8" = 1'-0"  
DRAWN BY SS  
REVIEWED BY CY

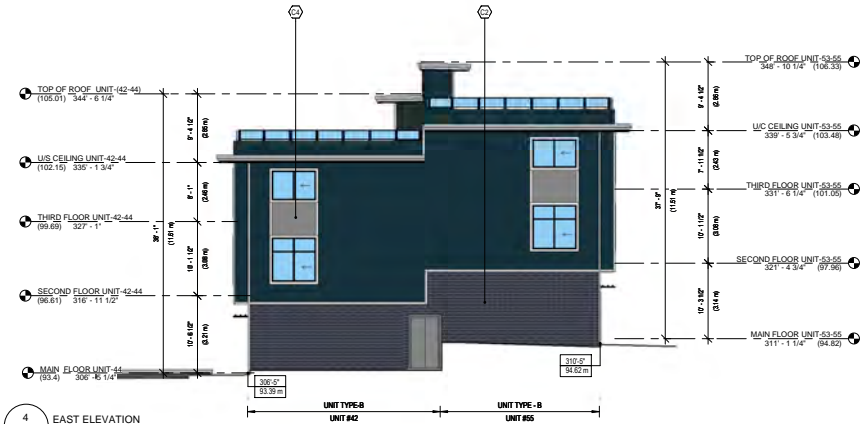
DRAWING NO. **DP-6.101**  
REVISION NO. **10**



APR 11 2023



KEY PLAN



AVERAGE EXISTING GARDE  
84.60 + 93.97 + 93.24 + 84.47 = 93.92M  
MAX BUILDING HEIGHT  
93.92 + 13 = 106.52M

MATERIAL LEGEND :

| MATERIAL          | COLOR         |
|-------------------|---------------|
| FL FLASHING       | LIGHT GREY    |
| RAILING           | RAILING       |
| TR1 TRIM          | BLACK         |
| TR2 TRIM          | LIGHT GREY    |
| FA FASCIA         | LIGHT GREY    |
| C1 HARDI SIDING   | WHITE         |
| C2 HARDI BRICKS   | DARK GREY     |
| C3 HARDI SIDING   | EVENING BLUE  |
| C4 HARDI PANEL    | DARK GREY     |
| F WINDOWS         | BLACK         |
| P DOORS           | BLACK         |
| RD1 ROLL-UP DOOR  | DARK GREY     |
| RD2 ROLL-UP DOOR  | WHITE         |
| NC PRIVACY SCREEN | NATURAL CEDAR |

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

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16620-20AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

BUILDING-11 (SITE-A)  
ELEVATIONS (UNIT-B)

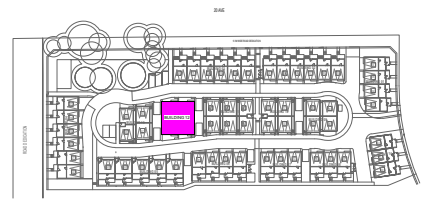
ISSUED FOR DP REVISION

|                         |                         |                |
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| PROJECT NO.<br>722009   | PLAT DATE<br>11-04-2023 | DRAWN<br>SS    |
| DRAWING NO.<br>DP-6.111 | SCALE<br>1/8" = 1'-0"   | REVIEWED<br>CY |

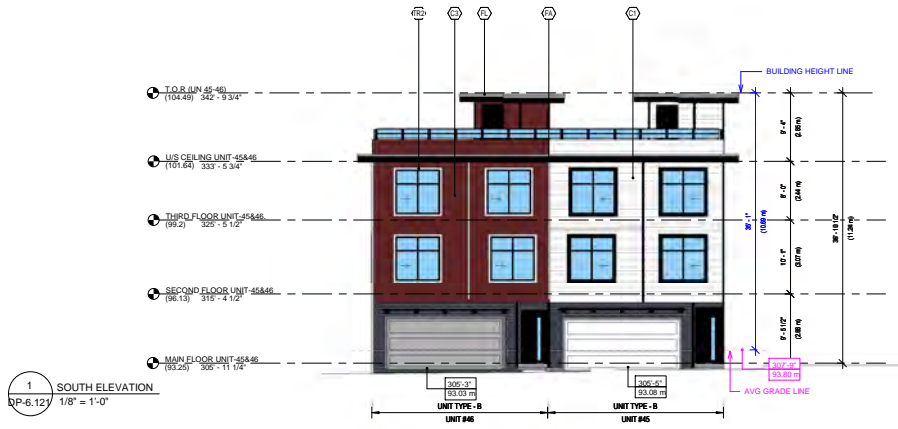
10



APR 11 2023



KEY PLAN



**AVERAGE EXISTING GARDE**  
 $92.99 + 93.02 + 94.66 + 94.56 = 93.80$   
**MAX BUILDING HEIGHT**  
 $93.80 + 13 = 106.80$

| MATERIAL           | COLOR           |  |
|--------------------|-----------------|--|
| (FL) FLASHING      | LIGHT GREY      |  |
| (RA) RAILING       | RAILING         |  |
| (TR1) TRIM         | BLACK           |  |
| (TR2) TRIM         | LIGHT GREY      |  |
| (FA) FASCIA        | LIGHT GREY      |  |
| (C1) HARD SIDING   | WHITE           |  |
| (C2) HARD BRICKS   | DARK GREY       |  |
| (C3) HARD SIDING   | COUNTRYLANE RED |  |
| (C4) HARDI PANEL   | DARK GREY       |  |
| (W) WINDOWS        | BLACK           |  |
| (D) DOORS          | BLACK           |  |
| (RD1) ROLL-UP DOOR | DARK GREY       |  |
| (RD2) ROLL-UP DOOR | WHITE           |  |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

| NO.      | DATE       | ISSUED FOR                    | REVISION | ORIGINATOR | REVIEW |
|----------|------------|-------------------------------|----------|------------|--------|
| 10       | 2023-04-11 | ISSUED FOR DP REVISION        |          |            |        |
| 9        | 2023-03-09 | ISSUED FOR DP REVISION        |          |            |        |
| 8        | 2023-01-11 | ISSUED FOR DP REVISION        |          |            |        |
| 7        | 2023-11-10 | ISSUED FOR DP REVISION        |          |            |        |
| 6        | 2023-11-10 | ISSUED FOR DP REVISION        |          |            |        |
| 5        | 2022-09-24 | ISSUED FOR DP REVISION        |          |            |        |
| 4        | 2022-09-24 | ISSUED FOR DP REVISION        |          |            |        |
| 3        | 2021-12-03 | ISSUED FOR DP REVISION        |          |            |        |
| 2        | 2021-06-04 | ISSUED FOR DP SUBMISSION      |          |            |        |
| 1        | 2020-07-09 | ISSUED FOR PRELIMINARY DESIGN |          |            |        |
| REVISION | DATE       | ISSUED FOR                    | REVISION | ORIGINATOR | REVIEW |

CONSULTANT

FORMAT STAMP

SCALE

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PROJECT  
**16620-20AVE TOWNHOUSES**  
16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

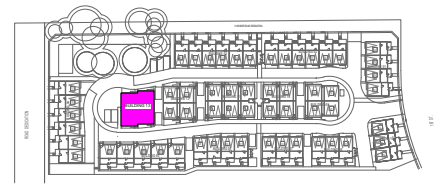
DRAWING TITLE  
**BUILDING-12 (SITE-A) ELEVATIONS (UNIT-B)**

DRAWING ISSUE  
**ISSUED FOR DP REVISION**

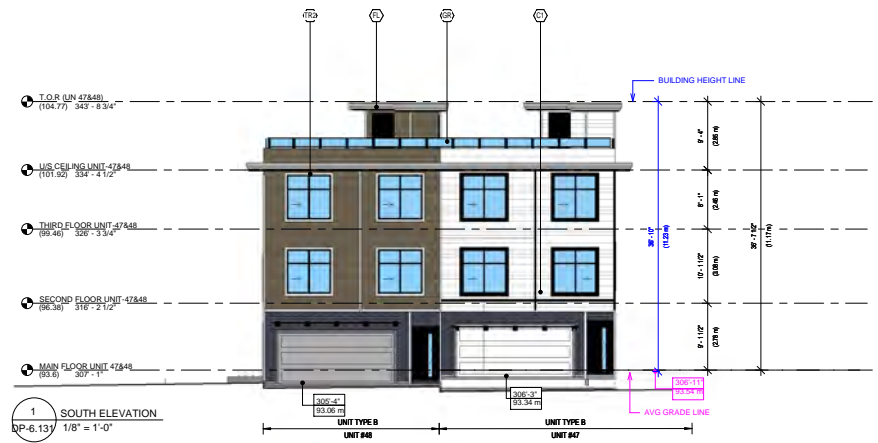
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|-------------------------|-------------------------|-------------|----------------|
| PROJECT NO.<br>722009   | PLAT DATE<br>11-04-2023 | DRAWN<br>SS | REVISION<br>CY |
| DRAWING NO.<br>DP-6.121 | SCALE<br>1/8" = 1'-0"   | REVIEWED    |                |



APR 11 2023



KEY PLAN



1 SOUTH ELEVATION  
DP-6.13 1/8" = 1'-0"



2 NORTH ELEVATION  
DP-6.13 1/8" = 1'-0"



3 WEST ELEVATION  
DP-6.13 1/8" = 1'-0"



4 EAST ELEVATION  
DP-6.13 1/8" = 1'-0"

AVERAGE EXISTING GARDE  
 $\frac{94.05 + 94.15 + 92.90 + 93.07}{4} = 93.54M$   
MAX BUILDING HEIGHT  
 $93.54 + 13 = 106.50M$

MATERIAL LEGEND:

| MATERIAL         | COLOR           |
|------------------|-----------------|
| FL FLASHING      | LIGHT GREY      |
| GR RAILING       | RAILING         |
| TR1 TRIM         | BLACK           |
| TR2 TRIM         | LIGHT GREY      |
| FA FASCIA        | LIGHT GREY      |
| C1 HARD SIDING   | WHITE           |
| C2 HARD BRICKS   | DARK GREY       |
| C3 HARD SIDING   | WOODSTOCK BROWN |
| C4 HARD PANEL    | DARK GREY       |
| F WINDOWS        | BLACK           |
| P DOORS          | BLACK           |
| RD1 ROLL-UP DOOR | DARK GREY       |
| RD2 ROLL-UP DOOR | WHITE           |

NOTE: COLOURS FROM SHERWIN WILLIAMS  
UNLESS NOTED

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16620-20AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

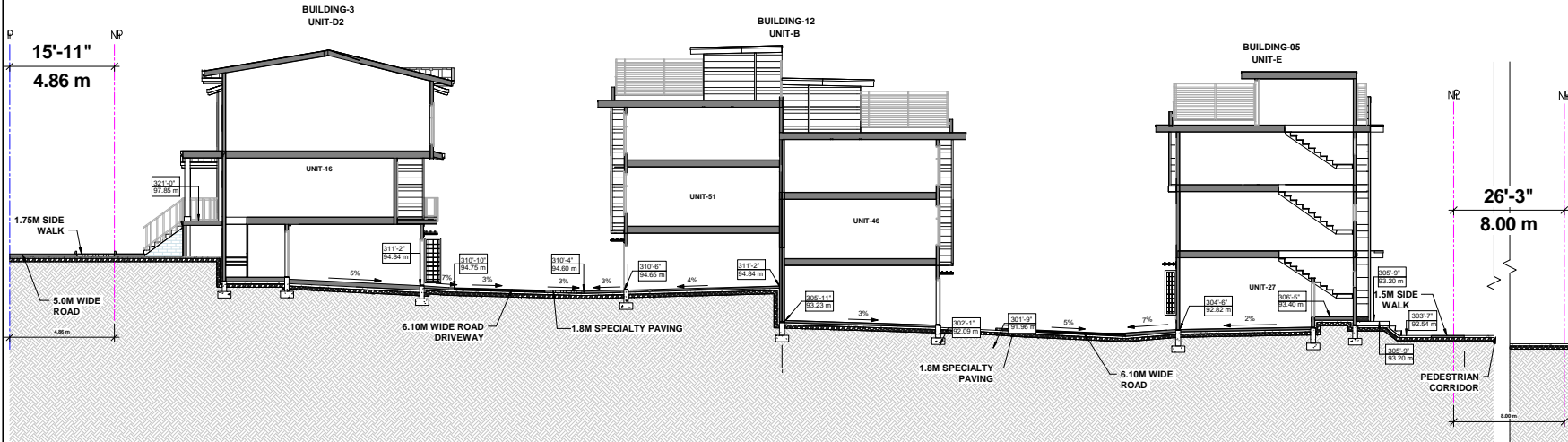
BUILDING-13 (SITE-A)  
ELEVATIONS (UNIT-B)

ISSUED FOR DP REVISION

|             |              |           |            |       |    |
|-------------|--------------|-----------|------------|-------|----|
| PROJECT NO. | 722009       | PLAT DATE | 11-04-2023 | DRAWN | SS |
| SCALE       | 1/8" = 1'-0" | REVIEWED  | CY         |       |    |

DP-6.13 10





1 SECTION 1 Site A  
DP-4.01 1/8" = 1'-0"

|     |            |                               |
|-----|------------|-------------------------------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9   | 2023-03-09 | ISSUED FOR DP REVISION        |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |
| 7   | 2022-12-09 | ISSUED FOR DP REVISION        |
| 6   | 2022-11-10 | ISSUED FOR DP REVISION        |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |
| 3   | 2021-12-03 | ISSUED FOR DP REVISION        |
| 2   | 2021-08-24 | ISSUED FOR DP SUBMISSION      |
| 1   | 2020-02-08 | ISSUED FOR PRELIMINARY DESIGN |
| REV | 11/11/2020 | REVISION - DRAWING ISSUE      |

CONSULTANT: REVIEW

FORNIT STAMP

SCALE

PROJECT

16620-20AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE

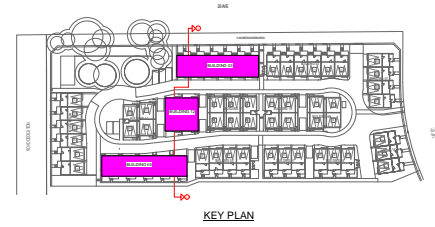
SITE-A-SITE SECTION-1

DRAWING ISSUE

ISSUED FOR DP REVISION

|             |         |          |              |          |    |
|-------------|---------|----------|--------------|----------|----|
| PROJECT NO. | 722009  | SCALE    | As indicated | DRAWN    | VS |
| DRAWING NO. | DP-4.01 | REVIEWED |              | REVISION | CY |

10





| NO. | DATE       | DESCRIPTION                   | BY | CHKD. |
|-----|------------|-------------------------------|----|-------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |    |       |
| 9   | 2023-03-09 | ISSUED FOR DP REVISION        |    |       |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |    |       |
| 7   | 2022-12-09 | ISSUED FOR DP REVISION        |    |       |
| 6   | 2022-11-10 | ISSUED FOR DP REVISION        |    |       |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |    |       |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |    |       |
| 3   | 2021-12-03 | ISSUED FOR DP REVISION        |    |       |
| 2   | 2021-06-04 | ISSUED FOR DP SUBMISSION      |    |       |
| 1   | 2020-02-09 | ISSUED FOR PRELIMINARY DESIGN |    |       |

DATE: 11/11/2023 09:00 AM  
CONTRACT: 16620-20AVE TOWNHOUSES  
REVISION: DRAWING ISSUE  
REVIEWER:

FORMAT STAMP:

SCALE:

PROJECT:

16620-20AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651  
& 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE:

SITE-A-SITE SECTION-2

DRAWING ISSUE:

ISSUED FOR DP REVISION

PROJECT NO:

722009

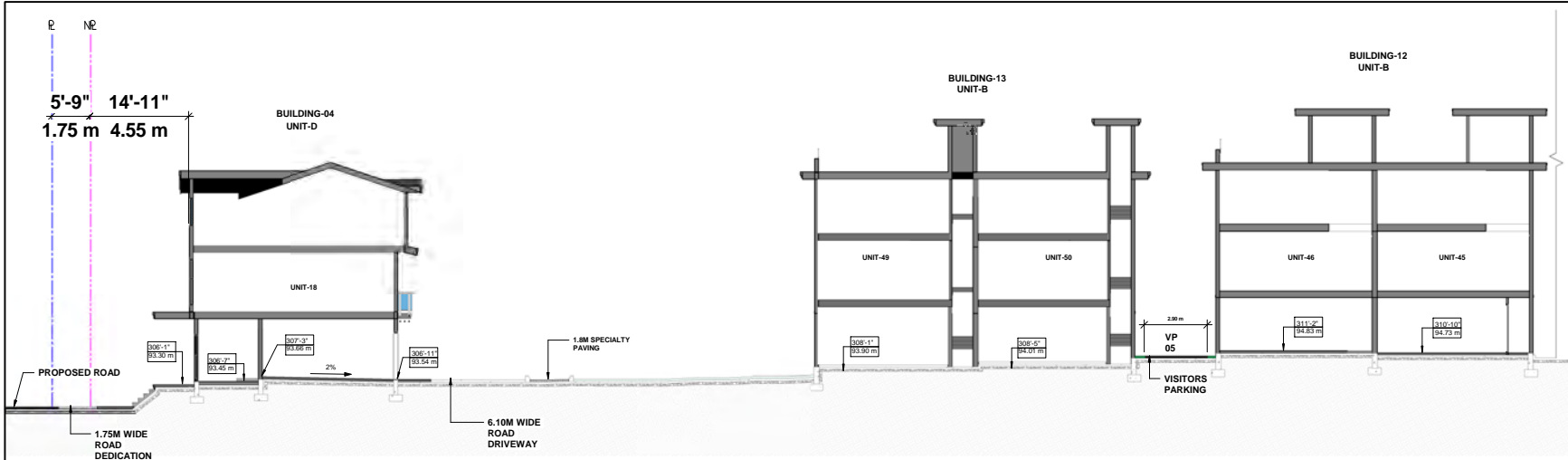
SCALE: As indicated

DATE: 11-04-2023

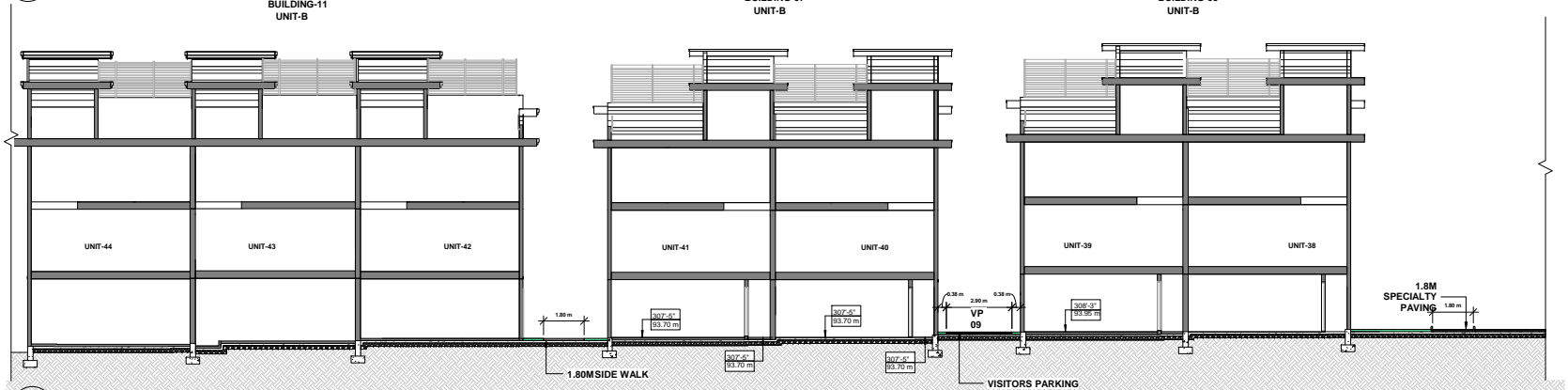
DESIGNER: VS

REVIEWER: CY

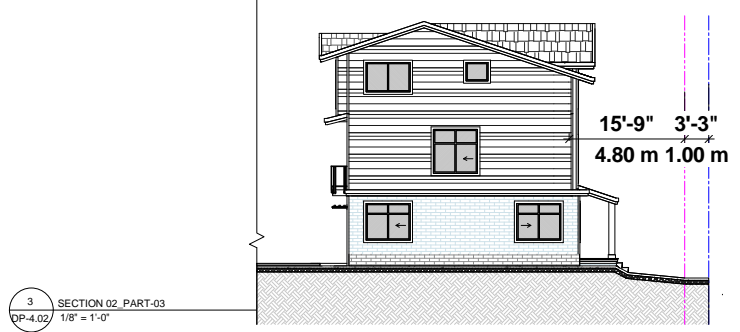
REVISION: 10



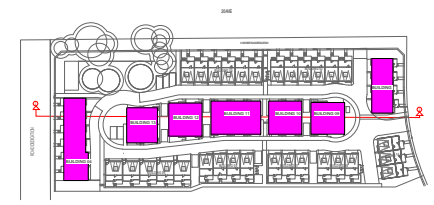
1 SECTION 02\_PART-01  
DP-4.02/ 1/8" = 1'-0"



2 SECTION 02\_PART-01  
DP-4.02/ 1/8" = 1'-0"



3 SECTION 02\_PART-03  
DP-4.02/ 1/8" = 1'-0"



KEY PLAN





# 16651-19 AVE TOWNHOUSES

1949 - 167 ST., 16663, 16651, & 16621 - 19 AVE, 16606 - 20 AVE,  
SURREY, BC. CANADA



### DATA SHEET

|  |  |                  |                   |
|--|--|------------------|-------------------|
| TOWNHOUSES                                 | 11-Apr-23  |                  |                   |
| PROJECT NAME:                              | 16651-19 AVE TOWNHOUSES  |                  |                   |
| ADDRESS:                                   | 1949-167TH STREET, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, BC. CANADA. |                  |                   |
| LEGAL DESCRIPTION                          |  |                  |                   |
| ACTUAL SITE AREA                           | 216479.24  | SFT or(20111.58) | SQM or 4.97 Acres |
| AREA RECEIVED FROM 16620 SITE (NORTH SITE) | 10335.00   | SFT or(960.1529) | SQM or 0.24 Acres |
| GROSS SITE AREA                            | 226814.24  | SFT or(21071.73) | SQM or 5.21 Acres |
| ROAD DEDICATION                            | 42250.27   | SFT or(3925.179) | SQM or 0.97 Acres |
| LANE DEDICATION                            | 3760.19  | SFT or(349.3331) | SQM or 0.08 Acres |
| PEDES TARIAN CORRIDOR DEDICATION           | 7850.00  | SFT or(729.2889) | SQM or 0.18 Acres |
| NET SITE AREA                              | 172953.78  | SFT or(6067.93)  | SQM or 3.97 Acres |

|  |           |           |                 |
|--|-----------|-----------|-----------------|
| FLOOR AREA RATIO:  |           |           |                 |
| F.A.R. = NET AREA (EXCLUDING GARAGE & ROOF GARDEN AREAS) / NET SITE AREA   | 149937.00 | 172953.78 | <b>0.87</b> FSR |
| F.A.R. = NET AREA (EXCLUDING GARAGE & ROOF GARDEN AREAS) / GROSS SITE AREA | 149937.00 | 226814.24 | <b>0.66</b> FSR |
| LOT COVERAGE = LOWER FLOOR AREA / NET SITE AREA                            |           |           |                 |
|  | 63513.00  | 172953.78 | <b>37%</b>      |

| BUILDING          | NO. UNITS  | SFT              | SQM                 |
|-------------------|------------|------------------|---------------------|
| BUILDING 1        | (03 UNITS) | 5488.00          | 509.85 SQM          |
| BUILDING 2        | (04 UNITS) | 7228.00          | 671.50 SQM          |
| BUILDING 3        | (03 UNITS) | 5432.00          | 504.85 SQM          |
| BUILDING 4        | (04 UNITS) | 7228.00          | 671.50 SQM          |
| BUILDING 5        | (05 UNITS) | 10860.00         | 1011.71 SQM         |
| BUILDING 6        | (03 UNITS) | 8165.00          | 757.53 SQM          |
| BUILDING 7        | (04 UNITS) | 8260.00          | 767.38 SQM          |
| BUILDING 8        | (04 UNITS) | 8260.00          | 767.38 SQM          |
| BUILDING 9        | (06 UNITS) | 10936.00         | 1015.99 SQM         |
| BUILDING 10       | (05 UNITS) | 9121.00          | 847.37 SQM          |
| BUILDING 11       | (06 UNITS) | 12582.00         | 1168.91 SQM         |
| BUILDING 12       | (06 UNITS) | 12582.00         | 1168.91 SQM         |
| BUILDING 13       | (04 UNITS) | 8388.00          | 779.27 SQM          |
| BUILDING 14       | (04 UNITS) | 8388.00          | 779.27 SQM          |
| BUILDING 15       | (05 UNITS) | 9116.00          | 846.90 SQM          |
| BUILDING 16       | (03 UNITS) | 5488.00          | 509.85 SQM          |
| BUILDING 17       | (03 UNITS) | 5488.00          | 509.85 SQM          |
| BUILDING 18 TO 23 | (28 UNITS) | 48844.00         | 4351.95 SQM         |
| BUILDING 24       | (04 UNITS) | 5488.00          | 509.85 SQM          |
| <b>TOTAL AREA</b> |            | <b>193402.00</b> | <b>17987.83</b> SQM |

| S.NO               | TYPE                      | NO. UNITS | GARAGE |       | MAIN FLOOR (EXCL. GARAGE) |       | SECOND FLOOR |       | THIRD FLOOR |       | ROOF GARDEN |        | TOTAL UNIT AREA (EXCL. GARAGE / ROOF GRDN.) |               | FAR AREA (EXCL. GARAGE / ROOF GRDN.) |     |
|--------------------|---------------------------|-----------|--------|-------|---------------------------|-------|--------------|-------|-------------|-------|-------------|--------|---|---------------|--------------------------------------|-----|
|                    |                           |           | SFT    | SQM   | SFT                       | SQM   | SFT          | SQM   | SFT         | SQM   | SFT         | SQM    | SFT   | SQM           | SFT                                  | SQM |
| 1                  | UNIT-A                    | 11        | 417.00 | 38.74 | 263                       | 24.43 | 800          | 63.17 | 705.00      | 65.50 | 1848        | 153.16 | 18128.00                                    | 1684.15       |                                      |     |
| 2                  | UNIT-B (ROOF TOP GARDEN)  | 28        | 476.00 | 44.22 | 586                       | 54.58 | 599.00       | 55.65 | 509.60      | 47.34 | 1197.00     | 111.20 | 33516.00                                    | 3113.74       |                                      |     |
| 3                  | UNIT-C (ROOF TOP GARDEN)  | 8         | 406.00 | 37.72 | 201.00                    | 18.67 | 571.00       | 53.05 | 618.00      | 57.41 | 544.00      | 50.54  | 1380.00                                     | 129.14        |                                      |     |
| 4                  | UNIT-C1 (ROOF TOP GARDEN) | 10        | 411.00 | 38.18 | 203.00                    | 18.86 | 578.00       | 53.70 | 626.00      | 58.16 | 544.00      | 50.54  | 1407.00                                     | 130.71        |                                      |     |
| 5                  | UNIT-D                    | 5         | 410.00 | 38.09 | 203.00                    | 18.86 | 577.00       | 53.61 | 624.00      | 57.97 | 1404.00     | 130.44 | 7020.00                                     | 652.18        |                                      |     |
| 6                  | UNIT-D1                   | 6         | 415.00 | 38.55 | 203.00                    | 19.05 | 585.00       | 54.38 | 632.00      | 58.71 | 1422.00     | 132.11 | 8532.00                                     | 792.85        |                                      |     |
| 7                  | UNIT-D2                   | 4         | 416.00 | 38.65 | 205.00                    | 18.70 | 585.00       | 54.35 | 632.00      | 58.71 | 1422.00     | 132.11 | 5688.00                                     | 528.43        |                                      |     |
| 8                  | UNIT-D3                   | 7         | 411.00 | 38.18 | 202.00                    | 18.77 | 577.00       | 53.61 | 625.00      | 58.06 | 1404.00     | 130.44 | 9828.00                                     | 913.05        |                                      |     |
| 9                  | UNIT-E (ROOF TOP GARDEN)  | 5         | 463.00 | 43.01 | 254.00                    | 23.60 | 727.00       | 67.54 | 734.00      | 68.19 | 649.00      | 60.29  | 1715.00                                     | 159.33        |                                      |     |
| 10                 | UNIT-F                    | 8         | 424.00 | 39.39 | 278.00                    | 25.83 | 675.00       | 62.71 | 720.00      | 66.89 | 1673.00     | 155.43 | 13394.00                                    | 1243.41       |                                      |     |
| 11                 | UNIT-F1                   | 12        | 424.00 | 39.39 | 278.00                    | 25.83 | 675.00       | 62.71 | 720.00      | 66.89 | 1673.00     | 155.43 | 20076.00                                    | 1865.12       |                                      |     |
| <b>TOTAL UNITS</b> | <b>104</b>                |           |        |       |                           |       |              |       |             |       |             |        |   |               |                                      |     |
|                    |                           |           |        |       |                           |       |              |       |             |       |             |        | <b>TOTAL TOWNHOUSES FAR AREA</b>            | <b>149937</b> | <b>10821.07</b>                      |     |

| TOWNHOUSES AREAS                              | AREAS |     |
|---|-------|-----|
| TOTAL NUMBER OF UNITS PROPOSED                | 104   | Nos |
| NUMBER OF UNITS PER ACRE (NET SITE AREA)      | 26    | Nos |
| NUMBER OF UNITS PER ACRE (GROSS SITE AREA)    | 20    | Nos |
| NUMBER OF UNITS PER HECTARE (NET SITE AREA)   | 65    | Nos |
| NUMBER OF UNITS PER HECTARE (GROSS SITE AREA) | 49    | Nos |

| AMENITY AREA REQUIRED       | SQM                           | SFT    |         |
|-----------------------------|-------------------------------|--------|---------|
| AMENITY AREA (OUTDOOR AREA) | NO OF UNITS * 3 SQ M PER UNIT | 312.00 | 3358.34 |
| AMENITY AREA (INDOOR AREA)  | NO OF UNITS * 3 SQ M PER UNIT | 312.00 | 3358.34 |

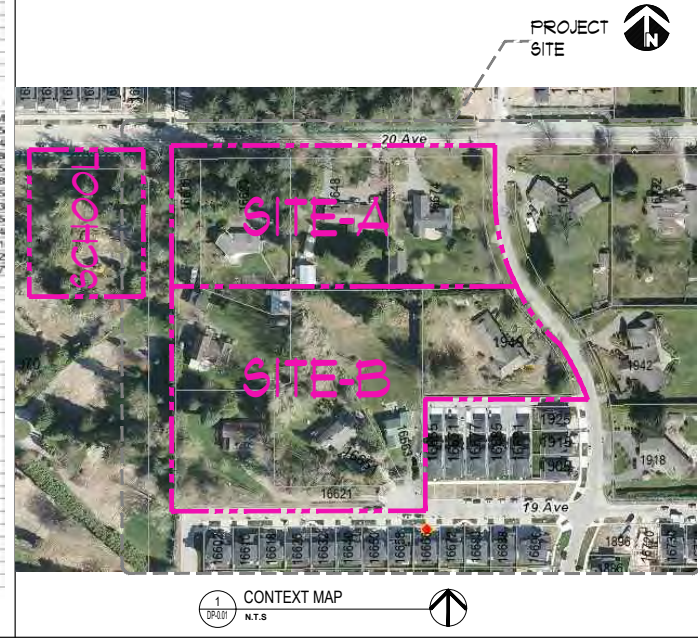
| AMENITY AREA PROVIDED                | SQM    | SFT     |
|--------------------------------------|--------|---------|
| AMENITY AREA (OUTDOOR AREA)          | 272.10 | 2928.80 |
| AMENITY AREA (INDOOR AREA, 2 STOREY) | 191.46 | 2060.86 |

| TOWNHOUSES PARKING                  |     |                |
|-------------------------------------|-----|----------------|
| UNITS PARKING REQUIRED (2 PER UNIT) | 104 | *2 208 STALLS  |
| UNITS PARKING PROVIDED              |     | 208 STALLS     |
| VISITOR PARKING REQUIRED            | 104 | *0.2 21 STALLS |
| VISITOR PARKING PROVIDED            |     | 23 STALLS      |
| <b>TOTAL STALLS</b>                 |     | <b>231</b>     |

### SHEET INDEX

| SHEET NO.   | ARCHITECTURAL               |
|-------------|-----------------------------|
| DP-0 SERIES | DATA SHEET                  |
| DP-2 SERIES | SITE PLANS                  |
| DP-3 SERIES | FLOOR PLANS                 |
| DP-4 SERIES | SITE SECTIONS               |
| DP-5 SERIES | BUILDING ELEVATIONS         |
| DP-6 SERIES | BUILDING COLORED ELEVATIONS |
| DP-7 SERIES | SIGNAGE DETAILS             |

### CONTEXT MAP N.T.S



PROJECT STAMP

SCALE

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**16651- 20 AVE TOWNHOUSES**  
16620, 16648 & 16674, 20 AVE, 1949-167TH ST,  
16663, 16651 & 16621-19 AVE,  
16606-20AVE, SURREY, B.C

**DATA SHEET**  
**SITE - B (SOUTH)**

ISSUED FOR DP REVISION

|             |              |          |            |       |           |
|-------------|--------------|----------|------------|-------|-----------|
| PROJECT NO. | 722009       | DATE     | 2023-04-11 | DRAWN | AD        |
| SCALE       | AS INDICATED | REVISION |            | CY    |           |
| DRAWING NO. |              | REVISION |            | BY    |           |
|             |              |          |            |       | <b>09</b> |

DP-0.01



APR 11 2023

| NO.  | DATE       | DESCRIPTION                   |
|------|------------|-------------------------------|
| 10   | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9    | 2023-01-30 | ISSUED FOR DP REVISION        |
| 8    | 2023-01-11 | ISSUED FOR DP REVISION        |
| 7    | 2022-12-09 | ISSUED FOR DP REVISION        |
| 6    | 2022-11-19 | ISSUED FOR DP REVISION        |
| 5    | 2022-08-24 | ISSUED FOR DP REVISION        |
| 4    | 2022-08-04 | ISSUED FOR DP REVISION        |
| 3    | 2021-12-03 | ISSUED FOR DP REVISION        |
| 2    | 2021-08-24 | ISSUED FOR SUBMISSION         |
| 1    | 2020-02-08 | ISSUED FOR PRELIMINARY DESIGN |
| REV. | 1777777777 | REVISION / DRAWING ISSUE      |

CONTRACT NO. \_\_\_\_\_  
PROJECT NAME \_\_\_\_\_

PROJECT STAMP \_\_\_\_\_  
SCALE \_\_\_\_\_

DATE \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
PROJECT NO. \_\_\_\_\_

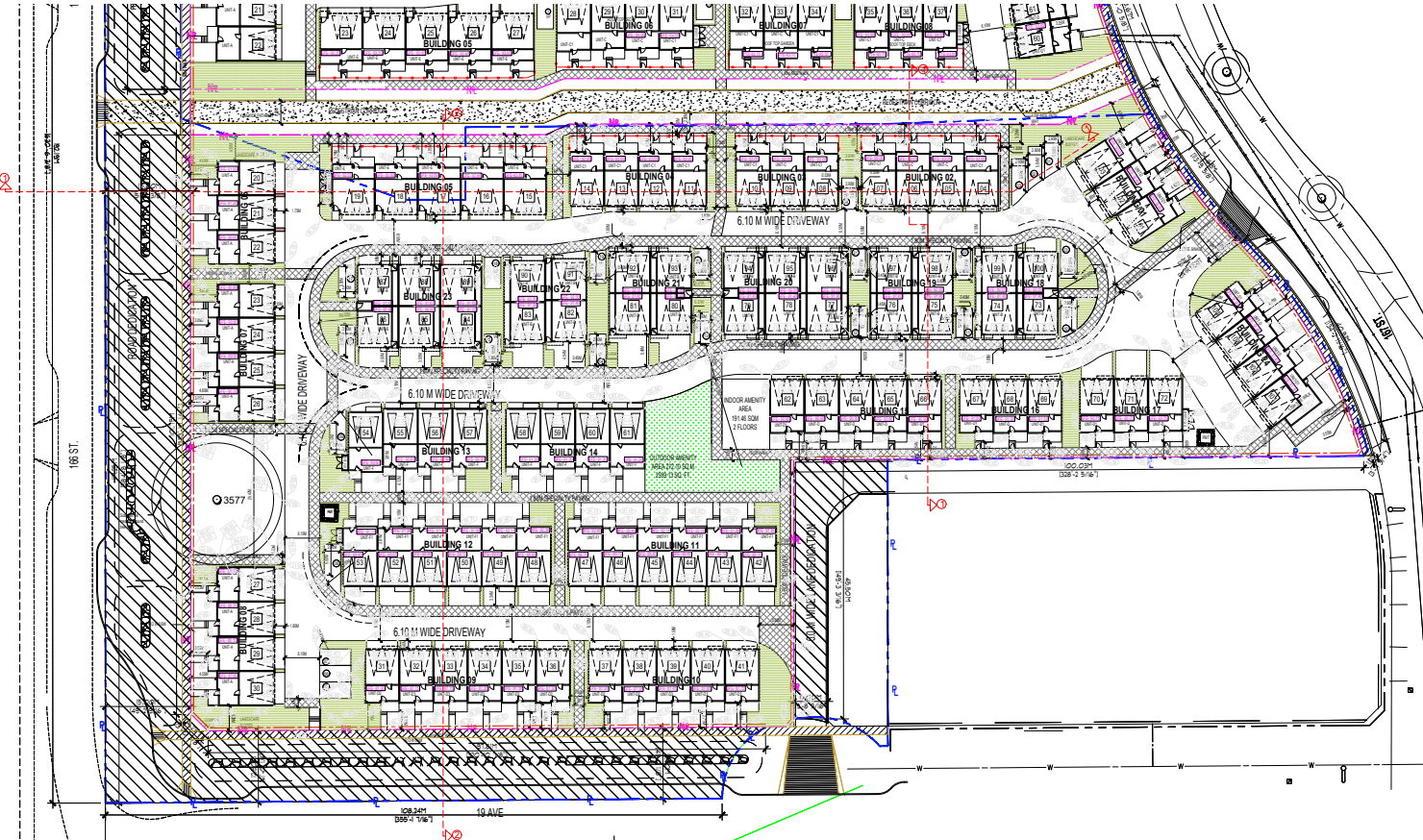
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PROJECT  
**16651- 20 AVE TOWNHOUSES**  
16620, 16648 & 16674, 20 AVE, 1949-167TH ST,  
16663, 16651 & 16621-19 AVE,  
16606-20 AVE, SURREY, B.C.

