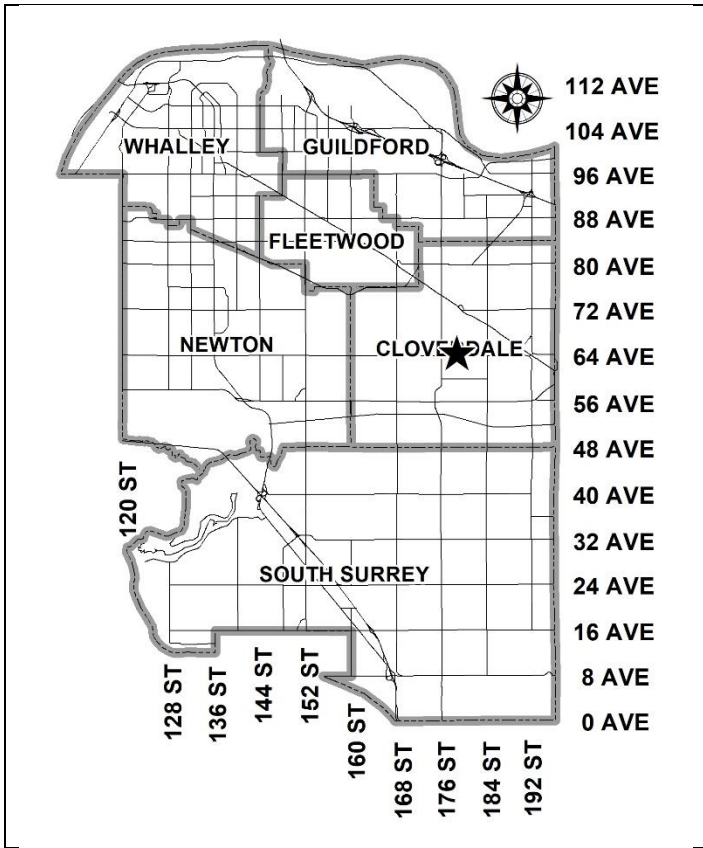


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7920-0042-00

Planning Report Date: January 29, 2024



PROPOSAL:

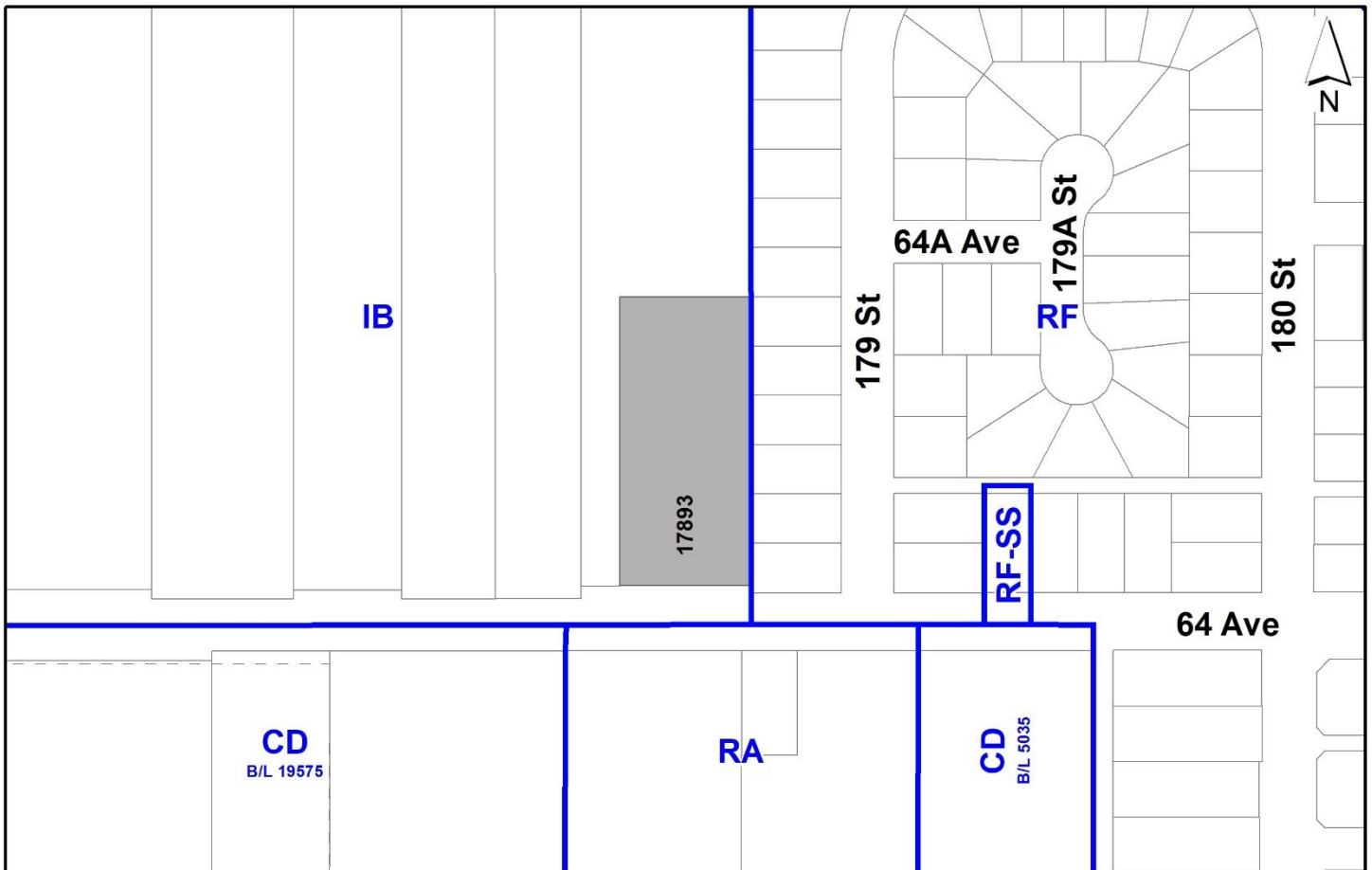
- Development Permit
- Development Variance Permit

to permit the development of a multi-unit industrial building.

LOCATION: 17893 - 64 Avenue

ZONING: IB

OCP DESIGNATION: Mixed Employment



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking a variance to reduce the (south) front yard setback for the building.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal complies with the Mixed Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed development is a high quality industrial development and supports policies of the OCP and the City's Employment Lands Strategy geared towards more intensive use of employment lands to support job creation.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7920-0042-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum front (south) yard setback of the IB Zone from 7.5 metres to 4.5 metres to the principal building face;
2. Council authorize staff to draft Development Permit No. 7920-0042-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (c) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect; and
 - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Vacant lot.	Mixed Employment	IB
North:	Existing multi-tenant industrial building.	Mixed Employment	IB
East:	Single family dwellings.	Urban	RF
South (Across 64 Avenue):	Cloverdale Horseshoe Club	Urban	RA
West (Across 17848 - 65A Avenue panhandle):	Industrial business.	Mixed Employment	IB

Context & Background

- The subject lot is 5,589 square metres in size and is located in the Cloverdale business park area. The site is designed Mixed Employment in the OCP and is zoned Business Park Zone (IB).
- In 2015, the subject property was subdivided, through a lot line adjustment with the property to the north (17848 – 65A Avenue), and the subject site was increased in both size and width.
- The property to the north, 17848 – 65A Avenue, is a panhandle lot with a driveway and parking spaces located within the panhandle. An easement is registered which allows for driveway access to the subject lot from the panhandle.
- Along the north portion of the subject site a parking easement was registered to provide additional parking spaces for the property to the north.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing a Form and Character Development Permit to construct an approximately 2,927-square metre multi-unit industrial building.

	Proposed
Lot Area	
Gross Site Area:	5,590 square metres
Road Dedication:	0
Undevelopable Area:	0
Net Site Area:	5,590 square metres
Number of Lots:	1
Building Height:	11.8 metres
Floor Area Ratio (FAR):	0.52
Lot Coverage:	41.4%
Floor Area	
Industrial:	2,284 square metres
Office:	620 square metres
Total:	2,904 square metres

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

Surrey Fire Department: The Surrey Fire Department has no concerns, and has identified certain requirements to be addressed at the time of Building Permit.

Transportation Considerations

- The subject site is proposed to be accessed onto 64 Avenue via an existing shared driveway with the property to the north. The subject site also has access via the shared driveway to 65A Avenue, which would provide both existing and ultimate full-movement ability for the subject site.
- The subject site is located along existing transit service on 64 Avenue, as well as along Bose Greenway, a multi-use pathway on the south side of 64 Avenue.
- According to the Zoning Bylaw, the applicant is required to provide a minimum of 37 parking spaces on site. The applicant is proposing to provide 38 total parking spaces on site, meeting the Zoning Bylaw requirements.

Southern Setback Variance

- The applicant is requesting to vary the minimum south front yard setback of the IB Zone from 7.5 metres to 4.5 metres for the building face.
- The proposed relaxation is for the south yard and will improve the building's street presence. The front yard setback will be landscaped and includes an employee outdoor amenity area.
- The proposed south yard setback relaxation maximizes the amount of industrial floor area and efficiency in the layout for the proposed industrial building, while still maintaining appropriate setbacks to the residential properties to the east.
- The south elevation of the building facing 64 Avenue has been designed to a high quality standard and includes substantial glazing and design articulation elements.
- Staff support the proposed variance.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is designated "Mixed Employment" under the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed industrial warehouse building with second storey mezzanine office space complies with the RGS designation.

Official Community Plan

Land Use Designation

- The subject site is designated "Mixed Employment " in the Official Community Plan (OCP). The proposed industrial building complies with this designation.

Themes/Policies

- The proposed development is consistent with the following guiding policies and objectives in the OCP:
 - Policy E1.6 – Support the infill and redevelopment of under-utilized properties within Industrial land designations.
 - Policy E1.8 – Ensure a positive interface between employment lands and surrounding uses.
 - Policy E1.10 – Ensure sufficient, convenient, and appropriate access to employment lands, including supply and goods movement routes, and access to employment opportunities for Surrey’s workforce.

