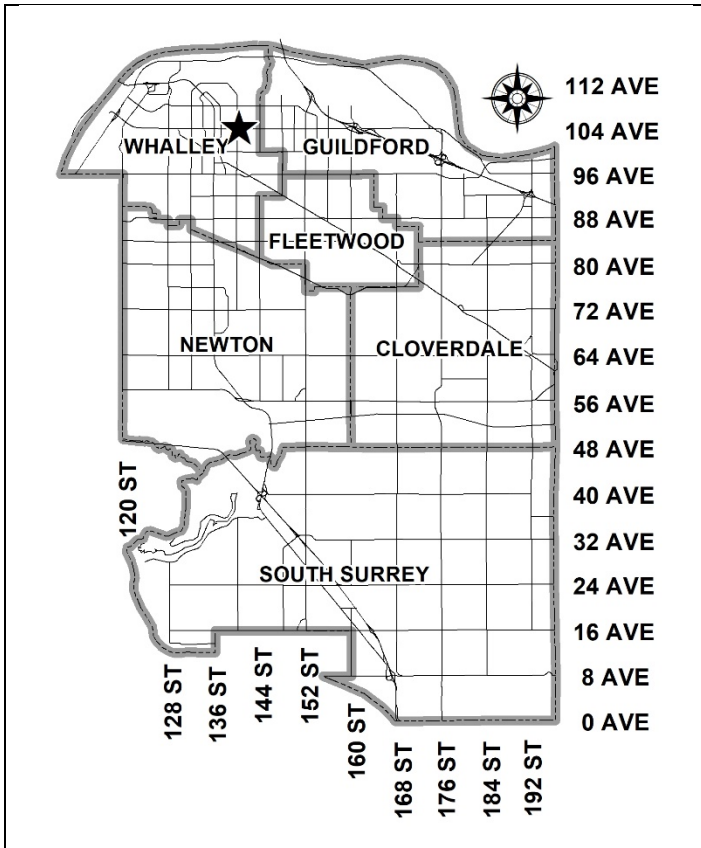


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application No.: 7919-0263-00

Planning Report Date: November 14, 2022



**PROPOSAL:**

- **Rezoning** from RF to CD (based on RM-70)
- **Development Permit**

to permit the development of a 6-storey apartment building.

**LOCATION:**

- 14037 - 103A Avenue
- 14047 - 103A Avenue
- 14057 - 103A Avenue

**ZONING:**

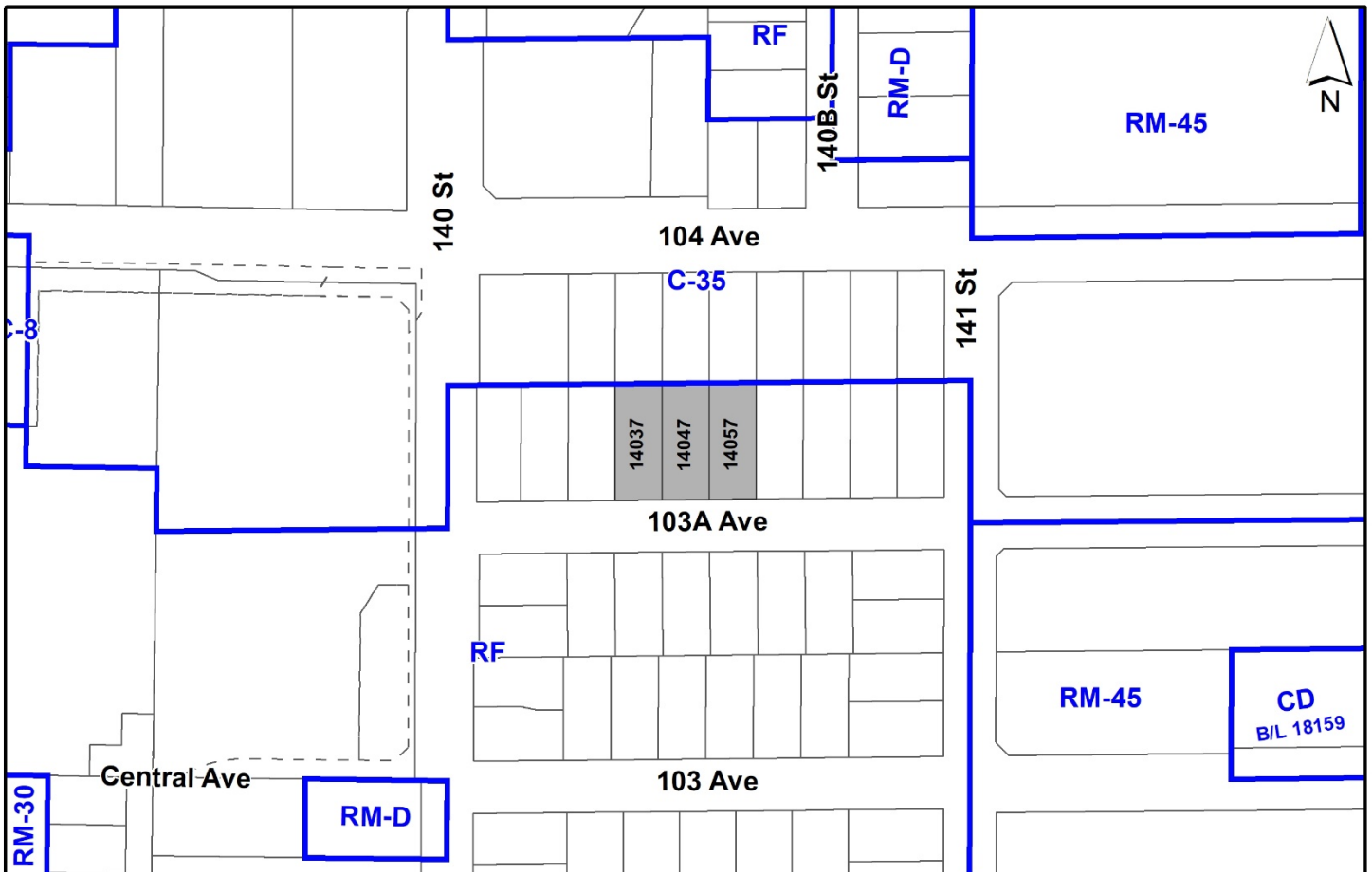
RF

**OCP DESIGNATION:**

Multiple Residential

**TCP DESIGNATION:**

Low to Mid Rise Apartment



## RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning;
- Approval to draft Development Permit for Form and Character.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

## RATIONALE OF RECOMMENDATION

- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).
- The proposal complies with the Low to Mid Rise Apartment designation in the Stage 1 Guildford Town Centre & 104 Avenue Corridor Plan (TCP).
- In accordance with the Interim Implementation Strategy of the Stage 1 TCP, development application for properties in the plan area that consistent with the Stage 1 Plan may proceed to Council for consideration and initial approvals (Third Reading), and be considered for Final Adoption, subject to all other issues identified in the Planning Report having been resolved.
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and 6-storey building form are appropriate for this part of Guildford.
- The proposed development is within a Frequent Transit Development Permit Area (FTDA) and conforms to the goal of achieving higher density development near a transit corridor.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Guildford Town Centre & 104 Avenue Corridor and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials, and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7919-0263-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (f) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption
  - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
  - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	Guildford Town Centre – 104 Avenue Corridor Plan Designation	Existing Zone
Subject Site	Single Family Dwellings	Low to Mid Rise Apartment	RF
North:	Vacant Land	Low to Mid Rise Apartment	C-35

Direction	Existing Use	Guildford Town Centre – 104 Avenue Corridor Plan Designation	Existing Zone
East:	Vacant Land & Single Family Dwellings	Low to Mid Rise Apartment	RF
South (Across 103A Avenue):	Single Family Dwellings	Low to Mid Rise Apartment	RF
West:	Single Family Dwellings	Low to Mid Rise Apartment	RF

### Context & Background

- The subject site is approximately 2,431 square metres in size and is comprised of three lots located mid-block on the north side of 103A Avenue, between 140 Street and 141 Street.
- The subject properties are designated Multiple Residential in the Official Community Plan (OCP) and Low to Mid Rise Apartment in the Guildford Town Centre – 104 Avenue Corridor Plan. All three properties are zoned Single Family Residential Zone (RF).

### Guildford Town Centre – 104 Avenue Corridor Plan

- After an extensive public consultation process, Stage 1 of the Guildford Town Centre – 104 Avenue Corridor Plan (TCP) was approved by Council on July 8, 2019. Stage 1 outlines the expected land-use and densities for the Guildford Town Centre area.
- In accordance with the Interim Implementation Strategy of the Stage 1 TCP, as per Corporate Report R147 “Guildford Town Centre – 104 Avenue Corridor Stage 1 Plan”, dated July 4, 2019, Development Applications for properties in the plan area that comply with the Stage 1 Plan (such as the subject application) may proceed to Council for consideration and initial approvals (Third Reading). As per Corporate Report No. R048 “Guildford Town Centre – 104 Avenue Corridor In-Stream Applications and Update to Community Amenity Contribution Rates”, dated March 7, 2022, Development Applications that are consistent with the Guildford Town Centre TCP may also be considered for Final Adoption in advance of Stage 2 approval.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- In order to permit the development of a 6-storey apartment building with 89 dwelling units the applicant is proposing the following:
  - Rezoning the site from RF to CD (based on RM-70);
  - Subdivision (consolidation) of three lots into 1 lot; and
  - Development Permit for Form and Character.



Proposed	
<b>Lot Area</b>	
Gross Site Area:	2,431 square metres
Road Dedication:	334 square metres
Net Site Area:	2,097 square metres
<b>Number of Lots:</b>	1
<b>Building Height:</b>	19.5 metres
<b>Floor Area Ratio (FAR):</b>	2.46 gross FAR (2.86 net FAR)
<b>Floor Area</b>	
Residential:	6,218 square metres
Commercial:	NA
Total:	6,218 square metres
<b>Residential Units:</b>	
Studio:	2
1-Bedroom:	68
2-Bedroom:	17
3-Bedroom:	2
Total:	89

**Referrals**

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 46 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

17 Elementary students at Lena Shaw Elementary School  
 11 Secondary students at Guildford Park Secondary School

(Appendix III)

**Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.**

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by December 2024.

Parks, Recreation & Culture:	No concerns.  The closest active park and natural area is Cedar Grove Park and is 294 metres away. Future parkland is proposed within 173 metres of the subject site as part of the Guildford Town Centre & 104 Avenue Corridor.
Surrey Fire Department:	No concerns.
Advisory Design Panel:	The proposal was considered at the ADP meeting on July 28, 2022 and received conditional support. The applicant has agreed to resolve outstanding items from the ADP review as outlined in the Development Permit section of this report, prior to Council's consideration of Final Adoption of the rezoning bylaw, to the satisfaction of the Planning and Development Department.

## Transportation Considerations

### Road Network & Infrastructure

- The applicant will be providing the following improvements:
  - Construction of the north side of 103A Avenue along the site frontage to the City's local road standard with sidewalk, boulevard with trees and lighting, curb, and pavement widening to accommodate two-way traffic and on-street parking.
  - Dedication and construction of a new north-south lane to provide direct access to the subject site and to future adjacent development sites. This lane will serve a broader access management strategy for the block to minimize direct driveways to 103A Avenue and avoid driveways to 104 Avenue. The constructed lane will include pavement width for two-way travel and a sidewalk on one side.
- The City is currently in process of completing a traffic impact assessment as part of Stage 2 of the TCP. Additional network improvements, including intersection improvements and arterial road widening, will be determined as part of traffic impact assessment in order to ensure that growth within the Plan Area is serviced appropriately.
- The subject site is located approximately 142 metres from 104 Avenue, which is an existing Frequent Transit Network (FTN) and future rapid transit corridor.

### Traffic Impacts:

- The proposed development is anticipated to generate approximately 50 vehicle trips in the peak hour (approximately 1 vehicle per minute), according to industry standard rates. A site-specific traffic impact assessment was not required as the proposal is consistent with Stage 1 TCP and is below the City's threshold for triggering the requirement for a site-specific traffic impact assessment.
- Parking for the development is proposed to be located in a two-level underground parkade, which will be accessed from the new lane along the east property line.

Access:

- Access to the subject site is proposed via the new north-south lane along the eastern portion of the site. No direct access is proposed from 103 Avenue.

**Sustainability Considerations**

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

**POLICY & BY-LAW CONSIDERATIONS****Regional Growth Strategy**

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).

**Official Community Plan**Land Use Designation

- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).

Themes/Policies

- The proposed development is consistent with the following guiding policies and objectives in the OCP:
  - Support compact and efficient land development that is consistent with Metro Vancouver Regional Growth Strategy (OCP Policy A1);
  - Accommodate higher density development into Town Centres and near Frequent Transit Corridors at density sufficient to encourage commercial development and transit service expansions (A2);
  - Encourage development in urban neighbourhoods to utilize existing infrastructure and amenities and to enhance existing neighborhood character and viability (A3);
  - Encourage Development that supports increased transit, pedestrian walkability, and bicycle access (B3); and
  - Develop complete, accessible, and walkable green neighbourhoods with sufficient densities to support a high-quality transit system that is accessible to most residents (B4).