DRAWING TITLE  
**SITE PLAN  
SITE - B (SOUTH)**

DRAWING ISSUE  
**ISSUED FOR DP REVISION**

| PROJECT NO. | PLAT DATE    | DRAWN     |
|-------------|--------------|-----------|
| 722009      | 2023-04-11   | AD        |
| DRAWING NO. | SCALE        | REVISION  |
| DP-211      | AS INDICATED | CY        |
|             |              | REVISION  |
|             |              | <b>09</b> |



**1 SITE PLAN**  
1/32" = 1'-0"



APR 11 2023

| NO. | DATE       | DESCRIPTION                   | BY | CHKD |
|-----|------------|-------------------------------|----|------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |    |      |
| 9   | 2023-03-30 | ISSUED FOR DP REVISION        |    |      |
| 8   | 2023-03-27 | ISSUED FOR DP REVISION        |    |      |
| 7   | 2023-03-09 | ISSUED FOR DP REVISION        |    |      |
| 6   | 2023-11-30 | ISSUED FOR DP REVISION        |    |      |
| 5   | 2023-08-24 | ISSUED FOR DP REVISION        |    |      |
| 4   | 2023-08-24 | ISSUED FOR DP REVISION        |    |      |
| 3   | 2023-12-03 | ISSUED FOR DP REVISION        |    |      |
| 2   | 2023-08-24 | ISSUED FOR DP SUBMISSION      |    |      |
| 1   | 2023-02-08 | ISSUED FOR PRELIMINARY DESIGN |    |      |
| REV | 17/07/2020 | REVISION - DRAWING ISSUE      |    |      |

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PROJECT

**16651- 20 AVE TOWNHOUSES**  
16620, 16648 & 16674, 20 AVE, 1949-167TH ST,  
16663, 16651 & 16621-19 AVE,  
16606-20AVE, SURREY, B.C

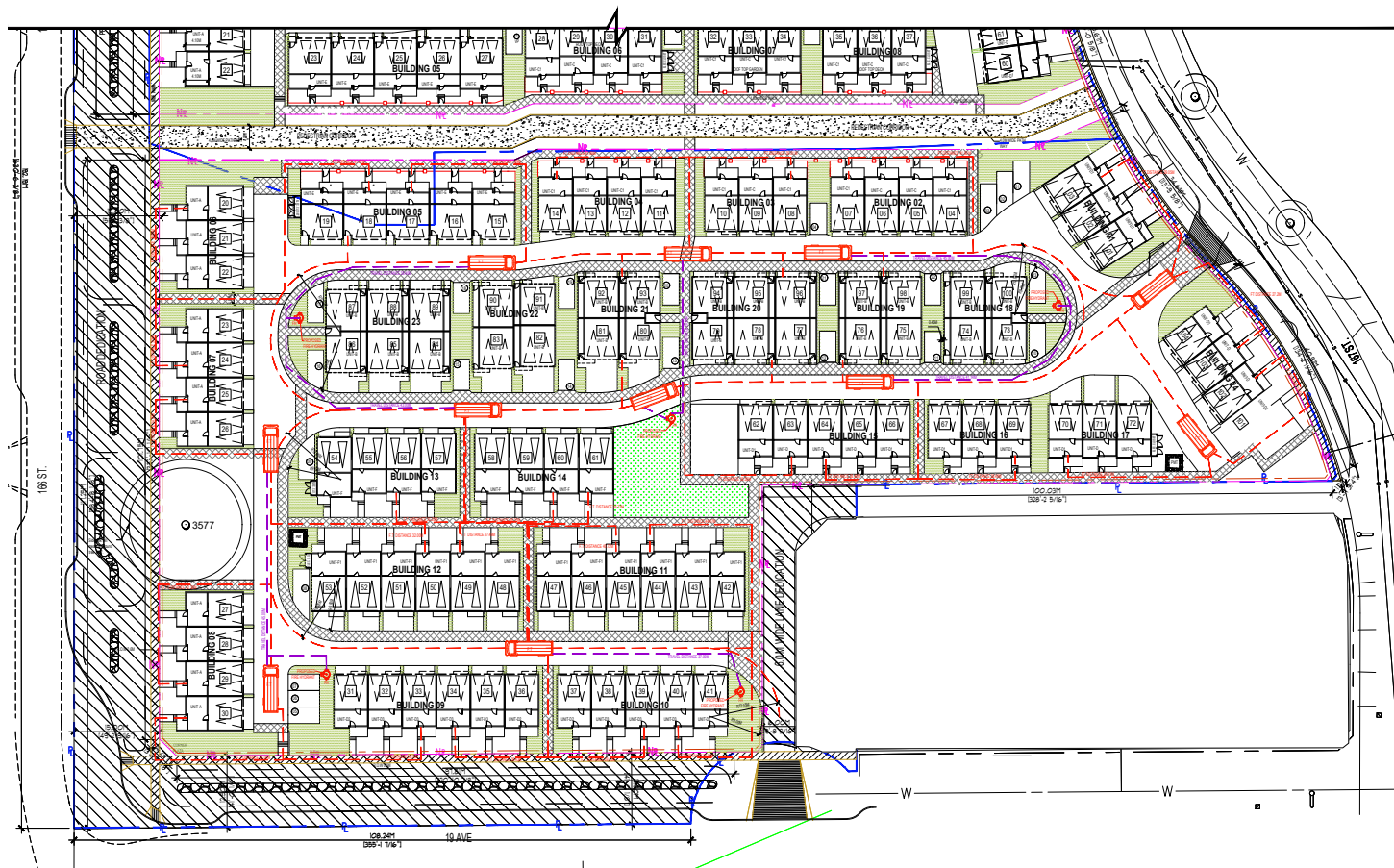
DRAWING TITLE

**FIRE TRUCK ACCESS ROUTE  
SITE - B (SOUTH)**

DRAWING ISSUE

**ISSUED FOR DP REVISION**

| PROJECT NO. | DATE         | BY       | CHKD |
|-------------|--------------|----------|------|
| 722009      | 2023-04-11   | AD       |      |
| DRAWING NO. | SCALE        | REVISION | CY   |
| DP-2.14B    | AS INDICATED |          | 09   |



**1 FIRE TRUCK ACCESS ROUTE**  
1/32" = 1'-0"





APR 11 2023

|    |            |                               |  |
|----|------------|-------------------------------|--|
| 10 | 2023-04-11 | ISSUED FOR DP REVISION        |  |
| 9  | 2023-03-09 | ISSUED FOR DP REVISION        |  |
| 8  | 2023-01-11 | ISSUED FOR DP REVISION        |  |
| 7  | 2022-12-09 | ISSUED FOR DP REVISION        |  |
| 6  | 2022-11-10 | ISSUED FOR DP REVISION        |  |
| 5  | 2022-09-24 | ISSUED FOR DP REVISION        |  |
| 4  | 2022-09-24 | ISSUED FOR DP REVISION        |  |
| 3  | 2021-12-03 | ISSUED FOR DP REVISION        |  |
| 2  | 2021-06-04 | ISSUED FOR DP REVISION        |  |
| 1  | 2020-02-09 | ISSUED FOR PRELIMINARY DESIGN |  |

REV: 11/17/2020 REVISION: DRAWING ISSUE REVIEW

CONSULTANT

FORNIT STAMP

SCALE

PROJECT

16620 & 16651 - 20 AVE  
TOWNHOUSES

SURREY, B.C

DRAWING TITLE

STREET SCAPE VIEW - 20 AVE

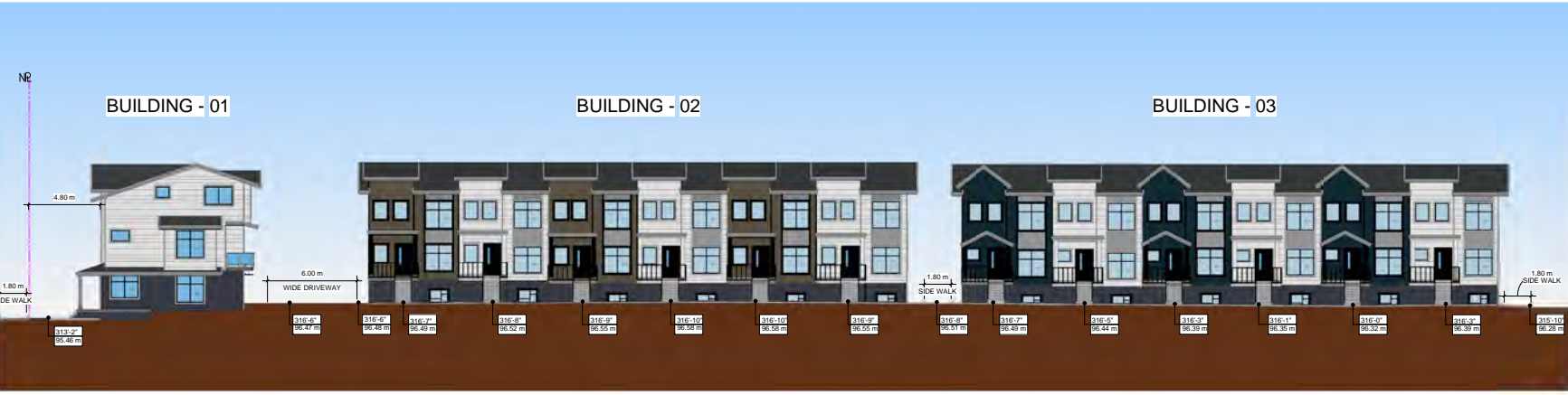
DRAWING ISSUE

ISSUED FOR DP REVISION

PROJECT NO: 722009 PLOT DATE: 11-04-2023 DRAWN: SS

SCALE: 1" = 1'-20" REVIEWED: CY

DRAWING NO: DP 2.15A REVISION: 10



1 STREET SCAPE VIEW - 20 AVE  
1" = 1'-20"



20 AVE

20 AVE

20 AVE

20 AVE



|    |            |                               |
|----|------------|-------------------------------|
| 10 | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9  | 2023-03-09 | ISSUED FOR DP REVISION        |
| 8  | 2023-01-11 | ISSUED FOR DP REVISION        |
| 7  | 2023-12-09 | ISSUED FOR DP REVISION        |
| 6  | 2023-11-03 | ISSUED FOR DP REVISION        |
| 5  | 2022-09-24 | ISSUED FOR DP REVISION        |
| 4  | 2022-09-24 | ISSUED FOR DP REVISION        |
| 3  | 2021-12-03 | ISSUED FOR DP REVISION        |
| 2  | 2021-06-04 | ISSUED FOR DP REVISION        |
| 1  | 2020-02-09 | ISSUED FOR PRELIMINARY DESIGN |

DATE: 11/17/2023 REVISION: DRAWING ISSUE REVIEW

CONSULTANT: REVIEW

FORMAT STAMP

SCALE

PROJECT

16620 & 16651 - 20 AVE  
TOWNHOUSES

SURREY, B.C

DRAWING TITLE

STREET SCAPE VIEW - 166 ST.

DRAWING ISSUE

ISSUED FOR DP REVISION

PROJECT NO: 722009 PLOT DATE: 11-04-2023 DRAWN: SS

SCALE: 1" = 1'-20" REVIEWED: CY

DRAWING NO: DP 2.15B REVISION: 10



① STREET SCAPE VIEW - 166 ST.  
1" = 1'-20"













APR 11 2023

|    |            |                               |
|----|------------|-------------------------------|
| 10 | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9  | 2023-03-08 | ISSUED FOR DP REVISION        |
| 8  | 2023-01-11 | ISSUED FOR DP REVISION        |
| 7  | 2023-12-09 | ISSUED FOR DP REVISION        |
| 6  | 2023-11-03 | ISSUED FOR DP REVISION        |
| 5  | 2022-09-24 | ISSUED FOR DP REVISION        |
| 4  | 2022-09-24 | ISSUED FOR DP REVISION        |
| 3  | 2021-12-03 | ISSUED FOR DP REVISION        |
| 2  | 2021-06-04 | ISSUED FOR DP REVISION        |
| 1  | 2020-02-09 | ISSUED FOR PRELIMINARY DESIGN |

REV: 11/17/2020 (0) REVISION / DRAWING ISSUE REVIEW

CONSULTANT

FORMAT STAMP

SCALE

PROJECT

16620 - 20 AVE TOWNHOUSES

SURREY, B.C

DRAWING TITLE

STREET SCAPE VIEW - 19 AVE SITE B

DRAWING ISSUE

ISSUED FOR DP REVISION

PROJECT NO: 722009 PLOT DATE: 11-04-2023 DRAWN: SS

SCALE: 1" = 1'-20" REVIEWED: CY

DRAWING NO: DP-2.15E 10



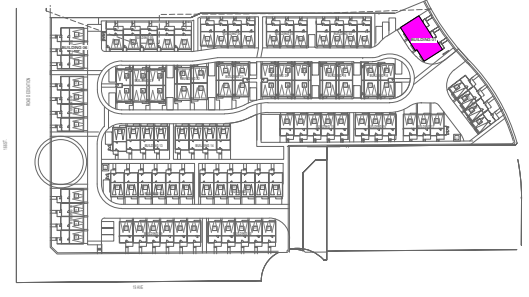
① STREET SCAPE VIEW - 19 AVE  
1" = 1'-20"



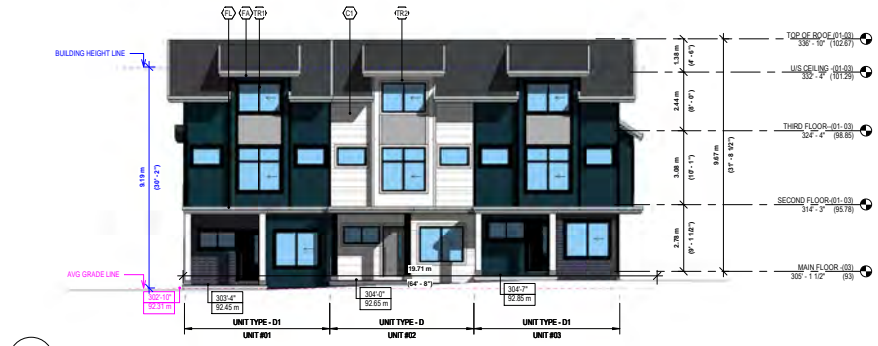




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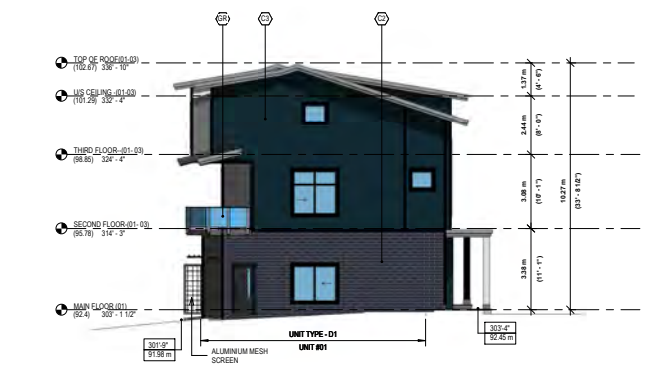
KEY PLAN



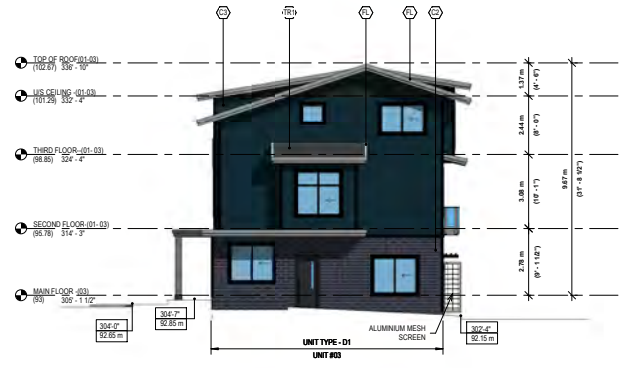
1 EAST ELEVATION (167 ST)  
DP-6.11 1/8" = 1'-0"



2 WEST ELEVATION  
DP-6.11 1/8" = 1'-0"



3 SOUTH ELEVATION (PEDESTRIAN CORRIDOR)  
DP-6.11 1/8" = 1'-0"



4 NORTH ELEVATION  
DP-6.11 1/8" = 1'-0"

**MATERIAL LEGEND:**

| MATERIAL         | COLOR        |  |
|------------------|--------------|--|
| FL FLASHING      | LIGHT GREY   |  |
| GR RAILING       | RAILING      |  |
| TR-1 TRIM        | BLACK        |  |
| TR-2 TRIM        | LIGHT GREY   |  |
| FA FASCIA        | LIGHT GREY   |  |
| C1 HARD SIDING   | WHITE        |  |
| C2 HARD BRICKS   | DARK GREY    |  |
| C3 HARD SIDING   | EVENING BLUE |  |
| C4 HARD SIDING   | DARK GREY    |  |
| C5 HARD PANEL    | DARK GREY    |  |
| F WINDOWS        | BLACK        |  |
| D DOORS          | BLACK        |  |
| RD1 ROLL-UP DOOR | DARK GREY    |  |
| RD2 ROLL-UP DOOR | WHITE        |  |
| RS ROOF SHINGLE  | DARK GREY    |  |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

|                                   |           |
|-----------------------------------|-----------|
| AVERAGE EXISTING GRADE            |           |
| 92.81M + 92.28M + 92.07M + 92.12M | = 92.31M  |
| 4                                 |           |
| MAXIMUM BUILDING HEIGHT           |           |
| 92.31M + 13M                      | = 105.31M |

| NO. | DATE       | DESCRIPTION                   | BY | CHKD |
|-----|------------|-------------------------------|----|------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |    |      |
| 9   | 2023-03-20 | ISSUED FOR DP REVISION        |    |      |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |    |      |
| 7   | 2022-12-09 | ISSUED FOR DP REVISION        |    |      |
| 6   | 2022-11-03 | ISSUED FOR DP REVISION        |    |      |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |    |      |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |    |      |
| 3   | 2021-12-03 | ISSUED FOR DP REVISION        |    |      |
| 2   | 2021-06-04 | ISSUED FOR DP SUBMISSION      |    |      |
| 1   | 2020-02-09 | ISSUED FOR PRELIMINARY DESIGN |    |      |

SCALE: 1/8" = 1'-0" REVISION: DRAWING ISSUE REVIEW

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PROJECT

**16651-19 AVE TOWNHOUSES**

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

DRAWING TITLE

**BUILDING-01 (SITE-B) ELEVATIONS (UNIT-C & C1)**

DRAWING ISSUE

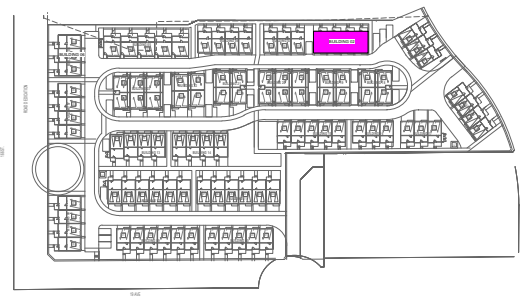
**ISSUED FOR DP REVISION**

PROJECT NO. 11-04-2023 DRAWN SS

Project Number SCALE 1/8" = 1'-0" REVIEWED CY

DRAWING NO. DP-6.11 REVISION

10



**MATERIAL LEGEND**

| MATERIAL           | COLOR           |
|--------------------|-----------------|
| (FL) FLASHING      | LIGHT GREY      |
| (GR) RAILING       | RAILING         |
| (TR1) TRIM         | BLACK           |
| (TR2) TRIM         | LIGHT GREY      |
| (FA) FASCIA        | LIGHT GREY      |
| (C1) HARD SIDING   | WHITE           |
| (C2) HARD BRICKS   | DARK GREY       |
| (C3) HARD SIDING   | COUNTRYLANE RED |
| (F) WINDOWS        | BLACK           |
| (P) DOORS          | BLACK           |
| (RD1) ROLL-UP DOOR | DARK GREY       |
| (RD2) ROLL-UP DOOR | WHITE           |

**AVERAGE EXISTING GRADE**  
 $\frac{92.90M + 92.30M + 91.87M + 91.87M}{4} = 92.24M$

**MAXIMUM BUILDING HEIGHT**  
 $92.24M + 13M = 105.24M$

**NOTE:** COLUSTRS FROM SHERWIN WILLIAMS UNLESS NOTED



| NO | DATE       | ISSUED FOR                    | REVISION |
|----|------------|-------------------------------|----------|
| 1  | 2023-01-08 | ISSUED FOR DP REVISION        |          |
| 2  | 2023-01-11 | ISSUED FOR DP REVISION        |          |
| 3  | 2023-12-08 | ISSUED FOR DP REVISION        |          |
| 4  | 2023-11-10 | ISSUED FOR DP REVISION        |          |
| 5  | 2022-09-24 | ISSUED FOR DP REVISION        |          |
| 6  | 2022-09-24 | ISSUED FOR DP REVISION        |          |
| 7  | 2021-12-03 | ISSUED FOR DP REVISION        |          |
| 8  | 2021-06-04 | ISSUED FOR DP SUBMISSION      |          |
| 9  | 2021-05-08 | ISSUED FOR PRELIMINARY DESIGN |          |
| 10 | 2020-07-08 | REVISION/ORDINANCE ISSUE      | REVIEW   |

CONSULTANT

FORMAT STAMP

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**PROJECT**

**16651-19AVE TOWNHOUSES**

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

**DRAWING TITLE**

**BUILDING-02 (SITE-B) ELEVATIONS (UNIT-C & C1)**

**DRAWING SCALE**

**ISSUED FOR DP REVISION**

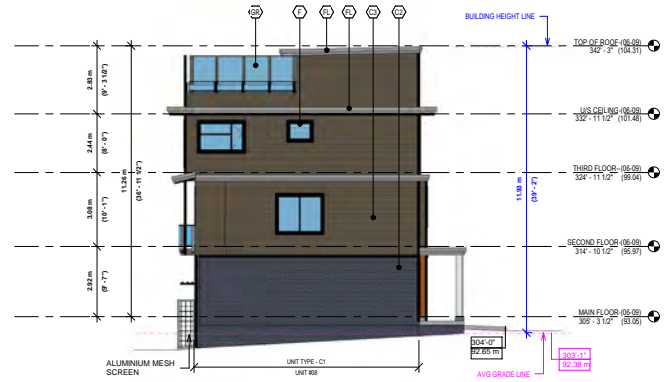
| PROJECT NO. | PLAT DATE    | DRAWN    | SS |
|-------------|--------------|----------|----|
| 722009      | 11-04-2023   |          |    |
| SCALE       | 1/8" = 1'-0" | REVIEWED | CY |
|             |              |          |    |
| DRAWING NO. | DP-6.21      | REVISION | 10 |



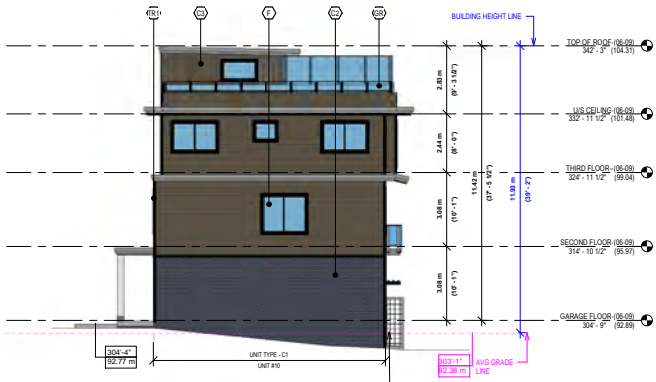
1 NORTH ELEVATION (PEDESTRIAN CORRIDOR)  
DP-6.31 1/8" = 1'-0"



2 SOUTH ELEVATION  
DP-6.31 1/8" = 1'-0"

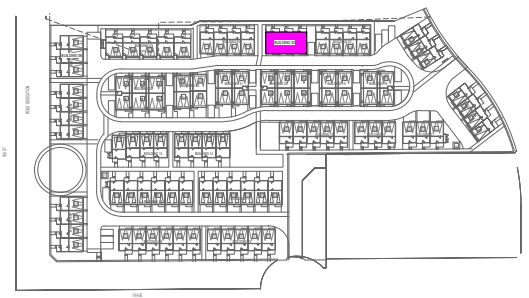


3 EAST ELEVATION  
DP-6.31 1/8" = 1'-0"



4 WEST ELEVATION  
DP-6.31 1/8" = 1'-0"

AVERAGE EXISTING GRADE  
92.90M + 92.90M + 91.89M + 91.86M = 92.38M  
MAXIMUM BUILDING HEIGHT  
92.38M + 1.3M = 105.38M



KEY PLAN

MATERIAL LEGEND:

| MATERIAL           | COLOR           |          |
|--------------------|-----------------|----------|
| (FL) FLASHING      | LIGHT GREY      | [Symbol] |
| (GR) RAILING       | RAILING         | [Symbol] |
| (TR) TRIM          | BLACK           | [Symbol] |
| (TR) TRIM          | LIGHT GREY      | [Symbol] |
| (FA) FASCIA        | LIGHT GREY      | [Symbol] |
| (C1) HARDI SIDING  | WHITE           | [Symbol] |
| (C2) HARDI BRICKS  | DARK GREY       | [Symbol] |
| (C3) HARDI SIDING  | WOODSTOCK BROWN | [Symbol] |
| (F) WINDOWS        | BLACK           | [Symbol] |
| (P) DOORS          | BLACK           | [Symbol] |
| (RD1) ROLL-UP DOOR | DARK GREY       | [Symbol] |
| (RD2) ROLL-UP DOOR | WHITE           | [Symbol] |
| (RS) ROOF SHINGLE  | DARK GREY       | [Symbol] |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



| NO. | DATE       | REVISION                      |
|-----|------------|-------------------------------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9   | 2023-03-07 | ISSUED FOR DP REVISION        |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |
| 7   | 2022-12-09 | ISSUED FOR DP REVISION        |
| 6   | 2022-11-10 | ISSUED FOR DP REVISION        |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |
| 3   | 2021-12-03 | ISSUED FOR DP REVISION        |
| 2   | 2021-08-04 | ISSUED FOR DP REVISION        |
| 1   | 2020-02-09 | ISSUED FOR PRELIMINARY DESIGN |

CONSULTANT: 11111 1586 000 REVISION: DRAWING ISSUE REVIEW

FORMAT STAMP

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PROJECT  
**16651-19 AVE TOWNHOUSES**  
16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

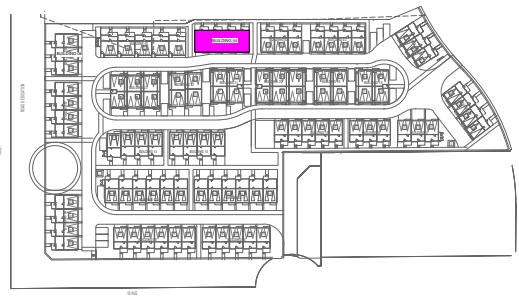
DRAWING TITLE  
**BUILDING-3 (SITE-B)  
ELEVATIONS (UNIT-C & C1)**

DRAWING ISSUE  
**ISSUED FOR DP REVISION**

| PROJECT NO.    | PLLOT DATE     | DRAWN        | SS        |
|----------------|----------------|--------------|-----------|
| Project Number | SCALE          | As indicated | REVIEWED  |
| DRAWING NO.    | <b>DP-6.31</b> |              | REVISION  |
|                |                |              | <b>10</b> |



MAY 24, 2022



KEY PLAN



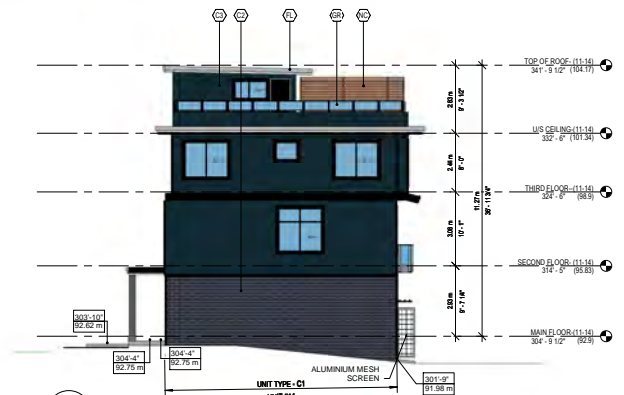
1 NORTH ELEVATION/PEDESTRIAN CORRIDOR  
DP-6.41 1/8" = 1'-0"



2 SOUTH ELEVATION  
DP-6.41 1/8" = 1'-0"



3 EAST ELEVATION  
DP-6.41 1/8" = 1'-0"



4 WEST ELEVATION  
DP-6.41 1/8" = 1'-0"

| AVERAGE EXISTING GRADE            |           |
|-----------------------------------|-----------|
| 92.75M + 92.50M + 91.86M + 92.90M | = 92.35M  |
| MAXIMUM BUILDING HEIGHT           |           |
| 92.35M + 13M                      | = 105.35M |

| MATERIAL | COLOR          |               |
|----------|----------------|---------------|
| FL       | FLASHING       | LIGHT GREY    |
| CR       | RAILING        | RAILING       |
| TR1      | TRIM           | BLACK         |
| TR2      | TRIM           | LIGHT GREY    |
| FA       | FASCIA         | LIGHT GREY    |
| C1       | HARD SIDING    | WHITE         |
| C2       | HARD BRICKS    | DARK GREY     |
| C3       | HARD SIDING    | EVENING BLUE  |
| F        | WINDOWS        | BLACK         |
| D        | DOORS          | BLACK         |
| RD1      | ROLL-UP DOOR   | DARK GREY     |
| RD2      | ROLL-UP DOOR   | WHITE         |
| NS       | PRIVACY SCREEN | NATURAL CEDER |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

| NO. | DATE       | DESCRIPTION                   | BY | CHKD. |
|-----|------------|-------------------------------|----|-------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |    |       |
| 9   | 2023-03-07 | ISSUED FOR DP REVISION        |    |       |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |    |       |
| 7   | 2022-12-09 | ISSUED FOR DP REVISION        |    |       |
| 6   | 2022-11-10 | ISSUED FOR DP REVISION        |    |       |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |    |       |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |    |       |
| 3   | 2022-12-03 | ISSUED FOR DP REVISION        |    |       |
| 2   | 2022-06-04 | ISSUED FOR DP REVISION        |    |       |
| 1   | 2022-02-04 | ISSUED FOR PRELIMINARY DESIGN |    |       |

REVISION: 11/27/2022

CONSULTANT: REVIEW: DRAWING ISSUE: REVIEW:

FORMIT STAMP

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PROJECT  
**16651-19AVE TOWNHOUSES**  
16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE  
**BUILDING-04 (SITE-B)  
ELEVATIONS (UNIT-C & C1)**

DRAWING ISSUE

ISSUED FOR DP REVISION

| PROJECT NO. | PLLOT DATE | DRAWN        | VS       |
|-------------|------------|--------------|----------|
| 722009      | 11-04-2023 |              |          |
| DRAWING NO. | SCALE      | 1/8" = 1'-0" | REVIEWED |
|             |            |              | CY       |

DP-6.41 10



APR 11 2023

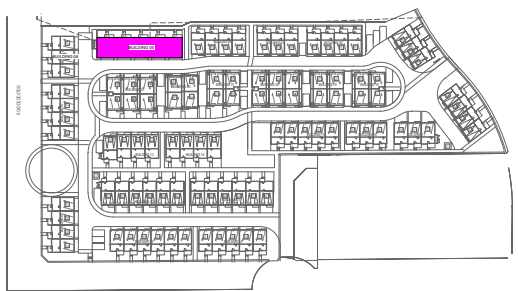
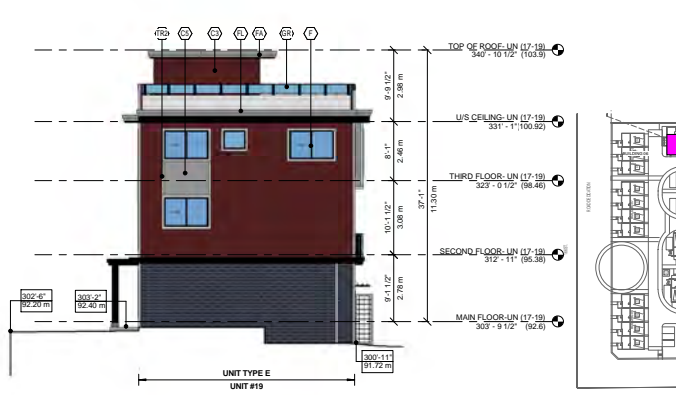
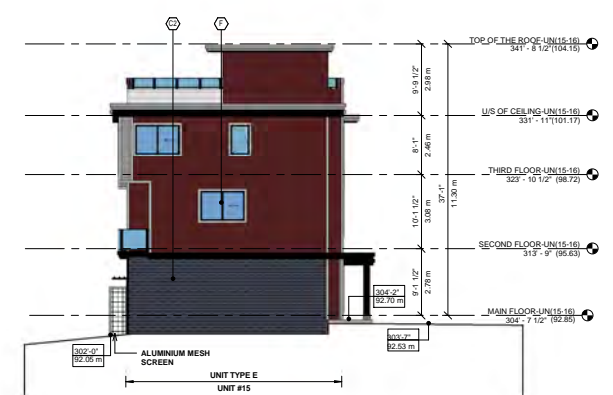
| NO. | DATE       | DESCRIPTION                   | BY | CHKD. |
|-----|------------|-------------------------------|----|-------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |    |       |
| 9   | 2023-03-04 | ISSUED FOR DP REVISION        |    |       |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |    |       |
| 7   | 2022-11-20 | ISSUED FOR DP REVISION        |    |       |
| 6   | 2022-11-10 | ISSUED FOR DP REVISION        |    |       |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |    |       |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |    |       |
| 3   | 2021-12-03 | ISSUED FOR DP REVISION        |    |       |
| 2   | 2021-08-04 | ISSUED FOR DP REVISION        |    |       |
| 1   | 2020-02-09 | ISSUED FOR PRELIMINARY DESIGN |    |       |

