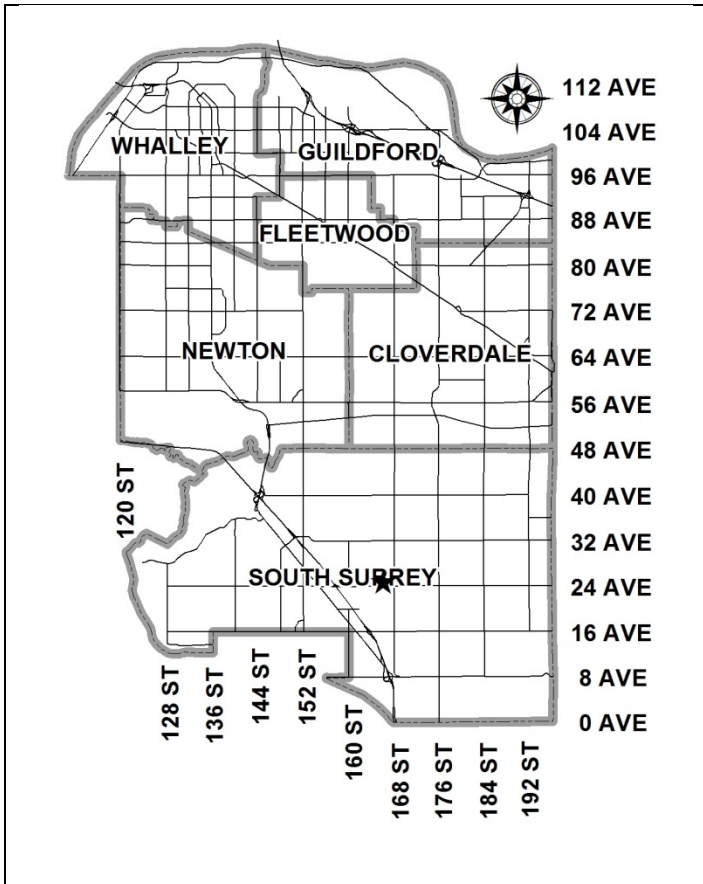


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0304-00

Planning Report Date: May 28, 2018



PROPOSAL:

- **NCP Amendment** for a portion from Multi-Family (30-45 upa) to Multi-Family (65 upa) and for modification to the local road network
- **Rezoning** from RA to RM-30 and RM-70
- **Development Permit**
- **Development Variance Permit**

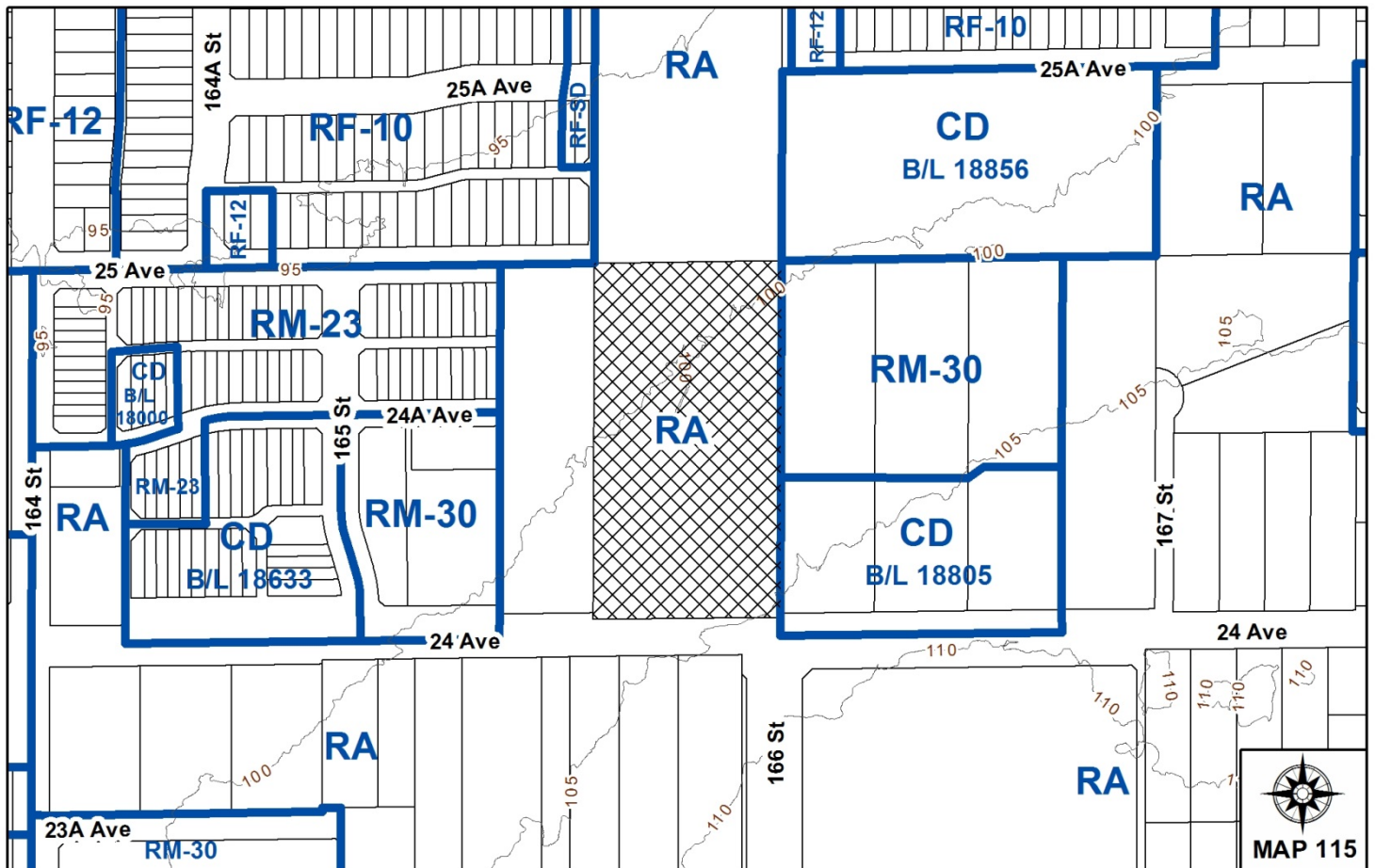
to permit the development of approximately 55 townhouse units and 55 apartment units.

LOCATION: 16575 - 24 Avenue

ZONING: RA

OCP DESIGNATION: Urban & Multiple Residential

NCP DESIGNATION: Multi-Family (30-45 upa) and Townhouse (15-30 upa)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing a Neighbourhood Concept Plan (NCP) amendment on a portion of the site from Multi-Family (30-45 upa) to Multi-Family (65 upa) and minor modifications to the road network.
- Various setback relaxations to the Multiple Residential (30) (RM-30) and Multiple Residential (70) (RM-70) Zones are proposed.
- Variances to the RM-70 Zone to increase the maximum permitted lot coverage and to reduce the maximum permitted building height are proposed for the apartment site.

RATIONALE OF RECOMMENDATION

- The proposal complies with the site's OCP Designations.
- The proposed unit density increase along 24 Avenue is appropriate as 24 Avenue is served by transit, and locating density along transit routes helps attract transit investment along these corridors.
- The proposal is consistent with the intent of the Orchard Grove Neighbourhood Concept Plan (NCP), which envisioned a diversity of housing forms with the highest residential densities in the neighbourhood located along 24 Avenue, and gradually decreasing residential densities north of 24 Avenue. The proposal maintains the planned 4- to 6-storey apartment building form planned along 24 Avenue, but an NCP amendment is required on a portion of the site to allow for a unit density higher than 45 units per acre (upa).
- The proposed increase in unit density along 24 Avenue is consistent with the adjacent project to the east (Development Application No. 7914-0354-00), which introduced the "Multi-Family (65 upa)" designation to the NCP. The proposed increase in unit density is in response to the current market trend toward smaller unit sizes. While a higher unit density is sought, the proposed Floor Area Ratio (FAR) is within the maximum permitted under the OCP and NCP.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Orchard Grove NCP.
- The RM-70 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The 41% lot coverage that is proposed is appropriate for 4-storey buildings, as is proposed. A variance to reduce the allowable building height is proposed to accompany the request for increased lot coverage and to ensure that the building height is restricted to 4 storeys.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the portion shown as Block A on the survey plan attached in Appendix II from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)"; and the portion shown as Block B on the survey plan attached in Appendix II from "One-Acre Residential Zone (RA)" to "Multiple Residential 70 Zone (RM-70)", and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7917-0304-00 generally in accordance with the attached drawings (Appendix II).
3. Council approve Development Variance Permit No. 7917-0304-00 (Appendix VII) varying the following, to proceed to Public Notification:
 - (a) On Lot A:
 - (i) the minimum front yard setback (east) of the RM-30 Zone is reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.);
 - (ii) the minimum rear yard setback (west) of the RM-30 Zone is reduced from 7.5 metres (25 ft.) to 4.0 metres (13 ft.);
 - (iii) the minimum side yard setback on flanking street (north) of the RM-30 Zone is reduced from 7.5 metres (25 ft.) to 5.0 metres (16 ft.); and
 - (iv) the minimum side yard setback (south) of the RM-30 Zone is reduced from 7.5 metres (25 ft.) to 3.9 metres (13 ft.).
 - (b) On Lot B:
 - (i) the minimum front yard setback (east) of the RM-30 Zone is reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.);
 - (ii) the minimum rear yard setback (west) of the RM-30 Zone is reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.);
 - (iii) the minimum side yard setback on flanking street (north) of the RM-30 Zone is reduced from 7.5 metres (25 ft.) to 3.9 metres (13 ft.); and
 - (iv) the minimum side yard setback (south) of the RM-30 Zone is reduced from 7.5 metres (25 ft.) to 2.5 metres (8 ft.).

- (c) On Lot C:
 - (i) the maximum lot coverage of the RM-70 Zone is increased from 33% to 45%;
 - (ii) the maximum building height of the RM-70 Zone is reduced from 50 metres (164 ft.) to 18.1 metres (59 ft.);
 - (ii) the minimum front yard setback (east) of the RM-70 Zone is reduced from 7.5 metres (25 ft.) to 4.9 metres (16 ft.); and
 - (iii) the minimum rear yard setback (west) of the RM-70 Zone is reduced from 7.5 metres (25 ft.) to 1.6 metres (5 ft.).
- 4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (g) submission of an acoustical report for the units adjacent to 24 Avenue and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (i) the applicant provide 50% cash-in-lieu for landscape planting in the 166 Street habitat corridor;
 - (j) registration of a shared access easement to provide future residents of Lot A with shared access to the indoor amenity space provided on Lot B;
 - (k) registration of a reciprocal access agreement between Lot B and Lot C;

- (l) registration of a Section 219 Restrictive Covenant on proposed Lot C to restrict the maximum allowable building height to 18.1 metres (59 ft.);
 - (m) the discharge of Restrictive Covenant CA6005968; and
 - (n) Final Adoption of a text amendment to the RM-70 Zone to amend the intent section of this zone in the Zoning By-law.
5. Council pass a resolution to amend Orchard Grove NCP to redesignate the land currently designated Multi-Family (30-45 upa) to Multi-Family (65 upa) and for changes to the local road network as shown in Appendix VI when the project is considered for final adoption.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

14 Elementary students at Pacific Heights Elementary School
7 Secondary students at Earl Marriott Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring 2020 for the townhouses and Spring 2021 for the apartments.

Parks, Recreation & Culture: No concerns.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: 1.95 hectare (4.8 acre) site with a single family dwelling.

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North:	Large property under Development Application No. 7915-0217-00, at 3 rd reading, proposing rezoning from RA to RQ, RF, RF-10 and RM-30, subdivision into 13 single family lots and 39 townhouse units.	Transition Landscape Buffer, Large Lot Duplex or Large Lot Single Family (2-10 upa), Small Lot Single Family with/without Coach House (10-15 upa), and Townhouse (15-30 upa)	RA
East (Across 166 Street):	Vacant townhouse site and apartment site, approved under Development Application No. 7914-0354-00. A Building Permit is in process for the townhouse portion of the site.	Habitat Corridor, Townhouse (15-30 upa) and Multi-Family (65 upa)	RM-30 and CD (By-law No. 18805)
South (Across 24 Avenue):	Large properties either vacant or containing single family homes, under Development Application No. 7917-0315-00, at initial review, proposing rezoning from RA to RM-30 to allow for a 194-unit townhouse development.	Cluster Residential (10-15 upa) and Linkages	RA
West (Across):	Large vacant property.	Multi-Family (30-45 upa) and Townhouse (15-30 upa)	RA

DEVELOPMENT CONSIDERATIONSSite

- The subject 1.96 hectare (4.8 acre) site is located west side of 166 Street, north of 24 Avenue in the Orchard Grove Neighbourhood Concept Plan (NCP) area. It is designated "Multi-Family (30-45 upa)" along 24 Avenue and "Townhouse (15-30 upa)" north of 24 Avenue.

Proposal

- The applicant is proposing the following:
 - an NCP amendment to amend the portion of the site designated "Multi-Family (30-45 upa)" to "Multi-Family (65 upa)", and an amendment to eliminate the east-west lane;
 - rezoning from RA to RM-30 and RM-70;
 - subdivision from one (1) into three (3) lots;
 - a Development Permit for Form and Character to permit approximately 55 townhouse units and 55 apartment units; and
 - a Development Variance Permit (DVP) for various setback relaxations and to increase the maximum allowable lot coverage and decrease the maximum allowable building height on the apartment lot.
- The apartment portion of the site, on 24 Avenue, is proposed to be rezoned from RA to RM-70. The "Multiple Residential" land use designation in the OCP allows densities up to 1.5 FAR subject to an appropriate interface with adjacent lower-density residential developments. The corresponding zone in the Zoning By-law which allows for this density is the RM-70 Zone. However, the intent of the RM-70 Zone indicates that the zone is intended for medium density, high-rise multiple unit residential buildings. This intent does not fit with the types of projects that would be received with a density of 1.5 FAR, such as this one, which is a medium-rise building and not a high-rise building. In order to rectify this situation and avoid a CD Zone, staff intend to follow-up with an amendment to the intent of the RM-70 Zone. Final Adoption of this text amendment to the RM-70 Zone must be completed prior to the completion of this project.

JUSTIFICATION FOR PLAN AMENDMENT

- The applicant is not proposing to maximize the density on the townhouse portion of the site, which allows for up to 30 units per acre. The applicant is proposing to transfer some of the allowable density from the townhouse sites to the apartment site. On Lot A, 31 units are proposed (26 upa) and on Lot B, 24 units are proposed (23 upa). Therefore, the applicant's justification for the amendment is that the remaining density, representing 13 residential units, be transferred to the apartment lot (Lot C). 55 units are proposed on the apartment site (62 upa). Under a density of 45 upa, 40 units could be achieved.
- Because the proposal includes a higher number of apartment units than are allowable under the "Multi-Family (30-45 upa)" land use designation, and a lower number of townhouse units than could have been allowable under the "Townhouse (15-30 upa)" land use designation, the number of projected elementary and secondary school students for the development is actually lower than it would be if the proposal did not include the proposed density transfer.

- The proposed unit density increase along 24 Avenue is appropriate as 24 Avenue is well served by transit, and locating density along transit routes helps attract transit investment along these corridors.
- The proposal is consistent with the intent of the Orchard Grove Neighbourhood Concept Plan (NCP), which envisions a diversity of housing forms with the highest residential densities in the neighbourhood along 24 Avenue, and gradually decreasing residential densities north of 24 Avenue. The proposal maintains the planned 4- to 6-storey apartment building form planned along 24 Avenue, but an NCP amendment is required to allow for a unit density higher than 45 units per acre (upa).
- Furthermore, the requested increase in unit density along 24 Avenue is consistent with the adjacent project to the east (Development Application No. 7914-0354-00), which introduced the "Multi-Family (65 upa)" designation to the NCP. The requested increase in unit density is in response to the current market trend toward smaller unit sizes. While a higher unit density is sought, the proposed FAR is within the maximum permitted under the OCP and NCP.
- Transportation Engineering has confirmed that the east-west lane shown in the NCP on this site is not required.

PRE-NOTIFICATION

- Pre-notification letters were sent on January 8, 2018, and the development proposal sign was installed on January 9, 2018. No telephone calls or emails were received in response to the pre-notification.

DESIGN PROPOSAL AND REVIEW

- The site is proposed to be split into three (3) lots, including two (2) townhouse lots (Lots A and B) and one (1) apartment lot (Lot C) (Appendix II).
- The site slopes down generally from east to west, and from south to north.
- A "modern farmhouse" design aesthetic was established for the townhouse component of the project to reflect the agricultural history of the Orchard Grove NCP area. For the apartment component, given its location on 24 Avenue, it was determined that a more contemporary design would be appropriate, but with similar materials and detailing.

Townhouse Sites

- The townhouse sites are located to the north of the apartment site, on 24A Avenue and 25 Avenue and 166 Street. Lot A has a net site area of 4,926 square metres (1.2 acres) and Lot B has a net site area of 4,278 square metres (1.1 acres). The applicant is proposing 31 units on Lot A and 24 units on Lot B, for a total of 55 townhouse units.
- The unit density and FAR for each lot comply with the "Urban" OCP designation, the "Townhouse (15-30 upa)" NCP designation and the allowable density permitted in the RM-30 Zone.

- The number of townhouse units within each individual building varies from 4 to 7 units. Of the 55 townhouse units, 15 are proposed as 3-bedroom units, and 40 as 4-bedroom units.
- All of the proposed units have living space on the ground floor to promote interaction with the public realm. Units facing onto the street, lane or walkway have entries facing the street and a walkway connecting each residence, and windows that provide surveillance of the public realm.
- The design features separated facades with pitched roofs, white brick cladding, double-height bays with black windows and spandrels, and cement fibre siding.

Apartment Site

- The apartment site is the most southerly lot fronting on 24 Avenue (proposed Lot C). It has a net site area of 3,612 square metres (0.89 acres). The applicant is proposing a 55 unit, 4-storey apartment (condominium) with one (1) level of underground parking.
- The proposed Floor Area Ratio (FAR) of the apartment site is 1.36 on the net site area. This FAR fits within the "Multiple Residential" OCP designation, the proposed "Multi-Family (65 upa)" NCP designation, and the maximum permitted density in the RM-70 Zone.
- The apartment building includes 12 one-bedroom units and 43 two-bedroom units.
- Two (2) entrances are proposed to the apartment building; one (1) from 24 Avenue for pedestrians, and one (1) accessed from the internal east-west drive aisle off of 166 Street. The entrance off of 166 Street is considered to be the main site entrance and the site will be addressed from 166 Street, at the request of the Fire Department.
- The design concept for the building includes double height bays with flat roofs that alternate in height, according to the colour of the bay in which they occur. The alternating pattern of white and dark grey siding is intended to complement the individual massing of the townhouse units.

Access, Parking and Circulation

- Vehicular access for the apartment site is provided off of 166 Street. An internal site road leads to the parking ramp to one level of underground parking. The required 80 resident parking spaces are provided underground, and the required 12 visitor parking spaces are provided along the internal site road off of 166 Street.
- Vehicular access for the townhouse sites is proposed off of 24A Avenue, as well as via an access easement through the apartment site to 166 Street.
- All of the townhouse units have double car side-by-side garages, and visitor parking in accordance with the by-law requirement.
- A 6 metre (20 ft.) wide statutory right-of-way along 24 Avenue is provided for the provision of a multi-use path, in accordance with the NCP.

- A 3 metre (10 ft.) dedication for a north-south walkway between 24 Avenue and 24A Avenue is also provided along the west boundary of the site. An additional 3 metres (10 ft.) will be dedicated from the property to the west at 16539 24 Avenue when it develops in the future. The NCP shows this connection as a vehicular lane; Transportation Engineering has confirmed that a vehicular lane is not required and therefore this will be a pedestrian connection only.

Amenity Space

- The Zoning By-law requires 3 square metres (32 sq. ft.) of both indoor and outdoor amenity space per dwelling unit for multi-family developments.
- The applicant is proposing 55 townhouse units, including 31 units on Lot A and 24 units on Lot B. These will be in two (2) separate stratas, one (1) for each lot. Therefore, 165 square metres (1,776 sq. ft.) of indoor amenity space is required to be provided. One (1) shared 166 square metre (1,786 sq. ft.) indoor amenity building is proposed on proposed Lot B, at the southeast corner of the site. The location of the amenity building was chosen so it could be located adjacent to an outdoor amenity area on this lot, with a tree proposed for retention. The indoor amenity for the townhouse sites is proposed to be 2-storeys with a lounge space, washroom and kitchenette on each level.
- The required outdoor amenity space is exceeded for each townhouse lot, with 110 square metres (1,184 sq. ft.) provided on Lot A and 162 square metres (1,743 sq. ft.) provided on Lot B. The outdoor amenity areas include play areas, community garden plots, and a landscaped area with tree preservation.
- The indoor amenity area for the apartment lot is 180 square metres (1,938 sq. ft.) which exceeds the 165 square metre (1,776 sq. ft.) by-law requirement. The space includes a large lounge, kitchen, washrooms and storage, and is located adjacent to the northern building lobby, at the northwest corner of the building. The 175 square metre (1,883 sq. ft.) outdoor amenity is directly adjacent to the indoor amenity, and includes a patio and children's play area.

ADVISORY DESIGN PANEL

- The apartment building on 24 Avenue was referred to the Advisory Design Panel (ADP) on February 22, 2018 (Appendix VIII). The ADP supported the project and recommended that the applicant address their comments to the satisfaction of the Planning & Development Department.
- The applicant submitted revised plans to address the ADP comments. The ADP's main concern was with regard to the parkade ramp, outdoor amenity and site interface. The applicant has revised the design by reconfiguring the parkade ramp and outdoor amenity. The revised design has been reviewed by Urban Design staff and is considered to be an improvement. Any minor outstanding urban design issues will be resolved prior to Final Adoption and the issuance of the Development Permit.

TREES & LANDSCAPING

- Vanessa Melney, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder and Cottonwood	6	6	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Paper Birch	6	6	0
Cherry	6	6	0
Bitter Cherry	2	2	0
Bigleaf Maple	2	2	0
Lombardy Poplar	1	1	0
Coniferous Trees			
Western Red Cedar	6	6	0
Douglas Fir	33	31	2
Western Hemlock	2	2	0
Pine	2	2	0
Austrian Pine	8	8	0
Scotts Pine	1	1	0
Total (excluding Alder and Cottonwood Trees)	69	67	2
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		144	
Total Retained and Replacement Trees		146	

- The Arborist Assessment states that there are a total of 69 protected trees on the site, excluding Alder and Cottonwood trees. Six (6) existing trees, approximately 8% of the total trees on the site, are Alder and Cottonwood trees. It was determined that two (2) trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- The proposed alignment of the walkway along the western property line, between 24 Avenue and 24A Avenue, was altered in order to allow for the retention of this Douglas Fir tree. The Project Arborist has indicated that the retention potential of this tree will be reassessed with the limits of excavation.
- The City is currently working on a road widening project on 24 Avenue, between 161A Street and 168 Street. The project is within the City's 10-year (2017-2026) Servicing Plan. Trees along 24 Avenue fronting the subject site have been removed in order to accommodate this road widening project.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 140 replacement trees on the site. The applicant is proposing 144 replacement trees, exceeding City requirements.
- The landscape plans were prepared by PMG Landscape Architects (Appendix II). The proposed site landscaping includes a mix of trees, shrubs, ground cover and open lawn areas. Corner plazas are proposed at the 24A Avenue and 25 Avenue intersections on the townhouse sites. Decorative paving is proposed at the vehicular entrances and permeable pavers are proposed for visitor parking spaces.
- In summary, a total of 146 trees are proposed to be retained or replaced on the site.

BIODIVERSITY CONSERVATION STRATEGY

- The subject site is located east of a Local BCS Corridor, in the Redwood BCS management area, with a low ecological value. This corridor is also identified in the Orchard Grove NCP. The combined width of the habitat corridor and 166 Street is 34 metres (112 ft.).
- As part of the adjacent application to the east, Development Application No. 7914-0354-00, a 17 metre (56 ft.) dedication was provided along their western property line for the 166 Street habitat corridor / BCS corridor. As part of the subject application, a 17 metre (56 ft.) dedication is proposed for 166 Street. This will allow for the 34 metre (112 ft.) wide habitat corridor and 166 Street to be achieved between 24 Avenue and 25 Avenue.
- The applicant will be required to provide 50 percent cash-in-lieu for the planting of the 166 Street habitat corridor in coordination with road works for the site.
- As the site is within 50 metres (164 ft.) of a Local BCS Corridor, a Sensitive Ecosystem Development Permit (SEDP) is applicable to the site. However, staff have reviewed and determined that a SEDP is not necessary; the only requirement will be for cash-in-lieu for the planting of the corridor. There is a road (166 Street) separating the subject site from the BCS corridor, and the requirements have already been established as part of adjacent applications.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on June 7, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located within the Orchard Grove NCP area.
2. Density & Diversity	<ul style="list-style-type: none"> • The proposal includes ground-oriented townhouses and low-rise

Sustainability Criteria	Sustainable Development Features Summary
(B1-B7)	apartment units, with a variety of 1, 2 and 3 bedroom units.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposal incorporates Low Impact Development Standards (LIDS) including roof downspout disconnection, natural landscaping, sediment control devices, perforated pipe systems and permeable pavement/surfaces. • Recycling and organic waste pick-up will be made available.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Bicycle parking is provided. • The site will be connected via walkways to surrounding sidewalks and multi-use paths. • The site is located on a transit route (24 Avenue)
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Units are oriented toward the street to allow for natural surveillance. • A clear transition between public and private space is provided. • Playground, indoor and outdoor amenity space is provided.
6. Green Certification (F1)	<ul style="list-style-type: none"> • Green building certification is not proposed.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • The typical pre-notification process was undertaken, including a development proposal sign and pre-notification letters.

BY-LAW VARIANCE AND JUSTIFICATION

a) Requested Variances to the RM-30 Zone on Lot A:

- to reduce the minimum front yard setback (east) from 7.5 metres (25 ft.) to 4.5 metres (15 ft.);
- to reduce the minimum rear yard setback (west) from 7.5 metres (25 ft.) to 4.0 metres (13 ft.);
- to reduce the minimum side yard setback on flanking street (north) from 7.5 metres (25 ft.) to 5.0 metres (16 ft.); and
- to reduce the minimum side yard setback (south) from 7.5 metres (25 ft.) to 3.9 metres (13 ft.).

Requested Variances to the RM-30 Zone on Lot B:

- to reduce the minimum front (east) and rear (west) yard setbacks from 7.5 metres (25 ft.) to 4.5 metres (15 ft.);
- to reduce the minimum side yard setback on flanking street (north) from 7.5 metres (25 ft.) to 3.9 metres (13 ft.); and
- to reduce the minimum side yard setback (south) from 7.5 metres (25 ft.) to 2.5 metres (8 ft.).

Applicant's Justification:

- The proposed townhouse setbacks are consistent with good urban design principles to promote street interaction and pedestrian activity. The setbacks as proposed are typical of RM-30 Zoned townhouse developments, and consistent with adjacent applications.

Staff Comments:

- The proposed setbacks for the townhouse sites will bring the townhouse units closer to the streets, lanes and walkways, which will assist in achieving a more urban, pedestrian streetscape in accordance with the NCP.
- The south side yard setback variance to 2.5 metres (8 ft.) is for the indoor amenity only. The townhouse buildings are setback a minimum of 5 metres (13 ft.) from the south property line.

b) Requested Variances to the RM-70 Zone on Lot C:

- to increase the maximum lot coverage from 33% to 45%;
- to reduce the maximum building height from 50 metres (164 ft.) to 18.1 metres (59 ft.);
- to reduce the minimum front yard setback (east) from 7.5 metres (25 ft.) to 4.9 metres (16 ft.); and
- to reduce the minimum rear yard setback (west) from 7.5 metres (25 ft.) to 1.6 metres (5 ft.).