**Secondary Plans**Land Use Designation

- The proposal complies with the Low to Mid Rise Apartment designation in the Stage 1 Guildford Town Centre & 104 Avenue Corridor Plan (TCP).

Themes/Objectives

- The proposed development is consistent with the following objectives in the Stage 1 TCP:
  - Establish a beautiful, pedestrian-scale built form, with a dynamic relationship between ground floor uses and sidewalk activity; and
  - Provide a variety of housing types and choices, including social housing, for a variety of needs and household types

**CD By-law**

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed 6-storey apartment building on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 70 Zone (RM-70)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
<b>Floor Area Ratio:</b>	1.5 FAR (net)	2.86 (net)
<b>Lot Coverage:</b>	33%	58%
<b>Yards and Setbacks</b>		
North:	7.5 m	4.0 m
South (103A Avenue):	7.5 m	4.5 m
East (lane):	7.5 m	2.5 m
West:	7.5 m	3.0 m
<b>Principal Building Height:</b>	50.0 m	19.5 m
<b>Permitted Uses:</b>	<ul style="list-style-type: none"> <li>• Multiple unit residential buildings</li> <li>• Ground-oriented multiple unit residential buildings</li> <li>• Child care centres</li> </ul>	<ul style="list-style-type: none"> <li>• Multiple unit residential buildings</li> <li>• Ground-oriented multiple unit residential buildings</li> </ul>
<b>Amenity Space</b>		
Indoor Amenity:	3.0 sq. m. per dwelling unit 1.0 sq. m. per lock-off suite 4.0 sq. m. per micro unit	The proposed 254 m <sup>2</sup> + CIL of \$10,000 meets the Zoning By-law requirement.
Outdoor Amenity:	3.0 sq. m. per dwelling unit 1.0 sq. m. per lock-off suite 4.0 sq. m. per micro unit	The proposed 534 m <sup>2</sup> meets the Zoning By-law requirement.
<b>Parking (Part 5)</b>		
	<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls</b>		
Residential:	120	98
Visitor:	9	9
Total:	128	107
Accessible:	3	3

<b>Bicycle Spaces</b>		
Residential Secure Parking:	107	108
Residential Visitor:	6	8

- The floor area ratio (FAR) has been increased from 1.5 net FAR in the RM-70 Zone to 2.86. (net density) The proposed density complies with the Stage 1 Guildford Town Centre & 104 Avenue Corridor Plan (TCP).
- The maximum lot coverage has been increased from 33% in the RM-70 Zone to 58 % in the CD Zone to accommodate the built form, which is generally consistent with other similar 6-storey apartment developments in the area.
- The reduced setbacks along the frontages (103A Avenue and the lane) as well as the north and west property lines achieve a more urban, pedestrian-oriented streetscape, consistent with the goals and objectives of the Stage 1 TCP.
- The applicant is proposing to provide 98 residential parking spaces, and 9 visitor parking spaces, for a total of 107 parking spaces.

#### **Capital Projects Community Amenity Contributions (CACs)**

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,000 per new unit.
- The proposed development will not be subject to the Tier 2 Capital Plan Project CACs as the proposal complies with the densities in the Secondary Plan designation.

#### **Affordable Housing Strategy**

- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

#### **Public Art Policy**

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

## **PUBLIC ENGAGEMENT**

- Pre-notification letters were sent on September 29, 2021, and the Development Proposal Signs were installed on May 26, 2021. Staff received no responses from the public.

## **DEVELOPMENT PERMITS**

### **Form and Character Development Permit Requirement**

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Stage 1 Guildford Town Centre & 104 Avenue Corridor Plan (TCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The applicant is proposing a 6-storey building containing 89 units, consisting of two studio units, 68 one-bedroom units, 17 two-bedroom units, and two three-bedroom units.
- The proposed apartment building is L-shaped to frame frontages along 103A Avenue, and the new lane along the east property line. The south, east and partial west upper two-storeys are stepped back from the floors below to reduce the building massing and bulk. The indoor and outdoor amenity spaces are centrally located at the northwest portion of the site, creating a central courtyard.
- The applicant proposed an urban contemporary building design with simple volumes and extensive use of brown brick on the lower 4 levels of the façade.
- All ground-oriented units will have their own usable, semi-private outdoor patio space with direct access to the street, lane, or internal walkway.
- Building materials include brick veneer, cementitious panels, horizontal siding and window glazing with black frames. The brick finish and block window frames contribute significantly to the high-quality appearance and visual interest of the building.
- The proposed indoor and outdoor amenity spaces have been integrated for site functionality and efficiency. For more details, see the Indoor and Outdoor Amenity Space sections in this report.
- The applicant has worked with staff to address ADP and staff comments favourably. In particular the applicant has worked to:
  - Configure the building form to provide dedicated lane access to provide pedestrian friendly vehicular access to the site, access opportunities to adjacent sites, and set up a mid-block pedestrian access.

### Landscaping

- The proposed landscaping for the site includes a mix of trees, shrubs, groundcover, along with hardscaping, site lighting, fencing, and site furnishings.
- The landscaping concept centres around three areas, lobby and ground-oriented unit entrances, the outdoor amenity courtyard in the northwest corner of the site, and the roof top amenity area.
- Pathways provide for pedestrian circulation around the site and provide access to the outdoor amenity courtyard at the northwest corner of the site.
- At grade units have patio spaces with feature paving, trees, shrubs, and fencing with gates to create semi-private outdoor spaces for residents.

### Indoor Amenity

- The required indoor amenity is 267 square metres, while the applicant is proposing to provide 254 square metres of indoor amenity space on site, requiring cash-in-lieu for the shortfall in accordance with City policy.
- The indoor amenity space is located on the first level, north side of the building, facing the outdoor amenity courtyard to the west.
- The indoor amenity space consists of a gym, meeting room, entertainment area, kitchen, and accessible washrooms.
- The entertainment and kitchen area opens up onto the outdoor amenity courtyard.

### Outdoor Amenity

- The required outdoor amenity is 267 square metres. The applicant is proposing 534 square metres of outdoor amenity, exceeding the minimum requirement.
- The proposed outdoor amenity is organized into two areas.
- The outdoor amenity courtyard, located at grade on the northwest corner of the site, consists of children's play area, lawn area, picnic area, and outdoor seating.
- The roof top outdoor amenity area, located on the southeast corner of the site, consists of community garden plots, dining area with tables and chairs, outdoor barbeque, and recreational deck area.

### Advisory Design Panel

#### **First ADP Date: February 24, 2022**

- The project was first presented to the ADP on February 24, 2022. At the time, the ADP was not in support of the project, and recommended that a number of issues be addressed prior to resubmission for ADP review.

- The ADP recommended the following improvements to the proposal for resubmission:
  - Inclusion of a roof top amenity space to provide residents with constant access to sunlight;
  - Revise building materials and colours;
  - Treat all elevations with the same rigor as the south elevation;
  - Provide direct access between the interior corridor and outdoor amenity space;
  - Review 5<sup>th</sup> and 6<sup>th</sup> floor massing;
  - Review interior unit layouts to make sure they are functional and livable;
  - Provide some adaptable units;
  - Consider introducing a second elevator for functionality; and
  - Consolidate bicycle storage areas on the north side of P1 to provide more convenient access to the entry ramp.
  
- The applicant worked with staff to generally resolve the ADP's recommendation from February 24, 2022.

### **Second ADP Date: July 28, 2022**

- The project was represented to the ADP on July 28, 2022, and was conditionally supported. The applicant has generally resolved many of the outstanding items from the second ADP review (Appendix V).
  
- Any additional revisions will be completed prior to Council consideration of Final Adoption of the Rezoning Bylaw, to the satisfaction of Urban Design and the Planning and Development Department.

### Outstanding Items

- The applicant is required to resolve all outstanding urban design and landscaping issues and Advisory Design Panel comments, including:
  - Refinement of building material strategy and detailing;
  - Refinement of private and common amenity space;
  - Design development at site edges to ensure a neighbourly interface;
  - Coordination of public realm interfaces and site servicing items.

### **TREES**

- Corey Plester, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:



**Table 1: Summary of Tree Preservation by Tree Species:**

<b>Tree Species</b>	<b>Existing</b>	<b>Remove</b>	<b>Retain</b>
<b>Deciduous Trees</b> (excluding Alder and Cottonwood Trees)			
Cockspur Thorn	2	2	0
Fig	3	3	0
Cherry	2	2	0
Purple Leaf Plum	1	1	0
Butternut	1	1	0
<b>Coniferous Trees</b>			
Sitka Spruce	1	1	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>10</b>	<b>10</b>	<b>0</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>35</b>	
<b>Total Retained and Replacement Trees</b>		<b>35</b>	
<b>Contribution to the Green City Program</b>		<b>NA</b>	

- The Arborist Assessment states that there are a total of 10 mature trees on the site, with no Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 20 replacement trees on the site. The applicant is proposing 35 replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 103A Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Japanese Maple, Dogwood, and Sweetgum.
- In summary, a total of 35 trees are proposed to be retained or replaced on the site with no contribution to the Green City Program.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

- Appendix I. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey and Tree Preservation
- Appendix V. ADP Comments and Response

*approved by Ron Gill*

Jeff Arason  
Acting General Manager  
Planning and Development

SR/cm

# MULTI-FAMILY RESIDENTIAL DEVELOPMENT 14037,14047 & 14057 103A AVE. SURREY BC

**PROJECT TEAM DIRECTORY**

OWNER: 1215968 BC LTD. (KULWINDER THANDI)  
 ARCHITECT: FLAT ARCHITECTURE INC.  
 LANDSCAPE CONSULTANT: PMG LANDSCAPE ARCHITECTURE  
 ARBORIST: MIKE FADUM & ASSOCIATES LTD.  
 CIVIL CONSULTANT: CITIWEST CONSULTING LTD.  
 GEOTECHNICAL CONSULTANT:  
 SURVEYOR: CAMERON LAND SURVEYING LTD.

**ARCHITECTURAL DRAWING LIST:**

- DP 0.0 COVER SHEET
- DP 0.0(A) DESIGN RATIONALE
- DP 0.0(B) DESIGN RATIONALE
- DP 0.1 BASEPLAN
- DP 0.2 SHADOW ANALYSIS
- DP 0.3 CONTEXT SHEET
- DP 0.4 CONTEXT SHEET
- DP 0.5 PROJECT DATA
- DP 1.0 SITE PLAN(OVERALL)
- DP 2.0(A) PARKADE PLAN-1
- DP 2.0 PARKADE PLAN-2
- DP 2.1 MAIN FLOOR PLAN
- DP 2.2 SECOND FLOOR PLAN
- DP 2.3 THIRD FLOOR PLAN
- DP 2.4 FOURTH FLOOR PLAN
- DP 2.5 FIFTH FLOOR PLAN
- DP 2.6 SIXTH FLOOR PLAN
- DP 2.7 ROOF PLAN
- DP 3.1 ELEVATIONS
- DP 3.2 ELEVATIONS
- DP 3.3 VIEWS
- DP 3.4 VIEWS
- DP 3.5 VIEWS
- DP 3.6 MATERIAL SHEET
- DP 4.1 SECTIONS
- DP 4.2 SECTIONS
- DP 4.3 SECTIONS
- DP 4.4 SECTIONS
- U.P.1 - U.P.10 UNIT PLANS