MATERIAL LEGEND :

| MATERIAL         | COLOR           |
|------------------|-----------------|
| FL FLASHING      | LIGHT GREY      |
| GR RAILING       | RAILING         |
| TR1 TRIM         | BLACK           |
| TR2 TRIM         | LIGHT GREY      |
| FA FASCIA        | LIGHT GREY      |
| C1 HARDI SIDING  | WHITE           |
| C2 HARDI BRICKS  | DARK GREY       |
| C3 HARDI SIDING  | COUNTRYLANE RED |
| C4 HARDI PANEL   | DARK GREY       |
| C5 HARDI SIDING  | GREY            |
| C7 HARDI SIDING  | GREY            |
| F WINDOWS        | BLACK           |
| P DOORS          | BLACK           |
| RD1 ROLL-UP DOOR | DARK GREY       |
| RD2 ROLL-UP DOOR | WHITE           |

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

AVERAGE EXISTING GARDE  
 $92.10 + 92.70 + 92.10 + 91.70$   
 $\div 4$   
 $= 92.15M$   
**MAX BUILDING HEIGHT**  
 $92.15 + 13 = 105.15M$



PROJECT

**16651-19 AVE TOWNHOUSES**

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

DRAWING TITLE

**BUILDING- 05 (SITE-B)  
ELEVATIONS (UNIT - E)**

DRAWING ISSUE

**ISSUED FOR DP REVISION**

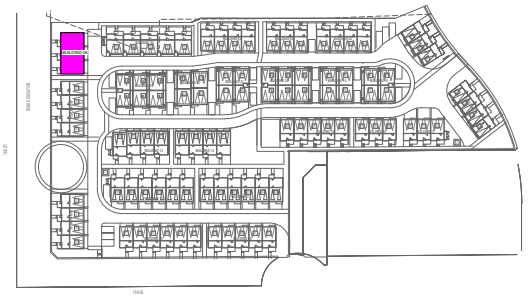
| PROJECT NO. | PLT DATE   | DRAWN | VS |
|-------------|------------|-------|----|
| 722009      | 11-04-2023 |       |    |

| DRAWING NO. | SCALE        | REVIEWED | CY |
|-------------|--------------|----------|----|
| DP-6.51     | 1/8" = 1'-0" |          |    |

REVISION

**10**





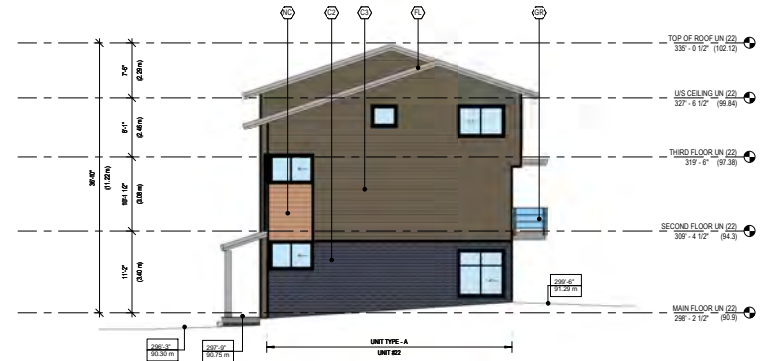
1 EAST ELEVATION  
DP-6.61 1/8" = 1'-0"



2 WEST ELEVATION(166 ST)  
DP-6.61 1/8" = 1'-0"



3 NORTH ELEVATION PEDESTRIAN (CORRIDOR)  
DP-6.61 1/8" = 1'-0"



4 SOUTH ELEVATION  
DP-6.61 1/8" = 1'-0"

AVERAGE EXISTING GRADE  
91.10M + 91.91M + 91.93M + 90.41M = 91.19M  
MAXIMUM BUILDING HEIGHT  
91.19M + 13M = 104.19M

| MATERIAL         | COLOR           |  |
|------------------|-----------------|--|
| FL FLASHING      | LIGHT GREY      |  |
| GR RAILING       | RAILING         |  |
| TR1 TRIM         | BLACK           |  |
| FA FASCIA        | LIGHT GREY      |  |
| C1 HARD SIDING   | WHITE           |  |
| C2 HARD BRICKS   | DARK GREY       |  |
| C3 HARD SIDING   | WOODSTOCK BROWN |  |
| C4 HARD PANEL    | DARK GREY       |  |
| NC NATURAL CEDAR | CEDAR           |  |
| F WINDOWS        | BLACK           |  |
| D DOORS          | BLACK           |  |
| RD1 ROLL-UP DOOR | DARK GREY       |  |
| RD2 ROLL-UP DOOR | WHITE           |  |
| RS ROOF SHINGLE  | DARK GREY       |  |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

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16651-19 AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

BUILDING- 6 (SITE-B)  
ELEVATIONS (UNIT-A)

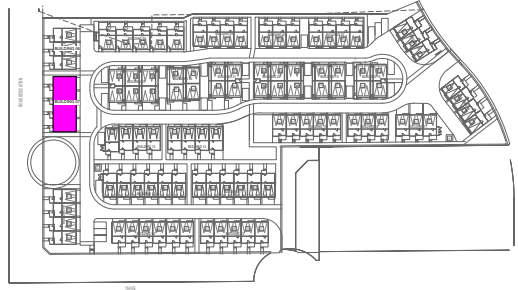
ISSUED FOR DP REVISION

|                       |                         |                |
|-----------------------|-------------------------|----------------|
| PROJECT NO.<br>722009 | PLOT DATE<br>11-04-2023 | DRAWN<br>SS    |
| DRAWING NO.           | SCALE<br>1/8" = 1'-0"   | REVIEWED<br>CY |

DP-6.61 10



APR 11 2023



MATERIAL LEGEND:

| MATERIAL          | COLOR           |
|-------------------|-----------------|
| FL FLASHING       | LIGHT GREY      |
| GR RAILING        | RAILING         |
| TR-1 TRIM         | BLACK           |
| TR-2 TRIM         | LIGHT GREY      |
| FA FASCIA         | LIGHT GREY      |
| C-1 HARD SIDING   | WHITE           |
| C-2 HARD BRICKS   | DARK GREY       |
| C-3 HARD SIDING   | COUNTRYLANE RED |
| C-4 HARD SIDING   | DARK GREY       |
| C-5 HARD PANEL    | DARK GREY       |
| NC NATURAL CEDAR  | CEDAR           |
| W WINDOWS         | BLACK           |
| D DOORS           | BLACK           |
| RD-1 ROLL-UP DOOR | DARK GREY       |
| RD-2 ROLL-UP DOOR | WHITE           |
| RS ROOF SHINGLE   | DARK GREY       |

**AVERAGE EXISTING GRADE**  
90.41M + 90.91M + 90.07M + 90.05M  
4  
= 90.36M

**MAXIMUM BUILDING HEIGHT**  
90.36M + 13M  
= 103.36M

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

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PROJECT

**16651-19AVE TOWNHOUSES**

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

**BUILDING- 7 (SITE-B)  
ELEVATIONS (UNIT-A)**

DRAWING TITLE

DRAWING DATE

ISSUED FOR DP REVISION

|             |        |            |              |          |    |
|-------------|--------|------------|--------------|----------|----|
| PROJECT NO. | 722009 | PLANT DATE | 11-04-2023   | DRAWN    | SS |
| DRAWING NO. |        | SCALE      | 1/8" = 1'-0" | REVIEWED | CY |

REVISION  
**DP-6.71** 10

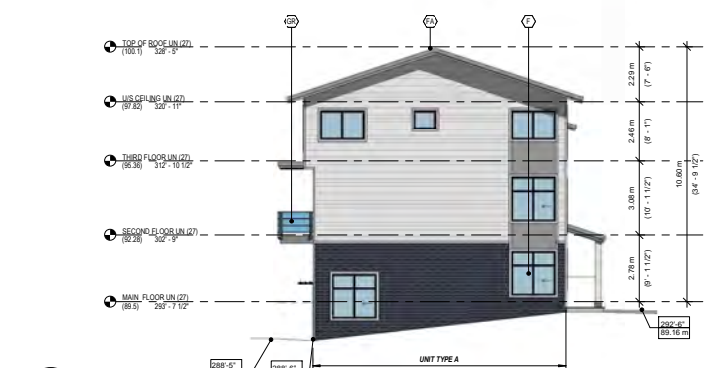


1 EAST ELEVATION  
DP-6.81 1/8" = 1'-0"

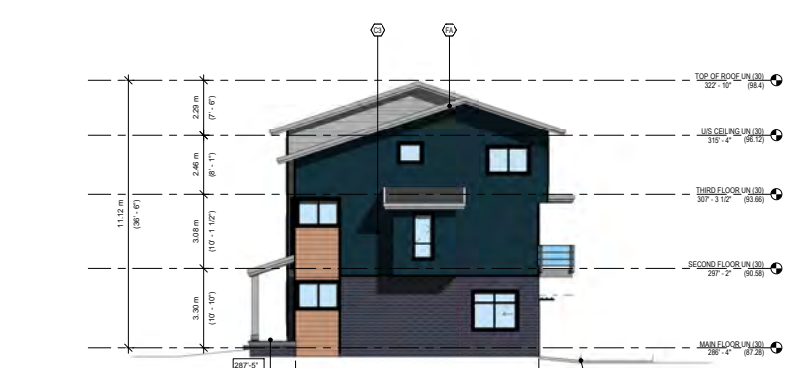
AVERAGE EXISTING GRADE  
 $\frac{86.94M + 87.92M + 89.45M + 86.94M}{4} = 87.81M$   
 MAXIMUM BUILDING HEIGHT  
 $87.81M + 13M = 100.81M$



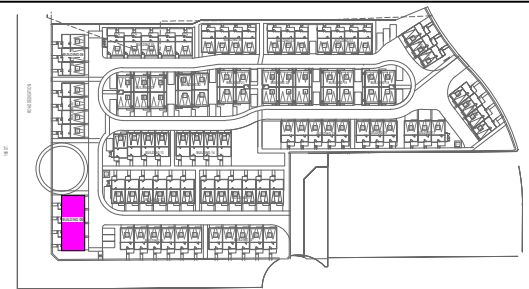
2 WEST ELEVATION (166 ST.)  
DP-6.81 1/8" = 1'-0"



3 NORTH ELEVATION  
DP-6.81 1/8" = 1'-0"



4 SOUTH ELEVATION (19 AVE)  
DP-6.81 1/8" = 1'-0"



KEY PLAN

MATERIAL LEGEND :

| MATERIAL             | COLOR        |  |
|----------------------|--------------|--|
| (FL) FLASHING        | LIGHT GREY   |  |
| (GR) RAILING         | RAILING      |  |
| (TR) TRIM            | BLACK        |  |
| (TR2) TRIM           | LIGHT GREY   |  |
| (FA) FASCIA          | LIGHT GREY   |  |
| (C1) HARDI SIDING    | WHITE        |  |
| (C2) HARDI BRICKS    | DARK GREY    |  |
| (C3) HARDI SIDING    | EVENING BLUE |  |
| (C4) HARDI SIDING    | DARK GREY    |  |
| (C5) HARDI PANEL     | DARK GREY    |  |
| (HC) 6" HARDI SIDING | CEDAR        |  |
| (F) WINDOWS          | BLACK        |  |
| (D) DOORS            | BLACK        |  |
| (RD) ROLL-UP DOOR    | DARK GREY    |  |
| (RD2) ROLL-UP DOOR   | WHITE        |  |
| (RS) ROOF SHINGLE    | DARK GREY    |  |

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



APR 11 2023

| NO | DATE       | ISSUED FOR                    | REVISION |
|----|------------|-------------------------------|----------|
| 10 | 2023-04-11 | ISSUED FOR DP REVISION        |          |
| 9  | 2023-03-08 | ISSUED FOR DP REVISION        |          |
| 8  | 2023-03-11 | ISSUED FOR DP REVISION        |          |
| 7  | 2023-12-08 | ISSUED FOR DP REVISION        |          |
| 6  | 2023-11-10 | ISSUED FOR DP REVISION        |          |
| 5  | 2022-09-24 | ISSUED FOR DP REVISION        |          |
| 4  | 2022-09-24 | ISSUED FOR DP REVISION        |          |
| 3  | 2021-12-03 | ISSUED FOR DP REVISION        |          |
| 2  | 2021-06-04 | ISSUED FOR DP SUBMISSION      |          |
| 1  | 2020-03-08 | ISSUED FOR PRELIMINARY DESIGN |          |

DATE: 2023-03-08 REVISION: 08-DRAWING ISSUE REVIEW

CONSULTANT

FORMAT STAMP

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PROJECT

16651-19 AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

BUILDING- 8 (SITE-B)  
ELEVATIONS (UNIT-A)

DRAWING ISSUE

ISSUED FOR DP REVISION

|             |          |            |            |       |    |
|-------------|----------|------------|------------|-------|----|
| PROJECT NO. | 722009   | PLANT DATE | 11-04-2023 | DRAWN | SS |
| SCALE       | 20:57:15 | REVISION   |            |       | CY |

DP-6.81 10



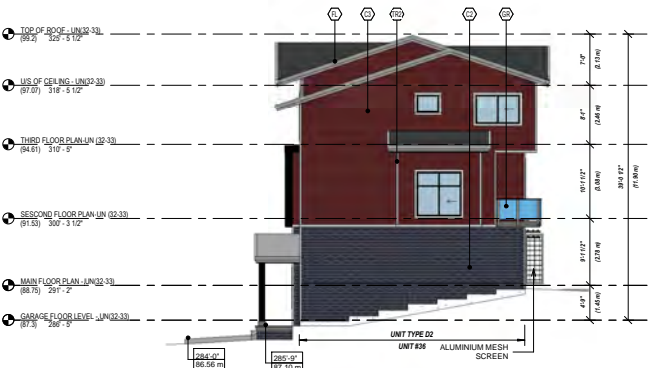
APR 11 2023



**1 SOUTH ELEVATION (19TH AVENUE)**  
DP-6.91 1/8" = 1'-0"



**2 NORTH ELEVATION**  
DP-6.91 1/8" = 1'-0"



**3 EAST ELEVATION**  
DP-6.91 1/8" = 1'-0"



**4 WEST ELEVATION**  
DP-6.91 1/8" = 1'-0"

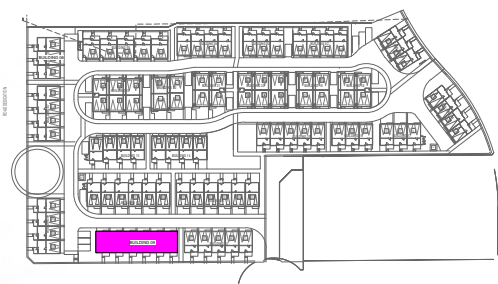
**AVERAGE EXISTING GRADE**

|                                   |           |
|-----------------------------------|-----------|
| 87.90M + 87.21M + 87.15M + 89.10M | = 87.84M  |
| 4                                 |           |
| <b>MAXIMUM BUILDING HEIGHT</b>    |           |
| 87.84M + 13M                      | = 100.84M |

**MATERIAL LEGEND :**

| MATERIAL         | COLOR           |          |
|------------------|-----------------|----------|
| FL FLASHING      | LIGHT GREY      | [Symbol] |
| GR RAILING       | RAILING         | [Symbol] |
| TR1 TRIM         | BLACK           | [Symbol] |
| TR2 TRIM         | LIGHT GREY      | [Symbol] |
| FA FASCIA        | LIGHT GREY      | [Symbol] |
| C1 HARDI SIDING  | WHITE           | [Symbol] |
| C2 HARDI BRICKS  | DARK GREY       | [Symbol] |
| C3 HARDI SIDING  | COUNTRYLANE RED | [Symbol] |
| C4 HARDI SIDING  | DARK GREY       | [Symbol] |
| C5 HARDI PANEL   | DARK GREY       | [Symbol] |
| NC NATURAL CEDAR | CEDAR           | [Symbol] |
| F WINDOWS        | BLACK           | [Symbol] |
| P DOORS          | BLACK           | [Symbol] |
| RD1 ROLL-UP DOOR | DARK GREY       | [Symbol] |
| RD2 ROLL-UP DOOR | WHITE           | [Symbol] |
| RS ROOF SHINGLE  | DARK GREY       | [Symbol] |

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



PROJECT  
**16651-19AVE TOWNHOUSES**

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

**BUILDING-9 (SITE-B)  
ELEVATIONS (UNIT-D2 & D3)**

ISSUED FOR DP REVISION

|             |              |          |          |
|-------------|--------------|----------|----------|
| PROJECT NO. | 11-04-2023   | DATE     | SS       |
| 722009      | SCALE        | 20:49:36 | REVISION |
|             | 1/8" = 1'-0" |          | CY       |

**DP-6.91** 10



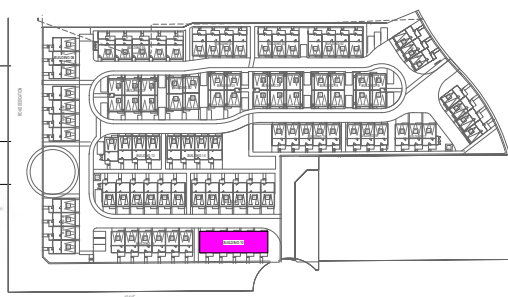
**MATERIAL LEGEND :**

| MATERIAL           | COLOR        |
|--------------------|--------------|
| FL FLASHING        | LIGHT GREY   |
| RAILING            | RAILING      |
| TR1 TRIM           | BLACK        |
| TR2 TRIM           | LIGHT GREY   |
| FA FASCIA          | LIGHT GREY   |
| C1 HARDI SIDING    | WHITE        |
| C2 HARDI BRICKS    | DARK GREY    |
| C3 HARDI SIDING    | EVENING BLUE |
| C4 HARDI SIDING    | DARK GREY    |
| WD 6" HARDI SIDING | CEDAR        |
| W WINDOWS          | BLACK        |
| D DOORS            | BLACK        |
| DD1 ROLL-UP DOOR   | DARK GREY    |
| DD2 ROLL-UP DOOR   | WHITE        |
| RS ROOF SHINGLE    | DARK GREY    |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED.

**AVERAGE EXISTING GRADE**  
 $\frac{89.04 + 87.15 + 88.35 + 87.10}{4} = 87.91M$

**MAXIMUM BUILDING HEIGHT**  
 $87.91M + 1.5M = 100.91M$



**Kasian Architecture**  
 Interior Design  
 and Planning Ltd



1500 West Georgia Street, Suite 1005  
 Vancouver, BC Canada V6G 2Z6  
 784 683 4446 F 604 683 2627  
 www.kasian.com

| NO. | DATE       | ISSUED FOR                    | REVISION/ORDINANCE/ISSUE | REVIEW |
|-----|------------|-------------------------------|--------------------------|--------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |                          |        |
| 9   | 2023-03-08 | ISSUED FOR DP REVISION        |                          |        |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |                          |        |
| 7   | 2022-12-08 | ISSUED FOR DP REVISION        |                          |        |
| 6   | 2023-11-10 | ISSUED FOR DP REVISION        |                          |        |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |                          |        |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |                          |        |
| 3   | 2021-12-03 | ISSUED FOR DP REVISION        |                          |        |
| 2   | 2021-06-04 | ISSUED FOR DP SUBMISSION      |                          |        |
| 1   | 2020-07-06 | ISSUED FOR PRELIMINARY DESIGN |                          |        |

CONSULTANT

FORMAT STAMP

SEAL

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PROJECT

**16651-19AVE TOWNHOUSES**  
 16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE  
**BUILDING-10 (SITE-B)  
 ELEVATIONS (UNIT-D2 & D3)**

DRAWING ISSUE  
**ISSUED FOR DP REVISION**

| PROJECT NO. | PLAT DATE    | 11-04-2023 | DRAWN    | SS |
|-------------|--------------|------------|----------|----|
| 722009      | SCALE        | 20:59:52   | REVIEWED | CY |
| DRAWING NO. | 1/8" = 1'-0" |            |          |    |

**DP-6.101** 10



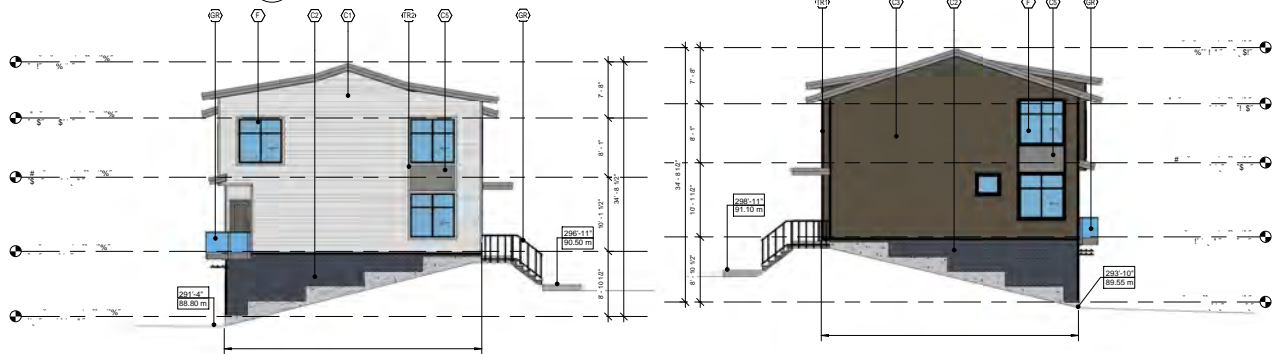
APR 11 2023



1 NORTH ELEVATION  
RP-6.111 1/8" = 1'-0"



2 SOUTH ELEVATION  
RP-6.111 1/8" = 1'-0"



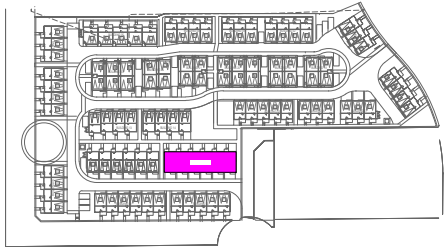
3 EAST ELEVATION  
RP-6.111 1/8" = 1'-0"

4 WEST ELEVATION  
RP-6.111 1/8" = 1'-0"

MATERIAL LEGEND :

| MATERIAL         | COLOR           |          |
|------------------|-----------------|----------|
| FL FLASHING      | LIGHT GREY      | [Symbol] |
| GR RAILING       | RAILING         | [Symbol] |
| TR1 TRIM         | BLACK           | [Symbol] |
| TR2 TRIM         | LIGHT GREY      | [Symbol] |
| FA FASCIA        | LIGHT GREY      | [Symbol] |
| C1 HARDI SIDING  | WHITE           | [Symbol] |
| C2 HARDI BRICKS  | DARK GREY       | [Symbol] |
| C3 HARDI SIDING  | WOODSTOCK BROWN | [Symbol] |
| C4 HARDI SIDING  | DARK GREY       | [Symbol] |
| C5 HARDI PANEL   | DARK GREY       | [Symbol] |
| F WINDOWS        | BLACK           | [Symbol] |
| P DOORS          | BLACK           | [Symbol] |
| RD1 ROLL-UP DOOR | DARK GREY       | [Symbol] |
| RD2 ROLL-UP DOOR | WHITE           | [Symbol] |
| RS ROOF SHINGLE  | DARK GREY       | [Symbol] |

NOTE :  
COLOURS FROM SHERWIN WILLIAMS  
UNLESS NOTED



KEY PLAN

| NO | DATE       | DESCRIPTION                   | BY | CHKD |
|----|------------|-------------------------------|----|------|
| 10 | 2023-04-11 | ISSUED FOR DP REVISION        |    |      |
| 9  | 2023-03-28 | ISSUED FOR DP REVISION        |    |      |
| 8  | 2023-01-11 | ISSUED FOR DP REVISION        |    |      |
| 7  | 2023-12-20 | ISSUED FOR DP REVISION        |    |      |
| 6  | 2023-11-10 | ISSUED FOR DP REVISION        |    |      |
| 5  | 2022-09-24 | ISSUED FOR DP REVISION        |    |      |
| 4  | 2022-09-24 | ISSUED FOR DP REVISION        |    |      |
| 3  | 2021-12-28 | ISSUED FOR DP REVISION        |    |      |
| 2  | 2021-06-28 | ISSUED FOR DP REVISION        |    |      |
| 1  | 2020-02-28 | ISSUED FOR PRELIMINARY DESIGN |    |      |

CONSULTANT: [Blank] REVISION: [Blank] DRAWING ISSUE: [Blank] REVIEW: [Blank]

FORMAT STAMP: [Blank]

SCALE: [Blank]

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PROJECT: 16651-19 AVE TOWNHOUSES  
16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

BUILDING-11 (SITE-B)  
ELEVATIONS (UNIT-F1)

DRAWING ISSUE: ISSUED FOR DP REVISION

| PROJECT NO | PLAT DATE  | DRAWN    | Author   |
|------------|------------|----------|----------|
| 722009     | 11-04-2023 | 20:38:55 | REVIEWED |

DRAWING NO: DP-6.111

REVISION: 10



APR 11 2023



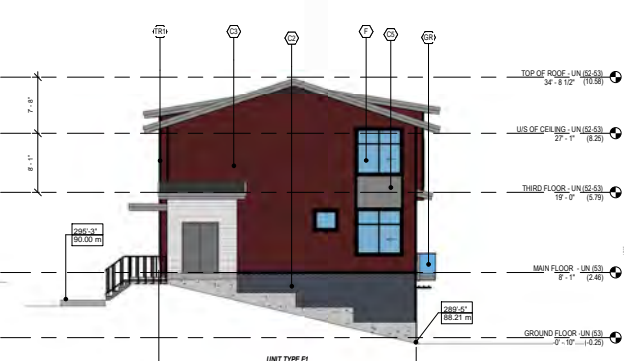
**1 NORTH ELEVATION**  
NP-6.12/ 1/8" = 1'-0"



**2 SOUTH ELEVATION**  
NP-6.12/ 1/8" = 1'-0"



**3 EAST ELEVATION**  
NP-6.12/ 1/8" = 1'-0"

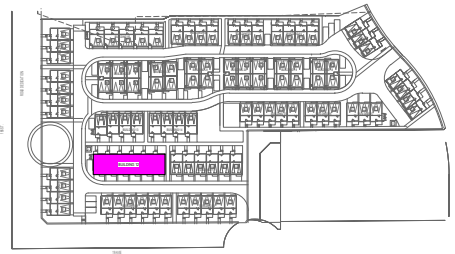


**4 WEST ELEVATION**  
NP-6.12/ 1/8" = 1'-0"

**MATERIAL LEGEND :**

| MATERIAL           | COLOR           |
|--------------------|-----------------|
| FL FLASHING        | LIGHT GREY      |
| GR RAILING         | RAILING         |
| TR1 TRIM           | BLACK           |
| TR2 TRIM           | LIGHT GREY      |
| FA FASCIA          | LIGHT GREY      |
| C1 HARDI SIDING    | WHITE           |
| C2 HARDI BRICKS    | DARK GREY       |
| C3 HARDI SIDING    | COUNTRYLANE RED |
| C4 HARDI SIDING    | DARK GREY       |
| C5 HARDI PANEL     | DARK GREY       |
| F WINDOWS          | BLACK           |
| P DOORS            | BLACK           |
| RD1+1 ROLL-UP DOOR | DARK GREY       |
| RD2+2 ROLL-UP DOOR | WHITE           |
| RS ROOF SHINGLE    | DARK GREY       |

NOTE :  
COLOURS FROM SHERWIN WILLIAMS  
UNLESS NOTED



**KEY PLAN**

| NO. | DATE       | REVISION                      |
|-----|------------|-------------------------------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9   | 2023-03-09 | ISSUED FOR DP REVISION        |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |
| 7   | 2023-12-09 | ISSUED FOR DP REVISION        |
| 6   | 2023-11-10 | ISSUED FOR DP REVISION        |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |
| 3   | 2021-12-08 | ISSUED FOR DP REVISION        |
| 2   | 2021-06-04 | ISSUED FOR DP REVISION        |
| 1   | 2020-02-09 | ISSUED FOR PRELIMINARY DESIGN |

| NO. | DATE       | REVISION                 |
|-----|------------|--------------------------|
| 1   | 11/17/2020 | REVISION - DRAWING ISSUE |

| NO. | DATE       | REVISION                 |
|-----|------------|--------------------------|
| 1   | 11/17/2020 | REVISION - DRAWING ISSUE |

| NO. | DATE       | REVISION                 |
|-----|------------|--------------------------|
| 1   | 11/17/2020 | REVISION - DRAWING ISSUE |

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**16651-19 AVE TOWNHOUSES**

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

**BUILDING-12 (SITE-B)  
ELEVATIONS (UNIT-F1)**

DRAWING TITLE

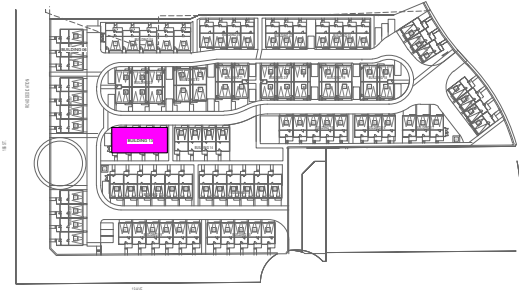
ISSUED FOR DP REVISION

| PROJECT NO. | PLAT DATE  | SCALE        | DRAWN    | Author  |
|-------------|------------|--------------|----------|---------|
| 722009      | 11-04-2023 | 20:34:54     |          |         |
|             |            | 1/8" = 1'-0" | REVIEWED | Checker |

DRAWING NO. **DP-6.121** 10



APR 11 2023



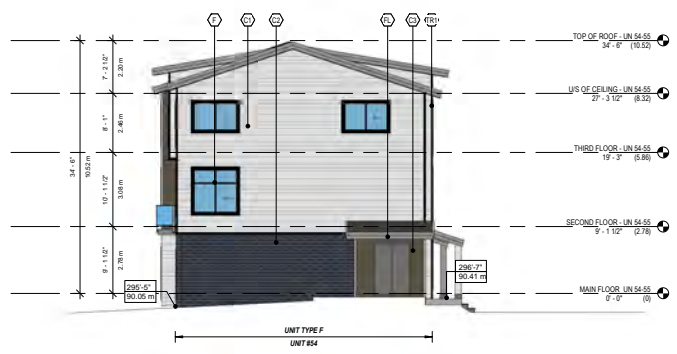
KEY PLAN



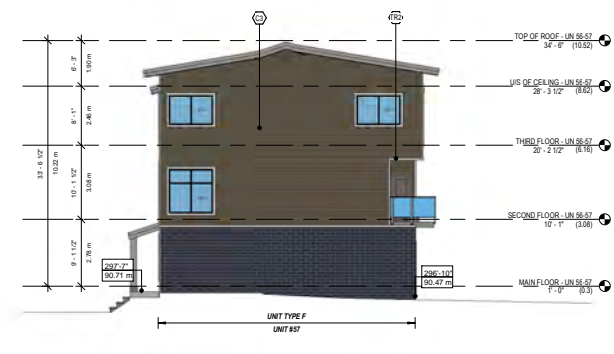
1 SOUTH ELEVATION  
BP-6.13/ 1/8" = 1'-0"



2 NORTH ELEVATION  
BP-6.13/ 1/8" = 1'-0"



3 WEST ELEVATION  
BP-6.13/ 1/8" = 1'-0"



4 EAST ELEVATION  
BP-6.13/ 1/8" = 1'-0"

| AVERAGE EXISTING GRADE            |           |
|-----------------------------------|-----------|
| 90.03M + 90.17M + 91.24M + 90.50M | = 90.48M  |
| MAXIMUM BUILDING HEIGHT           |           |
| 90.48M + 13M                      | = 103.48M |

| MATERIAL LEGEND : |                 |  |
|-------------------|-----------------|--|
| MATERIAL          | COLOR           |  |
| FL FLASHING       | LIGHT GREY      |  |
| OR RAILING        | RAILING         |  |
| TR1 TRIM          | BLACK           |  |
| TR2 TRIM          | LIGHT GREY      |  |
| FA FASCIA         | LIGHT GREY      |  |
| C1 HARD SIDING    | WHITE           |  |
| CB HARD BRICKS    | DARK GREY       |  |
| CS HARD SIDING    | WOODSTOCK BROWN |  |
| W WINDOWS         | BLACK           |  |
| D DOORS           | BLACK           |  |
| RD1 ROLL-UP DOOR  | DARK GREY       |  |
| RD2 ROLL-UP DOOR  | WHITE           |  |
| RS ROOF SHINGLE   | DARK GREY       |  |

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

|    |            |                               |  |
|----|------------|-------------------------------|--|
| 10 | 2023-04-11 | ISSUED FOR DP REVISION        |  |
| 9  | 2023-03-07 | ISSUED FOR DP REVISION        |  |
| 8  | 2023-01-11 | ISSUED FOR DP REVISION        |  |
| 7  | 2022-12-09 | ISSUED FOR DP REVISION        |  |
| 6  | 2022-11-10 | ISSUED FOR DP REVISION        |  |
| 5  | 2022-09-24 | ISSUED FOR DP REVISION        |  |
| 4  | 2022-09-24 | ISSUED FOR DP REVISION        |  |
| 3  | 2022-12-08 | ISSUED FOR DP REVISION        |  |
| 2  | 2022-06-04 | ISSUED FOR DP REVISION        |  |
| 1  | 2022-02-08 | ISSUED FOR PRELIMINARY DESIGN |  |

DATE: 11/11/2023 09:00 REVISION: DRAWING ISSUE REVIEW

CONSULTANT

FORMIT STAMP

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PROJECT

**16651-19AVE TOWNHOUSES**

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE

**BUILDING-13 (SITE-B)  
ELEVATIONS (UNIT-F)**

DRAWING ISSUE

**ISSUED FOR DP REVISION**

|             |          |              |            |         |        |
|-------------|----------|--------------|------------|---------|--------|
| PROJECT NO. | 722009   | PLT DATE     | 11-04-2023 | DRAWN   | Author |
| SCALE       | 20:26:45 | 1/8" = 1'-0" | REVIEWED   | Checker |        |

DRAWING NO.