Applicant's Justification:

- The total project density complies with the provisions of the Orchard Grove NCP. The project utilizes density transfer from the townhouse sites (where less than 30 upa is proposed) onto the apartment site (where over 45 upa is proposed). To accommodate the transferred density, it was determined that the apartment site required RM-70 zoning, rather than RM-45 zoning that was initially envisioned for the site. The built form essentially complies with the provisions of the RM-45 Zone which allows 45% lot coverage.
- The front yard setback is consistent with good urban design principles to promote street interaction and pedestrian activity. The setbacks as proposed are typical of apartment developments, and consistent with adjacent applications.
- The west rear yard setback interfaces with a pedestrian walkway. The proposed setback at the indoor amenity room at ground level has been reduced to increase casual surveillance of this walkway, and to encourage safe pedestrian activity on the path.

Staff Comments:

- The RM-70 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The proposed lot coverage is appropriate for 4-storey buildings, such as the building proposed.
- With the reduced building height, the increased allowable lot coverage is considered appropriate. A Section 219 Restrictive Covenant is also required to be registered to ensure that the building height is restricted to a 4-storey building form.
- The proposed building setbacks are acceptable and appropriate from an urban design perspective.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary (Confidential) and Project Data Sheets
Appendix II.	Survey Plan, Site Plan, Building Elevations, and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation and Tree Plans
Appendix VI.	NCP Plan
Appendix VII.	Development Variance Permit No. 7917-0304-00
Appendix VIII.	ADP Comments and Applicant's Response

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

HK/cm

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET – TOWNHOUSE SITE A

Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		4,926 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	41%
Paved & Hard Surfaced Areas		33%
Total Site Coverage		74%
SETBACKS (in metres)		
Front (East)	7.5 m	4.5 m
Rear (West)	7.5 m	4.0 m
Side #1 (North)	7.5 m	5.0 m
Side #2 (South)	7.5 m	3.9 m
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m	10.1 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		31
Total		31
FLOOR AREA: Residential		4,422.6 m ²
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		4,422.6 m ²

* If the development site consists of more than one lot, lot dimensions pertain to the entire site.

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	75 uph / 30 upa	63 uph / 26 upa
FAR (gross)		
FAR (net)	1.0	0.898
AMENITY SPACE (area in square metres)		
Indoor	93 m ²	Shared with Lot B
Outdoor	93 m ²	110 m ²
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	62	62
Residential Visitors	6	6
Institutional		
Total Number of Parking Spaces	68	68
Number of accessible stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

DEVELOPMENT DATA SHEET – TOWNHOUSE SITE B

Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		4,278 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	41%
Paved & Hard Surfaced Areas		31%
Total Site Coverage		72%
SETBACKS (in metres)		
Front (East)	7.5 m	4.5 m
Rear (West)	7.5 m	4.5 m
Side #1 (North)	7.5 m	3.9 m
Side #2 (South)	7.5 m	2.5 m
BUILDING HEIGHT (in metres/storeys)		
Principal	13.0 m	10.8 m
Accessory	11.0 m	7.8 m (Amenity)
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		24
Total		24
FLOOR AREA: Residential		3,795.6 m ²
Amenity		166 m ²
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		3,961.6 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	75 uph / 30 upa	56 uph / 23 upa
FAR (gross)		
FAR (net)	1.0	0.887
AMENITY SPACE (area in square metres)		
Indoor	72 m ² (Lot A + B = 165 m ²)	166 m ²
Outdoor	72 m ²	162 m ²
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	48	48
Residential Visitors	5	5
Institutional		
Total Number of Parking Spaces	53	53
Number of accessible stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

DEVELOPMENT DATA SHEET – APARTMENT SITE

Proposed Zoning: RM-70

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		3,611.6 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	33%	41%
Paved & Hard Surfaced Areas		32%
Total Site Coverage		73%
SETBACKS (in metres)		
Front (East)	7.5 m	4.9 m
Rear (West)	7.5 m	4.6 m / 1.6 m at amenity
Side #1 (North)	7.5 m	13.1 m
Side #2 (South)	7.5 m	8.1 m
Side #3 (N, S, E or W)		
BUILDING HEIGHT (in metres/storeys)		
Principal	50.0 m	18.1 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		12
Two Bedroom		43
Three Bedroom +		
Total		55
FLOOR AREA: Residential		4,923.7 m ²
Indoor Amenity		180 m ²
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		5,103.7 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

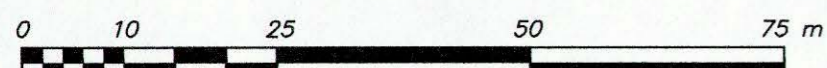
Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		152 uph / 62 upa
FAR (gross)		
FAR (net)	1.5	1.36
AMENITY SPACE (area in square metres)		
Indoor	165 m ²	180 m ²
Outdoor	165 m ²	175 m ²
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom	15.6	
2-Bed	64.5	
3-Bed	80.1	80
Residential Visitors	11	12
Institutional		
Total Number of Parking Spaces	91	92
Number of accessible stalls	1	3
Number of small cars	32	2
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

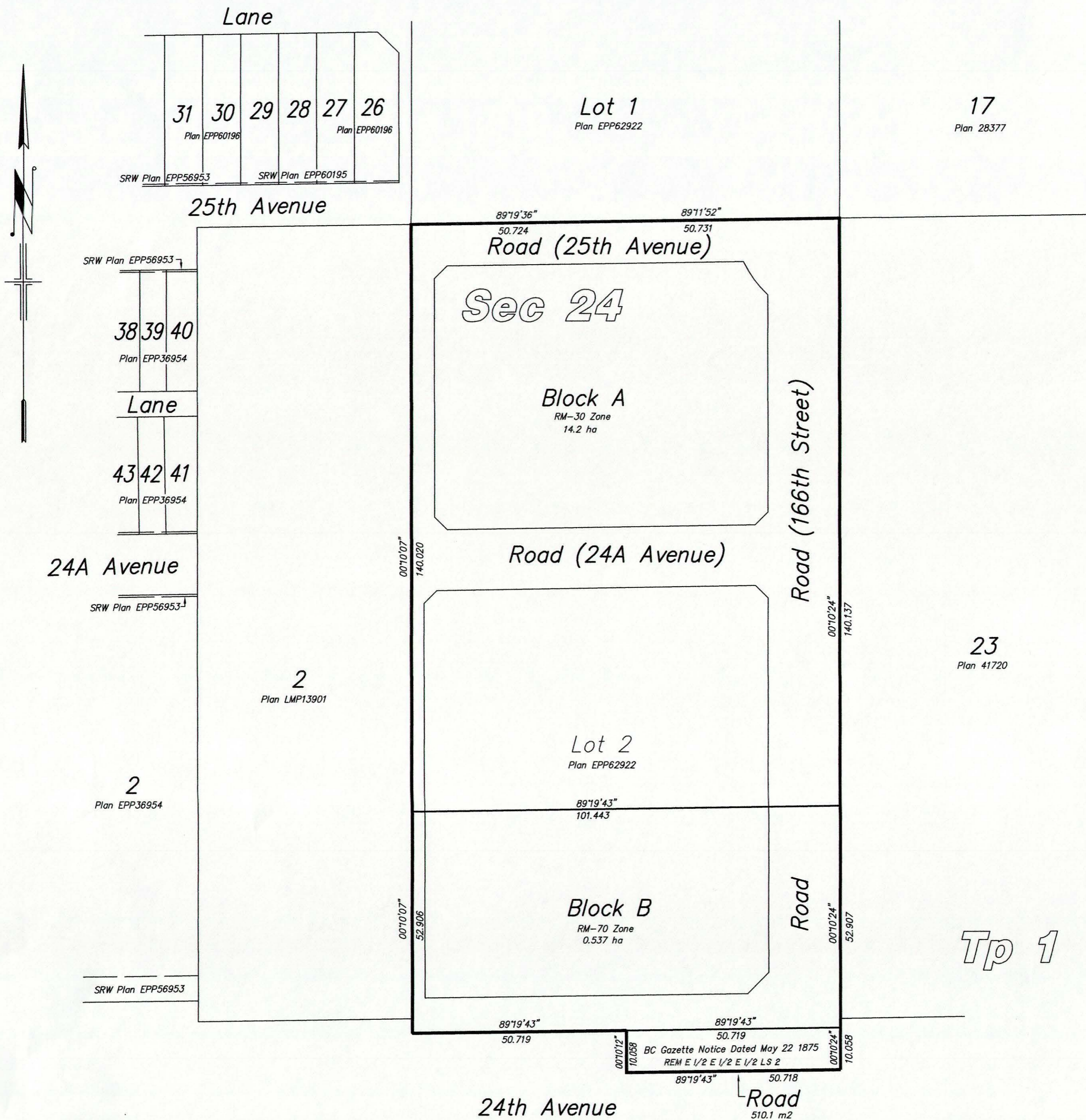
SURVEY PLAN TO ACCOMPANY CITY OF SURREY
 REZONING BYLAW _____ OVER LOT 2
 SECTION 24 TOWNSHIP 1 NEW WESTMINSTER DISTRICT
 PLAN EPP62922

City Of Surrey



The intended plot size of this plan is 432 mm in width by 560 mm in height (C SIZE) when plotted at a scale of 1:750

Grid Bearings are derived from
 Subdivision Plan EPP62922



This Plan Lies Within Metro
 Vancouver Regional District

Certified Correct Dated This
 14th Day Of May, 2018

(Signature)
 Mike Bernemann, BCLS 793



1



2



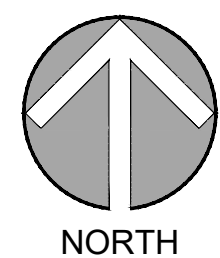
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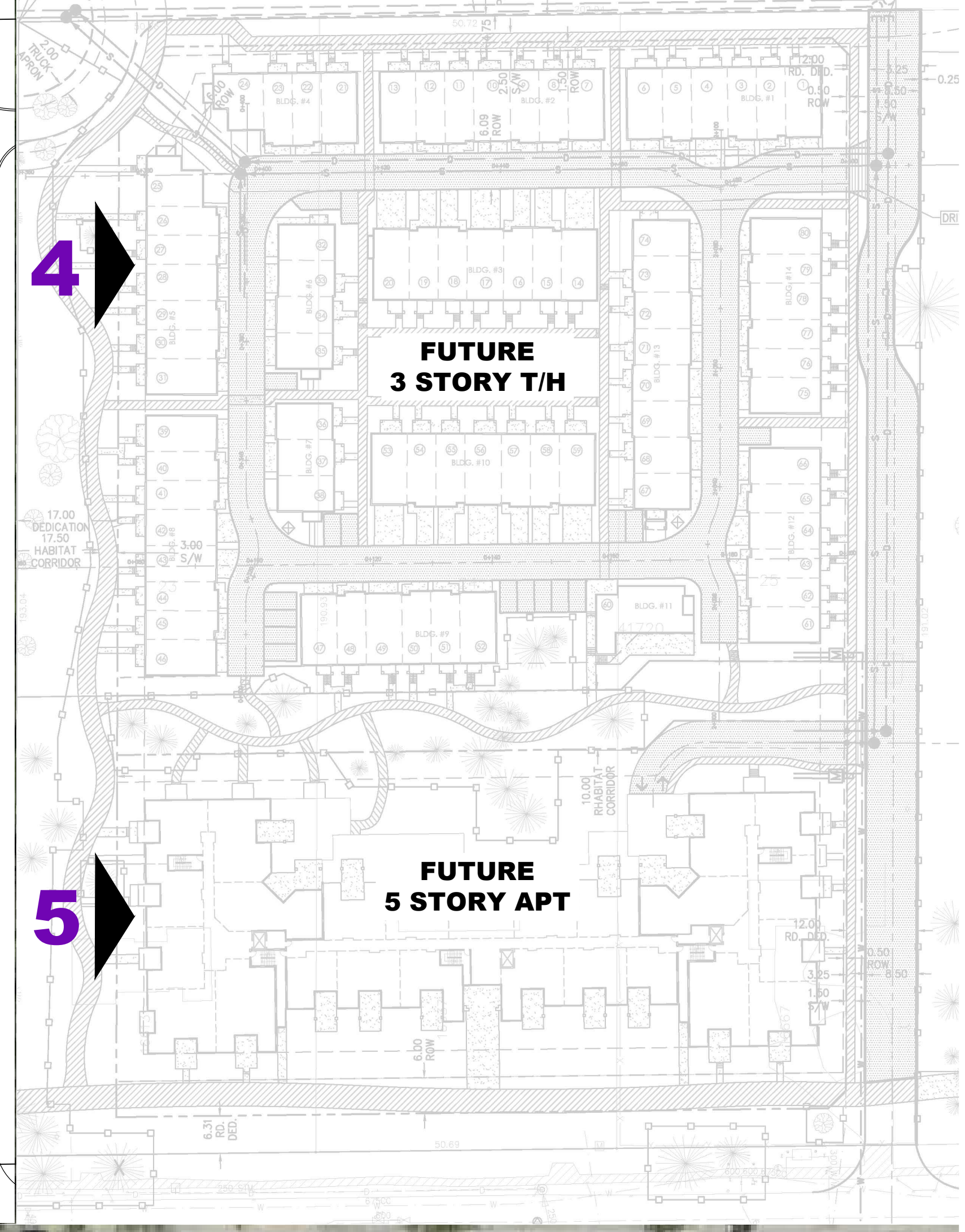
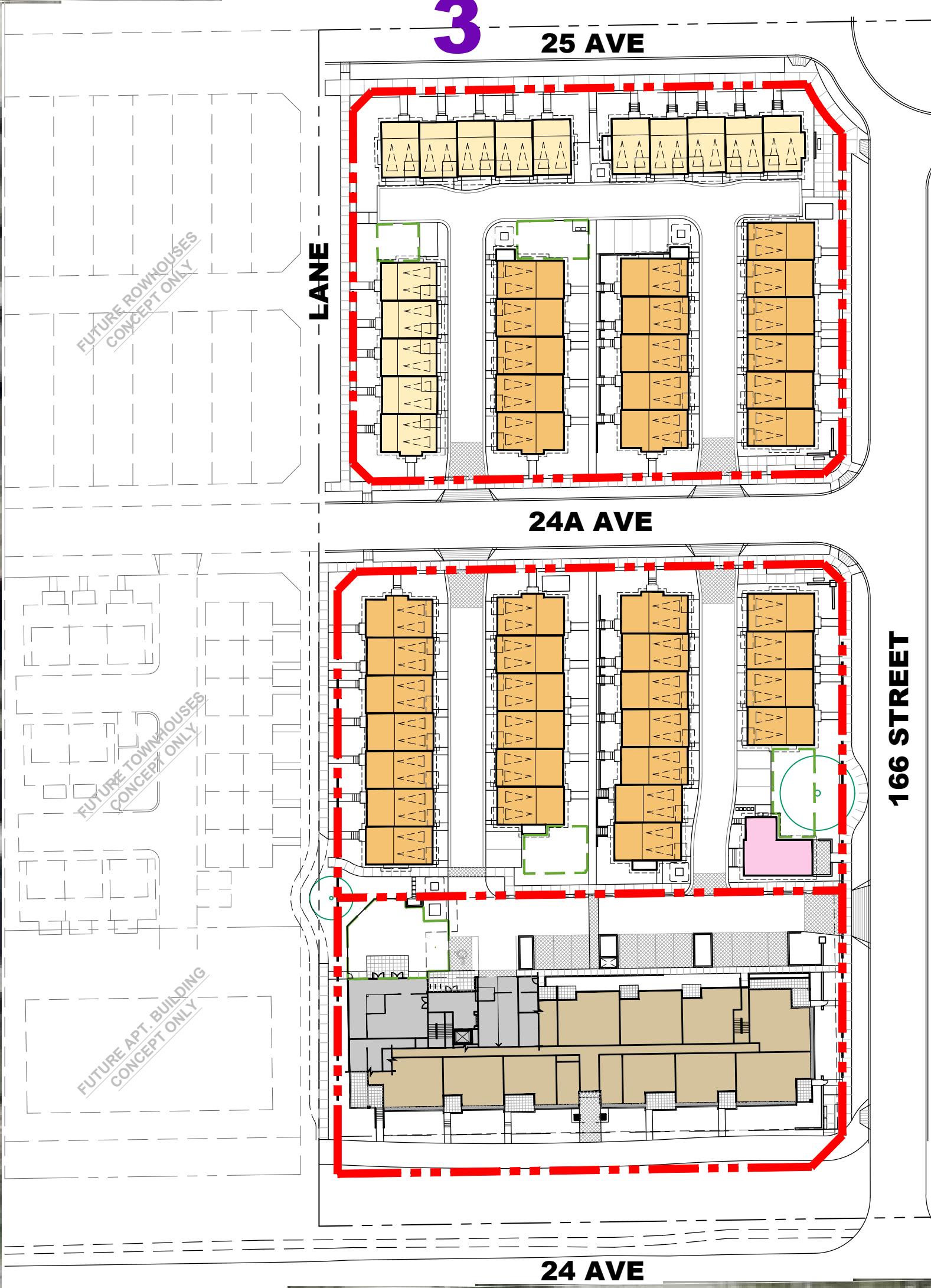
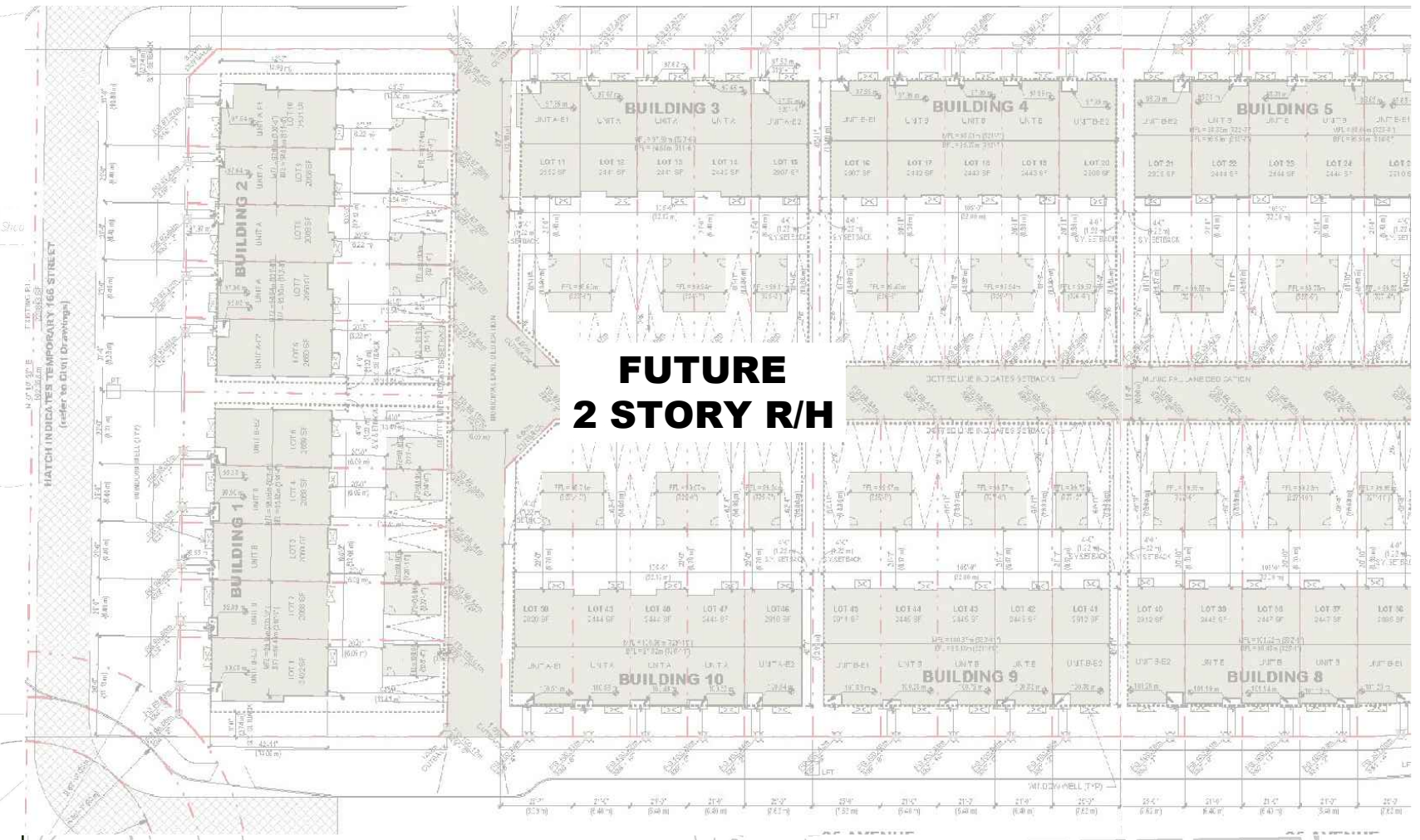
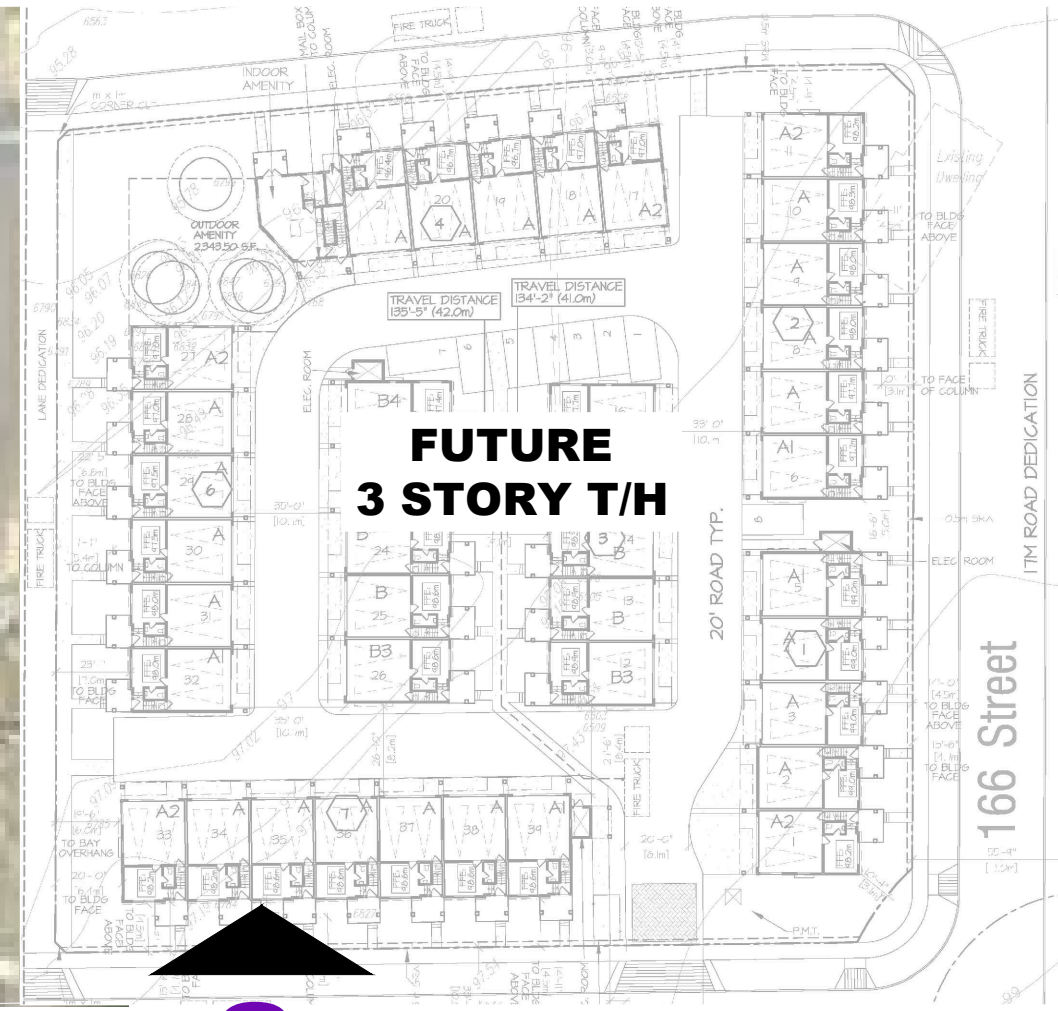
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5



CONTEXT PLAN
SCALE: 1" = 60'-0"



2018-04-24	PLANNING COMMENTS
2017-12-12	DP REVISIONS
2017-06-15	ISSUED FOR RZ / DP
REVISIONS	
CONSULTANT	

CLIENT
PENMAT MANA ORCHARD

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT

16875 - 24 AVENUE
SURREY BC

DRAWING TITLE

CONTEXT PLAN

DATE	2017.05.02	FILE NO.	
DWN.	ms		
CHK.	ch		1614

SEAL
SHEET NO.

DP-0.0



LOT - C

LOT - B

LOT - A

OVERALL EAST STREETSCAPE (166TH AVENUE)

SCALE: N.T.S.



LOT - C

LOT - B

ENLARGED PARTIAL EAST STREETSCAPE (166TH AVENUE)

SCALE: N.T.S.

REVISIONS:	CITY OF SURREY FILE #: 7917-0304-00	SEAL
2017-06-15 ISSUED FOR RZ / DP		
2017-12-12 DP REVISIONS		
2018-04-24 PLANNING COMMENTS		



PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT

LOCATION
16555 - 24 AVENUE
SURREY BC

CLIENT
PENMAT MANA ORCHARD

DRAWING TITLE
COLOURED STREETSCAPES

DATE 2016.05.12 FILE NO.
DWN. lc/ms
CHK. ch **1614**

SHEET NO.
DP-0.0a



SOUTH STREETScape (24TH AVENUE)

SCALE: N.T.S.



LOT - A

ENLARGED PARTIAL EAST STREETScape (166TH AVENUE)

SCALE: N.T.S.