Zoning By-law

- The table below provides an analysis of the development proposal in relation to the requirements of the IB Zone.

IB Zone (Part 47)	Permitted and/or Required	Proposed
Unit Density:		
Floor Area Ratio:	0.75 FAR	0.52 FAR
Lot Coverage:	60%	41.4%
Yards and Setbacks		
North:	7.5 metres	7.6 metres
East:	7.5 metres	10 metres
South:	7.5 metres	4.5 metres*
West:	7.5 metres	8.6 metres
Height of Buildings		
Principal buildings:	12 metres	11.6 metres
Accessory buildings:	n/a	n/a
Parking (Part 5)	Required	Proposed
Number of Stalls		
Industrial:	23	23
Office:	14	15
Total:	37	38
Tandem (%):	nil	nil

*Variance proposed

PUBLIC ENGAGEMENT

- The Development Proposal Signs were installed in July 2022. Staff received no responses from neighbouring residents.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the OCP.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The applicant worked with staff to address a previous shortfall in parking and revised an original layout that had a parking area between the proposed building and 64 Avenue.
- Parking and loading areas are located along the west and north sides of the building.
- The west elevation includes substantial glazing along the upper portion of the building and is primarily dark greyish/blue with horizontal beige panels along doors and windows. This elevation includes all the loading areas and entrance doors to each unit. Canopies are provided along the façade with large fins separating each unit. The four loading areas are indented along the western portion of the building with four parking spaces located between each loading area.
- The north and south elevation are similar with the south elevation being the primary elevation visible from 64 Avenue. Both elevations have substantial glazing and include a mix of white, blue and two shades of grey vertical panels along the whole façade.
- The eastern elevation backs onto residential properties and will be screened by a 10-metre landscape buffer. The façade itself is elegantly painted with a mix of blue, greys and white vertical panels.
- Proposed signage includes fascia signs for each unit. The applicant does not propose a free standing sign at this time. All signage will comply with the Sign By-law.

Landscaping

- The applicant proposes modest landscaping and screening along the southern setback along 64 Avenue with two trees and a lawn area.
- A landscape island and tree is proposed along the north of the building to break up the row of parking spaces.

Outdoor Amenity

- The applicant proposes an outdoor amenity area for employees in the front setback between the building face and 64 Avenue, consisting of a seating area.

Landscape Buffer

- The applicant proposes a 10-metre wide landscape buffer along the east property line. An additional 15 trees are proposed to augment the existing trees within the buffer and groundcover will be increased with various shrubs.

TREES

- Kin Cho, ISA Certified Arborist of BC Plant Health Care Inc. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	2	1	1
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Big Leaf Maple	1	1	0
Paper Birch	1	1	0
Black Walnut	1	0	1
Cherry	1	1	0
Willow	1	1	0
Coniferous Trees			
Grand Fir	1	1	0
Douglas Fir	3	0	3
Western Red Cedar	8	0	8
Total (excluding Alder and Cottonwood Trees)	17	5	12
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		11	
Total Retained and Replacement Trees		23	
Contribution to the Green City Program		nil	

- The Arborist Assessment states that there are a total of 17 mature trees on the site, excluding Alder and Cottonwood trees. Two existing trees, approximately 11 % of the total trees on the site, are Alder trees. It was determined that 12 mature trees and 1 mature Alder tree can be retained as part of this development proposal. The proposed tree retention was assessed

taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 11 replacement trees on the site. The applicant is proposing 11 replacement trees, meeting the City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 64 Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including maples, serviceberry dogwood, beech and tupelo.
- In summary, a total of 23 trees are proposed to be retained or replaced on the site.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	Summary of Tree Survey and Tree Preservation
Appendix IV.	Development Variance Permit No. 7920-0042-00

approved by Ron Gill

Don Luymes
General Manager
Planning and Development

JKS/ar

Appendix I











REV.	DATE	DESCRIPTION
1	JUN 2024	ISSUED FOR CLIENT REVIEW
2	JUN 2024	ISSUED FOR CLIENT REVIEW
3	JUN 2024	ISSUED FOR CLIENT REVIEW
4	JUN 2024	ISSUED FOR CITY APPROVAL
5	JUN 2024	ISSUED FOR COORDINATION
6	JUN 2024	ISSUED FOR CITY APPROVAL
7	JUN 2024	ISSUED FOR COORDINATION
8	JUN 2024	ISSUED FOR CITY APPROVAL
9	JUN 2024	ISSUED FOR COORDINATION
10	JUN 2024	ISSUED FOR DP
11	JUN 2024	ISSUED FOR DP + REVISION

CIVIC ADDRESS (FORMAL ADDRESS 17843 - 64 TH AVENUE, SUBDIVISION PENDING)

LEGAL DESCRIPTION
 ZONING: B - BUSINESS PARK ZONE
 SITE AREA: 60,710.25 S.F. [2,694 S.M.]
 BUILDING AREA: 24,413.55 S.F. [2,284 S.M.]
 SITE COVERAGE: 60.28%
 FLOOR AREA RATIO: 40.0%

PARKING:
 REGULAR STALL (28' X 55' ft) 8'-6" X 18'-0"
 SMALL CAR (28' X 48' ft) 8'-0" X 18'-0"
 LOADING (30' X 41' ft) 10'-0" X 30'-0"

FLOOR AREAS	
	MAIN FLOOR / SECOND FLOOR
INDUSTRIAL	24,413.55 S.F. [2,284 S.M.]
OFFICE (PURE)	6,664 S.F. [615 S.M.]
MECH. / ELEC.	257.48 S.F. [23.8 S.M.]
TOTAL	31,335.03 S.F. [2,899 S.M.]

FLOOR AREA RATIO:
 ALLOWED: 0.75
 PROVIDED: 1,809.02 S.F. / 60,710 S.F. = 0.32

EASTING SETBACKS (B) REQUIRED / PROVIDED:
 BUILDING SETBACK: 52.00' (10 m) / 52.00' (10 m)
 WEST SIDE YARD: 12.00' (3.6 m) / 12.00' (3.6 m)
 NORTH REAR YARD: 24.61' (7.5 m) / 25.00' (7.6 m)
 SOUTH FRONT YARD: 24.61' (7.5 m) / 14.76' (4.5 m) - VARIANCE REQ.

HEIGHT:
 MAXIMUM ALLOWABLE: 40'-0" (12.0 m)
 PROPOSED HIGHEST PT.: 39'-0" (11.9 m)

SITE PLAN - GENERAL NOTES:
 1. THE GENERAL CONTRACTOR SHALL MAINTAIN A 5' CLEARANCE FROM THE BUILDING TO ALL UTILITIES AND SERVICES AS SHOWN ON THIS PLAN. ALL UTILITIES SHALL BE 18" FROM THE EXTERIOR WALLS OF THE BUILDING.
 2. THE GENERAL CONTRACTOR SHALL MAINTAIN A 5' CLEARANCE FROM THE BUILDING TO ALL UTILITIES AND SERVICES AS SHOWN ON THIS PLAN. ALL UTILITIES SHALL BE 18" FROM THE EXTERIOR WALLS OF THE BUILDING.
 3. THE GENERAL CONTRACTOR SHALL MAINTAIN A 5' CLEARANCE FROM THE BUILDING TO ALL UTILITIES AND SERVICES AS SHOWN ON THIS PLAN. ALL UTILITIES SHALL BE 18" FROM THE EXTERIOR WALLS OF THE BUILDING.

REQUIRED:
 LIGHT IMPACT INDUSTRIAL - 1 STALL PER 100 S.M. [1078.4 S.F.]
 24,413.55 S.F. / 1078.4 = 22.6 + 23 STALLS
 OFFICE (PURE) 23 STALLS PER 100 S.M. [9384 S.F. X 25 / 1078.4 + 15.48 + 15 STALLS]
 6,664 S.F. / 9384 = 0.71 + 15 STALLS
 TOTAL PARKING REQUIRED: 38 STALLS

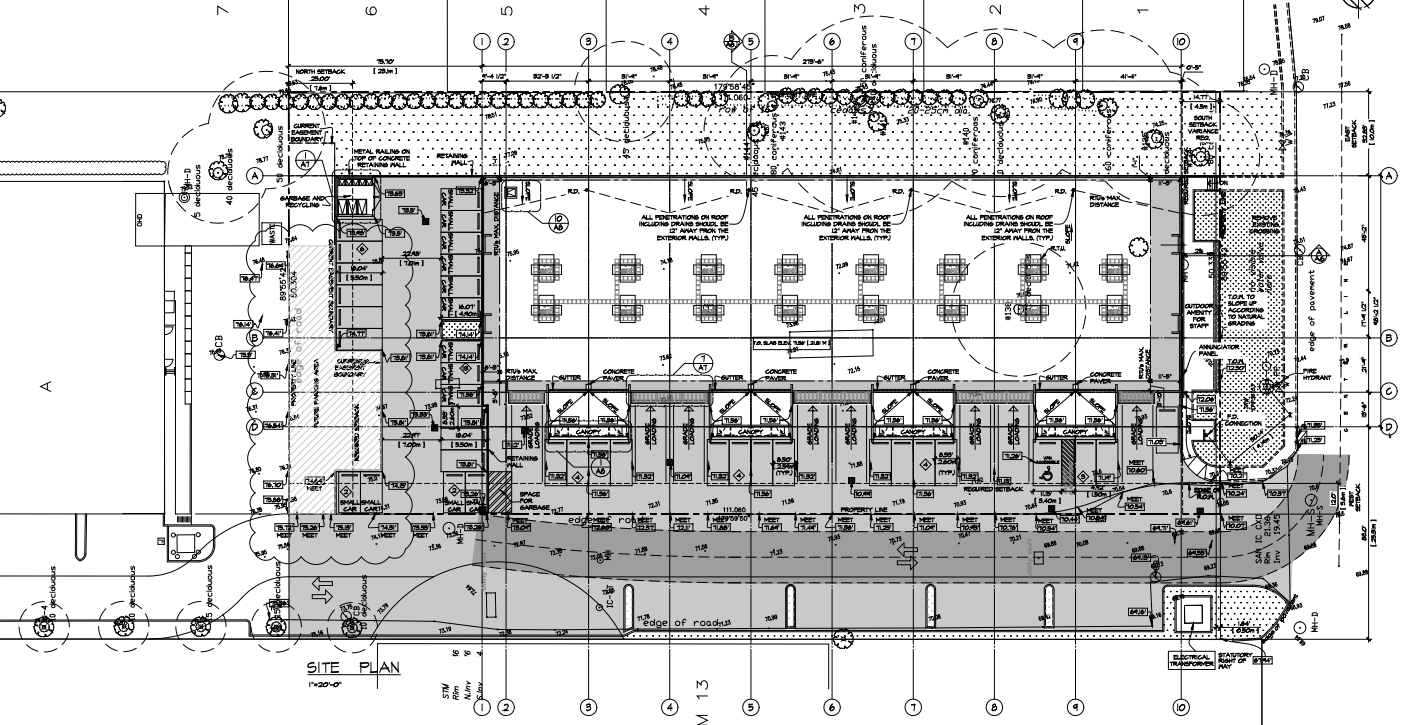
PROVIDED:
 REGULAR STALLS: 24 STALLS
 SMALL CAR STALLS: 15 STALLS
 LOADING: 1 STALL
 TOTAL PARKING PROVIDED: 38 STALLS
 HANDOVERS AVAILABLE: (1.0 m) x 25'-0"
 LOADING: 10' x 30' (3.0 X 9.0 m) 8 STALLS