ADP REVISION SET: CITY FILE # 19-0263-00

## PROPOSED 89 UNITS MULTI-FAMILY RESIDENTIAL DEVELOPMENT 14037,14047 & 14057 103A AVE. SURREY BC

Guildford Town Centre



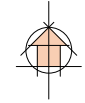
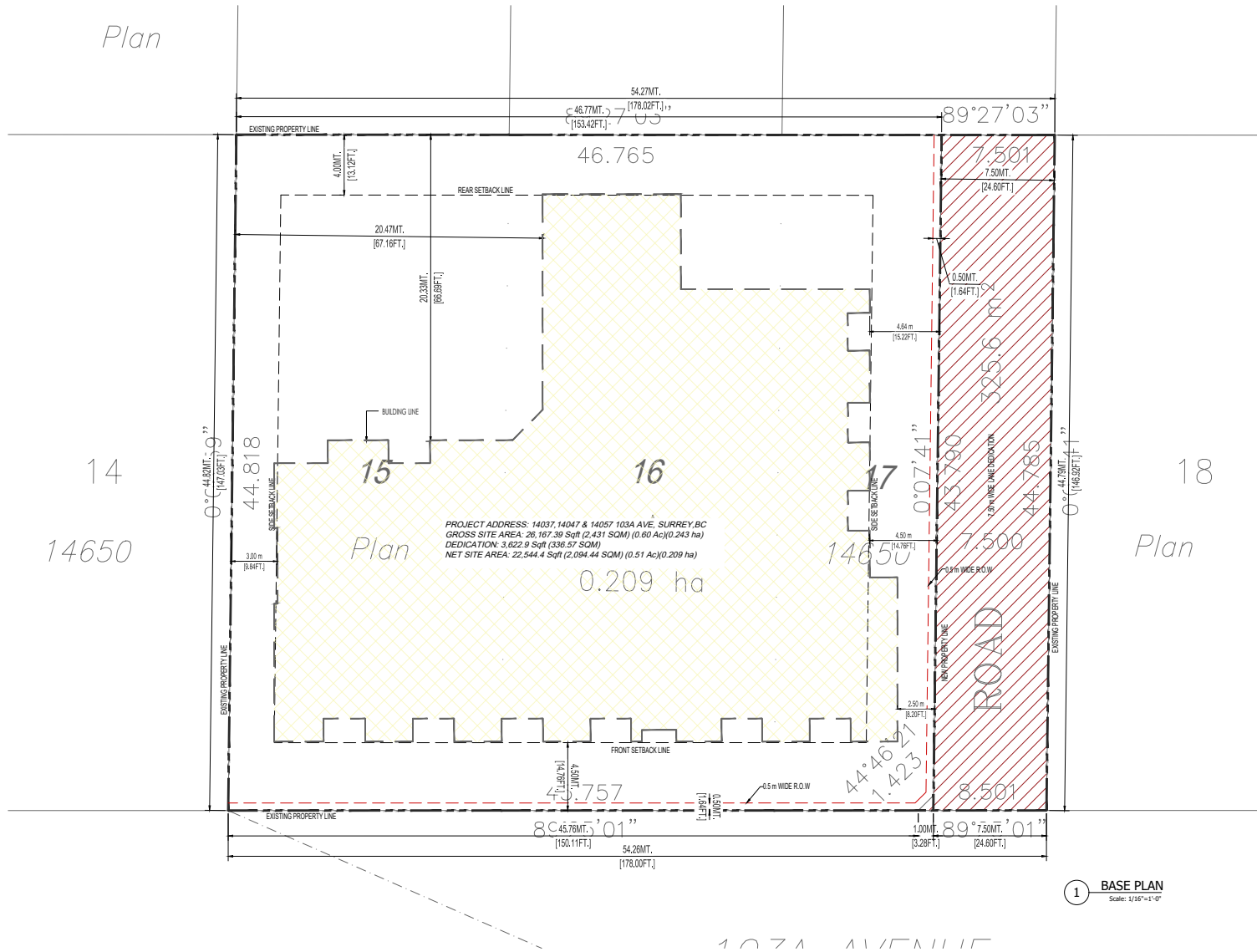
**ADP 0.0**

COVER SHEET

REVISED  
SEP 09, 2022

City File # 19-0263-00

Plan



**PROPOSED 89 UNITS MULTI-FAMILY RESIDENTIAL DEVELOPMENT**  
**14037, 14047 & 14057 103A AVE. SURREY BC**

Guildford Town Centre



**ADP 0.1**

BASE PLAN

REVISED  
 SEP 09, 2022

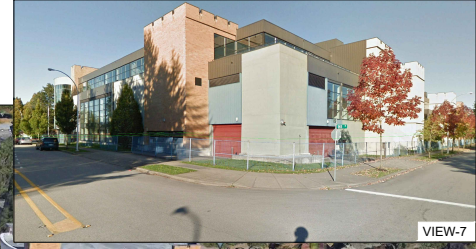




VIEW-1



VIEW-5



VIEW-7



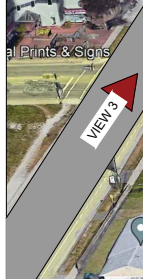
SUBJECT SITE:  
14037, 14047 & 14057 103A AVE

7.5M. DEDICATED LANE

Polonia Sausage House

Diversified Account

LG Digital



VIEW 3



VIEW 2



VIEW 4



VIEW 7



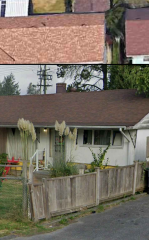
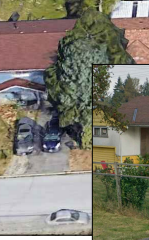
VIEW 6



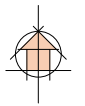
VIEW 1



VIEW-3



1 3D CONTEXT PLAN



# PROPOSED 89 UNITS MULTI-FAMILY RESIDENTIAL DEVELOPMENT 14037, 14047 & 14057 103A AVE. SURREY BC

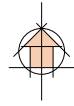
Guildford Town Centre



DP 0.3  
CONTEXT SHEET

REVISED  
SEP 09, 2022





1 SOUTH SIDE STREETSCAPE



1 WEST SIDE STREETSCAPE

**PROPOSED 89 UNITS MULTI-FAMILY RESIDENTIAL DEVELOPMENT**  
**14037,14047 & 14057 103A AVE. SURREY BC**

Guildford Town Centre



**ADP 0.5**  
STREETSCAPE

REVISED  
SEP 09, 2022

PROJECT RECONCILIATION			
CIVIC ADDRESS:		14037.14047 & 14057 103A AVE. SURREY BC	
<b>LOT AREA</b>			
TOTAL:	2,431.03 SQM	26,110.39 SQFT	
DEDICATION	333.79 SQM	3593 SQFT	
<b>NET</b>	<b>2,097.24 SQM</b>	<b>22,517.39 SQFT</b>	
<b>ZONING</b>			
CURRENT	RF		
PROPOSED	CD (BASED ON RM-70)		
<b>SETBACKS</b>			
		<b>PROVIDED</b>	
NORTH		4.00 m	
SOUTH		4.50 m	
EAST		2.50 m	
WEST		2.98m	
<b>HEIGHT</b>			
	19.50 m		
<b>STOREYS</b>			
	6		
<b>SITE COVERAGE</b>			
	1193.56 SQ.M	2097.24 SQM	57.63%
	12,842.50 Sq.Ft. /	22,517.39 Sq.Ft.	
<b>F.A.R. CALCULATIONS</b>			
FAR ALLOWED		2.50	
FAR PROPOSED(GROSS)		2.46	
FAR PROPOSED(NET)		2.86	
<b>FLOOR AREA (EXCLUDING PARKING)</b>			
LEVELS		<b>RESIDENTIAL (GROSS):</b>	
1	784.38	8,429.88 Sq.Ft.	
2	1090.39	11,724.55 Sq.Ft.	
3	1089.66	11,724.70 Sq.Ft.	
4	1089.66	11,724.70 Sq.Ft.	
5	968.92	10,423.62 Sq.Ft.	
6	968.87	10,423.00 Sq.Ft.	
<b>TOTAL</b>		<b>6218.02 SQM</b>	<b>64,472.45 Sq.Ft.</b>
<b>INDOOR AMENITY:</b>			
REQUIRED	267 SQM	<b>OUTDOOR AMENITY</b>	267 SQM
PROPOSED	254 SQM	REQUIRED	231.60 SQM
		PROPOSED	303.20 SQM
		PROPOSED ROOFTOP AMENITY	
<b>UNIT COUNT:</b>			
2 BED	17		
1 BED	58		
1 BED + DEN:	10		
3 BED	2		
STUDIO UNITS	2	APARTMENT UNITS=89	
<b>TOTAL:</b>	<b>89</b>		
<b>OFF STREET PARKING</b>			
REQUIRED:			
RESIDENCES:		REQUIRED	PROVIDED
3 BED	38X1.1	63.8	64
1 BED + DEN	10X1.1	11	11
2 BED	17X1.1	18.7	19
3 BED	2 X 1.1	2.2	2
STUDIO	2 X 1.1	2.2	2
VISITORS	89 X 0.1	8.9	9
		<b>107</b>	<b>107</b>
<b>BIKE PARKING</b>			
REQUIRED:	89 X 1.2	106.8	
		<b>107</b>	<b>108</b>

APARTEMENT UNIT AREAS										
TYPE	BED-ROOMS	NO.'s	LVL 1	LVL 2	LVL 3	LVL 4	LVL 5	LVL 6	AREA/UNIT	TOTAL AREA
A	1 BED	1	1	0	0	0	0	0	554.00 Sq.Ft.	554.00 Sq.Ft.
B	1 BED	4	4	0	0	0	0	0	535.01 Sq.Ft.	2,140.04 Sq.Ft.
A3	2 BED	1	1	0	0	0	0	0	663.50 Sq.Ft.	663.50 Sq.Ft.
C'	1 BED + DEN	1	1	0	0	0	0	0	650.00 Sq.Ft.	650.00 Sq.Ft.
C	1 BED	1	1	0	0	0	0	0	594.00 Sq.Ft.	594.00 Sq.Ft.
E	1 BED	1	1	0	0	0	0	0	580.00 Sq.Ft.	580.00 Sq.Ft.
B2	1 BED	1	1	0	0	0	0	0	523.78 Sq.Ft.	523.78 Sq.Ft.
G	1 BED	4	1	1	1	1	0	0	577.57 Sq.Ft.	2,310.28 Sq.Ft.
G1	1 BED	2	0	0	0	0	1	1	530.00 Sq.Ft.	1,060.00 Sq.Ft.
A1	1 BED	3	0	1	1	1	0	0	535.01 Sq.Ft.	1,605.03 Sq.Ft.
B1	1 BED	10	0	2	4	4	0	0	535.01 Sq.Ft.	5,350.10 Sq.Ft.
A2	2 BED	2	0	2	0	0	0	0	810.33 Sq.Ft.	1,620.66 Sq.Ft.
H	2 BED	3	0	1	1	1	0	0	703.82 Sq.Ft.	2,111.46 Sq.Ft.
I	1 BED + DEN	3	0	1	1	1	0	0	649.00 Sq.Ft.	1,947.00 Sq.Ft.
I (A)	1 BED	2	0	0	0	0	1	1	617.74 Sq.Ft.	1,235.48 Sq.Ft.
J	1 BED + DEN	3	0	1	1	1	0	0	649.00 Sq.Ft.	1,947.00 Sq.Ft.
J (A)	1 BED	2	0	0	0	0	1	1	613.41 Sq.Ft.	1,226.82 Sq.Ft.
K	1 BED + DEN	3	0	1	1	1	0	0	662.55 Sq.Ft.	1,987.65 Sq.Ft.
K (A)	1 BED	2	0	0	0	0	1	1	662.55 Sq.Ft.	1,325.10 Sq.Ft.
F1	JUNIOR 2 BED	3	0	1	1	1	0	0	735.50 Sq.Ft.	2,206.50 Sq.Ft.
F1 (A)	JUNIOR 2 BED	2	0	0	0	0	1	1	713.00 Sq.Ft.	1,426.00 Sq.Ft.
F2	1 BED	3	0	1	1	1	0	0	566.67 Sq.Ft.	1,700.01 Sq.Ft.
F2(A)	1 BED	2	0	0	0	0	1	1	525.00 Sq.Ft.	1,050.00 Sq.Ft.
F3	1 BED	3	0	1	1	1	0	0	548.42 Sq.Ft.	1,645.26 Sq.Ft.
F3 (A)	1 BED	2	0	0	0	0	1	1	507.00 Sq.Ft.	1,014.00 Sq.Ft.
L1	1 BED	5	0	1	1	1	1	1	787.90 Sq.Ft.	3,939.50 Sq.Ft.
L	1 BED	5	0	1	1	1	1	1	656.76 Sq.Ft.	3,283.80 Sq.Ft.
B3	1 BED	3	0	1	1	1	0	0	553.77 Sq.Ft.	1,661.31 Sq.Ft.
B3(A)	1 BED	2	0	0	0	0	1	1	514.00 Sq.Ft.	1,028.00 Sq.Ft.
M	STUDIO UNIT	2	0	0	1	1	0	0	524.90 Sq.Ft.	1,049.80 Sq.Ft.
N	2 BED	2	0	0	0	0	1	1	715.85 Sq.Ft.	1,431.70 Sq.Ft.
O	2 BED	4	0	0	0	0	2	2	645.73 Sq.Ft.	2,582.92 Sq.Ft.
P	3 BED	2	0	0	0	0	1	1	916.20 Sq.Ft.	1,832.40 Sq.Ft.
<b>TOTAL UNITS</b>		<b>89</b>								