REVISIONS:	CITY OF SURREY FILE #: 7917-0304-00	SEAL
2017-06-15 ISSUED FOR RZ / DP		
1 2017-12-12 DP REVISIONS		
2 2018-04-24 PLANNING COMMENTS		



PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT

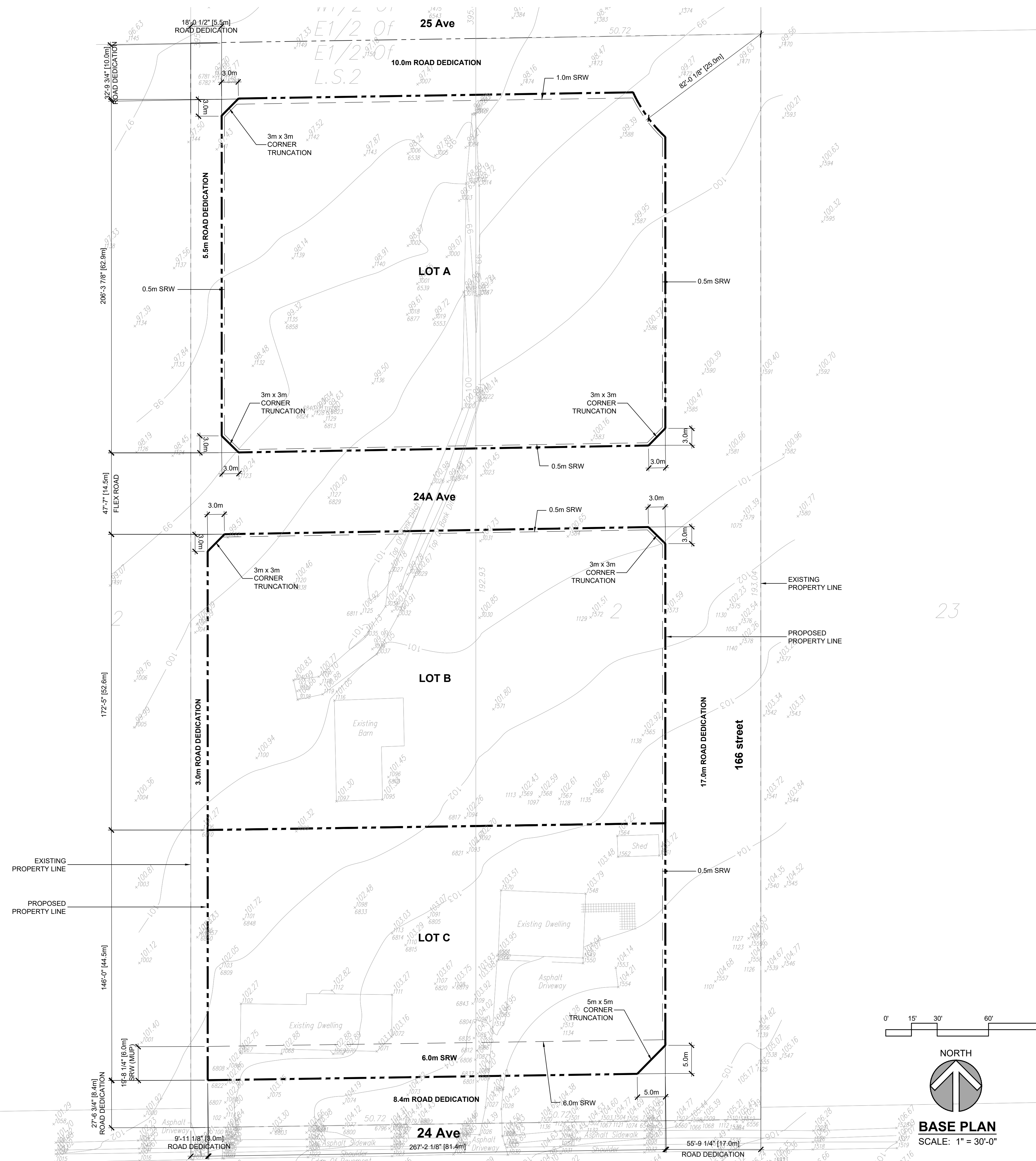
LOCATION
**16555 - 24 AVENUE
SURREY BC**

CLIENT
PENMAT MANA ORCHARD

DRAWING TITLE
COLOURED STREETScapeS

DATE 2016.05.12 FILE NO.
DWN. lc/ms
CHK. ch **1614**

SHEET NO.
DP-0.0b



2018-04-24	PLANNING COMMENTS
2017-12-12	DP REVISIONS
2017-06-15	ISSUED FOR RZ / DP
REVISIONS	
CONSULTANT	

CLIENT
PENMAT MANA ORCHARD

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT
16575 - 24 AVENUE
SURREY BC

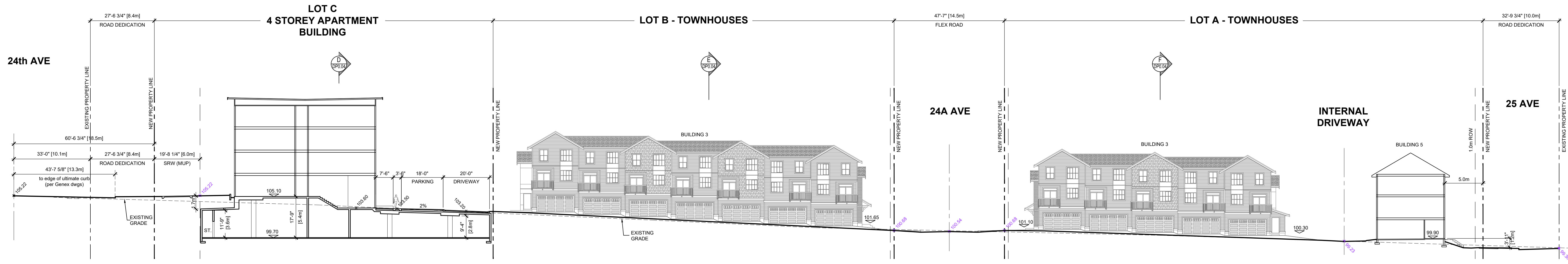
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BASE PLAN

DATE	2017.05.02	FILE NO.	
DWN.	MS		
CHK.	CH		1614

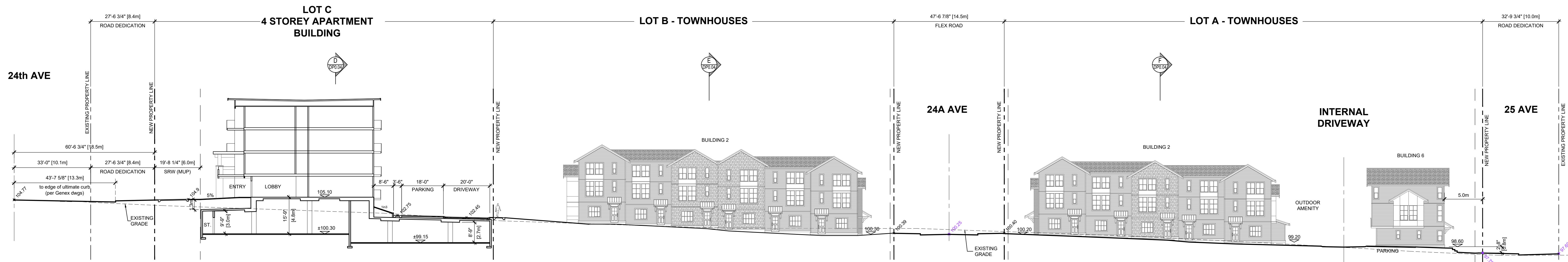
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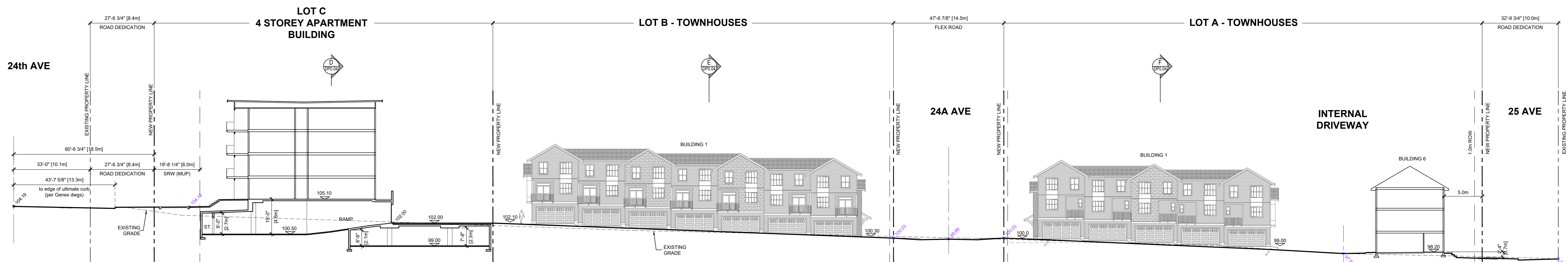
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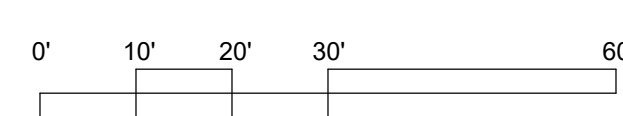
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SECTION B-B
SCALE: 1"=20'-0"



SECTION C-C
SCALE: 1"=20'-0"

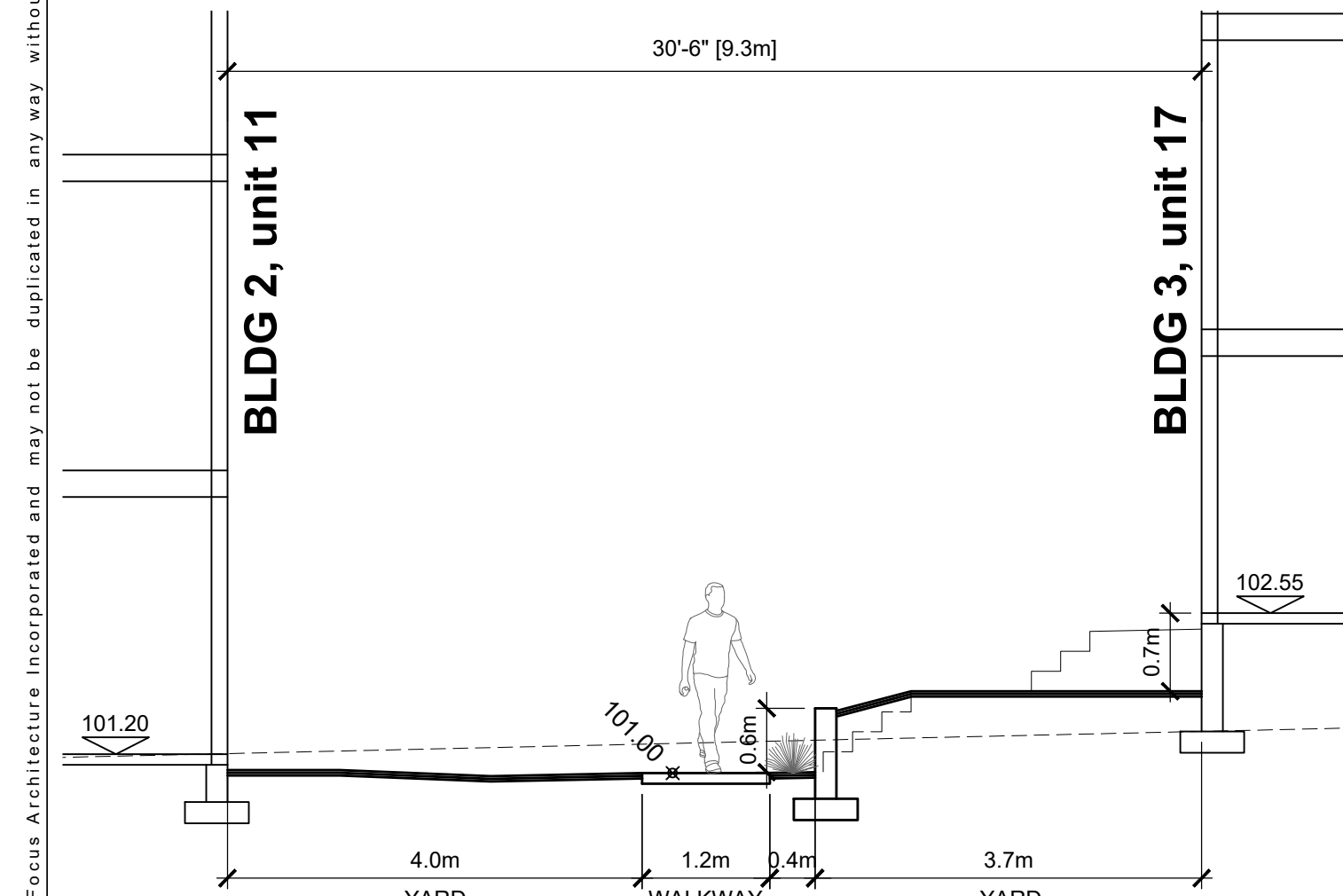


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2	2017-12-12 DP REVISIONS	
	2018-04-24 PLANNING COMMENTS	

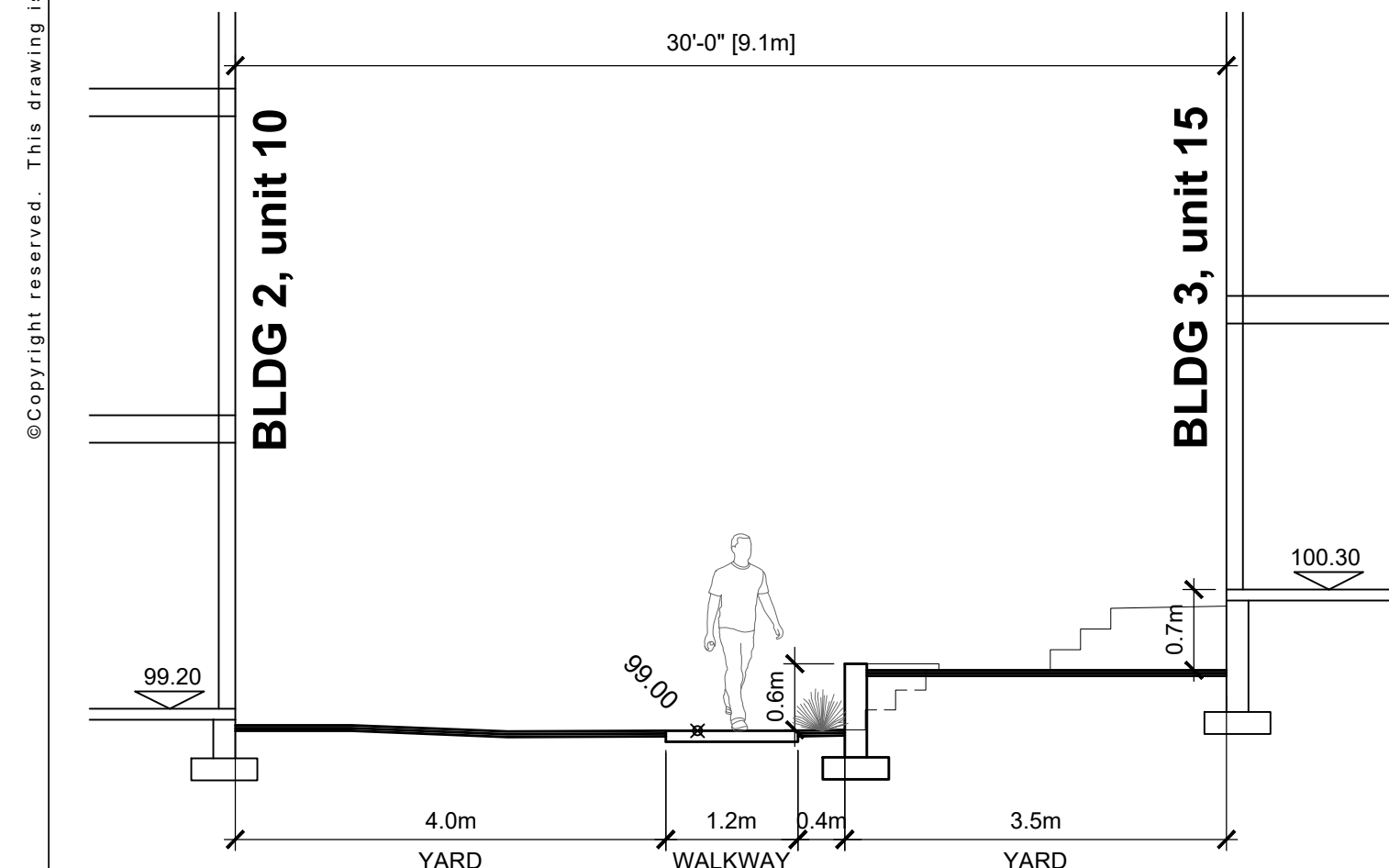


PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT
 LOCATION
 16555 - 24 AVENUE
 SURREY BC
 CLIENT
 PENMAT MANA ORCHARD

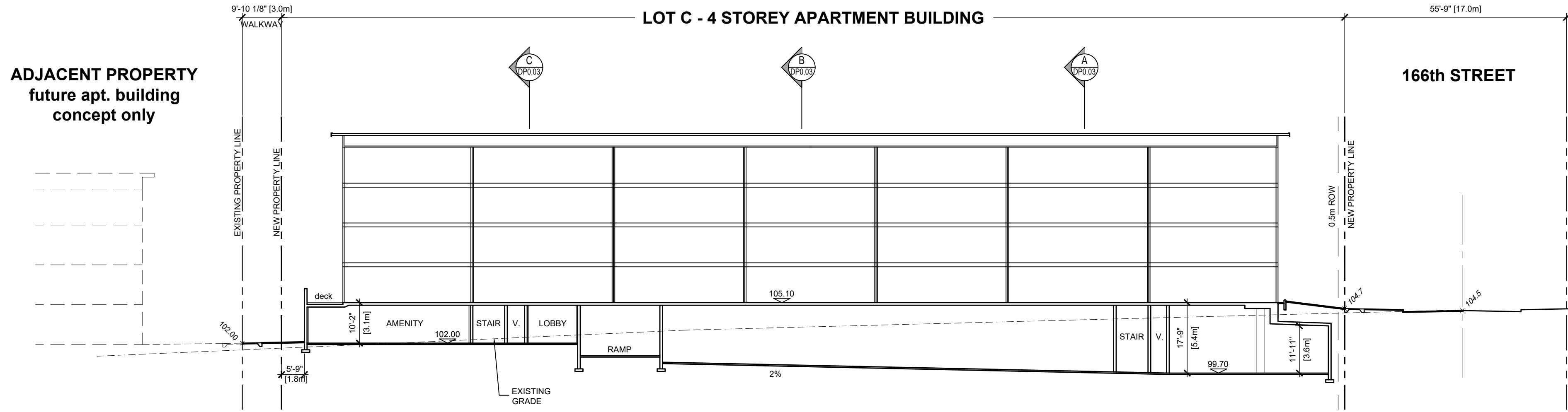
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SITE SECTIONS
 DATE 2016.05.12
 FILE NO.
 DWN. ms
 CHK. ch
1614
 SHEET NO.
DP-0.04



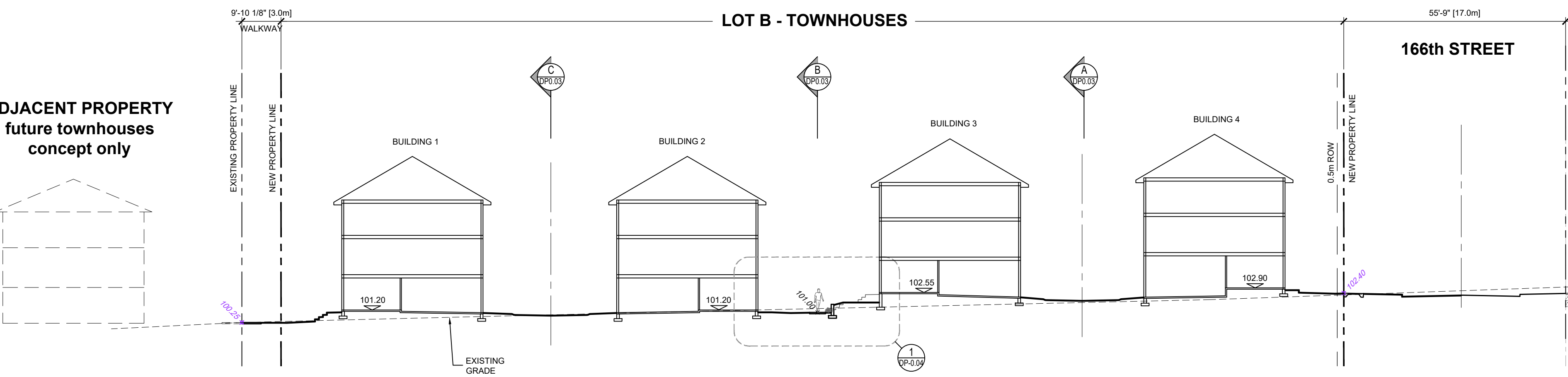
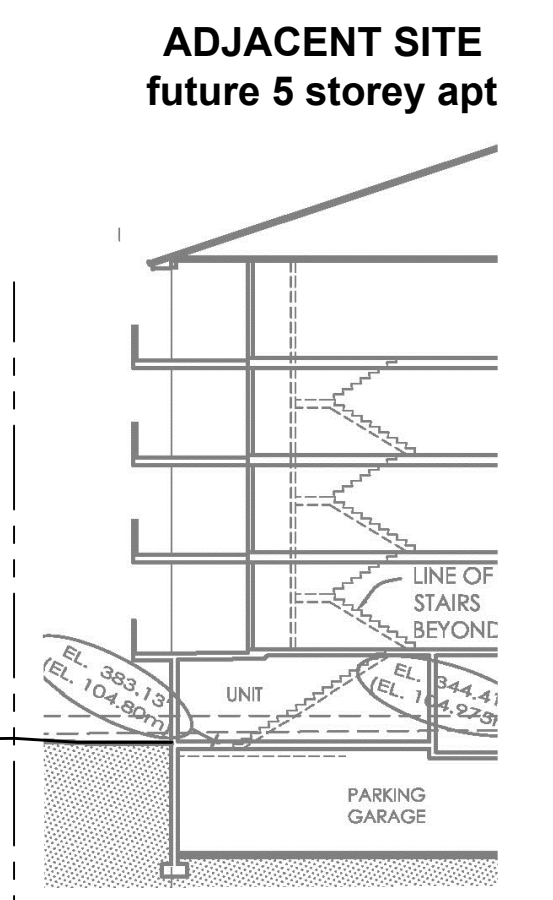
1 SITE DETAIL 1 - WALKWAY AT LOT B
SCALE: 3/16"= 1'-0"



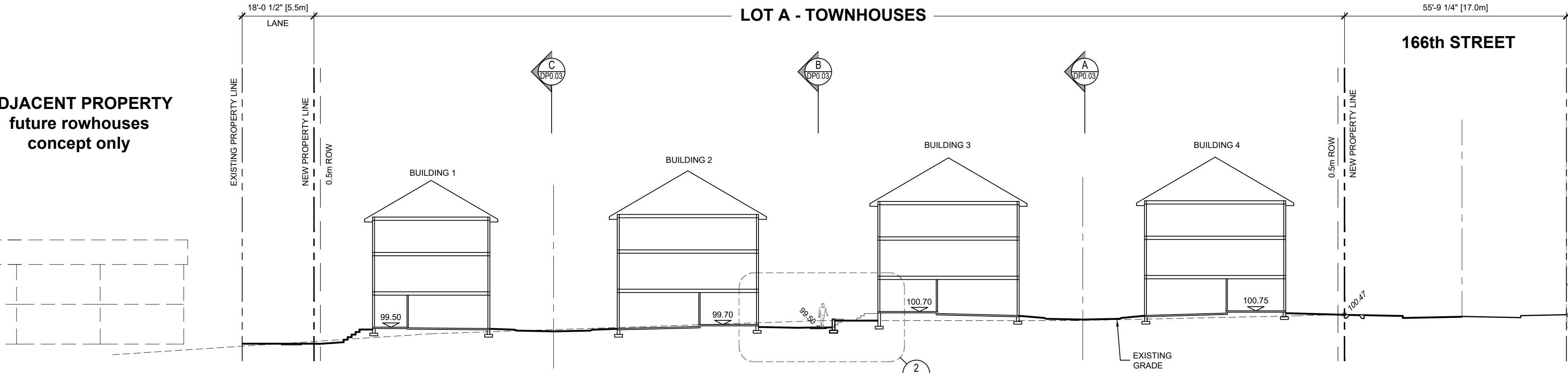
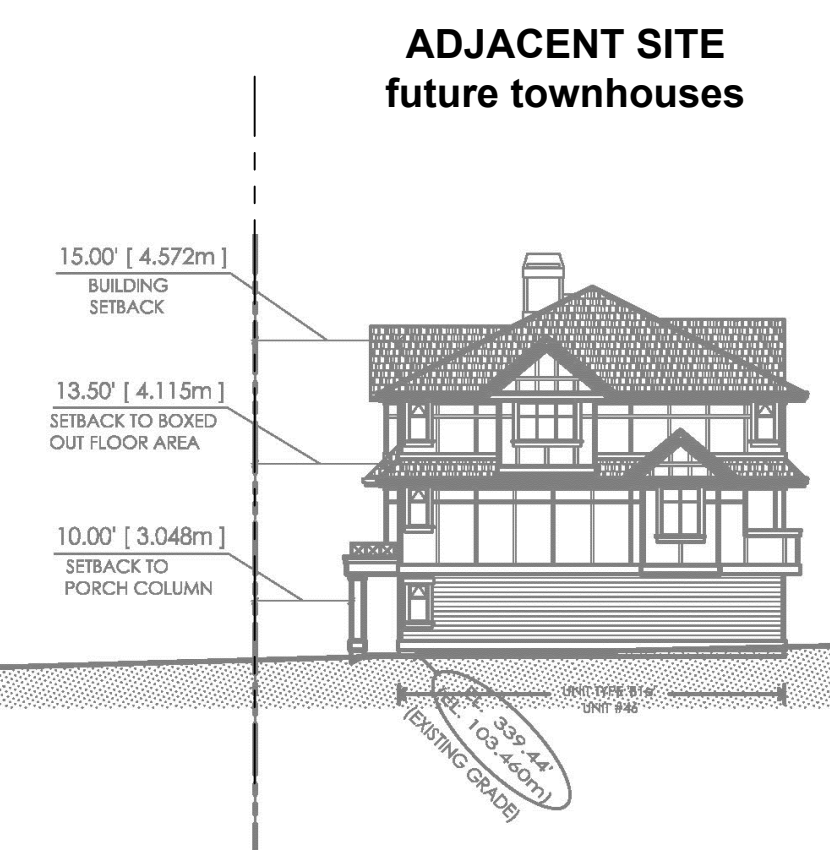
2 SITE DETAIL 2 - WALKWAY AT LOT A
SCALE: 3/16"= 1'-0"



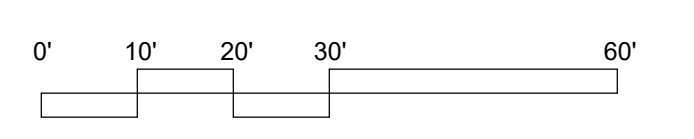
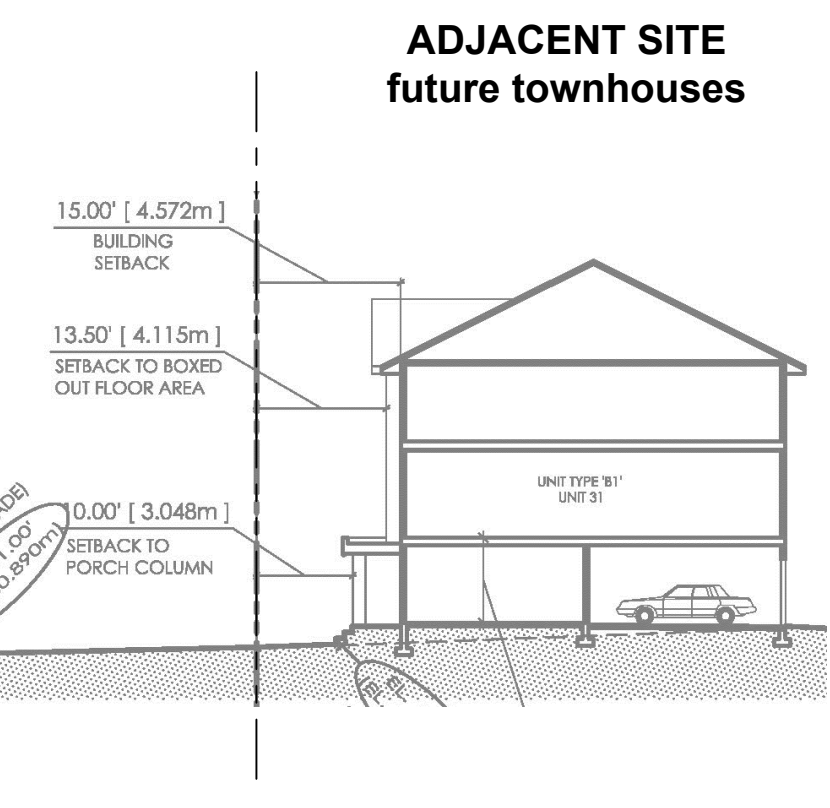
SECTION D-D
SCALE: 1"=20'-0"



SECTION E-E
SCALE: 1"=20'-0"



SECTION F-F
SCALE: 1"=20'-0"



