

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7917-0096-00

Planning Report Date: October 3, 2022

PROPOSAL:

- **NCP Amendment** from Institutional/Residential to Urban Single Family
- **Rezoning** from RA to RF and RF-13
- **Heritage Revitalization Agreement**
- **Development Variance Permit**

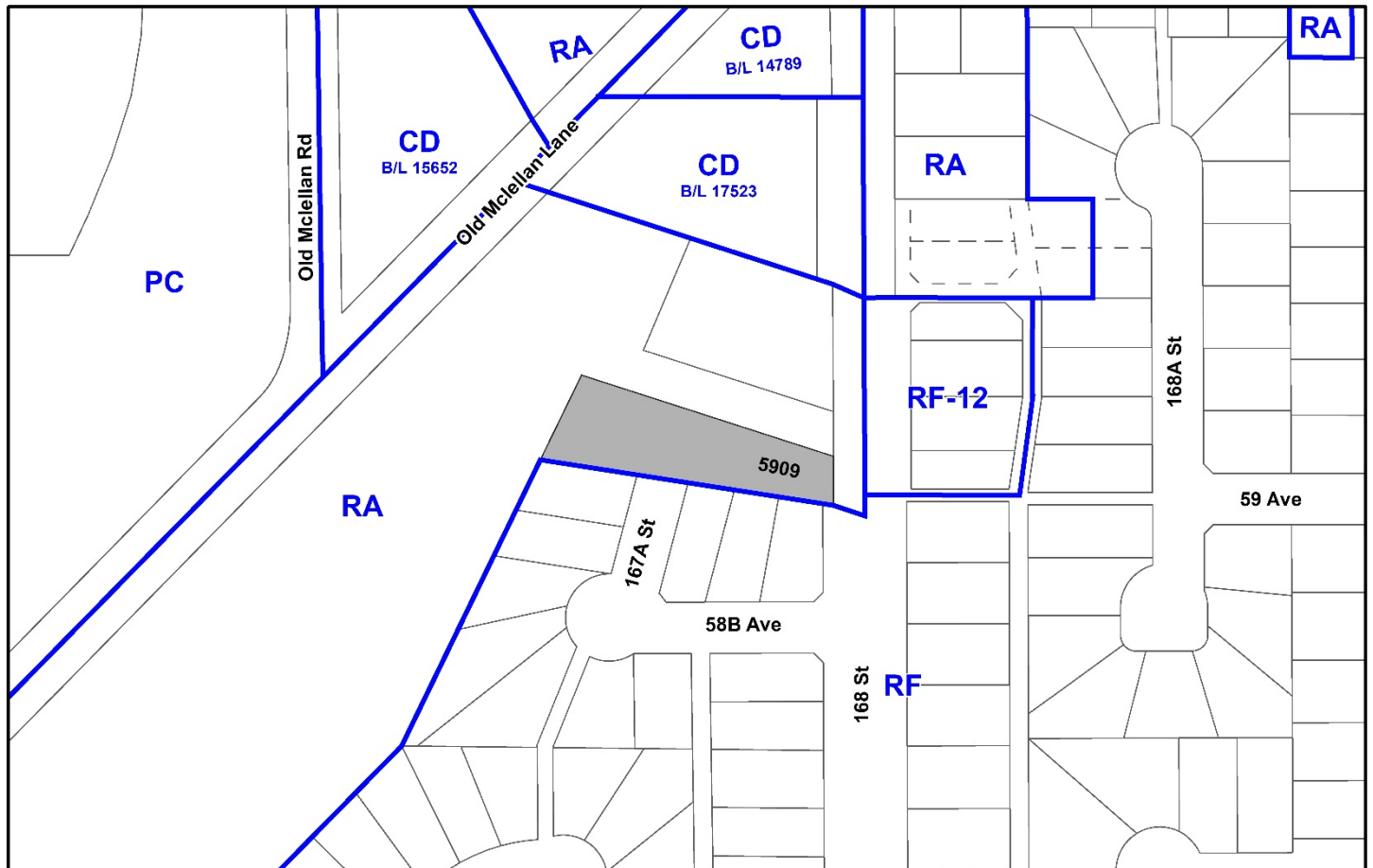
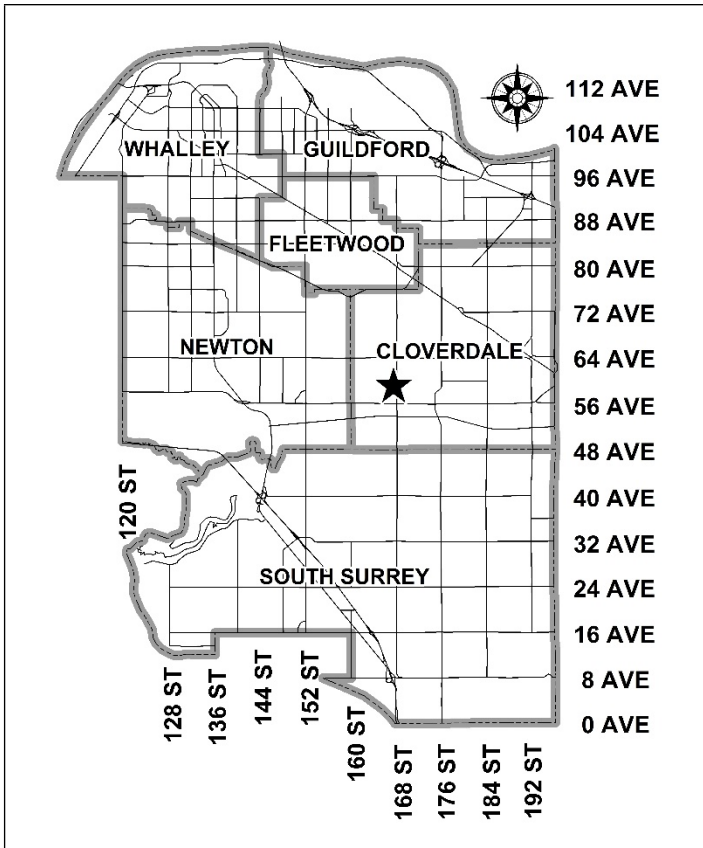
to allow subdivision into one RF lot and two RF-13 lots as well as preserve the John Lamb House on proposed Lot 3. Variances are proposed for lot depth, setbacks and to allow for double side-by-side garages on lots less than 13.4 metres wide for the RF-13 lots.

LOCATION: 5909 – 168 Street

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: Institutional/Residential



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- By-law Introduction for Heritage Revitalization Agreement.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- A variance is requested to the RF-13 Zone for lot depth from 28 metres to 25 metres for proposed Lot 1.
- A variance is requested to permit double side-by-side garages on lots less than 13.4 metres wide in the RF-13 Zone for proposed Lots 1 and 2.
- A variance is requested to permit reduced front yard (west) setbacks, along future 167A Street, to accommodate a future second dwelling on proposed Lot 3.
- The applicant is proposing to amend the West Cloverdale South Neighbourhood Concept Plan (NCP) to re-designate the subject property from "Institutional/Residential" to "Urban Single Family" in order to accommodate the development proposal.
- Through the Heritage Revitalization Agreement (HRA), the applicant is proposing to:
 - Allow for two single family dwellings on the proposed RF lot (Lot 3) which includes retention of the existing heritage single family dwelling (John Lamb House);
 - Increase the maximum permitted unit density to 25.3 dwelling units per hectare on proposed Lot 3;
 - Permit the second storey of the heritage single family dwelling to exceed 80% of the floor area of the main floor level on proposed Lot 3;
 - Reduce the minimum front yard setback of the heritage single family dwelling and the existing accessory garage to 6.0 metres and further reduce the front yard setback to 4.5 metres in order to accommodate the existing stairs along 168 Street on proposed Lot 3; and
 - Permit a driveway to cover a maximum of 53% of the total area of the front yard within which the driveway is located on proposed Lot 3.

RATIONALE OF RECOMMENDATION

- The proposal complies with the "Urban" Official Community Plan (OCP) Designation.
- The proposed re-designation and proposed layout is consistent with the existing single family subdivision approved directly to the south under Development Application No. 7906-0481-00.
- The proposed density and building form are appropriate for this part of West Cloverdale South, with retention of a heritage feature on the site.
- The proposed RF-13 lots (Lots 1 and 2) exceed the minimum lot area requirement under Zoning By-law No. 12000, and the applicant's design consultant has confirmed they are wide enough to accommodate a double side-by-side garage that will provide a minimum of two (2) covered off-street parking spaces per lot. In addition, allowing a double side-by-side garage fronting onto future 167A Street will help to maintain the form and character of the surrounding neighbourhood and ensure a consistent streetscape.
- It is not possible to widen the proposed RF-13 lots and still achieve two lots fronting the west side of 167A Street. The proposed RF-13 lots are considered to have merit to support the retention and restoration of the heritage house on the site.
- The requested variance to reduce the minimum front yard (west) setbacks on proposed Lot 3, along future 167A Street, will enable the applicant to construct a future second single family dwelling at the rear of proposed Lot 3 and maintain a consistent streetscape with similar setbacks to those proposed for the RF-13 lots (i.e., Lot 1 and 2) on the west side of 167A Street.
- The intent of the proposed Heritage Revitalization Agreement (HRA) By-law is to ensure the long-term retention and preservation of John Lamb House, which is currently on the Surrey Heritage Register. The Heritage Advisory Commission (HAC) supports the proposed HRA.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the portion of the subject site shown as Block B on the Survey Plan attached in Appendix I from "One-Acre Residential Zone (RA)" to "Single Family Residential Zone (RF)" and the portion of the subject site shown as Block A on the Survey Plan from "One-Acre Residential Zone (RA)" to "Single Family Residential (13) Zone (RF-13)", and a date be set for Public Hearing.
2. A By-law be introduced to allow the property owner and the City of Surrey to enter into a Heritage Revitalization Agreement to allow for the restoration and maintenance of John Lamb House at 5909 – 168 Street, and a date be set for Public Hearing.
3. Council approve Development Variance Permit No. 7917-0096-00 (Appendix X) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum lot depth for a Type I Interior Lot, under the RF-13 Zone, from 28 metres to 25 metres for proposed Lot 1;
 - (b) to vary the Off-Street Parking requirements of the RF-13 Zone to allow double side-by-side garages at the front of the dwelling, on lots less than 13.4 metres wide, for proposed Lots 1 and 2; and
 - (c) to reduce the minimum front yard (west) setback under the RF Zone from 7.5 metres to 6.0 metres for an attached garage and to 4.5 metres for the remainder of the front building face, in order to allow for a second dwelling to be constructed on proposed Lot 3, fronting onto 167A Street.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) final approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (f) submission of a finalized lot grading plan to the satisfaction of the Planning and Development Department;
 - (g) the applicant satisfy the Tier 1 Capital Project Community Amenity Contributions (CAC) requirement to the satisfaction of the Planning and Development Department;

- (h) registration of a Section 219 Restrictive Covenant for “No Build” and “No Sale” on proposed Lots 3 until the restoration and conservation measures identified in the HRA for John Lamb House have been completed, to the satisfaction of the Planning and Development Department;
- (i) demolition of the existing carport, located along the north lot line, directly adjacent the heritage building (John Lamb House);
- (j) registration of a Section 219 Restrictive Covenant for increased front yard (east) setbacks of 6.0 metres for the principal building and 4.5 metres for a porch or veranda on proposed Lots 1 and 2; and
- (k) registration of a Section 219 Restrictive Covenant to protect for a 5.0 metre wide "no build area" along the southern boundary of proposed Lot 3 in order to permit a future driveway access off 167A Street for the existing heritage dwelling (John Lamb House).
5. Council pass a resolution to amend the West Cloverdale South Neighbourhood Concept Plan (NCP) to re-designate the land from "Institutional/Residential" to "Urban Single Family" when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Heritage single family dwelling (John Lamb House)	Urban/Institutional/Residential	RA
North and West:	Surrey Centre Elementary School	Urban/School	RA
East (Across 168 Street):	Single family residential	Urban	RF & RF-12
South:	Single family residential	Urban/Urban Single Family	RF

Context & Background

Subject Property

- The subject property is approximately 0.5 acre (2,013 sq. m.) in total area and located on the west side of 168 Street, just north of 58B Avenue. The property is designated "Urban" in the Official Community Plan (OCP) as well as "Institutional/Residential" in the West Cloverdale South Neighbourhood Concept Plan (NCP) and zoned "One Acre Residential Zone (RA)".

Heritage Background and Historic Significance

- The heritage dwelling on the subject property (John Lamb House) was constructed in 1920 and is valued for its association with the gradual rural settlement of the Five Corners area of historic Surrey Centre. The existing dwelling on the subject property has been listed on the Surrey Community Heritage Register since November 2, 1998.
- The heritage residence is significant for its Craftsman style of architecture. The Craftsman style, derived from the Arts and Crafts movement, was characterized by the use of local as well as natural material and was especially popular in the Lower Mainland during the early twentieth century.
- The house features front gables, exposed rafters, cove lap siding, double hung wood frame windows and decorative attic wood windows as well as full width porch with square posts, tongue and groove ceiling and wood picket balustrade.

DEVELOPMENT PROPOSAL

Planning Considerations

- Under Development Application No. 7917-0096-00, the applicant proposes the following:
 - an NCP Amendment from "Institutional/Residential" to "Urban Single Family";
 - rezoning from "One-Acre Residential Zone (RA)" to "Single Family Residential Zone (RF)" and "Single Family Residential 13 Zone (RF-13)";
 - a Development Variance Permit for the following:
 - to reduce the required lot depth from 28 metres to 25 metres for proposed Lot 1;
 - to permit double side-by-side garages on lots less than 13.4 metres wide for proposed Lots 1 and 2; and
 - to reduce the front yard (west) setbacks, along future 167A Street, in order to accommodate a second dwelling on proposed Lot 3.
 - subdivision into one RF lot and two RF-13 lots; and
 - a Heritage Revitalization Agreement to preserve the historic John Lamb House on Lot 3.

	Proposed
Lot Area	
Gross Site Area:	2,012 sq. m.
Road Dedication:	447 sq. m.
Undevelopable Area:	N/A

	Proposed
Net Site Area:	1,565 sq. m.
Number of Lots:	3
Unit Density:	25.3 units per hectare
Range of Lot Sizes	367 sq. m. to 793 sq. m.
Range of Lot Widths	12.5 m. to 16.3 m.
Range of Lot Depths	25.4 m. to 43.7 m.

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: The School District has provided the following projections for the number of students from this development:

2 Elementary students at Surrey Centre Elementary School
1 Secondary students at Lord Tweedsmuir Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by June, 2021.

Parks, Recreation & Culture: No concerns.

Ministry of Transportation & Infrastructure (MOTI): No concerns.

Heritage Advisory Commission (HAC): The proposal was presented at the March 10, 2020, HAC meeting. No concerns were raised, and support was given for the proposed Heritage Revitalization Agreement (Appendix VIII).

Transportation Considerations

- Per the engineering comments, the owner is required to register a Section 219 Restrictive Covenant on title to prohibit driveway access to/from 168 Street. As such, all of the proposed lots are required to take access from future 167A Street.
- In order to provide driveway access to/from 167A Street for the existing heritage dwelling (John Lamb House) on proposed Lot 3, the applicant will register a Section 219 Restrictive Covenant on title to protect a 5 metre wide "no build area" along the south lot line. This "no build area" will allow for a 4.5 metre wide driveway and includes an added 0.5 metre (1.6 ft.) setback to prevent the encroachment of any buildings or structures that could conflict with driveway access.

- The proposed RF-13 lots (Lot 1 and 2) are 12.5 metres (41 ft.) wide. A Development Variance Permit (DVP) is required to permit a double side-by-side garage, at the front of a property, on lots that are less than 13.4 metres (44 ft.) wide.

Heritage Revitalization Agreement

- Under the proposed Heritage Revitalization Agreement (HRA), the existing heritage building will be retained, and a second dwelling will be permitted on the proposed RF lot (Lot 3). The intent of the HRA is to protect properties on the heritage register as part of development to ensure the long-term conservation of the City's heritage stock.
- As part of the HRA, the applicant is proposing to:
 - permit a second dwelling on the subject property (Lot 3);
 - remove the existing carport located along the north lot line;
 - replace the existing foundation with a new seismic resistant foundation;
 - retain the heritage dwelling in its current location and preserve its rural character;
 - preserve the existing porch roof configuration and building massing;
 - finish the front stairs to reflect a Craftsman style entrance;
 - restore the exterior wall/balustrade, wooden deck boards and tongue-and-groove ceiling of the front porch as well as preserve the edge beams and square columns with decorative capitals;
 - ensure all replacement doors and windows reflect the Craftsman style;
 - preserve the exterior wood window frames, sills, crowns, and sashes;
 - ensure all replacement doors and windows maintain the heritage character;
 - restore the original red brick chimney;
 - preserve the tongue-and-groove roof underside boards, open eaves, open gable ends and exposed rafters;
 - preserve the original wood cove lap siding at the main floor and attic as well as replace damaged boards with matching materials;
 - restore the cedar shake siding at the ground floor to match the original siding; and
 - utilize paints that are consistent with "Historic Vancouver True Colours".

- The proposed HRA prescribes the terms and conditions for the continued protection of the heritage value and heritage character of John Lamb House (Appendix VIII). In addition, the HRA contains a detailed conservation plan that clearly outlines what steps are to be taken to preserve, rehabilitate and/or restore essential design features that contribute to the rural character of the existing heritage dwelling.
- The property owner will submit a Maintenance Plan and Funding Strategy for review and approval by the General Manager, Planning and Development and the Heritage Advisory Commission within one (1) year of the HRA by-law being adopted.
- In order to accommodate the proposed restoration as well as permit a second dwelling on the RF lot (Lot 3), several variations to the Zoning By-law are proposed to be included in the HRA.
- Section 610(2)(b) of the Local Government Act permits the variation of City by-laws within a Heritage Revitalization Agreement (HRA). When an HRA proposes to vary use or density, as is the case for the subject proposal, a Public Hearing is required.
- To ensure future owners are aware of the HRA after the Heritage Revitalization Agreement By-law is approved by Council, a notice (not the by-law) will be registered on the title of the property in the Land Title Office.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "General Urban" designation in the Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the "Urban" designation in the Official Community Plan.

Themes/Policies

- The proposal supports the following policies outlined in the Official Community Plan (OCP):
 - Encourage sensitive re-development of infill areas in ways that are compatible with the existing neighbourhood character;
 - Retain heritage features within existing neighbourhoods in order to preserve the neighbourhood character;

- Support infill development that is appropriate in scale, architecture, and density to its neighbourhood context and that uses compatible design to reinforce neighbourhood character;
- Design housing units that front directly onto public streets in order to facilitate a safe, welcoming, public streetscape and public realm;
- Identify, preserve, retain, reuse, protect, maintain, and revitalize built sites that have important historical, architectural or cultural significance;
- Integrate heritage resources into the physical development and evolution of Surrey to create a highly-desired urban environment and strong Sense of Place;
- Enhance historical resources by encouraging development to sensitively incorporate the preservation of heritage resources; and
- Wherever possible, preserve heritage buildings in their original location.

Secondary Plans

Land Use Designation

- The subject property is designated "Institutional/Residential" in the West Cloverdale South Neighbourhood Concept Plan (NCP).

Amendment Rationale

- The applicant is proposing to amend the West Cloverdale South NCP to re-designate the subject site from "Institutional/Residential" to "Urban Single Family" to accommodate the development proposal.
- The proposed re-designation and proposed layout is consistent with the existing single family subdivision approved directly to the south under Development Application No. 7906-0418-00.
- The proposed density and building form are appropriate for this part of West Cloverdale South, with the restoration of an existing heritage building on the site.
- As the proposal is consistent with the land-use and density that could be achieved under the existing "Institutional/Residential" designation in the West Cloverdale South NCP, the NCP Amendment is more of a housekeeping measure and, therefore, the proposed development will not be subject to the Tier 2 Capital Plan Project CACs.

Zoning By-law

- The applicant proposes to rezone the subject site from "One-Acre Residential Zone (RA)" to "Single Family Residential Zone (RF)" and "Single Family Residential (13) Zone (RF-13)".
- The tables below provide an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Single Family Residential Zone (RF)", "Single Family Residential (13) Zone (RF-13)" and parking requirements.

RF Zone

RF Zone (Part 16)	Permitted and/or Required	Proposed
Unit Density:	14.8 u.p.ha.	25.3 u.p.ha.
Yards and Setbacks		
Front Yard – Heritage Dwelling (East):	7.5 metres	6 metres to the heritage single family dwelling and existing accessory garage. 4.5 metre front yard setback is allowed for the existing stairway along 168 Street.
Front Yard – Second Dwelling (West):	7.5 metres	6 metres for an attached garage and 4.5 metres to the façade of the second dwelling along 167A Street
Side Yard (North):	1.2 metres	1.2 metres
Side Yard (South):	2.4 metres	2.4 metres
Rear yard – Heritage Dwelling (West):	7.5 metres	7.5 metres
Rear yard – Second Dwelling (East):	7.5 metres	7.5 metres
Lot Size		
Lot Size:	560 sq. m.	793 sq. m.
Lot Width:	15 m.	16.3 m. to 22.4 m.
Lot Depth:	28 m.	39.4 m.
Parking (Part 5)		
Number of Spaces	6 spaces	6 spaces

RF-13 Zone

RF-13 Zone (Part 16B)	Permitted and/or Required	Proposed
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RF-13 Zone (Part 16B)	Permitted and/or Required	Proposed
Unit Density:	28 u.p.ha.	25.6 u.p.ha.
Yards and Setbacks		
Front Yard (East):	6.0 m.	6.0 m.
Side Yard (North):	1.2 m.	1.2 m.
Side Yard (South):	1.2 m.	1.2 m.
Rear (West):	7.5 m.	7.5 m.
Lot Size		
Lot Size:	336 sq. m.	367 sq. m. to 403 sq. m.
Lot Width:	12 m.	12.5 m.
Lot Depth:	28 m.	28.3 m.
Parking (Part 5)	Required	Proposed
Number of Spaces	3 spaces	3 spaces

Proposed Variances

RF Lot (Lot 3)

- The following variances, directly related to the heritage single family dwelling that fronts onto 168 Street, will be addressed through the Heritage Revitalization Agreement (HRA):
 - Allow for two single family dwellings on the proposed RF lot (Lot 3) which includes retention of the existing heritage single family dwelling (John Lamb House);
 - Increase the maximum permitted unit density to 25.3 dwelling units per hectare on proposed Lot 3;
 - Permit the second storey of the heritage single family dwelling to exceed 80% of the floor area of the main floor level on proposed Lot 3;
 - Reduce the minimum front yard setback of the heritage single family dwelling and the existing accessory garage to 6.0 metres and further reduce the front yard setback to 4.5 metres in order to accommodate the existing stairs along 168 Street on proposed Lot 3; and
 - Permit a driveway to cover a maximum of 53% of the total area of the front yard within which the driveway is located on proposed Lot 3.
- The proposed RF lot (Lot 3) will be a double-fronting lot. As such, the building façade that fronts onto 168 Street for the heritage single family dwelling and 167A Street for the future second dwelling, will both serve as the front yard.
- As part of the proposed Development Variance Permit (DVP), the applicant is proposing to vary the following provision of the RF Zone in order to accommodate a second dwelling on proposed Lot 3:
 - To reduce the minimum front yard (west) setback from 7.5 metres to 6.0 metres for an attached garage and to 4.5 metres for the remainder of the front building face to

allow a second dwelling to be constructed on proposed Lot 3, which fronts onto 167A Street.

- The proposed variance to reduce the minimum front yard (west) setback under the RF Zone, along future 167A Street, will enable the applicant to build a second dwelling on Lot 3 with a functional building envelope while meeting the spatial separation requirement, retaining the existing heritage single family dwelling (John Lamb House) and maintaining a similar setback to the proposed RF-13 lots (Lots 1 and 2), on the west side of 167A Street.
- Staff support the requested variances to proceed for consideration.

RF-13 Lots (Lot 1 and 2)

- The applicant is requesting a variance to reduce the required lot depth of the RF-13 Zone from 28 metres to 25 metres for proposed Lot 1.
- The applicant is requesting a variance to the Off-Street Parking requirement under the RF-13 Zone to allow a double side-by-side garage at the front of the dwelling, on lots less than 13.4 metres wide, for proposed Lots 1 and 2.
- The proposed RF-13 lots (Lot 1 and 2) exceed the minimum required lot area under the Zoning By-law No. 12000 and the applicant's design consultant has confirmed that they are wide enough to accommodate a double side-by-side garage. In addition, allowing a double car garage that fronts onto 167A Street will help to maintain the form and character of the surrounding neighbourhood and provides for a consistent streetscape.
- Due to the configuration of the parent parcel, it is not possible to increase the width or depth of the proposed RF-13 lots and still achieve two lots fronting 167A Street. The proposed RF-13 lots are considered to have merit to support the retention and restoration of the heritage house on the site.
- Staff support the requested variances to proceed for consideration.

Lot Grading and Building Scheme

- The applicant retained Mike Tynan of Tynan Consulting Ltd. as the Design Consultant. The Design Consultant conducted a character study of the surrounding homes and based on the findings of the study, proposed a set of building design guidelines (Appendix V).
- The Character Study involved reviewing a number of existing homes in the neighbourhood in order to establish suitable design guidelines for the proposed subdivision. The study found that the existing dwellings to the south of the subject site, created under Development Application No. 7906-0418-00, and located along 58B Avenue and 167A Street provided suitable context for future re-development on the proposed RF-13 lots and for the second dwelling proposed on the RF lot fronting onto 167A Street. As such, the Building Scheme on the subject property reflects the design elements that are characteristic of the existing southerly single family dwellings.
- A preliminary lot grading plan, submitted by H.Y. Engineering Ltd., and dated April 2, 2019, has been reviewed by staff and found to be generally acceptable. The applicant does propose

in-ground basements. The feasibility of in-ground basements will be confirmed once the City's Engineering Department has reviewed and accepted the applicant's final engineering drawings.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The proposed development will be required to pay the rates that are applicable at the time of final subdivision approval.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- As the subject application was instream on April 10, 2018, the contribution does not apply.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on April 11, 2019, and the Development Proposal Sign was installed on January 10, 2019. Staff received no responses from neighbouring property owners.
- The subject development application was reviewed by the Cloverdale Community Association which provided the following comments (*staff comments in italics*):
 - The developer should consider building one larger RF lot in place of the two RF-13 lots currently proposed. The additional density created by two smaller RF-13 lots will result in more traffic congestion and cannot accommodate the required on-site parking given the proposed garages would be small.

(The proposed RF-13 lots exceed the minimum lot area requirement of the RF-13 Zone and will have double side-by-side garages with driveways. In addition, the proposed RF-13 lots are located at the end of 167A Street and, therefore, would not appear out of character with the surrounding neighbourhood. Furthermore, the applicant has volunteered to enter into a Heritage Revitalization Agreement, to preserve the heritage single family dwelling [John Lamb House], in place of constructing a larger dwelling on proposed Lot 3. Additional traffic generation along 167A Street from 3 proposed lots is anticipated to be minimal.)