**PROPOSED 89 UNITS MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

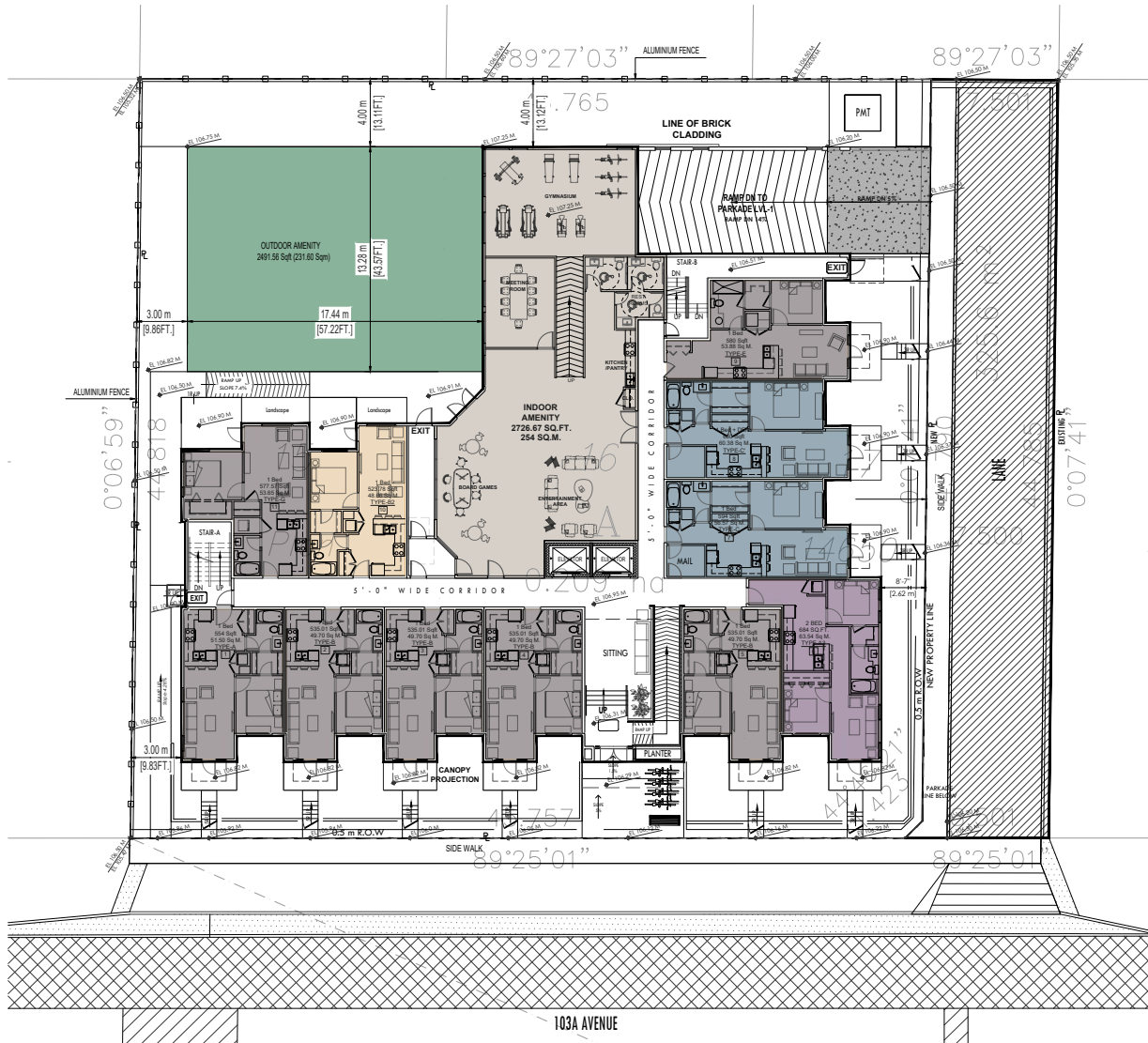
**14037,14047 & 14057 103A AVE. SURREY BC**

Guildford Town Centre



**DP 0.5**  
PROJECT DATA

REVISED  
SEP 09, 2022



1 SITE-LAYOUT  
Scale: 1/8"=1'-0"

**PROPOSED 89 UNITS MULTI-FAMILY RESIDENTIAL DEVELOPMENT**  
**14037,14047 & 14057 103A AVE. SURREY BC**

Guildford Town Centre

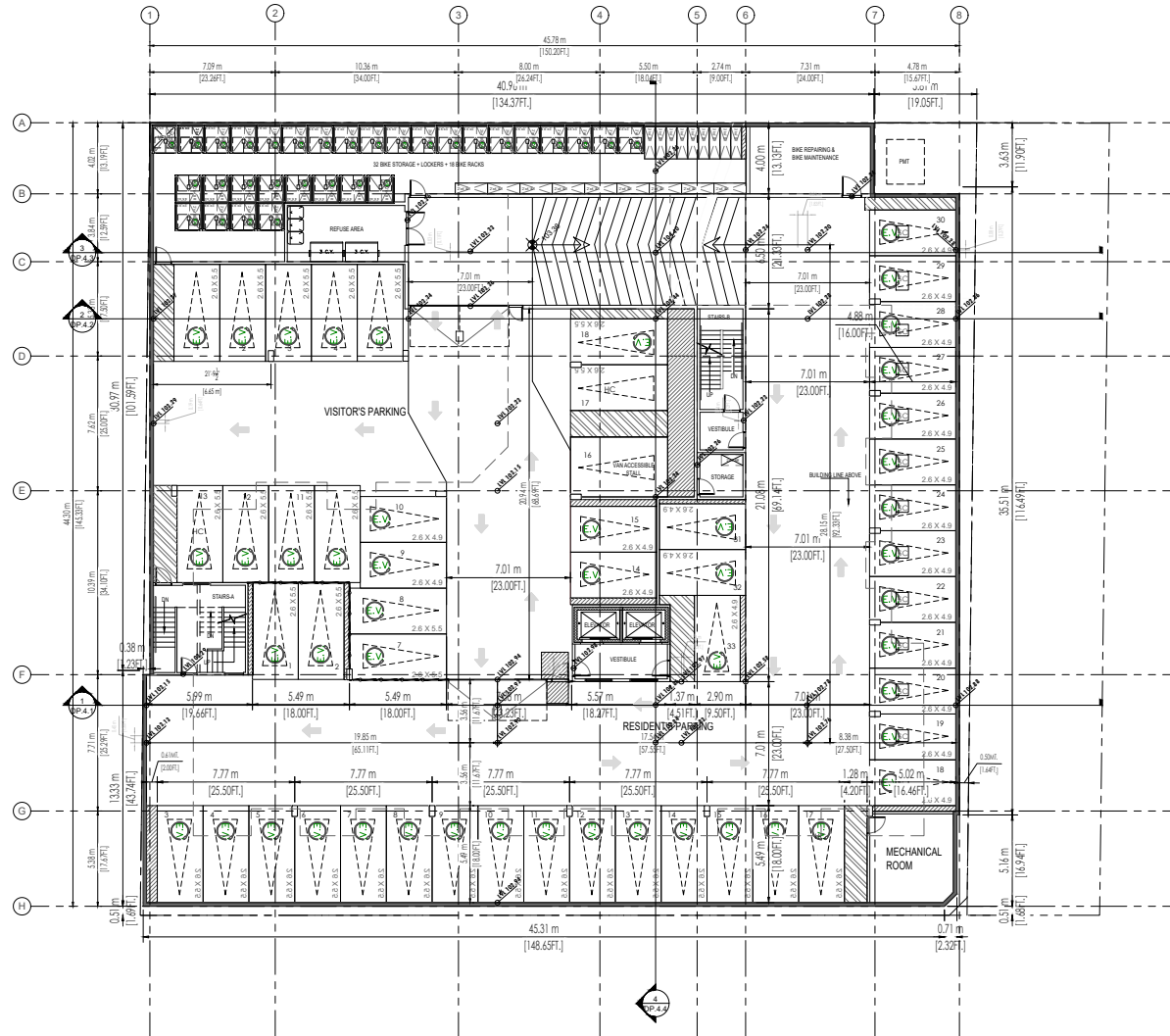
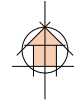


**ADP 1.0**

SITE LAYOUT

REVISED  
SEP 09, 2022





1 PARKADE PLAN - 1  
Scale: 3/32"=1'-0"

# PROPOSED 89 UNITS MULTI-FAMILY RESIDENTIAL DEVELOPMENT

14037, 14047 & 14057 103A AVE. SURREY BC

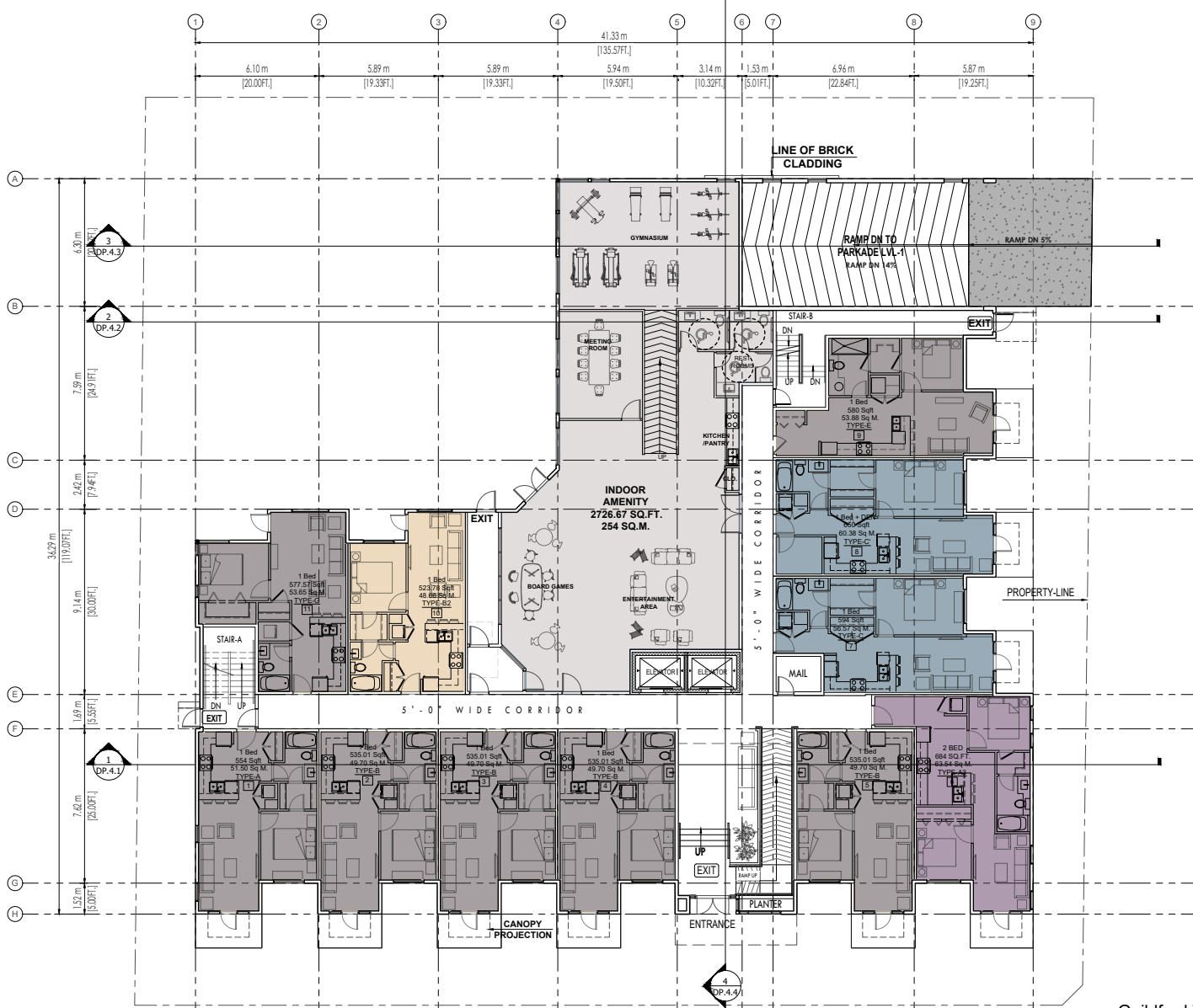
Guildford Town Centre



## ADP 2.0

PARKADE  
PLAN-1

REVISED  
SEP 09, 2022



	<b>1 BED (81.82%)</b>
	<b>2 BED (9.09%)</b>
	<b>3 BED (0.0%)</b>
	<b>1 BED + DEN (9.09%)</b>
	<b>2 BED + DEN (0.0%)</b>
	<b>STUDIO (0.00%)</b>

1 MAIN FLOOR PLAN  
Scale: 1/8"=1'-0"

Guildford Town Centre

**PROPOSED 89 UNITS MULTI-FAMILY RESIDENTIAL DEVELOPMENT**  
**14037,14047 & 14057 103A AVE. SURREY BC**



**ADP 2.1**

MAIN FLOOR PLAN

REVISED  
SEP 09, 2022



1 SOUTH ELEVATION  
Scale: 1/8"=1'-0"



2 WEST ELEVATION  
Scale: 1/8"=1'-0"

1	CEDAR-SOFT
2	MODERN BRICK- REDBRICK-375X375 (NICHIHA)
3	ARCTIC WHITE (6" HORIZONTAL HARDIE SIDING)
4	MIRAJA-SNOW-REV-2(NICHIHA)
5	HARDIE PANEL- DARK GREY
6	FACIA (HARDIE ARCTIC-WHITE)
7	WHITE BALCONY SOFITS
8	FACIA (HARDIE- DARK GREY)
9	LIGHT GRAY (6" HORIZONTAL HARDIE PANEL)

Guildford Town Centre

**PROPOSED 89 UNITS MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

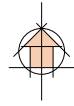
**14037,14047 & 14057 103A AVE. SURREY BC**



**ADP 3.1**  
ELEVATIONS

REVISED  
SEP 09, 2022





1 NORTH ELEVATION



2 EAST ELEVATION

1	CEDAR-SOFT
2	MODERN BRICK- REDBRICK-375X375 (MICHHA)
3	ARCTIC WHITE (6" HORIZONTAL HARDIE SIDING)
4	MIRIAA-SNOW-REV-2(MICHHA)
5	HARDIE PANEL- DARK GREY
6	FACIA (HARDIE ARCTIC-WHITE)
7	WHITE BALCONY SOFITS
8	FACIA (HARDIE - DARK GREY)
9	LIGHT GRAY (6" HORIZONTAL HARDIE PANEL)