REVISIONS:	CITY OF SURREY FILE #: 7917-0304-00	SEAL
2017-06-15 ISSUED FOR RZ / DP		
2017-12-12 DP REVISIONS		
2018-04-24 PLANNING COMMENTS		



PROJECT	DRAWING TITLE
PROPOSED MULTI-FAMILY DEVELOPMENT	SITE SECTIONS
LOCATION 16555 - 24 AVENUE SURREY BC	DATE 2016.05.12 FILE NO. DWN. ms CHK. ch 1614
CLIENT PENMAT MANA ORCHARD	SHEET NO. DP-0.05

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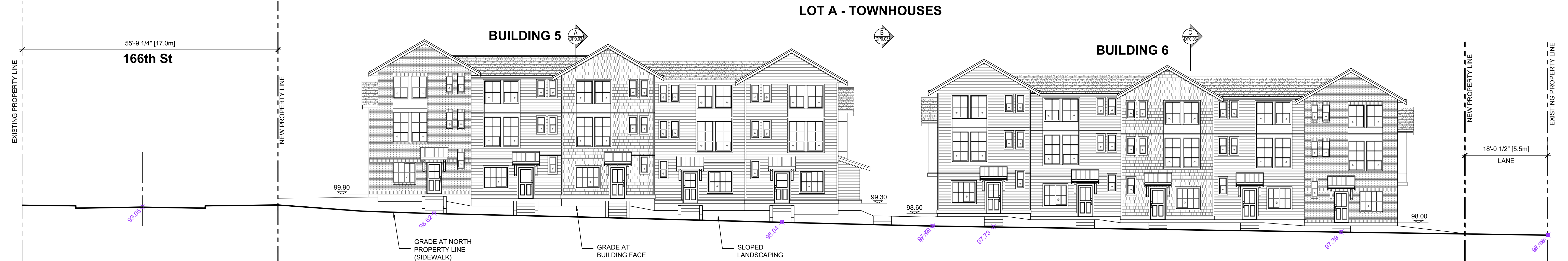
LOT C - 4 STOREY APARTMENT BUILDING



SOUTH STREETSCAPE (24TH AVENUE)

SCALE: 3/32" = 1'-0"

LOT A - TOWNHOUSES



NORTH STREETSCAPE (25TH AVENUE)

SCALE: 3/32" = 1'-0"

LOT C - 4 STOREY APARTMENT BUILDING

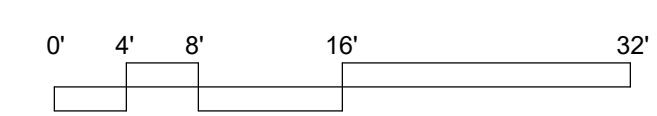


INTERNAL ROAD (LOT C)

SCALE: 3/32" = 1'-0"

ADJACENT SITE
 future
 5 storey apt
 17.0m DEDICATED
 COMBINED ROAD
 ALLOWANCE
 CORRIDOR

REVISIONS:	CITY OF SURREY FILE #: 7917-0304-00	SEAL
1	2017-06-15 ISSUED FOR RZ / DP	
2	2017-12-12 DP REVISIONS	
	2018-04-24 PLANNING COMMENTS	



PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT

LOCATION
16555 - 24 AVENUE
SURREY BC

CLIENT
PENMAT MANA ORCHARD

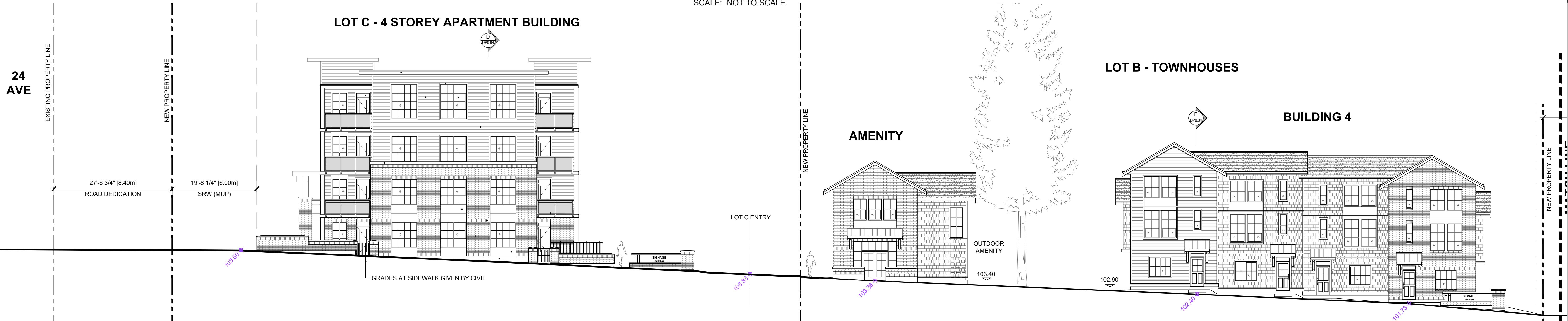
DRAWING TITLE
STREETSCAPES

DATE 2016.05.12 FILE NO.
DWN. ms **1614**
CHK. ch
SHEET NO.

DP-0.06



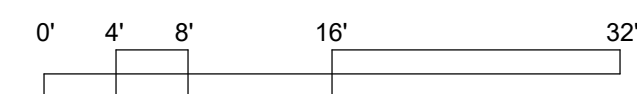
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SCALE: NOT TO SCALE



ENLARGED EAST STREETScape (166 STREET)
SCALE: 3/32" = 1'-0"



ENLARGED EAST STREETScape (166 STREET)
SCALE: 3/32" = 1'-0"



REVISIONS:	CITY OF SURREY FILE #: 7917-0304-00	SEAL
2017-06-15 ISSUED FOR RZ / DP		
2017-12-12 DP REVISIONS		
2018-04-24 PLANNING COMMENTS		

FOCUS
ARCHITECTURE
INCORPORATED

PROJECT: PROPOSED MULTI-FAMILY DEVELOPMENT
LOCATION: 16555 - 24 AVENUE SURREY BC
CLIENT: PENMAT MANA ORCHARD

DRAWING TITLE: STREETSAPES
DATE: 2016.05.12
DWN: ms
CHK: ch
SHEET NO.: 1614

FILE NO.: DP-0.07



OVERALL WEST STREETScape (LANE)
SCALE: NOT TO SCALE

LOT A - TOWNHOUSES

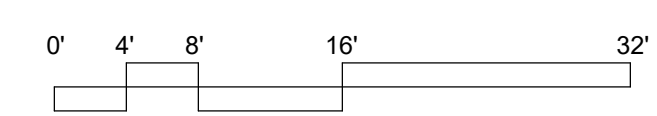


ENLARGED WEST STREETScape (LANE)
SCALE: 3/32" = 1'-0"

LOT C - 4 STOREY APARTMENT BUILDING



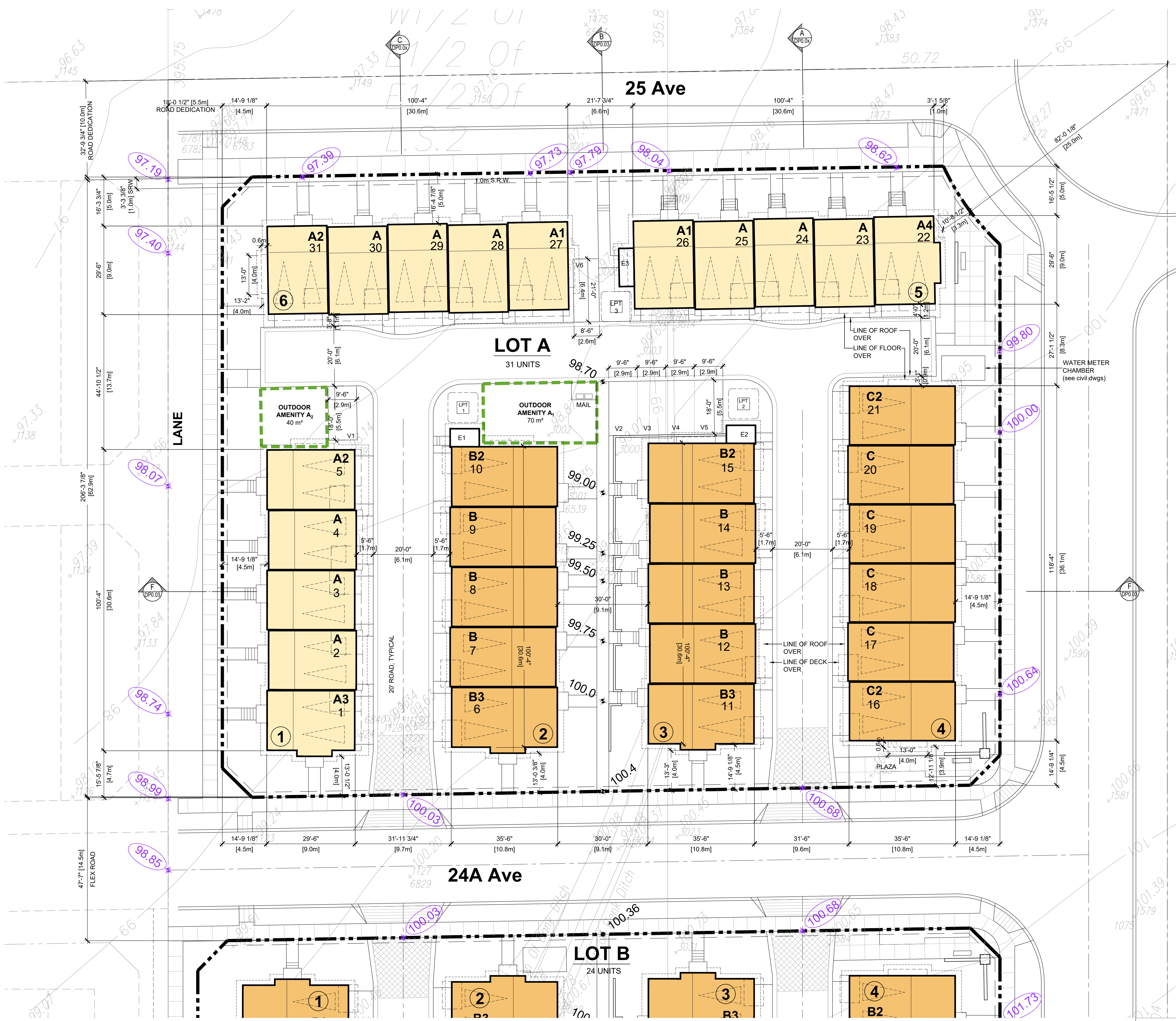
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SCALE: 3/32" = 1'-0"



REVISIONS:	CITY OF SURREY FILE #: 7917-0304-00	SEAL
1	2017-06-15 ISSUED FOR RZ / DP	
2	2017-12-12 DP REVISIONS	
3	2018-04-24 PLANNING COMMENTS	

	PROJECT	DRAWING TITLE
	PROPOSED MULTI-FAMILY DEVELOPMENT	STREETSCAPES
	LOCATION	DATE 2016.05.12 FILE NO.
	16555 - 24 AVENUE	DWN. ms 1614
	SURREY BC	CHK. ch
CLIENT	SHEET NO.	
PENMAT MANA ORCHARD	DP-0.08	

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SITE RECONCILIATION

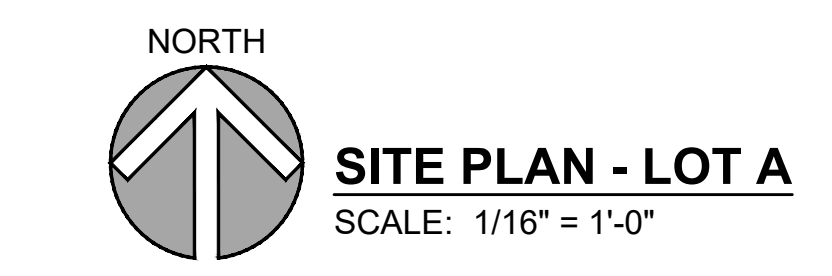
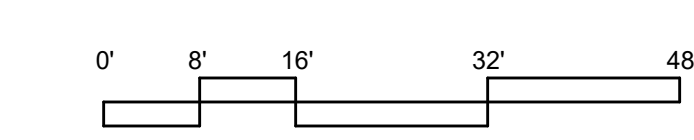
LOT A	
NET LOT AREA:	53,023 sq. ft. / 4,926.0 m ² / 1,217 ac / 0.492 ha
ZONE:	EXISTING: RA PROPOSED: RM-30
DENSITY (NCP):	TOWNHOUSE (15-30 upa)
ALLOWED PER NCP:	1,217 ac x 30 upa = 36,510 units
PROPOSED:	31 units
PROPOSED UPA:	31 units / 1,217 ac = 26 upa (63 upa)
	5.5 UNITS TO BE TRANSFERRED TO LOT C
FAR ALLOWED (NET):	0.9
FAR PROPOSED (NET):	0.898 = 47,605sf / 53,023sf
LOT COVER ALLOWED (NET):	45%
LOT COVER PROPOSED (NET):	41% = 21,708sf / 53,023sf
SETBACKS:	PROPOSED TO FARTHEST PROJECTION:
FRONT (EAST):	4.5m
REAR (WEST):	4.5m
SIDE (EXT. NORTH):	4.0m (AT BLDG 6, UNIT 31, 4.0m long projection)
SIDE (EXT. SOUTH):	4.5m
	3.9m (AT BLDG 4, UNIT 16, 4.0m long projection)
BUILDING HEIGHT ALLOWED:	13.0m
BUILDING HEIGHT PROPOSED:	10.1m (BUILDINGS 2 AND 4)
VISITOR PARKING:	
REQUIRED:	31 UNITS x 0.2 = 6.2 CARS
PROVIDED:	6 CARS
OUTDOOR AMENITY:	
REQUIRED:	31 UNITS x 3 m ² = 93 m ²
PROVIDED:	110 m ²
INDOOR AMENITY:	
REQUIRED:	31 UNITS x 3 m ² = 93 m ²
PROVIDED:	SEE LOT B FOR TOTAL PROVIDED (INDOOR AMENITY TO BE SHARED BETWEEN LOT A AND LOT B)

LOT A - UNIT DATA AND FLOOR AREA SUMMARY *NOT INCL. GARAGES						
UNIT TYPE	COUNT	GARAGE	LOWER	MAIN	UPPER	SITE TOTALS
A - 3 BED	9	413 sq.ft.	177 sq.ft.	546 sq.ft.	630 sq.ft.	1,353 sq.ft. 12,177 sq.ft.
A1 - 3 BED	2	417 sq.ft.	178 sq.ft.	577 sq.ft.	635 sq.ft.	1,390 sq.ft. 2,780 sq.ft.
A2 - 3 BED	2	417 sq.ft.	178 sq.ft.	577 sq.ft.	635 sq.ft.	1,390 sq.ft. 2,780 sq.ft.
A3 - 3 BED	1	441 sq.ft.	178 sq.ft.	675 sq.ft.	635 sq.ft.	1,388 sq.ft. 1,388 sq.ft.
A4 - 3 BED	1	444 sq.ft.	178 sq.ft.	679 sq.ft.	635 sq.ft.	1,392 sq.ft. 1,392 sq.ft.
B - 4 BED	6	413 sq.ft.	297 sq.ft.	678 sq.ft.	710 sq.ft.	1,685 sq.ft. 10,110 sq.ft.
B2 - 4 BED	2	417 sq.ft.	299 sq.ft.	710 sq.ft.	716 sq.ft.	1,725 sq.ft. 3,450 sq.ft.
B3 - 4 BED	2	432 sq.ft.	307 sq.ft.	708 sq.ft.	716 sq.ft.	1,731 sq.ft. 3,462 sq.ft.
C - 4 BED	4	406 sq.ft.	292 sq.ft.	678 sq.ft.	698 sq.ft.	1,668 sq.ft. 6,672 sq.ft.
C2 - 4 BED	2	410 sq.ft.	294 sq.ft.	699 sq.ft.	704 sq.ft.	1,697 sq.ft. 3,394 sq.ft.
TOTAL	31					47,605 sq.ft.*

LOT A - LOT COVERAGE SUMMARY			
BLDG	# OF UNITS	LOT COVERAGE	
1	5	3,211 sq.ft.	298.3 m ²
2	5	3,808 sq.ft.	353.8 m ²
3	5	3,808 sq.ft.	353.8 m ²
4	6	4,416 sq.ft.	410.3 m ²
5	5	3,253 sq.ft.	302.2 m ²
6	5	3,213 sq.ft.	298.5 m ²
TOTAL	31	21,708 sq.ft.	2,016.7 m²

NOTE:
ALL WORK WITHIN TPZs TO BE SUPERVISED
BY PROJECT ARBORIST

00.00+ PROPOSED CIVIL GRADES



CITY OF SURREY FILE #:
7917-0304-00

2018-04-24 PLANNING COMMENTS
2017-12-12 DP REVISIONS
2017-06-15 ISSUED FOR RZ / DP
REVISIONS
CONSULTANT

CLIENT
PENMAT MANA ORCHARD

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT
16575 - 24 AVENUE
SURREY BC

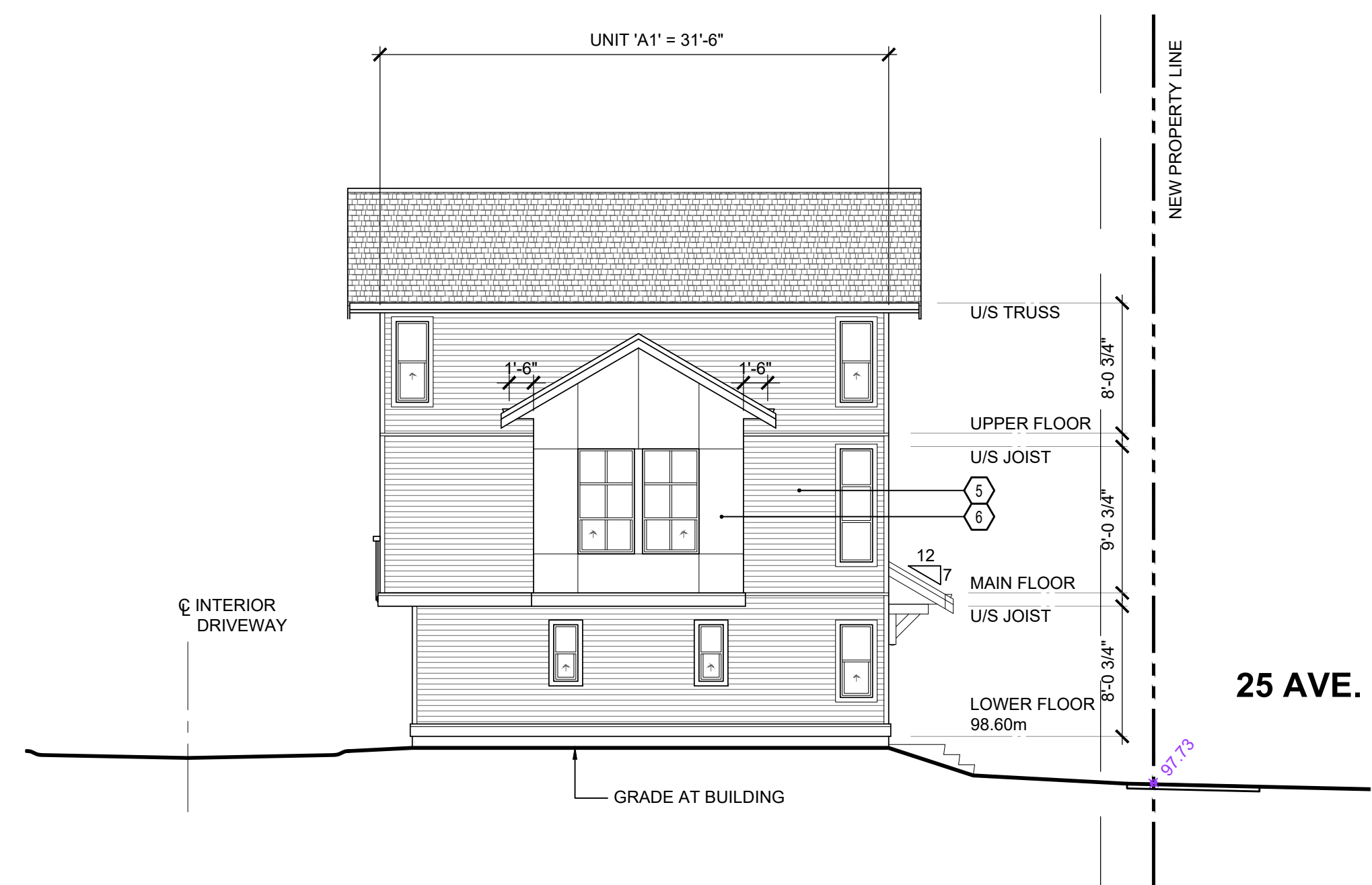
DRAWING TITLE
SITE PLAN LOT A

DATE 2016.05.12 FILE NO.
DWN. MS, FC
CHK. CH **1614**

SEAL
SHEET NO.

LOT A - TOWNHOUSE

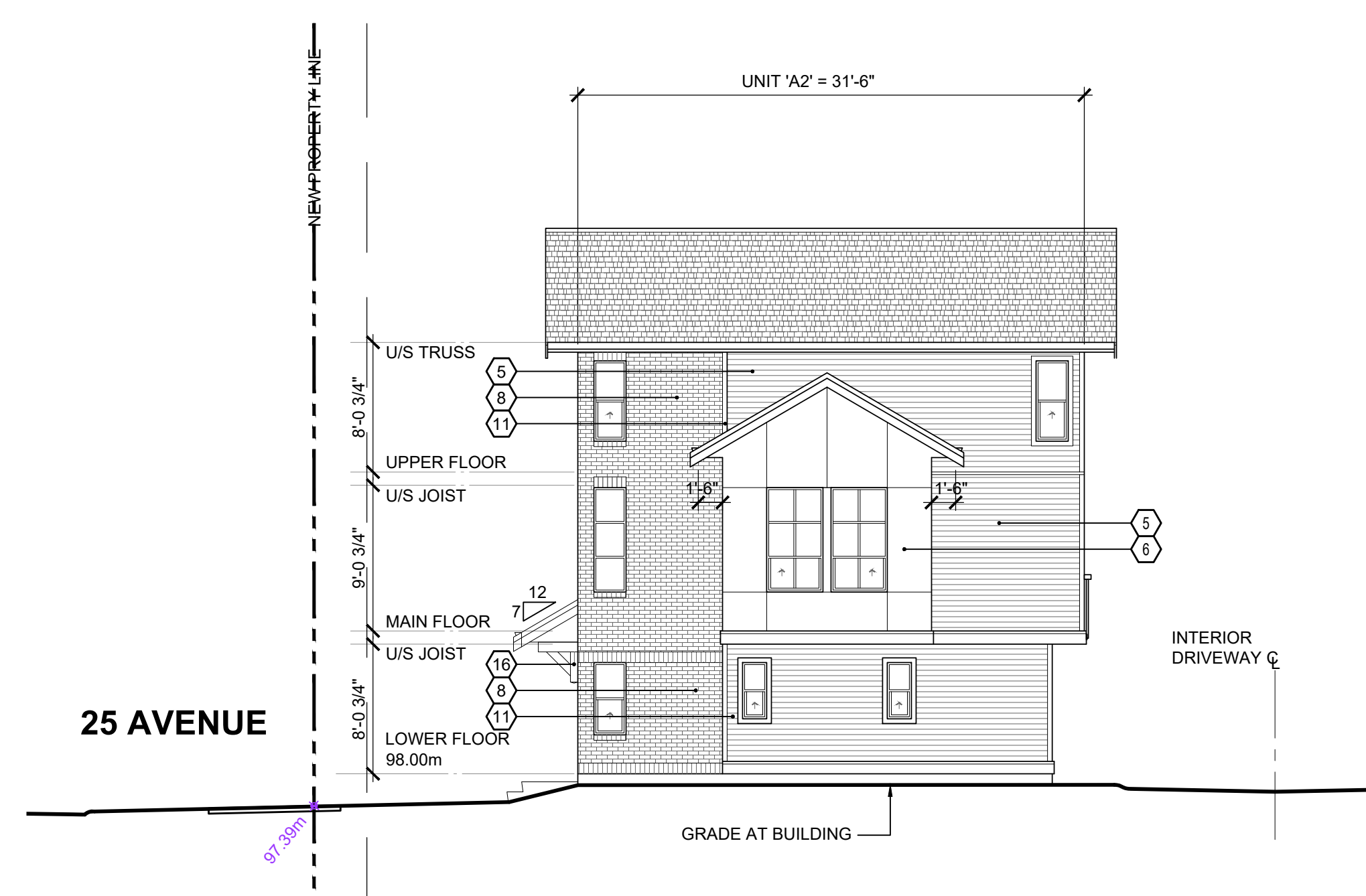
DP.A-0.01



SIDE ELEVATION (EAST)
SCALE: 1/8"=1'-0"



FRONT ELEVATION AT 25 AVENUE (NORTH)
SCALE: 1/8"=1'-0"

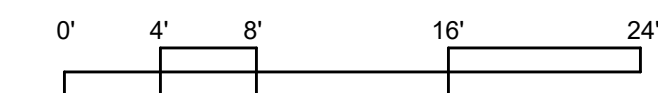


SIDE ELEVATION AT LANE (WEST)
SCALE: 1/8"=1'-0"



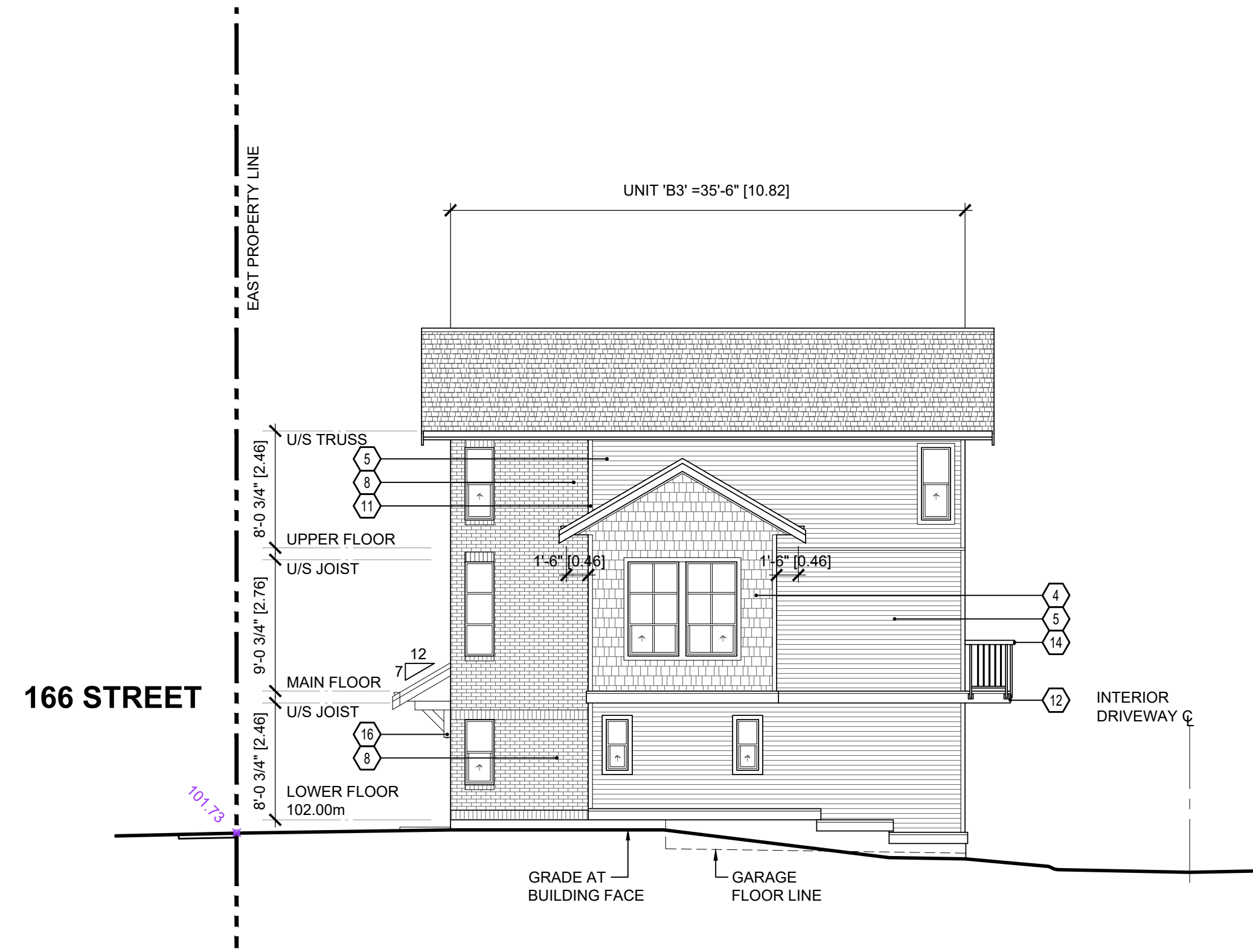
REAR ELEVATION AT INTERNAL DRIVEWAY (SOUTH)
SCALE: 1/8"=1'-0"