TREES

- Stuart Goode, ISA Certified Arborist of Goode Arboriculture Consulting prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Aspen	1	1	0
Katsura	1	0	1
Magnolia	1	0	1
Maple	1	1	0
Plum	1	1	0
Coniferous Trees			
Western Red Cedar	1	1	0
Total	6	4	2
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		8	
Total Retained and Replacement Trees		10	
Contribution to the Green City Program		N/A	

- The Arborist Assessment states that there is a total of 6 protected trees on the site. It was determined that 2 trees could be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration road dedication, the location of services, building footprints and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 ratio. This will require a total of 8 replacement trees on the site. The applicant is proposing 8 replacement trees, thereby meeting City requirements.
- In summary, the applicant proposes to provide 8 replacement trees on the subject site and there is no contribution to the Green City Program required as part of this development application.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Site Plan and Survey Plan
- Appendix II. Building Envelope Analysis (Lot 3)
- Appendix III. Engineering Summary
- Appendix IV. School District Comments
- Appendix V. Building Design Guidelines Summary
- Appendix VI. Summary of Tree Survey and Tree Preservation
- Appendix VII. Heritage Advisory Commission Minutes
- Appendix VIII. Heritage Revitalization Agreement
- Appendix IX. NCP Re-designation Map
- Appendix X. Development Variance Permit No. 7917-0096-00

approved by Ron Gill

Jeff Arason
Acting General Manager
Planning and Development

MRJ/cm



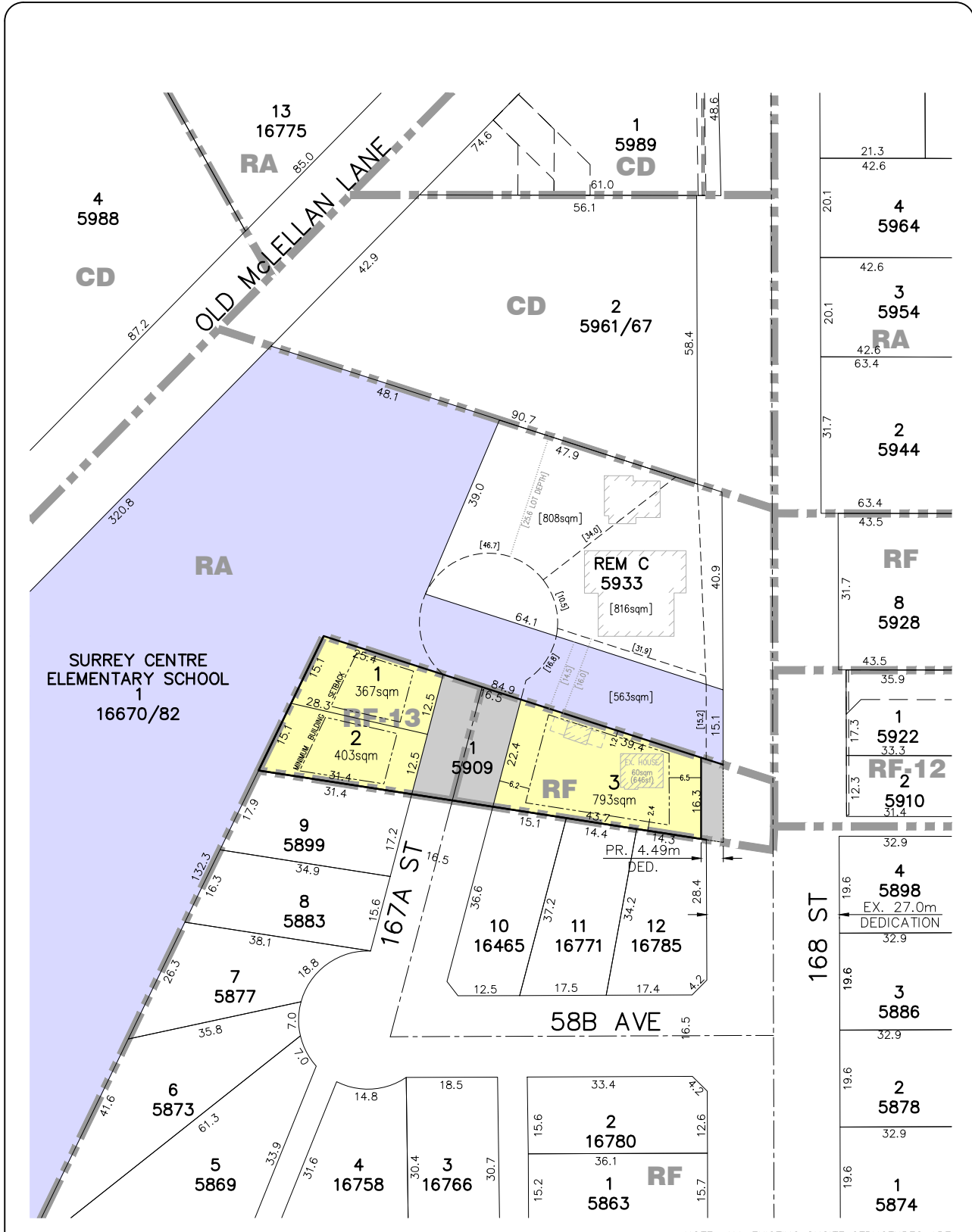
Planning & Development Department
 13450 - 104th Avenue, Surrey
 British Columbia, Canada V3T 1V8
 Tel. (604) 591-4441 Fax. (604) 591-2507

PROPOSED SUBDIVISION LAYOUT

File No: 79 -0 -00
 EXIST. ZONE: RA
 PROP. ZONE: RF-13/ RF



CIVIC ADDRESS: 5909 - 168 STREET SURREY B.C.
 LEGAL: SECTION 12, TOWNSHIP 2 PLAN 1752, N.W.D.



GROSS SITE AREA: 2,012sqm (0.49ac)
 ROAD DEDICATION: 447sqm

NOTE: ALL EXISTING ONSITE STRUCTURES ARE TO BE REMOVED UNLESS NOTED OTHERWISE

NOTE: EXISTING HOUSE ON LOT 3 IS A HERITAGE BUILDING AND IS TO BE RETAINED.

NOTE: PROPOSED BUILDING FOOTPRINTS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY

#200-9128-152nd. ST. Surrey, BC V3R 4E7 • TEL 604-583-1616
 Website: www.hyengineering.com • FAX 604-583-1737

H.Y.#: 164592

ALTERNATIVE#01A-1

DATE: 30 OCT/18

SCALE: 1:750

DRAWING PATH: E:\PROJECTS\164592\PLANNING\164592-ALT01A.dwg (1-LAYOUT) PLOT FILE UPDATED: NOVEMBER-07-18 12:18:56 PM BY: BENJAMIN CEBRERO

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY
BYLAW NO. _____**

**OVER PARCEL "ONE" (EXPLANATORY PLAN 5460) AND PART OF ROAD
BOTH OF LOT "E" LOT 11 SOUTH EAST QUARTER SECTION 12 TOWNSHIP 2
NEW WESTMINSTER DISTRICT PLAN 1752**

**FOR THE PURPOSE OF REZONING
INTEGRATED SURVEY AREA NO. 1
CITY OF SURREY, NAD83(CSRS) 4.0.0.BC.1.MVRD**



SCALE 1 : 500 DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN
IS 356mm IN WIDTH BY 216mm IN HEIGHT
WHEN PLOTTED AT A SCALE OF 1:500

LEGEND

m² DENOTES SQUARE METRES
ha DENOTES HECTARE

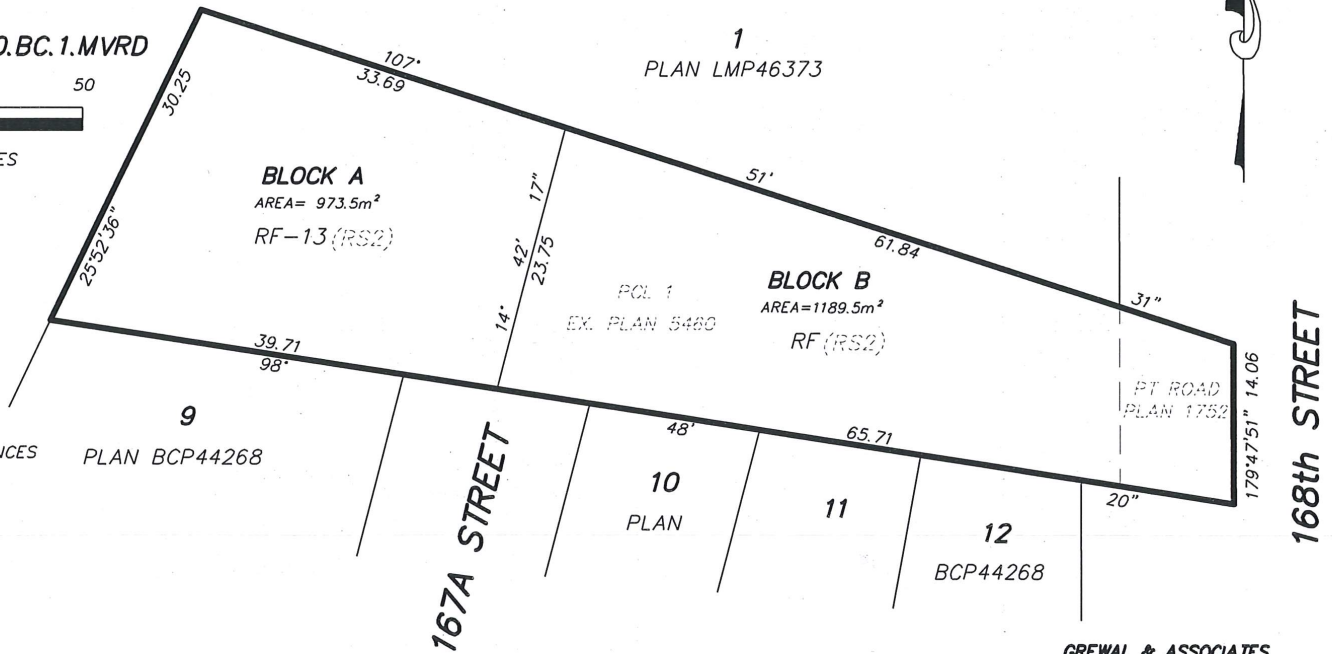
THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES
UNLESS OTHERWISE SPECIFIED.

GRID BEARINGS ARE DERIVED FROM PLAN BCP44268.

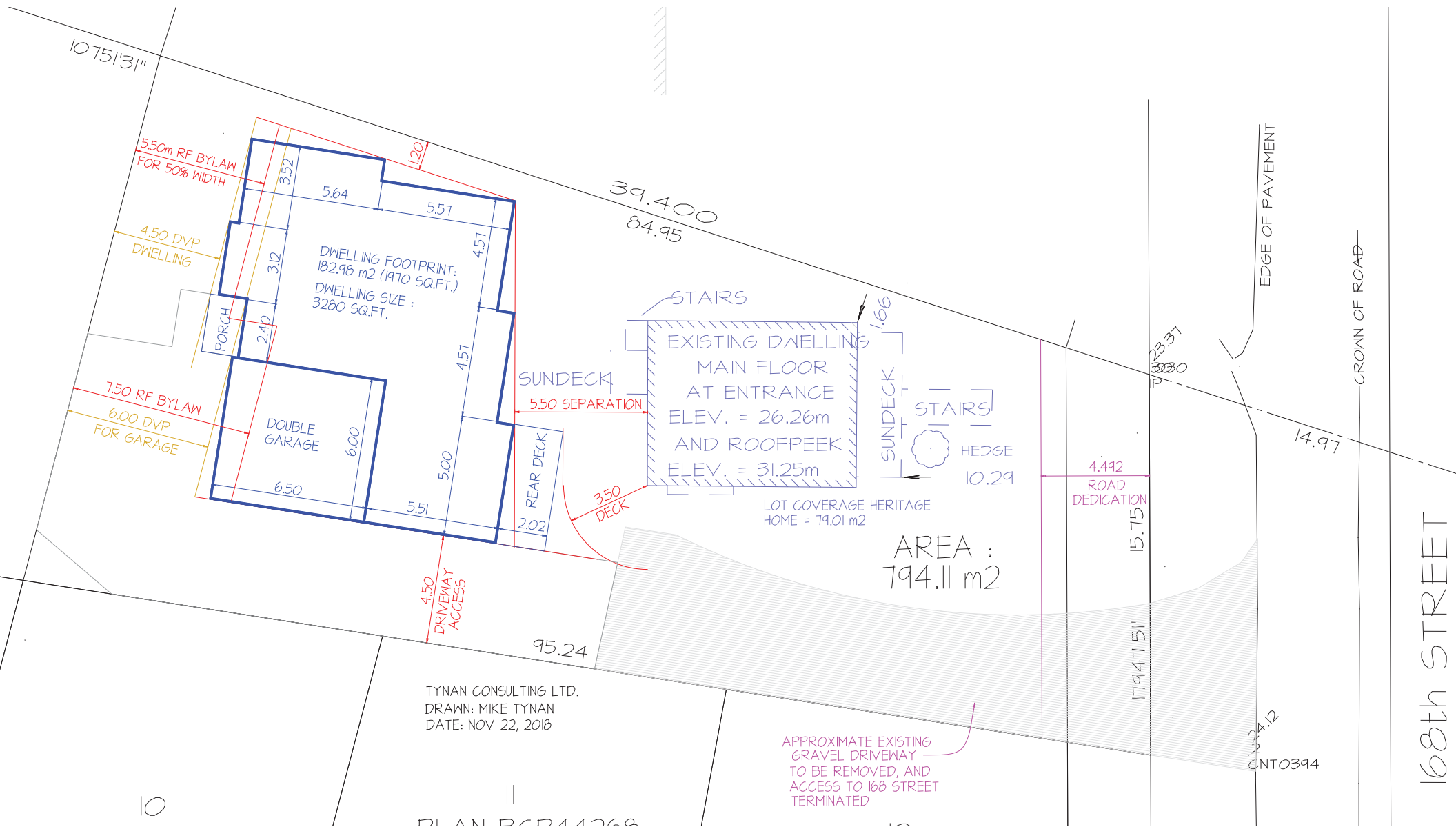
CERTIFIED CORRECT THIS 26th DAY OF MARCH, 2020.

LAKHJOT S. GREWAL B.C.L.S. #809

THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT



**GREWAL & ASSOCIATES
PROFESSIONAL LAND SURVEYORS**
UNIT 204, 15299-68th AVENUE
SURREY, B.C. V3S 2C1
TEL: 604-597-8567
EMAIL: Office@GrewalSurveys.com
FILE : 1607-042
DWG : 1607-042 SK-RZ-1





INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **Mar 11, 2019** PROJECT FILE: **7817-0096-00**

RE: **Engineering Requirements
Location: 5909 168 Street**

HERITAGE REVITALIZATION AGREEMENT HRA

There are no additional engineering requirements relative to the HRA beyond those listed below.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 4.942m along 168 Street for the ultimate 30m Arterial Road Standard.
- Dedicate 16.5m for the ultimate 167A Street Limited Local Road Standard.
- Provide 0.5m Statutory Right-of-Ways along the 168 Street and 167A Street frontages.

Works and Services

- Ensure grading at the property line along 168 Street is within +/- 300mm of the centreline.
- Construct 167A Street to the Limited Local Road Standard
- Construct 6.0 m concrete driveway letdowns to each lot.
- Subject to available funding and the Surrey School District approval construct a walkway from 168 Street west to connect to the school on the Surrey School District property north of the development.
- Construct water, storm and sanitary mains along 167A Street.
- Construct on-site stormwater mitigation as per the Cloverdale-McLellan Creek Integrated Stormwater Management Plan.
- Provide water, storm and sanitary service connections to each lot.
- Abandon service connections as per City Standards.
- Register required restrictive covenants as determined through detailed design.
- Pay all applicable charges against property.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT VARIANCE PERMIT (DVP)

There are no additional engineering requirements relative to issuance of the DVP beyond those listed above.

Tommy Buchmann, P.Eng.
Acting Development Services Manager

CE4

NOTE: Detailed Land Development Engineering Review available on file



September 26, 2022

Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 17 0096 00 (Updated Sept 2022)

SUMMARY

The proposed 4 Single family with suites are estimated to have the following impact on the following schools:

Projected enrolment at Surrey School District for this development:

Elementary Students:	2
Secondary Students:	1

September 2021 Enrolment/School Capacity

Surrey Centre Elementary	
Enrolment (K/1-7):	46 K + 348
Operating Capacity (K/1-7)	76 K + 326
Lord Tweedsmuir Secondary	
Enrolment (8-12):	1739
Capacity (8-12):	1400

Projected population of school-age children for this development:	5
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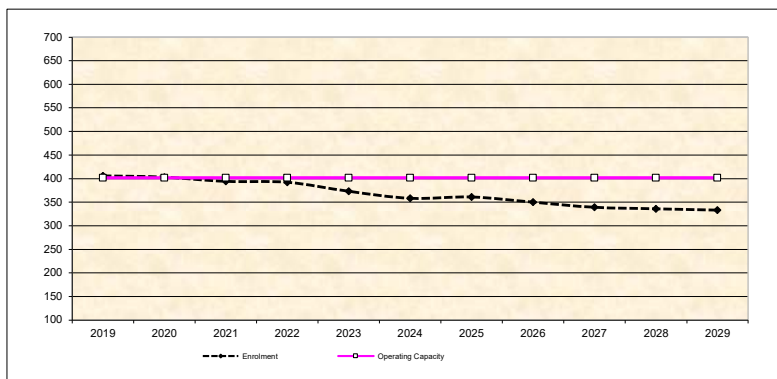
Population: The projected population of children aged 0-19 Impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.

School Enrolment Projections and Planning Update:
 The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

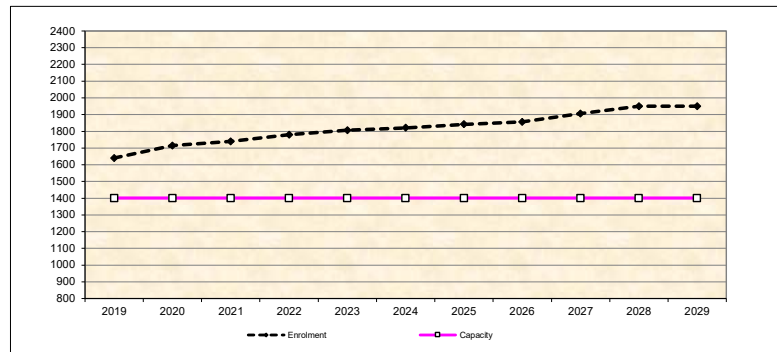
As of September 2021, there is one portable on site used for enrolling spaces. The 10-year enrolment projections are indicating that enrolment will decline. There are no plans to expand the school.

Lord Tweedsmuir continues to grow as it serves the majority of the Cloverdale community. There are no current plans to expand the school, however, this facility will be reviewed, over the next year, and will be considered for as a potential five-year capital plan request as part of the District's future Five Year Capital Plan 2023/2024.

Surrey Centre Elementary



Lord Tweedsmuir Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
 Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

BUILDING GUIDELINES SUMMARY**V.2.0**

Surrey Project no.: 17-0096 (A.Sundher)
Property Location: 5909-168 Street, Surrey, B.C

Design Consultant: Ran Chahal, Architectural Technologist AIBC, CRD.ASTTBC
 Apex Design Group Inc.
 #157- 8120 -128 Street, Surrey, BC V3W 1R1
 Off: 604-543-8281 Fax: 604-543-8248

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines, which highlight the important features and form the basis of the draft Building Scheme.

1. Residential Character

1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

The area surrounding the subject site is an urban area built out in the Pre-1960's - 2000's . Most homes are simple "West Coast Traditional" style structures with habitable areas of between 1000-3000 sf.

Most of the existing homes have mid to mid-massing characteristics with 57% of the homes having a one storey front entry.

Roof pitch varies from economical low pitch of 7/12 to a medium pitch of 9/12 common truss roofs with simple gables and common hips with Asphalt Roof Shingles in a Shake Profile being most common.

Wall surface materials are limited in the most part to one of the following: Vinyl (dominant), Hardi, Stucco, Cedar & Stone or Brick for an accent material. Accent trims are evident on most of the existing homes.

Landscaping is of a moderate planting standard with 50% of the homes having Exposed Aggregate driveways.

1.2 Prevailing Features of the Existing and Surrounding Dwellings Significant to the Proposed Building Scheme:

Most of the newer homes located in the study area have covered front verandas and would be encouraged to be constructed in any new home to be built in the future. Since the majority of the existing homes in the study area 15-40 years old, a similar character to the lots adjacent to the cul-de-sac lots will be maintained. The new homes will meet modern development standards especially with respect to overall massing and balance in each design and to proportional massing between individual elements. In order to achieve a cohesive streetscape with the cul-de-sac homes, I have recommended the

roof pitch to be between 8:12 and 12:12 and that flat roofs not be permitted. Trim and detailing standards and construction materials standards will meet 2000's levels. Continuity of character will be ensured through style and home type restrictions as described below.

Dwelling Types:

“Two-Storey”	82.0%
“Basement /Cathedral Entry”	0.00%
“Rancher (Bungalow)”	14.0%
“Split Levels”	0.00%

**Dwelling Sizes:
(Floor Area/Volume)**

Size range: 14.0% under 2000 sq.ft excl. garage
 29.0% 2001 - 2500 sq.ft excl. garage
 57.00% over 2501 sq.ft excl. garage

Exterior Treatment /Materials: Vinyl: 42.00% Hardi: 35.0% Stucco: 19.0% Cedar: 4.0%
 with Brick or stone accent is 62.0% of all homes

Roof Pitch/Materials: Asphalt Shingles: 61% Cedar Shingles: 11.0%
 Concrete Tiles: 14.0% Tar & Gravel: 0.00%
 90.00% of all homes have a roof pitch 6:12 to 10:12.

Window/Door Details: 64% of all homes have rectangular windows

Streetscape: A variety of simple “Two Story”, 15-40 year old “West Coast Traditional” homes in a common urban setting. Roofs on most homes are simple low pitch common hip or common gable forms with Asphalt Roof Shingles on most of the homes.

Other Dominant Elements: Most of the existing homes located in the immediate study area have covered front verandas.

2. Proposed Design Guidelines

2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

The guidelines will ensure that the existing character of the homes are maintained with modestly sized Two-Storey, Bungalow and Split Level type homes are constructed to 2000's standard. Continuity of character will be achieved with restrictions permitting the use of compatible styles, roof forms and exterior construction materials. Landscapes will be constructed to a modern urban standard.

2.2 Proposed Design Solutions:

Dwelling Types: Two-Storey, Split Levels and Ranchers (Bungalows).
Dwelling Sizes: Two-Storey or Split Levels - 2000 sq.ft. minimum
Floor Area/Volume: Basement Entry - 2000 sq.ft. minimum
 Rancher or Bungalow - 1400 sq.ft. minimum

(Exclusive of garage or in-ground basement)

**Exterior Treatment
/Materials:**

The massing and roof pitch of the garage shall not be a dominant feature of the streetscape. However, all permitted styles including: “Neo-Traditional”, “Neo-Heritage”, “Rural-Heritage” or “West Coast Modern” will be compatible with the existing study area homes.

**Exterior Materials
/Colours:**

Stucco, Cedar, Hardi, Vinyl siding is permitted only on non-street facing facades, Brick and Stone in “Neutral” and “Natural” colours. “Primary” and “Warm” colours not permitted on cladding. Trim colours: Shade variation on main colour, complementary, neutral or subdued contrast.

Roof Pitch:

Minimum 8:12; The roof pitch of the garage shall not be a dominant feature of the streetscape.

Roof Materials/Colours:

Cedar shingles, Concrete roof tiles in a shake profile and asphalt shingles in a shake profile. Grey or brown only.

Window/Door Details:

Dominant: Rectangular or Gently arched windows.

In-ground basements:

Permitted if servicing allows.

Landscaping:

Trees as specified on Tree Replacement Plan plus min. 12 shrubs (min. 3 gallon pot size).

Compliance Deposit:

\$ 5,000.00

Summary prepared and submitted by:



Ran Chahal, Design Consultant
Architectural Technologist AIBC, CRD.ASTTBC
Apex Design Group Inc.

August 30, 2019

Date

Table 3 - On-site Tree Protection and Replacement Summary

On-Site Trees	Number of Trees
Protected Trees Identified - on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas.	6
Protected Trees to be Removed	4
Protected Trees to be Retained – excluding trees within proposed open space or riparian areas.	2
Total Replacement Trees Required: <ul style="list-style-type: none"> • Alder & Cottonwood Trees Requiring 1:1 Replacement Ratio = 0 • All other Trees Requiring 2 to 1 Replacement Ratio = 4 	8
Replacement Trees Proposed	8
Replacement Trees in Deficit	0
Protected Trees to be retained in proposed open space /riparian areas	0

Table 4 - Off-site Tree Protection and Replacement Summary

Off-Site Trees	Number of Trees
Protected Off-site Trees to be removed	0
Total Replacement Trees Required: <ul style="list-style-type: none"> • Alder & Cottonwood Trees Requiring 1:1 Replacement Ratio = 0 • All other Trees Requiring 2 to 1 Replacement Ratio = 0 	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary and Plan Prepared by Goode Arboriculture Consulting



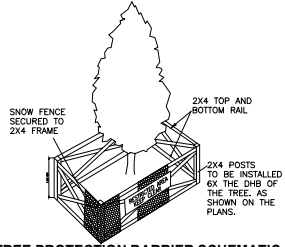
June 23, 2020

LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- ROOT PROTECTION ZONE (RPZ)
- TREE PROTECTION BARRIER (TPB)
- TREE CANOPY AREA (TCA)
- REPLACEMENT TREE
- BC HYDRO CONNECTION
- SANITARY CONNECTION
- STORM WATER CONNECTION
- GAS CONNECTION
- WATER CONNECTION

ABBREVIATIONS

S = Shared tree C = City tree O = Off-site tree

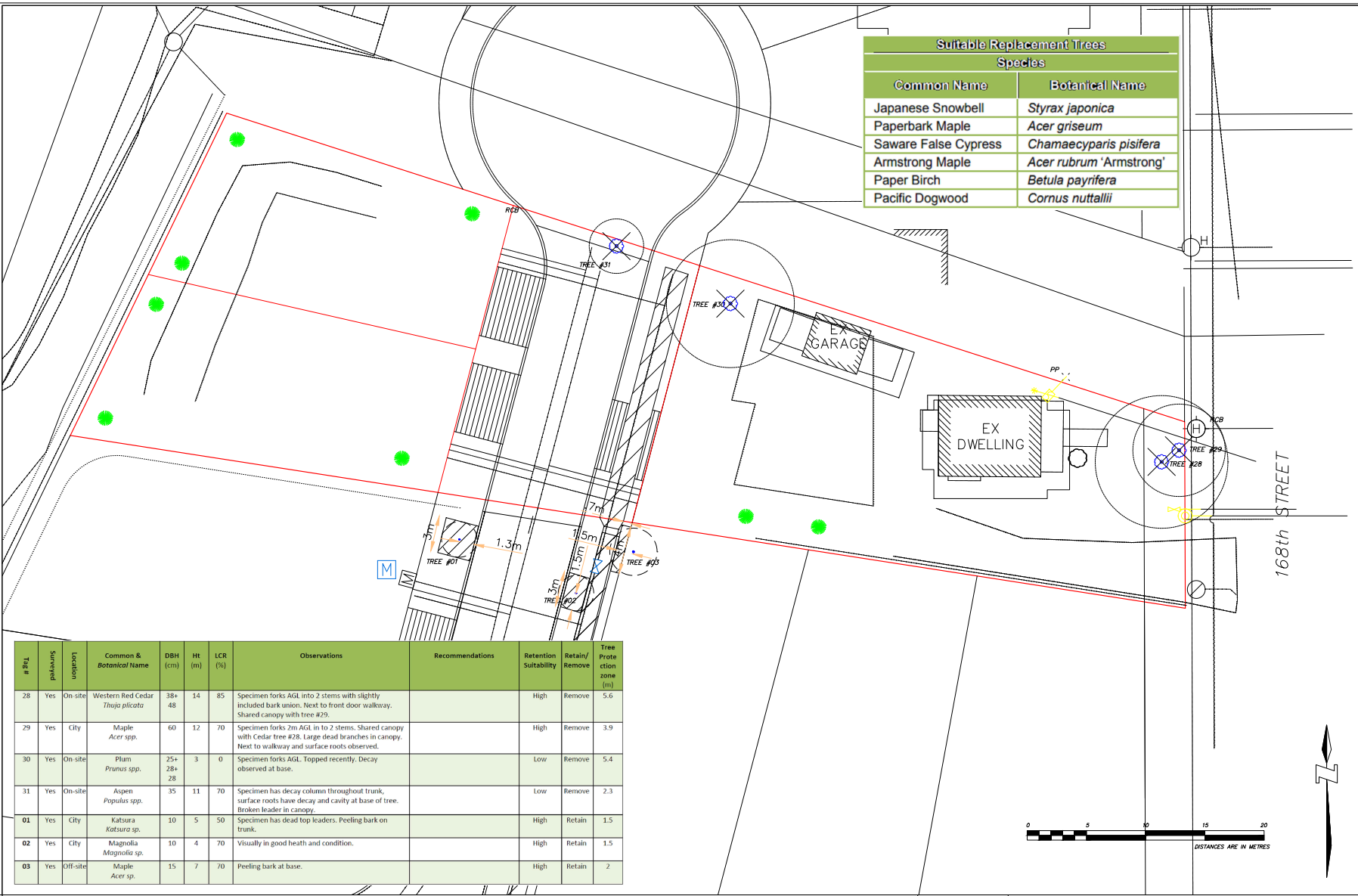


TREE PROTECTION BARRIER SCHEMATIC

ARBORIST NOTES & RECOMENDATIONS

- All replacement trees should conform to and meet BCLNA/BCSLA landscaping & ISA Standards.
- Replacement oniferous trees must be 3m in height and deciduous trees must be 8cm in caliper size.
- Small growing trees should not be planted within 3m of foundations, fences or outbuildings. Large growing species should be planted 4m away from building foundations.
- Replacement trees should also be planted 1m away from property lines and 3m away from another tree and not planted in a hedge like manner.
- Trees with mature heights greater than 5m should not be planted under overhead utility lines and within 3m of the power lines.
- Grade changes are not recommended within any tree protection barriers unless specified in Arborist Tree Preservation Report.
- Arborist supervision is required any time work is carried out within any tree protection barrier
- Tree stumps are not to be removed by excavator around retained onsite and neighboring trees. Remove stumps with a stump grinder.