**DP-6.131**

10





| NO. | DATE       | DESCRIPTION                   | BY | CHKD |
|-----|------------|-------------------------------|----|------|
| 1   | 2023-04-11 | ISSUED FOR DP REVISION        |    |      |
| 2   | 2023-04-11 | ISSUED FOR DP REVISION        |    |      |
| 3   | 2023-01-11 | ISSUED FOR DP REVISION        |    |      |
| 4   | 2022-12-09 | ISSUED FOR DP REVISION        |    |      |
| 5   | 2022-11-10 | ISSUED FOR DP REVISION        |    |      |
| 6   | 2022-09-24 | ISSUED FOR DP REVISION        |    |      |
| 7   | 2022-09-24 | ISSUED FOR DP REVISION        |    |      |
| 8   | 2022-09-24 | ISSUED FOR DP REVISION        |    |      |
| 9   | 2022-09-24 | ISSUED FOR DP REVISION        |    |      |
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |    |      |
| 11  | 2023-02-09 | ISSUED FOR PRELIMINARY DESIGN |    |      |
| 12  | 2023-02-09 | REVISION - DRAWING ISSUE      |    |      |

CONSULTANT REVIEW

FORMIT STAMP

SCALE

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PROJECT

**16651-19AVE TOWNHOUSES**

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE

**BUILDING-14 (SITE-B)  
ELEVATIONS (UNIT-F)**

DRAWING ISSUE

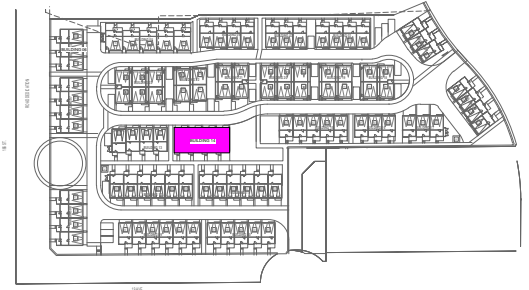
**ISSUED FOR DP REVISION**

| PROJECT NO. | PLLOT DATE | DRAWN        | Author   |
|-------------|------------|--------------|----------|
| 722009      | 11-04-2023 | 20:28:50     |          |
|             | SCALE      | 1/8" = 1'-0" | REVIEWED |
|             |            |              | Checker  |

DRAWING NO.

**DP-6.141**

**10**



KEY PLAN



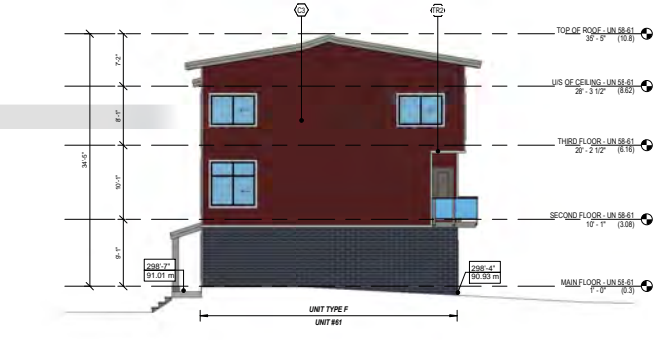
**1 SOUTH ELEVATION**  
BP-6.141 1/8" = 1'-0"



**2 NORTH ELEVATION**  
BP-6.141 1/8" = 1'-0"



**3 WEST ELEVATION**  
BP-6.141 1/8" = 1'-0"



**4 EAST ELEVATION**  
BP-6.141 1/8" = 1'-0"

| AVERAGE EXISTING GRADE            |           |
|-----------------------------------|-----------|
| 91.24M + 90.91M + 90.40M + 90.50M | = 90.76M  |
| MAXIMUM BUILDING HEIGHT           |           |
| 90.76M + 13M                      | = 103.76M |

| MATERIAL LEGEND : |                 |  |
|-------------------|-----------------|--|
| MATERIAL          | COLOR           |  |
| FL FLASHING       | LIGHT GREY      |  |
| OR RAILING        | RAILING         |  |
| TR1 TRIM          | BLACK           |  |
| TR2 TRIM          | LIGHT GREY      |  |
| FA FASCIA         | LIGHT GREY      |  |
| C1 HARD SIDING    | WHITE           |  |
| C2 HARD BRICKS    | DARK GREY       |  |
| CS HARD SIDING    | COUNTRYLANE RED |  |
| W WINDOWS         | BLACK           |  |
| D DOORS           | BLACK           |  |
| RD1+ ROLL-UP DOOR | DARK GREY       |  |
| RD2 ROLL-UP DOOR  | WHITE           |  |
| RS ROOF SHINGLE   | DARK GREY       |  |

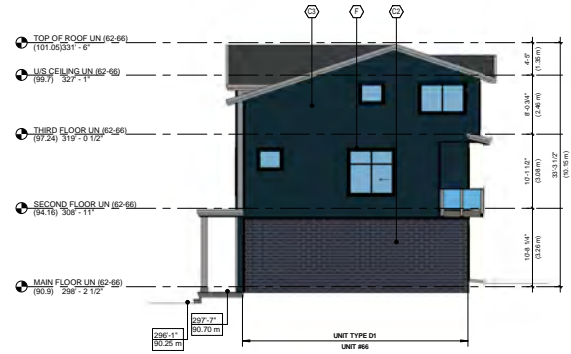
NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



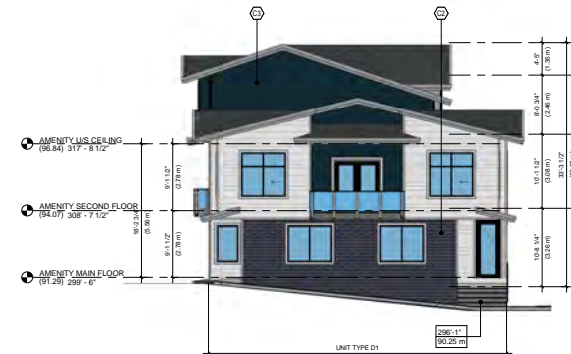
1 SOUTH ELEVATION  
DP-6.15 1/8" = 1'-0"



2 NORTH ELEVATION  
DP-6.15 1/8" = 1'-0"



3 EAST ELEVATION  
DP-6.15 1/8" = 1'-0"

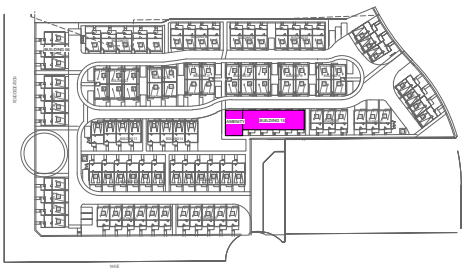


4 WEST ELEVATION  
DP-6.15 1/8" = 1'-0"

**MATERIAL LEGEND :**

| MATERIAL         | COLOR        |
|------------------|--------------|
| FL1 FLASHING     | LIGHT GREY   |
| RA1 RAILING      | RAILING      |
| TR1 TRIM         | BLACK        |
| TR2 TRIM         | LIGHT GREY   |
| FA FASCIA        | LIGHT GREY   |
| C1 HARDI SIDING  | WHITE        |
| C2 HARDI BRICKS  | DARK GREY    |
| C3 HARDI SIDING  | EVENING BLUE |
| C4 HARDI SIDING  | DARK GREY    |
| C5 HARDI PANEL   | DARK GREY    |
| W WINDOWS        | BLACK        |
| D DOORS          | BLACK        |
| RD1 ROLL-UP DOOR | DARK GREY    |
| RD2 ROLL-UP DOOR | WHITE        |
| RS ROOF SHINGLE  | DARK GREY    |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



KEY PLAN

|                         |  |          |
|-------------------------|--|----------|
| AVERAGE EXISTING GRADE  | 91.24M + 91.24M + 90.10M + 90.25M<br>4 | = 90.70M |
| MAXIMUM BUILDING HEIGHT | 90.70M + 13M                           | = 103.7M |



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Vancouver, BC Canada V6G 2V2  
T 604 683 4145 F 604 683 2827  
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| NO.  | DATE       | DESCRIPTION                   | BY | CHKD. | REVIEW |
|------|------------|-------------------------------|----|-------|--------|
| 10   | 2023-04-11 | ISSUED FOR DP REVISION        |    |       |        |
| 9    | 2023-03-28 | ISSUED FOR DP REVISION        |    |       |        |
| 8    | 2023-01-11 | ISSUED FOR 1P REVISION        |    |       |        |
| 7    | 2023-12-20 | ISSUED FOR DP REVISION        |    |       |        |
| 6    | 2023-11-10 | ISSUED FOR DP REVISION        |    |       |        |
| 5    | 2022-09-24 | ISSUED FOR DP REVISION        |    |       |        |
| 4    | 2022-09-24 | ISSUED FOR DP REVISION        |    |       |        |
| 3    | 2021-12-03 | ISSUED FOR DP REVISION        |    |       |        |
| 2    | 2021-08-04 | ISSUED FOR DP REVISION        |    |       |        |
| 1    | 2020-02-28 | ISSUED FOR PRELIMINARY DESIGN |    |       |        |
| REV. | 11/11/2020 | REVISION / DRAWING ISSUE      |    |       | REVIEW |

CONSULTANT

FORMIT STAMP

SCALE

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16651-19 AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

BUILDING-15 (SITE-B)  
ELEVATIONS (UNIT-D & D1)

DRAWING ISSUE

ISSUED FOR DP REVISION

|             |            |              |          |
|-------------|------------|--------------|----------|
| PROJECT NO. | PLT DATE   | DRAWN        | SS       |
| 722009      | 11-04-2023 |              |          |
| DRAWING NO. | SCALE      | 1/8" = 1'-0" | REVIEWED |
|             |            |              | CY       |

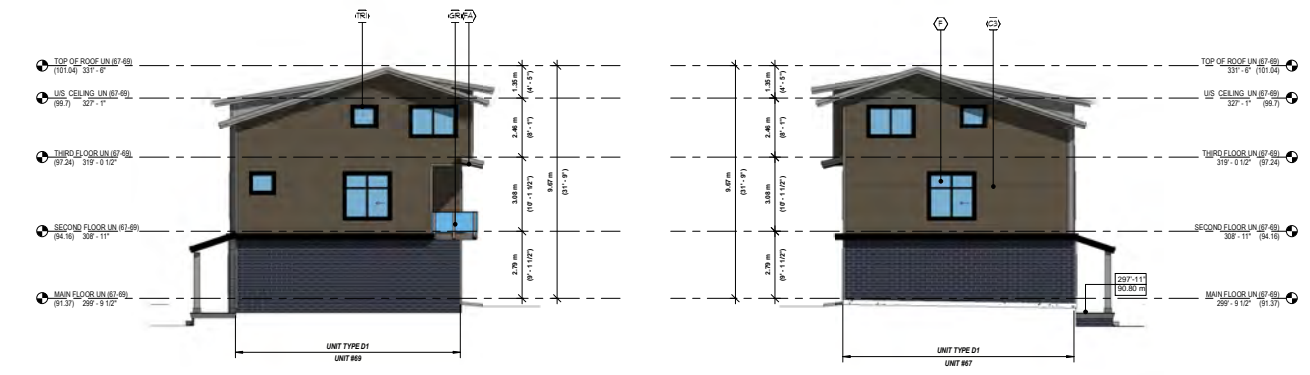
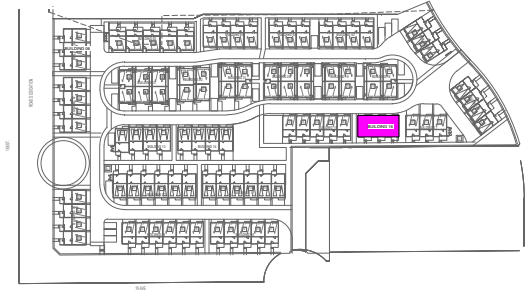
DP-6.15 10



MATERIAL LEGEND:

| MATERIAL         | COLOR           |  |
|------------------|-----------------|--|
| FL FLASHING      | LIGHT GREY      |  |
| GR RAILING       | RAILING         |  |
| TR1 TRIM         | BLACK           |  |
| TR2 TRIM         | LIGHT GREY      |  |
| FA FASCIA        | LIGHT GREY      |  |
| CS1 HARDI SIDING | WHITE           |  |
| CS2 HARDI BRICKS | DARK GREY       |  |
| CS3 HARDI SIDING | WOODSTOCK BROWN |  |
| CS4 HARDI PANEL  | DARK GREY       |  |
| F WINDOWS        | BLACK           |  |
| D DOORS          | BLACK           |  |
| RD1 ROLL-UP DOOR | DARK GREY       |  |
| RS ROOF SHINGLE  | DARK GREY       |  |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



AVERAGE EXISTING GRADE

$$\frac{91.24M + 91.24M + 90.50M + 90.38M}{4} = 90.84M$$

MAXIMUM BUILDING HEIGHT

$$90.84M + 1.3M = 103.84M$$

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PROJECT: **16651-19AVE TOWNHOUSES**

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE: **BUILDING-16 (SITE-B) ELEVATIONS (UNIT-D & D1)**

DRAWING ISSUE: **ISSUED FOR DP REVISION**

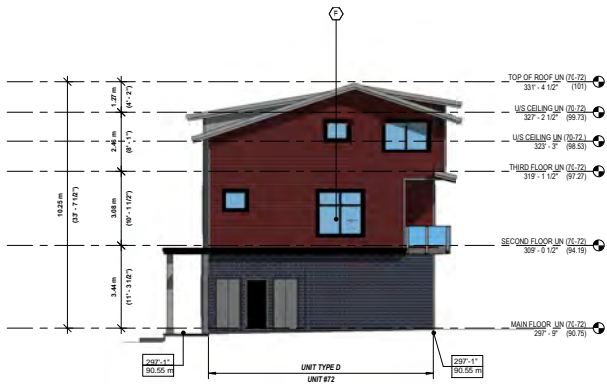
|             |                |          |    |
|-------------|----------------|----------|----|
| PROJECT NO. | 11-04-2023     | DRAWN    | SS |
| 722009      | SCALE 20/06/01 | REVIEWED | CY |
| DRAWING NO. | DP-6.161       | REVISION | 10 |



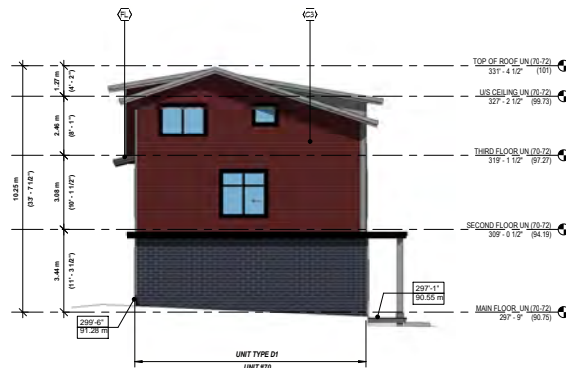
1 SOUTH ELEVATION  
 DP-6.171 1/8" = 1'-0"



2 NORTH ELEVATION  
 DP-6.171 1/8" = 1'-0"



3 EAST ELEVATION  
 DP-6.171 1/8" = 1'-0"

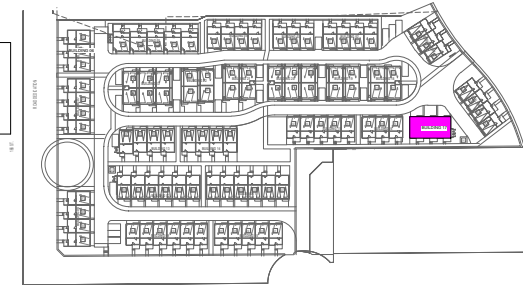


4 WEST ELEVATION  
 DP-6.171 1/8" = 1'-0"

| AVERAGE EXISTING GRADE              |            |
|-------------------------------------|------------|
| $91.26M + 91.12M + 90.42M + 90.42M$ | $= 90.8M$  |
| $4$                                 |            |
| MAXIMUM BUILDING HEIGHT             |            |
| $90.8M + 1.9M$                      | $= 103.8M$ |

| MATERIAL LEGEND: |              |                 |
|------------------|--------------|-----------------|
| MATERIAL         | COLOR        |                 |
| FL1              | FLASHING     | LIGHT GREY      |
| GR               | RAILING      | RAILING         |
| TR1              | TRIM         | BLACK           |
| TR2              | TRIM         | LIGHT GREY      |
| FA               | FASCIA       | LIGHT GREY      |
| C1               | HARDI SIDING | WHITE           |
| C2               | HARDI BRICKS | DARK GREY       |
| C3               | HARDI SIDING | COUNTRYLANE RED |
| F                | WINDOWS      | BLACK           |
| P                | DOORS        | BLACK           |
| RD1              | ROLL-UP DOOR | DARK GREY       |
| RS               | ROOF SHINGLE | DARK GREY       |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



KEY PLAN



APR 11 2023

| NO. | DATE       | ISSUED FOR                    | REVISION |
|-----|------------|-------------------------------|----------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |          |
| 9   | 2023-03-09 | ISSUED FOR DP REVISION        |          |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |          |
| 7   | 2022-12-08 | ISSUED FOR DP REVISION        |          |
| 6   | 2022-11-10 | ISSUED FOR DP REVISION        |          |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |          |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |          |
| 3   | 2021-12-03 | ISSUED FOR DP REVISION        |          |
| 2   | 2021-09-08 | ISSUED FOR PRELIMINARY DESIGN |          |
| 1   | 2021-07-08 | ISSUED FOR PRELIMINARY DESIGN |          |

DATE: 2023-04-11 REVISION: CONTRACT ISSUE

CONSULTANT: \_\_\_\_\_

FORNIT STAMP: \_\_\_\_\_

SEAL: \_\_\_\_\_

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16651-19 AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C

DRAWING TITLE

BUILDING-17 (SITE-B)  
 ELEVATIONS (UNIT-D & D1)

DRAWING SCALE

ISSUED FOR DP REVISION

| PROJECT NO. | PLLOT DATE   | DRAWN    | SS |
|-------------|--------------|----------|----|
| 722009      | 11-04-2023   |          |    |
| SCALE       | 20:12:43     | REVIEWED | CY |
|             | 1/8" = 1'-0" |          |    |

DRAWING NO. DP-6.171

REVISION 10



1 SOUTH ELEVATION  
DP-6.181 1/8" = 1'-0"



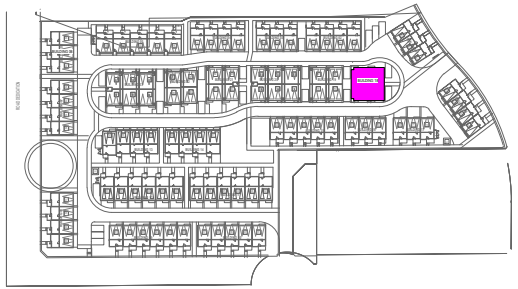
2 NORTH ELEVATION  
DP-6.181 1/8" = 1'-0"



3 EAST ELEVATION  
DP-6.181 1/8" = 1'-0"



4 WEST ELEVATION  
DP-6.181 1/8" = 1'-0"



KEY PLAN

MATERIAL LEGEND :

| MATERIAL            | COLOR           |  |
|---------------------|-----------------|--|
| (FL) FLASHING       | LIGHT GREY      |  |
| (SR) RAILING        | RAILING         |  |
| (TR1) TRIM          | BLACK           |  |
| (TR2) TRIM          | LIGHT GREY      |  |
| (FA) FASCIA         | LIGHT GREY      |  |
| (C1) HARDI SIDING   | WHITE           |  |
| (C2) HARDI BRICKS   | DARK GREY       |  |
| (C3) HARDI SIDING   | WOODSTOCK BROWN |  |
| (F) WINDOWS         | BLACK           |  |
| (D) DOORS           | BLACK           |  |
| (RD1) ROLL-UP DOOR  | DARK GREY       |  |
| (RD2) ROLL-UP DOOR  | WHITE           |  |
| (NC) PRIVACY SCREEN | NATURAL CEDAR   |  |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

AVERAGE EXISTING GRADE  
91.23M + 92.24M + 91.87M + 91.83M = 91.79M  
4  
MAXIMUM BUILDING HEIGHT  
91.79M + 13M = 104.79M



APR 11 2023

| NO. | DATE       | DESCRIPTION                   | BY | CHKD |
|-----|------------|-------------------------------|----|------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |    |      |
| 9   | 2023-03-30 | ISSUED FOR DP REVISION        |    |      |
| 8   | 2023-12-09 | ISSUED FOR DP REVISION        |    |      |
| 7   | 2023-11-10 | ISSUED FOR DP REVISION        |    |      |
| 6   | 2023-08-14 | ISSUED FOR DP REVISION        |    |      |
| 5   | 2023-08-24 | ISSUED FOR DP REVISION        |    |      |
| 4   | 2023-12-03 | ISSUED FOR DP REVISION        |    |      |
| 3   | 2021-08-04 | ISSUED FOR DP SUBMISSION      |    |      |
| 2   | 2020-02-09 | ISSUED FOR PRELIMINARY DESIGN |    |      |
| 1   | 11-26-15   | DP REVISIONS                  |    |      |

DATE: 2023-04-11  
PROJECT: 16620-20AVE TOWNHOUSES  
REVISION: 10

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16620-20AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

BUILDING-18 (SITE-B)  
ELEVATIONS (UNIT-B)

ISSUED FOR DP REVISION

|             |        |      |            |       |          |              |
|-------------|--------|------|------------|-------|----------|--------------|
| PROJECT NO. | 722009 | DATE | 11-04-2023 | SCALE | 19/53:18 | 1/8" = 1'-0" |
| REVISION    |        | BY   |            | SS    |          |              |
| REVISION    |        | BY   |            | CY    |          |              |



1 SOUTH ELEVATION  
DP-6.191 1/8" = 1'-0"



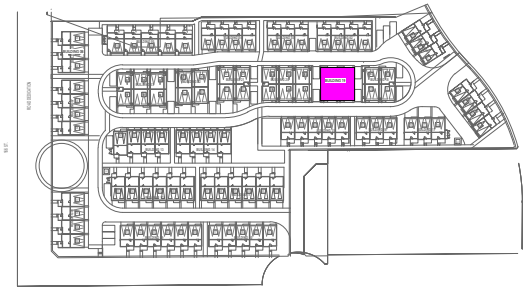
2 NORTH ELEVATION  
DP-6.191 1/8" = 1'-0"



3 WEST ELEVATION  
DP-6.191 1/8" = 1'-0"



4 EAST ELEVATION  
DP-6.191 1/8" = 1'-0"



KEY PLAN

| MATERIAL LEGEND : |              |
|-------------------|--------------|
| MATERIAL          | COLOR        |
| FL FLASHING       | LIGHT GREY   |
| RAILING           | RAILING      |
| TRIM              | BLACK        |
| TRIM              | LIGHT GREY   |
| FASCIA            | LIGHT GREY   |
| HARDI SIDING      | WHITE        |
| HARDI BRICKS      | DARK GREY    |
| HARDI SIDING      | EVENING BLUE |
| HARDI SIDING      | DARK GREY    |
| HARDI PANEL       | DARK GREY    |
| WINDOWS           | BLACK        |
| DOORS             | BLACK        |
| ROLL-UP DOOR      | DARK GREY    |
| ROLL-UP DOOR      | WHITE        |
| ROOF SHINGLE      | DARK GREY    |

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

AVERAGE EXISTING GRADE  
 $\frac{91.24M + 92.24M + 91.87M + 91.87M}{4} = 91.80M$   
 MAXIMUM BUILDING HEIGHT  
 $91.80M + 13M = 104.80M$



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APR 13 2023

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16620-20AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

BUILDING-19 (SITE-B)  
ELEVATIONS (UNIT-B)

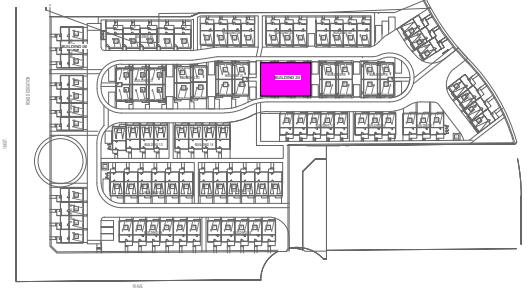
ISSUED FOR DP REVISION

|             |              |           |            |       |    |
|-------------|--------------|-----------|------------|-------|----|
| PROJECT NO. | 722009       | PLAT DATE | 11-04-2023 | DRAWN | SS |
| SCALE       | 1/8" = 1'-0" | REVIEWED  | CY         |       |    |

DP-6.191 10



APR 11 2023



KEY PLAN

MATERIAL LEGEND:

| MATERIAL           | COLOR           |  |
|--------------------|-----------------|--|
| (FL) FLASHING      | LIGHT GREY      |  |
| (RR) RAILING       | RAILING         |  |
| (TR) TRIM          | BLACK           |  |
| (TR2) TRIM         | LIGHT GREY      |  |
| (FA) FASCIA        | LIGHT GREY      |  |
| (C1) HARDI SIDING  | WHITE           |  |
| (C2) HARDI BRICKS  | DARK GREY       |  |
| (C3) HARDI SIDING  | COUNTRYLANE RED |  |
| (F) WINDOWS        | BLACK           |  |
| (D) DOORS          | BLACK           |  |
| (RD1) ROLL-UP DOOR | DARK GREY       |  |
| (RD2) ROLL-UP DOOR | WHITE           |  |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED

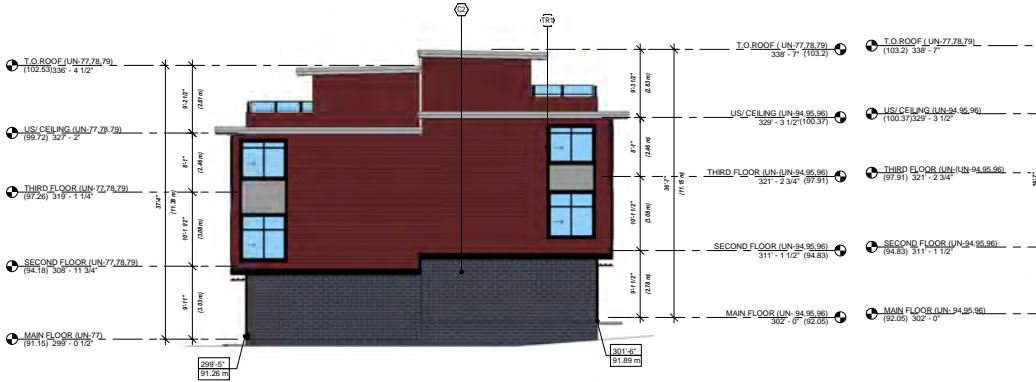
AVERAGE EXISTING GRADE  
 $91.87M + 91.87M + 91.24M + 91.24M = 91.55M$   
 $4$   
 MAXIMUM BUILDING HEIGHT  
 $91.55M + 13M = 104.55M$



1 SOUTH ELEVATION  
DP-6.201 1/8" = 1'-0"



2 NORTH ELEVATION  
DP-6.201 1/8" = 1'-0"



3 EAST ELEVATION  
DP-6.201 1/8" = 1'-0"



4 WEST ELEVATION  
DP-6.201 1/8" = 1'-0"

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16651-19AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

BUILDING-20 (SITE-B)  
ELEVATIONS

DRAWING TITLE

ISSUED FOR DP REVISION

|             |          |          |            |       |    |
|-------------|----------|----------|------------|-------|----|
| PROJECT NO. | 722009   | DATE     | 11-04-2023 | DRAWN | SS |
| SCALE       | 19,27:40 | REVIEWED |            |       | CY |
| DRAWING NO. | DP-6.201 | REVISION |            |       |    |

10



1 SOUTH ELEVATION  
DP-6.231 1/8" = 1'-0"



2 NORTH ELEVATION  
DP-6.231 1/8" = 1'-0"

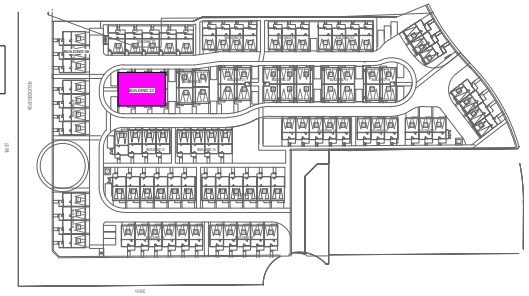


3 EAST ELEVATION  
DP-6.231 1/8" = 1'-0"



4 WEST ELEVATION  
DP-6.231 1/8" = 1'-0"

AVERAGE EXISTING GRADE  
 FINISH FLOOR = 300.7' ± = 91.14 M  
 MAX BUILDING HEIGHT = 104.14 M  
 Z = 1.44 ± 3



KEY PLAN

MATERIAL LEGEND:

| MATERIAL          | COLOR        |
|-------------------|--------------|
| FL FLASHING       | LIGHT GREY   |
| RA RAILING        | RAILING      |
| TR TRIM           | BLACK        |
| TR2 TRIM          | LIGHT GREY   |
| FA FASCIA         | LIGHT GREY   |
| C1 HARD SIDING    | WHITE        |
| C2 HARD BRICKS    | DARK GREY    |
| C3 HARD SIDING    | EVENING BLUE |
| C4 HARD PANEL     | DARK GREY    |
| F WINDOWS         | BLACK        |
| D DOORS           | BLACK        |
| RD1H ROLL-UP DOOR | DARK GREY    |
| RD3H ROLL-UP DOOR | WHITE        |
| RS ROOF SHINGLE   | DARK GREY    |

NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



Kasian Architecture  
 Interior Design  
 and Planning Ltd

1500 West Georgia Street, Suite 1665  
 Vancouver, BC Canada V6G 2Z9  
 T 604 683 4145 F 604 683 2827  
 www.kasian.com



APR 11 2023

| NO. | DATE       | DESCRIPTION            | BY |
|-----|------------|------------------------|----|
| 1   | 2023-04-11 | ISSUED FOR DP REVISION |    |
| 2   | 2023-04-11 | ISSUED FOR DP REVISION |    |
| 3   | 2023-01-11 | ISSUED FOR DP REVISION |    |
| 4   | 2022-12-09 | ISSUED FOR DP REVISION |    |
| 5   | 2022-11-10 | ISSUED FOR DP REVISION |    |
| 6   | 2022-09-24 | ISSUED FOR DP REVISION |    |
| 7   | 2022-09-24 | ISSUED FOR DP REVISION |    |
| 8   | 2022-09-24 | ISSUED FOR DP REVISION |    |
| 9   | 2022-09-24 | ISSUED FOR DP REVISION |    |
| 10  | 2023-04-11 | ISSUED FOR DP REVISION |    |

DATE: 11/11/2023  
 REVISION: DRAWING ISSUE

CONSULTANT

FORMIT STAMP

SCALE

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PROJECT

16651-19AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE  
 BUILDING-23 (SITE-B)  
 ELEVATIONS

DRAWING ISSUE

ISSUED FOR DP REVISION

PROJECT NO: 722009

PLLOT DATE: 11-04-2023

SCALE: 1/8" = 1'-0"

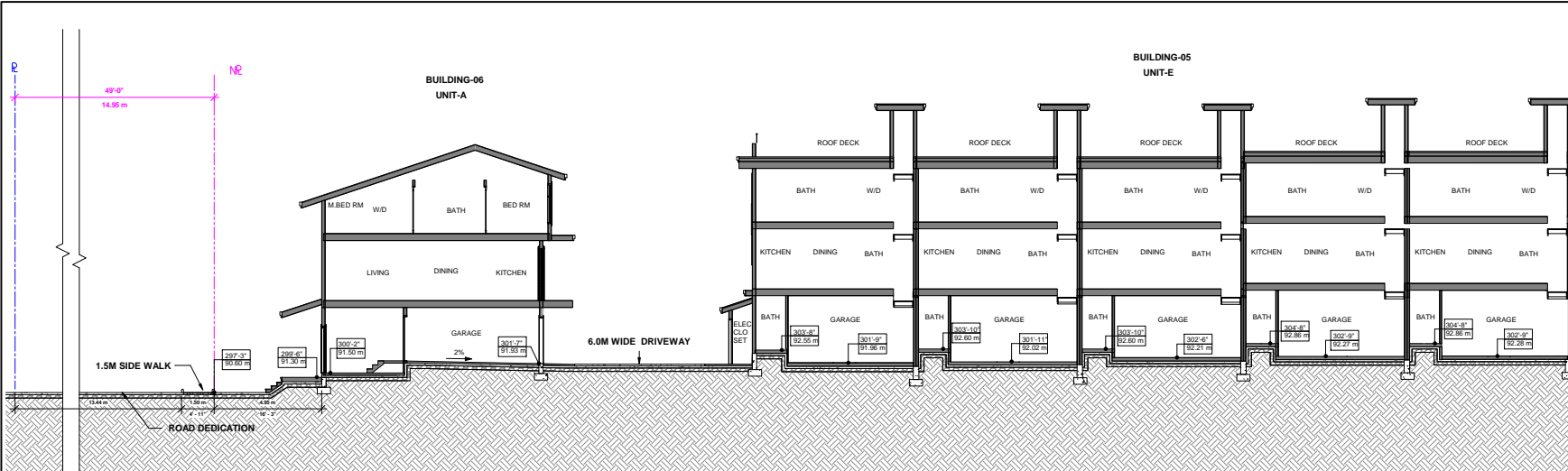
DRAWING NO: DP-6.231

REVISION: CY

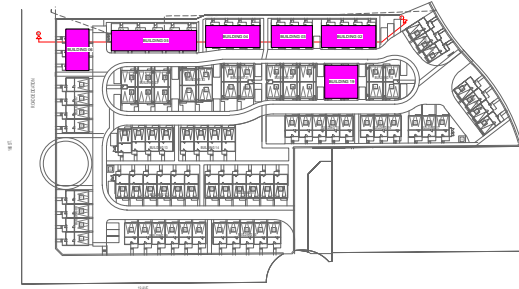
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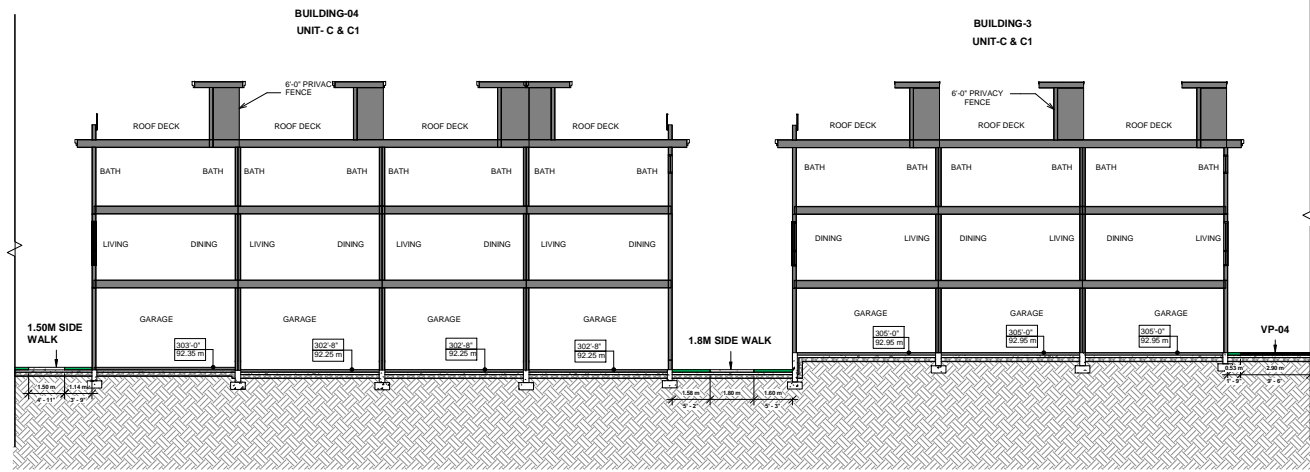




1 SECTION 01\_PART-01  
DP-4.04/ 1/8" = 1'-0"



KEY PLAN



2 SECTION 01\_PART-02  
DP-4.04/ 1/8" = 1'-0"



|     |            |                               |
|-----|------------|-------------------------------|
| 10  | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9   | 2023-02-04 | ISSUED FOR DP REVISION        |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |
| 7   | 2022-12-20 | ISSUED FOR DP REVISION        |
| 6   | 2022-11-03 | ISSUED FOR DP REVISION        |
| 5   | 2022-09-24 | ISSUED FOR DP REVISION        |
| 4   | 2022-09-24 | ISSUED FOR DP REVISION        |
| 3   | 2021-12-03 | ISSUED FOR DP REVISION        |
| 2   | 2021-06-04 | ISSUED FOR DP SUBMISSION      |
| 1   | 2020-02-08 | ISSUED FOR PRELIMINARY DESIGN |
| REV | 11-17-2020 | REVISION - DRAWING ISSUE      |