COLOUR SCHEME		ELEVATION MATERIAL LEGEND	
ROOFING	PABCO - PREMIER, 'PEWTER GRAY'	1 ASPHALT SHINGLE ROOF	5 HORIZONTAL CEMENT BOARD SIDING
EXTERIOR CLADDING 1	JAMES HARDIE, 'ARCTIC WHITE'	2 1x4 PAINTED WOOD TRIM ON 2x10 PAINTED WOOD FASCIA	6 CEMENT BOARD PANEL SYSTEM W/ 'EASY TRIM' OR APPROVED EQUAL
EXTERIOR CLADDING 2	JAMES HARDIE, 'AGED PEWTER'	3 5" ALUMINUM GUTTER ON 2x8 PAINTED WOOD FASCIA	7 THROUGH-WALL METAL FLASHING
EXTERIOR CLADDING 3	JAMES HARDIE, 'IRON GREY'	4 FIBRE CEMENT SHINGLE SIDING	8 BRICK VENEER
BRICK	MUTUAL MATERIALS, 'LIMESTONE'		
TRIMS, FASCIA, ENTRY DOOR	'BENJAMIN MOORE' 2124-10 'WROUGHT IRON' 'SILVER'		
METAL ROOFING	WOOD, GRAIN AND STAIN COLOUR T.B.D.		
BRACKETS			
		9 DOUBLE GLAZED P.V.C. WINDOW	14 42" HEIGHT ALUMINUM GUARDRAIL
		10 DOUBLE GLAZED P.V.C. SLIDING DOOR	15 METAL ROOF
		11 1x4 PAINTED WOOD TRIM	16 KNEE BRACKET
		12 2x10 PAINTED WOOD TRIM W/ METAL FLASHING	17 ENTRY DOOR
		13 PRIVACY SCREEN	18 OVERHEAD GARAGE DOOR



LOT A - TOWNHOUSE

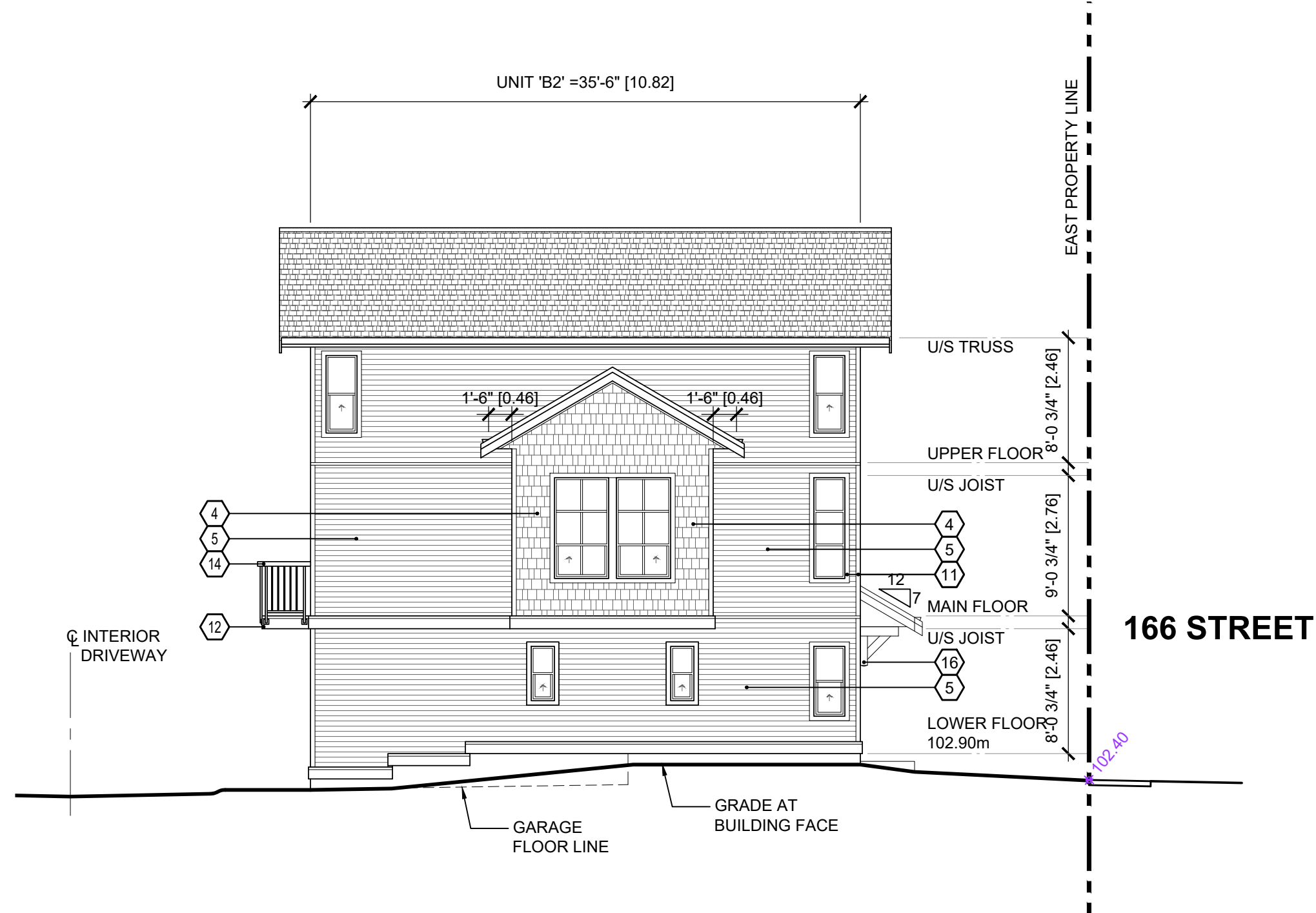
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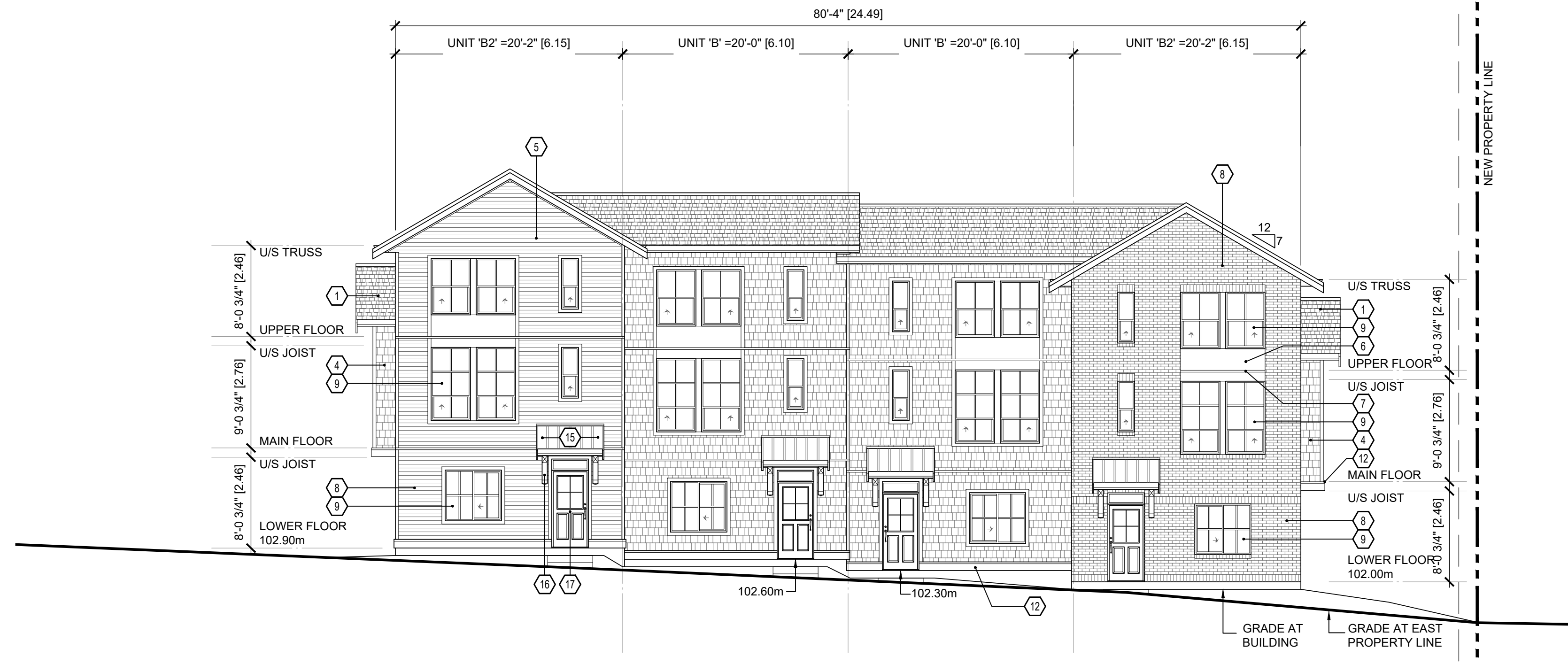
SIDE ELEVATION AT 24A AVENUE (NORTH)
SCALE: 1/8"=1'-0"



REAR ELEVATION AT INTERIOR DRIVEWAY (WEST)
SCALE: 1/8"=1'-0"

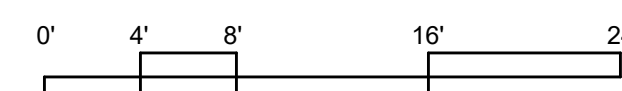


SIDE ELEVATION (SOUTH)
SCALE: 1/8"=1'-0"



FRONT ELEVATION AT 166 STREET (EAST)
SCALE: 1/8"=1'-0"

<p>COLOUR SCHEME</p> <p>ROOFING PABCO - PREMIER, 'PEWTER GRAY'</p> <p>EXTERIOR CLADDING 1 JAMES HARDIE, 'ARCTIC WHITE'</p> <p>EXTERIOR CLADDING 2 JAMES HARDIE, 'AGED PEWTER'</p> <p>EXTERIOR CLADDING 3 JAMES HARDIE, 'IRON GREY'</p> <p>BRICK MUTUAL MATERIALS, 'LIMESTONE'</p> <p>TRIMS, FASCIA, ENTRY DOOR 'BENJAMIN MOORE' 2124-10 'WROUGHT IRON'</p> <p>METAL ROOFING 'SILVER'</p> <p>BRACKETS WOOD, GRAIN AND STAIN COLOUR T.B.D.</p>	<p>ELEVATION MATERIAL LEGEND</p> <p>1 ASPHALT SHINGLE ROOF</p> <p>2 1x4 PAINTED WOOD TRIM ON 2x10 PAINTED WOOD FASCIA</p> <p>3 5" ALUMINUM GUTTER ON 2x8 PAINTED WOOD FASCIA</p> <p>4 FIBRE CEMENT SHINGLE SIDING</p> <p>5 HORIZONTAL CEMENT BOARD SIDING</p> <p>6 CEMENT BOARD PANEL SYSTEM W/ 'EASY TRIM' OR APPROVED EQUAL</p> <p>7 THROUGH-WALL METAL FLASHING</p> <p>8 BRICK VENEER</p> <p>9 DOUBLE GLAZED P.V.C. WINDOW</p> <p>10 DOUBLE GLAZED P.V.C. SLIDING DOOR</p> <p>11 1x4 PAINTED WOOD TRIM</p> <p>12 2x10 PAINTED WOOD TRIM W/ METAL FLASHING</p> <p>13 PRIVACY SCREEN</p> <p>14 42" HEIGHT ALUMINUM GUARDRAIL</p> <p>15 METAL ROOF</p> <p>16 KNEE BRACKET</p> <p>17 ENTRY DOOR</p> <p>18 OVERHEAD GARAGE DOOR</p>
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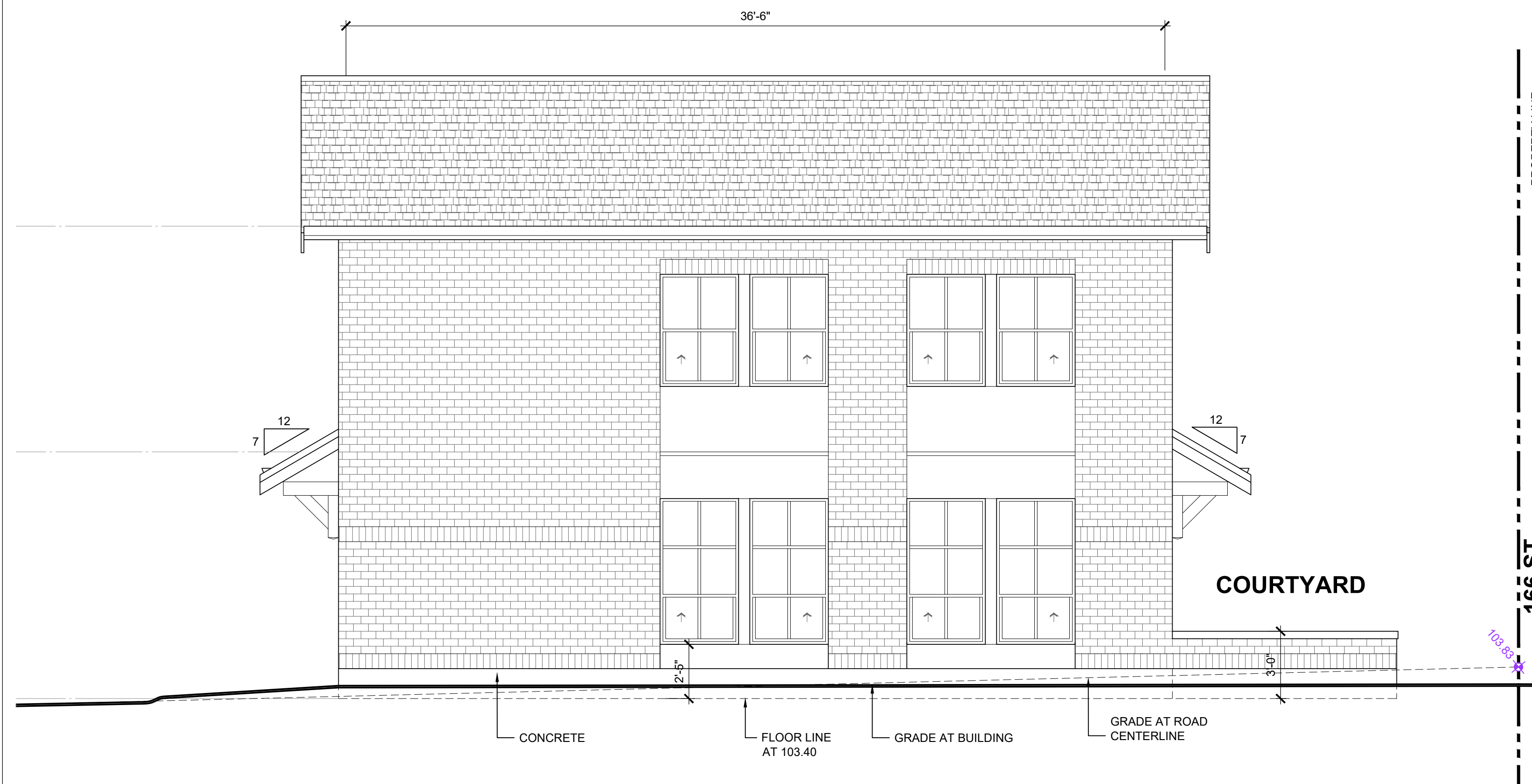
LOT B - TOWNHOUSE



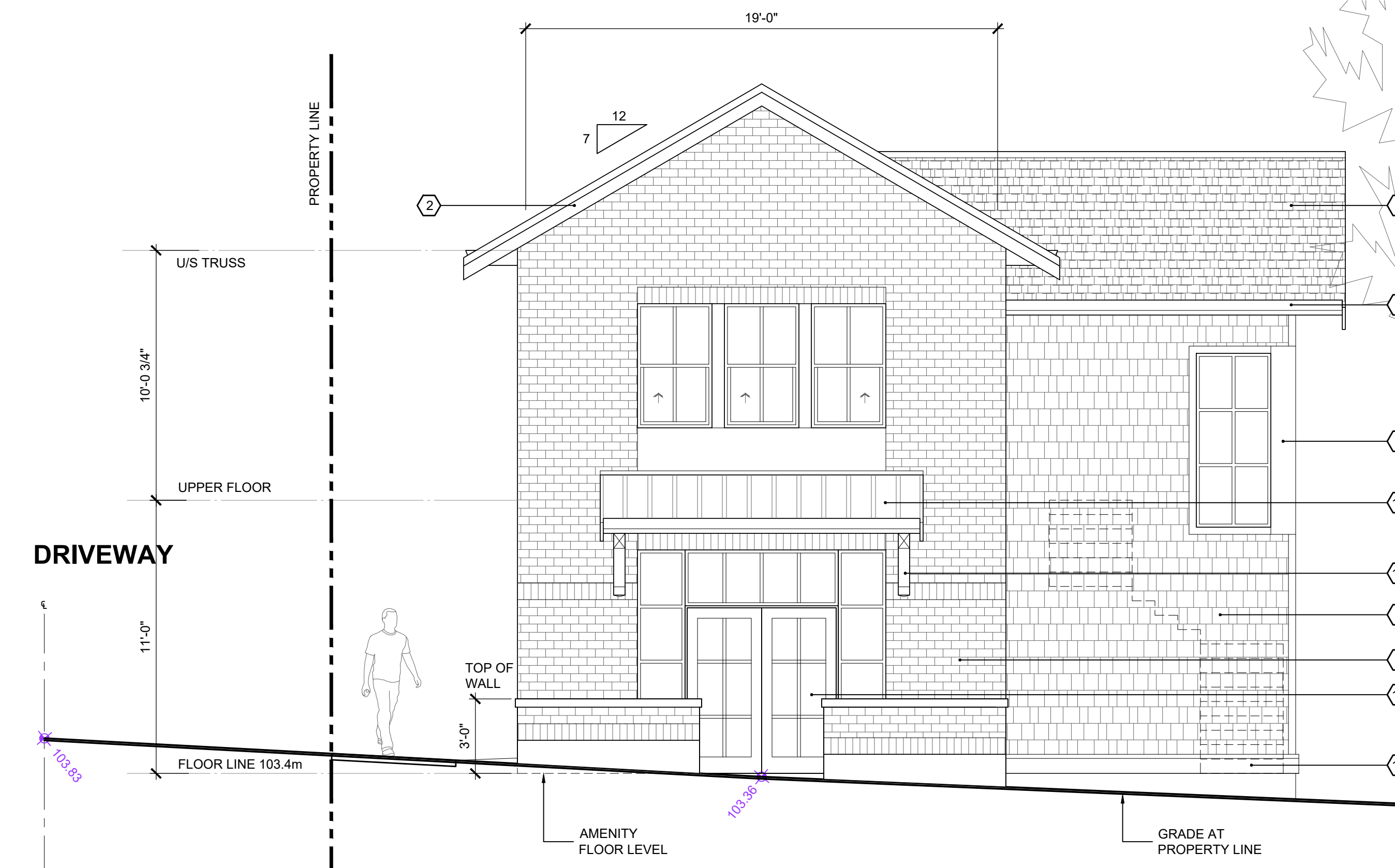
SIDE ELEVATION (NORTH)
SCALE: 1/4"=1'-0"



REAR ELEVATION AT INTERNAL DRIVEWAY (WEST)
SCALE: 1/4"=1'-0"



SIDE ELEVATION (SOUTH)
SCALE: 1/4"=1'-0"



FRONT ELEVATION AT 166 STREET (EAST)
SCALE: 1/4"=1'-0"

COLOUR SCHEME

ROOFING	PABCO - PREMIER, 'PEWTER GRAY'
EXTERIOR CLADDING 1	JAMES HARDIE, 'ARCTIC WHITE'
EXTERIOR CLADDING 2	JAMES HARDIE, 'AGED PEWTER'
EXTERIOR CLADDING 3	JAMES HARDIE, 'IRON GREY'
BRICK	MUTUAL MATERIALS, 'LIMESTONE'
TRIMS, FASCIA, ENTRY DOOR	'BENJAMIN MOORE' 2124-10 'WROUGHT IRON'
METAL ROOFING	'SILVER'
BRACKETS	WOOD, GRAIN AND STAIN COLOUR T.B.D.

ELEVATION MATERIAL LEGEND

1 ASPHALT SHINGLE ROOF	5 HORIZONTAL CEMENT BOARD SIDING	9 DOUBLE GLAZED P.V.C. WINDOW	14 42" HEIGHT ALUMINUM GUARDRAIL
2 1x4 PAINTED WOOD TRIM ON 2x10 PAINTED WOOD FASCIA	6 CEMENT BOARD PANEL SYSTEM W/ 'EASY TRIM' OR APPROVED EQUAL	10 DOUBLE GLAZED P.V.C. SLIDING DOOR	15 METAL ROOF
3 5" ALUMINUM GUTTER ON 2x8 PAINTED WOOD FASCIA	7 THROUGH-WALL METAL FLASHING	11 1x4 PAINTED WOOD TRIM	16 KNEE BRACKET
4 FIBRE CEMENT SHINGLE SIDING	8 BRICK VENEER	12 2x10 PAINTED WOOD TRIM W/ METAL FLASHING	17 ENTRY DOOR
		13 PRIVACY SCREEN	18 OVERHEAD GARAGE DOOR

2018-04-24
PLANNING COMMENTS

2017-12-12
DP REVISIONS

2017-06-15
ISSUED FOR RZ / DP
REVISIONS
CONSULTANT

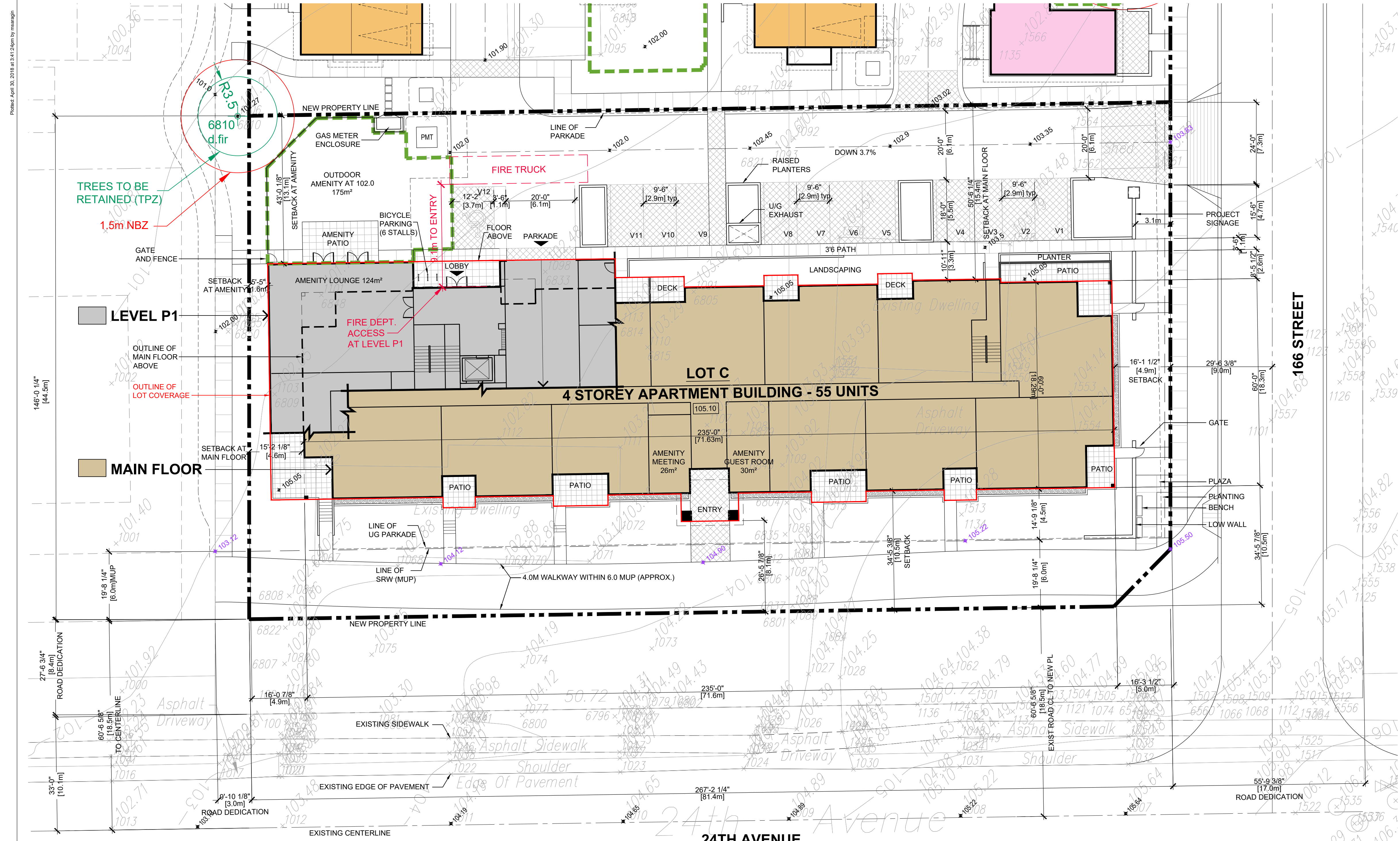
CLIENT
PENMAT MANA ORCHARD

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT
16575 - 24 AVENUE
SURREY BC

DRAWING TITLE
Amenity Elevations

DATE 2016.05.12 FILE NO.
DWN. FC, MS
CHK. CH **1614**

SEAL
SHEET NO.