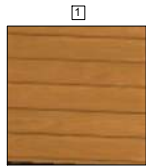
**PROPOSED 89 UNITS MULTI-FAMILY RESIDENTIAL DEVELOPMENT**  
**14037,14047 & 14057 103A AVE. SURREY BC**

Guildford Town Centre

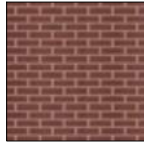


**ADP 3.2**  
ELEVATIONS

REVISED  
SEP 09, 2022



1 CEDAR-SOFIT



2 MODERN BRICK-MIDNIGHT-375X375 (NICHIIHA)



3 ARCTIC WHITE (6" HORIZONTAL HARDIE SIDING)



4 MIRAJA-SNOW-REV-2 (NICHIIHA)



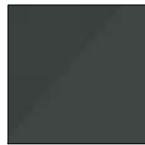
5 HARDIE PANEL- DARK GREY



6 FACIA (HARDIE ARCTIC-WHITE)



7 WHITE BALCONY SOFFITS



8 FACIA (HARDIE - DARK GREY)



9 ARCTIC LIGHT GRAY (6" HORIZONTAL HARDIE SIDING)



**PROPOSED 89 UNITS MULTI-FAMILY RESIDENTIAL DEVELOPMENT**  
**14037,14047 & 14057 103A AVE. SURREY BC**

Guildford Town Centre

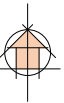


**ADP 3.6**

MATERIALS SPECIFICATIONS

REVISED SEP 09, 2022





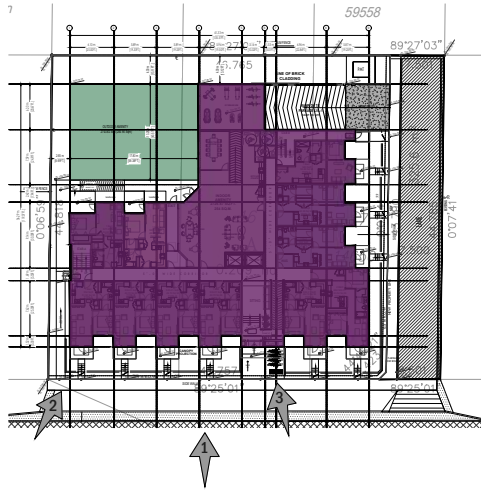
1 SOUTH VIEW (FACING 103 A AVE)



2 SOUTH WEST VIEW



3 MAIN ENTRANCE



**PROPOSED 89 UNITS MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

**14037,14047 & 14057 103A AVE. SURREY BC**

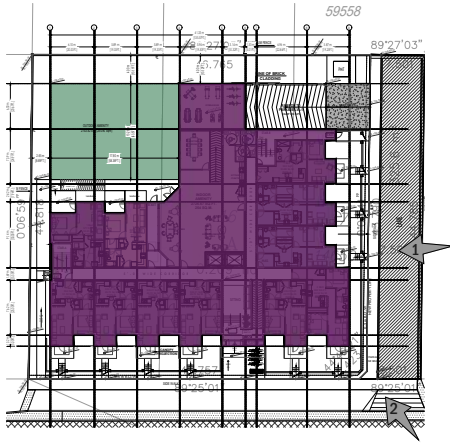
Guildford Town Centre



**ADP 3.3**

IEWS

REVISED  
SEP 09, 2022



1 EAST SIDE VIEW (ALONG NEW LANE)



2 SOUTH EAST VIEW (FACING 103A AVENUE)

**PROPOSED 89 UNITS MULTI-FAMILY RESIDENTIAL DEVELOPMENT**  
**14037, 14047 & 14057 103A AVE. SURREY BC**

Guildford Town Centre



**ADP 3.4**

IEWS

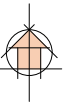
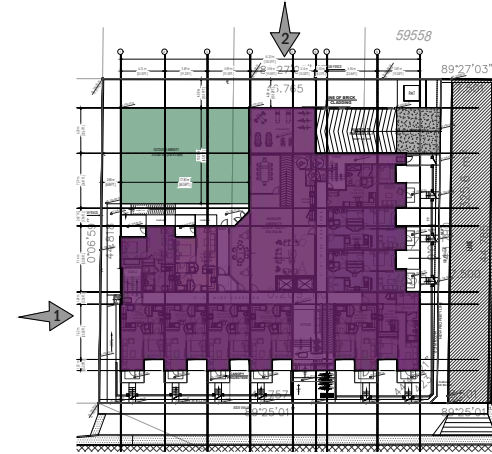
REVISED  
SEP 09, 2022



1 WEST VIEW



2 NORTH VIEW (REAR-VIEW)



**PROPOSED 89 UNITS MULTI-FAMILY RESIDENTIAL DEVELOPMENT**  
**14037,14047 & 14057 103A AVE. SURREY BC**

Guildford Town Centre



**ADP 3.5**

VIEWS

REVISED  
 SEP 09, 2022



SEAL:

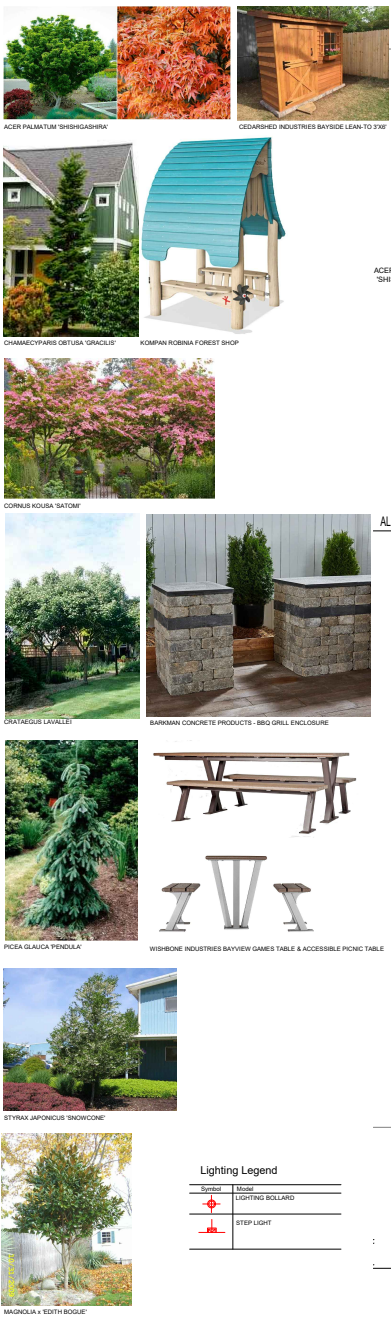


NO.	DATE	REVISION DESCRIPTION	DR.
11	22 SEP 08	UPDATE PER ASP COMMENTS	CLG
10	22 JUN 19	UPDATE PER COMMENTS	CLG
9	22 JUN 19	UPDATE NEW SITE PLAN	CLG
8	22 JUN 12	UPDATE PER NEW SITE PLAN	CLG
7	22 JAN 26	UPDATE PER NEW SITE PLAN	CLG
6	23 JAN 07	UPDATE PER NEW SITE PLAN	CLG
5	23 SEP 07	UPDATE PER MARKUP	CLG
4	23 JUL 27	UPDATE PER NEW SITE PLAN	CLG
3	26 DEC 06	UPDATE AND ISSUE FOR SUBMISSION	CLG
2	25 SEP 24	UPDATE PER NEW SITE PLAN	CLG
1	20 MAR 26	CONCEPT PLAN	CLG

PROJECT:  
**6-STORY CONDO DEVELOPMENT**  
14037/14047/14057 103A AVE  
SURREY

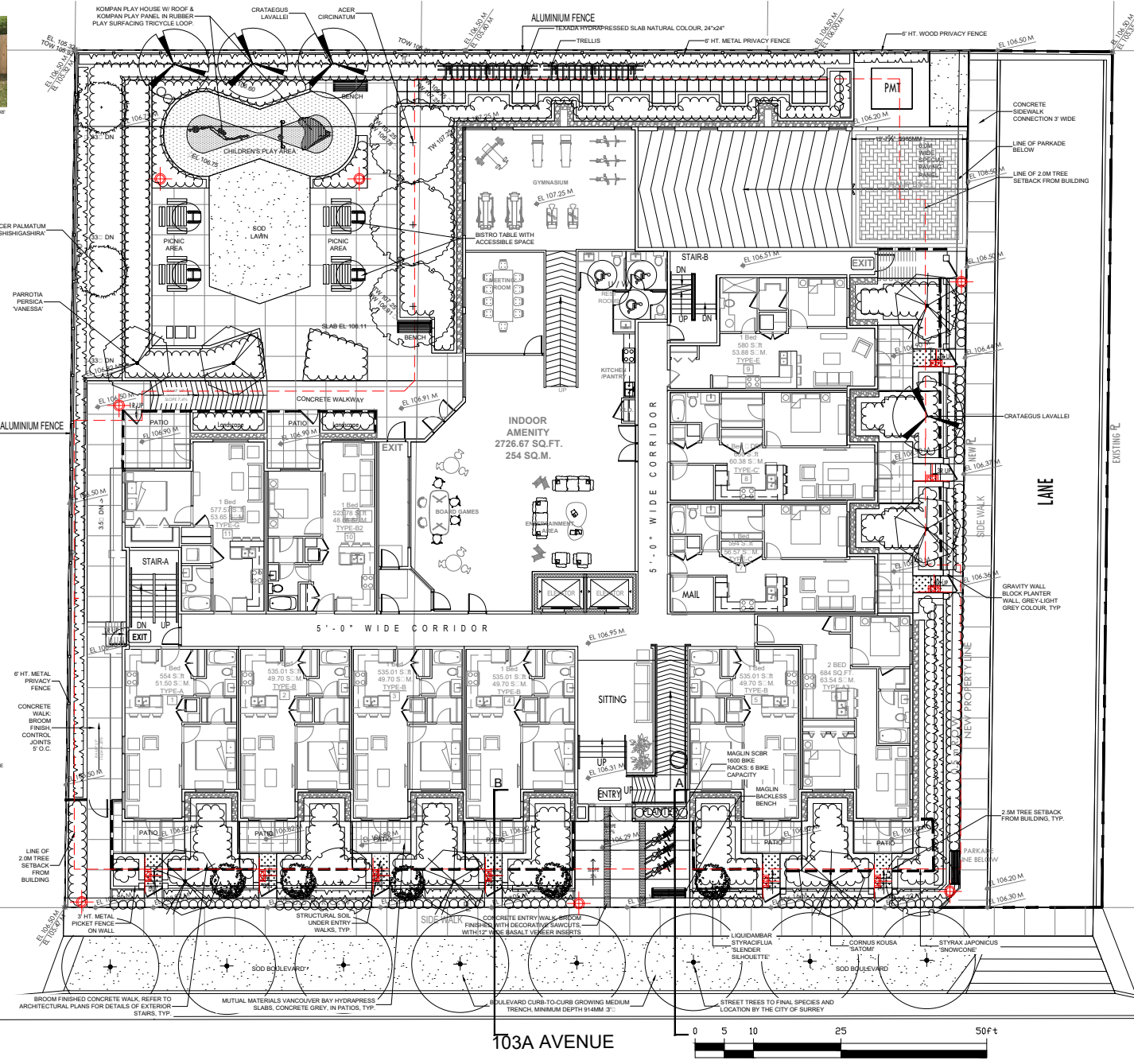
DRAWING TITLE:  
**LANDSCAPE PLAN**

DATE: 20.MAR.26 DRAWING NUMBER:  
SCALE: 1/8" = 1'-0"  
DRAWN: CLG  
DESIGN: CLG  
CHKD: PC OF 6



**Lighting Legend**

Symbol	Name
	LIGHTING BOLLARD
	STEP LIGHT



SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
11	22 SEP 08	UPDATE PER ASP COMMENTS	CLG
10	22 JUL 10	UPDATE PER COMMENTS	CLG
9	22 JUL 10	UPDATE NEW SITE PLAN	CLG
8	22 JUL 12	UPDATE PER NEW SITE PLAN	CLG
7	22 JAN 26	UPDATE PER NEW SITE PLAN	CLG
6	23 JAN 07	UPDATE PER NEW SITE PLAN	CLG
5	23 SEP 07	UPDATE PER MARKUP	CLG
4	21 JUL 27	UPDATE PER NEW SITE PLAN	CLG
3	26 DEC 08	UPDATE PROPOSED PER SUBMISSION	CLG
2	25 SEP 24	UPDATE PER NEW SITE PLAN	CLG
1	20 MAR 26	CONCEPT PLAN	CLG

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:  
**6-STORY CONDO DEVELOPMENT**  
14037/14047/14057 103A AVE  
SURREY