CONSULTANT

FORMAT STAMP

SCALE

PROJECT

16651-19AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE

SITE-B-SITE SECTION-1

DRAWING ISSUE

ISSUED FOR DP REVISION

PROJECT NO: 722009

PLOT DATE: 11-04-2023

SCALE: As indicated

DRAWING NO: DP-4.04

DRAWN: SS

REVIEWED: CY

REVISION

10





| NO.  | DATE       | DESCRIPTION                   |
|------|------------|-------------------------------|
| 10   | 2023-04-11 | ISSUED FOR DP REVISION        |
| 9    | 2023-03-04 | ISSUED FOR DP REVISION        |
| 8    | 2023-01-11 | ISSUED FOR DP REVISION        |
| 7    | 2022-12-09 | ISSUED FOR DP REVISION        |
| 6    | 2022-11-10 | ISSUED FOR DP REVISION        |
| 5    | 2022-09-24 | ISSUED FOR DP REVISION        |
| 4    | 2022-09-24 | ISSUED FOR DP REVISION        |
| 3    | 2021-12-03 | ISSUED FOR DP REVISION        |
| 2    | 2021-06-04 | ISSUED FOR DP SUBMISSION      |
| 1    | 2020-02-08 | ISSUED FOR PRELIMINARY DESIGN |
| REV. | 11/11/2020 | REVISION - DRAWING ISSUE      |

CONSULTANT: REVIEW

FORMAT STAMP

SCALE

PROJECT

16651-19AVE TOWNHOUSES

16620, 16648 & 16674-20 AVE, 1940-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20AVE, SURREY, B.C

DRAWING TITLE

SITE-B-SITE SECTION-2

DRAWING ISSUE

ISSUED FOR DP REVISION

PROJECT NO. 722009

PLOT DATE 11-04-2023

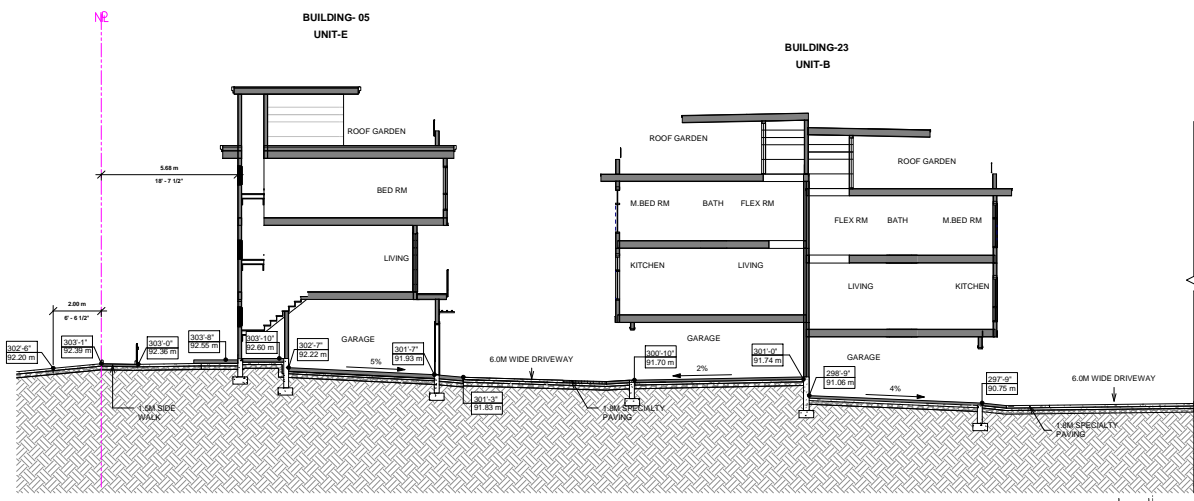
DRAWN SS

SCALE As indicated

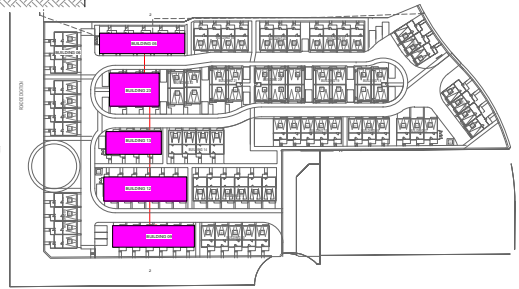
REVIEWED CY

DRAWING NO. DP-4.06

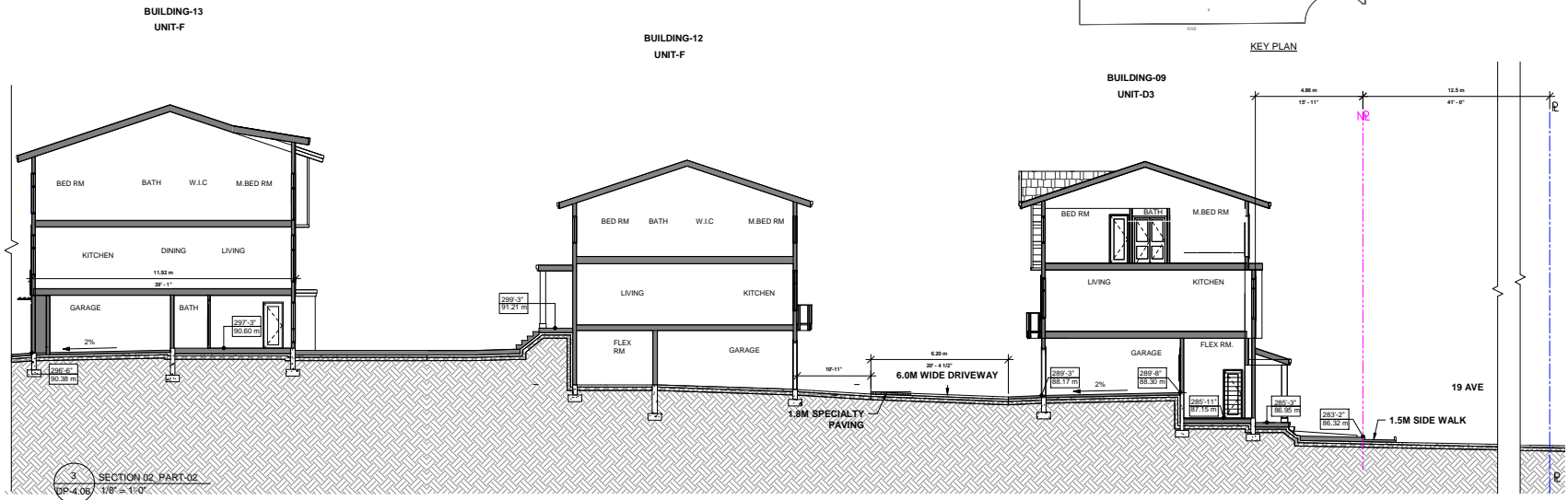
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1 SECTION 02 PART-01  
DP-4.06 1/8" = 1'-0"



KEY PLAN



3 SECTION 02 PART-02  
DP-4.06 1/8" = 1'-0"

PROJECT NO. 722009

PLOT DATE 11-04-2023

DRAWN SS

SCALE As indicated

REVIEWED CY

DRAWING NO. DP-4.06

10

SEAL:

| NO. | DATE      | REVISION DESCRIPTION               | DR. |
|-----|-----------|------------------------------------|-----|
| 12  | 23.APR.04 | NEW SITE PLAN                      | CO  |
| 11  | 23.JAN.20 | REV. PUBLIC PLAZA / MATERIALS PLAN | CO  |
| 10  | 23.JAN.13 | COORDINATE ARCHIST INFORMATION     | CO  |
| 9   | 22.FEB.23 | NEW SITE PLAN                      | CO  |
| 8   | 22.MAY.13 | NEW SITE PLAN / CITY COMMENTS      | CO  |
| 7   | 22.AUG.20 | REMOVE BIOWALL FROM 20TH           | MAN |
| 6   | 23.AUG.20 | NEW SITE PLAN / CITY COMMENTS      | CO  |
| 5   | 22.MAY.27 | UPDATE PER NEW SITE PLAN           | CLS |
| 4   | 22.APR.18 | NEW SITE PLAN                      | CO  |
| 3   | 21.JUN.10 | NEW SITE PLAN                      | CO  |
| 2   | 21.JAN.09 | CITY COMMENTS                      | CO  |
| 1   | 21.JUN.02 | NEW SITE PLAN / CIVIL COORDINATION | CO  |

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

**GRANDVIEW ASSEMBLY TOWNHOUSE, SITE A**

16666 - 19TH AVENUE  
SURREY

DRAWING TITLE:

**LANDSCAPE PLAN**

DATE: 21.MAY.11 DRAWING NUMBER:

SCALE: 1:250

DRAWN: JR

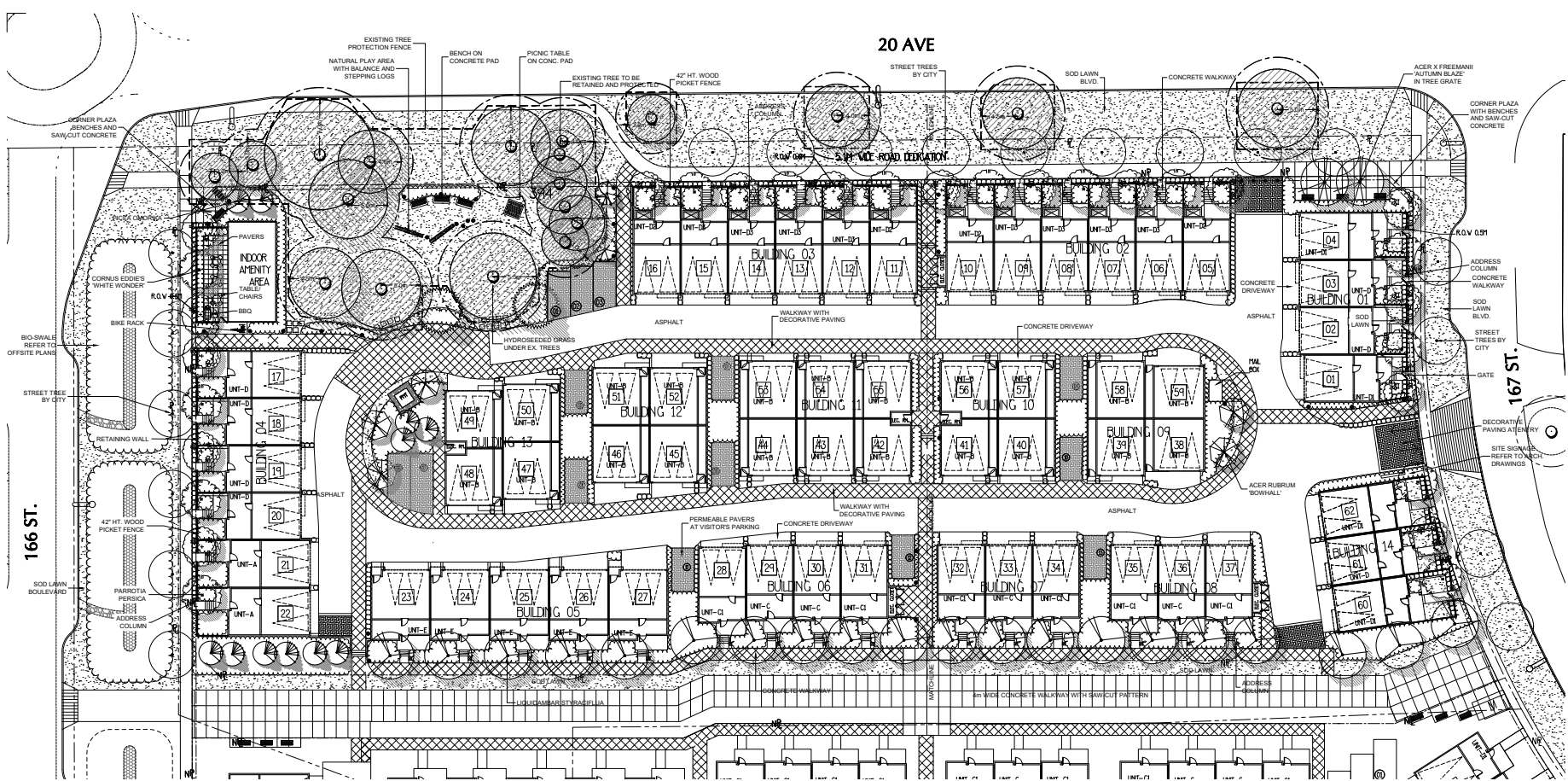
DESIGN: JR

CHKD: MCV

**L1**

OF 7

PMG PROJECT NUMBER: 20-102



**PLANT SCHEDULE**

| KEY | QTY | BOTANICAL NAME                               | COMMON NAME                 | PMG PROJECT NUMBER: 20-102 | PLANTED SIZE / REMARKS |
|-----|-----|--|-----------------------------|----------------------------|------------------------|
|     | 5   | ACER RUBRUM 'BOWHALL'                        | COLUMNAR BOWHALL MAPLE      |                            | 6CM CAL; 2M STD; BBB   |
|     | 2   | ACER X FREEMANI 'AUTUMN GLAZE' IN TREE GRATE | AUTUMN GLAZE MAPLE          |                            | 6CM CAL; 1.5M STD; BBB |
|     | 2   | CHAMAECYPARIS NOOTKATENSIS 'PENDULA'         | WEeping NOOTKA CYPRESS      |                            | 2.5M HT; BBB           |
|     | 14  | CORNUS EDDIES 'WHITE WONDER'                 | EDDIES WHITE WONDER DOGWOOD |                            | 5CM CAL; 6TD FORM; BBB |
|     | 20  | LIQUIDAMBAR STYRACIUM                        | SWEET GUM                   |                            | 6CM CAL; 2M STD; BBB   |
|     | 2   | METASEQUOIA GLYPTOSTROBODES                  | DAWN REDWOOD                |                            | 3.0M HT; BBB           |
|     | 16  | PARROTIA PERSICA                             | PERSIAN IRONWOOD            |                            | 5CM CAL; 1.5M STD; BBB |
|     | 11  | PICEA OMORIKA                                | SERBIAN SPRUCE              |                            | 2.5M HT; BBB           |

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CAN1200. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

- PERMEABLE PAVERS AT VISITOR'S PARKING; AQUARIUS STANDARD; DESERT SAND; HERRINGBONE PATTERN
- STAMPED CONCRETE AT WALKWAYS; HERRINGBONE PATTERN
- CONCRETE PAVERS AT ROAD ENDS; ABBOTSFORD CONCRETE STANDARD; DESERT SAND; HERRINGBONE PATTERN WITH CONCRETE BORDER



SEAL:

| NO. | DATE      | REVISION DESCRIPTION               | DR. |
|-----|-----------|------------------------------------|-----|
| 12  | 23.APR.04 | NEW SITE PLAN                      | COO |
| 11  | 23.JAN.20 | REV. PUBLIC PLAZA / MATERIALS PLAN | COO |
| 10  | 23.JAN.13 | COORDINATE ADDRESS INFORMATION     | COO |
| 9   | 22.FEB.23 | NEW SITE PLAN                      | COO |
| 8   | 22.MAY.13 | NEW SITE PLAN / CITY COMMENTS      | COO |
| 7   | 22.AUG.20 | REMOVE BIOWALK FROM 20TH           | MMH |
| 6   | 23.AUG.20 | NEW SITE PLAN / CITY COMMENTS      | COO |
| 5   | 22.MAY.27 | UPDATE PER NEW SITE PLAN           | CLS |
| 4   | 22.APR.18 | NEW SITE PLAN                      | FI  |
| 3   | 21.JUN.20 | NEW SITE PLAN                      | FI  |
| 2   | 21.JUN.20 | CITY COMMENTS                      | FI  |
| 1   | 21.JUN.20 | NEW SITE PLAN / CIVIL COORDINATION | FI  |

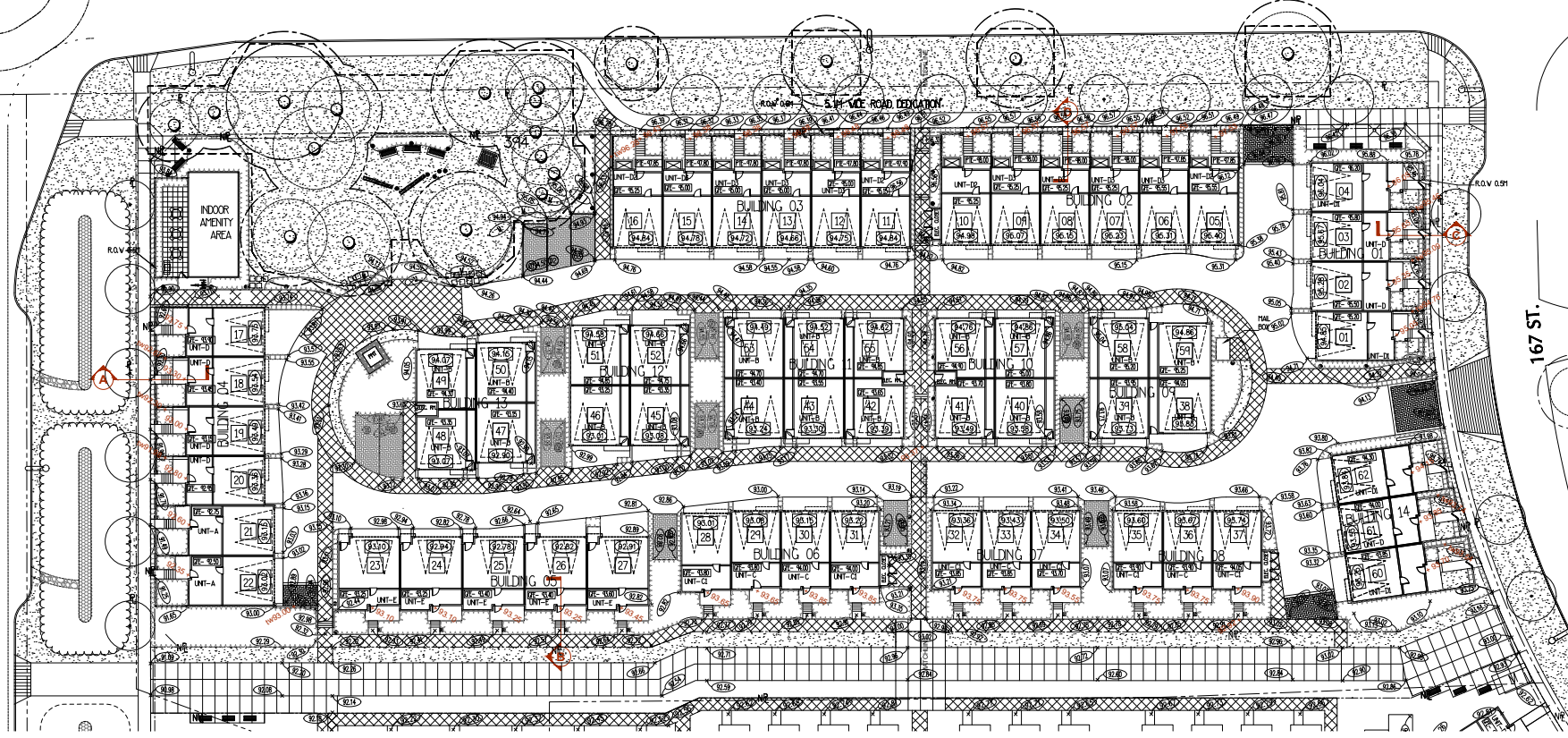
CLIENT:

PROJECT:  
**GRANDVIEW ASSEMBLY TOWNHOUSE, SITE A**  
16666 - 19TH AVENUE SURVEY

DRAWING TITLE:  
**LANDSCAPE GRADING PLAN**

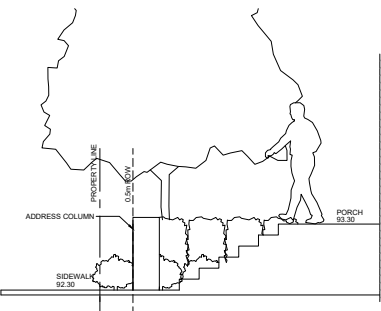
DATE: 21.MAY.11 DRAWING NUMBER:  
SCALE: 1:250  
DRAWN: JR  
DESIGN: JR  
CHKD: MCV OF 7

**L3**

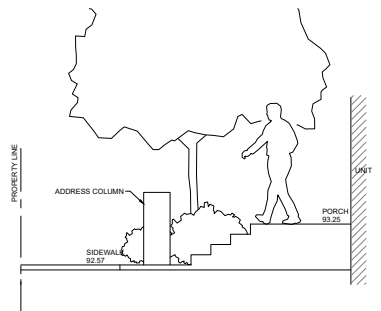


166 ST.

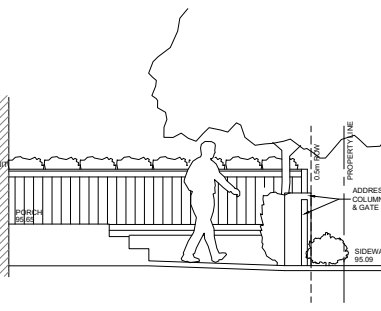
167 ST.



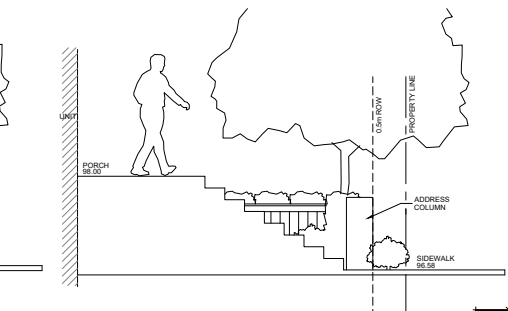
**A** FRONT PORCH TYPICAL CONDITION WEST  
N.T.S.



**B** FRONT PORCH TYPICAL CONDITION SOUTH  
N.T.S.



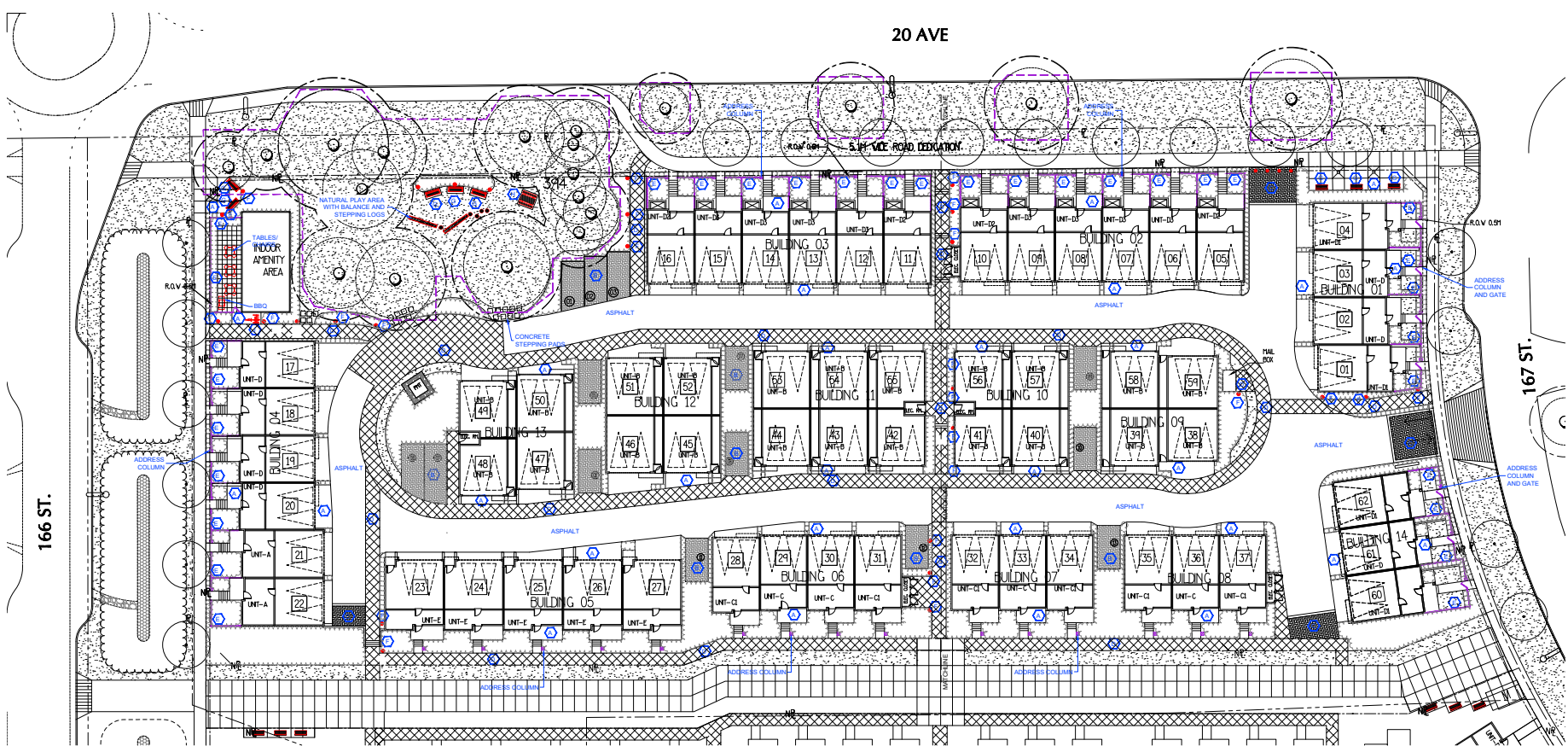
**C** FRONT PORCH TYPICAL CONDITION EAST  
N.T.S.



**D** FRONT PORCH TYPICAL CONDITION NORTH  
N.T.S.



SEAL:



R&V 0.91

ADDRESS COLUMN AND GATE

167 ST.

ADDRESS COLUMN AND GATE

166 ST.

| NO. | DATE      | REVISION DESCRIPTION               | DR. |
|-----|-----------|------------------------------------|-----|
| 12  | 23.APR.04 | NEW SITE PLAN                      | CO  |
| 11  | 23.JAN.20 | REV. PUBLIC PLAZA / MATERIALS PLAN | CO  |
| 10  | 23.JAN.13 | COORDINATE ADDRESS INFORMATION     | CO  |
| 9   | 22.FEB.12 | NEW SITE PLAN                      | CO  |
| 8   | 22.MAY.13 | NEW SITE PLAN / CITY COMMENTS      | CO  |
| 7   | 22.AUG.10 | REMOVE SIGNAGE FROM 20TH           | MM  |
| 6   | 23.AUG.08 | NEW SITE PLAN / CITY COMMENTS      | CO  |
| 5   | 22.MAY.17 | UPDATE PER NEW SITE PLAN           | CLS |
| 4   | 22.APR.18 | NEW SITE PLAN                      | PL  |
| 3   | 21.JUN.10 | NEW SITE PLAN                      | PL  |
| 2   | 21.JUN.09 | CITY COMMENTS                      | JR  |
| 1   | 21.JUN.02 | NEW SITE PLAN / CIVIL COORDINATION | JR  |

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:  
**GRANDVIEW ASSEMBLY TOWNHOUSE, SITE A**

**16666 - 19TH AVENUE SURVEY**

DRAWING TITLE:  
**LANDSCAPE MATERIALS PLAN**

DATE: 23.JAN.20 DRAWING NUMBER:  
SCALE: 1:250  
DRAWN: JR  
DESIGN: JR  
CHKD: MCV OF 7



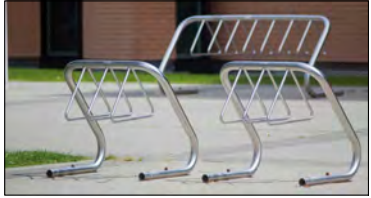
BENCHES: WISHBONE INDUSTRIES, MODENA PARK BENCH MAL-6, IN TEXTURED SILVER



TABLE & CHAIRS: MAGLIN BISTRO TABLE FR11700-RD SERIES, CHAIR FR11700-MSF-A SERIES 2, IN SILVER



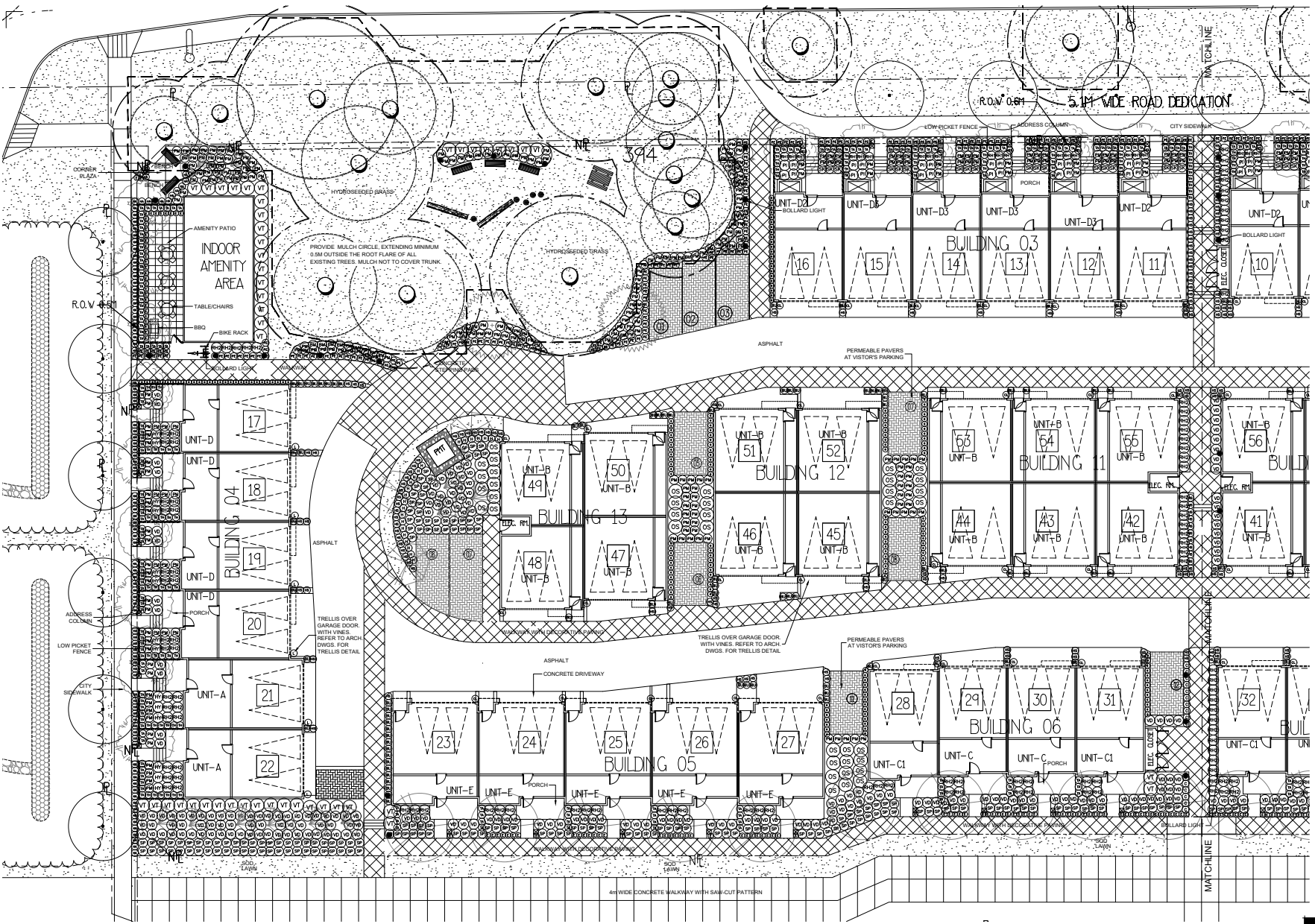
PICNIC TABLE: MAGLIN PARKER PICNIC TABLE PKPTW-6, IN BLACK



BIKE RACK: CORA EXPO 8 BIKE CAPACITY W5008, IN BLACK

| KEY      | ITEM                 | DESCRIPTION   |
|----------|----------------------|---|
| (Symbol) | CONCRETE             | BROOM FINISHED  |
| (Symbol) | PERMEABLE PAVERS     | AQUAPAVE STANDARD, DESERT SAND, HERRINGBONE PATTERN                                 |
| (Symbol) | CONCRETE UNIT PAVERS | ABBOTSFORD CONCRETE STANDARD, DESERT SAND, HERRINGBONE PATTERN WITH CONCRETE BORDER |
| (Symbol) | STAMPED CONCRETE     | STAMPED CONCRETE AT WALKWAYS: HERRINGBONE PATTERN; NATURAL COLOUR                   |
| (Symbol) | FENCE                | 42" HT. WOOD PICKET. REFER TO DETAIL  |
| (Symbol) | LIGHT BOLLARD        | BY OTHERS   |
| (Symbol) | BENCH                | WISHBONE INDUSTRIES, MODENA PARK BENCH MAL-6, IN TEXTURED SILVER                    |
| (Symbol) | PICNIC TABLE         | MAGLIN 200 SERIES CLUSTER SEATING, ON CONCRETE PAD                                  |
| (Symbol) | BIKE RACK            | BIKE RACK: CORA EXPO W5008, BLACK   |

SEAL:



| NO. | DATE      | REVISION DESCRIPTION               | DR. |
|-----|-----------|------------------------------------|-----|
| 12  | 23.APR.04 | NEW SITE PLAN                      | COO |
| 11  | 23.JAN.20 | REV. PUBLIC PLAZA / MATERIALS PLAN | COO |
| 10  | 23.JAN.11 | COORDINATE ARBORIST INFORMATION    | COO |
| 9   | 22.OCT.27 | NEW SITE PLAN                      | COO |
| 8   | 22.MAY.13 | NEW SITE PLAN / CITY COMMENTS      | COO |
| 7   | 22.AUG.20 | REMOVE SIDEWALK FROM 20TH          | MAN |
| 6   | 23.AUG.20 | NEW SITE PLAN / CITY COMMENTS      | COO |
| 5   | 22.MAY.27 | UPDATE PER NEW SITE PLAN           | CLS |
| 4   | 22.APR.18 | NEW SITE PLAN                      | TI  |
| 3   | 21.JUN.20 | NEW SITE PLAN                      | TI  |
| 2   | 21.JUN.09 | CITY COMMENTS                      | TI  |
| 1   | 21.JUN.02 | NEW SITE PLAN / CIVIL COORDINATION | TI  |

CLIENT:

PROJECT:  
**GRANDVIEW ASSEMBLY TOWNHOUSE, SITE A**

16666 - 19TH AVENUE  
SURREY

DRAWING TITLE:  
**SHRUB PLAN**

DATE: 21.MAY.11 DRAWING NUMBER:  
SCALE: 1:150  
DRAWN: JR  
DESIGN: JR  
CHKD: MCV OF 7





SCALE:

| PLANT SCHEDULE   |     |   | PMG PROJECT NUMBER: 20-102                |                        |
|------------------|-----|---|---|------------------------|
| KEY              | QTY | BOTANICAL NAME                          | COMMON NAME                               | PLANTED SIZE / REMARKS |
| <b>SHRUB</b>     |     |   |   |                        |
| 82               |     | AZALEA JAPONICA 'HINO CRIMSON'          | AZALEA, SINGLE DEEP CRIMSON               | #2 POT; 25CM           |
| 140              |     | BUXUS MICROPHYLLA 'WINTER GEM'          | LITTLE LEAF BOX                           | #3 POT; 40CM           |
| 36               |     | HYDRANGEA SIERRATA 'BLUEBIRD'           | MOUNTAIN HYDRANGEA; LACECAP BLUE          | #3 POT; 40CM           |
| 71               |     | OSMANTHUS X BURKWOODII                  | BURKWOOD OSMANTHUS                        | #3 POT; 50CM           |
| 48               |     | PIERIS JAPONICA 'MOUNTAIN FIRE'         | JAPANESE ANDROMEDA                        | #2 POT; 30CM           |
| 36               |     | RHODODENDRON 'BOW BELLS'                | RHODODENDRON, PINK                        | #2 POT; 20CM           |
| 134              |     | RHODODENDRON 'UNIQUE'                   | RHODODENDRON, YELLOW; APRIL DWARF SOIRAMA | #3 POT; 50CM           |
| 36               |     | SPYRÆA JAPONICA 'LITTLE PRINCESS'       | LITTLE PRINCESS SPIRÆA; PINK              | #2 POT; 20CM           |
| 269              |     | TAKEUS X MEDIA 'M. EDIE'                | EDDIE'S YEW                               | #2 POT; 40CM           |
| 158              |     | TRJAU OCCIDENTALIS 'SMARAGD'            | EMERALD GREEN CEDAR                       | 1.0M S&B               |
| 278              |     | VIBURNUM DAVIDII                        | DAVID'S VIBURNUM                          | 1.8M HT. S&B           |
| 67               |     | VIBURNUM TINUS 'SPRING BOUQUET'         | DWARF VIBURNUM                            | #3 POT; 50CM           |
| <b>GRASS</b>     |     |   |   |                        |
| 26               |     | CAREX OSHIMENSIS 'EVERGOLD'             | EVERGOLD JAPANESE SEDGE                   | #1 POT                 |
| 97               |     | HAKONEGLORA MACRA 'NICOLAS'             | NICOLAS JAPANESE FOREST GRASS             | #1 POT                 |
| 254              |     | HELICTOTRICHON SEMPERVIRENS             | BLUE OAT GRASS                            | #1 POT                 |
| 218              |     | PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' | LITTLE BUNNY FOUNTAIN GRASS               | #1 POT                 |
| <b>VINE</b>      |     |   |   |                        |
| 49               |     | CLEMATIS JACKMANI 'RUBRA'               | CLEMATIS, CRIMSON                         | #3 POT; 75CM; STAKED   |
| 13               |     | LONICERA JAPONICA                       | HONEYSUCKLE                               | #3 POT; 75CM; STAKED   |
| <b>PERENNIAL</b> |     |   |   |                        |
| 362              |     | ECHINACEA PURPUREA                      | PURPLE CONEFLOWER                         | 15CM POT               |
| 11               |     | HELLEBORUS X HYBRIDUS                   | LENTEN ROSE                               | 15CM POT               |
| 42               |     | HEMEROCALLIS 'STELLA D'OR'              | DAWGLY YELLOW                             | #1 POT; 1-2 FAN        |
| <b>GC</b>        |     |   |   |                        |
| 251              |     | GALLIUM TERRESTRIS                      | SALAL                                     | #1 POT; 25CM           |
| 378              |     | POLYSTICHUM MUNITUM                     | WESTERN SWORD FERN                        | #1 POT; 25CM           |

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DIMENSIONS, CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



| NO. | DATE      | REVISION DESCRIPTION               | DR. |
|-----|-----------|------------------------------------|-----|
| 12  | 22.APR.04 | NEW SITE PLAN                      | DD  |
| 11  | 23.JAN.20 | REV. PUBLIC PLAZA / MATERIALS PLAN | DD  |
| 10  | 23.JAN.13 | COORDINATE AIRBORNE INFORMATION    | DD  |
| 9   | 22.FEB.12 | NEW SITE PLAN                      | DD  |
| 8   | 22.MAY.13 | NEW SITE PLAN / CITY COMMENTS      | DD  |
| 7   | 22.AUG.10 | REMOVE SIGNAGE FROM 20TH           | MM  |
| 6   | 23.AUG.08 | NEW SITE PLAN / CITY COMMENTS      | DD  |
| 5   | 22.MAY.27 | UPDATE PER NEW SITE PLAN           | CLS |
| 4   | 22.APR.18 | NEW SITE PLAN                      | DI  |
| 3   | 21.JUN.10 | NEW SITE PLAN                      | DI  |
| 2   | 21.JUN.09 | CITY COMMENTS                      | DI  |
| 1   | 21.JUN.02 | NEW SITE PLAN / CIVIL COORDINATION | JR  |

CLIENT:

PROJECT:  
**GRANDVIEW ASSEMBLY TOWNHOUSE, SITE A**

16666 - 19TH AVENUE  
SURREY

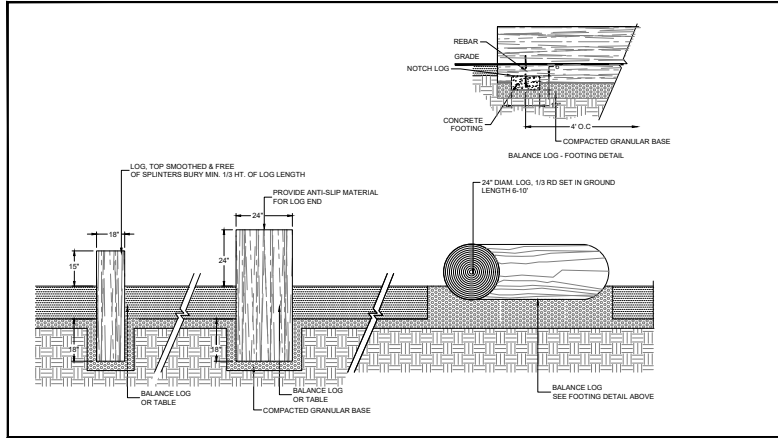
DRAWING TITLE:  
**SHRUB PLAN**

DATE: 21.MAY.11 DRAWING NUMBER:  
SCALE: 1:150  
DRAWN: JR  
DESIGN: JR  
CHKD: MCY

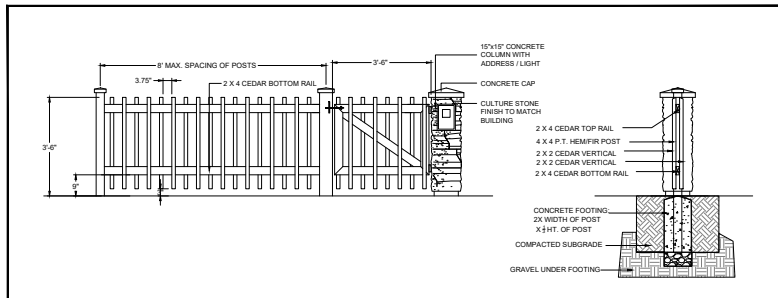
**L6**

OF 7

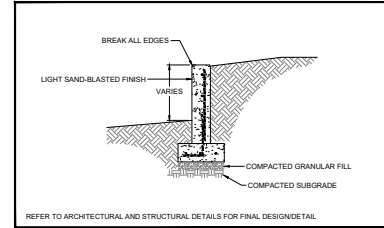
SEAL:



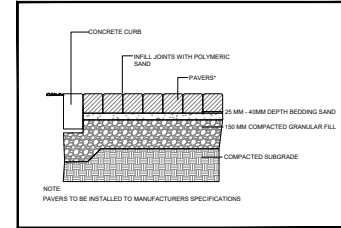
**1 BALANCE / STEPPING LOGS**  
1/2"=1'-0"



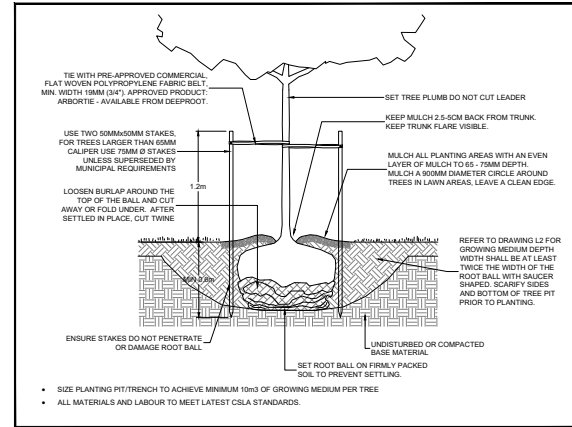
**2 42" HT. WOOD PICKET FENCE WITH GATE / COLUMN**  
1/2"=1'-0"



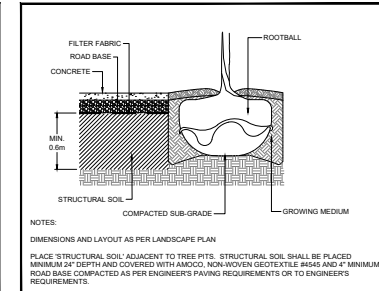
**3 P.I.P. CONCRETE RETAINING WALL**  
1/2"=1'-0"



**5 PAVERS ON GRADE**  
1"=1'-0"



**4 TREE PLANTING DETAIL**  
1/2"=1'-0"



**6 STRUCTURAL SOIL SECTION**  
1/2"=1'-0"

| NO. | DATE      | REVISION DESCRIPTION               | DR. |
|-----|-----------|------------------------------------|-----|
| 10  | 22.APR.04 | NEW SITE PLAN                      | CO  |
| 11  | 23.JAN.20 | REV. PUBLIC PLACE / MATERIALS PLAN | CO  |
| 12  | 23.JAN.21 | COORDINATE ARBORIST INFORMATION    | CO  |
| 13  | 22.FEB.22 | NEW SITE PLAN                      | CO  |
| 14  | 22.MAY.23 | NEW SITE PLAN / CITY COMMENTS      | CO  |
| 15  | 22.AUG.23 | REMOVE BIOWASH FROM 20TH           | MM  |
| 16  | 22.AUG.23 | NEW SITE PLAN / CITY COMMENTS      | CO  |
| 17  | 22.AUG.27 | UPDATE PER NEW SITE PLAN           | CLS |
| 18  | 22.APR.28 | NEW SITE PLAN                      | CL  |
| 19  | 21.JUN.20 | NEW SITE PLAN                      | CL  |
| 20  | 21.JAN.09 | CITY COMMENTS                      | CL  |
| 21  | 21.JUN.02 | NEW SITE PLAN / CIVIL COORDINATION | JR  |

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:  
**GRANDVIEW ASSEMBLY TOWNHOUSE, SITE A**

16666 - 19TH AVENUE  
SURREY

DRAWING TITLE:  
**LANDSCAPE DETAILS**

DATE: 21.MAY.11 DRAWING NUMBER:  
SCALE: AS SHOWN  
DRAWN: JR  
DESIGN: JR  
CHKD: MCY

**L7**

OF 7

SEAL:

| NO. | DATE      | REVISION DESCRIPTION               | DR. |
|-----|-----------|------------------------------------|-----|
| 10  | 23 APR 04 | NEW SITE PLAN                      | EO  |
| 11  | 23 JAN 05 | REV. PUBLIC PLANS / MATERIALS PLAN | EO  |
| 8   | 23 JAN 04 | NEW SITE PLAN                      | EO  |
| 7   | 22 NOV 03 | NEW SITE PLAN                      | EO  |
| 6   | 22 SEP 03 | NEW SITE / CITY COMMENTS           | EO  |
| 5   | 22 AUG 03 | NEW SITE PLAN / CITY COMMENTS      | EO  |
| 4   | 22 MAY 03 | NEW SITE PLAN / CITY COMMENTS      | EO  |
| 3   | 21 OCT 02 | NEW SITE PLAN / CITY COMMENTS      | EO  |
| 2   | 23 JUN 02 | NEW SITE PLAN                      | EO  |
| 1   | 21 APR 00 | NEW SITE PLAN                      | EO  |

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

**TOWNHOUSE DEVELOPMENT SITE B**

16651 19TH AVENUE  
SURREY, BC

SURVEY FILE NO. 20-0162  
DRAWING TITLE:

**LANDSCAPE PLAN**

DATE: 20 SEP 18 DRAWING NUMBER:

SCALE: 1:300

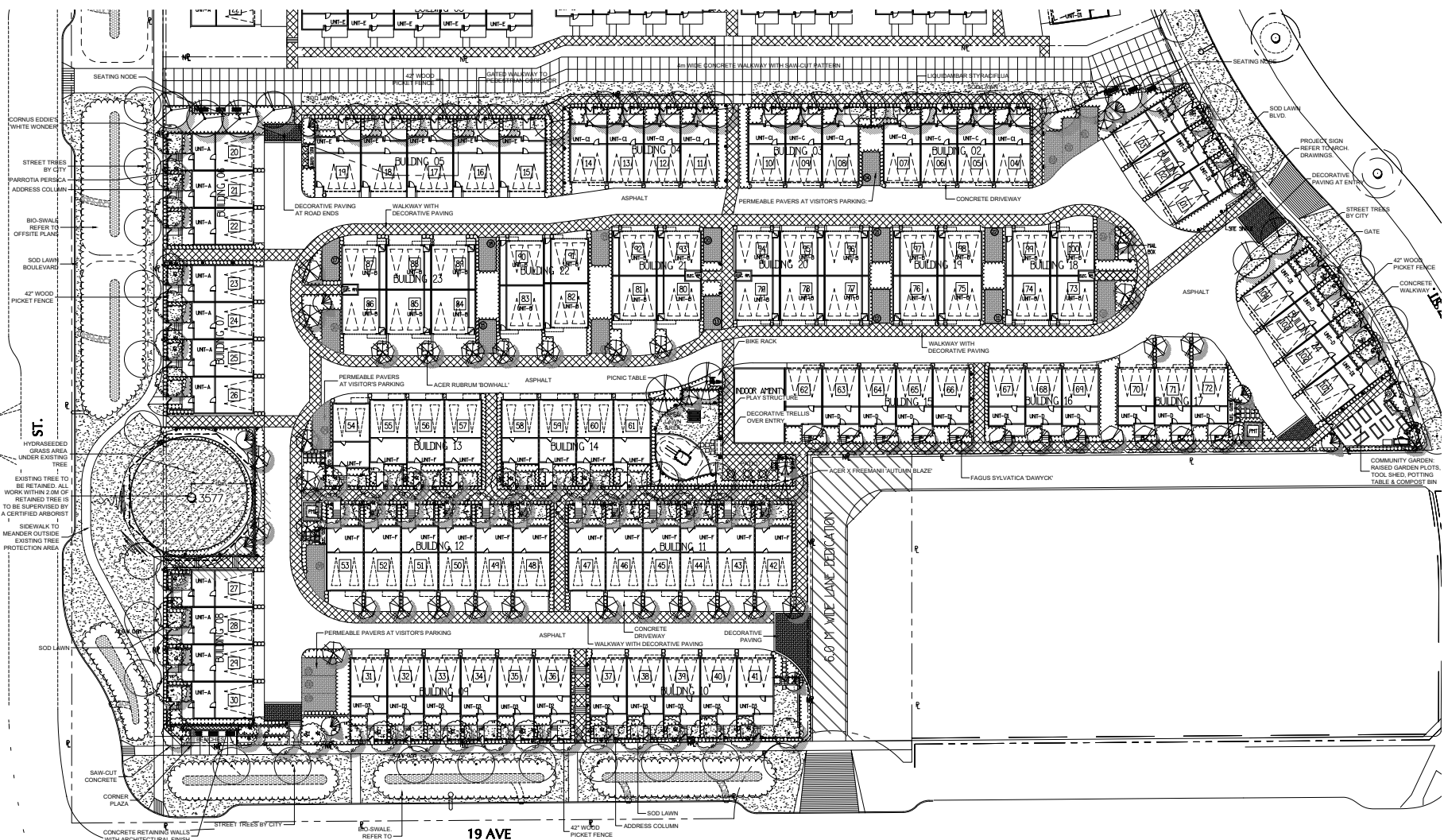
DRAWN: DO

DESIGN: DO

CHKD: MCV

**L1**

OF 8



| PLANT SCHEDULE |     |                                    |                              | PMG PROJECT NUMBER: 20-103 |
|----------------|-----|------------------------------------|------------------------------|----------------------------|
| KEY            | QTY | BOTANICAL NAME                     | COMMON NAME                  | PLANTED SIZE / REMARKS     |
| 30             |     | ACER RUBRUM 'BOWHALL'              | COLLARIAN BOWHALL MAPLE      | 6CM CAL 2M STD: B&B        |
| 1              |     | ACER X 'FRIEMANN' AUTUMN BLAZE'    | AUTUMN BLAZE MAPLE           | 6CM CAL 1.8M STD: B&B      |
| 4              |     | CHAMAECYPARIS NODIFLORIS 'PENDULA' | WEeping HOOTHIA CYPRESS      | 30 HT: B&B                 |
| 28             |     | CORNUS EDGEE'S WHITE WONDER        | EDGEE'S WHITE WONDER DOGWOOD | 6CM CAL STD FORM: B&B      |
| 13             |     | FAGUS SYLVATICA 'DAWYCK'           | DAWYCK BEECH                 | 6CM CAL B&B                |
| 26             |     | LIQUIDAMBAR STRYACIFLUA            | SWEET GUM                    | 6CM CAL 2M STD: B&B        |
| 29             |     | PARROTIA PERECA                    | PERSIAN BIRCHWOOD            | 6CM CAL 1.8M STD: B&B      |
| 8              |     | PICEA OXONICA                      | SERBIAN SPRUCE               | 30 HT: B&B                 |

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED ARE PER COLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \*\* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \*\*\* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. \*\* AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \*\* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF 48 HRS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BC-SOL-GS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



SEATING NODE  
STREET TREES BY CITY  
PARROTIA PERECA ADDRESS COLUMN  
80-SWALE REFER TO OFFSITE PLANS  
SOD LAWN BOULEVARD  
42\"/>

42\"/>

SEATING NODE  
SOD LAWN BLVD  
PROJECT SIGN REFER TO ARCH. DRAWING  
DECORATIVE PAVING AT END  
STREET TREES BY CITY  
GATE  
42\"/>

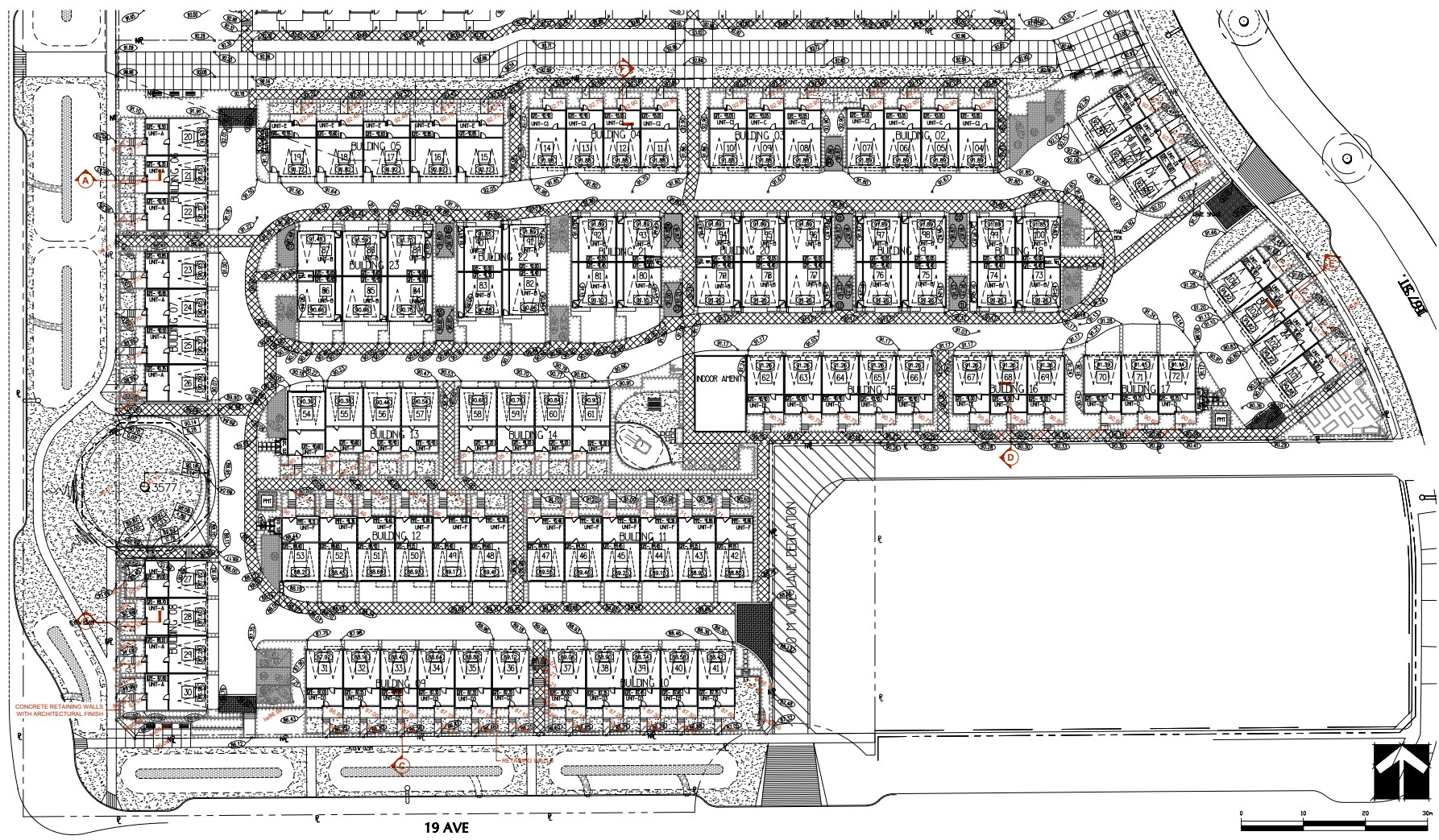
ST.  
HYDRASEEDED GRASS AREA UNDER EXISTING TREE  
EXISTING TREE TO BE RETAINED. ALL WORK WITHIN 2.0M OF RETAINED TREE IS TO BE SUPERVISED BY A CERTIFIED ARBORIST  
SIDEWALK TO MEANDER OUTSIDE EXISTING TREE PROTECTION AREA  
SOD LAWN  
SAW-CUT CONCRETE CORNER PLAZA  
CONCRETE RETAINING WALLS WITH ARCHITECTURAL FINISH  
STREET TREES BY CITY  
80-SWALE REFER TO OFFSITE PLANS

19 AVE  
ADDRESS COLUMN  
42\"/>

COMMUNITY GARDEN: RAISED GARDEN PLOTS, TOOL SHED, POTTING TABLE & COMPOST BIN  
6.0M WIDE LANE DEVIATION  
ACER X 'FRIEMANN' AUTUMN BLAZE'  
FAGUS SYLVATICA 'DAWYCK'

SCALE:

166 ST.



| NO. | DATE      | REVISION DESCRIPTION               | DR. |
|-----|-----------|------------------------------------|-----|
| 10  | 23 APR 04 | NEW SITE PLAN                      | DO  |
| 9   | 23 JAN 03 | REV. PUBLIC PLACES/FURNITURE/PLANS | DO  |
| 8   | 23 JAN 04 | NEW SITE PLAN                      | DO  |
| 7   | 22 NOV 08 | NEW SITE PLAN                      | DO  |
| 6   | 23 SEP 03 | NEW SITE / CITY COMMENTS           | DO  |
| 5   | 22 AUG 03 | NEW SITE PLAN / CITY COMMENTS      | DO  |
| 4   | 22 MAY 03 | NEW SITE PLAN / CITY COMMENTS      | DO  |
| 3   | 21 OCT 05 | NEW SITE PLAN / CITY COMMENTS      | DO  |
| 2   | 23 JUN 03 | NEW SITE PLAN                      | DO  |
| 1   | 21 APR 00 | NEW SITE PLAN                      | DO  |

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

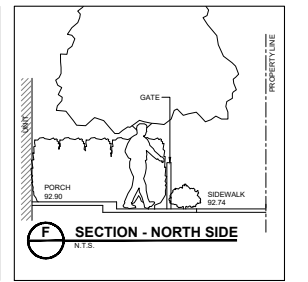
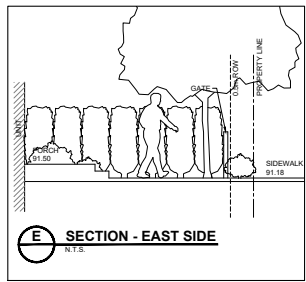
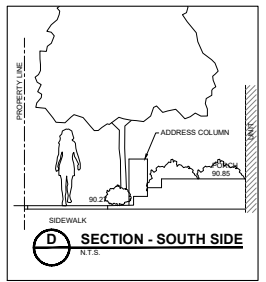
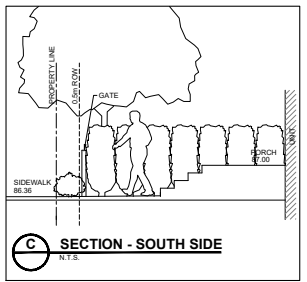
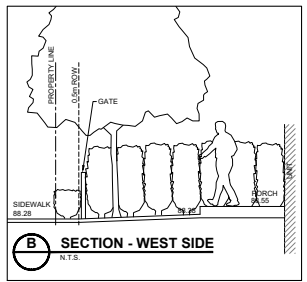
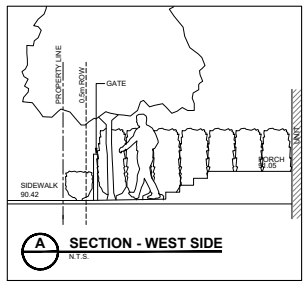
PROJECT:

**TOWNHOUSE DEVELOPMENT**  
**SITE B**  
16651 19TH AVENUE  
SURREY, BC  
SURREY FILE NO. 20-0162  
DRAWING TITLE:  
**LANDSCAPE GRADING PLAN**

DATE: 20.SEP.18 DRAWING NUMBER:  
SCALE: 1:300  
DRAWN: DO  
DESIGN: DO  
CHKD: MCV  
OF 8

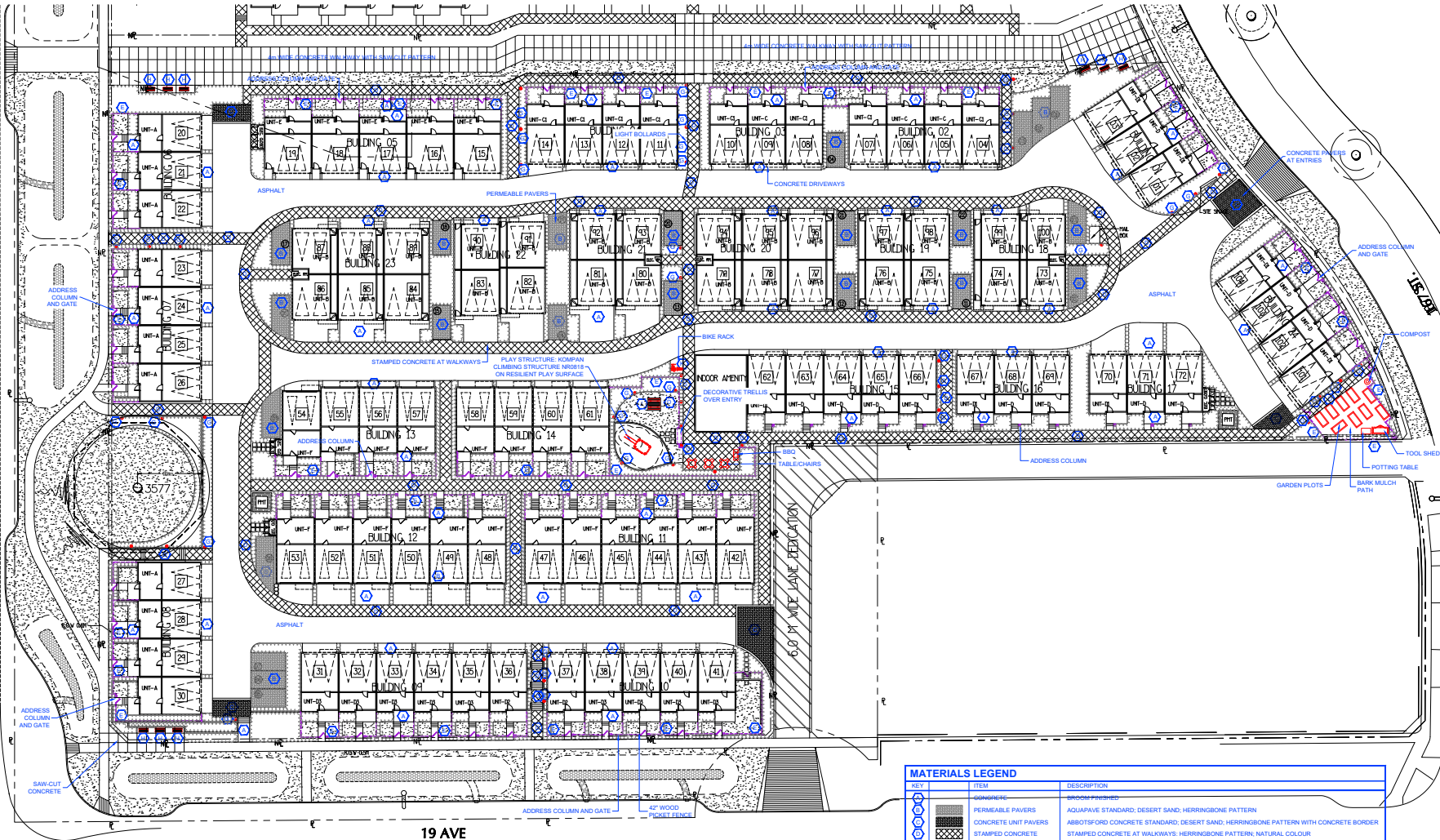
**L3**

19 AVE



SEAL:

166 ST.



19 AVE

| MATERIALS LEGEND |  |
|------------------|--|
| KEY              | DESCRIPTION  |
|                  | GRAVEL   |
|                  | PERMEABLE PAVERS   |
|                  | CONCRETE UNIT PAVERS   |
|                  | STAMPED CONCRETE   |
|                  | FENCE  |
|                  | LIGHT BOLLARD  |
|                  | BENCH  |
|                  | PICNIC TABLE   |
|                  | BIKE RACK  |
|                  | WINDOW FINISH  |
|                  | AQUAPAVE STANDARD, DESERT SAND, HERRINGBONE PATTERN                                  |
|                  | ABBOTTSFORD CONCRETE STANDARD, DESERT SAND, HERRINGBONE PATTERN WITH CONCRETE BORDER |
|                  | STAMPED CONCRETE AT WALKWAYS, HERRINGBONE PATTERN, NATURAL COLOUR                    |
|                  | 42" HT. WOOD PICKET, REFER TO DETAIL   |
|                  | BY OTHERS  |
|                  | *WISHBONE INDUSTRIES, MODENA PARK BENCH MAL-6, IN TEXTURED SILVER                    |
|                  | *MAGLIN 200 SERIES CLUSTER SEATING, ON CONCRETE PAD                                  |
|                  | BIKE RACK: CORA EXPO WISBONE BLACK   |

| NO. | DATE      | REVISION DESCRIPTION             | DR. |
|-----|-----------|----------------------------------|-----|
| 10  | 23 APR 04 | NEW SITE PLAN                    | DO  |
| 9   | 23 JAN 03 | REV. PUBLIC PLACE MATERIALS PLAN | DO  |
| 8   | 23 JAN 04 | NEW SITE PLAN                    | DO  |
| 7   | 22 NOV 08 | NEW SITE PLAN                    | DO  |
| 6   | 22 SEP 07 | NEW SITE / CITY COMMENTS         | DO  |
| 5   | 22 AUG 03 | NEW SITE PLAN / CITY COMMENTS    | DO  |
| 4   | 22 MAY 03 | NEW SITE PLAN / CITY COMMENTS    | DO  |
| 3   | 21 OCT 15 | NEW SITE PLAN / CITY COMMENTS    | DO  |
| 2   | 23 JUN 03 | NEW SITE PLAN                    | DO  |
| 1   | 21 APR 00 | NEW SITE PLAN                    | DO  |

CLIENT:

PROJECT:

**TOWNHOUSE DEVELOPMENT SITE B**  
**16651 19TH AVENUE**  
**SURREY, BC**

**SURREY FILE NO. 20-0162**  
DRAWING TITLE:

**LANDSCAPE MATERIALS**

DATE: 23 JAN 20 DRAWING NUMBER:  
SCALE: 1:300  
DRAWN: DO  
DESIGN: DO  
CHKD: MCY OF 8



CORNER PLAZA BENCH: WISHBONE INDUSTRIES, MODENA PARK BENCH, MAL-6, IN TEXTURED SILVER



PICNIC TABLE: MAGLIN 200 SERIES CLUSTER SEATING



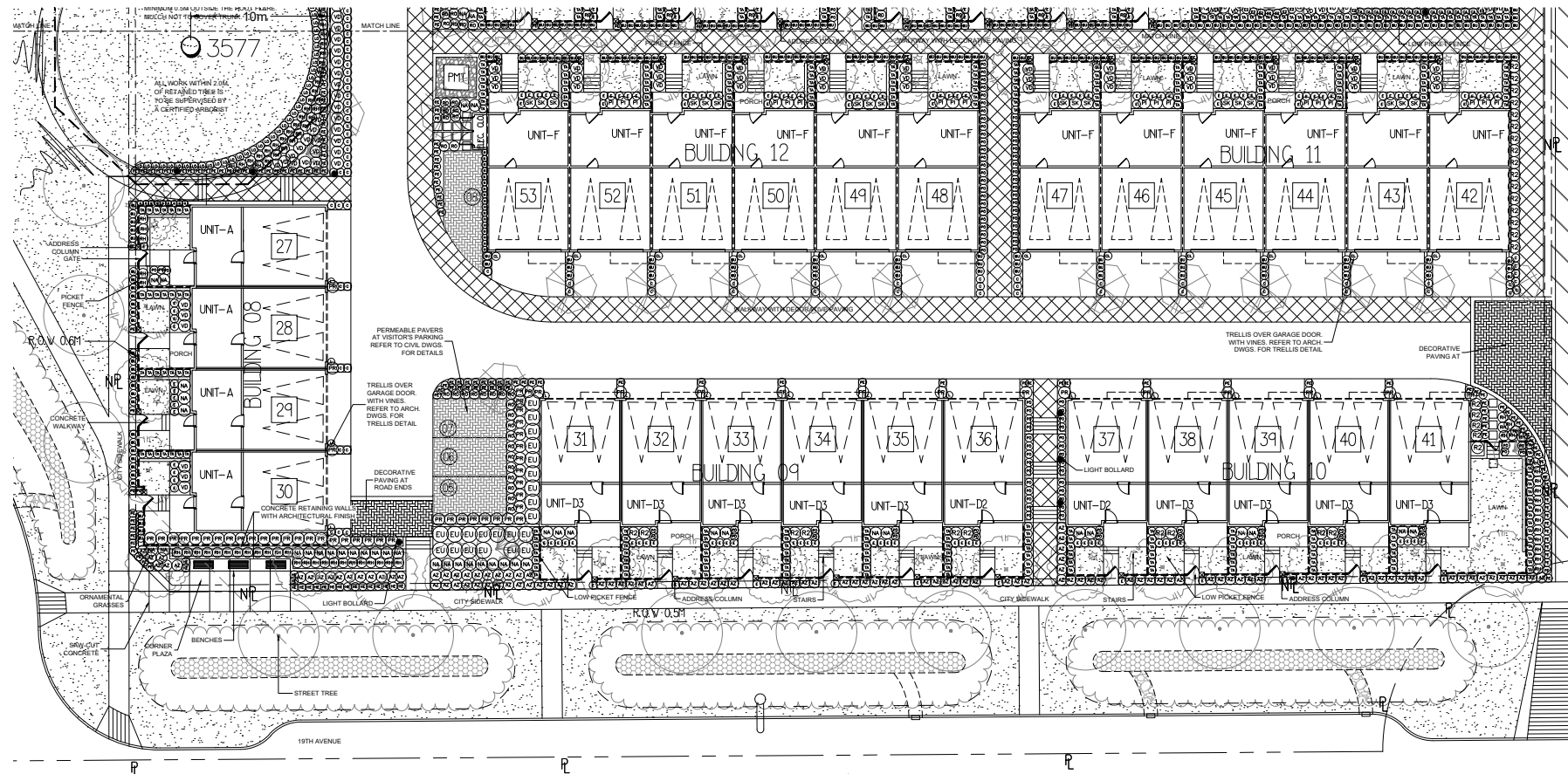
BIKE RACK: CORA EXPO



PLAY STRUCTURE: KOMPAN CLIMBING STRUCTURE NR0818



SEAL:



| NO. | DATE      | REVISION DESCRIPTION               | DR. |
|-----|-----------|------------------------------------|-----|
| 10  | 23 APR 04 | NEW SITE PLAN                      | DO  |
| 11  | 23 JAN 05 | REV. PUBLIC PLANS / MATERIALS PLAN | DO  |
| 8   | 23 JAN 04 | NEW SITE PLAN                      | DO  |
| 7   | 22 NOV 03 | NEW SITE PLAN                      | DO  |
| 6   | 23 SEP 03 | NEW SITE / CITY COMMENTS           | DO  |
| 5   | 22 AUG 03 | NEW SITE PLAN / CITY COMMENTS      | DO  |
| 4   | 22 MAY 03 | NEW SITE PLAN / CITY COMMENTS      | DO  |
| 3   | 21 OCT 03 | NEW SITE PLAN / CITY COMMENTS      | DO  |
| 2   | 23 JUN 03 | NEW SITE PLAN                      | DI  |
| 1   | 21 APR 03 | NEW SITE PLAN                      | DO  |

