
TO: City Clerk, Legislative Services Division

FROM: Acting Director, Area Planning & Development South

DATE: September 11, 2023

FILE: 7919-0290-00

RE: **Agenda Item B.11 September 11, 2023, Regular Council – (Land Use)**
Development Application No. 7919-0290-00
Correction for the Planning Report

Development Application No. 7919-0290-00 is on the agenda for consideration by Council at September 11, 2023 Regular Council – Land Use Meeting under Item B.11.

After finalizing the Planning Report for the September 11, 2023 Regular Council – Land Use Agenda, it was brought to staff's attention that the company that currently occupies the site was wrongfully referenced in the report.

Where it says "EBCO Industries", it should be read "EBCO Metal Finishing Ltd". This is referenced on pages 2, 3 and 4.

The replacement pages for the Planning Report detailing are attached to this memorandum.



Shawn Low
Acting Director, Area Planning & Development – South Division
Planning & Development Department

Attachment - 7919-0290-00- Replacement Pages 2, 3 and 4

c.c. - City Manager
General Manager, Planning & Development

RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Form and Character, Sensitive Ecosystems, and Farm Protection.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal complies with the Technology Park or Business Park and Landscape Strips designation in the Campbell Heights Local Area Plan (LAP)
- The proposal complies with the Mixed Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Campbell Heights.
- The proposal partially complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Streamside Areas/Green Infrastructure Areas).
- The proposal complies with the Development Permit requirements in the OCP for Farming Protection.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- It is noted that some area residents have raised concern with the proposal. These relate to uses on the site, as the existing building on the property is occupied by EBCO **industries-Metal Finishing Ltd** which has an Air Quality Permit issued by Metro Vancouver. The concerns raised pertain to the potential for additional emissions, and whether the uses in the proposed addition will also require an Air Quality Permit. At this time the applicant has not confirmed what the proposed uses may be.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7919-0290-00 generally in accordance with the attached drawings (Appendix I) and the finalized Ecosystem Development Plan.
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (b) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (e) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of City staff; and
 - (f) registration of a combined Statutory Right-of-Way / Section 219 Restrictive Covenant over the designated Streamside Protection Area for both “No Build” and access.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/LAP Designation	Existing Zone
Subject Site	EBCO Industries-Metal Finishing Ltd	Technology Park or Business Park and Landscape Strips	CD (By-law No. 17536)
North:	Nova Pole	Technology Park or Business Park	CD (By-law No. 17536)
East:	CSA Transportation and Foxfab Power Solutions	Technology Park or Business Park and Landscape Strips	CD (By-law No. 17536)
South (Across 24 Avenue):	ALR / Agricultural land	Agricultural	A-1
West:	Parkland for Erickson Creek and ALR / Agricultural land	Open Space Corridor / Buffer Agricultural	A-1

Context & Background

- The subject property is 3.04 hectares (7.5 acres), designated "Mixed Employment" in the Official Community Plan (OCP), "Technology Park or Business Park" and "Landscape Strips" in the Campbell Heights Local Area Plan (LAP) and zoned "Comprehensive Development" (By-law No. 17536).
- The site was rezoned to "Comprehensive Development Zone (CD By-law 17536)" under Development Application No. 7910-0301-00, which received Final Adoption on November 5, 2012. Development Application No. 7910-0301-00 included a General Development Permit.
- The existing parking lot and building on the north portion of the site, occupied by EBCO **Industries Metal Finishing Ltd**, was developed under Development Application No. 7913-0169-00, and has been in operation since 2015. The existing building is 3,559 square metres in total floor area.

DEVELOPMENT PROPOSAL

Planning Considerations

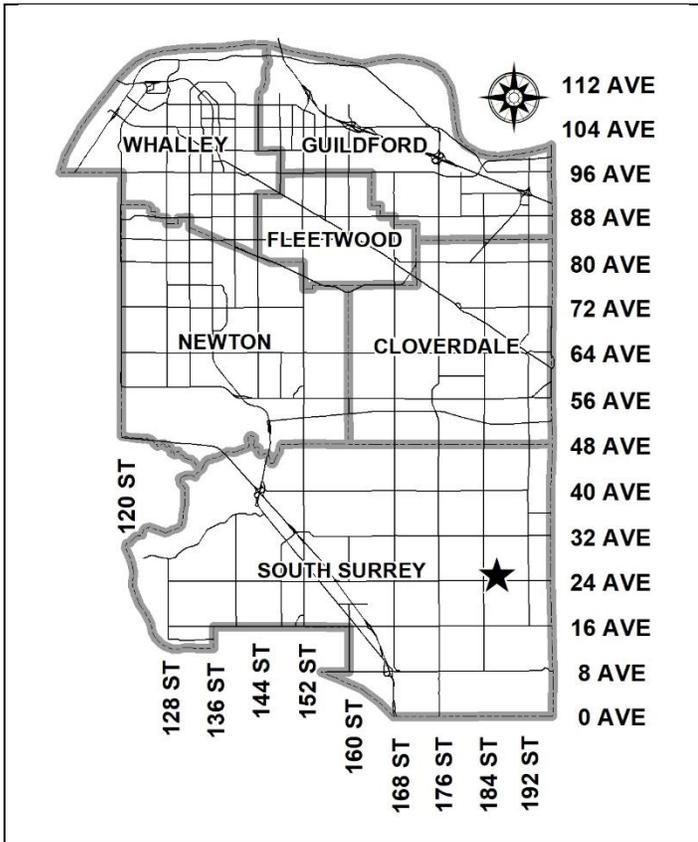
- The applicant is proposing to add a multi-tenant industrial building with an associated parking lot and loading to the south portion of the site, under the existing CD Zone (By-law No. 17536).
- The proposal is subject to a Development Permit for Form & Character, for Sensitive Ecosystem (Streamside Areas/Green Infrastructure Areas), and for Farming Protection.
- The building is designed for up to 6 tenants. The applicant proposes to lease out the units, and potentially expand into the new building in the future.

	Proposed
Lot Area	
Gross Site Area:	30,360 square metres
Road Dedication:	n/a
Undevelopable Area:	1,040 square metres
Net Site Area:	29,320 square metres
Number of Lots:	1
Building Height:	11.7 metres
Floor Area Ratio (FAR):	0.27 (overall)
Floor Area	
Industrial	3,341 square metres
Office:	1,414 square metres
Total:	4,755 square metres

Referrals

Engineering:

The Engineering Department has no objection to the project, and no requirements at the Development Permit stage.



PROPOSAL:

- **Development Permit**

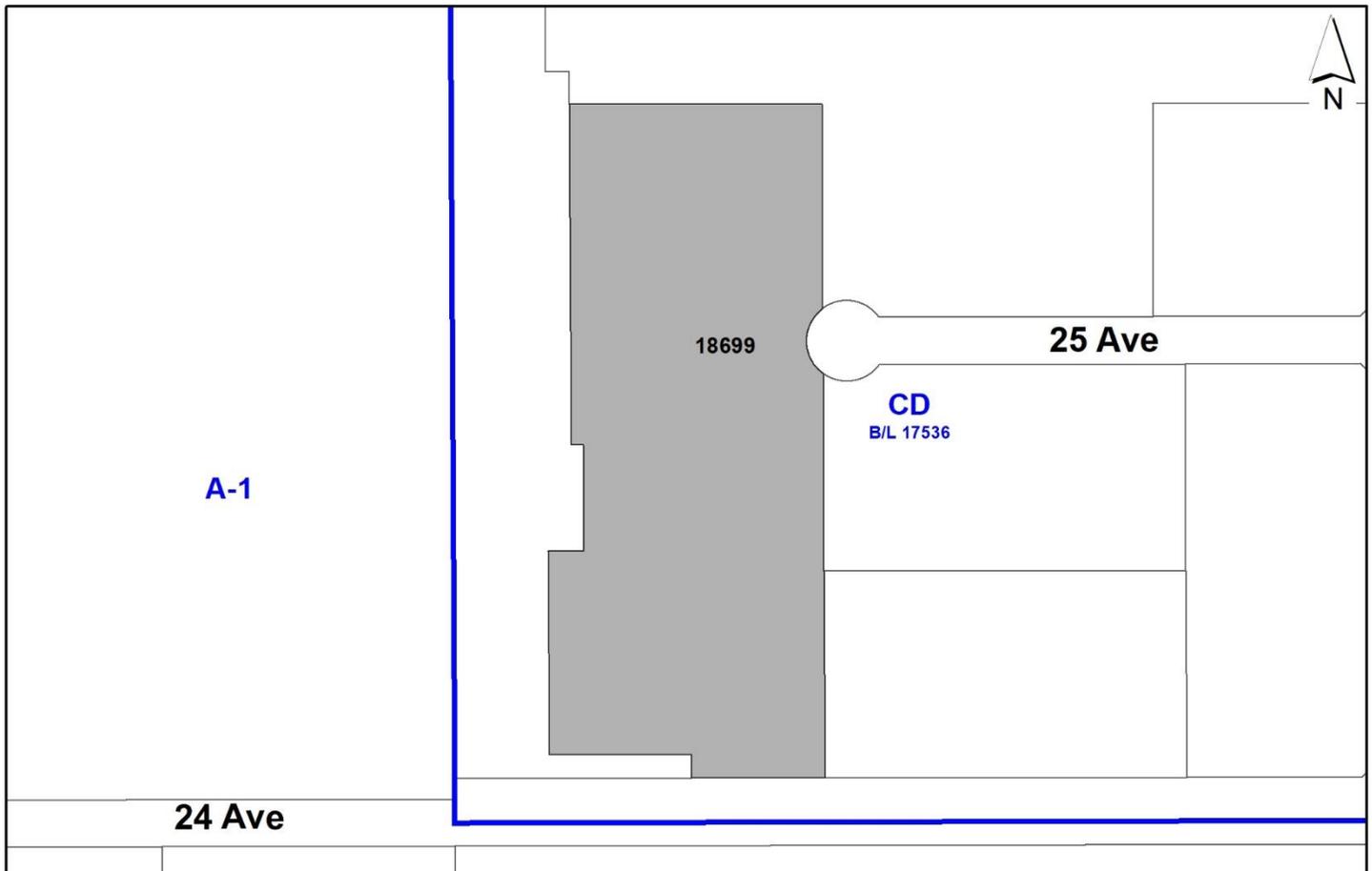
to permit the development of a 4,755-square-metre multi-tenant industrial building.

LOCATION: 18699 - 25 Avenue

ZONING: CD (By-law No. 17536)

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Technology Park or Business Park and Landscape Strips



RECOMMENDATION SUMMARY

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DEVELOPMENT PROPOSAL

Planning Considerations

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Referrals

Engineering: The Engineering Department has no objection to the project, and no requirements at the Development Permit stage.

Parks, Recreation & Culture:	Latimer Park is the closest active park with future amenities under construction including, a dog off-leash area, walking trails, and is 1,825 metres walking distance from the development. Keery Park is the closest park with natural area and is 1,025 metres walking distance from the development.
Agricultural and Food Policy Committee (AFPC)	The application was not referred to the AFPC but was reviewed by staff and found satisfactory.
Advisory Design Panel (ADP):	The application was not subject to review by the ADP but was reviewed by staff and found satisfactory.

Transportation Considerations

- All road dedication and access were approved under the previous development application. The subject proposal takes access from the same access along the eastern property line which connects to 24 Avenue, as well as the 25 Avenue cul-de-sac.
- The applicant is proposing 69 passenger vehicle surface parking stalls on the site. Based on the Zoning By-law parking rate for "industrial" and "office" uses, a total of 69 parking stalls are required on the site.
- The closest bus route is Route #531 White Rock Centre / Willowbrook, with stops on 24 Avenue, fronting the site.
- On 24 Avenue, there are currently both eastbound and westbound dedicated bicycle lanes, which connect to 184 Street and 192 Street and elsewhere within the Campbell Heights Business Park.
- The proposed truck loading bays are located along the northern (rear) portion of the development site and will be screened from 24 Avenue by the building.

Natural Area Considerations

- Erickson Creek is a Class B watercourse that runs along the southwestern portion of the site. Erickson Creek had been relocated as part of Development Application No. 7910-0301-00. The applicant is proposing a 15 metres setback from top of bank as required in the Zoning By-law, for the new alignment of Erickson Creek. The proposal also complies with Riparian Areas Protection Regulation (RAPR), which has been accepted by the Province.
- The area will be protected through an easement/restrictive covenant combo.
- There is a GIN along the western and southern portions of the site, and the applicant proposes to protect most of the GIN and provide additional planting. More details are provided below under the Development Permit section of this report.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist. The applicant also proposes to meet the Climate Adaptation Strategy policy for a green roof or a high-albedo roof, which is typically considered to have a Solar Radiance Index (SRI) value of 75.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "Mixed Employment" land use designation in the Metro Vancouver Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the "Mixed Employment" land use designation in the Official Community Plan.

Themes/Policies

- B6.6 – Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces.

(The southern façade facing 24 Avenue has special treatment, with expansive two-level spandrel glazing at the corner. Given the GIN corridor along the southern portion of the site, the building has been setback further from the street, with the amenity area located closer to the building, and outside of the GIN.)

- B6.9 – Create opportunities for interactive and enjoyable public plazas by using furniture, banners, signs, interactive public art, heritage interpretation, paving patterns, vibrant colours and other "placemaking" design elements.

(The proposed development includes an amenity space located close to the building, facing 24 Avenue).

- C2.38 – Ensure the loading and on-site access of goods delivery vehicles is considered in conjunction with overall urban development site design.

(Loading bays are accessible from the 25 Avenue cul-de-sac and from the access road along the eastern property line connecting to 24 Avenue, with the building acting to screen the loading area from public view along 24 Avenue).

- E1.5 – Encourage the full utilization and efficient use of industrial and other employment lands in order to maximize jobs and economic activity per hectare;

(The proposed building further builds on employment land that is already zoned and serviced for employment in the area).

- E1.20 – Encourage the continued expansion of high-tech, research and development and light manufacturing to locate within Mixed Employment areas that are accessible to major transportation corridors and/or frequent transit services.

(The proposed development is compatible with the Mixed Employment designation and builds upon the employment lands in Campbell Heights. The subject site is also located near the major transportation corridors of 36 Avenue, Highway 15, 192 Street and international border crossings).

- E1.31 – Support and encourage the high-quality, environmentally responsible, sustainable development of employment lands.

(The development proposes to preserve an 18.8 metre-wide portion fronting 24 Avenue as a Green Infrastructure Network (GIN) Corridor, in keeping with the intent of the Biodiversity Conservation Strategy. The GIN corridor widens to the west, and includes a 12.7-metre wide corridor along the western portion of the site. The development also proposes the required 15-metre streamside setback from Erickson Creek.)

Secondary Plans

Land Use Designation

- The proposal complies with the Business Park and Landscape Strips designation in the Campbell Heights Local Areas Plan (LAP) as follows:

Themes/Objectives

- 6.5.1.4 – Design Guidelines: Business Park – The use of glass and high quality materials and finishes is required of buildings facing the street. Blank walls should be avoided.

(The southern façade facing 24 Avenue has special treatment, with expansive two-level spandrel glazing wrapping the corner of the building).

- 6.5.1.4 – Design Guidelines: Business Park – Variations in massing and changes in height and horizontal planes are encouraged.

(The proposed development incorporates a variation in building height at the unit entrances, and the corner has a detail with spandrel glass).

- 6.5.1.4 – Design Guidelines: Business Park – The exterior of buildings should be coordinated in the design on all elevations with regard to colour, materials, architectural form, and detailing to achieve design harmony and continuity.

(The proposed building is architecturally coordinated with a modern appearance that promotes harmony by using consistent cladding materials, glazing, and landscaping).

PUBLIC ENGAGEMENT

- Pre-notification letters are not required for a Development Permit. The Development Proposal Signs were installed on July 31 2023. Staff have received some concerns from adjacent residents which are outlined below (staff comments are in italics).

- Concerns with the site's current use, its environmental consequences, and concerns for possible expansion:

(The existing building on the site is occupied by EBCO industries, and there is an Air Quality Permit issued by Metro Vancouver for the site. The site's proximity to agriculture uses and residences as well as East Kensington Elementary School has raised concerns from the public regarding the use of the site.