DRAWING TITLE:  
**PLANTING PLAN**

DATE: 20.MAR.26 DRAWING NUMBER:  
SCALE: 1/8" = 1'-0"  
DRAWN: CLG  
DESIGN: CLG  
CHKD: PC

**L2**

PMG PROJECT NUMBER: 20-044

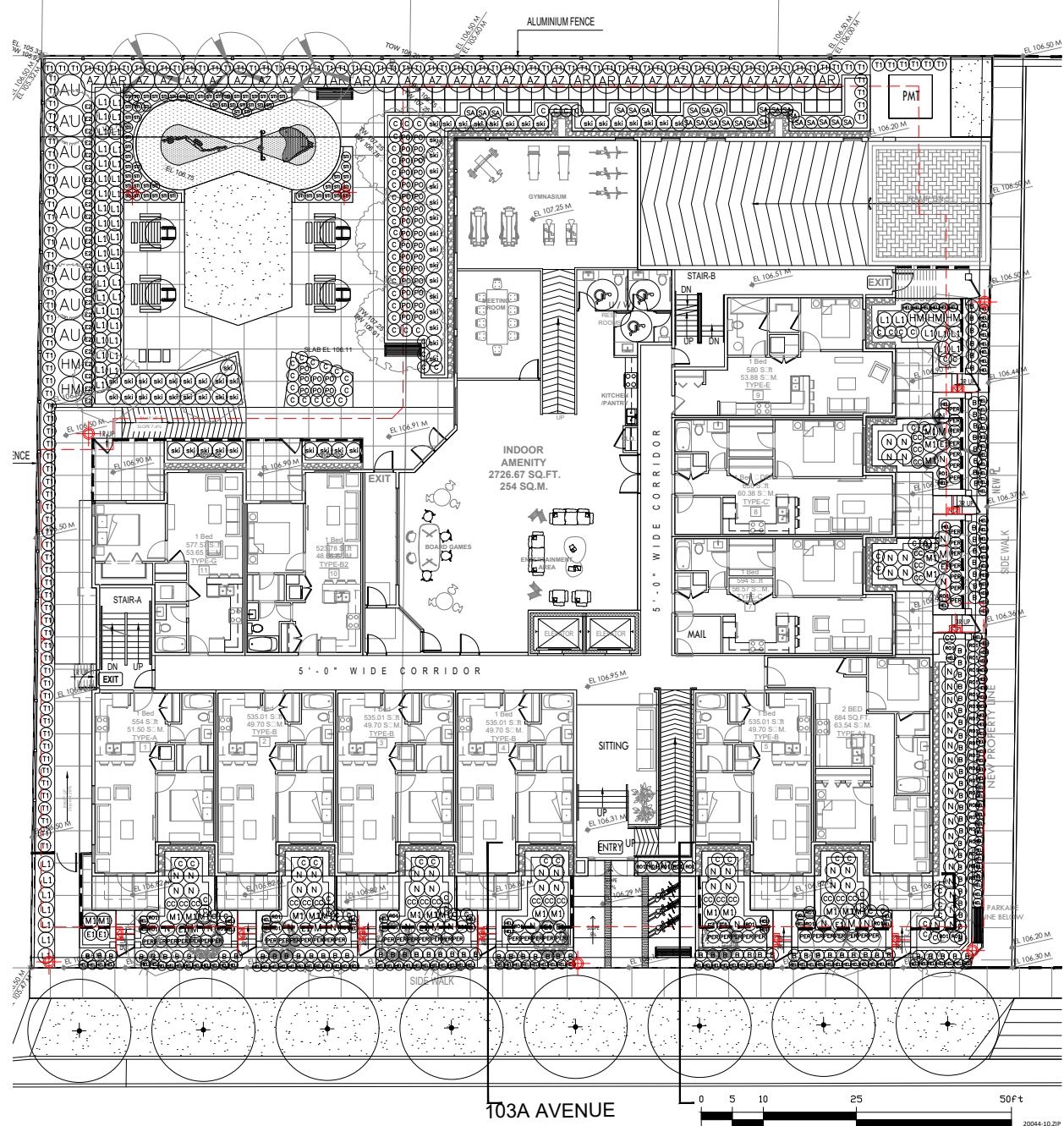
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
1	3	ACER CIRCINATUM	VINE MAPLE	6.0CM CAL-88B; 3 STEM CLUMP
2	3	ACER PALMATUM 'SHISHIGASHIRA'	LEON'S MAINE JAPANESE MAPLE	6.0CM CAL-1.5M STD-B&B
3	5	CORNUS KOUSA 'SATOMI'	PINK KOUSA DOGWOOD	6.0CM CAL-1.2M STD-B&B
4	4	CRATAEGUS LAVALLEI	LAVALLE HAWTHORN	6CM CAL-1.8M STD-B&B
5	1	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEEGTUM	6CM CAL-1.1M STD-B&B
6	2	PARROTIA PERSICA 'VANESSA'	VANESSA PERSIAN IRONWOOD	6.0CM CAL-1.5M STD-B&B
7	2	STYRAX JAPONICUS 'SNOWCONE'	SNOWCONE JAPANESE SNOWBELL	6.0CM CAL-1.8M STD-B&B
8	4	ARBITRUS UNEDO COMPACTA	COMPACT STRAWBERRY BUSH	#1 POT-30CM
9	1	AUCUBA JAPONICA 'SERRATIFOLIA'	SERRATED JAPANESE AUUBA	#1 POT-30CM
10	1	AZALEA ENCORE 'AUTUMN BELLE'	AUTUMN BELLE ENCORE AZALEA	#1 POT-30CM
11	2	BEGONIA SEMPERVIRENS 'SUFFRUTICOSA'	DWARF ENGLISH BIRDWOOD	#1 POT-30CM
12	1	HYDRANGEA MACROPHYLLA 'IVA'	DWARF BLOSSOM HYDRANGEA PINK	#1 POT-30CM
13	1	LONICERA PILEATA	BORLEAF HONEYSOCKLE	#1 POT-30CM
14	1	MANDARINA MEDIA 'CHARITY'	CHARITY MANDARIN	#1 POT-30CM
15	1	NANDINA DOMESTICA 'SILF STREAM'	HEAVENLY BAMBOO DWARF	#1 POT-30CM
16	1	ROSA MELAND 'SOCIETY'	MELAND ROSE 'SOCIETY'	#1 POT-30CM
17	1	SARCOCODA HOOGERMAN VAR. HEMLIS	HIMALAYAN SWEET BOX	#1 POT-30CM
18	1	SOHMBA JAPONICA 'TOKI MARE'	JAPANESE SOHMBA	#1 POT-30CM
19	1	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	1.8M HT-B&B
20	1	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
21	1	HELICTOTRICHON SEMPERVIRENS	BLUE DAT GRASS	#1 POT
22	1	MISCANTHUS SINENSIS 'SPICULUM'	MADON GRASS	#1 POT
23	1	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	#1 POT
24	1	DIPLAZA RAMOSA ATROPURPUREA	BLACK BURBANE	#1 POT
25	1	ECHECERRA PARVIFLORA 'WHITE SWAN'	WHITE COMEFLORER	15CM POT
26	1	PEROVSKIA ATROPURPUREA 'LITTLE SPIRE'	DWARF RUSSIAN SAGE	15CM POT
27	1	EUCOMMIS JAPONICUS 'EMERALD GAET'	EUCOMMIS SILVER VAREGATED	#1 POT-25CM
28	1	POT-TOSTOCHI-MANTUM	MEXICAN SWISS CHEESE	#1 POT-25CM

NOTES: PLANT SIZE IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE COVER MANLAND AND FRASER VALLEY. SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

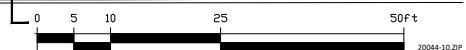
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6	2	PARROTIA PERSICA 'VANESSA'	VANESSA PERSIAN IRONWOOD	6.0CM CAL-1.5M STD-B&B
7	2	STYRAX JAPONICUS 'SNOWCONE'	SNOWCONE JAPANESE SNOWBELL	6.0CM CAL-1.8M STD-B&B

NOTES: PLANT SIZE IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE COVER MANLAND AND FRASER VALLEY. SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

TOTAL PROPOSED REPLACEMENT TREES: 23



103A AVENUE



20044-10-2P

SEAL:




11	22 SEP 08	UPDATE PER ASP COMMENTS	CLG
10	22 JUL 19	UPDATE PER COMMENTS	CLG
9	22 JUL 18	UPDATE NEW SITE PLAN	WCT
8	22 JUL 12	UPDATE PER NEW SITE PLAN	CLG
7	22 JAN 26	UPDATE PER NEW SITE PLAN	CLG
6	23 JAN 07	UPDATE PER NEW SITE PLAN	WCT
5	23 SEP 07	UPDATE PER MARKUP	CLG
4	21 JUL 27	UPDATE PER NEW SITE PLAN	CLG
3	26 DEC 08	UPDATE AND ISSUE FOR SUBMISSION	CLG
2	25 SEP 24	UPDATE PER NEW SITE PLAN	CLG
1	20 MAR 26	CONCEPT PLAN	CLG

NO.	DATE	REVISION DESCRIPTION	DR.
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CLIENT:

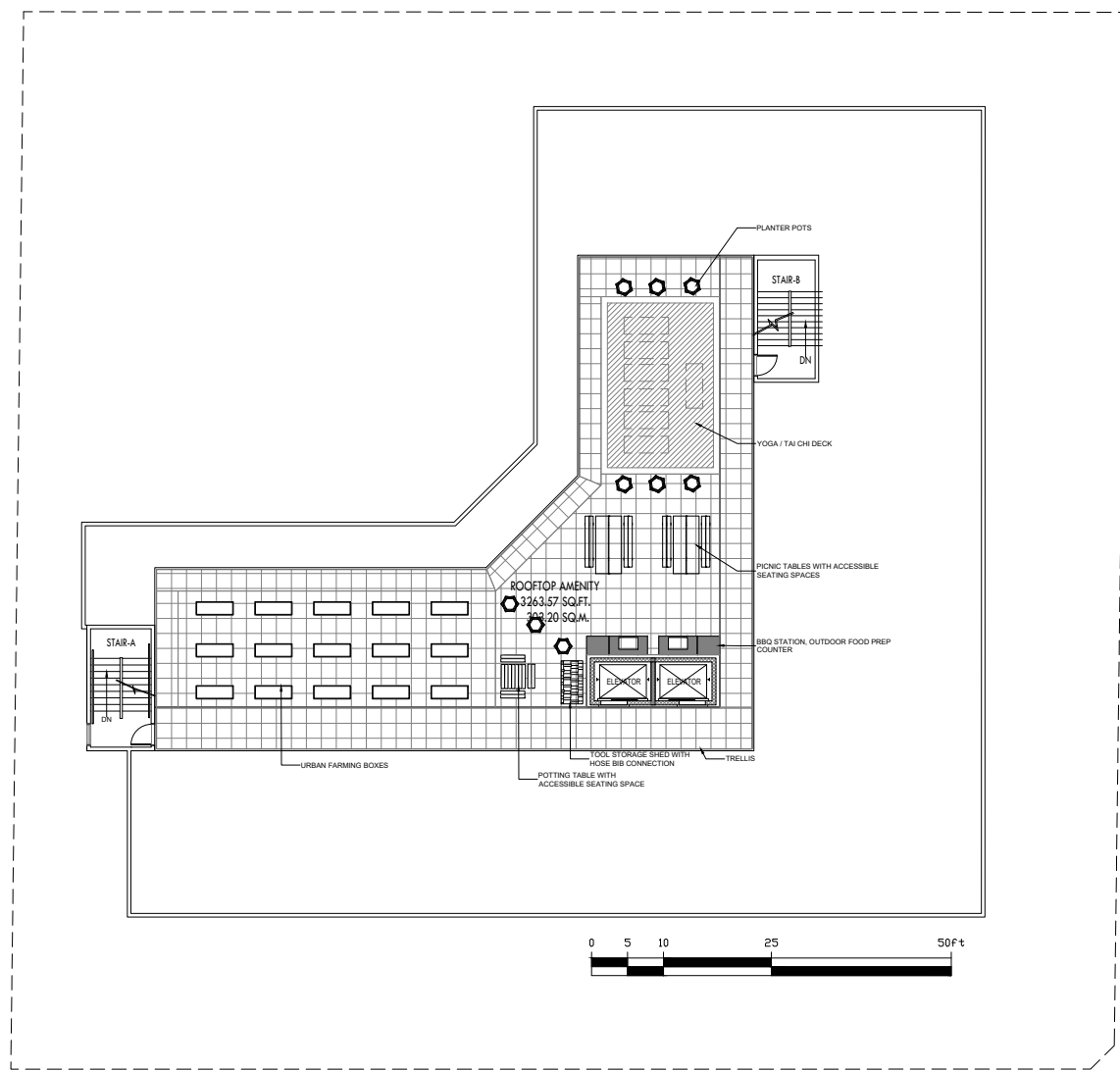
PROJECT:  
**6-STOREY CONDO DEVELOPMENT**

14037/14047/14057 103A AVE  
 SURREY

DRAWING TITLE:  
**ROOFTOP AMENITY PLAN**

DATE: 20.MAR.26 DRAWING NUMBER:  
 SCALE: 1/8" = 1'-0"  
 DRAWN: CLG  
 DESIGN: CLG  
 CHKD: PC **OF 6**

**L3**



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TO: **Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **September 12, 2022** PROJECT FILE: **7819-0263-00**

---

RE: **Engineering Requirements  
Location: 14037/14047/14057 - 103A Avenue**

**REZONE/SUBDIVISION**

***Property and Right-of-Way Requirements***

- Dedicate 7.5m for ultimate 12.0m lane.
- Dedicate required corner cut.
- Provide statutory rights-of-way along site frontages.