CLIENT:

| PLANT SCHEDULE |     |   |                             | PMG PROJECT NUMBER: 20-103 |
|----------------|-----|---|-----------------------------|----------------------------|
| REV.           | QTY | BOTANICAL NAME                            | COMMON NAME                 | PLANTED SIZE / REMARKS     |
| <b>SHRUB</b>   |     |   |                             |                            |
| 176            | 1   | AZALEA JAPONICA 'HINO CRIMSON'            | AZALEA, SINGLE DEEP CRIMSON | #2 POT, 25CM               |
| 503            | 1   | BUXUS MICROPHYLLA 'WINTER GEM'            | LITTLE LEAF BOX             | #2 POT, 25CM               |
| 6              | 1   | CORNUS SERICEA 'KELSEY'                   | DWARF KELSEY DOGWOOD        | #2 POT, 50CM               |
| 84             | 1   | EUONYMUS ALATA 'COMPACTUS'                | COMPACT WINGED BURNING BUSH | #3 POT, 50CM               |
| 37             | 1   | HYDRANGEA ARBORESCENS 'NANA BELLE'        | HYDRANGEA                   | #2 POT, 80CM               |
| 52             | 1   | HYDRANGEA MACROPHYLLA 'NIKKO BLUE'        | BIG LEAF HYDRANGEA, BLUE    | #3 POT, 80CM               |
| 125            | 1   | NANDINA DOMESTICA                         | HEAVENLY BAMBOO             | #3 POT, 50CM               |
| 89             | 1   | PIERIS JAPONICA 'TAWAHMENSIS' 'SNOWDRIFT' | JAPANESE ANDROMEDA          | #3 POT, 50CM               |
| 133            | 1   | PRUNUS LAUROCARPAUS 'OTTO LUYKEN'         | OTTO LUYKEN LAUREL          | #2 POT, 30CM               |
| 99             | 1   | RHOODODENDRON 'ANAH KRUSCHKE'             | RHOODODENDRON, BLUE         | #3 POT, 50CM               |
| 181            | 1   | RHOODODENDRON 'BOY BELLS'                 | RHOODODENDRON, PINK         | #2 POT, 20CM               |
| 275            | 1   | ROSA 'NOASAN'                             | CARPET ROSE, YELLOW         | #2 POT, 40CM               |
| 116            | 1   | SORBARIA JAPONICA (10% MALE)              | JAPANESE SHRIMMA            | #2 POT, 30CM               |
| 193            | 1   | TAXUS X MEDIA 'HICKET'                    | HICKET YEW                  | 10" B&B                    |
| 193            | 1   | VIBURNUM DAVIDII                          | DAVID'S VIBURNUM            | #3 POT, 50CM               |
| 59             | 1   | VIBURNUM TRINIS 'SPRING BOUQUET'          | DWARF VIBURNUM              | #3 POT, 50CM               |
| <b>GRASSES</b> |     |   |                             |                            |
| 15             | 1   | CALAMAGRODONTIS ACUTIFLORA 'OVERDAM'      | FEATHER REED GRASS          | #2 POT                     |
| 330            | 1   | CAREX OSHIBENSIIS 'EVERGOLD'              | EVERGOLD JAPANESE SEDGE     | #1 POT                     |
| 389            | 1   | PENISELUM ALPEGROIDES 'HAMELIN'           | DWARF FOUNTAIN GRASS        | #1 POT                     |

| PLANT SCHEDULE   |     |                                    |  | PMG PROJECT NUMBER: 20-103 |
|------------------|-----|------------------------------------|--|----------------------------|
| REV.             | QTY | BOTANICAL NAME                     | COMMON NAME                            | PLANTED SIZE / REMARKS     |
| <b>VINE</b>      |     |                                    |  |                            |
| 42               | 1   | CLEMATIS JACKMANII 'RUBRA'         | CLEMATIS, CRIMSON                      | #3 POT, 75CM, STAKED       |
| 62               | 1   | LONICERA JAPONICA 'PURPUREA'       | PURPLE-LEAF HONEYSUCKLE                | #3 POT, 75CM, STAKED       |
| <b>PERENNIAL</b> |     |                                    |  |                            |
| 19               | 1   | HEMEROCALLIS 'RED MAGIC'           | DAY LILY, RED AND YELLOW               | #1 POT, 1.2 FAN            |
| 71               | 1   | HOSTA 'FORTUNE' 'FRANCEE'          | HOSTA, GREEN AND WHITE VARIEGATED      | #1 POT, 1.1 EYE            |
| 143              | 1   | LAVENDULA ANGSTUFOLIA 'MUNSTEAD'   | ENGLISH LAVENDER, COMPACT, VIOLET-BLUE | #1 POT                     |
| <b>GEORGE</b>    |     |                                    |  |                            |
| 380              | 1   | ERICA CARNEA 'SPRINGWOOD PINK'     | WINTER HEATH, PINK                     | #1 POT                     |
| 31               | 1   | ERICA X DARLEYENSIS 'KRAMER'S RED' | WINTER HEATH, RED                      | #1 POT                     |
| 389              | 1   | GAILTHERIA SHALLOM                 | SALAL                                  | #1 POT, 20CM               |
| 425              | 1   | LONGISERA PILGATA                  | PIRETEE HONEYSUCKLE                    | #1 POT, 25CM               |
| 445              | 1   | POLYSTICHUM MUNTUM                 | WESTERN SWORD FERN                     | #1 POT, 25CM               |

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \*\* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MADE FROM MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. \* DEFINITION OF CONDITIONS OF AVAILABILITY. \*\* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \*\* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

PROJECT:  
**TOWNHOUSE DEVELOPMENT SITE B**  
16655 19TH AVENUE  
SURREY, BC  
SURREY FILE NO. 20-0162  
DRAWING TITLE:  
**LANDSCAPE SHRUB PLAN**

DATE: 20 SEP 18 DRAWING NUMBER:  
SCALE: 1:150  
DRAWN: DO  
DESIGN: DO  
CHKD: MCV OF 8



SCALE:

| NO. | DATE      | REVISION DESCRIPTION               | DR. |
|-----|-----------|------------------------------------|-----|
| 10  | 23 APR 04 | NEW SITE PLAN                      | ED  |
| 9   | 22 JAN 03 | REV. PUBLIC PLANS / MATERIALS PLAN | ED  |
| 8   | 23 JAN 04 | NEW SITE PLAN                      | ED  |
| 7   | 22 NOV 06 | NEW SITE PLAN                      | ED  |
| 6   | 22 SEP 07 | NEW SITE / CITY COMMENTS           | ED  |
| 5   | 22 AUG 03 | NEW SITE PLAN / CITY COMMENTS      | ED  |
| 4   | 22 MAY 03 | NEW SITE PLAN / CITY COMMENTS      | ED  |
| 3   | 21 OCT 05 | NEW SITE PLAN / CITY COMMENTS      | ED  |
| 2   | 22 JUN 03 | NEW SITE PLAN                      | ED  |
| 1   | 21 APR 00 | NEW SITE PLAN                      | ED  |

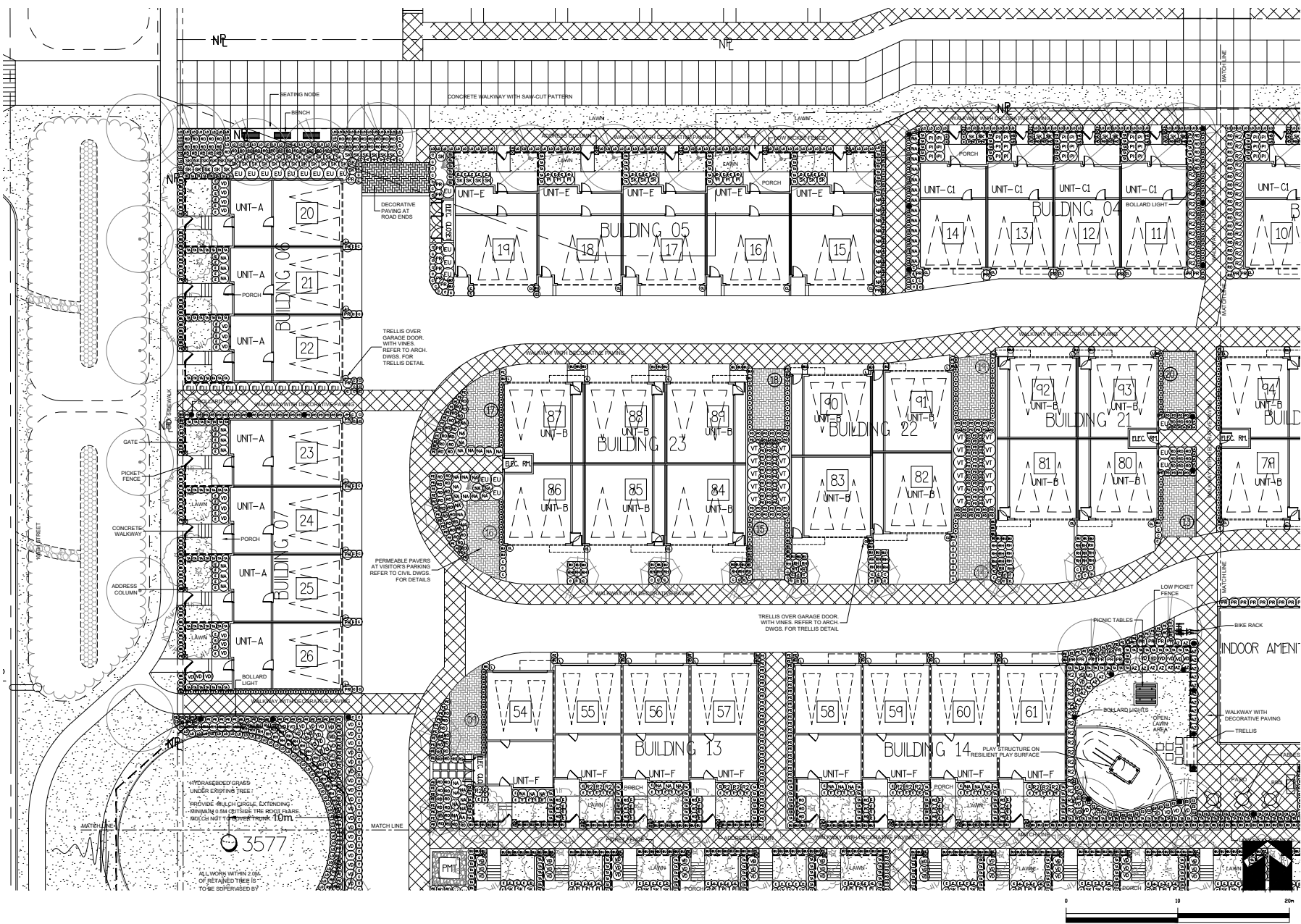
NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

**TOWNHOUSE DEVELOPMENT  
SITE B**  
16651 19TH AVENUE  
SURREY, BC  
SURREY FILE NO. 20-0162  
DRAWING TITLE:  
**LANDSCAPE  
SHRUB PLAN**

DATE: 20 SEP 18 DRAWING NUMBER:  
SCALE: 1:150  
DRAWN: DO  
DESIGN: DO  
CHKD: MCV OF 8



\*HYDRATED GYPSUM UNDER EXPOSURE TREE:  
IMPROVE MULCH CHARGE, EXTENDING  
MINIMUM 15M DISTANCE FROM TRUNK,  
BECAUSE NOT TO BE COVERED THROUGH 10m

3577

ALL WORK WITHIN 20M  
OF SETBACK LINE IS  
TO BE SUPERVISED BY

SEAL:

| NO. | DATE      | REVISION DESCRIPTION              | DR. |
|-----|-----------|-----------------------------------|-----|
| 10  | 23 APR 04 | NEW SITE PLAN                     | DO  |
| 11  | 23 JAN 05 | REV. PAVING PLAN / MATERIALS PLAN | DO  |
| 8   | 23 JAN 04 | NEW SITE PLAN                     | DO  |
| 7   | 22 NOV 03 | NEW SITE PLAN                     | DO  |
| 6   | 22 SEP 03 | NEW SITE PLAN / CITY COMMENTS     | DO  |
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| 3   | 21 OCT 03 | NEW SITE PLAN / CITY COMMENTS     | DO  |
| 2   | 23 JUN 03 | NEW SITE PLAN                     | DO  |
| 1   | 21 APR 03 | NEW SITE PLAN                     | DO  |

CLIENT:

PROJECT:

**TOWNHOUSE DEVELOPMENT SITE B**

16651 19TH AVENUE  
SURREY, BC

SURREY FILE NO. 20-0162

DRAWING TITLE:

**LANDSCAPE SHRUB PLAN**

DATE: 20 SEP 18 DRAWING NUMBER:

SCALE: 1:150

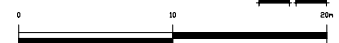
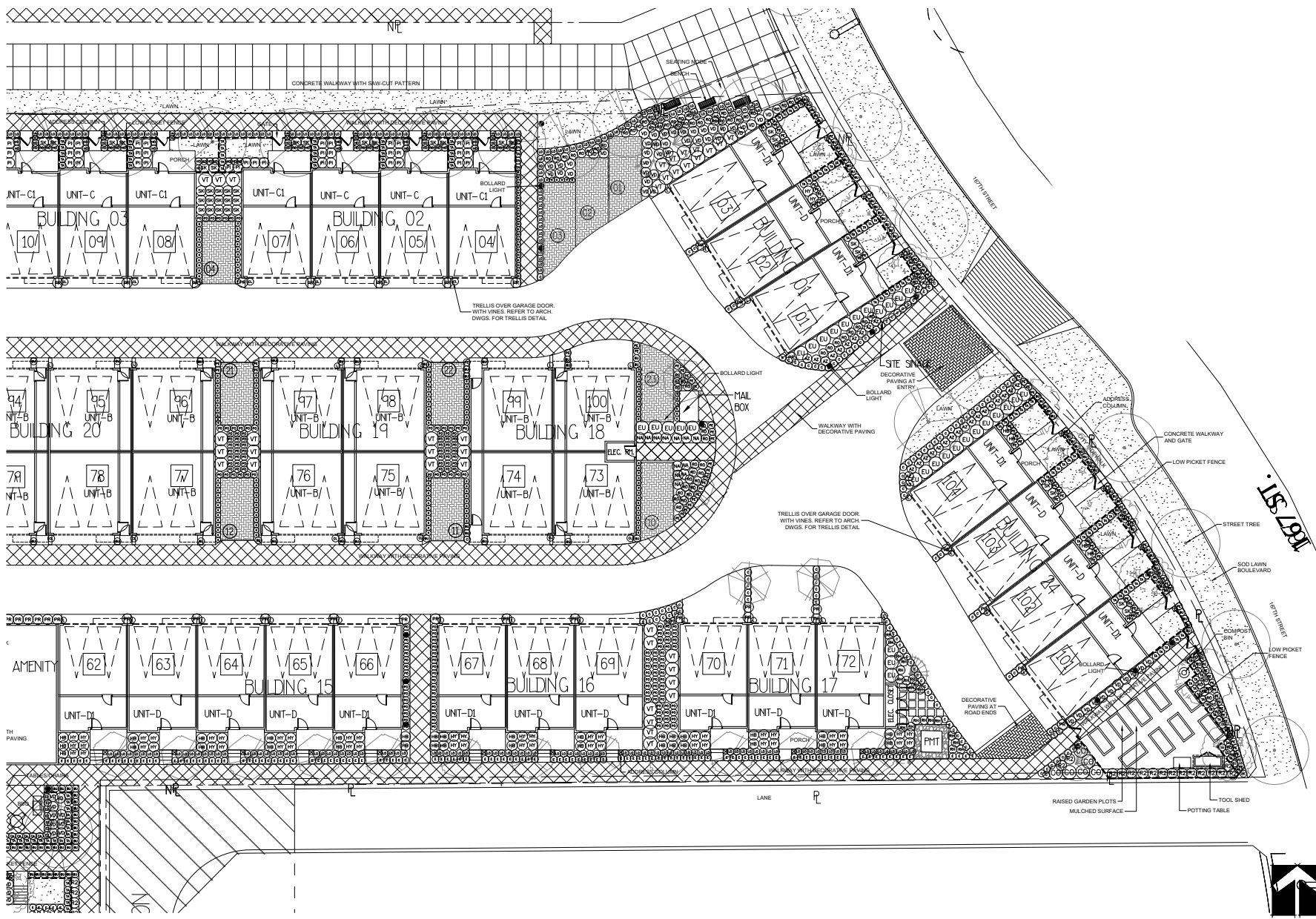
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DESIGN: DO

CHKD: MCV

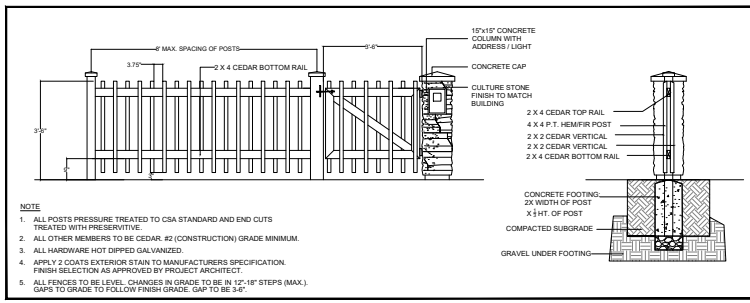
**L7**

OF 8

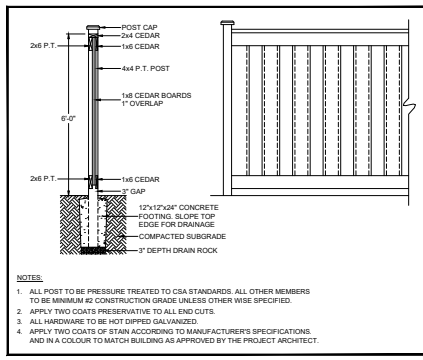




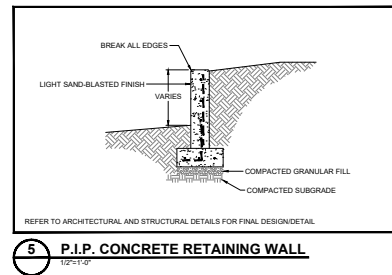
SCALE:



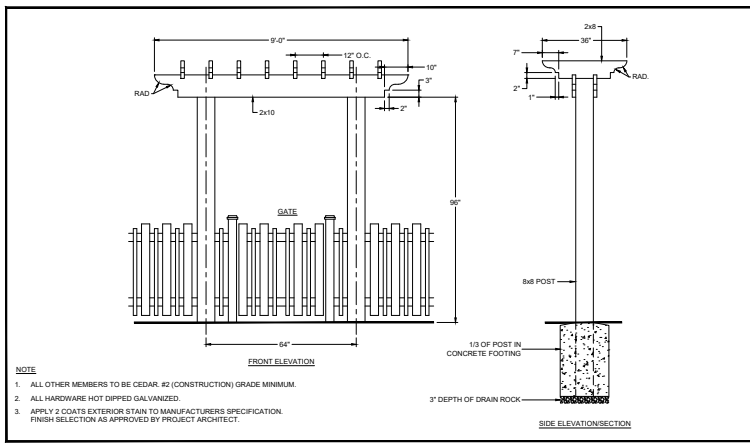
**1 42" HT. WOOD PICKET FENCE WITH GATE / COLUMN**  
1/2"=1'-0"



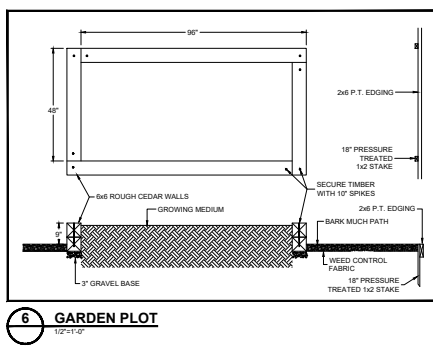
**4 6' HT. SOLID WOOD FENCE**  
1/2"=1'-0"



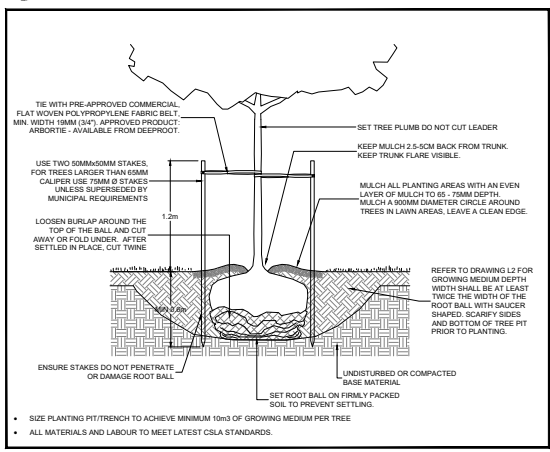
**5 P.I.P. CONCRETE RETAINING WALL**  
1/2"=1'-0"



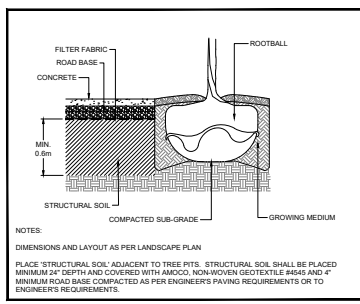
**2 AMENITY AREA WOOD TRELLIS**  
1/2"=1'-0"



**6 GARDEN PLOT**  
1/2"=1'-0"



**3 TREE PLANTING DETAIL**  
1/2"=1'-0"



**4 STRUCTURAL SOIL SECTION**  
1/2"=1'-0"

| NO. | DATE      | REVISION DESCRIPTION           | DR. |
|-----|-----------|--------------------------------|-----|
| 10  | 23 APR 04 | NEW SITE PLAN                  | DO  |
| 9   | 23 JAN 05 | REV. FENCE PLAN MATERIALS PLAN | DO  |
| 8   | 23 JAN 04 | NEW SITE PLAN                  | DO  |
| 7   | 22 NOV 08 | NEW SITE PLAN                  | DO  |
| 6   | 22 SEP 03 | NEW SITE CITY COMMENTS         | DO  |
| 5   | 22 AUG 03 | NEW SITE PLAN / CITY COMMENTS  | DO  |
| 4   | 22 MAY 03 | NEW SITE PLAN / CITY COMMENTS  | DO  |
| 3   | 21 OCT 05 | NEW SITE PLAN / CITY COMMENTS  | DO  |
| 2   | 21 JUN 05 | NEW SITE PLAN                  | BU  |
| 1   | 21 APR 00 | NEW SITE PLAN                  | DO  |

PROJECT:

**TOWNHOUSE DEVELOPMENT SITE B**  
**16651 19TH AVENUE SURREY, BC**

SURREY FILE NO. 20-0162

DRAWING TITLE:  
**LANDSCAPE DETAILS**

DATE: 21 JUN 07 DRAWING NUMBER:  
SCALE: AS SHOWN  
DRAWN: DO  
DESIGN: DO  
CHKD: MCV OF 8

**L8**

---

TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **November 03, 2022** PROJECT FILE: **7820-0159-00 & 7820-0162-00**

---

RE: **Engineering Requirements  
Location: 16620, 16648, and 16674 - 20 Ave  
16621, 16651 & 16663 - 19 Ave; 16606 - 20 Avenue; 1949 - 167 Street**

**NCP AMENDMENT**

The following issues are to be addressed as a condition of the NCP Amendment:

The applicant is required to complete a sanitary sewer capacity analysis downstream of the subject application due to the proposed Land use plan amendment which will result in increased population and subsequent sanitary demand. The applicant will be required to resolve any downstream pipe capacity constraints.

**REZONE/SUBDIVISION**

***Property and Right-of-Way Requirements***

- Dedicate 5.042 m on 20 Avenue;
- Dedicate 1.0 m on 167 Street;
- Dedicate 15.0 m on 166 Street;
- Dedicate 12.5 m on 19 Avenue;
- Dedicate 3.0-m x 3.0-m corner cuts at 20 Avenue intersection with 166 & 167 Streets;
- Dedicate 1.0-metre x 1.0-metre corner cut at 19 Avenue and lane;
- Dedicate 3.0-metre x 3.0-metre corner cut at 19 Avenue and 166 Street;
- Dedicate 6.0 m for residential lane;
- Dedicate 8.0 m for walkway; and
- Register 0.5 statutory right-of-way (SRW) at property line along all road frontages.

***Works and Services***

- Construct south side of 20 Avenue;
- Construct west side of 167 Street;
- Construct east side of 166 Street;
- Construct north side of 19 Avenue;
- Construct residential lane;
- Construct walkway
- Construct storm mains along frontage roads to service the site and provide road drainage. Include a service connection, complete with inspection chamber, to the site;
- Construct/upgrade water and sanitary mains along frontage roads to service the site. Include service connections, complete with water meter chamber and/or inspection chamber, to the site;

A Servicing Agreement is required prior to Rezone and Subdivision.

**DEVELOPMENT PERMIT**

There are no engineering requirements relative to issuance of the Development Permit.



Jeff Pang, P.Eng.  
Development Services Manager



Department: **Planning and Demographics**  
 Date: **April 3, 2023**  
 Report For: **City of Surrey**

**Development Impact Analysis on Schools For:**  
 Application #: **20 0159 00**

The proposed development of **62** Townhouse units are estimated to have the following impact on elementary and secondary schools within the school regions.

|   |    |
|---|----|
| <b>School-aged children population projection</b> | 53 |
|---|----|

|   |    |
|---|----|
| <b>Projected Number of Students From This Development In:</b> |    |
| Elementary School =   | 29 |
| Secondary School =  | 15 |
| Total Students =  | 44 |

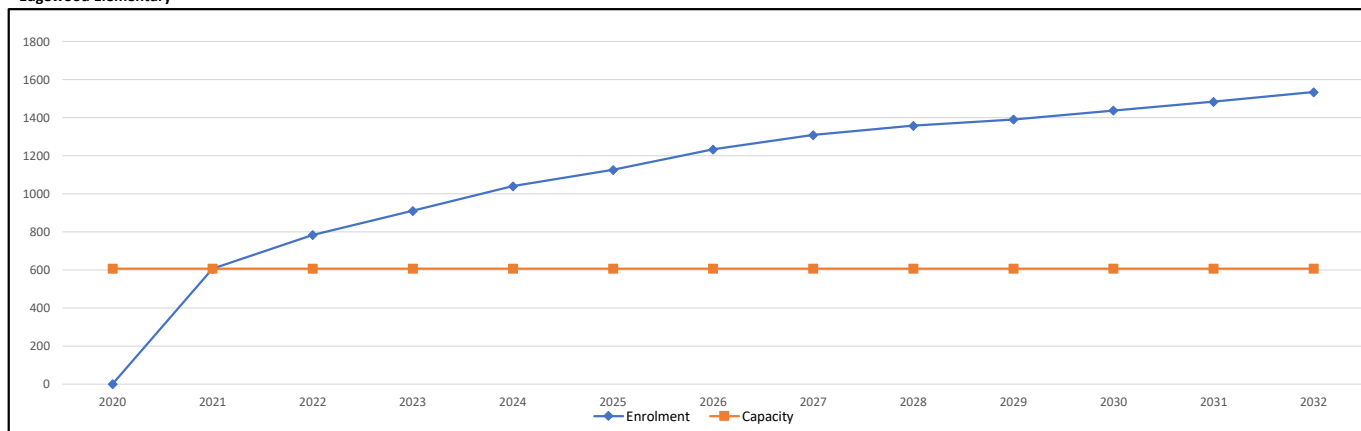
|  |      |
|--|------|
| <b>Current Enrolment and Capacities:</b> |      |
| <b>Edgewood Elementary</b>               |      |
| Enrolment                                | 784  |
| Operating Capacity                       | 607  |
| # of Portables                           | 7    |
| <b>Grandview Heights Secondary</b>       |      |
| Enrolment                                | 1541 |
| Operating Capacity                       | 1500 |
| # of Portables                           | 0    |

**Summary of Impact and Commentary**  
 The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

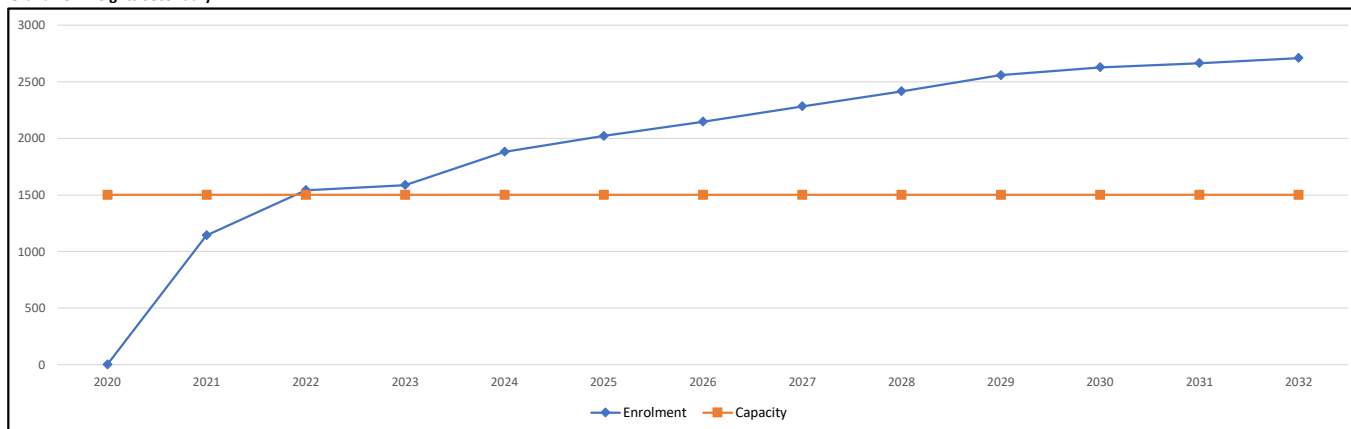
The area around south Surrey has seen significant development in recent years and this development will continue based on the City's NCP. Given the development in the area, the new Edgewood Elementary opened in January 2021 but as of September 2022, the school has 7 portables on site. To support further enrolment growth in this area, a new Ta'talu Elementary school, located below 20th Avenue, is targeted to open in the fall of 2025. Until then, the district will rely on portables to make up the seat shortfall and possible boundary changes.

To relieve the pressure at Earl Marriot Secondary school, a new 1500 capacity high school, Grandview Heights Secondary, located on 26th Ave next to the existing Pacific Heights Elementary opened in September 2021. The school is operating above capacity and enrolment is projected to grow in the next 10 years putting additional pressure on the District to fund portables, request additions to the school, or request a new secondary school from the Ministry of Education and Child Care.

**Edgewood Elementary**



**Grandview Heights Secondary**



**Population** : The projected population of children aged 0-17 impacted by the development.  
**Enrolment**: The number of students projected to attend the Surrey School District ONLY.

**Development Impact Analysis on Schools For:**  
Application #: **20 0162 00**

The proposed development of **104** Townhouse units and **1** Single Family units are estimated to have the following impact on elementary and secondary schools within the school regions.

|   |    |
|---|----|
| <b>School-aged children population projection</b> | 89 |
|---|----|

|   |    |
|---|----|
| <b>Projected Number of Students From This Development In:</b> |    |
| Elementary School =   | 49 |
| Secondary School =  | 25 |
| Total Students =  | 74 |

|  |      |
|--|------|
| <b>Current Enrolment and Capacities:</b> |      |
| <b>Edgewood Elementary</b>               |      |
| Enrolment                                | 784  |
| Operating Capacity                       | 607  |
| # of Portables                           | 7    |
| <b>Grandview Heights Secondary</b>       |      |
| Enrolment                                | 1541 |
| Operating Capacity                       | 1500 |
| # of Portables                           | 0    |

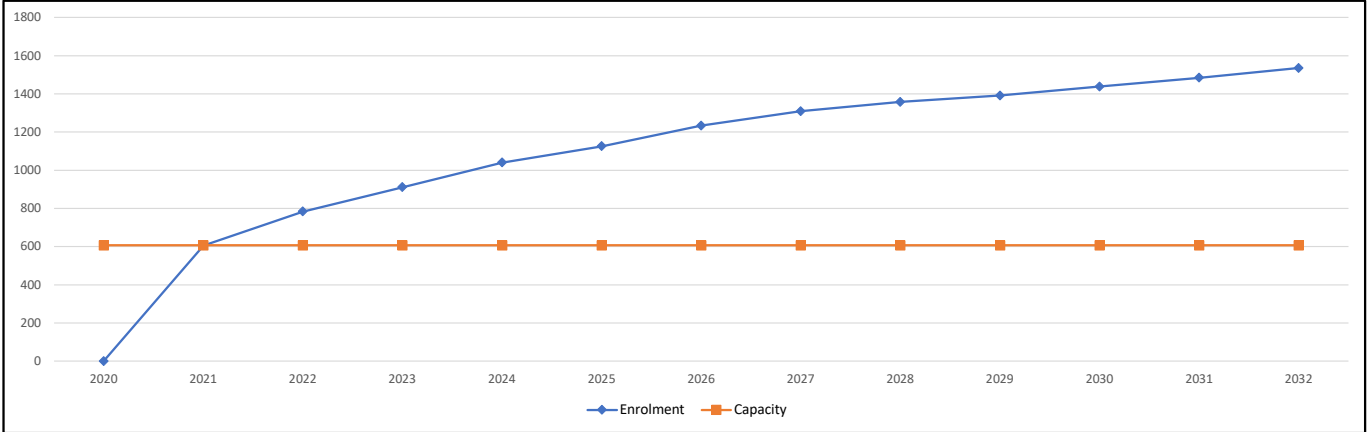
**Summary of Impact and Commentary**

The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

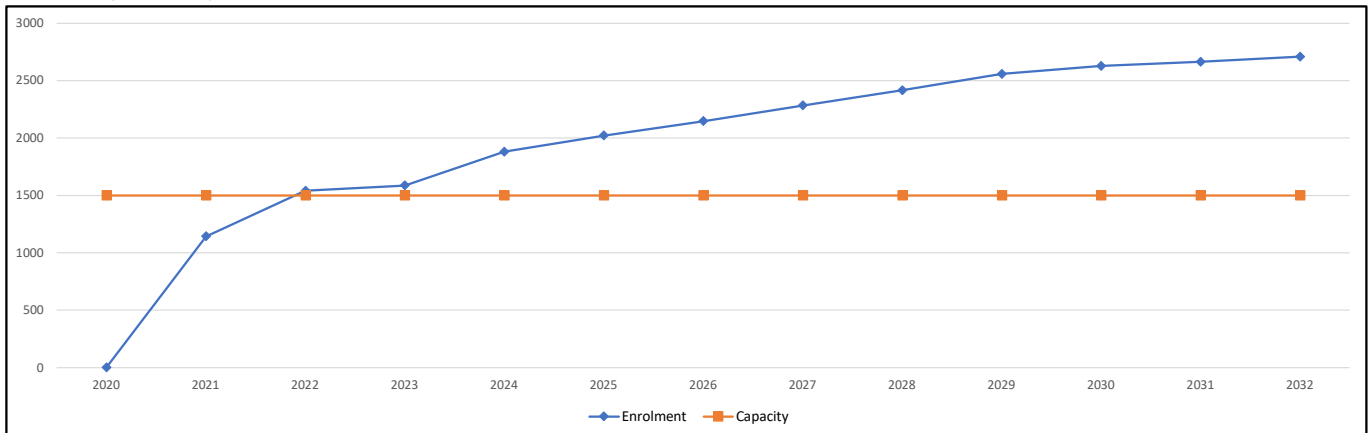
The area around south Surrey has seen significant development in recent years and this development will continue based on the City's NCP. Given the development in the area, the new Edgewood Elementary opened in January 2021 but as of September 2022, the school has 7 portables on site. To support further enrolment growth in this area, a new Ta'talu Elementary school, located below 20th Avenue, is targeted to open in the fall of 2025. Until then, the district will rely on portables to make up the seat shortfall and possible boundary changes.