Suitable Replacement Trees	
Species	
Common Name	Botanical Name
Japanese Snowbell	<i>Styrax japonica</i>
Paperbark Maple	<i>Acer griseum</i>
Saware False Cypress	<i>Chamaecyparis pisifera</i>
Armstrong Maple	<i>Acer rubrum</i> 'Armstrong'
Paper Birch	<i>Betula papyrifera</i>
Pacific Dogwood	<i>Cornus nuttallii</i>



#	Surveyed	Location	Common & Botanical Name	DBH (cm)	Ht (m)	LCR (%)	Observations	Recommendations	Retention Suitability	Retain/Remove	Tree Protection zone (m)
28	Yes	On-site	Western Red Cedar <i>Thuja plicata</i>	38+ 48	14	85	Specimen forks AGL into 2 stems with slightly included bark union. Next to front door walkway. Shared canopy with tree #29.		High	Remove	5.6
29	Yes	City	Maple <i>Acer spp.</i>	60	12	70	Specimen forks 2m AGL in to 2 stems. Shared canopy with Cedar tree #28. Large dead branches in canopy. Next to walkway and surface roots observed.		High	Remove	3.9
30	Yes	On-site	Plum <i>Prunus spp.</i>	25+ 28+ 28	3	0	Specimen forks AGL. Topped recently. Decay observed at base.		Low	Remove	5.4
31	Yes	On-site	Aspen <i>Populus spp.</i>	35	11	70	Specimen has decay column throughout trunk, surface roots have decay and cavity at base of tree. Broken leader in canopy.		Low	Remove	2.3
01	Yes	City	Katsura <i>Katsura sp.</i>	10	5	50	Specimen has dead top leaders. Peeling bark on trunk.		High	Retain	1.5
02	Yes	City	Magnolia <i>Magnolia sp.</i>	10	4	70	Visually in good health and condition.		High	Retain	1.5
03	Yes	Off-site	Maple <i>Acer sp.</i>	15	7	70	Peeling bark at base.		High	Retain	2

GOODE ARBORICULTURE CONSULTING



161 172nd Street, Surrey B.C.
7783174360
info@goodearboriculture.com

SITE ADDRESS:	5909 168 Street, Surrey BC.
PROJECT #:	170d
DATE:	June 23, 2020
ARBORIST:	Stuart Goode
SCALE:	See Above
REVISION #:	4



Surrey Heritage Advisory Commission - Minutes

2E - Community Room A
City Hall
13450 - 104 Avenue
Surrey, B.C.
TUESDAY, MARCH 10, 2020
Time: 5:00 p.m.

Present:

Councillor Annis, Chair
M. Gibbs
B. Hol
L. Tannen

Absent:

F. Lou
P. Priddy

Staff Present:

R. Gallagher, Heritage Facilities and
Administration Manager
K. Baglo, Heritage Planner
D. Zuk, Heritage Planner
C. Brown, Planner
K. Tiede, Traffic Engineer
L. Blake, Administrative Assistant

A. ADOPTIONS

1. Adoption of the Agenda

It was Moved by Commissioner Tannen
Seconded by Commissioner Hol
That:

1. The agenda of the Surrey Heritage Advisory Commission meeting held on March 10, 2020 be amended by adding item D.1(f) – Stewart Farm Pole Barn Roof Replacement; and
2. The agenda be adopted as amended.

Carried

2. Adoption of February 12, 2020 Minutes

It was Moved by Commissioner Tannen
Seconded by Commissioner Hol
That:

1. The minutes of the Surrey Heritage Advisory Commission meeting held on February 12, 2020 be amended by indicating:
 - Councillor Annis' exit from the meeting; and
 - The mover and seconder for Item D.1(b) on page five.

2. The minutes be adopted as amended.
Carried

B. DELEGATIONS

C. OUTSTANDING BUSINESS

D. NEW BUSINESS**1. PLANNING & DEVELOPMENT****(a) Semiahmoo Trail
Proposed Designation Bylaw Amendment and Heritage Alteration
Permit**

File: 6800-07

Kelsey Baglo, Heritage Planner, summarized the report dated February 26, 2020 regarding a proposed Designation Bylaw Amendment and Heritage Alteration Permit that has been received for the properties located at 2007 and 2075 151A Street and 15077 and 15147 20 Avenue along the Semiahmoo Trail. The owner of the lots has submitted a development application for lot consolidation, Development Variance Permit, and Development Permit requiring the realignment of the Semiahmoo Trail along 151A Street. The proposal is for a non-profit housing society that provides affordable housing for accessible individuals.

In response to questions from the Commission, staff provided the following information:

- A capital project has been approved to implement a controlled crosswalk in close proximity to the trail along 20th Avenue.
- A split-rail fence will be implemented along the property line. Staff will investigate if the fencing could be implemented between the trail and road curb.
- Staff are reviewing if a specialized type of paving can be utilized to differentiate the trail from a standard sidewalk.

The Commission noted the following comments:

- A portion of the trail along Crescent Road was enhanced with split-rail fencing and a controlled crosswalk with positive results. It was suggested that these designs could be implemented during the proposed HAP.
- There is an existing sign for the trail in the area; however, the sign does not have good visibility. It was suggested that the sign be retained, if possible, or a new sign be created and relocated to a visible location.

It was Moved by Commissioner Hol
 Seconded by Commissioner Gibbs
 That the Heritage Advisory Commission:

1. Receive the report dated February 26, 2020 regarding the Semiahmoo Trail proposed Designation Bylaw Amendment and Heritage Alteration Permit as information; and
2. Recommend to the General Manager, Planning and Development, that staff be directed to proceed with the preparation of an amendment to Heritage Designation Bylaw, 2004, No. 15280 and the preparation of a Heritage Alteration Permit (HAP) for the Semiahmoo Trail.

Carried

**(b) Heritage Alteration Permit Application
 Colebrook United Church (5441 125A Street)**

File: 6800-07

Daren Zuk, Heritage Planner, summarized the report dated February 27, 2020 regarding a Heritage Alteration Permit (HAP) application has been received for Colebrook United Church located at 5441 125A Street. The proposed HAP is to allow for the removal of memorial stained-glass windows and the installation of replacement windows at Colebrook United Church. The following additional information was highlighted:

- The church was protected by a Heritage Revitalization Agreement (HRA) in 2000. The HRA states that if the church is sold, the stained-glass windows may be sold as well.
- The church was sold in late 2019 and will be utilized as a mosque. The proposed removal of the stained-glass windows will increase the natural light and provide better functionality.
- The new owners are working with church officials to try and return the windows to the families that originally donated them. If the windows are unable to be returned to the family, staff can work with the applicant to find an alternative solution.

It was Moved by Commissioner Hol
 Seconded by Commissioner Tannen
 That the Heritage Advisory Commission:

1. Receive the report dated February 27, 2020 regarding a Heritage Alteration Permit Application for Colebrook United Church located at 5441 125A Street as information; and

2. Recommend to the General Manager, Planning and Development that the Heritage Alteration Permit for Colebrook United Church be issued by delegated authority following staff and Legal review.

Carried

(c) **John Lamb House (5909 168 Street)**
Heritage Revitalization Agreement (HRA) Application

File: 6800-07

Daren Zuk, Heritage Planner, summarized the report dated February 27, 2020 regarding a Heritage Revitalization Agreement (HRA) application that has been received for the John Lamb house located at 5909 168 Street. The development application proposes to retain the John Lamb house with an additional dwelling on the site. The western portion of the site would be subdivided, with an access road provided.

The Commission expressed appreciation to the staff for their work to retain the John Lamb house and suggested that a media release could be created to celebrate the success of the project.

It was Moved by Commissioner Hol
Seconded by Commissioner Gibbs
That the Heritage Advisory Commission:

1. Receive the report dated February 27, 2020 regarding the John Lamb House located at 5909 168 Street Heritage Revitalization Agreement (HRA) application as information; and
2. Recommend to the General Manager, Planning and Development Department that the HRA for the John Lamb House be forwarded to Council for consideration following City Architect and Legal review.

Carried

(d) **Cecil Heppell House (5818 182 Street)**
Grant Program Pictures

File: N/A (Verbal Report)

Daren Zuk, Heritage Planner, provided photos of the grant application work that has been completed for the Cecil Heppell house located at 5818 182 Street.

(e) **HAC Task List**

File: 0540-20V

Kelsey Baglo, Heritage Planner, Daren Zuk, Heritage Planner, and Ryan Gallagher, Heritage Administration and Facilities Manager, provided the following updates:

Lee House

Staff are working with the applicant on a revised application that includes the retention of the Lee House with additional density on the site. It is anticipated that the revised proposal will be presented to the Commission in Spring 2020.

Robert D. MacKenzie House

The application received first and second reading at the February 10, 2020 Regular Council – Public Hearing meeting (RCPH) and a public hearing on February 24, 2020. Staff are working with the applicant to complete the application.

John Lamb House

The draft Heritage Revitalization Agreement (HRA) that was supported at the March 10, 2020 Heritage Advisory Commission meeting will be forwarded for Council.

Strawberry Hills Hall

Planning staff are working with Parks, Recreation and Culture staff to bring the application forward for Council's consideration.

Wixalbrown House

Council added the Wixalbrown house to the Heritage Register at the February 24, 2020 Regular Council – Public Hearing meeting, as per the Commission's recommendation. Staff are working with the applicant to develop a proposal that includes retention of the house.

Colebrook United Church

The Colebrook United Church grant application will be added to the Task List.

Grants and Sponsorships

The Commission requested that the grants and sponsorships be retained as a standing Task List item.

Proposed HAC Priority Tasks and Initiatives

Staff are working with the Legal and Finance departments to develop a policy for utilizing the Restricted Reserve Fund.

Heritage Inventory Review

Staff is recommending that a Heritage Action Plan be implemented prior to moving forward with the Heritage Inventory Review

2. PARKS, RECREATION & CULTURE

(a) Civic Distinction Awards

File: N/A (Verbal Report)

Ryan Gallagher, Heritage Administration and Facilities Manager, advised that the Civic Distinction Awards are scheduled for October 22, 2020. An Event Planning Committee is finalizing the recognition categories.

The Commission noted the following comments:

- A copy of the submission documents could be forwarded to the Chamber of Commerce and local Business Improvement Associations for distribution to their members.
- Heritage should be a separate award category.

(b) South Asian Research Project Update

File: N/A (Verbal Report)

Ryan Gallagher, Heritage Administration and Facilities Manager, provided the following update regarding the South Asian research project:

- Jazmin Hundal, the research assistant for the project, is currently reviewing multiple archival sources and creating geo-references. 200 South Asian individuals have currently been identified from archival material, with the earliest reference being Bhana Singh in 1906.
- 350 pages of research material has been compiled at this point. A research binder will be created and made available upon completion of the project. The content can be integrated into school and public programming.
- Surrey Archives will be hosting a talk called "Surrey: South Asian Roots" and Ms. Hundal will discuss the research and its value. Clips from the oral history project "Indian Pioneers" will be also be played.
- It is anticipated that the research project will conclude by the end of March 2020.

The Commission noted that this could be a template for future research projects and requested a short summary outlining the project steps and criteria the Commission can utilize to support future projects.

(c) **Sponsored School Field Trips**

File: N/A (Verbal Report)

Ryan Gallagher, Heritage Administration and Facilities Manager, advised that schools that may have financial barriers that would prevent them from booking field trips to heritage facilities and have not been able to attend previous years have been identified. May, June, September and October would be ideal months for field trips as facilities have less programming scheduled.

3. **ENGINEERING**

4. **LEGISLATIVE SERVICES**

E. **CORRESPONDENCE**

F. **INFORMATION ITEMS**

1. **Heritage Campus Completion: Including Restored Heritage Buildings (1881 Town Hall and Anniedale School)**

File: 0330-01

Date: Saturday, April 4, 2020

Time: 11:30 a.m. – 3:00 p.m.

Location: Museum of Surrey

17710 56a Avenue

It was

Moved by Commissioner Tannen

Seconded by Commissioner Hol

That the Surrey Heritage Advisory

Commission allocate up to \$2500 from the Unrestricted Reserve Fund for refreshments at the opening of the restored 1881 Town Hall and Anniedale School on April 4, 2020.

Carried

G. OTHER BUSINESS

1. 2020 Heritage Conferences

File: 0390-20

**(a) 2020 Heritage BC Conference: The Culture of Heritage
May 7 – 9, 2020 Chilliwack, BC**

It was Moved by Commissioner Tannen
Seconded by Commissioner Hol
That:

1. Commissioner Gibbs and an additional Commissioner attend the 2020 Heritage BC Conference from May 7 – 9 in Chilliwack, BC; and
2. Recommend that the Finance Department reimburse applicable conference registration fees for the attending Commissioners' transportation, accommodation and per diem from the Surrey Heritage Advisory Commission budget, based on City of Surrey policy.

Carried

**(b) British Columbia Historical Federation (BCHF) Annual Conference:
Back to the Future
June 5 – 7, 2020 Surrey, BC**

It was Moved by Commissioner Tannen
Seconded by Commissioner Hol
That:

1. Commissioner Hol and an additional Commissioner attend the BCHF Annual Conference from June 5 - 7 in Surrey, BC; and
2. Recommend that the Finance Department reimburse applicable conference registration fees for the attending Commissioners' transportation, accommodation and per diem from the Surrey Heritage Advisory Commission budget, based on City of Surrey policy.

Carried

(c) **National Trust Conference 2020: Conservation, Disruption and the Future Heritage**
October 3 – 7 Edmonton, Alberta

It was Moved by Commissioner Tannen
Seconded by Commissioner Hol
That:

1. Commissioner Tannen and two additional Commissioners attend the National Trust Conference 2020 in Edmonton, Alberta; and
2. Recommend that the Finance Department reimburse applicable conference registration fees for the attending Commissioners' transportation, accommodation and per diem from the Surrey Heritage Advisory Commission budget, based on City of Surrey policy.

Carried

H. FINANCIALS

1. Financial Summary as at February 29, 2020
File: 0540-20V

It was Moved by Commissioner Hol
Seconded by Commissioner Gibbs
That the Surrey Heritage Advisory
Commission receive the Financial Summary as of January 31, 2020 for information.
Carried

I. NEXT MEETING

The next meeting of the Surrey Heritage Advisory Commission (SHAC) is scheduled for 5:00 p.m. on **April 8, 2020** in **2E Committee Room B**.

J. ADJOURNMENT

It was

Moved by Commissioner Tannen
Seconded by Commissioner Gibbs
That the Surrey Heritage Advisory

Commission meeting do now adjourn.

Carried

The Surrey Heritage Advisory Commission adjourned at 6:21 p.m.

Jennifer Ficocelli, City Clerk

Councillor Annis, Chairperson

**SURREY HERITAGE ADVISORY COMMISSION
RECOMMENDATION INDEX
Wednesday, March 10**

1. 2020 Heritage Conferences

File: 0390-20

Note: The National Trust has advised that if physical conference sessions cannot be held due to COVID-19, virtual sessions will be provided.

**(c) National Trust Conference 2020: Conservation, Disruption and the Future
Heritage
October 3 - 7 Edmonton, Alberta**

That:

1. Commissioner Tannen and two additional Commissioners attend the National Trust Conference 2020 in Edmonton, Alberta; and
2. Recommend that the Finance Department reimburse applicable conference registration fees for the attending Commissioners' transportation, accommodation and per diem from the Surrey Heritage Advisory Commission budget, based on City of Surrey policy.

NOTE: The Commission approved Commissioners to attend the following conferences; however, both events were cancelled due to COVID-19 and will not be brought forward for Council's consideration.

**(a) 2020 Heritage BC Conference: The Culture of Heritage
May 7 - 9, 2020 Chilliwack, BC**

**(b) British Columbia Historical Federation (BCHF) Annual Conference: Back to
the Future
June 5 - 7, 2020 Surrey, BC**

SCHEDULE "I"

[To City of Surrey Heritage Revitalization Agreement By-law, 20 , No. _____]

HERITAGE REVITALIZATION AGREEMENT

This Agreement made the ___ day of _____, 20

BETWEEN:

(the "Owner")

OF THE FIRST PART

AND:

CITY OF SURREY, a municipal corporation,
and having offices at 13450 - 104 Avenue
Surrey, British Columbia V3T 1V8

(the "City")

OF THE SECOND PART

WHEREAS:

- A. The Owner is the registered owner in fee simple of the following lands and premises situate in the City of Surrey, British Columbia and described as:

Parcel Identifier: 002-256-193
 Section 12 Township 2 New Westminster District Plan 1752
 Parcel One, Part South East ¼, Portion EP5460 Lot E Lot 11

5909 - 168 Street

And as the legal description noted above is to change, the City Clerk is directed to insert the following new legal description once title(s) has/have been issued, as follows:

Parcel Identifier: _____

(the "Lands");

- B. The Owner and the City consider that the Lands, including the improvements and features on the Lands, have *heritage value* and *heritage character*;

- C. The Owner and the City desire to conserve the *heritage value* and *heritage character* of the Lands;
- D. For the purpose of conservation of the *heritage value* and *heritage character* of the Lands, the Owner and the City have agreed to enter into this Agreement setting out the terms and conditions of continuing protection for the *heritage value* and *heritage character* of the Lands;
- E. The Owner has agreed to the terms for compensating the City for the loss in *heritage value* in accordance with Section 2(f) of this Agreement in the event the heritage improvements or features on the Lands are moved or destroyed other than through natural causes;
- F. The improvements or features on the Lands which have *heritage value* and *heritage character* which both the Owner and City desire to conserve have been described by text, photographs, plans and drawings attached to this Agreement as Appendix "A" (the "Conservation Plan") and Appendix "B" (the "Dewhirst Lessard Consulting Plan");
- G. The improvements or features identified in the Conservation Plan as the John Lamb House (the "Heritage House") is listed on the Surrey Heritage Register and the Owner and the City consider that the Heritage House has *heritage value* and *heritage character* such that all provisions of this Agreement applicable to the Lands also apply to the Heritage House; and
- H. In addition to providing for the conservation of the Lands and the Heritage House, the Owner and the City have agreed to allow for a second dwelling (the "Second House") to be constructed on the Lands; and
- I. The Lands are subject to variances contained in Appendix "C".

NOW THEREFORE THIS AGREEMENT WITNESSES that in consideration of the mutual premises of the parties hereto and for other good and valuable consideration (the receipt and sufficiency of whereof is hereby by the parties acknowledged) the Owner and the City covenant and agree with one another pursuant to Section 610 of the Local Government Act, R.S.B.C. 2015, Chapter 1, as amended, re-enacted or consolidated from time to time and any successor statute (the "Local Government Act"), as follows:

Conservation Plan

- 1. (a) The Conservation Plan and the Dewhirst Lessard Consulting Plan form part of this Agreement. To the extent that the text, photographs, plans and drawings constituting the Conservation Plan or Dewhirst Lessard Consulting Plan require interpretation, the City shall be, in the first instance, the interpreter of the Conservation Plan or Dewhirst Lessard Consulting Plan, as the case may be, and shall determine the matter. If the Owner is dissatisfied with the City's interpretation, then Section 15 of this Agreement shall apply.
- (b) Part I of the Conservation Plan identifies, details and describes the character, extent and nature of the improvements and features on the Lands that have *heritage value* and *heritage character*. Part II of the

Conservation Plan sets out the maintenance strategy, general standards and exemptions for the *conservation* and maintenance of all improvements and features on the Lands that have *heritage value* and *heritage character*. Part III of the Conservation Plan sets out the standards and specifications for restoration, rehabilitation, replication, repair, replacement or maintenance to be undertaken and completed pursuant to this Agreement, including, but not limited to: structure and foundations; roofing; trimwork; front porch; windows and doors; chimney; and finishes.

Owner's Obligations to Protect, Conserve, Maintain and Rebuild

2. The Owner covenants and agrees that:
 - (a) No improvements on the Lands identified in the Conservation Plan as having *heritage value* or *heritage character* shall be *altered*, including alterations required or authorized by this Agreement, except as agreed to in writing by the City.
 - (b) Each action of restoration, rehabilitation, replication, repair, replacement or maintenance required by Parts I, II, and III of the Conservation Plan and the Dewhirst Lessard Consulting Plan shall be commenced and completed in accordance with the timing, phasing, standards and specifications set out the Conservation Plan.
 - (c) All improvements identified in the Conservation Plan as having *heritage value* and *heritage character* shall be maintained to the minimum standards and in accordance with the guidelines and requirements set out in the Conservation Plan and the Dewhirst Lessard Consulting Plan.
 - (d) In the event the Heritage House is damaged, the Owner of the Lands accepts the obligation to undertake all necessary construction to restore the damaged portion or portions of the Heritage House to its original condition. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to restore the damaged portion or portions of the Heritage House. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The restoration of the Heritage House shall reflect the character-defining elements and design components including, but not limited to: location in the historic neighbourhood of Surrey Centre; position of the Heritage House in the northeast corner of the property; continuous residential use; front gabled massing; roof details; cove lap siding; double hung wood frame windows; and full width porch, all as subject to approval by the City Architect or designate.
 - (e) In the event the Heritage House is destroyed, the Owner of the Lands accepts the obligation to undertake all necessary construction to create a replica of the Heritage House. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to create a replica of the Heritage House. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The construction of the replica of the Heritage House shall reflect the character-defining elements and design components as described in Section 2(d), all as subject to approval by the City Architect or designate.

- (f) In the event that the Heritage House is destroyed, in addition to the construction of a replica described in 2(e), the Owner covenants and agrees to compensate the City for the loss in *heritage value* to the community in the amount of \$62,223.38 indexed to the Vancouver Consumer Price Index (CPI) with 2020 being the base year, except that if the Heritage House is destroyed through natural causes, including but not limited to, flood, earthquake and accidental fire as determined by the City in its sole discretion, and a replica is constructed by the Owner that is acceptable to the Heritage Advisory Commission or any successor decision making body in its sole discretion, then payment of compensation by the Owner to the City is not required.
- (g) Should the Heritage House become vacant and unoccupied, the Owner of the Lands agrees to maintain the integrity and security of the Heritage House and Lands including, but not limited to, on-site security, monitored security alarm system, perimeter fencing and lighting, and boarding of windows and doors. The Owner of the Lands must provide to the City in writing a 24-hour emergency contact number and confirm the security measures are in place. If the Owner fails to secure the Heritage House, the City may and is authorized to enter onto the Lands to undertake the necessary works to secure the Heritage House, and the cost shall be at the expense of the Owner and the City shall be at liberty to recover the costs in a like manner as City property taxes on the Lands and to conduct inspections to determine that the security measures continue to be in place.
- (h) Should the Heritage House become vacant and unoccupied during construction or other redevelopment of the Lands, the Owner agrees to post a sign that reads as follows:

PROTECTED HERITAGE SITE

No Vandalism or Removal of Materials

(Maximum individual penalty: \$50,000 and 2 years Imprisonment)

If the Owner fails to post the required sign, the City may and is authorized to post the sign, and the cost shall be at the expense of the Owner and the City shall be at liberty to recover the costs in a like manner as City property taxes on the Lands.

- (i) Once the Heritage House is occupied, there must be appropriate security measures in place to maintain the integrity and security of the Heritage House and Lands. Should the Heritage House become vacant and unoccupied for a period of 30 days or more, the requirements in 2(g) apply, including the right of the City to enter onto the Lands to carry out the necessary works at the expense of the Owner and confirm that security measures are in place, unless otherwise agreed to in writing by the City. The Owner of the Lands must also provide to the City in writing a 24-hour emergency contact number.
- (j) The Owner shall do or cause to be done all such things, and shall take or cause to be taken all such actions, as are necessary to ensure that the restrictions and requirements set out in Parts II and III of the Conservation

Plan and in the Dewhirst Lessard Consulting Plan are fully observed, and the Owner shall not do, cause or allow to be done anything that would be in breach of the restrictions and requirements of this Agreement.

- (k) Where required by the City in a heritage alteration permit, the Owner shall provide security to the City to guarantee the performance of the terms, requirements and conditions contained in the Conservation Plan and the Dewhirst Lessard Consulting Plan.
- (l) The Owner may apply to the City for funding including, but not limited to, monies for exemption from taxes, or any provision for assistance as specified in Section 25 of the Community Charter, S.B.C. 2003, c.26 (the "Community Charter").

Variations to By-laws

- 3. The Lands are subject to variances contained in Appendix "C".

Construction and Maintenance

- 4. Wherever under this Agreement the Owner relocates, restores, rehabilitates, replicates, repairs, replaces, maintains or in any way alters improvements on, or features of the Lands identified in the Conservation Plan as having *heritage value* and *heritage character* or constructs or maintains other works to protect or conserve such improvements or features, all such work shall be done at the Owner's sole expense strictly in accordance with the Conservation Plan and the Dewhirst Lessard Consulting Plan and as agreed by the City in writing and all improvements or features shall be diligently and continuously maintained in good repair and efficient operating condition by the Owner at the Owner's sole expense in accordance with good engineering, design, heritage and conservation practice.

No Liability to City

- 5. In no case shall the City be liable or responsible in any way for:
 - (a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that may be suffered or sustained by the Owner or by any other person who may be on the Lands; or
 - (b) any loss or damage of any nature whatsoever, howsoever caused to the Lands or any improvements or personal property thereon belonging to the Owner or to any other person,

arising directly or indirectly from compliance with the restrictions and requirements of this Agreement, wrongful or negligent failure or omission to comply with its restrictions and requirements, or refusal, omission or failure of the City to enforce or require compliance by the Owner with the restrictions or requirements or with any other term, condition or provision of this Agreement.

Reasonable Care and Risk

6. The Owner shall at all times, in complying with the restrictions or requirements of this Agreement, take reasonable care not to injure any person or cause or allow damage to any property, and shall take reasonable care not to cause, suffer, permit or allow any condition to exist that might reasonably lead to, cause or result in injury to any person or property including persons and property on adjacent lands. It shall be the sole responsibility of the Owner to comply and maintain compliance with the restrictions and requirements in a safe manner, and without reasonably foreseeable risk to person or property. Compliance with the restrictions and requirements in this Agreement shall be at the sole and exclusive risk and cost of the Owner.

Modification

7. If, in fulfilling its responsibilities and obligations pursuant to this Agreement, the Owner perceives or becomes aware of any unreasonable risk of injury to persons or damage to property or other potential loss that cannot be reasonably avoided, alleviated, reduced or eliminated except by measures that would be a breach of the restrictions, requirements of this Agreement, the Owner shall notify the City in writing of the nature and extent of the risk and of the measures proposed by the Owner to be undertaken at its sole cost to reduce, alleviate, avoid or eliminate the risk. Risk shall remain with the Owner.

Indemnity

8. The Owner shall at all times indemnify and save harmless the City and its elected and appointed officials, employees, contractors and agents of and from all loss and damage, and all actions, claims, costs, demands, expenses, fines, liabilities and suits of any nature whatsoever by whomsoever brought for which the City shall or may become liable, incur or suffer by reason of existence and effect whether direct or indirect of the restrictions or requirements of this Agreement, or breach or nonperformance by the Owner of any covenant, term or provision hereof, or by reason of any work or action of the Owner in performance of this Agreement, or by reason of any work or action of the Owner in performance of its obligations, or by reason of any wrongful act or omission, default or negligence of the Owner.

Alternative Remedies

9. Any performance by the City pursuant to a statutory right to perform the obligations of an Owner arising out of this Agreement may be exercised fully in accordance with the Local Government Act and the Community Charter, and shall be without prejudice to any and all other remedies at law and equity available to the City, and no reference in this Agreement to, or exercise of any specific right or remedy by the City, shall preclude the City from exercising any other right or remedy.

Damages

10. The Owner covenants and agrees that the measure of damages for any breach of the restrictions or requirements of this Agreement shall include, but shall not be limited to, the actual cost and expense of all administration, labour, materials, equipment, services and work required for all remedial acts necessary to fully restore, rehabilitate, replace, repair or maintain the building, structure, improvements on or features of the Lands having *heritage value* and *heritage character* to be protected, conserved, preserved or kept in its natural state. The nature and extent of any breach of the said restrictions and requirements, and the nature and extent of any relocation, restoration, rehabilitation, replacement, maintenance or remedial work or action of any nature required to remedy such breach shall be determined by the City by reference to the Conservation Plan and the Dewhirst Lessard Consulting Plan, and Sections 2 and 4 of this Agreement.

No Waiver

11. No restrictions, requirements or other provisions in this Agreement shall be deemed to have been waived by the City unless a written waiver authorized by resolution of the Council and signed by an officer of the City has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the City on previous occasions of any default nor any previous written waiver shall be taken to operate as a waiver by the City of any subsequent default or in any way to defeat or affect the rights of remedies to the City.

Statutory Authority and Proprietary Rights

12. Nothing in this Agreement shall limit, impair, fetter, or derogate from the statutory powers of the City all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled and no permissive by-law enacted by the City, or permit, license or *approval*, granted, made or issued hereunder, or pursuant to statute, by the City shall stop, limit or impair the City from relying upon and enforcing this Agreement.

Compliance with Laws

13. Despite any provision of this Agreement, the Owner shall comply with all laws, including by-laws of the City and all regulations and orders of any authority having jurisdiction, and to the extent only that such laws, regulations and orders are mandatory and necessarily require the breach of any restriction or positive obligation of this Agreement to be observed or performed by the Owner, or less than strict compliance with the terms hereof, then the Owner upon sixty (60) days' written notice to the City shall be excused from complying with such restrictions or performing such obligation and such restriction or obligation shall be suspended but only to the extent and for the time that such mandatory law, regulation or order is inconsistent with compliance with the said restrictions or obligations.

Notice

14. Any notice to be given under this Agreement shall be in writing and may be either delivered personally or sent by prepaid registered mail and if so mailed shall be deemed to have been given five (5) days following the date upon which it was mailed. The address of the parties for the purpose of notice shall be as follows:

If to the City:

Attention: City Clerk
CITY OF SURREY
13450 – 104 Avenue
Surrey, British Columbia V3T 1V8

If to the Owner:

Any party may at any time give notice in writing to the other of any change of address and after the third day of giving of the notice, the address specified in the notice shall be the address of the party for the giving of notices.

If title to the Lands is transferred to a new Owner, the new Owner shall provide notice in writing to the City within 15 days of such a transfer providing the name of the new Owner, the contact for notice if it is different than the Owner and the new Address to which notices are to be sent.