***Works and Services***

- Construct north side of 103A Avenue and the new lane.
- Implement recommendations of geo-technical reports.
- Construct storm mains along the lane.
- Construct minimum 250mm frontage sanitary main along 103A Avenue.
- Complete sanitary and drainage catchment analysis to determine existing capacities. Resolve downstream constraints, as identified.
- Provide water storm and sanitary service connections to support the development and abandon all existing connections.
- Register applicable legal documents as determined through detailed design.

A Servicing Agreement is required prior to Rezone/Subdivision.

**DEVELOPMENT PERMIT**

There are no engineering requirements relative to issuance of the Development Permit beyond those noted above.



Jeff Pang, P.Eng.  
Development Services Manager

HB4



**School Enrolment Projections and Planning Update:**

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

The NCP for the area calls for significant redevelopment located along King George Boulevard and 104th Avenue with the current building form changing into mid to high-rise residential development and mixed use. The timing of these future high-rise developments, with good market conditions could impact the enrolment growth upwards even more from the projections below.

Lena Shaw operates at or slightly above the school's capacity. Post 2023, the projected growth trend begins to get stronger finishing at end of the decade to around 900 students. As part of the District's 2023/2024 Five Year Capital Plan, the district has requested an 8-classroom addition. The Ministry of Education has not approved funding for this project.

Guildford Park Secondary operates over capacity. With the continued development and densification of the City Center, enrollment for this school is projected to continue to grow, perhaps, quicker than what is shown below. In March 2020, the Ministry of Education supported the District to prepare a feasibility study for a 450-capacity addition at the secondary school. The addition is targeted to open for September 2024.

**THE IMPACT ON SCHOOLS**

APPLICATION #: 19 0263 00 (updated Sept 2022)

**SUMMARY**

The proposed 89 lowrise units are estimated to have the following impact on the following schools:

**Projected enrolment at Surrey School District for this development:**

Elementary Students:	17
Secondary Students:	11

September 2021 Enrolment/School Capacity

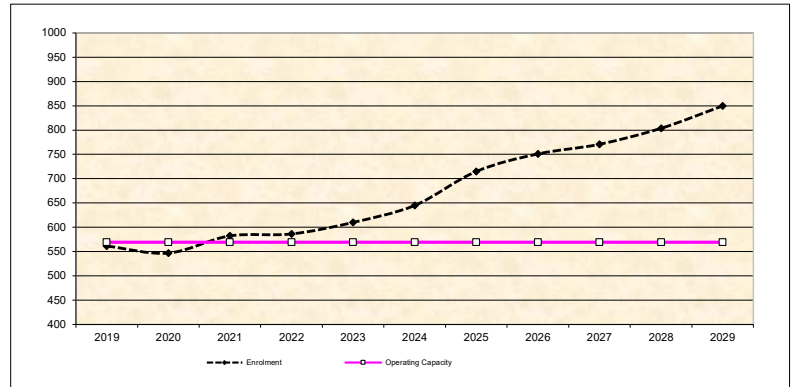
<b>Lena Shaw Elementary</b>	
Enrolment (K/1-7):	83 K + 499
Operating Capacity (K/1-7)	57 K + 512
<b>Guildford Park Secondary</b>	
Enrolment (8-12):	1364
Capacity (8-12):	1050

<b>Projected population of school-age children for this development:</b>	46
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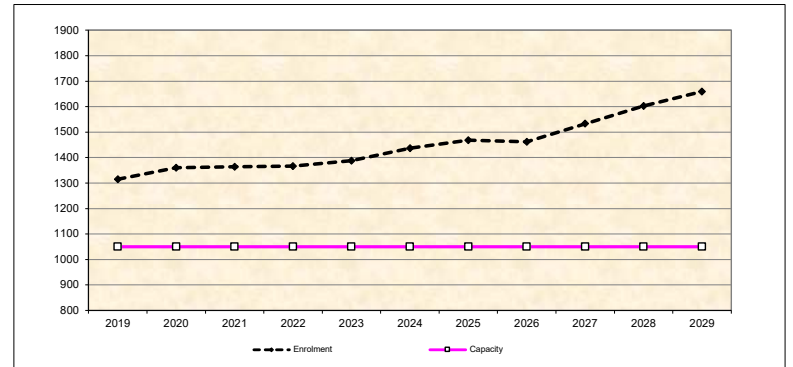
**Population:** The projected population of children aged 0-19 Impacted by the development.

**Enrolment:** The number of students projected to attend the Surrey School District ONLY.

**Lena Shaw Elementary**



**Guildford Park Secondary**



\* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

MIKE FADUM AND ASSOCIATES LTD.  
VEGETATION CONSULTANTS

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## Tree Preservation Summary

Surrey Project No: 19-0263-00

Address: 14037 14047 14057 103A Avenue

Registered Arborist: Corey Plester #PN-8523A

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	10
<b>Protected Trees to be Removed</b>	10
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	0
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 10 X two (2) = 20</li> </ul>	20
<b>Replacement Trees Proposed</b>	35
<b>Replacement Trees in Deficit</b>	0
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	NA

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	5
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 1 X one (1) = 1</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 4 X two (2) = 8</li> </ul>	9
<b>Replacement Trees Proposed</b>	N/A
<b>Replacement Trees in Deficit</b>	N/A

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

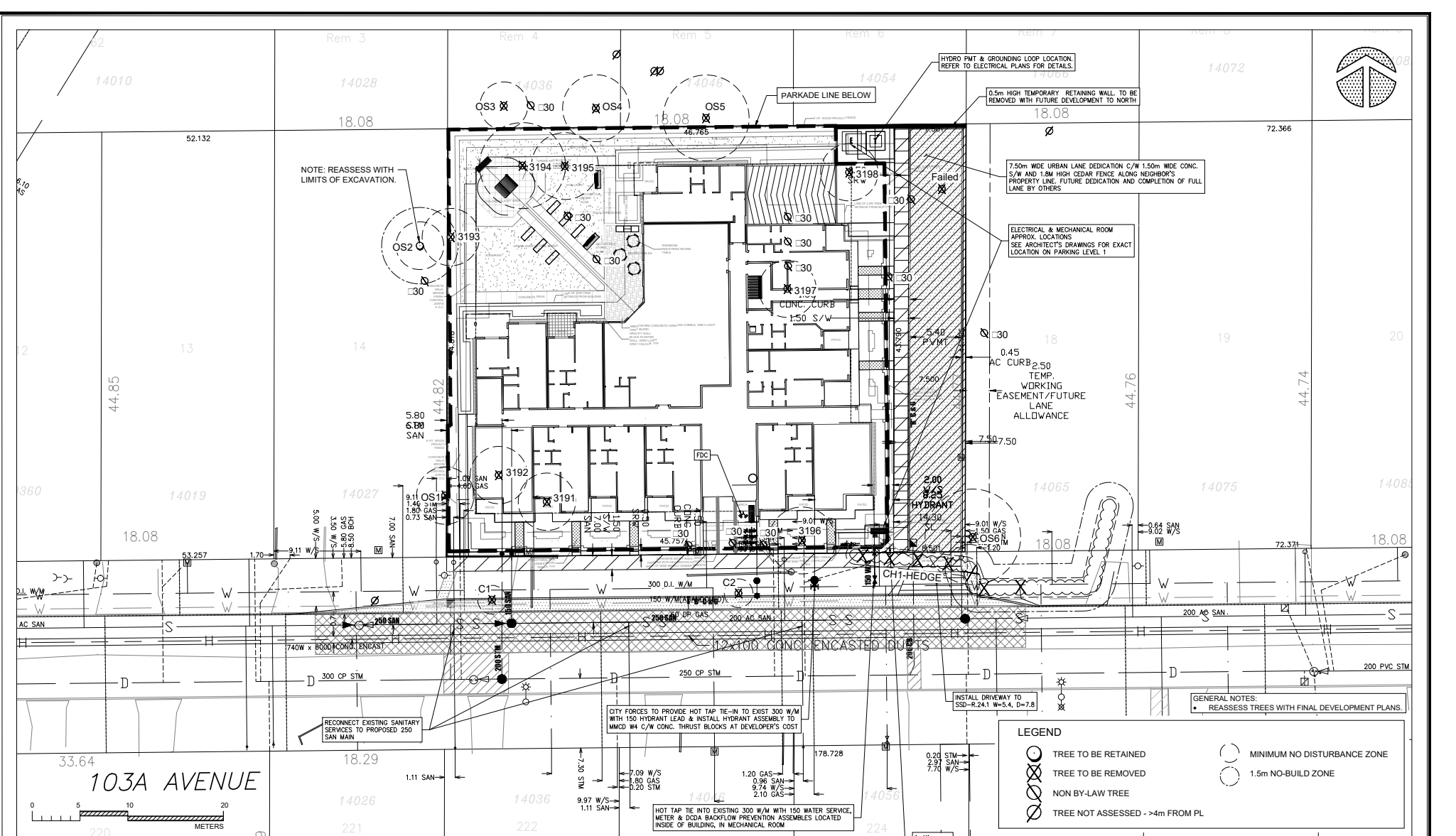
Signature of Arborist:

Date: September 7, 2022



Mike Fadum and Associates Ltd.  
#105, 8277-129 Street, Surrey, BC, V3W 0A6  
Phone 778-593-0300 Fax 778-593-0302





NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	NOV07/19	MK	SITE PLAN	6	SEPT29/20	MK	SERVICING/GRADING & SUBVISION PLANS	11	AUG18/22	MK	REVISED SERVICING/GRADING PLANS
2	DEC17/19	MK	PRELIMINARY SERVING AND GRADING PLANS	7	OCT05/20	MK	SITE PLAN	12	SEPT07/22	MK	REVISED SERVICING/GRADING PLANS
3	MAR17/20	MK	REVISED SITE SURVEY AND GRADING PLANS	8	DEC16/20	MK	REVISED SERVING/GRADING PLANS				
4	APR22/20	MK	SITE PLAN	9	JAN23/21	MK	REVISED KEY PLAN				
5	SEPT06/20	MK	SITE PLAN	10	SEPT08/21	MK	REVISED SITE/SERVICING/GRADING/LANDSCAPING PLANS				

**MIKE FADUM AND ASSOCIATES LTD.**  
**VEGETATION CONSULTANTS**

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PROJECT TITLE  
**14037 14047 14057**  
**103A AVENUE**  
**SURREY, B.C.**

SHEET TITLE  
**T1 - TREE REMOVAL AND PRESERVATION PLAN**

CLIENT \_\_\_\_\_

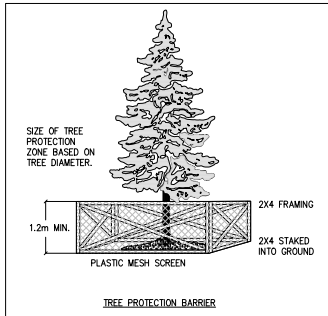
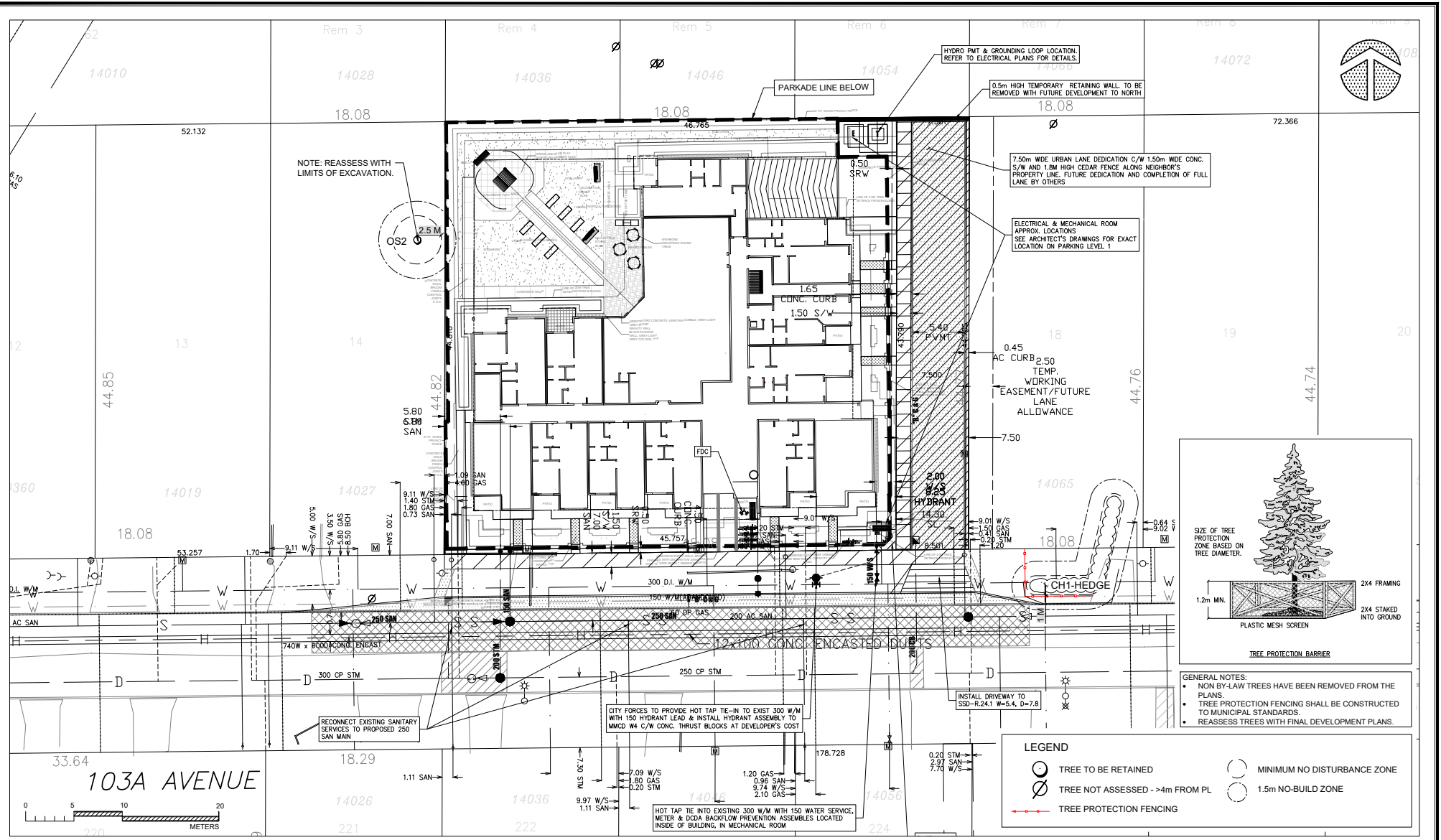
DRAWN MK  
 SCALE AS SHOWN  
 DATE SEPTEMBER 30, 2019

**T-1**  
 SHEET 1 OF 2

GENERAL NOTES:  
 • REASSESS TREES WITH FINAL DEVELOPMENT PLANS.