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**Edgewood Elementary**



**Grandview Heights Secondary**



**Population** : The projected population of children aged 0-17 Impacted by the development.  
**Enrolment**: The number of students projected to attend the Surrey School District ONLY.

MIKE FADUM AND ASSOCIATES LTD.  
VEGETATION CONSULTANTS


**Tree Preservation Summary**

Surrey Project No: 20-0159-00  
Address: 16620/16648-16674 - 20 Avenue  
Registered Arborist: Tim Vandenberg

| On-Site Trees   | Number of Trees |
|---|-----------------|
| <b>Protected Trees Identified</b><br>(on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)                                 | 68              |
| <b>Protected Trees to be Removed</b>  | 47              |
| <b>Protected Trees to be Retained</b><br>(excluding trees within proposed open space or riparian areas)   | 21              |
| <b>Total Replacement Trees Required:</b><br><br>- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio<br>3 X one (1) = <u>3</u><br><br>- All other Trees Requiring 2 to 1 Replacement Ratio<br>44 X two (2) = <u>88</u> | 91              |
| <b>Replacement Trees Proposed</b>   | 59              |
| <b>Replacement Trees in Deficit</b>   | 32              |
| <b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>   | NA              |

| Off-Site Trees  | Number of Trees |
|---|-----------------|
| <b>Protected Off-Site Trees to be Removed</b>   | 0               |
| <b>Total Replacement Trees Required:</b><br><br>- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio<br>0 X one (1) = 1<br><br>- All other Trees Requiring 2 to 1 Replacement Ratio<br>0 X two (2) = 0 | 0               |
| <b>Replacement Trees Proposed</b>   | NA              |
| <b>Replacement Trees in Deficit</b>   | NA              |

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

|  |                      |
|--|----------------------|
| Signature of Arborist:  | Date: April 11, 2023 |
|--|----------------------|



## Tree Preservation Summary

**Surrey Project No: 20-0162-00**


**Address: 16666 – 19 Avenue (16606, 16621, 16651, 16663 – 19 Avenue & 1949 167 Street), Surrey, BC**

**Registered Arborist: Tim Vandenberg**

| On-Site Trees   | Number of Trees |
|---|-----------------|
| <b>Protected Trees Identified</b><br>(on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)                                     | 134             |
| <b>Protected Trees to be Removed</b>  | 131             |
| <b>Protected Trees to be Retained</b><br>(excluding trees within proposed open space or riparian areas)   | 3               |
| <b>Total Replacement Trees Required:</b><br><br>- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio<br>21 X one (1) = <u>21</u><br><br>- All other Trees Requiring 2 to 1 Replacement Ratio<br>110 X two (2) = <u>220</u> | 241             |
| <b>Replacement Trees Proposed</b>   | 143             |
| <b>Replacement Trees in Deficit</b>   | 98              |
| <b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>   | NA              |

| Off-Site Trees  | Number of Trees |
|---|-----------------|
| <b>Protected Off-Site Trees to be Removed</b>   | 0               |
| <b>Total Replacement Trees Required:</b><br><br>- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio<br>0 X one (1) = 0<br><br>- All other Trees Requiring 2 to 1 Replacement Ratio<br>0 X two (2) = 0 | 0               |
| <b>Replacement Trees Proposed</b>   | NA              |
| <b>Replacement Trees in Deficit</b>   | NA              |

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

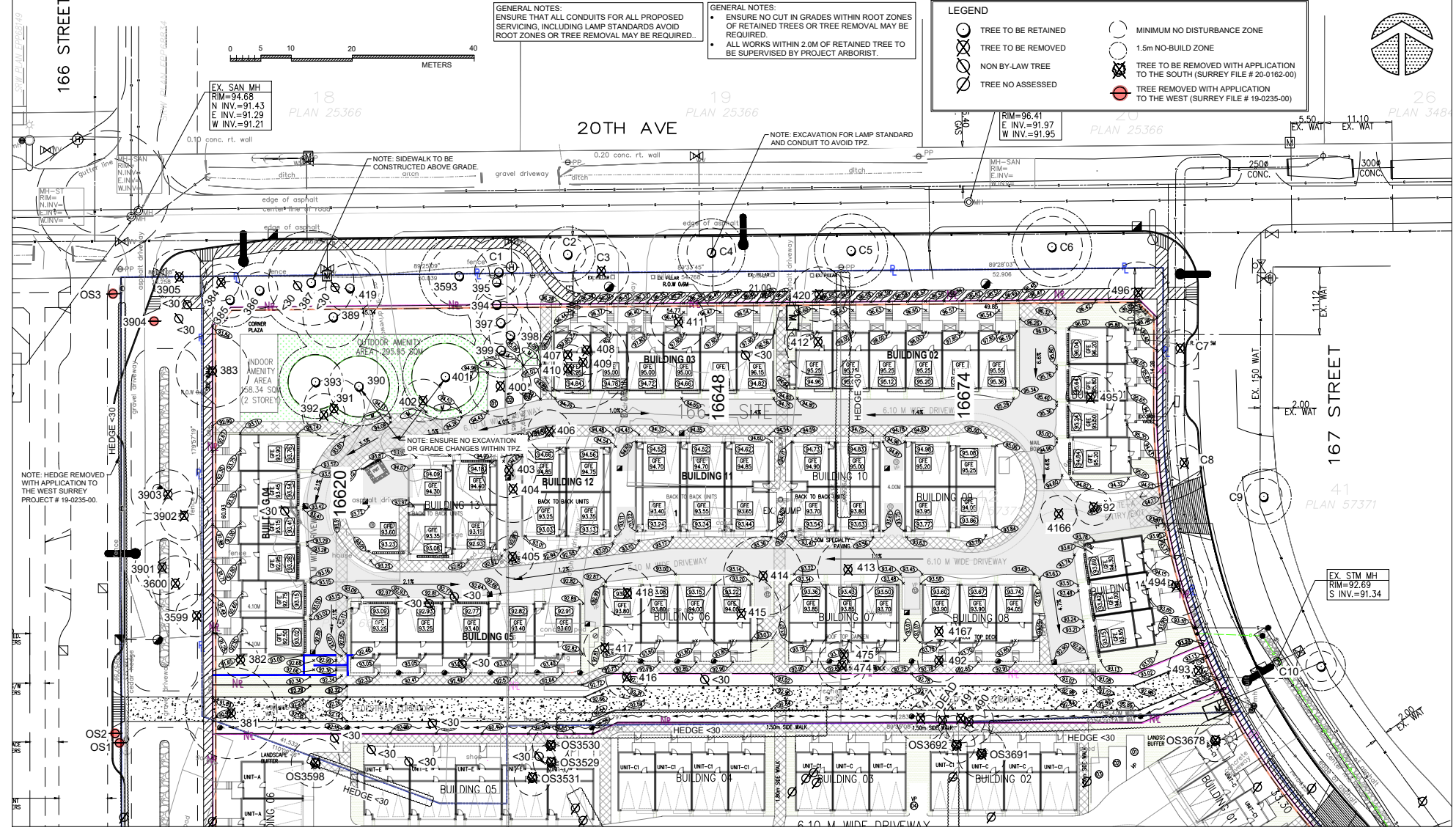
|  |                      |
|--|----------------------|
| Signature of Arborist:  | Date: April 11, 2023 |
|--|----------------------|



166 STREET

20TH AVE

167 STREET



GENERAL NOTES:

- ALL CONDUITS FOR ALL PROPOSED SERVICING, INCLUDING LAMP STANDARDS AVOID ROOT ZONES OR TREE REMOVAL MAY BE REQUIRED.

GENERAL NOTES:

- ENSURE NO CUT IN GRADES WITHIN ROOT ZONES OF RETAINED TREES OR TREE REMOVAL MAY BE REQUIRED.
- ALL WORKS WITHIN 2.0M OF RETAINED TREE TO BE SUPERVISED BY PROJECT ARBORIST.

**LEGEND**

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- NON-BY-LAW TREE
- TREE NOT ASSESSED
- MINIMUM NO-DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE
- TREE TO BE REMOVED WITH APPLICATION TO THE SOUTH (SURREY FILE # 20-0162-00)
- TREE REMOVED WITH APPLICATION TO THE WEST (SURREY FILE # 19-0235-00)

| NO. | DATE     | BY | REVISION               | NO. | DATE     | BY | REVISION                    | NO. | DATE      | BY | REVISION                    |
|-----|----------|----|------------------------|-----|----------|----|-----------------------------|-----|-----------|----|-----------------------------|
| 1   | JUN24/20 | MK | REVISED SITE PLAN      | 6   | JUN24/21 | MK | REVISED SITE PLAN           | 11  | SEPT13/22 | MK | REVISED SITE PLAN           |
| 2   | AUG28/20 | MK | REVISED SITE PLAN      | 7   | APR19/22 | MK | REVISED SITE PLAN           | 12  | NOV09/22  | MK | REVISED SITE KEY/CIVIL PLAN |
| 3   | NOV24/20 | MK | REVISED SITE PLAN      | 8   | APR21/22 | MK | REVISED KEY/CIVIL PLAN      | 13  | JAN10/23  | MK | REVISED SITE KEY/CIVIL PLAN |
| 4   | APR19/21 | MK | REVISED SITE PLAN      | 9   | JUL12/22 | MK | REVISED SITE KEY/CIVIL PLAN | 14  | MAR17/23  | MK | REVISED SITE PLAN           |
| 5   | APR28/21 | MK | REVISED KEY/CIVIL PLAN | 10  | AUG28/22 | MK | REVISED SITE KEY/CIVIL PLAN |     |           |    |                             |

**MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS**

#105, 8277 129 St.  
Surrey, British Columbia  
V3W 0A6  
Ph: (778) 593-0300  
Fax: (778) 593-0302  
Email: [mfadum@fadum.ca](mailto:mfadum@fadum.ca)

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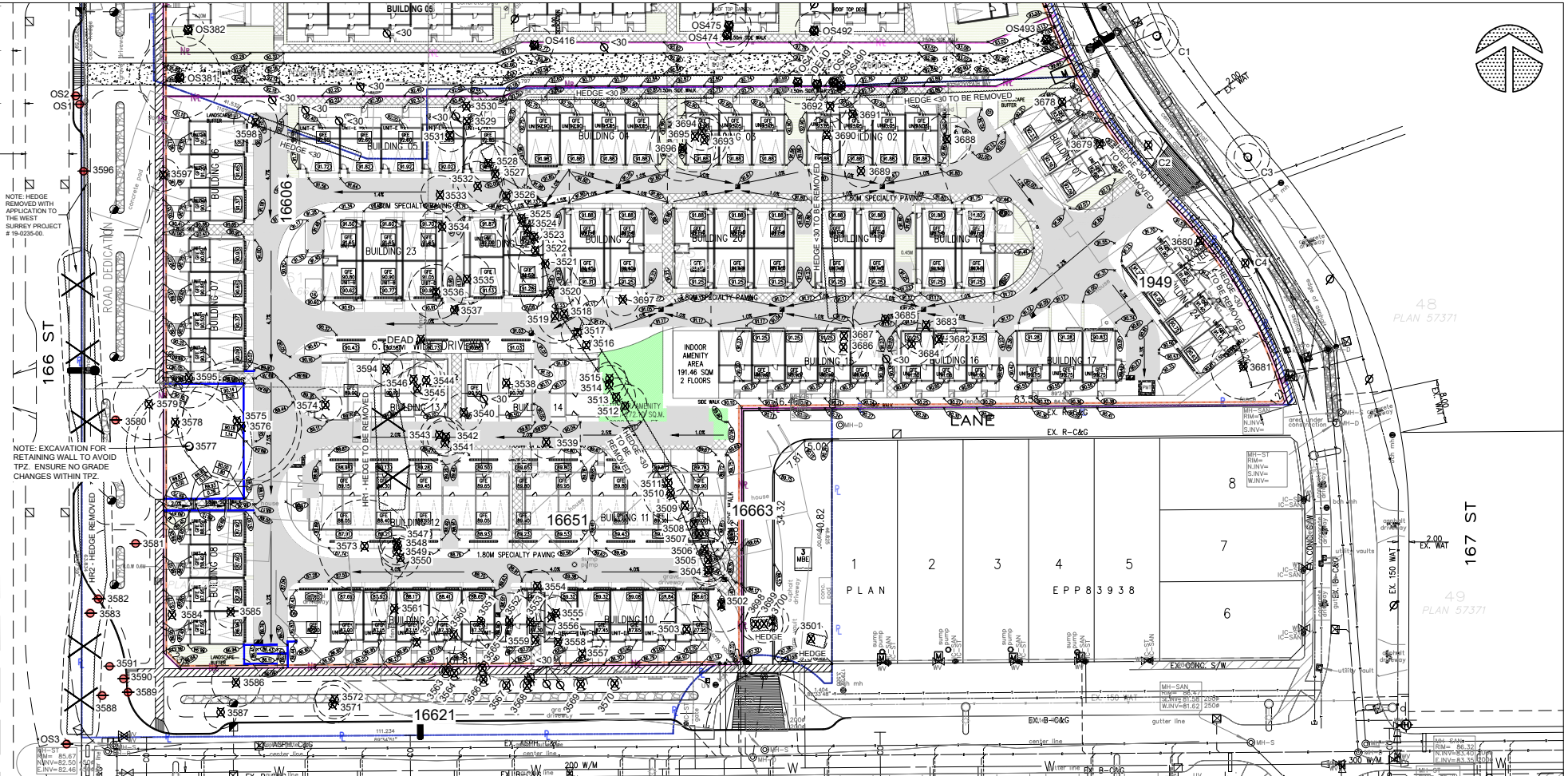
**PROJECT TITLE**  
16666-19 AVE TOWNHOUSE  
SITE A - # 20-0159-00  
(16620, 16648, 16674-20 AVE)  
SURREY, B.C.

**SHEET TITLE**  
T1 - TREE REMOVAL AND PRESERVATION PLAN

CLIENT \_\_\_\_\_

**DRAWN** MK  
**SCALE** AS SHOWN  
**DATE** JUNE 2, 2020

**T-1**  
SHEET 1 OF 2



NOTE: HEDGE REMOVED WITH APPLICATION TO THE WEST SURVEY PROJECT # 19-0235-00.

NOTE: EXCAVATION FOR RETAINING WALL TO AVOID TPZ. ENSURE NO GRADE CHANGES WITHIN TPZ.

**LEGEND**

|  |                     |  |   |
|--|---------------------|--|---|
|  | TREE TO BE RETAINED |  | MINIMUM NO DISTURBANCE ZONE   |
|  | TREE TO BE REMOVED  |  | 1.5m NO-BUILD ZONE  |
|  | NON-BY-LAW TREE     |  | TREE TO BE REMOVED WITH APPLICATION TO THE NORTH (SURREY FILE # 20-0159-00) |
|  | TREE NOT ASSESSED   |  | TREE REMOVED WITH APPLICATION TO THE WEST (SURREY FILE # 19-0235-00)        |

**GENERAL NOTES:**  
• ALL WORKS WITHIN 2.0M OF RETAINED TREE TO BE SUPERVISED BY PROJECT ARBORIST.

| NO. | DATE     | BY | REVISION               | NO. | DATE     | BY | REVISION                   | NO. | DATE      | BY | REVISION                   |
|-----|----------|----|------------------------|-----|----------|----|----------------------------|-----|-----------|----|----------------------------|
| 1   | JUN24/20 | MK | REVISED SITE PLAN      | 6   | JUN04/21 | MK | REVISED SITE PLAN          | 11  | SEPT13/22 | MK | REVISED SITE PLAN          |
| 2   | AUG28/20 | MK | REVISED SITE PLAN      | 7   | APR19/22 | MK | REVISED SITE PLAN          | 12  | NOV09/22  | MK | REVISED SITEKEY/CIVIL PLAN |
| 3   | NOV24/20 | MK | REVISED SITE PLAN      | 8   | APR21/22 | MK | REVISED KEY/CIVIL PLAN     | 13  | JAN01/23  | MK | REVISED SITEKEY/CIVIL PLAN |
| 4   | APR19/21 | MK | REVISED SITE PLAN      | 9   | JUL21/22 | MK | REVISED SITEKEY/CIVIL PLAN | 14  | MAR17/23  | MK | REVISED SITE PLAN          |
| 5   | APR29/21 | MK | REVISED KEY/CIVIL PLAN | 10  | AUG28/22 | MK | REVISED SITEKEY/CIVIL PLAN |     |           |    |                            |

**MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS**

#105, 8277 129 St.  
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Ph: (778) 593-0300  
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**PROJECT TITLE**  
16666-19 AVE TOWNHOUSE  
SITE B - # 20-0162-00  
(16606-20 AVE, 16621, 16651, 16663-19 AVE, 1949-167 ST)  
SURREY, B.C.

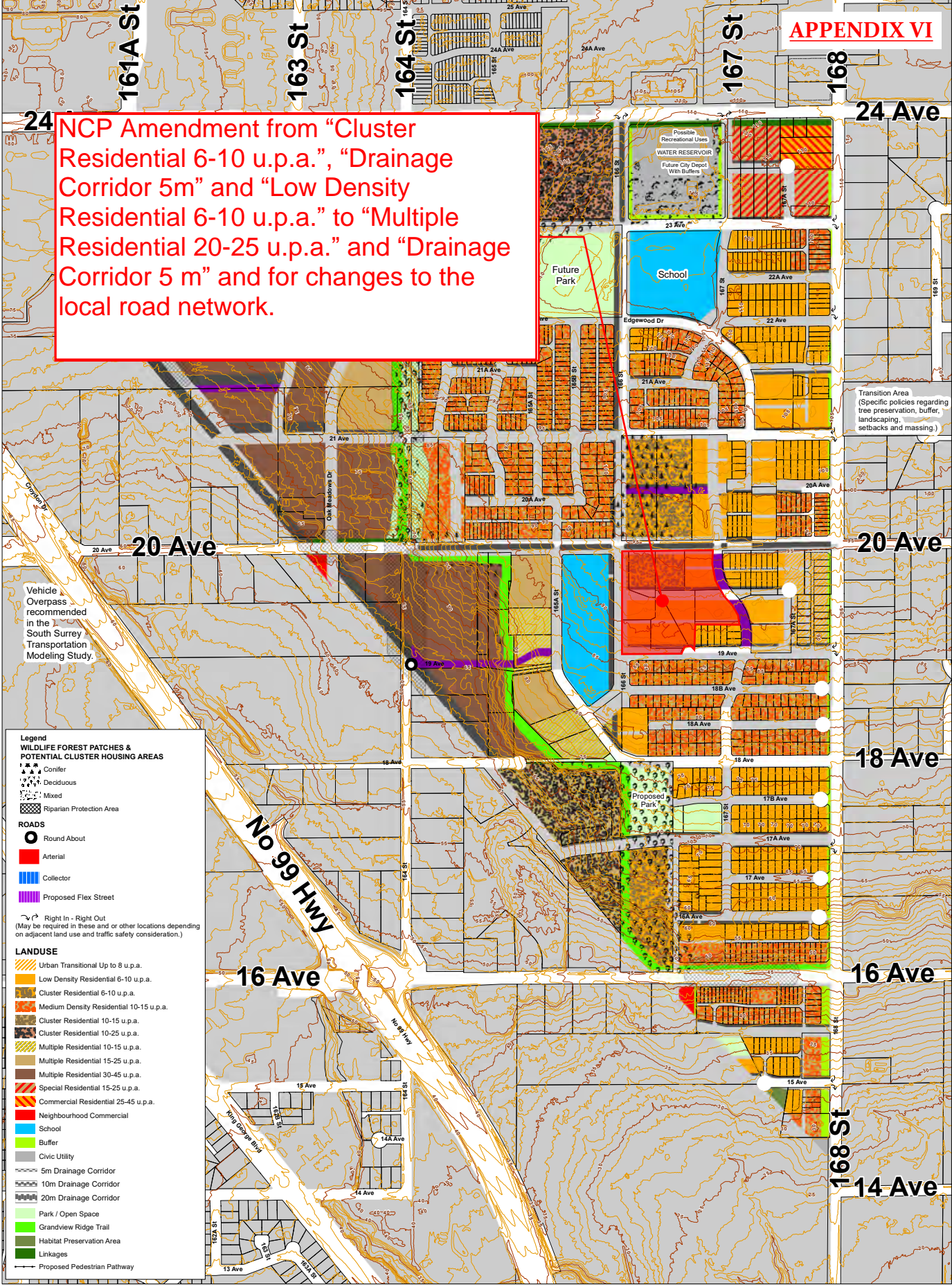
**SHEET TITLE**  
T1 - TREE REMOVAL AND PRESERVATION PLAN

**DRAWN** MK  
**SCALE** AS SHOWN  
**DATE** JUNE 2, 2020

**T-1**  
SHEET # OF 2



**NCP Amendment from "Cluster Residential 6-10 u.p.a.", "Drainage Corridor 5m" and "Low Density Residential 6-10 u.p.a." to "Multiple Residential 20-25 u.p.a." and "Drainage Corridor 5 m" and for changes to the local road network.**



**Grandview Heights NCP Area #2 (Sunnyside Heights)**

City of Surrey Planning & Development Department

Stage 1 Approved By Council: July 26, 2007  
 Stage 2 Approved By Council Nov. 15, 2010  
 Last Amended 15 February 2023

CITY OF SURREY

(the "City")

**DEVELOPMENT VARIANCE PERMIT**

NO.: 7920-0159-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-577-811

Lot 42 Section 13 Township 1 New Westminster District Plan 57371

16674 - 20 Avenue

Parcel Identifier: 005-577-829

Lot 43 Section 13 Township 1 New Westminster District Plan 57371

16648 - 20 Avenue

Parcel Identifier: 003-766-357

Lot 60 Section 13 Township 1 New Westminster District Plan 66460

16620 - 20 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

---

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
- 

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
- (a) In Part 22, Section F. Yards and Setbacks of the “Multiple Residential 30 Zone (RM-30)”, the minimum west front yard setback is reduced for Building 4 from 4.5 metres to 4.2 metres for a portion of the principal building face;
  - (b) In Part 22, Section F. Yards and Setbacks of the “Multiple Residential 30 Zone (RM-30)”, the minimum south side yard on a flanking street setback is reduced for Building 5 from 4.5 metres to 4.3 metres to a portion of the principal building face and for Building 14 from 4.5 metres to 3.0 metres;
  - (c) In Part 22, Section F. Yards and Setbacks of the “Multiple Residential 30 Zone (RM-30)”, the minimum north side yard on a flanking street setback is for the indoor amenity building from 4.5 metres to 4.3 metres; and
  - (d) Section B.26 (b) “Setbacks” of Part 4 “General Provisions” is varied to permit stairs with more than 3 risers to be located in the setback for Buildings 2, 3, and 4.
5. The landscaping and the siting of buildings and structures shall be in accordance with the drawings attached as Schedule A (the "Drawings") which are attached hereto and form part of this development variance permit.
6. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
8. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
9. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

10. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

---

Mayor – Brenda Locke

---

City Clerk – Jennifer Ficocelli

**SCHEDULE A**



**Kasian Architecture**  
Interior Design  
and Planning Ltd

1550 West Georgia Street, Suite 105  
Vancouver, BC Canada V6G 2Z6  
T: 604 683 4146 F: 604 683 2627  
www.kasian.com

Proposed variance reduce the minimum north side yard on a flanking street setback of the RM-30 Zone for the indoor amenity building from 4.5 metres to 4.3 metres

Proposed variance to vary Part 4 of the General Provisions to permit stairs with more than 3 risers to be located in the setback for Buildings 2, 3, and 4

Proposed variance to reduce the minimum west front yard setback of the RM-30 Zone for Building 4 from 4.5 metres to 4.2 metres for a portion of the principal building face

Proposed variance to reduce the minimum south side yard on a flanking street setback of the RM-30 Zone for Building 5 from 4.5 metres to 4.3 metres to a portion of the the principal building face and for Building 14 from 4.5 metres to 3.0 metres

**SITE LEGEND**

- PROPERTY LINE
- TY LINE
- INTEGRITY AREA
- BUFFER AREA
- LIVING
- CORRIDOR

| NO. | DATE       | ISSUED FOR                    | REVISION |
|-----|------------|-------------------------------|----------|
| 1   | 2023-02-09 | ISSUED FOR PRELIMINARY DESIGN |          |
| 2   | 2023-02-09 | ISSUED FOR PRELIMINARY DESIGN | REVISION |
| 3   | 2023-12-03 | ISSUED FOR DP REVISION        |          |
| 4   | 2023-02-24 | ISSUED FOR DP REVISION        |          |
| 5   | 2023-09-24 | ISSUED FOR DP REVISION        |          |
| 6   | 2023-11-10 | ISSUED FOR DP REVISION        |          |
| 7   | 2023-12-09 | ISSUED FOR DP REVISION        |          |
| 8   | 2023-01-11 | ISSUED FOR DP REVISION        |          |
| 9   | 2023-01-26 | ISSUED FOR DP REVISION        |          |
| 10  | 2023-01-26 | ISSUED FOR DP REVISION        |          |

DATE: 2023-03-28

CONTRACT: 16651-19 AVE AND 16620-20 AVE TOWNHOUSES

CONTRACTOR: KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD

PROJECT: 16651-19 AVE AND 16620-20 AVE TOWNHOUSES

16620, 16648 & 16674, 20 AVE, 1949-167TH ST, 16663, 16651 & 16621-19 AVE, 16606-20 AVE, SURREY, B.C.

DRAWING TITLE: OVERALL SITE PLAN

SITE - A (NORTH) & B (SOUTH)

DRAWING ISSUE: ISSUED FOR DP REVISION

PROJECT NO: 722009

PLOT DATE: 2023-03-28

SCALE: AS INDICATED

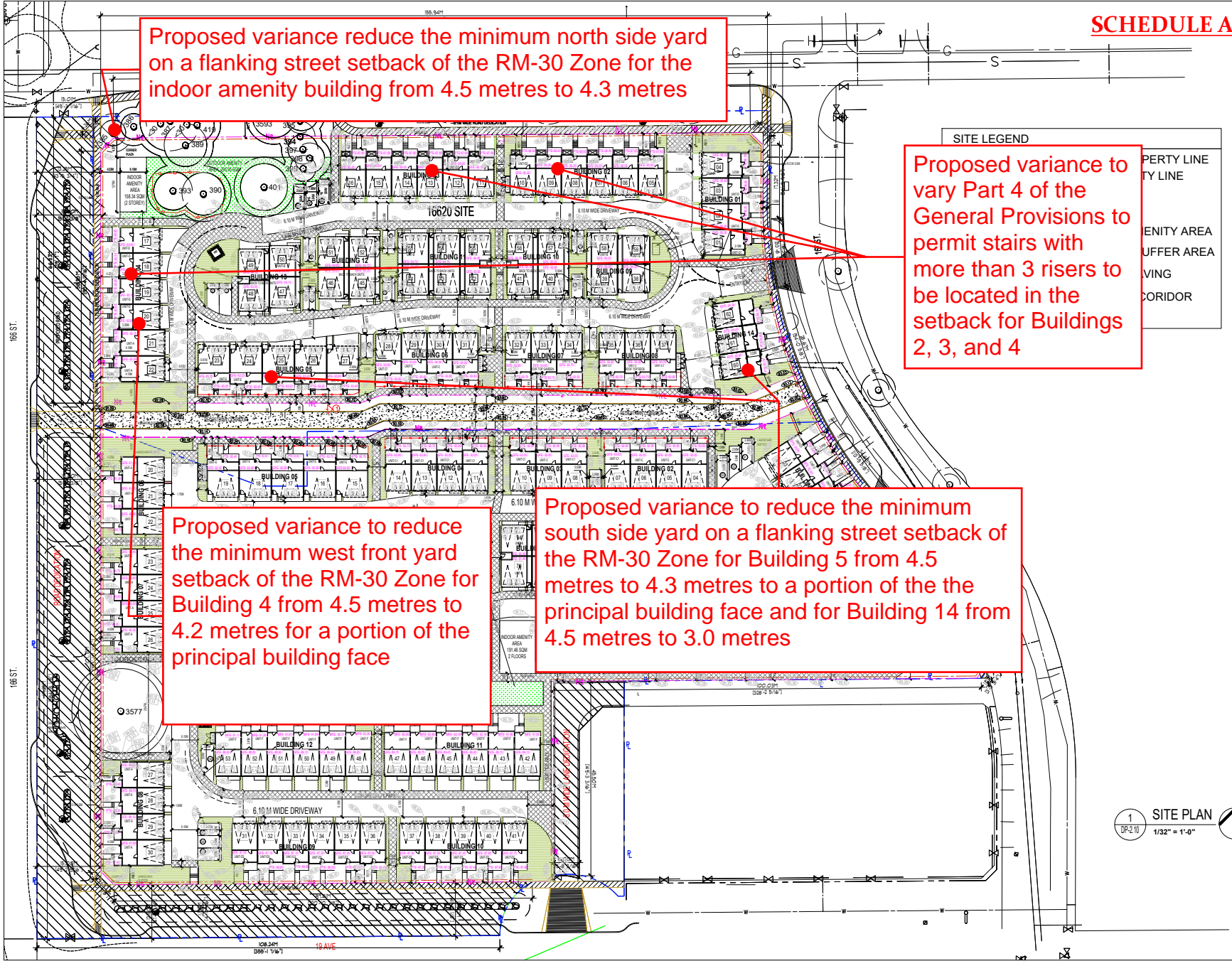
DRAWN: AD

REVIEWED: CY

DRAWING NO: DP-2.10

REVISION: 09

1 SITE PLAN  
DP-2.10  
1/32" = 1'-0"



16620 SITE  
16620-20 AVE

166 ST.

166 ST.

16620 SITE  
16620-20 AVE

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7920-0162-00

Issued To:

Address of Owner:

Issued To:

Address of Owner:

Issued To:

Address of Owner:

Issued To:

Address of Owner:

Issued To:

Address of Owner:

Issued To:

Address of Owner:

(the "Owners")

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-577-811  
Lot 42 Section 13 Township 1 New Westminster District Plan 57371  
16674 - 20 Avenue

Parcel Identifier: 005-577-845  
Lot 47 Section 13 Township 1 New Westminster District Plan 57371  
1949 - 167 Street

Parcel Identifier: 003-862-470  
Lot 55 Section 13 Township 1 New Westminster District Plan 58054  
16663 - 19 Avenue

Parcel Identifier: 005-650-585  
Lot 56 Section 13 Township 1 New Westminster District Plan 58054  
16651 - 19 Avenue

Parcel Identifier: 005-650-593  
Lot 57 Section 13 Township 1 New Westminster District Plan 58054  
16621 - 19 Avenue

Parcel Identifier: 003-766-357  
Lot 60 Section 13 Township 1 New Westminster District Plan 66460  
16620 - 20 Avenue

Parcel Identifier: 003-766-471  
Lot 61 Section 13 Township 1 New Westminster District Plan 66460  
16606 - 20 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

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- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
- 

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Part 22, Section F. Yards and Setbacks of the “Multiple Residential 30 Zone (RM-30)”, the minimum east front yard setback is reduced for Building 1 from 4.5 metres to 4.4 metres to a portion of the principal building face and to 3.8 metres to a portion of the principal building face for Building 24;
- (b) In Part 22, Section F. Yards and Setbacks of the “Multiple Residential 30 Zone (RM-30)”, the minimum west front yard setback is reduced for Building 8 from 4.5 metres to 4.4 metres to a portion of the principal building face;
- (c) In Part 22, Section H. Off-Street Parking and Loading/Unloading of the “Multiple Residential 30 Zone (RM-30)”, the minimum north side yard on a flanking street setback is reduced from 4.5 metres to 2.0 metres for visitor parking stall 1 and to 3.8 metres for visitor parking stall 2;
- (d) In Part 22, Section F. Yards and Setbacks of the “Multiple Residential 30 Zone (RM-30)”, the minimum south side yard on a flanking street setback is reduced for Building 10 from 4.5 metres to 4.2 metres for a portion of the principal building face and from 4.5 metres to 4.4 metres to Building 9 for a portion of the principal building face;
- (e) In Part 22, Section F. Yards and Setbacks of the “Multiple Residential 30 Zone (RM-30)”, the minimum south side yard setback is reduced from 4.5 metres to 4.3 metres to Building 16 and to 4.2 metres to Building 17; and
- (f) In Part 22, Section F. Yards and Setbacks of the “Multiple Residential 30 Zone (RM-30)”, the minimum east rear yard setback is reduced from 6.0 metres to 3.0 metres to Building 11.

5. The landscaping and the siting of buildings and structures shall be in accordance with the drawings attached as Schedule A (the "Drawings") which are attached hereto and form part of this development variance permit.

6. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.



8. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
  
9. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  
10. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

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Mayor – Brenda Locke

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City Clerk – Jennifer Ficocelli

**SCHEDULE A**



Kasian Architecture  
Interior Design  
and Planning Ltd

1550 West Georgia Street, Suite 1050  
Vancouver, BC Canada V6G 2Z8  
T 604 683 4146 F 604 683 2627  
www.kasian.com

**SITE LEGEND**

- EXISTING PROPERTY LINE
- NEW PROPERTY LINE

Proposed variance to reduce the minimum north side yard on a flanking street setback of the RM-30 Zone from 4.5 metres to 2.0 metres for visitor parking stall 1 and to 3.8 metres for visitor parking stall 2;

Proposed variance to reduce the minimum east front yard setback of the RM-30 Zone for Building 1 from 4.5 metres to 4.4 metres to a portion of the principal building face and to 3.8 metres to a portion of the principal building face for Building 24

Proposed variance to reduce the minimum east rear yard setback of the RM-30 Zone from 6.0 metres to 3.0 metres to Building 11.

Proposed variance to reduce the minimum west front yard setback of the RM-30 Zone for Building 8 from 4.5 metres to 4.4 metres to a portion of the principal building face

Proposed variance to reduce the minimum south side yard setback of the RM-30 Zone from 4.5 metres to 4.3 metres to Building 16 and to 4.2 metres to Building 17

Proposed variance to reduce the minimum south side yard on a flanking street setback of the RM-30 Zone for Building 10 from 4.5 metres to 4.2 metres for a portion of the principal building face and from 4.5 metres to 4.4 metres to Building 9 for a portion of the principal building face;

16651-19 AVE AND 16620-20 AVE  
TOWNHOUSES  
16620, 16648 & 16674, 20 AVE, 1949-167TH ST,  
16663, 16651 & 16621-19 AVE,  
16606-20 AVE, SURREY, B.C

CALL SITE PLAN  
E - A (NORTH)  
B (SOUTH)

DR DP REVISION

| DATE | 2023-03-28   | DRAWN    | AD |
|------|--------------|----------|----|
| FILE | AS INDICATED | REVIEWED | CY |