Arbitration

15. The Owner, if dissatisfied with the City's interpretation of the Conservation Plan or the Dewhirst Lessard Consulting Plan and any determination pursuant to Section 1(a) of this Agreement may require that the matter be decided and determined by binding arbitration as follows:
- (a) The Owner must, within thirty (30) days of any exercise of discretion by the City, give notice to the City of its intention to dispute and in such notice shall name a member in good standing of the Architectural Institute of British Columbia who has agreed to act as an arbitrator;
 - (b) The City shall within thirty (30) days of receipt of the aforesaid notice either accept the Owner's arbitrator, or name another with the same qualifications willing to act, and shall give notice of the same to the Owner;
 - (c) Where each of the Owner and the City have named an arbitrator, the two arbitrators shall within thirty (30) days of the City's notice pursuant to Section 15(b) appoint a third arbitrator having the same qualifications and the three arbitrators shall decide the dispute;
 - (d) Where the City accepts the arbitrator first selected by the Owner, that arbitrator shall act as a single arbitrator and forthwith decide the dispute;

- (e) Any arbitrator's decision in respect of the exercise of discretion by the City shall be final, conclusive and binding on all parties;
 - (f) The arbitrator shall award the prevailing party full compensation for all costs and expenses of the arbitrator, costs and fees of the proceedings and solicitor-client costs and expenses; and
 - (g) The arbitrator shall issue a final decision regarding the dispute within twenty-five (25) business days after the arbitrator's appointment, subject to extension of that time by agreement of the parties.
16. Without limiting the City's power of inspection conferred by statute and in addition to that power, the City shall be entitled at all reasonable times and with reasonable notice to enter onto the Lands from time to time for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner, and wherever possible, when an inspection of the Lands is undertaken, the City shall provide reasonable notice to the Owner.

Headings

17. The headings in this Agreement are inserted for convenience only and shall not affect the construction of this Agreement or any of its provisions.

Schedules

18. All schedules to this Agreement are incorporated into and form part of this Agreement.

Number and Gender

19. Whenever the singular or masculine or neuter is used in this Agreement, the same shall be construed to mean the plural or feminine or body corporate where the context so requires.

Interpretation

20. Terms used in this Agreement that are italicized are defined in the Local Government Act, and the Heritage Conservation Act, R.S.B.C. 1996, Chapter 187, as amended, re-enacted or consolidated from time to time and any successor statute, and shall take their meaning from those Acts.

Successors Bound

21. All restrictions, rights and liabilities imposed upon or given to the respective parties under this Agreement shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns. When the Owner is more than one party they shall be bound jointly and severally by the terms, covenants and agreements on the part of the Owner.

Notice to be Filed

22. Notice of this Agreement and amendments to it will be filed in the Land Title Office and once filed, this Agreement and amendments will be binding on all persons who acquire an interest in the Lands.

IN WITNESS WHEREOF the Owner and the City have executed this Agreement as of the date first above written.

CITY OF SURREY

Doug McCallum
Mayor

Jennifer Ficocelli
City Clerk

Appendix "A"

CONSERVATION PLAN

PART I – HISTORICAL AND ARCHITECTURAL BACKGROUND

1. Description of Historic Place

The John Lamb House is a one storey wood frame house located on 168th Street in the neighbourhood of Cloverdale in the municipality of Surrey, British Columbia. The modest Craftsman style house sits on a deep property and represents the gradual settlement in the historic Surrey Centre with the transformation from a farming to suburban hub.

1. Heritage Value of Historic Place

Constructed circa 1920, the John Lamb House is valued for its association with early non-Indigenous settlement of Surrey Centre, and its Craftsman style architecture.

Surrey Centre is located above the Clover Valley, between the Nicomekl and Serpentine Rivers. The Huck and the Boothroyd families were early non-Indigenous settlers of Surrey Centre. Abraham and Nancy Huck bought 320 acres of land south of 60th Avenue, in 1872. The Huck's house was located at the junction of Coast Meridian Road (168th Street) and Old Mclellan Road (60th Avenue). He and his wife operated a store and the local post office. In 1881, Huck donated the site for the first Surrey Centre School, and provided the property for the first Town Hall, church, and cemetery. George Boothroyd and his brother William purchased a lot north of Old Mclellan Road and east of Coast Meridian Road, in 1878; his house still exists today on its original site. The Town Hall was completed in 1881 and continued to be the seat of the Municipal government in Surrey until 1912. It was located on the current Surrey Centre Elementary School site bordering the back of the John Lamb property. The Anglican Church, Christ the Redeemer, was built in 1884 and is still standing on Old Mclellan Road across from Surrey Centre Elementary School. The one-room school was built around 1891; it expanded into a three-room school in 1939 and into a four-room school in 1949. The site is still used as a local public school. The opening of the New Westminster and Southern Railway in 1891 and the relocation of the Town Hall in 1912 precipitated the decline of Surrey Centre in favour of Cloverdale, but the area experienced resurgence as a residential neighbourhood in the 1990's.

The John Lamb House is valued for its Craftsman style architecture, which is well suited to a rural environment. The modest scale of the house is typical of the farm houses built in the early twenties in Surrey Centre, while the fine detailing forecasts a transition to a more urban character. The site of the John Lamb House is also enhanced by the growth of mature cedar trees in the front of the house, thus maintaining its rural character.

2. Character Defining Elements

Key elements that define the heritage character of the John Lamb House include its:

- Location in the historic neighbourhood of Surrey Centre;
- Position of the house in the northeast corner of the property;
- Continuous residential use;
- Front gabled massing, rectangular in shape with projections;
- Roof details: exposed rafters, open rake and eaves, exposed roof beams at gable, barge boards with tail ends;

- Cove lap siding at the main floor with corner boards and belt moulding;
- Double hung wood frame windows with upper multi-pane sash, multi-pane casement wood windows, piano wood windows, and decorative attic wood windows; wide profiled outer window frames; and
- Full width porch with half hip roof and square posts, tongue & groove ceiling and wood picket balustrade.

PART II – MAINTENANCE STANDARDS AND PERMIT APPROVALS

1. General

A. Requirement to Commence Renovations

The restoration of the Heritage House, including works that are consistent with Part III – Restoration Standards and Specifications, must commence within 60 days following the adoption of a by-law to enter into this Agreement.

B. Maintenance Strategy

The strategy to ensure ongoing conservation of the Heritage House shall consist of a Maintenance Plan and a Funding Strategy.

The Maintenance Plan shall be prepared with input from a conservation architect or qualified heritage consultant that is acceptable to the City. Issues to be addressed in the Maintenance Plan include water penetration and damage from sun, wind, weather and animals. Maintenance includes, but is not limited to, painting or staining, sealing, weather-stripping and the like.

The Funding Strategy shall include, but is not limited to, whether or not the Owner intends to absorb all the costs, undertake fundraising or seek government financial incentives, including those available from the City.

The Owner shall submit a Maintenance Plan and Funding Strategy for review and approval by the General Manager, Planning and Development and the Heritage Advisory Commission within one (1) year of the adoption of a by-law to enter into this Agreement.

The Maintenance Plan and Funding Strategy for the Heritage House shall include, but is not limited to, the following:

- (a) A description and a time schedule for the renovations, repair, and replacement of the exterior elements, *landscaping* or other identified works on the Lands that constitute the character-defining elements and as identified in Part III – Renovation Standards and Specifications;
- (b) A description and time schedule for the ongoing maintenance of the elements, *landscaping* or other identified works on the Lands and other relevant details. Maintenance includes: painting, staining and sealing of the exterior cladding and trims, weather stripping, re-roofing, replacement of windows, doors and exterior cladding or trims to match the existing materials;

- (c) Ongoing maintenance of *landscaping*;
- (d) A colour scheme for the exterior of the Heritage House;
- (e) A description of any matters noted in Part III – Renovation Standards and Specifications or in the plans attached to this Agreement as requiring further details; and
- (f) A financial plan detailing the funding for the renovation and maintenance outlined above, including corporate sponsorships, annual budgets by the Owner or tenant, applications for government grants, strata fees, and other relevant details.

C. Amending an Established Maintenance Strategy

An Owner may apply to the City to amend an existing Maintenance Plan and Funding Strategy. Any amendment is subject to approval by the General Manager, Planning and Development and, if deemed necessary by the General Manager, Planning and Development, the Heritage Advisory Commission.

2. Standards

The "Standards and Guidelines for the Conservation of Historic Places in Canada", established under the Historic Places Program or successor guidelines as may be approved by the City are to apply to all construction, maintenance, restoration or renovation works undertaken under Parts II or III on the Heritage House.

3. Timing and Phasing

With respect to the phasing or timing of commencement or completion of action applying to the Lands, restoration of the Heritage House shall commence within 60 days following the adoption of a by-law to enter into this Agreement and be carried out pursuant to a building permit issued by the City authorizing the works. The Owner shall insure that the restoration of the Heritage House shall be completed and a final occupancy permit or equivalent for the Heritage House shall be issued within one year of the adoption of a by-law to enter into this Agreement.

4. Heritage Alteration Permit(s) Approval

- A. Changes to the building, structure, exterior appearance of the Heritage House, exterior appearance of the Second House, features on the Lands identified in the Conservation Plan, the Dewhirst Lessard Consulting Plan or character-defining elements may require the Owner to apply for a heritage alteration permit or obtain approval from the City.

Proposed changes shall be referred to the Planning & Development Department of the City prior to the commencement of any work to determine if the changes require or do not require a heritage alteration permit.

- B. A heritage alteration permit may not be required for alterations including, but not limited to, the following:

- (a) changes to the Conservation Plan or the Dewhirst Lessard Consulting Plan that are considered by the City Architect to be minor in nature and not affecting the character-defining elements of the Heritage House;
 - (b) restorations considered by the City Architect to be consistent with the original design, being made to replace stylistically foreign elements and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City;
 - (c) simple repair and maintenance of existing elements not affecting the *building* structure, exterior or interior appearance of the Heritage House; or
 - (d) changes to the exterior of the Second House that are considered by the City Architect to be complimentary to the character of the Heritage House and do not overpower the Heritage House. If the exterior colour scheme of the Second House is changed, the new colour scheme should be selected from a heritage palette. External materials may include wood, hardie plank, singles or similar.
- C. A heritage alteration permit shall be required for all but minor alterations including, but not limited to, the following:
- (a) changes to the Heritage House structure;
 - (b) changes to the exterior appearance of the Heritage House or the Second House that are not described in Section 4.B above;
 - (c) replacement of existing elements and/or construction of additions to the Heritage House; and
 - (d) changes to the external appearance of the Heritage House due to interior renovations.
 - (e) additions to or demolition of all, or part, of the Second House that are not provided for in the Plans and Elevations for the Second House attached as Appendix "A-1".

If a heritage alteration permit is determined to be required, the Owner shall apply to the City for a heritage alteration permit before undertaking any of the works listed in this Section 4.C.

After the heritage alteration permit application is submitted, the heritage alteration permit will be considered for issuance by City Council upon the recommendation of the General Manager, Planning and Development and the Heritage Advisory Commission, or by a City official delegated by City Council.

5. **Building Permit Approval**

Construction, alterations or other actions to be authorized by a building permit shall be consistent with the provisions of the Conservation Plan, the Dewhirst Lessard Consulting Plan, and with heritage alteration permits sanctioning construction, alterations or other actions.

As the Heritage House is recognized as a historic site, Building Code equivalencies may be used to lessen visual impacts on the historical appearance or authenticity of the *building*. To utilize Building Code equivalencies, the Owner shall retain a qualified architect that is acceptable to the City Architect.

6. Conditions

- A. The works specified in Part III and attachments to this Conservation Plan shall be supervised by a conservation architect or qualified heritage consultant acceptable to the City.
- B. The works specified in Part III and attachments to this Conservation Plan shall be approved by a conservation architect or qualified heritage consultant acceptable to the City prior to the City granting final building approval.

PART III – RESTORATION STANDARDS AND SPECIFICATIONS

1. Seismic Mitigation:

See Section 1.2(1) “Seismic Mitigation” of the Dewhirst Lessard Consulting Plan.

2. Grade and Drainage:

See Section 1.2(2) “Grade and Drainage” of the Dewhirst Lessard Consulting Plan.

3. Site:

See Sections 1.2(3) “Site - *Preservation*”, 1.2(4) “Site - *Preservation*”, and 1.2(5) “Site: Restoration” of the Dewhirst Lessard Consulting Plan.

4. Landscaping:

See Section 1.2(6) “Landscaping” of the Dewhirst Lessard Consulting Plan.

All trees on the lot are subject to the provisions of the Surrey Tree Protection Bylaw, 2006, No. 16100.

5. Additions:

See Section 1.2(7) “Additions” of the Dewhirst Lessard Consulting Plan.

New construction not provided for in this Conservation Plan will be subject to a heritage alteration permit.

6. Roofing and Eaves:

See Section 1.2(8) “Roofing and Eaves” of the Dewhirst Lessard Consulting Plan.

7. Front Porch:

See Section 1.2(9) “Front Porch” of the Dewhirst Lessard Consulting Plan.

8. Front Stairs:

See Section 1.2(10) “Front Stairs” of the Dewhirst Lessard Consulting Plan.

9. Upper Heritage House Siding:

See Section 1.2(11) “Upper House Siding” of the Dewhirst Lessard Consulting Plan.

10. Lower Heritage House Siding:

See Section 1.2(12) “Lower House Siding” of the Dewhirst Lessard Consulting Plan.

11. Windows:

See Section 1.2(13) and 1.2(14) “Windows” of the Dewhirst Lessard Consulting Plan.

12. Front Door:

See Section 1.2(15) “Front Door” of the Dewhirst Lessard Consulting Plan.

13. Brick Chimney:

See Section 1.2(16) “Brick Chimney” of the Dewhirst Lessard Consulting Plan.

14. Paint:

See Section 1.2(17) “Paint” of the Dewhirst Lessard Consulting Plan.

The exterior paint colour shall be subject to the prior written approval of the City. If the colour is to be changed, the change shall be done in consultation with the City and reflect as best as can be determined the original appearance of the Heritage House or heritage colours appropriate for the period of the Heritage House.

Changes to the exterior colour scheme shall not be undertaken without being reviewed and approved by the City Architect. The City Architect may consult with the Heritage Advisory Commission about the colour scheme. The following paint colours have been approved by the City Architect and are permitted to be used on the Heritage House without further consultation.

Body - Oxford Ivory (VC-1, Benjamin Moore True Historical Colour)

Trim including window exterior casings / sashes, roof fascia, barge boards and shingle base - Harris Grey (VC-25 Benjamin Moore True Historical Colour)

Prior to final paint application, samples of the colours should be placed on the *building* to be viewed in natural light. Final colour selection can then be verified. Matching to any other paint company products should be verified by the heritage consultant.

15. Site Review:

See Section 1.2(18) “Site Review” of the Dewhirst Lessard Consulting Plan.

16. Accessory Buildings and Structures:

Proposed accessory buildings are subject to this Conservation Plan.

No placement of *accessory buildings* or *structures* shall be permitted within 3 metres of the Heritage House without first obtaining a heritage alteration permit.

17. Interior:

Changes to the interior of the Heritage House that do not affect the exterior appearance of the Heritage House are permitted without prior issuance of a heritage alteration permit.

18. Plans and Elevations:

The plans and elevations attached as Appendix "A-1" form part of this Conservation Plan.

19. Other:

The general intent is to promote restoration and retention of existing materials and elements wherever possible. If restoration is not feasible, replacements shall be constructed to match existing in terms of form, detailing and materials. Where original features have already been removed, altered or replaced by stylistically foreign elements, new replacements shall be consistent with the original design and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City.

Minor changes to the provisions of Part III that do not affect the character defining elements or that improve the authenticity of the restorations, may be approved by the City Architect, in consultation with the Heritage Advisory Commission.

(Note: Terms used in Appendix "A" of this Agreement that are italicized are defined in Surrey Zoning By-law, 1993, No. 12000, as amended, and shall take their meaning from the By-law.)

Appendix "A-1"
PLANS AND ELEVATIONS

(Attachment beginning on the next page)

GENERAL NOTES:

THESE DRAWINGS HAVE BEEN PREPARED BY D.MAND DESIGN AND DRAFTING SERVICES LTD. TO CONFORM TO CURRENT RESIDENTIAL STANDARDS OF THE BRITISH COLUMBIA BUILDING CODE (B.C.B.C. 2018). THE BUILDER IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION CONFORMS TO PROVINCIAL AND LOCAL BUILDING CODES AND BY-LAWS.

IT IS THE RESPONSIBILITY OF THE BUILDER/FRAMER TO CHECK AND VERIFY ALL DIMENSIONS, MATERIALS, AND SPECIFICATIONS PRIOR TO CONSTRUCTION. ANY ERRORS OR OMISSIONS SHALL BE BROUGHT TO OUR ATTENTION IMMEDIATELY SO THAT CORRECTIONS CAN BE MADE AND PLANS REPLACED. DESIGNER IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS AFTER CONSTRUCTION HAS COMMENCED.

DIMENSIONS TAKE PRECEDENCE TO SCALE DRAWINGS. DO NOT SCALE THESE DRAWINGS.

ALL CONSTRUCTION AND INSTALLATION OF MATERIALS AND EQUIPMENT SHALL BE DONE IN ACCORDANCE WITH GOOD BUILDING PRACTICE AND MANUFACTURERS INSTRUCTIONS IN A TIMELY MANNER.

STRUCTURAL FRAMING MATERIALS ARE TO BE:

- JOISTS: DOUGLAS FIR #2 OR BETTER.
- LINTELS: DOUGLAS FIR #2 OR BETTER.
- BEAMS: DOUGLAS FIR #2 OR BETTER.
- HEADERS: DOUGLAS FIR #2 OR BETTER.
- RAFTERS: DOUGLAS FIR #2 OR BETTER.
- PLATES: DOUGLAS FIR OR SPF #2 OR BETTER.
- STUDS: DOUGLAS FIR OR SPF STUD GRADE.

UNLESS OTHERWISE STATED, APPLICATION OF MATERIALS MUST CONFORM TO THE TABLES PROVIDED IN THE B.C.B.C. RESIDENTIAL STANDARDS AND THE SPAN BOOK CURRENT EDITION.

BUILDING FRAMES SHALL BE ANCHORED TO THE FOUNDATION WALLS BY FASTENING A SILL PLATE TO THE FOUNDATION WALL WITH 1/2" ANCHOR BOLTS SPACED AT 6'-0" ON CENTER, UNLESS OTHERWISE NOTED.

ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH 45LB. FELT, SILL GASKET OR OTHER APPROVED METHODS.

CAULKING AND FLASHING TO BE PROVIDED AS PER B.C.B.C.

FLOOR JOISTS SPANNING MORE THAN 7'-0" ARE TO BE BRIDGED AT MID SPAN OR AT 7'-0" O.C. BY 2" X 2" DIAGONAL BRACING. ALL SUBFLOORS TO BE 5/8" T&G PLYWOOD, GLUED AND NAILED TO FLOOR JOISTS.

PARTITION WALL PARALLEL TO FLOOR JOISTS SHALL BE SUPPORTED BY A SINGLE JOIST OR BLOCKING BETWEEN JOISTS. PARTITION WALLS, SUPPORTING KITCHEN CABINETS, PARALLEL TO FLOOR JOISTS SHALL BE SUPPORTED BY DOUBLE JOISTS.

ALL LINTELS TO BE 2 - 2" X 10" DOUGLAS FIR #2 OR BETTER, UNLESS OTHERWISE STATED, AND SHALL BE SUPPORTED ON A MINIMUM 2" BEARING.

BUILDER TO CHECK SNOW LOAD AND RAIN LOAD GUIDELINES FOR THEIR MUNICIPALITY PRIOR TO CONSTRUCTION.

ROOF SPACE SHALL BE VENTED WITH H ROOF TYPE, EAVE TYPE, AND/OR GABLE TYPE VENTS TO A MINIMUM OF 1:300 OF THE INSULATED CEILING AREA. ROOF JOISTS VENTED TO MINIMUM 1:150.

CRAWLSPACES SHALL BE VENTED TO A MINIMUM OF 1:500. VENTS SHALL BE UNIFORMLY PLACED AROUND THE BUILDING. CRAWLSPACES MAY ALSO BE HEATED BY A FORCED AIR HEATING SYSTEM OR VENTS TO AN ADJACENT BASEMENT.

MINIMUM INSULATION REQUIREMENTS:

- FOUNDATION WALL: R-12
 - ROOF: R-40
 - 2" X 4" WALLS: R-14
 - 2" X 6" WALLS: R-20
 - CANTILEVERED FLOORS, CEILINGS AND DECKS ABOVE FLOORS: R-28
- WITH 6MIL POLY VAPOUR BARRIER INSTALLED ON THE WARM SIDE OF THE INSULATION.

CEILING INSULATION SHALL BE INSTALLED SO AS NOT TO RESTRICT AIR FLOW THROUGH ROOF VENTS TO ATTIC SPACES.

ATTIC SPACES AND CRAWLSPACES TO HAVE A MINIMUM 20" X 32" ACCESS HATCHWAY, WEATHERSTRIPPED

PROVIDE A COPY OF SIGNED AND SEALED ROOF TRUSS SHOP DRAWINGS & SPECIFICATIONS PRIOR TO FRAMING INSPECTION.

REMOVING WEB MEMBERS, DRILLING OR CUTTING CHORDS WILL NOT BE PERMITTED.



SITE PLAN
SCALE: 1/16" = 1'-0"



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f: 6045971350
dmand@telus.net
www.dmanddesign.com

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CONTRACTOR SHALL CONFIRM ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. IT IS THE BUILDER/DOWNER RESPONSIBILITY TO REVIEW AND VERIFY ALL LEVELS, DIMENSIONS AND STRUCTURAL APPLICABLES PRIOR TO CONSTRUCTION.

DO NOT SCALE DRAWINGS

**BUILDERS NOTES:
THE OWNER/BUYER IS AWARE THAT DOORS, WINDOWS AND BUILDING ELEVATIONS MAY VARY DUE TO SITE CONDITIONS.

SQUARE FOOTAGE SHOWN ARE APPROXIMATE THE BUILDER RESERVES RIGHT TO MAKE ON GOING CHANGES AND ADJUSTMENTS

IN ORDER TO COMPLY WITH BYLAWS, BUILDING CODES AND SITE CONDITIONS, THESE PLANS ARE SUBJECT TO CHANGE WITHOUT NOTICE TO CLIENT/BUILDER.

JOB DESCRIPTION:
HERITAGE HOUSE CONSERVATION

ADDRESS:
**5909 168 STREET
SURREY, BC**

LEGAL DESCRIPTION:

CLIENT:
**AVTAR SUNDHER
avtar@suncoh.com**

DATE: 2022-08-24

SCALE: 1/4" = 1'-0" (UND)

DRAWN: D.M. CHECKED: D.M. OF 6

NOTE: ALL WORK IS TO BE IN ACCORDANCE WITH THE CONSERVATION PLAN DATES JUNE 2019 AND REVISED FEBRUARY 2021 AND APRIL 2021 BY DEWHIRST LESSARD CONSULTING.

EXTERIOR FINISH AND SCOPE OF WORK

	MATERIAL	DESCRIPTION	REVITALIZATION PLAN	COLOUR
1	WOOD SIDING	EXISTING COVE LAPPED	PRESERVE/REHABILITATE. DAMAGE BOARDS TO BE REPLACED WITH MATCHING MATERIAL AND DIMENSIONS AS ORIGINAL.	VC-1 OXFORD IVORY
2	CEDAR SHAKES	NEW CEDAR SHAKES	REMOVE EXISTING LAP SIDING AND REPLACE WITH CEDAR SHAKES.	VC-1 OXFORD IVORY
3	WOOD PICKET RAILING	3" HIGH WITH 2X2 PICKETS	SALVAGE/REPAIR 3" HIGH RAILINGS AND 2X2 PICKETS. REPLACE PIECES THAT CANNOT BE REPAIRED WITH SIMILAR MATERIAL AND DIMENSIONS AS ORIGINAL.	VC-25 HARRIS GREY
4	1.1/2" PIPE RAIL	NEW PAINTED METAL PIPE RAIL	INSTALL NEW PIPE RAIL ABOVE PICKET RAILING TO COMPLY TO CODE @ 3/4"	BLACK
5	WOOD FRAME CHIMNEY	NEW 'FALSE' CHIMNEY	WOOD FRAME, CLAD IN 2 1/2" THIN BRICK OVERALL DIMENSIONS 2' X 2' X 3'	BRICK RED
6	METAL ROOF	EXISTING METAL ROOF	METAL ROOF AND END OF LIFE TO BE REPLACED WITH ASPHALT/SHINGLES	GRANITE BLACK (ASPHALT SHINGLE)
7	2" F BELLY BAND AND FLASHING	AT FLOOR LEVEL WITH WOOD FLASHING	SALVAGE AND REPAIR BELLY BAND AND WOOD FLASHING WHERE POSSIBLE & REPLACE DAMAGED/MISSING PIECES WITH SIMILAR MATERIAL AND DIMENSIONS AS ORIGINAL.	VC-25 HARRIS GREY
8	MAX. 6" EXPOSED CONCRETE	FARGED ABOVE GRADE.	FARGED ABOVE GRADE.	CHARCOAL GREY
9	EXTERIOR DOOR	NEW WOOD DOOR	INSTALL NEW CRAFTSMAN STYLE WOOD DOOR.	2129-33 BLUE NOTE
10	WOOD BARGE BOARD	WOOD BARGE BOARD WITH TAPERED TAL	SALVAGE/REPAIR AS REQUIRED. REPLACE BOARDS THAT ARE DISINTEGRATED/MATCHING PROFILE OF TAPERED RAIL	VC-25 HARRIS GREY
11	GROUND FLOOR HEIGHT	INCREASE INTERIOR HEIGHT TO 8'-0"	RAISE HOUSE STRAIGHT UP IN SAME LOCATION AND EXCAVATE DOWN BELOW SURFACE N/A TO ENSURE GROUND FLOOR FINISHED HEIGHT IS 8'-0". LOWER HOUSE ONTO NEW FOUNDATION AND GROUND FLOOR WALLS ENSURING THE MAIN FLOOR IS AT THE SAME HEIGHT AS EXISTING OR LOW BY NO MORE THAN 6"	

31.26 ROOF RIDGE



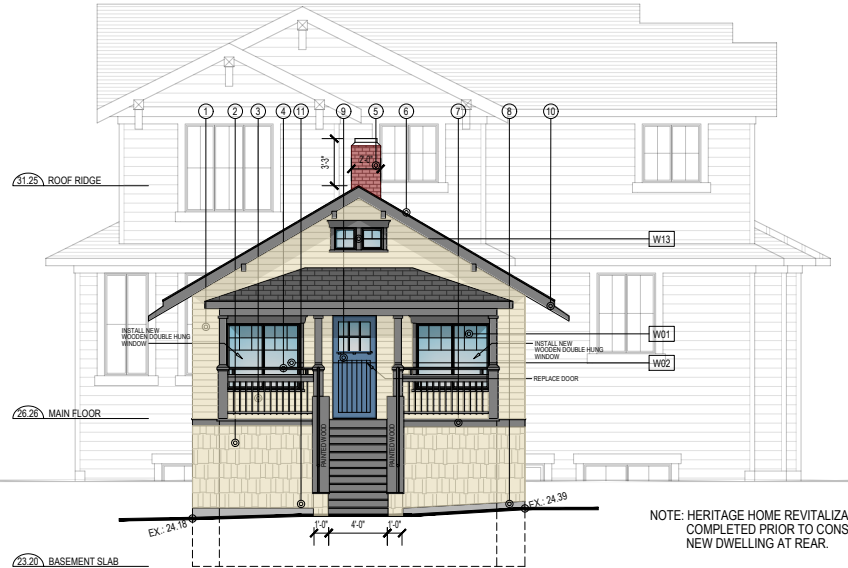
EXISTING EAST ELEVATION

26.26 MAIN FLOOR

31.26 ROOF RIDGE

26.26 MAIN FLOOR

23.26 BASEMENT SLAB



PROPOSED EAST ELEVATION

NOTE: HERITAGE HOME REVITALIZATION TO BE COMPLETED PRIOR TO CONSTRUCTION OF NEW DWELLING AT REAR.



EXISTING SOUTH ELEVATION



PROPOSED SOUTH ELEVATION

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DO NOT SCALE DRAWINGS
BUILDER'S NOTES:
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DATE: 2022-08-24

SCALE: 1/4" = 1'-0" (UND)

DRAWN: D.M. CHECKED: D.M.