LEGEND

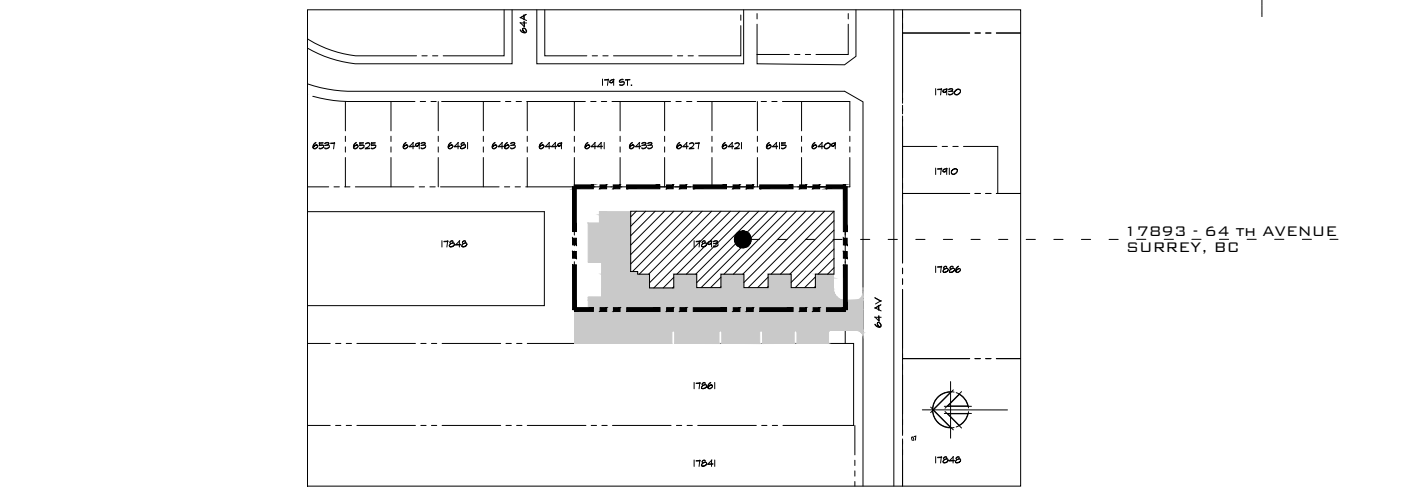
- W - MAIN FLOOR LIGHT
- LD-12 - LEAD SHEETING
- SW - SLOPE
- GD - GROUND GRADE EXTERIOR SURFACE
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- GD-100 - GROUND GRADE EXTERIOR SURFACE

ABBREVIATIONS

- BER - BENCHMARK ELEVATION REFERENCE
- GSR - GROUND SURFACE
- DR - DRIVE
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SITE PLAN
 1" = 20'-0"



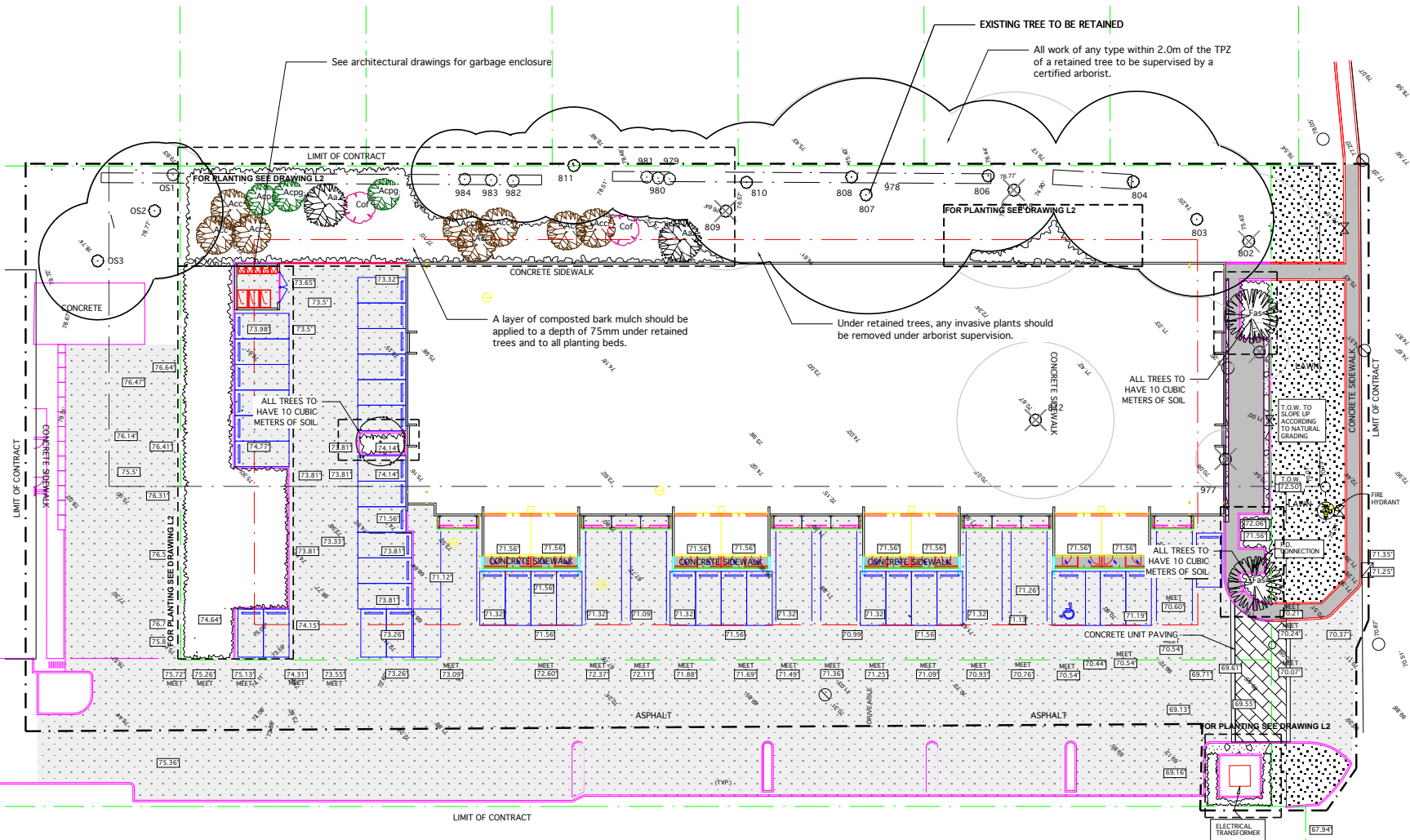
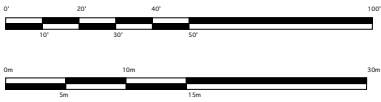
CONTEXT
 1/8" = 1'-0"

17893 - 64 TH AVENUE
 SURREY, BC



LO STUDIO
 architecture Inc.
 #205 - 3751 JACOBS ROAD - RICHMOND, B.C.
 V6V 3H4 - TEL: 604-276-0114 - CELL: 778-886-0251

PROJECT: WAREHOUSE BUILDING
 SHEET TITLE: SITE PLAN OF ORIGINAL PROPOSAL AND OPTION 1
 DWG. NO.: 17-007-AOI
 REV: 1



64 AVENUE

REV.	DATE	DESCRIPTION
4	APR 20, 2023	IN RESPONSE TO COMMENTS FROM CITY
3	MAY 30, 2023	GENERAL
2	NOV 19, 2021	INCORPORATED ARBORIST REPORT
1	JAN 11, 2019	GENERAL REVISIONS