SITE RECONCILIATION

LOT C

NET LOT AREA:	38,875 sf / 3,611.6 m ² / 0.892 ac / 0.361 ha
ZONE:	EXISTING: RA PROPOSED: RM-70
DENSITY (INCP):	MULTI-FAMILY (30-45 upa) 0.892 ac x 45 upa = 40.1 units
ALLOWED PER NCP:	+ 5.5 units from LOT A + 7.7 units from LOT B = 53.3 units
TOTAL ALLOWED:	55 units
PROPOSED:	55 units / 0.892 ac = 61.7 upa (152.4 uph)
FAR ALLOWED (NET):	1.5
FAR PROPOSED (NET):	1.36 = 52,998sf / 38,875sf
LOT COVER ALLOWED (NET):	33%
LOT COVER PROPOSED (NET):	41% = 15,964sf / 38,875sf (VARIANCE REQUIRED)
SETBACKS:	PROPOSED TO BUILDING FACE:
FRONT (EAST):	4.9m
REAR (WEST):	4.6m AT MAIN FLOOR / 1.6m AT AMENITY
SIDE (INT. NORTH):	15.4m AT MAIN FLOOR / 13.1m AT AMENITY
SIDE (EXT. SOUTH):	10.5m (8.1m AT ENTRY COLUMNS)
BUILDING HEIGHT ALLOWED:	50.0m
BUILDING HEIGHT PROPOSED:	18.1m
PARKING:	
RESIDENTS REQUIRED:	12 (1bed) x 1.3 = 15.6 43 (2bed) x 1.5 = 64.5 TOTAL = 80.1 STALLS
PROVIDED:	80 STALLS (UNDERGROUND) (incl. 2 HIC, 2 small cars)
VISITORS REQUIRED:	55 UNITS x 0.2 = 11 STALLS
PROVIDED:	12 STALLS (SURFACE) (incl. 1 HIC)
BICYCLE REQUIRED:	VISITOR: 6 SPACES RESIDENT: 55 UNITS x 1.2 = 66 SPACES
PROVIDED:	VISITOR: 6 SPACES (SURFACE) RESIDENT: 77 SPACES (STORAGE LOCKERS) (22 lockers w/ 2 vertical bike space per locker 33 lockers w/ 1 horizontal bike space per locker)
OUTDOOR AMENITY REQUIRED:	55 UNITS x 3 m ² = 165 m ²
PROVIDED:	175 m ²
INDOOR AMENITY REQUIRED:	55 UNITS x 3 m ² = 165 m ²
PROVIDED:	180 m ²

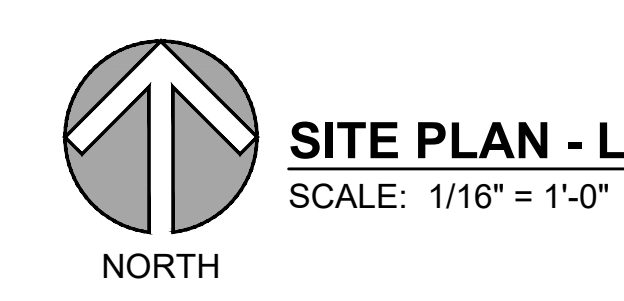
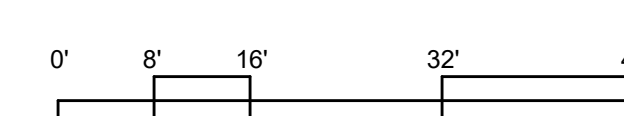
UNIT BREAKDOWN			
UNIT NAME	UNIT TYPE	# OF UNITS	AREA
A	1 + DEN	8	646sf
A1	1 BED	4	674sf
B	2 BED	8	791sf
B1	2 BED	3	851sf
C	2 BED	12	899sf
D	2 BED	3	843sf
D1	2 BED	1	800sf
E	2 + DEN	8	960sf
F	2 + DEN	8	969sf
TOTAL		55	

UNIT SUMMARY			
UNIT TYPE	# OF UNITS	AREA	RATIO
1 BED	4	674sf	7%
1 + DEN	8	646sf	15%
2 BED	27	791 - 899sf	49%
2 + DEN	16	960 - 969sf	29%
TOTAL	55		100%

LOT C - FLOOR AREA SUMMARY		
LEVEL P1 RESIDENTIAL AREA	2,094 sq.ft.	
1st FLOOR	13,186 sq.ft.	13 units
2nd FLOOR	13,219 sq.ft.	14 units
3rd FLOOR	13,219 sq.ft.	14 units
4th FLOOR	13,219 sq.ft.	14 units
GROSS FLOOR AREA	54,937 sq.ft.	55 units
INDOOR AMENITY	1,939 sq.ft.	
FLOOR AREA FOR FAR	52,998 sq.ft.	

NOTE: ALL WORK WITHIN TPZs TO BE SUPERVISED BY PROJECT ARBORIST

PROPOSED CIVIL GRADES



LOT C - APARTMENT

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FOCUS ARCHITECTURE INCORPORATED

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e info@focus.ca

CITY OF SURREY FILE #: 7917-0304-00

- 2018-04-24 ADP AND PLANNING COMMENTS
- 2018-02-22 SUBMISSION TO ADP
- 2017-12-12 DP REVISIONS
- 2017-06-15 ISSUED FOR RZ / DP

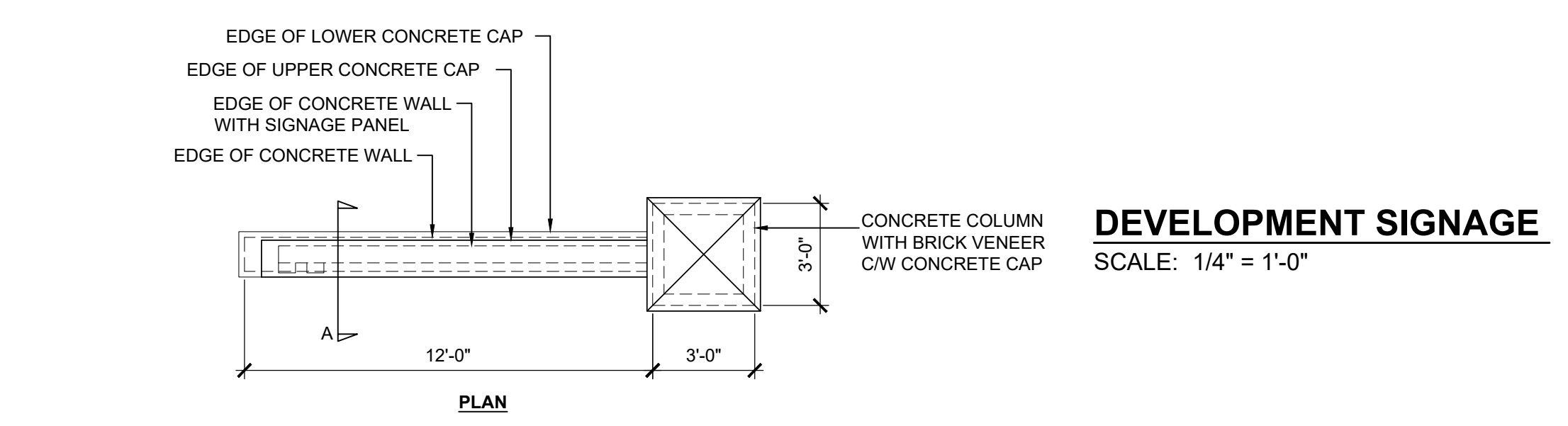
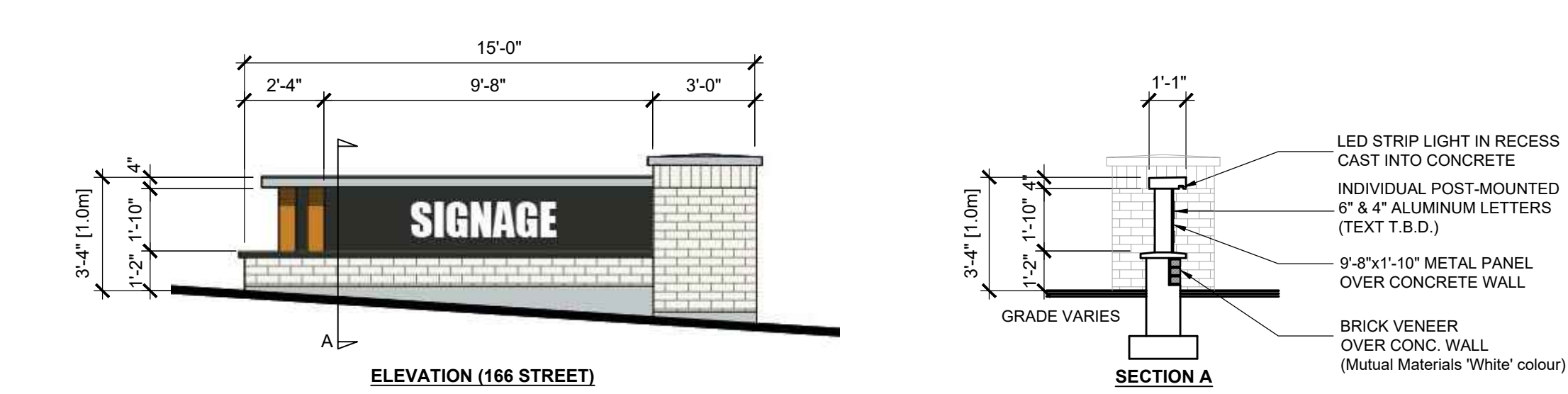
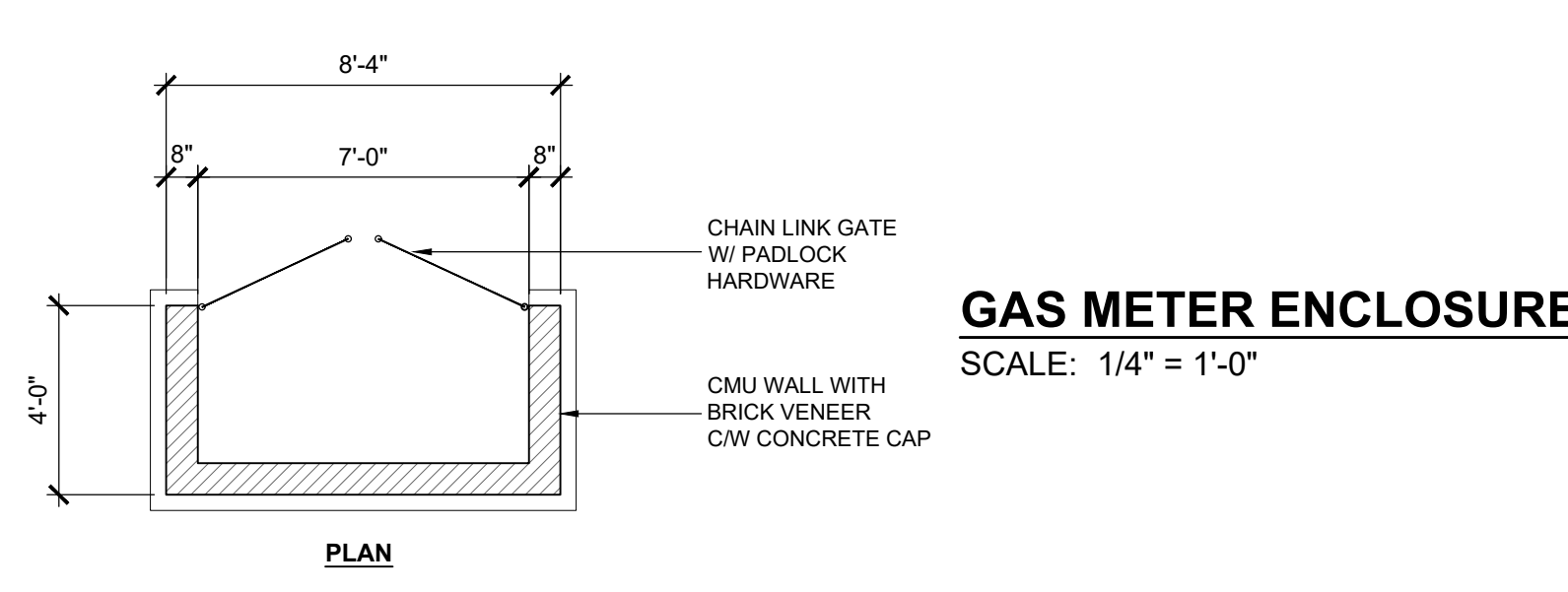
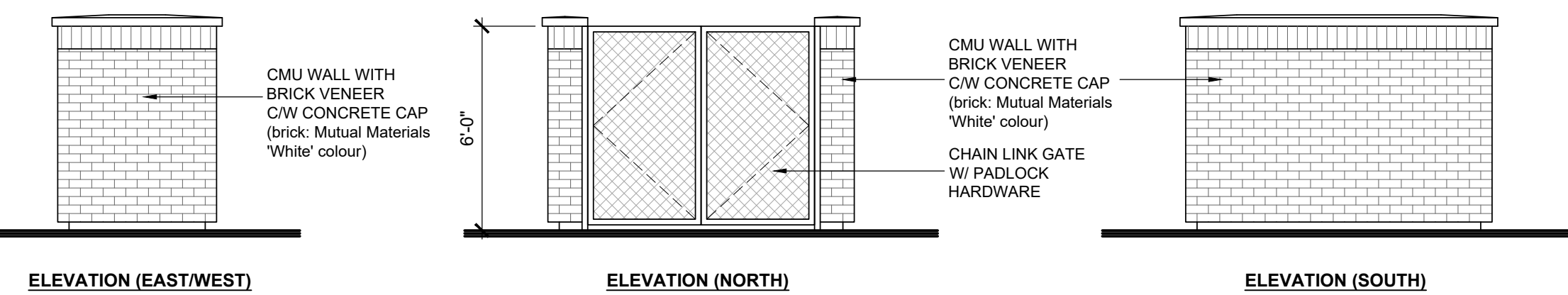
CLIENT: PENMAT MANA ORCHARD

PROJECT: PROPOSED MULTI-FAMILY DEVELOPMENT
16575 - 24 AVENUE SURREY BC

DRAWING TITLE: SITE PLAN LOT C

DATE: 2016.05.12 FILE NO. 1614
DWN. lc/ms
CHK. CH

SEAL SHEET NO. DP.C-0.01



File: Z:\2016\proj\1614_penmat_16575_24_ave\1614_penmat_16575_24_ave.dwg Date: 2016.05.12 10:45:11 AM User: lc



SOUTHWEST VIEW
SCALE: N.T.S.

LOT C - APARTMENT

CITY OF SURREY FILE #:
7917-0304-00

- 2018-04-24
ADP AND PLANNING COMMENTS
- 2018-03-22
SUBMISSION TO ADP
- 2017-12-12
DP REVISIONS
- 2017-06-15
ISSUED FOR RZ / DP

REVISIONS
CONSULTANT

CLIENT
PENMAT MANA ORCHARD

PROJECT
**PROPOSED MULTI-FAMILY
DEVELOPMENT**

16575 - 24 AVENUE
SURREY BC

DRAWING TITLE
3D VIEW

DATE	2016.05.12	FILE NO.	
DWN.	AL		
CHK.	CH		1614

SEAL
SHEET NO.
DP.C-0.02



SOUTHEAST VIEW
SCALE: N.T.S.

LOT C - APARTMENT

- 2018-04-24
ADP AND PLANNING COMMENTS
- 2018-03-22
SUBMISSION TO ADP
- 2017-12-12
DP REVISIONS
- 2017-06-15
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PENMAT MANA ORCHARD

PROJECT
**PROPOSED MULTI-FAMILY
DEVELOPMENT**

16575 - 24 AVENUE
SURREY BC

DRAWING TITLE

3D VIEW

DATE	2016.05.12	FILE NO.	
DWN.	AL		
CHK.	CH		1614

SEAL
SHEET NO.

DP.C-0.03



NORTHEAST VIEW
SCALE: N.T.S.

2018-04-24	ADP AND PLANNING COMMENTS
2018-03-22	SUBMISSION TO ADP
2017-12-12	DP REVISIONS
2017-06-15	ISSUED FOR RZ / DP
REVISIONS	
CONSULTANT	

CLIENT
PENMAT MANA ORCHARD

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT

16575 - 24 AVENUE
SURREY BC

DRAWING TITLE
3D VIEW

DATE	2016.05.12	FILE NO.
DWN.	AL	1614
CHK.	CH	

SEAL
SHEET NO.

LOT C - APARTMENT

DP.C-0.04



NORTHWEST VIEW
SCALE: N.T.S.

- 2018-04-24
ADP AND PLANNING COMMENTS
- 2018-03-22
SUBMISSION TO ADP
- 2017-12-12
DP REVISIONS
- 2017-06-15
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PENMAT MANA ORCHARD

PROJECT
**PROPOSED MULTI-FAMILY
DEVELOPMENT**
16575 - 24 AVENUE
SURREY BC

DRAWING TITLE
3D VIEW

DATE	2016.05.12	FILE NO.	
DWN.	AL		
CHK.	CH		1614

SEAL
SHEET NO.

LOT C - APARTMENT

DP.C-0.05

ADJACENT PROPERTY
future apt. building
concept only

ADJACENT
SITE
future
5 storey apt



SOUTH STREETScape (24TH AVENUE)
SCALE: N.T.S.



EAST STREETScape (166TH AVENUE)
SCALE: N.T.S.

LOT C - APARTMENT

- 2018-04-24
ADP AND PLANNING COMMENTS
- 2018-02-22
SUBMISSION TO ADP
- 2017-12-12
DP REVISIONS
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ISSUED FOR RZ / DP
REVISIONS

CONSULTANT

CLIENT
PENMAT MANA ORCHARD

PROJECT
**PROPOSED MULTI-FAMILY
DEVELOPMENT**
16575 - 24 AVENUE
SURREY BC

DRAWING TITLE
**COLOURED
STREETSCAPES**

DATE	2016.05.12	FILE NO.	
DWN.	AL		1614
CHK.	CH		

SEAL
SHEET NO.

DP.C-0.06



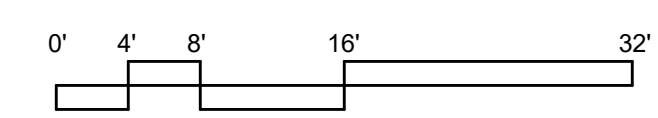
NORTH ELEVATION
SCALE: 3/32" = 1'-0"



WEST ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL LEGEND

1	HARDIE PANEL FASCIA
2	HARDIE LAP SIDING W/ 6" EXPOSURE
3	HARDIE TRIM
4	HARDIE PANEL SIDING (SMOOTH)
5	BRICK VENEER
6	ALUMINUM AND GLASS GUARDRAIL SYSTEM
7	CANOPY POSTS AND BEAMS
8	NOT USED
9	ALUMINUM FRAME PRIVACY SCREEN W/ TEMPERED FROSTED GLASS
10	SEALED DOUBLE GLAZED P.V.C. WINDOW
11	SEALED DOUBLE GLAZED PATIO/BALCONY DOOR W/ TRANSOM
12	EXPOSED CONCRETE
13	NOT USED
14	OUTLINE OF CONCRETE PLANTER
15	SIGNAGE
16	ALUMINUM STOREFRONT, BLACK FRAME AND CLEAR INSULATED GLAZING
17	METAL THROUGH-WALL FLASHING, PAINTED TO MATCH SIDING
18	REMOTE CONTROLLED SECURITY GRILLE TO PARKADE
19	ALUMINUM GUARDRAIL SYSTEM WITH PICKETS
20	EXTERIOR STEEL DOOR W/ VIEW LITE, PAINTED
21	BRICK VENEER SOLDIER COURSE
22	HARDIE WINDOW TRIMS



LOT C - APARTMENT



CITY OF SURREY FILE #:
7917-0304-00

REVISIONS

3	2018-04-24	ADP AND PLANNING COMMENTS
2	2018-03-22	SUBMISSION TO ADP
1	2017-12-12	DP REVISIONS
	2017-06-15	ISSUED FOR RZ / DP

CONSULTANT

CLIENT
PENMAT MANA ORCHARD

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT
16575 - 24 AVENUE
SURREY BC

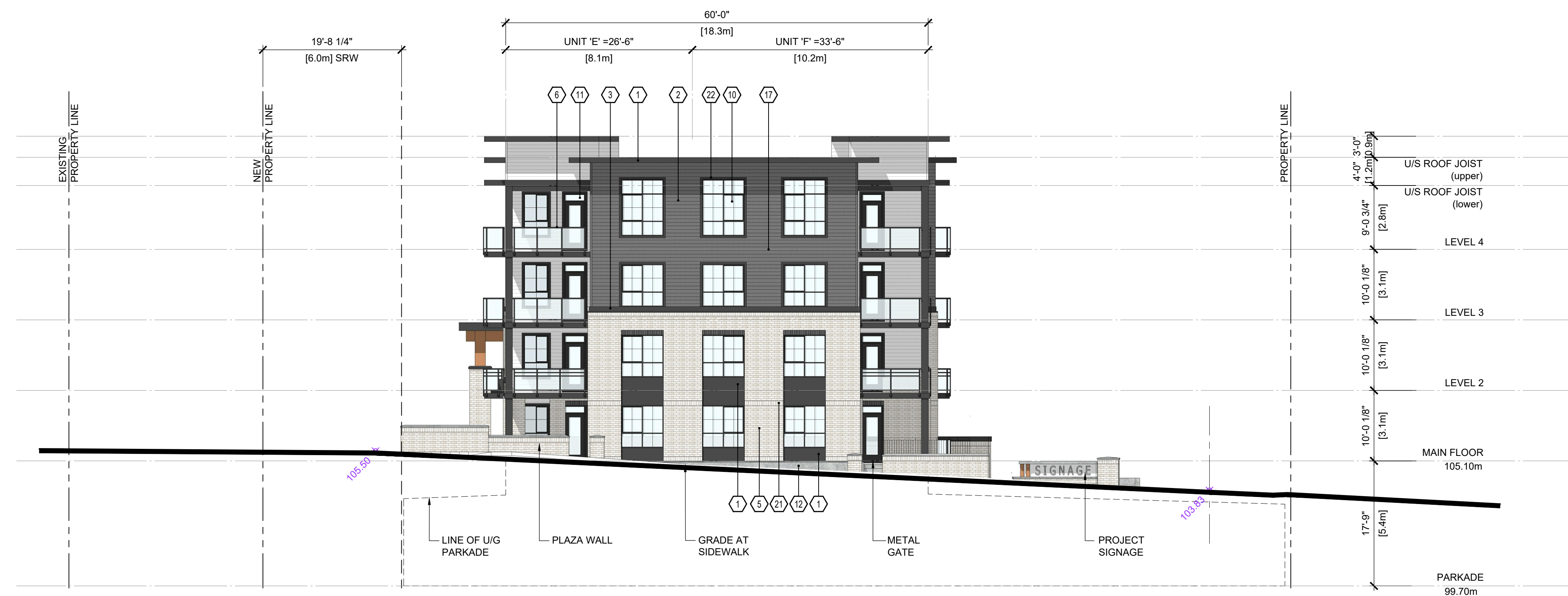
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COLOURED ELEVATIONS

DATE: 2016.05.12 FILE NO.
DWN: ms/lcal
CHK: CH **1614**

SEAL
SHEET NO.
DP.C-0.07



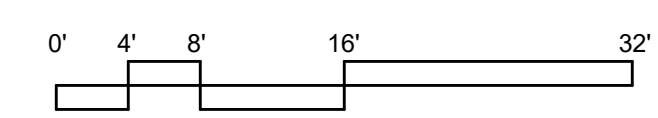
SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



EAST ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL LEGEND

1	HARDIE PANEL FASCIA
2	HARDIE LAP SIDING W/ 6" EXPOSURE
3	HARDIE TRIM
4	HARDIE PANEL SIDING (SMOOTH)
5	BRICK VENEER
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21	BRICK VENEER SOLDIER COURSE
22	HARDIE WINDOW TRIMS



LOT C - APARTMENT

CITY OF SURREY FILE #:
7917-0304-00

2018-04-24
ADP AND PLANNING COMMENTS

2018-02-22
SUBMISSION TO ADP

2017-12-12
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2017-06-15
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REVISIONS

CONSULTANT

CLIENT
PENMAT MANA ORCHARD

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT

16575 - 24 AVENUE
SURREY BC

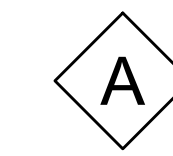
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COLOURED ELEVATIONS

DATE 2016.05.12 FILE NO.
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CHK. CH **1614**

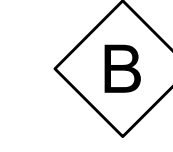
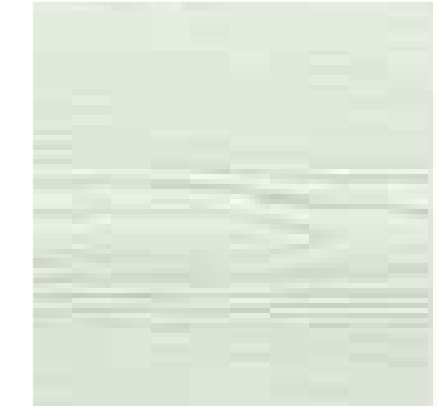
SEAL
SHEET NO.
DP.C-0.08



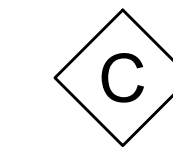
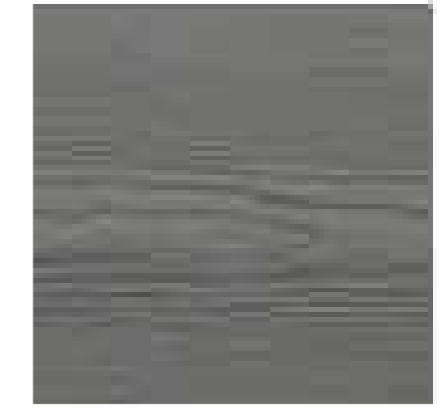
COLOUR SCHEME



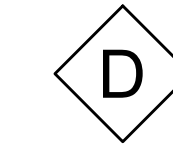
Horizontal Siding:
James Hardie
"Arctic White"



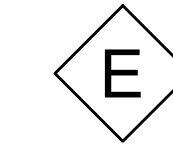
Horizontal Siding:
James Hardie
"Night Gray"



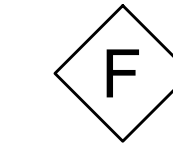
Cement Board Smooth Panel:
James Hardie
"Iron Gray"



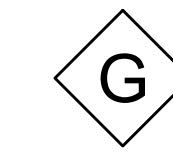
Brick Veneer:
Mutual Materials
"Limestone"



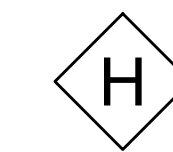
Accent Brick Veneer:
Mutual Materials
"Raven"



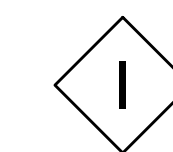
Fascia & Window Trim:
Benjamin Moore
2124-10 'Wrought Iron'