2 OF 6

EXTERIOR FINISH AND SCOPE OF WORK

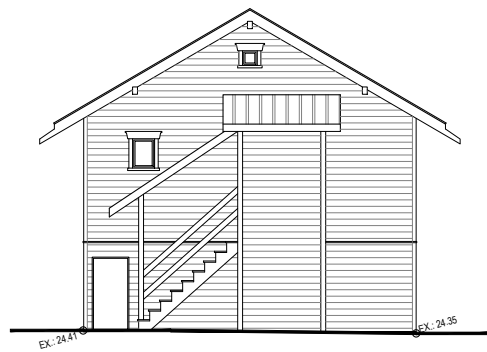
MATERIAL	DESCRIPTION	REVITALIZATION PLAN	COLOUR
1 WOOD SIDING	EXISTING COVE LAPPED	PRESERVE/REHABILITATE. DAMAGE BOARDS TO BE REPLACED WITH MATCHING MATERIAL AND DIMENSIONS AS ORIGINAL.	VC-1 OXFORD IVORY
2 CEDAR SHAKES	NEW CEDAR SHAKES	REMOVE EXISTING LAP SIDING AND REPLACE WITH CEDAR SHAKES.	VC-1 OXFORD IVORY
3 WOOD PICKET RAILING	3" HIGH WITH 2X2 PICKETS	SALVAGE/REPAIR 3" HIGH RAILINGS AND 2X2 PICKETS. REPLACE PIECES THAT CAN'T BE REPAIRED WITH SIMILAR MATERIAL AND DIMENSIONS AS ORIGINAL.	VC-25 HARRIS GREY
4 1.5" DIA PIPE RAIL	NEW PAINTED METAL PIPE RAIL	INSTALL NEW PIPE RAIL ABOVE PICKET RAILING TO CONFORM TO CODE @ 36"	BLACK
5 WOOD FRAME CHIMNEY	NEW "FALSE" CHIMNEY.	WOOD FRAME, CLAD IN 2 1/2" THIN BRICK OVERALL DIMENSIONS 2' X 2' X 8' 6"	BRICK RED
6 METAL ROOF	EXISTING METAL ROOF	METAL ROOF AND END OF LIFE TO BE REPLACED WITH ASPHALT SHINGLES	GRANITE BLACK (ASPHALT SHINGLE)
7 2" X 6" BELLY BAND AND FLASHING	AT FLOOR LEVEL WITH WOOD FLASHING	SALVAGE AND REPAIR BELLY BAND AND WOOD FLASHING WHERE POSSIBLE & REPLACE DAMAGED/MISSING PIECES WITH SIMILAR MATERIAL AND DIMENSIONS AS ORIGINAL.	VC-25 HARRIS GREY
8 MAX. 6" EXPOSED CONCRETE	PARGE ABOVE GRADE.	PARGE ABOVE GRADE.	CHARCOAL GREY
9 EXTERIOR DOOR	NEW WOOD DOOR	INSTALL NEW CRAFTSMAN STYLE WOOD DOOR.	2129-33 BLUE NOTE
10 WOOD BARGE BOARD	WOOD BARGE BOARD WITH TAPERED TAIL	SALVAGE/REPAIR AS REQUIRED. REPLACE BOARDS THAT ARE DETERIORATED WITH MATCHING PROFILE OF TAPERED TAIL.	VC-25 HARRIS GREY
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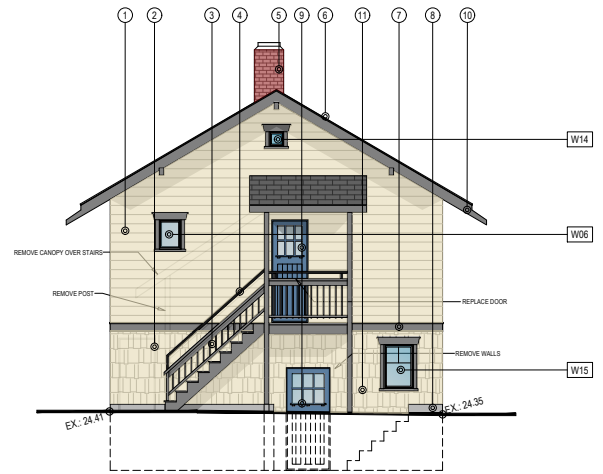
EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION



EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION

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SCALE: **1/4" = 1'-0" (UND)**

DRAWN: **D.M.** CHECKED: **D.M.**

3
OF 6



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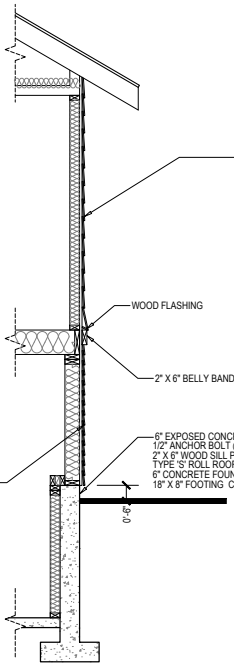
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DRAWN: **D.M.** CHECKED: **D.M.**

6
OF 6

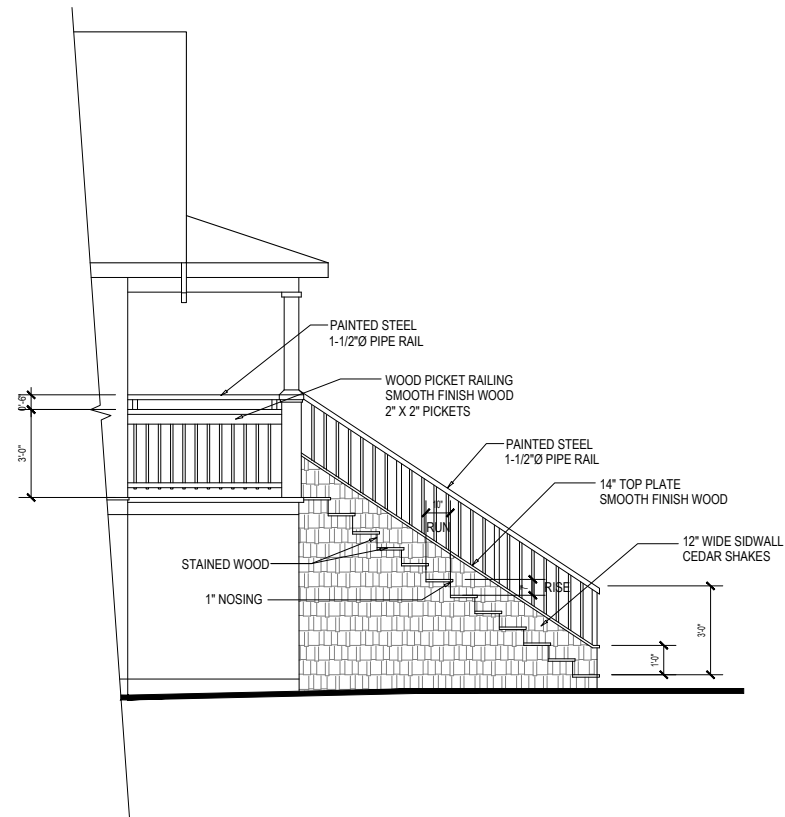
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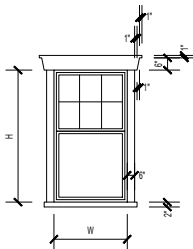
EXISTING COVE LAPPED WOOD SIDING, REPLACE DETERIORATED AND MISSING SIDING PIECES AS DETAILED IN THE CONSERVATION PLAN.
R-16 BATT INSULATION AS PER B.C.B.C. 9.25.22 UNIFORMLY OVER ENTIRE FACE OF WALL, FULL WIDTH AND LENGTH OF FRAMING, WITH ONE FACE IN FULL CONTACT WITH SHEATHING.
POLYETHYLENE SHEET CONTINUOUS TO PREVENT AIR LEAKAGE FROM INSIDE BUILDING OUT AND OUTSIDE BUILDING IN, LAP MIN 4" AT JOINTS, TAPE OR SEAL AIR-TIGHT PROVIDE CONTINUOUS SEAL AT PENETRATIONS TO CONFORM TO CAN/CSG58-51.33-4 TO PROTECT ENTIRE SURFACE, MAXIMUM PERMEANCE=5000Pa S/m² MEASURED IN ACCORDANCE WITH ASTM E 96 AS PER B.C.B.C. 9.25.4.
1/2" TYPE 'X' GYPSUM WALL BOARD

NEW GROUND FLOOR WALL WITH WOOD SHINGLES INCLUDING FLASHING AND TRIM ACCESSORIES AS PER CONSERVATION PLAN.
WEATHER TREATED LUMBER 1" X 4" VERTICAL STRAPPING @ 16" O.C TO PROVIDE 1" AIRSPACE BETWEEN CLADDING AND SHEATHING MEMBRANE.
2 LAYERS OF 30 MIN. BUILDING PAPER TO CONFORM TO CAN/CSG58-51.33-M
7/16" O.S.B.
2" X 6" STUDS @ 16" C.C.
R-20 BATT INSULATION AS PER B.C.B.C. 9.25.22 UNIFORMLY OVER ENTIRE FACE OF WALL, FULL WIDTH AND LENGTH OF FRAMING, WITH ONE FACE IN FULL CONTACT WITH SHEATHING.
POLYETHYLENE SHEET CONTINUOUS TO PREVENT AIR LEAKAGE FROM INSIDE BUILDING OUT AND OUTSIDE BUILDING IN, LAP MIN 4" AT JOINTS, TAPE OR SEAL AIR-TIGHT PROVIDE CONTINUOUS SEAL AT PENETRATIONS TO CONFORM TO CAN/CSG58-51.33-4 TO PROTECT ENTIRE SURFACE, MAXIMUM PERMEANCE=5000Pa S/m² MEASURED IN ACCORDANCE WITH ASTM E 96 AS PER B.C.B.C. 9.25.4.
1/2" TYPE 'X' GYPSUM WALL BOARD

**EXTERIOR
WALL SECTION**
SCALE: 1/2" = 1'-0"



**PORCH/ STAIR
DETAIL**
SCALE: 1/2" = 1'-0"



**TYPICAL
WINDOW DETAIL**
SCALE: 1/2" = 1'-0"

WINDOW TABLE						
WINDOW #	WIDTH	HEIGHT	LOCATION	WINDOW TYPE	CURRENT CONDITION	REVITALIZATION PLAN
W01 X 2	2'-6"	4'-6"	MAIN FLOOR	SINGLE VINYL FRAME FIXED DOUBLE GLAZED	REPLACED WINDOW GOOD CONDITION	REPLACE WITH TWIN FRAME DOUBLE HUNG WOOD FRAME WITH A SIX PANE UPPER SASH. DOUBLE PANE GLASS.
W02 X 2	2'-6"	4'-6"	MAIN FLOOR	SINGLE VINYL FRAME FIXED DOUBLE GLAZED	REPLACED WINDOW GOOD CONDITION	REPLACE WITH TWIN FRAME DOUBLE HUNG WOOD FRAME WITH A SIX PANE UPPER SASH. DOUBLE PANE GLASS.
W03	2'-6"	4'-6"	MAIN FLOOR	DOUBLE VINYL FRAME FIXED WITH ONE AWING	REPLACED WINDOW GOOD CONDITION	REPLACE WITH TWIN FRAME DOUBLE HUNG WOOD FRAME WITH A SIX PANE UPPER SASH. DOUBLE PANE GLASS.
W04	2'-0"	4'-6"	MAIN FLOOR	TRIPLE VINYL FRAME FIXED WITH ONE AWING	REPLACED WINDOW GOOD CONDITION	REPLACE WITH TWIN FRAME DOUBLE HUNG WOOD FRAME WITH A SIX PANE UPPER SASH. DOUBLE PANE GLASS.
W05	N/A	N/A	MAIN FLOOR	SINGLE SASH WOOD FRAME CASEMENT	ORIGINAL FRAME AND SASH FAIR CONDITION	REMOVE.
W06	1'-6"	2'-0"	MAIN FLOOR	PIANO SINGLE SASH WOOD FRAME CASEMENT	ORIGINAL FRAME AND SASH FAIR CONDITION	REHABILITATE/PRESERVE. REPLACE SINGLE PANE WITH DOUBLE PANE GLASS.
W07	2'-6"	4'-6"	MAIN FLOOR	DOUBLE HUNG WOOD, MULTI PANE UPPER SASH	ORIGINAL FRAME AND SASH FAIR CONDITION	REHABILITATE/PRESERVE. REPLACE SINGLE PANE WITH DOUBLE PANE GLASS.
W08	1'-6"	2'-0"	MAIN FLOOR	PIANO SINGLE SASH WOOD FRAME CASEMENT	ORIGINAL FRAME AND SASH FAIR CONDITION	REHABILITATE/PRESERVE. REPLACE SINGLE PANE WITH DOUBLE PANE GLASS.
W09	1'-6"	2'-6"	GROUND FLOOR	SINGLE SASH WOOD FRAME CASEMENT	ORIGINAL FRAME AND SASH FAIR CONDITION	REHABILITATE/PRESERVE. REPLACE SINGLE PANE WITH DOUBLE PANE GLASS.
W10	1'-6"	2'-6"	GROUND FLOOR	SINGLE WOOD CASEMENT, TWO TOP PANES	ORIGINAL FRAME AND SASH FAIR CONDITION	REHABILITATE/PRESERVE. REPLACE SINGLE PANE WITH DOUBLE PANE GLASS.
W11	2'-0"	3'-0"	GROUND FLOOR	SINGLE WOOD CASEMENT, TWO TOP PANES	ORIGINAL FRAME AND SASH POOR CONDITION	REPLACE WITH ELONGY, LARGER WOOD CASEMENT WINDOWS WITH TWO TOP PANES AND DOUBLE PANE GLASS.
W12	2'-0"	3'-0"	GROUND FLOOR	SINGLE WOOD CASEMENT, TWO TOP PANES	ORIGINAL FRAME AND SASH FAIR CONDITION	REPLACE WITH ELONGY, LARGER WOOD CASEMENT WINDOWS WITH TWO TOP PANES AND DOUBLE PANE GLASS.
W13	1'-6"	1'-6"	ATTIC	DOUBLE WOOD FRAME FIXED SASH, TWO TOP PANES.	ORIGINAL FRAME AND SASH POOR CONDITION	REHABILITATE/PRESERVE.
W14	1'-0"	1'-0"	ATTIC	SINGLE WOOD SASH, FIXED	ORIGINAL FRAME AND SASH FAIR CONDITION	REHABILITATE/PRESERVE.
W15	2'-0"	3'-0"	GROUND FLOOR	SINGLE WOOD CASEMENT, TWO TOP PANES	NOT EXISTING	NEW WOOD WINDOW WITH MATHS BARS AND THROUGH GLAZING

Appendix "B"

HERITAGE CONSERVATION PLAN
John Lamb House
5909 - 168 Street, Surrey
Dewhirst Lessard Consulting June 2019

(The "Dewhirst Lessard Consulting Plan")

(Attachment beginning on the next page)

THE JOHN LAMB HOUSE

5909 – 168th Street Surrey, BC

CONSERVATION PLAN JUNE 2019, REVISED FEBRUARY 2021 & APRIL 2021
STATEMENT OF SIGNIFICANCE & BACKGROUND MAY 2019



dewhirst lessard
consulting

2095 Thompson Road, Gabriola
308-1251 Cardero St. Vancouver
dewhirstlessard@shaw.ca

Name: John Lamb House
Address: 5909 – 168th Street, Surrey BC
First Long-term: the family of William Henry Hicks
Developer/Builder: Unknown
Date of Construction: Circa 1920

STATEMENT OF SIGNIFICANCE: The John Lamb House

1. Description of the Historic Place

The John Lamb House is a one storey wood frame house located on 168th Street in the neighbourhood of Cloverdale in the municipality of Surrey, British Columbia. The modest Craftsman style house sits on a deep property and represents the gradual settlement in the historic Surrey Centre with the transformation from farming to a suburban hub.

2. Heritage Value

Constructed around 1920, the John Lamb House is valued for its association with the early settlement in Surrey Centre, and its Craftsman style architecture.

Surrey Centre is located above the Clover Valley, between the Nicomekl and Serpentine Rivers. The Huck and the Boothroyd families were the original settlers of Surrey Centre. Abraham and Nancy Huck bought 320 acres of land south of 60th Avenue, in 1872. The Huck's house was located at the junction of Coast Meridian Road (168th Street) and Old McClellan Road (60th Avenue). He and his wife operated a store and the local post office. In 1881, Huck donated the site for the first Surrey Centre School, and provided the property for the first Town Hall, church and the cemetery. George Boothroyd and his brother William purchased a lot north of Old McClellan Road and east of Coast Meridian Road, in 1878; his house still exists today on its original site. The Town Hall was completed in 1881 and continued to be the seat of Municipal government in Surrey until 1912. It was located on the current Surrey Centre Elementary site bordering the back of the John Lamb property. The Anglican Church, Christ the Redeemer, was built in 1884 and is still standing on Old McLellan Road across from the Surrey Centre School. The one room school was built around 1891; it expanded into a three room school in 1939 and into a four room school in 1949. The site is still used as a local school. The opening of the New Westminster and Southern Railway in 1891 and the relocation of the Town Hall in 1912 precipitated the decline of Surrey Centre in favor of Cloverdale, but the area experienced resurgence as a residential neighbourhood in the 1990's.

The John Lamb House is valued for its Craftsman style architecture, which is well suited to a rural environment. The modest scale of the house is typical of the farm houses built in the early twenties in Surrey Centre, while the fine detailing forecasts a transition to a more urban character. The site of the John Lamb House is also enhanced by the growth of mature cedar trees in front of the house, thus maintaining its rural character.

3. Character Defining Elements

- Location in the historic neighbourhood of Surrey Centre
- Position of the house in the north-east corner of the property
- Continuous residential use
- Front gabled massing, rectangular in shape with projections
- Roof details: exposed rafters, open rake and eaves, exposed roof beams at gable, barge boards with tail ends
- Cove lap siding at the main floor with corner boards and belt moulding
- Double hung wood frame windows with upper multi pane sash, multi pane casement wood windows, piano wood windows and decorative attic wood windows; wide profiled outer window frames
- Full width porch with half hip roof and square posts, tongue & groove ceiling and wood picket balustrade

Index:**STATEMENT OF SIGNIFICANCE** (Page 3)

- .1 Description of Heritage Site
- .2 Heritage Value
- .3 Character-defining elements

CONSERVATION PLAN:

1.0 Preface

- Content and Methodology

1.1 Condition Survey

- Condition of character-defining elements:

Description, Site and grade, Roof eaves details, Siding, Porch, Front door, Windows

- Integrity: Windows, Chimney, Roof, Upper siding, Lower siding, Attic access, Back Stairs, Front door, Paint

1.2 Recommendations

1.3 Review of proposed development

Appendix:

A1: Excerpt from the Standards and Guidelines for the Conservation of Historic Places in Canada

A2: Building Code Equivalencies

A3: BC Energy Efficiency Act

A4: Maintenance Program

REFERENCE: SOS BACKGROUND

1.0 Preface

- Background
- Content and Methodology
- Source and Documentation

2.0 Heritage Character

- Existing context
- Planning and Zoning
- Site Archaeology
- Building History and Chronology

3.0 Building Heritage Analysis

- The Craftsman Style

Heritage consultant: dewhirst lessard consulting

The firm dewhirst lessard is a consulting firm specializing in building conservation; we offer services in conservation documentation for the purpose of Development Permit Applications and Heritage Revitalization Agreements. Barbara Dewhirst and André Lessard have extensive past experience as practicing architects and have been involved in numerous heritage projects in BC, Alberta and Ontario. We have completed restorations, rehabilitations and adaptive reuse projects from design to construction.

André Lessard, the professional in charge, has experience in planning, design and construction. He is a building conservation specialist and a former member of the AIBC. André is a member of the Canadian Association of Heritage Professionals, former president of the BC chapter and currently sitting on its board of directors. He is a former member of the Vancouver Heritage Commission. André is also a LEED Accredited Professional, including field certification experience (BD+C) in 2012. He has lectured for twelve years in “Building Science for Architectural Conservation” at University of Toronto and Ryerson University.

I.0 Conservation Plan

The *Conservation Plan* consists of a series of recommendations pertaining to the preservation, rehabilitation and/or restoration of the subject historic site. The *Conservation Plan* is divided into three sections: the first is a condition survey of the character-defining elements and the historic site in general including an assessment of the integrity of the historic structure; the second is a series of recommendations for the conservation and maintenance of the character-defining elements, and a third is a review of the proposed development highlighting the impact of the design onto the historic site and building fabric.

I.1 CONDITION SURVEY

This condition survey comprises visual observations during the site visits on May 23, 2019. We reviewed the exterior of the house and the property. Generally, the house is in poor condition and neglected.

The purpose of the survey is to document the current condition of the historic place, and more specifically the condition of the character-defining elements, those subject to conservation treatments where required. The choice of character elements is instructed by the *Standards and Guidelines for the Conservation of Historic Places in Canada* as well as the history of the building. The current list of character-defining elements is included in the *Statement of Significance* prepared by Dewhirst Lessard in May 2019.

For the purpose of this report, the Ground floor is referring to the lowest floor which is located just below grade; Main floor as the first floor and the space above the main floor as the Attic.

EXISTING HOUSE DESCRIPTION

The John Lamb House is located at 5909 – 168th Street. The property is 2,013 square meters (21,669 square feet) and essentially flat. There is a driveway along the southern property line running beyond the back of the house. The car port structure is free standing against the northern edge of the property at the back of the house. The structure comprises a storage shed with roof extending on both side covering two parking spots. An old hot tub is located beside the north-west corner of the house. Currently there is a fence lining up with 167A Street and another one at the back end separating the property from the Surrey Centre Elementary School playground. Landscaping is scarce except for a clump of mature cedar trees in front of the house. The street scape on the west side of 168th Street has retained some of its historical rural character due to the road shoulder without a curb and the had-hoc vegetation at the edge of the property. The house sits at the northeastern corner of the lot.

The John Lamb House is a one storey rectangular structure of 60 square meters (646 Sf), with an unfinished basement and a closed attic. It is a front gabled house with a standing seam metal roof. The roof features include exposed rafters, open rakes, exposed roof purlin at the gable's end, and barge boards with tapered tail. The house is clad in cove lap siding on the main floor and lap siding on the floor with a belt moulding and corner boards. The full width porch is covered by a half hipped roof. The porch roof is supported by square posts. The porch ceiling is flat and constructed of tongue & groove boards. The porch floor is made of spaced lumber laid perpendicular to the house. The porch balustrade is a picket guard. The open riser stairs up to the porch has a crude wood railing. The front door is common contemporary door.

There is a shallow projection on south elevation of the main floor. Windows on the front and south sides of the main floor are vinyl windows but the outer wood frames and sills have been maintained. Basement, attic, north and west side windows are wood frame sash with the same wide outer wood frame detail. A straight stair runs north to south along the back of the house into a projection enclosing the top landing and storage below; a shed roof covers the projection. An open canopy roof covers the back stairs. The interiors have very few distinctive features. The interior wood frames at the original windows have been maintained. There is a built-in bookcase in the living room. There are wood floors throughout.



Figure 1: South side of the John Lamb House from 168th St



Figure 2: Front Porch facing 168th Street



Figure 3: South-West corner (owner's photo)



Figure 4: North-West corner (owner's photo)



Figure 5: Front door in living Room (owner's photos)



Figure 6: Living room built-in shelves (owner's photos)



Figure 7: Casement window in front bedroom (owner's photos)



Figure 8: Double hung window into bedroom (owner's photos)

SITE AND LANDSCAPING

The John Lamb property has a rural character due to the depth of its lot, the scarce landscaping and the random trees in front of the house. The four sides of the house are visible due to the ample space around the structure. A security wooden fence abuts the house on the north and south which distracts from the heritage structure. The double car port and the attached shed are incompatible with the historic house, and poorly maintained. The derelict hot tub on the north side of the house is also an anachronism; the hot tub surround enclosure is in poor condition and unsightly.



Figure 9: View of John Lamb House from 168th



Figure 10: Disaffected hot tub



Figure 11: Existing car ports and shed at back of the house



Figure 12: View of the back of the house from first fence at 167A Street

FOUNDATIONS AND GRADE

The ground floor ceiling height measures approximately two meters (6 feet) and the ground floor is approximately 1.5 meters above grade. As a result, there is very little interior space below grade. The top of the foundation walls is approximately 150 mm (6") above grade. The base of the siding covering the exterior walls touches grade nearly all around the structure; most of the bottom siding boards are suffer water damage and deterioration.



Figure 13: Extent of foundation beneath porch deck



Figure 14: Brick supporting siding at south-west corner of back staircase



Figure 15: Exposed siding at grade



Figure 16: Exposed siding at grade next fence

ROOF & OVERHANG DETAILS

A standing seam metal roof is currently covering the house, porch and back staircase. The metal roof is incompatible with the historic structure but in excellent condition. A metal flashing partly covers faciae and barge boards. The gable end barge boards, including the tapered tails, extend approximately 300 mm (one foot) beyond the eaves of the roof. The boards and tails are in poor condition, and have not been maintained. The exposed purlins, four at the front and three at the back, are in poor condition; most ends are eroded and cracked. Exposed rafters and roof-underside boards are in fair condition but need maintenance. The gable end underside boards are in poor condition due to weather exposure. The head boards at the top of the wall below the roof are in good condition.



Figure 17: Standing seam metal roof



Figure 18: Metal roof ridge and flashing over barge board



Figure 19: Barge board with tapered tail



Figure 20: Barge board tapered tail



Figure 21: Open soffit, roof-underside and exposed rafters



Figure 22: Open gable overhang with exposed purlins and head board



Figure 23: Notched fascia meeting barge board



Figure 24: Open gable & exposed purlins



Figure 25: Southeast overhang and porch roof

FULL WIDTH PORCH

The porch half hipped roof, is a standing seam metal roof in excellent condition, including wall and fascia flashing. Posts and framing beams are also in good condition, although some of the post wooden joints are open. The tongue and groove ceiling is also in good condition. The porch deck comprises spaced boards, having replaced the original solid deck; it is in good condition but incompatible with the historic structure. The railing has been replaced with a picket guard; the height has been raised to meet the current code. Open front stairs are crude, and incompatible with the historic structure. The stair railing, consisting of a single 2x4 member, is unsightly and not safe. The deck, pickets, stairs and railings are unpainted and crude. The wooden lap siding below the deck is consistent with the rest of the house. The crawl space beneath the porch deck is unfinished; the crawl space wall of the ground floor is boarded up with unfinished planks.



Figure 26: Standing seam metal roof at porch



Figure 27: Porch posts, stairs and balustrade



Figure 28: Porch ceiling and deck



Figure 29: Porch post and open soffit corner



Figure 30: Porch post base and front door trim



Figure 31: Balustrade at porch wall



Figure 32: Porch post capital and ceiling corner



Figure 33: Porch framing beam at wall



Figure 34: Detail of porch of roof overhang from below

COVE LAP SIDING AND LAP SIDING

The main floor cove lap siding and the ground floor lap siding are separated by a thin horizontal belt moulding which is distinctive of this house. The moulding projects 50mm (2"0) from the wall with a tapered top. Several lengths of moulding have been replaced and supported with a base trim. The original unsupported moulding is in poor condition. The cove lap siding is in fair condition although it has not been well maintained; some boards are damaged and paint is peeling off the walls. The ground floor lap siding, comprising lower-grade lumber, is in poor condition; several large knots are falling off the boards. All the boards adjacent to grade are damaged or rotted. The upper corner boards are in good condition but the lower ones have been poorly installed and several are damaged and cracked. The back staircase enclosure is clad with reversed board and batten siding (where the larger boards are on top and the smaller ones beneath).



Figure 35: Main and ground floor siding



Figure 36: Corner board at northeast corner



Figure 37: Corner boards at southwest corner



Figure 38: Rough wood siding boards with fallen knots



Figure 39: Rough wood siding boards with exposed knots



Figure 40: Belt moulding profile w/ base trim



Figure 41: Belt moulding with base trim on the right and without at south face projection



Figure 42: Belt moulding with base trim below cover lap siding



Figure 43: Damaged reversed board & batten siding at staircase enclosure



Figure 44: Paint peeling off cover lap siding



Figure 45: Lap siding below porch deck

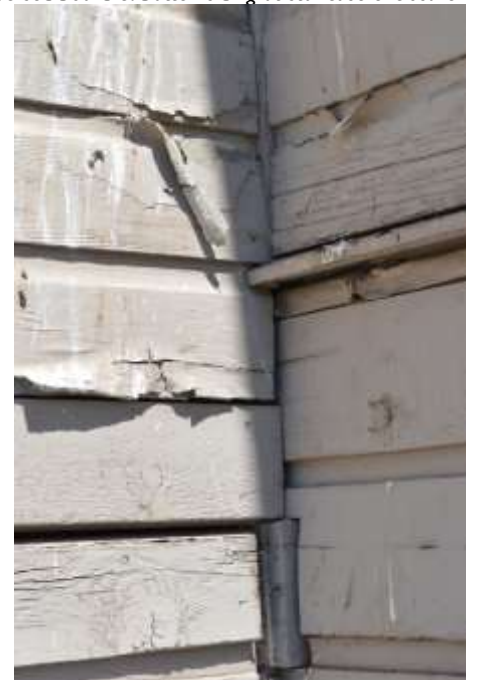


Figure 46: Staircase enclosure meeting back wall

WINDOWS

Windows are important character-defining elements. The windows at the John Lamb house have wide outer frames with decorative head boards; these frames are in good condition but the sills are generally damaged. There are eight windows located at the main floor. One wood double hung window with multi pane upper sash exists on the north side and is in fair condition. Three small casement windows are located at the main floor, two of which are piano type, the other located at the back stair landing; these are in fair condition. The other four windows of the main floor have been replaced with vinyl sashes. The ground floor windows are generally in poor condition, especially W11 which rails and stiles are rotten. Most of the existing muntins are in poor condition. Wood frames and sashes on the south side are excessively dry and cracked from sun exposure. The attic windows are in fair condition except for one white coated sash.