**64th AVENUE
MIXED USE BUILDING**

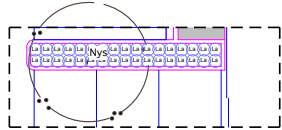
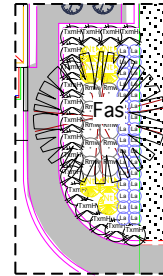
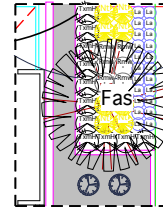
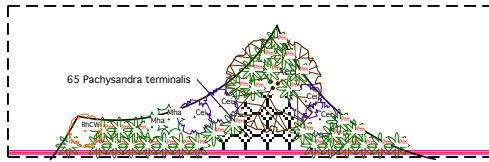
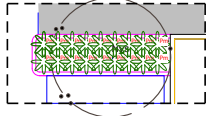
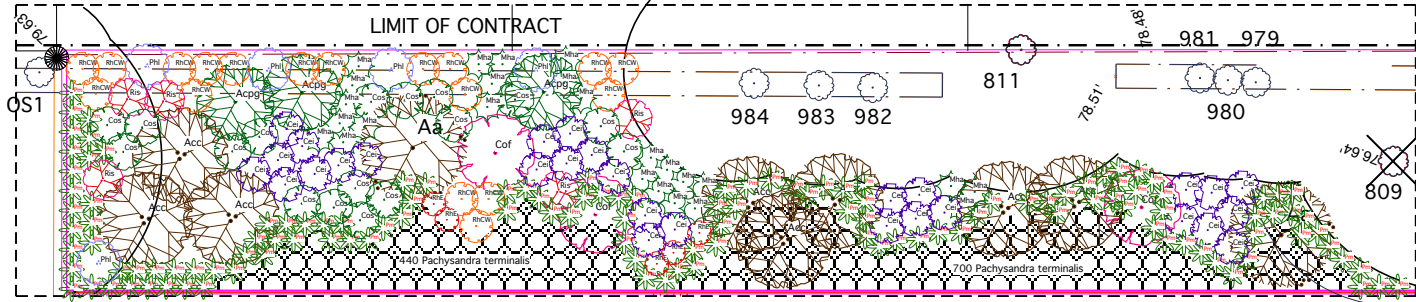
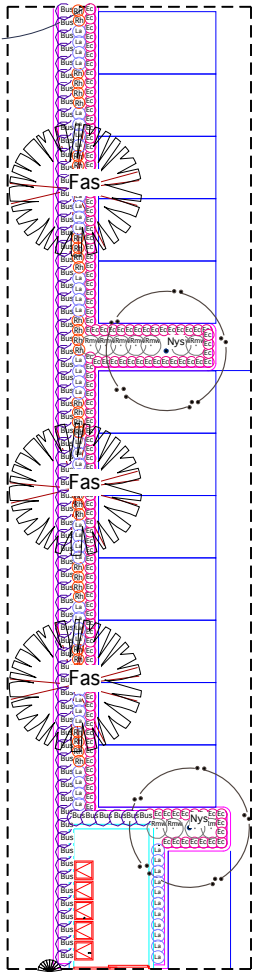
Vaughan
Landscape Planning
and Design
1406 Clyde Ave.,
West Vancouver, B.C.
Canada V7T 1G1
PH: 922-1885
FAX: 922-5485
office@vaughanplanning.com

DESIGNED	MCV
SCALE	1/8" = 1'-0"
DATE	OCT 1, 2018

TITLE	
LANDSCAPE PLAN	
DRAWING NO.	REV
L1	4

THIS REVISION SUPERCEDES DRAWINGS BEARING PREVIOUS REVISION NUMBERS

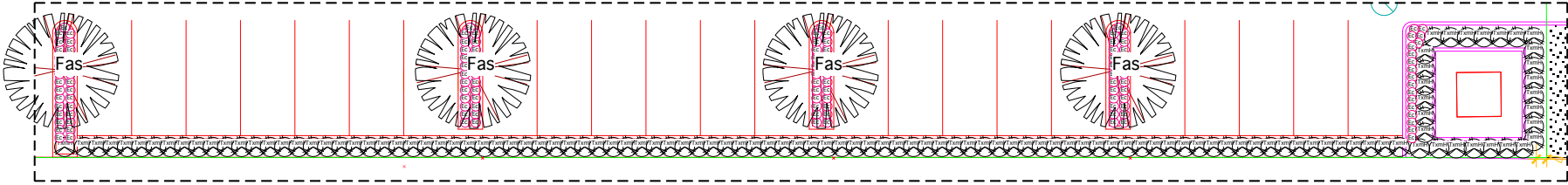
(INDUSTRIAL)



Plant List

Sym.	Latin Name	Common Name	Size	Cdn	Qty
Trees					
Acc	<i>Acer circinatum</i>	Vine maple	1.5m ht.	B&B	8
Acpq	<i>Acer palmatum</i>	Japanese maple	1.5m ht.	B&B	3
Aa	<i>Amelanchier arborea</i>	Downy serviceberry	5 cm cal	B&B	2
Cof	<i>Cornus florida rubra</i>	Pink flowering dogwood	5 cm cal	B&B	3
Fas	<i>Fagus sylvatica</i>	European Beech	7 cm cal	cage	9
Nys	<i>Nyssa Sylvatica</i>	Black Tupelo	7 cm cal	cage	4
Shrubs					
Bus	<i>Buxus sempervirens 'Winter Gem'</i>	Dwarf Boxwood 'Winter Gem'	0.3m ht.	#3 pot	79
Cei	<i>Ceanothus impresses 'Victoria'</i>	California Lilac	1.5m ht.	#3 pot	33
Cos	<i>Cornus stolonifera</i>				17
Ec	<i>Erica carnea 'Bell's Extra Special'</i>	Winter Flowering Heather 'Bell's Extra Special'	0.3m ht.	#3 pot	257
Mha	<i>Mahonia aquifolium</i>	Oregon Grape	0.6m ht.	#3 pot	27
Phi	<i>Philadelphus lewisii</i>	Mock Orange	1.0m ht.	#1 pot	5
Pm	<i>Polystichum munitum</i>	Western Sword Fern	0.3m ht.	#1 pot	181
RhCW	<i>Rhododendron 'Cunninghams White'</i>	Cunninghams White Rhododendron	0.6m ht.	#3 pot	19
RHE	<i>Rhododendron 'Elizabeth'</i>	Elizabeth Rhododendron	0.4m ht.	#3 pot	5
Ris	<i>Ribes sanguineum</i>	Flowering Red Current	0.6m ht.	#3 pot	5
Rmw	<i>Rosa meidland 'White'</i>	Meidland Rose White	0.3m ht.	#3 pot	26
TxmH	<i>Taxus x media 'Hicksii'</i>	Intermediate Yew	0.8m. ht.	#3 pot	149
Grasses, Perennials and Groundcovers					
La	<i>Lavandula angustifolia 'Nana'</i>	Dwarf Lavender 'Nana'	0.3m ht.	#3 pot	139
Nt	<i>Nassella tenuissima</i>	Mexican feathergrass	#1 pot		15
	<i>Pachysandra terminalis</i>	Japanese spurge	10 cm pot		1205
Rh	<i>Rudbeckia hirta 'Goldstrum'</i>	Black Eyed Susan 'Goldstrum'	0.3m ht.	#3 pot	38

All work to CSLA/CNTA Standards



DATE	ISSUED

REV.	DATE	DESCRIPTION
2	Nov 19, 2021	INCORPORATED ARBORIST REPORT
1	Jan 11, 2019	GENERAL REVISIONS

**64th AVENUE
MIXED USE BUILDING**

Vaughan
Landscape Planning
and Design

1405 Clyde Ave.,
West Vancouver, B.C.
Canada V7T 1G1
PH:922-1885
FAX:922-5485
office@vaughanplanning.com

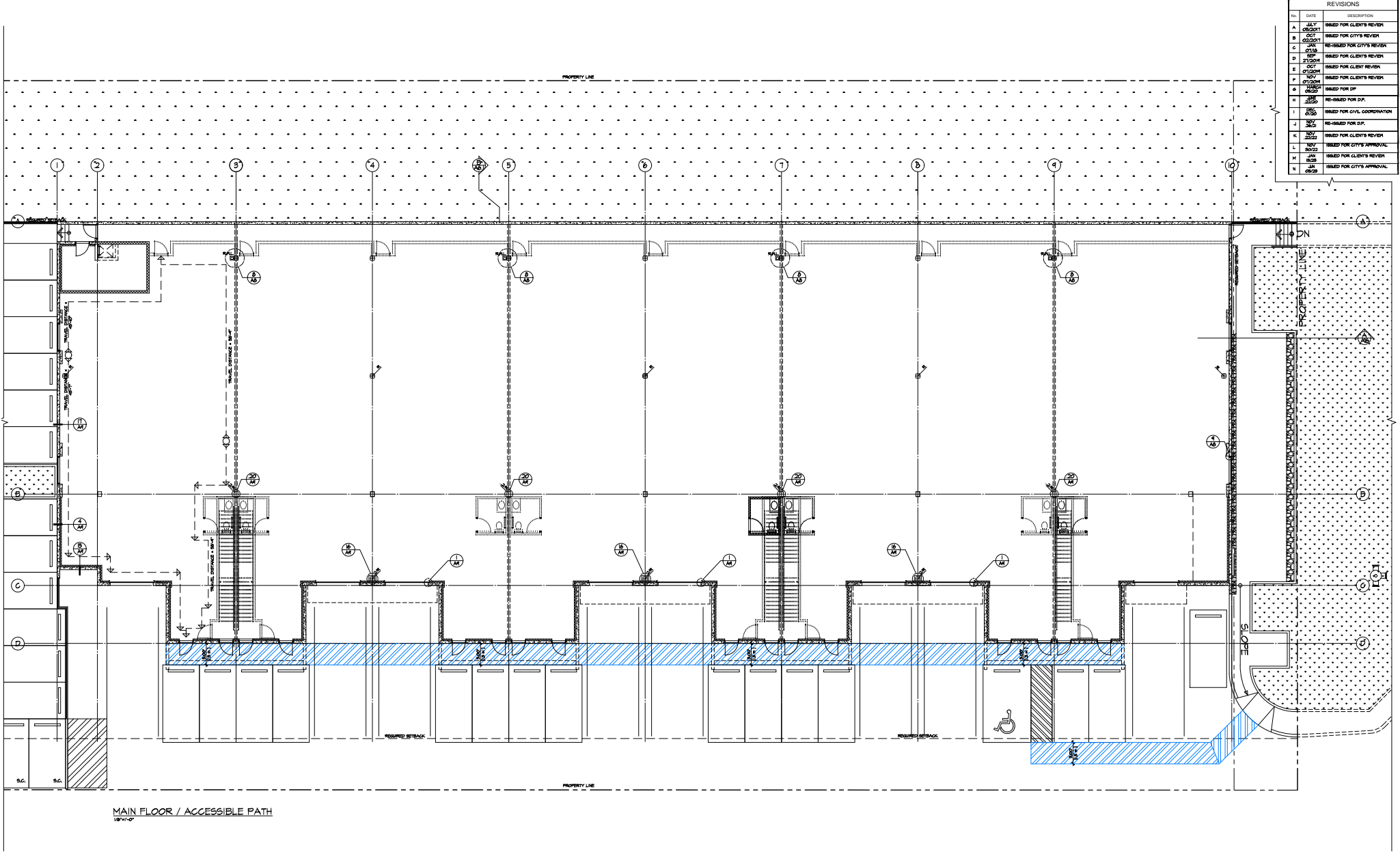
DESIGNED	MCV
SCALE	1/8" = 1'-0"
DATE	OCT 1, 2018