Residents have expressed concern that the new building on the site will allow the applicant to increase emissions. At the time this site was originally developed, the City did not require a Restrictive Covenant prohibiting uses that require an Air Quality Permit, which is a rezoning requirement in more recent applications in Campbell Heights.

The applicant was requested to voluntarily register a Restrictive Covenant on the proposed addition to limit any use that may require an Area Quality Permit. The applicant has declined to register such an RC on the property.)

DEVELOPMENT PERMITS

Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of an existing Class B (yellow-coded) watercourse which flows along the southwest portion of the site. The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class B (yellow-coded) watercourse requires a minimum streamside setback of 15 metres, as measured from the top of bank. The proposed setbacks comply with the requirements outlined in the Zoning By-law.
- The applicant has submitted a Riparian Area Protection Regulation (RAPR) report to the Province for the proposed setbacks to Erickson Creek. The RAPR report was accepted by the Province.
- The riparian area will be protected through the registration of a combined Restrictive Covenant/Right-of-Way against the property to ensure safeguarding and maintenance of the Protection Area in perpetuity, in compliance with the OCP.
- An Ecosystem Development Plan, prepared by Kyla Milne, R.P. Bio., of Pacific Land Group and dated July 11, 2023 was peer reviewed by Remi Masson, R.P. Bio., and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Sensitive Ecosystems (Green Infrastructure Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems DPA for Green Infrastructure Areas in the OCP, given the location of a Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) Corridor located along the southern portion of the site. The

Sensitive Ecosystems (Green Infrastructure Areas) Development Permit is required to protect environmentally sensitive and/or unique natural areas from the impacts of development.

- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Regional BCS Corridor within the subject site, in the Campbell Heights BCS management area, with a High ecological value.
- The BCS further identifies the GIN area on the subject site as having a High habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target GIN Corridor width of 100 meters.
- There are two corridors within the site: Corridor 58 along the west portion of the site, and Corridor 54, along the south portion of the site. The western corridor is being protected in its entirety and the southern corridor is being reduced to accommodate the proposed development. A portion of Corridor 58 is on the northern portion of the site, and no changes are proposed in that area. That portion of the corridor is currently vegetated, and proposed to remain so. This area on the northern portion of the site totals 509 square metres.
- The development proposal conserves/enhances 2,558 square meters of the subject site by Providing Open Space Areas and increased Building Setbacks which is 9.2 % of the total gross area of subject site. This method of GIN retention/enhancement will assist in the long-term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.
- In order for the proposal to fully comply with the BCS target recommendations, an additional 732 square meters of the GIN area (which straddles 24 Ave.) would be required on the subject site. This has not been provided by the development proposal due to the limited space on the site that is available to accommodate the required parking. Parking within the GIN corridor is proposed with permeable pavers, and the building is setback entirely outside of the GIN. The applicant is proposing to conserve/enhance 78% of the GIN area within the site.
- An Ecosystem Development Plan, prepared by Kyla Milne, *R.P. Bio.*, of Pacific Land Group and dated July 11, 2023 was peer reviewed by Remi Masson, *R.P. Bio.*, and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Farming Protection Development Permit Requirement

- The subject property falls within the Farming Protection Development Permit Area (DPA) in the OCP, given that it is located within 50 metres of the Agricultural Land Reserve (ALR) boundaries (to the south and west). The Farm Protection Development Permit is required to reduce agricultural-urban conflicts through increased setbacks and vegetated buffering.
- The Farming Protection Development Permit guidelines for non-residential uses are outlined below (*with staff comments in italics*):
 - The minimum building setback for the ALR boundary is 30 metres.

(The proposal exceeds the typical setback requirements associated with industrial developments located adjacent to the Agricultural Land Reserve. On the west side, there is a 40 metre wide greenbelt between the ALR and the property line and there is a proposed building setback of 16 metres from the property line on the west, inclusive of an 12.7m wide landscape buffer/GIN Corridor.

On the south side, the proposed building is setback 34 metres from the property line, inclusive of an 18.8 metre wide landscape buffer/GIN Corridor, in addition of the 24 Avenue road allowance, which is 30 metres wide.

- The minimum vegetated buffer width is 15 metres.

(Along the west, the existing 40-metre wide greenbelt, in addition to the 12.7-metre planted buffer far exceeds the 15-metre requirement, and along the south, there is a proposed 18.8-metre proposed landscape buffer, exceeding the minimum requirement.)

- Any proposed vegetated buffer should include a mix of appropriate deciduous and coniferous trees, spaced a minimum of 2 metres to 4 metres apart. Existing mature trees and riparian areas within the proposed buffer area should be preserved and infill planting considered in order to provide a fuller vegetated buffer.

(The planted buffers are within the GIN Corridor. The detailed planting plan will be developed by the Qualified Environmental Professional and Landscape Architect and is proposed to contain Western Red Cedars, Bif Leaf Maples, and a variety of low lying shrubs.)

- For any property within 50 metres of the ALR boundary, a Section 219 Restrictive Covenant is required to inform future owners of farm practices in the area that may produce noise, odour and dust.

(The Restrictive Covenant to advise future owners of nearby farming activities and potential nuisance impacts has been registered on the property as part of the original Development Application No. 7910-0301-00.)

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).
- The applicant has worked with staff to resolve a few items, like accommodating as much of the GIN corridor as possible on the site, and mitigating the remainder with permeable pavers, optimizing the massing of the building and providing some building height variation.
- Overall, the building is proposed to have a modern, linear appearance with articulation emphasizing the separation between the office and industrial warehouse components. Architectural emphasis is placed on the office component at the southeast corner of the building, which is to be constructed of a curtain-wall glazing and spandrel glazing.

- In addition to the curtain-wall office glazing, the building is proposed to be constructed of concrete tilt-up panels in blue and grey. The 24 Avenue façade is complimented by accented curtain wall glazing, a varying parapet height, and articulated prefinished metal flashing to provide visual interest along the large expanse of wall.
- The building is proposed with a TPO high-albedo roofing material with a Solar Reflectance Index Value of at least 75 to minimize the urban heat island effect, meeting the Climate Adaptation Strategy policy.
- No signage is proposed at this time.

Landscaping

- The proposed landscaping consists of an 18.8.2 metre wide GIN Corridor along 24 Avenue fronting the building. For the western GIN corridor, no additional planting is required, as the area is already heavily vegetated, and most trees are being retained.
- A 2 metre wide landscape buffer is provided adjacent to the building, along the north/south drive aisle into the site from 24 Avenue, as well as additional landscaping at the parking islands, and outside of the GIN, along the western portion of the site. The proposed landscaping for the site consists of a variety of trees, including Japanese Maple, Columnar Maple, Sweetgum, Flowering Ash, Dogwood, Nootka Cypress.
- The landscaping for the GIN Corridor is included in the EDP, and includes Western Red Cedar, and Big Leaf Maple trees, as well as a variety of shrubs. The detailed planting plans will be developed by the Qualified Environmental Professional in consultation with the Landscape Architect.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include minor adjustments to the site plan.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Lesley Gifford, ISA Certified Arborist of Urban Grove Tree Care and Consulting Inc. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			

Alder	75	64	11
Cottonwood	4	4	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bitter Cherry	1	1	0
Big Leaf Maple	4	3	1
Paper Birch	10	10	0
Coniferous Trees			
Western Red Cedar	20	19	1
Blue Spruce	7	0	7
Douglas Fir	4	3	1
Total (excluding Alder and Cottonwood Trees)	46	36	10
Additional Trees in Protected Riparian Area/GIN	18	5	13
Total Replacement Trees Proposed (excluding Boulevard Street Trees)			
		22	
Total Retained and Replacement Trees Proposed			
		32	
Estimated Contribution to the Green City Program			
		\$47,200	

- The Arborist Assessment states that there are a total of 46 mature trees on the site, excluding Alder and Cottonwood trees. 79 existing trees, approximately 63 % of the total trees on the site, are Alder and Cottonwood trees. The applicant proposes to retain 10 trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- Table 1 includes an additional 18 protected trees that are located within the riparian area/GIN. The trees within the riparian area/GIN will be retained, except where removal is required due to hazardous conditions. 5 trees have been identified for removal. Any required tree removal within these areas will be determined, in consultation with the Parks, Recreation and Culture Department.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees that are outside the streamside protection area, and a 2 to 1 replacement ratio for all other trees, including Alder and Cottonwood that are within a streamside protection area. This will require a proposed total of 140 replacement trees on the site. Since the proposed 22 replacement trees can be accommodated on the site, the proposed deficit of 118 replacement trees will require an estimated cash-in-lieu payment of \$47,200, representing \$400 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including Japanese Maple, Columnar Maple, Sweetgum, Flowering Ash, Dogwood, Nootka Cypress.