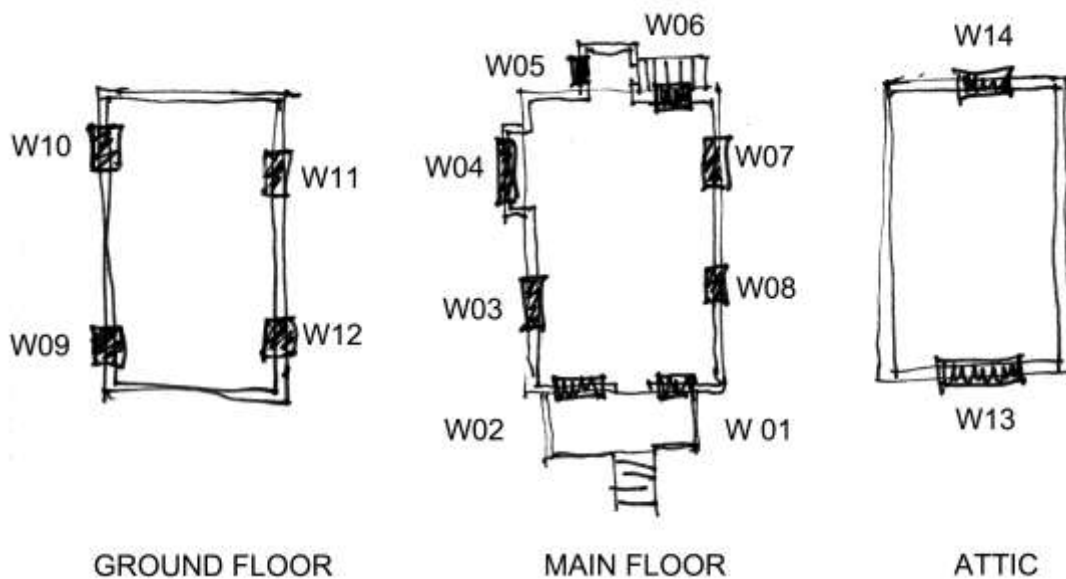


Figure 47: Window number and location on plans

WINDOW #	LOCATION	WINDOW TYPE	CONDITION
W01	Main Floor	Single Vinyl frame fixed Double Glazed	Replaced window - good condition
W02	Main Floor	Single Vinyl frame fixed Double Glazed	Replaced window - good condition
W03	Main Floor	Double Vinyl frame fixed with one Awning	Replaced window - good condition
W04	Main Floor	Triple Vinyl frame fixed with one Awning	Replaced window - good condition
W05	Main Floor	Single sash wood frame casement	Original frame and sash- fair condition
W06	Main Floor	(Piano) Single sash wood frame casement	Original frame and sash- fair condition
W07	Main Floor	Double hung wood, multi pane upper sash	Original frame and sash- fair condition
W08	Main Floor	(Piano) Single sash wood frame casement	Original frame and sash- fair condition
W09	Ground Floor	Single sash wood frame casement	Original frame and sash- missing glass
W10	Ground Floor	Single wood casement, two top panes	Original frame and sash- fair condition
W11	Ground Floor	Single wood casement, two top panes	Original frame and sash- poor condition
W12	Ground Floor	Single wood casement, two top panes	Original frame and sash- fair condition
W13	Attic	Double wood frame fixed sash, two top panes	Original frame and sash- poor condition
W14	Attic	Single wood sash fixed	Original frame and sash- fair condition

*All casement sashes opening inside



Figure 48: W05 Main floor staircase south wall



Figure 50: W06 Main floor west



Figure 52: W07 Main floor north



Figure 49: W08 Main floor north



Figure 51: W09 Ground floor south



Figure 53: W10 Ground floor south



Figure 54: W11 Ground floor north



Figure 55: W12 Ground floor north



Figure 56: W13 Attic east, gable with purlin, headboard and barge board



Figure 57: W14 attic west, gable with purlin, head board and barge board



Figure 58: Window head at Main floor and attic



Figure 59: Typical sill



Figure 60: Window head at ground floor



Figure 61: W09 sill at jamb



Figure 62: W09 Rail, stile and window jamb



Figure 63: W09 Rail, Jamb and sill



Figure 64: WII Sill, rail, stile and jamb



Figure 65: WII Muntin bars at top of casement sash



Figure 66: Sill, rail, stile and jamb

I.1.1 – INTEGRITY

This section is a review of the integrity of some aspects of the house, as to whether they are original or not. The review consists in exposing the design and material incorporated in the 1920 construction, as far as we can tell today. Some elements are visible; others are hidden while some have completely disappeared. This is also an opportunity to discuss the construction and assembly of the character-defining elements and the particularities of the John Lamb House. The photos below show some of the alterations of the house over time, since the 1970's:

- The main floor south side and east side windows have been replaced
- The chimney is missing
- The roof has been replaced with a standing seam metal roof
- The shingle siding base has been replaced with lap siding
- The attic is no longer accessible and consequently small windows at the gable ends are not maintained
- The back stair top landing was enclosed; the canopy roof over the back stair has been widened
- The original front door was replaced with a recent solid door
- The front stairs, porch picket railing and deck have also been replaced
- The siding and trim have been repainted a different colour



Figure 67: The John Lamb House circa the late 70's (Surrey Archives)



Figure 68: The John Lamb House in the late 80's (Surrey Archives)



Figure 69: The John Lamb House in the late 80's (Surrey Archives)



Figure 70: The John Lamb House in the late 80's



Figure 71: The John Lamb House in 1998 (City of Surrey)

REPLACED WINDOWS

Four windows had wood sashes replaced with vinyl ones, two at the front and two on the south side of the main floor. Three of these consisted originally of a twin frame double hung window with a six pane upper sash; this style of windows was typical of the original house identical to W07. The other replaced window was a triplet of double hung windows also with a six pane upper sash located at the south side projection



Figure 72: Vinyl W01-02 at porch



Figure 73: Vinyl W03 Main floor south



Figure 74: Vinyl W04 Main floor south



Figure 75: W07 Double hung window at main floor typical of the house

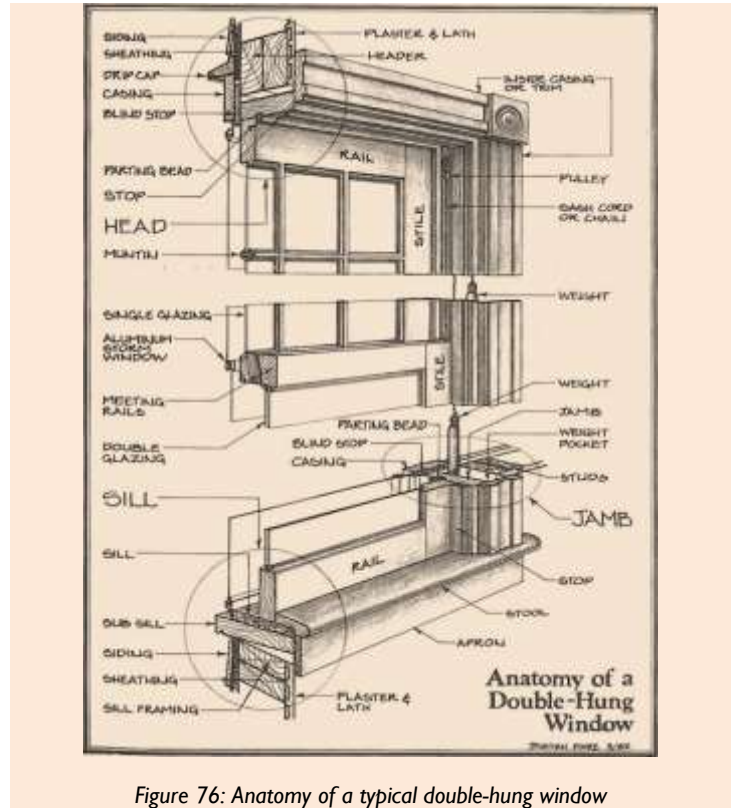


Figure 76: Anatomy of a typical double-hung window

CHIMNEY

The internal red brick chimney at the John Lamb House was still standing until recently. The former chimney was positioned on the roof ridge approximately in the middle of the house. The chimney foundation should still exist and can be used to support the restored chimney. The chimney represents an important aspect of rural life before modern insulation and heating systems.



Figure 77: Former chimney positioned on the roof ridge approximately in the middle of the house

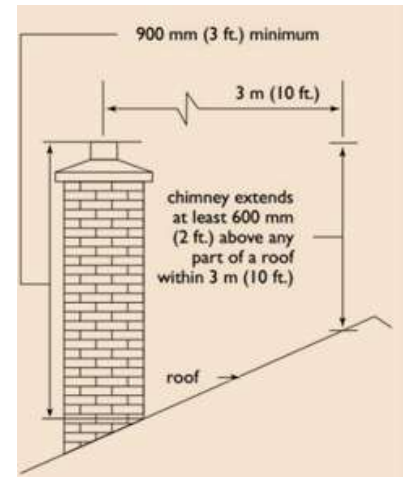


Figure 78: NBC Chimney Dimensions

REPLACED ROOF

For builders in timber-rich North America, wood shingles were the obvious choice for the earliest roofs, and ultimately the most common roofing material for houses well into the 20th century. Originally shingles were hand-split from local woods, but after 1840, stationary and portable mills produced the sawn shingles common for Queen Anne and Shingle-style houses of the Victorian period. When railroads reached the Pacific Northwest in the 1890s, Western red cedar, rot-resistant and abundant, soon dominated the market across all house styles. Although the cedar shingle roof was an outstanding roofing solution at the time, several factors contributed to its demise. When wet without sufficient ventilation, wood shingles harbour mold and eventually rot. Exposure to moisture in a cedar shingle roof must be carefully controlled. Wood shingle roofs began to wane in the 1920s in the face of newly developed asphalt shingles and calls for improved fire safety.

It was back around 1840 when coal tar was first used to saturate layers of felt to produce a rolled sheet. The surface was covered with a protective layer of sand or ground shell. Right at the outset, this "composite" waterproofing material proved to be reliable and affordable. Henry M. Reynolds of Grand Rapids, Michigan, started hand cutting individual shingles in 1903, making the manipulation and installation of the product easier. In 1915, continuous roll die-cutting was brought into the manufacturing process. In the 1920s, the performance of asphalt shingles was improved by the development of a diamond cut shape to increase resistance to wind uplift.

It is hard to know whether the popularity of asphalt shingle roofs had reached Surrey, British Columbia in the 1920's, and whether the John Lamb house was first covered with cedar or asphalt shingles. All we know for sure is that the house was covered in asphalt shingles for many years before its current covering. Since the ground floor was clad in cedar shingle, one should consider that a cedar shingle may have been the original roofing material. Currently, a standing seam metal roof, shop painted green covers the Jon Lamb House. This modern roof is a durable product which has been installed professionally, but unfortunately incompatible with the heritage structure.



Figure 79: Asphalt shingles roof at the John Lamb House in 1998

LOWER AND UPPER SIDING

LOWER: The ground floor was originally clad with cedar shake siding with straight mitered corners while the main floor was clad in cove lap siding; the cedar shake mitered joints were later covered with corner boards, rarely lining up with the boards above. This combination of siding materials is typical of the Craftsman style. Cedar shakes and shingles are similar but there are some differences between them. Cedar shingles are generally sawn on both sides, while shakes are typically split on one or both sides. Shakes are more irregular, and don't lay as flat when installed. Cedar shake is also thicker than shingle siding at the butt end (*Parr Lumber*). Given the motley aspect of the siding on the pictures below, it is most likely that the ground floor was clad with cedar shakes. The cedar shakes were installed natural and painted over time. There is a possibility that some of the original shakes still lay behind the current lap siding.



Figure 80: Straight mitered cedar shingles corner



Figure 81: Ground floor shingle siding in the 1990's (Surrey Archives)

UPPER:

The exact profile of the existing cove lap siding on the main floor must be investigated in order to replace damaged boards, where required.

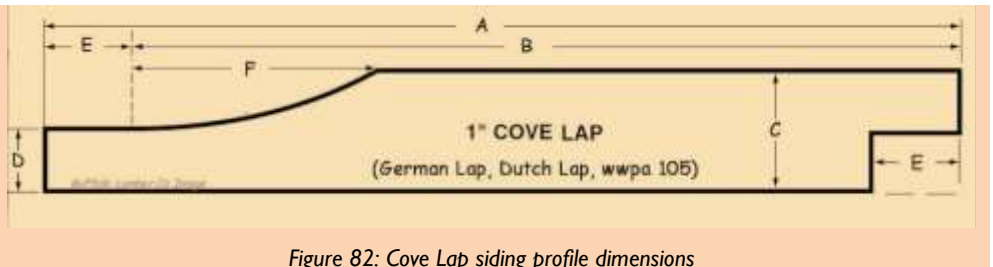


Figure 82: Cove Lap siding profile dimensions

ATTIC ACCESS

There is no trap or ladder to access the attic space. The two attic windows are an important expression of the Craftsman style. The windows are also the only means of ventilation of the attic. These windows need to be maintained and an access is required.

FRONT STAIRS AND PORCH DECK

A typical porch staircase of a Craftsman house would be perpendicular to the front entrance. The stairs would have solid wood risers with low and wide balustrades. The sides of the stair case would be clad with material consistent with the rest of the house. Below are three examples of Craftsman style porch staircase build in 1914, 1923 and 1928.



Figure 83: Craftsman bungalow in Delta in 1923



Figure 84: Welwyn Street in Vancouver 1914



Figure 85: Main Street in Delta 1928

FRONT DOOR

The original front door has been replaced with a modern solid door. The original front door would have been an important character-defining element; it identifies the age of the house and its style. Choosing the right entrance door for the house will welcome an appreciation for the heritage place. The same is true of the back entrance door. Several suppliers provide a variety of Craftsman style door.



Figure 86: Samples of traditional Craftsman doors

BACK STAIRS AND SHED ROOF

The incongruous lower siding of the back staircase indicates that the garden storage enclosure is not original. The stair, landing and shed roof are original. The stair threads have been replaced. The sloping roof over the stair is not original and has been widened over time.



Figure 87: Back staircase with enclosed landing and storage below



Figure 88: Stair detail with two type of siding at enclosure



Figure 89: Width of canopy extended



Figure 90: Storage door below stair landing



Figure 91: Door at top landing

PAINT COLOURS

A preliminary set of paint samples indicates that the cove lap siding was consistently a pale colour, like a pearl grey. The window frames were also pale colour, like a yellowy cream. We found no traces of the red colour seen in the pictures above.



Figure 92: Cove lap siding sample



Figure 93: Lap siding paint sample



Figure 94: Window frame paint sample

I.2 CONSERVATION RECOMMENDATIONS

The following recommendations are based on accepted conservation principles found in “*The Standards and Guidelines for the Conservation of Historic Places in Canada*”. These recommendations prescribe strategies to preserve, rehabilitate and/or restore the character-defining elements, listed with the *Statement of Significance*, and any part of the historic place that would impact on the historic place. The recommendations do not necessarily apply to immediate interventions but may apply to future work, some of which will be ongoing maintenance work.

- **Preservation** refers to Character-defining elements, original or recent, recommended to be maintained.
- **Rehabilitation** refers to repair and consolidation of existing Character-defining elements as well as the interventions to existing character elements added in a recent past.
- **Restoration** refers to replacement of elements including literal reconstruction or inspired by known past residential design of the same style and appropriate historic models found in Vancouver.

RECOMMENDATIONS

1. **Seismic mitigation: Rehabilitation** - If considered in the future, structural reinforcing for the purpose of seismic mitigation must be specified by a qualified engineer. The house may be lifted above its existing location in order to construct new seismic resistant foundations and/or to lower ground floor in order to increase the ceiling height of the ground floor; this work must be performed by a qualified contractor. The house should be returned to its exact original location; the elevation of the house and its relationship to grade must be preserved as existing or vary by no more than 150mm (6”).
2. **Grade and drainage: Rehabilitation** – Foundation walls should not be exposed more than 150mm (six inches) above grade; exposed concrete should be covered with an appropriate protection coating. Slope the ground gently away from the building in order to avoid ponding and moisture damage. Provide permeable ground surface to ensure effective water drainage. Ensure that ground water flows away from the foundation and footings.
3. **Site: Preservation** – The historic house should preserve its rural character and its compatibility with the streetscape. The visible massing of the historical houses must be maintained as the site’s main feature.

4. Site: *Preservation* - Additions and alterations should not undermine the general shape of the historical house viewed from the street. Alterations and additional architectural features should be inspired predominantly by single family residential vocabulary. Doors and windows in particular, should maintain the heritage value of the house as a historical home.
5. Site: *Restoration* – Ancillary structures distracting from the character of the house should be removed and kept to a minimum. Specifically, the existing car ports and shed, and hot tub, should be removed from the site. The back stair landing enclosure and its garden storage below should be removed with care, since the shed roof and stair cover are original and should be maintained. The location of the back stair should be maintained in spite of the replacement of some of the original material. A Heritage consultant should review the discoveries during removal.
6. Landscaping: *Rehabilitation* – Existing trees should be maintained to enhance the historic rural character of the property. Defined sidewalks around the house, where required, should be safe and compatible with the style of the house. New concrete walkway should have proper bedding, drainage and control joints to avoid cracks. The existing cracked concrete should be removed.
7. Additions: *Preservation* – The historical place is the whole property and any addition or alteration to the site should not undermine the heritage value of the historic structure. Additional structures from the street should not be greater in presence than the heritage structure. The addition(s) to the site must conform to the *Standards and Guidelines for the Conservation of Historic Places in Canada* that states that a new addition should be compatible but distinct from the historic structure. The new addition(s), if any should stand distinct while compatible in materials, colour and presence. Additions to a historic place should be subordinate to the historic structure.
8. Roofing and eaves: *Rehabilitation / Preservation* – The house and porch roof configurations and massing must be maintained. Once the current metal roof comes to the end of its useful life, the owner should consider replacing the roofing material with cedar shingles or asphalt shingles, materials more compatible with the historic house; in both cases the fascia flashing should be removed with the rest of the metal roof. The roof should be inspected by a professional, and repaired and/or replaced if required. Eaves troughs should not be added since they were not part of the original design. Tongue-and-groove roof-underside boards must be preserved and repaired with matching material, where required. The open eaves and open gable ends must be maintained. Exposed rafters should be reviewed and open joints tightened and fastened to fascia board, as intended in the original design. Exposed purlins should be replaced since the ends are all eroded and rotten. Barge boards should be maintained and rehabilitated; tails should be repaired or replaced by dovetailing new ends into existing material. Replacement of the entire damaged barge boards including original tail profile is acceptable where necessary. The head boards must be preserved.
9. Front porch: *Preservation/ Rehabilitated/ Restoration* – The porch configuration must be maintained. The height and finish of the exterior wall/ balustrade should be rehabilitated with added pipe rail to conform to existing codes. Wooden deck boards should be restored to a compatible porch floor; tongue & grove lumber and/ or decking is preferable. Tongue-and-groove ceiling should be preserved and repaired if required; substituted material should be matching existing. Edge beams and square columns with decorative capitals must be preserved; framing and posts should be inspected by a qualified structural engineer and repaired if required; reinforcements by addition should be reviewed by heritage consultant.
10. Front stairs: *Restoration* - The front stairs should be finished in a Craftsman style entrance. Wide solid wood stairs with low and wide balustrade, compatible should be restored; an additional discreet railing can be installed on top of the restored balustrade to conform to current codes, if required. The front staircase outer siding should match the restored cedar shakes cladding.
11. Upper house siding: *Preservation / Rehabilitation* – The wood cove lap siding at the main floor and attic must be maintained; damaged individual boards should be replaced with matching material. Preserve the relationship of siding surface with window frames; adjust if necessary. Obsolete electrical and communication wires and equipment should be removed from the siding of the historic house. Salvage the belt moulding where possible and

repair; replace belt moulding where damaged beyond repair with new material matching profile and size of existing; do not save or install moulding support trim below moulding.

12. Lower house siding: *Restoration* – Remove existing lap siding at ground floor and retrieve any cedar shakes that may be discovered; inform the heritage consultant. Restore cedar shakes siding at the ground floor of the house to match the coursing and application of original siding illustrated in the existing photos. The siding mitered corners must be restored as per original design. Preserve the relationship of siding surface with window frames; adjust if necessary. Obsolete electrical and communication wires and equipment should be removed from the siding of the historic house.
13. Windows: *Rehabilitation / Preservation*—The exterior wood window frames, sills, crowns, and sashes must be preserved. The existing size and location of fenestration at main, and attic must be preserved at all four elevations. The existing size and location of fenestration of the ground floor windows (basement) must be maintained at the south elevations. The fenestration of the ground floor (basement) at the north and west elevation may be altered slightly to improve the ground floor living space. Ground floor windows at the north elevation can be slightly enlarged if the existing proportions remain the same. The ground floor door at the west elevation may be moved slightly and a proportional side-lite may be added.
14. The W07 window assembly should be reviewed and assessed by a qualified contractor; it should be reproduced at restored locations on the north and west side. The W07 double hung window should be refurbished including sash cords and weight to facilitate operation. Deteriorated outer frames can be replaced if required with matching material and profile. Window sashes should be removed carefully if required and reinstalled after maintenance. Frames and sashes may need to be stripped of paint and refinished. Operating hardware should be removed, repaired or replaced if required. Existing glass should be maintained where possible. New weather stripping may be added to each vent sash. Original material should be maintained where possible. Interior sills and surrounding frames should be maintained or replaced to match the existing if possible. A qualified window conservation contractor should be retained to repair and refinish the existing windows where required. If upgrading the windows is considered, we recommend that interior sash sashes be used to improve the performance of the single glazed windows, in order to preserve the original look of the house. Only double-glazed sashes with through muntins are acceptable. All windows must comprise wood frames and wood sashes.
15. Front door: *Restoration* – The front entrance door must be replaced with a type compatible with the Craftsman style.
16. Brick chimney: *Restoration* – The red brick chimney must be restored as closely to original as possible. Provide required flashing and chimney cap in keeping with the historic house while conforming to current codes. Retain a qualified engineer to review the foundation of the chimney, repair, reinforce and/ or replace as required.
17. Paint: *Rehabilitation* –*Historical Vancouver True Colours* should be considered. Further investigation into the original colours is recommended.
18. Site review: We recommend that a Heritage specialist be retained to perform periodic site review when alterations are in progress in order to ensure the integrity of the historic fabric. The consultant should also be advised of discoveries on site in order to adjust the conservation strategy, if deemed necessary.

I.3 REVIEW OF THE PROPOSED DEVELOPMENT: The proposed development consists in subdividing the existing John Lamb property into three lots accessed from an extension of 167th Street. The preserved John Lamb house will continue facing 168th St. The access to the property will be greatly improved while limiting the driveway surfaces around the house. The east and south elevations of the historic house will still be visible from 168th Street.



Figure 95: Proposed subdivision with the John Lamb House in Red

Another residential structure will be built at the back of the historic house. Drawings of the proposed structure at the back of the lamb House are available under separate cover. We have reviewed the design and position of the new structure as well as its impact onto the historic house and find the proposed development acceptable.

The historic house will be preserved and its character-defining elements restored as per the April 2021 Conservation Plan. The proposed design includes an improved ground floor (basement) space with slight adjustments to the existing condition. The improvements to the ground floor will provide additional space to the single family home occupying the John Lamb House.

AI: Standards and Guidelines for the Conservation of Historic Places in Canada *excerpt*

The Standards for the Conservation of Historic Places in Canada are intended to promote responsible conservation practices that help protect Canada's irreplaceable historic places. They provide a philosophical consistency for project work; and while neither technical nor case-specific, they provide the framework for making essential decisions about which features of a historic place should be maintained, and which can be altered.

Applying the Standards

Conservation in the context of these Standards refers to retaining the heritage value of historic places and extending their physical life. Retaining the heritage value of historic places is primarily ensured through *interventions* that have a physical effect on the tangible elements of a historic place that do not obscure damage or destroy character-defining elements. The latter consist of the materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of the historic place. It is useful to consider conservation under three distinct headings: *Preservation*, *Rehabilitation* and *Restoration*, while recognizing that a given conservation project will often include a combination of these activities.

Preservation involves protecting, maintaining and stabilizing the existing form, material and integrity of a historic place, or of an individual component, while protecting its heritage value. There are nine Standards relating to *Preservation*, and they must all be applied to a *Preservation* project. Since protection, maintenance and stabilization are at the core of *all* conservation projects, all nine *Preservation* Standards must be applied to *any* conservation project.

Preservation should be considered as the primary treatment when (a) the historic place's materials, features and spaces are essentially intact and thus convey the historic significance without extensive repair or replacement; (b) depiction during a particular period in its history is not appropriate; and (c) a continuing or new use does not require extensive alterations or additions. *Preservation* tends to be the most cautious of the conservation treatments and retains the most materials. It is therefore most appropriate when heritage values related to physical materials dominate. A plan for *Preservation* should be developed before work is undertaken.

Rehabilitation involves the sensitive adaptation of a historic place or of an individual component for a continuing or compatible contemporary use, while protecting its heritage value. This is achieved through repairs, alterations and/or additions. Three Standards relate to *Rehabilitation* and all three must be applied to a *Rehabilitation* project, in addition to the nine *Preservation* Standards.

Rehabilitation should be considered as the primary treatment when (a) repair or replacement of deteriorated features is necessary; (b) alterations or additions to the historic place are planned for a new or continued use; and (c) its depiction during a particular period in its history is not appropriate. *Rehabilitation* can revitalize historical relationships and settings and is therefore most appropriate when heritage values related to the context of the historic place dominate. A plan for *Rehabilitation* should be developed before work begins.

Restoration involves revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, as accurately as possible, while protecting its heritage value. Two Standards relate to *Restoration*, both of which must be applied to a *Restoration* project, in addition to the nine *Preservation* Standards.

Restoration may be considered as the primary treatment when (a) the significance of a historic place during a particular period in its history *significantly* outweighs the potential loss of existing materials, features and spaces from other periods; (b) there is substantial physical and documentary or oral evidence to accurately carry out the work; and (c) contemporary alterations and additions are not planned. *Restoration* is most appropriate when strong associative or symbolic heritage values have been obscured and can be revealed through removals, repairs and replacements based on detailed historical evidence. Before the work begins, a particular period (i.e., the restoration period) must be selected and justified, and a plan for *Restoration* should be developed.

General Standards (all projects)

1. Conserve the *heritage value* of a historic place. Do not remove, replace, or substantially alter its intact or repairable *character-defining elements*. Do not move a part of a *historic place* if its current location is a *character-defining element*.
2. Conserve changes to a *historic place* which, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other *historic places* or other properties or by combining features of the same property that never coexisted.
5. Find a use for a *historic place* that requires minimal or no change to its *character-defining elements*.
6. Protect and, if necessary, stabilize a *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an *intervention*.
8. Maintain *character-defining elements* on an ongoing basis. Repair *character-defining elements* by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of *character-defining elements*, where there are surviving prototypes.
9. Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible with the *historic place*, and identifiable upon close inspection. Document any intervention for future reference.

Additional Standards Relating to Rehabilitation

10. Repair rather than replace *character-defining elements*. Where *character-defining elements* are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
11. Conserve the heritage value and *character-defining elements* when creating any new additions to a historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of a *historic place* will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration

13. Repair rather than replace *character-defining elements* from the restoration period. Where *character-defining elements* are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

A2- Building Code Equivalencies

Excerpts from the BC Heritage Branch Web site:

The B.C. Building Code is a regulation made under the Municipal Act. It is based, in large measure, on the National Building Code of Canada. The code is essentially a set of minimum provisions respecting the safety of buildings with reference to public health, fire protection and structural sufficiency. It is not intended to be a textbook on building design, advice on which should be sought from qualified sources. Its primary purpose is the promotion of public safety through the application of appropriate uniform building standards.

The Building Code Recognizes Heritage Buildings. The B.C. Building Code defines heritage buildings as the following: Heritage buildings are buildings that are legally recognized by the Province or local government as having historic, architectural or cultural value for the Province or their communities. To qualify as a heritage building under the Building Code, a building must be designated or recognized by the Province or the municipality where the site is located.

There are relaxations in the Building Code for Heritage Buildings. The B.C. Building Code supplies a table of "Alternate Compliance Methods" for heritage buildings. The Building Code states:

It is generally recognized that the Building Code was primarily written for new construction and provides for a performance level that is significantly higher than what exists for many older buildings. To apply present Building Code requirements to existing buildings, in many cases, is impractical and with Heritage Building may compromise historic appearances or authenticity. Therefore, the Table of Alternate Compliance Methods was developed to provide alternate methods for complying with the performance level intended by the Building Code.

For Alternate Compliance Methods Table: Contact your local major bookstore or visit the reference section at your local library for a copy of the "B.C. Building Code".

A3- BC Energy Efficiency Act

Heritage BC post

New regulations for the manufacture of windows, doors and skylights in B.C. took effect in 2009. Brought in under the BC Energy Efficiency Act, the regulations are part of a broad provincial strategy to reduce energy consumption in buildings. While designated buildings, thus buildings included in the heritage register by the Council under the Vancouver Charter, are exempt from the regulations, other heritage buildings are not. Existing windows and doors in heritage buildings may be refurbished without reference to the regulations, but replacement windows and doors will have to conform to the new rules. This includes storm windows.

A4- MAINTENANCE

In keeping with the *Standards and Guidelines for the Conservation of Historic Places in Canada (2010)*, a maintenance program should be implemented ensuring the good condition and the longevity of the historic site. Vigilance and constancy are essential dispositions in maintaining an historic site.