PLANTING PLAN

DRAWING NO.	REV
L2	2

THIS REVISION SUPERCEDES DRAWINGS
BEARING PREVIOUS REVISION NUMBERS

REVISIONS		
NO.	DATE	DESCRIPTION
A	JULY 2018	ISSUED FOR CLIENT'S REVIEW
B	OCT 2018	ISSUED FOR CITY'S REVIEW
C	JAN 2019	RE-ISSUED FOR CITY'S REVIEW
D	FEB 2019	ISSUED FOR CLIENT'S REVIEW
E	OCT 2019	ISSUED FOR CLIENT'S REVIEW
F	NOV 2019	ISSUED FOR CLIENT'S REVIEW
G	MARCH 2020	ISSUED FOR D.P.
H	JUNE 2020	RE-ISSUED FOR D.P.
I	NOV 2020	RE-ISSUED FOR D.P.
J	NOV 2020	ISSUED FOR CLIENT'S REVIEW
K	NOV 2020	ISSUED FOR CITY'S APPROVAL
L	NOV 2020	ISSUED FOR CITY'S APPROVAL
M	JAN 2021	ISSUED FOR CITY'S REVIEW
N	JAN 2021	ISSUED FOR CITY'S APPROVAL



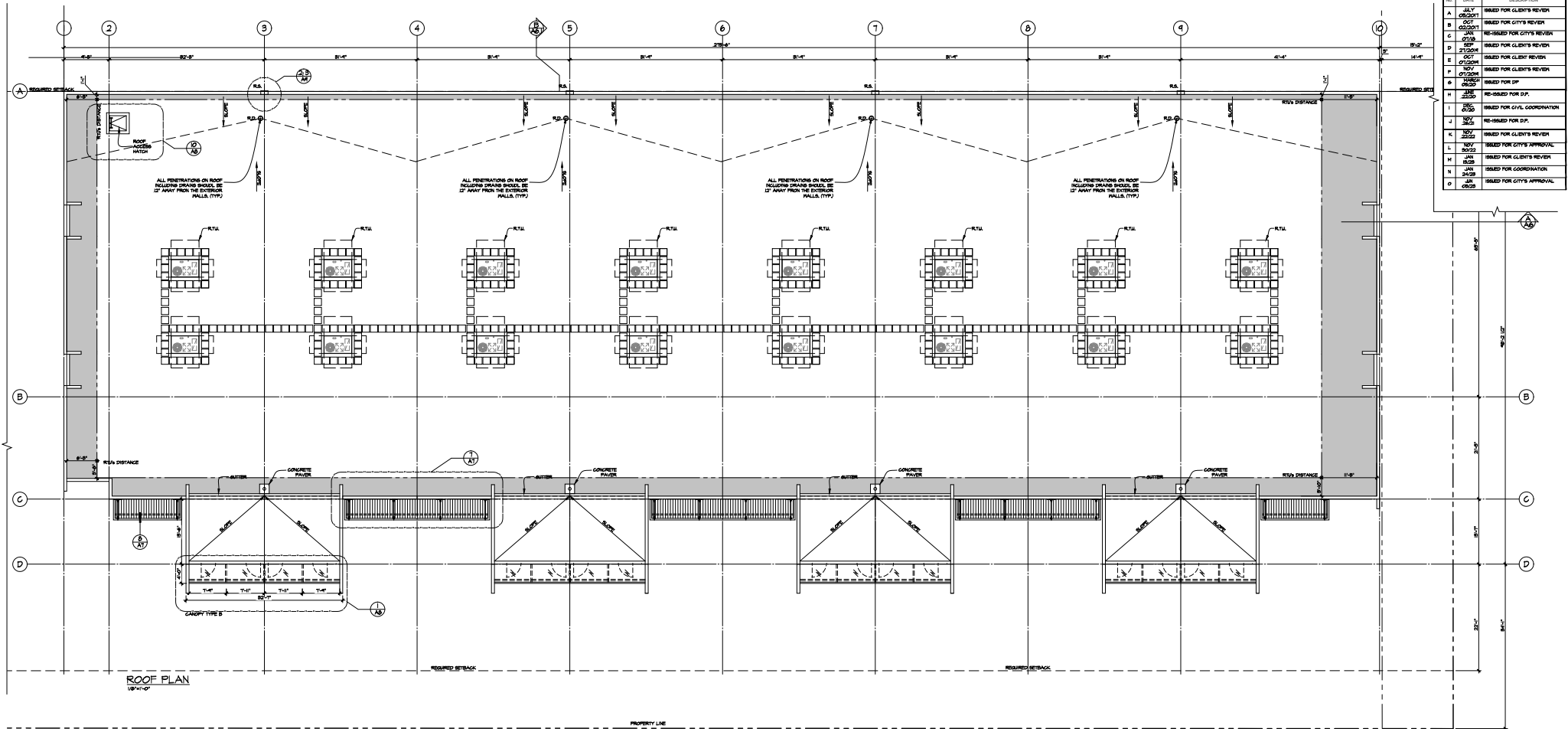
MAIN FLOOR / ACCESSIBLE PATH
18-005

Copyright reserved. The plan and design shall be all that is made. The contractor shall verify all dimensions and be responsible for all dimensions and locations on the site. He shall require confirmation of errors and discrepancies on the original drawings. There shall be no liability for any errors or omissions. The contractor shall be responsible for any resulting repairs, work, and cost of rectification.

LO STUDIO
architecture Inc.
8205 - 3751 JACOBS ROAD - RICHMOND, B.C.
V6V 2S4 - TEL: (604) 275-0114 - CELL: 778-986-0281

PROJECT: PROPOSED MULTI TENANT WAREHOUSE BUILDING
SHEET TITLE: ACCESSIBLE PATH

NO.	DATE	DESCRIPTION
A	JULY 2024	ISSUED FOR CLIENT'S REVIEW
B	OCT 2024	ISSUED FOR CITY'S REVIEW
C	JAN 2025	ISSUED FOR CITY'S REVIEW
D	JUN 2025	ISSUED FOR CLIENT'S REVIEW
E	OCT 2025	ISSUED FOR CLIENT'S REVIEW
F	NOV 2025	ISSUED FOR CLIENT'S REVIEW
G	NOV 2025	ISSUED FOR D.P.
H	NOV 2025	RE-ISSUED FOR D.P.
I	NOV 2025	ISSUED FOR CIVIL COORDINATION
J	NOV 2025	RE-ISSUED FOR D.P.
K	NOV 2025	ISSUED FOR CLIENT'S REVIEW
L	NOV 2025	ISSUED FOR CITY'S APPROVAL
M	JAN 2026	ISSUED FOR CLIENT'S REVIEW
N	JAN 2026	ISSUED FOR COORDINATION
O	JUN 2026	ISSUED FOR CITY'S APPROVAL



- LEGEND: GENERAL**
- AC - AIR CONDITIONS
 - ADT - ACTIVE DOOR
 - ADVT - ADOPTED FINISHED FLOOR
 - BDN - BASE BOARD HEATER
 - BLD - BUILDING ELEVATION
 - CLF - CEILING FLOOR
 - CO - CLEAN OUT
 - CR - CURB
 - CT - CERAMIC TILE
 - DN - DRAINAGE
 - DY - DRY
 - FC - FLOOR FINISH
 - FD - FLOOR DRAIN
 - FL - FLOOR
 - FR - FIRE RATED
 - FRB - FIRE RESISTANCE RATING
 - FA - FIRE SEPARATION
 - AC - ARCHITECTURAL CONTRACTOR
 - HC - HANDICAP (DISABLED) PAQ
 - HL - HALL
 - HWT - HOT WATER TANK
 - LI - TYPE # 1 1/2\"/>

- WALL TYPES: EXTERIOR**
- 1. 2\"/>

- NOTES:**
- ALL F.R. AND P.R. WALLS SHALL BE FULL HT. TO TOP OF FLOOR OR ROOF BEARING OVER WALL. SEAL AT THE TOP OF THE WALLS BEFORE DESIGN AND USE WITH APPROVED FIRE CALLING COMPOND. OF JOBS TO MATCH CALLING TO ALL FIRE RATED WALLS WHERE THEY MEET CONCRETE AND ANY VERTICAL AND HORIZONTAL DRAMA OR WATERING. INSULATE FLOORING WITH A.I.L.C. APPROVED FIRE CALLING COMPOND.
 - ALL ROOF RELATED WALLS SHALL BE FULL HEIGHT TO TOP OF METAL BEARING OVER WALL. (I.E. INCLUDES ADDITIONAL RISE AND SOUND INSULATION FOR THESE WALLS.) SEAL TO FLOOR WITH USE OF METAL BEARING WITH APPROVED AGGREGATE SEALANT. GUT 6\"/>

- COLUMN LEGEND**
- 1. SUPPORTS SECOND LEVEL ONLY. USE FOR HL TO UIR.
 - 2. USE FOR HL TO UIR.
 - 3. SUPPORTS 2ND LEVEL. ROOF, HL, F.R. HL TO UIR AND HL.
 - 4. SUPPORTS STAIR. USE FOR HL.