Canopy wood beams & posts:
Wood
Grain and stain colour TBD



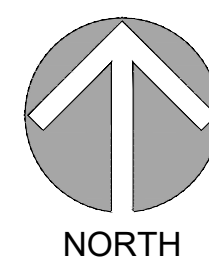
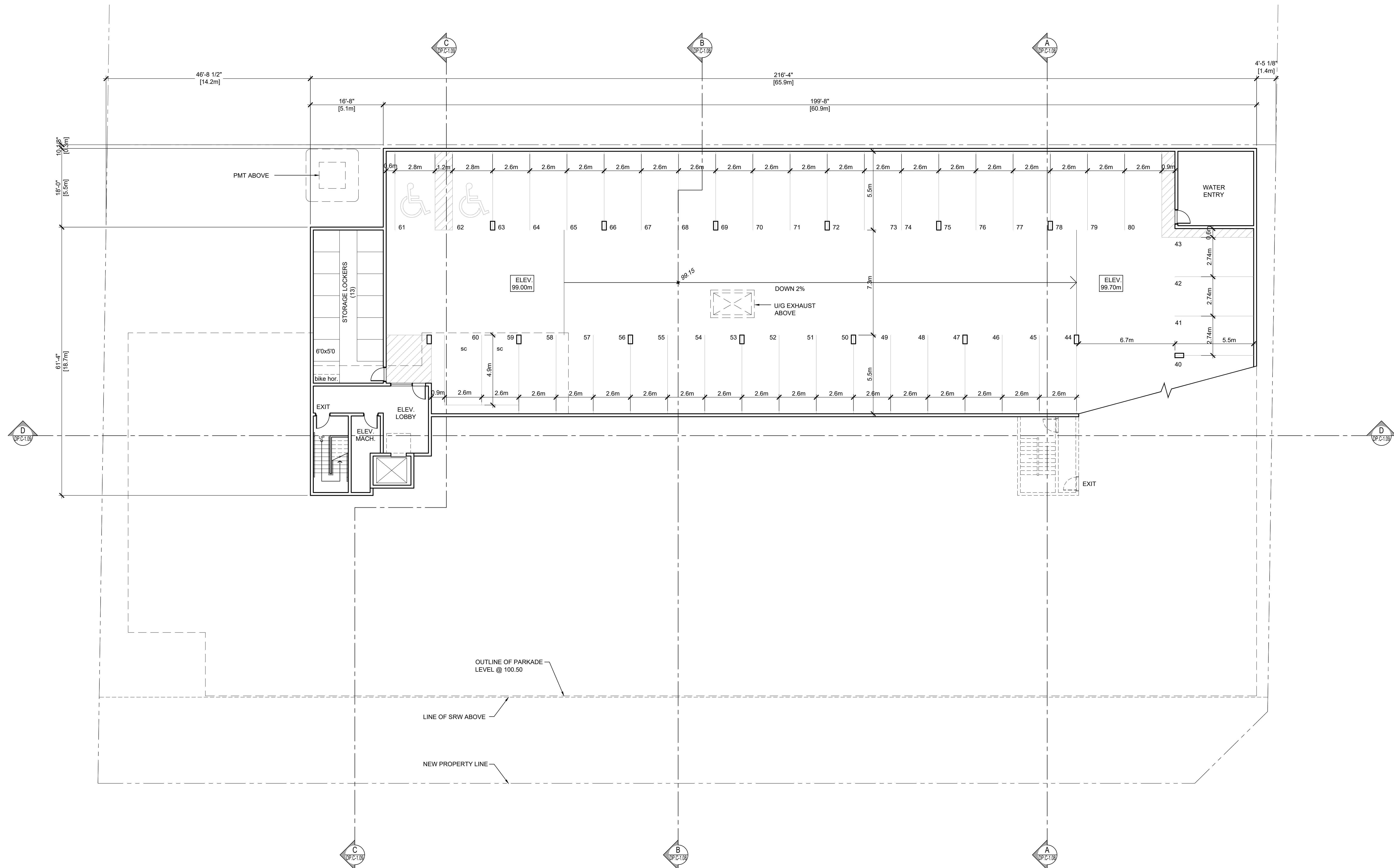
Window & Sliding Door Frames:
Vinyl - Black



Balcony Railings:
Aluminum - Black

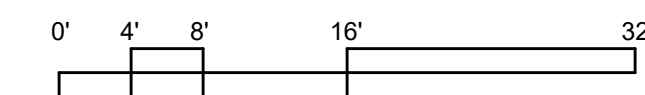


LOT C - APARTMENT



PARKADE LEVEL @ 99.0
SCALE: 3/32" = 1'-0"

FLOOR AREA: 13,068sf



LOT C - APARTMENT



CITY OF SURREY FILE #:
7917-0304-00

- 2018-04-24
ADP AND PLANNING COMMENTS
- 2018-02-22
SUBMISSION TO ADP
- 2017-12-12
DP REVISIONS
- 2017-06-15
ISSUED FOR RZ / DP REVISIONS

CLIENT
PENMAT MANA ORCHARD

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT

16575 - 24 AVENUE
SURREY BC

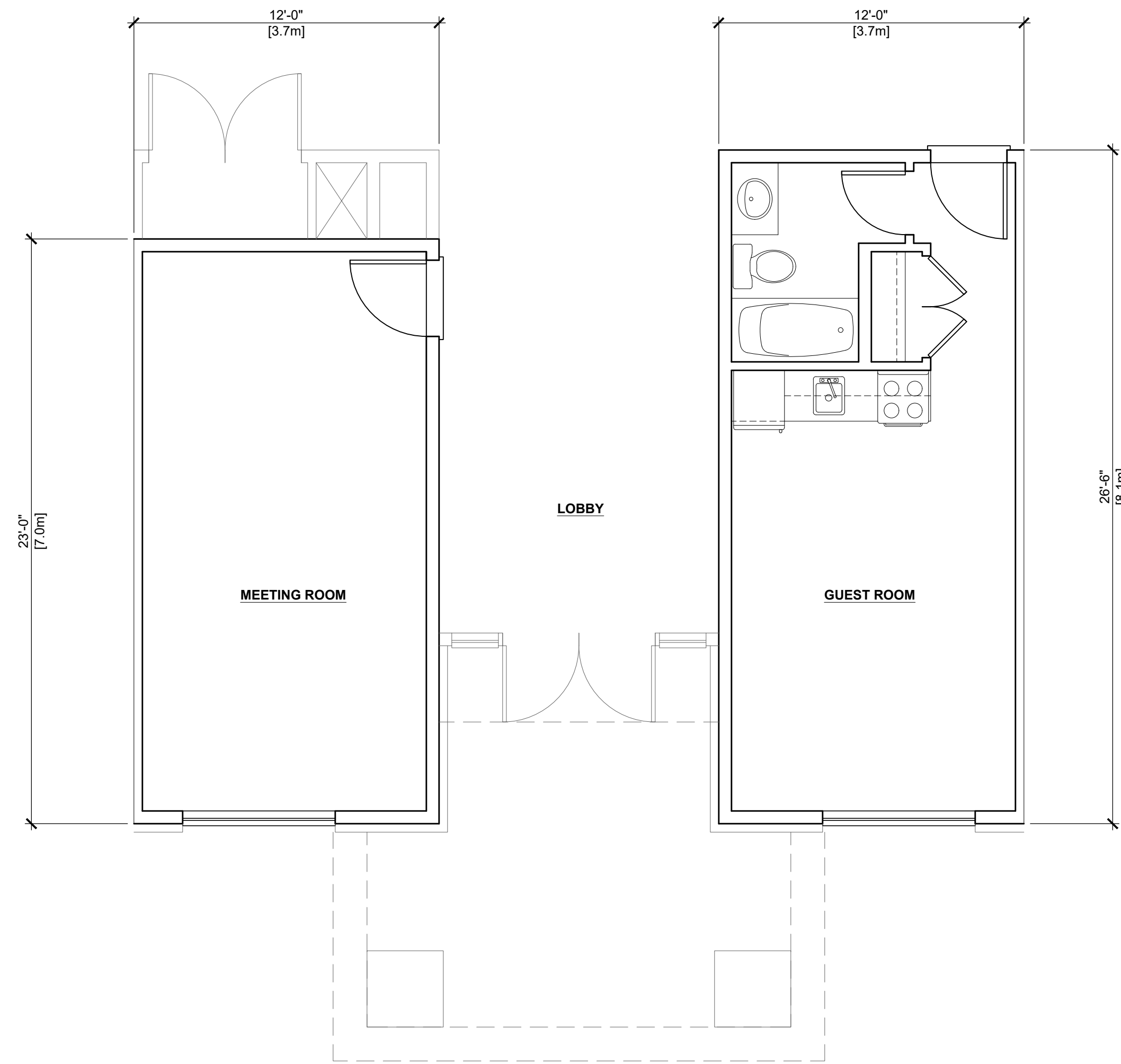
DRAWING TITLE

PARKADE LEVEL AT 99.0

DATE	2016.05.12	FILE NO.
DWN.	ms/lc	
CHK.	CH	1614

SEAL
SHEET NO.

DP.C-1.00

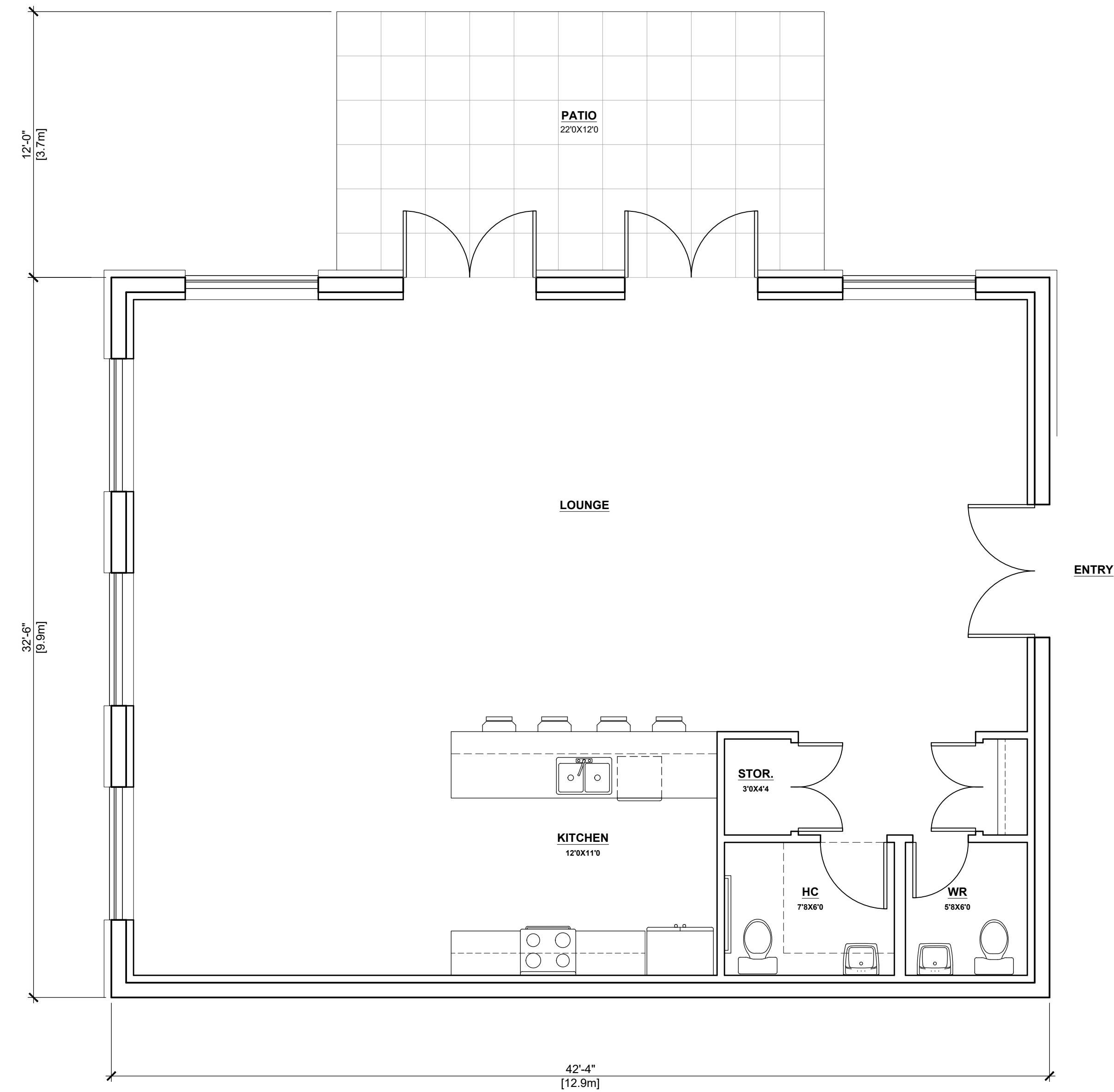


MEETING ROOM

SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 276sf / 26m²

GUEST ROOM

SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 318sf / 30m²

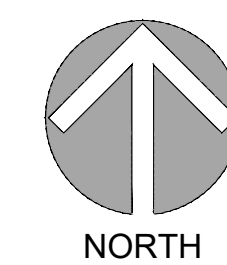


AMENITY LOUNGE

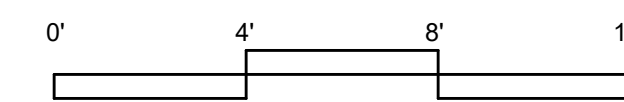
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 1,345sf / 124m²

TOTAL AMENITY AREA

SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 1,939sf / 180m²



NORTH



LOT C - APARTMENT

- 2018-04-24
ADP AND PLANNING COMMENTS
 - 2018-03-22
SUBMISSION TO ADP
 - 2017-12-12
DP REVISIONS
 - 2017-06-15
ISSUED FOR RZ / DP
- REVISIONS
CONSULTANT

CLIENT
PENMAT MANA ORCHARD

PROJECT
**PROPOSED MULTI-FAMILY
DEVELOPMENT**

16575 - 24 AVENUE
SURREY BC

DRAWING TITLE

**DETAILED
UNIT PLANS**

DATE	2016.05.12	FILE NO.
DWN.	LC	1614
CHK.	CH	

SEAL
SHEET NO.

DP.C-2.06

SEAL:

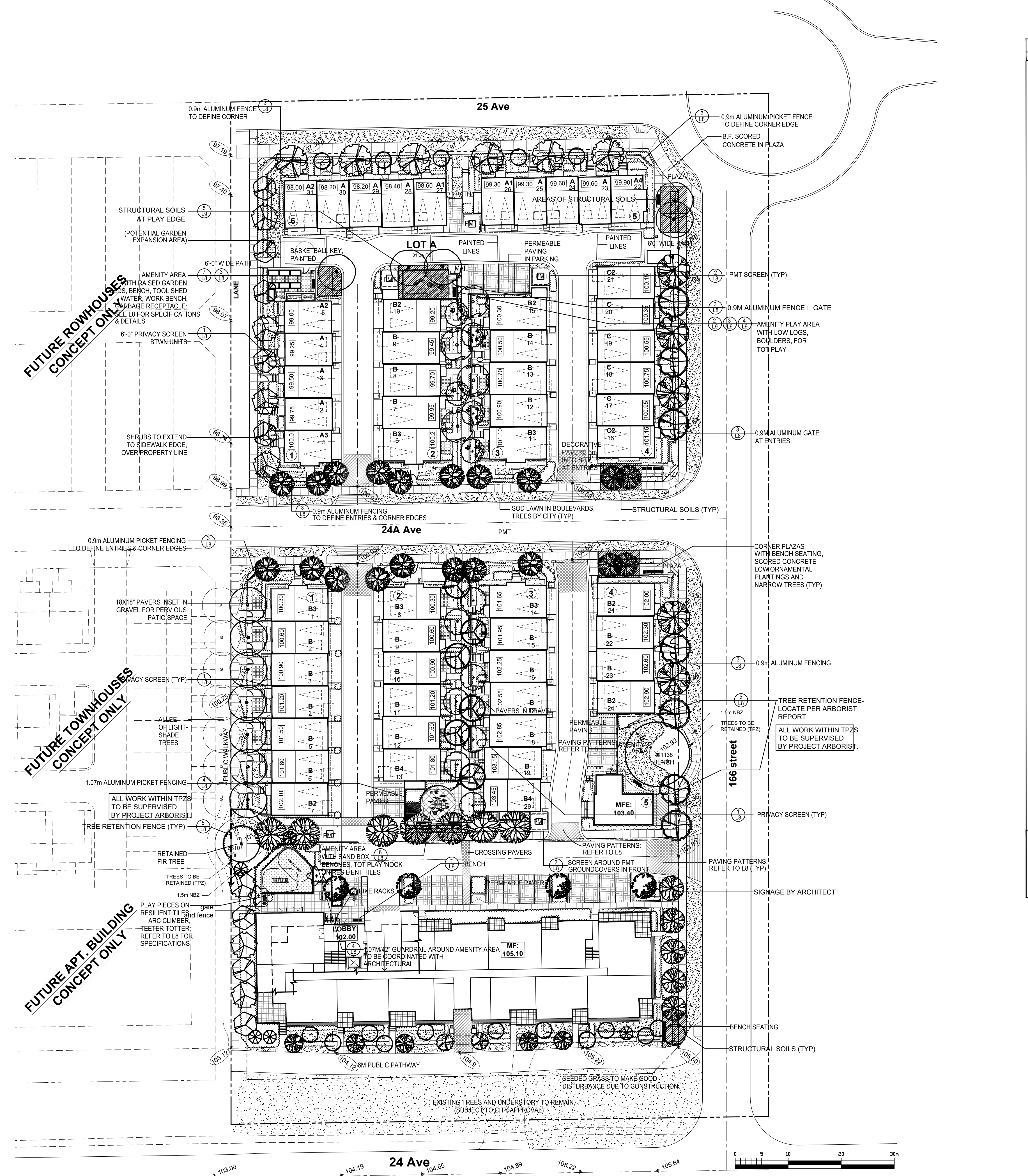
NO.	DATE	REVISION DESCRIPTION	DR.
4	18.MAY.07	24TH AVE FENCE REMOVAL	
3	18.APR.24	NEW SITE PLAN, APT.	MM
2	17.DEC.12	DP RESUBMISSION	BJ
1	17.JUN.19	DP SUBMISSION	BJ

CLIENT:
PENMAT MANA ORCHARD
FOCUS ARCHITECTURE INC.

PROJECT:
PROPOSED MULTI-FAMILY DEVELOPMENT
16555 24th AVENUE
SURREY, BC

DRAWING TITLE:
LANDSCAPE PLAN
ALL PHASES

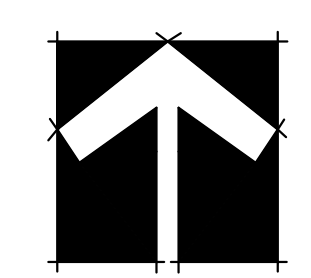
DATE: 17.MAY.12 DRAWING NUMBER:
SCALE: 1:400
DRAWN: **L1**
DESIGN: BJ
CHK'D: OF 9



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
6		ACER GRISEUM	PAPERBARK MAPLE	6CM CAL: 1.8M STD. B: B
3		ACER PALMATUM	JAPANESE MAPLE	3.0M HT.: MULTISTEM, WB
5		ACER PALMATUM 'SANGU KAKU'	CORAL BARK JAP. MAPLE	5CM CAL. 1.5M STD. B: B
2		ACER PALMATUM 'SEIRYU'	SEIRYU JAPANESE MAPLE	5CM CAL. 1.0M STD.
8		ACER RUBRUM 'ARMSTRONGII'	COLUMNAR RED MAPLE	6CM CAL: 1.8M STD. B: B
4		AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVIZEBERRY	5CM CAL: 1.8M STD. B: B
7		CARPINUS BETULIFLUS 'FRANS FONTAINE'	FRAN FONTAINE EUROPEAN HORNBEAM	6CM CAL: 1.8M STD. B: B
1		CHAMAECYPARIS NOOTKATENSIS 'GREEN ARROW'	GREEN ARROW NOOTKA CYPRESS	3.0M HT. B: B
7		CORNUS FLORIDA 'CHEROKEE SUNSET'	CHEROKEE SUNSET FLOWERING DOGWOOD	6CM CAL: 1.8M STD. B: B
6		CORNUS KOUSA 'SATOMI'	SATOMI DOGWOOD	5CM CAL. 1.0M STD.
2		EXISTING TREE TO REMAIN	EXISTING TREE TO REMAIN	NA
20		FAGUS SYLVATICA 'DAWYCKII PURPLE'	PURPLE FASTIGIATE BEECH	6CM CAL: 1.8M STD. B: B
19		GLEDITSIA 'INERMIS 'SUBURBIST'	SUBURBIST HONEY LOCUST	6CM CAL. 1.8M STD. B: B
1		MAGNOLIA GRANDIFLORA 'SAMUEL SOMMER'	SAMUEL SOMMER MAGNOLIA	6CM CAL. 1.8M STD. B: B
1		PINUS CEMBRA 'SILVER SHEEN'	SILVER SHEEN SWISS STONE PINE	3.0M HT. B: B: SINGLE LEADER
11		PRUNUS SERRULATA 'AMANOGAWA'	AMANOGAWA CHERRY	6CM CAL: 1.5M STD. B: B
8		PRUNUS SUBHIRTELLA 'AUTUMNALIS'	AUTUMN FLOWERING CHERRY	6CM CAL: 1.8M STD. B: B
10		QUERCUS ROBUR X ALBA 'JFS-KW10X'	STREETSPIRE OAK	6CM CAL: 1.8M STD. B: B
5		STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	5CM CAL. 1.8M STD. B: B
6		STYRAX JAPONICUS 'SNOWCONE'	SNOWCONE JAPANESE SNOWBELL	5CM CAL. 1.8M STD. B: B
34		ABELIA GRANDIFLORA	GLOSSY ABELIA	3 POT: 50CM
66		AUCUBA JAPONICA 'SERRATIFOLIA'	SAW TOOTH AUCUBA	3 POT: 50CM
27		AZALEA GUMPO PINK	GUMPO PINK DWARF AZALEA	2 POT
47		AZALEA JAPONICA 'HINO CRIMSON'	AZALEA (SINGLE DEEP CRIMSON)	2 POT
51		AZALEA MOLLIS HYBRIDS	DECIDUOUS AZALEAS VARIETIES	3 POT: 40CM
114		Berberis 'HUNGERSBERGII MONOMY'	CHERRY BOMB BARBERY	3 POT
160		BUXIFOLIUM ALATA 'WINTER GEM'	WINTER GEM BOWWOOD	3 POT: 40CM
27		EUONYMUS ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH	3 POT: 50CM
41		HYDRANGEA MACROPHYLLA 'PIHM-I'	TWIST'N'SHOUT HYDRANGEA	3 POT: 80CM
33		ILEX 'SKY PENCIL'	SKY PENCIL HOLLY	3 POT
70		ILEX CRENATA 'CONVEA'	JAPANESE HOLLY	2 POT
12		KALMIA LATIFOLIA 'BULLSEYE'	BULLSEYE MOUNTAIN LAUREL	3 POT: 50CM
74		KALMIA LATIFOLIA 'MINUET'	MINUET DWARF MOUNTAIN LAUREL	2 POT
23		MAHONIA 'LIFECOLOR'	OREGON GRAPE HOLLY	3 POT: 50CM
55		NANDINA DOMESTICA 'MONFAR'	SIENNA SUNRISE HEAVENLY BAMBOO	3 POT: 50CM
6		PHYSOCARPUS 'TINY WINE'	TINY WINE NINEBARK	3 POT
70		PIERIS JAPONICA 'BROUWER'S BEAUTY'	BROUWER'S BEAUTY PIERIS	3 POT: 50CM
4		PINUS MUGO 'COLUMNARIS'	COLUMNAR MUGO PINE	10 POT
22		PINUS MUGO 'MOPS'	MOPS DWARF MUGO PINE	2 POT: 25CM
68		PRUNUS LAUROCEARUSUS 'ZABELIANA'	ZABLE'S LAUREL	3 POT
19		RHOODODENDRON 'CHRISTMAS CHEER'	CHRISTMAS CHEER RHOODODENDRON	3 POT: 50CM
21		RHOODODENDRON 'CUNNINGHAM'S WHITE'	RHOODODENDRON 'WHITE L. MAY	10 POT
18		RHOODODENDRON 'HOTEL'	HOTEL RHOODODENDRON	2 POT: 30CM
17		RHOODODENDRON 'NAOMI'	NAOMI RHOODODENDRON	3 POT: 50CM
13		ROSA 'RED MEIDLAND'	RED MEIDLAND ROSE	2 POT: 40CM
22		ROSA 'SCARLET MEIDLAND'	SCARLET MEIDLAND ROSE	2 POT: 40CM
23		ROSA 'X MEIGLII'	PEACH DRIFT ROSE	2 POT
81		SARGOCOCOA 'HOKERANA V. HUMILIS'	HIMALAYAN SWEET BOX	3 POT: 35CM
122		SKIMMIA JAPONICA 'MACROPHYLLA'	LARGE LEAF JAPANESE SKIMMIA	3 POT: 50CM
86		SKIMMIA REEVESIANA	DWARF SKIMMIA	2 POT: 25CM
59		SPIRAEA JAPONICA 'YAN'	DOUBLE PLAY GOLD SPIRAEA	2 POT: 40CM
15		SPIRAEA X BUMALDA 'GOLDFLAME'	GOLDFLAME SPIRAEA	2 POT: 40CM
38		TAXUS X MEDIA 'DENSIFORMIS'	DWARF YEW	3 POT: SHEARMED
570		TAXUS X MEDIA 'HICKSII'	HICKS' YEW	3 POT: 80CM
219		THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	1.75M HT. B: B
99		VIBURNUM DAVIDI	DAVID'S VIBURNUM	2 POT: 30CM
5		VIBURNUM P.T. 'MARIESII'	MARIE'S DOUBLE FILE VIBURNUM	1.0M HT. B: B: TREE FORM
4		VIBURNUM X 'BURKWOODII'	BURKWOOD VIBURNUM	1.0M HT. B: B: TREE FORM
23		WEIGELA FLORIDA 'MIDNIGHT WINE'	MIDNIGHT WINE WEIGELA	3 POT: 60CM
GRASS				
154		CALAMAGROSTIS X A. 'KARL FOERSTER'	KARL FOERSTER FEATHERED GRASS	2 POT: HEAVY
32		CAREX BUCHANANI 'VIRIDIS'	GREEN NEW ZEALAND SEDGE	1 POT: HEAVY
41		CAREX COLCHICHOSTACHYA 'KAGA NISHIKI'	GOLD FOUNTAINS SEDGE	1 POT: FULL
112		MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP. SILVER GRASS	2 POT
78		PENNISETUM ALOPECUROIDES 'HAMLIN'	DWARF FOUNTAIN GRASS	1 POT: HEAVY
PERENNIAL				
28		ASTILBE 'ELIZABETH BLOOM'	MEADOW SWEET 'PINK	1 POT: 3-5 EYE
5		CIMICIFUGA R. 'ATROPURPUREA'	PURPLE BUGBANE	2 POT
16		COREOPSIS V. 'MOONBEAM'	MOONBEAM TICKSEED	1 POT
40		HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	1 POT: 1-2 FAN
39		HEUCHERA 'PALACE PURPLE'	PALACE PURPLE CORAL BELLS	10CM POT
87		HEUCHERA 'CREME BRULEE'	CREME BRULEE CORAL BELLS	15CM POT
10		LIGULARIA STENOCEPHALA 'THE ROCKET'	THE ROCKET LIGULARIA	1 POT
184		LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED BLUE LILY-TURF	1 POT
23		MATTEUCIA STRUTHIOPTERIS	OSTRICH FERN	2 POT
GC				
15		AJUGA REPTANS 'ATROPURPUREA'	CARPET BUGLE	10CM POT
41		CALLUNA VULGARIS 'DARK BEAUTY'	DARK BEAUTY HEATHER	15CM POT
89		DRYOPTERIS FELIX-MAS 'UNDULATA ROBUSTA'	ROBUSTA MALE FERN	1 POT: 20CM
28		EUONYMUS JAPONICA 'EMERALD GAIEY'	EUONYMUS 'SILVER VARIEGATED	1 POT: 25CM
82		GAULTHERIA PROCUMBENS	WINTERGREEN	10CM POT
90		NANDINA DOMESTICA 'JAYTEE'	HARBOUR BELLE DWARF NANDINA	1 POT
336		POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 POT: 25CM
145		SOLEIRILIA SOLEIRILII	BABY'S TEARS	5CM POT
145		VERONICA REPENS 'SUNSHINE'	SUNSHINE CREEPING JENNY	5CM POT
145		SOLEIRILIA SOLEIRILII	BABY'S TEARS	5CM POT

NOTES: 1. PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. 2. SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. 3. SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REVIEW TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. 4. DEFINITION OF CONDITIONS OF AVAILABILITY: ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.



TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **May 18, 2018** PROJECT FILE: **7817-0304-00**

RE: **Engineering Requirements
Location: 16575 24 Ave**

NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- dedicate 8.442 m for an ultimate 18.50 m road allowance along 24 Avenue;
- dedicate 17.0 m for an ultimate 34.0 m road allowance along 166 Street. Additional dedication required at 166 Street and 25 Avenue to accommodate roundabout;
- dedicate 14.50 m for flex road along 24A Avenue;
- dedicate 11.50 m for an ultimate 20.0 m road allowance (or dedicate 10.0 m with 1.5 m SRW to secure 11.50 m width) along 25 Avenue;
- dedicate 5.50 m for ultimate 8.50 m lane allowance for north-south lane between 24A Ave and 25 Ave;
- dedicate 3.0 m for ultimate 6.0 m road allowance for north-south walkway between 24 Ave and 24A Ave;
- dedicate all corner cuts at road intersections; and
- Applicant is also advised that they are required to dedicate as road (without compensation) gazetted road for the north 10.058 meters of 24th Avenue.