Light cleaning and minor repairs can be achieved on a regular basis. Major repairs, alterations and changes to the appearance of the historic site require a Heritage Alteration Permit issued by the City. <http://vancouver.ca/home-property-development/heritage-alteration-permit.aspx>

All interventions to the character-defining elements of a historic site must comply with the *Standards and Guidelines for the Conservation of Historic Places in Canada (2010)*. The following is an inspection checklist to help the owner and/or caretaker of the historic site to identify potential problems with his/her property; this is not an exhaustive list and is meant as a general guide of some of the type of issues met as a normal life-cycle of a residential property:

Site:

Drainage: rain run-off away from the building foundations, sidewalks and neighbours
 Dampness: excessive accumulation of dampness harboured in crawl spaces
 Roots: assailing of roots onto structures and waterproof membranes
 Trees: organic droppings on roofs and eavestroughs from adjacent trees
 Branches: friction and intrusion of branches onto buildings elements
 Plants: crowding of exterior walls and surfaces by plants and vines
 Paving: cracks and organic growth in paving stones and pavements
 Steps: level and railing safe and secure
 Services: safe and minimum number of exposed conduits and wires
 Vermin: hoarding of material harbouring insects and vermin
 Critters: enclosed spaces secured from easy access
 Birds: roosting ledges subject to guano accumulation

Foundation:

Walls: exposed foundation walls may cause water penetration
 Spalling: cracks and dislodged parging material
 Movement: foundation walls shrinking and/or settling
 Slanting: crooked and slipping footings due to unstable ground
 Level: uneven foundation due to irregular settlement
 Deflection: sagging transom and lintels due to unstable structure
 Salt: presence of efflorescence in foundation walls
 Moisture: rising dampness around foundations indicates poor drainage
 Ponding: puddles adjacent to building will find its way into walls
 Spray: splashing of water onto building causes deterioration

Exterior woodwork:

Grade: soiling of siding may be caused by water absorption at grade
 Condensation: surface temperature difference creates condensation
 Fungi: evidence of surface mold and/or moss is caused by dampness
 Climate: bleached and/or soiled due to environmental conditions
 Shape: dimensional deformation and warping of planks and lumber
 Split: cracked wood and fallen knots indicates movement and dryness
 Surface: soiling by rust, mildew or bleeding may require refinishing
 Fasteners: rust and displaced nails and screws indicates movement
 Joints: opened joints between wood members indicates movement and/or shrinkage
 Paint: blistering, alligatoring and peeling caused by age, application or layering

Doors and Windows:

Glass: missing or broken
 Putty: missing or aged putty may indicate loose glass
 Vents: ease of sash operation and condition of hardware
 Condensation: surface deterioration may be due to condensation
 Frame: dimensional deformation and warping of frame prevent smooth operation
 Head: rain water wash may be due to missing or ineffective top flashing
 Sills: weathering sills may be due to soiling and sitting rain water
 Drip: rain water wash below window may be due to missing or defective drip
 Sealant: missing or aged sealant between siding and frames may cause leaks
 Weather-stripping: continuous weather-stripping is effective in keeping weather out
 Hardware: locks, latches and closers functioning properly

Flashing and eavestroughs:

Flashing: missing or defective at top of ledges, walls adjacent to roofs, chimneys, roof valleys and ridges

Eavestroughs: secure, continuous and allowing easy flow; watertight and connected to downspout

Rain water leader: continuous and watertight evacuating into drainage system away from building

Roof:

Surface: moss and soiling is visible when the roofing membrane or shingles holds humidity

Eaves: the leading edge is wet when water accumulates and ponds at eaves

Shingles: displacement of shingles indicates poor fastening

Popping: nails and/or screws protruding indicates movement

Flashing: continuity of flashing at area of discharge

Woodwork: damage from leaks at closed soffits, barge board and roof trim

Attic:

Insulation: wet insulation indicates roof leaks or missing vapour barrier

Ceiling: soiled gypsum boards at upper ceiling indicates leak or condensation

Ventilation: excessive humidity in attic indicates lack of ventilation

Birds: guano in the attic indicates presence of rodents or birds

Structure: structural movement causes roof leaks

Basement:

Floor: cracked floor indicates ground water and/or movement

Wall: wet surface indicate condensation and/or ponding against foundation walls

Cleaning:

Method: use non-abrasive cloth and soap to clean exterior elements of historic site

**Partial list of trades:**

The following are trades that have conducted successfully several conservation projects within their specialties. This is a partial list only as suggestions:

- Nickel Brothers House Moving Ltd.; relocation, Vancouver
- CMM Industries: metal work and flashing, Vancouver
- Brxton Construction LP: masonry, Richmond
- McLeod Masonry Ltd.; masonry Sechelt
- Wolfe Masonry: masonry, Vancouver
- TEK Roofing: roofing, Burnaby
- Mercer & Schaefer Glasstudios: stained glass, Victoria
- Clear-look Windows, Burnaby
- Vintage Woodwork: windows and doors, Victoria

END OF CONSERVATION PLAN

REFERENCE: Statement of Significance Background

Index:

STATEMENT OF SIGNIFICANCE (page 3)

1.0 Preface

- 1.1 Background
- 1.2 Content and Methodology
- 1.3 Consultants & Heritage Professional
- 1.4 Source and Documentation

2.0 Heritage Character

- 2.1 Building Description
 - Existing context, Zoning and Land use
- 2.2 Site Archaeology
 - The Kwantlen people, Topography, Surrey, Surrey Centre, 168th Street & Old mclellan Road
- 2.3 Building History and Chronology
 - Ownership and residents

3.0 Building Heritage Analysis

- 3.1 Craftsman Style



Figure 96: 1920: It shows a car on Pacific Highway about where 26th Avenue crosses, looking north towards Cloverdale. Note that the car is driving on the left. BC did not change to driving on the right until January first 1922. Photo by Leonard Frank JMABC LF.40894

I.0 Preface

I.1 Background

The house located at 5909 – 168th Street is listed in the Surrey Heritage Register. The house is an existing one storey structure with basement, originally built as a single family home circa 1920. It was last purchased in 2016 by the current owner, who wishes to enter into a Heritage Revitalization Agreement with the City of Surrey in order to create a subdivision on the current lot. This following Statement of Significance, Conservation Plan and S.O.S. Background are part of the HRA submission.

I.2 Statement of Significance Content and Methodology

The Statement of Significance (S.O.S.) is a synopsis of the heritage value of the historic structure. The Conservation Plan, which complements the S.O.S. highlights conservation issues and interventions required to ensure the preservation, rehabilitation, restoration and maintenance of the heritage structure.

Research and documentation supporting the S.O.S. is included in the background associated to the statement. This document is not an exhaustive assessment of the historic structure, neither is it definitive statement about the heritage building. The S.O.S. is a work in progress which will evolve as more information is gathered by the stakeholders and the community at large. This report aspires to be a framework to compile information and to establish the relation between history and the conservation strategy for the Heritage building. The guidelines used to assess the Heritage value are the Standards and Guidelines for the Conservation of Historic Places in Canada; Parks Canada 2003 (revised 2010).

This document includes a proposed Statement of Significance and the background research pertaining to the Statement. This S.O.S. was prepared in keeping with the Heritage Branch's "Preparing and submitting Records for the BC Register for Historic Places".

I.3 Heritage Professional

The firm dewhirst lessard is a consulting firm specializing in Building Conservation; Barbara Dewhirst and André Lessard have extensive experience as former practicing architects; both have been involved in numerous heritage projects in BC, Alberta and Ontario. André is responsible for the project; he is a heritage professional with experience in planning, design and construction. Formerly an OAA and AIBC member, he is a member of the Canadian Association of Heritage Professionals, past-president and current member of the BC Chapter, and former member of the CAHP National Board of directors. He is also a former member of the Vancouver Heritage Commission. André is a LEED accredited professional, including Field Certification experience (BD+C) in 2012. He was lecturing for twelve years in building science for architectural conservation at University of Toronto and Ryerson University.

I.4 Source and Documentation

Surrey; A City of Stories by K. Jane Watt, City of Surrey 2017

Kwantlen First Nation Web Site: <https://www.kwantlenfn.ca/>

The Chuck Davies History of Metropolitan Vancouver; by Chuck Davies, Harbour 2011

Surrey Archives; files and photos, working files

Surrey History by Jack Brown: Surrey's virgin landscape, Cloverdale, Surrey Centre, McLellan & Coast Meridian Roads

Online Jewish Museum & Archives of BC

Vancouver Public Library; online directories

Surrey zoning by-law 12000, Surrey Time Lapse and Cosmos

City of Surrey: Serpentine & Nicomekl Lowlands & West Cloverdale NCPs

Wikipedia: Surrey

Vancouver Heritage Foundation House Style

Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada 2003 (revised 2010)

Preparing and submitting Records for the BC Register for Historic Places, BC Heritage Branch

2.0 Heritage Character

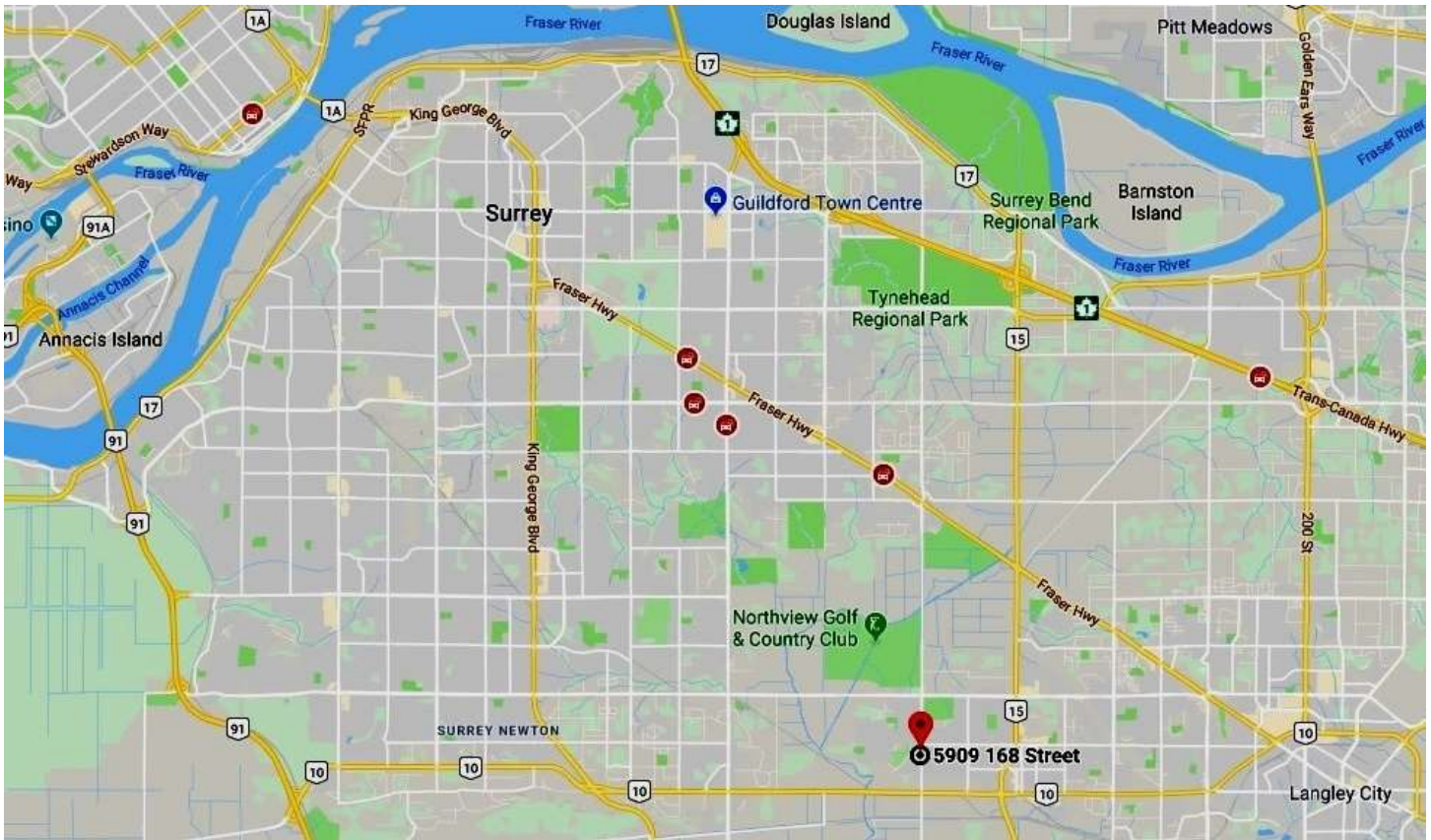


Figure 97: Map of Surrey south of the Fraser River and north of Highway 10 with 5909 – 168 Street highlighted (Google)



Figure 98: 5909-168 St in West Cloverdale South (Google)



Figure 99: Intersection of 60th Ave and 168th St looking north (Google)

2.1 Existing context



Figure 100: Aerial photo of immediate neighbourhood with Surrey Centre Elementary on the top left and intersection of 60th Ave & 168th St on the right, (Google)



Figure 101: Surrey Centre Elementary School facing Old McLellan Road



Figure 102: Christ the Redeemer Anglican Church high on Old McLellan Road



Figure 103: Surrey Centre Cemetery and Christ the Redeemer Church



Figure 104: View of the John Lamb House from 168th Street



Figure 105: View of the back of the house from Surrey Centre School playground

ZONING



Surrey is a city in the province of British Columbia, located south of the Fraser River and north of the Canada–United States border. It is a member municipality of the Metro Vancouver regional district and metropolitan area. Mainly a suburban city, Surrey is the province's second-largest by population after Vancouver and the third largest by area after Abbotsford and Prince George.

The seven neighbourhoods or "town centres" the City of Surrey comprises are: Fleetwood, Whalley, **City Centre**, Guildford, Newton, Cloverdale, and South Surrey. (*City of Surrey - Communities*)

The John Lamb House is located in the Surrey Centre neighbourhood, in West Cloverdale South, a part of the Cloverdale area. West Cloverdale is the name of the neighbourhoods along the ALR escarpment, west of 168th Street between Highway 10 and 64 Avenue. The West Cloverdale plan area is divided into two NCPs, north and south of 60th Avenue. Combined they encompass about 165 hectares (410 acres), extending from the ALR in the west to 168th Street in the east.

In 1993 City Council identified the West Cloverdale neighbourhood as one of several areas that would be suitable for development consideration. A Local Area Plan for West Cloverdale was subsequently developed to serve as an overall guide for land use, servicing and development in the area. The Plan also identified the Neighbourhood Concept Planning (NCP) approach to further plan the north and south portions of the plan area. In March 1997, Council approved the West Cloverdale South NCP, the first phase of North Cloverdale. Then, in November 1997, Council approved the West Cloverdale North NCP to complete neighbourhood planning for the area.



Figure 106: Surrey Centre is located in the West Cloverdale South

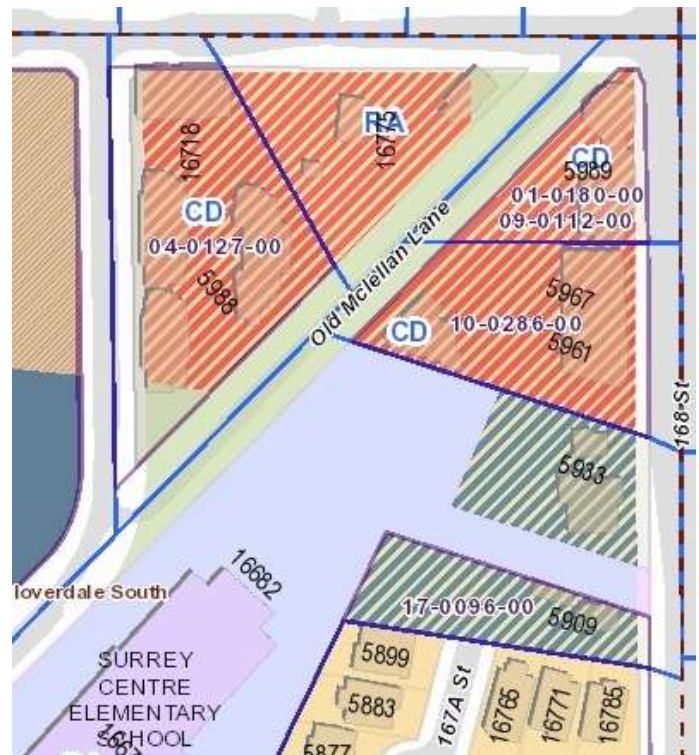


Figure 107: Land Use for 5909 168th St is Institutional / Residential

Currently the Zone of property at 5909 – 168th Street is RA, One-Acre Residential Zone. The current proposal is to rezone from RA to RF and RF-13; in order to allow a subdivision into 3 residential lots The Development Variance Permit will allow a double garage on lots that are less than 13.4 m wide in the RF-13 zone. The Heritage Revitalization Agreement will protect the existing John Lamb house that is to be retained on the proposed RF lot.

- RA Zoning: One-Acre Residential Zone
Intent: This Zone is intended for single family housing on suburban lots of 1 acre or larger.
- RF Zoning: Single Family Residential
Intent: This Zone is intended for single family dwellings.
- RF-13 Zoning: Single Family Residential (13) Zone
Intent: This Zone is intended for single family housing on small urban lots at least 12.0 metres [40 ft.] wide.

2.2 Site Archaeology

THE KWANTLEN PEOPLE

Surrey encompasses land formerly occupied by a number of Halqemeylem-speaking aboriginal groups. Prior to European contact, the Kwantlen were one of the most populous First Nations of the Lower Fraser and the leading faction of the Sto:lo people. Kwantlen occupied many significant village sites throughout their territory, including settlements in current day New Westminster, Surrey, Langley, Maple Ridge, and Mission. According to anthropologist Charles Hill-Tout, the main village of the Kwantlen people was "Sqaiametl" in what is now known as New Westminster. Directly across the River on the Surrey side was the summer fishing village known as Kikait.

In early European records, the Kwantlen people are referred to as the Quoitlen, Quaitlines, and other variations on these spellings. In the late -1800's the Kwantlen First Nation became known to non-Natives as the "Langley Indian Band". In 1994, Chief Marilyn Gabriel reclaimed the traditional name of Kwantlen for her people and community which were marked by a traditional ceremony. Kwantlen Polytechnic University was granted permission to use the Kwantlen Name by the late Sto:lo Grand Chief Joe Gabriel. The name "Kwantlen" means "Tireless Runner" in the Halkomelem language.

A portion of present-day Whalley (named after Harry Whalley, who owned and operated a gas bar at the bend in King George Blvd, (formerly King George Highway) at 108th Avenue, "Whalley's Corner") was used as a burial ground by the Kwantlen (or Qw'ontl'en) Nation.



Figure 108: Part of 1959 Map based on W. Duff showing the ancestral territories of First Nations of the Fraser Valley; Surrey highlighted in white

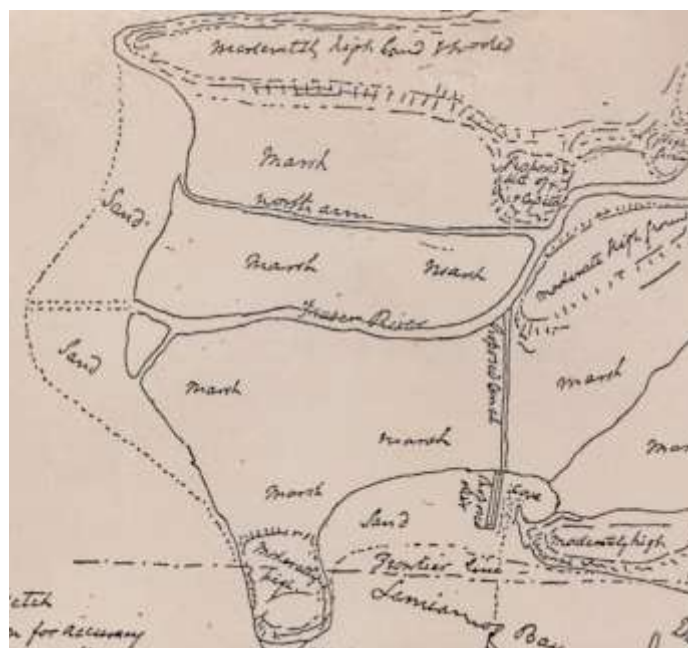


Figure 109: 1859 Rough sketch by Richard Moody showing relative position of natural elements;

TOPOGRAPHY

In 1858, near the start of the British Columbia and the Fraser River Gold Rush, the British Colonial Secretary Lytton, assigned Colonel Richard Clement Moody as the Lieutenant Governor of B.C. He was in charge of a detachment of Royal Engineers. Their charge was "...to be pioneers in the work of civilization, in opening up the resources of the country, by the construction of roads and bridges, in laying the foundations of a future city or seaport, and in carrying out the numerous engineering works which in the earlier stages of colonization are so essential to the welfare and progress of the community." In his early reconnaissance of the Lower Fraser Valley in 1859, Moody hand sketched a map of the lower Fraser, the uplands of Surrey, and potential routes to the Fraser River. This was the World's first view of the general configuration of the interior of Surrey.

Colonel Moody's sketch map (Figure above) showed the uplands of north and south Surrey, the general direction of the Serpentine and Nicomekl Rivers, the general direction of the Fort Langley Trail, and the location of the International Boundary. The uplands at the fork of the north and south arms of the Fraser River would be chosen as BC's Capital New Westminster. This location would control access up the Fraser River to the Gold Fields.

Around 1880, the Englishman William John Brewer, who was to become the first city clerk in Surrey, looked across the Fraser River from New Westminster and saw a land reminiscent of his native County of Surrey in England; he named the settlement Surrey. The area then comprised forests of douglas-fir, fir, red cedar, hemlock, blackberry bushes, and cranberry bogs. The city is mostly hills and flatland, with most of the flatland in Tynehead, Hazelmere, south of Cloverdale, and Colebrook.

The Nicomekl and Serpentine Rivers catchment area is 334 km² of which 59 km² is considered part of the lowland floodplain area for the river. Tributary areas to the Serpentine River include Guildford & Newton Town Centers, North West Langley, Port Kells, Bear Creek, Hyland Creek and Clayton Hill areas. The river is controlled by sea dams located just south of King George Boulevard off Elgin Road. These dams consist of gates which open when tides are low to allow fresh water to flow to Mud Bay. When tides are high, the gates prevent brackish (salt water) from migrating up the river into farm lands. Much of the land within both river lowland areas is very close to sea level as it historically was an intertidal zone.

In the late 1800s, farmers in the area began reclaiming the land for agricultural purposes through the installation of dykes and canals. In 1910, the Surrey Dyking District was formed under the Drainage, Ditch, and Dike Act with a mandate to construct sea dams on both the Serpentine and Nicomekl Rivers. Surrey Council pass the resolution of closing the two rivers to navigation thus bringing the era of steamboats and log booms on these rivers to an end. Dyking of the Serpentine and Nicomekl rivers originally started in the 1920s, but it wasn't until the late 1950s and the acquisition of a drag line, that mechanized dredging along the both rivers became a regular project. Dredging was completed to build up the dykes, and remove silt.

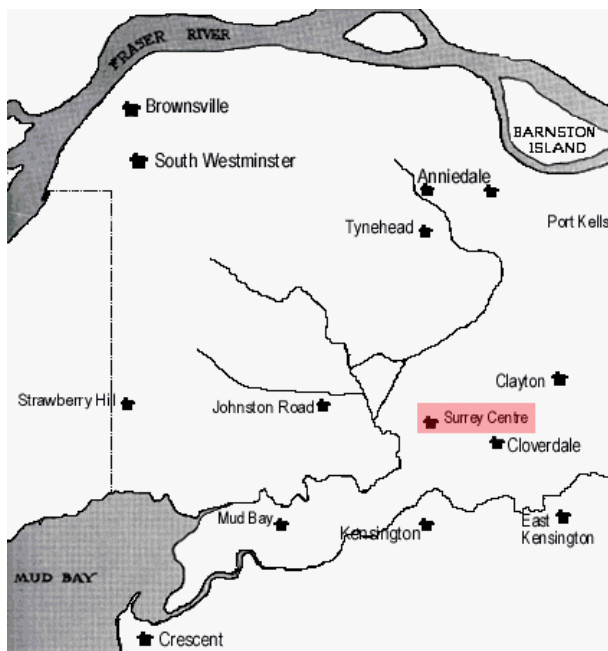


Figure 110: Early settlements in Surrey including Surrey Centre



Figure 111: Roads in 1886 (Red dot indicates the Lamb House)

SURREY

Surrey was incorporated in 1879. The first non-Indigenous settlement of Surrey was founded near Crescent Beach, located in South Surrey; another was founded near Bridgeview/Brownsville, located in North Surrey. Early trails and roads next to the Serpentine River. The Semiahmoo Wagon Road was built in 1873 between Brownsville opposite New Westminister and Semiahmoo (Blaine). The first regular ferry service across the Fraser River started in 1882 with the point of departure at Brownsville. The ferry landed on the Surrey side at the start of the Old Yale Road, which connected directly inland to Yale, and was a major gold rush trail.

A few years after British Columbia joined Confederation in 1871, several new roads were constructed in 1874 and 1875. These included the 1874–75 McLellan Road (now Highway 10) which connected Ladner in Delta to Surrey Centre, the 1875 Yale Wagon Road (now Fraser Highway) and the Mud Bay Road (now Scott Road / 120th Street). As the grid system of land subdivisions and streets we know today gradually developed, earlier routes which did not conform were abandoned. With the development of farming on the flats along the Serpentine, Nicomekl, and Campbell Rivers, new roads were constructed.

The New Westminister Rail Bridge was opened in 1904, allowing personal vehicles to cross the Fraser River on the upper deck. The lower deck, for rail, enabled BC Electric Railway to finally construct the Interurban line, an electric suburb helped to encourage the settlement of Surrey. The first trail built by a settler was the 1861 the Kennedy Trail. James Kennedy built the trail to provide a route between New Westminister and the natural pasture land on the Mud Bay Flats of Clover Valley Road as the Pacific Highway stimulated the growth and development of Cloverdale. Two sawmills operated in Cloverdale while timber supplies lasted. commuter rail route connecting Chilliwack to Vancouver. It opened for service in 1910, and ran through Kennedy, Newton, Sullivan, and Cloverdale.

Cloverdale is the municipal district for the John Lamb House. The development of the Cloverdale neighbourhood had a major impact on Surrey Centre and the Five Corners, where the house is located. Cloverdale developed as a north-south community along the tracks of the New Westminister Southern Railway. The three intersecting railways and designation

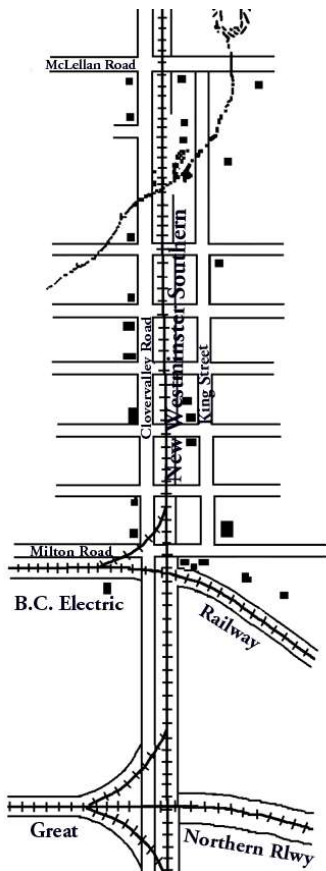


Figure 112: Cloverdale 1909



Figure 113: 1911 Cloverdale Station 176 & Hgw 10



Figure 114: 1912 Surrey Town Hall in Cloverdale

SURREY CENTRE & THE FIVE CORNERS

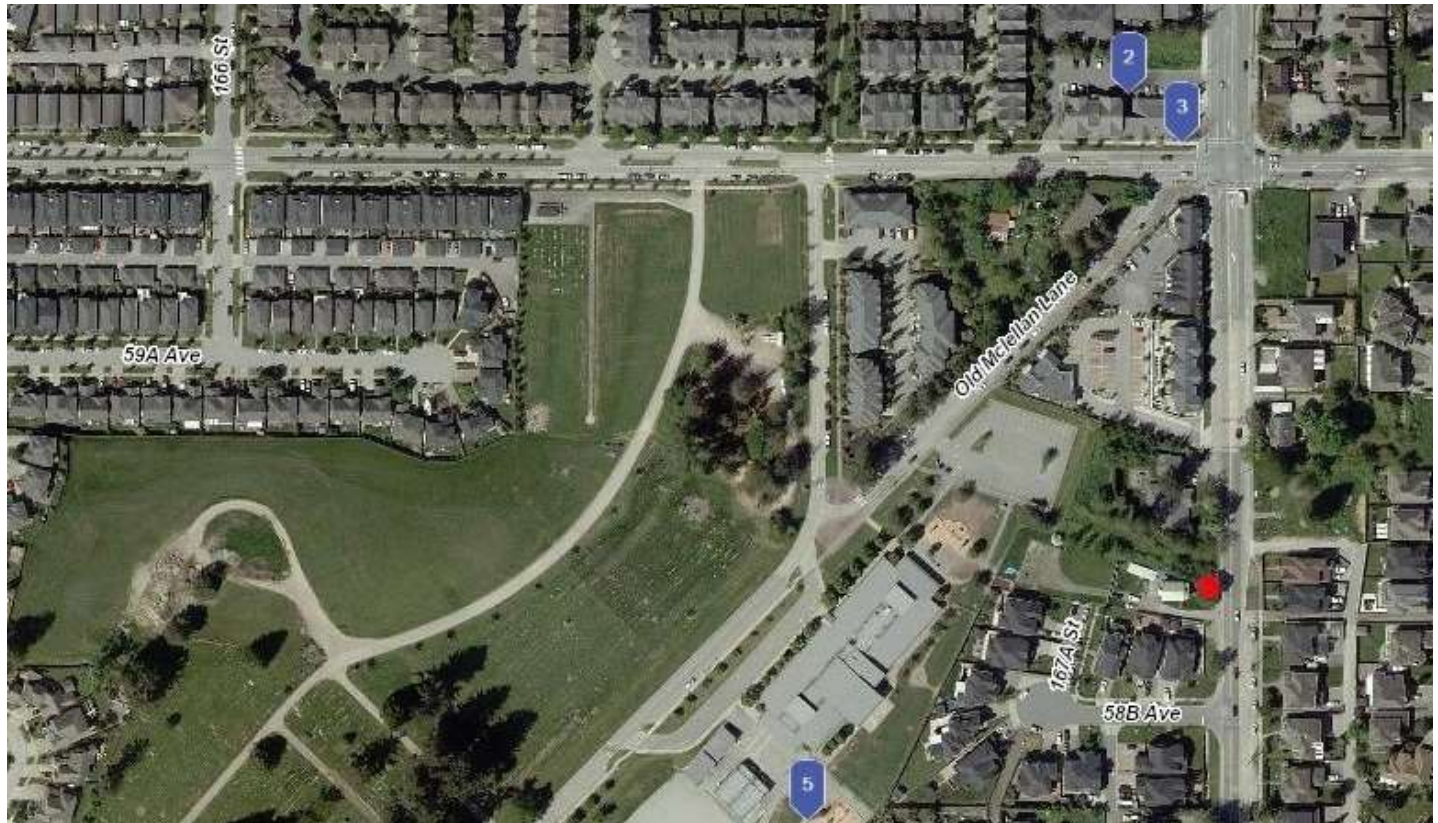


Figure 115: Surrey Centre location of: The Oxenham's (2), Surrey Centre General Store(3) & first Municipal Hall (5); red dot indicates Lamb House

Surrey Centre developed near the junction of the Old McLellan Road and Coast Meridian Road. Surrey Centre was the first town centre, near Five Corners, the historic intersection of 60th Avenue and Old McClellan Road. In 1879, the earliest council meetings were held in private homes around the District but it was decided that a town hall needed to be established in a central location. Abraham Huck donated an acre of land at Surrey Centre and a contract was let for a building of 20 feet by 30 feet. The Town Hall was completed and the first meeting held on May 2nd 1881. The building continued to be the seat of Municipal government in Surrey until 1912, when the new Municipal Hall was built in Cloverdale. The original Town Hall was moved to the new Surrey Fairgrounds in 1938.