- WALL TYPES: INTERIOR**
- 1. 8\"/>

Copyright reserved. This plan and design shall be all in them. The actual property of LO STUDIO Architecture Inc. The General Contractor shall verify all dimensions and be responsible for all construction and alterations to the plan. The client agrees to provide all necessary information for the correct design. From the date of completion of the plan, the contractor responsible for any remaining work, and any other modification.

LO STUDIO
architecture Inc.
8205 - 3751 ACCORDS ROAD - RICHMOND, B.C.
V6V 2S4 - TEL: 604-276-0114 - CELL: 778-586-0266

PROJECT: PROPOSED MULTI TENANT WAREHOUSE BUILDING
SHEET TITLE: ROOF PLAN

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **March 22, 2022**

PROJECT FILE: **7820-0042-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 17893 64 Ave**

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.

BUILDING PERMIT

The following are required as a condition of the subsequent Building Permit issuance:

Works and Services

- Construct minimum 11.0m wide concrete driveway letdown with splitter island.
- Construct 1.80-metre-wide concrete sidewalk on the north side of 64 Avenue.
- Construct a new 350mm water main along 64 Avenue.
- Provide storm, sanitary, and water service connections to support the development.
- Register applicable legal documents as determined through detailed design.

A Servicing Agreement is required as a condition of Building Permit.




Jeff Pang, P.Eng.
Development Services Manager

BD

Registered Arborist: Kin Cho
 ISA Board Certified Master Arborist #HK-1086BM
 ISA Tree Risk Assessment Qualification

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	19
Protected Trees to be Removed	6
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	13
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio. <u> 1 </u> X one (1) = 1 - All other Trees Requiring 2 to 1 Replacement Ratio <u> 5 </u> X two (2) = 10	11
Replacement Trees Proposed	11
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by:



 (Signature of Arborist)

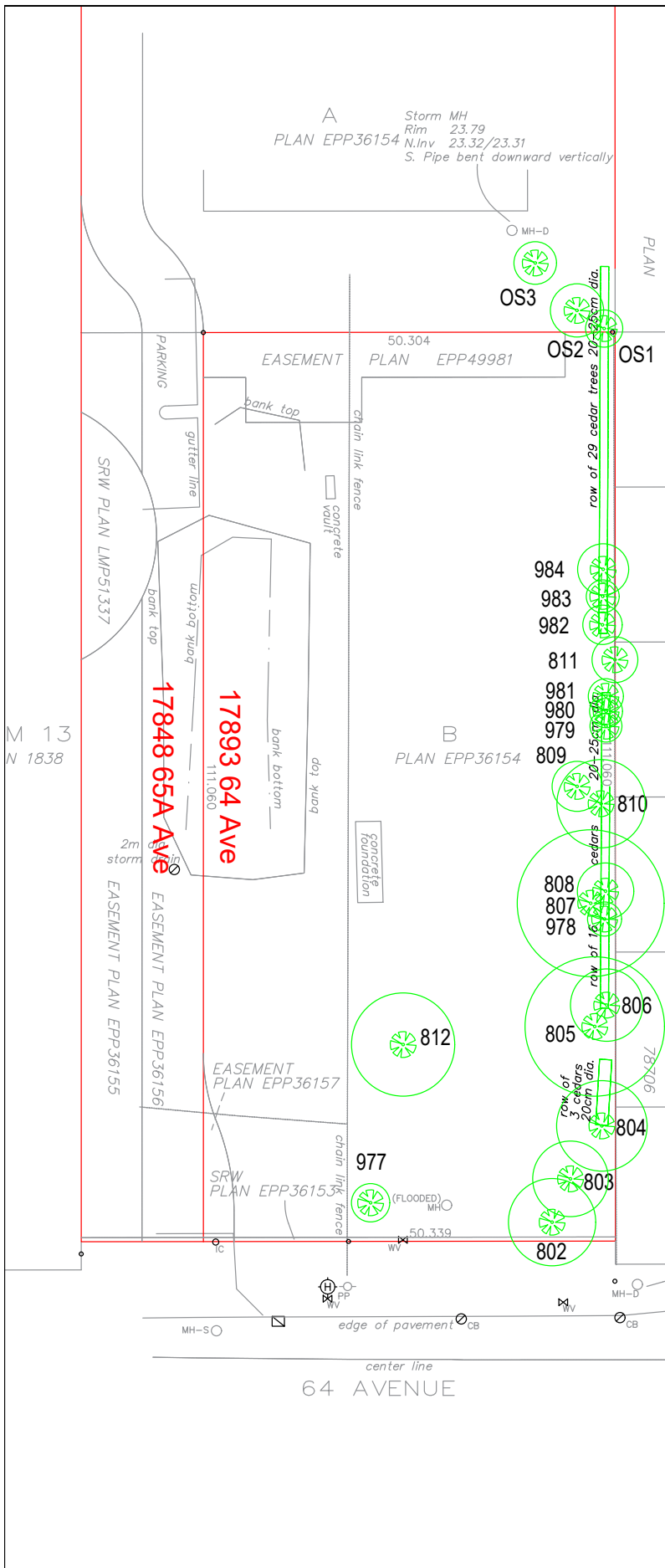
July 18th, 2023

 Date



ID #	Surveyed	Location	Common Name	DBH (cm)	Health Condition	TRAC Rating	Retention Suitability	Retain/Remove
802	Y	On	Grand fir	82	Poor	Low	Poor	Remove
803	Y	On	Black walnut	71	Fair	Low	Moderate	Retain
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OS1	N	Off	Western red cedar	35	Fair	-	-	Retain
OS2	Y	Off	Bigleaf maple	50	Poor	-	-	Retain
OS3	Y	Off	Red alder	40	Fair	-	-	Retain

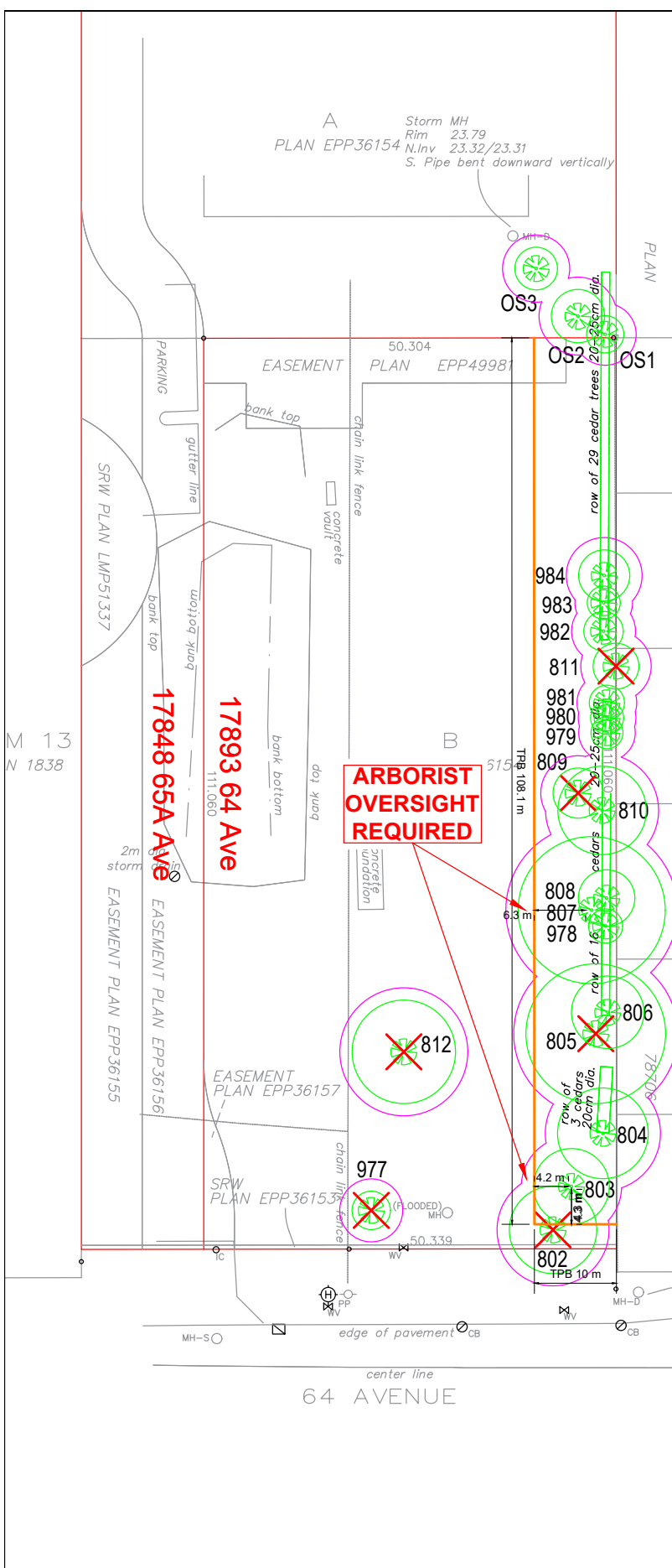
Drawing No. 1 of 5	Sheet Title Aerial Site Map		Project Title Arborist Report for Development Purposes		Kit Cho ISA Board Certified Master Arborist #HK-1086M ISA Certified Arborist Municipal Specialist ISA Tree Risk Assessment Qualification Wildlife Dangerous Tree Assessor #P2993 Registered Professional Forester #5413 MCFM, MSc, BSc	LEGEND	
	Revision No.	3	Project Address 17893 64 Ave, Surrey, BC V3S 1Z3			Property Line	Tree Reference
			Job Name co Animus Business Corporation 20230207			Critical Root Zone (CRZ)	
	Page	30 of 38	Revision Date	July 18 th , 2023		Client Name Mr. Wes Harder	BC Plant Health Care Inc. 18465 53 rd Avenue, Surrey, BC P: 604-575-8727 F: 604-575-2972 E: info@bcplanthealthcare.com 24 Hour Emergency Pager: 604-607-1616