**LEGEND**

	TREE TO BE RETAINED		MINIMUM NO DISTURBANCE ZONE
	TREE TO BE REMOVED		1.5m NO-BUILD ZONE
	NON-BY-LAW TREE		
	TREE NOT ASSESSED - >4m FROM PL		



NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	NOV07/19	MK	SITE PLAN	6	SEPT29/20	MK	SERVICING/GRADING & SUBVERSION PLANS	11	AUG18/22	MK	REVISED SERVICING/GRADING PLANS
2	DEC17/19	MK	PRELIMINARY SERVING AND GRADING PLANS	7	OCT05/20	MK	SITE PLAN	12	SEPT07/22	MK	REVISED SERVICING/GRADING PLANS
3	MAR17/20	MK	REVISED SITE SURVEY AND GRADING PLANS	8	DEC14/20	MK	REVISED SERVICING/GRADING PLANS				
4	APR22/20	MK	SITE PLAN	9	JAN23/21	MK	REVISED KEY PLAN				
5	SEPT09/20	MK	SITE PLAN	10	SEPT09/21	MK	REVISED SITE/SERVICING/GRADING/LANDSCAPING PLANS				

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PROJECT TITLE  
**14037 14047 14057**  
**103A AVENUE**  
**SURREY, B.C.**

SHEET TITLE  
**T2 - TREE PROTECTION PLAN**

CLIENT

DRAWN MK  
 SCALE AS SHOWN  
 DATE SEPTEMBER 30, 2019

**T-2**  
 SHEET 2 OF 2



## Key Points

- Consider adding outdoor amenity space on the roof so that the residents will have more constant access to sunlight.  
[Updated please refer to sheet D.P. 2.5 \(Roof Plan\).](#)
- Consider further refinement of the elevations.  
[Updated \(Tentative Blocking/ Massing in a prefinished way\). Please refer to architectural binder for your review.](#)
- Consider further development of the use of colour/materials in the project. Treat all elevations with the same rigor as the south elevation.  
[We are still working on colors/materials, first we want you to give suggestions for the tentative blocking.](#)
- Reconsider the use of the glossy white panel. It may feel more commercial than residential.
- Consider providing 100% of the required indoor amenity space.  
[Updated, Please refer to sheet D.P. 2.1 \(Main Floor Plan\).](#)
- Recommend providing a direct access from interior corridor to the outdoor amenity.  
[Updated, Please refer to sheet D.P.1.0 & D.P.2.1 \(Site Plan & Main Floor Plan\).](#)
- Review the 5<sup>th</sup> and 6<sup>th</sup> floors' massing and materials.  
[We are still working on colors/materials, first we want your suggestions for the tentative blocking.](#)
- Consider redesigning the layout of corner units to add more interest to the two end elevations and opportunity for better corner unit layouts.  
[Updated, Please refer to the sheets D.P. 2.1 to D.P.2.4 for your review.](#)
- Consider adding daylight into the Exit Stair 1.  
[Updated, Please refer to the sheets D.P. 2.1 to D.P.2.4 & 3D Blocking for your review.](#)
- Recommend ensuring dark window frames are not value engineered out of the project.  
[We will provide lighter window frames, in the final package.](#)
- Consider finishing the balcony stanchion brackets as the same colour stanchions.
  
- Consider resolving exiting in Exit Stair 2 at L1 as early as possible.  
[Updated, Please refer to sheet D.P. 2.1 \(Main Floor Plan\).](#)
- Consider targeting 5% of your suites as Adaptable.  
[We have Proposed 4 Adaptable Units. Please refer to sheet D.P.2.2 \(Second Floor Plan\).](#)
- Consider engaging an elevator consultant to confirm elevator requirements.  
[Noted.](#)
- Consider using energy and thermal comfort modelling to inform your design development. Use future climate files to best understand the resiliency of the project.  
[Noted.](#)
- Consider electric charging stations for electric bike charging, and a bike maintenance facility.  
[Noted.](#)
- Consider providing a roof material with a higher SRI value.  
[Noted.](#)

## Site:

- The public realm interface has been well handled with configuration of patio steps and fences.  
[Updated. Please see sheet D.P. 1.0.](#)
- The corner plaza on the south-east corner does not seem functional, and it impacts the privacy of the corner unit. Recommend rethinking that open space arrangement. Having that recessed space is a good idea in general.  
[Noted.](#)
- Find opportunity to adjust position of PMT regarding access to space on north edge.

## Form and Character:

- The exterior expression is not well resolved and requires significant additional design development. Given this is the first multi-family building on this block it will be very visible and so it will be setting the standard for future development. To that end, consider setting back the top two floors on all sides and providing a more consistent treatment on all sides. In addition, consider reducing the number of materials and taking the brick veneer up to the 4<sup>th</sup> floor.  
[We will consider this once you will review and finalize our blocking.](#)
- South elevation is well defined and articulated; consider similar language for the other elevations.
- The amenity door on the right is too far from the elevator. Consider more design development.  
[Updated, Please refer to sheet D.P. 1.0. & D.P.2.1. For updates.](#)
- There is no direct access from the interior corridor to the outdoor amenities. The residents must go through the indoor amenity to access to the outdoor amenity. This indirect access will impact the usage of the outdoor amenity. Recommend providing a direct access from interior corridor to the outdoor amenity.  
[Updated, Please refer to sheet D.P. 1.0. & D.P.2.1. For updates.](#)
- Edge/corner conditions on north and west elevations need further design development to better integrate with the main elevations.  
[We will consider this once you will review and finalize our blocking.](#)
- Review your underground parking ramp for potential headroom clearance issues with unit F on level 1.  
[Updated, please refer to sheet D.P.2.1. \(Main Floor Plan\).](#)
- Consider consolidating all the bike storage top the north side of P1 to provide more convenient access to the entry ramp.  
[Updated, Please refer to sheet, D.P.2.0 & D.P.2.0 \(A\) For further details.](#)
- Consider introducing a second elevator for functionality of this 90-unit building.  
[Updated, Please refer to the Architectural Binder for more updates.](#)
- The overall space planning and arrangement are good. However, review the interior unit layouts and make sure they are functional and livable.

Updated, Please refer to the Architectural Binder for more updates.

### **Landscape Comments:**

All the comments of the landscape will be considered later. First, we want you to review the Architectural binder to move further.

- Consider further development of SE corner plaza to address privacy concerns with neighboring suite.
- Consider deleting the diagonal path through the outdoor amenity to improve the flexibility of the space.
- Consider providing pedestrian access along the north edge of the site.
- As the proposed courtyard will be in shadow most of the year, consider further exploring options to open this outdoor amenity space to better solar orientation, or consider adding outdoor amenity space on the roof so that the residents will have more constant access to sunlight.
- The diagonal figure in the courtyard tends to create smaller space on each side. Encourage applicant to look at the landscape situation in the courtyard and adjust that program.

### **CPTED**

- The recessed open space on level 1 on east side facing the lane can be better used. There is a potential CPTED issue.

### **Sustainability**

- Consider rooftop amenity.  
Noted.
- Consider a roof material with a high Solar Reflectance Index (SRI).  
Noted.
- Carry out energy model and use as a design tool. Use future weather files to understand the impact on resiliency and the need for cooling.  
Noted.

### **Accessibility**

- Consider introducing some adaptable units.  
We have proposed 4 adaptable units.
- Consider relocating your visitor accessible stalls closer to the elevator.  
Updated. Please refer to the sheets D.P.2.0 & D.P.2.0 (A).

Address: 14037, 14047 & 14057 – 103A Avenue (RESPONSES)

Key Points

- Review the number of materials and integration. Consider the building façade setback when changing materials, which will simplify detailing and building maintenance issues.  
*Acknowledged and addressed, by replacing the beige color with white colored finish cohesive to the architectural language.*
- Consider a material change strategy on the north elevation, to match treatment on the west elevation.  
*We have now changed the material for the material on the north and west elevations and try to make them look similar and related to each other. Updated, Please refer to the sheets ADP.3.1 & ADP.3.2 for more updates.*
- Consider shifting the pathway/ramp on the north at outdoor amenity space at grade to add more buffer and separation to the patios.  
*We have now shifted the ramp on the north at outdoor amenity space and provided the landscape buffer. Updated, Please refer to the sheet no. ADP-1.0 for more updates.*
- Consider expanding and revising access to the ground level unit patios for more usability.  
*We have added patio area to increase the usability.*

Site

Form and Character

- Consider simplifying the material palette used in the lower floor levels. Consider eliminating Hardie board that is in the same plane as the brick and continue the brick up to the setback at the fifth floor.  
*We have now provided brick up to level four on south and east side, whereas to break the continuity of the building we separate north and east side by giving it the same color as given on 4<sup>th</sup> - and 5<sup>th</sup> level. We have now eliminated white Hardie board that is in the same plane as the brick. Please refer to the sheets ADP3.1 to ADP3.5 for more updates.*
- Consider reducing one of the wall materials, there are four types of materials which make the elevation look busy.  
*Instead of reducing one material we have replaced the beige Hardie siding with white Hardie siding to enhance the look of the building. Please refer to the sheets ADP3.1 to ADP3.5 for more updates.*
- Consider bringing the brick material up to the fourth floor on the south and east facades.  
*We have now considered brick from 1<sup>st</sup> to 4<sup>th</sup> floor. Updated, please refer to the sheets ADP3.1 to ADP3.5 for more updates.*
- Consider reducing the cedar projections at the side.  
*Updated, please refer to the sheets ADP3.1 to ADP3.5 for more updates. We have deleted the cedar projections at the sides, to simplify the Elevation.*

## Landscape

- Consider planting and trees to provide separation between courtyard and building.  
*We have reversed the concentration of trees to show them against the building as opposed to along the PL. This achieves better coverage of the shaded façade and still allows open amenity space where light is less scarce.*
- The courtyard design is very static and exposed to view from the units. Consider greater interplay between plantings and programmed spaces to provide some separation.  
*We have added more planting buffer at ground level to achieve better separation of programs.*
- Consider enlarging the hard surface in the courtyard to provide more room for spill out from the interior amenity.  
*The indoor and outdoor amenity in this area are significantly different in grade. We have found it necessary to hide the grade change with a significant planting bed.*
- Consider expanding the usable courtyard space into the planting area and resolving grade changes in other ways. The heavy planting should not be the way to resolve grade changes into the property line along both north and west side.  
*With the combined requirements of limiting walls to 0.6m maximum height, and to hide the parkade structure and maintain soil volumes we have found it necessary to concentrate the usable outdoor amenity space to the flattest areas – i.e. closer to the centre of the courtyard. We have also added grading information to further illustrate the constraints imposed by site grading and adjacent grades.*
- Consider providing direct access to the courtyard from the gym and meeting rooms  
*Again as a result of indoor to outdoor grading we have chosen to mitigate the grade change with a planter bed providing soil volumes for trees, and hiding the differences in grades from in-to-out.*
- The roof deck is a great addition to the project. Consider adding an additional trellis element to provide shading off the elevator.  
*We have specified a trellis structure to provide shade at the elevator doors.*

## CPTED

- No specific issues were identified.

## Sustainability

- Consider the use of energy modelling using future climate files for thermal comfort modelling to test resiliency and ensure livability in future.  
*Acknowledged and working on the report.*
- Consider location of mechanical systems. Projects often miss out on opportunities to increase efficiency due to space constraints that could be resolved is considered earlier.  
*Mechanical room, electrical and machine rooms are provided on the*

parkade level and will be programmed based on the consultant's requirements.

- Consider increasing the size of the bike maintenance area and accommodating more e-bike charging.  
Updated, Please refer to the sheet ADP.2.o and ADP.2.o (A).

### **Accessibility**

- No specific issues were identified.