The original settlers in Surrey Centre were the Hucks and the Boothroyds. In 1872 Abraham and Nancy Huck bought 320 acres of land. He held the two quarter sections south of 60th Avenue. In addition to farming, Abe built a room onto the house for a small general store. A large barn was also built. Abe had a blacksmith shop in one end of the barn where he shod oxen and horses. His home was located at the junction of Coast Meridian Road and Old McClellan Road. Next to his home he and his wife operated a store and the local post office. In 1881, he donated the site for the first Surrey Centre School, and provided the property for the first Town Hall, church and cemetery.

The Boothroyds were the second family to come to Surrey Centre. George Boothroyd and his brother William had operated a road house near Boston Bar for miners continuing up the Caribou Road to the gold fields. In 1878 George sold his interest in the roadhouse and came down to the coast to start farming at Surrey Centre near the Hucks. George held the quarter section north of Old McClellan Road and east of Coast Meridian Road.

The Reverend William, an Anglican Minister, came to Surrey in 1882 and was instrumental in starting the first church – Christ Church – in the municipality built at Surrey Centre, on Old McLellan Road. The church was built in 1884, with lumber from mills in New Westminster brought down the Serpentine River and up to Surrey Centre by oxen. Surrey Centre Cemetery sits on the top of the hill above Mud Bay, overlooking farm land and the surrounding area as it has done

for the last 130 years. Throughout the granite, marble and even wood-carved stones that dot the historic Christ Church grounds, one can find names of those pioneer families who nearly a century later still have a deep mark on the community: Kells, Woodward, Johnston, Boothroyd and Bose to name a few.

The opening of the New Westminster and Southern Railway in 1891 saw the rapid growth of Cloverdale. Surrey Centre remained the administrative center of Surrey until a new Municipal Hall was opened in Cloverdale in 1912. Cloverdale's development eclipsed the development of Surrey Centre. Many of the functions that Surrey Centre had held were taken over by the blossoming Cloverdale. Surrey Centre remained a local focus only, but with the 1990s it has seen resurgence as a residential area.



Figure 116: Abe Huck's store, Coast Meridian & Old McClellan Rd



Figure 117: Boothroyd at 168th Street and 60th Ave



Figure 118: 1918_ First Town Hall built in 1881 at Surrey Centre - HPC



Figure 119: 1891-1910- Surrey Centre General Store HPC



Figure 120: 1911-16 Christ Church Surrey Centre - Old McLellan Rd



Figure 121: Circa 1891_ Surrey Centre one-room school

168th STREET & OLD MCLELLAN ROAD

In the year 1859, J.W. Trutch signed a contract with the Chief Commissioner of Lands and Works for the Colony of British Columbia, enabling him to assist the Royal Engineers in the survey the land which later became known as Surrey. The basis of his survey was a line which started where the international boundary cuts the shore of Semiahmoo Bay and then goes north along the 121st or Coast Meridian, now 68th Street. In slashing the survey line, Trutch's first problem was the high lands covered with heavy fir and cedar growth. Next, were the Nicomekl flats which were boggy and frequently covered with water due to flooding. As well as flooding, the flat lands were covered in hardhack which is a bush which stands six feet tall and has stems as wide as a pencil. Trutch then hit more high ground, then the Serpentine flats and more water.

The McLellan Road was once one of the most important roads in Surrey. It was one of many built during the 1870s shortly after British Columbia entered Confederation and money became available for road construction. Roads built through Surrey during the 1870s provided access from other centers to New Westminster. The McLellan Road built during 1874-75 provided an east-west link to Ladner and the mouth of the Fraser. McLellan Road was named after A. J. McLellan, a contractor who built the road from the Semiahmoo Road east to the Yale Road near the Surrey-Langley border. Most of the route of McLellan Road is now Highway 10. Where it crossed the Serpentine River it swung north east to Surrey Centre and then east along what is now 60th Avenue to the Yale Road. The North swing of the McLellan Road is now called the "Old McLellan Road".

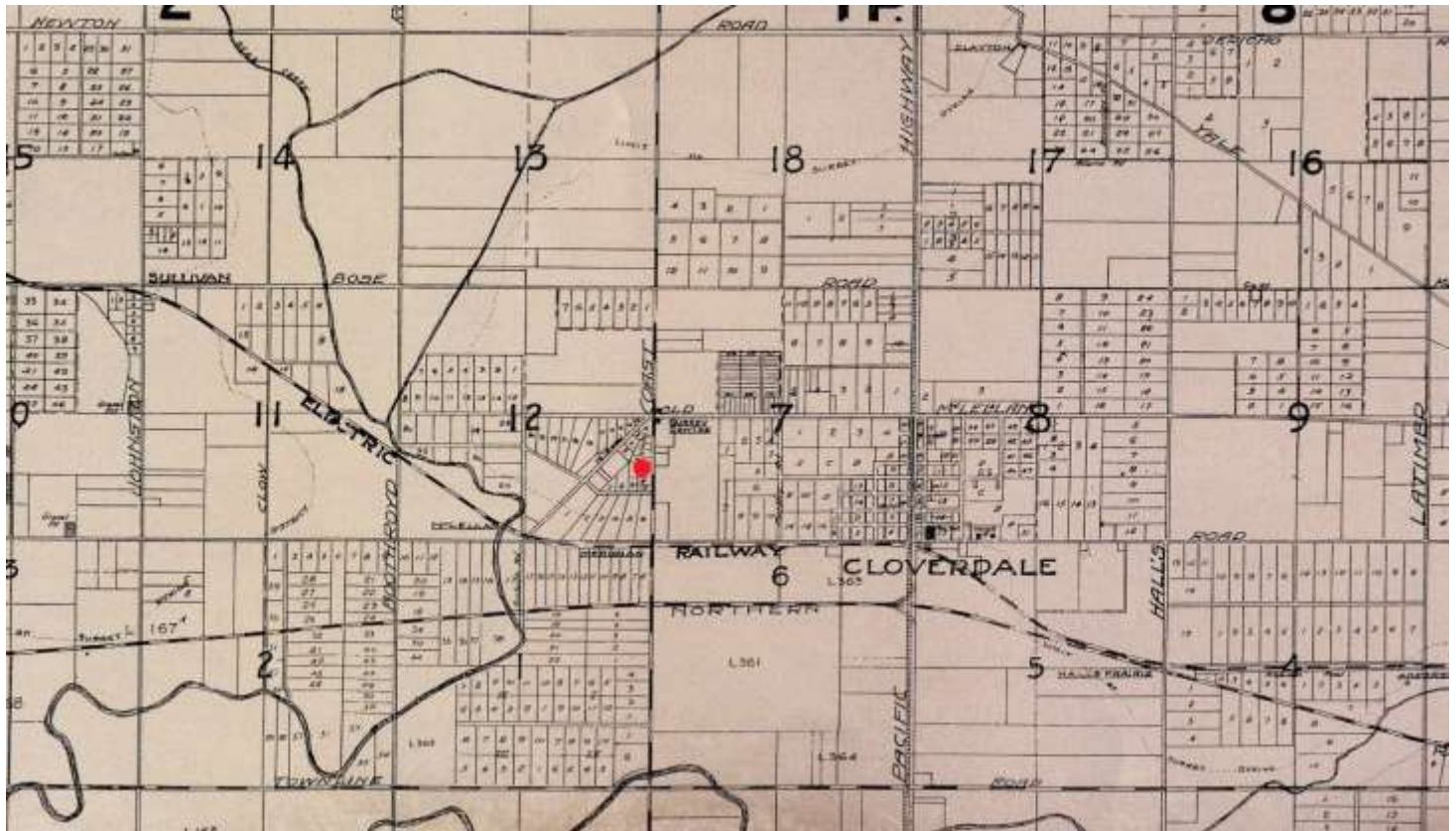


Figure 122: 1920 Infrastructure map with the John Lamb House indicated as a red dot; note that 60th Avenue is still called McLellan Road

2.3 Building History and Chronology

List of owners from Surrey Archives

YEARS	OWNERS
1917-1920	John Lamb
1920-1923	William Henry Hicks
1923-1939	Joshua Hicks
1939-1939	Daniel & Joshua Hicks
1939-1949	Olive May Clancy
1949-1959	Gustavus Rochfort
1959-1965	Cyril Rochfort
1965-1973	Margaret Gallinger
1973-1973	Bayview Estates Ltd
1974-1977	Conrad & Dora Joyce Saumur
1977-1982	Marilyn Anne Auld
1982-1984	Randal David & Beverley Holmes
1984-1991	Bruce Kent Sanderson & Lana Irene Dent
1991-	Scott Mirek Cerny

The original owner of this property, John Lamb, is listed in the British Columbia Directory as a poultry farmer. The property was purchased in 1920 by William Henry Hicks, who was also a farmer, although he cultivated mixed crops.

The house was built around 1920, and as a result it is difficult to ascertain whether it was John Lamb (1917 to 1920) or William Henry Hicks (1920 to 1923) who built the house. The ownership of the house, however, is more strongly tied to the Hicks family, as it remained in the family until 1939, passed on to Joshua Hicks (1923 to 1939) and then Daniel Hicks and Joshua Hicks Jr. (1939).

The 1920 Wrigley's British Columbia Directory lists 28 names in the "Surrey Centre" column and describes the community as follow: P.O., Farming Settlement in Surrey, 13 miles south-east of New Westminster, 2 miles west of Cloverdale, ½ mile from Meridian on Electric Railway in Delta, Prov. Elect. District. Has Anglican Methodist and Presbyterian Churches, population 50. There is no mention of either John Lamb or William Henry Hicks in the 1920 directory. There were no addresses in Surrey Centre at the time. The name of Hicks appears in 1921 and both Hicks and Lamb appear in the 1922 directory. The population continues to be numbered at fifty through the twenties.

Following are the names and occupation listed in "Surrey Centre" in the 1920 directory: Except for one entry, the Reverend Morgan, the residents were all involved in farming.

NAME	Occupation		
Armour ES	poultry breather	Hunt E	farming
Augustine HE	farming	Kelthier G	farming
Boothroyd GA	farming	Lane GW	farming
Boothroyd J	farming	Lane OC	poultry raising
Bose H	farming	McKinnon M	mixed farming
Brown JJ	dairying swine	Morgan Rev GM	Ang Clergyman
Buckberry E	mixed farming	Norman WJ	farming poultry
Connolly AE	mixed farming	Richardson A	mixed farming
Cunningham S	farming sec school board	Richardson L	farming
Dann E	farming	Smith Bros	poultry
Dann J	farming	H Rosesecc	Surrey farmers' Ins
Hockaday FJ	poultry breeding	Stevenson E	mixed farming
		Wakefield E	farming

3.0 Heritage Analysis

3.1 The Craftsman Style

The Craftsman style was derived from the Arts and Crafts movement of the early 20th Century. It was a style that builders could take on with or without the services of an architect, and generally used locally sourced materials. Customized components and even pre-fabricated sections were readily available using catalogues such as Sears, Montgomery Wards, and Aladdin. It promoted simplicity with clean lines and evoked strength and quality in how the exterior components were placed.

With its popularity spanning a 20-year period, several variations of Craftsman houses developed: three of which are particular to the Vancouver area. These are traditional Craftsman, Vancouver Craftsman and Craftsman Bungalow. Each was influenced by builders' budgets and changes in taste over time and the adaptations in design to suit both large and small lots in neighbourhoods across the city. A number of similarities can be found between the three, as well as unique traits.

The earlier traditional Craftsman house tended to be symmetrical in its proportions. The form was defined primarily by gables and porches. The rooflines tended to have a lower pitch, particularly in the secondary gables and dormers. Squared or flared porch posts expressing strength and framing the porch – with lower sections either stone or stucco, upper sections in wood with a low-set balustrade, and wide stairs leading up to the porch, characterized this style. Gable ends featured exposed soffits and large brackets (either single vertical post or adding a diagonal bracket commonly known as “knee brackets”), with substantial roof overhangs and exposed rafter “tails”. Wood detailing known as “dentils” was often found at the top of the front gable.

Windows of earlier Craftsman homes were casements with transoms, either leaded or stained glass, while later versions opted for double hung windows in a one-third to two thirds proportion, with muntins in the upper sash. Those fronting the porch were set in groups of three or four, and in more elaborate examples, the upper sash was stained glass. The front door had an inset window and sidelights. Piano windows, those set higher up as a single sash, were found on the sides of the house, often on either side of the chimney.

END OF STATEMENT OF SIGNIFICANCE BACKGROUND

Appendix “C”
VARIATIONS TO BY-LAWS

1. Section B. Permitted Uses of Part 16 Single Family Residential Zone (RF) of the Surrey Zoning By-law, 1993, No. 12000, as amended, is varied as follows:

- (a) Existing section B.1. is deleted and replaced with the following:

Two *single family dwellings*, one of which is the heritage *single family dwelling* that fronts onto 168 Street (the “Heritage House”).

2. Section D. Density of Part 16 Single Family Residential Zone (RF) of the Surrey Zoning By-law, 1993, No. 12000, as amended, is varied as follows:

- (a) Existing Section D.1.(a) is varied by deleting the existing text and replacing it with the following:

In all Secondary Plan and Infill Areas, as identified in Schedule G, Section E of this By-law, the maximum *unit density* shall be 2.5 *dwelling units* per hectare and the dimensions of the *lots* created in a subdivision shall be in accordance with Section K.1 of this Zone. The maximum *unit density* may be increased to 25.3 *dwelling units* per hectare and Section K.2 of this Zone shall apply if amenity contributions (specifically affordable housing, capital projects, police, fire, libraries, parks and, where applicable, underground utilities) are provided in accordance with Schedule G, Sections A, B, D and E of this By-law.

- (b) Existing Section D.2.(a)iii. is varied by deleting the existing text and replacing it with the following:

The maximum permitted floor area of a second storey for a *principal building*, other than the Heritage House, must not exceed 80% of the floor area of the main floor level including attached garage and that portion of any porch or veranda at the front that is covered by a sloped roof, but not including any portion of the *structure* located within 7.5 metres of the *front lot line*. The reduced floor area of the second storey shall be accomplished by an offset at the second storey level from the wall at the main floor level from either the front or side walls or a combination thereof; and

- (c) Existing Section D.2.(a)iv. is renumbered as D.2.(a)v.

- (d) Existing Section D.2.(a) is supplemented by adding the following new Section D.2.(a)iv.:

Notwithstanding Sub-section D.2.(a)iii., the maximum permitted floor area of a second storey for the Heritage House may exceed 80% of the floor area of the main floor level including attached garage and that portion of any porch or veranda at the front that is covered by a sloped roof, but not including any portion of the *structure* located within 7.5 metres of the *front lot line*; and

3. Section F. Setback of Part 16 Single Family Residential Zone (RF) of the Surrey Zoning By-law, 1993, No. 12000, as amended, is varied as follows for the Heritage House:

- (a) The minimum *front yard setback* for the Heritage House and existing accessory garage may be reduced to 6.0 metres; and

(b) The minimum *front yard setback* may be reduced to 4.5 metres in order to accommodate the existing stairs along 168 Street provided the Heritage House and the existing accessory garage are setback a minimum of 6.0 metres.

4. Section H. Off-Street Parking and Loading/Unloading of Part 16 Single Family Residential Zone (RF) of the Surrey Zoning By-law, 1993, No. 12000, as amended, is varied as follows:

(a) Existing Section H.3.(c)iii. is varied by deleting the existing text and replacing it with the following:

Notwithstanding Sub-sections H.3.(c)i. and ii, a *driveway* shall not exceed 53% of the total area of the *front yard* within which the *driveway* is located;

5. Section J. Special Regulations of Part 16 Single Family Residential Zone (RF) of the Surrey Zoning By-law, 1993, No. 12000, as amended, is varied as follows:

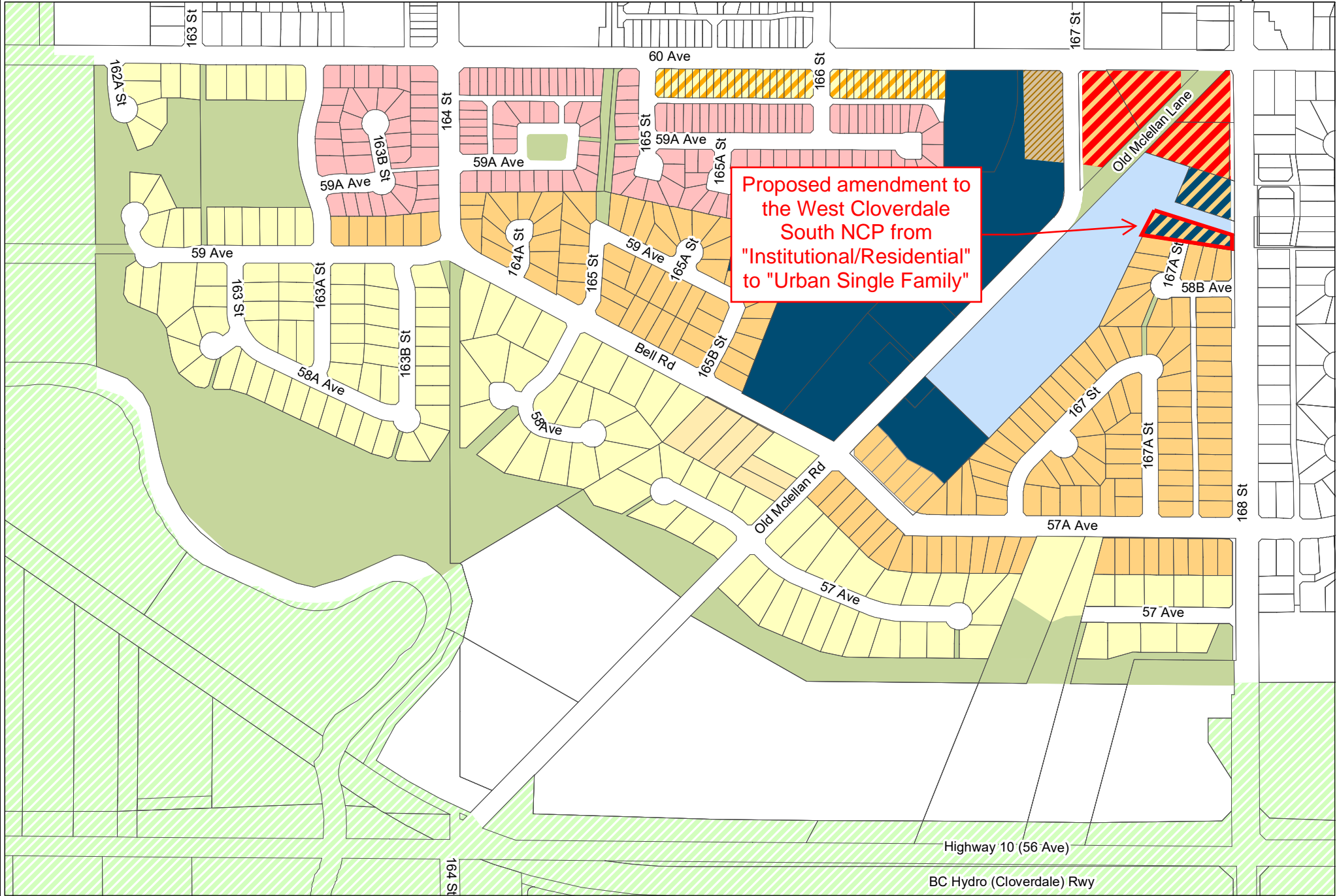
(a) Existing Section J.3. is varied by deleting the existing text and replacing it with the following:

A *secondary suite* is permitted within the *single family dwelling* that is not the Heritage House (the “Second House”) provided it shall:

(a) Not exceed 90 square metres in floor area; and

(b) Occupy less than 40% of the habitable floor area of the Second House.

(Note: Terms used in Appendix “C” of this Agreement that are italicized are defined in the Surrey Zoning By-law, 1993, No. 12000, and shall take their meaning from the By-law.)

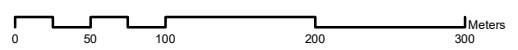


Proposed amendment to the West Cloverdale South NCP from "Institutional/Residential" to "Urban Single Family"

- | | | |
|---------------------------|--------------------|-----------------------------|
| Acre Cluster | Rowhouse (10) | Institutional / Residential |
| Urban Single Family | Rowhouse (15) | Commercial / Residential |
| Urban Single Family | Institutional | A.L.R. |
| Small Lots | Parks / Open Space | School |
| Semi-Detached Residential | | |

WEST CLOVERDALE SOUTH LAND USE PLAN

CITY OF SURREY - PLANNING & DEVELOPMENT DEPARTMENT



This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0096-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 002-256-193
 Parcel "One" (Explanatory Plan 5460) Lot "E" Lot 11 South East Quarter Section 12
 Township 2 New Westminster District Plan 1752

5909 – 168 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F. of Part 16, Single Family Residential Zone (RF), the minimum front yard (west) setback for a second single family dwelling on Lot 3, that fronts onto 167A Street, is reduced from 7.5 metres to 6.0 metres for an attached garage and to 4.5 metres for the remainder of the front building face.
 - (b) In Section F. of Part 16B, Single Family Residential (13) Zone (RF-13), the off-street parking requirement is varied in order to allow a double side-by-side garage at the front of the single family dwelling, on lots less than 13.4 metres wide, for proposed Lots 1 and 2.
 - (c) In Section K. of Part 16B, Single Family Residential (13) Zone (RF-13), the minimum lot depth for a Type I Interior Lot is reduced from 28 metres to 25 metres for proposed Lot 1.
5. This development variance permit applies to only the that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli



Planning & Development Department
 13450 - 104th Avenue, Surrey
 British Columbia, Canada V3T 1V8
 Tel. (604) 591-4441 Fax. (604) 591-2507

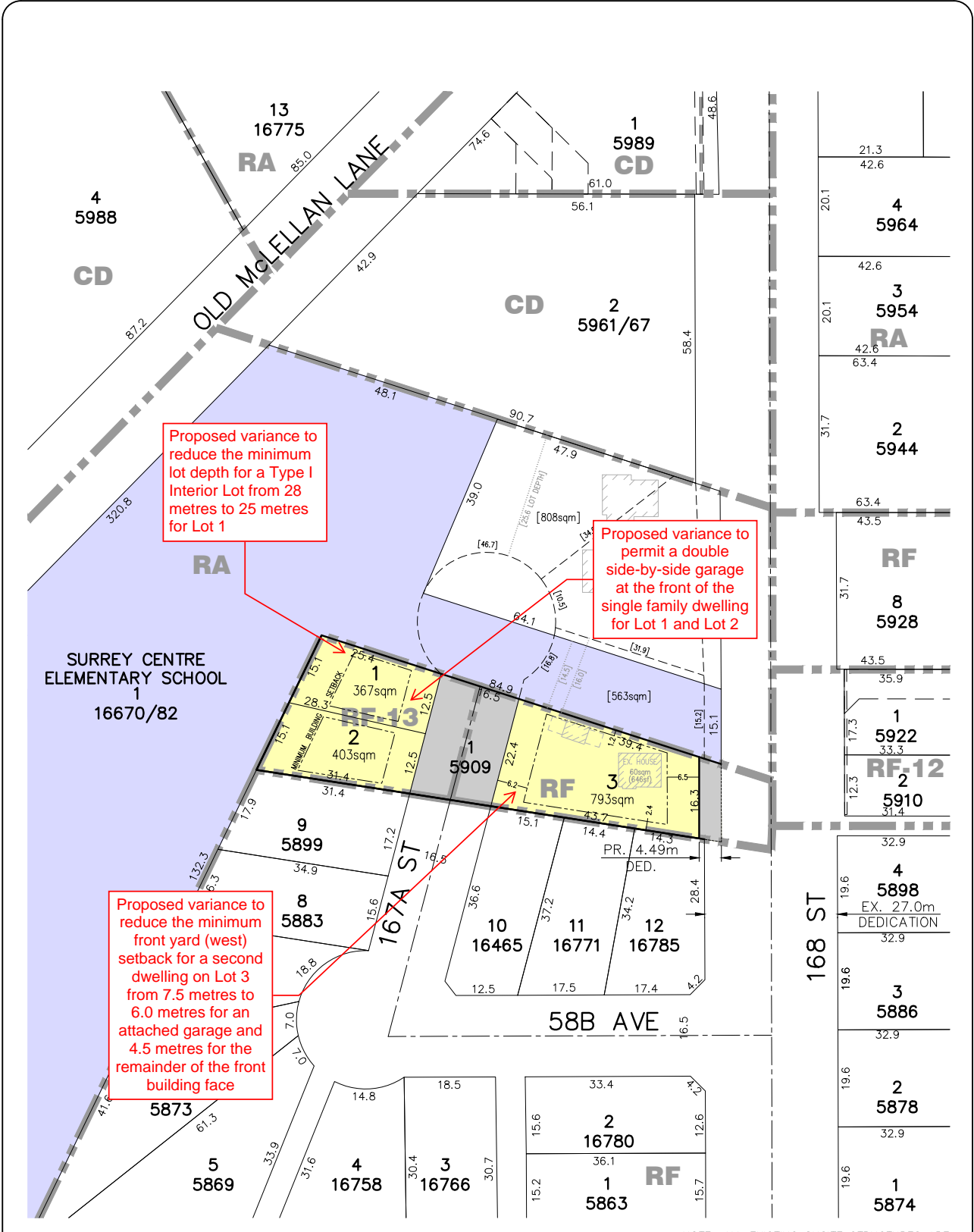
PROPOSED SUBDIVISION LAYOUT

Schedule A

File No: 79 -0 -00
 EXIST. ZONE: RA
 PROP. ZONE: RF-13/ RF



CIVIC ADDRESS: 5909 - 168 STREET SURREY B.C.
 LEGAL: SECTION 12, TOWNSHIP 2 PLAN 1752, N.W.D.



Proposed variance to reduce the minimum lot depth for a Type I Interior Lot from 28 metres to 25 metres for Lot 1

Proposed variance to permit a double side-by-side garage at the front of the single family dwelling for Lot 1 and Lot 2

Proposed variance to reduce the minimum front yard (west) setback for a second dwelling on Lot 3 from 7.5 metres to 6.0 metres for an attached garage and 4.5 metres for the remainder of the front building face



GROSS SITE AREA: 2,012sqm (0.49ac)
 ROAD DEDICATION: 447sqm

NOTE: ALL EXISTING ONSITE STRUCTURES ARE TO BE REMOVED UNLESS NOTED OTHERWISE
 NOTE: EXISTING HOUSE ON LOT 3 IS A HERITAGE BUILDING AND IS TO BE RETAINED.
 NOTE: PROPOSED BUILDING FOOTPRINTS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY

#200-9128-152nd. ST. Surrey, BC V3R 4E7 • TEL 604-583-1616
 Website: www.hyengineering.com • FAX 604-583-1737

H.Y.#:164592 | ALTERNATIVE#01A-1 | DATE: 30 OCT/18 | SCALE: 1:750

DRAWING PATH: E:\PROJECTS\164592\PLANNING\164592-ALT01A.dwg (1-LAYOUT) PLOT FILE UPDATED: NOVEMBER-07-18 12:18:56 PM BY: BENJAMIN CEBRERO