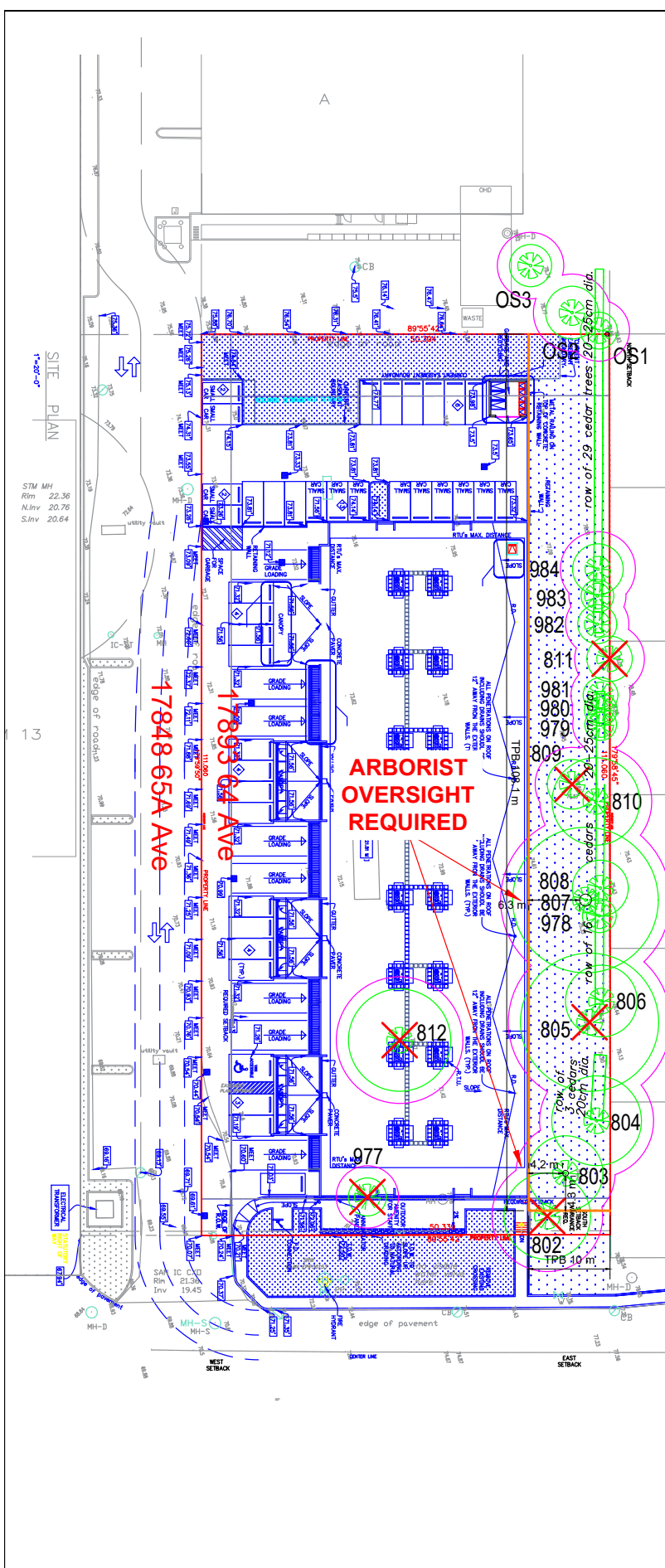
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OS1	N	Off	Western red cedar	35	Fair	-	-	Retain
OS2	Y	Off	Bigleaf maple	50	Poor	-	-	Retain
OS3	Y	Off	Red alder	40	Fair	-	-	Retain

Drawing No. 2 of 5	Sheet Title Site Map		Project Title Arborist Report for Development Purposes	Kibi Cho ISA Board Certified Master Arborist #HK-1066M ISA Certified Arborist Municipal Specialist ISA Tree Risk Assessment Qualification Wildlife Dangerous Tree Assessor #P2993 Registered Professional Forester #5413 MCFM, MSc, BSc	LEGEND		
	Revision No. 3		Project Address 17893 64 Ave, Surrey, BC V3S 1Z3		Property Line	Tree Reference	Critical Root Zone (CRZ)
			Job Name co Animus Business Corporation 20230207				
	Page 31 of 38		Revision Date July 18 th , 2023		Client Name Mr. Wes Harder		

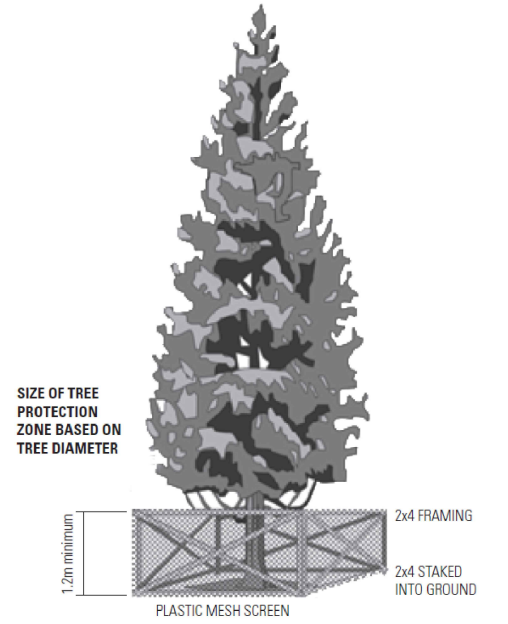


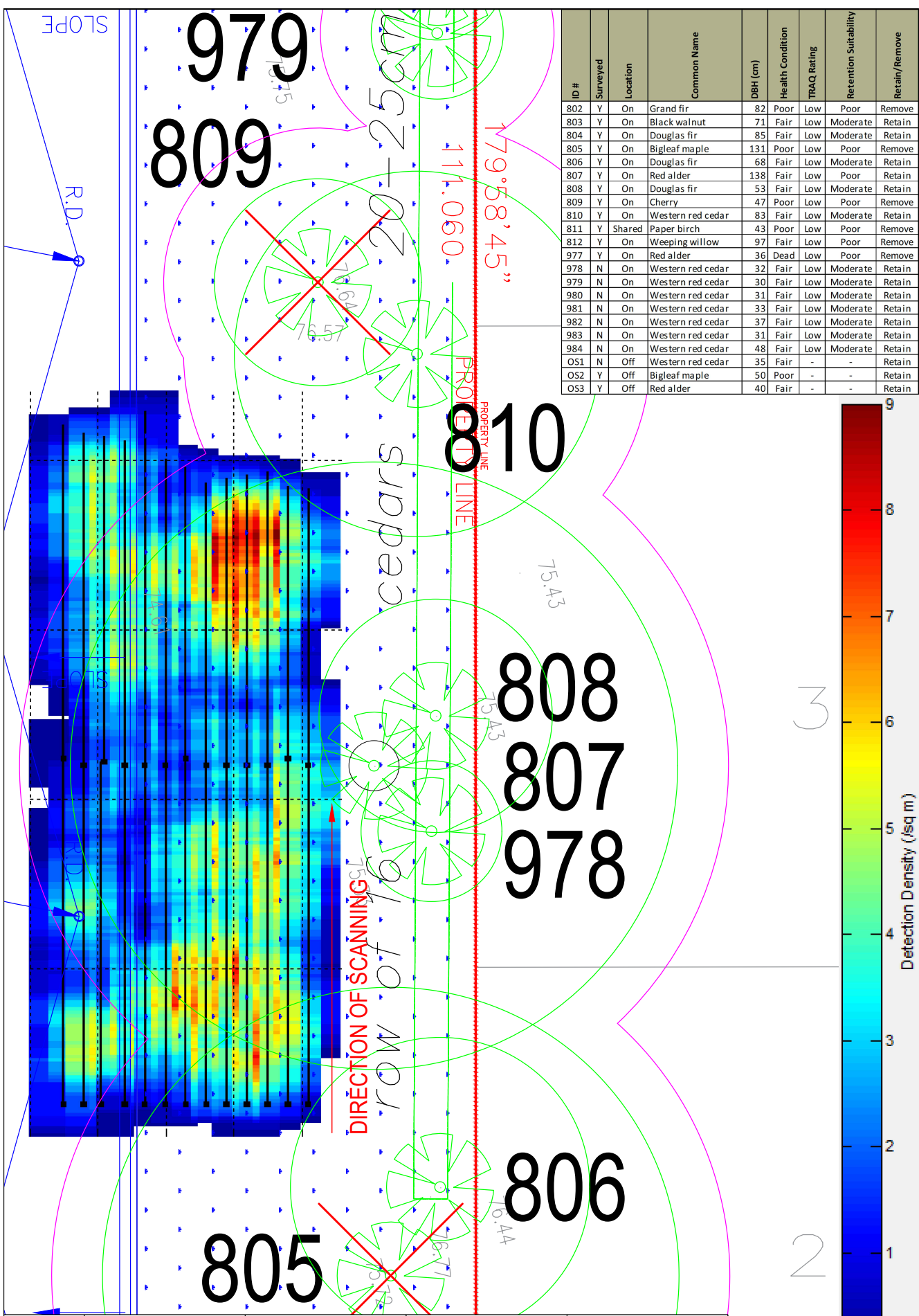


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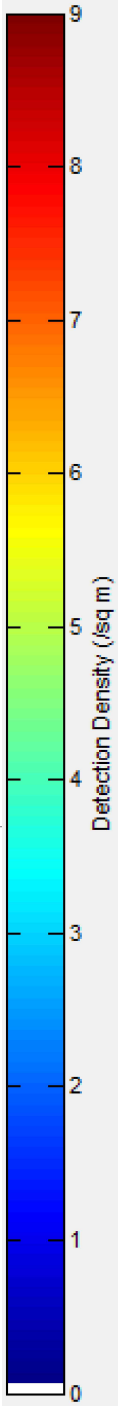