- In summary, a total of 32 trees are proposed to be retained or replaced on the site with an estimated contribution of \$47,200 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Survey Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Summary of Tree Survey, Tree Preservation and Tree Plans

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

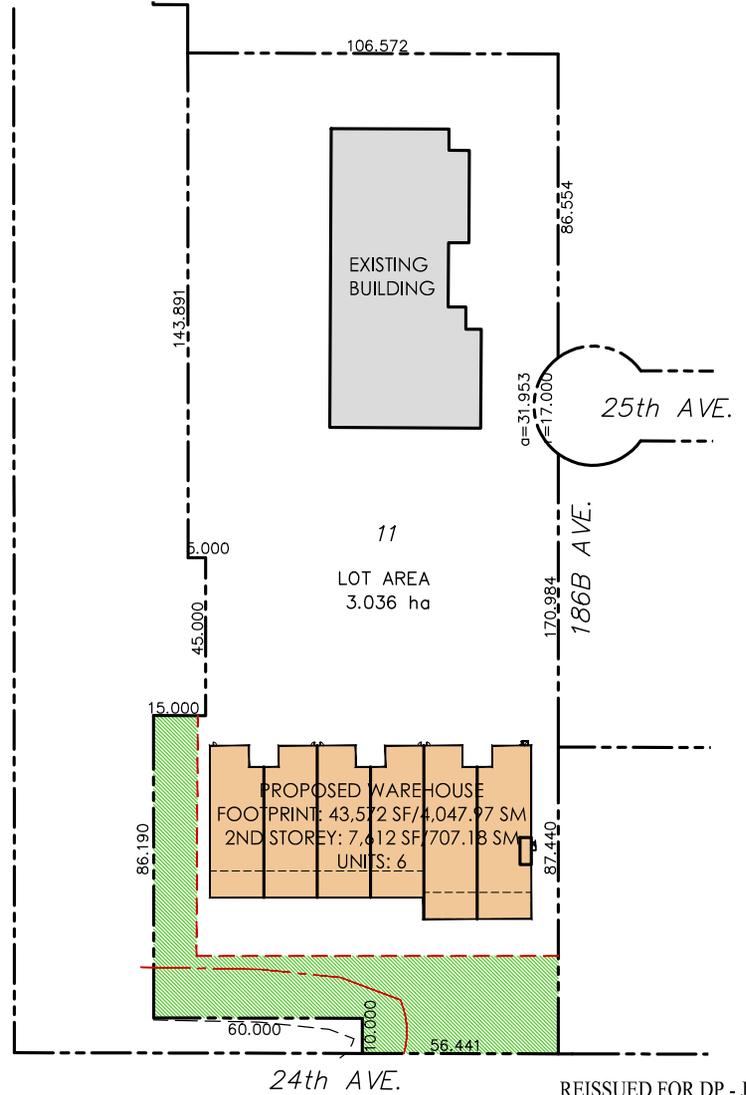
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PROPOSED WAREHOUSE

18699 25TH AVENUE, SURREY, BC



AERIAL PHOTO



REISSUED FOR DP - JULY.17.23

TED MURRAY ARCHITECT INC.	4168 WEST 12TH AVE. VANCOUVER, B.C. CANADA V6R 2P6 TEL (604) 734-4050 tma@telus.net	PROJECT: PROPOSED WAREHOUSE 18699 25TH AVENUE, SURREY, BC	DRWN: ML CHKD: TMA DWS NO: <h1>A1.0</h1>
	TITLE:		

CIVIL ADDRESS:
10699 25TH AVENUE, SURREY, BC

LEGAL DESCRIPTION:
LOT II, SECTION 21, TOWNSHIP 1, PLAN EPP24887 NUD

ZONING:
CD BL 11536, COMPREHENSIVE DEVELOPMENT ZONE

SITE AREA:
30360 S.M. / 326,792 SQ.FT.

FLOOR AREAS (NEW BUILDING B):

1ST STOREY -	4,041.91 S.M. (43,512 SQ.FT.)
2ND STOREY -	1,011.8 S.M. (10,824 SQ.FT.)
TOTAL	5,053.71 S.M. (54,336 SQ.FT.)

EXISTING BUILDING AREA:

1ST STOREY -	3,276.60 S.M. (35,269 SQ.FT.)
2ND STOREY -	283.39 S.M. (3,050 SQ.FT.)
TOTAL	3,560.00 S.M. (38,319 SQ.FT.)

SITE COVERAGE:
30360 S.M. / 1,324.91 S.M. = 24.1%
(326,792 SQ.FT. / 1,364,100 SQ.FT.)
MAXIMUM ALLOWABLE = 60%

FLOOR AREA RATIO:
8,315.10 S.M. / 30,360.00 S.M. = 0.274
(89,503 SQ.FT. / 326,792 SQ.FT.)
MAXIMUM ALLOWABLE = 1.0 (IF AMENITIES ARE PROVIDED)

BUILDING SETBACKS:	REQUIRED	PROPOSED
SOUTH FRONT YARD	16 M (52')	34.29 M (112.50')
NORTH REAR YARD	7.5 M (25')	8.50 M (27.88')
WEST SIDE YARD	7.5 M (25')	16.14 M (52.95')
EAST SIDE YARD	7.5 M (25')	1.11 M (3.64')

BUILDING HEIGHT:	MAXIMUM	PROPOSED
	13.12 M (43')	11.73 M (38.5')

PARKING:

REQUIRED (INDUSTRIAL): 3,340.79 S.M. X 1/100 S.M. = 33.41 STALLS
(35,960 SQ.FT. X 1/1016.39 SQ.FT.)

REQUIRED (OFFICE): 1,011.8 S.M. X 25/1000 S.M. = 11.68 STALLS
(1,612 SQ.FT. X 25/1016.39 SQ.FT.)

REQUIRED (SALES): 1,011.8 S.M. X 25/100 S.M. = 11.68 STALLS
(1,612 SQ.FT. X 25/1016.39 SQ.FT.)

TOTAL: 69 STALLS

REGULAR STALL 2.75m x 5.5m (9'x18') 30°

H/C STALL 3.65m x 5.5m (12'x18') MIN. 1 STALL TO BE PROVIDED

PROPOSED: 69 STALLS

REGULAR STALL 68 STALLS

H/C STALL 1 STALL

MANOEUVRING AISLE WIDTH
MINIMUM: 6.1m/22'

PROPOSED: 6.1m/22'

LOADING:

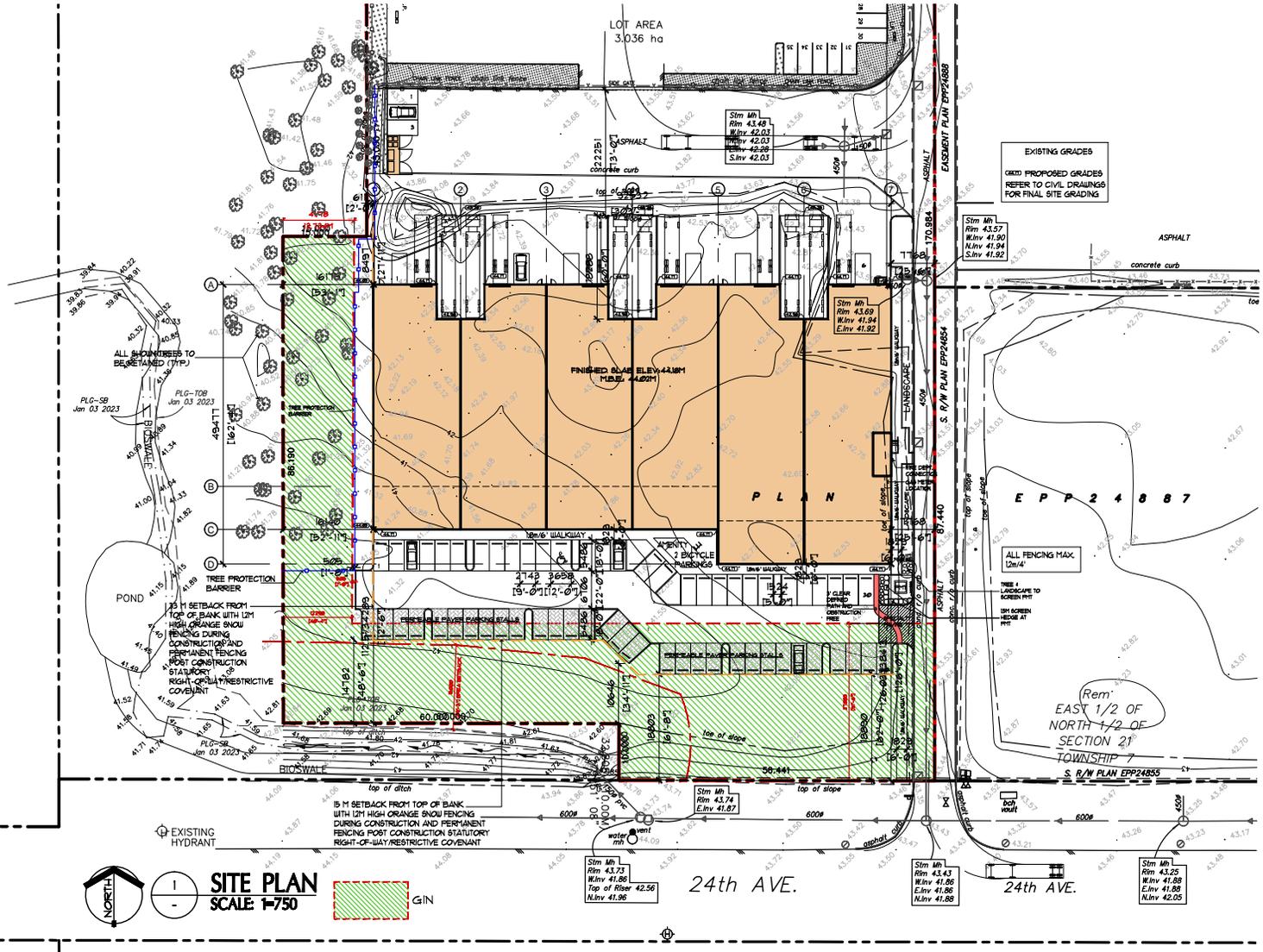
LOADING SIZE: 4m x 3.2m (13'x10') WITH MIN. MANOEUVRING AISLE OF 7.5m (25')

1 SPACE PER EACH LOADING DOOR

BICYCLE:

REQUIRED (SALES): 1,011.8 S.M. X 0.1/100 S.M. = 1 VISITOR STALL (2 PROVIDED)

NO BICYCLE PARKING REQUIRED FOR INDUSTRIAL AND OFFICE USE.



SITE PLAN
SCALE 1=750

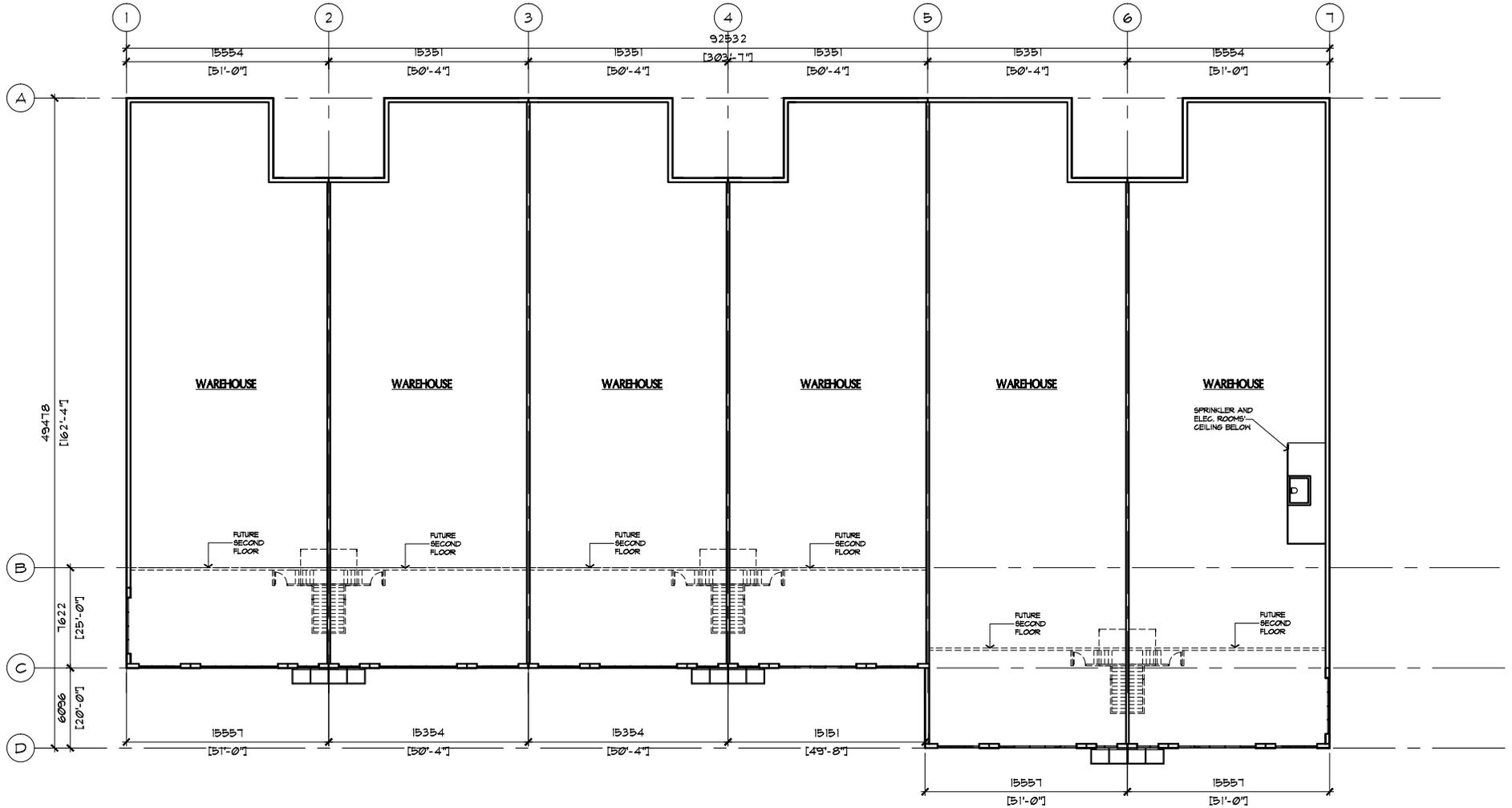
GIN

TED MURRAY ARCHITECT INC.
4168 WEST 12TH AVE.
VANCOUVER, B.C.
CANADA V6R 2P6
TEL (604) 734-4050
tma@telus.net

PROJECT:
PROPOSED WAREHOUSE
10699 25TH AVENUE, SURREY, BC

REISSUED FOR DP - JULY.17.23

DRWN: ML
CHKD: TMA
DUG NO:
A1.1



FUTURE 2ND STOREY FLOOR PLAN
SCALE 1/300

7,612 SQFT/707.18 SM

REISSUED FOR DP - JULY.17.23

TITLE:



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PROJECT:

PROPOSED WAREHOUSE

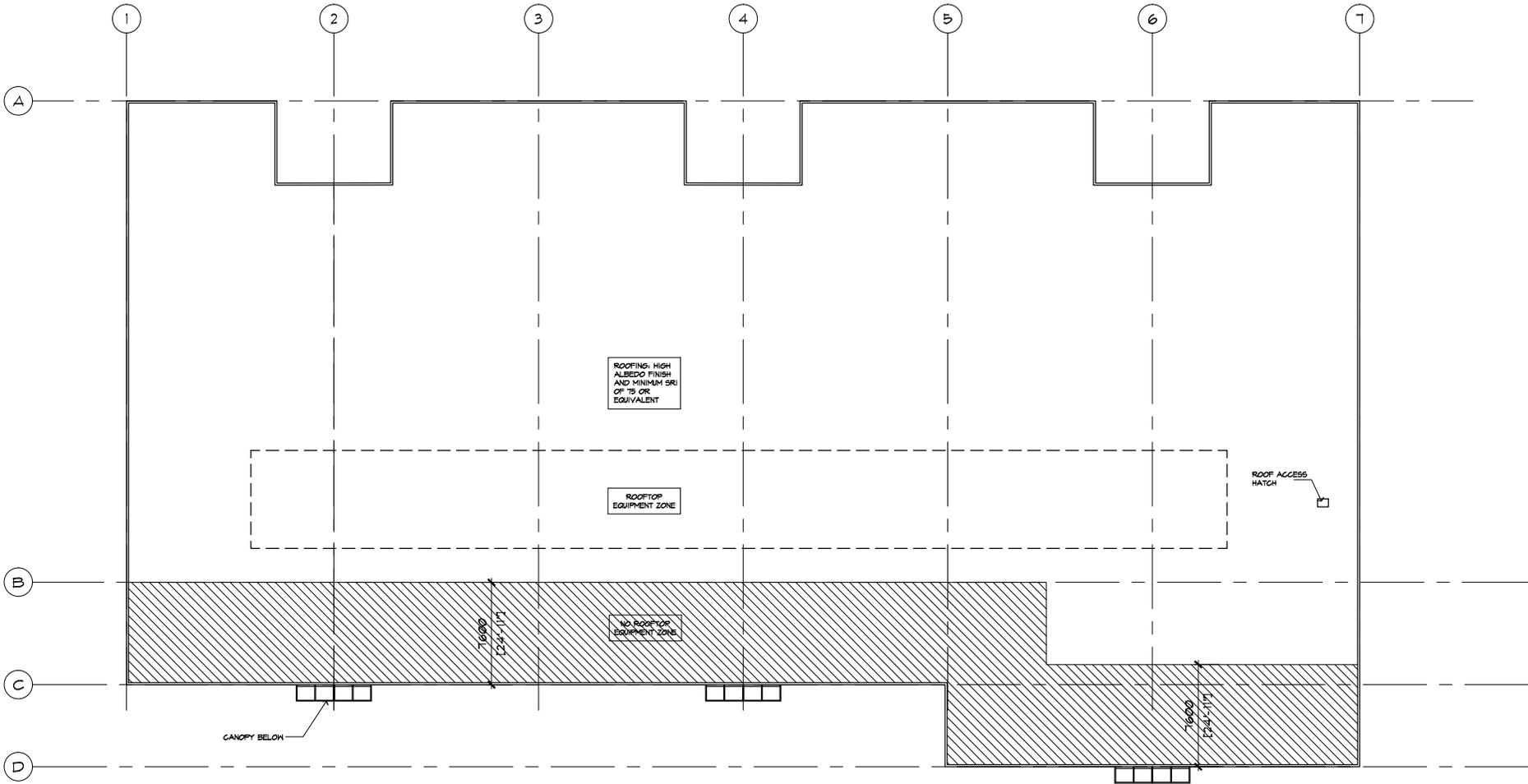
18699 25TH AVENUE, SURREY, BC

DRWN: ML

CHKD: TMA

DWG NO:

A2.1

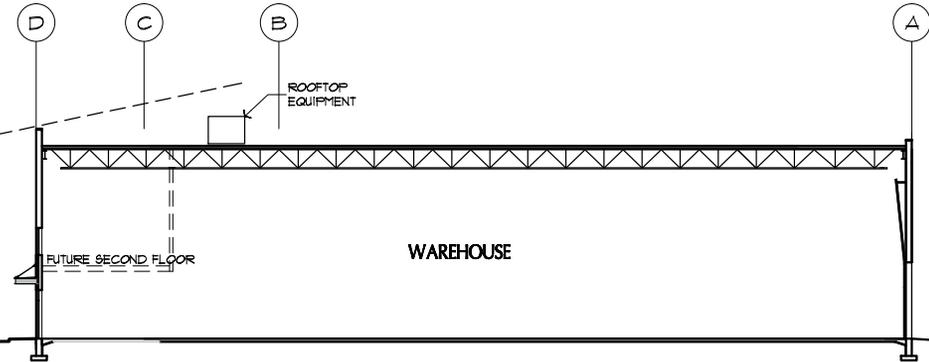



ROOF PLAN
 SCALE 1-300

REISSUED FOR DP - JULY.17.23

TITLE: TED MURRAY ARCHITECT INC. 4168 WEST 12TH AVE. VANCOUVER, B.C. CANADA V6R 2P6 TEL (604) 734-4050 tma@telus.net		PROJECT: PROPOSED WAREHOUSE 18699 25TH AVENUE, SURREY, BC		DRWN: ML CHK'D: TMA
DWG NO:				
A2.2				

24th AVE.



PARTIAL BUILDING SECTION
NOT TO SCALE

REISSUED FOR DP - JULY.17.23

TITLE:



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PROJECT:

PROPOSED WAREHOUSE

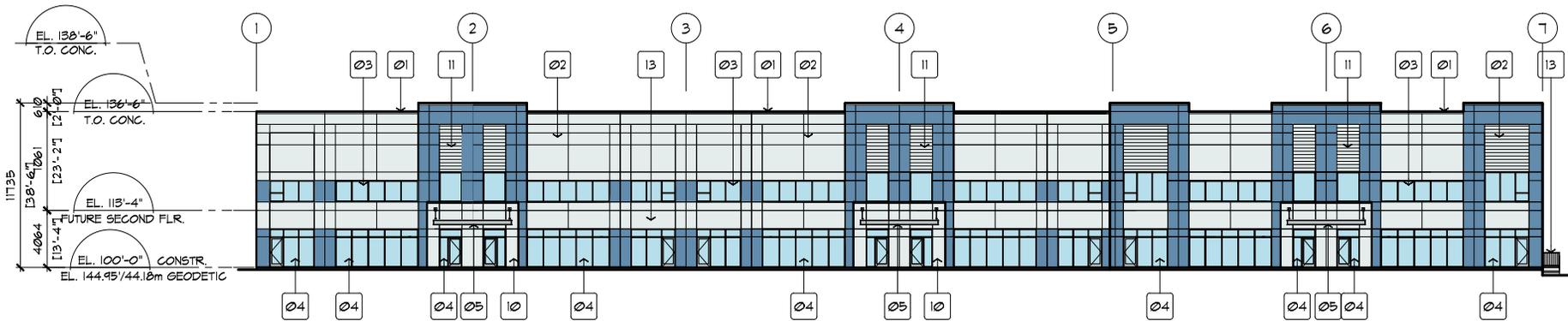
18699 25TH AVENUE, SURREY, BC

DRWN: ML

CHKD: TMA

DWG NO:

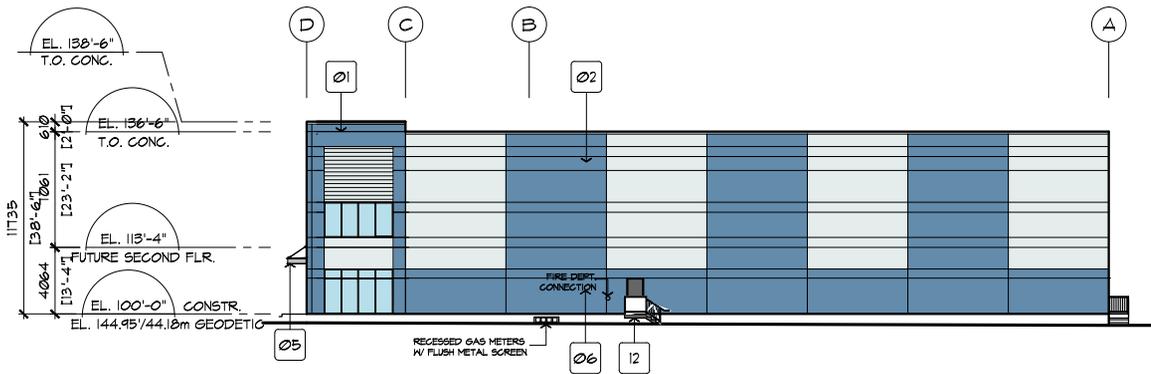
A2.3



1 SOUTH ELEVATION (24TH AVENUE)
SCALE 1=300

EXTERIOR MATERIAL & FINISH LEGEND:

- 01 PREFINISHED METAL CAP FLASHING (LIGHT GREY)
- 02 INSULATED TILT-UP PRECAST PANEL (LIGHT GREY OR GREYISH BLUE)
- 03 CLEAR GLAZING IN CLEAR ANODIZED ALUMINUM FRAME WINDOW
- 04 CLEAR GLAZING IN CLEAR ANODIZED ALUMINUM FRAME STOREFRONT
- 05 PAINTED STEEL FRAME CANOPY WITH CLEAR GLAZING PANEL (GREY)
- 06 PAINTED INSULATED METAL DOOR AND FRAME (GREY)
- 07 PREFINISHED INSULATED OVERHEAD LOADING DOOR (GREY)
- 08 EXTERIOR ROOF ACCESS LADDER W/ SECURITY CAGE (GREY)
- 09 3'-6" HIGH STEEL GUARDRAIL (GREY)
- 10 PREFINISHED METAL PANEL (LIGHT GREY)
- 11 INSULATED TILT-UP PRECAST PANEL (CAST-IN REVEALS) (LIGHT GREY)
- 12 EXTERIOR CONCRETE STAIR AND METAL RAILING (GREY)



2 EAST ELEVATION
SCALE 1=300

REISSUED FOR DP - JULY.17.23

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PROJECT:

PROPOSED WAREHOUSE

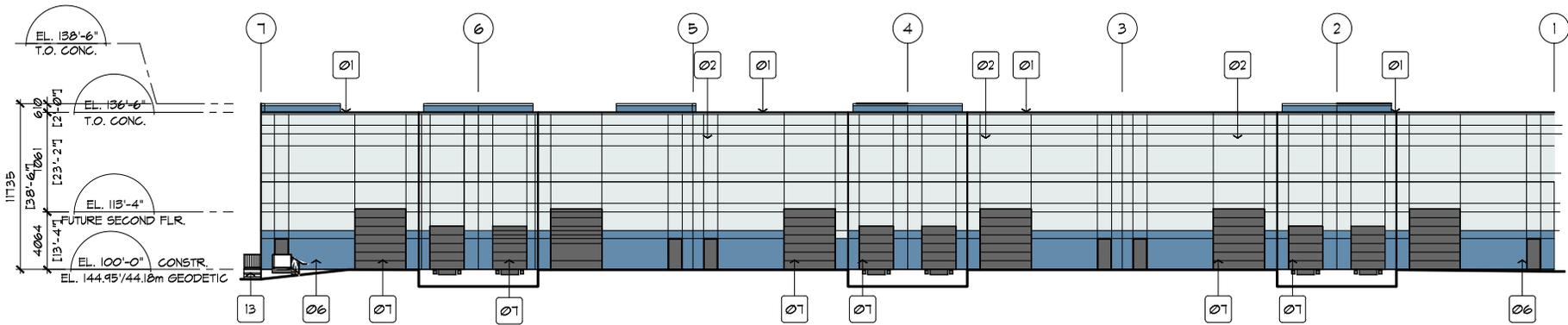
10699 25TH AVENUE, SURREY, BC

DRWN: ML

CHKD: TMA

DWG NO:

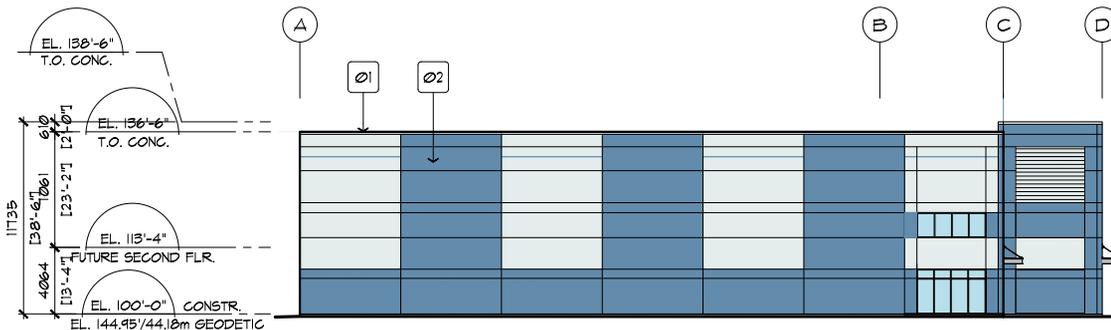
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1 NORTH ELEVATION
SCALE 1=300

EXTERIOR MATERIAL & FINISH LEGEND:

- 01 PREFINISHED METAL CAP FLASHING (LIGHT GREY)
- 02 INSULATED TILT-UP PRECAST PANEL (LIGHT GREY OR GREYISH BLUE)
- 03 CLEAR GLAZING IN CLEAR ANODIZED ALUMINUM FRAME WINDOW
- 04 CLEAR GLAZING IN CLEAR ANODIZED ALUMINUM FRAME STOREFRONT
- 05 PAINTED STEEL FRAME CANOPY WITH CLEAR GLAZING PANEL (GREY)
- 06 PAINTED INSULATED METAL DOOR AND FRAME (GREY)
- 07 PREFINISHED INSULATED OVERHEAD LOADING DOOR (GREY)
- 08 EXTERIOR ROOF ACCESS LADDER W/ SECURITY CAGE (GREY)
- 09 3'-6" HIGH STEEL GUARDRAIL (GREY)
- 10 PREFINISHED METAL PANEL (LIGHT GREY)
- 11 INSULATED TILT-UP PRECAST PANEL (CAST-IN REVEALS) (LIGHT GREY)
- 12 EXTERIOR CONCRETE STAIR AND METAL RAILING (GREY)



2 WEST ELEVATION
SCALE 1=300

REISSUED FOR DP - JULY.17.23

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PROJECT:

PROPOSED WAREHOUSE

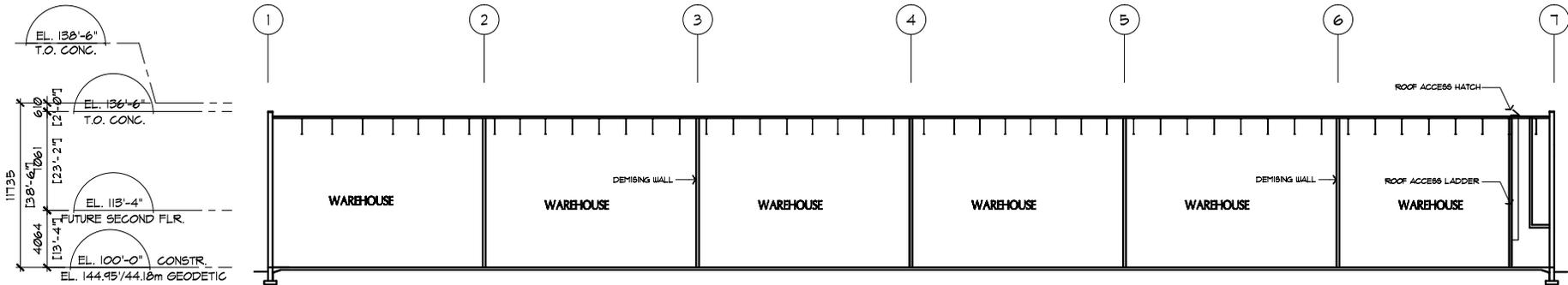
18699 25TH AVENUE, SURREY, BC

DRWN: ML

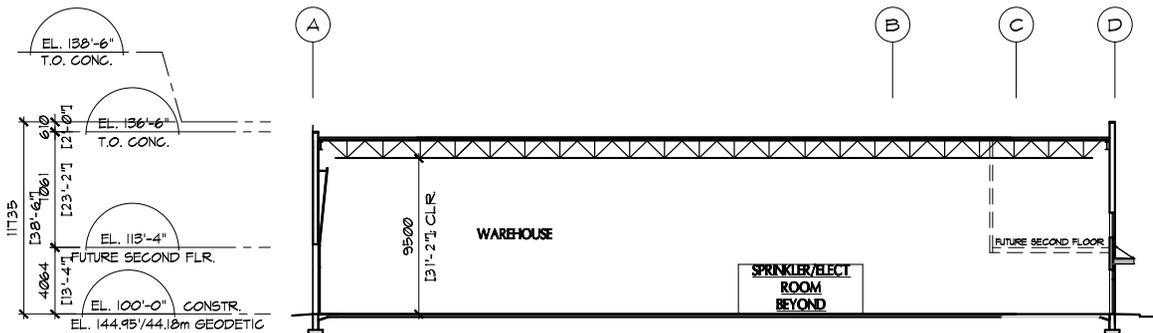
CHKD: TMA

DWG NO:

A3.1



1 LONGITUDINAL SECTION
SCALE 1/300



2 CROSS SECTION
SCALE 1/300

REISSUED FOR DP - JULY.17.23

TED MURRAY ARCHITECT INC. 4168 WEST 12TH AVE. VANCOUVER, B.C. CANADA V6R 2P6 TEL (604) 734-4050 tma@telus.net		PROJECT: PROPOSED WAREHOUSE 18699 25TH AVENUE, SURREY, BC	DRAWN: ML CHECKED: TMA Dwg NO: A4.0
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PROJECT:

18699 25 Avenue, Surrey

DRAWING TITLE:

**Planting and
Fencing Plan**

PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM
FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES

CLIENT:

JDG Construction

SCALE:

1:750

DATE:

February 17, 2023

PROJECT No:

20-2056

DRAWING No:

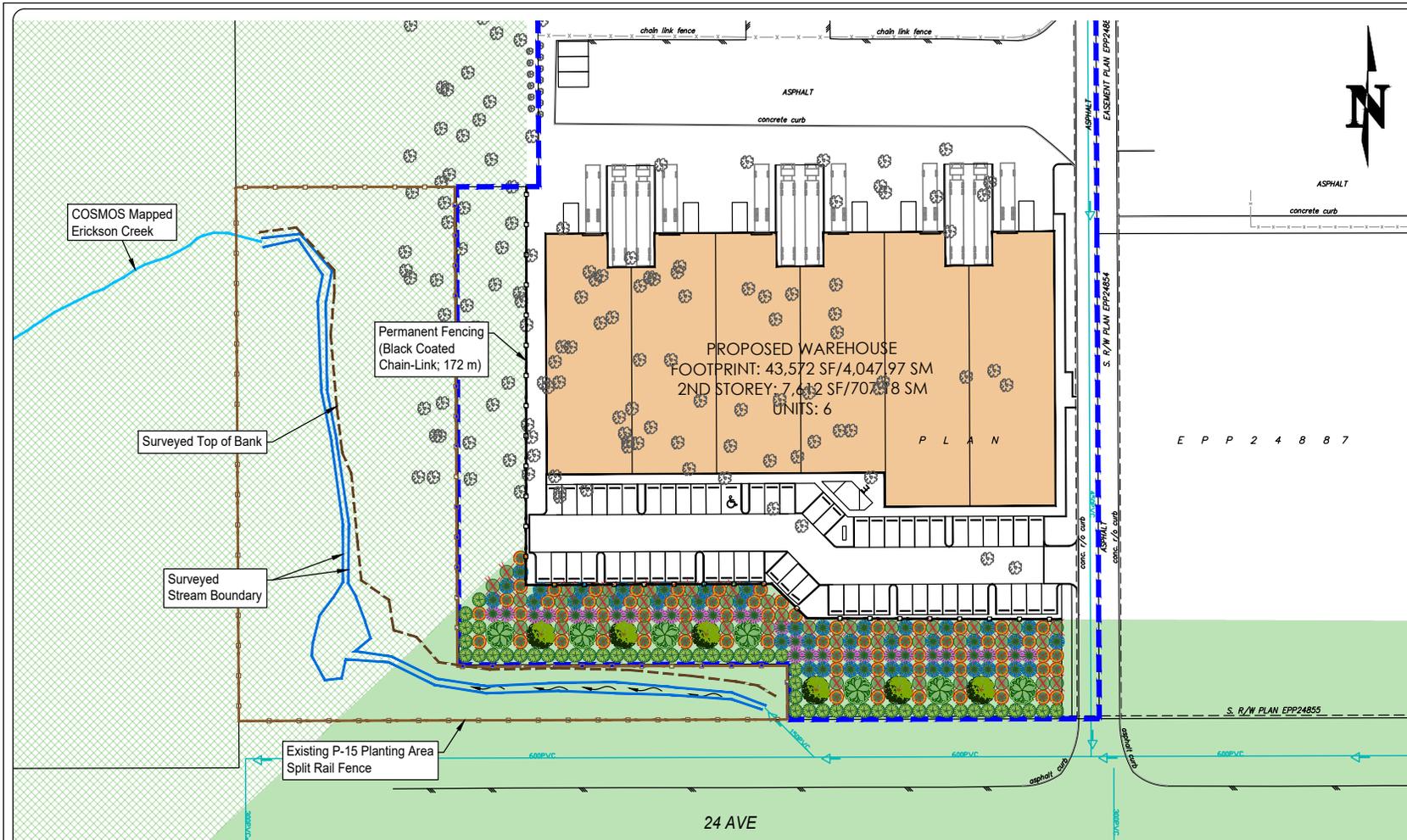
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DESIGNED BY:

JM

CHECKED BY:

KM



LEGEND

- Subject Property (3.03 ha / 7.50 ac)
- Surveyed Stream Boundary
- COSMOS Mapped Erickson Creek
- Surveyed Top of Bank
- COSMOS Mapped Drainage Infrastructure
- On-Site Permanent Fencing (Black Coated Chain-Link)
- Existing P-15 Planting Area Split Rail Fence
- Modified GIN Corridor #54
- GIN Corridor #58
- Surveyed Existing Trees

PLANT SPECIES LIST AND SPECIFICATIONS

SYMBOL	COMMON NAME	LATIN NAME	NUMBER	COMMENTS
Trees: 20				
	Western red cedar	<i>Thuja plicata</i>	10	#10 pot; 1.5 m ht.
	Big leaf maple	<i>Acer macrophyllum</i>	10	#10 pot; 1.5 m ht.
Shrubs: 1,715				
	Salmonberry	<i>Rubus spectabilis</i>	343	#2 pot
	Common snowberry	<i>Symphoricarpos albus</i>	343	#2 pot
	Thimbleberry	<i>Rubus parviflorus</i>	343	#2 pot
	Nootka rose	<i>Rosa nutkana</i>	343	#2 pot
	Vine maple	<i>Acer circinatum</i>	343	#2 pot

Tree Preservation Summary

Surrey Project No: #19-0290 (prev. 7910-0301-00)
 Address: 18699 25 Ave., Surrey
 Registered Arborist: Lesley Gifford: PN5432-A

Edited by Jane Regnier
 Sept 5, 2023

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas onsite GIN 54 & 58)	107 125
Protected Trees to be Removed	104
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas onsite GIN 54 & 58)	8 21
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{68} \quad \times \quad \text{one (1)} \quad = 68$ - All other Trees Requiring 2 to 1 Replacement Ratio $36 \quad \times \quad \text{two (2)} \quad = 72$ 	140
Replacement Trees Proposed	22
Replacement Trees in Deficit	118
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	13
City Trees (In GIN 58- west of site)	Number of Trees
Total trees	29
Protected Trees to be Retained	28
Protected Trees to be Removed	1
Total Replacement Trees Required: <ul style="list-style-type: none"> Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{0} \quad \times \quad \text{one (1)} \quad = 0$ All other Trees Requiring 2 to 1 Replacement Ratio $1 \quad \times \quad \text{two (2)} \quad = 2$ 	2
Replacement Trees Proposed	0
Replacement Trees in Deficit	2

Summary, report and plan prepared and submitted by:



 Signature of
 Arborist

 August 28, 2023

 Date