Works and Services

- construct 4.0 m wide multi-use path on the north side of 24 Avenue;
- construct west side of 166 Street to local road standard, including habitat corridor on the east side; construct roundabout at 25 Avenue and 166 Street as per the NCP;
- construct 24A Avenue to local road standard;
- construct south side of 25 Avenue to half road standards;
- construct lane to residential lane standard;
- construct 2.0 m concrete sidewalk with pedestrian lighting; and
- construct all utilities (water, sanitary, and storm) required to service the development.

A Servicing Agreement is required prior to Rezone & Subdivision.

DEVELOPMENT PERMIT & DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit or Development Variance Permit.



Tommy Buchmann, P.Eng.
Development Engineer
M51

NOTE: Detailed Land Development Engineering Review available on file



January-15-18
Planning

School Enrolment Projections and Planning Update:
Pacific Heights Elementary is currently over capacity. Rapid enrolment growth is expected to continue into the foreseeable future. As of September 2017, there are 6 portables on site used as enrolling spaces.

In December 2017, the Ministry of Education announced funding for design and construction of the following, in the Pacific Heights catchment:

- A 12 classroom addition at Pacific Heights elementary and
- A new 25 classroom school on Edgewood drive

Though the District has NOT gone thru any official process to determine catchment boundaries for the new elementary school on Edgewood Drive, this development is close enough to be likely considered in the new school's catchment. The school is targeted to open September 2020.

To relieve the pressure at Earl Marriot, a new 1500 capacity high school located on 26th Ave next to the existing Pacific Heights Elementary is currently in design and construction; and is also targeted to open for September 2020. This new high school has been officially named Grandview Heights Secondary

THE IMPACT ON SCHOOLS

APPLICATION #: 17 0304 00

SUMMARY

The proposed 55 townhouse units and 54 lowrise units are estimated to have the following impact on the following schools:

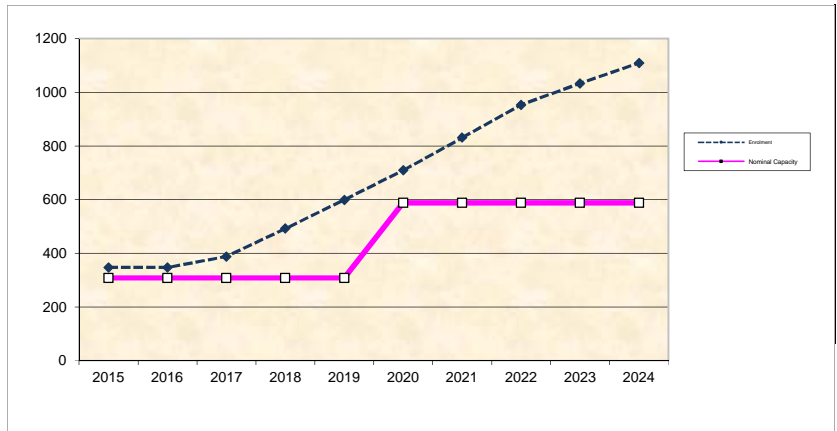
Projected # of students for this development:

Elementary Students:	14
Secondary Students:	7

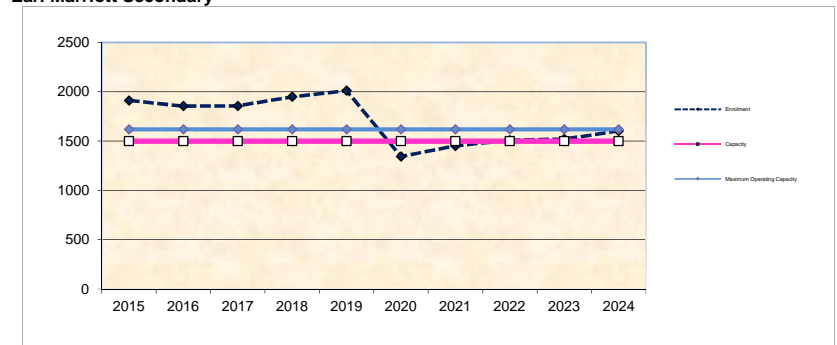
September 2017 Enrolment/School Capacity

Pacific Heights Elementary	
Enrolment (K/1-7):	51 K + 337
Operating Capacity (K/1-7)	76 K + 232
Addition Operating Capacity (K/1-7) 2020	76 K + 512
Earl Marriot Secondary	
Enrolment (8-12):	1857
Capacity (8-12):	1500
Maximum Operating Capacity*(8-12);	1620

Pacific Heights Elementary



Earl Marriot Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

Tree Preservation Summary

Surrey Project No: 17-0304-00


Address: 16555 & 16595 24th Avenue, Surrey, BC

Registered Arborist: Vanessa Melney and Peter Mennel and Mike Fadum

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	75
Protected Trees to be Removed	73
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	2
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 6 X one (1) = <u>6</u> - All other Trees Requiring 2 to 1 Replacement Ratio 67 X two (2) = <u>134</u>	140
Replacement Trees Proposed	144
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	2
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 2 X one (1) = 2 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	2
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 	Date: May 10, 2018
--	--------------------



MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS

#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Mobile: (604) 240-0309
Email: mfadum@fadum.ca

CLIENT

FILE NO.

PROJECT TITLE

TREE PRESERVATION AND PROTECTION PLAN
16555 - 16595 24 AVENUE
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	OCT18/16	MK	SITE PLAN
2	JUN14/17	MK	SITE PLAN
3	JUN2/17	MK	REVISIONS
4	NOV0/17	MK	REVISED SITE PLAN
5	NOV08/17	MK	REVISED SITE PLAN
6	DEC13/17	MK	REVISIONS
7	FEB15/18	MK	REVISED SITE PLAN
8	MAY10/18	MK	REVISED SITE PLAN

SHEET TITLE

T1 - TREE PRESERVATION AND REMOVAL PLAN

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DRAWN

MK

SCALE

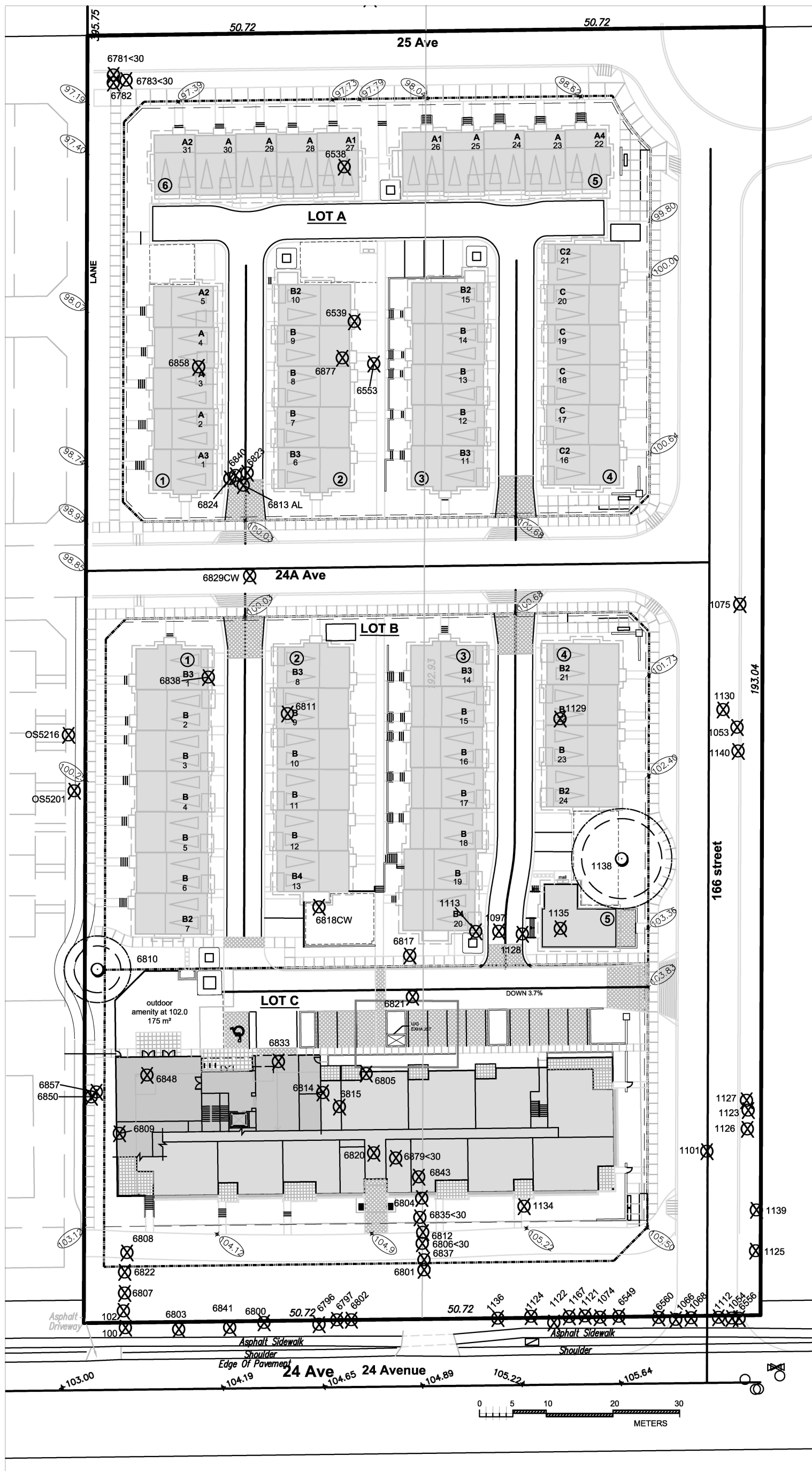
AS SHOWN

DATE

JUNE 20, 2016

T-1

SHEET 1 OF 3



LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- MINIMUM NO DISTURBANCE ZONE
- 1.5m EXCAVATION OFFSET



MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS

#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
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Mobile: (604) 240-0309
Email: mfadum@fadum.ca

CLIENT

FILE NO.

PROJECT TITLE

TREE PRESERVATION AND PROTECTION PLAN
16555 - 16595 24 AVENUE
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	OCT1816	MK	SITE PLAN
2	JUN1417	MK	SITE PLAN
3	JUN2117	MK	REVISIONS
4	NOV0117	MK	REVISED SITE PLAN
5	NOV0817	MK	REVISED SITE PLAN
6	DEC1317	MK	REVISIONS
7	FEB1518	MK	REVISED SITE PLAN
8	MAY10/18	MK	REVISED SITE PLAN

NOTE: TREE PROTECTION FENCING TO BE MEASURED FROM THE OUTER EDGE OF TREE AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS. REASSESS TREES WITH LOT GRADING PLANS.

NOTE: MODIFIED ROOT PROTECTION ZONE RECOMMENDED. MAINTAIN EXISTING GRADES INSIDE TREE PROTECTION ZONE.

SHEET TITLE

T2 - TREE PRESERVATION PLAN

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DRAWN

MK

SCALE

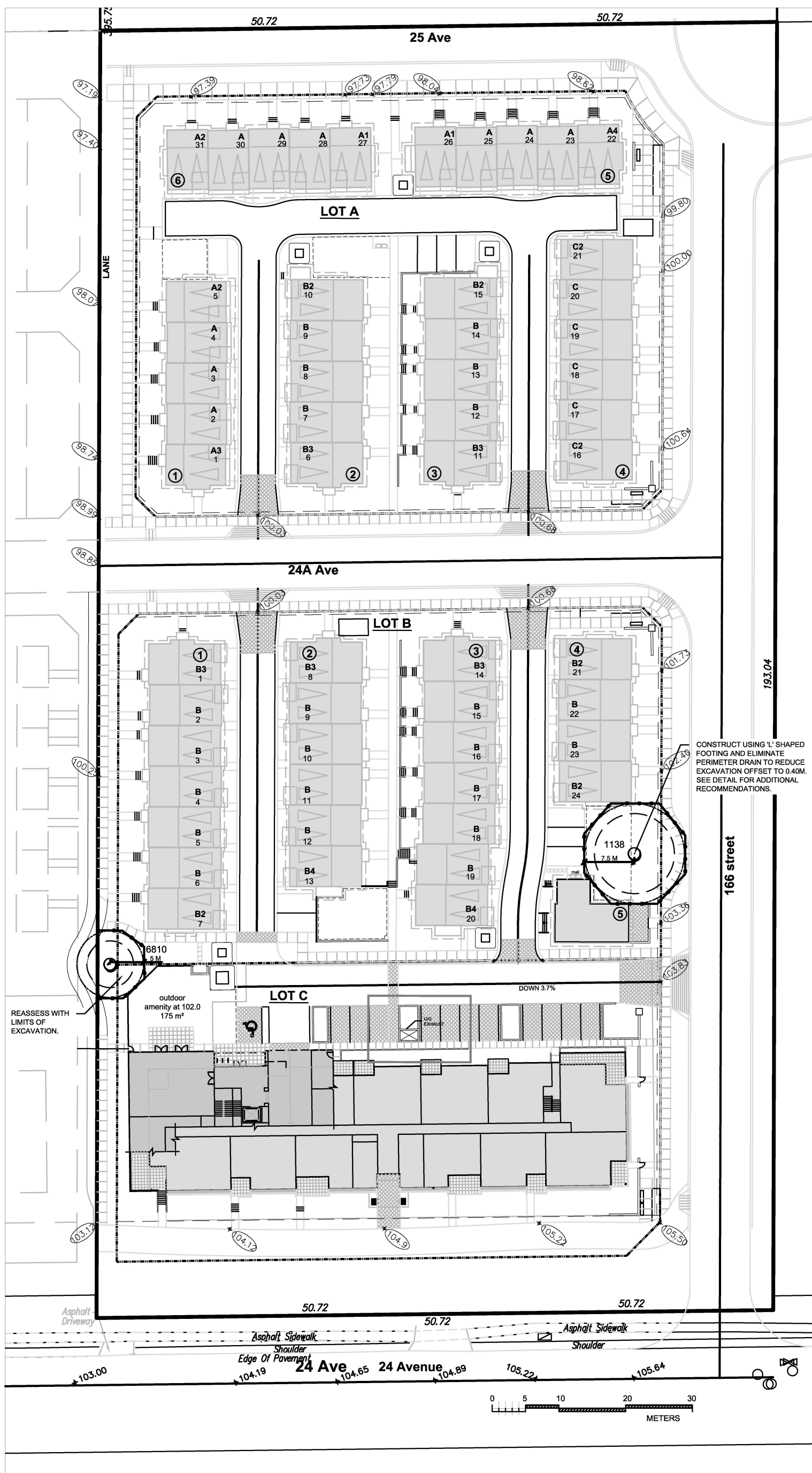
AS SHOWN

DATE

JUNE 20, 2016

T-2

SHEET 2 OF 3

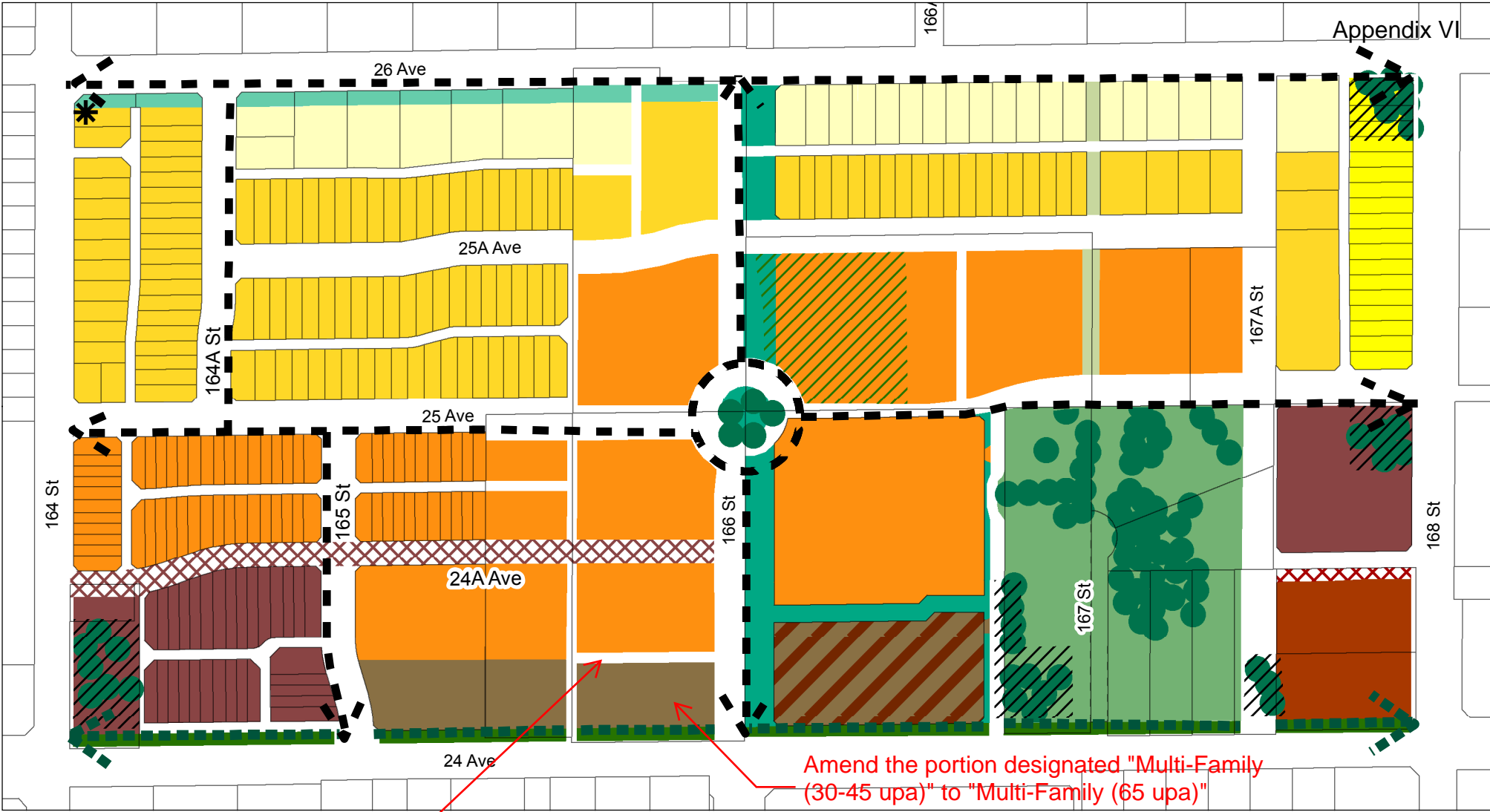


CONSTRUCT USING 'L' SHAPED FOOTING AND ELIMINATE PERIMETER DRAIN TO REDUCE EXCAVATION OFFSET TO 0.40M. SEE DETAIL FOR ADDITIONAL RECOMMENDATIONS.

LEGEND

- TREE TO BE RETAINED
- MINIMUM NO DISTURBANCE ZONE
- TREE PROTECTION FENCING
- 1.5m EXCAVATION OFFSET





Amend the portion designated "Multi-Family (30-45 upa)" to "Multi-Family (65 upa)"

Amendment to eliminate lane

Orchard Grove - Grandview Heights 5A Neighbourhood Land Use Concept Plan

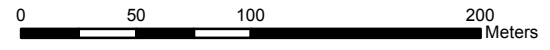
City of Surrey Planning & Development Department

Legend

- Large Lot Duplex or Large Lot Single Family (2-10 upa)
- Small Lot Single Family w/wo Coach House (10-15 upa)
- Single Family (10 upa) or Townhouse with Tree Preservation (15 upa)
- Townhouse (15-30 upa)
- Townhouse (15 upa) or Multi-Family with Tree Preservation (30 upa)
- Multi-Family (30-45 upa)
- Multi-Family (65 upa)
- Mixed-Use Commercial/Residential (30-45 upa)

- Stormwater Detention Pond
- Park
- Walkway (10m)
- Habitat Corridor (20m SROW)
- Transition Landscape Buffer
- Special Commercial Street
- Green Street
- Residential Flex Street 14m

- Amenity Connector
- Multi-Use Pathway (8m SROW)
- Proposed Green Connector
- Potential Orchard Preservation
- Tree Preservation Areas
- Tree Cluster
- Gateway Feature



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0304-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 030-142-679
 Lot 2 Section 24 Township 1 New Westminster District Plan EPP62922
 16575 - 24 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once titles have been issued, as follows:

Parcel Identifier:

- (b) If the civic addresses change, the City Clerk is directed to insert the new civic addresses for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) On Lot A as shown on Schedule A which is attached hereto and forms part of this development variance permit:

- (i) the minimum front yard setback (east) of the RM-30 Zone is reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.);
 - (ii) the minimum rear yard setback (west) of the RM-30 Zone is reduced from 7.5 metres (25 ft.) to 4.0 metres (13 ft.);
 - (iii) the minimum side yard setback on flanking street (north) of the RM-30 Zone is reduced from 7.5 metres (25 ft.) to 5.0 metres (16 ft.); and
 - (iv) the minimum side yard setback (south) of the RM-30 Zone is reduced from 7.5 metres (25 ft.) to 3.9 metres (13 ft.).
- (b) On Lot B as shown on Schedule A which is attached hereto and forms part of this development variance permit:
- (i) the minimum front yard setback (east) of the RM-30 Zone is reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.);
 - (ii) the minimum rear yard setback (west) of the RM-30 Zone is reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.);
 - (iii) the minimum side yard setback on flanking street (north) of the RM-30 Zone is reduced from 7.5 metres (25 ft.) to 3.9 metres (13 ft.); and
 - (iv) the minimum side yard setback (south) of the RM-30 Zone is reduced from 7.5 metres (25 ft.) to 2.5 metres (8 ft.).
- (c) On Lot C as shown on Schedule A which is attached hereto and forms part of this development variance permit:
- (i) the maximum lot coverage of the RM-70 Zone is increased from 33% to 45%;
 - (ii) the maximum building height of the RM-70 Zone is reduced from 50 metres (164 ft.) to 18.1 metres (59 ft.);
 - (iii) the minimum front yard setback (east) of the RM-70 Zone is reduced from 7.5 metres (25 ft.) to 4.9 metres (16 ft.); and
 - (iii) the minimum rear yard setback (west) of the RM-70 Zone is reduced from 7.5 metres (25 ft.) to 1.6 metres (5 ft.).
5. This development variance permit applies to only the portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

ADVISORY DESIGN PANEL

Thursday, February 22, 2018

For the purposes of information only, minutes are subject to change.

1. 4:00 p.m.
 File No.: 7917-0304-00
 New or Resubmit: New
 Last Submission Date: N/A
 Description: NCP Amendment, Rezoning and Development Permit to permit a 4-storey apartment building.
 Address: 16575 24 Avenue
 Developer: Penmat Mana JV Ltd., Inc. No. BC1032292
 Architect: Colin Hogan Architect AIBC, Focus Architecture
 Landscape Architect: Mary Chan Yip BCSLA, PMG Landscape Architecture
 Planner: Heather Kamitakahara
 Urban Design Planner: Nathan Chow

The **Urban Design Planner** advised that the surrounding neighbourhood consists of newly built single-family homes and townhome developments. The Grandview Ridge Trail is south of the subject site and is a major Parks amenity. Staff have no specific issues.

The **Project Architect** presented an overview of the site and building plans, streetscapes and elevations.

The **Landscape Architect** presented an overview of the general concept for the Landscape plans.

It was Moved by L. Mickelson
 Seconded by K. Johnston
 That the Advisory Design Panel (ADP) supports the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department.

CARRIED

Form and Character

- Consider relating the character more to the surrounding residential neighbourhood as it appears too rigid and institutional
- Consider adjusting the parkade ramp and/or visitor parking area to improve the outdoor amenity, site interface and access to the building
- Recommend improving the rear lobby access entry.
- Consider additional emphasis at the entrance and for each entry to the ground floor units.
- The service room location does not appear practical.
- The residential storage appears small.
- Suggest increasing the storage room size as it is combined with bicycle parking.
- Recommend providing at least 50% horizontal bicycle storage.

Landscape

- The amenity space could benefit from additional development such as pollinator plants.
- Consider providing additional depth/diversity for the amenity space.
- Consider moving amenity space plantings to the sunnier end of the terrace.
- Consider developing the play area more in the amenity space.
- Commend the corner plaza.
- Consider a more structural shrub styling to emphasize the trees.
- Recommend lower corner plantings to increase visibility.
- Consider planting pockets on the parkade ramp.
- Recommend more landscape screening of the Northern exposed concrete walls.
- Consider relocating some visitor parking underground for more landscaping opportunities at the surface.

CPTED

- The parkade ramp location creates a deep pocket near the amenity area that could result in crime issues.

Accessibility

- Recommend power doors at lobby entrances.
- Recommend an additional disabled parking spot for residents.
- Recommend that 5% of units be accessible or adaptable.
- Recommend that elevator panels and call button panels be placed horizontally.
- Recommend providing emergency call buttons in the parking elevator.
- Review access to the outdoor amenity space from the indoor amenity space.

Project 17-0304 - 16575 24 Avenue

Responses to ADP COMMENTS:

FORM AND CHARACTER

- Consider relating the character more to the surrounding residential neighbourhood as it appears too rigid and institutional
 - [We disagree with this suggestion](#)
- Consider adjusting the parkade ramp and/or visitor parking area to improve the outdoor amenity, site interface and access to the building
 - [Addressed by new design](#)
- Recommend improving the rear lobby access entry.
 - [Addressed by new design](#)
- Consider additional emphasis at the entrance and for each entry to the ground floor units.
 - [The main entrance will be emphasized with enhanced planting and feature trees](#)
 - [Ground floor units entries will be emphasized with a gate pilaster at the unit entries](#)
- The service room location does not appear practical.
 - [Addressed by new design](#)
- The residential storage appears small.
 - [Increased in new layout](#)
- Suggest increasing the storage room size as it is combined with bicycle parking.
 - [Increased in new layout](#)
- Recommend providing at least 50% horizontal bicycle storage.
 - [33 bicycle spaces \(50% of required 66\) is horizontal](#)

LANDSCAPE

- The amenity space could benefit from additional development such as pollinator plants.
 - [See landscape plans](#)
- Consider providing additional depth/diversity for the amenity space.
 - [See landscape plans](#)
- Consider moving amenity space plantings to the sunnier end of the terrace.
 - [See landscape plans](#)
- Consider developing the play area more in the amenity space.
 - [See landscape plans](#)
- Commend the corner plaza.
 - [Agreed](#)
- Consider a more structural shrub styling to emphasize the trees.
 - [See landscape plans](#)
- Recommend lower corner plantings to increase visibility.
 - [See landscape plans](#)
- Consider planting pockets on the parkade ramp.
 - [Addressed by new design](#)
- Recommend more landscape screening of the Northern exposed concrete walls.
 - [Addressed by new design](#)
- Consider relocating some visitor parking underground for more landscaping opportunities at the surface.

- Addressed by new design

CPTED

- The parkade ramp location creates a deep pocket near the amenity area that could result in crime issues.
 - Addressed by new design

ACCESSIBILITY

- Recommend power doors at lobby entrances.
 - Ok
- Recommend an additional disabled parking spot for residents.
 - An additional disabled parking spot for residents has been incorporated
- Recommend that 5% of units be accessible or adaptable.
 - We reviewed this with our client and decided not to proceed in this direction
- Recommend that elevator panels and call button panels be placed horizontally.
 - OK
- Recommend providing emergency call buttons in the parking elevator.
 - We will review this issue at building permit time
- Review access to the outdoor amenity space from the indoor amenity space.
 - Addressed by new design