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Drawing No. 5 of 5	Sheet Title Root Density Map		Project Title Arborist Report for Development Purposes		Kit Cho ISA Board Certified Master Arborist #HK-1086M ISA Certified Arborist Municipal Specialist ISA Tree Risk Assessment Qualification Wildlife Dangerous Tree Assessor #P2993 Registered Professional Forester #5413 MCFM, MSc, BSc	LEGEND	
	Revision No.	3	Project Address 17893 84 Ave, Surrey, BC V3S 1Z3			—	Property Line
	Job Name co Animus Business Corporation 20230207		Client Name Mr. Wes Harder			—	Tree Reference
Page	34 of 38	Revision Date	July 18 th , 2023	BC Plant Health Care Inc. 18468 53 rd Avenue, Surrey, BC P: 604-578-8727 F: 604-578-2972 E: info@bcplanthealthcare.com 24 Hour Emergency Pager: 604-607-1616		—	Critical Root Zone (CRZ)
Scale: 0 to 2 Meters				—		—	Impact Zone (CRZ 1.5 m Buffer)
				—		—	Proposed Removal
				—		—	Proposed Development

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7920-0042-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 029-511-585

Lot B Section 17 Township 8 New Westminster District Plan EPP36154

17893 64 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

(a) In Section F of Part 47 Business Park Zone (IB) the minimum (south) front yard setback is reduced from 7.5 metres to 4.5 metres.

4. This development variance permit applies to only the that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

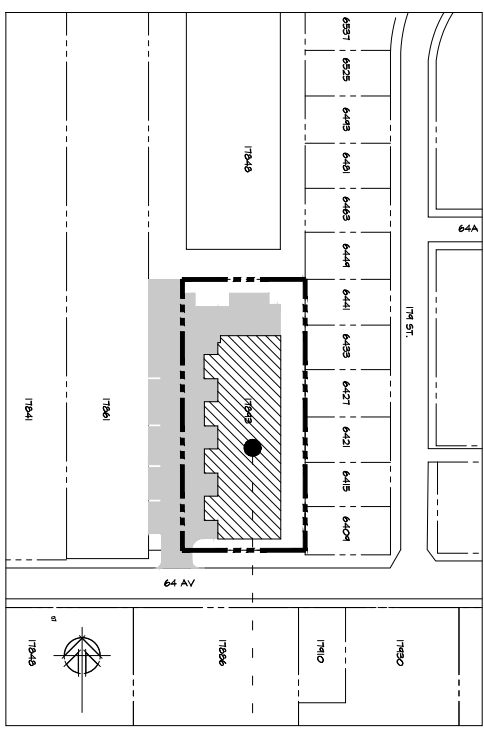
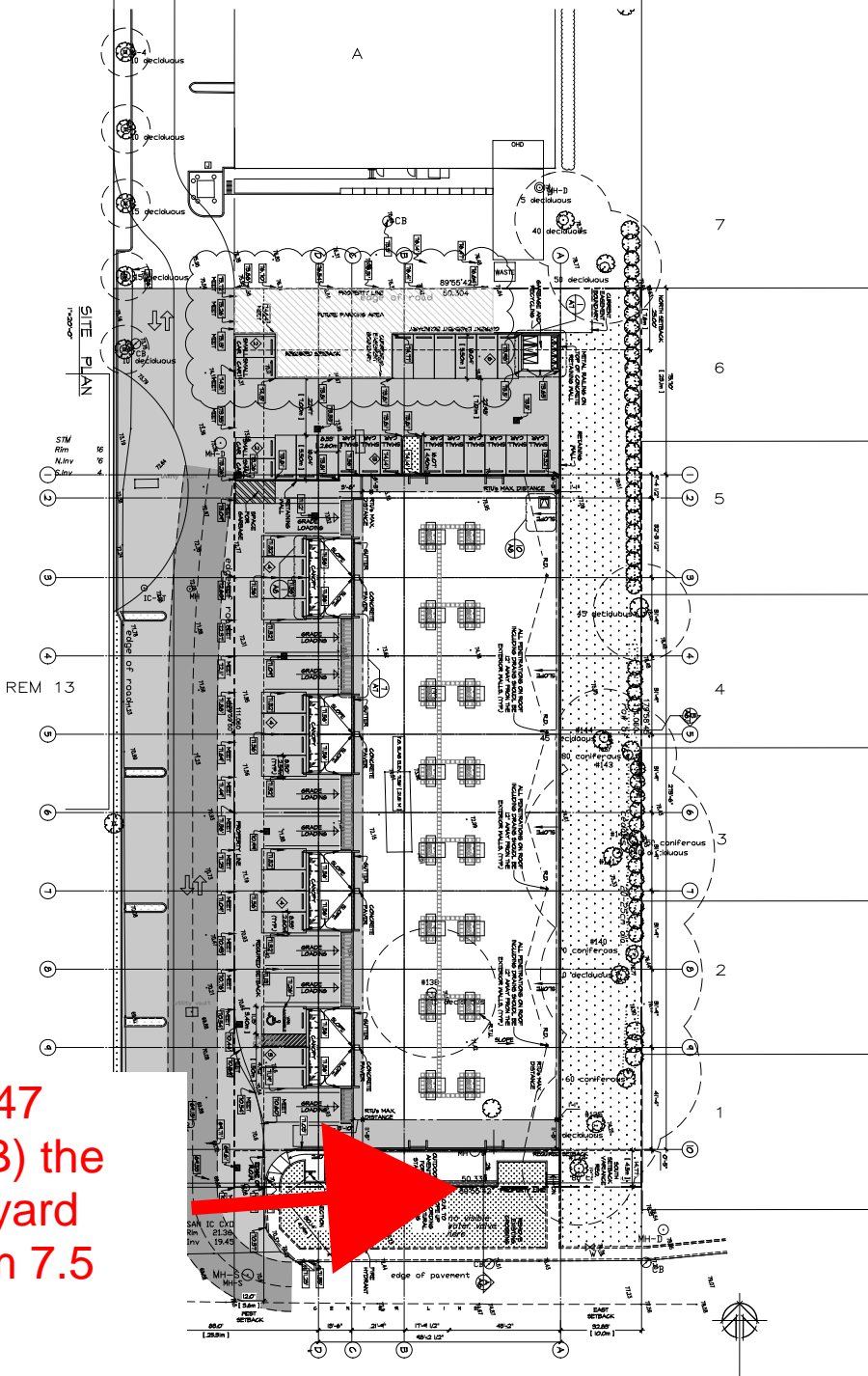
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli



(a) In Section F of Part 47 Business Park Zone (IB) the minimum (south) front yard setback is reduced from 7.5 metres to 4.5 metres.

SITE PLAN - GENERAL NOTES:

1. THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
2. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
3. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES.
4. THE DEVELOPER SHALL MAINTAIN ALL EXISTING TREES AND LANDSCAPE.
5. THE DEVELOPER SHALL MAINTAIN ALL EXISTING DRIVEWAYS AND PAVEMENT.
6. THE DEVELOPER SHALL MAINTAIN ALL EXISTING FENCES AND BOUNDARIES.
7. THE DEVELOPER SHALL MAINTAIN ALL EXISTING SIGNAGE AND MARKINGS.
8. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES.
9. THE DEVELOPER SHALL MAINTAIN ALL EXISTING TREES AND LANDSCAPE.
10. THE DEVELOPER SHALL MAINTAIN ALL EXISTING DRIVEWAYS AND PAVEMENT.
11. THE DEVELOPER SHALL MAINTAIN ALL EXISTING FENCES AND BOUNDARIES.
12. THE DEVELOPER SHALL MAINTAIN ALL EXISTING SIGNAGE AND MARKINGS.

LEGAL ADDRESS: 1785 - 64th Ave, Burnaby, BC V5A 2K2

ZONING: B - BUSINESS PARK ZONE

SITE AREA: 4070 SQ M (1000 SQ M)

BUILDING AREA: 2415 SQ M (600 SQ M)

FLOOR AREA RATIO: 0.59

MAXIMUM FLOOR AREA: 2415 SQ M

MAXIMUM FLOOR AREA: 2415 SQ M

MAXIMUM FLOOR AREA: 2415 SQ M

REVISIONS:

NO.	DATE	REVISIONS
1	2024-01-15	ISSUE FOR PERMIT
2	2024-01-15	ISSUE FOR PERMIT
3	2024-01-15	ISSUE FOR PERMIT
4	2024-01-15	ISSUE FOR PERMIT
5	2024-01-15	ISSUE FOR PERMIT
6	2024-01-15	ISSUE FOR PERMIT
7	2024-01-15	ISSUE FOR PERMIT
8	2024-01-15	ISSUE FOR PERMIT
9	2024-01-15	ISSUE FOR PERMIT
10	2024-01-15	ISSUE FOR PERMIT

LEGEND:

ABBREVIATIONS:

SYMBOL	DESCRIPTION
○	EXISTING TREE
●	NEW TREE
○	EXISTING DRIVEWAY
○	NEW DRIVEWAY
○	EXISTING PAVEMENT
○	NEW PAVEMENT
○	EXISTING FENCE
○	NEW FENCE
○	EXISTING SIGNAGE
○	NEW SIGNAGE
○	EXISTING UTILITIES
○	NEW UTILITIES
○	EXISTING BOUNDARIES
○	NEW BOUNDARIES

LO STUDIO
 architecture inc.
 4755 - 3751 MARINE ROAD - VANCOUVER, B.C.
 V6V 2K2 - TEL: 604-272-9111 - FAX: 604-272-9112

PROJECT: 1785 - 64th Avenue Warehouse Buildings

DATE: 2024-01-15

SCALE: 1" = 20'-0"

DATE: NOV 8, 2024

PROJECT: 1785 - 64th Avenue Warehouse Buildings